

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS ALTERNATIVE COMPLIANCE REQUESTS HAVE BEEN APPROVED.
- THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED 02-02-2016, AND APPROVED ON MARCH 6, 2017. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL, WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 38E1 AND 38H1 WERE USED FOR THIS PROJECT.
- 38E1 N 557,794.508 E 1,393,570.083
0043 N 558,479.001 E 1,386,642.122
- THE PROPERTY BOUNDARY IS BASED ON A FIELD RUN MONUMENTED BOUNDARY SURVEY PERFORMED ON OR ABOUT MAY 8, 2015 BY ROBERT C. HARR, JR., FOR BOHLER ENGINEERING.
- THE SUBJECT PROPERTY IS ZONED R-12 PER THE 10/06/2013 COMPREHENSIVE ZONING PLAN.
- THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES, DATED DECEMBER 14, 2016, AND WAS APPROVED ON MARCH 6, 2017.
- STORMWATER MANAGEMENT PRACTICES ARE REQUIRED IN ACCORDANCE WITH THE DESIGN MANUALS. PRIOR TO SIGNATURE APPROVAL OF THE FINAL PLAN OR SITE DEVELOPMENT PLAN, THE DEVELOPER WILL BE REQUIRED TO EXECUTE THE DECLARATION OF COVENANT AND/OR A DEVELOPER'S AGREEMENT FOR THE CONSTRUCTION OF THE STORMWATER MANAGEMENT PRACTICES AND A MAINTENANCE AGREEMENT.
- EXISTING UTILITIES ARE BASED ON FIELD RUN SURVEY PERFORMED BY BOHLER ENGINEERING, DATED 05-08-2015 AND HOWARD COUNTY RECORD PLANS FOR THE WHITELAND WOODS II AND CANNBURY WOODS SUBDIVISION.
- ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE / EDGE OF EASEMENT.
- DRIVEWAY SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:
A-WIDTH 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE)
B-SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN.)
C-GEOMETRY - MAX. 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45' TURNING RADIUS
D-STRUCTURES (CULVERTS/BRIDGES) CAPABLE OF SUPPORTING 25 GROSS TONS (1 1/2' LOADING)
E- DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
F- STRUCTURE CLEARANCES- MINIMUM 12 FEET
G- MAINTENANCE - MAINTENANCE TO INSURE ALL WEATHER USE
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING AT&T 1-800-252-1133
BGE (CONSTRUCTION SERVICES) 410-637-8713
BGE (EMERGENCY) 410-685-0123
BUREAU OF UTILITIES 410-313-4900
COLONIAL PIPELINE CO 410-795-1390
MISS UTILITY 1-800-257-7777
STATE HIGHWAY ADMINISTRATION 410-531-5533
VERIZON 1-800-743-0033
- THE PROPERTY TOPOGRAPHY IS BASED ON A FIELD RUN SURVEY PERFORMED ON OR ABOUT MAY 8, 2015 BY ROBERT C. HARR, JR., FOR BOHLER ENGINEERING. CONNECTION SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
- IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN (REFER TO WP-16-150).
- THIS PROPERTY IS LOCATED IN THE METROPOLITAN DISTRICT.
- WATER AND SEWER SERVICE TO LOT 1 WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.B OF THE HOWARD COUNTY CODE.
- WATER AND SEWER SERVICE FOR LOT 1 WILL BE PUBLIC. WATER WILL BE PROVIDED THROUGH CONTRACT NO. 14-1404-D. SEWER WILL BE PROVIDED THROUGH CONTRACT NO. 14-1404-D, CONT. NO. 14-3281-D, & CONT. NO. 14-1450-D.
- PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- FOREST CONSERVATION REQUIREMENT HAD BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION ACT. NO CLEARING, GRADING, OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT; HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED. THE FOREST CONSERVATION OBLIGATION HAS BEEN FULFILLED UNDER F-18-008.
- ALTERNATIVE COMPLIANCE REQUEST WP-16-150 WAS APPROVED ON JULY 11, 2017 WITH THE FOLLOWING CONDITIONS:
1- APPROVAL IS LIMITED TO THE REMOVAL OF SPECIMEN TREES #1-4, 6-7, 9, 11-12, 21-23 AS DEPICTED ON THE ALTERNATIVE COMPLIANCE EXHIBIT. ANY PROPOSAL TO REMOVE ADDITIONAL SPECIMEN TREES WILL REQUIRE A NEW ALTERNATIVE COMPLIANCE REQUEST OF AN AMENDMENT TO THIS ALTERNATIVE COMPLIANCE REQUEST.
2- A MINIMUM OF 24 ADDITIONAL, NATIVE, 1" (MIN.) CALIPER TREES SHALL BE PROVIDED ON SITE AS A PART OF THE MITIGATION FOR THE SPECIMEN TREE REMOVAL. THIS MITIGATION WILL BE ADDRESSED WITH THE FINAL PLAN AND WILL BE IN ADDITION TO ANY REQUIRED LANDSCAPE OR FOREST CONSERVATION PLANTINGS. THE MITIGATION WILL ALSO BE SHOWN ON THE ASSOCIATED LANDSCAPE PLAN.
3- DUE TO THEIR PROXIMITY TO THE LOD OR OTHER POTENTIAL DISTURBANCES, INDIVIDUAL TREE PROTECTIVE DEVICES (TREE FENCING) SHALL BE PLACED COMPLETELY AROUND THE CRITICAL ROOT ZONE OF SPECIMEN TREES #5, 8, 10, AND 14, PRIOR TO THE COMMENCEMENT OF ANY GRADING. THIS SHALL BE OUTLINED IN THE PRE-CONSTRUCTION MANAGEMENT PLAN OF THE FINAL FOREST CONSERVATION PLAN (FCP) AND WITHIN THE SEQUENCE OF CONSTRUCTION PROVIDED ON THE SITE DEVELOPMENT PLAN.
