

GENERAL NOTES

1. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
 2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
 3. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
 4. THE SUBJECT PROPERTY IS ZONED R-SC IN ACCORDANCE WITH THE 10/6/13 ZONING REGULATIONS.
 5. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, ALTERNATIVE COMPLIANCE, OR BUILDING AND GRADING PERMITS.
 6. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED MARCH 2017.
 7. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON F-18-059.
 8. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS BM 47GE AND BM 47GD WERE USED FOR THIS PROJECT.
 9. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
 10. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE AND NON-STRUCTURAL PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. MICRO-SCALE PRACTICES INCLUDE MICRO-BIOTENTIONALS (M-6), RAIN GARDENS (M-7) AND DRYWELLS (M-5). THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
 11. THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
 12. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
 13. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 14. SHE ELEVATIONS ARE LOCATED AT THE PROPERTY LINE/EDGE OF EASEMENT.
 15. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK:
- | | |
|------------------------------|----------------|
| AT&T | 1-800-252-1133 |
| BGE (CONSTRUCTION SERVICES) | 410-637-8713 |
| BGE (EMERGENCY) | 410-685-0123 |
| BUREAU OF UTILITIES | 410-313-4900 |
| COLONIAL PIPELINE CO | 410-795-1390 |
| MISS UTILITY | 1-800-257-7777 |
| STATE HIGHWAY ADMINISTRATION | 410-531-5533 |
| VERIZON | 1-800-743-0033 |
16. THERE ARE NO EXISTING DWELLING/STRUCTURES LOCATED ON THIS SITE.
 17. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 18 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 18. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH = (2' [16' SERVING MORE THAN ONE RESIDENCE]) + 18 FEET PROPOSED UIC DRIVEWAY SURFACE = 6" OF COMPACTED CRUSHER RUN BASE W/ FART AND CHIP COATING (1"-1.7" MIN.)
 - B) GEOMETRY = MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 - C) STRUCTURES (CULVERTS/BRIDGES) = CAPABLE OF SUPPORTING 25 GROSS TONS (125,000 LBS) LOADS
 - D) DRAINAGE ELEMENTS = CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - E) MAINTENANCE = SUFFICIENT TO ENSURE WEATHER USE
 19. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
 20. TRASH & RECYCLING COLLECTION WILL BE AT THE COUNTY ROADWAYS WITHIN FIVE FEET (5') OF THE COUNTY ROADWAY.
 21. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
 22. WATER FOR THIS PROJECT IS PROVIDED BY CONTRACT NO. 24-5032-D.
 23. SEWER FOR THIS PROJECT IS SERVING CONNECTIONS FROM EXISTING CONTRACT 20-1018.
 24. WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
 25. PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
 26. ALL WATER HOUSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
 27. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THIS PROPERTY OR THE COUNTY'S CEMETERY SITE MAP.
 28. OLD SCAGGSVILLE ROAD IS CLASSIFIED AS A LOCAL ROAD. PROPOSED ROAD IS A PRIVATE USE-IN-COMMON DRIVEWAY.
 29. A WETLAND AND SIMPLIFIED FLOOD DELINEATION PLAN PREPARED BY PROFESSIONALS, INC. C/O MR. JOHN CANOLES, AUGUST 16, 2016, AND APPROVED AS PART OF THE ECP & SKETCH PLAN SUBMISSION.
 30. AN INTERMITTENT STREAM IS LOCATED OFFSITE. ITS BUFFER DOES NOT IMPACT THE PROJECT SITE.
 31. SEVEN (7) SPECIMEN TREES WERE FOUND ONSITE. THE PROPOSAL INCLUDES THE REMOVAL OF 6 TREES. EFFORTS WILL BE MADE TO SAVE TREE #4. REFER TO WP-17-059.
 32. FOREST CONSERVATION OBLIGATIONS HAVE BEEN MET BY PAYMENT OF FEE-IN-LIEU UNDER F-18-059.
 33. A TRAFFIC STUDY FOR THIS PROJECT PREPARED BY THE TRAFFIC GROUP, INC., DATED SEPTEMBER 2016, WAS APPROVED UNDER S-17-003.
 34. A NOISE STUDY IS NOT REQUIRED FOR THIS SITE. NOISE WALL MITIGATION CURRENTLY EXISTS ALONG INTERSTATE 95.
 35. CERTIFIED TEST PITS HAVE BEEN PROVIDED TO VERIFY THE LOCATIONS OF GROUNDWATER AND/OR ROCK. OPEN TEST PITS WERE OBSERVED BY TRINITY HOMES ON APRIL 2013.
 36. THE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON JULY 7, 2016 AT THE NORTH LAUREL COMMUNITY CENTER.
 37. THE ENVIRONMENTAL CONCEPT PLAN (ECP-17-004) WAS APPROVED ON JANUARY 24, 2017.
 38. A PRELIMINARY PLAN (P-17-005) WAS APPROVED ON OCTOBER 4, 2017.
 39. A FINAL PLAN (F-18-059) WAS APPROVED ON JULY 26, 2018.
 40. PUBLIC STREET TREES AND PERIMETER LANDSCAPING WAS PROVIDED FOR THIS PROJECT UNDER F-18-059 IN ACCORDANCE WITH SECTION 16.124(a) (1) OF THE SUBDIVISION REGULATIONS, AND THE LANDSCAPE MANUAL FINANCIAL SURETY WAS POSTED AS PART OF THE F-18-059 DEVELOPER'S AGREEMENTS.
 41. THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL NOT IMPACT ENVIRONMENTAL FEATURES OR BUFFERS.
 42. NO FLOODPLAIN IS LOCATED ONSITE.
 43. NO STEEP SLOPES OVER 20,000 SF CONTIGUOUS ARE LOCATED ONSITE.
 44. IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2 - SECTION 2.3.B, PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE. THE ONE (1) GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE. REFER TO PARKING TABULATION.
 45. THE HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION REFERENCE NUMBER D19052299. HOMEOWNERS ASSOCIATION COVENANTS AND RESTRICTIONS WERE RECORDED SIMULTANEOUSLY WITH F-18-059. REFER TO LIBER 18523 FOLIO 267, DEED DATED 8-27-2018.
 46. THIS PROJECT IS SUBJECT TO WP-17-059, ON MARCH 9, 2017; THE PLANNING DIRECTOR APPROVED THE REQUEST FOR ALTERNATIVE COMPLIANCE TO SECTION 16.1205(A)(7) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, WHICH REQUIRES THE RETENTION OF STATE CHAMPION TREES, TREES 75% OF THE DIAMETER OF STATE CHAMPION TREES, AND TREES 30" IN DIAMETER OR LARGER. THIS PROJECT PROPOSES THE REMOVAL OF SEVEN (7) SPECIMEN TREES APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. ADD A GENERAL NOTE FOR THE ALTERNATIVE COMPLIANCE WP-17-059, ON & S-17-003, MAGNOLIA MANOR WEST STATING THE REQUEST, SECTION REFERENCE NUMBER, THE APPROVAL DATE AND CONDITIONS.
 2. SHOW THE SPECIMEN TREES BEING REMOVED AND LABELED PER WP-17-059 ON THE PLAN MYLAR ORIGINAL FOR S-17-003.
 3. REMOVAL OF THE 7 SPECIMEN TREES IS SUBJECT TO PROVIDING THE REPLACEMENT OF FOURTEEN (14) 3-1/2" MINIMUM CALIPER NATIVE SHADE TREES AS STATED IN THE ALTERNATIVE COMPLIANCE JUSTIFICATION TO BE LOCATED AT A MORE APPROPRIATE LOCATION.
 47. MODERATE INCOME HOUSING UNITS (MIHU) ARE REQUIRED FOR THIS PROJECT.
 48. IN ACCORDANCE WITH SECTION 110.D.E OF THE 10/06/13 COMPREHENSIVE ZONING REGULATIONS (RS-C), THIS SUBDIVISION IS SUBJECT TO MODERATE INCOME HOUSING UNITS. THE MIHU OBLIGATION FOR THIS DEVELOPMENT WAS PROVIDED BY A PAYMENT OF FEE-IN-LIEU TO THE HOWARD COUNTY HOUSING DEPARTMENT FOR THE ONE (1) UNIT REQUIRED BY THE DEVELOPMENT.
 49. THE MIHU AGREEMENT WAS RECORDED IN THE LAND RECORDS OF HOWARD COUNTY SIMULTANEOUSLY WITH THE RECORDING OF THE F-18-059 PLAN.
 50. THIS FINAL PLAN IS SUBJECT TO THE FOLLOWING DPZ PLANS: F-84-82, EDP-17-004, S-17-003, P-17-005, WP-17-059, F-18-059.
 51. AN AGREEMENT WAS MADE TO SATISFY THE SIDEWALK REQUIREMENT. ADDITIONAL SIDEWALK SHALL BE PROVIDED ACROSS OLD SCAGGSVILLE ROAD WITH THE MAGNOLIA MANOR (F-19-019) PLAN.
 52. THIS PROJECT IS SUBJECT TO A DESIGN MANUAL WAIVER - DMW2-19-004, ON OCTOBER 30, 2018, THE DEPUTY DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS APPROVED THE REQUEST TO WAIVE THE REQUIREMENTS OF HOWARD COUNTY DESIGN MANUAL VOLUME II - WATER AND SEWER, SECTION 4.3.B.2.C. TO ALLOW THE SEWER SERVING THE SUBJECT-REFERENCED SUBDIVISION DEVELOPMENT TO BE PLACED OUTSIDE OF THE PAVED ROADWAY SECTION; REFER TO F-18-059 AND CONTRACT 24-5032-D.
 53. A PRIVATE ROAD STREET NAME SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY DIVISION OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.

