

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS... 2. THE CONTRACTOR SHALL NOTIFY 'M&S UTILITY' AT 1-800-267-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK...

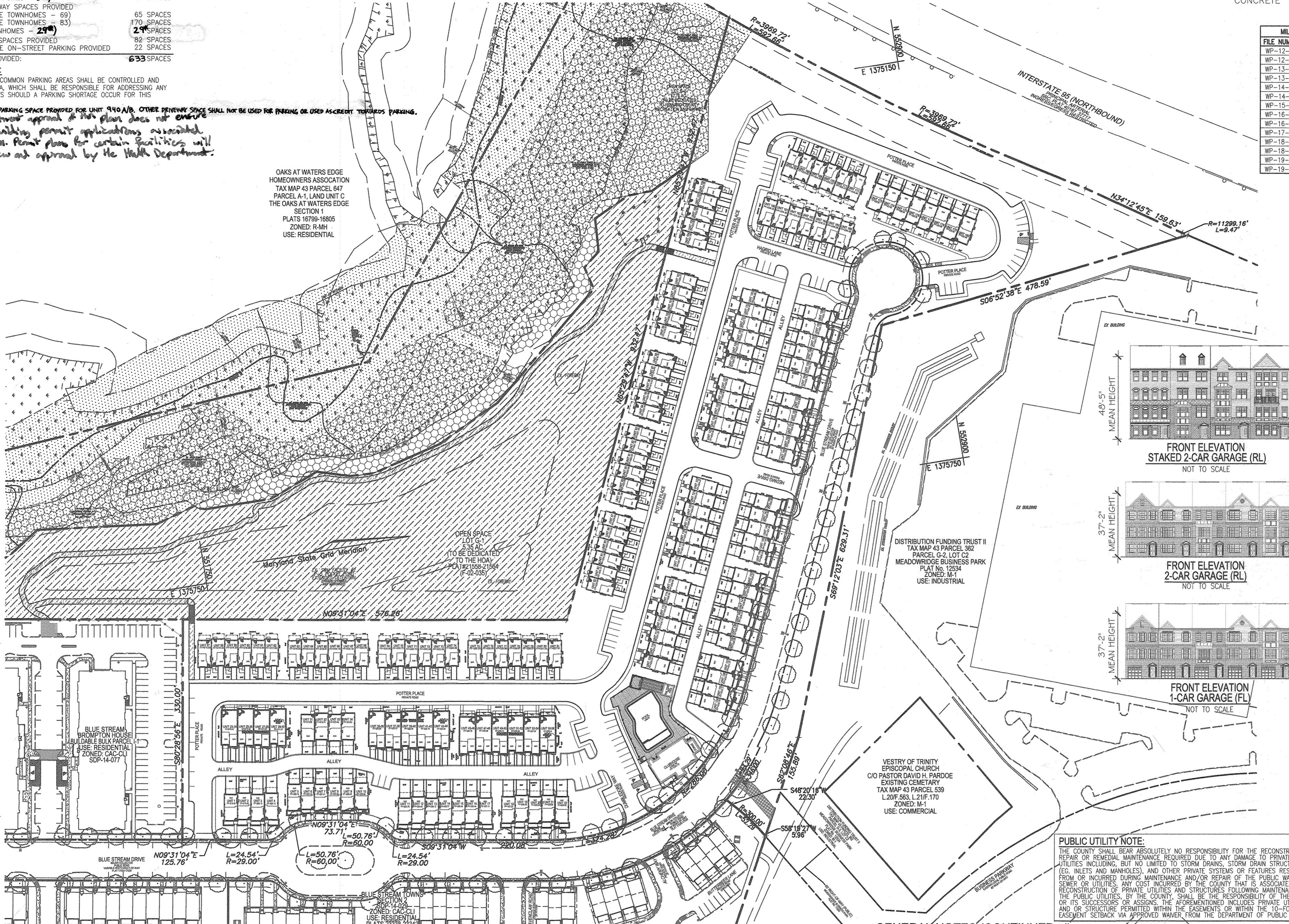
PARKING TABULATION

Table with columns: REQUIRED, PROVIDED. Rows include: 180 UNITS @ 2 SPACES PER UNIT (360 SPACES), OVERFLOW PARKING (90 SPACES), TOWNHOUSE GARAGE SPACES PROVIDED (65 SPACES), etc.

PARKING NOTES

- 1. THE USE OF THE COMMON PARKING AREAS SHALL BE CONTROLLED AND MANAGED BY THE HOA, WHICH SHALL BE RESPONSIBLE FOR ADDRESSING ANY PARKING VIOLATIONS... 2. ONLY 1 DRIVEWAY PARKING SPACE PER UNIT 940A/B, OTHER DRIVEWAY SPACES SHALL NOT BE USED FOR PARKING OR USED ACCIDENT TOWARDS PARKING.

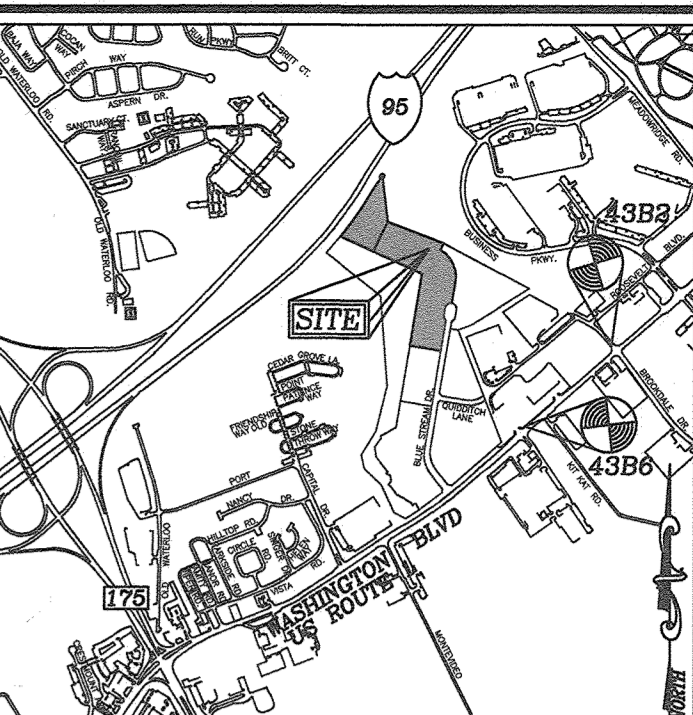
SITE DEVELOPMENT PLAN DELACOUR AT BLUE STREAM LOTS 1-150, OPEN SPACE LOT 151, AND PARCELS A-C A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4 TOWNHOMES - SECTION 3



LEGEND

- EXISTING CONTOUR, PROPOSED CONTOUR, EXISTING SPOT ELEVATION, PROPOSED SPOT ELEVATION, DIRECTION OF FLOW, EXISTING TREES TO REMAIN, LIGHT POLES, SOIL TYPE, CONCRETE.

MILESTONE EXTENSION CHART (MAVER AND/OR ALT. COMPLIANCE) table with columns: FILE NUMBER, APPROVAL DATE, SECTION NUMBER.



VICINITY MAP SCALE: 1"=2000' A.D.C. MAP COORDINATES: PAGE 34 / GRID E6

BENCHMARKS HOWARD COUNTY BENCHMARK 4382 N 551,654.993 E 1,378,176.951 ELEV.: 209.601'

ADDRESS CHART table with columns: LOT/PARCEL UNIT, STREET ADDRESS, LOT/PARCEL UNIT, STREET ADDRESS, LOT/PARCEL UNIT, STREET ADDRESS.

FRONT ELEVATION STAKED 2-CAR GARAGE (RL) NOT TO SCALE. FRONT ELEVATION 2-CAR GARAGE (RL) NOT TO SCALE. FRONT ELEVATION 1-CAR GARAGE (FL) NOT TO SCALE.

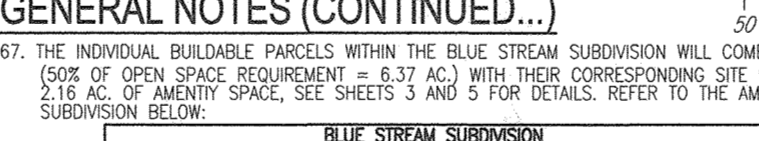
NOTE: FOR UNITS 916A-B, 922A-B AND UNITS 940A-B, 941A-B, THE 'X' DESIGNATION IS FOR THE LOWER UNIT, AND 'Y' IS FOR THE UPPER UNIT.

OWNER/DEVELOPER U.S. HOME CORPORATION C/O MATTHEW C. WILHELM 7035 ALBERT EINSTEIN DRIVE SUITE 200 COLUMBIA, MD 21046 410-423-0407

GENERAL NOTES (CONTINUED...)

- 36. THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE ANNEAUX FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS... 37. EXISTING BLUE STREAM DRIVE IS CLASSIFIED AS A MAJOR COLLECTOR... 38. THERE ARE NO BUILOUTS, GRADING, CONCERNERS LOCATED ON THIS PROPERTY...

LOCATION MAP SCALE: 1"=100'



GENERAL NOTES (CONTINUED...)

- 67. THE INDIVIDUAL BUILDABLE PARCELS WITHIN THE BLUE STREAM DEVELOPMENT WILL COMBINE TO PROVIDE THE AMENITY AREA REQUIREMENT... 68. REFERENCE WP-17-077, APPROVED 03/02/17 FOR A 6-MONTH EXTENSION OF SECTION 16.1106(G) WHICH OUTLINES TIMING (MILESTONE DATES) FOR RESIDENTIAL PROJECTS... 69. REFERENCE WP-18-053, APPROVED 12/14/17 FOR AN ALTERNATIVE COMPLIANCE OF SECTION 16.1106(G) WHICH OUTLINES TIMING (MILESTONE DATES) FOR RESIDENTIAL PROJECTS...

Table with columns: PHASE NUMBER, YEAR, TOTAL COMMERCIAL PER YEAR. Rows include: I (P-08-011) 2010 125 22 147, II (P-08-011) 2011 125 22 147, III (P-10-005) 2012 137 24 161, etc.

Table with columns: PLAN NUMBER, YEAR, TOTAL COMMERCIAL PER YEAR. Rows include: I (P-08-011) 2010 0 0 0, II (P-08-011) 2011 0 0 0, III (P-10-005) 2012 0 0 0, etc.

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Signature of Maurice Roseman, County Health Officer, dated 11/18/2019. Signature of Howard County Department of Planning and Zoning, dated 12-19, 12-23-19, 12-23-19.

- 3 REVISION PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING 1-22-22
3 REVISION PLANS TO REVISE CHANGELINE, FOOT, POOL, SHOWERMAN, BATH AND GARAGE BASED ON ARCHITECTURE 6-4-21
1 REVISION PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE 08-06-20

(REVISED) SITE DEVELOPMENT PLAN COVER SHEET

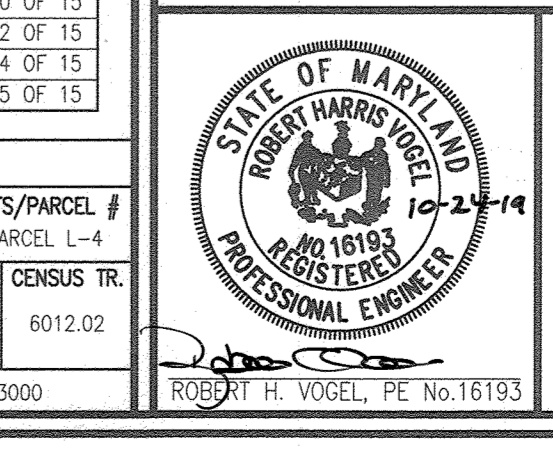
DELACOUR AT BLUE STREAM LOT 151, OPEN SPACE LOT 151, AND PARCELS A-C A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4 TOWNHOMES - SECTION 3 ZONED: CAC-CL HOWARD COUNTY, MARYLAND

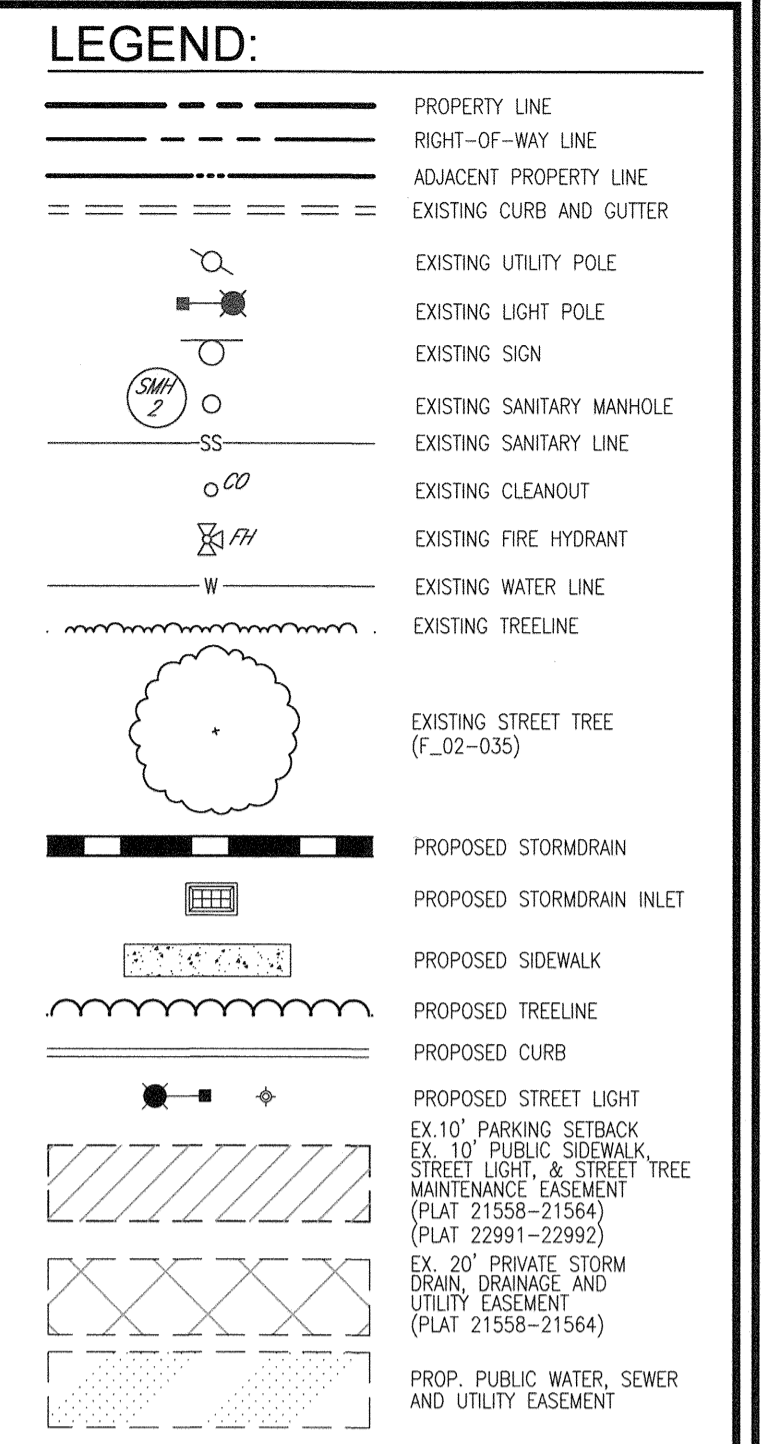
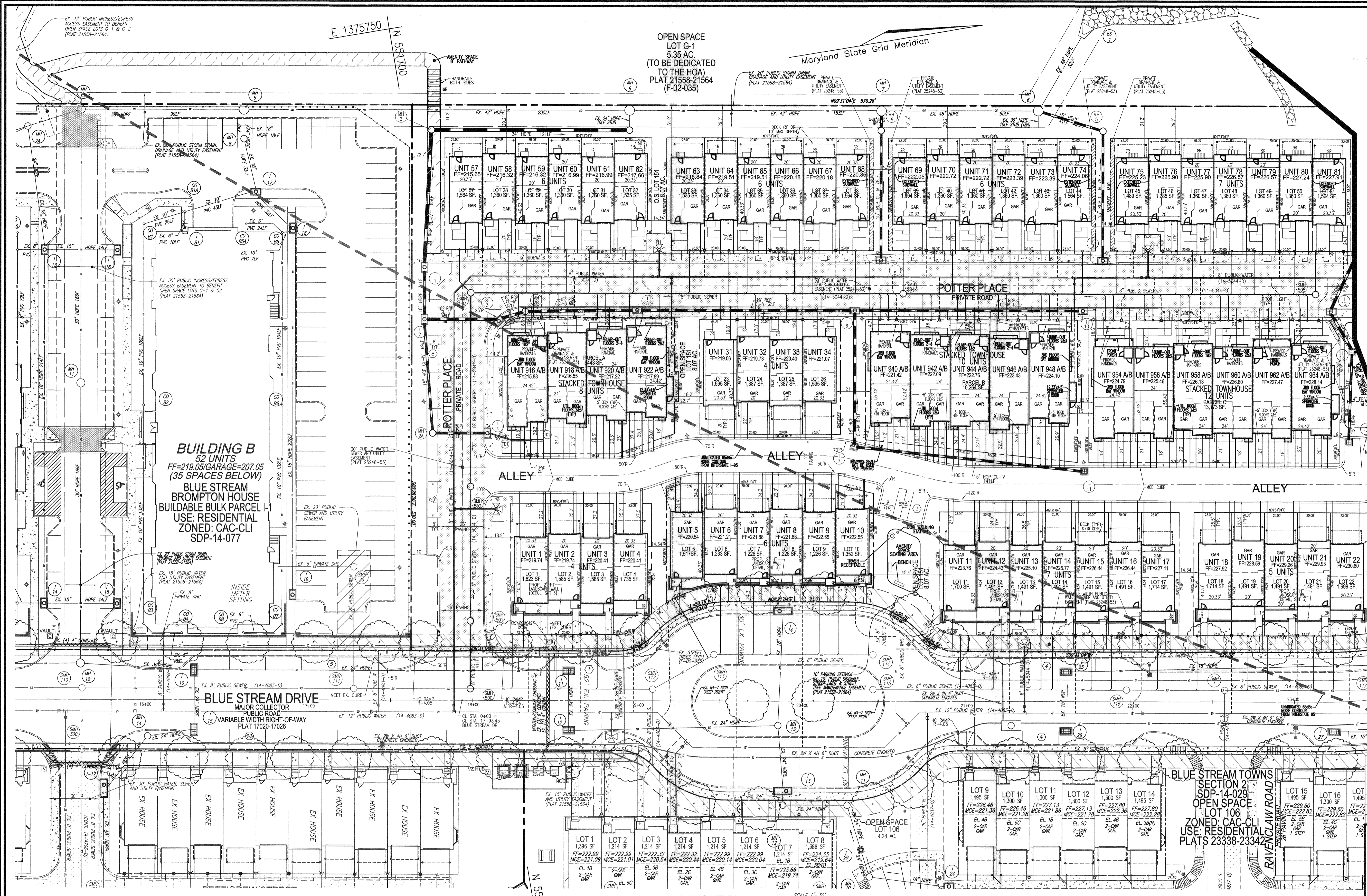
VOGEL ENGINEERING TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

SHEET INDEX table with columns: DESCRIPTION, SHEET NO. Rows include: COVER SHEET (1 OF 15), LAYOUT PLAN (2-4 OF 15), SITE DETAILS (5 OF 15), etc.

PERMIT INFORMATION CHART table with columns: SUBMISSION NAME, SECTION/AREA, LOTS/PARCEL #, TAX MAP # OR FLOOR NO., ZONE, TAX MAP #, ELEC. DIST., CONJUS TR. Rows include: BLUE STREAM, N/A, PARCEL L-4, 2155-2156, CAC-CL, 43, 6012, 2153-2551.





BUILDING B
52 UNITS
FF=219.05 (GARAGE=207.05)
(35 SPACES BELOW)
BLUE STREAM BROMPTON HOUSE
BUILDABLE BULK PARCEL L-1
USE: RESIDENTIAL
ZONED: CAC-CL1
SDP-14-077

BLUE STREAM DRIVE
MAJOR COLLECTOR
PUBLIC ROAD
VARIABLE WIDTH RIGHT-OF-WAY
PLAT 17020-17026

BLUE STREAM TOWNS SECTION 2
SDP-14-029
OPEN SPACE
LOT 106
ZONED: CAC-CL1
USE: RESIDENTIAL
PLATS 23338-23342

OWNER/DEVELOPER
U.S. HOME CORPORATION
C/O MATTHEW S. WINEMAN
7035 ALBERT EINSTEIN DRIVE
SUITE 200
COLUMBIA, MD 21046
410-423-0407

NO.	REVISION	DATE
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	08-06-20

(REVISED) SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

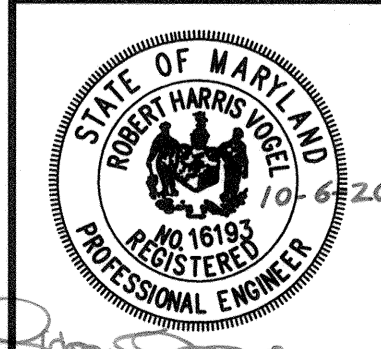
DELACOUR AT BLUE STREAM
LOTS 1-150, OPEN SPACE LOT 151, AND PARCELS A-C
A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
TOWNHOMES - SECTION 5

TAX MAP 43 GRID 10-62-20 PARCEL 14
1ST ELECTION DISTRICT ZONED: CAC-CL1 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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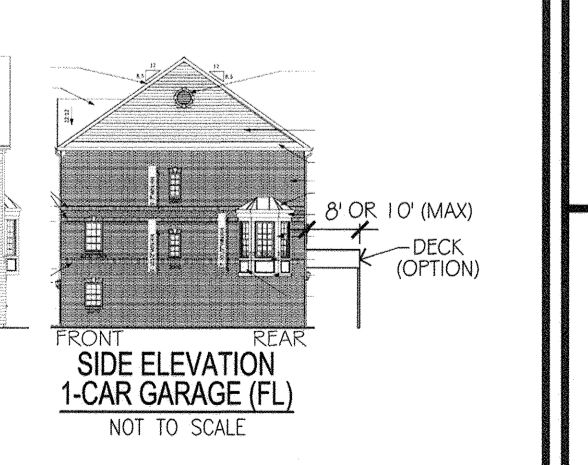
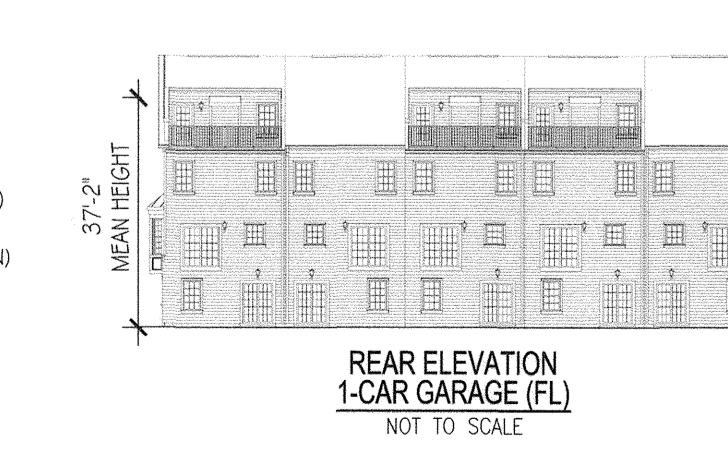
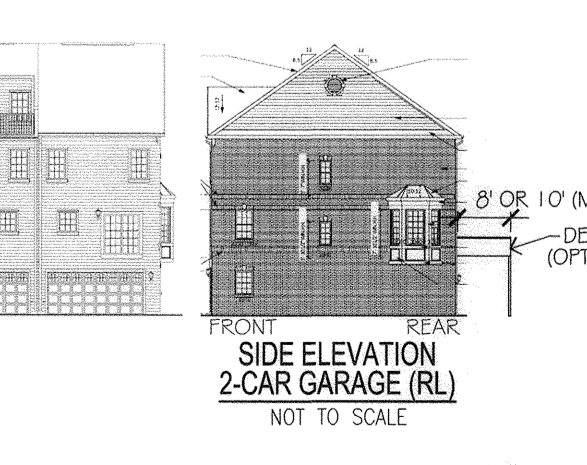
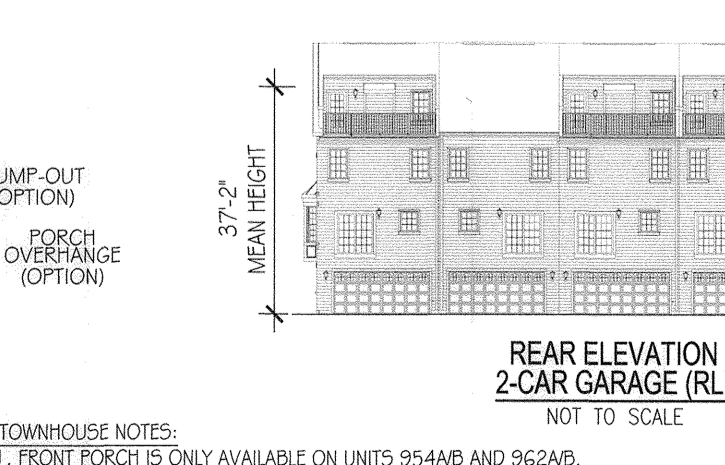
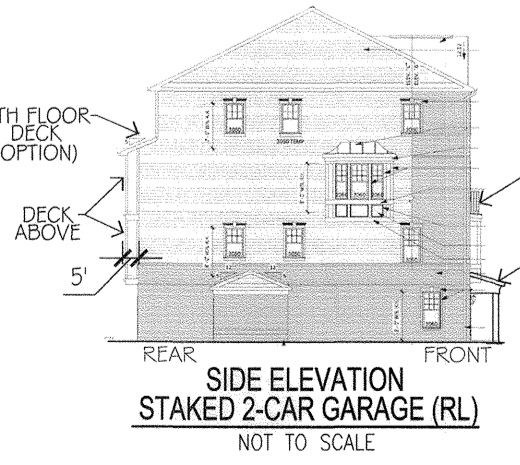
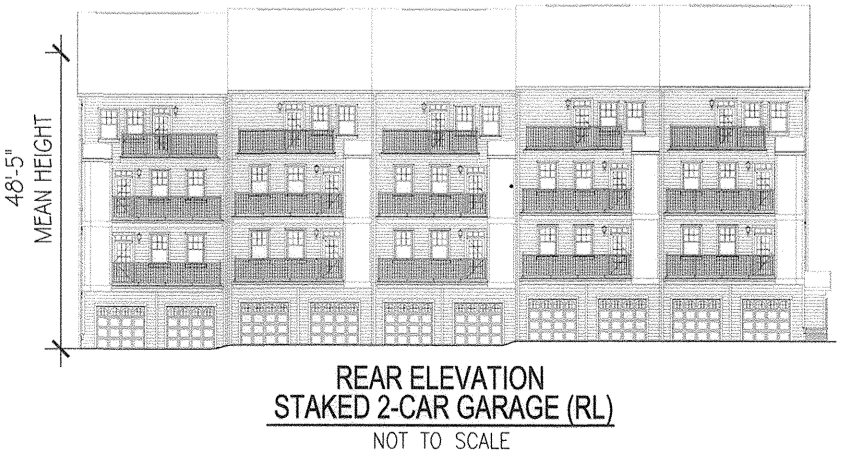


PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE
OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE 10-31-2023

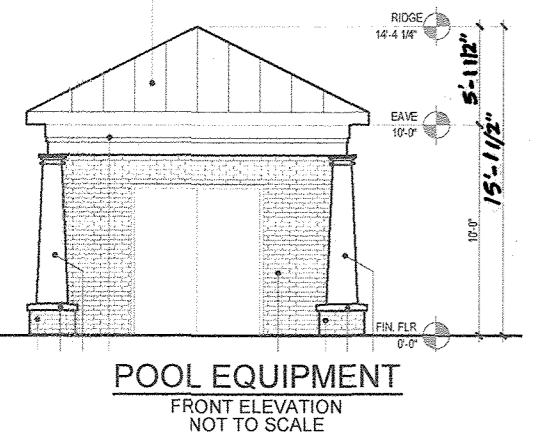
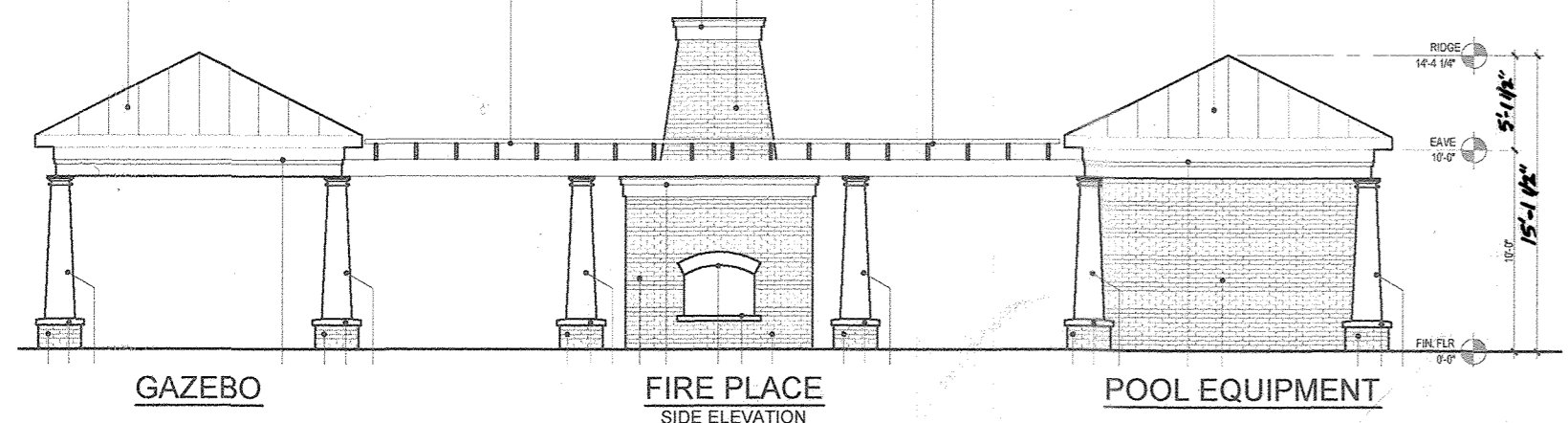
DESIGN BY: RHY/DZE
DRAWN BY: DZE/KG/LRC
CHECKED BY: RHY
DATE: SEPT 2020
SCALE: AS SHOWN
W.O. NO.: 06-26

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

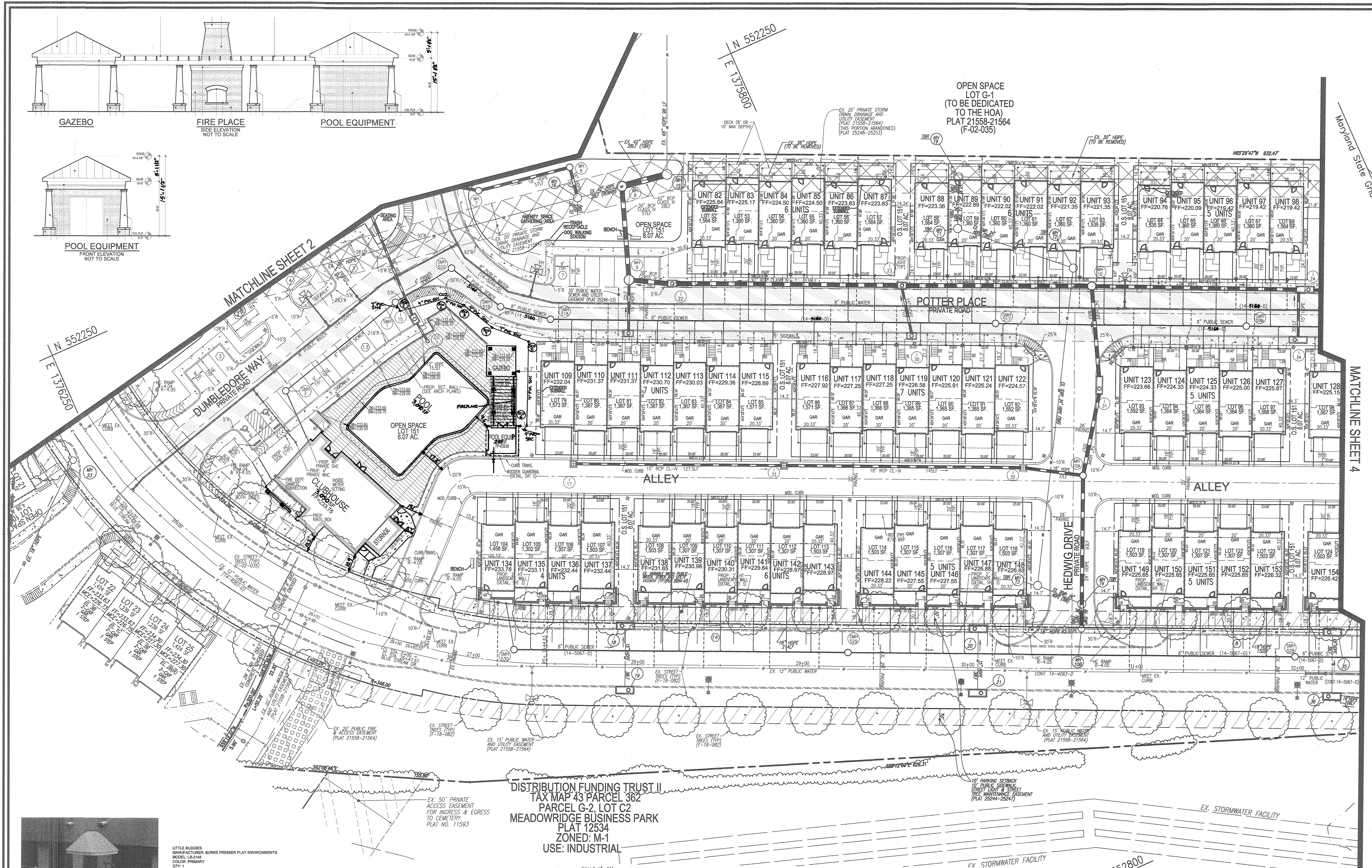
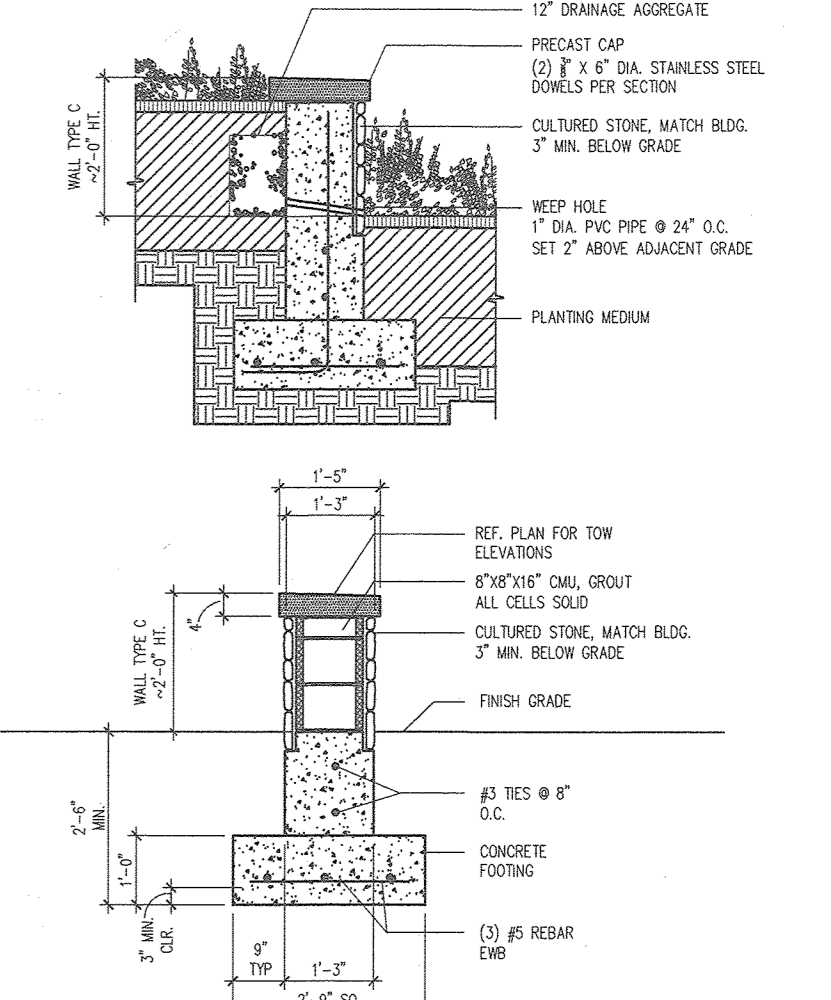
Chief, Development Engineering Division DATE: 1-10-21
Chief, Division of Land Development DATE: 1/13/21
Director DATE: 1-14-21



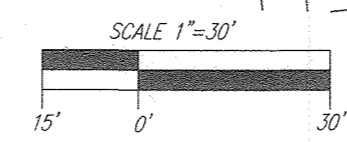
TOWNHOUSE NOTES:
1. FRONT PORCH IS ONLY AVAILABLE ON UNITS 95-94 AND 96-94B.
2. 1st FLOOR BUMP-OUTS ONLY AVAILABLE ON UNITS 91-64B, 94-44B, AND 95-44B.
3. MORNING ROOM EXTENSIONS NOT AVAILABLE ON ANY TOWNHOUSE UNIT.
4. DECK EXTENSIONS SHALL NOT EXCEED 8' ON TOWNHOUSE UNITS 56, 60, 62, 64, 66, 68, 70, 72, 74, 76, 78, 80, 82, 84, 86, 88, 91, 93, 95, 97, 100, 102, 105, 107, 160, 161, 163, 165, 167, 169, AND 171. DECK EXTENSIONS NOT TO EXCEED 10' ON ALL OTHER UNITS.
5. REAR DECKS, LANDINGS, AND STEPS TO GRADE ARE SOLD AND BUILT AS OPTIONAL FEATURES AND ARE NOT CONSIDERED STANDARD WITH EACH UNIT.



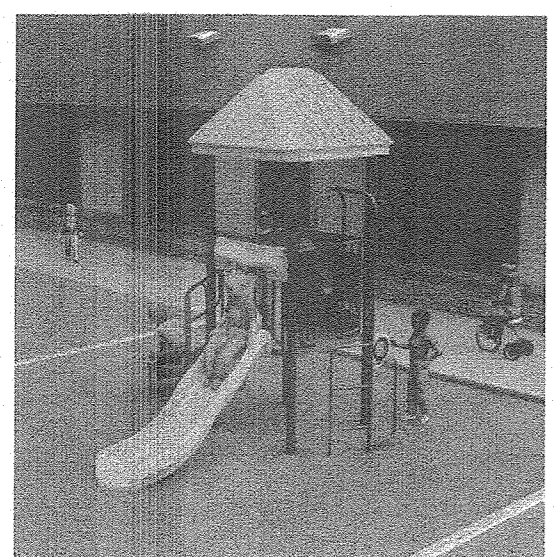
- LEGEND:**
- PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING WATER LINE
 - EXISTING TREELINE
 - EXISTING STREET TREE (F-02-035)
 - PROPOSED STORMDRAIN
 - PROPOSED STORMRAIN INLET
 - PROPOSED SIDEWALK
 - PROPOSED TREELINE
 - PROPOSED CURB
 - PROPOSED STREET LIGHT
 - EX. 10' PUBLIC SIDEWALK
 - EX. 10' PUBLIC SIDEWALK STREET LIGHT & STREET TREE MAINTENANCE EASEMENT (PLAT 21558-21564) (PLAT 22991-22992)
 - EX. 20' PRIVATE STORM DRAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 21558-21564)
 - PROP. PUBLIC WATER, SEWER AND UTILITY EASEMENT
 - EX. PUBLIC WATER, SEWER AND UTILITY EASEMENT



DISTRIBUTION FUNDING TRUST II
TAX MAP 43 PARCEL 362
PARCEL G-2, LOT C2
MEADOWRIDGE BUSINESS PARK
PLAT 12534
ZONED: M-1
USE: INDUSTRIAL



LAYOUT PLAN
SCALE: 1"=30'



LITTLE RIDDES
MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS
MODEL: 181349
COLOR: PRIMARY
QTY: 1

MANUFACTURER INFORMATION:
BO BURKE COMPANY, LLC
P.O. BOX 549
FOND DU LAC, WI 54608-0549
PHONE: 920-924-9229

NOTES:
1. OR APPROVED EQUAL
2. SEE MATERIALS PLAN FOR FALL ZONES
3. INSTALL PER MANUFACTURER'S INSTRUCTIONS
4. ALL STRUCTURAL ITEMS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON A SITE SPECIFIC GEOTECHNICAL REPORT.

6 EARLY CHILDHOOD PLAY STRUCTURE
L-4.1 PICTORIAL OSA-305 NTS



VOLTAGE
MANUFACTURER: BURKE PREMIER PLAY ENVIRONMENTS
MODEL: VOLTAGE 5D-1108
COLOR: PRIMARY
QTY: 1

MANUFACTURER INFORMATION:
BO BURKE COMPANY, LLC
P.O. BOX 549
FOND DU LAC, WI 54608-0549
PHONE: 920-924-9229

NOTES:
1. OR APPROVED EQUAL
2. SEE MATERIALS PLAN FOR FALL ZONES
3. INSTALL PER MANUFACTURER'S INSTRUCTIONS
4. ALL STRUCTURAL ITEMS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER AND MODIFIED AS NECESSARY BASED ON A SITE SPECIFIC GEOTECHNICAL REPORT.

7 SCHOOL AGE CHILD PLAY STRUCTURE
L-4.1 PICTORIAL OSA-305 NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
DATE: 1-6-21

Chief, Division of Land Development
DATE: 1/13/21

Director
DATE: 1-23-21

OWNER/DEVELOPER
U.S. HOME CORPORATION
C/O MATTHEW S. WINEMAN
7035 ALBERTEINSTEIN DRIVE
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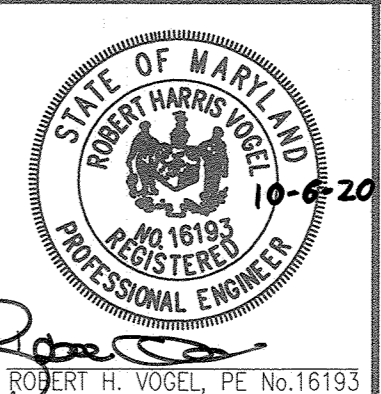
NO.	REVISION	DATE
3	REVISE PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING	1-20-22
2	REVISE PLANS TO REVISE CLUBHOUSE, POOL, POOL EQUIPMENT ROOM AND GAZEBO BASED ON ARCHITECTURE	6-4-21
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	08-06-20

