

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS AND MARYLAND STATE HIGHWAY ADMINISTRATION STANDARDS AND SPECIFICATIONS AS APPLICABLE. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
  - MISS UTILITY: 1-800-257-7777
  - VERIZON: 1-800-743-0033
  - BUREAU OF UTILITIES: 410-313-0900
  - AT&T: 1-800-252-1133
  - B.G.&E. (CONSTRUCTION SERVICES): 410-837-8713
  - B.G.&E. (EMERGENCY): 410-685-0123
  - STATE HIGHWAY ADMINISTRATION: 410-531-5533
  - COLONIA PIPELINE CO.: 410-795-1390
- SITE ANALYSIS:
  - TOTAL DEVELOPMENT AREA (PARCEL 203): 0.95 AC.
  - GROSS PROJECT AREA: 0.95 AC.
  - RIGHT-OF-WAY DEDICATION: 368 SF (0.01 AC.)
  - NET PROJECT AREA (RIGHT-OF-WAY DEDICATION): 0.94 AC.
  - ZONING: B-2
  - USE OF STRUCTURE: RETAIL
  - TOTAL BUILDING COVERAGE (FOOTPRINT AREA): 4,868 SF (0.11 AC. OR 11.76% OF GROSS AREA)
  - PAVED PARKING LOT/AREA ON SITE: 16,501 SF (0.38 AC. OR 40.00% OF GROSS AREA)
  - AREA OF LANDSCAPE ISLAND: 3,113 SF (0.07 AC. OR 7.36% OF GROSS AREA)
  - AREA OF STEEP SLOPES: 0.00 AC.
  - AREA OF FOREST: 0.00 AC.
  - AREA OF WETLANDS AND WETLAND BUFFERS: 0.00 AC.
  - AREA OF GREEN OPEN AREA: 0.45 AC.
  - AREA OF ERODIBLE SOILS: 0.00 AC.
  - LIMIT OF DISTURBED AREA: 1.01 AC.
  - CUT: 500 CY FILL: 500 CY (SUBJECT TO CONTRACTOR CONFIRMATION)
- PROJECT BACKGROUND:
  - LOCATION: GLENELG, MD.; TAX MAP 22, BLOCK 14, PARCEL 203
  - ZONING: B-2
  - SUBDIVISION: N/A
  - SECTION/AREA: N/A
  - SITE AREA: 0.95 AC.
  - DPZ REFERENCES: BA-15-015V, ECP-16-016, L10923 F.643, WP-17-045
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTATION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- COORDINATES AND ELEVATIONS ARE BASED ON MARYLAND COORDINATE SYSTEM - NAD83(1991) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS #21FC AND #21D.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON A FIELD-RUN BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 6, 2015.
- EXISTING TOPOGRAPHY SHOWN HEREON IS TAKEN FROM A FIELD RUN TOPOGRAPHIC SURVEY WITH TWO FOOT CONTOUR INTERVALS WAS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED NOVEMBER 2014. OFFSITE TOPOGRAPHY IS FROM HOWARD COUNTY GIS.
- TRAFFIC CONTROL DEVICES:
  - A. THE #11 (STOP) SIGN AND THE STREET NAME SIGN (SNS) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
  - B. THE TRAFFIC CONTROL DEVICE LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MUST BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410) 313-2430 PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.
  - C. ALL TRAFFIC CONTROL DEVICES AND THEIR LOCATIONS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
  - D. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED (QUICK PUNCH), SQUARE TUBE POST (14 GAUGE) INSERTED IN TO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE)-3" LONG. THE ANCHOR SHALL NOT EXTEND MORE THAN TWO QUICK PUNCH HOLES ABOVE GROUND LEVEL. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- THE GEOTECHNICAL ENGINEER IS TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION (SEE DETAILS, SHEET 2).
- ALL CURB AND GUTTER SHALL BE TO HOWARD COUNTY STANDARD DETAIL 3.01.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL PLAN DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3500 P.S.I.
- ALL STORMDRAIN PIPE BEDDING IS TO BE CLASS 'C', AS REQUIRED BY ASHTO-180.
- THE PROPOSED BUILDING IS TO HAVE ROOF LEADERS WHICH DRAIN TO A FILTERRA DEVICE WHICH DISCHARGES TO A STORM DRAIN SYSTEM.
- WATER AND SEWER ARE TO BE PROVIDED THROUGH PRIVATE WELL AND SEPTIC SYSTEMS.
- THE SUBJECT PROPERTY IS ZONED B-2 IN ACCORDANCE WITH THE 10/06/13 COMPREHENSIVE ZONING PLAN.
- THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WATER PERMIT APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- TEN OAKS ROAD IS CLASSIFIED AS A MAJOR COLLECTOR AND TRIADELPHIA ROAD IS CLASSIFIED AS A MINOR COLLECTOR.
- THE ENVIRONMENTAL LETTER WAS PREPARED BY ECO-SCIENCE PROFESSIONALS, INC. DATED NOVEMBER 17, 2015.
- REFERENCE ALTERNATIVE COMPLIANCE WP-17-045; APPROVED 12/23/16; TO SECTION 16.1205(G)(7) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO PERMIT REMOVAL OF THE 60" WHITE OAK SPECIMEN TREE (SPECIMEN TREE NO. 1). APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
  - 1. THE REMOVAL OF THE ONE (1) SPECIMEN TREE (A WHITE OAK) WILL REQUIRE MITIGATION WITH THE PLANTING OF 2:1 REPLACEMENT TREES (2 TOTAL) WITH A MINIMUM OF 2" CALIBER NATIVE PLANT SPECIES AS PART OF THE LANDSCAPING APPROVED UNDER SITE DEVELOPMENT PLAN SDP-17-002.
  - 2. PROVIDE A NOTE ON THE SITE DEVELOPMENT PLAN (SDP-17-002) REGARDING THIS ALTERNATIVE COMPLIANCE PETITION APPROVAL. THIS NOTE SHALL INCLUDE THE REGULATION SECTIONS PETITIONED, THE DATE OF THE ALTERNATIVE COMPLIANCE APPROVAL, AND THE CONDITIONS OF APPROVAL.
  - 3. THERE ARE NO STEEP SLOPES, WETLANDS, STREAMS, OR 100-YEAR FLOODPLAIN LOCATED ON-SITE.
  - 4. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE LANDSCAPE MANUAL.
  - 5. FINANCIAL SURETY FOR THE REQUIREMENTS WILL BE POSTED FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$11,220 FOR THE REQUIRED 23 SHADE TREES, 8 EVERGREEN TREES, AND 104 SHRUBS.
  - 6. THE FOREST CONSERVATION OBLIGATION OF 0.14 AC. (AFFORESTATION) FOR THIS PROJECT WILL BE ADDRESSED BY FEE-IN-LIEU PAYMENT OF \$6,554.00 (6.000 SF/MI @ \$1,092.33 FEE -IN-LIEU IS BEING PROVIDED AS THE PROPERTY DOES NOT HAVE THE NECESSARY ACRES FOR PLANTINGS ON-SITE).
  - 7. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
  - 8. THERE ARE NO BURIAL GROUNDS OR CEMETERIES LOCATED ON THIS PROPERTY.
  - 9. THERE ARE NO HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
  - 10. THIS SITE IS NOT LOCATED WITHIN THE METROPOLITAN DISTRICT.
  - 11. TRAFFIC STUDY PREPARED BY MARS GROUP, DATED MAY 26, 2019; APPROVED AUGUST 9, 2019.
  - 12. A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF EACH BUILDING. THEY SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERSIALLY FROM THE DOOR. THE LOCATIONS ARE SHOWN ON THESE PLANS. THE BOXES SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT THEY ARE BEING ACCESSSED (INTEGRATED WITH THE FIRE ALARM SYSTEM).
  - 13. SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS.
  - 14. STREET LIGHT PLACEMENT AND TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (2008), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
  - 15. ALL EXTERIOR LIGHTING TO COMPLY WITH THE REQUIREMENTS FOUND IN ZONING SECTION 134.0 OF THE HOWARD COUNTY ZONING REGULATIONS. LIGHT TRESPASS ONTO PROPERTY IN THE RR ZONING DISTRICT SHALL BE LIMITED TO 0.10 FOOT CANDLES. THERE ARE NO ADJACENT RESIDENTIALLY ZONED PROPERTIES.
  - 16. TRASH COLLECTION AND RECYCLABLES TO BE PRIVATE.
  - 17. STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED BY THE USE OF MICRO-SCALE PRACTICES IN ACCORDANCE WITH ENVIRONMENTAL SITE DESIGN CRITERIA. MICRO-SCALE PRACTICES INCLUDE FILTERRA BIORETENTION FACILITIES WITH SEDIMENT CHAMBER (FIL) AND GRAVEL TRENCH (M-5). THESE FACILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
  - 18. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
  - 19. THIS PLAN IS SUBJECT TO BA-15-015V, APPROVED AUGUST 17, 2015, TO REDUCE THE 30' STRUCTURE AND USE SETBACK FROM A PUBLIC STREET RIGHT-OF-WAY (ROW) TO 10 FEET FOR A BUILDING AN AN ENCLOSED DUMPSTER IN B-2 (BUSINESS, GENERAL) ZONING DISTRICT, FILED PER SECTION 130.0.B.2 OF THE HOWARD COUNTY ZONING REGULATIONS. APPROVED SUBJECT TO THE FOLLOWING CONDITIONS:
    - A. THE VARIANCES SHALL APPLY ONLY TO THE USES AND STRUCTURES AS DESCRIBED IN THE PETITION AND AS SPECIFICALLY DEPICTED ON THE VARIANCE PLAN AND NOT ANY OTHER ACTIVITIES, USES, STRUCTURES OR ADDITIONS TO THE PROPERTY.
    - B. PETITIONER SHALL OBTAIN ALL REQUIRED PERMITS.
  - 20. NO CUT IS PERMITTED OVER THE SEPTIC AREA. PAVING SUBGRADE IS TO BE AT OR ABOVE EXISTING GROUND ABOVE THE SEPTIC AREA. DISTURBANCE TO THE SEPTIC AREA MAY RESULT IN THE LOSS OF APPROVED SEPTIC AREA.
  - 21. THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION, ALL PAVING TO BE PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
  - 22. EXISTING TRENCHES HAVE BEEN FIELD LOCATED AND ACCURATELY SHOWN ON THE PLAN.
  - 23. EXISTING WELL HAS BEEN FIELD LOCATED AND SHOWN ON THE PLAN.
  - 24. QUARTERLY SAMPLING MUST BE REPORTED TO MDE FOR THE FIRST YEAR THEN ANNUALLY THEREAFTER OR AS SPECIFIED BY THE MANUFACTURER.
  - 25. THE OPERATION AND MAINTENANCE MANUAL MUST BE PROVIDED TO EACH TENANT WITHIN THE BUILDING AND MUST OUTLINE ALL PROHIBITED CLEANING PRODUCTS.
  - 26. PER THE HOWARD COUNTY HEALTH DEPARTMENT, A WELL PERMIT IS NOT REQUIRED BEFORE SDP IS APPROVED.
  - 27. PERCOLATION CERTIFICATION PLAN APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT ON 04/30/2019.

**SEPTIC TABULATION**

SEPTIC CAPACITY:

4,868 SF RETAIL	(0.05 GPD/SF)	243 GPD	(FIRST FLOOR)
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TOTAL CAPACITY: **243 GPD**

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS

Division for Maurya Rossmore 9/27/2019  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT 4.0.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division 10-2-19  
 Chief, Division of Land Development 10-25-19  
 Director 3-13-2020

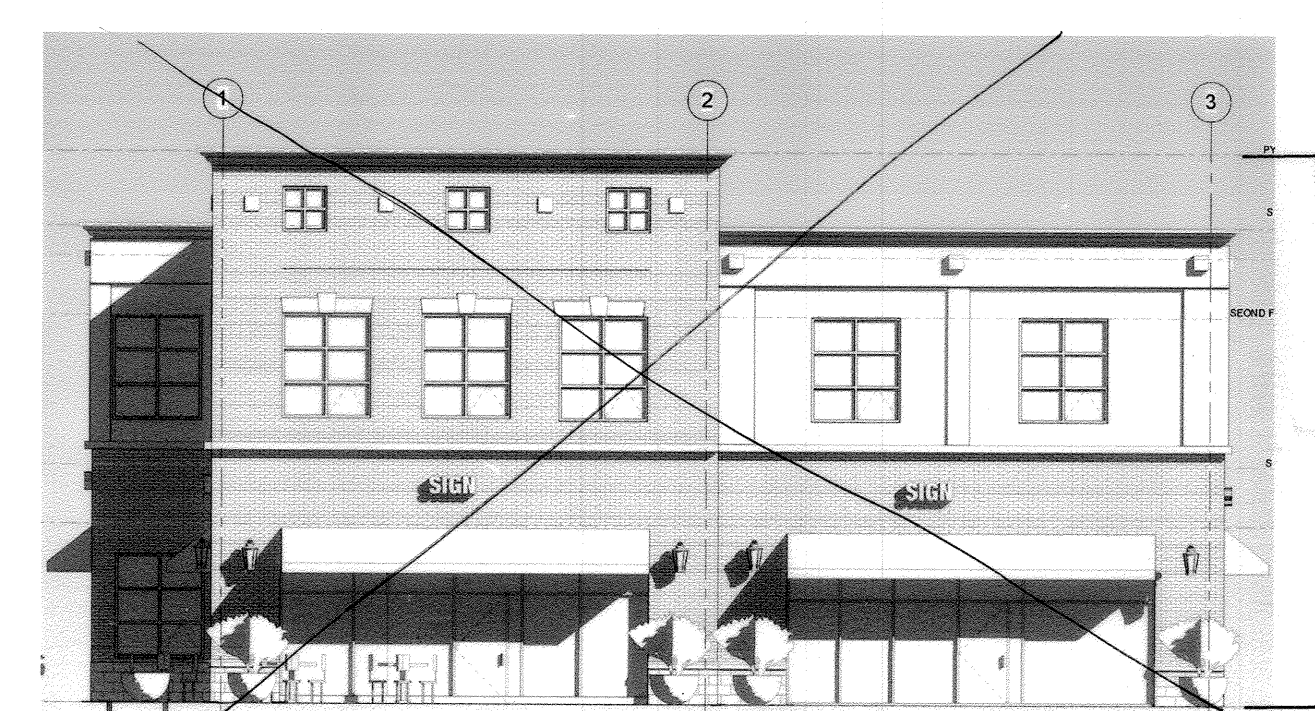
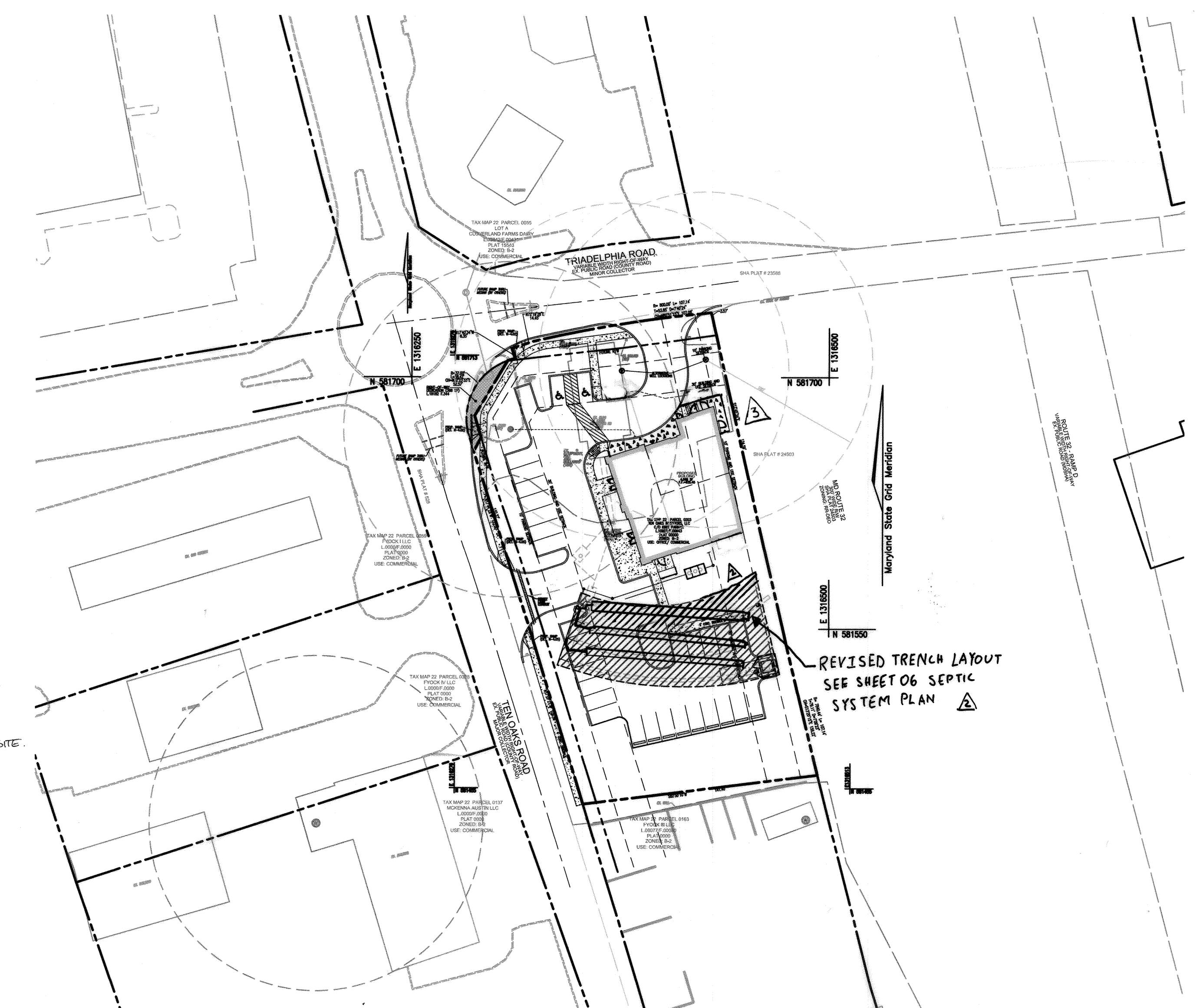
**PARKING TABULATION**

