

GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- THE SUBJECT PROPERTY IS ZONED R-ED-MXD-3 IN ACCORDANCE WITH THE 10/6/13 ZONING REGULATIONS, AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/22/03 PER COUNCIL BILL 78-2003.
 - DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WALKER PETITION, OR BUILDING AND GRADING PERMITS.
- THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 30, 2014. THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON F-16-021.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM, HOWARD COUNTY MONUMENT NOS. 41GE AND 46AA WERE USED FOR THIS PROJECT.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WALKER PETITION, OR BUILDING AND GRADING PERMITS.
- THIS PLAN IS SUBJECT TO PLANNING BOARD CASE # PB 415 ON JUNE 30, 2015, THE PLANNING BOARD OF HOWARD COUNTY, MARYLAND APPROVED SP-15-014 FOR THE SUBDIVISION OF 176 SINGLE-FAMILY DETACHED RESIDENTIAL LOTS AND THIRTEEN OPEN SPACE LOTS ON 91.31 ACRES OF LAND ZONED R-ED-MXD-3.
- STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF ON-LOT NON STRUCTURAL PRACTICES & MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. ON-LOT MICRO-SCALE PRACTICES INCLUDE RAIN BARRELS AND DRAINWELLS.
 - ON-LOT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED.
 - F-16-021 OFF-LOT MICRO-SCALE PRACTICES INCLUDE MICRO-BIORETENTION FACILITIES AND BIO SWALES. OFF-LOT MICRO-SCALE FACILITIES MANAGING ROAD RUNOFF SHALL BE DESIGNATED AS PRIVATELY OWNED AND JOINTLY MAINTAINED (H.O.A. AND HOWARD COUNTY); HOWARD COUNTY WILL MAINTAIN OUTLET STRUCTURES AND PIPES WHILE THE H.O.A. SHALL MAINTAIN MULCH, WEEDING, PLANTINGS, PERFORATED UNDERDRAINS, FEEDER PIPES, AND ROUTINE SOIL REPLACEMENT.
- THE PROPOSED UNITS SHALL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- EXISTING UTILITIES LOCATED FROM CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS, APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE AT THE POINT OF EASEMENT.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING
 - AT&T 1-800-252-1133
 - BOE (CONSTRUCTION SERVICES) 410-637-8713
 - BOE (EMERGENCY) 410-685-0123
 - BUREAU OF UTILITIES 410-313-4900
 - COLONIAL PIPELINE CO 410-795-1390
 - MISS UTILITY 1-800-257-7777
 - STATE HIGHWAY ADMINISTRATION 410-531-5533
 - VERIZON 1-800-743-0033
- THERE ARE NO EXISTING DWELLING/STRUCTURES LOCATED ON THIS SITE.
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.
 - SECTION 128.1.1 OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).
 - SEE SHEET 14
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.)
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45-FOOT TURNING RADII
 - D) STRUCTURES (CULVERTS/BROGUES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H2S LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F) MAINTENANCE - SURFACE TO ENSURE ALL WEATHER USE
- ALL DRIVEWAY ENTRANCES SHALL UTILIZE HOWARD COUNTY STANDARD DETAIL NO. R-6.03.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- TREES & ROCKING LOGS SHALL BE AT THE COUNTY'S RISK WITHIN FIVE FEET (5') OF THE COUNTY ROADWAY.
- THIS PROPERTY WAS INCORPORATED INTO THE METROPOLITAN DISTRICT BY CB-19-2016 BY THE COUNTY COUNCIL ON MAY 2, 2016 AND SHALL BECOME EFFECTIVE AS LAW ON JULY 5, 2016.
 - WATER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 44-3505-W REFER TO CONTRACT 24-4914-D
 - SEWER FOR THIS PROJECT IS TO BE PUBLIC EXTENSIONS OF CONTRACT NO. 20-3509-S REFER TO CONTRACT 24-4914-D
- THE AMENDMENT TO THE WATER AND SEWER MASTER PLAN WAS PASSED BY A COUNTY COUNCIL RESOLUTION (CR-36-2016) ON MAY 2, 2016 AND BECAME EFFECTIVE ON MAY 5, 2016.
- WATER AND SEWER SERVICE TO THESE LOTS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122.8 OF THE HOWARD COUNTY CODE.
- PUBLIC WATER AND SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
- ALL WATER HOUSE CONNECTIONS SHALL BE OUTSIDE METER SETTING UNLESS OTHERWISE NOTED ON THE PLANS OR IN SPECIFICATIONS.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THIS PROPERTY OR THE COUNTY'S CEMETERY SITE MAP.
- THERE IS A HISTORIC HOUSE (AS DEFINED BY HDC) LOCATED ON PARCEL 113 TO BE DEMOLISHED, THAT IS LOCATED AT THE SITE OF PROPOSED LOT 58. THIS PLAN WAS PRESENTED TO THE HISTORIC PRESERVATION COMMISSION IN DECEMBER 2014. THE COMMISSION WANTED THE HOUSE TO REMAIN ON-SITE. THE HOUSE IS NOT LISTED ON THE HISTORIC SITES INVENTORY.
 - AN INSPECTION OF THIS HOUSE WAS CONDUCTED BY A CONSULTANT IN 2014 AND IT WAS DETERMINED THAT THIS HOUSE IS IN VERY POOR CONDITION, IS BEYOND LIFE EXPECTANCY AND SHOULD BE REMOVED FOR SAFETY REASONS.
 - ACCORDING TO THE HOWARD COUNTY CEMETERY INVENTORY, THE PARCEL DOES NOT CONTAIN A CEMETERY. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THE PROJECT SITE. AS MENTIONED PREVIOUSLY IN THE HISTORIC PRESERVATION COMMISSION MEETING, THERE ARE RECORDS THAT SHOW A CEMETERY ONCE EXISTED ON THE PROPERTY. AS THE LAND HAS BEEN SUBDIVIDED BY DEED (PRIOR TO THE ENACTMENT OF THE HOWARD COUNTY SUBDIVISION REGULATIONS), THE CEMETERY MAY NO LONGER EXIST.
- MD ROUTE 216/SCAGGSVILLE ROAD IS CLASSIFIED AS A MINOR ARTERIAL. THE PROPOSED ACCESS POINT IS SHOWN HEREON.
 - THE PROPOSED STREETS ARE CLASSIFIED AS PUBLIC MINOR COLLECTOR, ACCESS STREET OR ACCESS PLACE.
- MURPHY ROAD IS CLASSIFIED AS A MINOR COLLECTOR
- WETLANDS AND STREAMS SHOWN ON-SITE ARE BASED ON THE DELINEATION BY ENVIRONMENTAL SYSTEMS ANALYSIS, INC. (ESA), AUGUST 2013.
- FOREST STAND DELINEATION PLAN PREPARED BY KLEBASCO ENVIRONMENTAL, LLC, C/O MR. MICHAEL J. KLEBASCO, P.E., DATED MAY 2014.
- FOREST CONSERVATION EASEMENTS HAVE BEEN ESTABLISHED TO FULFILL A PORTION OF THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY FOREST CONSERVATION MANUAL.
 - NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENTS HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.
 - TOTAL FOREST CONSERVATION OBLIGATION OF THIS PROJECT TO BE FULFILLED BY:
 - 1. TOTAL ON-SITE RETENTION = 7.88 AC. CREDITED FOREST RETENTION = 6.96 ACRES.
 - 2. REFORESTATION / AFFORESTATION OF 6.99 AC.
 - FINANCIAL SURETY WAS POSTED WITH THE DEVELOPERS AGREEMENTS UNDER F-16-021.
- A TRAFFIC STUDY FOR THIS PROJECT PREPARED BY THE TRAFFIC GROUP, INC., DATED DECEMBER 19, 2014, WAS APPROVED APRIL 2015.
- A NOISE STUDY BEEN PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2015. THE STUDY UTILIZES PROPOSED BARRIERS AND PROPOSED HOMES AS SHIELDING BARRIERS TO REDUCE THE NOISE EXPOSURE TO ACCEPTABLE LEVELS.
- THE 65 DBA NOISE CONTOUR LINE DRAWN ON THIS SUBDIVISION PLAN IS ADVISORY AS REQUIRED BY THE HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992 AND CANNOT BE EXACTLY LOCATED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- A TEST PIT REPORT FOR THIS PROJECT WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED FEBRUARY 2015.
- THE OFFICIAL PRE-SUBMISSION COMMUNITY MEETING HELD FOR THIS PROJECT ON JUNE 5, 2014 AT NORTH LAUREL COMMUNITY CENTER.
- AN ENVIRONMENTAL CONCEPT PLAN (ECP-14-093) WAS APPROVED ON NOVEMBER 21, 2014.
- A PRELIMINARY EQUIVALENT SKETCH PLAN (SP-15-014) WAS APPROVED ON SEPTEMBER 18, 2015.
- A FINAL PLAN (F-16-021) WAS APPROVED ON AUGUST 11, 2016.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED STREET SIDE LANDSCAPING IN THE AMOUNT OF \$ 4,650 FOR THE 9 SHADE TREES AND 13 EVERGREEN TREES SHALL BE POSTED WITH THE GRADING PERMIT FOR THIS PLAN. SEE SHEETS 2, 4 AND 6.
- PUBLIC STREET TREES AND PERMETER LANDSCAPING WAS PROVIDED FOR THIS PROJECT UNDER F-16-021 IN ACCORDANCE WITH SECTION 16.124(a)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. FINANCIAL SURETY WAS POSTED AS PART OF THE F-16-021 DEVELOPER'S AGREEMENTS.
- THE PROPOSED SUBDIVISION AND RELATED CONSTRUCTION WILL NOT IMPACT ENVIRONMENTAL FEATURES OR BUFFERS.
- SOIL TYPES SHOWN HEREON ARE IN ACCORDANCE WITH THE WEB SOIL SURVEY HOWARD COUNTY, MARYLAND - CLARKSVILLE SE MAP #23.
- NO FLOODPLAINS EXIST ON THE BUILDABLE LOTS SHOWN HEREON.
- THERE ARE NO STEEP SLOPES WHERE BUILDABLE LOTS (1-64) ARE TO BE LOCATED.
- IN ACCORDANCE WITH DESIGN MANUAL-VOLUME 3, CHAPTER 2, SECTION 2.9.B, PARKING IS REQUIRED AT TWO (2) SPACES PER UNIT OFF STREET PARKING TO INCLUDE GARAGE SPACE, DRIVEWAY AND PARKING PADS. GARAGES COUNT AS A FULL SPACE. THE ONE (1) GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE.
- REFER TO PARKING TABULATION
- THE HOMEOWNERS ASSOCIATION DOCUMENTS HAVE BEEN RECORDED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION AS RECORDING REFERENCE NUMBER D17891086 ON MARCH 22, 2017.
- HOMEOWNERS ASSOCIATION COVENANTS AND RESTRICTIONS WERE RECORDED SIMULTANEOUSLY WITH F-16-021 AS LIBER 17594 FOLIO 473, ON MAY 19, 2017.
- THIS PROJECT IS SUBJECT TO WP-15-136. ON MAY 26, 2015, THE PLANNING BOARD APPROVED THE REQUEST TO WAIVE SECTION 16.1205(a)(7) OF THE AMENDED FIFTH EDITION WHICH REQUIRES THE RETENTION OF SPECIMEN TREES HAVING A DIAMETER OF 30" OR MORE AND SECTION 16.1216(1)(1) OF THE AMENDED FIFTH EDITION WHICH REQUIRES OPEN SPACE LOTS TO HAVE A MINIMUM OF 40' FEET OF FRONTAGE ON A PUBLIC ROAD FOR ACCESS BY PEDESTRIANS AND MAINTENANCE VEHICLES.
 - APPROVAL IS SUBJECT TO THE FOLLOWING FIVE (5) CONDITIONS:
 - REMOVAL OF THE ELEVEN (11) SPECIMEN TREES WILL REQUIRE MITIGATION WITH THE PLANTING OF 2 TO 1 REPLACEMENT TREES (22 TOTAL) WITH A MINIMUM 3" CALIPER TRUNK. THE REPLACEMENT TREES SHALL BE BONDED AND SHOWN ON EITHER THE LANDSCAPE OR FOREST CONSERVATION PLAN WITH THE TREE SPECIES AND POSITIVE IDENTIFICATION. FINANCIAL SURETY WAS POSTED AS PART OF THE F-16-021 DEVELOPER'S AGREEMENTS.
 - THE FORTY-THREE (43) REMAINING SPECIMEN TREES MUST REMAIN UNDISTURBED, UNLESS A NEW WALKER PETITION IS FILED WITH ADEQUATE JUSTIFICATION.
 - ANY SPECIMEN TREE THAT SHALL REMAIN ON-SITE (THAT ARE WITHIN THE LIMIT OF DISTURBANCE) MUST BE PROTECTED WITH TREE PROTECTION DEVICES MUST BE POSITIVELY IDENTIFIED ON FOREST CONSERVATION AND THE SITE DEVELOPMENT PLAN.
 - ALL PROPOSED OPEN SPACE LOTS MUST PROVIDE THE MINIMUM PUBLIC ROAD FRONTAGE AS SHOWN AND APPROVED ON THE SP PLAN (SP-15-014). OPEN SPACE LOTS 177, 178 AND 179 SHOULD HAVE AT LEAST ONE PUBLIC ROAD FRONTAGE STRIP OF 20 FEET IN WIDTH.
 - PROVIDE A NOTE ON SP-15-014, THE FINAL PLAN AND THE SITE DEVELOPMENT PLAN THAT INCLUDES THIS WALKER FILE NUMBER THE SECTIONS TO BE WAIVED, THE WAIVER DECISION, THE DATE OF THE DECISION AND ALL CONDITIONS OF APPROVAL.

NOTE
THE EXISTING GRADES SHOWN HEREON WILL BE ESTABLISHED UNDER THE FINAL ROAD AND STORM DRAIN CONSTRUCTION PLANS FOR MAPLE LAWN SOUTH PHASE 1 - SECTION 1 F16-021

SITE DEVELOPMENT PLAN

MAPLE LAWN SOUTH

LOTS 1-64

(SFD RESIDENTIAL)
HOWARD COUNTY, MARYLAND

MAPLE LAWN SOUTH APFO PHASING

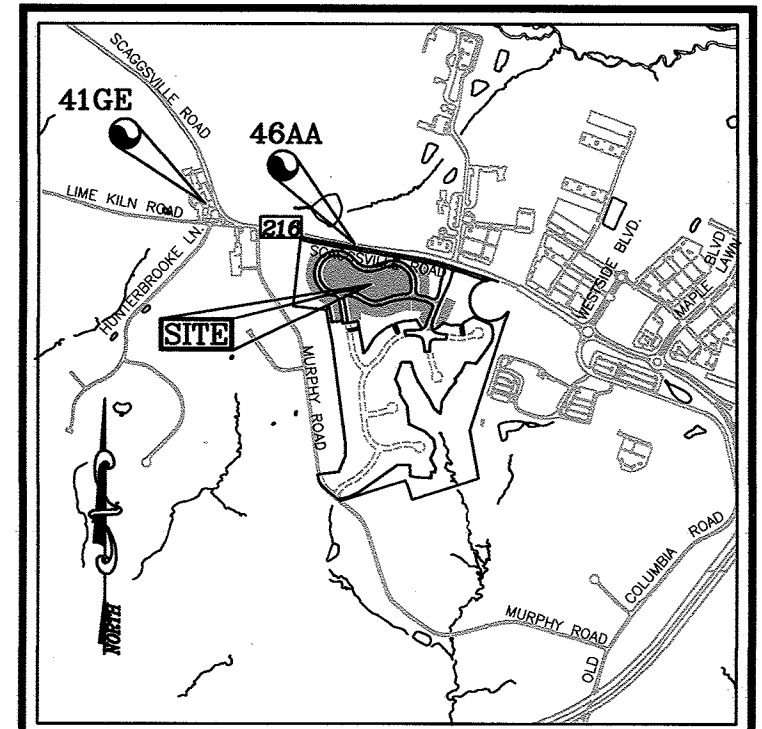
PHASE NUMBER	ALLOCATION YEAR	TOTAL NO. OF ALLOCATIONS
II	2018	4

175 GRANTED HOUSING UNIT ALLOCATIONS
+ 1 EXISTING = 176 TOTAL ALLOCATIONS

BENCHMARKS

HOWARD COUNTY BENCHMARK 46AA
N 540,396.42 E 1,335,505.31 ELEV: 447.01 FT.
RT. 216, 33.2' WEST OF BG& E POLE#315163

HOWARD COUNTY BENCHMARK 41GE
N 541,559.78 E 1,333,698.38 ELEV: 465.05 FT.
RT. 216, 82.4' WEST OF BG & #557877



MAPLE LAWN SOUTH - DENSITY TABULATION

PHASE	GROSS AREA	FLOORPLAN STEEP SLOPES	NET AREA	UNITS BY NET	UNITS PROPOSED	OPEN SPACE REQUIRED	TOTAL SPACE PROVIDED	NON CREDITED OPEN SPACE PROVIDED	CREDITED OPEN SPACE PROVIDED
F-16-021 - PH 1/SEC 1	51,873.6 AC±	1,540.00 AC±	50,333.6 AC±	101	64 SFD	25,929 AC±	33,289 AC±	0.42 AC±	32,869 AC±
FUTURE PH 1/SEC 2	38,693.6 AC±	0.0000 AC±	38,693.6 AC±	77	108 SFD	19,350 AC±	TBD	TBD	TBD
FUTURE PHASE 2*	0.7464 AC±	0.0000 AC±	0.7464 AC±	1	4 SFD	0.3732 AC±	TBD	TBD	TBD
TOTAL	91,313.6 AC±	1,540.00 AC±	89,773.6 AC±	179	176 SFD	45,658 AC±	TBD	TBD	TBD

* 4 HOUSING ALLOCATIONS AVAILABLE 2018

SHEET INDEX

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ADDRESS CHART / STORMWATER MANAGEMENT PRACTICES

LOT NO.	STREET ADDRESS	FACILITY TYPE & MDE NO.	LOT NO.	STREET ADDRESS	FACILITY TYPE & MDE NO.
1	11149 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	37	11073 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
2	11145 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	38	11069 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
3	11141 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	39	11065 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
4	11137 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	40	11061 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
5	11148 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	41	11057 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
6	11020 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	42	8204 GUNNAR DRIVE	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
7	11024 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	43	8208 GUNNAR DRIVE	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
8	11028 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	44	8212 GUNNAR DRIVE	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
9	11032 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	45	8216 GUNNAR DRIVE	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
10	11036 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	46	8207 GUNNAR DRIVE	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
11	11040 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	47	11051 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
12	11044 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	48	11047 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
13	11048 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	49	11043 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
14	11052 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	50	11039 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
15	11056 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	51	11035 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
16	11064 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	52	11031 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
17	11072 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	53	11027 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
18	11080 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	54	11023 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
19	11088 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	55	11019 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
20	11092 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	56	11015 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
21	11096 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	57	11011 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
22	11102 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	58	8227 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
23	11106 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	59	8223 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
24	11110 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	60	8229 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
25	11114 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	61	8225 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
26	11118 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	62	8221 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
27	11122 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	63	8217 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
28	11126 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)	64	8213 SOUTH MAPLE LAWN BOULEVARD	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)
29	11132 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
30	11136 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
31	11140 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
32	11144 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
33	11089 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
34	11085 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
35	11081 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			
36	11077 MARTHA WAY	DRYWELL (M-5), ROOFTOP DISCONNECT (N-1) RAIN BARREL (M-1)			

PHASE 1 - SECTION 1 PARKING TABULATION:

TOTAL NUMBER OF DWELLING UNITS PROPOSED: 64
TOTAL PARKING REQUIRED: 192 (64 x 3)
TOTAL PARKING PROVIDED: 192

OFF-STREET PARKING SPACES REQUIRED: 2 SPACES PER UNIT = 128 SPACES
PARKING SPACES PROVIDED:
SFD = 1 GARAGE/2 DRIVEWAY
2 SPACES ON DRIVEWAY = 128 SPACES (FOR 64 UNITS)
TOTAL PARKING SPACES PROVIDED: = 192 SPACES OFF-STREET

OVERFLOW / CHEST PARKING SPACES REQUIRED:
0.5 SPACES PER SFD UNIT X 64 = 32 SPACES
REQUIRED TOTAL OVERFLOW PARKING SPACES PROVIDED: = 32 SPACES (DRIVEWAY) REFER TO OFF-STREET EXCESS.

ON-STREET PARKING AS DIRECTED BY TRAFFIC ENGINEERING REFER TO F-16-021

*THE H.O.A. SHALL BE RESPONSIBLE FOR ENFORCING THE PARKING REQUIREMENTS ON EACH RESIDENTIAL LOT. ONE (1) GARAGE SPACE SHALL REMAIN OPEN FOR VEHICLE PARKING. USE THE GARAGE SPACE MAY NOT BE CONVERTED TO LIVING SPACE AND SHALL ONLY BE UTILIZED FOR VEHICULAR PARKING SPACE.

