

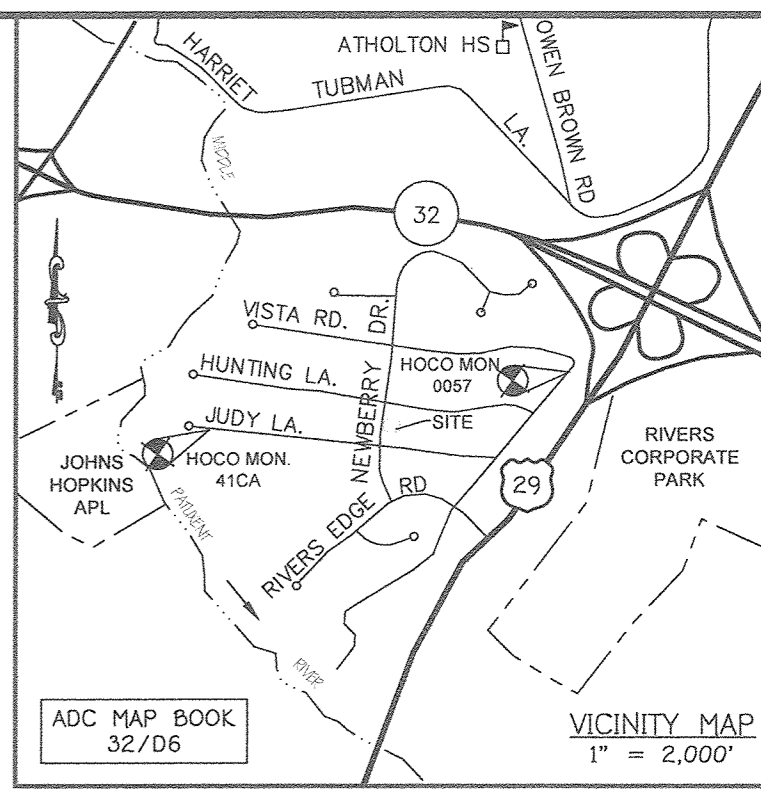
LEGEND

---	Property Line
- - - -	Edge of Existing Paving
- - - -	Existing Asphalt Curb
- - - -	2' Contour
- - - -	10' Contour
- - - -	Proposed Contour
---	Existing Underground Electric
---	Existing Underground Cable
---	Existing Underground Gas Line
---	Existing Public Water Line
---	Existing Public Sewer
---	Proposed Public Sewer
---	Ex. Privacy Fence
---	Ex. Fence
---	Drainage Direction
---	Existing Trees (deciduous, evergreen)
---	Ex. Tree and Brush Line
---	Paved Area
---	Tree Protection Fencing
---	Easement

BENCH MARKS (NAD '83 & NAVD '88)