4- STEEP SLOPE IMPACT IS LIMITED TO 4,194 SF AS DEPICTED ON THE ALTERNATIVE COMPLIANCE EXHIBIT.
5- FINAL PLAN AND PLAN CANNOT BE APPROVED PRIOR TO WRITTEN CONFIRMATION FROM THE STATE'S ATTORNEY'S OFFICE THAT ALL PROCESSES AND PROCEDURES FOR DISINTERMENT AND REINTERMENT HAVE BEEN APPROVED, AND NOSITE DEVELOPMENT PLAN CAN BE SIGNED UNTIL ALL GRAVES HAVE BEEN SUCCESSFULLY RELOCATED.
FILE REFERENCES: ECP-16-008, F-05-094, S-16-001, S-03-02, P-04-11, WP-16-150, CONT.#14-4220-D, P-17-001, AND F-18-008.
- FOR FLAG OF PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND THE ROAD RIGHT OF WAY ONLY AND NOT ONTO THE FLAG OR PIPESTEM LOT DRIVEWAY.
- STEEP SLOPE IMPACT (25% OR GREATER) IS LIMITED TO 4,194 SF AS DEPICTED ON THE ALTERNATIVE COMPLIANCE.
- THERE IS A FAMILY REINTERMENT WHERE ARCHAEOLOGY CONSULTANTS DISCOVERED AT LEAST NINE CONFIRMED BURIALS. PER A LETTER FROM THE OFFICE OF THE STATES ATTORNEY FOR HOWARD COUNTY, DATED JUNE 14, 2017, THE DISINTERMENT OF ANY REMAINS AND TOMBSTONES IS AUTHORIZED. REINTERMENT OF THE REMAINS WITH IDENTIFYING TOMBSTONES WAS COMPLETED AT ZION CEMETERY, 8600 AMBERTON DRIVE ELK RIDGE, MD 21075.
- THE FLOODPLAIN STUDY AND EXISTING CSW CULVERT ANALYSIS REPORT FOR THIS PROJECT WAS PREPARED BY BOHLER ENGINEERING, DATED MAY 2, 2017, AND WAS APPROVED ON MARCH 6, 2017.
- FOREST STAND DELINEATION REPORT WAS COMPLETED BY FORENVICOM ON FEBRUARY 2ND, 2016. FIELD WORK WAS PERFORMED ON JANUARY 10TH, 2016.
- THIS PROPERTY IS LOCATED APPROXIMATELY 10,500 FEET FROM RUNWAY 15R LOCATED AT BWI THURGOOD MARSHALL AIRPORT. MARYLAND DEPARTMENT OF AVIATION (MDA) HAS REVIEWED AND APPROVED THE PROPOSED PRELIMINARY PLAN, APPROVAL DATE JULY 14, 2016. THE FINAL PLAN HAS BEEN REVIEWED AND APPROVED ON MARCH 29, 2018.
- NO WETLANDS EXIST ON SITE BASED UPON THE NRI WETLAND INVESTIGATION AND FOREST STAND DELINEATION REPORT BY FORENVICOM DATED 02-02-2016.
- LANDSCAPING FOR THIS SUBDIVISION HAD BEEN PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL UNDER F-18-008.
- PUBLIC STREET TREES HAD BEEN PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F-18-008.
- OPEN SPACE LOT 43 SHALL BE DEDICATED TO HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS. OPEN SPACE LOT 44 SHALL BE OWNED BY THE HOMEOWNERS ASSOCIATION.
- A NOISE STUDY HAS BEEN COMPLETED BY FORENSIC ENVIRONMENTAL CONSULTANTS (FORENVICOM) DATED OCTOBER 10TH, 2017, BASED ON THE STUDY RECOMMENDATION ON LOTS 12 & 23 HAS BEEN DESIGNED WITH 1.5' KNEE WALL. LOT 19 HAS BEEN DESIGNED WITH A 2.5' KNEE WALL AND LOT 24 HAS BEEN DESIGNED WITH A BERM ELEVATION OF 116.5' AS REQUIRED.
- THE 65 DBA NOISE CONTOUR LINE DRAWN ON THIS SUBDIVISION PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE; THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- A PRE-SUBMISSION COMMUNITY MEETING WAS HELD ON JULY 21, 2015 AT 6:30 PM AT ROCKBURN ELEMENTARY SCHOOL.
- IN ACCORDANCE WITH SECTION 109.0.E OF THE ZONING REGULATIONS, AT LEAST 10% OF THE DWELLINGS IN THIS R-12 DEVELOPMENT SHALL BE MODERATE INCOME HOUSING UNITS. THIS REQUIREMENT WILL BE MET THROUGH PAYMENT OF A FEE IN LIEU: L. 18649 F. 304.
- ARTICLES OF INCORPORATION FOR THE ELK RIDGE WOODS HOMEOWNERS ASSOCIATION, INC. HAS BEEN FILED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON 8 / 28 / 2018, FILING NO. 1000362011491588 DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE ELK RIDGE WOODS HOMEOWNERS ASSOCIATION, INC. WAS RECORDED SIMULTANEOUSLY WITH THE FINAL PLAN.
- GRADING AND DISTURBANCE OF ENVIRONMENTAL FEATURES AS APPLICABLE FOR OUTFALL LOCATIONS AND/OR UTILITY CONSTRUCTION IS CONSIDERED ESSENTIAL DISTURBANCE; NO OTHER GRADING, DISTURBANCE OR VEGETATIVE REMOVAL IS PERMITTED IN WETLANDS, STREAMS, THEIR BUFFERS, FLOOD PLAN OR FOREST CONSERVATION EASEMENT AREAS.
- PARKING WILL BE RESTRICTED TO ONE SIDE OF THE PUBLIC ROAD(S) WITH 24' PAVEMENT WIDTH.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.
- THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- HIGHLY ERODIBLE SOILS EXIST ON SITE. SEDIMENT CONTROL PLANS WILL ADDRESS THE EROSION CONCERNS.
- AN ENVIRONMENTAL CONCEPT PLAN (ECP-16-008) WAS APPROVED JUNE 2017.
- SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE WEB SOIL SURVEY HOWARD COUNTY, MARYLAND MAP# 20.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.03.

