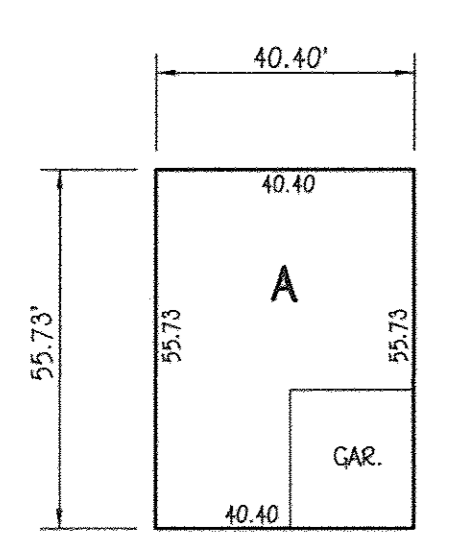
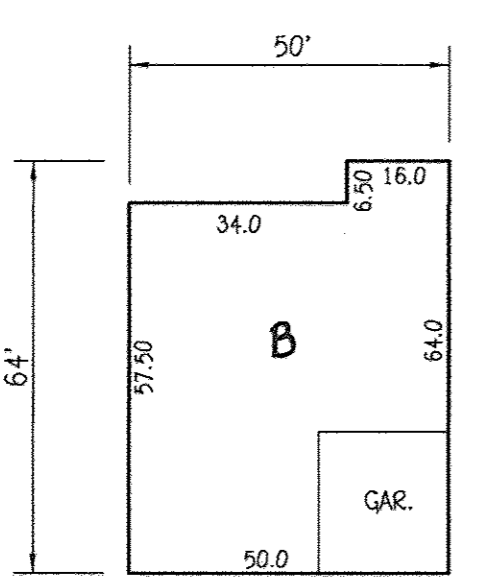


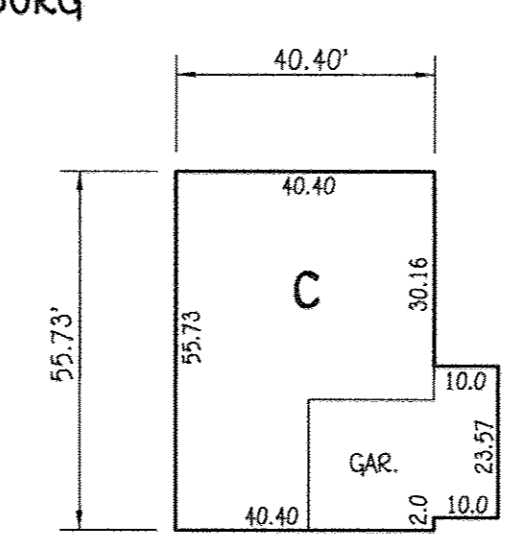
NOTTINGHAM
NO MORN. ROOM
OR 3 CAR GAR.
OXFORD
NO MORN. ROOM
OR 3 CAR GAR.



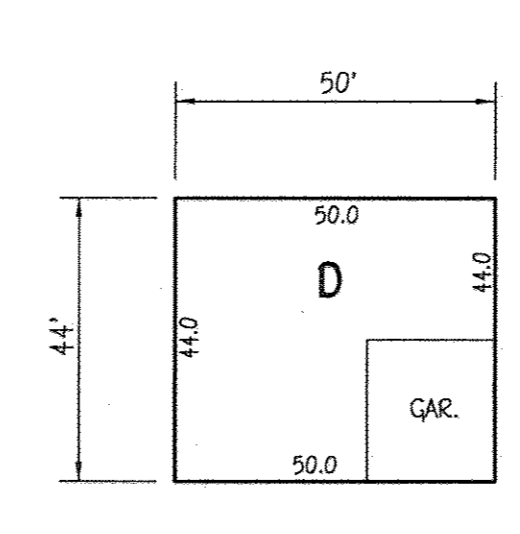
AUGUSTA
NO 3 CAR GAR.
NOTTINGHAM
NO 3 CAR GAR.
OXFORD
NO 3 CAR GAR.
PEMBROKE
NO 3 CAR GAR.



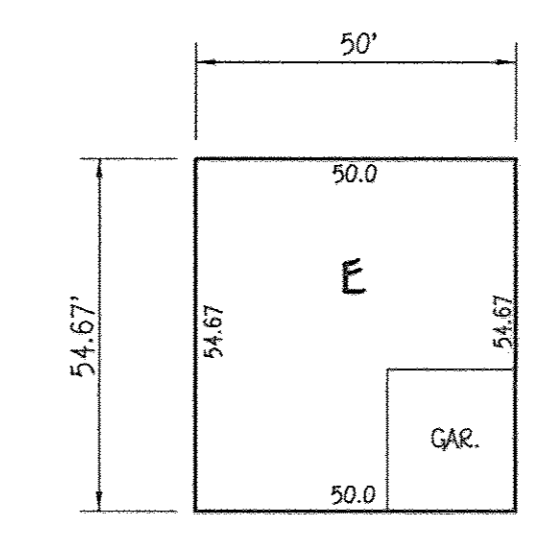
AUGUSTA
W/ALL OPTIONS
BROOKVIEW
W/ALL OPTIONS
COOPER
W/ALL OPTIONS
FEDERALSBURG
W/ALL OPTIONS
KINGSTON
W/ALL OPTIONS
LEXINGTON
W/ALL OPTIONS
NOTTINGHAM
W/ALL OPTIONS
OXFORD
W/ALL OPTIONS
PEMBROKE
W/ALL OPTIONS



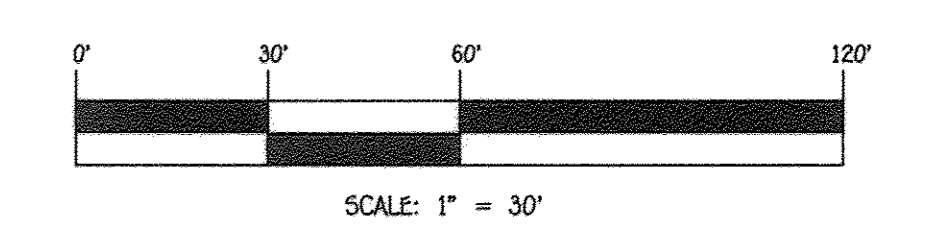
AUGUSTA
W/ALL OPTIONS
NOTTINGHAM
W/ALL OPTIONS
OXFORD
W/ALL OPTIONS
PEMBROKE
W/ALL OPTIONS



BROOKVIEW
NO REAR SUNROOM
KINGSTON
NO REAR SUNROOM
LEXINGTON
NO REAR SUNROOM
NOTTINGHAM
NO REAR SUNROOM
OXFORD
NO REAR SUNROOM



BROOKVIEW
W/ALL OPTIONS
COOPER
NO MORN. ROOM
FEDERALSBURG
W/ALL OPTIONS
KINGSTON
W/ALL OPTIONS
LEXINGTON
W/ALL OPTIONS
NOTTINGHAM
W/ALL OPTIONS
OXFORD
W/ALL OPTIONS
PEMBROKE
W/ALL OPTIONS



NO.	REVISION	DATE



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.
Frank J. Anderson 2/15/18
NAME DATE

OWNER/BUILDER
BEAZER HOMES, LLC
8965 GUILFORD ROAD - SUITE 290
COLUMBIA, MARYLAND 21046
(765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 3/15/18
Chief, Division of Land Development
Date

[Signature] 3-18-18
Chief, Development Engineering Division
Date

[Signature] 3-18-18
Director - Department of Planning and Zoning
Date

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24127	6 & 12	R-ED	23	2	605102

PREVIOUS HOWARD COUNTY FILES:
F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-098, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DREA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009 & SDP-18-018