HO. CO. #41CA	ELEV. 295.328
N 550,124.8331	E 1,342,960.8189
HO. CO. #0057	ELEV. 398.864
N 550,835.2057	E 1,347,017.6516

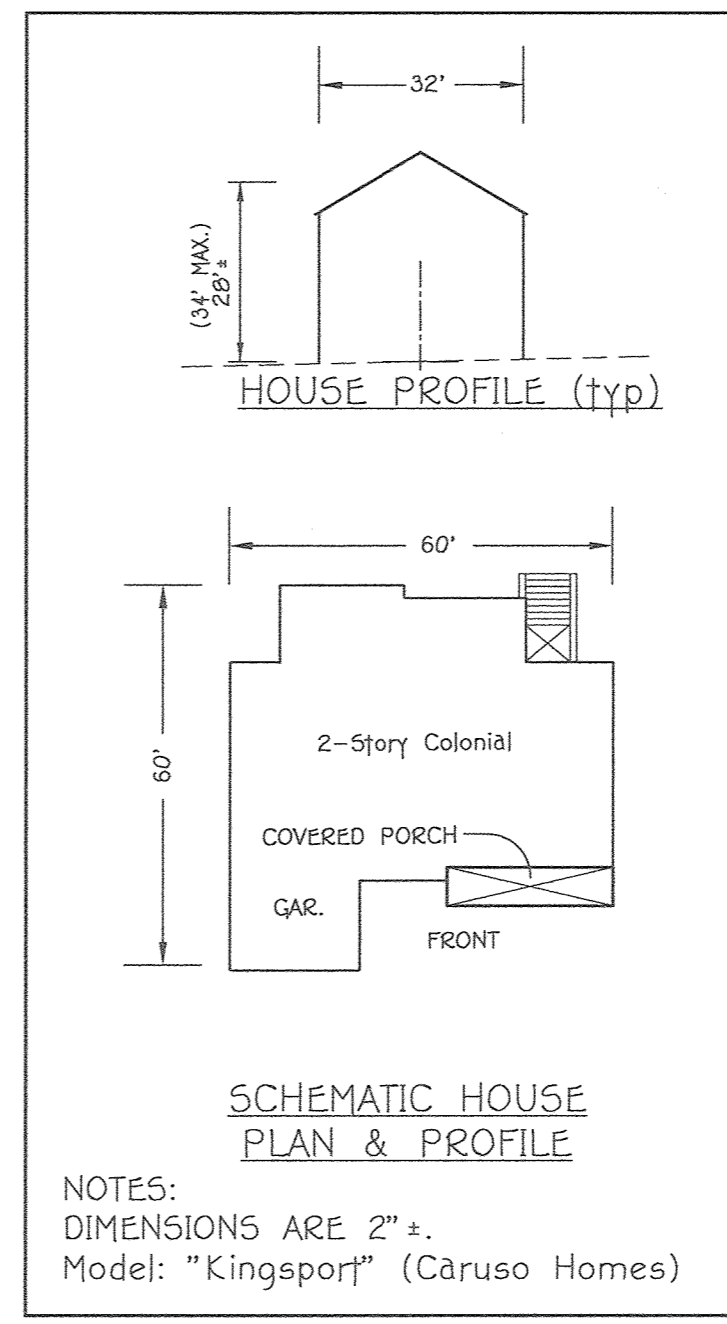
NOTE:
HoCo. Survey Controls consist of a stamped (brass or aluminum) disc set on top of a 3" column of concrete column 1" or 2" below grade.