SITE DEVELOPMENT PLAN

ELK RIDGE WOODS

LOT 1

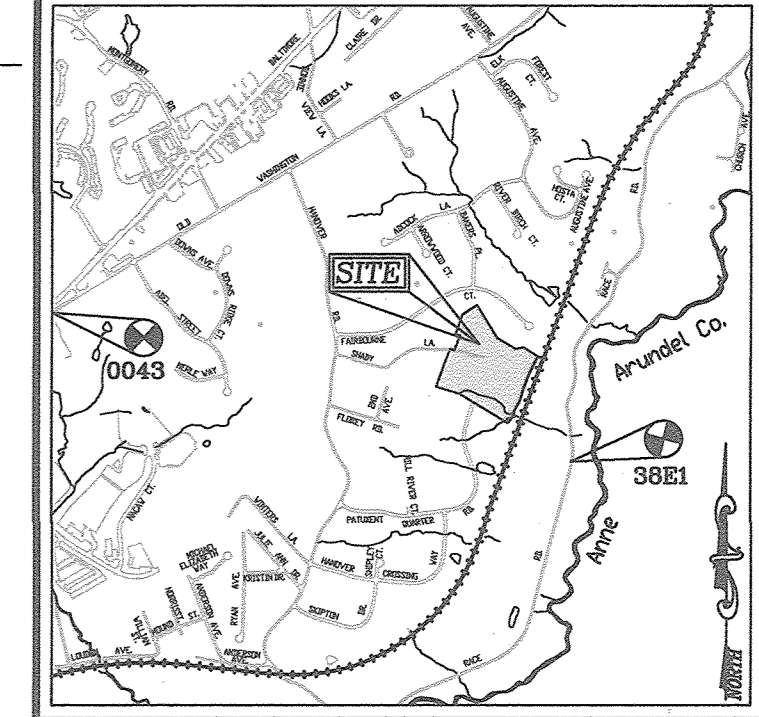
HOWARD COUNTY, MARYLAND

BENCHMARKS

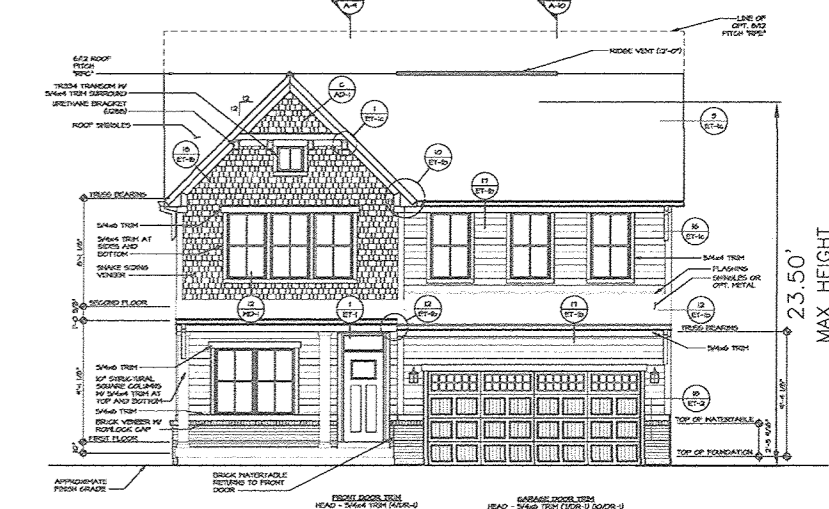
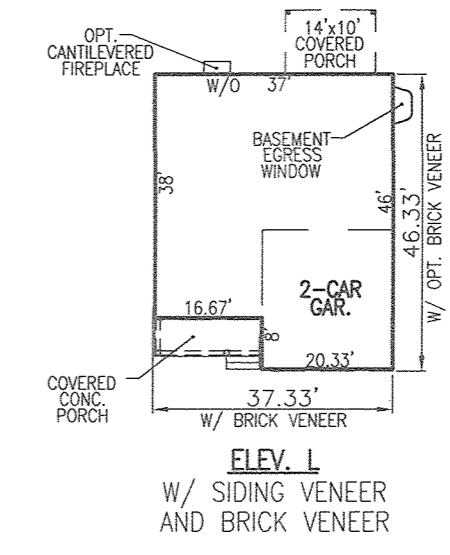
HOWARD COUNTY BENCHMARK 38E1
N 557,794.508 E 1,393,570.083 ELEV: 32.408'
HOWARD COUNTY BENCHMARK 0043
N 558,479.001 E 1,386,642.122 ELEV: 189.49'

LEGEND

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING SIDEWALK



SHEET INDEX		
DESCRIPTION	SHEET NO.	
COVER SHEET	1 OF 3	
SITE LAYOUT, SOILS, GRADING & SOIL EROSION AND SEDIMENT CONTROL PLAN	2 OF 3	
SOIL EROSION AND SEDIMENT CONTROL PLAN NOTES AND DETAILS	3 OF 3	



COLUMBIA
SCALE: 1"=30'

HOUSE TYPE NOTES:

- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND A MICRO-BIORETENTION / RAIN GARDEN FACILITY.
- MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-12 ZONE.
- IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
 - MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
 - MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, ORIELS, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 18 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
 - MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E): 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT, 16 FEET INTO A REAR SETBACK, 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
 - MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.

DEVELOPER
ELM STREET DEVELOPMENT
5074 DORSEY HALL ROAD, SUITE 205
ELLCOTT CITY, MD 21042
410-720-3021

OWNER
ESC ELK RIDGE WOODS LLC
5074 DORSEY HALL ROAD, SUITE 205
ELLCOTT CITY, MD 21042
410-720-3021

NO.	REVISION	DATE
1	REVISE THE PLAN TO ADD THE REQUIRED ADA PARKING AREA FOR THE MODEL HOME, AMEND THE HOUSE ELEVATION, ADD PRIVATE SLAB EASEMENT AND CHANGE GRADING	8-13-19