NOTES:

1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAIL W-3.28 OUTSIDE METER SETTINGS.

SITE DEVELOPMENT PLAN

MAGNOLIA MANOR WEST

LOTS 1 - 7 AND OPEN SPACE LOT 8

OLD SCAGGSVILLE ROAD

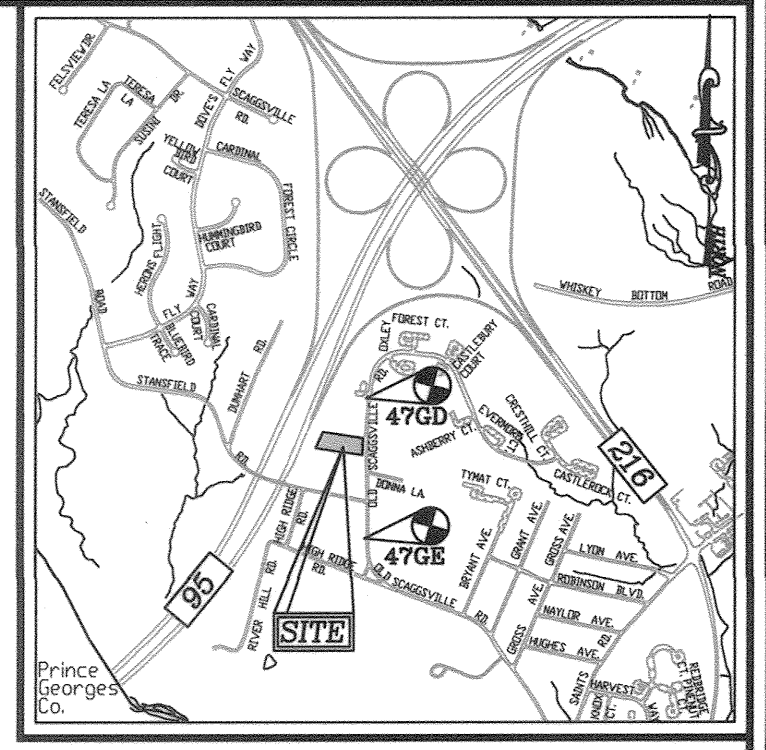
HOWARD COUNTY, MD

NOTE

THE EXISTING CONTOURS SHOWN HEREON HAVE BEEN ESTABLISHED UNDER THE FINAL ROAD AND STORM DRAIN CONSTRUCTION PLANS FOR MAGNOLIA MANOR WEST F-18-059