(REVISED) SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

DELACOUR AT BLUE STREAM
LOTS 1-150, OPEN SPACE LOT 151, AND PARCELS A-C
A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
TOWNHOMES - SECTION 3
ZONED: CAG-GLI
PARCEL 14
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
+
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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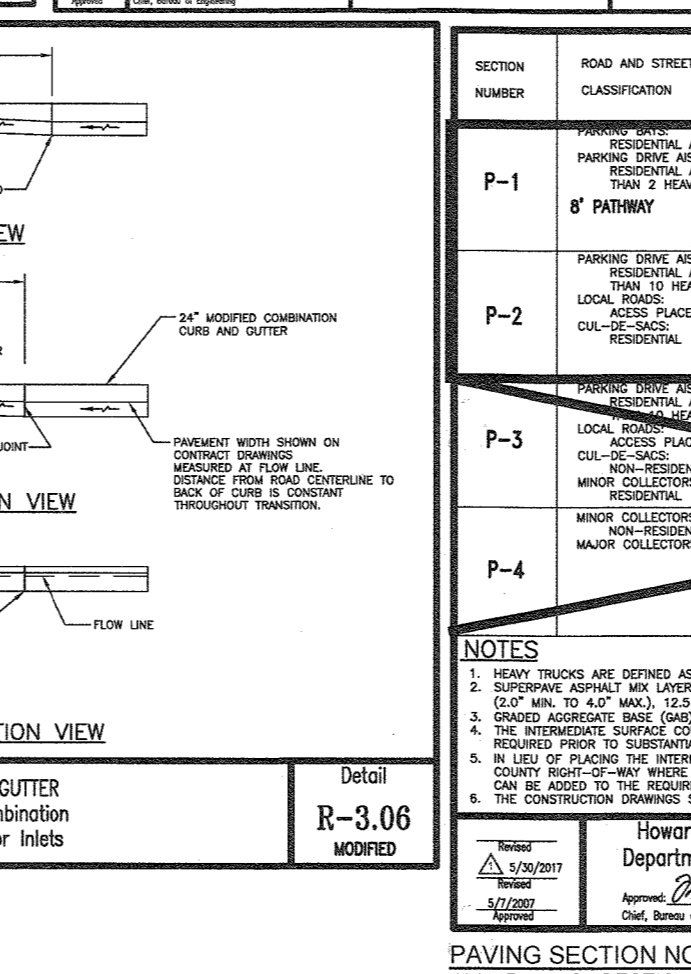
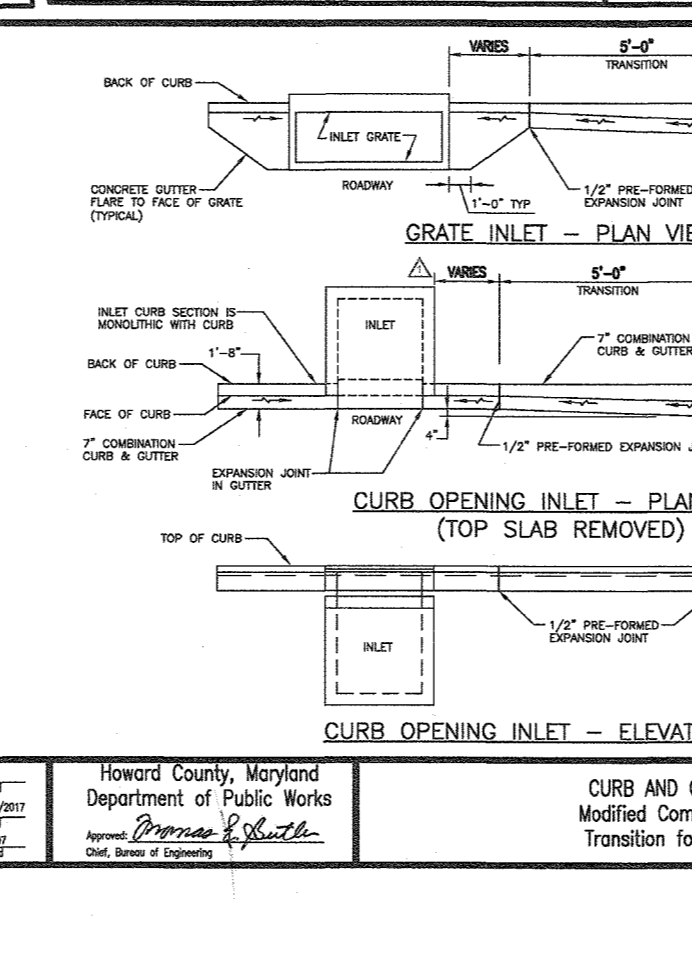
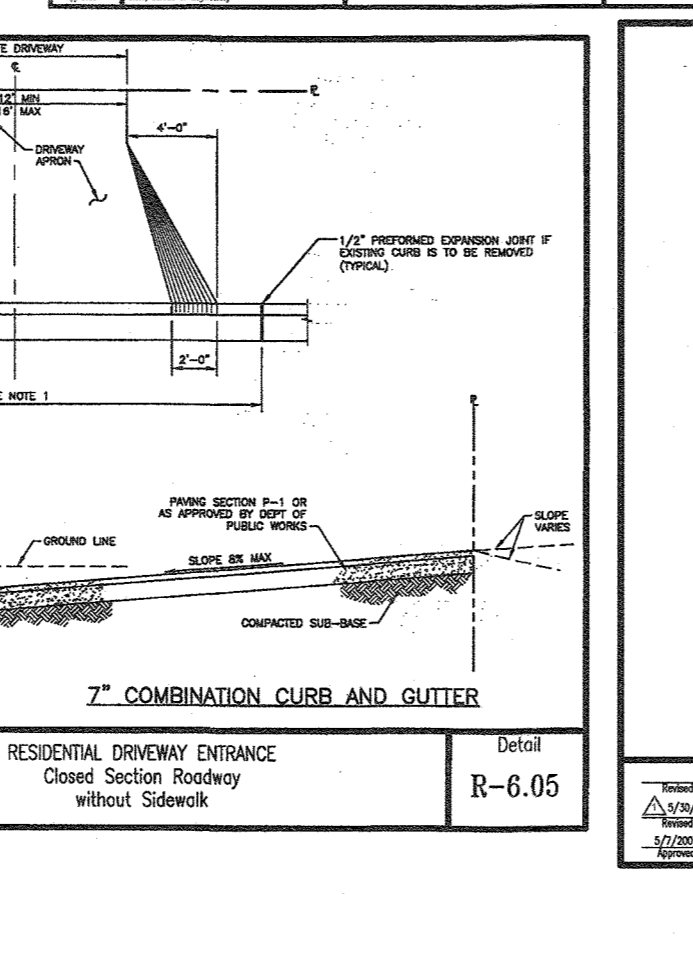
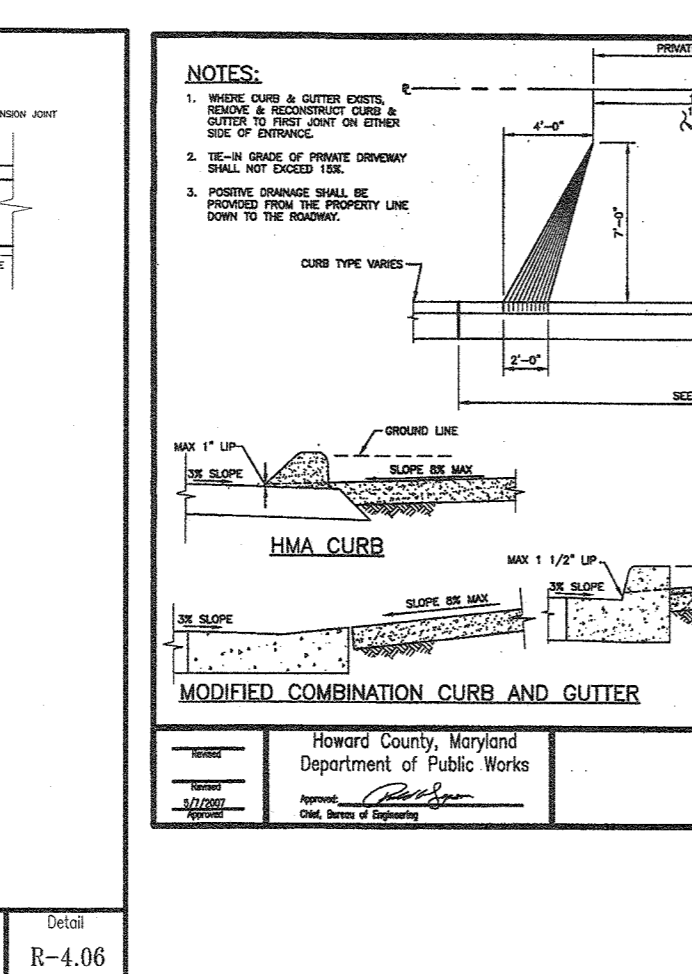
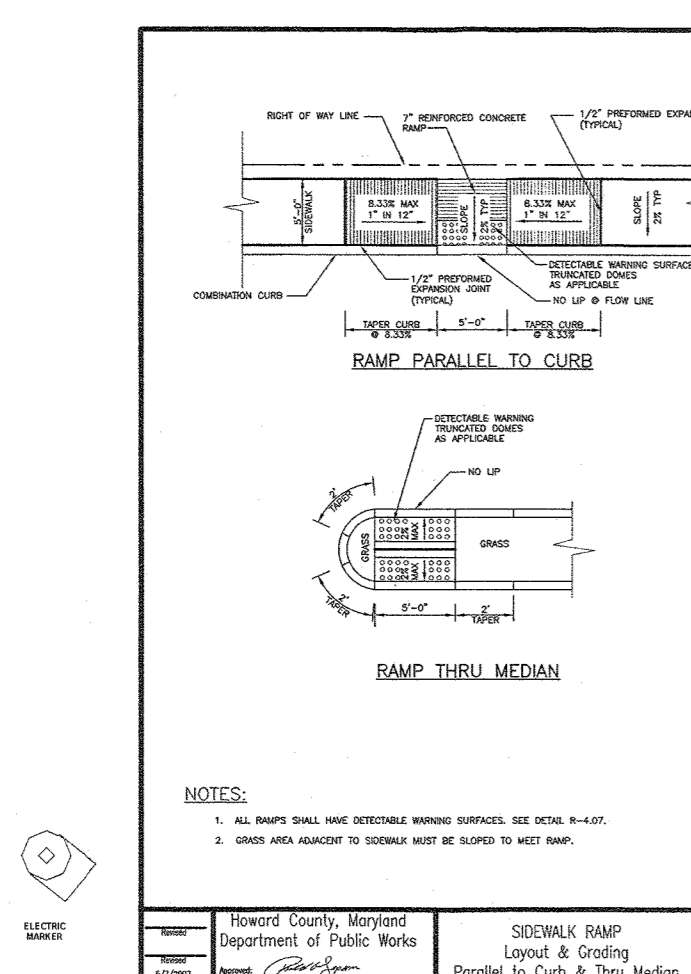
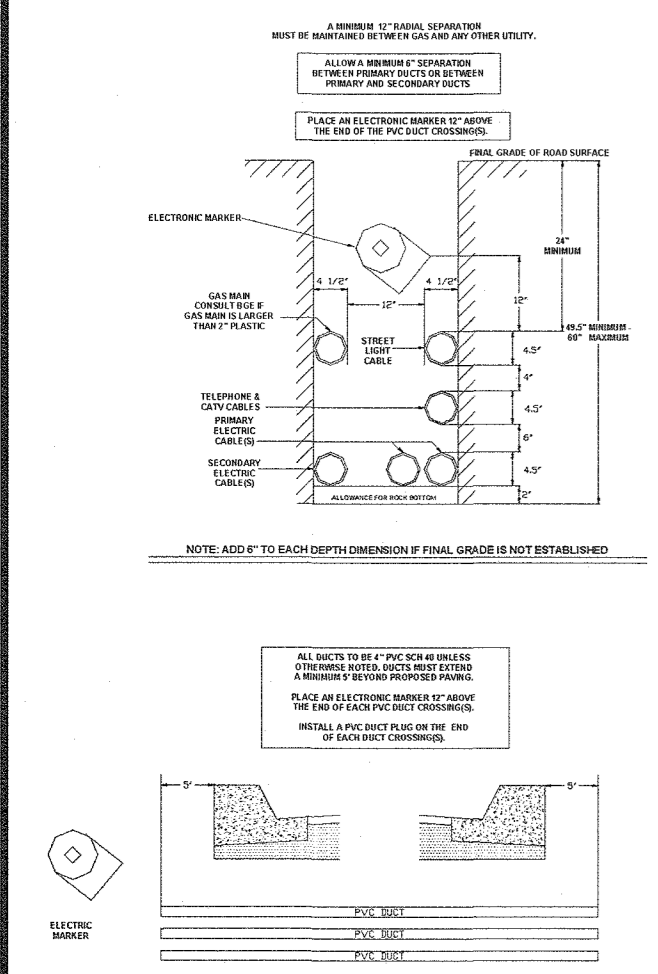
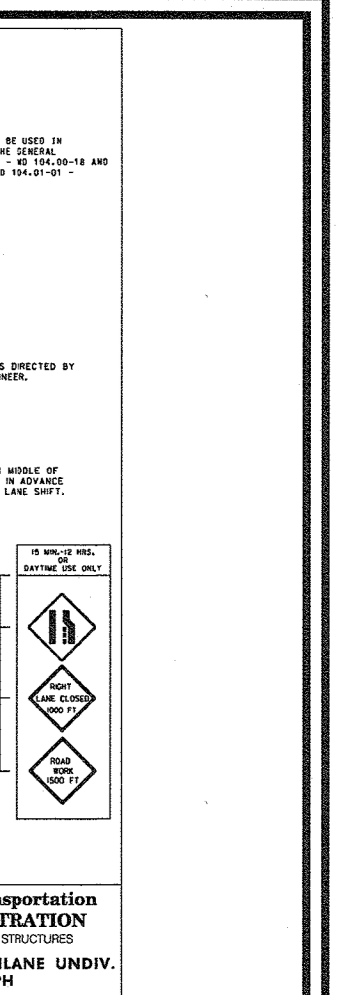
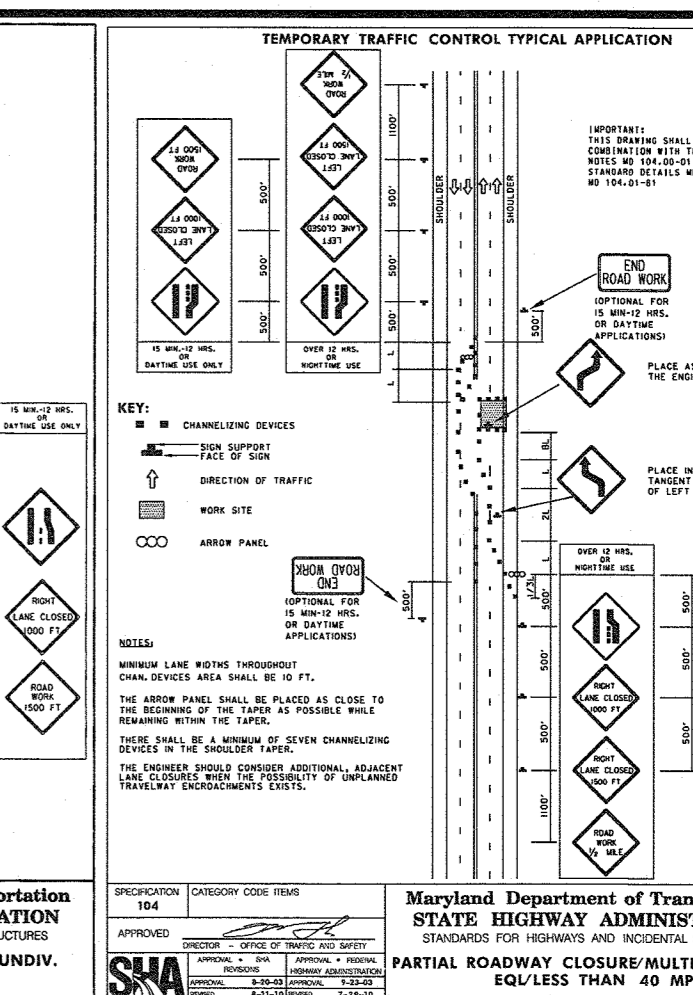
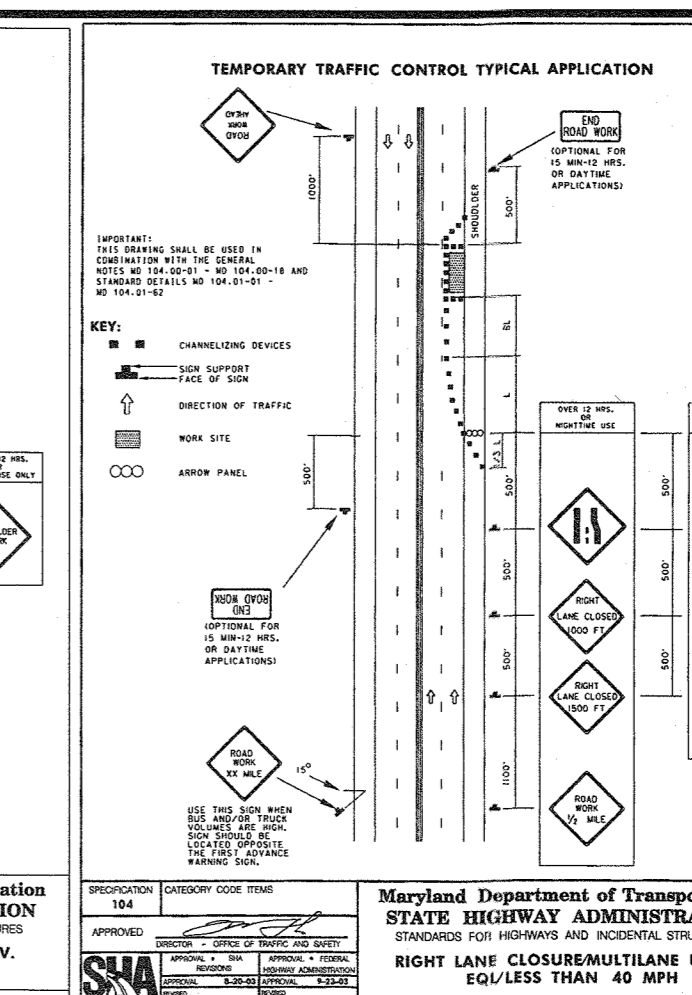
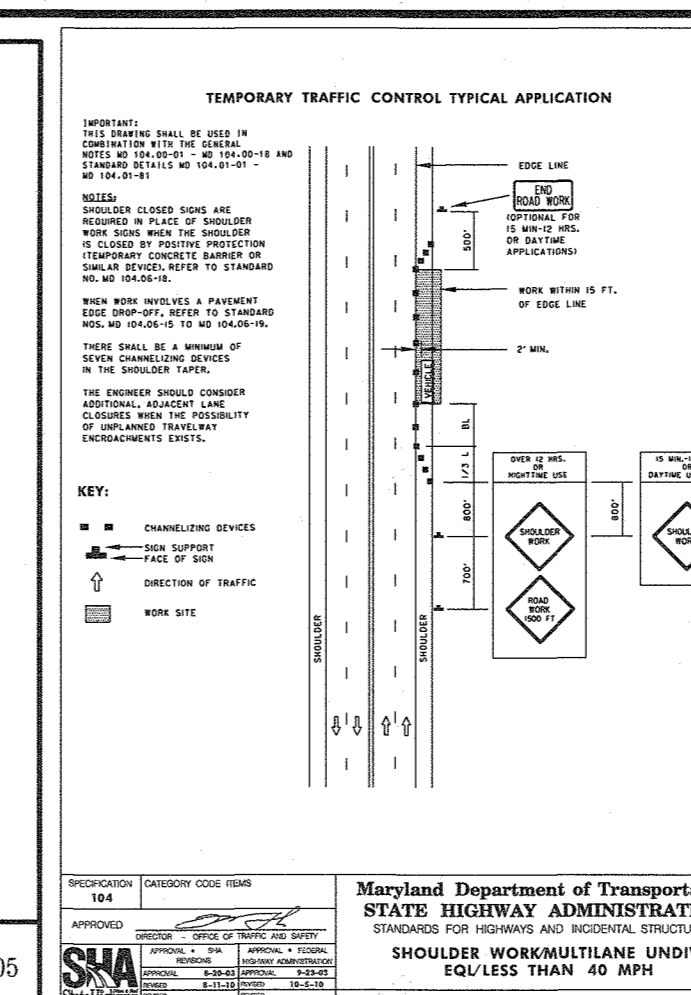
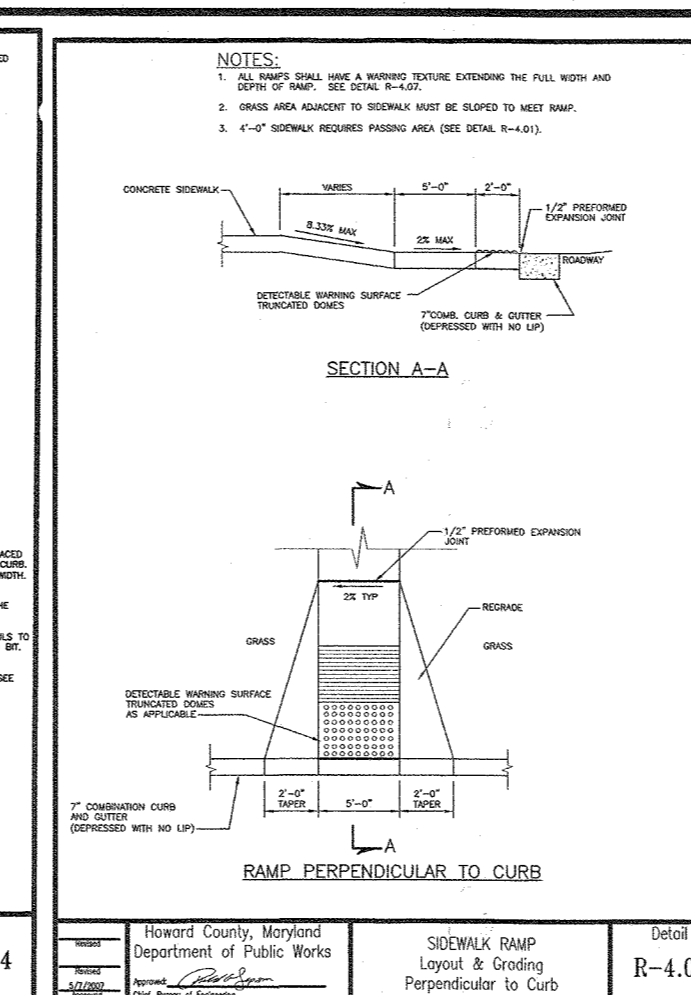
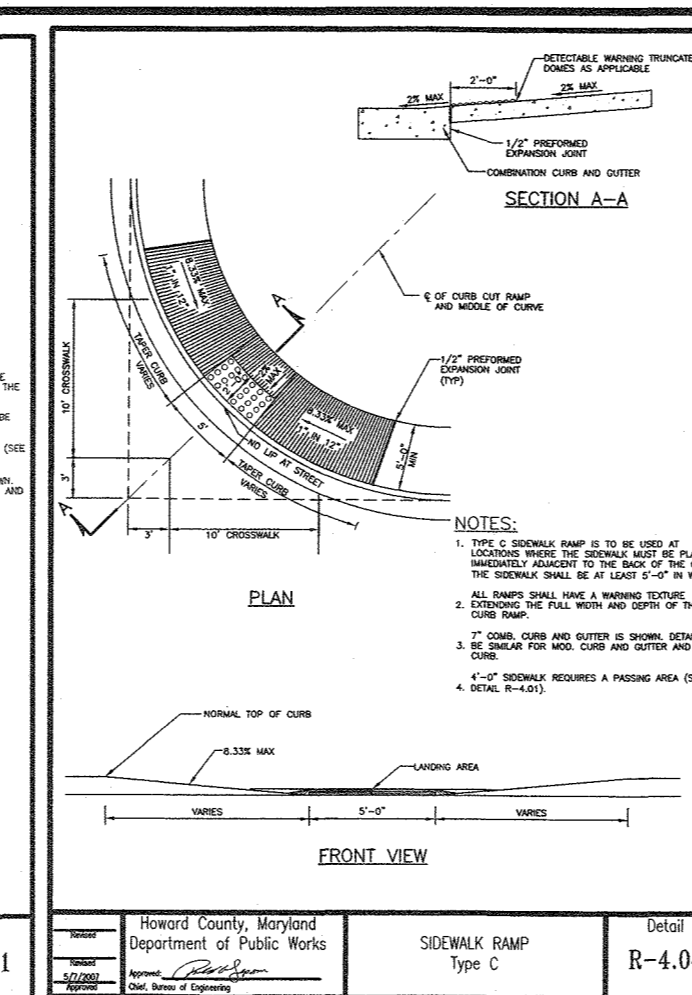
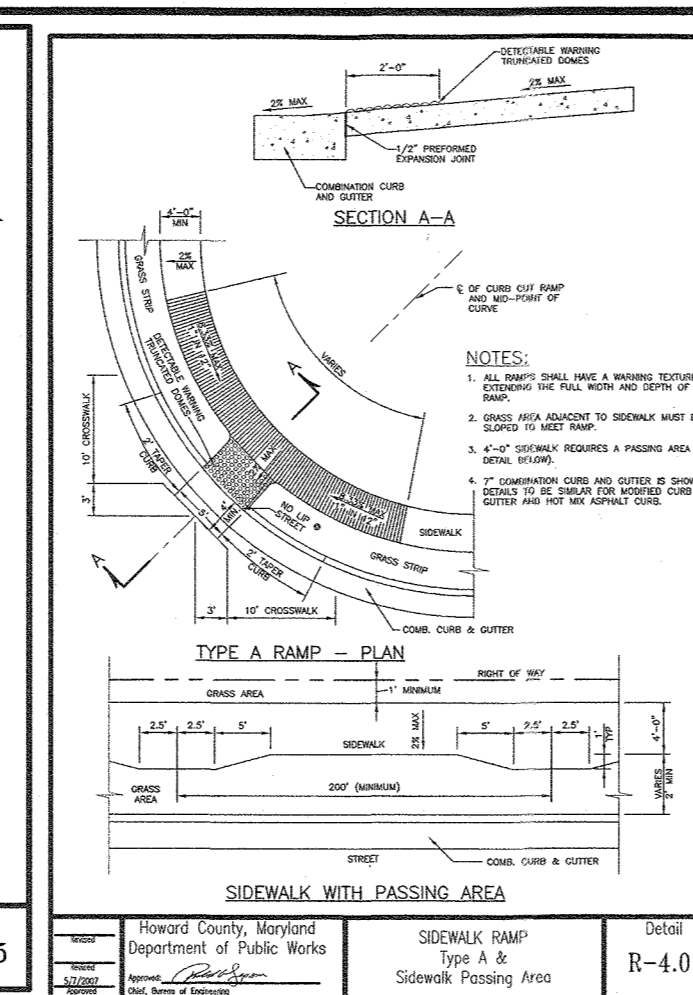
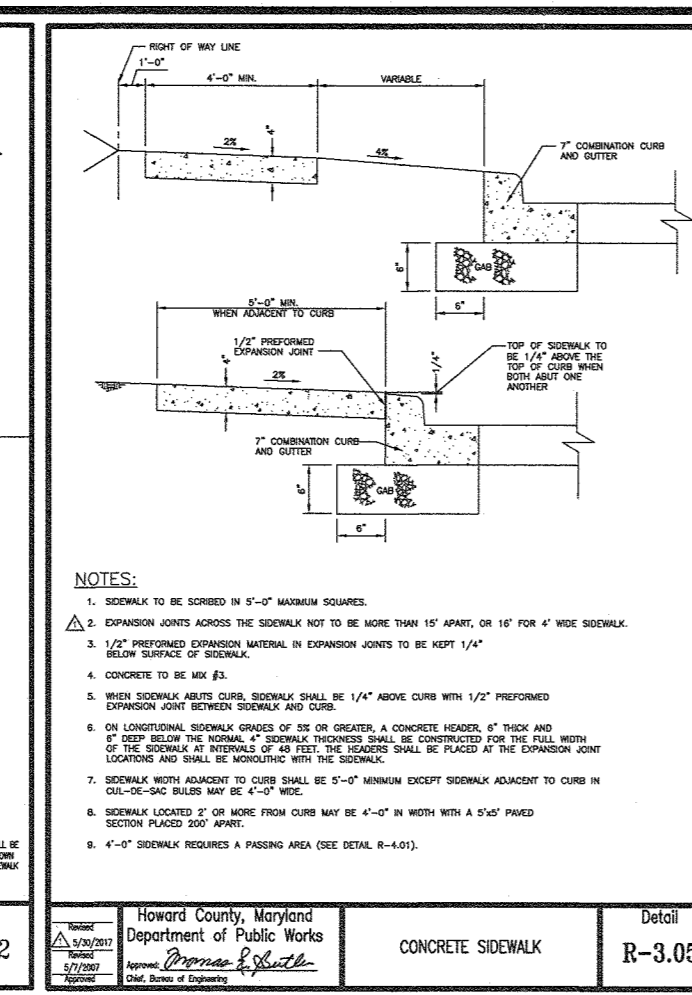
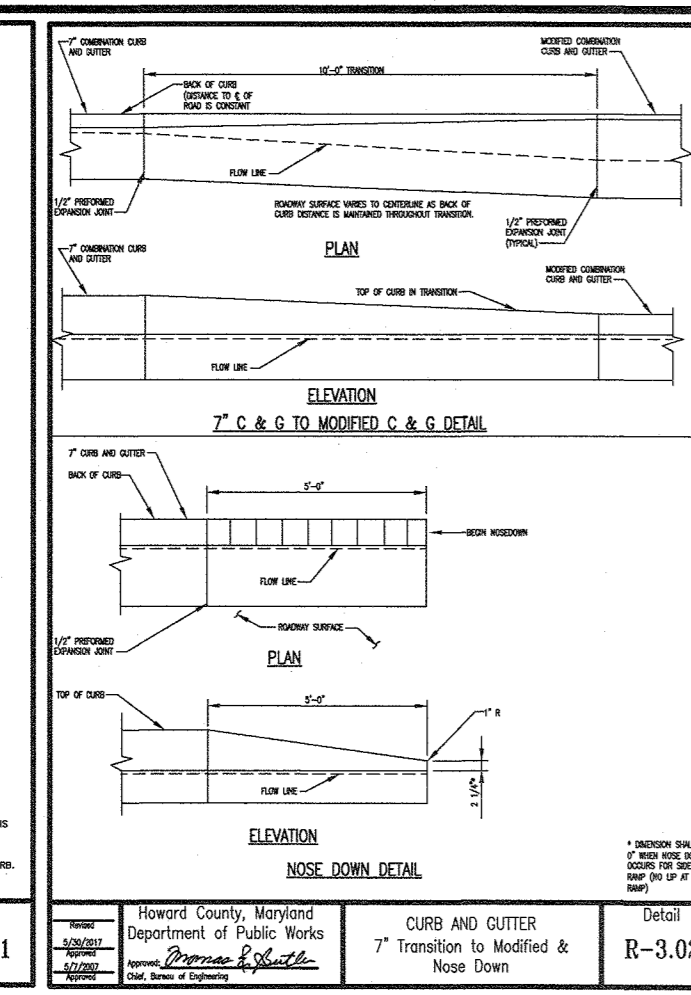
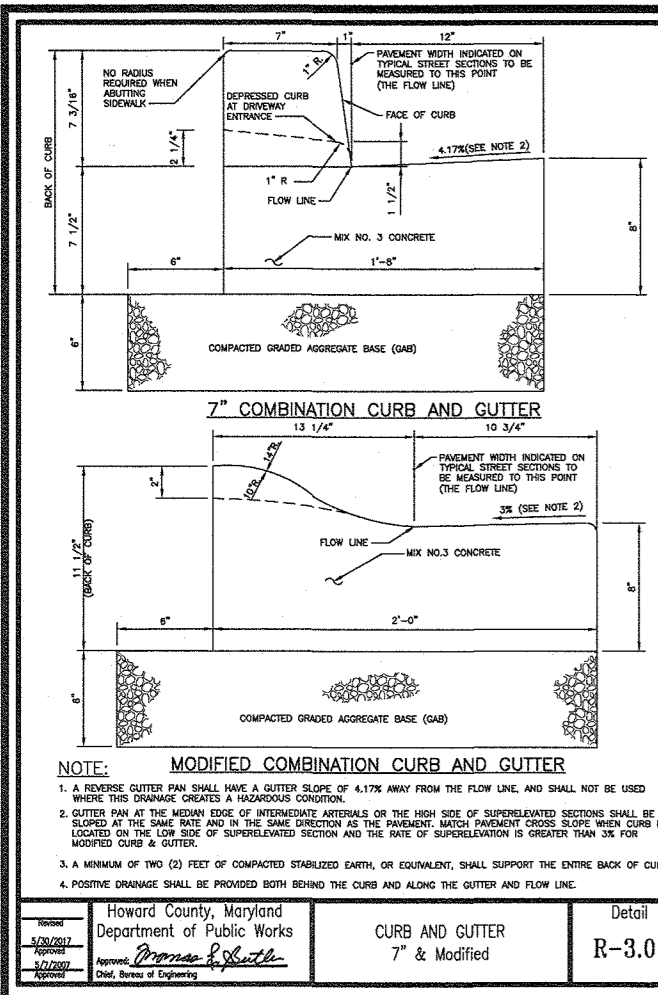