SITE DEVELOPMENT PLAN

COVER SHEET

ELK RIDGE WOODS

LOT 1

ZONED: R-12
PLAT#25013

TAX MAP 38 GRID 9
1ST ELECTION DISTRICT

PARCELS 756, 340
HOWARD COUNTY, MARYLAND

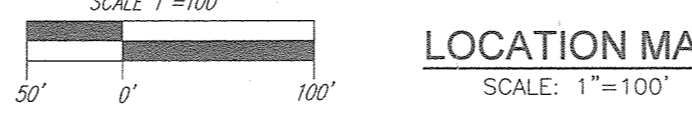
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
3800 N. RIDGE ROAD, SUITE 110 TEL: 410.461.7666
ELLCOTT CITY, MD 21045 FAX: 410.461.8991

PROFESSIONAL CERTIFICATE

DESIGN BY: EDS
DRAWN BY: KG
CHECKED BY: RHV
DATE: MAY 2019
SCALE: AS SHOWN
W.O. NO.: 41446

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 08-29-2020

1 OF 3



SITE ANALYSIS DATA

A. TOTAL PROJECT AREA:	0.21 AC OR 9,161 SF
B. AREA OF PLAN SUBMISSION:	0.21 AC (LOT 1)
C. LIMIT OF DISTURBANCE:	0.23 AC
D. PRESENT ZONING DESIGNATION:	R-12
E. PROPOSED USES FOR SITE AND STRUCTURES:	SINGLE FAMILY DETACHED
F. FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE:	N/A
G. TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAT:	1 BUILDABLE LOT (THIS SDP)
H. TOTAL NUMBER OF UNITS PROPOSED ON SUBMISSION:	1
I. MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE:	N/A
J. NUMBER OF PARKING SPACES REQUIRED BY H.O.C. ZONING REGULATIONS:	2.5 PER SFD HOUSE
K. NUMBER OF PARKING SPACES PROVIDED ON SITE:	4 PER SFD HOUSE
L. OPEN SPACE ON SITE:	REFER TO F-18-008
M. AREA OF RECREATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS:	REFER TO F-18-008
N. BUILDING COVERAGE OF SITE:	N/A
O. APPLICABLE DPZ FILE REFERENCES:	ECP-16-008, F-05-094, S-16-001, S-03-02, P-04-11, WP-16-150, CONT.# 14-4220-D, P-17-001, F-18-008
P. ANY OTHER INFORMATION WHICH MAY BE RELEVANT:	TAX MAP 38, GRID 9, PARCELS 756 & 340 1ST ELECTION DISTRICT
Q. FLOOR AREA RATIO:	N/A