BENCHMARKS

HOWARD COUNTY BENCHMARK - 47GE
 N 529044.94 E 1350855.03 ELEV.: 337.61
 HOWARD COUNTY BENCHMARK - 47GD
 N 530494.49 E 1350872.35 ELEV.: 312.28



LEGEND

- EXISTING PAVING
- EXISTING UTILITY POLE
- EXISTING MAILBOX
- EXISTING SIGN
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. 24' PRIVATE USE IN COMMON ACCESS EASEMENT PLAT# 24913-24914
- EXISTING WETLAND
- EX. VARIABLE WIDTH PUBLIC SEWER, WATER AND UTILITY EASEMENT PLAT# 24913-24914
- EX. PUBLIC 15' SEWER AND UTILITY EASEMENT L318 F174 - 2715-S-14
- EX. VARIABLE WIDTH PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT PLAT# 24913-24914
- EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT PLAT# 24913-24914

SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 5
SITE LAYOUT PLAN, HOUSE TYPES AND NOTES	2 OF 5
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN	3 OF 5
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN-NOTES AND DETAILS	4 OF 5
ESD STORMWATER MANAGEMENT NOTES & DETAILS	5 OF 5

SITE ANALYSIS DATA

- | | | |
|--|---------------------------------------|--------------------------|
| A. TOTAL PROJECT AREA: | 1.84 ac | = AREA OF BUILDABLE LOTS |
| B. AREA OF PLAN SUBMISSION: | 1.34 ac | |
| C. LIMIT OF DISTURBANCE: | 1.73 ac | |
| D. PRESENT ZONING DESIGNATION: | R-SC | |
| E. PROPOSED USES FOR SITE AND STRUCTURES: | SINGLE FAMILY DETACHED | |
| F. FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE: | N/A | |
| G. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAN: | REFER TO DENSITY TABULATION | |
| H. TOTAL NUMBER OF UNITS PROPOSED ON THIS SUBMISSION: | 7 BUILDABLE LOTS | |
| I. MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE: | N/A | |
| J. NUMBER OF PARKING SPACES REQUIRED BY H.O.C.Z. REGULATIONS: | 2 PER UNIT | |
| K. NUMBER OF PARKING SPACES PROVIDED ON SITE: | SEE PARKING TABULATION HEREON | |
| L. OPEN SPACE ON SITE: | 2 PER SFD | |
| M. AREA OF RECREATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS: | SEE OPEN SPACE TABULATION | |
| N. BUILDING COVERAGE OF SITE: | N/A | |
| O. APPLICABLE GIP FILE REFERENCES: | SEE GENERAL NOTE 43 | |
| P. ANY OTHER INFORMATION WHICH MAY BE RELEVANT: | TAX MAP 47, GRID 19, PARCEL 157 & 558 | |
| Q. FLOOR AREA RATIO: | 6TH ELECTION DISTRICT | |

PARKING TABULATION:

TOTAL NUMBER OF DWELLING UNITS PROPOSED : 7
 TOTAL PARKING REQUIRED: 14 (7 X 2)
 TOTAL PARKING PROVIDED: 28
 OFF-STREET PARKING SPACES REQUIRED: 2 SPACES PER UNIT = 14 SPACES
 PARKING SPACES PROVIDED:
 SFD = 1 GARAGE/1 DRIVEWAY
 2 SPACES IN GARAGE = 14 SPACES (FOR 7 UNITS)
 2 SPACES ON DRIVEWAY = 14 SPACES (FOR 7 UNITS)
 TOTAL PARKING SPACES PROVIDED: = 28 SPACES OFF-STREET
 OVERFLOW / GUEST PARKING SPACES REQUIRED: 0.5 SPACES PER SFD UNIT X 7 = 4 SPACES
 REQUIRED TOTAL OVERFLOW PARKING SPACES PROVIDED: = 7 SPACES (DRIVEWAY) REFER TO OFF-STREET EXCESS.