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	LOTS/PARCEL #			
MAPLE LAWN SOUTH	N/A	113			
PLAT # OR L/F	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
F-16-021	2	R-ED MXD-3	46	5TH	605102
#24201-24214					

SITE ANALYSIS DATA

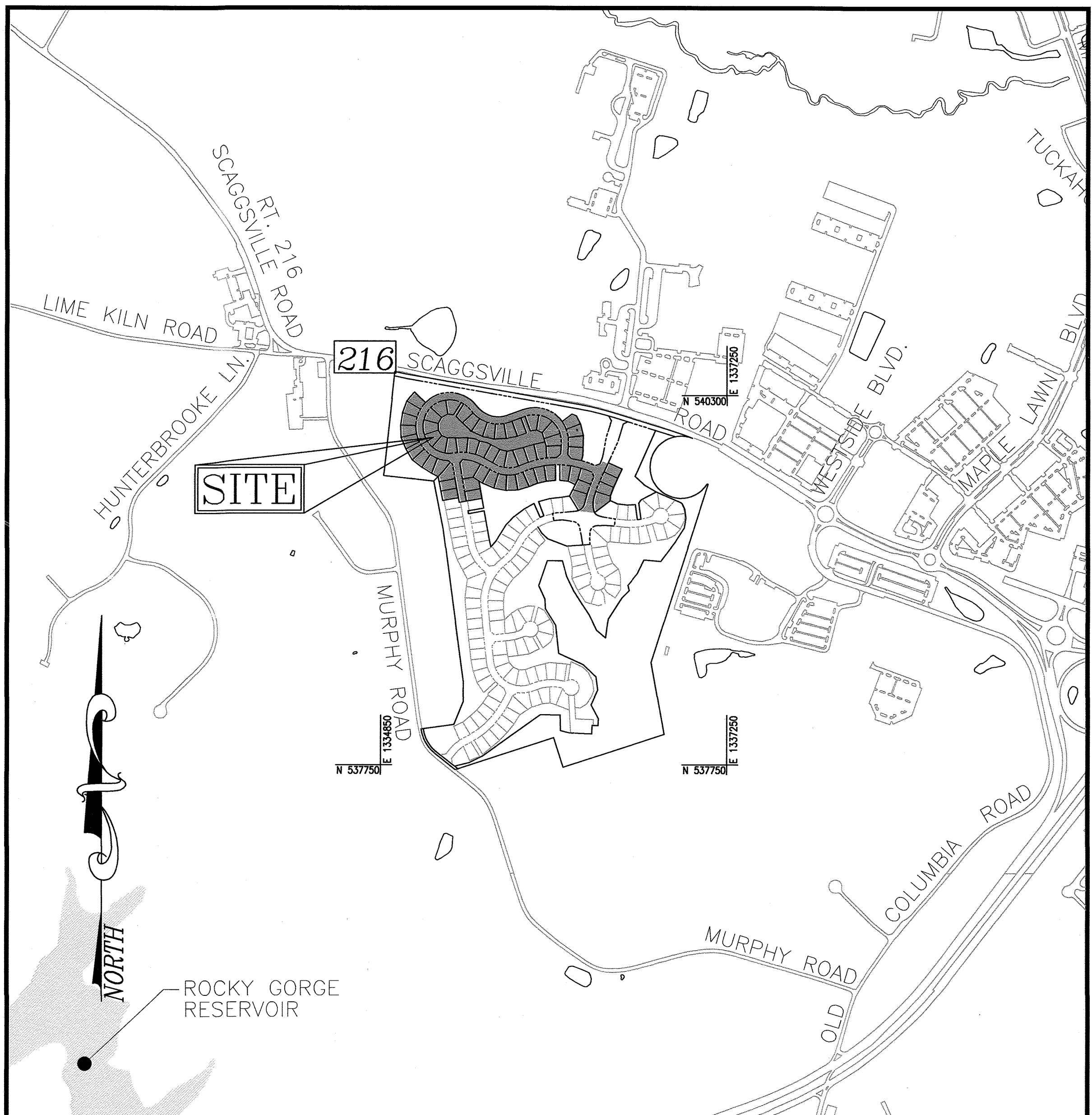
- TOTAL PROJECT AREA: PHASE 1 - SECTION 1 - 51.87 AC
- AREA OF PLAN SUBMISSION: PHASE 1 - SECTION 1 - 11.49 AC = AREA OF BUILDABLE LOTS 11.49 AC
- LIMIT OF DISTURBANCE: R-ED-MXD-3
- PRESENT ZONING DESIGNATION: SINGLE FAMILY DETACHED
- PROPOSED USES FOR SITE AND STRUCTURES: N/A
- FLOOR SPACE ON EACH LEVEL OF BUILDING PER USE: N/A
- TOTAL NUMBER OF UNITS ALLOWED FOR PROJECT AS SHOWN ON FINAL PLAN: REFER TO DENSITY TABULATION
- MAXIMUM NUMBER OF EMPLOYEES, TENANTS ON SITE PER USE: 64 BUILDABLE LOTS
- NUMBER OF PARKING SPACES REQUIRED BY H.O.D. ZONING REGULATIONS: N/A
- NUMBER OF PARKING SPACES PROVIDED ON SITE: REFER TO F-16-021
- OPEN SPACE ON SITE: 2.5 PER SFD HOUSE
- AREA OF RESTORATION OPEN SPACE REQUIRED BY SUBDIVISION & LAND DEVELOPMENT REGULATIONS: REFER TO F-16-021 = 33.29 AC
- BUILDING COVERAGE OF SITE: N/A
- APPLICABLE DPZ FILE REFERENCES: ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021, F-16-072, CON# 20-4955-D
- ANY OTHER INFORMATION WHICH MAY BE RELEVANT: TAX MAP 42, GRID 2, PARCEL 113 5TH ELECTION DISTRICT
- FLOOR AREA RATIO: N/A

OWNER
MAPLE LAWN FARMS, INC.
11788 SCAGGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER
MAPLE LAWN PARTNERS, LLC
2661 RIVA ROAD, SUITE 220
ANNAPOLIS, MARYLAND 21401
410-372-2846
C/O CHRIS MURN

BUILDER
NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
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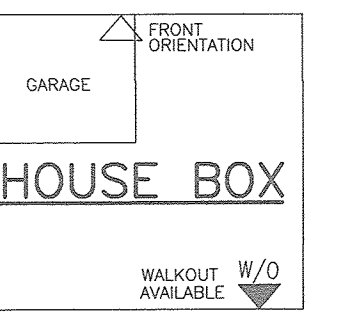
LOCATION MAP
SCALE: 1"=600'



- GENERAL NOTES CONTINUED:
- THIS PROJECT IS SUBJECT TO A DESIGN MANUAL WAIVER. ON MAY 22, 2015, THE CHIEF OF THE DEVELOPMENT ENGINEERING DIVISION:
 - APPROVED THE REQUEST TO WAIVE VOL. III - SECTION 2.5.8.9 AND 2.20 TABLE 2.01, WHICH REQUIRES THAT A NEWLY PROPOSED INTERSECTION MUST MEET THE MINIMUM REQUIREMENTS FOR INTERSECTION AND/OR STOPPING SIGHT DISTANCE. APPROVAL IS SUBJECT TO THE FOLLOWING DPW RECOMMENDATIONS:
 - PROVIDING SIGHT DISTANCE EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN.
 - APPROVED THE REQUEST TO WAIVE VOL. III - SECTION 2.3.A.1.A (AND APPENDIX A) TO REDUCE THE MINIMUM ROAD RADIUS FOR NUMEROUS ROADWAYS WITHIN THE SUBDIVISION. THE WAIVER FOR ROADWAYS B AND E ARE APPROVED SUBJECT TO THE FOLLOWING DPW REQUIREMENTS:
 - ROAD B - DPW REQUESTS 26' PAVEMENT WIDTH ALONG THE REDUCED CURVE AND FLATTENING THE NW INTERSECTION FLUET.
 - ROAD E - DPW REQUESTS 26' PAVEMENT WIDTH ALONG THE REDUCED CURVES, ESPECIALLY FROM STATION 0+00 TO 16+00. THE REQUESTED WAIVER FOR ROAD G IS DENIED.

LEGEND

	PROPERTY LINE		200 GAL. RAIN BARREL M-1
	RIGHT-OF-WAY LINE		ROOF LEADER DISCONNECT N-1
	ADJACENT PROPERTY LINE		PROPOSED PERIMETER LANDSCAPING
	CENTERLINE OF EXISTING STREAM		"R" REVERSE HOUSE BOX
	EXISTING STREAM BANK		
	EXISTING CURB AND GUTTER		
	CURB AND GUTTER		
	EXISTING TREE LINE		
	TREE LINE		
	SPECIMEN TREE		
	EXISTING UTILITY POLE		
	EXISTING LIGHT POLE		
	EXISTING MAILBOX		
	EXISTING SIGN		
	EXISTING SANITARY MANHOLE		
	EXISTING SANITARY LINE		
	EXISTING CLEANOUT		
	EXISTING FIRE HYDRANT		
	EXISTING WATER LINE		
	EXISTING 10' CONTOUR		
	EXISTING 2' CONTOUR		
	SOILS		
	EXISTING STORM DRAIN F-16-021		
	STORMWATER MANAGEMENT FACILITY (M-6, M-7 OR M-8) F-16-021		
	DRY WELL (M-5)		
	EXISTING CONCRETE SIDEWALK		
	EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214		
	EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214		
	10' CONTOUR		
	2' CONTOUR		
	SPOT ELEVATION		
	UNDERDRAIN / ROOF DRAIN		
	EXISTING TREES F-16-021		



NOTE:

- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
- TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.
- DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

NOTES:

- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS.
- REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS.
- REFER TO SHEET 13 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN.

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-328 OUTSIDE METER SETTINGS.

NO.	REVISION	DATE
2,2	REVISE HOUSE TYPE AND GRADING ON LOT 27 AND GRADING ON LOTS 26 AND 28	12/12/19
17	TO REVISE HOUSE TYPE, GRADING AND DRYWELL LOCATION ON LOTS 24, 25, 26	3/29/19
9	TO REVISE A LOCATION OF A DRYWELL	5/1/18
8	REVISE HOUSE TYPE AND GRADING LOTS 6, 49, AND 56	4/12/18
5	REVISE HOUSE TYPE AND GRADING LOTS 1 AND 4; ADD PRIVATE SEWER EASEMENT ALONG LOT 60	1/18/18
2	ADD STRAFTORD HALL HOUSE MODEL TO LOT 6	10/27/17

SITE DEVELOPMENT PLAN

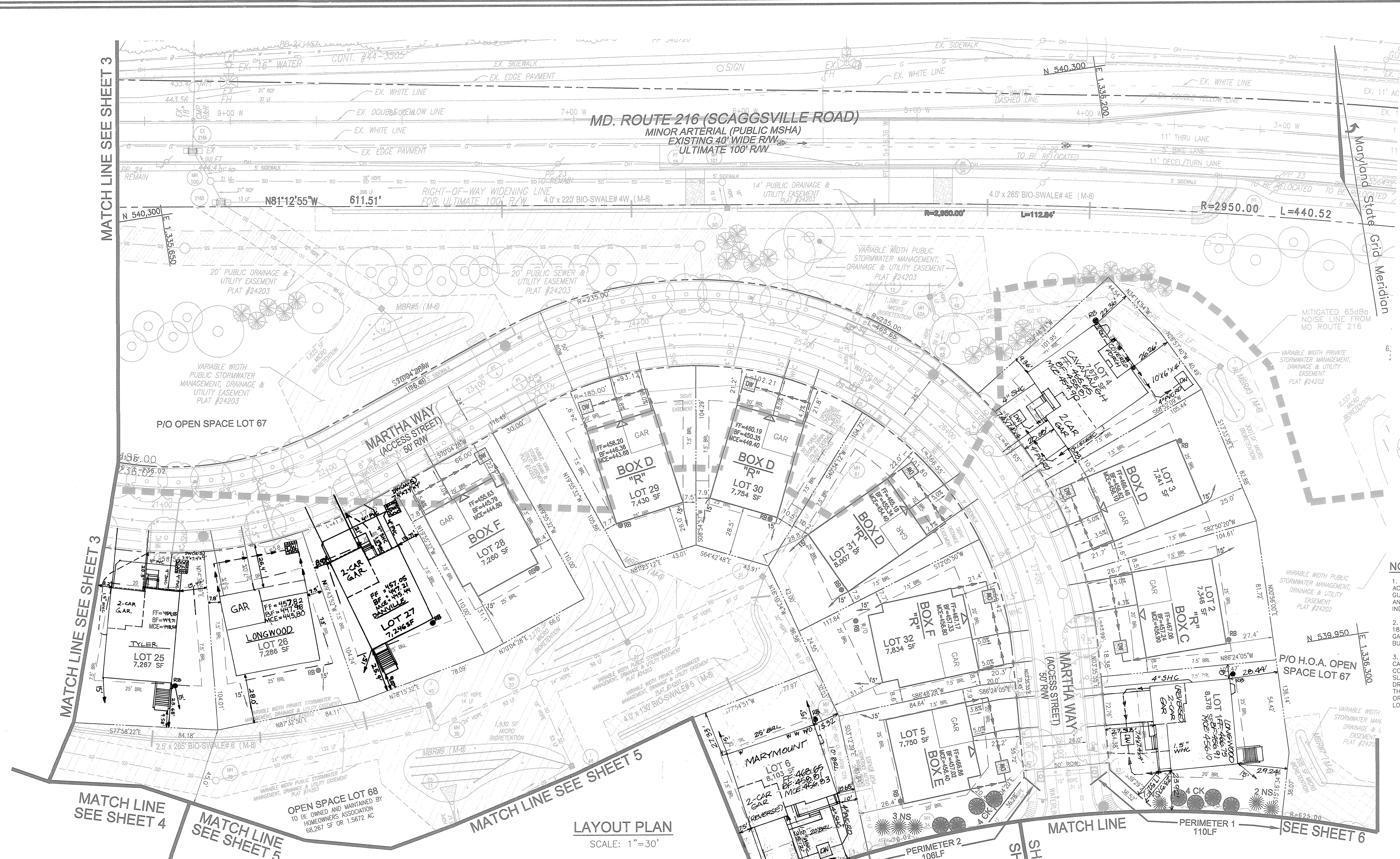
LAYOUT PLAN
MAPLE LAWN SOUTH PHASE 1 - SECTION 1
 LOTS 1-64
 TAX MAP 48 - GRID 2 - PARCEL 113
 SDP REF: ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021
 ZONED: R-ED-MOD-3
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, ELLICOTT CITY, MD 21043
 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018

DESIGN BY: RVE
 DRAWN BY: RVE
 CHECKED BY: RHV
 DATE: MAY 2017
 SCALE: AS SHOWN
 W.O. NO.: 11-34

2 SHEET OF 14



GENERAL NOTES:

- PUBLIC STREET TREES AND PERIMETER LANDSCAPING WAS PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(4)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL UNDER F-16-021.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREWITH AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL DURING THE CONSTRUCTION OF THE HOMES.

SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS					TOTAL
	SHEET 2	SHEET 4	SHEET 5	SHEET 6	SHEET 6	
PERIMETER/FRONTAGE DESIGNATION	1	1	2	5	3	47
LANDSCAPE TYPE	B	B	B	B	B	B
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	110'	107'	146'	118'		
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED (IF REMAINING)	110'	107'	146'	118'		
SHADE TREES	1:50	1:50	1:50	1:50		9
EVERGREEN TREES	1:40	1:40	1:40	1:40		13
SHRUBS						
NUMBER OF PLANTS PROVIDED						
SHADE TREES	3	3	4	3		13
EVERGREEN TREES	4	4	6	4		18
OTHER TREES (2:1 SUBSTITUTION)						
SHRUBS (10:1 SUBSTITUTION)						
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED						

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6-12-17
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

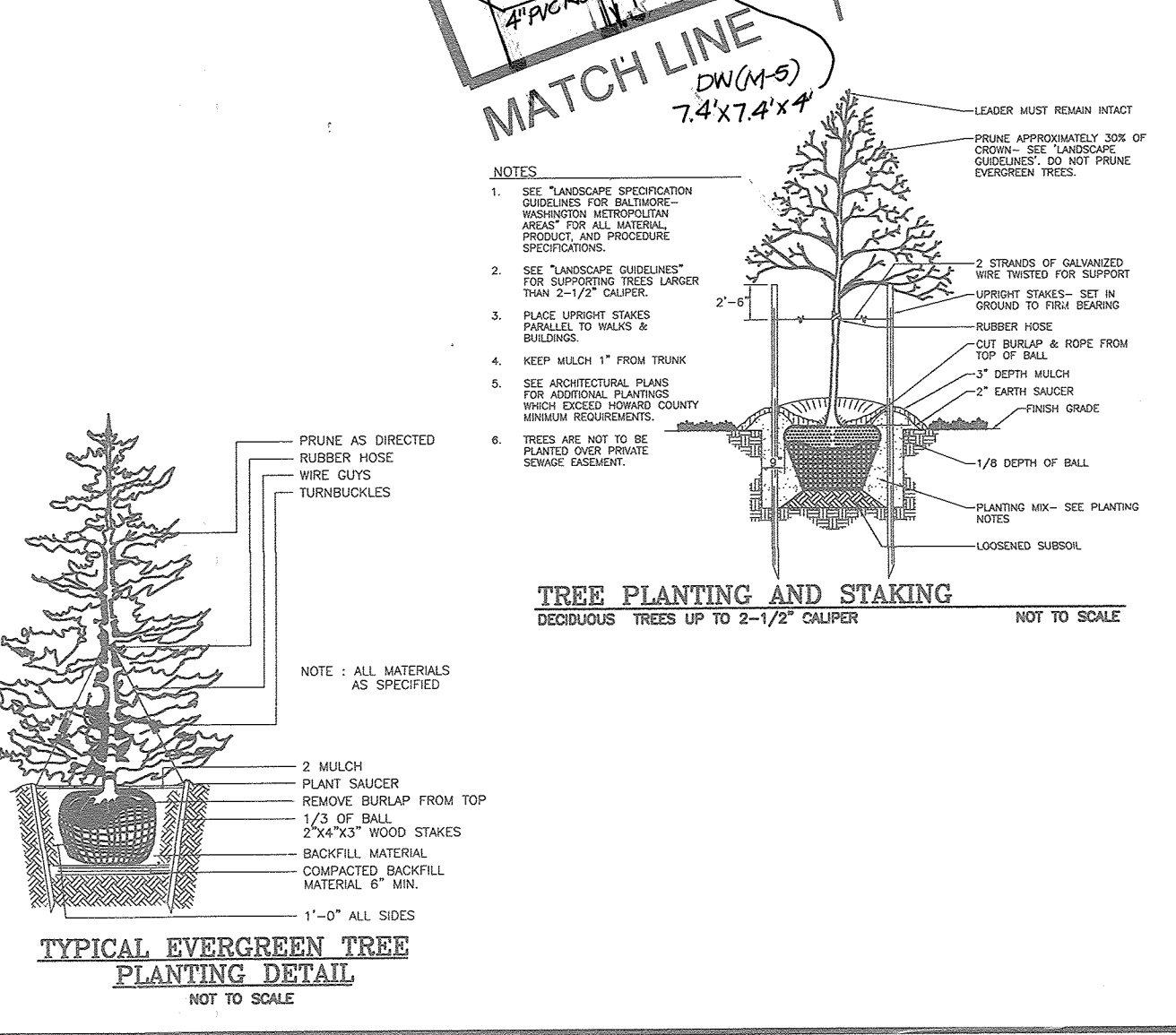
[Signature] 6-14-17
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 6-15-17
 DIRECTOR