PARKING TABULATION:

- TOTAL NUMBER OF DWELLING UNITS PROPOSED: 1
- PARKING SPACES REQUIRED: 2 SPACES PER UNIT
2 SPACES REQUIRED (1 x 2 = 2)
 - VISITOR PARKING SPACES REQUIRED:
A. SFD - 1 UNIT @ 0.5 SPACES PER UNIT
1 x 0.5 = 0.5 SPACE REQUIRED
 - PARKING SPACES PROVIDED:
SFD = 2 GARAGE / DRIVEWAY
2 SPACES IN GARAGE = 2 SPACES
2 SPACES ON DRIVEWAY = 2 SPACES
TOTAL PARKING SPACES PROVIDED: = 4 SPACES

MODERATE INCOME HOUSING UNITS (MIHU) ALLOCATION EXEMPTIONS TRACKING					
TOTAL NUMBER OF LOTS/UNITS PROPOSED	1				
NUMBER OF MIHU REQUIRED	0				
NUMBER OF MIHU PROVIDED ONSITE (EXEMPT FROM APFO ALLOCATIONS)	0				
NUMBER OF APFO ALLOCATIONS REQUIRED (REMAINING LOTS/UNITS)	1				
MIHU FEE-IN-LIEU (INDICATE LOT/UNIT NUMBERS)	LOT 1				

ADDRESS CHART

BUILDING NO.	STREET ADDRESS
5937	FLOWER ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #
ELK RIDGE WOODS	N/A	1

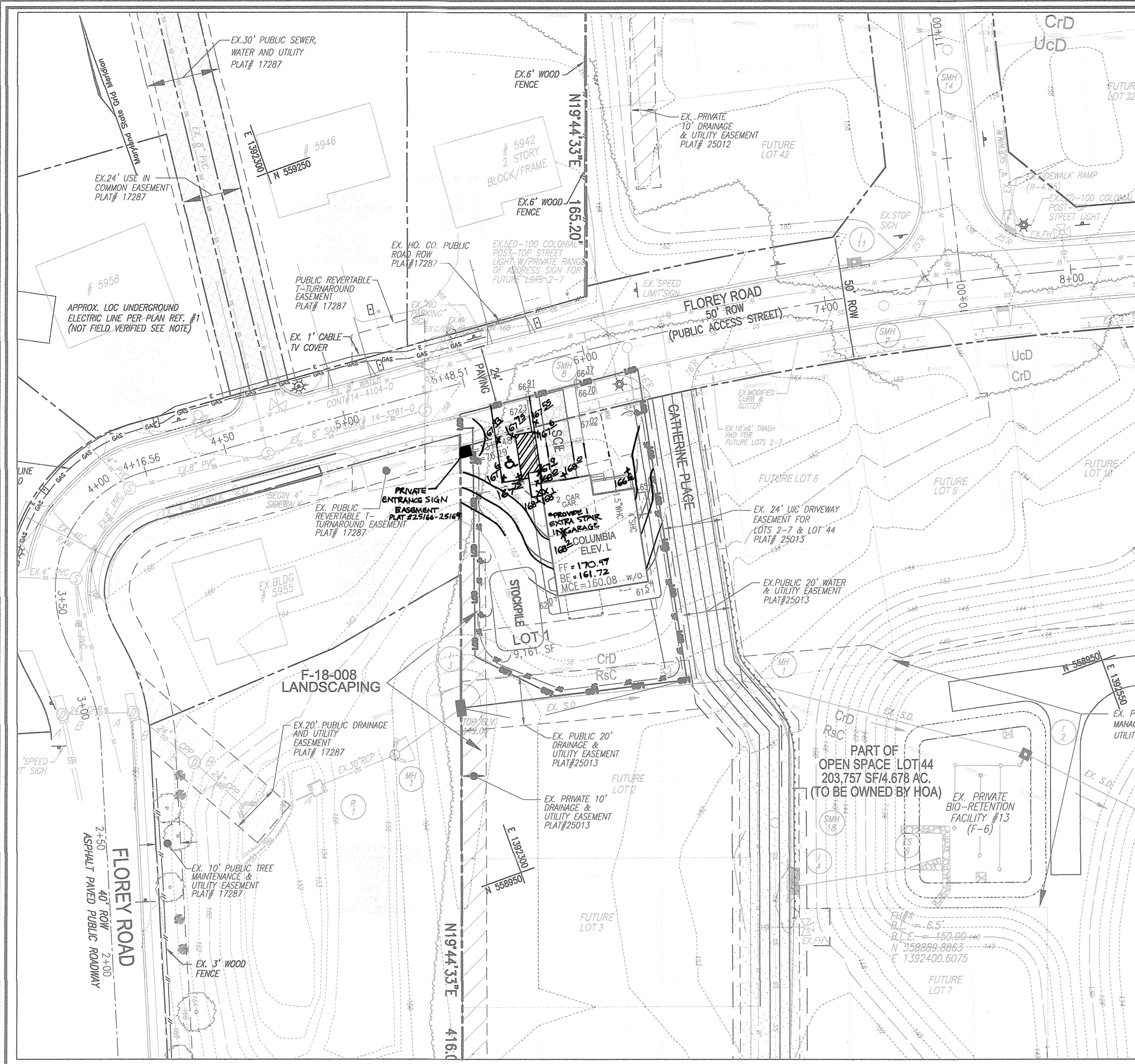
PLAT # OR L/F	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
25010-25013	9	R-12	38	1ST	601201