PARKING SPACES REQUIRED:	25 SPACES
TOTAL PARKING SPACES REQUIRED:	25 SPACES
TOTAL PARKING SPACES PROVIDED:	34 SPACES
HANDICAP SPACES REQUIRED:	2 SPACES
HANDICAP SPACES PROVIDED:	2 SPACES

# SITE DEVELOPMENT PLAN

## GLENELG PLAZA

### RETAIL AND OFFICE



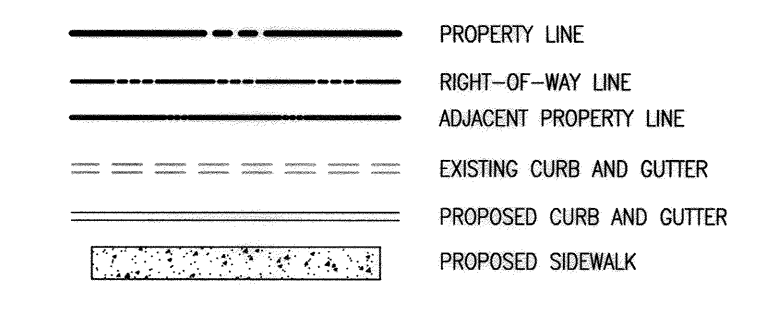
**BUILDING ELEVATION**  
NOT TO SCALE

**BENCHMARKS**

HOWARD COUNTY BENCHMARK 21FC  
 TRIADELPHIA RD. #14041 TRIADELPHIA RD.  
 N. 581.009.123 E. 1,311,936.748 ELEV.: 591.669

HOWARD COUNTY BENCHMARK 21D  
 TRIADELPHIA RD. NEAR #14190 TRIADELPHIA RD.  
 N. 580.541.470 E. 1,310,693.627 ELEV.: 583.443

**LEGEND**



**SEPTIC NOTE:**

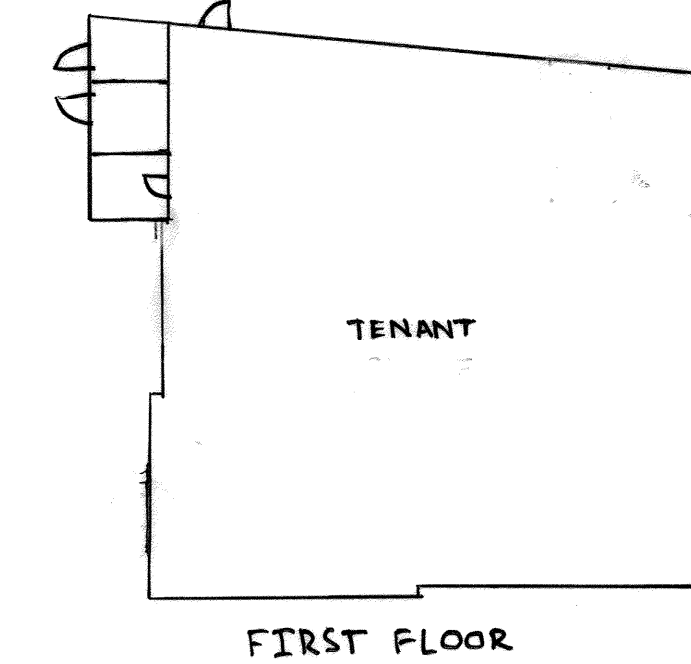
THIS AREA DESIGNATES A PRIVATE SEWAGE EASEMENT AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IT PROVIDES LARGE ENOUGH AREA TO ACCOMMODATE ONE INITIAL AND TWO REPLACEMENT SEPTIC SYSTEMS AS REQUIRED BY THE HOWARD COUNTY HEALTH DEPARTMENT. THIS AREA BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDED OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY. \*REFERENCE SHEET 6 FOR WELL AND SEPTIC DISPOSAL DETAILS.

**SHEET INDEX**

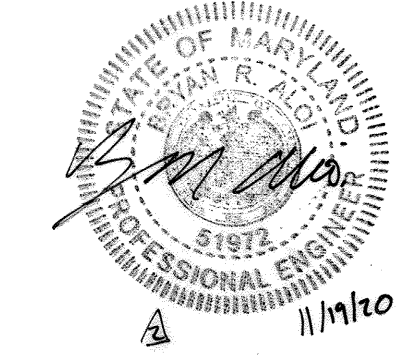
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 7
SITE LAYOUT PLAN AND SITE DETAILS	2 OF 7
SOILS MAP, GRADING, SEDIMENT AND EROSION CONTROL PLAN	3 OF 7
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	4 OF 7
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LANDSCAPE PLAN, NOTES AND DETAILS	7 OF 7

**STORMWATER MANAGEMENT INFORMATION CHART**

LOT/PARCEL #	FACILITY NAME & NUMBER	PRACTICE TYPE (QUANTITY)	PUBLIC	PRIVATE	MAINTENANCE
					RESPONSIBILITY
PARCEL 203	FIL #1	(FIL) FILTERRA WITH SEDIMENT CHAMBER		X	OWNER
PARCEL 203	FIL #2	(FIL) FILTERRA WITH INTERNAL BYPASS		X	OWNER
PARCEL 203	GT #1	M-5 INFILTRATION TRENCH		X	OWNER



**BUILDING FLOOR PLANS**  
NOT TO SCALE



PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 91250. EXPIRATION DATE: 8/16/2023

ADD DOOR LOCATION & SIDEWALK. REMOVE PUMP HOUSE & 2ND FLR	3-17-21
REVISED SEPTIC TRENCH LAYOUT SYSTEM	10-02-20
Add Storage area to 2nd Floor. Revise door location	7-31-20
NO.	REVISION DATE

**SITE DEVELOPMENT PLAN**  
**COVER SHEET**  
**GLENELG PLAZA**  
TEN OAKS AND TRIADELPHIA ROADS  
RETAIL AND OFFICE

TAX MAP 22 GRID 14  
5TH ELECTION DISTRICT

PARCEL 203  
HOWARD COUNTY, MARYLAND

**ENGINEERS**  
PLANNERS  
SCIENTISTS  
CONSTRUCTION MANAGERS

**OWNER / DEVELOPER**  
TEN OAKS INVESTORS LLC  
C/O KIRIT PARMAR  
12620 CLARKSVILLE PIKE  
CLARKSVILLE, MD 21029  
443-535-0600

DESIGN BY: AI/MC  
 DRAWN BY: AI/MC  
 CHECKED BY: THM  
 DATE: AUGUST 2019  
 SCALE: AS SHOWN  
 KCI NO.: 271903385

PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 51972. EXPIRATION DATE: 12/11/2019

1 OF 7

**ADDRESS CHART**

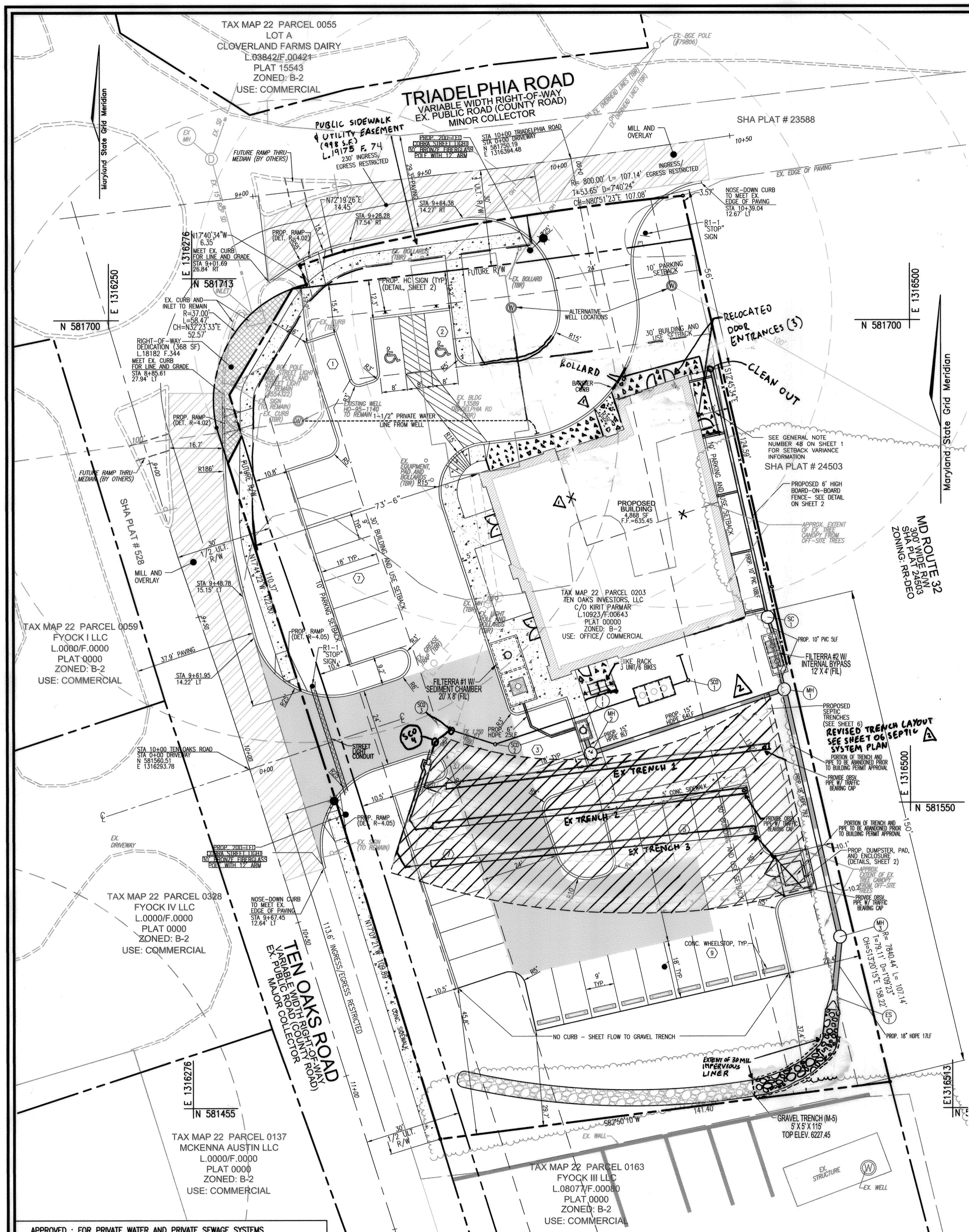
BUILDING NO.	STREET ADDRESS
BUILDING A	13589 TRIADELPHIA ROAD

**PERMIT INFORMATION CHART**

SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL NUMBER
N/A	N/A	PARCEL 203

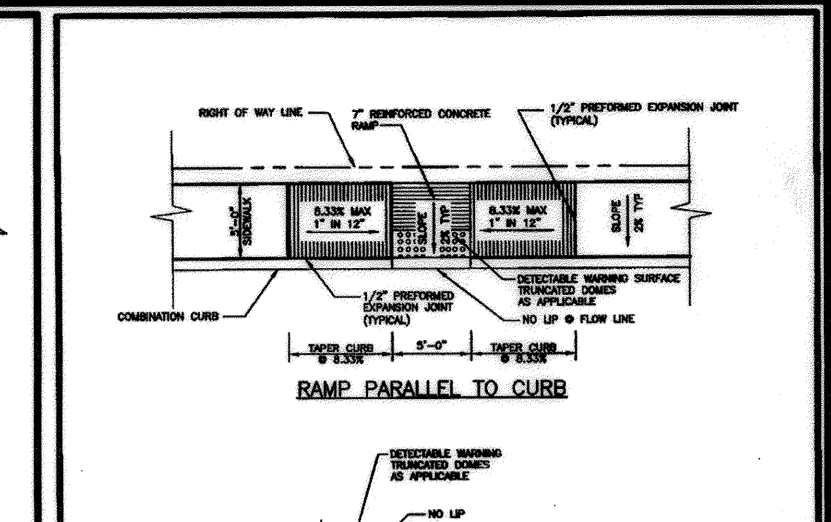
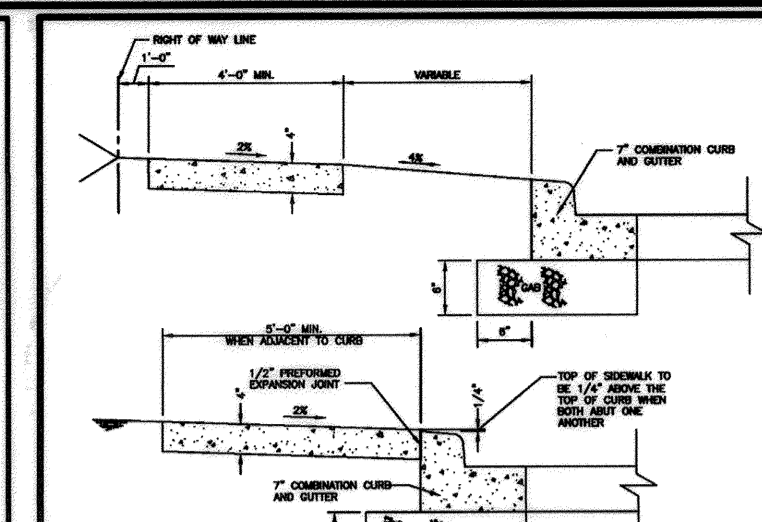
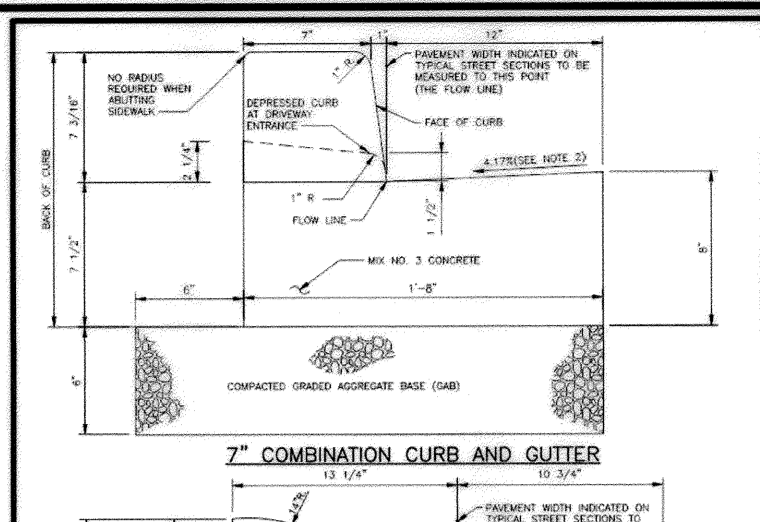
PLAT OR L/F	GRID NO.	ZONING	TAX MAP NO.	ELECT. DIST.	CENSUS TR.
L10923 F.643	14	B-2 COMMERCIAL	22	5TH	605104