PROFESSIONAL CERTIFICATE

DESIGN BY: RHV/DZE
DRAWN BY: DZE/KG/LRC
CHECKED BY: RHV
DATE: SEPT 2020
SCALE: AS SHOWN
W.O. NO.: 06-26

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2023

3 SHEET OF 15

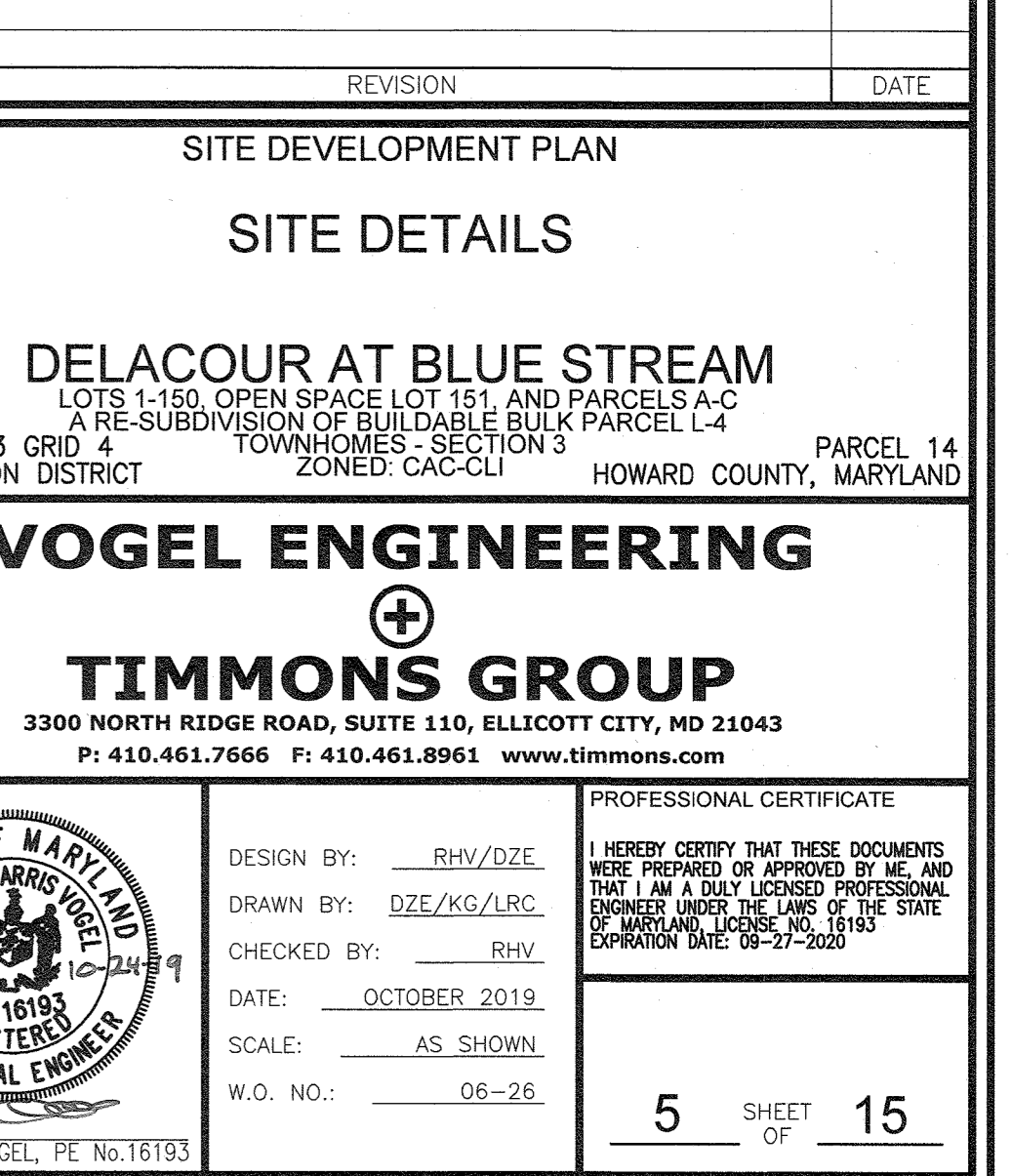
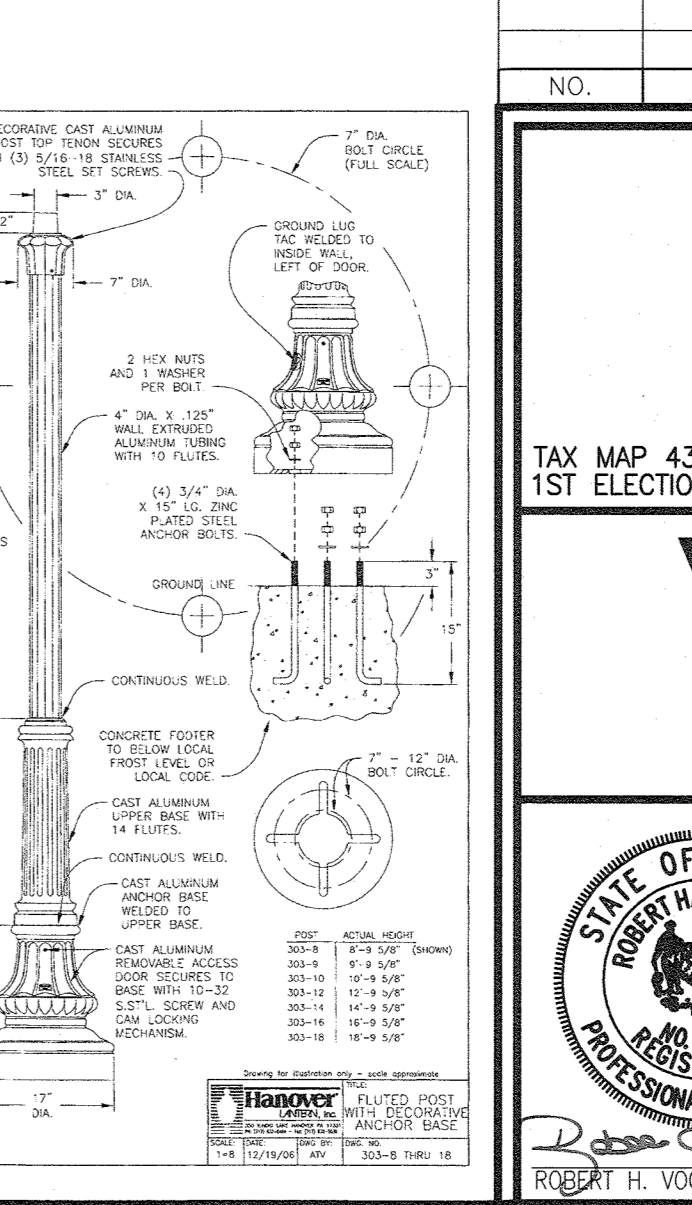
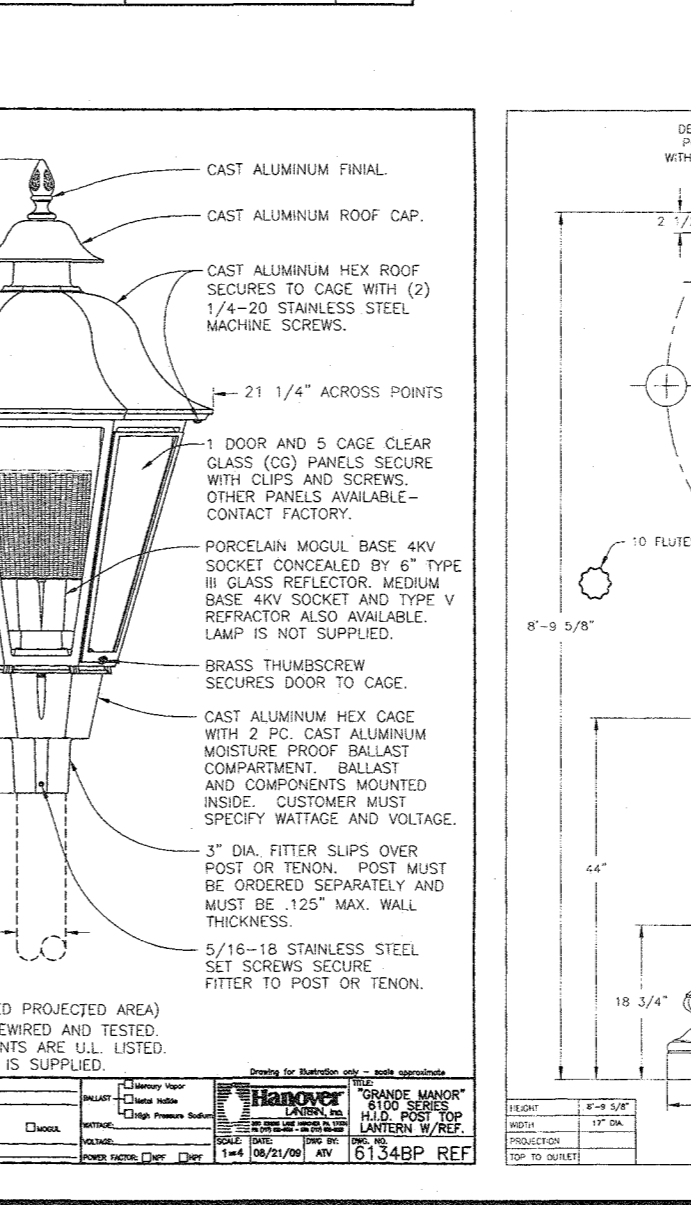
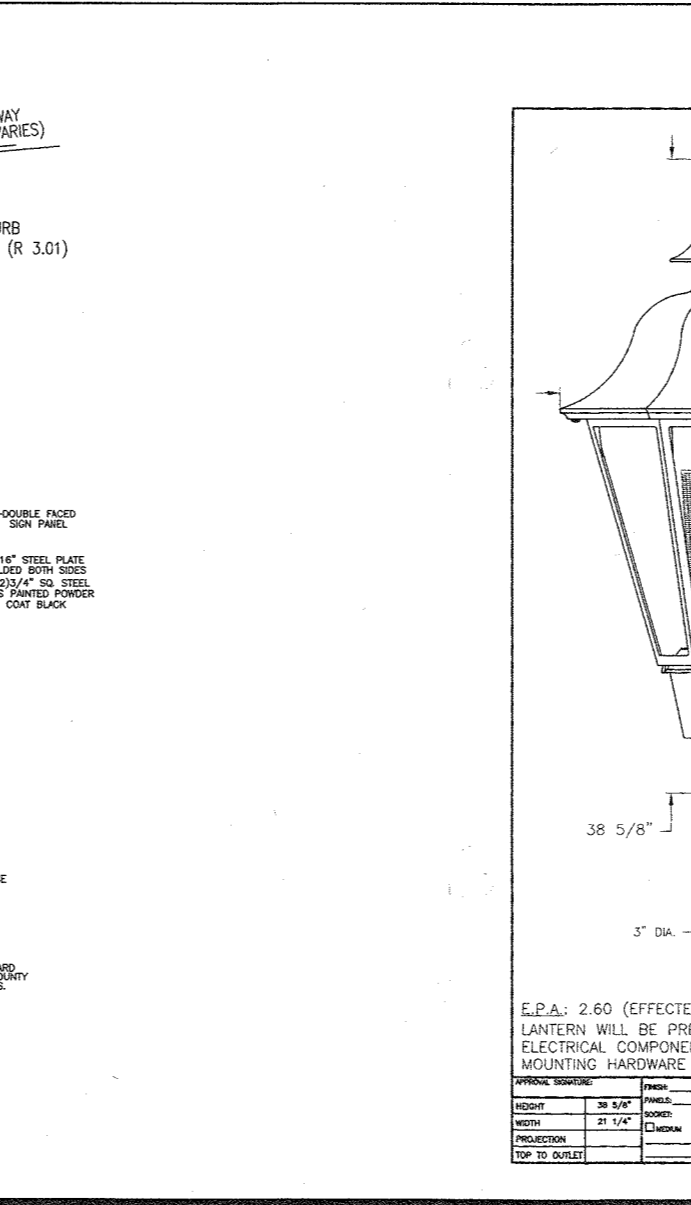
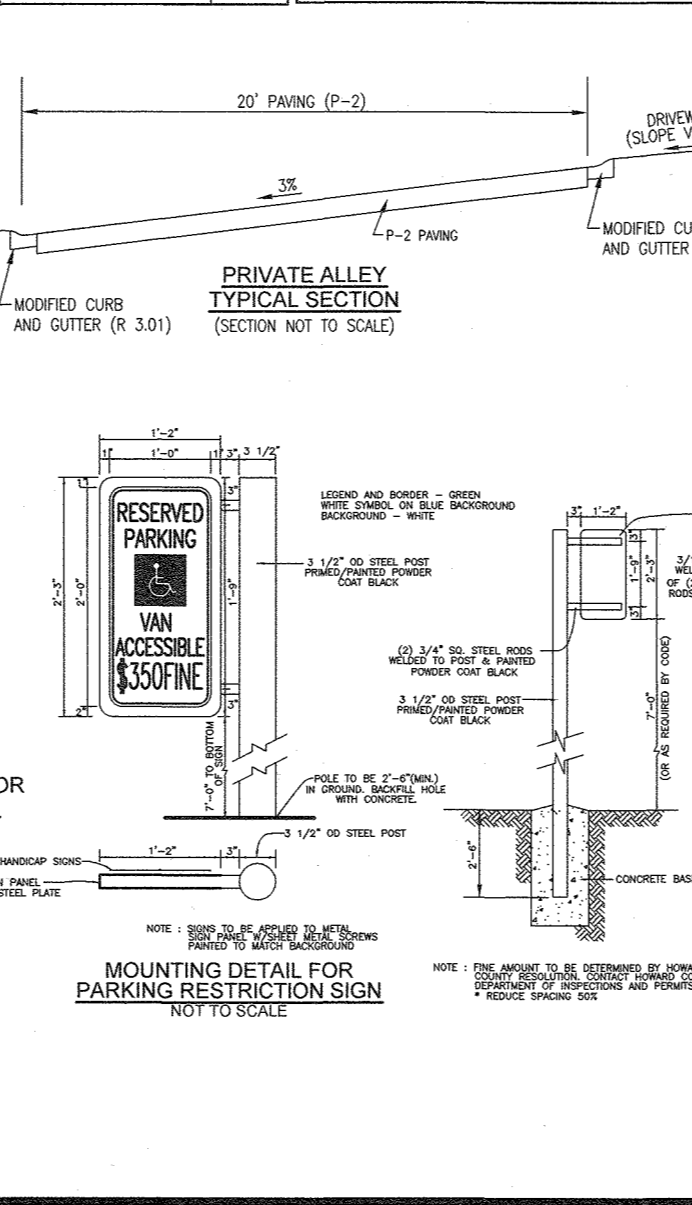
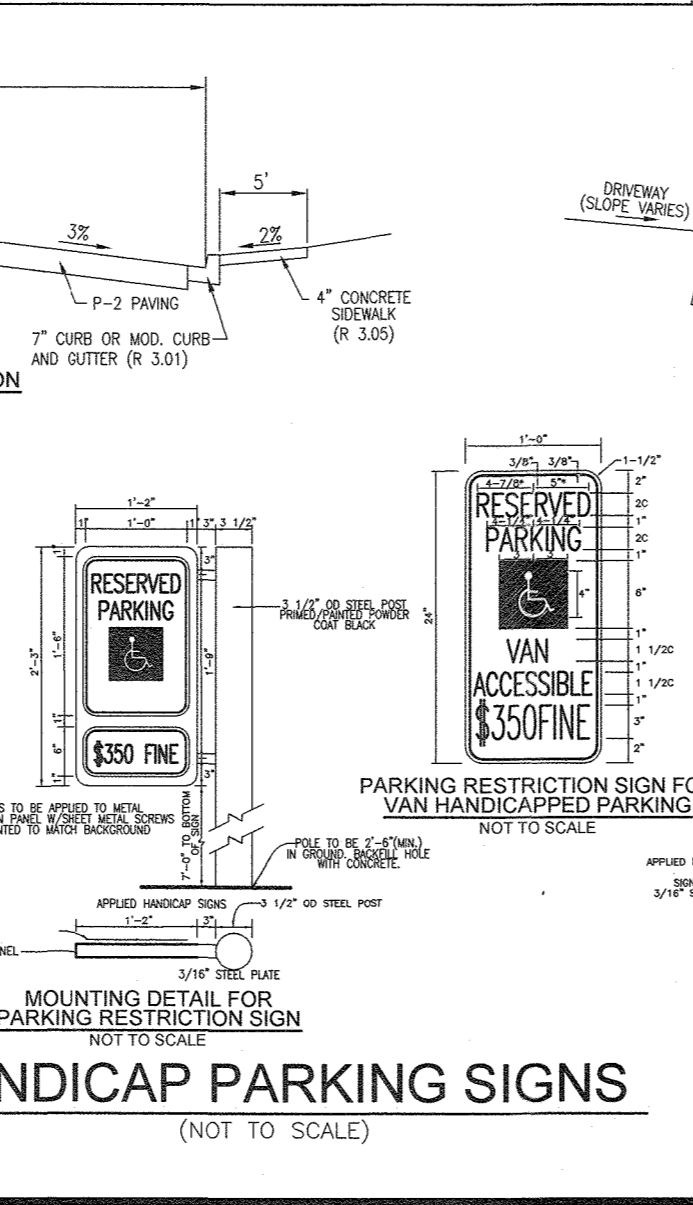
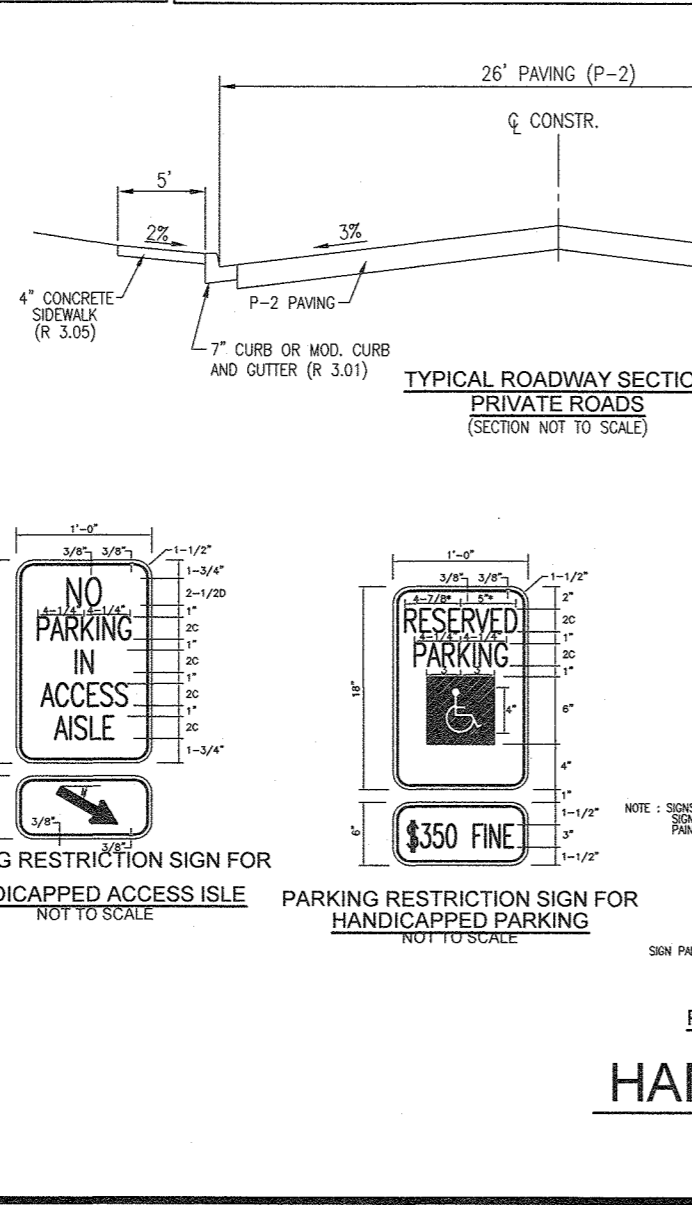
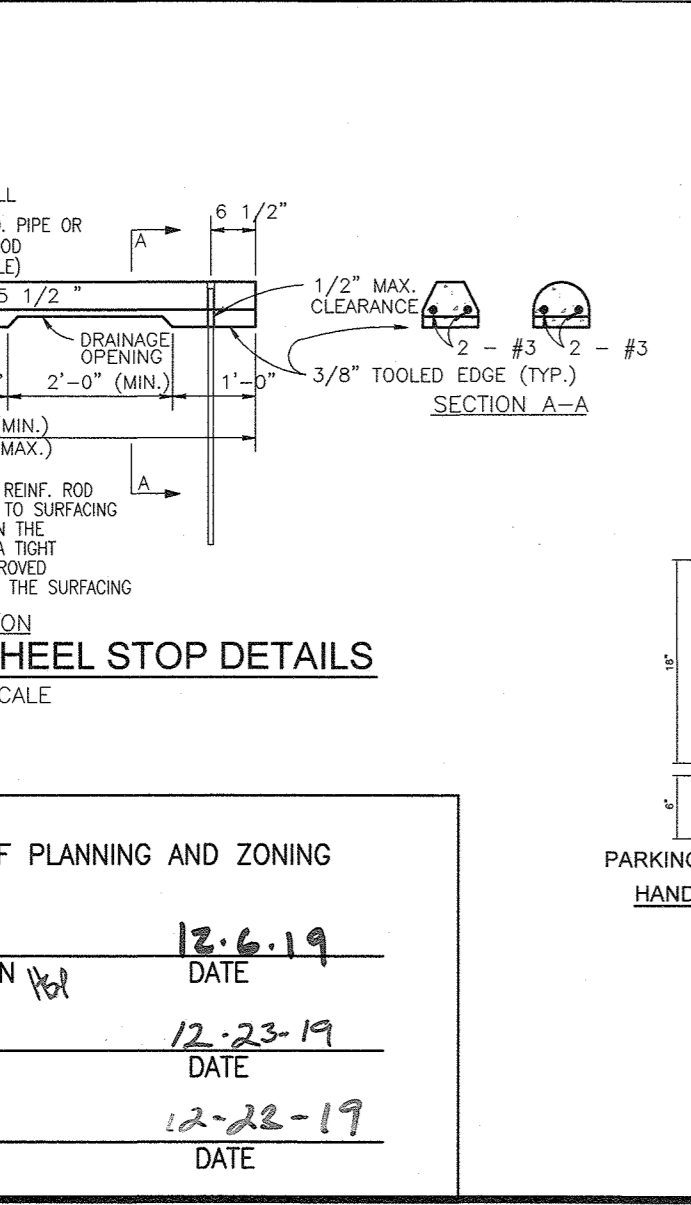
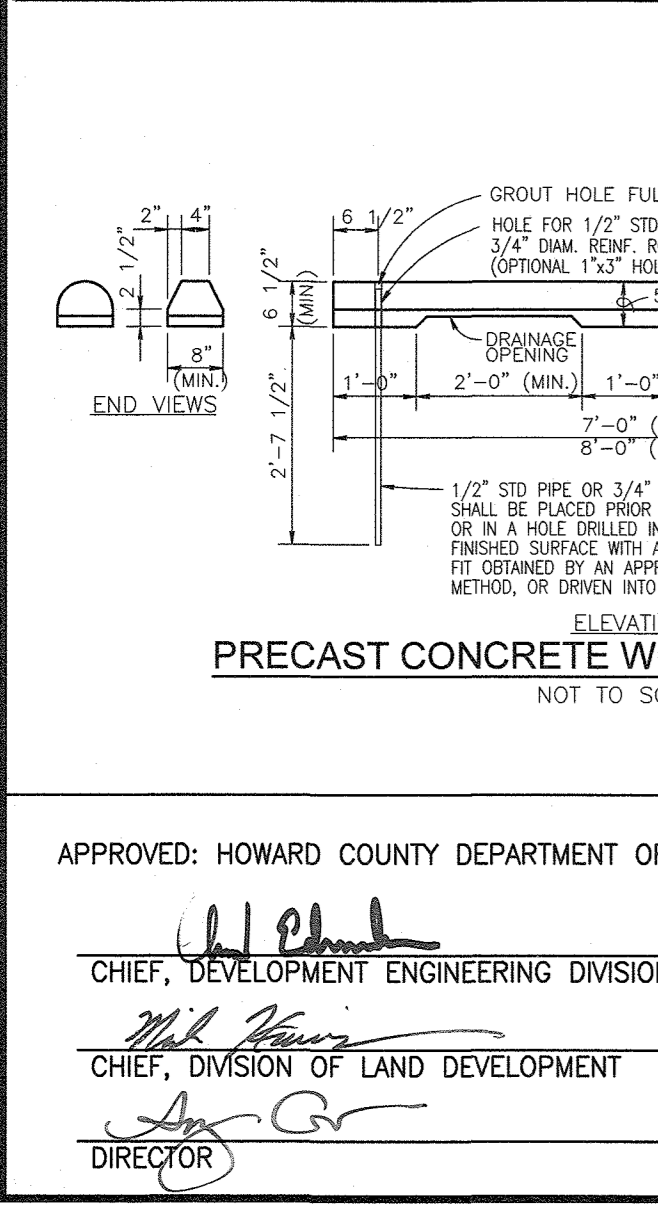
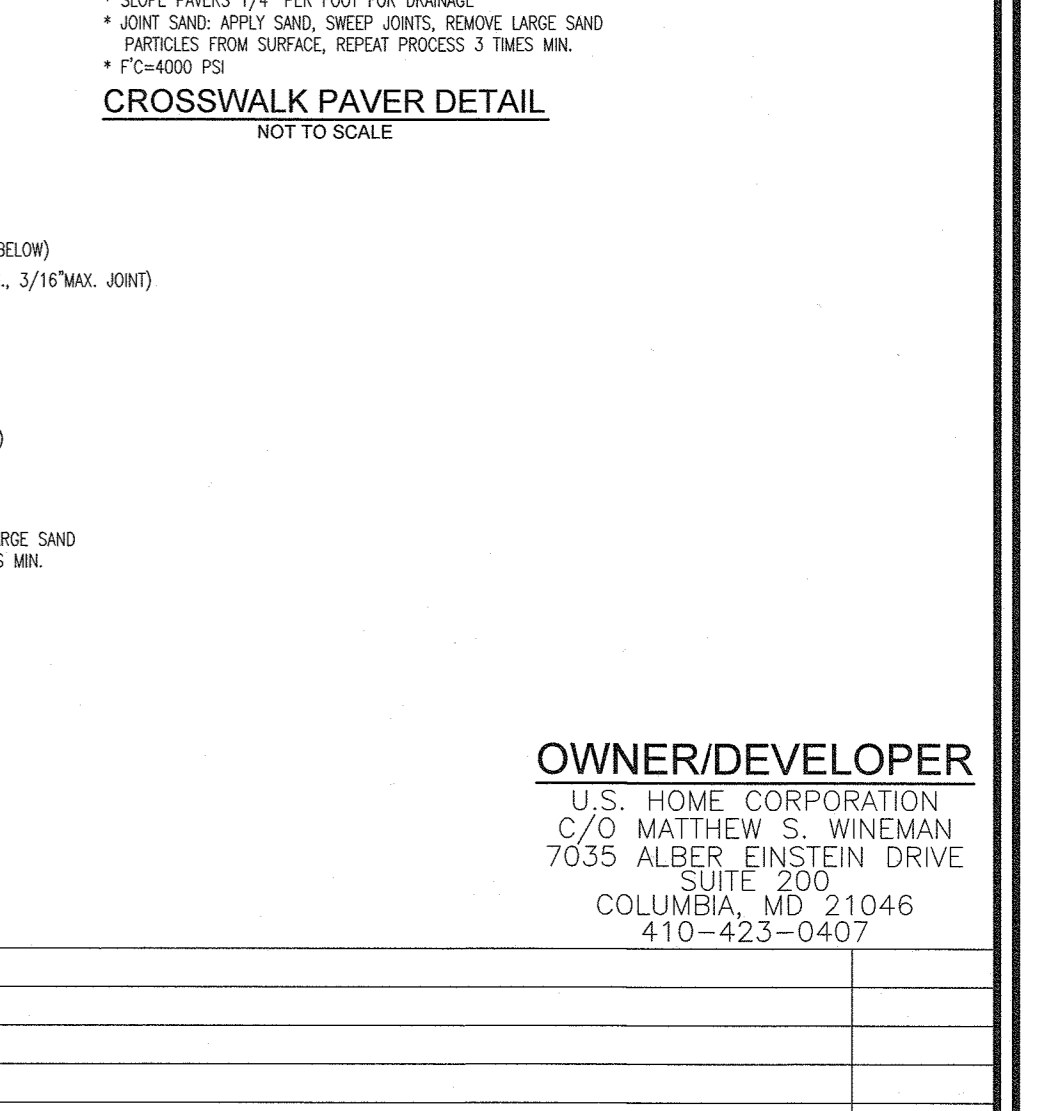
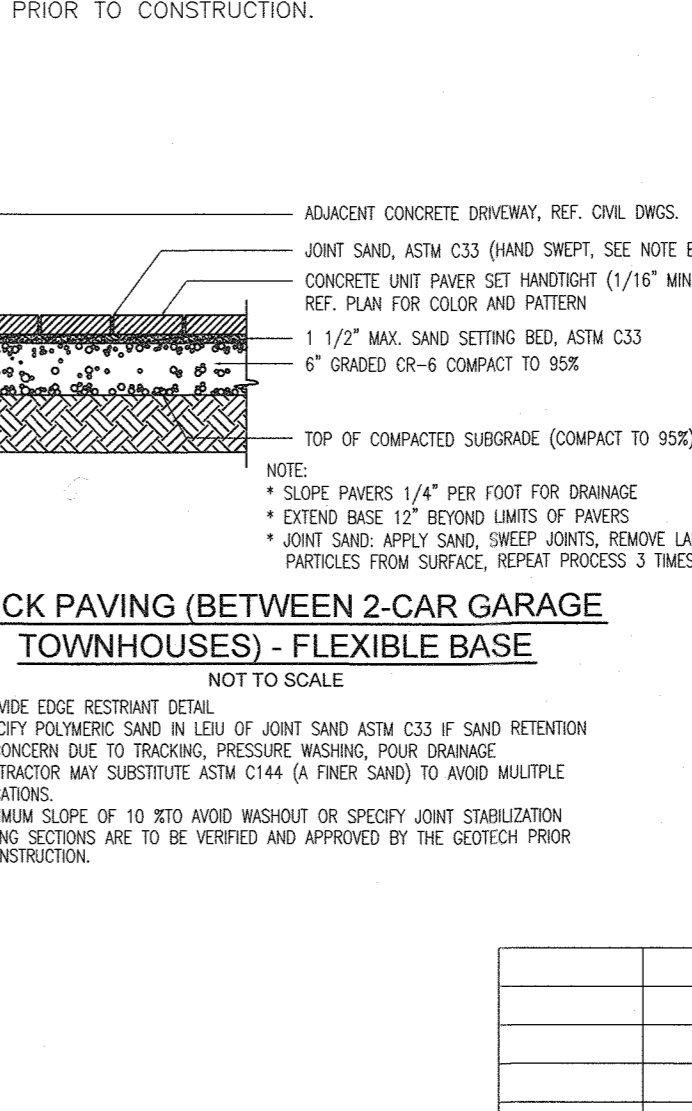
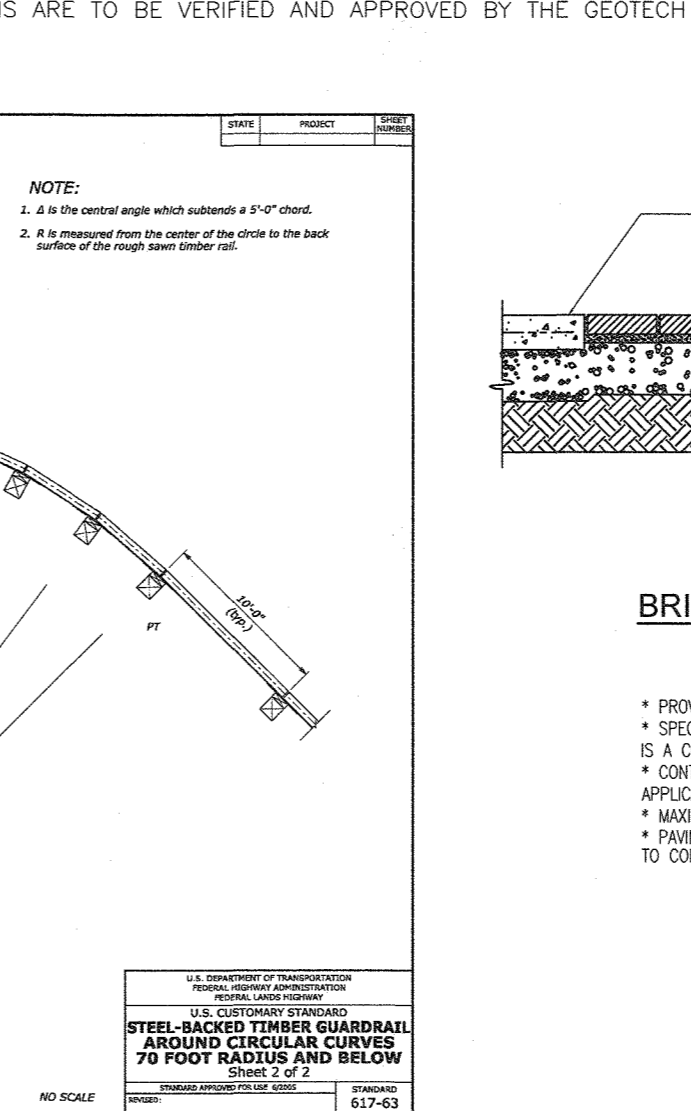
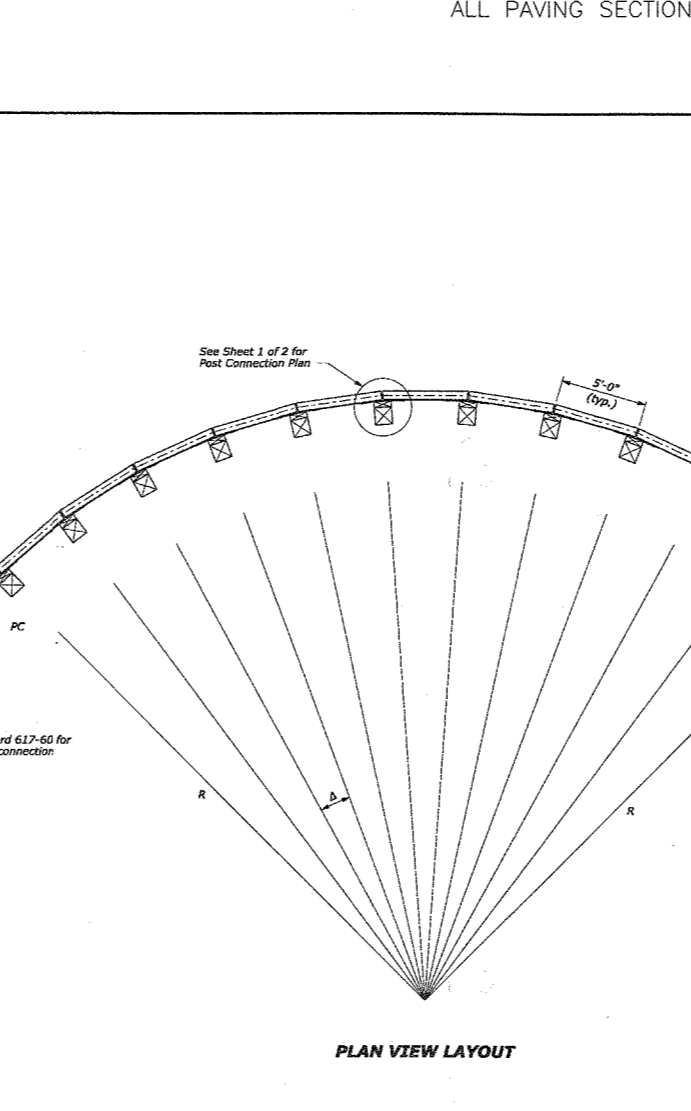
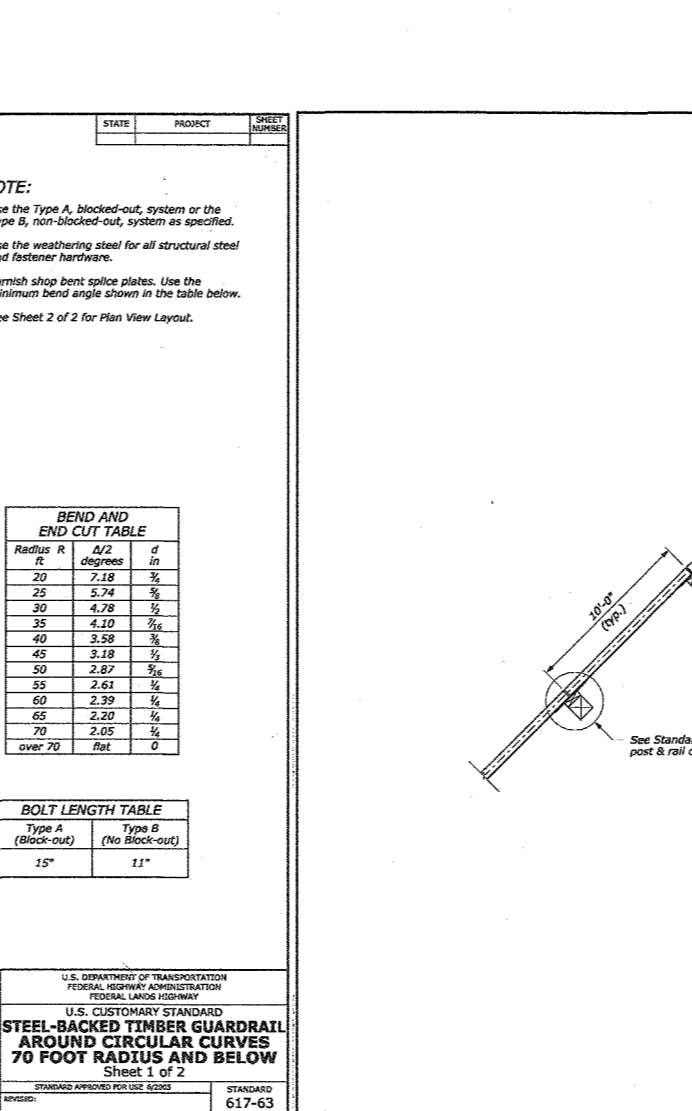
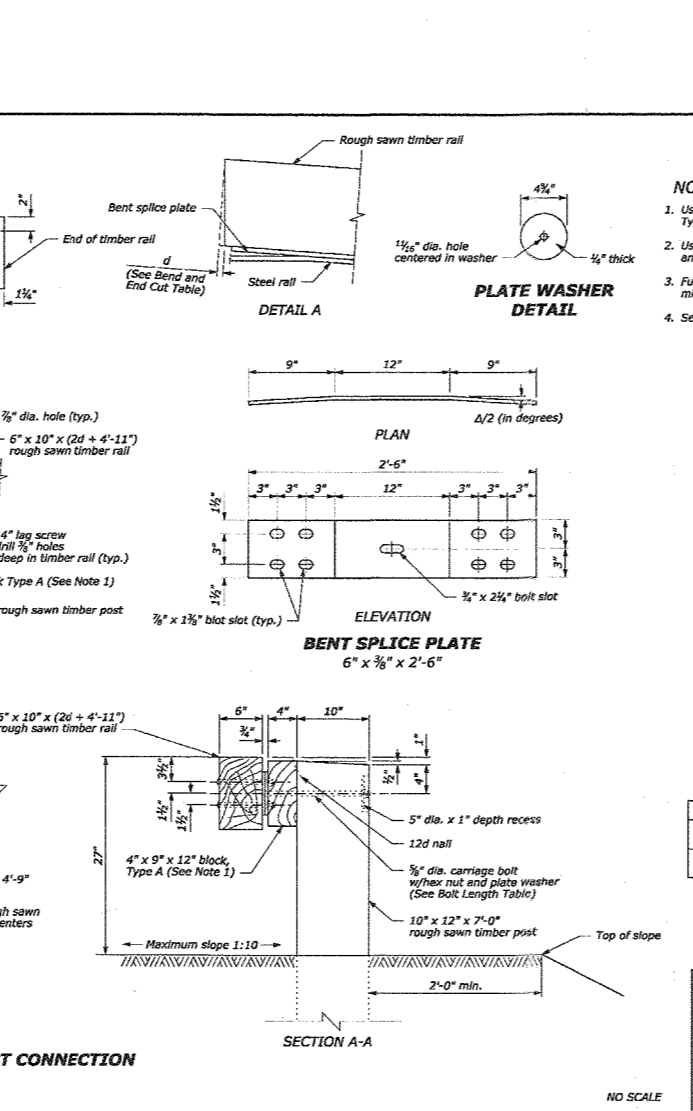
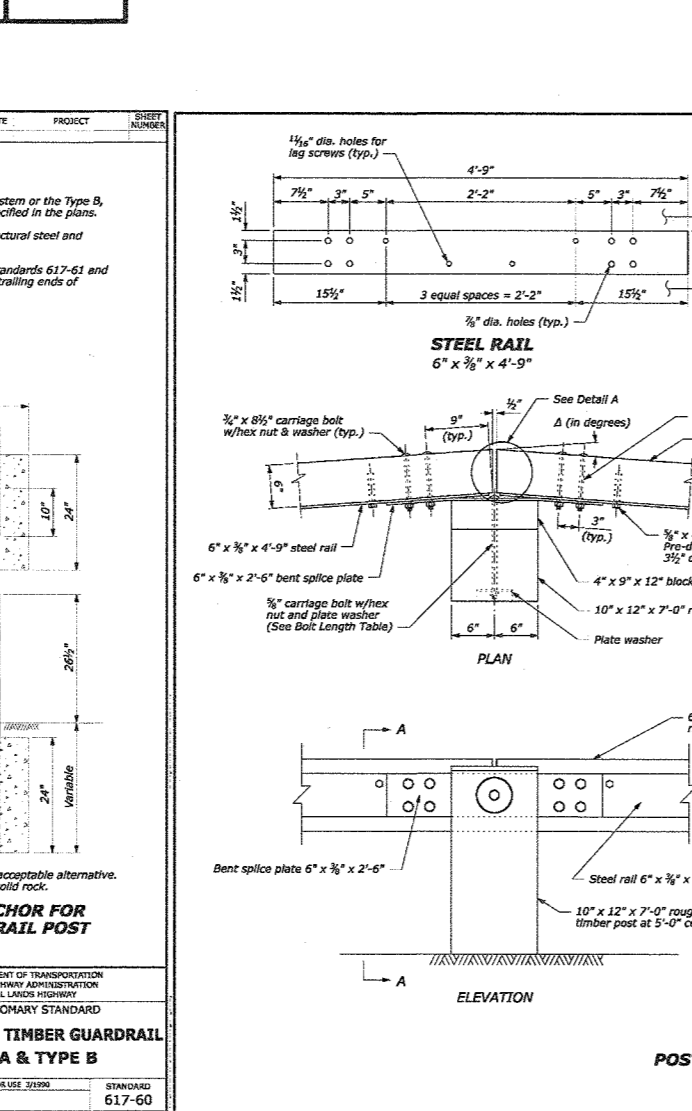
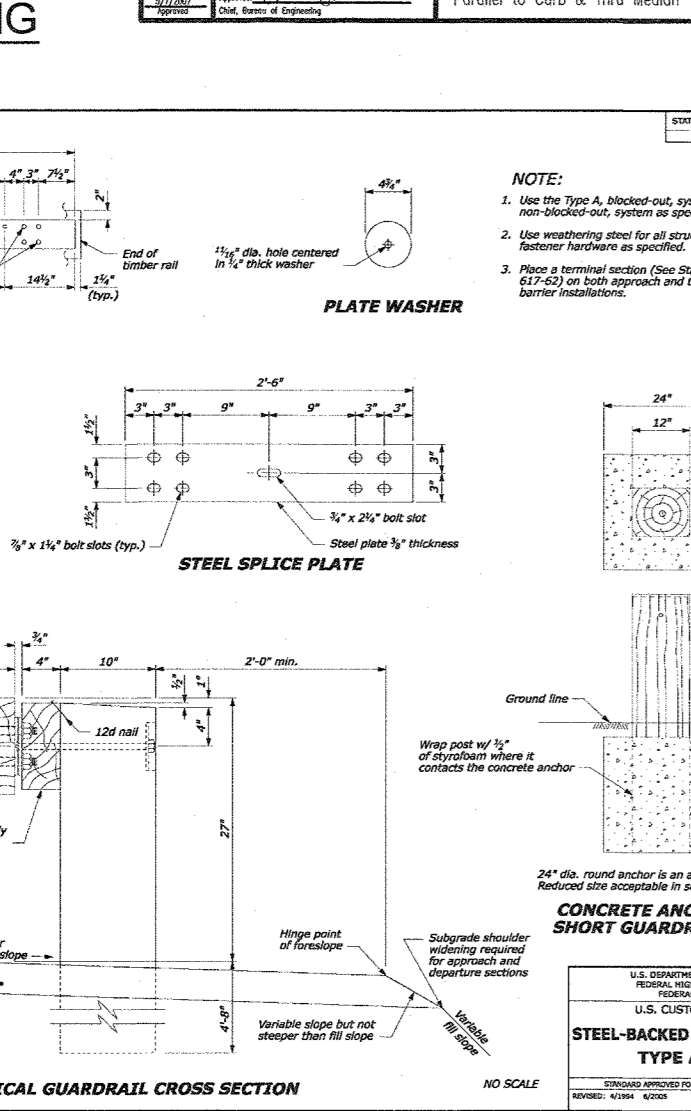
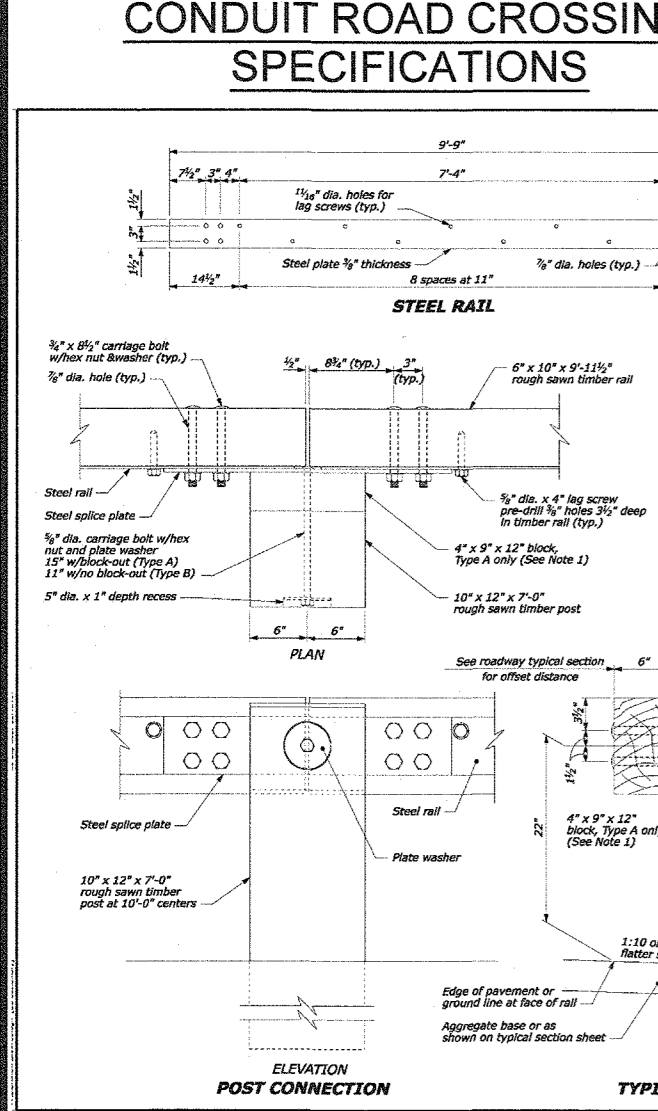
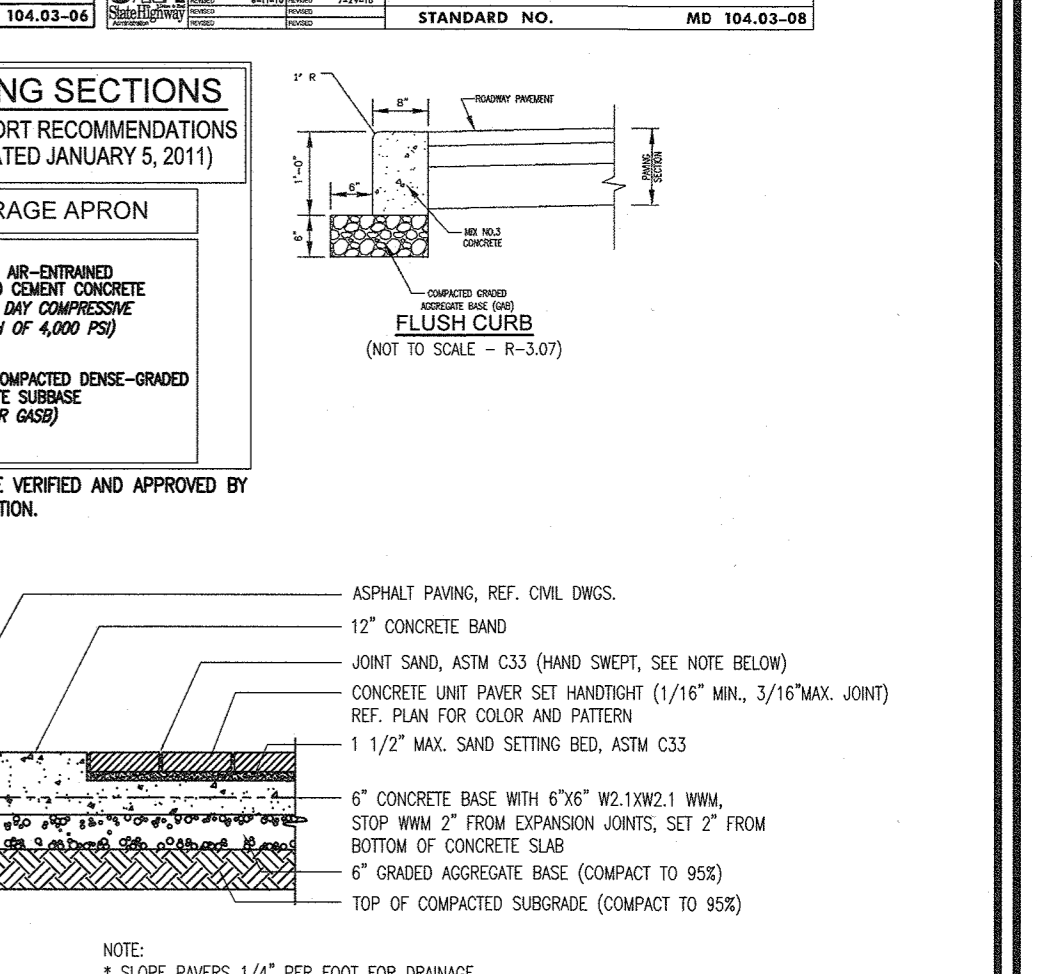