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

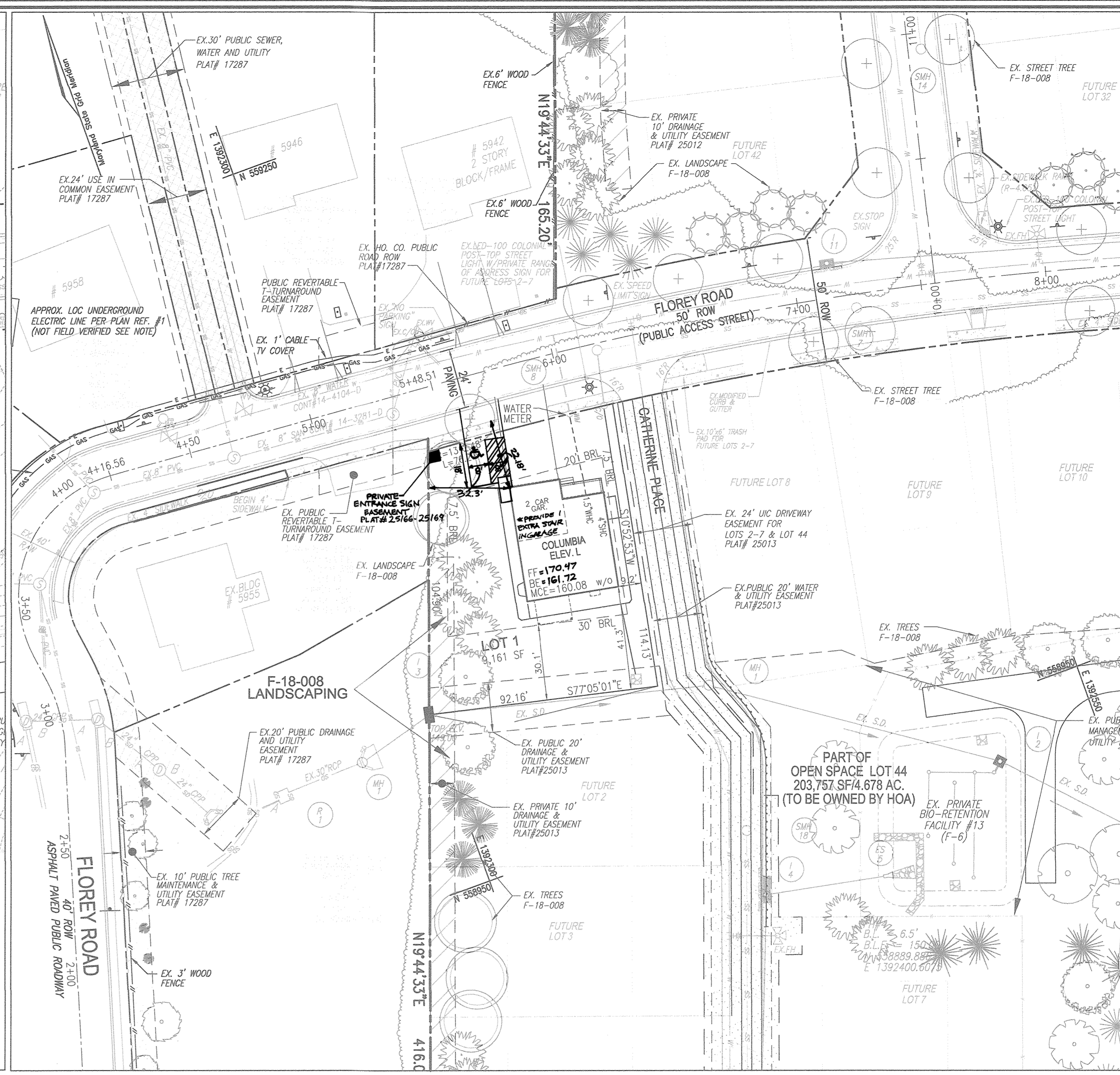
[Signature] 6-3-19
CHIEF DEVELOPMENT ENGINEERING DIVISION