WATER CODE: N/A  
SEWER CODE: N/A

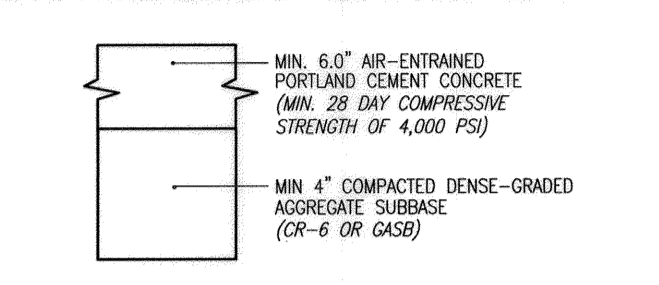


SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA STANDARD SPECIFICATIONS (C.S.S.)	MIN. SUPERPAVE ASPHALT MIX	MIN. SUPERPAVE ASPHALT MIX WITH COMBINATION
P-4		3 TO 4.75 TO 6.75 TO 8.5 TO 10.5 TO 12.5 TO 15.0	3.0 3.0 3.0 3.0 3.0 3.0	3.0 3.0 3.0 3.0 3.0 3.0

NOTES:  
 1. SUPERPAVE MIXES ARE BASED ON THE MIXTURE DESIGN METHOD AND ARE SUBJECT TO CHANGE. THE MIXTURE DESIGN METHOD IS DESCRIBED IN THE SUPERPAVE MIXTURE DESIGN MANUAL, VOLUME 1, PART 1, CHAPTER 2. THE MIXTURE DESIGN METHOD IS DESCRIBED IN THE SUPERPAVE MIXTURE DESIGN MANUAL, VOLUME 1, PART 1, CHAPTER 2.  
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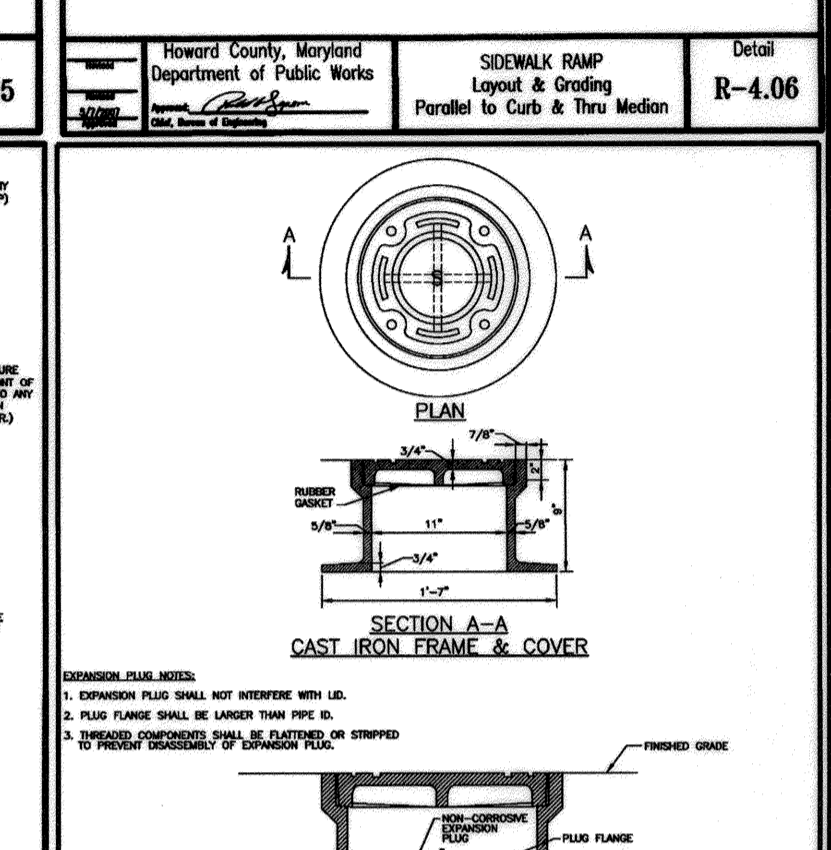
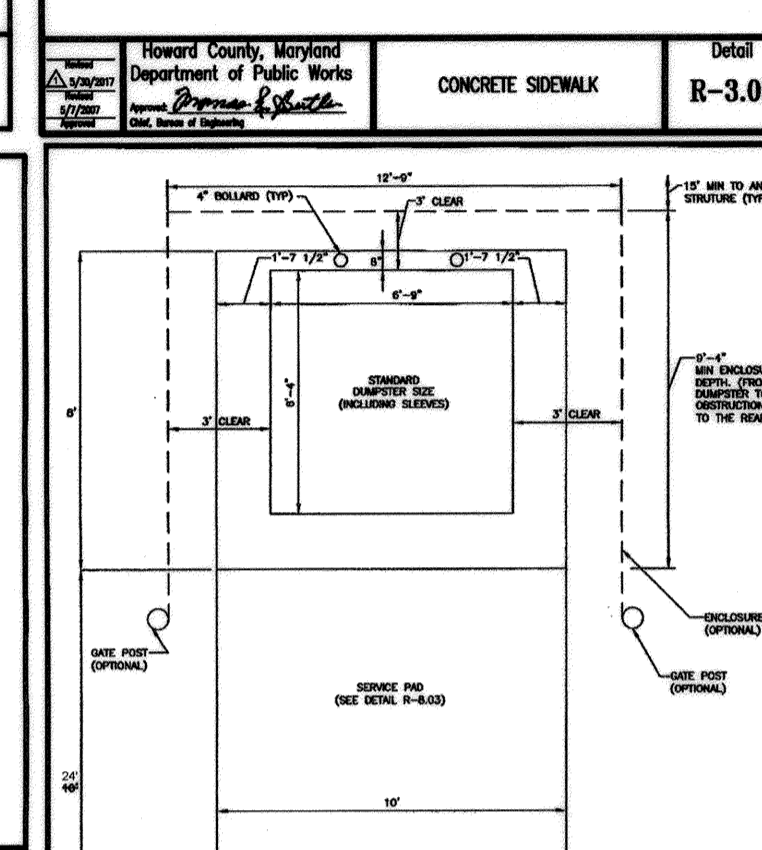
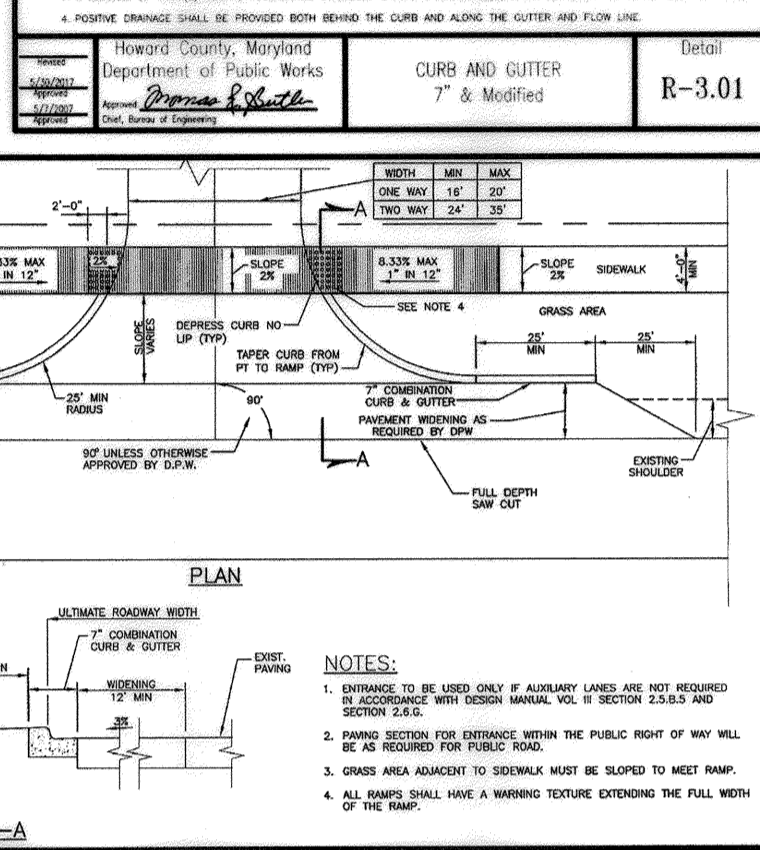
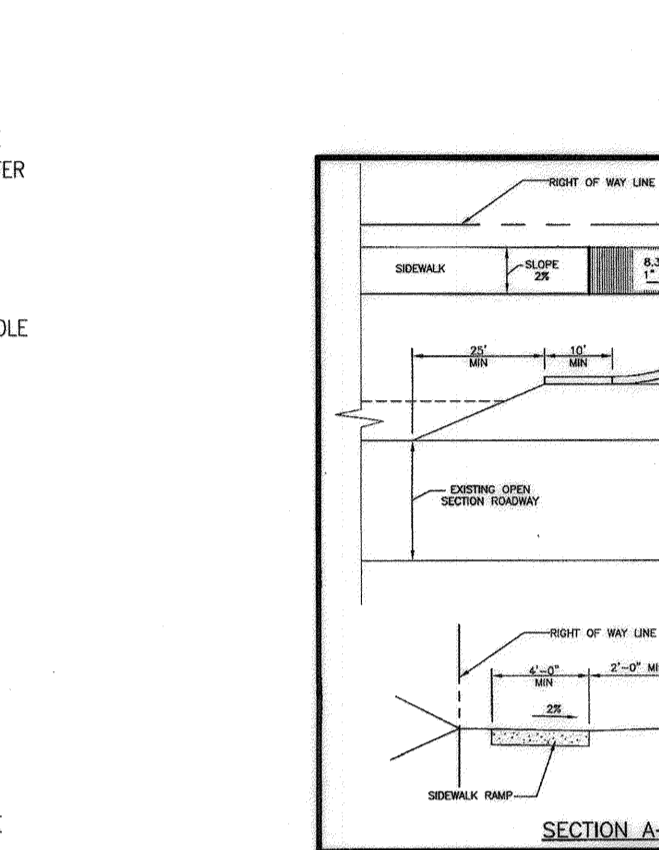
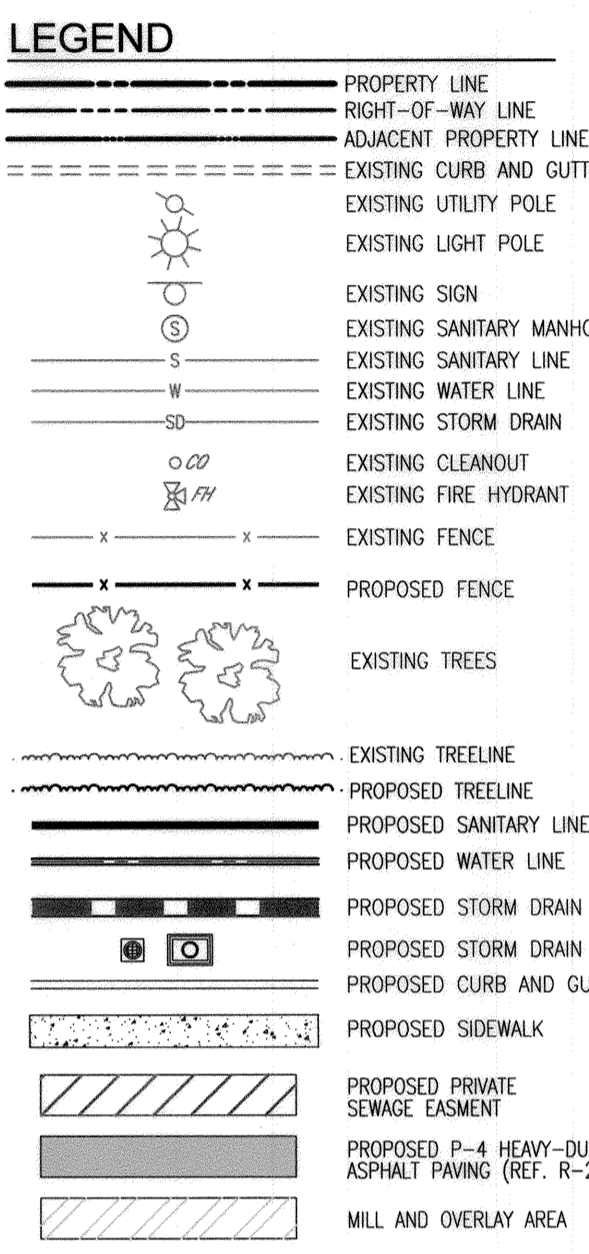