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

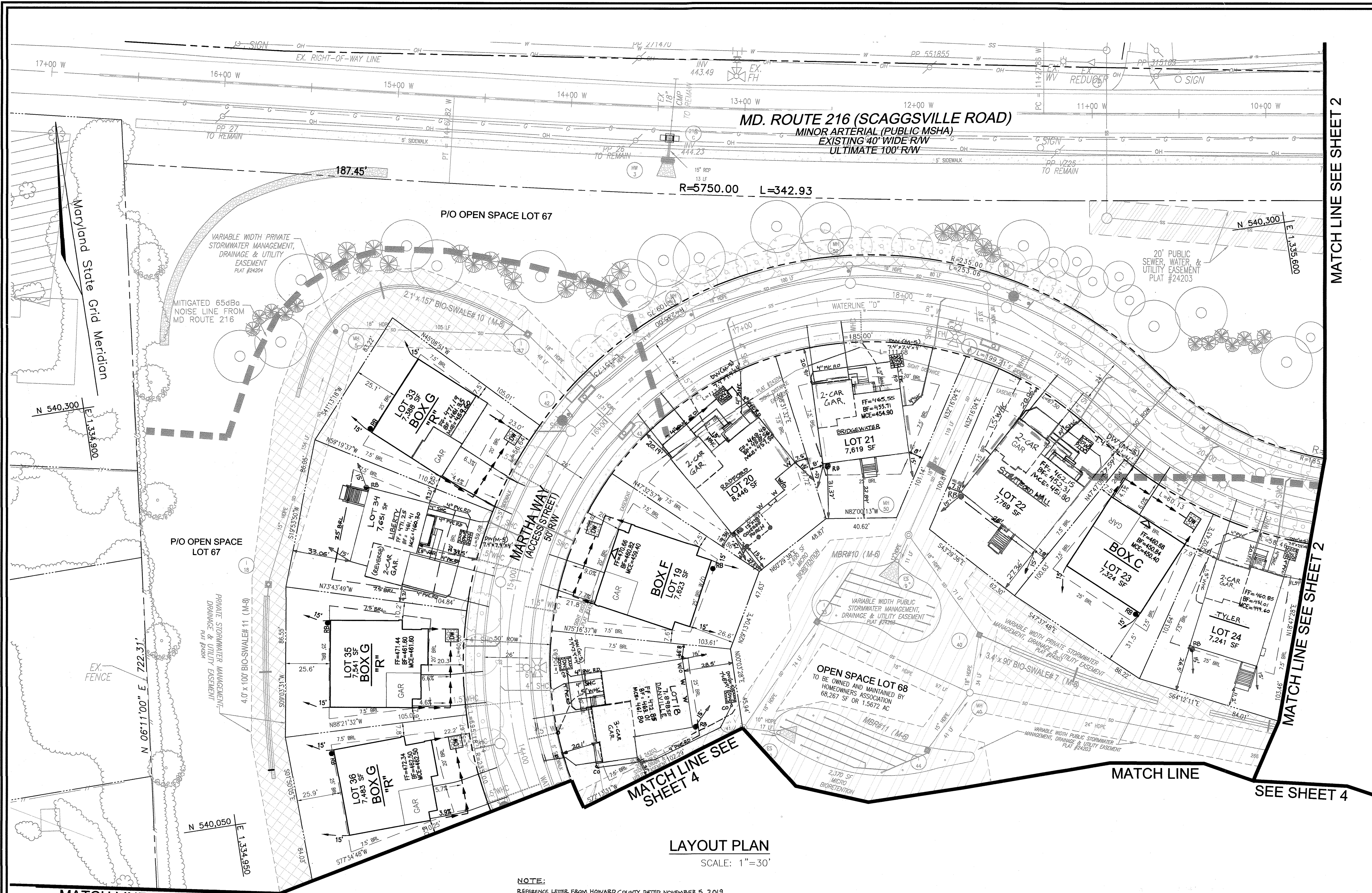
[Signature] 5/25/17
 TAYLOR FARIS, CONSTRUCTION COST MANAGER



OWNER
 MAPLE LAWN FARMS, INC.
 11788 SCAGGSVILLE ROAD
 FULTON, MD 20759-0562
 301-725-2074

DEVELOPER
 MAPLE LAWN PARTNERS, LLC
 2661 RIVA ROAD, SUITE 220
 ANNAPOLIS, MARYLAND 21401
 443-472-2846
 C/O CHRIS MURN

BUILDER
 NV HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 410-379-5956
 C/O TAYLOR FARIS



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING TREELINE
- TREE LINE
- ST-1 (Tree Symbol) SPECIMEN TREE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
- STORMWATER MANAGEMENT FACILITY (M-4, M-7 OR M-8) F-16-021
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021
- 200 GAL. RAIN BARREL M-1
- ROOF LEADER DISCONNECT N-1
- PROPOSED PERIMETER LANDSCAPING
- "R" REVERSE HOUSE BOX

- NOTE:**
- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON INDIVIDUAL LOT.
 - TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.
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- NOTES:**
- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
 - REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS
 - REFER TO SHEET 13 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN
- NOTES:**
- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

LAYOUT PLAN
SCALE: 1"=30'

NOTE:
REFERENCE LETTER FROM HOWARD COUNTY DATED NOVEMBER 5, 2019 APPROVING A DESIGN MANUAL WAIVER TO DESIGN MANUAL, VOLUME IV, DETAIL R-6.03, TO ALLOW A 25' WIDE DRIVEWAY APRON FOR LOT 18 TO ACCOMMODATE A 3 CAR GARAGE.

NO.	REVISION	DATE
24	TO REVISE HOUSE TYPE AND GRADING ON LOT 34	9-8-20
23	REUSE BELL ALLOYS BRAND 35 AND ADD 10" CONC. PAVEMENT OPTION TO TYLER HOUSE MODEL	4-17-20
21	TO REVISE HOUSE TYPE AND GRADING FOR LOT 18 AND GRADING ON LOT 19	11-19-19
20	REVISE TO ADJUST THE HOUSE AND GRADING ON LOT 33	9-13-19
19	TO REVISE HOUSE TYPE AND GRADING FOR LOT 18, AND GRADING ON LOT 19	7-30-19
18	REVISE HOUSE TYPE ON LOT 21 AND GRADING ON LOTS 20, 21 AND 22	5/2/19
17	TO REVISE HOUSE TYPE, GRADING AND DRYWELL LOCATION ON LOTS 24, 25, 59	3/29/19
14	REVISE HOUSE TYPE AND GRADING FOR LOTS 20 & 41, AND GRADING ON LOTS 19, 21 & 40	10/22/18
10	REVISE HOUSE TYPE AND GRADING LOTS 11 AND 32	6/19/18

SITE DEVELOPMENT PLAN
LAYOUT PLAN

MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
REF. REF. E2-14-2003, WP-15-136, PB#415, SP-15-014, F-16-021

ZONED: R-ED-MXD-3
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELLGOTT CITY, MD 21043

TEL: 410.461.7666
FAX: 410.461.8961

SCALE 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

OWNER: MAPLE LAWN FARMS, INC.
11788 SCAGGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER: MAPLE LAWN PARTNERS, LLC
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ANNAPOLIS, MARYLAND 21401
443-472-2846
C/O CHRIS MURN

BUILDER: NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
410-379-5966

PROFESSIONAL CERTIFICATE

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RHV
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

STATE OF MARYLAND
ROBERT H. VOGEL
REGISTERED PROFESSIONAL ENGINEER
NO. 16193
EXPIRES 06-30-2018

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 06-30-2018.

3 SHEET OF **14**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

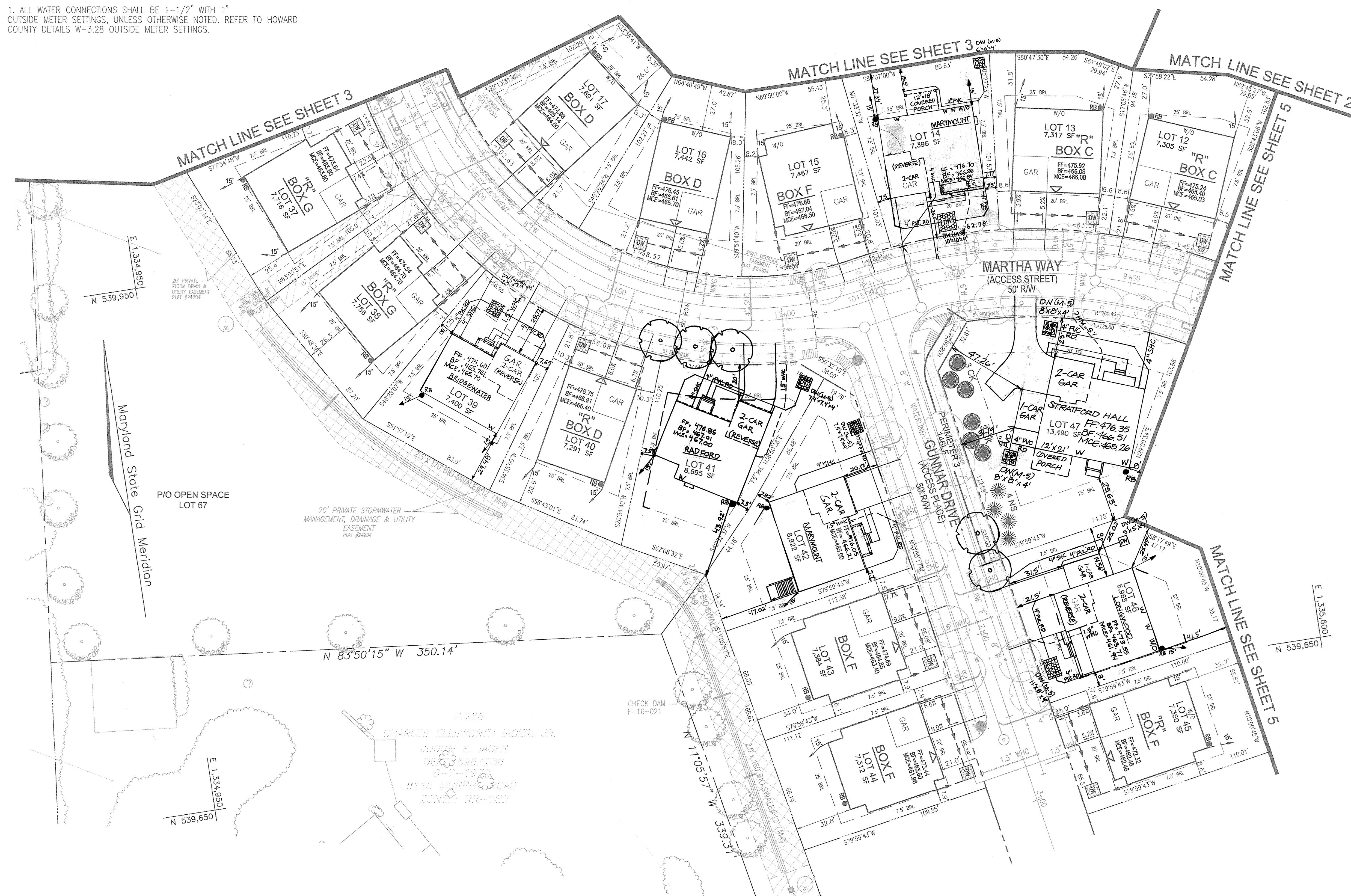
[Signature] 6-12-17
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6-14-17
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

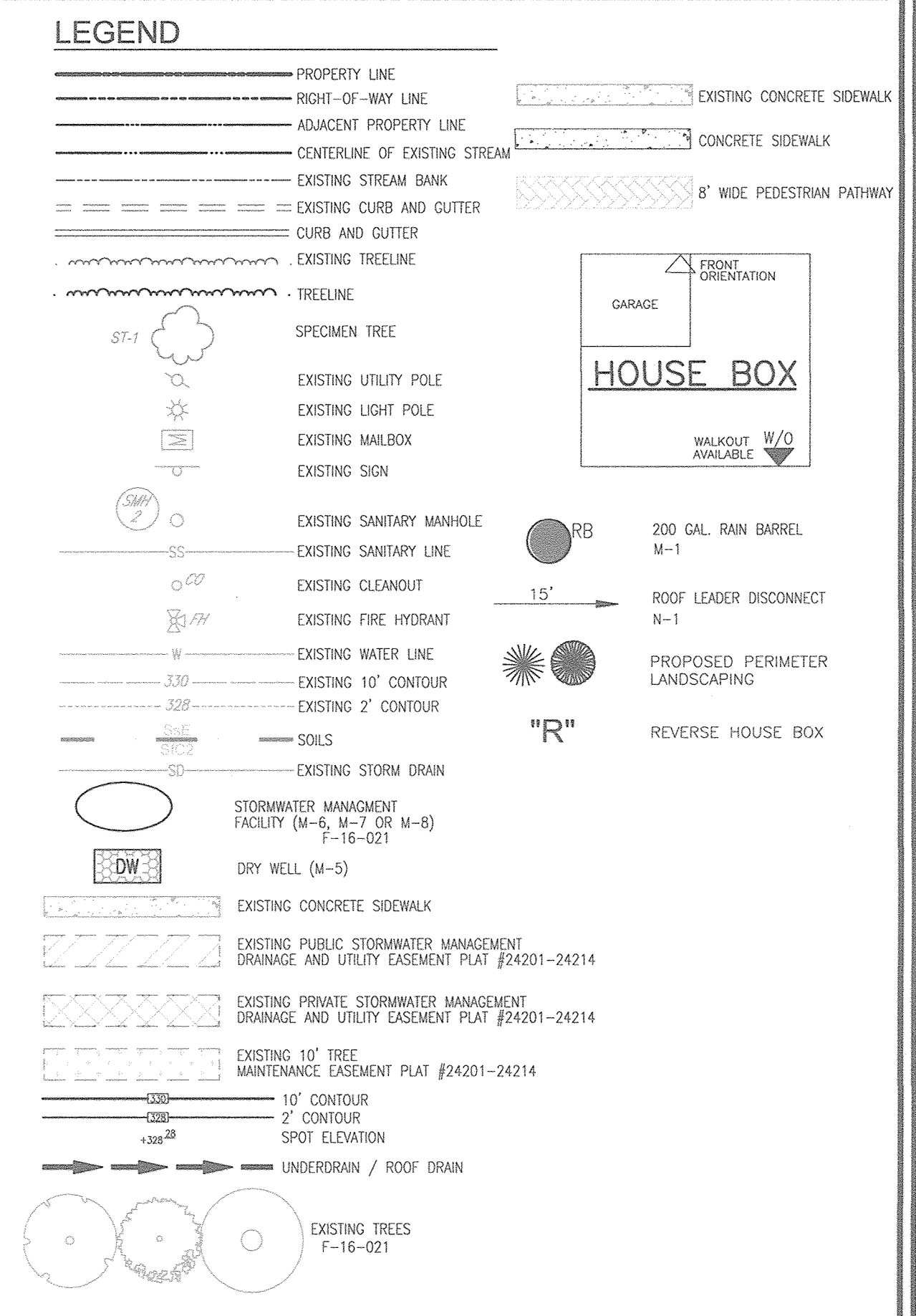
[Signature] 6-15-17
DIRECTOR DATE

NOTES:

1. ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.



LAYOUT PLAN
SCALE: 1"=30'



NOTE:

1. GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.

2. TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.

3. DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

NOTES:

1. REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS.

2. REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS.

3. REFER TO SHEET 13 FOR ROOFTOP DISCONNECT CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN.

NO.	REVISION	DATE
16	REVISE HOUSE TYPE AND GRADING FOR LOT 46, REVISE DRYWELL LOCATION ON LOT 50	11/29/19
14	REVISE HOUSE TYPE AND GRADING FOR LOTS 20 & 41, AND GRADING ON LOTS 19, 21 & 40	10/22/19
13	REVISE THE HOUSE TYPE AND GRADING ON LOT 42, REVISE THE GRADING ON LOTS 41 & 48	8/16/19
11	REVISE THE HOUSE TYPE AND GRADING ON LOT 39	7/12/19
9	REVISE THE HOUSE TYPE AND GRADING ON LOT 14	5/11/18
4	REVISE HOUSE TYPE AND GRADING LOTS 47 & 55	11/27/17

SITE DEVELOPMENT PLAN
LAYOUT PLAN
MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
DPZ REF: ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021

ZONED: R-ED-MXD-3
HOWARD COUNTY, MARYLAND

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8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RHV
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18183, EXPIRATION DATE: 09-27-2018.

4 SHEET OF 14

LOT 47 - LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
CK	6	CORNUS KOUSA KOUSA DOGWOOD	8'-10" HT.	B & B
NS	4	PICEA ABIES NORWAY SPRUCE	6'-8" HT.	B & B

—SEE GENERAL NOTE 39, SHEET 1 FOR THE TOTAL PROJECT REQUIREMENT AND SURETY.

LANDSCAPE SCHEDULE NOTE:

—ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AND SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HED PLANTING SPECIFICATIONS.

—CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.

—FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.

—CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING, IF PLAN OFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION JR
DATE: 6-12-17

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6-14-17

[Signature]
DIRECTOR
DATE: 6-15-17

DEVELOPER'S/BUILDER'S CERTIFICATE

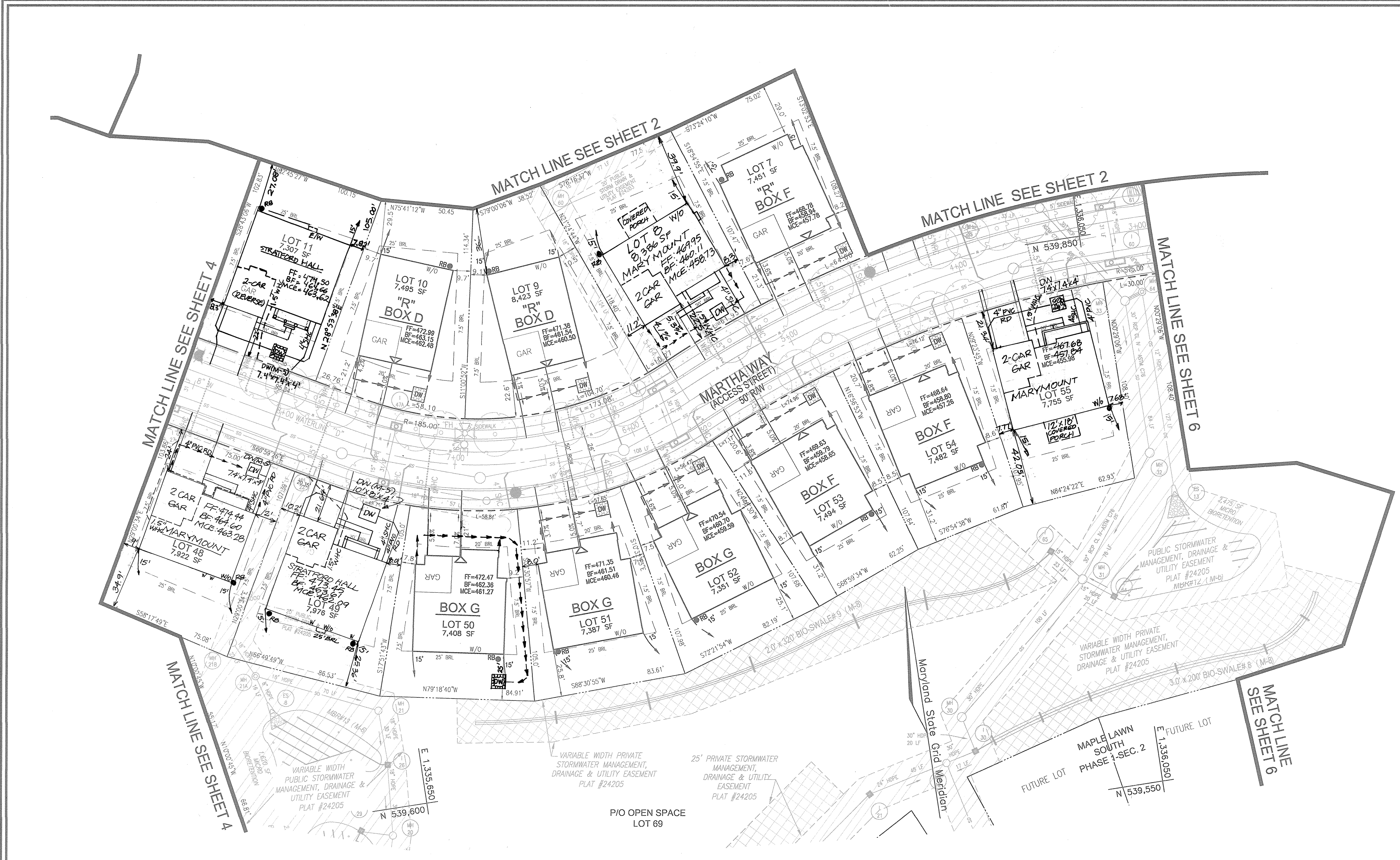
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *[Signature]* DATE: 5/28/17
SIGNATURE OF CONSTRUCTION COST MANAGER: *[Signature]*

OWNER
MAPLE LAWN FARMS, INC.
11788 SCAGGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER
MAPLE LAWN PARTNERS, LLC
2661 RIVA ROAD, SUITE 220
ANNAPOLIS, MARYLAND 21401
443-472-2846
C/O CHRIS MURN

BUILDER
NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
410-379-5956
C/O TAYLOR FARIS



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING TREELINE
- TREELINE
- SPECIMEN TREE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
- STORMWATER MANAGEMENT FACILITY (M-6, M-7 OR M-8) F-16-021
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021

EXISTING CONCRETE SIDEWALK

CONCRETE SIDEWALK

8' WIDE PEDESTRIAN PATHWAY

HOUSE BOX

FRONT ORIENTATION

WALKOUT AVAILABLE

200 GAL. RAIN BARREL M-1

ROOF LEADER DISCONNECT N-1

REVERSE HOUSE BOX

NOTE:

- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
- TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.
- DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SDP CONFIRMING THAT THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

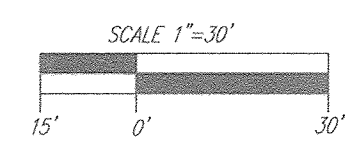
NOTES:

- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
- REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS
- REFER TO SHEET 13 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

LAYOUT PLAN
SCALE: 1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION 8
DATE: 6-12-17

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 6-14-17

[Signature]
DIRECTOR
DATE: 6-15-17

OWNER
MAPLE LAWN FARMS, INC.
11788 SCAAGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER
MAPLE LAWN PARTNERS, LLC
2661 RIVA ROAD, SUITE 220
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BUILDER
NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
410-379-5956
C/O TAYLOR FARIS