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO 12 TO 1	12 TO 1 TO 1	12 TO 1 TO 1	12 TO 1 TO 1	12 TO 1 TO 1
P-1	RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVEWAYS WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	8.5 MM PG 84-225, LEVEL 1 (CSA)	1.5	1.5	1.5	1.5	1.5
P-2	PARKING DRIVEWAYS WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	2.0	2.0	2.0	2.0	2.0
P-3	MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	10.0	6.0	3.0	6.0	6.0
P-4	MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	10.0	6.0	3.0	6.0	6.0

CONCRETE PAVING SECTIONS

(AS PER GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED BY E.O.S. LLC, DATED JANUARY 5, 2011)

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)	3 TO 12 TO 1	12 TO 1 TO 1	12 TO 1 TO 1	12 TO 1 TO 1	12 TO 1 TO 1
P-1	RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVEWAYS WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	8.5 MM PG 84-225, LEVEL 1 (CSA)	1.5	1.5	1.5	1.5	1.5
P-2	PARKING DRIVEWAYS WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	2.0	2.0	2.0	2.0	2.0
P-3	MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	10.0	6.0	3.0	6.0	6.0
P-4	MAJOR COLLECTORS	SUPERPAVE ASPHALT MIX SURFACE 9.5 MM PG 84-225, LEVEL 1 (CSA)	10.0	6.0	3.0	6.0	6.0



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 12-6-19

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 12-23-19

DIRECTOR
 DATE: 12-22-19

SITE DEVELOPMENT PLAN

SITE DETAILS

DELACOUR AT BLUE STREAM

LOTS 1-100, OPEN SPACE LOT 101, AND PARCELS A-C
 A RE-SUBDIVISION OF BUILDABLE BULK PARCEL 1-4
 TOWNHOMES - SECTION 3
 ZONED: CAC-CL1
 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP

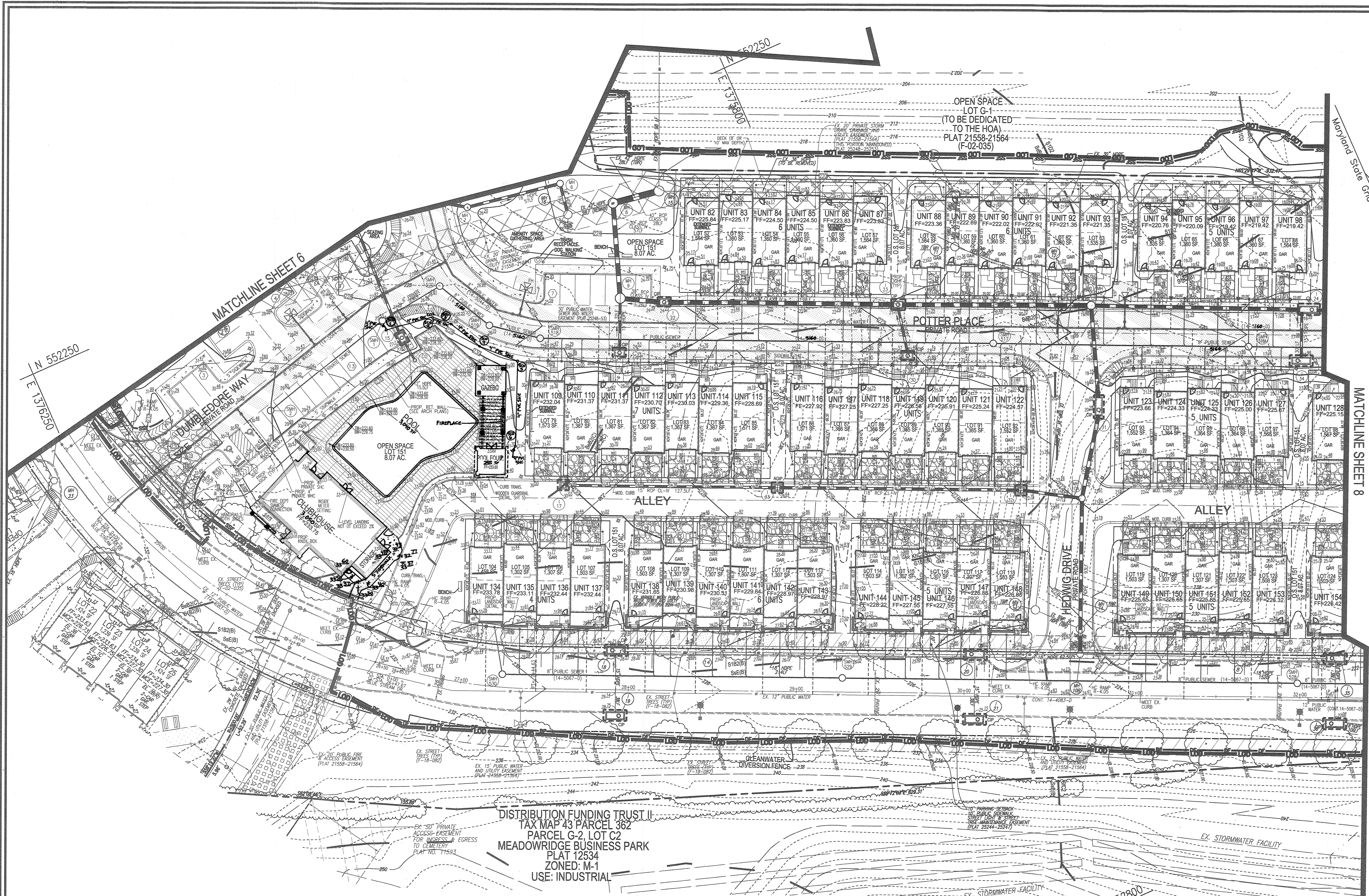
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHW/DZE
 DRAWN BY: DZE/KG/LRC
 CHECKED BY: RHW
 DATE: OCTOBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 06-26

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 10193 AND EXPIRES ON 08-27-2020.