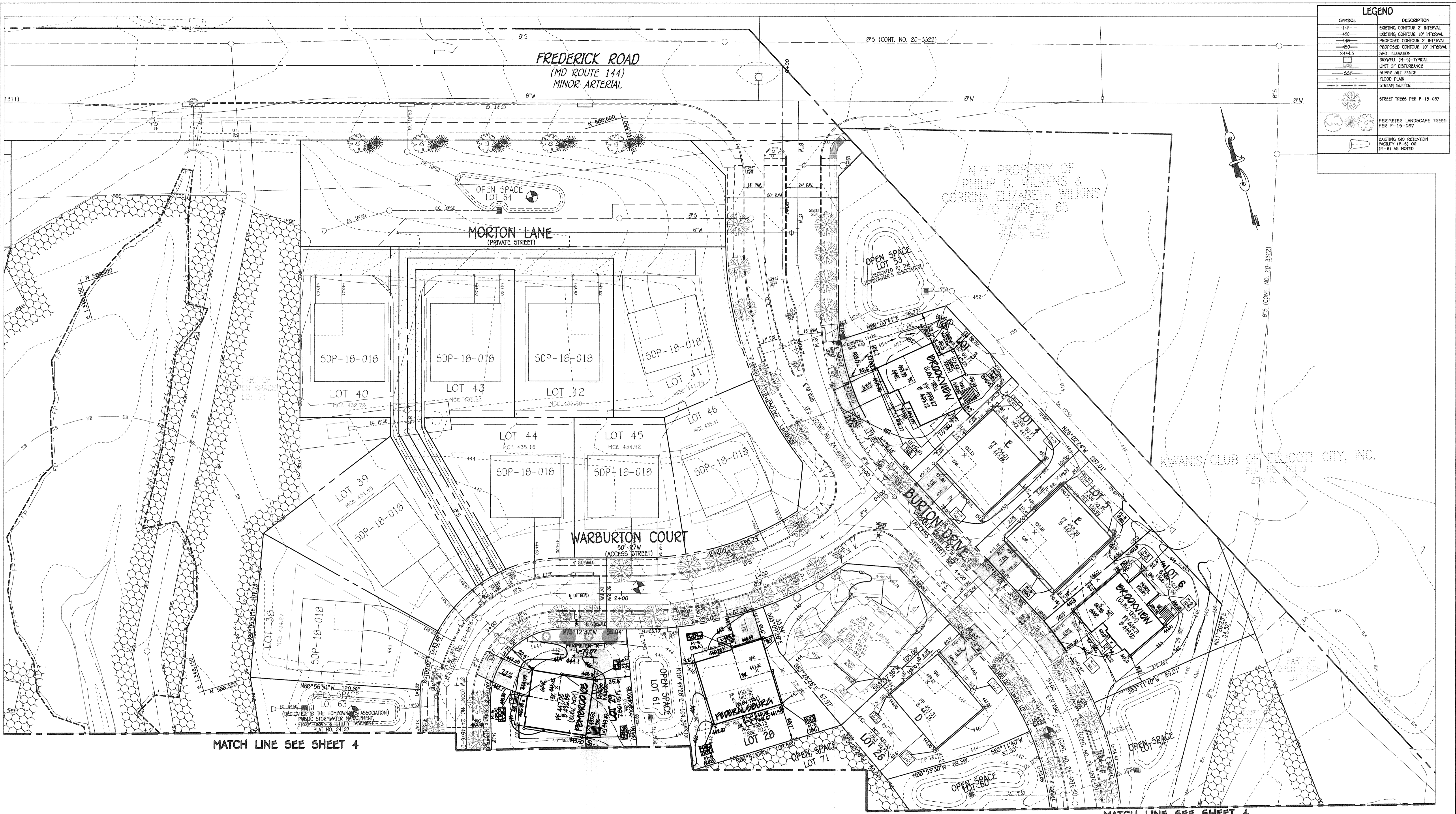
GENERIC BOXES & HOUSE TYPES

SINGLE FAMILY HOUSES
WESTMOUNT
LOTS 3-6, 21-26, 28-32, AND 36-37

PREVIOUS HOWARD COUNTY FILES:
F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-098, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DREA IS RECORDED IN LIBER 12722, FOLIO 248, SDP-18-009, SDP-18-018

TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S: 6 & 12
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: OCTOBER, 2017
SHEET 2 OF 8

LEGEND	
SYMBOL	DESCRIPTION
--- 440 ---	EXISTING CONTOUR 2' INTERVAL
--- 450 ---	EXISTING CONTOUR 10' INTERVAL
--- 440 ---	PROPOSED CONTOUR 2' INTERVAL
--- 450 ---	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
○	DRYWELL (M-5)-TYPICAL
□	LIMIT OF DISTURBANCE
---	SUPER SILT FENCE
---	FLOOD PLAN
---	STREAM BUFFER
○	STREET TREES PER F-15-087
○	PERIMETER LANDSCAPE TREES PER F-15-087
○	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED



MATCH LINE SEE SHEET 4

MATCH LINE SEE SHEET 4

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2295

NO.	REVISION	DATE
4	REVISE H&E & L&D LOT 2, FROM GEN. BOX TO BROOKVIEW	6/1/19
3	REVISE H&E & L&D LOT 6, FROM GEN. BOX TO BROOKVIEW	6/2/19
2	REVISE H&E & L&D LOT 22, FROM GEN. BOX TO BROOKVIEW	6/19/19
1	REVISE H&E & L&D LOT 22, FROM GEN. BOX TO BROOKVIEW	7/4/19



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Frank A. Thompson 3/15/19
 NAME DATE

0' 30' 60' 120'

SCALE: 1" = 30'

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Juan Hernandez 3/15/18
 Chief, Division of Land Development Date

Frank Thompson 3-15-18
 Chief, Development Engineering Division Date

Valerie J. Taylor 3-16-19
 Director - Department of Planning and Zoning Date

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24127	6 & 12	R-ED	23	2	605102

PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-001, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, SGP-18-009, SGP-18-018

SITE DEVELOPMENT/ LANDSCAPE PLAN
 SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 3-6, 21-26, 28-32, AND 36-37
 PHASE 1

PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-001, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, SGP-18-009, SGP-18-018

ZONED: R-ED
 TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO.'S: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: OCTOBER, 2017
 SHEET 3 OF 8

LEGEND	
SYMBOL	DESCRIPTION
--- 440 ---	EXISTING CONTOUR 2' INTERVAL
--- 450 ---	EXISTING CONTOUR 10' INTERVAL
--- 460 ---	PROPOSED CONTOUR 2' INTERVAL
--- 470 ---	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
(M-5)	DRYWELL (M-5)-TYPICAL
---	LIMIT OF DISTURBANCE
---	SURFS SET FENCE
---	FLOOD PLAN
---	STREAM BUFFER
(Symbol)	STREET TREES PER F-15-087
(Symbol)	PERIMETER LANDSCAPE TREES PER F-15-087
(Symbol)	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED



MATCH LINE SEE SHEET 3

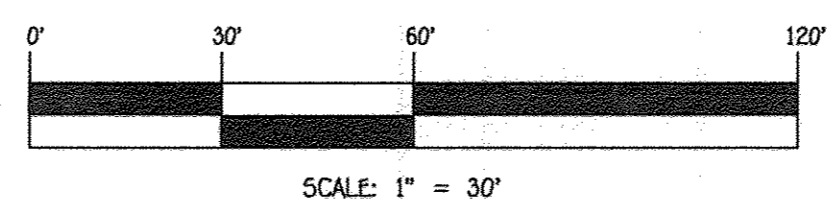
MATCH LINE SEE SHEET 3

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21042
 (410) 461-2299



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Franklin Anderson 2/15/10
 NAME DATE



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

John J. ... 2/15/10
 Chief, Department of Land Development Date

... 2-15-10
 Chief, Development Engineering Division Date

... 2-10-10
 Director - Department of Planning and Zoning Date

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24127	6 & 12	R-ED	23	23	605102

PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-050, ZB-1087M, WP-11-132, ECP-14-050, SP-14-008, WP-15-030, WP-16-081, WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240, F-15-087, S0P-10-009, S0P-10-010

ZONED: R-ED

TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S.: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: OCTOBER, 2017

SITE DEVELOPMENT PLAN

SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 3-6, 21-26, 28-32, AND 36-37

PHASE 1
 PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-050, ZB-1087M, WP-11-132, ECP-14-050, SP-14-008, WP-15-030, WP-16-081, WP-16-143, PB400, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 240, F-15-087, S0P-10-009, S0P-10-010