NO.	REVISION	DATE
16	REVISE HOUSE TYPE AND GRADING FOR LOT 48, REVISE DRYWELL LOCATION ON LOT 50	1/29/19
10	REVISE HOUSE TYPE AND GRADING LOTS 11 AND 22	6/19/18
9	REVISE HOUSE TYPE AND GRADING LOT 6, 49, AND 56	4/2/18
5	REVISE HOUSE TYPE AND GRADING LOT 48	2/1/18
4	REVISE HOUSE TYPE AND GRADING LOTS 47 & 55	11/27/17
3	REVISE HOUSE TYPE AND GRADING LOT 8	11/16/17

SITE DEVELOPMENT PLAN
LAYOUT PLAN
MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
LOTS 1-64

TAX MAP 48 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
ZONED: R-ED-MD-3
HOWARD COUNTY, MARYLAND
EPZ REF: ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

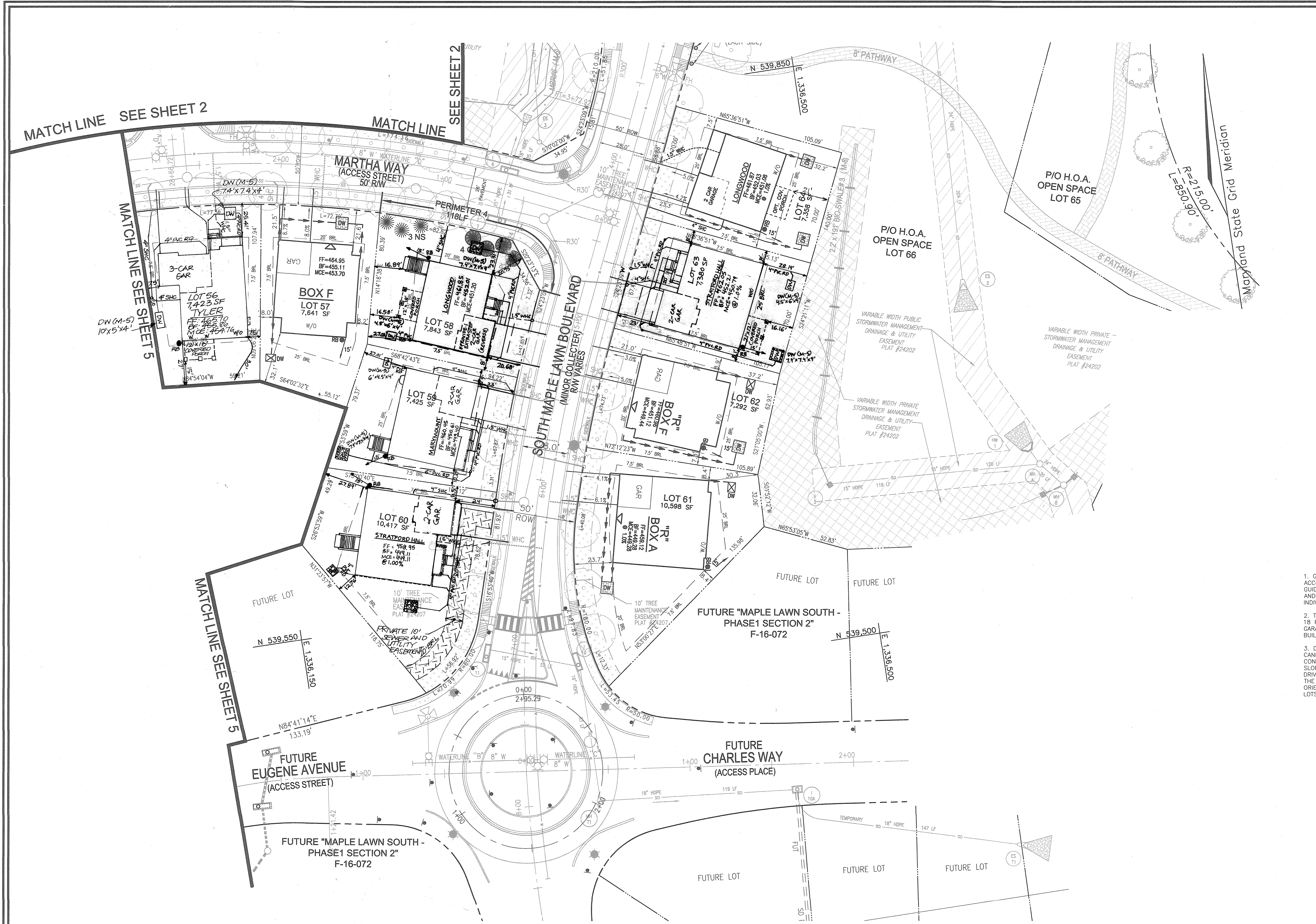
PROFESSIONAL CERTIFICATE

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RHV
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

STATE OF MARYLAND
ROBERT H. VOGEL
PE No. 16193

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018.

5 SHEET OF 14



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- EXISTING TREELINE
- TREELINE
- SPECIMEN TREE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
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- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021
- HOUSE BOX
- FRONT ORIENTATION
- WALKWAY AVAILABLE
- 200 GAL. RAIN BARREL M-1
- ROOF LEADER DISCONNECT N-1
- PROPOSED PERIMETER LANDSCAPING
- REVERSE HOUSE BOX
- EX. PRIVATE 10' SEWER AND UTILITY EASEMENT

- ### NOTES:
- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
 - TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESITE.
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NOTES:

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NO.	REVISION	DATE
25	TO REVISE HOUSE TYPE AND GRADING FOR LOTS 58 AND 63	8/11/21
17	TO REVISE HOUSE TYPE, GRADING AND DRYWELL LOCATION ON LOTS 24, 25, 59	3/29/19
15	REVISE HOUSE TYPE AND GRADING ON LOT 58. REVISE GRADING ON LOTS 57 & 59.	11/19/18
12	REVISE THE HOUSE TYPE AND GRADING ON LOT 60	7/20/18
8	REVISE HOUSE TYPE AND GRADING LOTS 6, 49, AND 56	4/2/18
5	REVISE HOUSE TYPE AND GRADING LOTS 1 AND 4. AND ADD PRIVATE SEWER EASEMENT ALONG LOT 60	1/18/18
1	REVISE HOUSE TYPE LOT 63	7/3/17

LANDSCAPE SCHEDULE NOTE:
 -ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT MAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HED PLANTING SPECIFICATIONS.
 -CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 -FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
 -CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

LAYOUT PLAN
 SCALE: 1"=30'

KEY	QUAN.	BOTANICAL NAME	SIZE	REMARKS
CK	4	CORNUS KOUSA KOUSA DOGWOOD	8'-10' HT.	B & B
NS	3	PICEA ABIES NORWAY SPRUCE	6'-8' HT.	B & B

-SEE GENERAL NOTE 39, SHEET 1 FOR THE TOTAL PROJECT REQUIREMENT AND SURETY.
 -SEE SHEET 2 FOR SCHEDULE A.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ch. Chaban
 CHIEF, DEVELOPMENT ENGINEERING DIVISION JR
 DATE: 6-12-17

Walter Zepke
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6-15-17

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *Taylor Farris* DATE: 5/25/17
 SIGNATURE OF CONSTRUCTION COST MANAGER: _____ DATE: _____

OWNER
 MAPLE LAWN FARMS, INC.
 11788 SCAGGSVILLE ROAD
 FULTON, MD 20759-0562
 301-725-2074

DEVELOPER
 MAPLE LAWN PARTNERS, LLC
 2661 RIVA ROAD, SUITE 220
 ANNAPOLIS, MARYLAND 21401
 443-472-2846
 C/O CHRIS MURN

BUILDER
 NV HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 410-379-5936
 C/O TAYLOR FARIS

SITE DEVELOPMENT PLAN
LAYOUT PLAN
MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
 LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113 ZONED: R-ED-MXD-3
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 072, REF: ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410-461-7666 FAX: 410-461-8961

PROFESSIONAL CERTIFICATE

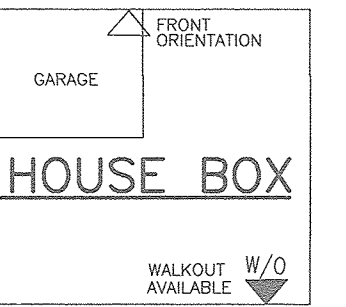
DESIGN BY: RVE
 DRAWN BY: RVE
 CHECKED BY: RHV
 DATE: MAY 2017
 SCALE: AS SHOWN
 W.O. NO.: 11-34

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2019

6 SHEET OF 14

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- EXISTING CURB AND GUTTER
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- TREE LINE
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- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
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- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- SPOT ELEVATION
- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021



NOTE:

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NOTES:

- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
- REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS
- REFER TO SHEET 13 FOR ROOFTOP DISCONNECT CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREIN AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

NOTES:

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NO.	REVISION	DATE
22	REVISE HOUSE TYPE AND GRADING ON LOT 27 AND GRADING ON LOTS 26 AND 28	12-12-19
17	TO REVISE HOUSE TYPE, GRADING AND DRYWELL LOCATION ON LOTS 24, 25, 59	3/29/19
4	TO REVISE A LOCATION OF A DRYWELL	5/11/18
8	REVISE HOUSE TYPE AND GRADING ON LOTS 6, 49 & 56	4/2/18
5	REVISE HOUSE TYPE AND GRADING ON LOTS 1 AND 4	1/18/18
	ADD PRIVATE SEWER EASEMENT ALONG LOT 60	
2	REVISE HOUSE TYPE AND GRADING LOT 6	10/27/17

**SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION
& SEDIMENT CONTROL PLAN**

**MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
LOTS 1-64**

TAX MAP 46 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
SP, R2, ECP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET, #21043
ELLSWORTH CITY, MD 21043
TEL: 410-461-7666
FAX: 410-461-8566

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RHY
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 8183, EXPIRATION DATE 09-27-2018.

7 SHEET OF **14**



GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=30'

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

- REFER TO SHEET 12 FOR SEQUENCE OF CONSTRUCTION AND STABILIZATION NOTES
- IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

NOTE:
- SUPER SILT FENCE MAY BE REPLACED WITH STANDARD SILT FENCE WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UP HILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

MAPPED SOILS TYPES - CLARKSVILLE SE MAP #23

SYMBOL / NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT SAND	K FACTOR	PERCENT CLAY	PERCENT SILT
BsA1 BULKY SILT LOAM, 0 TO 3 PERCENT SLOPES	D	YES	YES	0.32	NO	YES
CsB GLENILE LOAM, 0 TO 3 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
CsBb GLENILE LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
CmBb GLENILE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.37	YES	YES
CsC GLENILE-SILT LOAM, 0 TO 3 PERCENT SLOPES	C	PARTIALLY HYDRIC*	NO	0.37	NO	PARTIAL
MuC MANDOR LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.24	YES	NO

TAKEN FROM: USDA, SCS-WEBB SOIL SURVEY, HOWARD COUNTY
*SILT COMPONENT OF CsB, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC
NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 45 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

NOTES

- ALL EARTH DIKES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
- IMBRICATE SF/SF IN 35' SEGMENTS AS REQUIRED UP HILL BY 2' IN ELEVATION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chad J. Smith 6-12-17
CHIEF, DEVELOPMENT ENGINEERING DIVISION JR DATE

Walter J. Davis 6-14-17
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

N. Adams 6-15-17
DIRECTOR DATE

OWNER/DEVELOPER CERTIFICATION:
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING RESPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE INSPECTION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

Taylor Faris 5/25/17
OWNER/DEVELOPER SIGNATURE DATE
TAYLOR FARIS - CONSTRUCTION COST MGR.

DESIGN CERTIFICATION:
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND APPLICABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 6/2/17
DESIGNER'S SIGNATURE DATE
ROBERT H. VOGEL
MD REGISTRATION NO. 16193
R.L.S. OR R.L.A. (circle one)

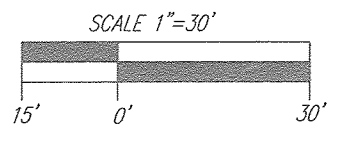
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

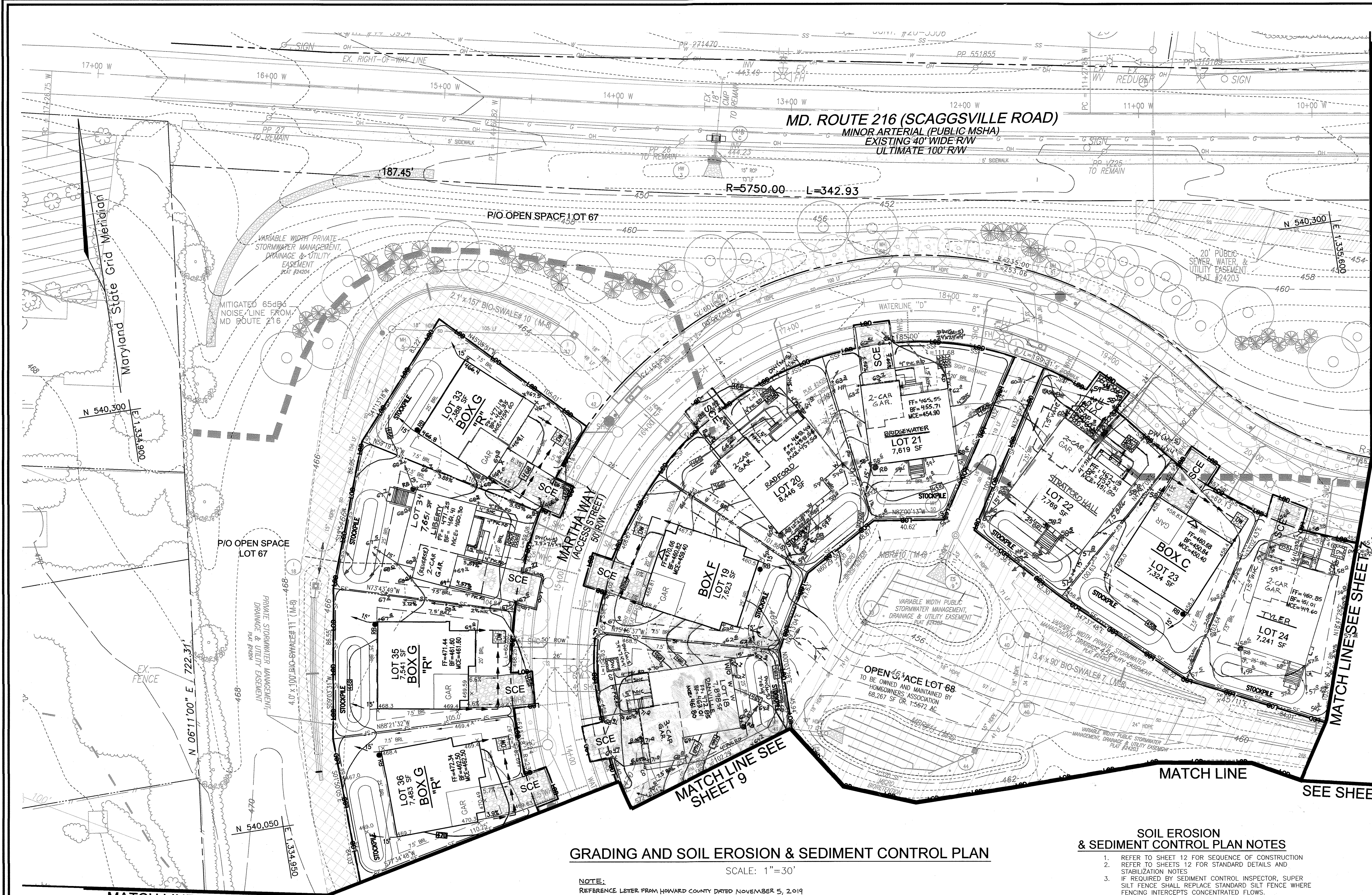
John R. Roberts 6/2/17
HOWARD S.C.D. DATE

OWNER
MAPLE LAWN FARMS, INC.
11788 SCAGGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER
MAPLE LAWN PARTNERS, LLC
2661 RIVA ROAD, SUITE 220
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410-375-5956
C/O TAYLOR FARIS





LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
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- CURB AND GUTTER
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- EXISTING WATER LINE
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- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
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- DRY WELL (M-5)
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- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
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- 1' CONTOUR
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- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021

200 GAL. RAIN BARREL M-1
ROOF LEADER DISCONNECT N-1

NOTE:

- GENERIC HOUSE BOXES ARE SHOWN IN ACCORDANCE WITH HOWARD COUNTY GUIDELINES AND DO NOT LIMIT MODEL TYPES AND OPTIONS THAT MAY FIT ON ANY INDIVIDUAL LOT.
- TYPICAL DRIVEWAY WIDTH SHOWN HEREON IS 18 FEET WIDE FOR THE PROPOSED 2 CAR GARAGE. WIDTH SUBJECT TO CHANGE WITH BUILDER RESOLVE.
- DRIVEWAYS: THE SHOWN DRIVEWAY LOCATION CANNOT CHANGE UNLESS NOTED ON THIS SUPPLEMENTAL SHEET. THE GRADING AND DRIVEWAY SLOPES WILL REMAIN THE SAME WHETHER THE DRIVEWAY IS ON THE RIGHT OR LEFT SIDE OF THE HOUSE. ONLY ONE DRIVEWAY ORIENTATION CAN BE SHOWN FOR CORNER LOTS.

NOTES:

- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
- REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS
- REFER TO SHEET 13 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

NOTES:

- ALL WATER CONNECTIONS SHALL BE 1-1/2" WITH 1" OUTSIDE METER SETTINGS, UNLESS OTHERWISE NOTED. REFER TO HOWARD COUNTY DETAILS W-3.28 OUTSIDE METER SETTINGS.

GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=30'

NOTE: REFERENCE LETTER FROM HOWARD COUNTY DATED NOVEMBER 5, 2019 APPROVING A DESIGN MANUAL INWER TO DESIGN MANUAL, VOLUAME IV, DETAIL R-6.03, TO ALLOW A 25' WIDE DRIVEWAY APON FOR LOT 19 TO ACCOMMODATE A 3 CAR GARAGE.

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

- REFER TO SHEET 12 FOR SEQUENCE OF CONSTRUCTION
- REFER TO SHEETS 12 FOR STANDARD DETAILS AND STABILIZATION NOTES
- IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

MAPPED SOILS TYPES - CLARKSVILLE SE MAP #23

SYMBOL / NAME / DESCRIPTION	GROUP	HYDRIC	PERCENT CLAY	K FACTOR	PERCENT SAND	PERCENT SILT	PERCENT LOAM
gBa	B	NO	NO	0.32	NO	YES	NO
gCb	B	NO	NO	0.20	YES	NO	NO
gCb	B	NO	NO	0.20	YES	NO	NO
gCb	B	NO	NO	0.37	YES	NO	NO
gCb	C	PARTIALLY	PARTIALLY	0.37	NO	PARTIAL	PARTIAL
gCb	B	NO	NO	0.24	YES	NO	NO

TAKEN FROM: USDA, SCS-WE8 SOIL SURVEY, HOWARD COUNTY

NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

*BALE COMPONENT OF gCb, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

NOTES

- ALL EARTH DIKES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
- IMBERICATE SF/SF IN 35' SEGMENTS AS REQUIRED UPHILL BY 2' IN ELEVATION.

NOTE:

- SUPER SILT FENCE MAY BE REPLACED WITH STANDARD SILT FENCE WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6/12/17
6/15/17

OWNER/DEVELOPER CERTIFICATION

6/12/17
6/15/17

DESIGN CERTIFICATION

6/12/17
6/15/17

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

6/15/17

OWNER
MAPLE LAWN FARMS, INC.
11788 SCAGGSVILLE ROAD
FULTON, MD 20759-0562
301-725-2074

DEVELOPER
MAPLE LAWN PARTNERS, LLC
2661 RIVA ROAD, SUITE 220
ANNAPOLIS, MARYLAND 21401
443-477-2846
C/O CHRIS MURN

BUILDER
NV HOMES
9720 PATUXENT WOODS DRIVE
COLUMBIA, MARYLAND 21046
410-379-5956
C/O TAYLOR FARIS

SITE DEVELOPMENT PLAN GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN MAPLE LAWN SOUTH PHASE 1 - SECTION 1 LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
ZONED: R-ED-MXD-3
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELUGOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RHY
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

PROFESSIONAL CERTIFICATE

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 05-31-2018

8 SHEET OF 14



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING TREELINE
- TREELINE
- SPECIMEN TREE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
- STORMWATER MANAGEMENT FACILITY (M-4, M-7 OR M-8) F-16-021
- DRY WELL (M-5)
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- UNDERDRAIN / ROOF DRAIN
- EXISTING TREES F-16-021

NOTE:

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NOTES:

- REFER TO SHEET 13 FOR DRYWELL (DW) SIZE, NOTES & DETAILS
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NOTES:

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GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=30'

SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

- REFER TO SHEET 12 FOR SEQUENCE OF CONSTRUCTION
- REFER TO SHEETS 12 FOR STANDARD DETAILS AND STABILIZATION NOTES
- IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

NOTES

- ALL EARTH OWES ARE TO BE PLACED IN WORKING ORDER AT THE END OF EACH WORKING DAY.
- IMBRICATE 5'x5' IN 35' SEGMENTS AS REQUIRED UPHILL BY 2' IN ELEVATION.