Light Duty:  
 6\"/>

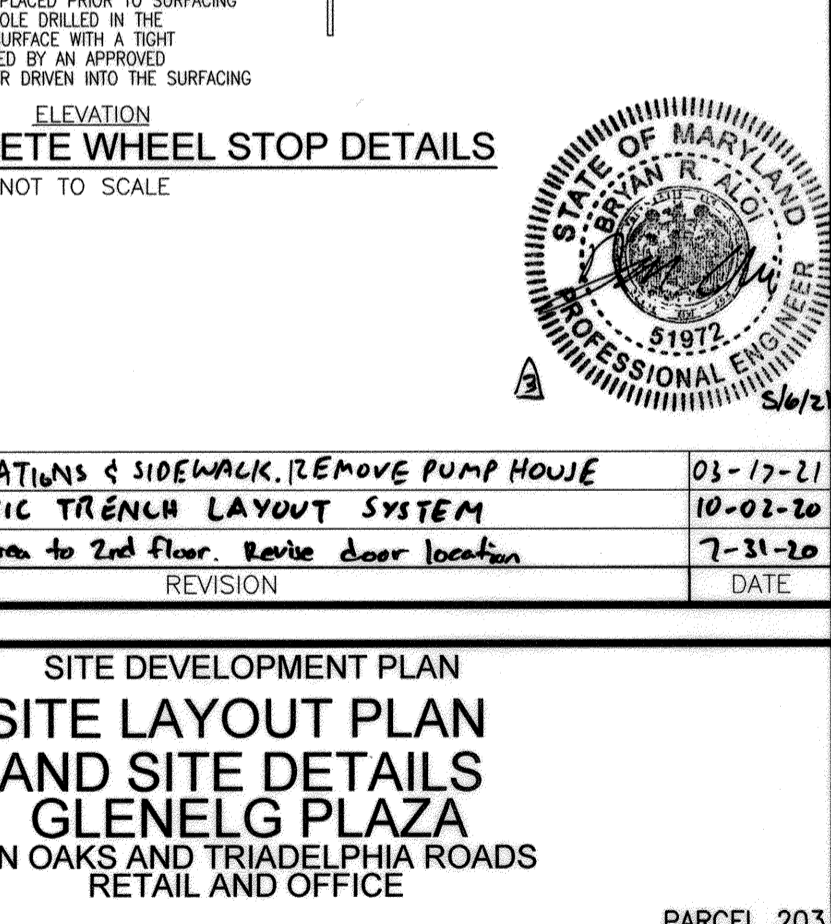
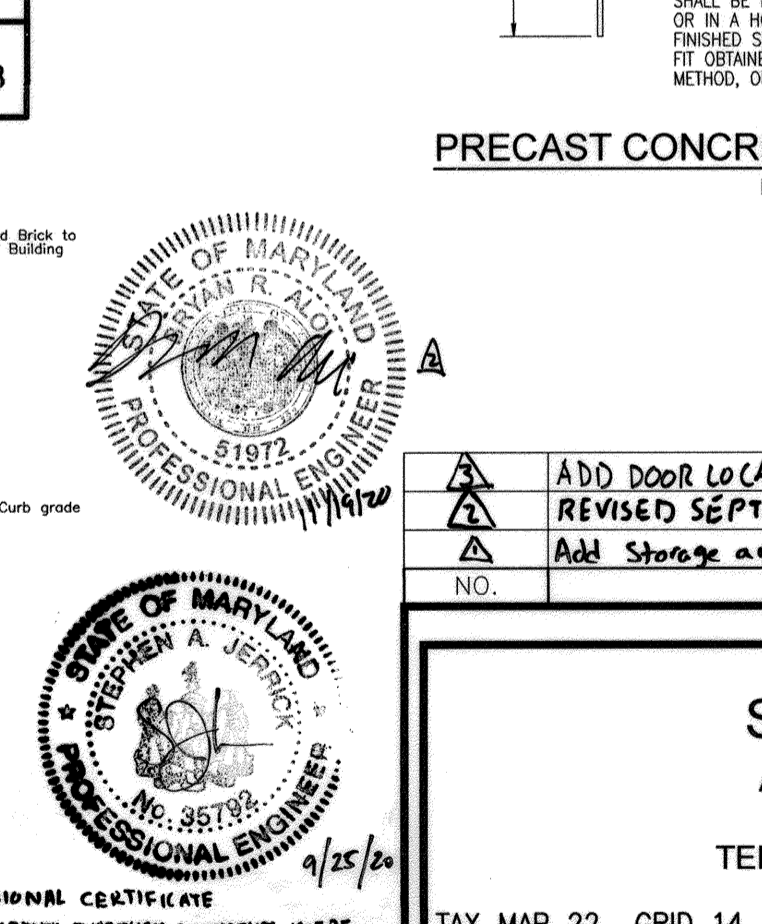
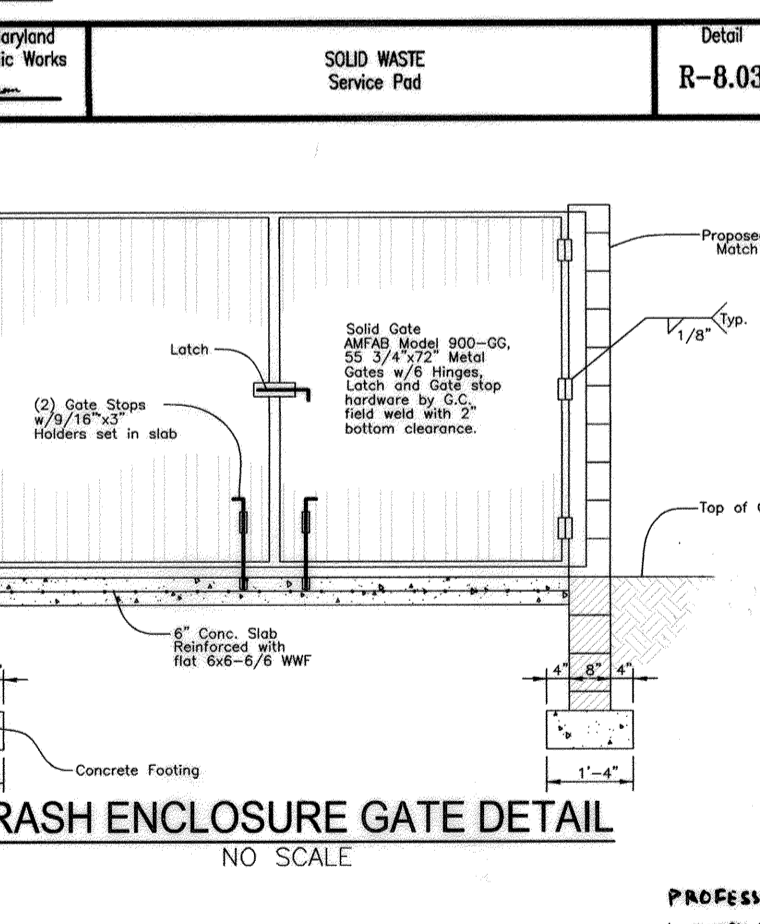
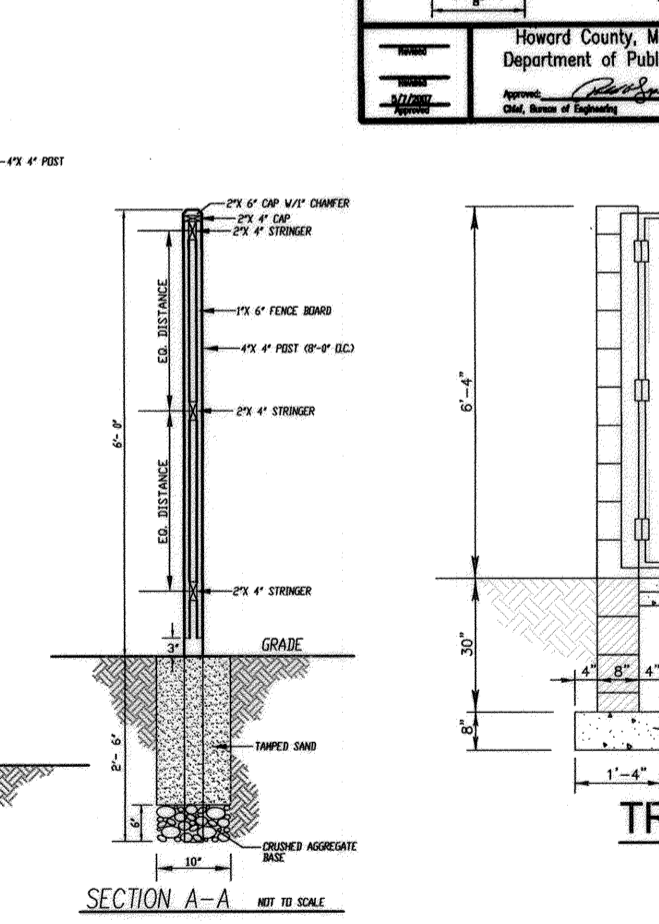
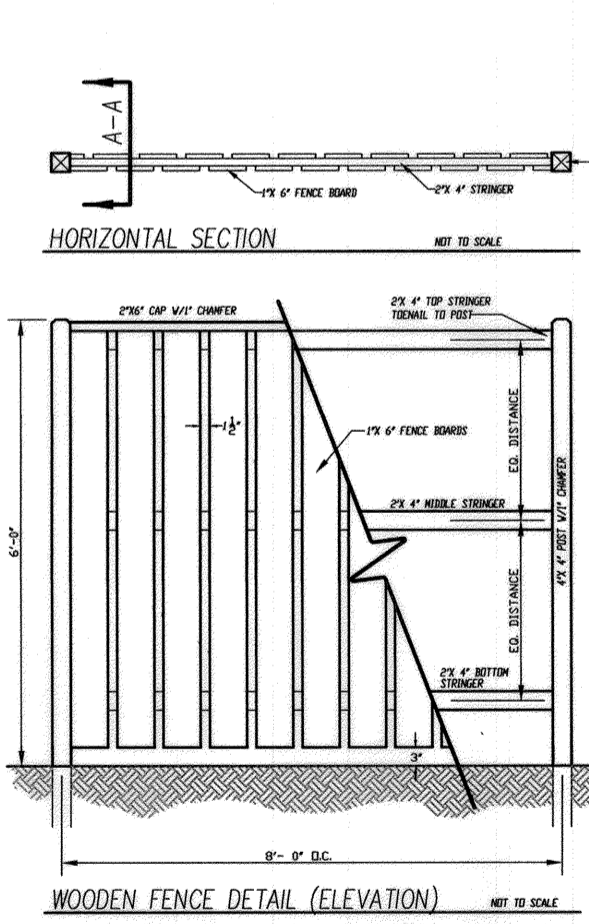
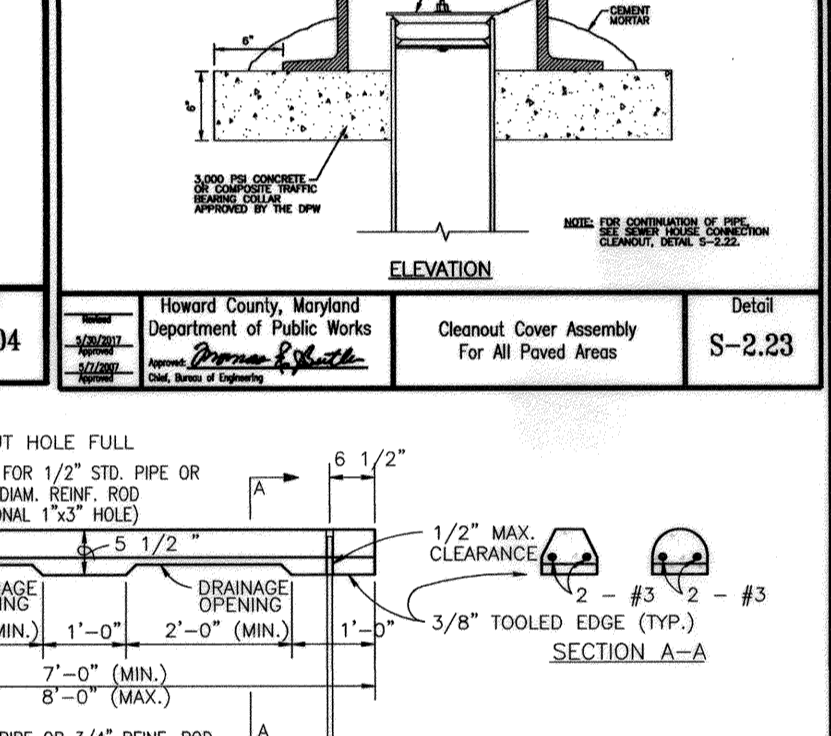
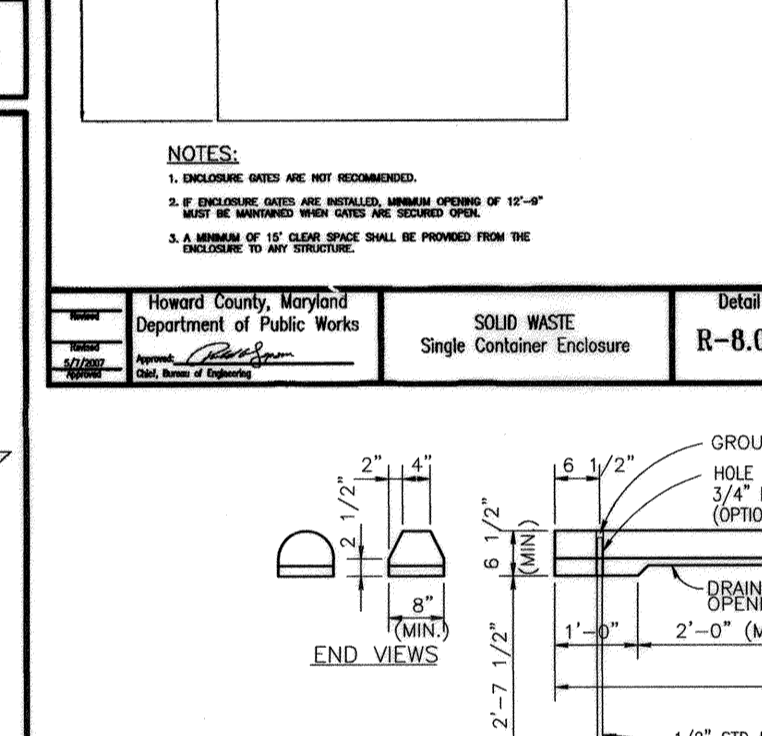
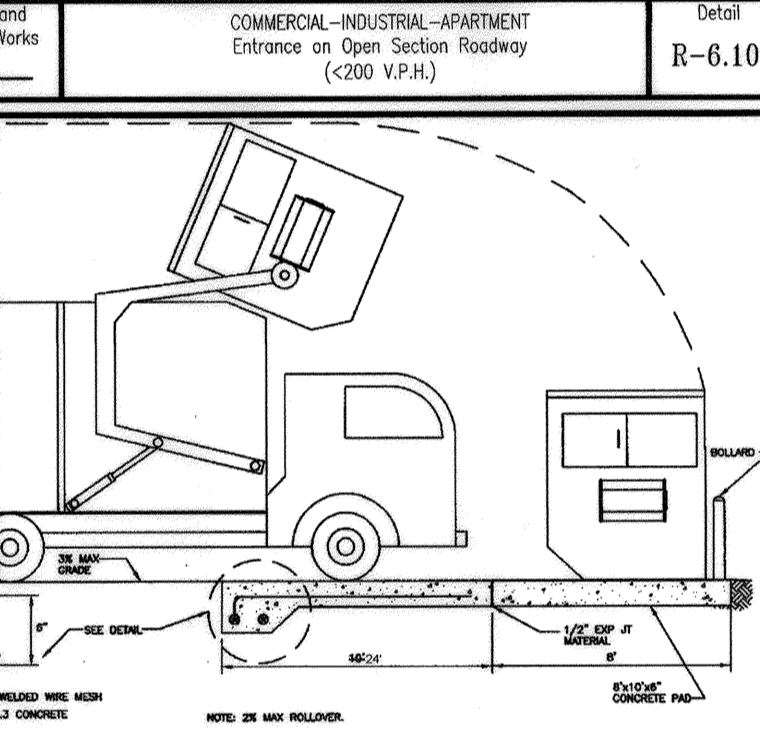
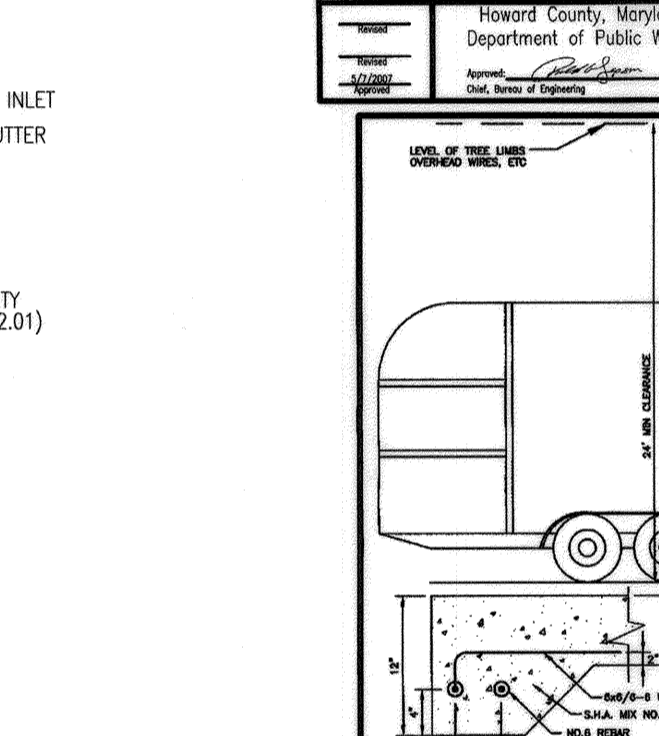


ASPHALT PAVING SECTION  
 (GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTIONS PRIOR TO CONSTRUCTION)

DUMPSTER PAD PAVING SECTION  
 (GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTIONS PRIOR TO CONSTRUCTION)