ZONED: R-ED

TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S.: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 DATE: OCTOBER, 2017

SHEET 4 OF 8

NO.	REVISION	DATE
2	REMOVE DRIVE & GRAD LOT 33 FROM GRAD BOOK TO PERMITS/DRONE	4/10/10
1	Revise Lot 37 Grading and Hardscape to Augusta	4/10/10

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

A. SOIL PREPARATION

- TEMPORARY STABILIZATION**
 - SEEDING PREPARATION CONSISTS OF SOILING TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR DISCS, PLOWS OR REPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST BE ROLLED OR GRADED SMOOTH BUT LEFT IN THE UNDESIRABLE CONDITION. SLOPES 3:1 OR FLATTER MUST BE ROLLED OR GRADED PARALLEL TO THE CONTOUR OF THE SLOPE.
 - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
 - INCORPORATE LIME AND FERTILIZER INTO 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- PERMANENT STABILIZATION**
 - A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - SOIL PH BETWEEN 6.0 AND 7.0.
 - SCALABLE SANDS LESS THAN 500 PPM.
 - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LONGWINDS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) MAY BE ACCEPTABLE.
 - SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
 - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
 - APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. CROPPED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN. THEN SCARPED OR OTHERWISE LOGGED TO A DEPTH OF 1 TO 3 INCHES.
 - APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
 - IF SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS, RAKE LAWN AREAS TO SMOOTH THE SURFACE. REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. REMOVE SURFACE SOIL BY DISKING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT DISKING. REMOVE SURFACE SOIL TO A DEPTH OF 3 TO 5 INCHES WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. SEEDING LOCATIONS MAY BE NECESSARY TO HEAVILY DISTURBED AREAS.

B. TOPSOILING

- TOPSOILING IS THE USE OF PREPARED SOIL MIXTURE FOR ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL SURFACE FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL QUANTITY.
- TOPSOIL SAMPLES FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE CONDITIONS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE UNCOVERED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT AGGRAVATED BY VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE EXISTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR TURFGRASS CONTAINING PARTS OF PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TO PLANT GROWTH.
 - THE SOIL IS SO ADVERSE THAT TREATMENT WITH FERTILIZER IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRES SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
 - TOPSOIL MUST BE A LIGHT SANDY LOAM, CLAY LOAM, SILTY LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY WEIGHT OF SANDS, STONES, GRAVEL, CLASTS, ROOTS, TUSH, OR OTHER MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER.
 - TOPSOIL MUST BE FREE OF NOxious PLANTS OR PLANT PARTS SUCH AS BROMELIAD GRASS, QUACK GRASS, JOHNNY GRASS, HAT GRASS, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - TOPSOIL MUST BE FREE OF WEED SEEDS AS SPECIFIED.
 - TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE AUTHORITY, MAY BE USED IN PLACE OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION
 - EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
 - UNIFORMLY DISPERSE TOPSOIL IN A 5 TO 10 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES.
 - SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SCOURING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER FLOWS.
 - TOPSOIL MUST NOT BE PLACED IN A FROZEN OR HEAVY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRASS AND SEEDING ESTABLISHMENT.

C. SOIL AMENDMENTS (FERTILIZER & LIME SPECIFICATIONS)

- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT NUTRIENT APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A REPUTABLE PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
- FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. NUTRIENT ANALYSIS MUST BE SUBSTITUTED FOR FERTILIZER WITH PROPER APPROVAL FROM THE APPROPRIATE AUTHORITY. FERTILIZERS MUST ALL BE GRADEDED TO THE SITE FREELY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND AMOUNT OF THE PRODUCT.
- LIME MATERIALS MUST BE GRAPHS (HYDRATED OR BURNT LIME) MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). UNDESIRABLE SOILS MUST BE GRAPHS THAT AT LEAST 90 PERCENT WILL PASS THROUGH A #10 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
- LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- WHERE THE SUBSOIL IS EITHER HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GRAPHS LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

DUST CONTROL

- DEFINITION**
CONTROLLING DUST BLOWING AND MOVEMENT ON CONSTRUCTION SITES AND ROADS.
- PURPOSE**
TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES, REDUCE ON AND OFF-SITE DAMAGE, HEALTH HAZARDS AND IMPROVE TRAFFIC SAFETY.
- CONDITIONS WHERE PRACTICE APPLIES**
THIS PRACTICE IS APPLICABLE TO AREAS SUBJECT TO DUST BLOWING AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT TREATMENT.
- SPECIFICATIONS**

- TEMPORARY METHODS**
- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE COMPOD OR TACKLED TO PREVENT BLOWING.
 - VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON MINIMUM SIDE OF THE SITE. CHISEL-TYPE PLOWS SPACED ABOUT 10' APART, SPRING-TOOTHED HARROWS AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - IRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SOIL IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW.
 - BARBERS - SOLID BOND FENCED SILT FENCES, SNOW FENCES, BURIAL FENCES, STRAW BALE DICES AND OTHER MATERIAL CAN BE USED TO CONTROL AND CONTROLLING SOIL BLOWING CURRENTS AND SOIL BLOWING CURRENTS AND SOIL BLOWING. BARBERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN THIS REGARD.
 - CAULK CHAINS - APPLY AT RATES THAT WILL KEEP SURFACE MOIST, MAY NEED RETREATMENT.
- PERMANENT METHODS**
- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER AND PERMANENT STABILIZATION WITH SOIL. EXISTING TREES OR LARGE SHRUBS MAY PROVIDE VALUABLE PROTECTION IF LEFT IN PLACE.
 - TOPSOILING - COVERING WITH LESS EROSION SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
 - STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

TEMPORARY SEEDING NOTES (B-4-4)

- DEFINITION**
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
- PURPOSE**
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.
- CONDITIONS WHERE PRACTICE APPLIES**
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATIONS OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.
- CRITERIA**
- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
 - FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
 - WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

HARDNESS ZONE (FROM FIGURE B.3):	SEED MIXTURE (FROM TABLE B.1):	SEEDING DATE (10-20-22)	LINE RATE
SPECIES	APPLICATION RATE (LB./AC.)	SEEDING DATE	SEEDING DEPTHS
BANLEY	96	3/1 - 5/15	436 LB./AC. (1000 SF)
ONIS	72	8/15 - 10/15	2 TONS/AC (1000 SF)
RYE	112		

PERMANENT SEEDING NOTES (B-4-5)

A. SEED MIXTURES

- GENERAL USE**
- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PURPOSES FOR THE SOIL. B.2 ENTER SELECTED MIXTURES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY.
 - SEEDS MUST BE PLACED IN THE SOIL.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS MULCH OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE SECTION 1-101 - COVERING SPECIAL PLANTING.
 - FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING IN ACCORDANCE TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
- TURFGRASS MIXTURES**
- AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MODERATE TO HIGH LEVEL OF MAINTENANCE.
- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED TURFGRASS CULTIVARS CONTAINS 95 TO 100 PERCENT PURE CULTURE OF BURESS/PERENNIAL RYE. 1.5 TO 2.0 TONS PER 1000 SQUARE FEET. 100 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS WITH IRRIGATION. FULL SUN HISTORIC AREAS WHERE ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MODERATE TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS/CERTIFIED TURFGRASS CULTIVARS SEEDING: 2 POINTS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CERTIFIED BURESS/PERENNIAL RYE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS WITH IRRIGATION. FULL SUN HISTORIC AREAS WHERE ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MODERATE TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS/CERTIFIED TURFGRASS CULTIVARS SEEDING: 2 POINTS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CERTIFIED BURESS/PERENNIAL RYE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS WITH IRRIGATION. FULL SUN HISTORIC AREAS WHERE ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MODERATE TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS/CERTIFIED TURFGRASS CULTIVARS SEEDING: 2 POINTS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CERTIFIED BURESS/PERENNIAL RYE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS WITH IRRIGATION. FULL SUN HISTORIC AREAS WHERE ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MODERATE TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS/CERTIFIED TURFGRASS CULTIVARS SEEDING: 2 POINTS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CERTIFIED BURESS/PERENNIAL RYE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
 - ENTIRELY BURESS/PERENNIAL RYE: FULL SUN HISTORIC AREAS WITH IRRIGATION. FULL SUN HISTORIC AREAS WHERE ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MODERATE TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL TURFGRASS CULTIVARS/CERTIFIED TURFGRASS CULTIVARS SEEDING: 2 POINTS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE CERTIFIED BURESS/PERENNIAL RYE CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
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PERMANENT SEEDING SUMMARY