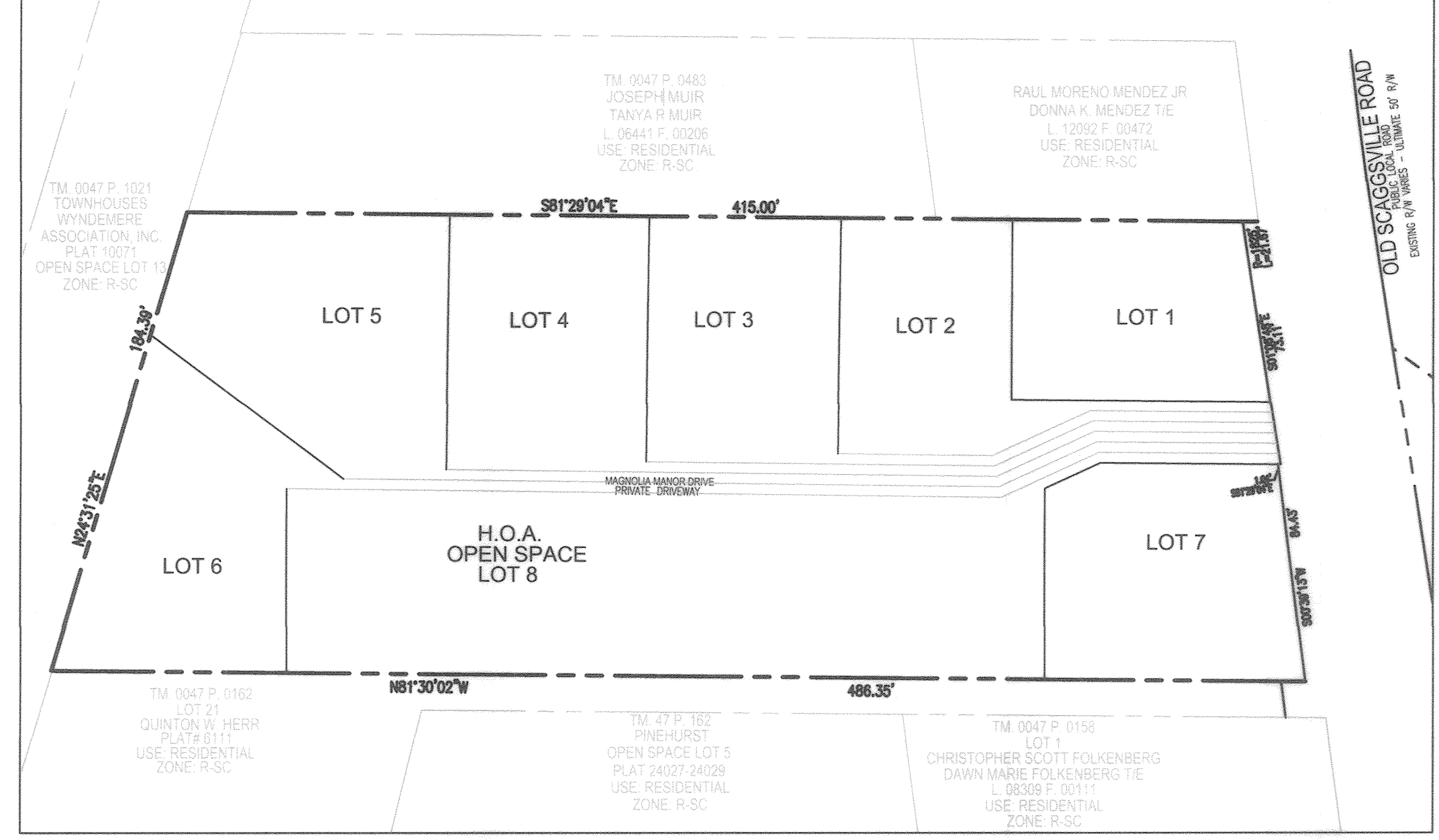
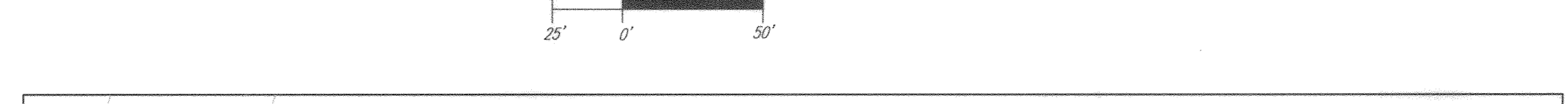
MIHU AGREEMENT

PLEASE NOTE THAT ALL NEW LOTS/RESIDENTIAL UNITS IN THIS SUBDIVISION (LOTS 1-7) ARE SUBJECT TO THE MIHU FEE-IN-LIEU REQUIREMENT THAT IS TO BE CALCULATED AND PAID TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS AT THE TIME OF BUILDING PERMIT ISSUANCE BY THE PERMIT APPLICANT.

OWNER
 MAGNOLIA MANOR LLC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

DEVELOPER
 TRINITY HOMES MARY LAND, LLC
 3675 PARK AVE., SUITE 301
 ELLICOTT CITY, MD 21043
 (410) 480-0023

LOCATION MAP



LOT LAYOUT DETAIL

LOT	GROSS AREA	PIPESTEM AREA	NET AREA	MIN. LOT SIZE
2	6,686 SF	282 SF	6,404 SF	6,000 SF
3	7,735 SF	690 SF	7,045 SF	6,000 SF
4	8,620 SF	990 SF	7,630 SF	6,000 SF
5	10,702 SF	1,303 SF	9,399 SF	6,000 SF
6	10,063 SF	1,464 SF	8,599 SF	6,000 SF

STORMWATER MANAGEMENT PRACTICE CHART		
LOT #	STREET ADDRESS	ESD PRACTICE
LOT 1	9066 OLD SCAGGSVILLE ROAD	(1) DRY WELL (M-5) - (1) MICRO BIO-RETENTION (M-6)
LOT 2	9109 MAGNOLIA MANOR DRIVE	(2) DRY WELL (M-5)
LOT 3	9113 MAGNOLIA MANOR DRIVE	(2) DRY WELL (M-5)
LOT 4	9117 MAGNOLIA MANOR DRIVE	(2) DRY WELL (M-5)
LOT 5	9121 MAGNOLIA MANOR DRIVE	(1) MICRO BIO-RETENTION (M-6)
LOT 6	9124 MAGNOLIA MANOR DRIVE	(2) DRY WELL (M-5) - (1) MICRO BIO-RETENTION (M-6)
LOT 7	9070 OLD SCAGGSVILLE ROAD	(1) DRY WELL (M-5) - (1) MICRO BIO-RETENTION (M-6)

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING	
Total Number of Lots/Units Proposed	7
Number of MIHU Required	10X OR 1 UNITS
Number of MIHU Provided Onsite (exempt from APFO allocations)	0
Number of APFO Allocations Required (remaining lots/units)	7 UNITS
MIHU Fee-in-Lieu (indicate lot/unit numbers)	1

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #	TAX MAP	ELECT. DIST.	CENSUS TR.
MAGNOLIA MANOR WEST	N/A	157 & 558	47	6TH	606906
PLAT # OR L/P	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
24912-24914	19	R-SC	47	6TH	606906

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Robert H. Vogel 3-8-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Kevin DeLoach 3-13-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Nadine J. Jellie 3-13-19
 DIRECTOR DATE

NO.	REVISION	DATE
1	REVISE GRADING AND SWIM ON LOTS 4 AND 5	12-22-20
2	REVISE TO SHOW THE KITCHEN EXTENSION AS OPTIONAL ON THE PLANS	1-16-20

SITE DEVELOPMENT PLAN
 COVER SHEET
MAGNOLIA MANOR WEST
 LOTS 1 - 7 AND OPEN SPACE LOT 8
 A SUBDIVISION OF TAX MAP 47 PARCEL 558
 AND A RESUBDIVISION OF TAX MAP 47 PARCEL 157
 ("GIDDINGS PROPERTY - LOTS 1 AND 2" (PLAT 5708))
 TAX MAP: 47 PARCELS: 157 & 558
 BLOCK: 19 ZONING: R-SC
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