[Signature] 6-6-19
CHIEF DIVISION OF LAND DEVELOPMENT

[Signature] 6-6-19
DIRECTOR



GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
SCALE: 1"=30'



SITE LAYOUT PLAN
SCALE: 1"=30'

LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	EX STORM DRAIN
	EX STORM DRAIN INLET
	EXISTING TREELINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SOILS BOUNDARY
	EXISTING SIDEWALK
	PRIVATE 10' DRAINAGE & UTILITY EASEMENT
	PUBLIC 20' WATER & UTILITY EASEMENT
	24' LIC DRIVEWAY EASEMENT FOR LOTS 2-7 & LOT 44
	PUBLIC 20' DRAINAGE & UTILITY EASEMENT
	EX PUBLIC 20' SEWER, WATER AND UTILITY PLAT# 17287
	EX PUBLIC 20' DRAINAGE & UTILITY EASEMENT PLAT# 17287
	EX 24' USE IN COMMON EASEMENT PLAT# 17287
	EX 10' PUBLIC TREE MAINTENANCE & UTILITY EASEMENT PLAT# 17287
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE

NOTE:
1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DAYS IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

SOILS LEGEND
HOWARD COUNTY SOILS MAP #20

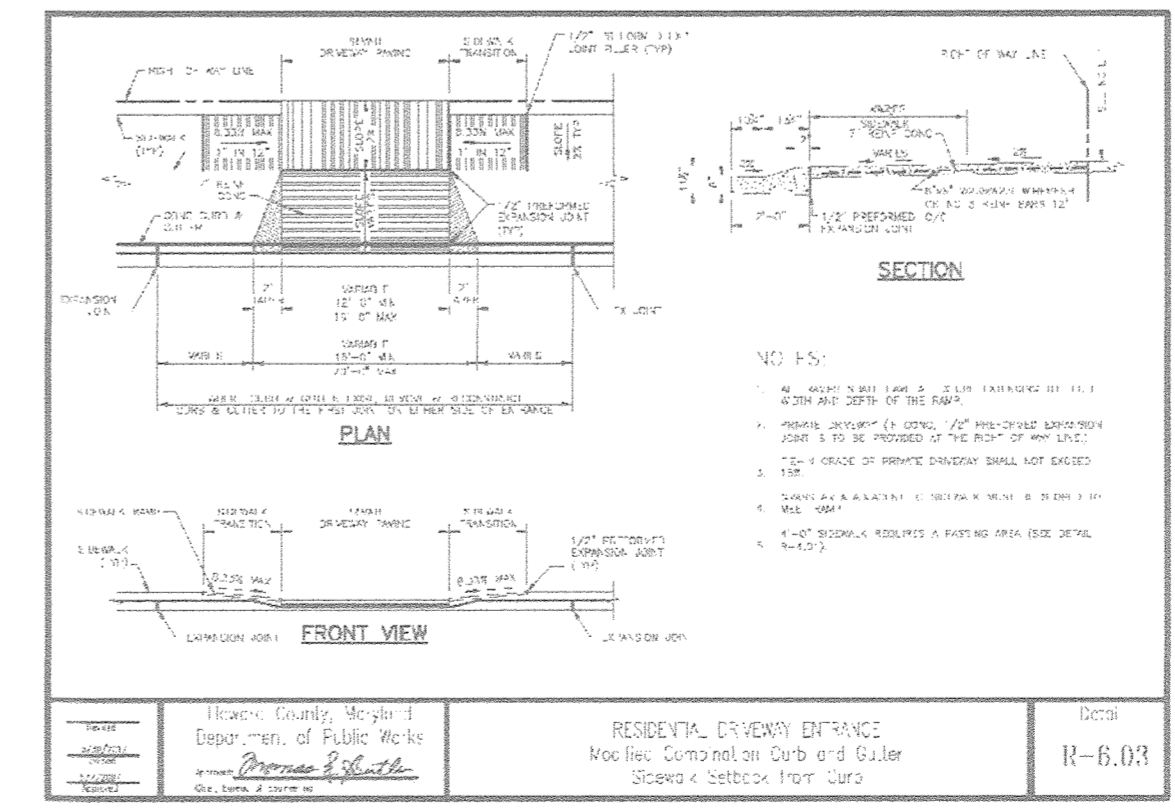
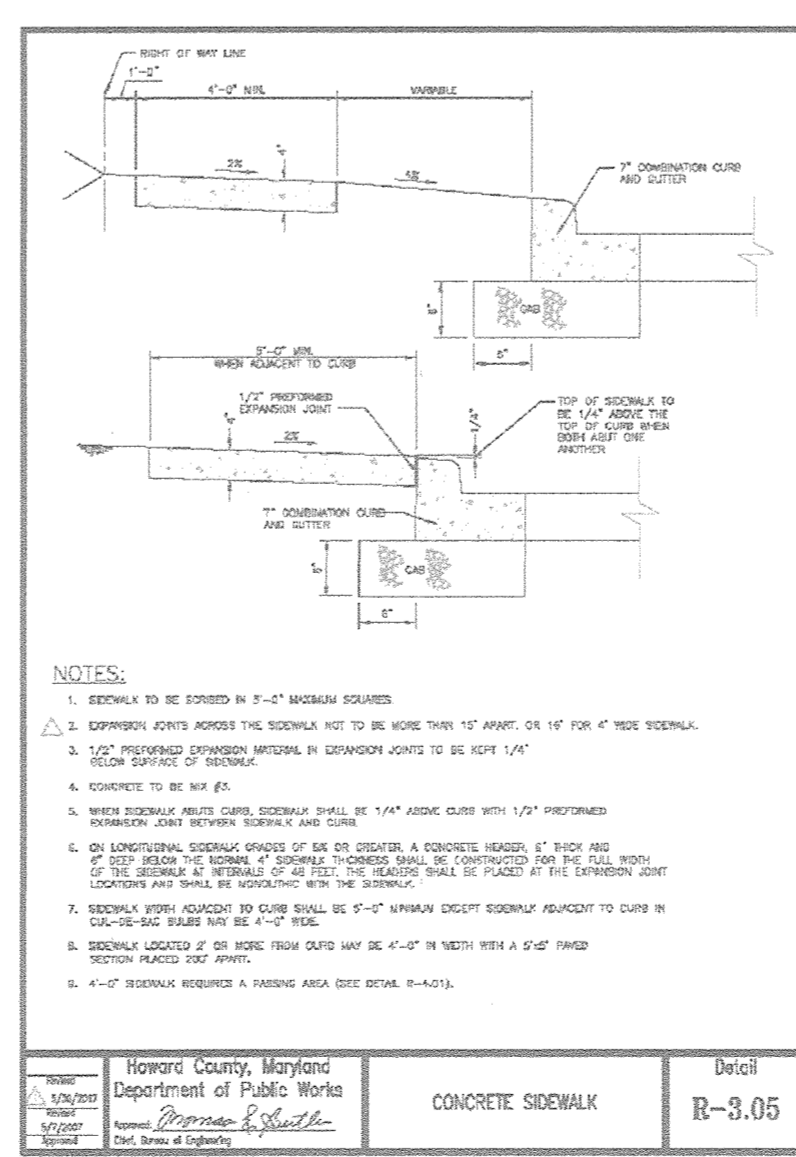
SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE	HYDRIC
C/D	CROOM AND EVERBROD SOILS, 10 TO 15 PERCENT SLOPES	C	0.28	NO	NO
Rsc	RUSSETT FINE SANDY LOAM, 5 TO 10 PERCENT SLOPES	C	0.24	NO	NO
UcD	URBAN LAND CHILLUM BELLSVILLE COMPLEX, 5 TO 15 PERCENT SLOPES	C	0.37	YES	NO