HARDNESS ZONE (FROM FIGURE B.3):	SEED MIXTURE (FROM TABLE B.1):	FERTILIZER RATE (10-20-20)	LINE RATE
SPECIES	APPLICATION RATE (LB./AC.)	SEEDING DATE	SEEDING DEPTHS
B	100	1/1-1/15	436 LB./AC. (1000 SF)
T	100	1/1-1/15	2 TONS/AC (1000 SF)

B. SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- GENERAL SPECIFICATIONS**
- A CLASS OF TURFGRASS SOD MUST BE UNIFORM STATE CERTIFIED. SOD LABELS MUST BE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
 - SOD MUST BE MAINTAINED AT A MINIMUM SOIL THICKNESS TO 3/4 INCH PLUS OR MINUS 1/4 INCH AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST ENCLOSE TOP SURFACE AND THATCH, BROKEN PADS AND TOWN OF UNWORN ONES MUST NOT BE ACCEPTABLE.
 - STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND BEHOLD THEIR SIZE AND SHAPE WHEN SUPPORTED VERTICALLY WITH A FIRM GRASS ON THE UPPER 10 PERCENT OF THE SECTION. SOD MUST NOT BE HARDED OR TRANSPARENT WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ESTABLISHMENT.
 - SOD MUST BE HARDED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- SOD INSTALLATION**
- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DIRT SUBSOIL, LIGHTLY BRIGADE THE SURFACE, IMMEDIATELY PRIOR TO LAYING THE SOD.
 - LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT ROOTS FROM WEDGING UNDER OR BETWEEN THE SOD.
 - WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. SOIL AND SAND PEGS OR OTHER DEVICES SHOULD BE USED TO PREVENT SLIPSLIP ON SLOPES. INSURE SOIL CONTACT EXISTS BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE.
 - WATER THE SOD IMMEDIATELY FOLLOWING LAYING AND TAMPING UNTIL THE UNDERSIDE OF THE SOD IS MOIST AND THE SOIL SURFACE BELOW THE SOD IS MOIST. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY FEET OF SOD WITHIN EIGHT HOURS.
- SOD MAINTENANCE**
- IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES WATER SOD DURING THE HOUR OF THE DAY TO PREVENT WILTING.
 - AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

STANDARD STABILIZATION NOTE

- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
- THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DICES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (3:1).
 - SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE UNLESS ACTIVE GRADING.

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

- DEFINITION**
A mound or pile of soil protected by appropriate erosion and sediment control measures.
- PURPOSE**
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.
- Conditions Where Practice Applies**
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.
- Criteria**
- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
 - The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a 3:1 slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
 - Runoff from the stockpile area must drain to a suitable sediment control practice.
 - Access the stockpile area (from the upgrade side).
 - Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
 - Where runoff concentrations along the toe of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
 - Stockpiles must be stabilized in accordance with the 3/7 day stabilization requirement as well as standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
 - If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.
- Maintenance**
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING & MULCHING

DEFINITION

THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES
TO THE SURFACE OF ALL PERIMETER DITCHES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL DISTURBED AREAS NOT UNDER ACTIVE GRADING.

A. SEEDING

- SPECIFICATIONS**
 - ALL SEED MUST MEET THE REQUIREMENT OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED IN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT REFERRED TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY THE TYPE OF SEED AND SEEDING RATE.
 - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEED MIXTURE MUST BE APPLIED WHEN THE GROUND THAWES.
 - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED UNLESS THE DATE INDICATED ON THE CONTAINER AND FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 90 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
 - SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STABILIZERS OR CHEMICALS USED FOR WEEDCONTROL. UNTIL FURTHER TESTS HAVE BEEN ELAPSED (14 DAYS MIN) TO PREVENT OXIDATION OF PHENO-TOXIC MATERIALS.
- APPLICATION**
 - DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL BROADCAST OR BROADCAST SPREADERS.
 - PERMANENT SEEDING: THIS INCLUDES USE OF CONVENTIONAL BROADCAST OR BROADCAST SPREADERS.
 - IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN: 100 POUNDS PER ACRE. TOTAL OF SOLUBLE NITROGEN: P.0 (PHOSPHORUS): 200 POUNDS PER ACRE. E.P.0 (POTASSIUM): 200 POUNDS PER ACRE.
 - LIME: USE ONLY GRAPHS AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE) MAY BE APPLIED BY HAND AND OVER THE AREAS TO PREPARE A PROPER SEEDING BED. STONES AND OTHERS OVER 1 1/2 INCHES IN DIAMETER THE RESULTING SEEDING MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
 - IF SOIL MOISTURE IS DIFFICULT TO SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH OVER 2 TO 4 DAYS DEPENDENT ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDING IS MADE LATE IN THE PLANTING SEASON, IN ANOMALY DRY OR HOT SEASONS, OR ON ADVERSE SITES.
 - CULTRATING: SEEDERS ARE REQUIRED TO PURCHASE IN SUCH A MANNER AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVER. SEEDERS MUST BE FIRM AFTER PLANTING.
 - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
 - HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
 - IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN: 100 POUNDS PER ACRE. TOTAL OF SOLUBLE NITROGEN: P.0 (PHOSPHORUS): 200 POUNDS PER ACRE. E.P.0 (POTASSIUM): 200 POUNDS PER ACRE.
 - LIME: USE ONLY GRAPHS AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE) MAY BE APPLIED BY HAND AND OVER THE AREAS TO PREPARE A PROPER SEEDING BED. STONES AND OTHERS OVER 1 1/2 INCHES IN DIAMETER THE RESULTING SEEDING MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
 - IF SOIL MOISTURE IS DIFFICULT TO SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH OVER 2 TO 4 DAYS DEPENDENT ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDING IS MADE LATE IN THE PLANTING SEASON, IN ANOMALY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