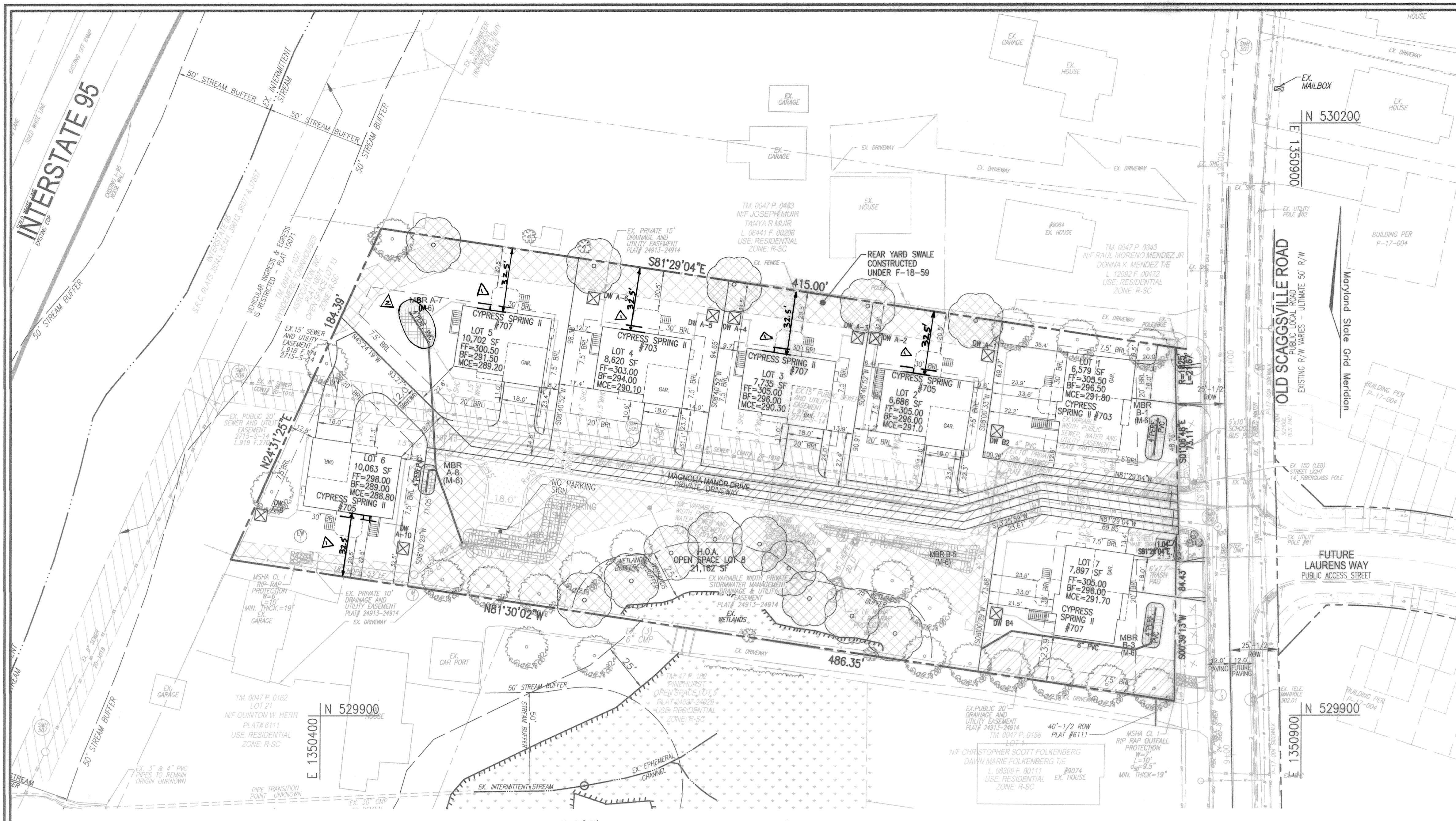
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 3300 N. RIDGE ROAD, SUITE 110
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV/EDS
 DRAWN BY: KG/EDS
 CHECKED BY: RHV
 DATE: FEBRUARY 2019
 SCALE: AS SHOWN
 W.O. NO.: 16-15

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183 EXPIRATION DATE: 09-27-2020

1 SHEET OF 5



NOTE:

- TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.
- DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- EXISTING TREETRUNK
- TREETRUNK
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN
- STORMWATER MANAGEMENT FACILITY (M-6) F-18-059
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EX. PUBLIC 15' SEWER AND UTILITY EASEMENT L918 F.174 - 2715-5-14
- EX. PUBLIC 20' SEWER AND UTILITY EASEMENT L919 F.270 2715-5-14
- EX. VARIABLE WIDTH PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT PLAT# 24913-24914
- EX. PUBLIC 20' DRAINAGE AND UTILITY EASEMENT PLAT# 24913-24914
- EX. 15' PRIVATE USE IN COMMON ACCESS EASEMENT PLAT# 24913-24914
- EX. VARIABLE WIDTH PUBLIC SEWER WATER AND UTILITY EASEMENT PLAT# 24913-24914
- EX. 10' PRIVATE SWM DRAINAGE AND UTILITY EASEMENT PLAT# 24913-24914
- EX. 15' PRIVATE SWM DRAINAGE AND UTILITY EASEMENT PLAT# 24913-24914
- EX. LANDSCAPE F-18-059

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

NOTES:

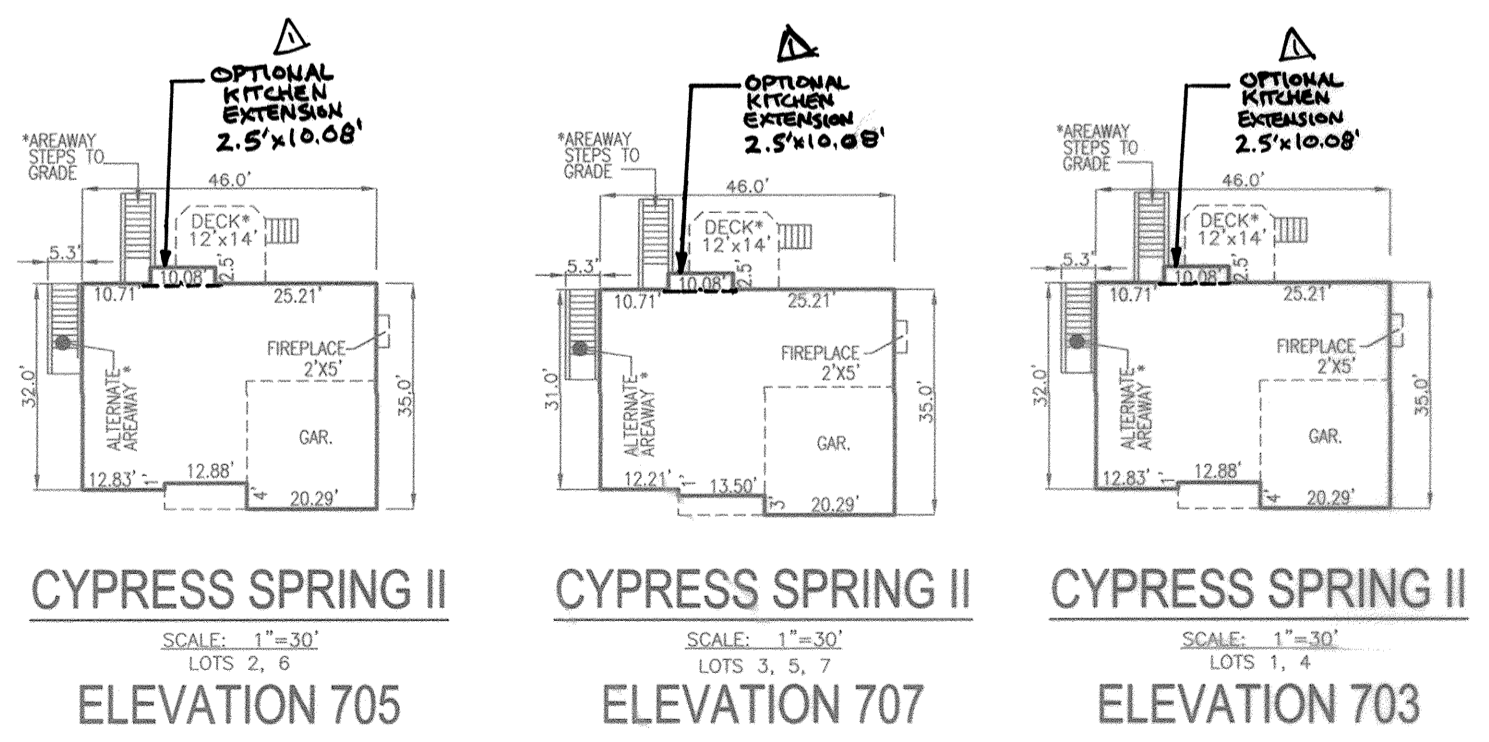
- REFER TO SHEET 4 FOR DRYWELL (DW) SIZE, NOTES & DETAILS

SITE LAYOUT PLAN
SCALE: 1" = 30'

ON-LOT STORMWATER PRACTICES		
LOT NUMBER	M-F DRYWELL	
Lot 1	1	
Lot 2	2	
Lot 3	2	
Lot 4	2	
Lot 5	---	
Lot 6	2	
Lot 7	1	

HOUSE TYPE NOTES:

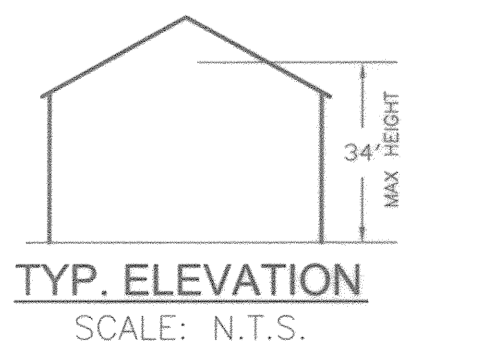
- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT. THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND A MICRO-BIoretention / RAIN GARDEN OR DRYWELL ESD STORMWATER FACILITY. MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-SC ZONE.
- IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
 - A. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK
 - B. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
 - C. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
 - D. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.



CYPRESS SPRING II ELEVATION 705
SCALE: 1" = 30'
LOTS 2, 6

CYPRESS SPRING II ELEVATION 707
SCALE: 1" = 30'
LOTS 3, 5, 7

CYPRESS SPRING II ELEVATION 703
SCALE: 1" = 30'
LOTS 1, 4



TYP. ELEVATION
SCALE: N.T.S.

AREAWAY / DECKS MUST CONFORM TO SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS; SEE HOUSE TYPE NOTE 5.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3-8-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 3-13-19
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 3-13-19
DIRECTOR

OWNER
MAGNOLIA MANOR LLC
3675 PARK AVE., SUITE 301
ELLCOTT CITY, MD 21043
(410) 480-0023

DEVELOPER
TRINITY HOMES MARY LAND, LLC
3675 PARK AVE., SUITE 301
ELLCOTT CITY, MD 21043
(410) 480-0023

NO.	REVISION	DATE
2	REVISE GRADING AND SWM ON LOTS 4 AND 5	12-22-20
1	REVISE TO SHOW THE KITCHEN EXTENSION AS OPTIONAL ON THE PLANS	1-16-20

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN,
HOUSE TYPES AND NOTES
MAGNOLIA MANOR WEST
LOTS 1 - 7 AND OPEN SPACE LOT 8
A SUBDIVISION OF TAX MAP 47 - PARCEL 558
AND A RESUBDIVISION OF TAX MAP 47 - PARCEL 157
"GIDDINGS PROPERTY - LOTS 1 AND 2" (PLAT 5708)