NOTE:

- SUPER SILT FENCE MAY BE REPLACED WITH STANDARD SILT FENCE WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	PROB. INCLUSIONS	K FACTOR	PRIME PASTURE	CROPPED PASTURE
Bsa BARE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	YES	0.37	NO	YES	NO
Ga GLENLEIG LOAM, 0 TO 3 PERCENT SLOPES	B	NO	0.20	YES	NO	NO
Gsb GLENLEIG LOAM, 3 TO 8 PERCENT SLOPES	B	NO	0.20	YES	NO	NO
Gmb GLENLEIG SILT LOAM, 3 TO 8 PERCENT SLOPES	C	NO	0.37	YES	YES	NO
Ghb GLENLEIG-SILT LOAM, 0 TO 8 PERCENT SLOPES	C	PARTIALLY	0.37	NO	PARTIAL	NO
Mac MAJOR LOAM, 8 TO 15 PERCENT SLOPES	B	NO	0.24	YES	NO	NO

TAKEN FROM: USDA, SCS-WE8 SOIL SURVEY, HOWARD COUNTY, MARYLAND
 NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT
 *BALE COMPONENT OF Gsb, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6-12-17

[Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6-14-17

[Signature]
 DIRECTOR
 DATE: 6-15-17

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, AND/OR MDE.

[Signature]
 OWNER/DEVELOPER SIGNATURE
 DATE: 6/15/17
 TAYLOR FARIS, CONSTRUCTION COST MGR.

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 DESIGNER'S SIGNATURE
 DATE: 6/15/17
 ROBERT H. VOGEL
 M.D. REGISTRATION NO. 16193
 R.L.S., OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 DATE: 6/15/17

OWNER
 MAPLE LAWN FARMS, INC.
 11788 SCAOOSVILLE ROAD
 FULTON, MD 20759-0562
 301-725-2074

DEVELOPER
 MAPLE LAWN PARTNERS, LLC
 2661 RIVA ROAD, SUITE 220
 ANNAPOLIS, MARYLAND 21401
 443-472-2846
 C/O CHRIS MURN

BUILDER
 NV HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 410-379-5956
 C/O TAYLOR FARIS

NO.	REVISION	DATE
16	REVISE HOUSE TYPE AND GRADING FOR LOT 46, REVISE DRYWELL LOCATION ON LOTS 10	11/29/17
14	REVISE HOUSE TYPE AND GRADING FOR LOTS 20, 21, AND GRADING ON LOTS 19, 21, 10	10/22/18
13	REVISE THE HOUSE TYPE AND GRADING ON LOT 42, REVISE GRADING ON LOTS 11, 16, 18	8/16/18
11	REVISE THE HOUSE TYPE AND GRADING ON LOT 39	7/12/18
9	REVISE THE HOUSE TYPE AND GRADING ON LOT 14	5/11/18
4	REVISE HOUSE TYPE AND GRADING LOTS 47 & 55	11/27/17

SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
 LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
 5TH ELECTION DISTRICT
 ZONED: R-FD-MXD-3
 HOWARD COUNTY, MARYLAND
 DPZ REF: ECP-14-093, WP-15-136, PR#415, SP-15-014, F-16-021

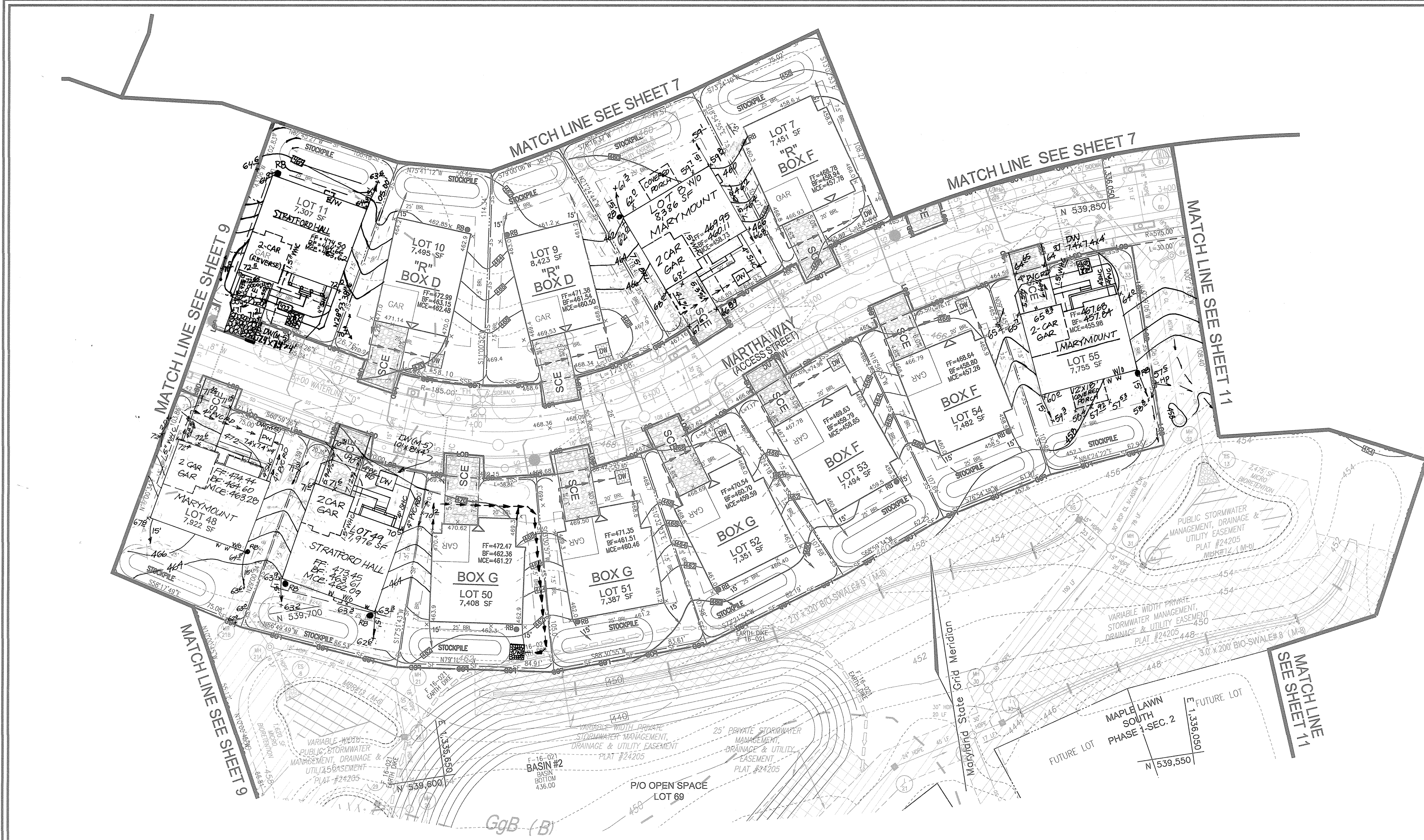
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8966

PROFESSIONAL CERTIFICATE

DESIGN BY: RVE
 DRAWN BY: RVE
 CHECKED BY: RHV
 DATE: MAY 2017
 SCALE: AS SHOWN
 W.G. NO.: 11-34

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018.

9 SHEET OF 14



LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
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- EXISTING WATER LINE
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- SOILS
- EXISTING STORM DRAIN F-16-021
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- DRY WELL (M-5)
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- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
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- EXISTING TREES F-16-021

NOTE:

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NOTES:

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- REFER TO SHEET 13 FOR RAIN BARREL NOTES & DETAILS
- REFER TO SHEET 13 FOR ROOFTOP DISCONNECTION CRITERIA. DOWNSPOUTS SHALL BE LOCATED WHERE SHOWN HEREON AT MINIMUM AND DIRECTED AT THE GROUND SURFACE TO FLOW IN THE DIRECTION SHOWN

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SOIL EROSION & SEDIMENT CONTROL PLAN NOTES

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GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=30'

NOTE: LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. ANY STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.

NOTE: STOCKPILING WILL BE PERMITTED ON EACH LOT ONLY.

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

NOTES

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- IMBRICATE SF/SF IN 35' SEGMENTS AS REQUIRED UPHILL BY 2" IN ELEVATION.

NOTE:

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- SILT FENCE SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

SYMBOL NAME / DESCRIPTION	GROUP	HYDRIC	ERODIBLE	K FACTOR	PERCENT EROSION	CUTSlope
BaA BALE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	YES	YES	0.32	NO	NO
GaA GLENLEIGH LOAM, 0 TO 3 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GgB GLENLEIGH LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GmB GLENLEIGH SILT LOAM, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.37	YES	YES
GhB GLENLEIGH-BALE SILT LOAM, 0 TO 8 PERCENT SLOPES	C	PARTIALLY	PARTIALLY	0.37	NO	PARTIAL
Mac MANNOR LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.24	YES	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY, MARYLAND. NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT

*BALE COMPONENT OF GbB, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* 6-12-17

Chief, Division of Land Development: *[Signature]* 6-14-17

Director: *[Signature]* 6-15-17

OWNER/DEVELOPER CERTIFICATION:

I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER/DEVELOPER SIGNATURE: *[Signature]* DATE: 6/15/17

TRAYLOR FARIS, CONSTRUCTION COSTMER.

DESIGN CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *[Signature]* DATE: 6/15/17

ROBERT H. VOGEL, MARYLAND PROFESSIONAL ENGINEER, No. 16193

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER: MAPLE LAWN FARMS, INC. 11788 SCAOGSVILLE ROAD FULTON, MD 20759-0562 301-725-2074

DEVELOPER: MAPLE LAWN PARTNERS, LLC 2661 RIVA ROAD, SUITE 220 ANNAPOLIS, MARYLAND 21401 443-472-2846 C/O CHRIS MURN

BUILDER: NV HOMES 9720 PATUXENT WOODS DRIVE COLUMBIA, MARYLAND 21046 410-379-5956 C/O TAYLOR FARIS

NO.	REVISION	DATE
16	REVISE HOUSE TYPE AND GARAGE FOR LOT 46. REVISE DRYWELL LOCATION ON LOT 50.	1/29/19
10	REVISE HOUSE TYPE AND GRADING LOTS 11 AND 22.	6/18/18
8	REVISE HOUSE TYPE AND GRADING LOTS 6, 49, AND 56.	4/2/18
5	REVISE HOUSE TYPE AND GRADING LOT 48.	2/1/18
4	REVISE HOUSE TYPE AND GRADING LOTS 47 & 55.	11/27/17
3	REVISE HOUSE TYPE AND GRADING LOT 6.	11/16/17

SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
MAPLE LAWN SOUTH
PHASE 1 - SECTION 1
LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
5TH ELECTION DISTRICT
ZONED: R-ED-MXD-3
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELIGOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RVE
DRAWN BY: RVE
CHECKED BY: RRV
DATE: MAY 2017
SCALE: AS SHOWN
W.O. NO.: 11-34

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2018.

10 SHEET OF 14

NOTES:
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NOTE:
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 - SILT FENCE SHALL BE CURLED UP HILL NO MORE THAN 35 FEET APART
 - DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 6-12-17
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 6-14-17
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 6-15-17
 DIRECTOR

OWNER/DEVELOPER CERTIFICATION:
 I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION OF HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT (HSCD) OR MDE.
 [Signature] 5/25/17
 OWNER/DEVELOPER SIGNATURE
 TAYLOR FARIS CONSTRUCTION COST MGR.
 PRINTED NAME & TITLE

DESIGN CERTIFICATION:
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/8/17
 ROBERT H. VOGEL
 DESIGNER'S SIGNATURE
 MD REGISTRATION NO. 16193
 R.L.S., OR R.L.A. (circle one)
 DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 6/8/17
 HOWARD S.C.D.

OWNER
 MAPLE LAWN FARMS, INC.
 11788 SCAGSVILLE ROAD
 FULTON, MD 20759-0562
 301-725-2074

DEVELOPER
 MAPLE LAWN PARTNERS, LLC
 2661 RIVA ROAD, SUITE 220
 ANNAPOLIS, MARYLAND 21401
 410-472-2846
 C/O CHRIS MURN

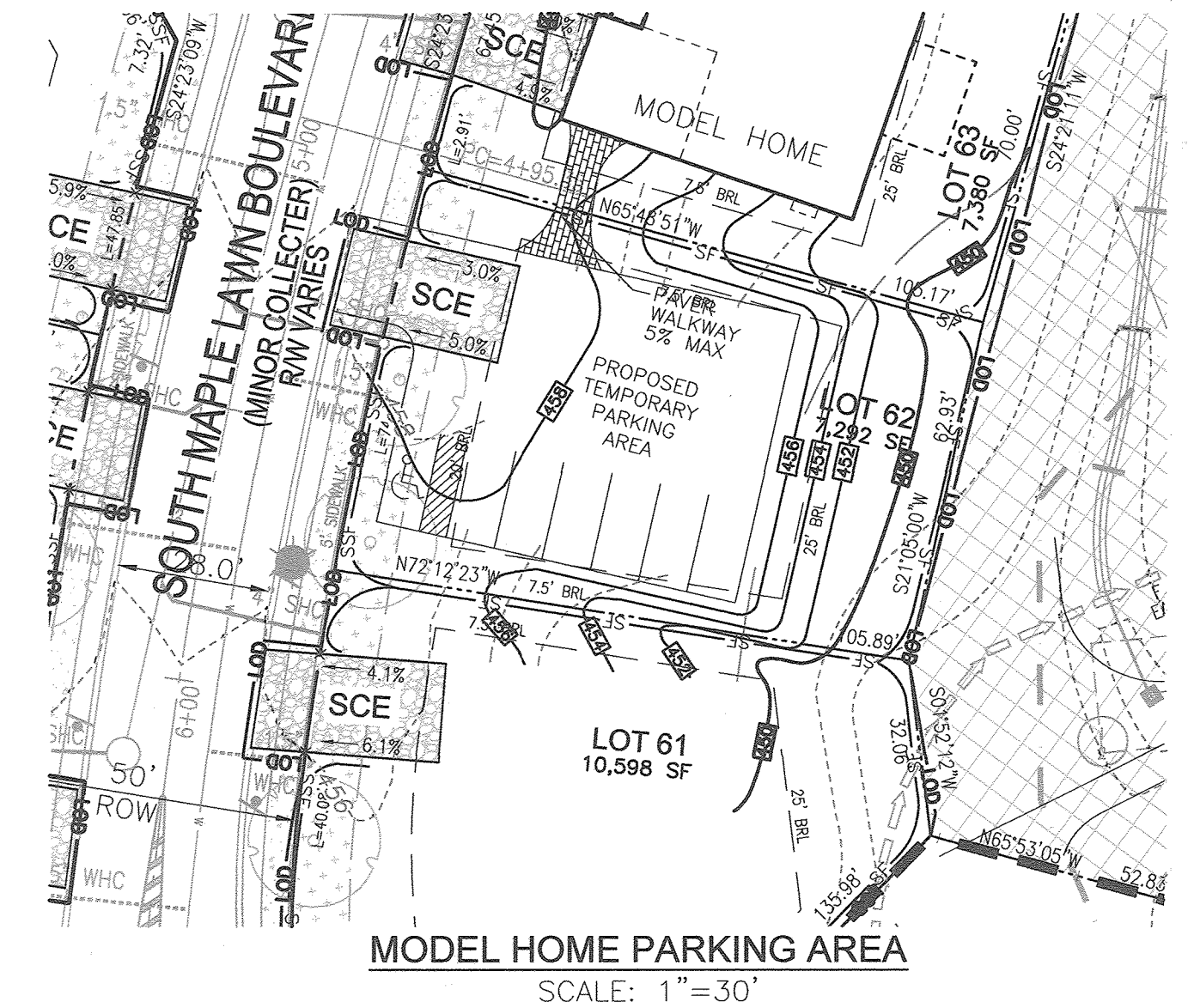
BUILDER
 NV HOMES
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 410-379-5956
 C/O TAYLOR FARIS

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- CENTERLINE OF EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- CURB AND GUTTER
- EXISTING TREETRINE
- TREETRINE
- SPECIMEN TREE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING STORM DRAIN F-16-021
- EXISTING CONCRETE SIDEWALK
- EXISTING PUBLIC STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING PRIVATE STORMWATER MANAGEMENT DRAINAGE AND UTILITY EASEMENT PLAT #24201-24214
- EXISTING 10' TREE MAINTENANCE EASEMENT PLAT #24201-24214
- 10' CONTOUR
- 2' CONTOUR
- SPOT ELEVATION
- STORMWATER MANAGEMENT FACILITY (M-6, M-7 OR M-8)
- DRY WELL (M-5)

HOUSE BOX

- FRONT ORIENTATION
- GARAGE
- WALKOUT AVAILABLE
- 200 GAL. RAIN BARREL M-1
- ROOF LEADER DISCONNECT N-1
- PROPOSED PERIMETER LANDSCAPING
- EXISTING TREES F-16-021



SOIL EROSION & SEDIMENT CONTROL PLAN NOTES
 1. REFER TO SHEET 12 FOR SEQUENCE OF CONSTRUCTION REFER TO SHEETS 12 FOR STANDARD DETAILS AND STABILIZATION NOTES
 2. IF REQUIRED BY SEDIMENT CONTROL INSPECTOR, SUPER SILT FENCE SHALL REPLACE STANDARD SILT FENCE WHERE FENCING INTERCEPTS CONCENTRATED FLOWS.

MAPPED SOILS TYPES - CLARKSVILLE SE MAP #23

SYMBOL	NAME / DESCRIPTION	GROUP	HYDRIC	WATER INCLUSIONS	K FACTOR	PERCENT PASTURELAND	CITRUS SLOPE POTENTIAL
BGA	BARE SILT LOAM, 0 TO 3 PERCENT SLOPES	D	YES	NO	0.32	NO	YES
GSA	GLENN LOAM, 0 TO 3 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GGB	GLENN LOAM, 3 TO 8 PERCENT SLOPES	B	NO	NO	0.20	YES	NO
GMB	GLENN SILT LOAM, 3 TO 8 PERCENT SLOPES	C	NO	NO	0.37	YES	YES
GGB	GLENN SILT LOAM, 0 TO 8 PERCENT SLOPES	C	PREVIOUSLY PARTIALLY	NO	0.37	NO	PARTIAL
MAC	MACON LOAM, 8 TO 15 PERCENT SLOPES	B	NO	NO	0.24	YES	NO

TAKEN FROM: USDA, SCS-WEB SOIL SURVEY, HOWARD COUNTY
 NOTE: HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT
 *BALE COMPONENT OF GGB, ERODIBILITY FACTOR IS 0.32 AND IS CONSIDERED HYDRIC

NO.	REVISION	DATE
25	TO REVISE HOUSE TYPE AND GRADING FOR LOTS 58 AND 63	8-11-21
17	TO REVISE HOUSE TYPE, GRADING AND DETAIL LOCATION ON LOT 24, 25, 59	3/23/19
15	REVISE HOUSE TYPE AND GRADING ON LOT 98 REVISE GRADING ON LOTS 57 & 59	11/9/18
12	REVISE THE HOUSE TYPE AND GRADING ON LOT 60	7/20/18
8	REVISE HOUSE TYPE AND GRADING ON LOTS 6, 49, 56	4/2/18
5	REVISE HOUSE TYPE AND GRADING ON LOTS 1 AND 43 AND ADD PRIVATE SEWER EASEMENT ALONG LOT 60	11/7/18
1	REVISE HOUSE TYPE LOT 63	7/31/17

SITE DEVELOPMENT PLAN
GRADING AND SOIL EROSION & SEDIMENT CONTROL PLAN
MAPLE LAWN SOUTH PHASE 1 - SECTION 1
 LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
 5TH ELECTION DISTRICT
 REP. REG. EOP-14-093, WP-15-136, PB#415, SP-15-014, F-16-021

ZONED: R-ED-MXD-3
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: RVE
 DRAWN BY: RVE
 CHECKED BY: RHV
 DATE: MAY 2017
 SCALE: AS SHOWN
 W.O. NO.: 11-34

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRES: 09-27-2018

11 SHEET OF 14

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

- A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID), 410-313-1855 AFTER THE FUTURE LOTS AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE FOLLOWING STAGES:
 - PRIOR TO THE START OF EARTH DISTURBANCE.
 - PRIOR TO THE INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
 - PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING.
 - PRIOR TO THE REMOVAL OR MODIFICATION OF SEDIMENT CONTROL STRUCTURES.

OTHER BUILDING OR GRADING STRUCTURE APPROVALS MAY BE AUTHORIZED UNTIL THIS INITIAL APPROVAL. THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREAFTER.
 - FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS TO THE SURFACE OF ALL PERMETER CONTROLS, DUES, SLOPES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1 HORIZONTAL TO 1 VERTICAL (S1:1) AND SEVEN (7) CALENDAR DAYS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.
 - ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN, INCORPORATED, STABILIZED (SEC. B-4-1) SPECIFICATIONS SHALL BE ENFORCED IN AREAS WITH >15% OF CUT AND/OR FILL STOCKPILES (SEC. B-4-8) IN EXCESS OF 20 FT. MUST BE REMOVED WITHIN 14 DAYS OF COMPLETION OF FILL. STEEP SLOPES AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. B-4-6). ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMANENT RESTORATION HAS BEEN OBTAINED FROM THE CID.