B. MULCHING

- MULCH MATERIALS (IN ORDER OF PREFERENCE)**
 - STRAW CONSISTING OF THOROUGHLY DRESSED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOxious WEED SEEDS AS SPECIFIED IN THE MARYLAND STATE SEED LAW AND NOT MUSTY, MOLLY, CAVED, DEGRADED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STEERLE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED.
 - WOOD CELLULOSE FIBER MULCH (WCM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSING INTO UNIFORM FIBROUS PHYSICAL STATE.
 - WCM IS TO BE DRY, CLEAN AND CONTAIN A GREEN TINT IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLORED TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SPREAD SLURRY.
 - WORK INCLUDING DYE: MUST CONTAIN NO CORROSIVE OR GROWTH INHIBITING FACTORS.
 - WCM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER AERATION AND WILL BLEND WITH SOIL, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BUTTER-LIKE GROUND COVER ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
 - WCM MATERIALS MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
 - WCM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MAXIMUM.
- APPLICATION**
 - APPLY MULCH TO ALL SEEDING AREAS IMMEDIATELY AFTER SEEDING.
 - WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDING AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
 - WOOD CELLULOSE FIBER MULCH AS MULCH MUST BE APPLIED TO A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER MULCH WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - ANCHORING
 - PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS LISTED BY PREFERENCE, DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
 - A MULCH ANCHORING TOOL IS A TRACKER DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. A MINIMUM OF TWO SUCH TOOLS SHOULD BE USED TO PREVENT TRACKING ON SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
 - WOOD CELLULOSE FIBER MULCH MAY BE USED FOR ANCHORING. STRAW APPLY THE FIBER BANDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER MULCH WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - SYNTHETIC BUNDLES SUCH AS ACRYLIC LIME (A60-TACK), DCA-70, PEROSSET, TERRA TAC II, TERRA TACK AC, OR OTHER APPROVED EQUAL MAY BE USED. FOLLOW APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. APPLICATION OF LIQUID BUNDLES NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ACRYLIC BUNDLES IS STRICTLY PROHIBITED.
 - LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4-15 FEET WIDE AND 300 TO 3,000 FEET LONG.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- A pre-construction meeting must occur with the Howard County Department of Public Works, Construction Inspection Division (CID), 410-313-1999 after the future L.O.D and protected areas are marked clearly in the field. A minimum of 48 hour notice to CID must be given at the following stages:
 - Prior to the start of earth disturbance.
 - Upon completion of the installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading.
 - Prior to the start of another phase of construction or opening of another grading unit, d. Prior to the removal or modification of sediment control practices.
 Other building or grading inspection approvals may not be authorized until this initial approval by the inspection Agency is made. Other related state and federal permits shall be referenced, to ensure coordination and to avoid conflicts with this plan.
 - All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
 - Following initial soil disturbance or re-disturbance, permanent or temporary stabilization is required within three (3) calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3 horizontal to 1 vertical (3:1); and seven (7) calendar days as to all other disturbed areas on the project site except for those areas under active grading.
 - All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, for topsoil (Sec. B-4-2), permanent seeding (Sec. B-4-5), temporary seeding (Sec. B-4-4) and mulching (Sec. B-4-3). Temporary stabilization with mulch alone can only be applied between the fall and spring seeding dates if the ground is frozen. Incremental stabilization (Sec. B-4-1) specifications shall be enforced in areas with >15' of cut and/or fill. Stockpiles (Sec. B-4-8) in excess of 20' must be benched with stable outlet. All concentrated flow, steep slopes, and highly erodible areas shall receive soil stabilization matting (Sec. B-4-6).
 - All sediment control structures are to remain in place, and are to be maintained in operative condition until permission for their removal has been obtained from the CID.
- Site Analysis for Total Site Area:**
- Total Area of Site: 3.29 +/- Acres
 L.O.D Total Area Disturbed: 3.29 +/- Acres
 Area to be roofed or paved: 1.22 +/- Acres
 Area to be vegetatively stabilized: 2.07 +/- Acres
 Total Cut: 5,195 Cu.Yds +/-
 Total Fill: 3,015 Cu. Yds.
 Off-site waste/borrow area location: N/A

7. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.

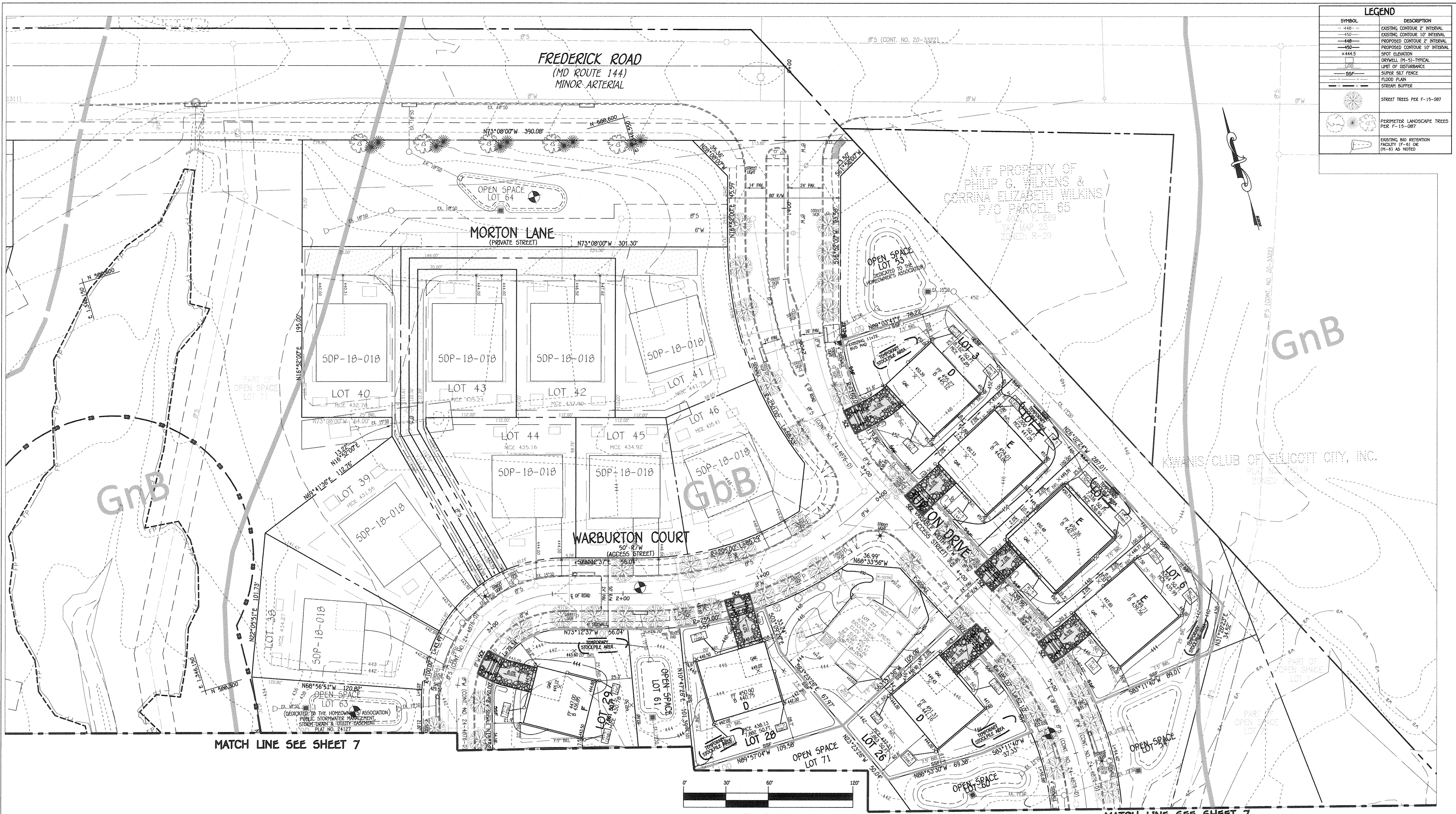
- Additional sediment control must be provided, if deemed necessary by the CID. The site and all controls shall be inspected by the contractor weekly; and the next day after each rain event. A written report by the contractor, made available upon request, is part of every inspection and should include:

- Inspection date
- Inspector name (routine, pre-storm event, during rain event)
- Name and title of inspector
- Weather information (current conditions as well as time and amount of last recorded precipitation)
- Brief description of project's status (e.g., percent complete) and/or current activities
- Evidence of sediment discharges
- Identification of plan deficiencies
- Identification of sediment controls that require maintenance
- Identification of missing or improperly installed sediment controls
- Compliance status regarding the sequence of construction and stabilization requirements
- Photography
- Monitoring/sampling
- Maintenance and/or corrective action performed
- Other inspection items as required by the General Permit for Stormwater Associated with Construction Activities (NPDES, MD).

9. Trenches for the construction of the utilities is limited to three pipe lengths or that which can and shall be back-filled and stabilized by the end of each workday, whichever is shorter.

10. All major changes or revisions to the plan or sequence of construction must be reviewed and approved by the HSCD prior to proceeding with construction. Minor revisions may be allowed by the CID per the list of HSCD-approved field changes.