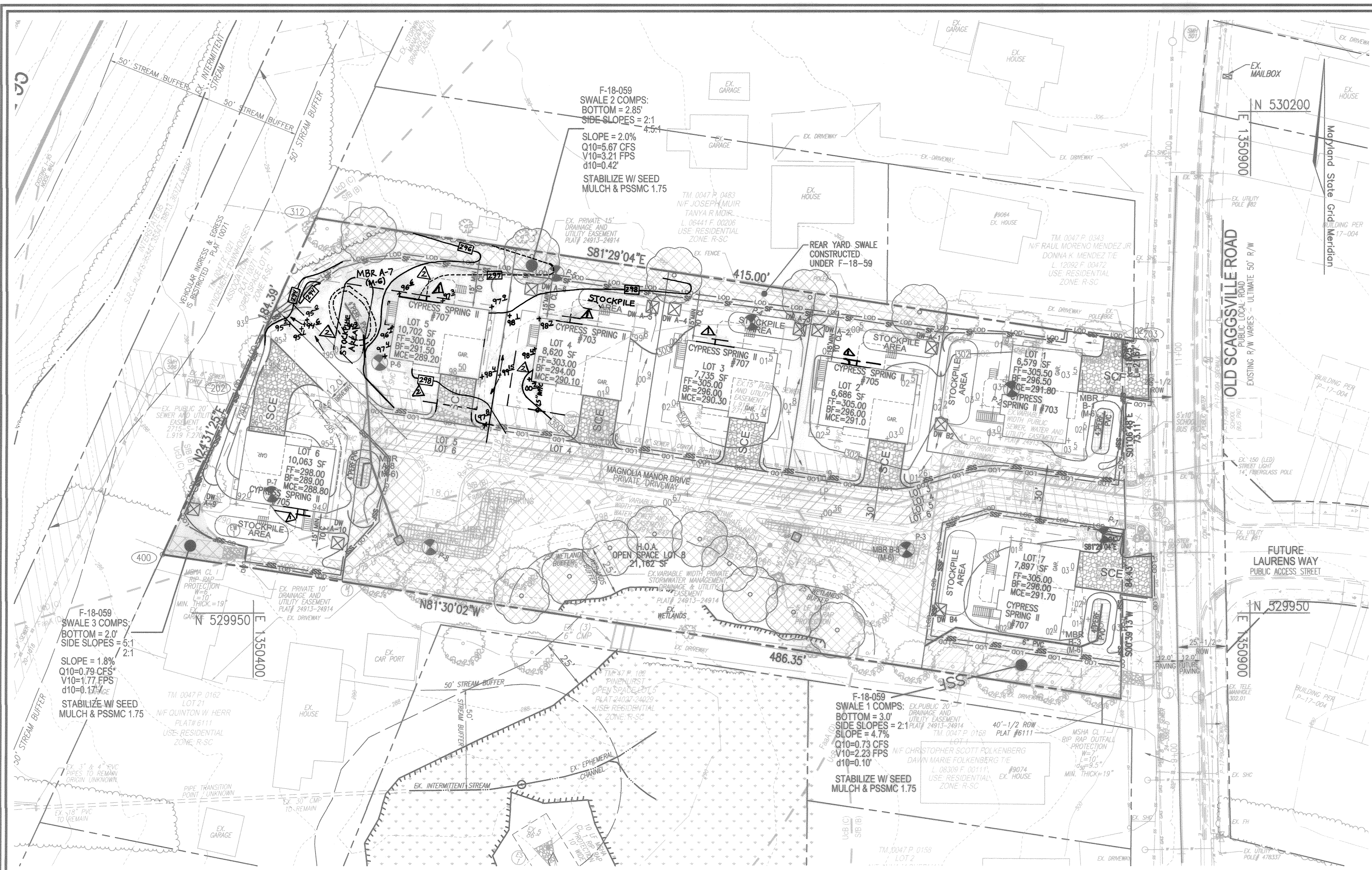
TAX MAP: 47 PARCELS: 157 & 558 BLOCK: 19 ZONING: R-SC
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
3300 N. RIDGE ROAD, SUITE 110
ELLCOTT CITY, MD 21043 TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
DESIGN BY: RHY/EDS
DRAWN BY: KG/EDS
CHECKED BY: RHY
DATE: FEBRUARY 2019
SCALE: AS SHOWN
W.O. NO.: 16-15

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 08-27-2020

2 SHEET OF 5



GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN
SCALE: 1" = 30'