6. SITE ANALYSIS:

TOTAL AREA OF SITE: F01-021	44.70	ACRES
AREA DISTURBED:	11.98	ACRES
AREA TO BE RESTORED OR PAVED:	4.31	ACRES
AREA TO BE PROTECTED/STABILIZED:	7.50	ACRES
TOTAL CUT:	10,400	CU. YDS.
TOTAL FILL:	10,400	CU. YDS.
OFFSITE FILL/BORROW AREA LOCATION:	F18-072	

- REFER TO ITEM #11 BELOW
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS TO BE SUBMITTED TO THE CID. THE REPORT SHALL INCLUDE:

- INSPECTION DATE
- INSPECTION TIME (ROUTINE, PRE-CONSTRUCTION, DURING RAIN EVENT)
- NAME AND TITLE OF INSPECTOR
- WEATHER INFORMATION (CONTRAST, WIND, TIME AND AMOUNT OF LAST RECORDED PRECIPITATION AND/OR CURRENT ACTIVITIES)
- BRIEF DESCRIPTION OF PRODUCT'S STATUS (E.G., PERCENT COMPLETE) AND/OR CURRENT ACTIVITIES
- EVIDENCE OF SEDIMENT DISCHARGES
- IDENTIFICATION OF PLAN DEFICIENCIES
- IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
- IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
- COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
- PHOTOGRAPHS
- MONITORING/SAMPLING
- MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
- OTHER INSPECTION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (NPDES, MDE)

- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS OR THAT WHICH CAN BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE HSCD PRIOR TO PROCEEDING WITH CONSTRUCTION. MINOR REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
- DISTURBANCE SHALL NOT OCCUR OUTSIDE THE L.O.D. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM WIDTH OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE CID, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE HSCD, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.
 - WATER FROM ANY EQUIPMENT, VEHICLES, PACKAGING, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASTEWATER STRUCTURE.
 - TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ONTO FINAL GRADE.
 - ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON THE CONTOUR, AND BE IMBERICATED AT 2' MINIMUM INTERVALS, WITH LOWER ENDS CURVED UPHILL BY 2' IN ELEVATION.
 - STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUDES):
 - USE I AND II: MARCH 1 - JUNE 15
 - USE II AND III: OCTOBER 1 - APRIL 30
 - USE IV: MARCH 1 - MAY 31

- A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA: A. SEED MIXTURES

- SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE 8.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE (FROM TABLE 8.2) UNDER SELECTED MIXTURES. APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- ADDITIONAL PLANNING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DITCHES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANNING.
- FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
- FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 1-1/2 POUNDS PER 1000 SQUARE FEET (100 SQ. FT.) ACRES) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

2. TURFGRASS MIXTURES: A. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND OPEN COMMON AREAS WHICH REQUIRE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. B. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITION OR PURPOSE (FROM TABLE 8.2) UNDER SELECTED MIXTURES. APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.

- 1. KENTUCKY BLUEGRASS:** FULL SUN MIXTURE; FOR USE IN AREAS THAT RECEIVE INTENSIVE MAINTENANCE. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND WHERE DUES BY THE MONTHS. CHOICE OF CENTRAL MARYLAND AND SOUTHERN MARYLAND MIXTURES. SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOICE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT BERMUDA GRASS. SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOICE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- 2. CENTRAL MARYLAND MIXTURE:** FULL SUN MIXTURE; FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MAINTENANCE IN FULL SUN TO MEDIUM SHADE. RECOMMENDED MIXTURE INCLUDES: CERTIFIED FULL FERTILIZER CULTIVARS 85 TO 100 PERCENT BERMUDA GRASS, 10 TO 15 PERCENT SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED TOGETHER.
- 3. SOUTHERN MARYLAND MIXTURE:** FULL SUN MIXTURE; FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MAINTAINED AREAS. MAINTENANCE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND GO TO 70 PERCENT. SEEDING RATE: 1.5 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRICULTURAL MANUAL "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND". CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.

C. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES:

- WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 10 TO OCTOBER 1 (HARDNESS ZONES: S8, B4)
- CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: B8)
- SOUTHERN MD: EASTERN SLOPES: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)

- 1. GENERAL SPECIFICATIONS:** A. ALL TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. B. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/8 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP GROWTH AND THAT WHICH IS BROKEN PADS AND TOP OR UNDEVELOPED TIPS THAT DO NOT ACCEPT. C. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND REMAIN THEIR TRUE SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 1/2 OF THE SECTION. D. SOD MUST NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVE) DRY OR WET) ADVERSELY AFFECTS ITS SURVIVAL. E. SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

- 2. SOD INSTALLATION:** A. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY BRIDGE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING SOD. B. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT Voids WHICH WOULD CAUSE AIR DRAINAGE AND DRYING OF THE ROOTS. C. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERED JOINTS. ROLL AND TAMP; PUT OR OTHERWISE SECURE THE SOD TO PREVENT SLIDING OR SLOPES. EXPOSED SOIL CONTACT EXISTING BETWEEN SOD ROOTS AND THE UNDERLYING SOIL SURFACE. D. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN FOUR HOURS.
- 3. SOD MAINTENANCE:** A. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SO DURING THE HEAT OF THE DAY TO PREVENT WILTING. B. AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. C. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED, NO MORE THAN 1/3 OF THE GRASS HEIGHT MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

PERMANENT SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
1	COOL SEASON TALL FESCUE	1.5 LB / AC	MAR 1 TO MAY 15	1/4 - 1/2 IN.	45 LB/AC	90 LB/AC	90 LB/AC	2 TONS/AC
2	BLENDED BLUEGRASS	1.5 LB / AC	MAY 15 TO OCT 15	1/4 - 1/2 IN.	1 LB PER 1000 SF	2 LB PER 1000 SF	2 LB PER 1000 SF	90 LB PER 1000 SF

NOTE: EITHER PERMANENT OR TEMPORARY STABILIZATION IS TO BE APPLIED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR REGARDLESS OF DAYS/DATES IN THE STANDARD SEDIMENT CONTROL NOTES AND/OR SEEDING SPECIFICATIONS.

R-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

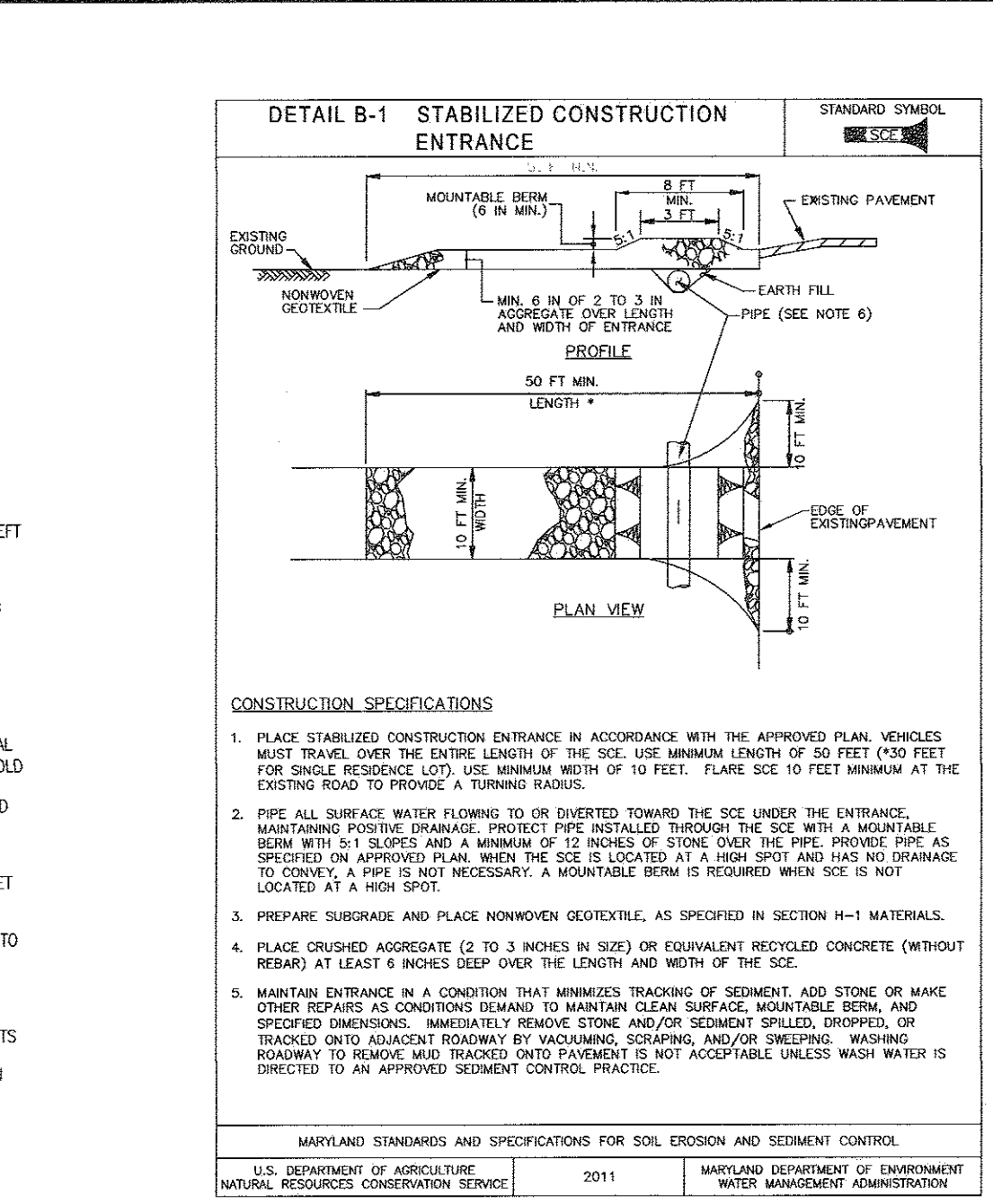
CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA: A. SOIL PREPARATION

- 1. TEMPORARY STABILIZATION:** A. SECTED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES OF AREAS OF SUBSOIL AGRICULTURE, OR CONSTRUCTION EQUIPMENT SUCH AS DISC HARROWS OR CHISEL FLOWS, OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT AFTER THE SOIL IS LOOSED, IF MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH DISKS RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. B. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. C. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- 2. PERMANENT STABILIZATION:** A. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL DEPTH FOR TESTING SHALL BE AS FOLLOWS: PERMANENT VEGETATIVE ESTABLISHMENT ARE: S. FOR BETWEEN 6.0 AND 7.0 ACRES. B. AREAS WITH SOILS LESS THAN 40 PERCENT CLAY (FINO) FINO FINE GRAINED MATERIAL (GREATER THAN 20 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: F. LOESSLESS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE. C. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. D. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION. E. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. F. TOPSOIL MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARRED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. G. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST. H. APPLY SOIL AMENDMENTS TO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. TAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE ROCKS AND BRANCHES, AND REAR THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDING. PREPARATION TRACKS 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 1 1/2 INCHES OF SOIL UNLOOSED AND FINALLY SECTED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

- B. TOPSOILING:** 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. THE SOILS OF CONCRETE, LOW MOISTURE, EXTREMELY LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL COMPOSITION. 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH ABOVE. 3. TOPSOIL SALVAGED FROM AN EXISTING SITE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-CR. 4. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. B. THE SOIL WATER CONTENT IS TOO LOW TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIME/STONE IS NOT FEASIBLE. E. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: A. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED. B. THE APPROPRIATE AUTHORITY, TOPSOIL MUST BE A MIXTURE OF CONTRACTING TEXTURED SUBSOILS AND LATER WITH TRACKED EQUIPMENT. C. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACK GRASS, JOHNSON GRASS, NET SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. D. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROVED AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- 6. TOPSOIL APPLICATION:** A. EROSION AND SEDIMENT CONTROL MUST BE MAINTAINED WHEN APPLYING TOPSOIL. B. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 10 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS ARE TO BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED TO THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MOIST CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR A CONDITION THAT MAY OTHERWISE BE DETERMINED TO PROPER GRADING AND SEEDING PREPARATION.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATES AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FINE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROVED AUTHORITY. FERTILIZERS MUST ALL BE SEPARATED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME, OR TRADEMARK AND WARRANTY OF THE PRODUCER. 3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURST LIME) MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL CHLORINE (CALCIUM OXIDE PLUS MANGANESE OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE. 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. 5. WHERE THE SUBSOIL IS HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS, A LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. PER 1000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL	2011	MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE
U.S. DEPARTMENT OF AGRICULTURE	2011	MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSERVATION SERVICE

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES: TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

- A. SEEDING:** 1. SPECIFICATIONS: A. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SEEDING. SUCH MATERIAL ON ANY PROJECT, REFER TO THESE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE. B. MULCH OR SEED MUST BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND IS FROZEN. C. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER, AND FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING TO PREVENT SEEDING FAILURE. D. SEEDING: SEEDING MUST BE PERFORMED IN SUCH A MANNER THAT SEEDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS ARE TO BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. E. TOPSOIL MUST NOT BE PLACED TO THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MOIST CONDITION WHEN THE SUBSOIL IS EXCESSIVELY WET OR A CONDITION THAT MAY OTHERWISE BE DETERMINED TO PROPER GRADING AND SEEDING PREPARATION.

- 2. APPLICATION:** A. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DRIP OR BROADCAST SPREADERS. B. HYDROSEEDING: SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1. PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. C. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. HILL THE SEEDING AREA WITH A WEDGED ROLLER TO PREVENT WIND OR OTHER CAUSAL FACTORS FROM DISRUPTING THE SEEDING. D. MULCH OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL. E. OUTPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDING MUST BE FROM AFTER PLANTING. F. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. G. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER). H. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE. TOTAL OF SOLUBLE NITROGEN, 200 POUNDS PER ACRE. P (PHOSPHORUS), 200 POUNDS PER ACRE. K₂O (POTASSIUM), 200 POUNDS PER ACRE. I. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (10 TO 30 PERCENT FINENESS) OR OTHER LIME BY HYDROSEEDING. NORMALLY, NOT MORE THAN 7 TONS ARE APPLIED BY HYDROSEEDING AT ONE TIME. DO NOT USE BURST OR HYDRATED LIME WHEN HYDROSEEDING. LIME MUST BE SEPARATED TO THE SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. J. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.

- B. MULCHING:** 1. MULCH MATERIALS (IN ORDER OF PREFERENCE): A. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, LYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WOOD SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOULDY, CANKY, DECAYED, OR EXCESSIVELY DUFFY. USE ONLY STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. B. WOOD CELLULOSE FIBER MULCH CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBER PHYSICAL STATE. C. WOOD CELLULOSE FIBER MULCH THAT WILL PROVIDE AN APPROPRIATE COVER TO FACILITATE VISUAL INSPECTION OF THE UNIFORM SPREAD SLICES. D. WOOD CELLULOSE FIBER MULCH THAT WILL REMAIN IN WATER UNDER AGRATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A FLUTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT HINDERING THE GROWTH OF THE GRASS SEEDS. E. WOOD CELLULOSE FIBER MULCH MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC. F. WOOD MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MAXIMUM.

- 2. APPLICATION:** A. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. B. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED, WHEN USING MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. C. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MEDIUM WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. D. APPLY MULCH ANCHORING TOOL IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE): 1. A MULCH ANCHORING TOOL IS A TRACTOR DRIVEN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. FIBER MULCH IS MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT IT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR. 2. MULCH ANCHORING TOOL: APPLY THE FIBER MULCH AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. 3. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ACR-DLR), DCA-70, PROTECTANT, TERMA-TAN II, TERMA-TACK OR OTHER APPROVED EQUAL. USE AS DIRECTED. APPLICATION RATES AS SPECIFIED BY THE MANUFACTURER. 4. LIGHTWEIGHT PLASTIC NETTING MAY BE APPLIED AT THE ENDS WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRISTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. 5. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

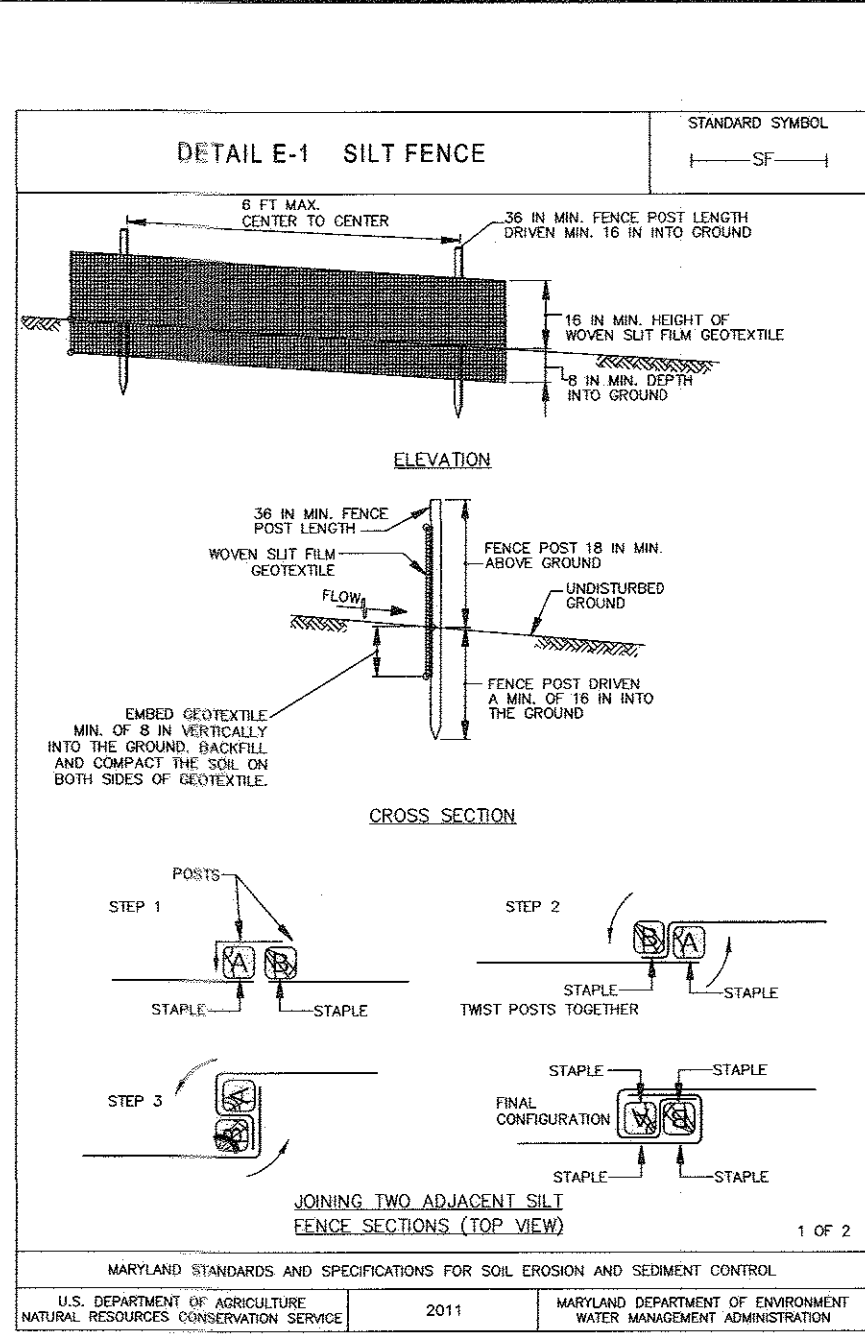
TEMPORARY SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)			LIME RATE
					N	P ₂ O ₅	K ₂ O	
1	COOL SEASON ANNUAL GRASSES OR EQUAL	40 LB / AC	MAR 1 TO MAY 15	1/2 IN.	436 LB/AC	10 LB PER 1000 SF	2 TONS/AC	90 LB PER 1000 SF
2	WARM SEASON FESCUE, MILLET OR EQUAL	30 LB / AC	MAY 16 TO JUL 31	1/2 IN.				