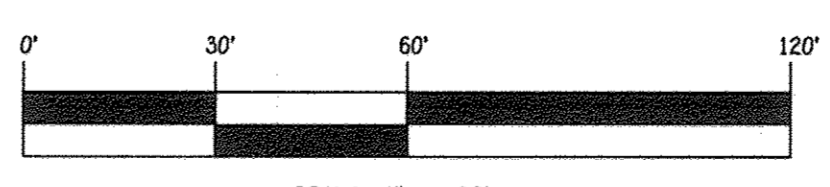
- Disturbance shall not occur outside the L.O.D. A project is to be sequenced so that grading activities begin on one grading unit (maximum acre



LEGEND	
SYMBOL	DESCRIPTION
--- 440 ---	EXISTING CONTOUR 2' INTERVAL
--- 450 ---	EXISTING CONTOUR 10' INTERVAL
--- 440 ---	PROPOSED CONTOUR 2' INTERVAL
--- 450 ---	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
(M-5)	DRYWELL (M-5)-TYPICAL
---	LIMIT OF DISTURBANCE
---	SUPER SILT FENCE
---	FLOOD PLAN
---	STREAM BUFFER
(Symbol)	STREET TREES PER F-15-087
(Symbol)	PERIMETER LANDSCAPE TREES PER F-15-087
(Symbol)	EXISTING BIO RETENTION FACILITY (F-6) OR (M-6) AS NOTED

MATCH LINE SEE SHEET 7

MATCH LINE SEE SHEET 7



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLSWORTH CITY, MARYLAND 21042
 (410) 461 - 2855

NO.	REVISION	DATE



PROFESSIONAL CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *John Manalansan II* DATE: 2/13/18
 LICENSED PROFESSIONAL ENGINEER JOHN MANALANSAN II

BUILDER/DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Brian Knauff* DATE: 2/15/18
 SIGNATURE OF DEVELOPER

APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY
 Signature: *John K. Wilkins* DATE: 2/22/18
 HOWARD SOIL CONSERVATION DISTRICT

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *John K. Wilkins* DATE: 3/15/18
 Chief, Division of Land Development

Signature: *John K. Wilkins* DATE: 3-15-18
 Chief, Development Engineering Division

Signature: *John K. Wilkins* DATE: 3-16-18
 Director - Department of Planning and Zoning

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24127	6 & 12	R-ED	23	2	605102

PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE ORRA IS RECORDED IN LIBER 12722, FOLD 248, F-15-087, SDP-10-009, SDP-18-018
 ZONED: R-ED
 TAX MAP NO: 23 P/O PARCEL NO: 149 GRID NO'S: 6 & 12
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: OCTOBER, 2017
 SHEET 6 OF 8

SEDIMENT EROSION CONTROL PLAN
 SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 3-6, 21-26, 28-32, AND 36-37
 PHASE 1
 PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE ORRA IS RECORDED IN LIBER 12722, FOLD 248, F-15-087, SDP-10-009, SDP-18-018
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 SCALE: AS SHOWN DATE: OCTOBER, 2017
 SHEET 6 OF 8

MATCH LINE SEE SHEET 6

MATCH LINE SEE SHEET 6

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
x444.5	SPOT ELEVATION
○	DRYWELL (M-5)-TYPICAL
---	LIMIT OF DISTURBANCE
---	5' HIGH 3" X 3" FENCE
---	FLOOD PLAIN
---	STREAM BUFFER
○	STREET TREES PER F-15-087
○	PERIMETER LANDSCAPE TREES PER F-15-087
○	EXISTING 800 RETENTION FACILITY (F-8) OR (M-6) AS NOTED



SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL FLD.
 ELLSWORTH CITY, MARYLAND 21042
 (410) 461-2895



PROFESSIONAL CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Frank John Malansan II* DATE: 2/15/18
 LICENSED PROFESSIONAL: FRANK JOHN MALANSAN II

BUILDER/DEVELOPER'S CERTIFICATE
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Brian Knott* DATE: 2/15/18
 SIGNATURE OF DEVELOPER: BRIAN KNOTT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John K. Roberts* DATE: 2/12/18
 HOWARD SOIL CONSERVATION DISTRICT

OWNER/BUILDER
 BEAZER HOMES, LLC
 8965 GUILFORD ROAD - SUITE 290
 COLUMBIA, MARYLAND 21046
 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *Dan Hamann* DATE: 3/15/18
 Chief, Development Engineering Division: *John Choi* DATE: 3-13-18
 Director - Department of Planning and Zoning: *William Spivey* DATE: 3-16-18

PROJECT	PHASE	PARCEL NO.
WESTMOUNT	1	149

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
24127	6 & 12	R-ED	23	2	605102

PREVIOUS HOWARD COUNTY FILES:
 F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-001, WP-16-143, PB408, THE DRRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, SGP-18-009, SGP-18-018
 ZONED: R-ED
 TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S: 6 & 12
 SECOND ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: OCTOBER, 2017
 SHEET 7 OF 8

SEDIMENT EROSION CONTROL PLAN
 SINGLE FAMILY HOUSES
WESTMOUNT
 LOTS 3-6, 21-26, 28-32, AND 36-37
 PHASE 1
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 SHEET 7 OF 8

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH DRY WELLS:

EROSION AND SEDIMENT CONTROL: FINAL GRADING FOR PROPOSED DRY WELLS SHOULD NOT TAKE PLACE UNTIL THE SURROUNDING SITE IS COMPLETELY STABILIZED...

SOIL COMPACTION: EXCAVATION SHOULD BE CONDUCTED IN DRY CONDITIONS WITH EQUIPMENT LOCATED OUTSIDE OF THE PRACTICE TO MINIMIZE BOTTOM AND SIDEWALL COMPACTION...

UNDERGROUND CHAMBER: A SUBSURFACE PREFABRICATED CHAMBER MAY BE USED, PROVIDED A RED-LINE TO THIS PLAN SET IS APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

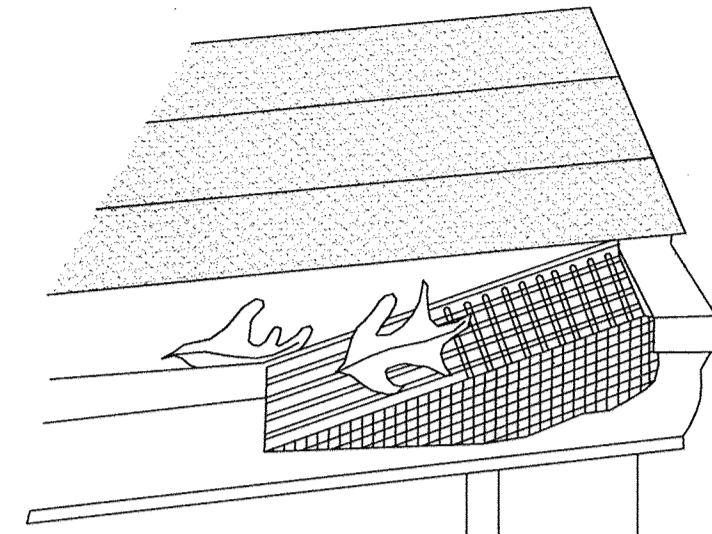
DRY WELL BOTTOM: THE BOTTOM SHALL BE AS LEVEL AS POSSIBLE TO MINIMIZE POOLED WATER IN SMALL AREAS THAT MAY REDUCE OVERALL INFILTRATION AND LONGEVITY.

FILTER CLOTH: FILTER CLOTH SHALL NOT BE INSTALLED ON THE BOTTOM OF THE WELL. NON-WOVEN FILTER CLOTH SHOULD BE USED TO LINE THE TOP AND SIDES OF THE DRY WELL TO PREVENT THE PORE SPACE BETWEEN THE STONES FROM BEING BLOCKED BY THE SURROUNDING NATIVE MATERIAL.

GRAVEL MEDIA: THE AGGREGATE SHALL BE COMPOSED OF AN 18 TO 48-INCH LAYER OF CLEAN WASHED, OPEN GRADED MATERIAL WITH 40% POROSITY (E.G., ASTM D448 4, 5, OR 6 STONE OR EQUAL).

STORMWATER MANAGEMENT NOTES

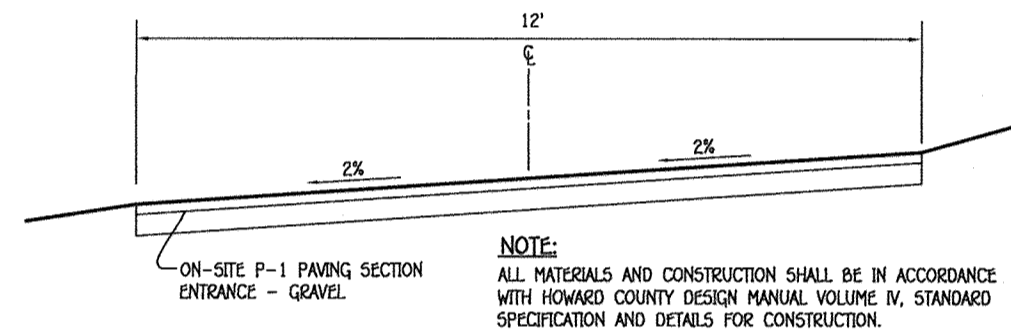
- 1. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH CHAPTER 5, "ENVIRONMENTAL SITE DESIGN" OF THE 2007 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL... 2. MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE 1,000 SQ. FT. OR LESS... 3. DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 2%... 4. FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.