GENERAL NOTES

- IN ACCORDANCE WITH SECTION 128.0 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- SUBJECT PROPERTY ZONED R-20 PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- A DRIVEWAY SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
 - WIDTH - 12 FEET (FOR SINGLE LOT USE).
 - SURFACE - SIX (6") INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM), OR PER PLAN.
 - GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45' TURNING RADIUS.
 - CULVERTS/BRIDGES - CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING); STRUCTURE CLEARANCES - 12' MIN.
 - DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD NOT EXCEEDING 1' DEPTH ON DRIVEWAY.
 - MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
- LANDSCAPING IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL, AND FOLLOWS THE PROPOSED LANDSCAPING UNDER F-15-097. A LANDSCAPE SURETY FOR 1 SHADE TREE IN THE AMOUNT OF \$300.00 SHALL BE POSTED WITH THE GRADING PERMIT.
- FOREST CONSERVATION HAS BEEN ADDRESSED WITH A FEE-IN-LIEU OF \$4,900.50 FOR 0.15 AC. OF AFFORESTATION UNDER F-15-097.
- THERE ARE NO WETLANDS OR FORESTS LOCATED ON THIS PROPERTY BASED ON A SEPTEMBER 2013 SITE VISIT BY CIVIL DESIGN SERVICES, LC.
- CONSTRUCTION SHALL FOLLOW THE CURRENT HOWARD COUNTY STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (VOL. IV) AND OTHER CONSTRUCTION AND BUILDING CODES AS APPLICABLE. THE CONTRACTOR SHALL CONSULT THE ENGINEER SHOULD THERE BE ANY DISCREPANCIES.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY 800.257.7777 AND THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES, & PERMITS (CONSTRUCTION INSPECTION DIVISION) AT 410.313.1880 AT LEAST THREE (3) WORKING DAYS BEFORE BEGINNING CONSTRUCTION.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- CIVIL DESIGN SERVICES, LC HAS NOT PERFORMED A SUBSURFACE INVESTIGATION TO DETERMINE LOCATIONS OF ROCK, SOIL CONDITIONS, WATER TABLE, UTILITY CONDUITS, ETC.
- THE UTILITY LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL TEST PIT ALL KNOWN EXISTING UTILITIES TO VERIFY SIZE, SHAPE, LOCATION, AND TYPE PRIOR TO PERFORMING CONSTRUCTION TO HIS/HER SATISFACTION PRIOR TO CONSTRUCTION. ANY UTILITY DAMAGED DUE TO CONSTRUCTION MUST BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE TO THE SPECIFICATIONS OF THE UTILITY OWNER. UTILITY RELOCATIONS ARE THE RESPONSIBILITY OF THE OWNER, WHETHER SHOWN OR NOT.
- TEST PIT ALL KNOWN EXISTING UTILITIES TO VERIFY SIZE LOCATION SHAPE TYPE
- SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE PLAN AND FIELD CONDITIONS, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL FIELD CORRECTIONS IF THE ENGINEER IS NOT IMMEDIATELY NOTIFIED.
- TOPOGRAPHY AND BOUNDARY ARE BASED ON A FIELD-RUN SURVEY PERFORMED AND CERTIFIED BY SHANBERGER & LANE (ELICUITT CITY, MD) DATED MARCH, 2007 AND SEPTEMBER 2013. HORIZONTAL AND VERTICAL DATUM IS BASED ON NAD 83, AND NAVD '88, RESPECTIVELY.
- CIVIL DESIGN SERVICES, LC IS NOT RESPONSIBLE FOR THE CONTRACTOR'S UTILIZATION OF PERSONNEL, MATERIALS, EQUIPMENT, OR SAFETY MEASURES IN THE PERFORMANCE OF ANY WORK FOR THIS PROJECT. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR PERFORMING THE WORK CORRECTLY AND IN CONFORMANCE WITH APPLICABLE CODES AND SPECIFICATIONS.
- STORMWATER MANAGEMENT (SWM) IS ADDRESSED WITH (5) DRY WELLS, AND NON-ROOFTOP DISCONNECTION CREDIT. SWM ON THIS LOT WILL BE PRIVATELY OWNED AND MAINTAINED.
- THE SWM BMP MAY BE GRADED, HOWEVER, THE PLANTING SOIL IN THE BMP SHALL NOT BE INSTALLED UNTIL ALL UPSTREAM AREAS HAVE BEEN STABILIZED (i.e., THICK GRASS COVER, OR PAVED).
- THE FEE PAID FOR THE ROAD IMPROVEMENTS UNDER F-15-097 WAS \$24,470.00.
- THIS PLAN IS SUBJECT TO WAIVER PETITION WP-16-028 WHICH WAS GRANTED APPROVAL ON SEPTEMBER 24, 2015 TO THE FOLLOWING SECTIONS OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS IN CONSTRUCTION WITH THIS SUBDIVISION:
 - SECTION 16.132 (REQUIRING CONSTRUCTION OF ROADS FRONTING THE PROPOSED SUBDIVISION TO CURRENT STANDARDS.)
 - SECTION 16.134 (REQUIRING CONSTRUCTIONS OF SIDEWALKS ALONG ROAD FRONTAGE.)
 - SECTION 16.135 (REQUIRING CONSTRUCTION OF STREET LIGHTING IN ACCORDANCE WITH THE DESIGN MANUAL.)
 - SECTION 16.136 (REQUIRING PLANTING OF STREET TREES) APPROVAL OF THIS WAIVER IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - PAYMENT OF A FEE-IN-LIEU IN THE AMOUNT OF \$24,470.00 FOR THE CONSTRUCTION OF SIDEWALKS, CURB AND GUTTER AND STREET LIGHTS.
 - THE FEE-IN-LIEU WAS PAID PRIOR TO RECORDATION OF F-15-097.
 - PLACING A NOTE ON THIS PLAN AND ON ALL SUBSEQUENT SUBMISSIONS REFLECTING THE WAIVER APPROVAL AND PAYMENT OF A FEE-IN-LIEU OF CONSTRUCTION.
- A COMMUNITY MEETING FOR THIS PROJECT WAS HELD ON 05/28/14 AT CLARKSVILLE FIRE DEPARTMENT.
- THIS PROPERTY IS DESIGNED TO BE IN ACCORDANCE WITH SECTION 16.127 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS FOR RESIDENTIAL INFILL DEVELOPMENT. THE DEVELOPER OF THIS PROJECT SHALL CREATE COMPATIBILITY WITH THE EXISTING NEIGHBORHOOD THROUGH THE USE OF ENHANCED PERIMETER BERMS, FENCES, SIMILAR HOUSING UNIT TYPES AND THE DIRECTIONAL ORIENTATION OF THE PROPOSED HOUSES.
- IN ACCORDANCE WITH SECTION 108.0.E OF THE OCTOBER 6, 2013 COMPREHENSIVE ZONING REGULATIONS, THIS SUBDIVISION IS SUBJECT TO MODERATE INCOME HOUSING UNITS (MIHU). THE MIHU PAYMENT OF A FEE-IN-LIEU TO THE HOWARD COUNTY HOUSING DEPARTMENT FOR EACH UNIT OR PORTION OF THE UNITS REQUIRED BY THE DEVELOPMENT. AN MIHU WILL BE RECORDED AT LAND RECORDS SIMULTANEOUSLY WITH THE RECORDATION OF PLAT #23807.
- THERE ARE NO CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
- PER COUNTY CB78-2018, PROPOSED SINGLE FAMILY HOUSES REQUIRE THE ADEQUATE WIRING AND CIRCUITRY BE PROVIDED FOR AN ELECTRIC VEHICLE CHARGING STATION IN THE GARAGE, AND THE ARCHITECTURAL PLANS SHOULD SHOW THIS TO BE PROVIDED.