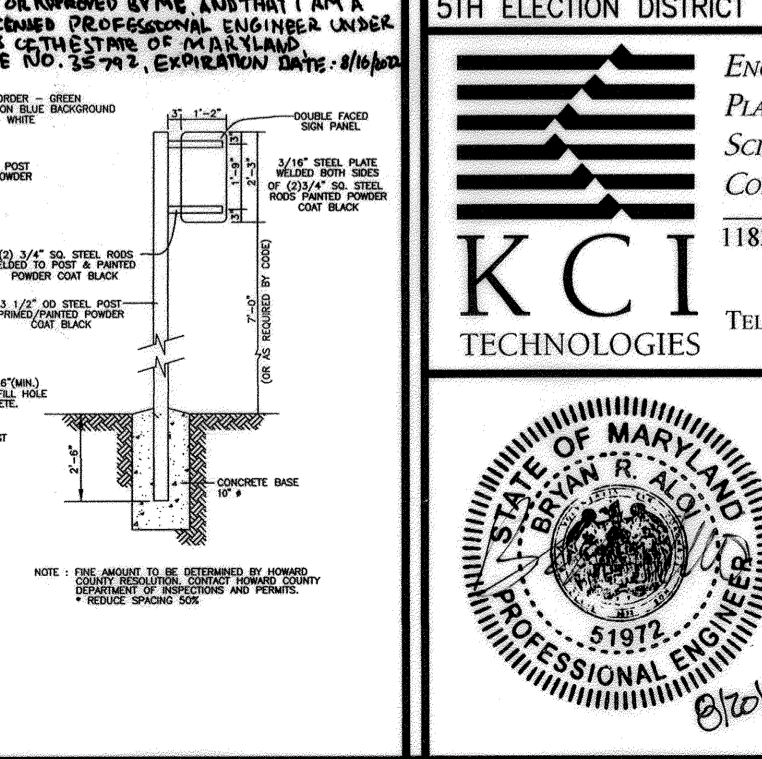
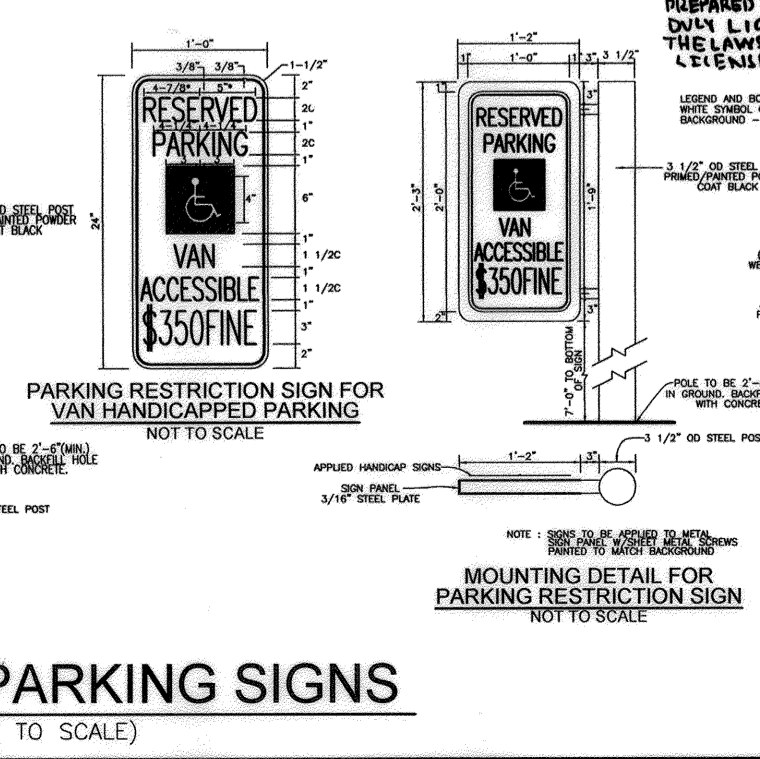
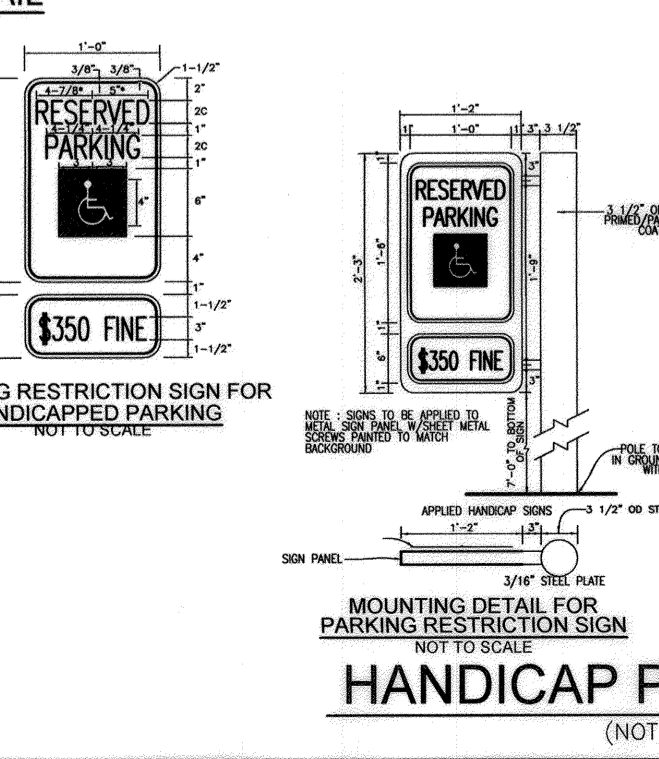
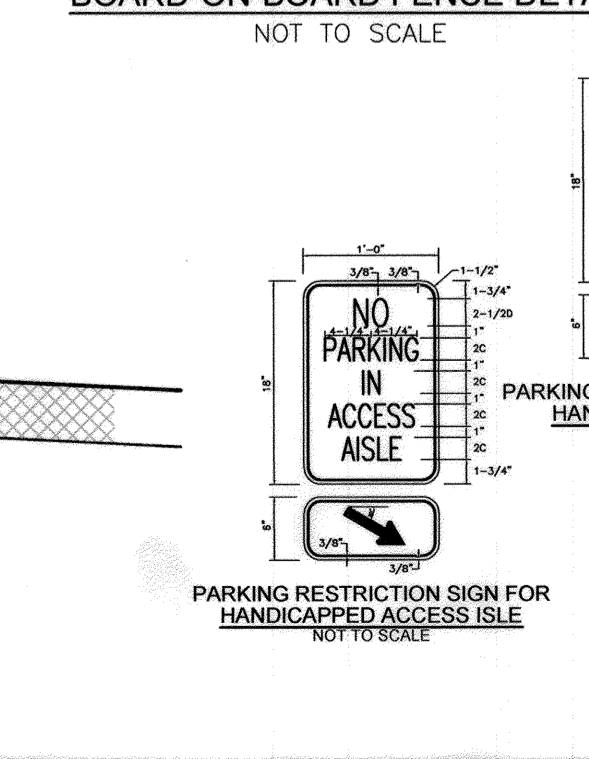
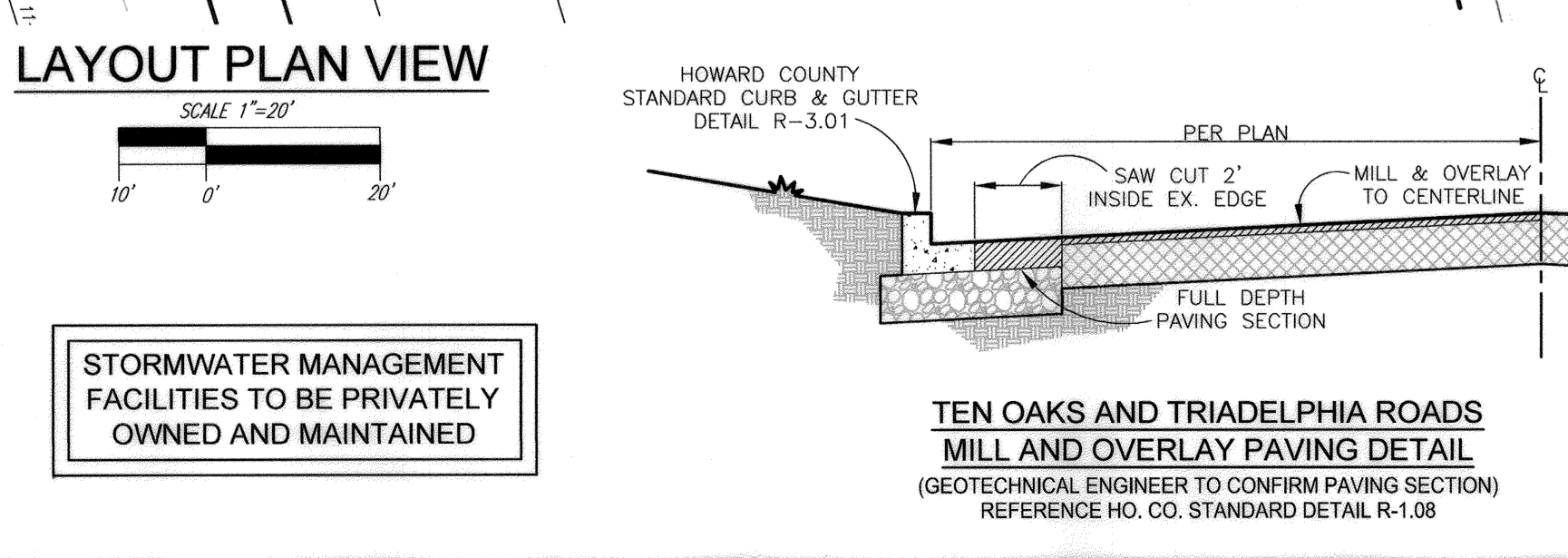
CONTRACTOR TO PROVIDE ACCESSIBLE PATH AS SHOWN FROM HANDICAP ACCESSIBLE PARKING SPACES TO SIDEWALK RAMP IN FRONT OF THE BUILDING



APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 COUNTY HEALTH OFFICER  
 DATE: 9/27/2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 DATE: 10-23-19

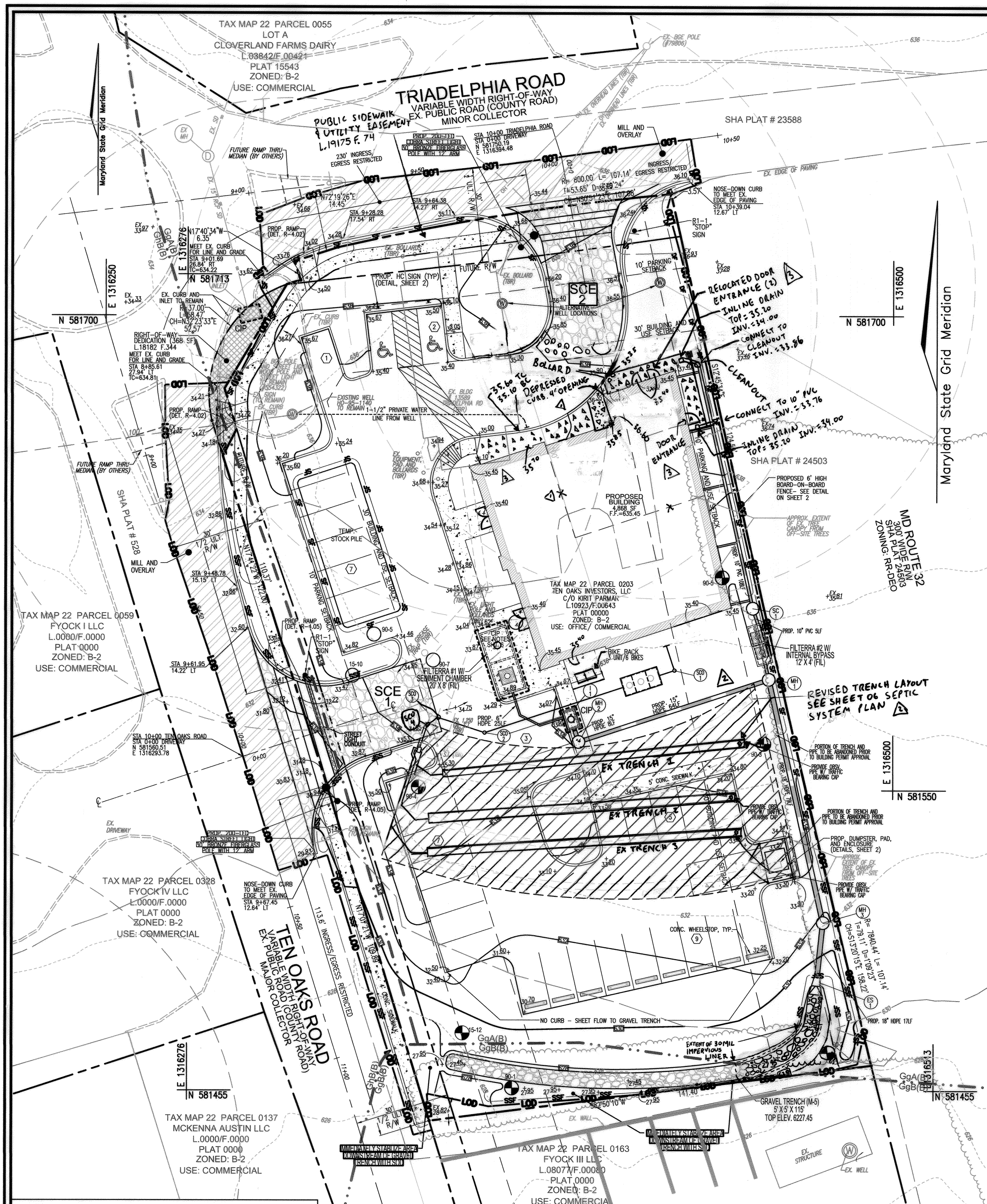
STORMWATER MANAGEMENT FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED



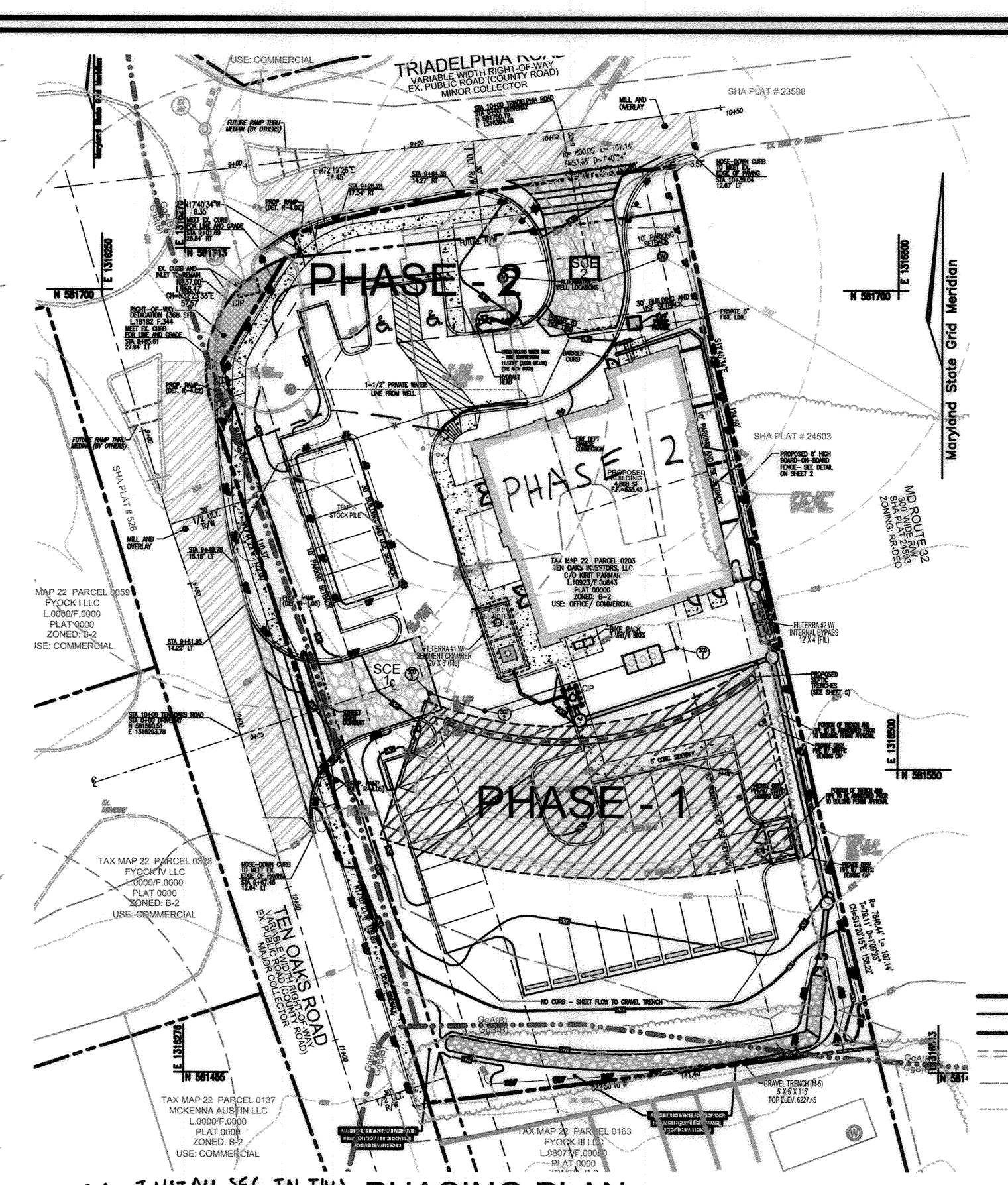
PROFESSIONAL CERTIFICATE  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 31972, EXPIRATION DATE: 8/31/2020