GUTTER DRAIN FILTER DETAIL

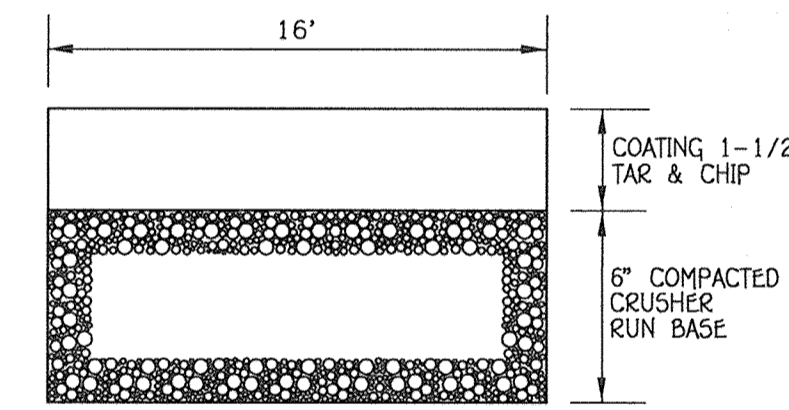
NOT TO SCALE

*A GUTTER GUARD OR A SUITABLE EQUIVALENT SHALL BE USED FOR EACH DOWNSPOUT DIRECTED TO A DRYWELL.



TYPICAL PRIVATE DRIVE CROSS SLOPE SECTION

NOT TO SCALE



COMMON DRIVEWAY DETAIL

NOT TO SCALE

Table with columns: ADDRESS, LOT NO., DRYWELL NUMBER, NO. OF DOWNSPOUTS, AREA OF ROOF, VOLUME REQUIRED, VOLUME PROVIDED, AREA OF STORAGE, AREA OF TREATMENT, NO. OF DRYWELLS, DIMENSIONS OF DRYWELLS. Lists drywell specifications for various addresses like 3307 BURTON DRIVE and 10605 WARBURTON COURT.

WP-15-038

ON OCTOBER 30, 2014 WP 15-038 WAS GRANTED FOR THE FOLLOWING: TO ALLOW FOR THE REMOVAL OF VEGETATIVE COVER AND TREES FROM ENVIRONMENTAL AREAS (A WAIVER FROM SECTION 16.116(c) AND TO ALLOW FOR THE REMOVAL OF SPECIMEN TREES (A WAIVER FROM SECTION 16.1205(a)(7))...

THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR SP-14-008. 2. THE WAIVER PETITION NUMBER (WP-15-038) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO SP-14-008 AND ALL FUTURE SUBDIVISION PLANS. 3. AS MITIGATION FOR THE REQUESTED REMOVAL OF FIFTY-SEVEN (57) SPECIMEN TREES LOCATED WITHIN THE RESIDENTIAL AND OPEN SPACE LOTS AND ADJACENT TO PRIORITY RETENTION AREAS... 4. A WAIVER TO SECTION 16.1169(c) IS NOT REQUIRED FOR THE THREE (3) STREET CROSSINGS, THE PUBLIC UTILITY LINE EXTENSIONS AND FOR THE PATHWAY THROUGH OPEN SPACE WHICH WERE DETERMINED ESSENTIAL FOR ESSENTIAL ROAD CROSSINGS, UTILITY LINE CONNECTIONS AND PEDESTRIAN CONNECTIONS IN ACCORDANCE WITH SECTION 16.116(c) OF THE REGULATIONS. 5. THE REDUCTION OF THE MINIMUM OPEN SPACE FRONTAGE REQUIREMENTS IS ONLY FOR THOSE OPEN SPACE LOTS DEPICTED ON THE SUBMITTED WAIVER EXHIBIT WHICH PROVIDES ACCESS TO STORMWATER MANAGEMENT FACILITIES.

WP-16-081

ON JANUARY 6, 2016 WP 16-081 WAS GRANTED FOR THE FOLLOWING: A WAIVER FROM SECTION 16.1202(A) REQUIRING THE SUBMISSION OF A FOREST CONSERVATION PLAN FOR THE ENTIRE GROSS AREA IS PART OF THE SUBDIVISION PLAN PROCESS...

APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

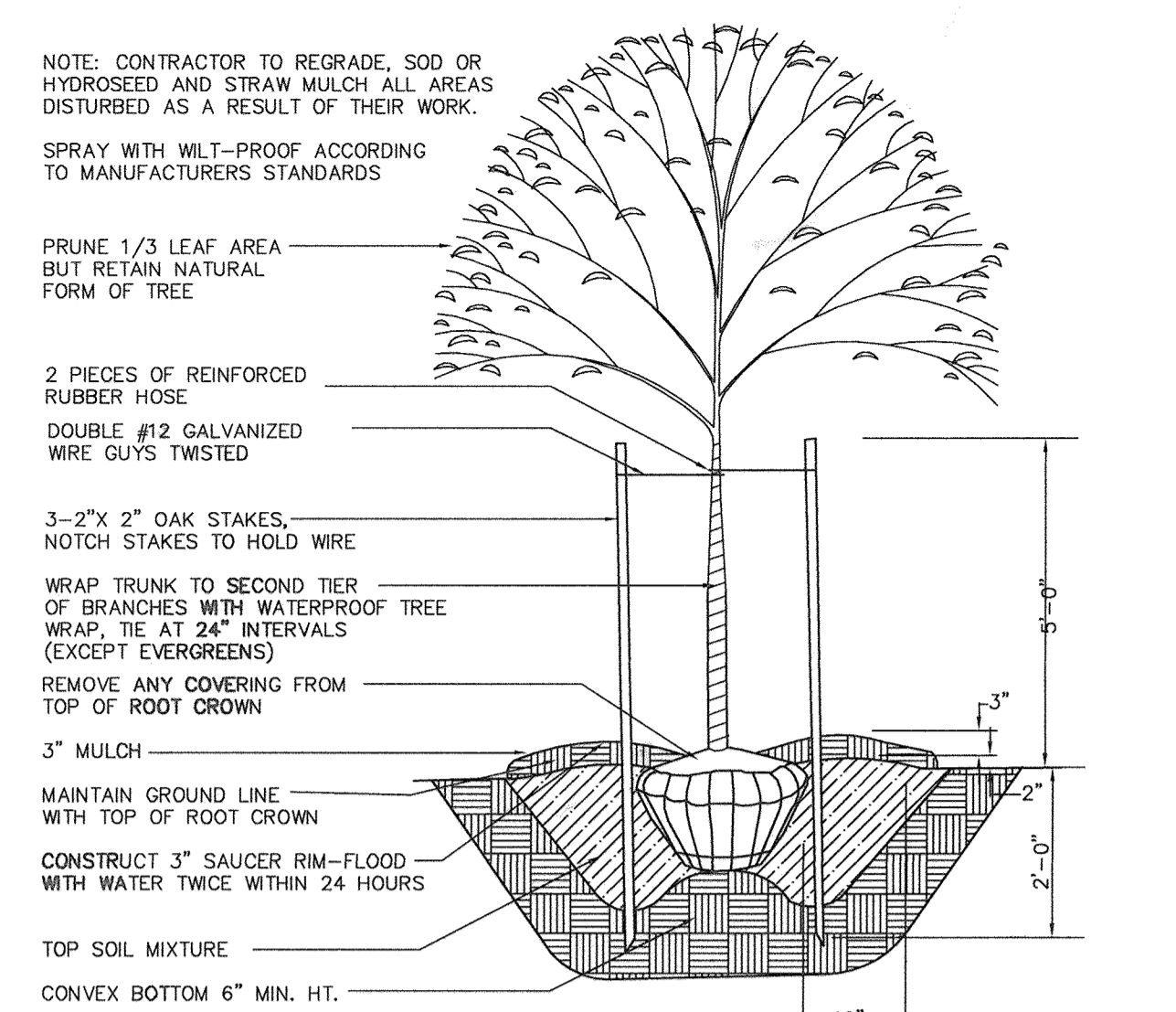
- 1. THE APPLICANT MUST CONTINUE PROCESSING THE FINAL SUBDIVISION PLANS FOR ALL PHASES AND MEET ALL REQUIRED PROCESSING DEADLINE DATES IN ACCORDANCE WITH THE APPROVED APFO PHASING SCHEDULE FOR WESTMOUNT. 2. THIS APPROVAL OF THE FOREST CONSERVATION OBLIGATION REQUIREMENT IS ONLY AN ALLOWANCE TO TEMPORARILY DEFER THE RECORDED OF FOREST CONSERVATION EASEMENTS AS A PHASED PROJECT... 3. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-087, F-16-046 AND F-16-061. 4. THE WAIVER PETITION NUMBER (WP-16-081) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIVISION PLATS AND SITE DEVELOPMENT PLANS.