OWNER: MAPLE LAWN FARMS, INC. 11788 SCAGSVILLE ROAD, FULTON, MD 20759-0562 301-725-2074

DEVELOPER: MAPLE LAWN PARTNERS, LLC 2661 RIVA ROAD, SUITE 220 ANNAPOLIS, MARYLAND 21401 443-472-2846 C/O CHRIS MURRY

BUILDER: NV HOMES 9720 PATUXENT WOODS DRIVE COLUMBIA, MARYLAND 21046 410-379-5956 C/O TAYLOR FARIS



Lot	M-5 Drywell	M-1 Rain Barrel	N-1 15' Disconnect
Lot 1	1	1	1
Lot 2	1	1	1
Lot 3	1	1	1
Lot 4	2	1	1
Lot 5	1	1	1
Lot 6	1	1	2
Lot 7	1	1	2
Lot 8	1	1	2
Lot 9	1	1	2
Lot 10	1	1	2
Lot 11	1	1	1
Lot 12	1	1	1
Lot 13	1	1	2
Lot 14	1	1	2
Lot 15	1	1	2
Lot 16	1	1	2
Lot 17	1	1	2
Lot 18	1	1	2
Lot 19	1	1	2
Lot 20	1	1	2
Lot 21	1	1	2
Lot 22	1	1	2
Lot 23	1	1	2
Lot 24	1	1	2
Lot 25	1	1	2
Lot 26	1	1	2
Lot 27	1	1	1
Lot 28	1	1	1
Lot 29	1	1	1
Lot 30	1	1	2
Lot 31	1	1	2
Lot 32	1	1	2
Lot 33	1	1	2
Lot 34	1	1	2
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Lot 37	1	1	2
Lot 38	1	1	2
Lot 39	1	1	2
Lot 40	1	1	2
Lot 41	1	1	1
Lot 42	1	1	1
Lot 43	1	1	1
Lot 44	1	1	1
Lot 45	1	1	2
Lot 46	1	1	2
Lot 47	2	1	1
Lot 48	1	1	2
Lot 49	1	2	1
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Lot 55	1	1	2
Lot 56	2	1	1
Lot 57	2	1	1
Lot 58	2	1	1
Lot 59	2	1	1
Lot 60	2	1	1
Lot 61	2	1	1
Lot 62	2	1	1
Lot 63	2	1	1
Lot 64	2	1	1

ON-LOT DRYWELL - DESIGN ELEVATION CHART											
SWM DA	LOT #	DW LOCATION	NUMBER OF DW'S	PROP GRADE*	TOP STONE*	INV STONE*	INV SAND*	SURFACE SIZE	STONE DEPTH	SAND DEPTH	
21	64	R	1	453.00	445.00	445.00	445.00	7.4' X 7.4'	4	1	
23	64	R	1	451.50	445.00	445.00	445.00	7.4' X 7.4'	4	1	
	63	R	1	450.50	445.00	445.00	445.00	7.4' X 7.4'	4	1	
	62	R	1	450.50	445.00	445.00	445.00	7.4' X 7.4'	4	1	
	61	R	1	449.00	444.00	444.00	443.00	7.4' X 7.4'	4	1	
28	58	F	1	459.30	458.30	454.30	453.30	7.4' X 7.4'	4	1	
	59	R	1	455.20	454.20	450.20	449.20	7.4' X 7.4'	4	1	
	60	F	1	454.50	453.50	449.50	448.50	7.4' X 7.4'	4	1	
	61	F	1	456.00	455.00	451.00	450.00	7.4' X 7.4'	4	1	
	62	R	1	450.50	449.50	445.50	444.50	7.4' X 7.4'	4	1	
	63	R	1	450.00	449.00	445.00	444.00	7.4' X 7.4'	4	1	
36	57	R	1	454.50	453.50	449.50	448.50	7.4' X 7.4'	4	1	
	58	R	1	455.50	454.50	450.50	449.50	7.4' X 7.4'	4	1	
	59	R	1	455.50	454.50	450.50	449.50	7.4' X 7.4'	4	1	
	60	R	1	454.50	453.50	449.50	448.50	7.4' X 7.4'	4	1	
7	18	F	1	469.00	468.00	464.00	463.00	7.4' X 7.4'	4	1	
	19	F	1	467.00	466.00	462.00	461.00	7.4' X 7.4'	4	1	
	20	F	1	464.00	463.00	459.00	458.00	7.4' X 7.4'	4	1	
	21	F	1	462.00	461.00	457.00	456.00	7.4' X 7.4'	4	1	
	33	F	1	466.50	465.50	461.50	460.50	7.4' X 7.4'	4	1	
	34	F	1	467.50	466.50	462.50	461.50	7.4' X 7.4'	4	1	
	35	F	1	468.20	467.20	463.20	462.20	7.4' X 7.4'	4	1	
	36	F	1	469.00	468.00	464.00	463.00	7.4' X 7.4'	4	1	
	37	F	1	470.00	469.00	465.00	464.00	7.4' X 7.4'	4	1	
9	22	F	1	459.50	458.50	454.50	453.50	7.4' X 7.4'	4	1	
	23	F	1	457.50	456.50	452.50	451.50	7.4' X 7.4'	4	1	
	24	F	1	457.00	456.00	452.00	451.00	7.4' X 7.4'	4	1	
	25	F	1	455.50	454.50	450.50	449.50	7.4' X 7.4'	4	1	
	26	R	1	454.50	453.50	449.50	448.50	7.4' X 7.4'	4	1	
	27	F	1	453.50	452.50	448.50	447.50	7.4' X 7.4'	4	1	
	28	F	1	452.00	451.00	447.00	446.00	7.4' X 7.4'	4	1	
	29	F	1	452.50	451.50	447.50	446.50	7.4' X 7.4'	4	1	
	30	F	1	456.50	455.50	451.50	450.50	7.4' X 7.4'	4	1	
10	31	F	1	462.00	461.00	457.00	456.00	7.4' X 7.4'	4	1	
	32	F	1	464.00	463.00	459.00	458.00	7.4' X 7.4'	4	1	
	3	F	1	463.50	462.50	458.50	457.50	7.4' X 7.4'	4	1	
	4	F	1	462.00	461.00	457.00	456.00	7.4' X 7.4'	4	1	
12	9	F	1	468.50	467.50	463.50	462.50	7.4' X 7.4'	4	1	
	10	F	1	470.00	469.00	465.00	464.00	7.4' X 7.4'	4	1	
	11	F	1	471.50	470.50	466.50	465.50	7.4' X 7.4'	4	1	
	48	F	1	471.00	470.00	466.00	465.00	7.4' X 7.4'	4	1	
	49	F	1	470.00	469.00	465.00	464.00	10' X 6'	4	1	
	50	F	1	469.50	468.50	464.50	463.50	7.4' X 7.4'	4	1	
	51	F	1	468.50	467.50	463.50	462.50	7.4' X 7.4'	4	1	
	52	F	1	467.50	466.50	462.50	461.50	7.4' X 7.4'	4	1	
15	15	F	1	474.50	473.50	469.50	468.50	7.4' X 7.4'	4	1	
	16	F	1	473.50	472.50	468.50	467.50	7.4' X 7.4'	4	1	
	17	F	1	471.00	470.00	466.00	465.00	7.4' X 7.4'	4	1	
	38	F	1	471.50	470.50	466.50	465.50	7.4' X 7.4'	4	1	
	39	F	1	472.50	471.50	467.50	466.50	7.4' X 7.4'	4	1	
	40	F	1	473.50	472.50	468.50	467.50	7.4' X 7.4'	4	1	
	41	F	1	474.20	473.20	469.20	468.20	7.4' X 7.4'	4	1	
16	12	F	1	472.20	471.20	467.20	466.20	7.4' X 7.4'	4	1	
	13	F	1	473.00	472.00	468.00	467.00	7.4' X 7.4'	4	1	
	14	F	1	473.50	472.50	468.50	467.50	7.4' X 7.4'	4	1	
18	1	F	1	464.00	463.00	459.00	458.00	7.4' X 7.4'	4	1	
	2	F	1	464.50	463.50	459.50	458.50	7.4' X 7.4'	4	1	
	5	F	1	464.00	463.00	459.00	458.00	7.4' X 7.4'	4	1	
	6	F	1	464.50	463.50	459.50	458.50	7.4' X 7.4'	4	1	
	7	F	1	465.80	464.80	460.80	459.80	7.4' X 7.4'	4	1	
	8	F	1	466.50	465.50	461.50	460.50	7.4' X 7.4'	4	1	
	53	F	1	466.50	465.50	461.50	460.50	7.4' X 7.4'	4	1	
	54	F	1	465.50	464.50	460.50	459.50	7.4' X 7.4'	4	1	
	55	F	1	464.20	463.20	459.20	458.20	7.4' X 7.4'	4	1	
19A	56	F	1	462.50	461.50	457.50	456.50	7.4' X 7.4'	4	1	
	57	F	1	463.50	462.50	458.50	457.50	7.4' X 7.4'	4	1	
39	42	F	1	472.00	471.00	467.00	466.00	7.4' X 7.4'	4	1	
	43	F	1	471.20	470.20	466.20	465.20	7.4' X 7.4'	4	1	
	44	F	1	469.50	468.50	464.50	463.50	7.4' X 7.4'	4	1	
	45	F	1	468.50	467.50	463.50	462.50	7.4' X 7.4'	4	1	
	46	F	1	470.50	469.50	465.50	464.50	7.4' X 7.4'	4	1	
20	4	R	1	459.00	458.00	454.00	453.00	10' X 6'	4	1	

* ELEVATIONS ARE APPROXIMATE AND MAY VARY BASED ON OVERLTOP FINE GRADING

R= REAR OF LOT

F= FRONT OF LOT

Lot	DA	DF	DR	DT	DT	DT	DT	DT	DT	DT	DT
16	41	F	1	413.50	412.50	408.50	407.50	10' X 6'	4	1	
41	41	R	1	410.00	409.00	405.00	404.00	10' X 6'	4	1	
N-1	56	R	1	457.50	456.50	452.50	451.50	10' X 6'	4	1	

CONSTRUCTION CRITERIA:

THE FOLLOWING ITEMS SHOULD BE ADDRESSED DURING THE CONSTRUCTION OF PROJECTS WITH PLANNED ROOFTOP DISCONNECTIONS:

- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN VEGETATED AREAS RECEIVING DISCONNECTED RUNOFF
- SITE DISTURBANCE: CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF TO MINIMIZE DISTURBANCE AND COMPACTION. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

INSPECTION:

A FINAL INSPECTION SHALL BE CONDUCTED BEFORE USE AND OCCUPANCY APPROVAL TO ENSURE THAT SIZING FOR TREATMENT AREAS HAVE BEEN MET AND PERMANENT STABILIZATION HAS BEEN ESTABLISHED.

MAINTENANCE CRITERIA:

MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION (E.G., BY PLANTING TREES OR SHRUBS ALONG THE PERIMETER). IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

HOWARD COUNTY - OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1), DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

A. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 6-12-17
CHIEF, DEVELOPMENT ENGINEERING DIVISION

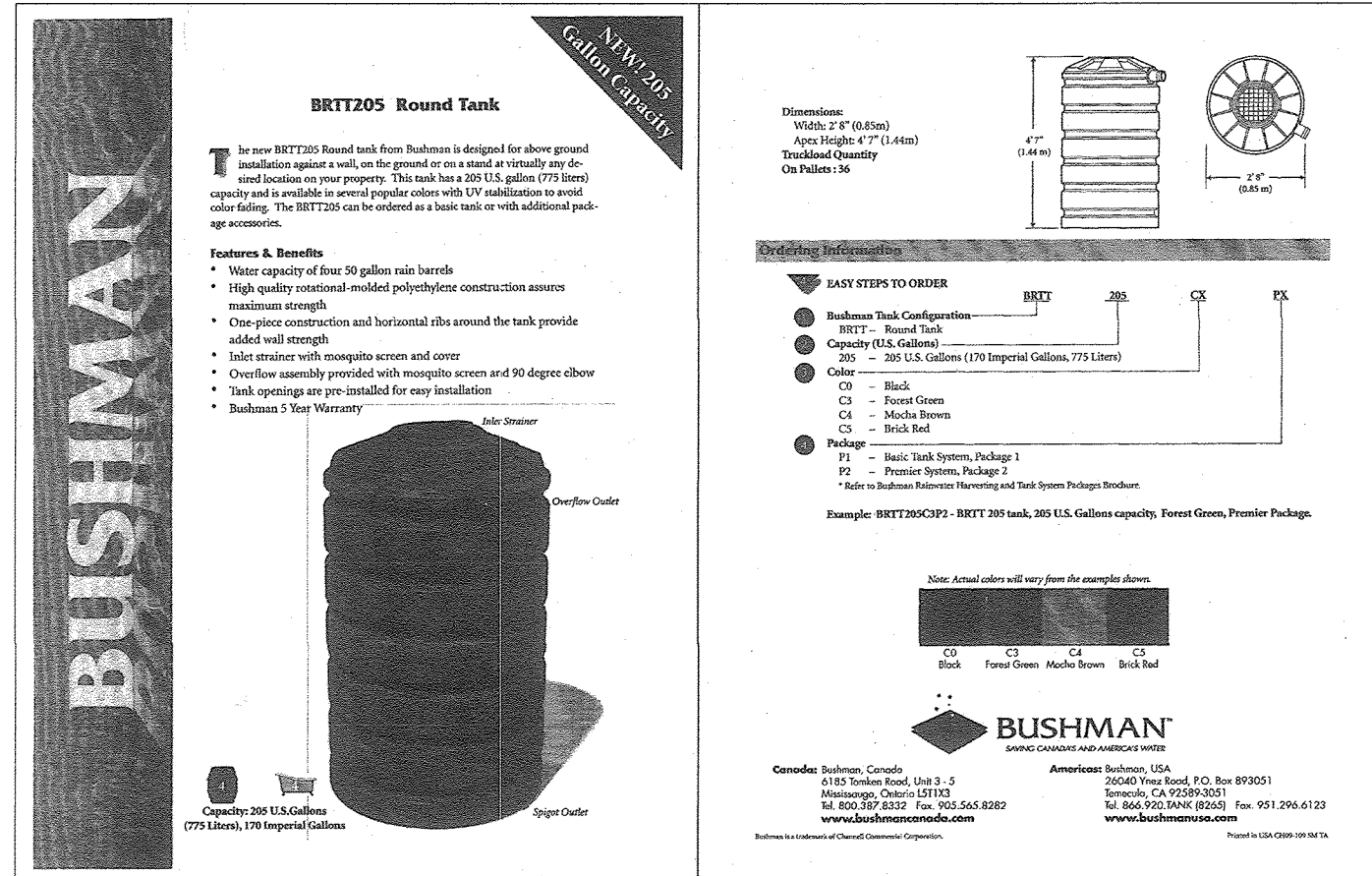
[Signature] 6-14-17
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 6-15-17
DIRECTOR

BUSHMAN BRT205 (200 GALLON) RAIN HARVESTING SYSTEM OR EQUIVALENT

RAIN BARREL DETAIL

NOT TO SCALE



TYPICAL RAIN BARREL DESIGN

200 GAL = 26.7 CUFT
7.48 GAL/CUFT = 27 CUFT

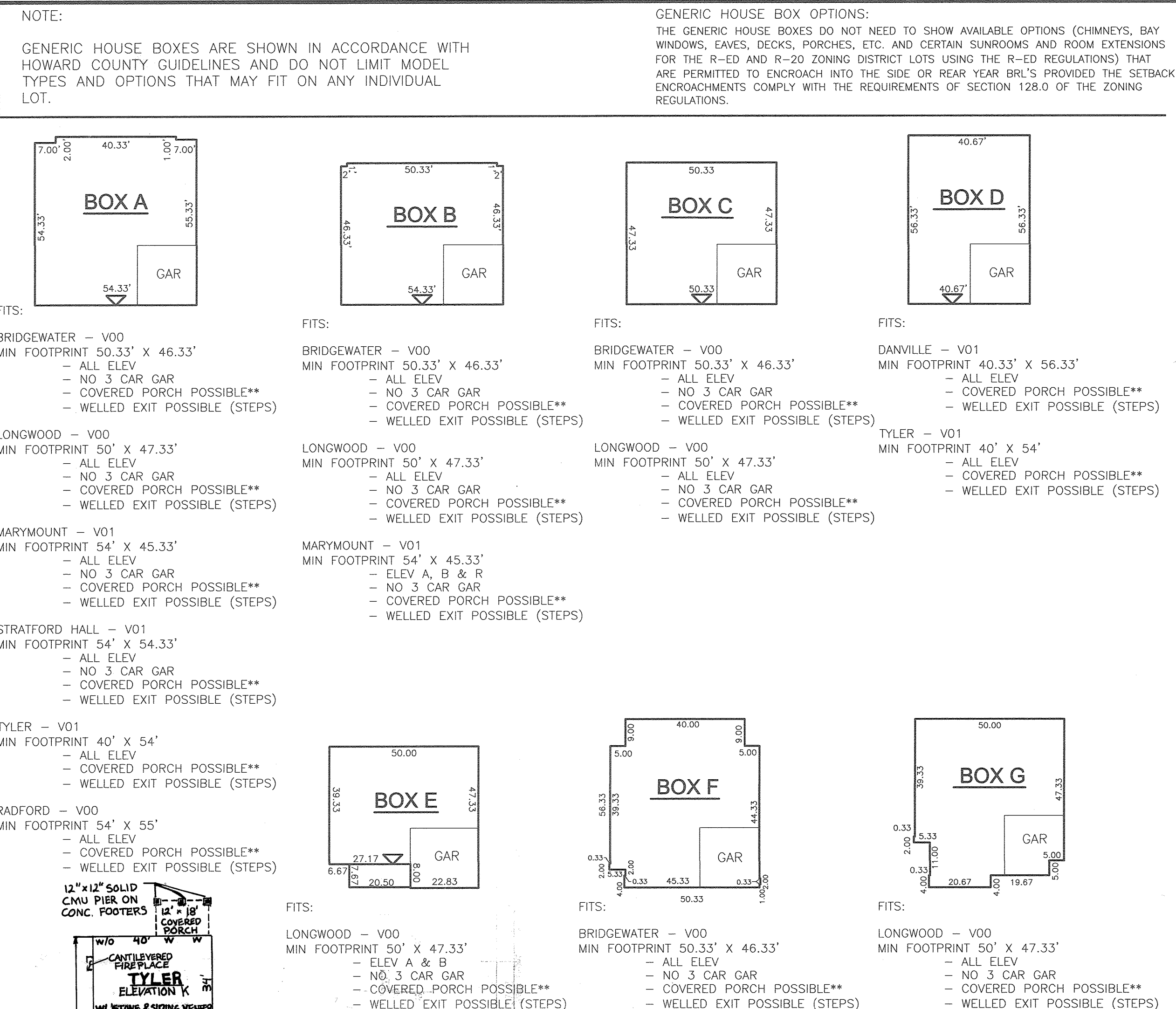
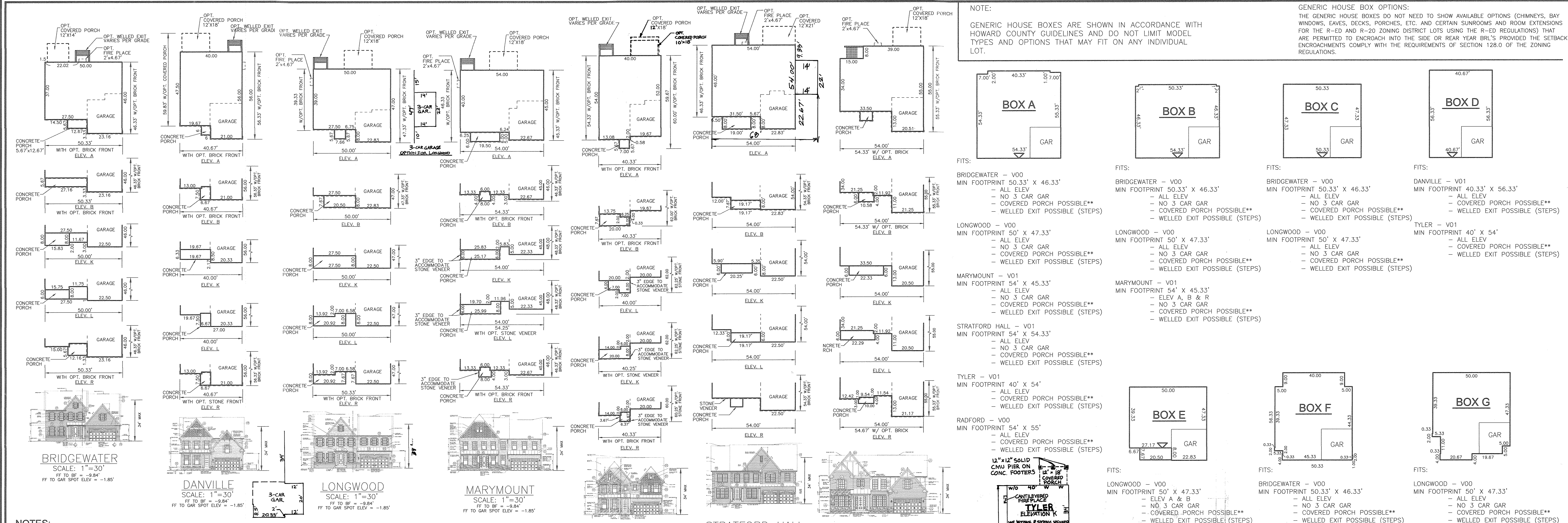
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED RAINWATER HARVESTING (M-1)

- THE OWNER SHALL EMPTY BARRELS ON A MONTHLY BASIS AND CLEAN BARRELS WITH A HOSE.
- THE OWNER SHALL VERIFY INTEGRITY OF LEAF SCREENS, GUTTERS, DOWNSPOUTS, SPIGOTS, AND MOSQUITO SCREENS, AND CLEAN AND REMOVE ANY DEBRIS.
- THE OWNER SHALL REPLACE DAMAGED COMPONENTS AS NEEDED.
- THE OWNER SHALL ALLOW THE BARREL TO DRAIN BY BOTTOM SPIGOT DURING THE WINTER SEASON.