DRYWELL DRAINAGE AREAS



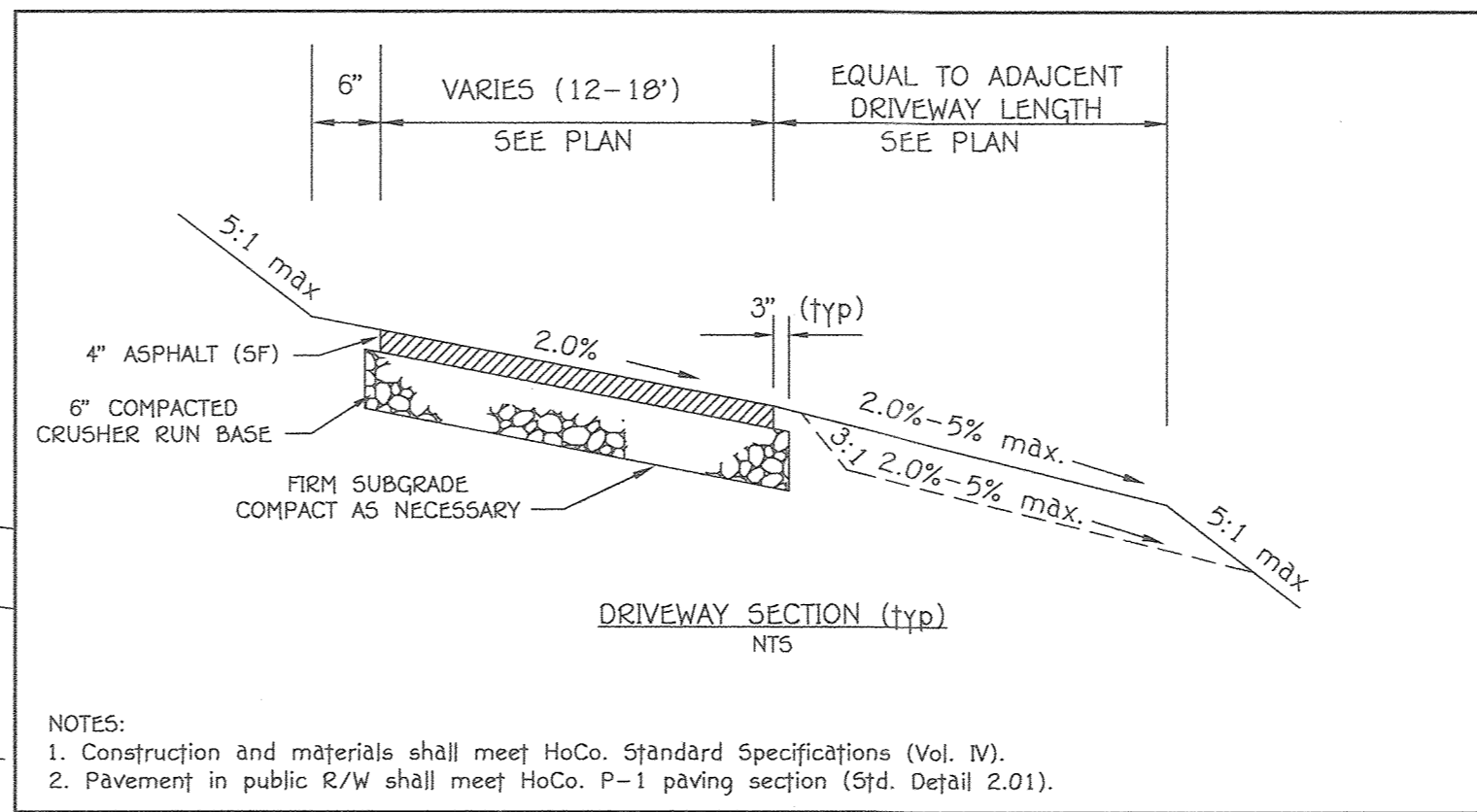
NOTE:
UNDER F-15-097, A SINGLE TREE IS REQUIRED TO FULFILL THE LANDSCAPE OBLIGATIONS FOR THIS PROJECT. SEE SHEET 3 FOR ADDITIONAL INFORMATION.