WP-16-143

ON JUNE 20, 2016 WP 16-143 WAS GRANTED FOR THE FOLLOWING: A WAIVER FROM SECTION 16.144(n)(1) REQUIRING THE SUBMISSION OF ADDITIONAL INFORMATION WITHIN 45 DAYS OF REQUEST.

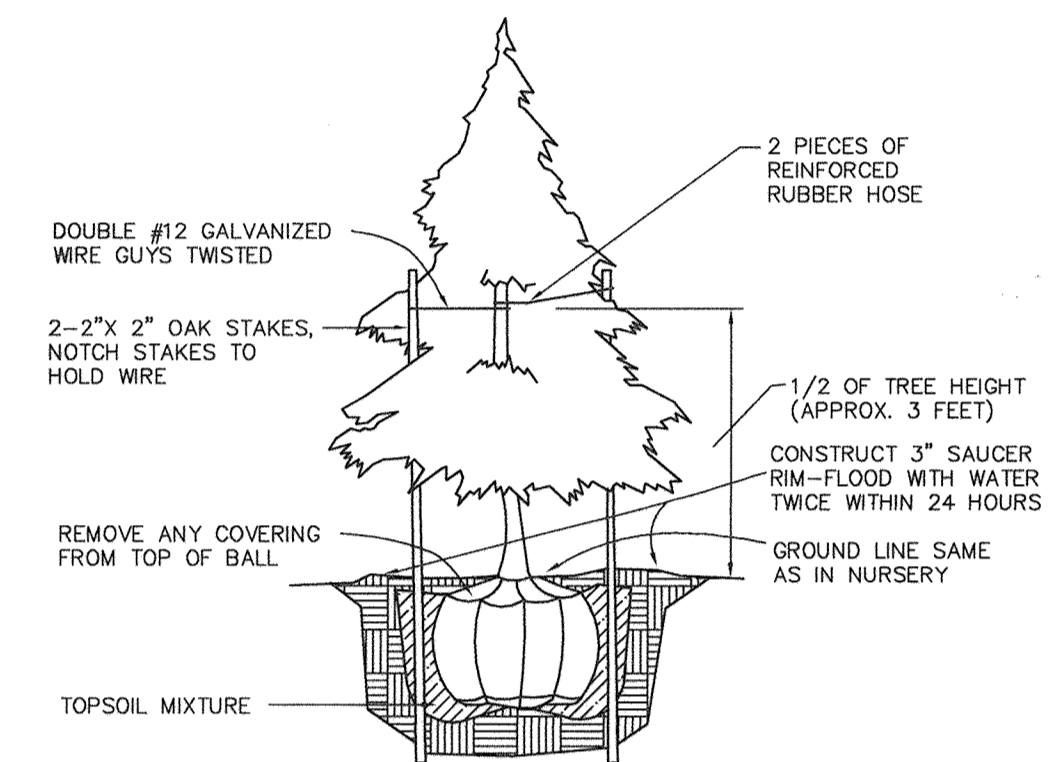
APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1. COMPLIANCE WITH ALL SUBDIVISION REVIEW COMMITTEE COMMENTS FOR F-15-087, F-16-046, AND F-16-061. 2. THE REVISED PLAN FOR F-15-087 MUST BE RE-SUBMITTED ON OR BEFORE AUGUST 20, 2016. 3. THE WAIVER PETITION NUMBER (WP-16-041) AND ITS CONDITIONS OF APPROVAL MUST BE ADDED TO ALL FUTURE SUBDIVISION PLATS AND SITE DEVELOPMENT PLANS.



TREE PLANTING DETAIL

NOT TO SCALE



EVERGREEN PLANTING DETAIL

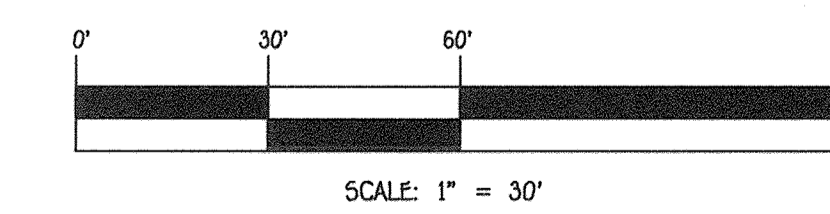
NOT TO SCALE

PERIMETER LANDSCAPE PLANT LIST

Table with columns: QTY., KEY, NAME, SIZE. Lists plants like Acer Ginnala and Pinus strobus.

SCHEDULE A PERIMETER LANDSCAPE EDGE

Table with columns: PERIMETER, LANDSCAPE TYPE, R-1, TOTAL. Lists items like Linear Feet and Credit for Existing Vegetation.



SCALE: 1" = 30'

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein. All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) standards...

LANDSCAPE NOTES

- 1. THE PERIMETER LANDSCAPE OBLIGATION IS PROVIDED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL... 2. AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE... 3. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING... 4. FOR ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS...

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/19.



Signature and date of Frank J. Thompson II, 2/15/18.

LANDSCAPE DEVELOPER'S CERTIFICATE

I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/we further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Signature and date of landscape developer, 2/15/18.

OWNER/BUILDER

BEAZER HOMES, LLC, 8965 GUILFORD ROAD - SUITE 290, COLUMBIA, MARYLAND 21046 (765) 894-0182

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signatures and dates of approval: 2/15/18, 3/13/18, 3/16/18.

PROJECT: WESTMOUNT, PHASE: 1, PARCEL NO.: 149

PLAT: 24127, BLOCK NO.: 6 & 12, ZONE: R-ED, TAX/ZONE: 23, ELEC. DIST.: 2, CENSUS TR.: 605102

PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, S0P-18-009, S0P-18-018

STORMWATER MANAGEMENT/LANDSCAPE NOTES & DETAILS

SINGLE FAMILY HOUSES WESTMOUNT LOTS 3-6, 21-26, 28-32, AND 36-37 PHASE 1 PREVIOUS HOWARD COUNTY FILES: F-07-124, F-11-058, ZB-1087M, WP-11-132, ECP-14-058, SP-14-008, WP-15-038, WP-16-081, WP-16-143, PB408, THE DRA IS RECORDED IN LIBER 12722, FOLIO 248, F-15-087, S0P-18-009, S0P-18-018 ZONED: R-ED TAX MAP NO.: 23 P/O PARCEL NO.: 149 GRID NO'S.: 6 & 12 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND DATE: OCTOBER, 2017 SCALE: AS SHOWN SHEET 8 OF 8

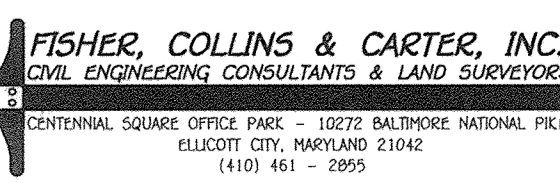


Table with columns: NO., REVISION, DATE. Shows revision 1 for 'REVISE DRY WELL CHART, LOT 3 (26)' dated 6/4/19.