NOTE: TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY. HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NOTE:
- SILT FENCE SHALL BE CURLED UPHILL. NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

SOIL EROSION & SEDIMENT CONTROL PLAN - NOTES

- REFER TO SHEET 3 FOR SEQUENCE OF CONSTRUCTION
- REFER TO SHEETS 3 FOR STANDARD DETAILS AND STABILIZATION NOTES



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6-3-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6-6-19
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6-6-19
 DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I/WE CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION TO THE HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 5-13-19
 OWNER/DEVELOPER SIGNATURE
 PRINTED NAME & TITLE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 5-13-19
 DESIGNER'S SIGNATURE
 ROBERT H. VOGEL
 PRINTED NAME
 MD REGISTRATION NO. 16193
 (P, R.L.S., OR R.L.A. (circle one))

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 5/29/19
 HOWARD S.C.D. DATE

DEVELOPER
 ELM STREET DEVELOPMENT
 5074 DORSEY HALL ROAD, SUITE 205
 ELLICOTT CITY, MD 21042
 410-720-3021

OWNER
 ESC ELK RIDGE WOODS LLC
 5074 DORSEY HALL ROAD, SUITE 205
 ELLICOTT CITY, MD 21042
 410-720-3021

NO.	REVISION	DATE
1	REVISE THE PLAN TO ADD THE REQUIRED ADA PARKING AREA FOR THE MOBIL HOME, AMEND THE HOUSE ELEVATION, ADD PRIVATE SIGN EASEMENT AND CHANGE GRADING	8-13-19

SITE DEVELOPMENT PLAN
 SITE LAYOUT, SOILS, GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
ELK RIDGE WOODS
 LOT 1
 ZONED: R-12
 PLAT#25013
 TAX MAP 38 GRID 9
 1ST ELECTION DISTRICT
 PARCELS 756, 340
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 3300 N. RIDGE ROAD, SUITE 110 TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRES DATE 08-27-2020.
 [Signature] 5-13-19
 ROBERT H. VOGEL, PE No. 16193
 DESIGN BY: EDS
 DRAWN BY: KG
 CHECKED BY: RHV
 DATE: MAY 2019
 SCALE: AS SHOWN
 W.O. NO.: 41446
 2 SHEET OF 3