DESIGN BY: AI/MG  
 DRAWN BY: AI/MG  
 CHECKED BY: THM  
 DATE: AUGUST 2019  
 SCALE: AS SHOWN  
 KCI NO.: 271903385

2 SHEET OF 7



**GRADING PLAN VIEW**  
SCALE: 1"=20'

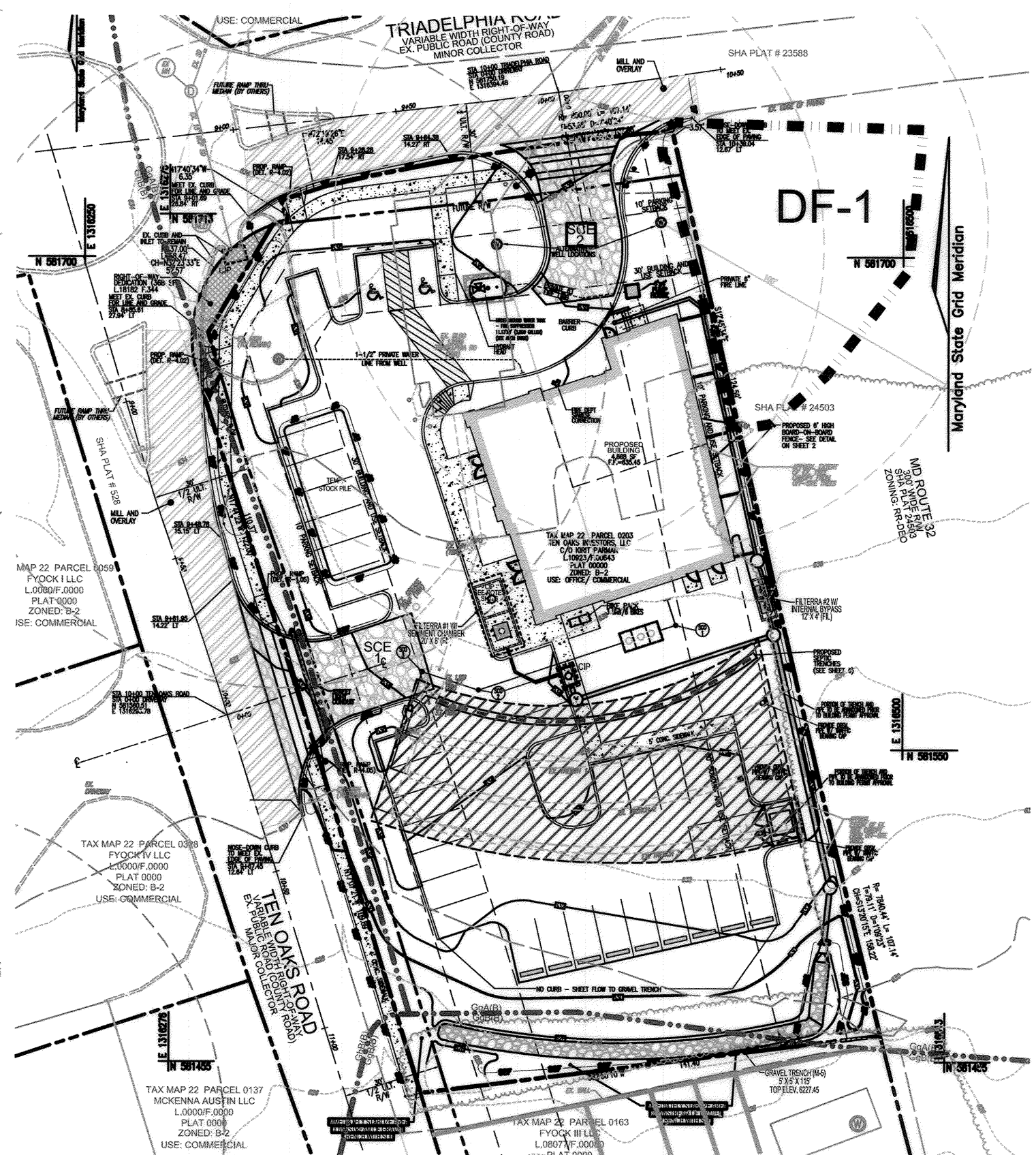


**PHASING PLAN**  
SCALE: 1"=40'

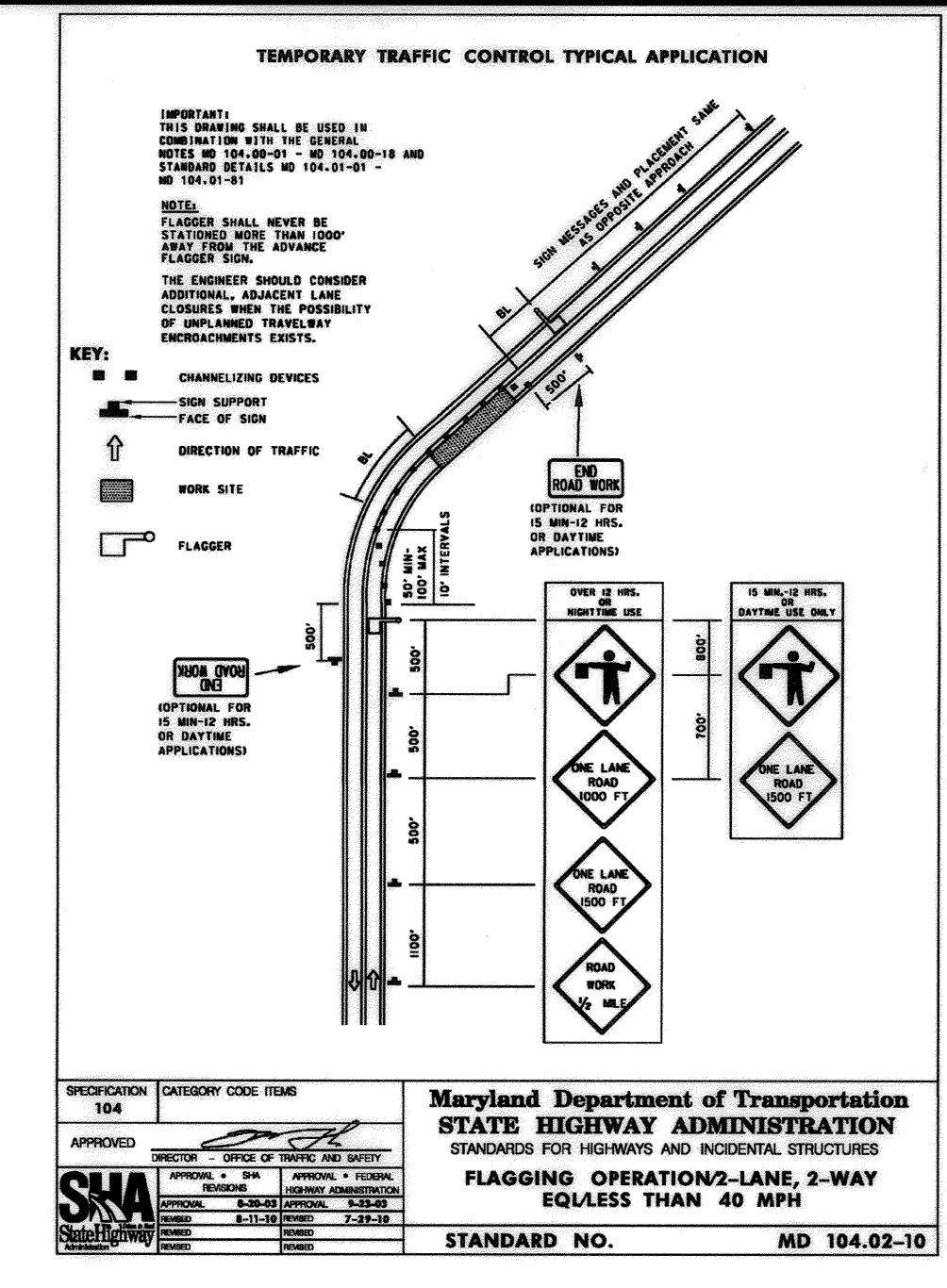
**PHASE 1 -** INSTALL SEC IN THIS AREA. INSTALL ALL SWM, STORM, & SEPTIC UPGRADES. INSTALL CURB & GUTTER AND BASEPAVE. SOD ALL GREEN AREA.

**PHASE 2 -** REMOVE PART OF THE EXISTING BUILDING TO ALLOW FOR THE CONSTRUCTION OF THE PROPOSED STRUCTURE. CONSTRUCT NEW BUILDING, INSTALL ALL SIDEWALKS. TEMP U/O OBTAINED AND LIQUOR STORE MOVED & OPERATED WITHIN NEW BUILDING.

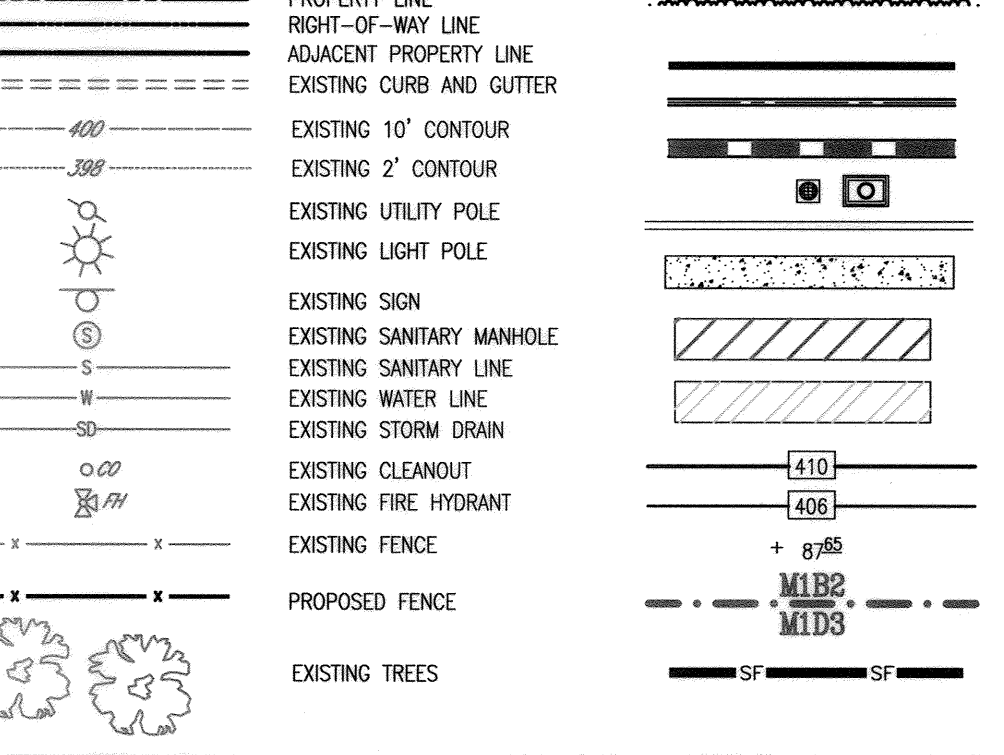
**PHASE 3 -** INSTALL SEC IN THIS AREA. DEMO EXISTING BUILDING, COMPLETE REMAINING SITEWORK INCLUDING FINAL PAVING, SEEDING, STRAW & MULCH.



**SEDIMENT CONTROL DRAINAGE AREA MAP**  
SCALE: 1"=40'



**TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION**



**LEGEND**

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	0.02	NO
LmB	LEGORE-MONTALTO SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	0.32	NO
LrD	LEGORE-RELAY GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	0.20	YES
MgC	MOUNT LUCAS SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C/D	0.32	YES

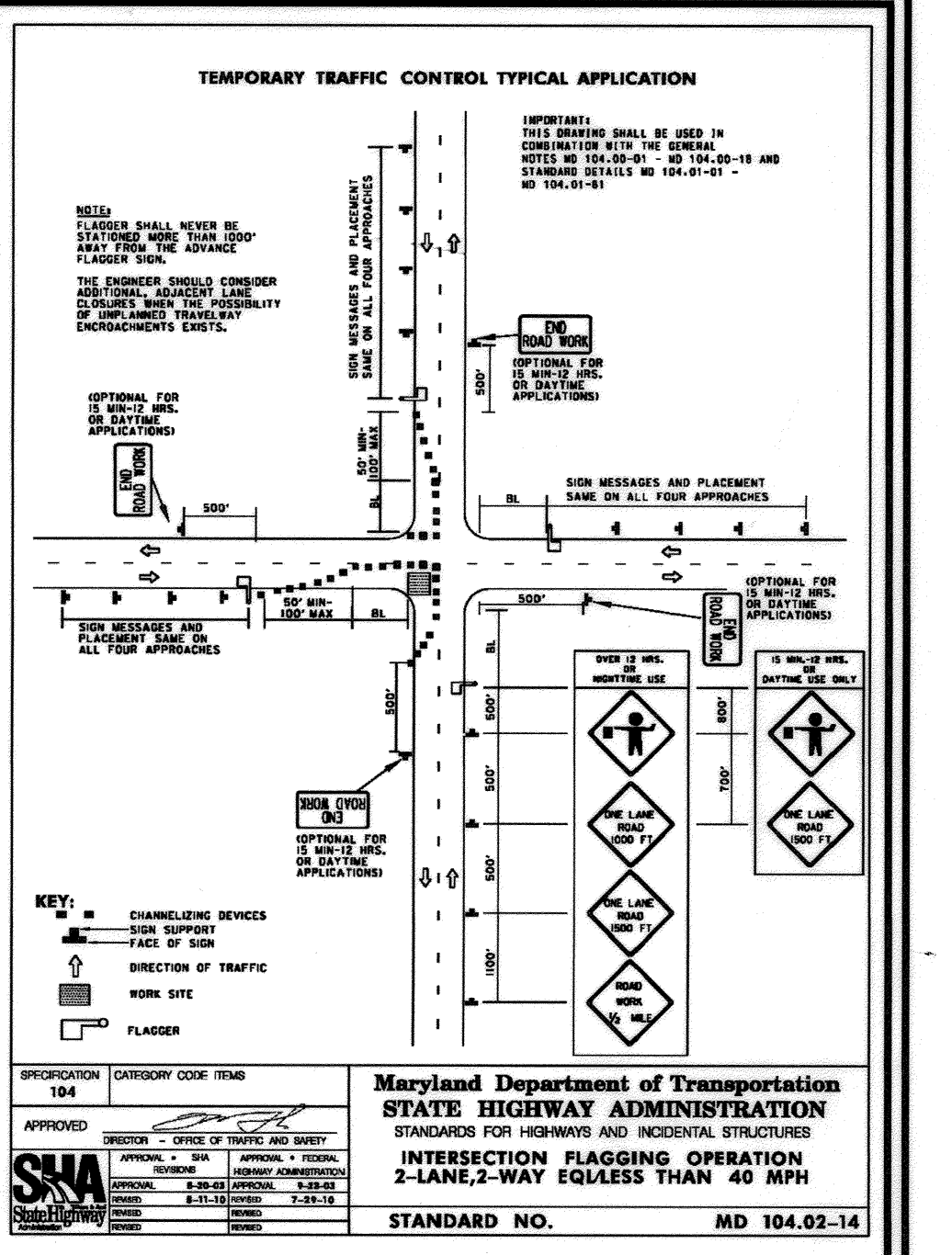
**SEDIMENT CONTROL NOTES:**

- SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
- STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
- SILT FENCE SHALL BE CURLED UPHILL WHEREVER IT RUNS DOWNHILL.
- TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.

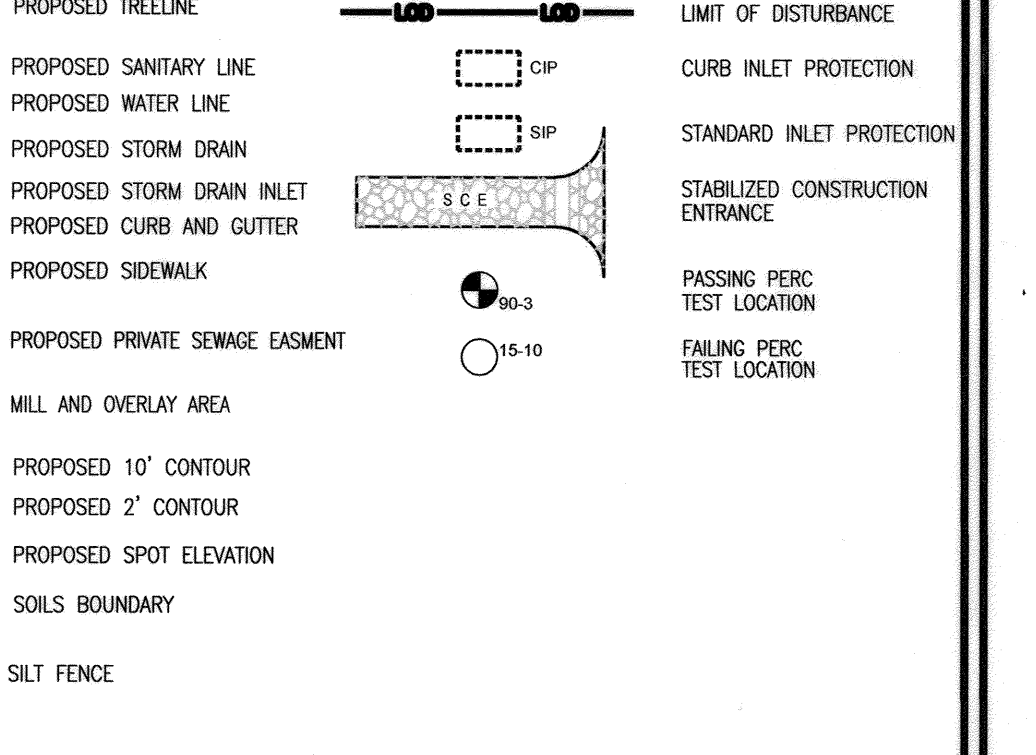
**FRONTAGE IMPROVEMENTS SEDIMENT CONTROL NOTE**  
STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR FOR THE FRONTAGE IMPROVEMENTS, AND IS TO BE STABILIZED AT THE END OF EACH WORKING DAY.