STORMWATER MANAGEMENT TEST PIT DATA

Maple Lawn South - Phase 1 Test Pit Data

Test Pit No.	Ex. Ground FIELD	Test Pit Prop. Depth	Test Pit Depth Excavated	Test Pit Condition*
MICROSCALE - MBR, DRYWELL AND BIOSWALE TEST PITS				
B-2	458.91	16.2	16.2	DRY
B-3	448.82	9.3	9.3	DRY
B-60	454.14	15.5	15.5	DRY
B-62	451.51	8.8	8.8	DRY
B-63	453.14	5.2	5.2	DRY
B-64	458.76	18.9	18.9	DRY
B-65	454.12	11.4	11.4</	

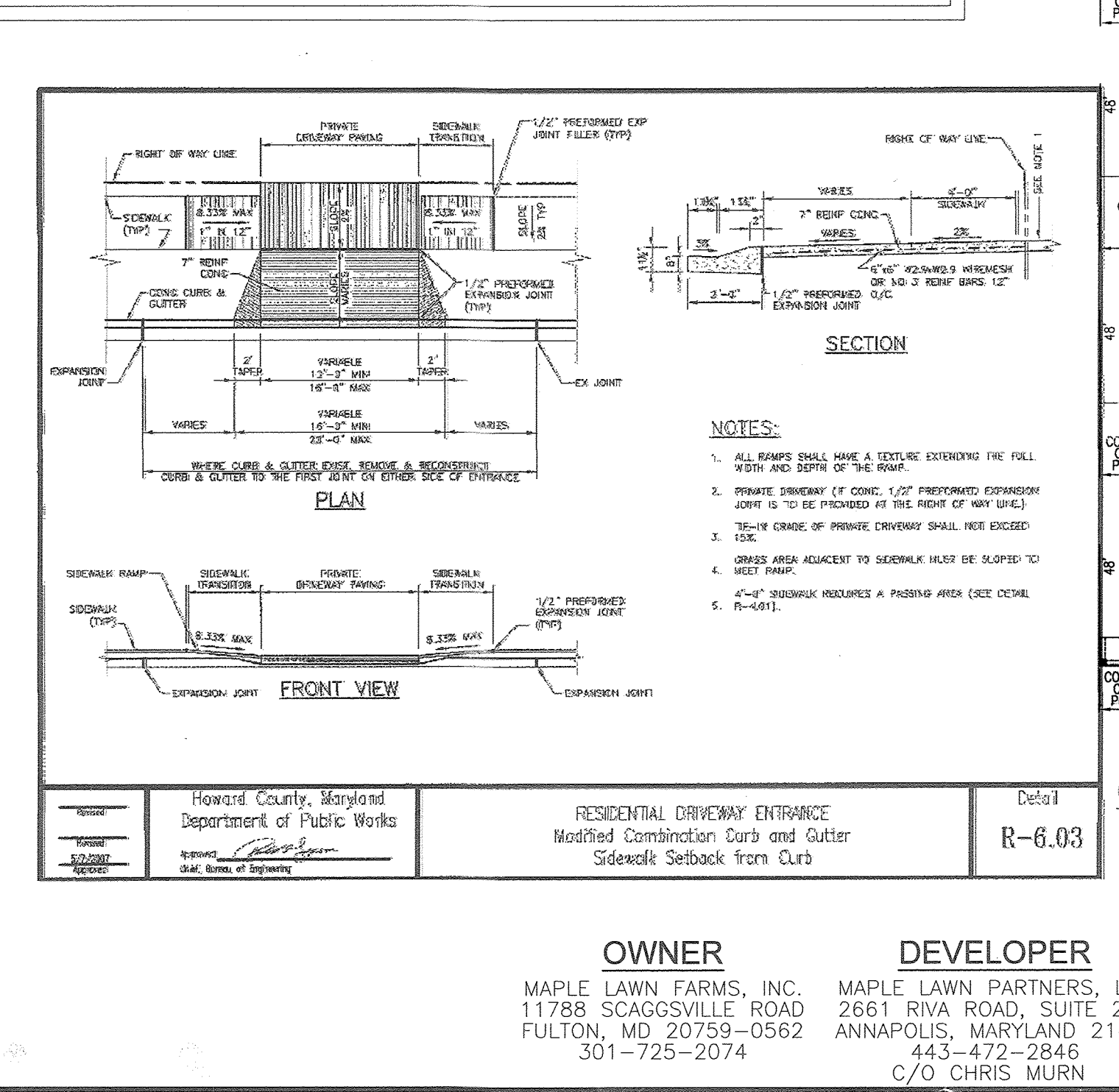
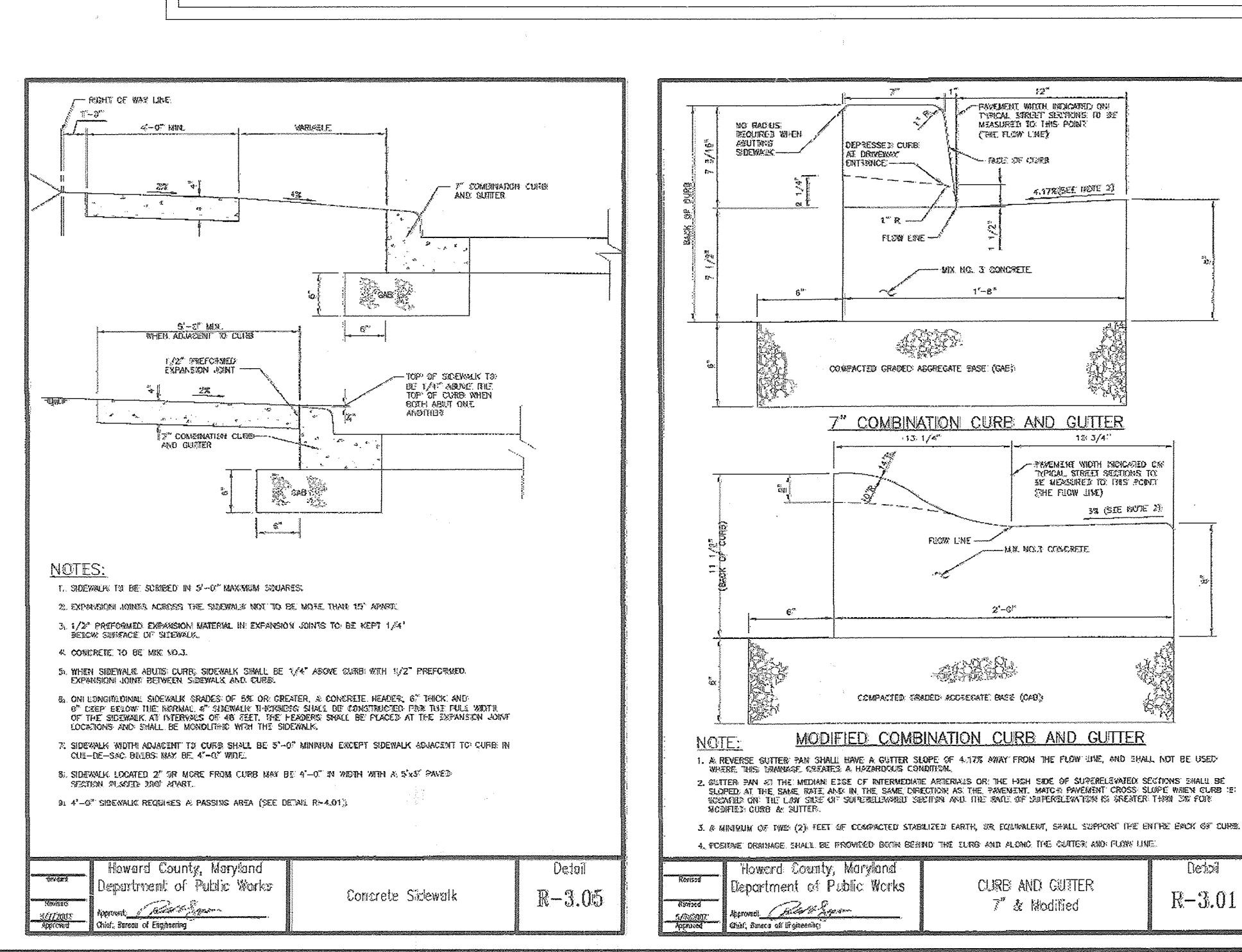
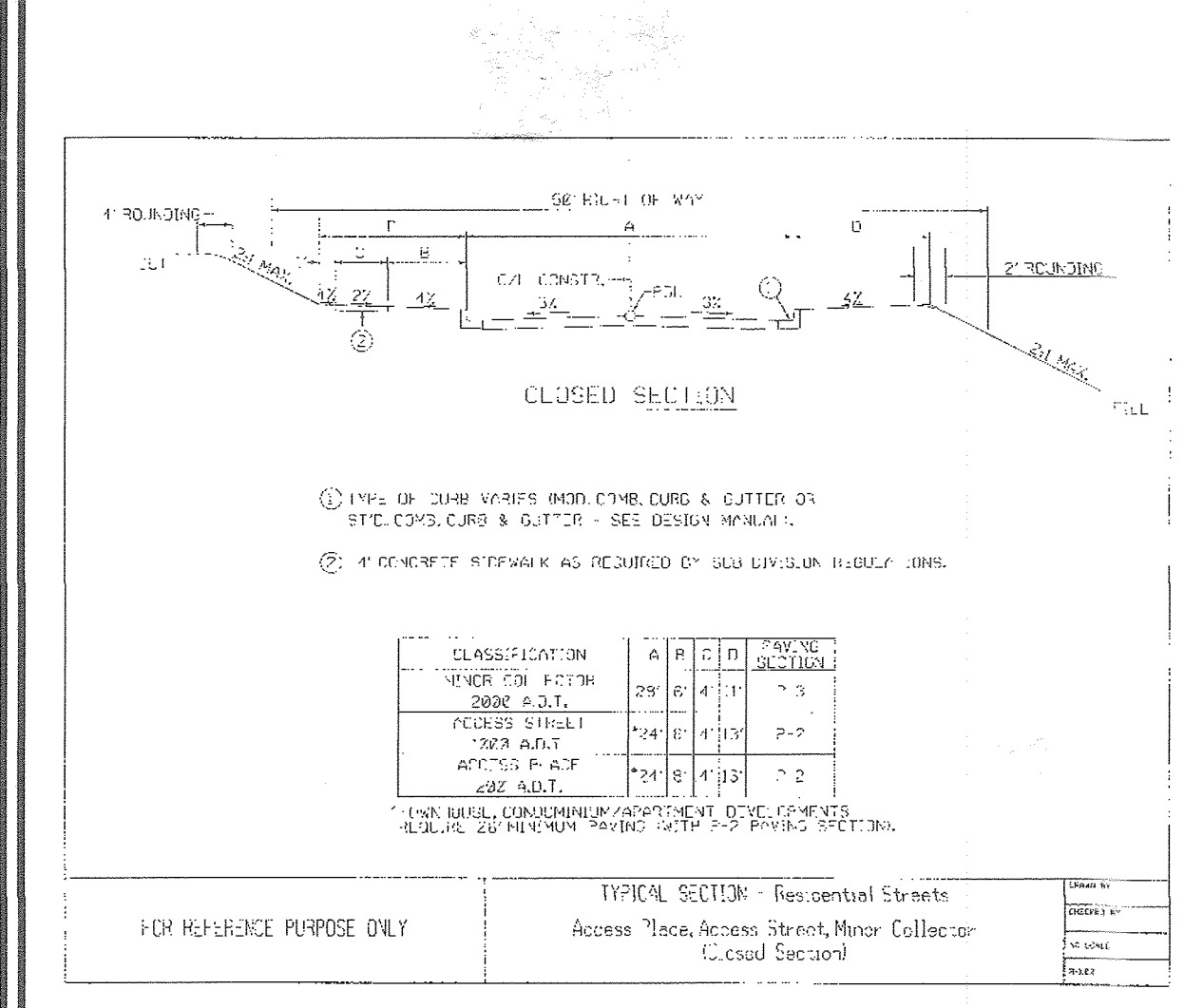


NOTES:

- ADDITIONAL HOUSE TYPES AND OPTIONS MAY FIT ON ANY GIVEN LOT.
- THE STAKING OF FOUNDATIONS PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH REGULATORY BUILDING RESTRICTION LINES IS RECOMMENDED.
- A MINIMUM OF 10 FEET SHALL BE PROVIDED BETWEEN THE CHOSEN HOME MODEL AND AN ON-LOT DRYWELL.
- MODEL ELEVATION SHALL NOT EXCEED 34' MAX HEIGHT AS ALLOWED BY R-ED ZONE.
- IN ACCORDANCE WITH SECTION 128.0.A OF THE HOWARD COUNTY ZONING REGULATIONS:
 - A. MAX ENCROACHMENT INTO SETBACK FOR CORNICES, EAVES AND CANTILEVERED BUILDING FEATURES WHICH DO NOT CONTAIN ANY FLOOR AREA OR EXTENSION OF INTERIOR LIVING SPACE IS: 3 FEET INTO ANY SETBACK.
 - B. MAX ENCROACHMENT INTO SETBACK FOR BAY WINDOWS, WINDOW WELLS, CORNICES, VESTIBULES, BALCONIES AND CHIMNEYS IS: 4 FEET INTO ANY SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS, PROVIDED THE FEATURE HAS A MAXIMUM WIDTH OF 16 FEET AS MEASURED HORIZONTALLY ALONG THE WALL FROM WHICH THE FEATURE EXTENDS.
 - C. MAX ENCROACHMENT INTO SETBACK FOR EXTERIOR STAIRWAYS OR RAMPS, ABOVE OR BELOW GROUND LEVEL EXCLUDING THOSE ATTACHED TO A PORCH OR DECK (SEE E) IS: 10 FEET INTO A FRONT SETBACK OR A SETBACK FROM A PROJECT BOUNDARY OR DIFFERENT ZONING DISTRICT; 16 FEET INTO A REAR SETBACK; 4 FEET INTO A SIDE SETBACK OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
 - D. MAX ENCROACHMENT INTO SETBACK FOR OPEN OR ENCLOSED PORCHES AND DECKS, AND THE STAIRWAYS OR RAMPS ATTACHED THERETO IS: 10 FEET INTO A FRONT OR REAR SETBACK, A SETBACK FROM A PROJECT BOUNDARY, A SETBACK FROM A DIFFERENT ZONING DISTRICT, OR A REQUIRED DISTANCE BETWEEN BUILDINGS.
- REFER TO SECTION 128.0.A.1.1. PREVIOUS SECTION 128.A.1.1 OF THE ZONING REGULATIONS (CB-2-2012) WHICH ALLOWS SUNROOMS AND ROOM EXTENSIONS TO EXTEND NOT MORE THAN 10 FEET INTO THE REAR SETBACK ALONG NOT MORE THAN 60% OF THE REAR FACE OF A DWELLING ON A LOT WHICH ADJOINS OPEN SPACE ALONG A MAJORITY OF THE REAR LOT LINE FOR R-ED LOTS RECORDED AFTER THE EFFECTIVE DATE OF CB-2-2012 (MAY 13, 2012).

REVISIONS TO APPROVED SDP:

- PLAN REVISION (RED-LINE):**
AN APPLICANT CAN SUBMIT A STANDARD "PLAN REVISION" (RED-LINE) PLAN TO THE DEVELOPMENT ENGINEERING DIVISION (DED) USING THE STANDARD RED-LINE PROCESS FOR THE FOLLOWING SITUATIONS:
-TO ADD OR DELETE A HOUSE MODEL TYPE, PROVIDED THE NEW HOUSE MODEL FOOTPRINT FITS WITHIN THE GENERIC HOUSE BOX AND IS TO BE USED THROUGHOUT THE SDP.
-TO CHANGE THE DRIVEWAY LOCATION FROM A FRONT-LOADED TO A SIDE-LOADED GARAGE, THIS ALSO MAY REQUIRE A CHANGE IN STREET ADDRESS WHICH MUST BE REVISED ON THE PLAN IF THE DRIVEWAY IS RELOCATED TO ANOTHER STREET (CORNER LOT).
-ANY DOCUMENT WHICH REQUIRES A DESIGN MANUAL WAIVER OR A SUBDIVISION AND LAND DEVELOPMENT ALTERNATIVE COMPLIANCE.
-WHEN THERE IS A CHANGE OF BUILDERS, THIS CHANGING ALL HOUSE MODEL TYPES AND GENERIC BOXES AND ASSOCIATED GRADING (A NEW SDP MAY BE REQUIRED IF DETERMINED TO BE A MAJOR CHANGE BY DPZ).
- HOUSE TYPE REVISION:**
AN APPLICANT CAN SUBMIT A STANDARD "HOUSE TYPE REVISION" PLAN TO DPZ, DIVISION OF LAND DEVELOPMENT (DLD) USING THE STANDARD HOUSE MODEL REVISION PROCESS FOR THE FOLLOWING SITUATIONS:
-TO CHANGE THE GENERIC HOUSE BOX FOOTPRINT SHOWN ON A SPECIFIC LOT.
-TO CHANGE THE HOUSE ELEVATION ONE FOOT OR MORE.
-TO CHANGE THE GRADING ON A SPECIFIC LOT (A CHANGE FROM A BELOW GRADE BASEMENT TO A WALK-OUT BASEMENT).
-TO FLIP THE HOUSE SO THAT THE GARAGE AND DRIVEWAY ARE RELOCATED (THIS MAY REQUIRE A CHANGE IN THE STREET ADDRESS IF THE DRIVEWAY IS RELOCATED TO ANOTHER STREET (CORNER LOT)).
-TO ADD OR DELETE A HOUSE MODEL TYPE, PROVIDED THE NEW HOUSE MODEL FOOTPRINT FITS WITHIN THE GENERIC BOX AND IS USED THROUGHOUT THE SDP.
- WALK-THRU PLAN REVISION (RED-LINE):**
AN APPLICANT CAN SUBMIT A "WALK-THRU PLAN REVISION" PLAN TO DPZ, DLD USING THE STANDARD SUBMISSION PROCESS FOR THE FOLLOWING SITUATIONS:
-FOR SINGLE LOT "AS-BUILT" REVISION WHICH DO NOT AFFECT NEIGHBORING LOTS. IF IT AFFECTS NEIGHBORING LOTS, A LETTER OF PERMISSION MUST BE OBTAINED AND PRESENTED TO DLD AT THE TIME OF THE WALK-THRU PLAN REVISION SUBMISSION.
-MINOR REVISIONS SUCH AS HOUSE FOUNDATION ELEVATION CHANGES AND GRADING CHANGES PROVIDED IT DOESN'T IMPACT OR AFFECT SWM.
-ADDITIONS OF RETAINING WALLS UNDER 3' IN HEIGHT.
-HOUSE LOCATION OR ORIENTATION CHANGES INCLUDING DRIVEWAY CHANGES BUT NOT WHERE THE STREET ADDRESS IS NOT AFFECTED.
-TO REMOVE THE GENERIC HOUSE BOX AND REPLACE IT WITH A SPECIFIC HOUSE MODEL TYPE. ARCHITECTURAL CHANGES TO THE HOUSE MODEL THAT IS ALREADY SHOWN ON THE SITE PLAN.



NO.	REVISION	DATE
23	REMOVE BRK ON LOTS 34 AND 35 AND ADD 10' WIDE COVERED PORCH ON TYLER HOUSE MODEL	4-17-20
21	TO REVISE HOUSE TYPE AND GRADING FOR LOT 18 AND GRADING ON LOT 19	11-19-19
16	REVISE HOUSE TYPE AND GRADING FOR LOT 46, REVISE 2' SWELL LOCATION ON LOTS 5	11-29-19
8	REVISE HOUSE TYPE AND GRADING LOTS 6, 44 AND 56	4/2/18
5	REVISE HOUSE TYPE AND GRADING FOR LOTS 16 & 17 AND ADD PRIVATE SEWER BASEMENT ALONG LOT 60	11/7/18
4	HOUSE TYPE AND GRADING LOTS 47 & 56	11/27/17

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division 6-12-17
Chief, Division of Land Development 6-14-17
Director 6-15-17

Howard County, Maryland
 Department of Public Works
 Concrete Sidewalk
 Detail
 R-3.05

Howard County, Maryland
 Department of Public Works
 CURB AND GUTTER
 7" & Modified
 Detail
 R-3.01

SITE DEVELOPMENT PLAN
HOUSE TYPES & HOUSE BOX MATRIX PLAN
MAPLE LAWN SOUTH PHASE 1 - SECTION 1
 LOTS 1-64

TAX MAP 46 - GRID 2 - PARCEL 113
 5TH ELECTION DISTRICT
 ZONED: R-ED-MXD-3
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 840 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

DESIGN BY: RVE
 DRAWN BY: RVE
 CHECKED BY: RHY
 DATE: MAY 2017
 SCALE: AS SHOWN
 W.O. NO.: 11-34

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183, EXPIRATION DATE 07-27-2018

14 SHEET OF 14