ROBERT H. VOGEL, PE No. 16193

5 OF 15



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING STREET TREES (F.02-035)
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREE LINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- EX. 10' PARKING SETBACK
- EX. 10' PUBLIC SIDEWALK
- EX. STREET LIGHT & STREET TREE MAINTENANCE EASEMENT (PLAT 21558-21564) (PLAT 22991-22992)
- EX. 20' PRIVATE STORM DRAIN, BRANCH AND UTILITY EASEMENT (PLAT 21558-21564)
- PROP. PUBLIC WATER, SEWER AND UTILITY EASEMENT
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- CIP
- AGIP
- STABILIZED CONSTRUCTION ENTRANCE

OWNER/DEVELOPER
 U.S. HOME CORPORATION
 C/O MATTHEW S. WINEMAN
 7035 ALBERT EINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 410-423-0407

3	REVISE PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING	1-20-22
2	REVISE PLANS TO REVISE CLUBHOUSE, POOL, POOL EQUIPMENT ROOM AND GYMNASIUM BASED ON ARCHITECTURE	6-4-21
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	08-06-20
NO.	REVISION	DATE

(REVISED) SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN

DELACOUR AT BLUE STREAM
 LOTS 1-150 OPEN SPACE LOT 151 AND PARCELS A-C
 A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4

TAX MAP 43 GRID 4 TOWNHOMES - SECTION 3 PARCEL 14
 1ST ELECTION DISTRICT ZONED CAC-CL1 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING

TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief
 CHIEF, DEVELOPMENT ENGINEERING DIVISION HSP 1-6-21
 DATE

Chief
 CHIEF, DIVISION OF LAND DEVELOPMENT 1/13/21
 DATE

Director
 DIRECTOR 1-14-21
 DATE

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Matthew Durkin
 OWNER/DEVELOPER SIGNATURE
 PRINTED NAME & TITLE

1/19/20
 DATE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
 DESIGNER'S SIGNATURE

ROBERT H. VOGEL
 PRINTED NAME

MD REGISTRATION NO. 16193
 (E.L.S., OR R.L.A. (circle one))

10-6-20
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

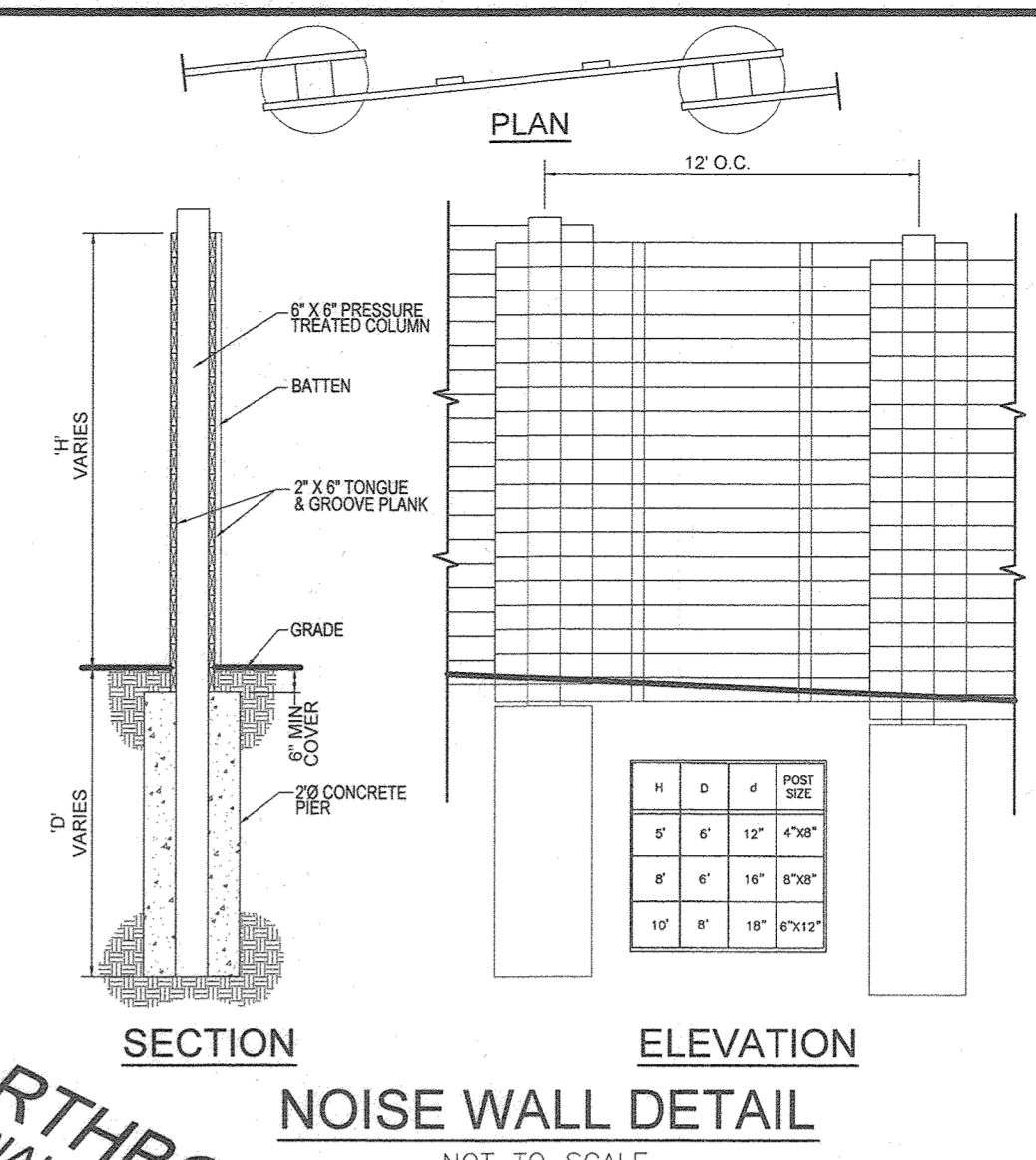
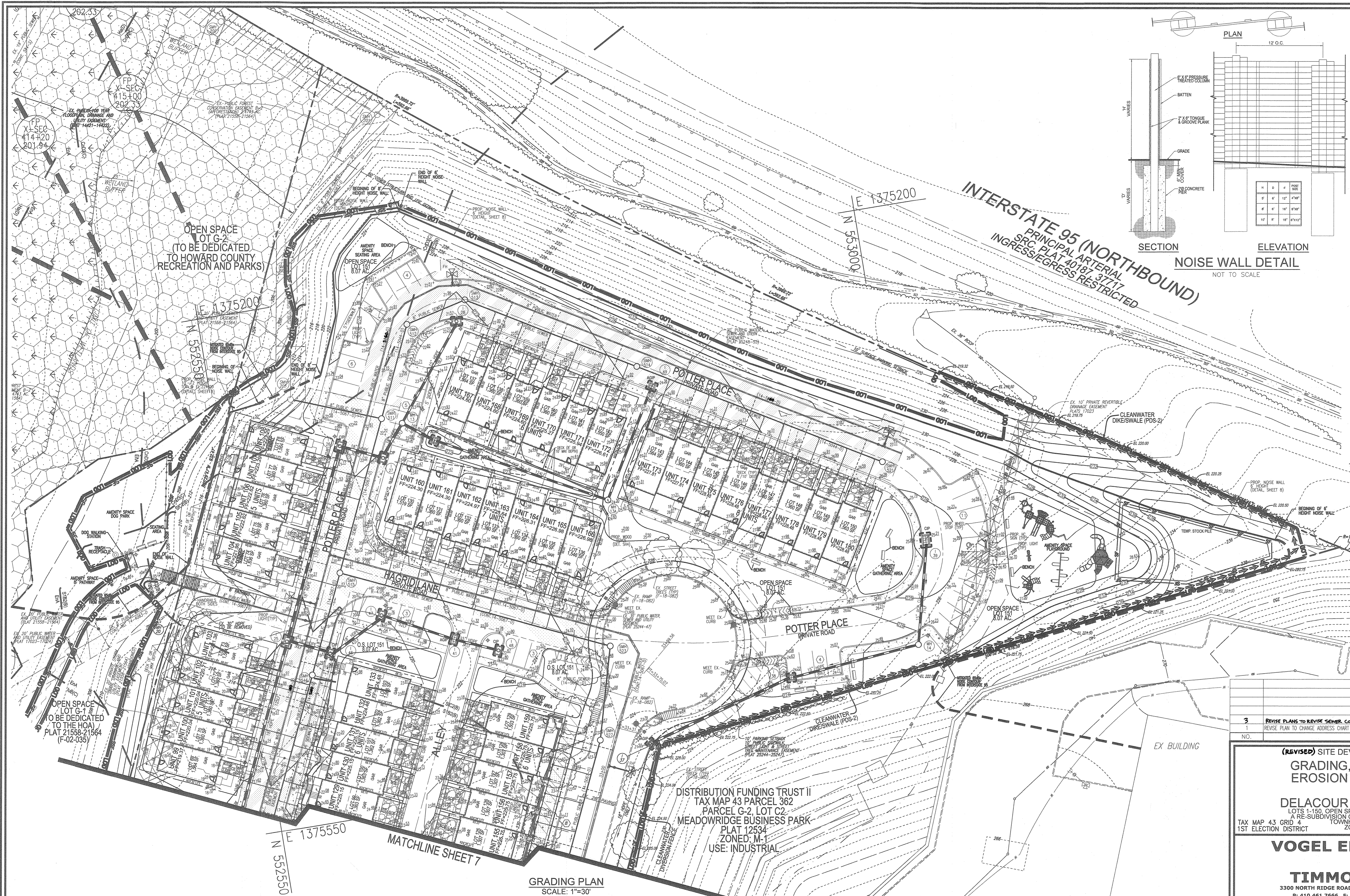
Alexander Butchis
 HOWARD S.C.D.
 DATE 12/30/2020

PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DZE
 DRAWN BY: DZE/KG/LRC
 CHECKED BY: RHW
 DATE: SEPT 2020
 SCALE: AS SHOWN
 W.O. NO.: 06-26

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRES 09-27-2022.

7 SHEET OF 15



LEGEND:

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREETRINE
- PROPOSED STORMDRAIN
- PROPOSED STORMDRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED TREETRINE
- PROPOSED CURB
- PROPOSED STREET LIGHT
- EX. PUBLIC FOREST CONSERVATION EASEMENT B-2 AFFORRESTATION (PLAT 21558-21564)
- EX. 20' PRIVATE STORM DRAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 21558-21564)
- PROP. PUBLIC WATER, SEWER AND UTILITY EASEMENT
- EXISTING WETLAND BUFFER
- EX. 20' PRIVATE STORM DRAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 21558-21564)
- EX. PUBLIC 100YR FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 14421-14423)
- SILT FENCE
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- CIP CURB INLET PROTECTION
- AGIP AT GRADE INLET PROTECTION
- EXISTING STREET TREES (F.02-035)

SCALE 1"=30'

OWNER/DEVELOPER
 U.S. HOME CORPORATION
 C/O MATTHEW S. WINEMAN
 7035 ALBERTEINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 410-423-0407

3	REVISE PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING	1-20-22
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	08-06-20
NO.	REVISION	DATE

(REVISED) SITE DEVELOPMENT PLAN
 GRADING, SEDIMENT AND EROSION CONTROL PLAN

DELACOUR AT BLUE STREAM
 LOTS 1-180, OPEN SPACE LOT 151, AND PARCELS A-C
 A RE-SUBDIVISION OF BUILDABLE BULK PARCEL C-4
 TAX MAP 43 GRID 4 TOWNHOMES - SECTION 3 PARCEL 14
 1ST ELECTION DISTRICT ZONED CAC-CLI HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
 +
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Chum
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 1-6-21

John
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 1/13/21

John
 DIRECTOR
 DATE: 1-14-21

OWNER/DEVELOPER CERTIFICATION:
 I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Matthew D'Amico
 OWNER/DEVELOPER SIGNATURE
 DATE: 1/13/21

MATTHEW D'AMICO
 PRINTED NAME & TITLE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel
 DESIGNER'S SIGNATURE
 DATE: 10-6-20

ROBERT H. VOGEL
 PRINTED NAME
 MD REGISTRATION NO. 16193
 (R.L.S., OR R.L.A. (circle one))

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Alexander Bratchi
 DATE: 12/30/2020
 HOWARD S.C.D.

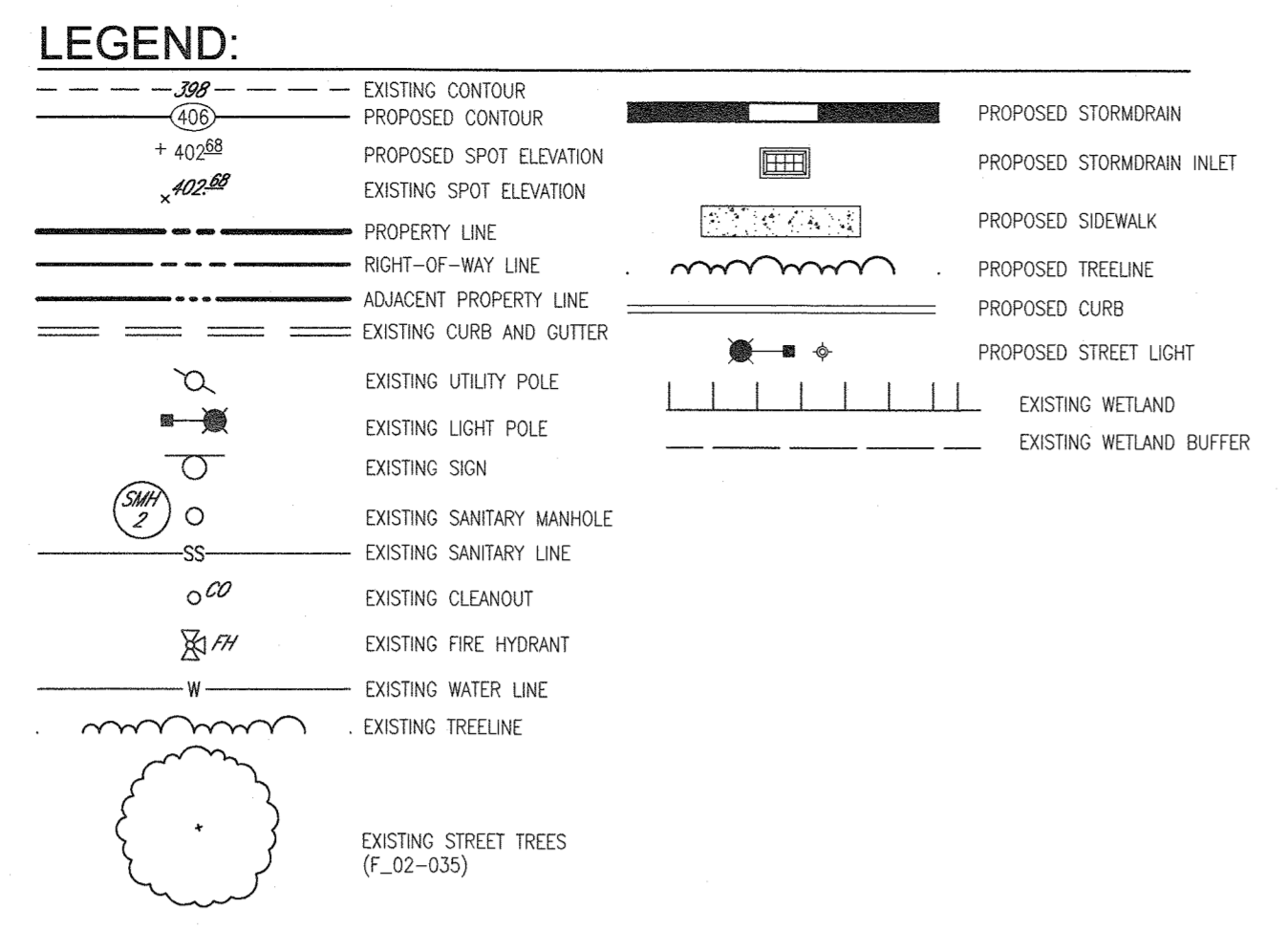
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DESIGN BY: RHW/DZE
 DRAWN BY: DZE/KG/LRC
 CHECKED BY: RHW
 DATE: SEPT. 2020
 SCALE: AS SHOWN
 W.O. NO.: 06-26

8 SHEET OF 15

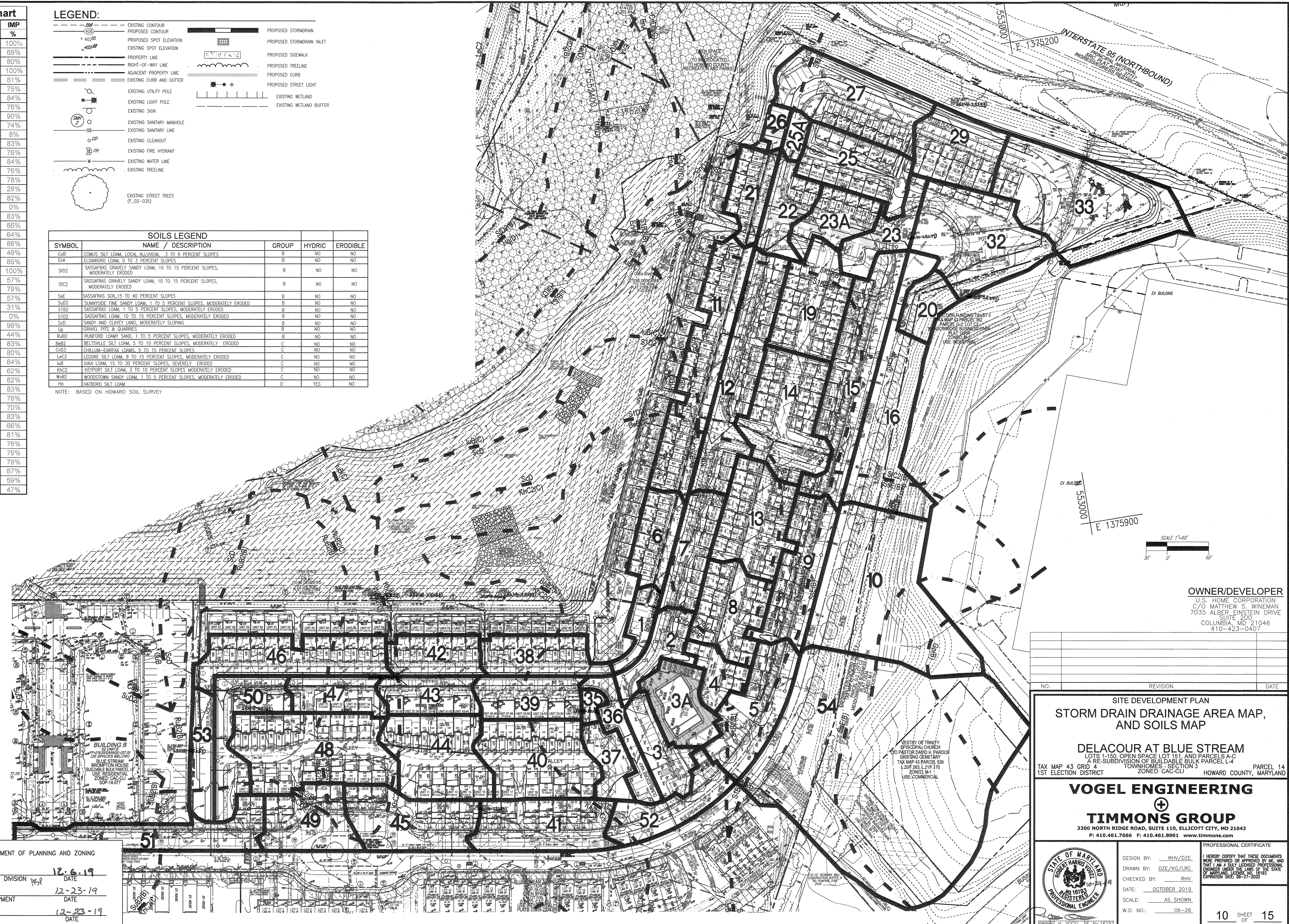
SD Drainage Area Chart			
DRAINAGE AREA	AREA AC	C	IMP %
DA-1	0.09	0.86	100%
DA-2	0.15	0.66	69%
DA-3	0.17	0.73	80%
DA-3A	0.21	0.86	100%
DA-4	0.11	0.74	81%
DA-5	0.32	0.69	75%
DA-6	0.18	0.75	84%
DA-7	0.22	0.70	76%
DA-8	0.28	0.79	90%
DA-9	0.32	0.68	74%
DA-10	0.87	0.21	8%
DA-11	0.46	0.75	83%
DA-12	0.44	0.70	76%
DA-13	0.34	0.75	84%
DA-14	0.42	0.70	76%
DA-15	0.49	0.71	78%
DA-16	0.51	0.36	28%
DA-19	0.32	0.74	82%
DA-20	0.12	0.15	0%
DA-21	0.16	0.74	83%
DA-22	0.17	0.62	66%
DA-23	0.16	0.61	64%
DA-23A	0.18	0.76	86%
DA-25	0.30	0.50	48%
DA-25A	0.05	0.76	89%
DA-26	0.04	0.86	100%
DA-27	0.44	0.56	57%
DA-29	0.28	0.71	79%
DA-32	0.49	0.55	57%
DA-33	0.70	0.37	31%
DA-35	0.03	0.13	0%
DA-36	0.13	0.85	98%
DA-37	0.12	0.49	44%
DA-38	0.22	0.75	83%
DA-39	0.22	0.73	80%
DA-40	0.40	0.75	84%
DA-41	0.33	0.61	62%
DA-42	0.18	0.74	82%
DA-43	0.17	0.75	83%
DA-44	0.38	0.72	78%
DA-45	0.34	0.66	70%
DA-46	0.37	0.75	83%
DA-47	0.16	0.63	66%
DA-48	0.53	0.73	81%
DA-49	0.26	0.70	76%
DA-50	0.26	0.69	75%
DA-51	0.35	0.72	79%
DA-52	0.22	0.64	67%
DA-53	0.14	0.58	59%
DA-54	0.30	0.49	47%



SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	ERODIBLE
CuB	COMUS SILT LOAM, LOCAL ALLOWAY, 3 TO 8 PERCENT SLOPES	B	NO	NO
EnA	ELNSBORO LOAM, 0 TO 3 PERCENT SLOPES	B	NO	NO
SfD2	SASSAFRAS GRAVELLY SANDY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
SfC2	SASSAFRAS GRAVELLY SANDY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
SsE	SASSAFRAS SOIL, 15 TO 40 PERCENT SLOPES	B	NO	NO
SuD2	SUNNYSIDE FINE SANDY LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
SfB2	SASSAFRAS LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
SfD2	SASSAFRAS LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
SdD	SANDY AND CLAYEY LOAM, MODERATELY SLOPING	B	NO	NO
gp	GRAVEL PITS & QUARRIES	B	NO	NO
RuB2	RUNFORD LOAMY SAND, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	B	NO	NO
BsB2	BELTSVILLE SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	C	NO	NO
ChD3	CHILLUM-FAIRFAX LOAMS, 5 TO 15 PERCENT SLOPES	C	NO	NO
LeC2	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C	NO	NO
luB	LUVA LOAM, 15 TO 30 PERCENT SLOPES, SEVERELY ERODED	C	NO	NO
KfC2	KEYPORT SILT LOAM, 3 TO 10 PERCENT SLOPES, MODERATELY ERODED	C	NO	NO
WbB2	WOODSTOWN SANDY LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED	C	NO	NO
Hs	HATBORO SILT LOAM	D	YES	NO

NOTE: BASED ON HOWARD SOIL SURVEY



OWNER/DEVELOPER
 U.S. HOME CORPORATION
 C/O MATTHEW S. WINEMAN
 7035 ALBER-EINSTEIN DRIVE
 SUITE 200
 COLUMBIA, MD 21046
 410-423-0407

NO. _____ REVISION _____ DATE _____

**SITE DEVELOPMENT PLAN
 STORM DRAIN DRAINAGE AREA MAP,
 AND SOILS MAP**

DELACOUR AT BLUE STREAM
 LOTS 1-160, OPEN SPACE LOT 151, AND PARCELS A-C
 A RE-SUBDIVISION OF BUILDABLE BULK PARCELS L-4
 TAX MAP 43 GRID 4 TOWNHOMES - SECTION 3 PARCEL 14
 1ST ELECTION DISTRICT ZONED: CAC-CL1 HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
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 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
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DESIGN BY: RHV/DZE
 DRAWN BY: DZE/KG/LRC
 CHECKED BY: RHV
 DATE: OCTOBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 06-26

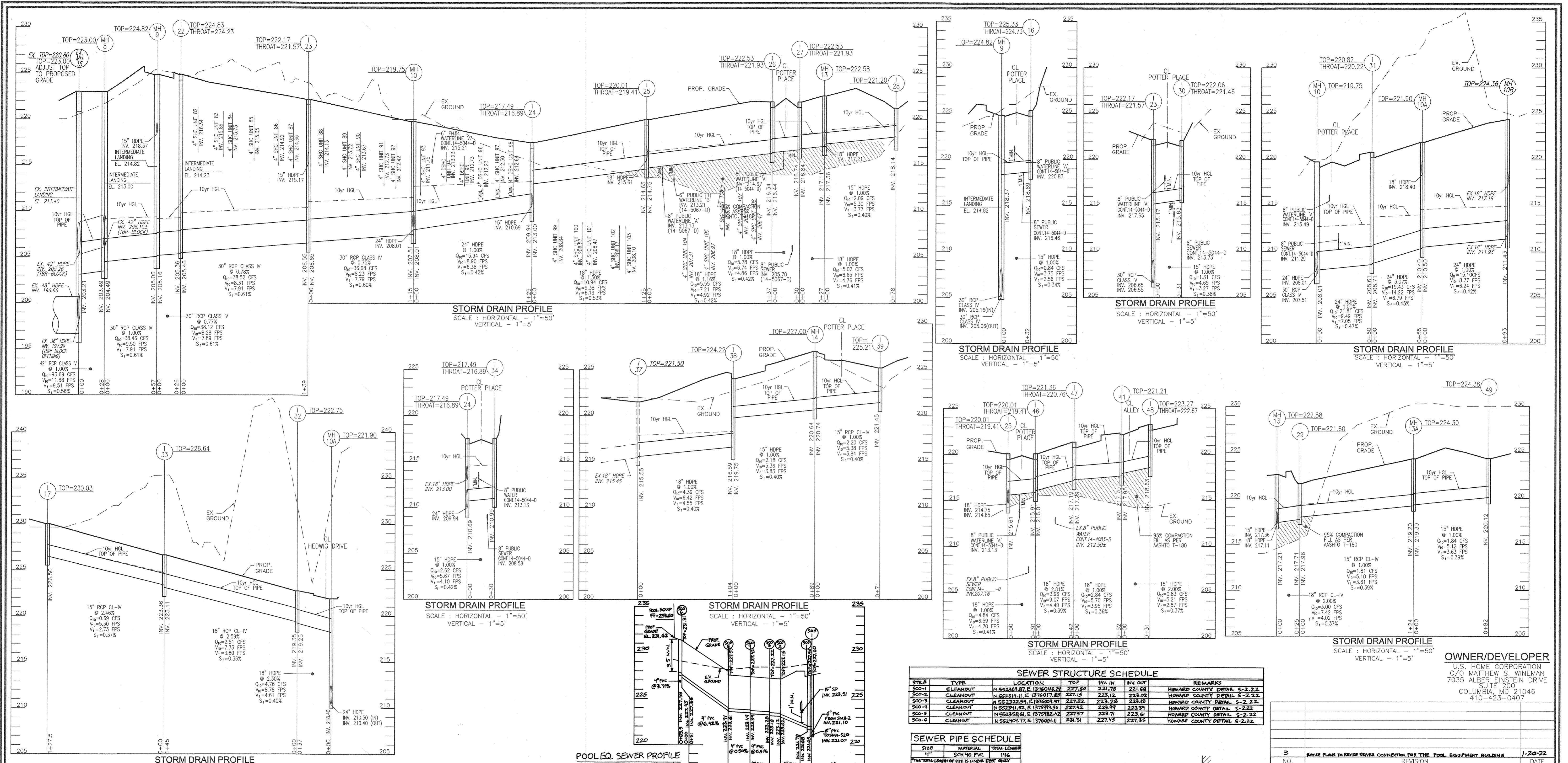
10 SHEET OF 15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 12-6-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 12-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 12-23-19
 DIRECTOR DATE