ADD DOOR LOCATIONS & SIDEWALK. REMOVE PUMP HOUSE	03-12-21
REVISED SEPTIC TRENCH LAYOUT SYSTEM	10-02-20
ADD STORAGE AREA TO 2ND FLOOR. REVISE DOOR LOCATION.	7-3-20

**STORMWATER MANAGEMENT FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED**



**TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION**



**LEGEND**

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE
LeC	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	0.02	NO
LmB	LEGORE-MONTALTO SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	0.32	NO
LrD	LEGORE-RELAY GRAVELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	0.20	YES
MgC	MOUNT LUCAS SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C/D	0.32	YES

**SEDIMENT CONTROL NOTES:**

- SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
- STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
- SILT FENCE SHALL BE CURLED UPHILL WHEREVER IT RUNS DOWNHILL.
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**FRONTAGE IMPROVEMENTS SEDIMENT CONTROL NOTE**  
STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR FOR THE FRONTAGE IMPROVEMENTS, AND IS TO BE STABILIZED AT THE END OF EACH WORKING DAY.

ADD DOOR LOCATIONS & SIDEWALK. REMOVE PUMP HOUSE	03-12-21
REVISED SEPTIC TRENCH LAYOUT SYSTEM	10-02-20
ADD STORAGE AREA TO 2ND FLOOR. REVISE DOOR LOCATION.	7-3-20

**STORMWATER MANAGEMENT FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED**

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS

*Cheryl Nelson* for Mauna Roseman  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT H.O.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Cheryl Nelson*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 10-2-19

*Walter Shindler*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 10-25-19

*John G. ...*  
DIRECTOR  
DATE: 3-13-2020

**OWNER/DEVELOPER CERTIFICATION:**  
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

*Kirit Parmar*  
OWNER/DEVELOPER SIGNATURE  
KIRIT PARMAR, PRES.  
PRINTED NAME & TITLE

DATE: 8/21/19

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, AND THAT I REPRESENT A PRACTICE AND WORKS AS A PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972.

*Bryan R. ...*  
DESIGNER'S SIGNATURE  
BRYAN R. ...  
PRINTED NAME

DATE: 8/28/19

MD REGISTRATION NO. 51972  
R.L.S., OR R.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. ...*  
DATE: 8/28/19

**PROFESSIONAL CERTIFICATE**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972.  
EXPIRATION DATE: 8/19/2026

*John R. ...*  
DATE: 8/28/19

**SITE DEVELOPMENT PLAN**  
**SOILS MAP, GRADING, SEDIMENT AND EROSION CONTROL PLAN**  
**GLENELG PLAZA**  
TEN OAKS AND TRIADELPHIA ROADS  
RETAIL AND OFFICE

TAX MAP 22 GRID 14  
5TH ELECTION DISTRICT

PARCEL 203  
HOWARD COUNTY, MARYLAND

**ENGINEERS**  
PLANNERS  
SCIENTISTS  
CONSTRUCTION MANAGERS

**KCI TECHNOLOGIES**  
11830 WEST MARKET PLACE  
SUITE F  
FULTON, MD 20759  
TELEPHONE: (410) 792-8086  
FAX: (410) 792-7419

**OWNER / DEVELOPER**  
TEN OAKS INVESTORS, LLC  
C/O KIRIT PARMAR  
11830 CLARKSVILLE PIKE  
CLARKSVILLE MD 21029  
443-535-0600

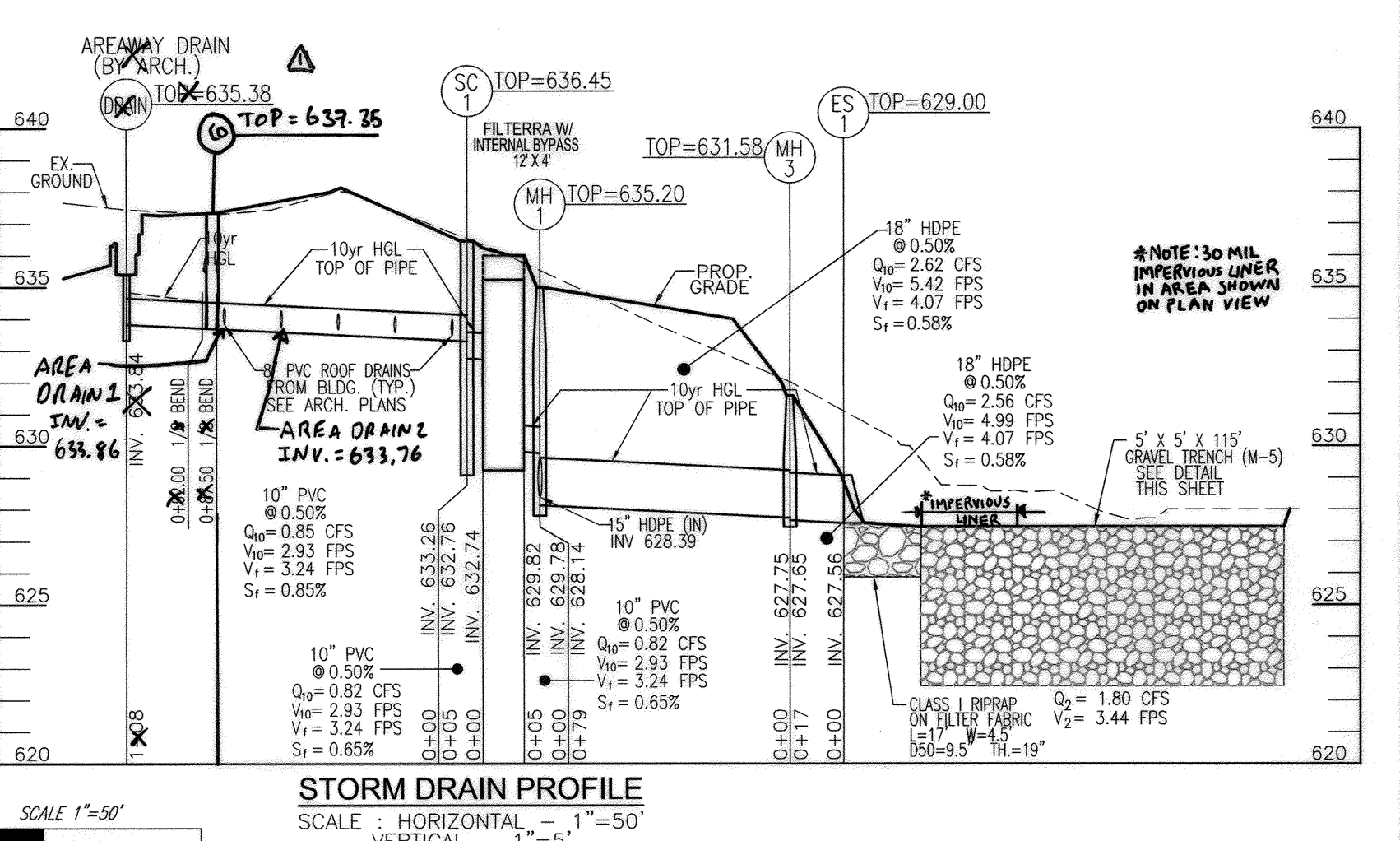
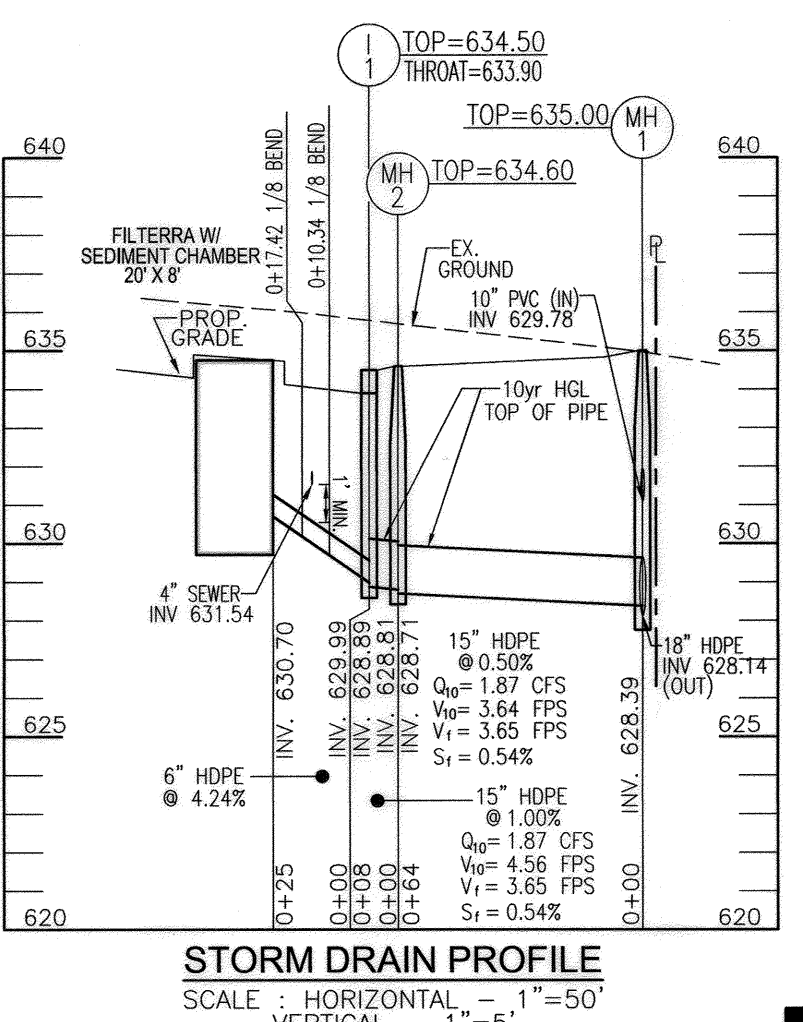
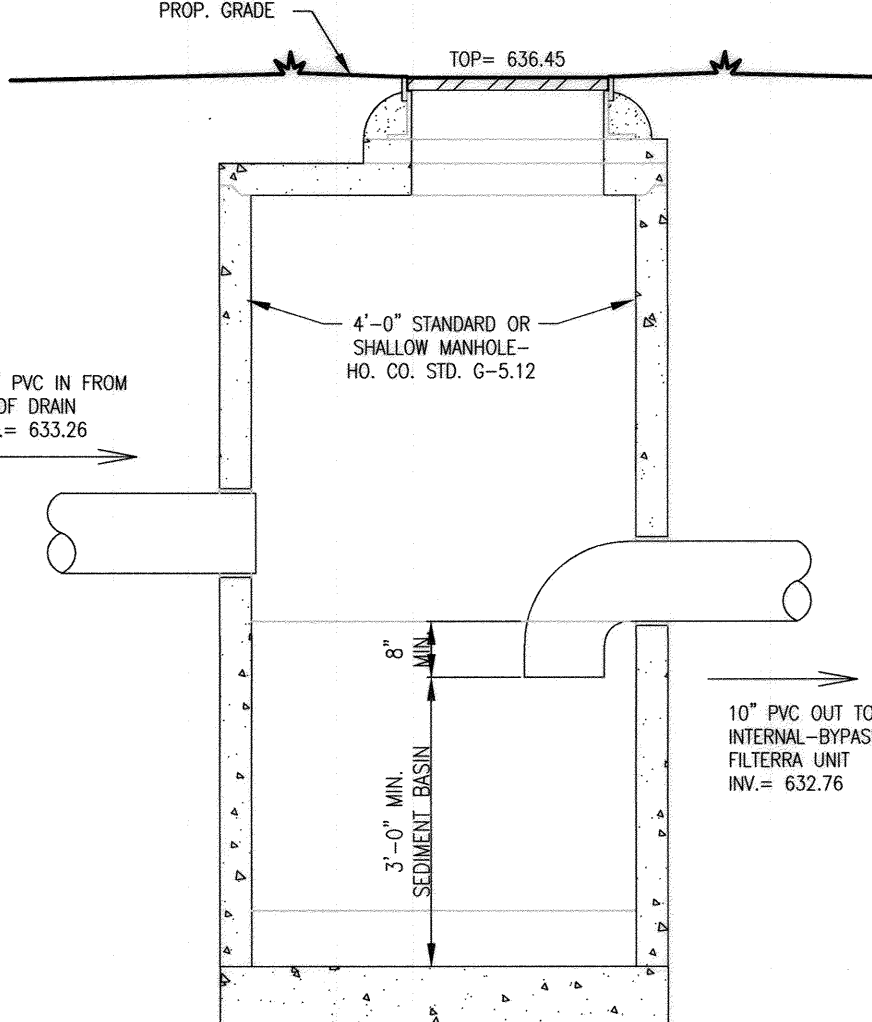
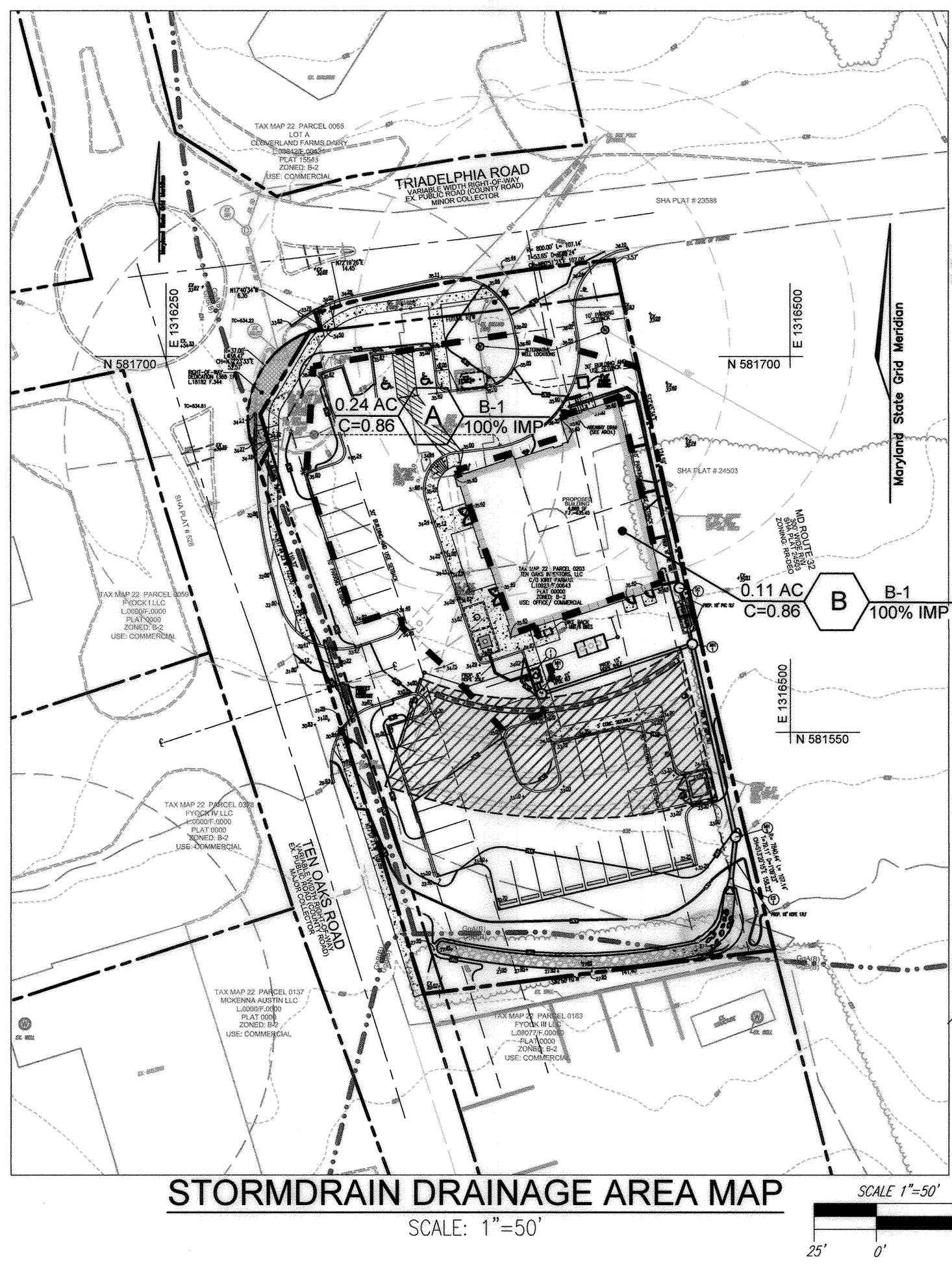
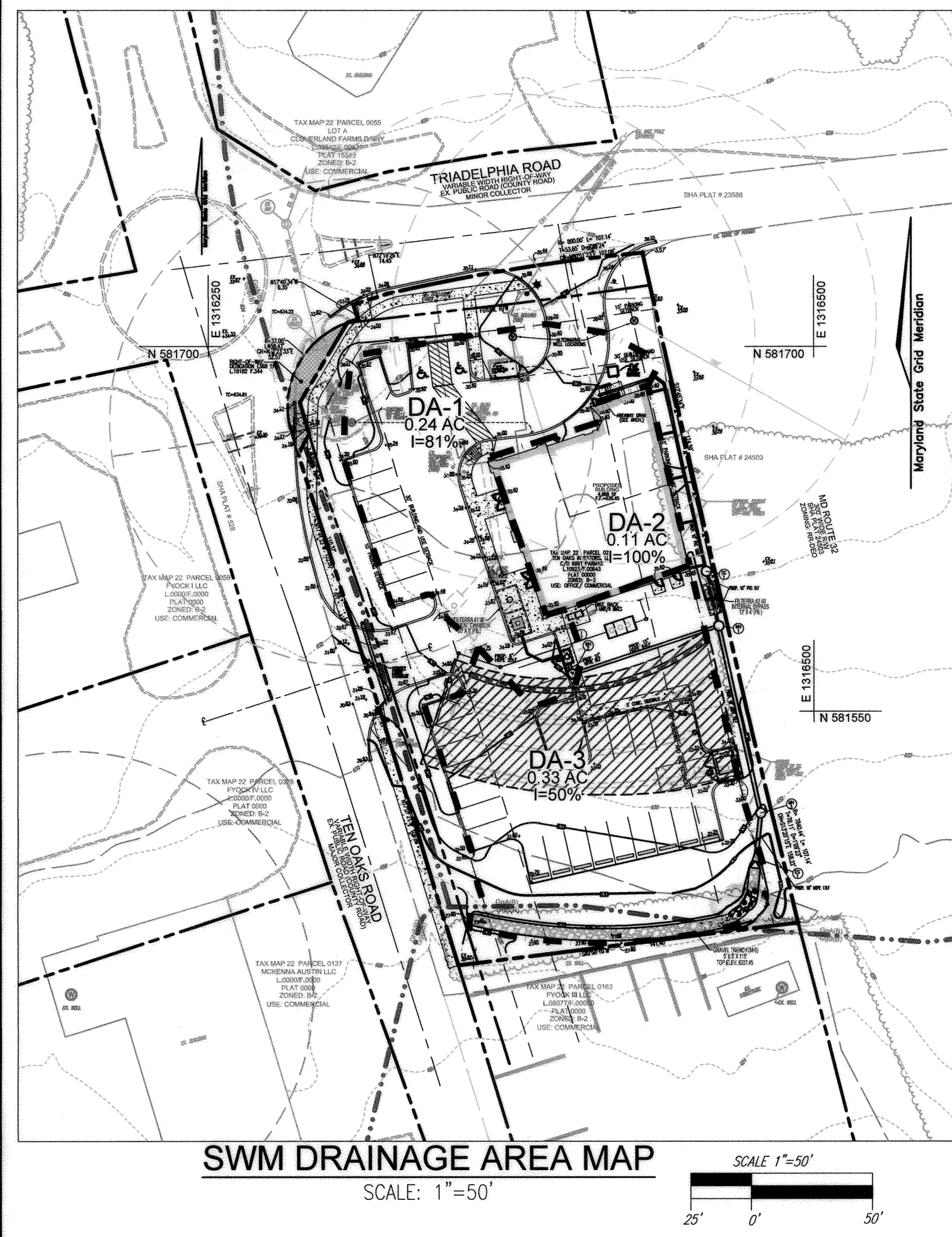
**DESIGN BY:** AI/MG  
**DRAWN BY:** AI/MG  
**CHECKED BY:** THM  
**DATE:** AUGUST 2019  
**SCALE:** AS SHOWN  
**KCI NO.:** 271903385