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT - 1 DAY
 - DEVELOPER / CONTRACTOR SHALL REQUEST A PRE-CONSTRUCTION MEETING WITH THE APPROPRIATE ENFORCEMENT AUTHORITY PRIOR TO BEGINNING CONSTRUCTION (1 DAY)
 - NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410-313-1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK. (1 DAY)
 - DRY UTILITIES (CABLE, GAS ELECTRIC) MUST BE INSTALLED AFTER ROAD CONSTRUCTION PRIOR TO THE INSTALLATION OF THE F-18-059 MICRO BOD RETENTION FACILITIES.
 - STAKEOUT LIMITS OF DISTURBANCE. - 1 DAY
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE, WHERE SHOWN HEREON. - 1 DAY
 - IN ACCORDANCE WITH DETAILS HEREON, INSTALL SEDIMENT CONTROL MEASURES AS SHOWN IN PLAN VIEW.
- EXISTING CONTOURS SHOWN HEREON ARE THE PROPOSED GRADES FROM F-18-059
- CONTRACTOR SHALL UTILIZE THE EXISTING CONTROLS INSTALLED UNDER F-18-059 AS SHOWN HEREON IF IN PLACE. - 1 DAY
- AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE INDIVIDUAL LOT FOR HOUSE CONSTRUCTION. - 1 DAY
 - STOCKPILING SHALL BE LIMITED TO ONLOT OR AS SHOWN HEREON. STOCKPILES SHALL BE STABILIZED AS DETAILED HEREON. - 1 DAY
 - CONSTRUCT HOUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1' HIGHER OR 0.2' LOWER THAN THE ELEVATION SHOWN ON THIS PLAN. - 6 MONTHS
 - FINE GRADE LOT AS DETAILED HEREON AND PER SPOT ELEVATION AS SHOWN TO BE IN CONFORMANCE WITH STORMWATER MANAGEMENT SCHEME APPROVED FOR THE PROJECT - 1 DAY
 - UPON COMPLETION OF HOME CONSTRUCTION AND WITH PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, COMPLETE ANY REMAINING FINE GRADING. INSTALL ONLOT STORMWATER MANAGEMENT FACILITIES TO INCLUDE: DRYWELLS AND BRANDBURGERS. INSTALL ROOF GUTTER DOWNSPOUTS TO DIRECT ROOFTOP RUNOFF AS DIRECTED. - 1 DAY
 - ADD TOPSOIL PER THE SPECIFICATIONS SHOWN HEREON. - 1 DAY
 - WITH ALL ONLOT DISTURBANCES COMPLETED, STABILIZE WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH OR EQUAL STABILIZATION. - 1 DAY
 - AFTER PERMISSION HAS BEEN GIVEN BY SEDIMENT CONTROL INSPECTOR, REMOVE ANY REMAINING E/S CONTROLS AND STABILIZE THE DISTURBED AREAS FROM THE AFOREMENTIONED DISTURBANCES WITH PERMANENT SEEDING MIXTURE AND STRAW MULCH. - 1 DAY
- NOTE: ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTRLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING TREELINE
- TREELINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN
- STORMWATER MANAGEMENT FACILITY (M-6)
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EX. PUBLIC 15" SEWER AND UTILITY EASEMENT L.918 F.174 - 2715-5-14
- EX. PUBLIC 20" SEWER AND UTILITY EASEMENT L.919 F.270 2715-5-14
- EX. VARIABLE WIDTH PRIVATE STORMWATER MANAGEMENT DRAINAGE & UTILITY EASEMENT PLAT# 24913-24914
- EX. PUBLIC 20" DRAINAGE AND UTILITY EASEMENT PLAT# 24913-24914
- EX. PRIVATE USE DOWNHILL UTILITY EASEMENT PLAT# 24913-24914
- EX. VARIABLE WIDTH WATER AND UTILITY EASEMENT PLAT# 24913-24914
- EX. 10" PRIVATE SWM EASEMENT PLAT# 24913-24914
- EX. 15" PRIVATE BRANDED AND UTILITY EASEMENT PLAT# 24913-24914
- EXISTING WETLAND
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- SUPER SILT FENCE
- SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE

NOTE:

- REFER TO SHEET 5 FOR DRYWELL (DW) SIZE, NOTES & DETAILS

NOTE:

- STABILIZATION IS TO BE DONE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS REQUIRED BY THE 2011 STDS. & SPECS. WHICHEVER IS MORE RESTRICTIVE.
- LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL. NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

NOTES

- REFER TO SHEETS 4 FOR STANDARD DETAILS AND STABILIZATION NOTES.
- REFER TO SHEET 5 FOR TEST PIT DATA.

OWNER

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3675 PARK AVE., SUITE 301
ELlicott CITY, MD 21043
(410) 480-0023

DEVELOPER

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SITE DEVELOPMENT PLAN
GRADING, SOIL EROSION AND SEDIMENT CONTROL PLAN
MAGNOLIA MANOR WEST

LOTS 1 - 7 AND OPEN SPACE LOT 8
A SUBDIVISION OF TAX MAP 47 - PARCEL 558
AND A RESUBDIVISION OF TAX MAP 47 - PARCEL 157
(GIDDINGS' PROPERTY - LOTS 1 AND 2) (PLAT 5708)

TAX MAP: 47 PARCELS: 157 & 558 BLOCK: 19 ZONING: R-5C
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

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ELlicott CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2020

DESIGN BY: RHV/EDS
DRAWN BY: KG/EDS
CHECKED BY: RHV
DATE: FEBRUARY 2019
SCALE: AS SHOWN
W.O. NO.: 16-15

3 SHEET OF 5

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Edmund 3-8-19
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Walter Johnson 3-13-19
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

William J. Jolly 3-13-19
DIRECTOR DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (DDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD COUNTY CONSERVATION DISTRICT AND/OR MDE.

Michael P. Papp 2/21/19
OWNER/DEVELOPER SIGNATURE DATE

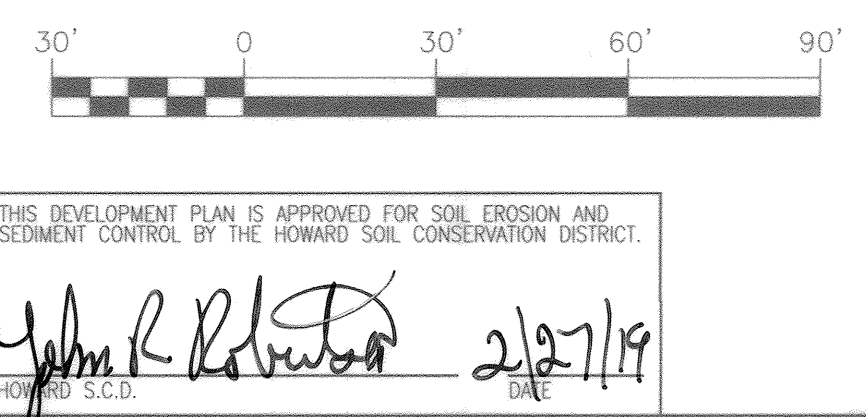
Michael P. Papp
PRINTED NAME & TITLE

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2020, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

Robert H. Vogel 1/22/19
DESIGNER'S SIGNATURE DATE

Robert H. Vogel
PRINTED NAME

MD REGISTRATION NO. 16193
R.L.S. OR R.L.A. (Grade one)



SOILS LEGEND
HOWARD COUNTY SOILS MAP #24 - SAVAGE SW

SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE	FARMLAND	HYDRIC
FaaA	Fallsington sandy loams, 0 to 2 percent slopes	D	0.02	NO	YES	YES
SfB	Sassafras gravelly sandy loam, 2 to 5 percent slopes	B	0.24	NO	YES	NO
UfB	Urban land-Chillum-Belleville complex, 5 to 15 percent slopes	C	0.37	YES	NO	NO

NOTE:
TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

NOTE:
FALLSINGTON SOILS HAVE SEVERE LIMITATIONS FOR HOME CONSTRUCTION.