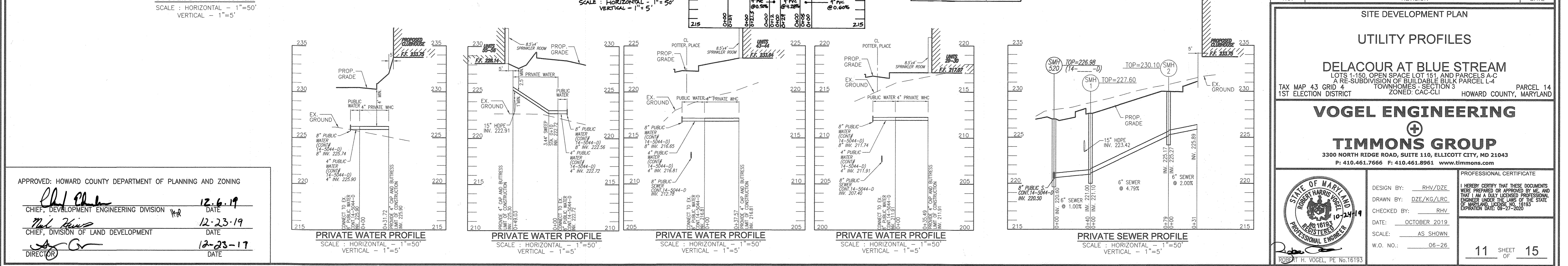
SEWER STRUCTURE SCHEDULE

STRUCT	TYPE	LOCATION	TOP	INV. IN	INV. OUT	REMARKS
SC0-1	CLEANOUT	N 552347.81 E 176042.28	227.50	227.18	227.68	HOWARD COUNTY DETAIL S-2.2.2
SC0-2	CLEANOUT	N 552314.11 E 1376017.88	227.15	223.12	223.02	HOWARD COUNTY DETAIL S-2.2.2
SC0-3	CLEANOUT	N 552322.51 E 1376009.97	227.22	223.28	223.18	HOWARD COUNTY DETAIL S-2.2.2
SC0-4	CLEANOUT	N 552341.82 E 1376019.84	227.42	223.44	223.34	HOWARD COUNTY DETAIL S-2.2.2
SC0-5	CLEANOUT	N 552358.41 E 1376022.22	227.57	223.71	223.64	HOWARD COUNTY DETAIL S-2.2.2
SC0-6	CLEANOUT	N 552340.77 E 1376011.11	227.51	227.43	227.35	HOWARD COUNTY DETAIL S-2.2.2

SEWER PIPE SCHEDULE

SIZE	MATERIAL	TOTAL LENGTH
4"	SCH 40 PVC	146'

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad Phelan 12-6-19
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Mal Klein 12-23-19
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David G... 12-23-17
 DIRECTOR DATE

OWNER/DEVELOPER
 U.S. HOME CORPORATION
 C/O MATTHEW S. WINEMAN
 A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
 SUITE 200
 COLUMBIA, MD 21046
 410-423-0407

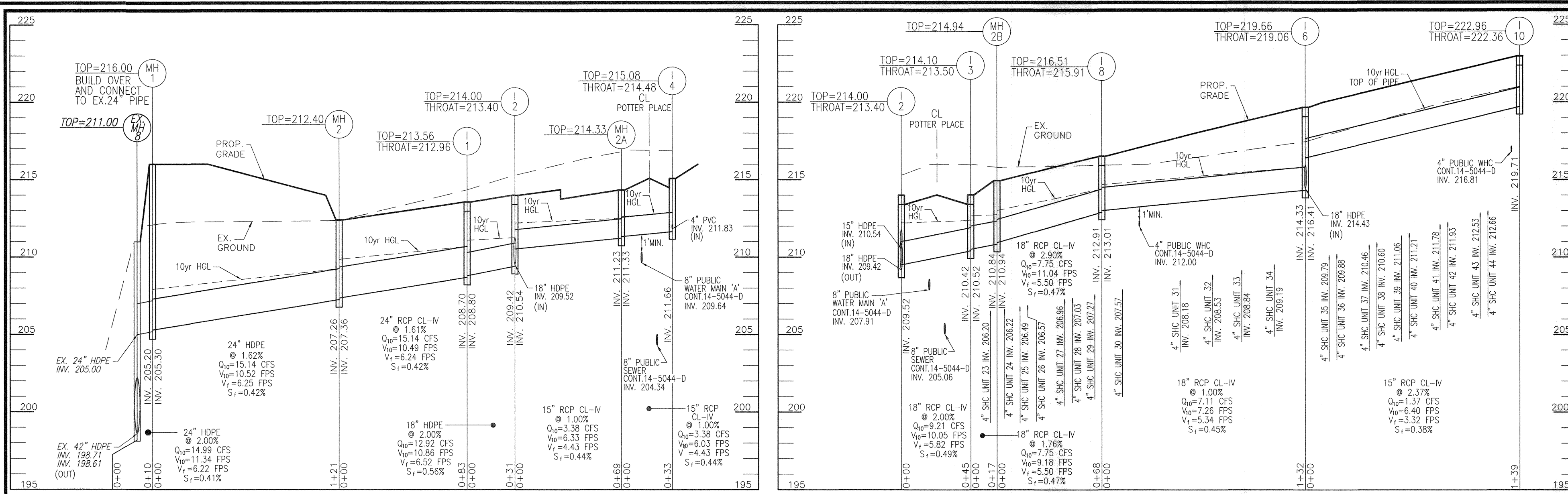
SITE DEVELOPMENT PLAN
UTILITY PROFILES
DELACOUR AT BLUE STREAM
 LOTS 1-180, OPEN SPACE LOT 151, AND PARCELS A-C
 A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
 TOWNHOMES - SECTION 3
 TAX MAP 43 GRID 4
 1ST ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PARCEL 14

VOGEL ENGINEERING
TIMMONS GROUP
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11183, EXPIRATION DATE 08-31-2020.

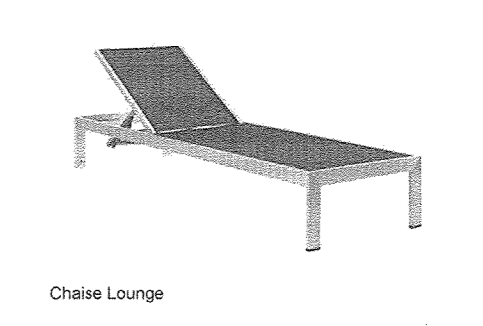
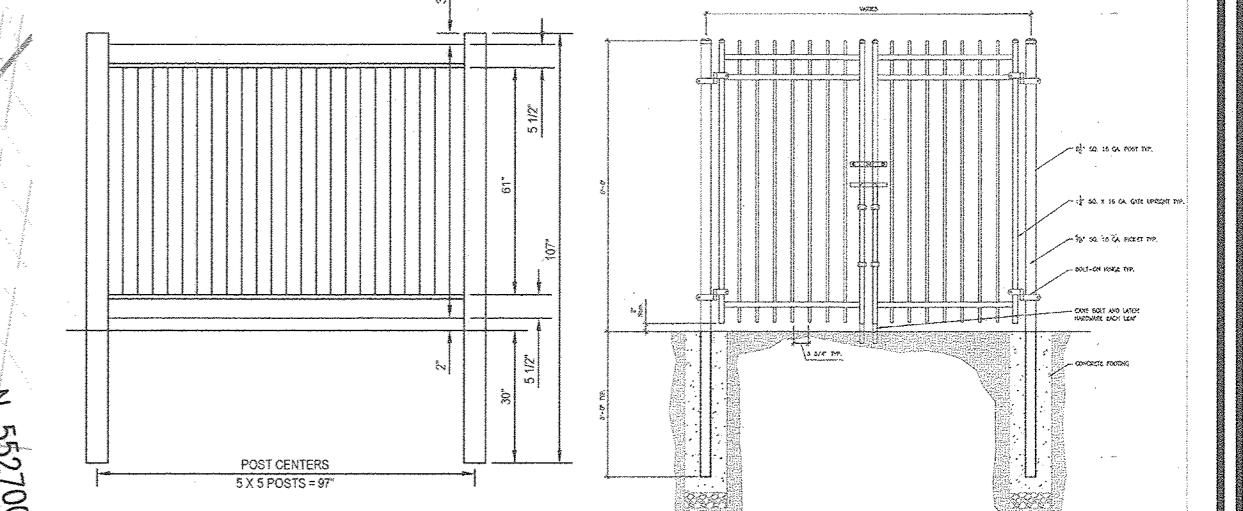
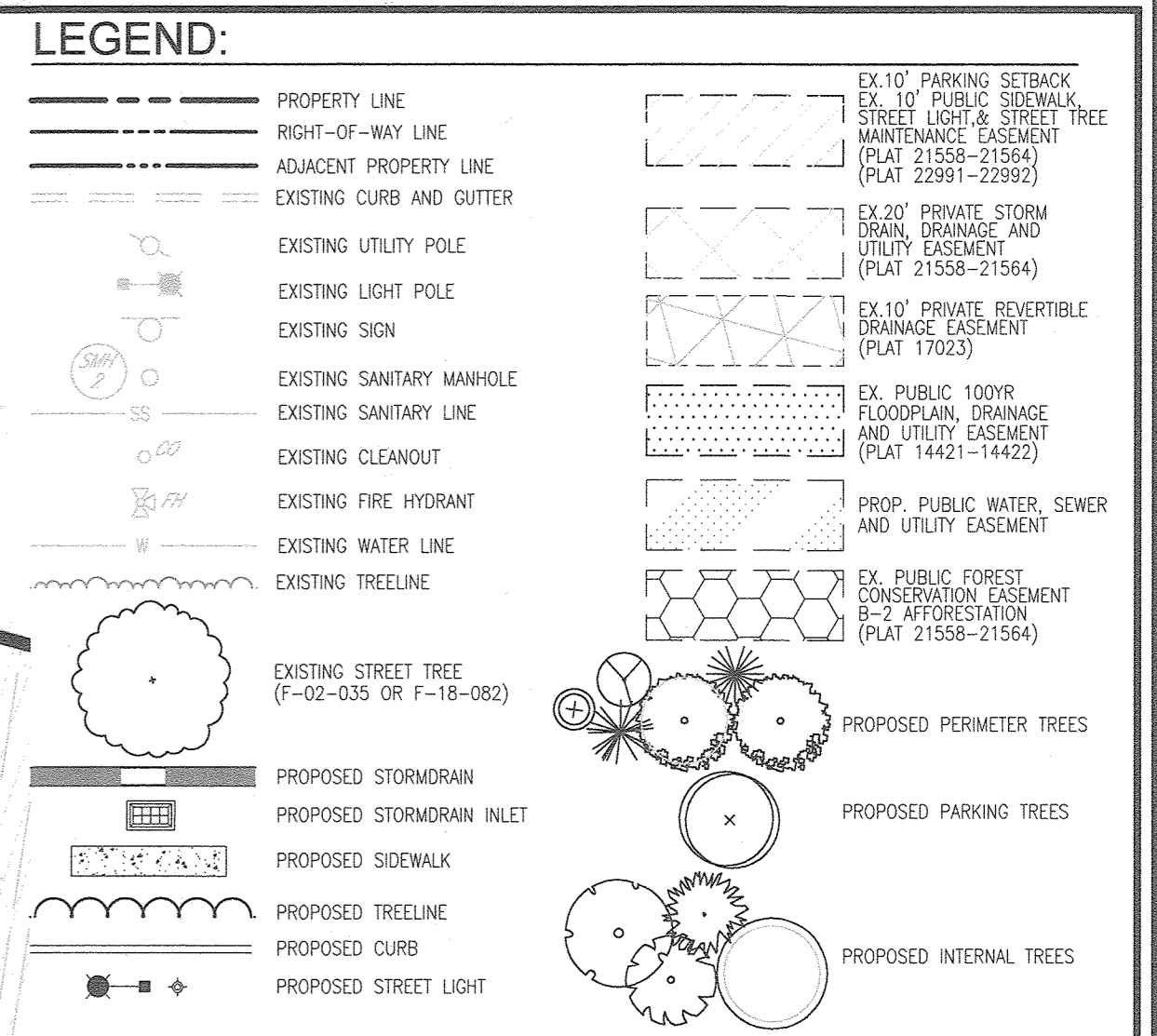
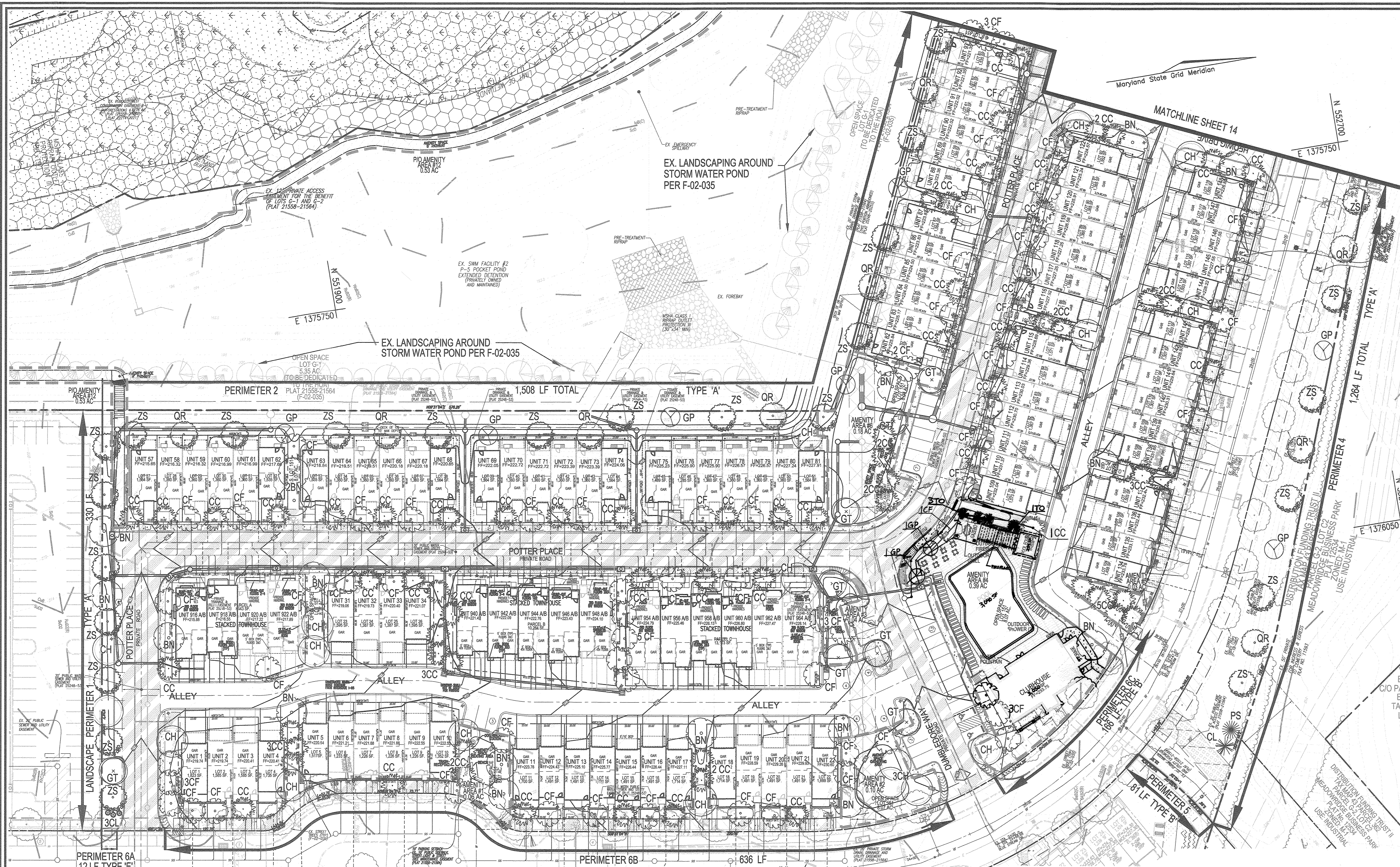
DESIGN BY: RHV/DZE
 DRAWN BY: DZE/KG/LRC
 CHECKED BY: RHV
 DATE: OCTOBER 2019
 SCALE: AS SHOWN
 W.O. NO.: 06-26

11 SHEET OF 15



PRIVATE SEWER HOUSE CONNECTION										PRIVATE SEWER HOUSE CONNECTION SCHEDULE										PRIVATE SEWER HOUSE CONNECTION										PRIVATE SEWER HOUSE CONNECTION									
LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE										
1	1	SHC	212.26	2%	19	212.64	PARCEL A	918B	SHC	206.75	2%	5	206.85	PARCEL C	960A	SHC	215.89	2%	14	216.17	46	76	SHC	215.31	2%	18	215.67												
2	2	SHC	212.26	2%	21	212.68	PARCEL A	920A	SHC	207.25	2%	7	207.37	PARCEL C	960B	SHC	216.04	2%	14	216.32	47	77	SHC	215.60	2%	18	215.92												
3	3	SHC	213.01	2%	19	213.39	PARCEL A	920B	SHC	207.23	2%	7	207.37	PARCEL C	962A	SHC	216.64	2%	16	216.96	48	78	SHC	216.29	2%	18	216.65												
4	4	SHC	213.06	2%	21	213.48	PARCEL A	922A	SHC	207.23	2%	5	207.37	PARCEL C	962B	SHC	216.78	2%	16	217.10	49	79	SHC	216.70	2%	18	216.26												
5	5	SHC	213.84	2%	12	214.08	PARCEL A	922B	SHC	207.77	2%	5	207.87	PARCEL C	964A	SHC	217.27	2%	14	217.55	50	80	SHC	217.39	2%	18	217.75												
6	6	SHC	213.94	2%	7	214.08	23	31	SHC	208.40	2%	12	208.64	PARCEL C	964B	SHC	217.42	2%	14	217.70	51	81	SHC	217.96	2%	18	218.28												
7	7	SHC	214.52	2%	5	214.63	24	32	SHC	208.75	2%	10	208.95	27	57	SHC	206.30	2%	16	206.62	52	82	SHC	216.55	2%	18	216.87												
8	8	SHC	214.52	2%	7	214.66	25	33	SHC	209.06	2%	12	209.30	28	58	SHC	206.48	2%	18	206.84	53	83	SHC	216.10	2%	18	216.46												
9	9	SHC	215.22	2%	5	215.32	26	34	SHC	209.41	2%	10	209.61	29	59	SHC	206.66	2%	16	206.98	54	84	SHC	215.94	2%	18	216.26												
10	10	SHC	215.22	2%	7	215.36	PARCEL B	940A	SHC	210.01	2%	7	210.15	30	60	SHC	207.05	2%	16	207.41	55	85	SHC	215.56	2%	18	215.92												
11	11	SHC	216.11	2%	14	216.39	PARCEL B	940B	SHC	210.10	2%	7	210.24	31	61	SHC	207.29	2%	16	207.61	56	86	SHC	215.13	2%	18	215.45												
12	12	SHC	216.76	2%	16	217.08	PARCEL B	942A	SHC	210.68	2%	9	210.86	32	62	SHC	207.73	2%	16	208.09	57	87	SHC	214.87	2%	18	215.23												
13	13	SHC	217.46	2%	14	217.74	PARCEL B	942B	SHC	210.82	2%	9	211.00	33	63	SHC	208.29	2%	16	208.61	58	88	SHC	214.34	2%	18	214.66												
14	14	SHC	217.96	2%	16	218.28	PARCEL B	944A	SHC	211.28	2%	7	211.42	34	64	SHC	208.68	2%	16	209.04	59	89	SHC	213.93	2%	18	214.29												
15	15	SHC	218.66	2%	14	218.94	PARCEL B	944B	SHC	211.43	2%	7	211.57	35	65	SHC	208.86	2%	16	209.18	60	90	SHC	213.88	2%	18	214.20												
16	16	SHC	219.06	2%	16	219.38	PARCEL B	946A	SHC	212.00	2%	9	212.18	36	66	SHC	209.34	2%	16	209.70	61	91	SHC	212.94	2%	18	213.30												
17	17	SHC	219.96	2%	14	220.24	PARCEL B	946B	SHC	212.15	2%	9	212.33	37	67	SHC	209.52	2%	16	209.84	62	92	SHC	212.62	2%	18	213.94												
18	18	SHC	220.56	2%	16	220.88	PARCEL B	948A	SHC	212.75	2%	7	212.89	38	68	SHC	209.95	2%	16	210.31	63	93	SHC	211.95	2%	18	212.31												
19	19	SHC	221.36	2%	16	221.72	PARCEL B	948B	SHC	212.88	2%	7	213.02	39	69	SHC	210.73	2%	16	211.05	64	94	SHC	211.43	2%	18	211.75												
20	20	SHC	221.96	2%	16	222.36	PARCEL C	954A	SHC	213.87	2%	16	214.19	40	70	SHC	211.40	2%	16	211.76	65	95	SHC	212.93	2%	18	213.29												
21	21	SHC	222.36	2%	16	222.72	PARCEL C	954B	SHC	214.00	2%	16	214.34	41	71	SHC	211.68	2%	16	212.00	66	96	SHC	212.43	2%	18	212.75												
22	22	SHC	222.66	2%	16	222.98	PARCEL C	956A	SHC	214.57	2%	14	214.85	42	72	SHC	212.40	2%	16	212.76	67	97	SHC	212.71	2%	18	213.07												
PARCEL A	916A	SHC	206.35	2%	6.5	206.64	PARCEL C	956B	SHC	214.71	2%	14	214.99	43	73	SHC	212.81	2%	16	213.13	68	98	SHC	212.08	2%	18	213.30												
PARCEL A	916B	SHC	206.50	2%	7	206.64	PARCEL C	958A	SHC	215.19	2%	16	215.51	44	74	SHC	213.66	2%	16	214.02	69	99	SHC	210.96	2%	18	209.38												
PARCEL A	918A	SHC	206.67	2%	5	206.77	PARCEL C	958B	SHC	215.34	2%	16	215.66	45	75	SHC	214.28	2%	16	214.60	70	100	SHC	208.79	2%	18	209.15												

PRIVATE SEWER HOUSE CONNECTION										PRIVATE SEWER HOUSE CONNECTION SCHEDULE										PRIVATE SEWER HOUSE CONNECTION									
LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE	LOT/ PARCEL	UNIT	ELEV @ C/O	SLOPE	LF TO BLDG	ELEV @ HOUSE
71	101	SHC	208.69	2%	16	209.01	96	126	SHC	208.62	2%	14	210.30	121	151	SHC	213.92	2%	9	214.10	122	152	SHC	213.56	2%	11	213.78		
72	102	SHC	208.39	2%	18	208.75	97	127	SHC	209.21	2%	12	209.45	122	152	SHC	213.56	2%	11	213.78	123	153	SHC	213.20	2%	9	213.38		
73	103	SHC	208.32	2%	16	208.64	98	128	SHC	208.83	2%	14	209.11	123	153	SHC	213.20	2%	9	213.38	124	154	SHC	212.70	2%	9	212.88		
74	104	SHC	207.53	2%	16	207.85	99	129	SHC	208.69	2%	12	208.93	124	154	SHC	212.70	2%	9	212.88	125	155	SHC	212.41	2%	11	212.63		
75	105	SHC	207.19	2%	16	207.51	100	130	SHC	208.44	2%	14	208.72	125	155	SHC	212.41	2%	11	212.63	126	156	SHC	212.21	2%	9	212.39		
76	106	SHC	207.03	2%	16	207.35	101	131	SHC	208.29	2%	12	208.58	126	156	SHC	212.21	2%	9	212.39	127	157	SHC	212.01	2%	11	212.23		
77	107	SHC	206.82	2%	16	207.14	102	132	SHC	208.14	2%	14	208.42	127	157	SHC	212.01	2%	11	212.23	128	158	SHC	211.81	2%	9	211.99		
78	108	SHC	206.68	2%	16	207.00	103	133	SHC	208.14	2%	12	208.38	128	158	SHC	211.81	2%	9	211.99	129	159	SHC	211.66	2%	11	211.88		
79	109	SHC	217.49	2%	12	217.73	104	134	SHC	212.97	2%	8	222.13	129	159	SHC	211.66	2%	11	211.88	130	160	SHC	207.95	2%	16	208.27		
80	110	SHC	217.33	2%	14	217.61	105	135	SHC	221.73	2%	11	221.95	130	160	SHC	207.95	2%	16	208.27	131	161	SHC	208.28	2%	16	208.64		
81	111	SHC	216.88	2%	12	217.12	106	136	SHC	221.32	2%	9	221.50	131	161	SHC	208.28	2%	16	208.64	132	162	SHC	208.56	2%	16	208.88		
82	112	SHC	216.69	2%	14	216.97	107	137	SHC	221.02	2%	11	221.24	132	162	SHC	208.56	2%	16	208.88	133	163	SHC	208.98	2%	16	209.34		
83	113	SHC	216.33	2%	12	216.57	108	138	SHC	220.12	2%	9	220.30	133	163	SHC	208.98	2%	16	209.34	134	164	SHC	209.19	2%	16	209.51		
84	114	SHC	216.04	2%	14	216.32	109	139	SHC	219.92	2%	11	220.14	134	164	SHC	209.19	2%	16	209.51	135	165	SHC	209.69	2%	16	210.05		
85	115	SHC	215.56	2%	12	215.80	110	140	SHC	219.42	2%	9	219.60	135	165	SHC	209.69	2%	16	210.05	136	166	SHC	209.84	2%	16	210.16		
86	116	SHC	215.16	2%	12	215.40	111	141	SHC	219.02	2%	11	219.24	136	166	SHC	209.84	2%	16	210.16	137	167	SHC	215.27	2%	16	215.63		
87	117	SHC	214.75	2%	14	215.03	112	142	SHC	218.62	2%	9	218.80	137	167	SHC	215.27	2%	16	215.63	138	168	SHC	215.67	2%	16	215.99		
88	118	SHC	214.49	2%	12	214.73	113	143	SHC	218.32	2%	11	218.54	138	168	SHC	215.67	2%	16	215.99	139	169	SHC	216.07	2%	16	216.43		
89	119	SHC	214.12	2%	14	214.40	114	144	SHC	217.31	2%	9	217.49	139	169	SHC	216.07	2%	16	216.43	140	170	SHC	216.42	2%	16	216.74		
90	120	SHC	213.88	2%	12	214.12	115	145	SHC	217.09	2%	11	217.31	140	170	SHC	216.42	2%	16	216.74	141	171	SHC	216.87	2%	16	217.23		
91	121	SHC	213.54	2%	14	213.82	116	146	SHC	216.73	2%	9	216.91	141	171	SHC	216.87	2%	16	217.23	142	172	SHC	217.19	2%	16	217.51		
92	122	SHC	213.17	2%	12	213.41	117	147	SHC	216.50	2%	11	216.72	142	172	SHC	217.19	2%	16	217.51	143	173	SHC	217.90	2%	16	218.26		
93	123	SHC	212.07	2%	12	212.31	118	148	SHC	215.84	2%	9	216.02	143	173	SHC	217.90	2%	16	218.26	144	174	SHC	218.48	2%	16	218.80		
94	124	SHC	210.63	2%	14	210.91	119	149	SHC	214.51	2%	9	214.69	144	174	SHC	218.48	2%	16	218.80	145	175	SHC	218.76	2%	16	219.12		
95	125	SHC	210.13	2																									