SOILS TABLE

SYMBOL	NAME	HSG
GfB	Gladstone-Urban Complex, 0-8% slope	B

STORMWATER MANAGEMENT PRACTICES

LOT No.	ADDRESS	DISCONNECTION OF ROOFTOP RUNOFF		DRYWELLS	MICRO BIO-RETENTION
		NON-ROOFTOP (Y/N)	ROOFTOP (Y/N)		
120	7085 NEWBERRY DRIVE	NO	YES	M-5 (Y/N) YES 5 TOTAL	NO



SHEET INDEX

SHEET No.	DESCRIPTION
1	SITE DEVELOPMENT, GRADING & SEDIMENT CONTROL PLAN PLAN
2	SEDIMENT & EROSION CONTROL NOTES & DETAILS
3	SEDIMENT & EROSION CONTROL NOTES & DETAILS

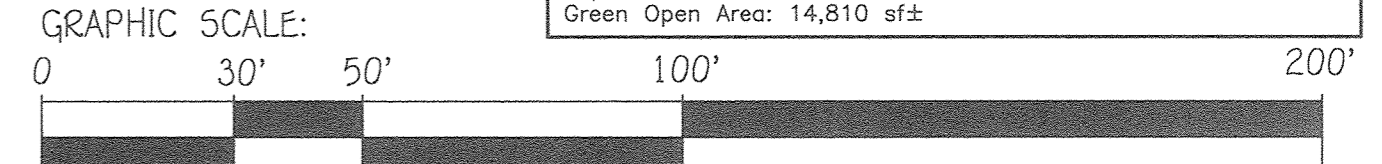
SITE PLAN
SCALE:
HORZ: 1" = 30'

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
120	7085 NEWBERRY DRIVE

SITE DATA

Site Area:	20,001 sf (0.46± acre)
Wetland and Wetland Buffers:	0.0 acres
Floodplain:	0.0 acres
Forests:	0.0 acres
Slope Slopes:	0.0 acres
Erodible Soils:	0.0 acres
LOD:	0.46 acres
Proposed Site Use: Residential	
File References: P.7-F-69, ECP 14-040, WP-16-028, F-15-097	
Impervious Area:	5,227 sf±
Green Open Area:	14,810 sf±



NO.	REVISION	DATE

ENGINEER'S CERTIFICATE
"I CERTIFY THAT THIS DEVELOPMENT PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND SOUND SOLUTION TO THE PROBLEMS IDENTIFIED BY MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
John R. Griffin
ALDO GRIFIN, REGISTERED PROFESSIONAL ENGINEER
DATE: 3/21/19

BUILDER/DEVELOPER'S CERTIFICATE
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF NATURAL RESOURCES APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT OR ITS AUTHORIZED AGENTS."
David E. Griffin Jr. & Kimberly A. Griffin
DATE: 04/11/19

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
John R. Griffin
HOWARD SCD
DATE: 3/20/19

OWNER/DEVELOPER/BUILDER
MR. DAVID E. GRIFFIN JR. & KIMBERLY A. GRIFFIN
5306 MEYERS ORCHARD WAY
PERRY HALL, MARYLAND 21128

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Valdis J. J. J.
Chief, Division of Land Development
DATE: 6-6-19

John R. Griffin
Chief, Development Engineering Division
DATE: 6-3-19

Valdis J. J. J.
Director - Department of Planning and Zoning
DATE: 6-6-19

PROJECT	SECTION	PARCEL/LOT			
GRIFFIN PROPERTY	4	252/120			
PLAT	GRID NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
23807	6	R-20	41	5 th	6051.02

SITE DEVELOPMENT, GRADING & SEDIMENT CONTROL PLAN PLAN

GRIFFIN PROPERTY
(SINGLE FAMILY DETACHED)

7085 NEWBERRY DRIVE, COLUMBIA, MD 21044
PLAT# 23807, LOT 120

TAX MAP NO: 41 PARCEL NO.: 252 GRID NO.: 6
FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: MARCH 18, 2019

SHEET 1 OF 3

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10275 BALDWIN NATIONAL PIKE
ELICUITT CITY, MARYLAND 21042
(410) 461 - 2895