CHAISE LOUNGE
AT POOL AREA (OR EQUIVALENT)
NOT TO SCALE

OWNER/DEVELOPER
U.S. HOME CORPORATION
C/O MATTHEW S. WINEMAN
7035 ALBERTEINSTEIN DRIVE
SUITE 100
COLUMBIA, MD 21046
410-423-0407

NO.	REVISION	DATE
3	REVISE PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING	1-20-22
2	REVISE PLAN TO REVISE CLUBHOUSE, POOL, POOL EQUIPMENT BUILDING AND GARDEN RAMP ON ARCHITECTURE	6-4-21
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	08-06-20

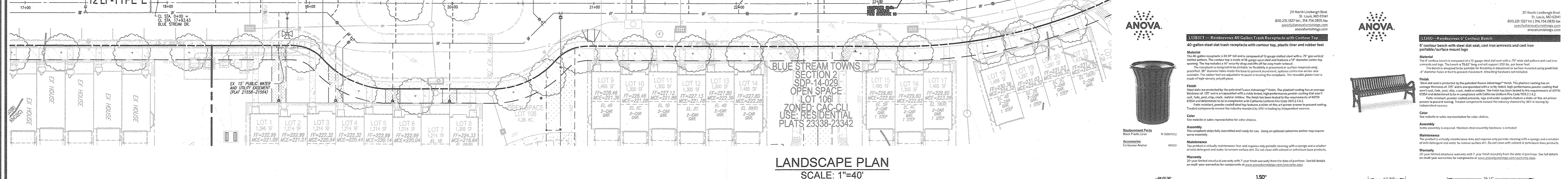
(REVISED) SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
DELACOUR AT BLUE STREAM
LOTS 1-160, OPEN SPACE LOT 151, AND PARCELS A-C
A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
TOWNHOMES - SECTION 3
ZONED CAC-CU
PARCEL 14
TAX MAP 43 GRID 4
1ST ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2022

DESIGN BY: RHY/DZE
DRAWN BY: DZE/KG/LRC
CHECKED BY: RHY
DATE: SEPT 2020
SCALE: AS SHOWN
W.O. NO.: 06-26

13 SHEET OF 15



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

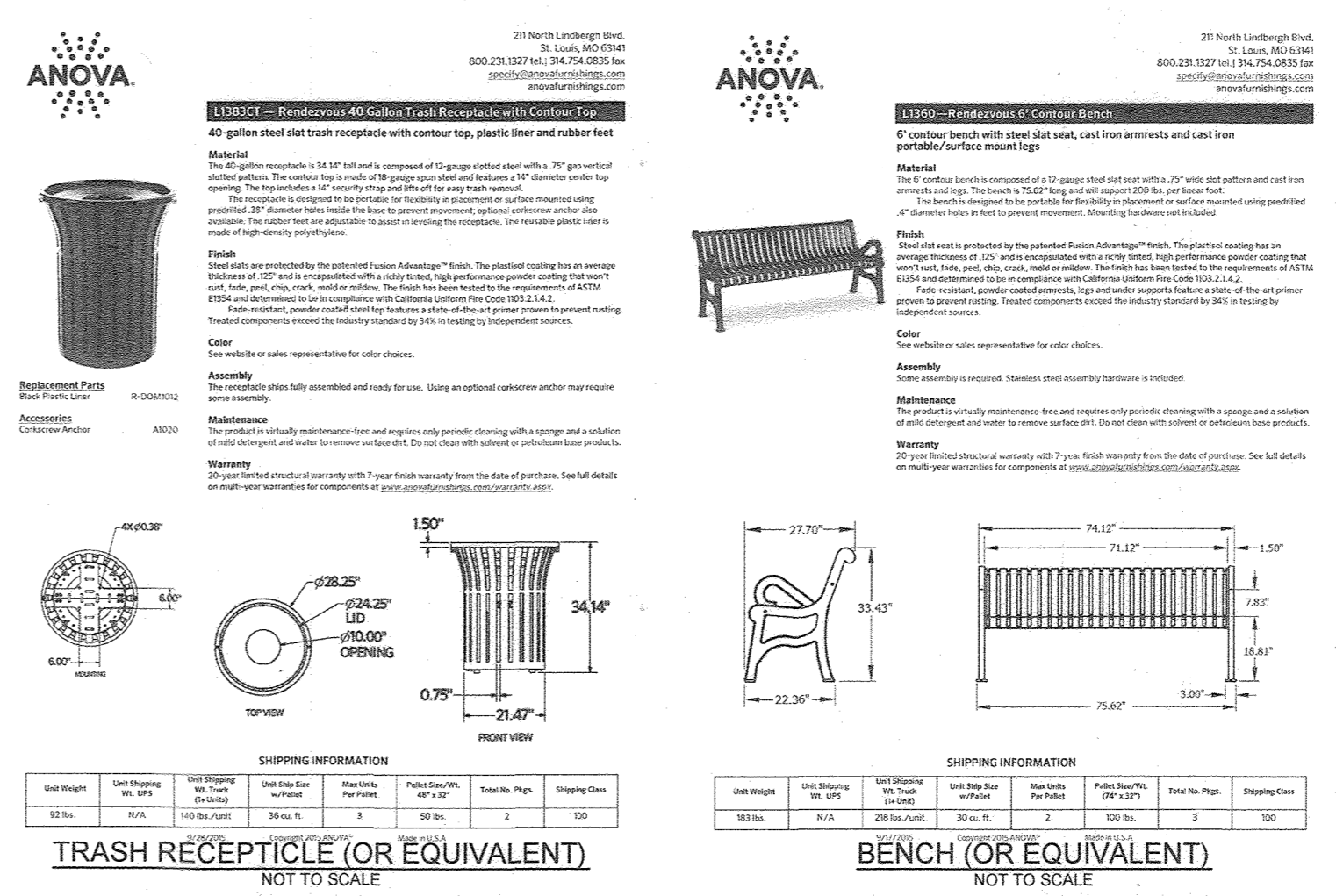
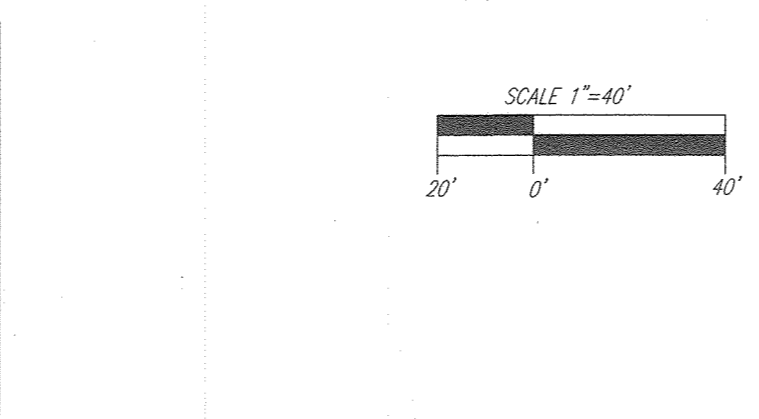
Chief, Development Engineering Division
DATE: 11/3/21

Chief, Division of Land Development
DATE: 1-14-21

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer: [Signature]
DATE: 11/9/20



GENERAL NOTES:

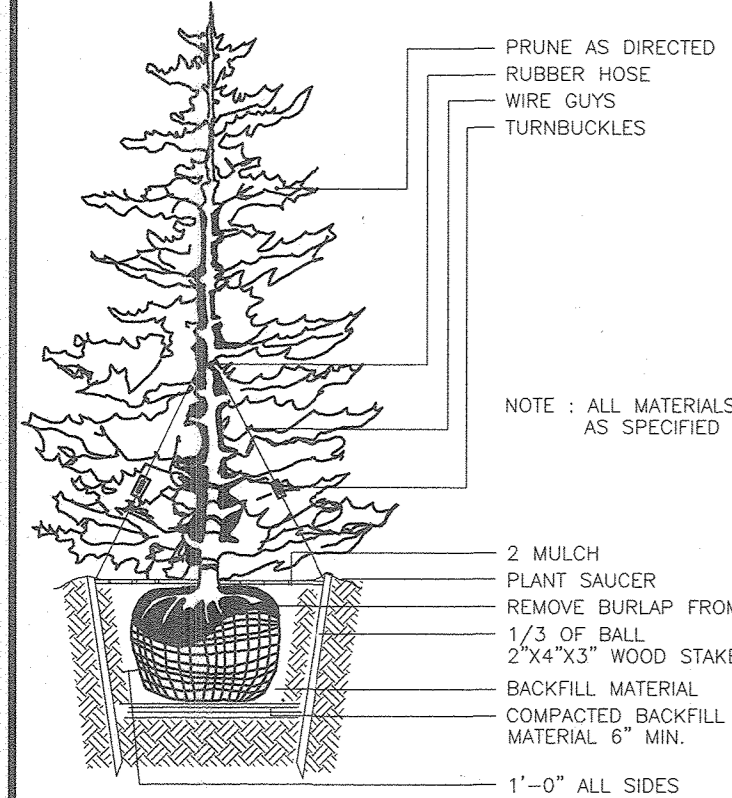
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$85,050.00 FOR THE REQUIRED 263 SHADE TREES, 16 EVERGREEN TREES, 107 SHRUBS, AND 18 ALTERNATIVE COMPLIANCE SHRUBS.
- PUBLIC STREET TREES ARE ADDRESSED UNDER F-02-035 AND F-18-082.

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

NUMBER OF PARKING SPACES	104
NUMBER OF TREES REQUIRED	11
NUMBER OF TREES PROVIDED	11
SHADE TREES	
OTHER TREES (2:1 SUBSTITUTION)	

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, AND CONFORM TO THE MOST CURRENT PLANTING SPECIFICATION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM THE LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.
- THE OPEN SPACE REQUIREMENTS FOR THE BLUE STREAM SUBDIVISION (20% OF NET ACREAGE = 12.75 AC.) HAS BEEN PROVIDED UNDER F-10-055, OPEN SPACE LOTS C-1 AND C-2 (TOTAL 18.10 AC.).
- THE INDIVIDUAL BUILDABLE PARCELS WITHIN THE BLUE STREAM SUBDIVISION WILL COMBINE TO PROVIDE THE AMENITY AREA REQUIREMENT (50% OF OPEN SPACE REQUIREMENT = 6.37 AC.) WITH THEIR CORRESPONDING SITE DEVELOPMENT PLANS. THIS PLAN ACCOUNTS FOR 2.15 AC. OF AMENITY SPACE. REFER TO THE AMENITY AREA CHART FOR THE BLUE STREAM SUBDIVISION THIS SHEET.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITHE LISTED AND APPROVED FOR THIS FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. AN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL. LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPROVED PLANS AND CERTIFICATES.



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE

TO 4 **THIN OCCASIONAL GREEN BARKED WOODS CODE** **6'-6" HGT** **B&B**

PLANT LIST - SCHEDULE C (RESIDENTIAL)

KEY	QUAN	BOTANICAL NAME	SIZE	CAT
CC	110	CERCIS CANADENSIS EASTERN REDBUD	2.5'-3" CAL	B & B
CH	36	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' / CRIMSON CLOUD HAWTHORN	1 1/2'-2" CAL	B & B
CF	102	CORNUS FLORIDA WHITE FLOWERING DOGWOOD	8'-10' HGT.	B & B
BN	35	BETULA NIGRA 'NIMF' DURA-HEAT RIVER BIRCH	2-1/2'-3' HGT.	B & B
PL	18	SKIP CHERRY LAURELS PRUNUS LAUROCEPAGUS 'SCHMIDDS'	2'-2.5' HGT.	B & B
GP	1	QUERCUS PALustris 'GREEN PILLAR' FASTIGIATE PIN OAK	2.5'-3" CAL	B&B

EX. LANDSCAPING AROUND STORM WATER POND PER F-02-035

LANDSCAPE SCHEDULE 'C'

NUMBER OF DWELLING UNITS	180
NUMBER OF TREES REQUIRED (1:DU SFA)	180
NUMBER OF TREES PROVIDED	72
SHADE TREES	216
OTHER TREES (2:1 SUBSTITUTION)	

ALTERNATIVE COMPLIANCE PLANTING SCHEDULE 'D'

NUMBER OF SHRUBS PROVIDED	18
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PLANT LIST - SCHEDULE A (PERIMETER)

KEY	QUAN	BOTANICAL NAME	SIZE	CAT
ZS	39	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN JAPANESE ZELKOVA	2.5'-3" CAL	B & B
QR	18	QUERCUS RUBRA NORTHERN RED OAK	2.5'-3" CAL	B & B
GP	15	QUERCUS PALustris 'GREEN PILLAR' FASTIGIATE PIN OAK	2.5'-3" CAL	B & B
PS	6	PNIS STROBUS GASTON WHITE PINE	6'-8" HGT.	B & B
CL	5	CUPRESSOCYPARIS LEYLANDI LEYLAND CYPRESS	5'-6" HGT.	B & B
CL	107	PRINUS LAUROCEPAGUS 'OTTO LUTYKEN' OTTO LUTYKEN CHERRY LAUREL	2'-2.5' HGT.	B & B

PLANT LIST - SCHEDULE B (PARKING LOT)

KEY	QUAN	BOTANICAL NAME	SIZE	CAT
GP	1	QUERCUS PALustris 'GREEN PILLAR' FASTIGIATE PIN OAK	2.5'-3" CAL	B & B

NOTE: 1. THIS PLAN IS SUBJECT TO DESIGN MANUAL WAIVER, APPROVED ON SEPTEMBER 17TH, 2018; TO MODIFY LANDSCAPING REQUIREMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief
CHIEF, DEVELOPMENT ENGINEERING DIVISION **HP** **1/6/21** DATE

Chief
CHIEF, DIVISION OF LAND DEVELOPMENT **HP** **1/13/21** DATE

Director
DIRECTOR **HP** **1-14-21** DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature
SIGNATURE OF DEVELOPER **HP** **1/14/20** DATE

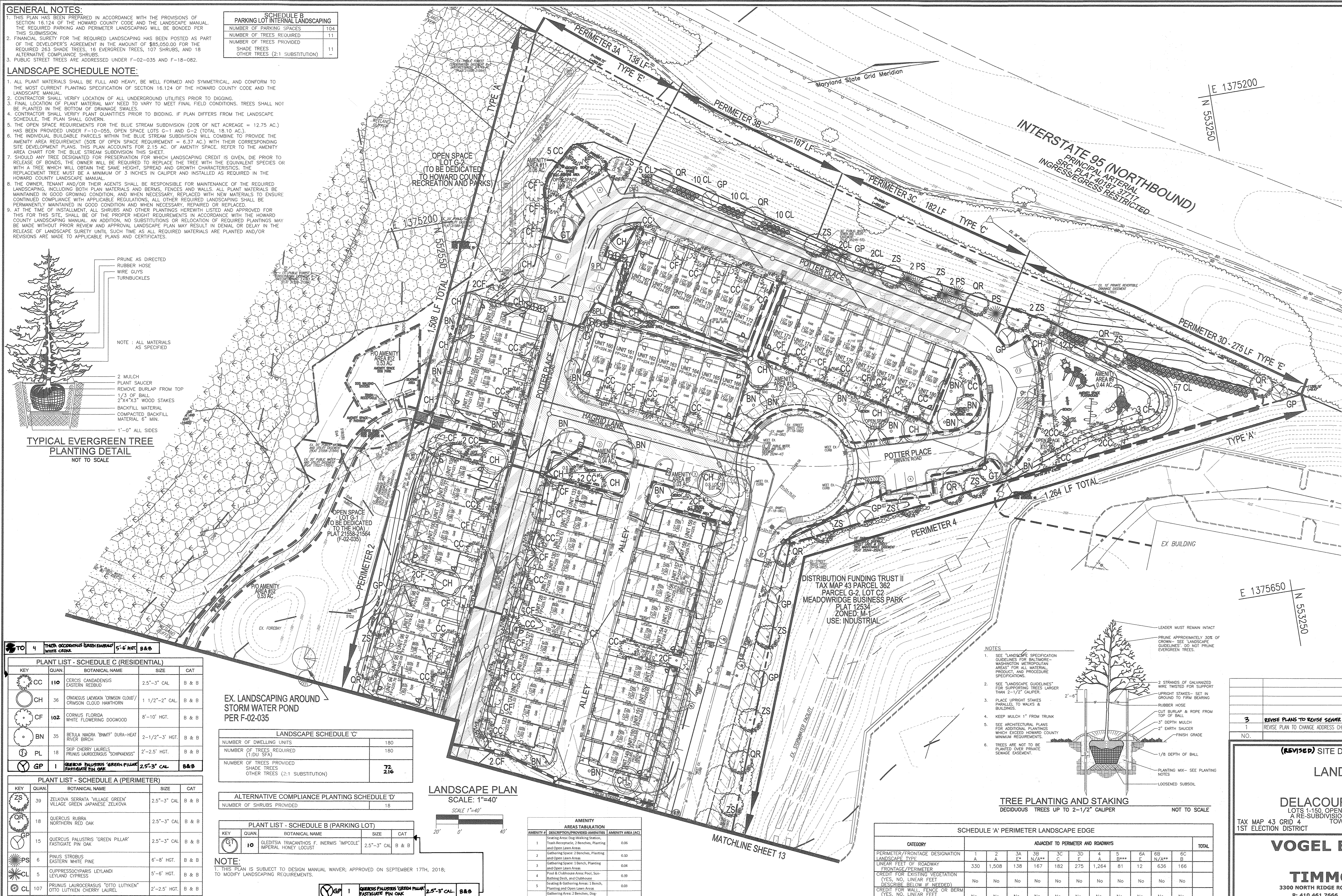
LANDSCAPE PLAN
SCALE: 1"=40'

AMENITY AREAS TABULATION

AMENITY #	DESCRIPTION/PROVIDED AMENITIES	AMENITY AREA (AC)
1	Seating Area, Dog Washing Station, Trash Receptacle, 2 Benches, Planting and Open Lawn Area.	0.06
2	Gathering Space, 2 Benches, Planting and Open Lawn Area.	0.30
3	Gathering Space, 3 Benches, Planting and Open Lawn Area.	0.04
4	Pool & Chaise Area, Pool, Sun-Bathing Deck and Chaise.	0.89
5	Seating and Open Lawn Area, 1 Bench, Planting and Open Lawn Area.	0.03
6	Gathering Area, 2 Benches, Dog Walking Station, Trash Receptacle, Planting and Open Lawn Area.	0.18
7	Gathering Area, 3 Benches, Planting and Open Lawn Area.	0.04
8	Gathering Area, 3 Benches, Planting and Open Lawn Area.	0.03
9	Playground & Seating Area, Play Equipment, 6 Benches, Planting and Open Lawn Area.	0.44
10	Gathering Space, 3 Benches, Planting and Open Lawn Area.	0.27
11	Seating Area, 2 Benches, Planting and Open Lawn Area.	0.06
12	Pathway & Dog Park, Paved Walk, Dog Walking Station, Trash Receptacle, 2 Benches, Planting and Open Lawn Area.	0.53
TOTAL		2.36

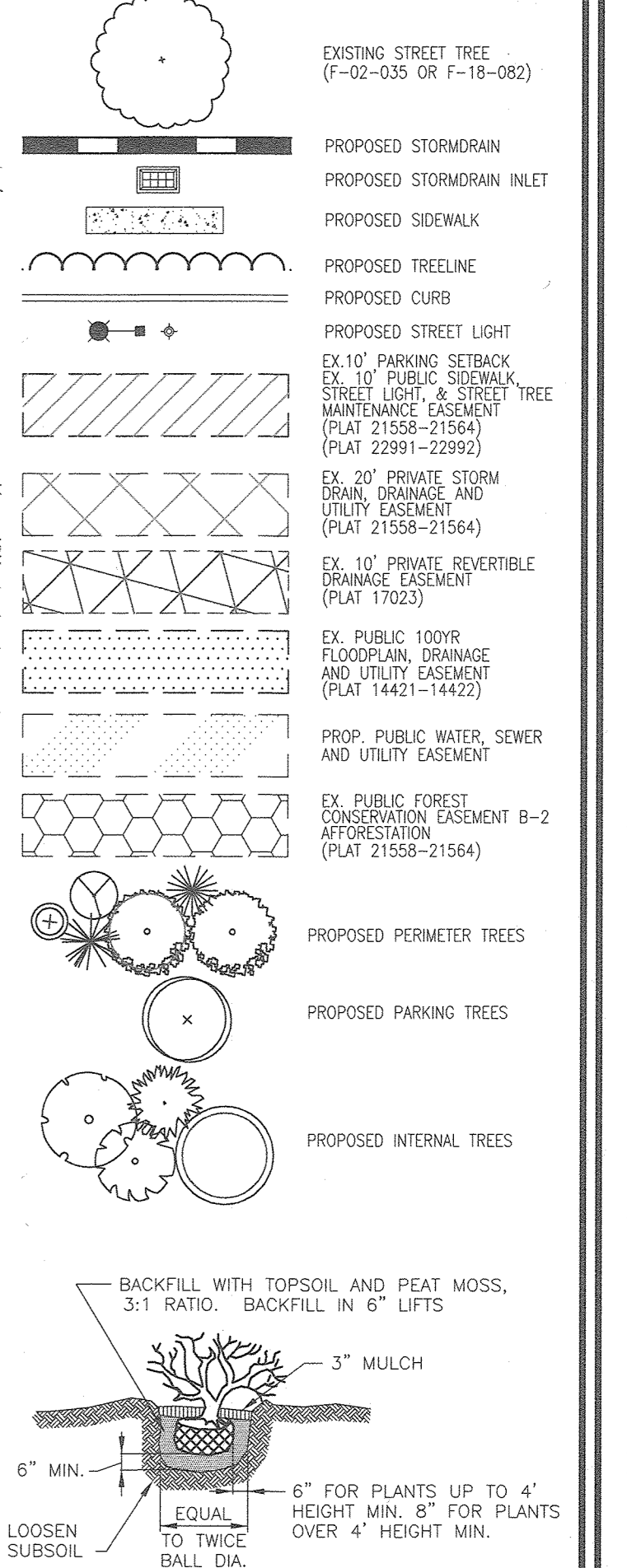
BLUE STREAM SUBDIVISION AMENITY AREA CHART 6.37 AC. REQUIRED

PLAN	PROVIDED	REMAINING
BLUE STREAM (F-02-035)	0.89 AC.	5.37 AC.
GROSVENOR HOUSE (SDP-11-032)	0.89 AC.	5.38 AC.
DORSET GARDENS (SDP-11-040)	1.92 AC.	4.36 AC.
BLUE STREAM TOWNS - SECTION 2 (SDP-14-029)	1.22 AC.	3.14 AC.
BROMPTON HOUSE - PHASE 2 (SDP-14-077)	0.87 AC.	2.27 AC.
DELAOUR AT BLUE STREAM (SDP-18-022)	2.16 AC.	0.11 AC.



LEGEND:

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	ADJACENT PROPERTY LINE
---	EXISTING CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING WATER LINE
---	EXISTING TREE LINE
---	EXISTING STREET TREE (F-02-035 OR F-18-082)
---	PROPOSED STORMDRAIN
---	PROPOSED STORMDRAIN INLET
---	PROPOSED SIDEWALK
---	PROPOSED TREELINE
---	PROPOSED CURB
---	PROPOSED STREET LIGHT
---	EX. 10' PUBLIC SIDEWALK SETBACK
---	EX. 10' PUBLIC SIDEWALK STREET LIGHT & STREET TREE MAINTENANCE EASEMENT (PLAT 21558-21564) (PLAT 22991-22992)
---	EX. 20' PRIVATE STORM DRAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 21558-21564)
---	EX. 10' PRIVATE REVERTIBLE DRAINAGE EASEMENT (PLAT 17023)
---	EX. PUBLIC 100YR FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT (PLAT 14421-14422)
---	PROP. PUBLIC WATER, SEWER AND UTILITY EASEMENT
---	EX. PUBLIC FOREST AFFORESTATION EASEMENT B-2 (PLAT 21558-21564)
---	PROPOSED PERIMETER TREES
---	PROPOSED PARKING TREES
---	PROPOSED STORM TREES



OWNER/DEVELOPER
U.S. HOME CORPORATION
C/O MATTHEW S. WINEMAN
7035 ALBERT EINSTEIN DRIVE
SUITE 100
COLUMBIA, MD 21046
410-423-0407

3	REVISE PLANS TO REVISE SEWER CONNECTION FOR THE POOL EQUIPMENT BUILDING	1-20-21
1	REVISE PLAN TO CHANGE ADDRESS CHART AND REVISE BUILDING BASED ON UPDATED ARCHITECTURE	06-06-20
NO.	REVISION	DATE

(REVISED) SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
DELAOUR AT BLUE STREAM
LOTS 1-160 OPEN SPACE LOT 151 AND PARCELS A-C
A RE-SUBDIVISION OF BUILDABLE BULK PARCEL L-4
TOWNHOMES - SECTION 3
ZONED CAC-CL1
PARCEL 14
HOWARD COUNTY, MARYLAND

VOGEL ENGINEERING
TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: **RHV/DZE**

DRAWN BY: **DZE/KS/LRC**

CHECKED BY: **RHV**

DATE: **SEPT 2020**

SCALE: **AS SHOWN**

W.O. NO.: **06-26**

14 SHEET **15**