**PROFESSIONAL CERTIFICATE**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972.  
EXPIRATION DATE: 12/17/2019

*John R. ...*  
DATE: 8/28/19

3 SHEET OF 7



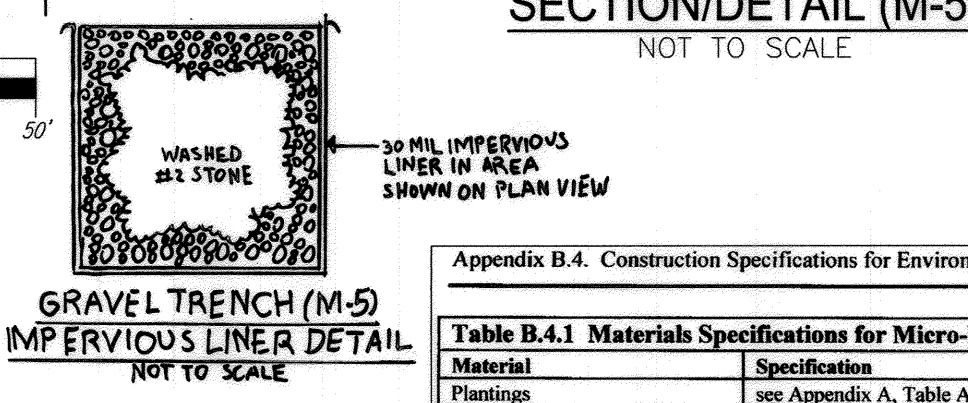


**LEGEND**

PROPERTY LINE	PROPOSED SANITARY LINE
RIGHT-OF-WAY LINE	PROPOSED WATER LINE
ADJACENT PROPERTY LINE	PROPOSED STORM DRAIN
EXISTING CURB AND GUTTER	PROPOSED STORM DRAIN INLET
EXISTING 2" CONTOUR	PROPOSED CURB AND GUTTER
EXISTING 10" CONTOUR	PROPOSED SIDEWALK
EXISTING UTILITY POLE	PROPOSED PRIVATE SEWAGE CASMENT
EXISTING LIGHT POLE	PROPOSED 10" CONTOUR
EXISTING SIGN	PROPOSED 2" CONTOUR
EXISTING SANITARY MANHOLE	PROPOSED SPOT ELEVATION
EXISTING WATER LINE	SOILS BOUNDARY
EXISTING STORM DRAIN	PROPOSED SWM/STORMDRAIN DRAINAGE AREA
EXISTING CLEANOUT	
EXISTING FIRE HYDRANT	
EXISTING FENCE	
PROPOSED FENCE	
EXISTING TREES	
EXISTING TREELINE	
PROPOSED TREELINE	

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #14

SYMBOL	NAME / DESCRIPTION	GROUP	K FACTOR	ERODIBLE
L6C	LEGORE SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C	0.02	NO
L6B	LEGORE-MONTAIO SILT LOAMS, 3 TO 8 PERCENT SLOPES	C	0.32	NO
L7D	LEGORE-RELY GRANELLY LOAMS, 15 TO 25 PERCENT SLOPES, VERY STONY	C	0.20	YES
M6C	MOUNT LUCAS SILT LOAM, 8 TO 15 PERCENT SLOPES, STONY	C/D	0.32	YES



**STORM DRAIN STRUCTURE SCHEDULE**

NO.	TYPE	LOCATION	TOP ELEV.	THROAT ELEV.	INV. IN	INV. OUT	COMMENTS
I-1	TYPE A-5 INLET	N 581572.40 E 1316397.89	634.50	633.90	628.89	628.89	HO. CO. STD. D-4.01
MH-1	STANDARD 4" PRECAST MANHOLE	N 581585.04 E 1316460.57	635.00	-	628.14	628.14	HO. CO. STD. G-5.12
MH-2	STANDARD 4" PRECAST MANHOLE	N 581565.24 E 1316400.23	634.60	-	628.81	628.71	HO. CO. STD. G-5.12
MH-3	STANDARD 4" PRECAST MANHOLE	N 581508.13 E 1316477.89	631.58	-	627.75	627.65	HO. CO. STD. G-5.12
ES-1	HDPE END SECTION (18" PIPE)	N 581491.63 E 1316476.16	629.00	-	627.56	627.56	PER MANUFACTURERS RECOMMENDATION
SC-1	SEDIMENT CHAMBER MANHOLE	N 581607.54 E 1316455.51	636.45	-	633.28	632.78	HO. CO. STD. G-5.12

**SD PIPE SCHEDULE**

SIZE	TYPE	LENGTH
6"	HDPE	25 LF
10"	SOLID PVC 89	44 LF
15"	HDPE	72 LF
18"	HDPE	96 LF
8"	HDPE	9 LF

**FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (M-5)**

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 24 HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

TOTAL ESDV PROVIDED 2677

**PROJECT: TEN OAKS AND TRIADELPHIA ROAD**

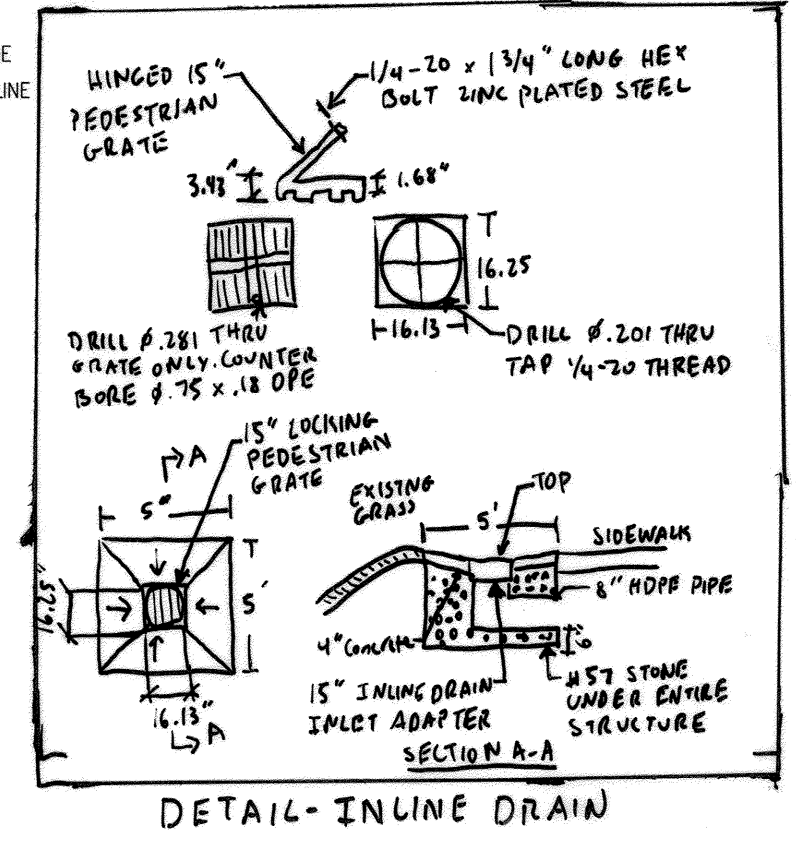
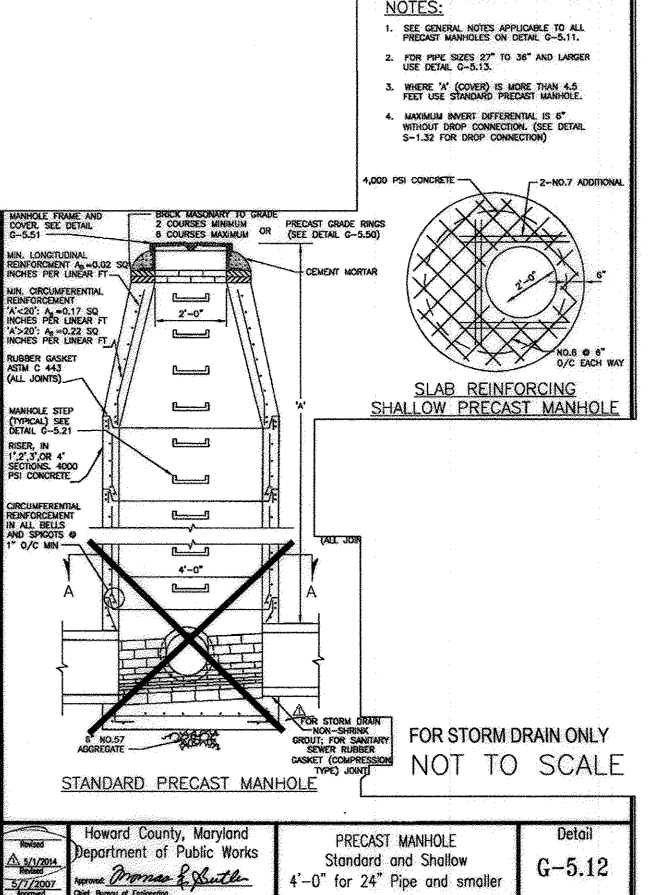
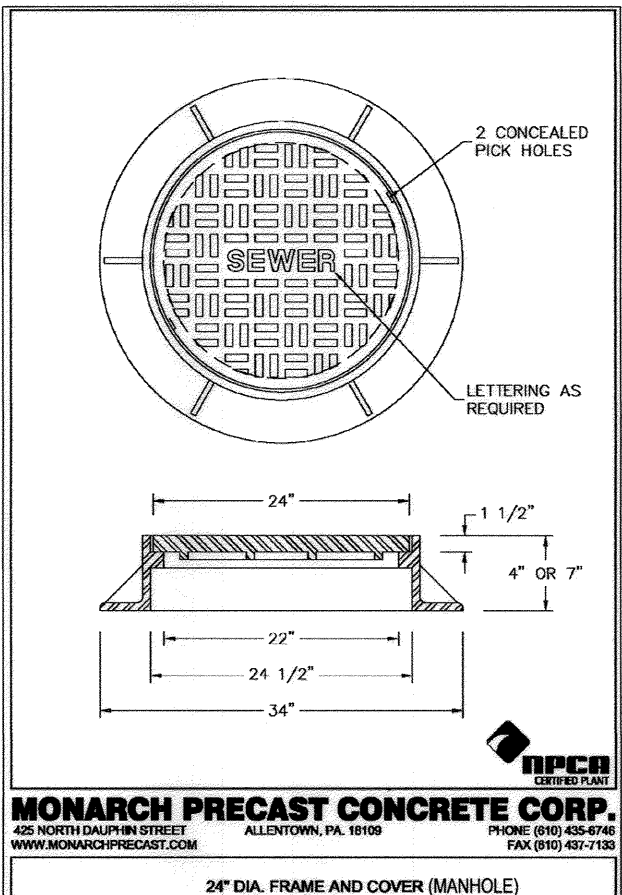
TOTAL AREA: 1.01 AC  
 IMPERVIOUS AREA: 27,671 SF  
 IMPERVIOUS PERCENT: 63 Percent  
 TARGET Pe: 2.0 in.  
 SITE Rv: 0.63  
 EXISTING IMPERVIOUS: 17,475 SF  
 EXISTING IMP PERCENT: 0.4  
 EXISTING IMP ESDV: 692 CF  
 NEW IMP: 10,196 SF  
 NEW IMP ESDV: 1,614 CF  
 TOTAL ESDV REQUIRED: 2,306 CF

Drainage Area	Impervious Area	Grass Area	Total Area	Percent Impervious	Rv	ESDv Provided
1	8,450	2,000	10,450	0.81	0.78	1,194
2	4,868	0	4,868	1.0	0.95	339
3	7,730	7,229	14,959	0.54	0.54	1,144
Total Area Treated				29,693		Total ESDv Provided 2,677 CF

**Appendix B.4. Construction Specifications for Environmental Site Design Practices**

**Table B.4.1. Materials Specifications for Micro-Bioretenation, Rain Gardens & Landscape Infiltration-**

Material	Specifications	Notes
Plantings	see Appendix A, Table A.4	note
Planting soil (2" to 4" deep)	loamy sand (60-65%) & compost (35-40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	plantings are site-specific USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2924)	
Mulch	shredded hardwood	aged 6 months, minimum; no pine or wood chips
Pen gravel diaphragm	pen gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"
Geotextile		PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" TO 3/4")
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" or 6" rigid schedule 40 PVC or SDR35
Poured in place concrete (if required)	MSHA Mix No. 3, F <sub>c</sub> = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-A16-00	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underdrain pipes. Perforated pipe shall be wrapped with 1/2-inch galvanized hardware cloth. on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.8R9; vertical loading (H-10 or H-20); allowable horizontal loading (based on soil pressures); and analysis of potential cracking.
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"

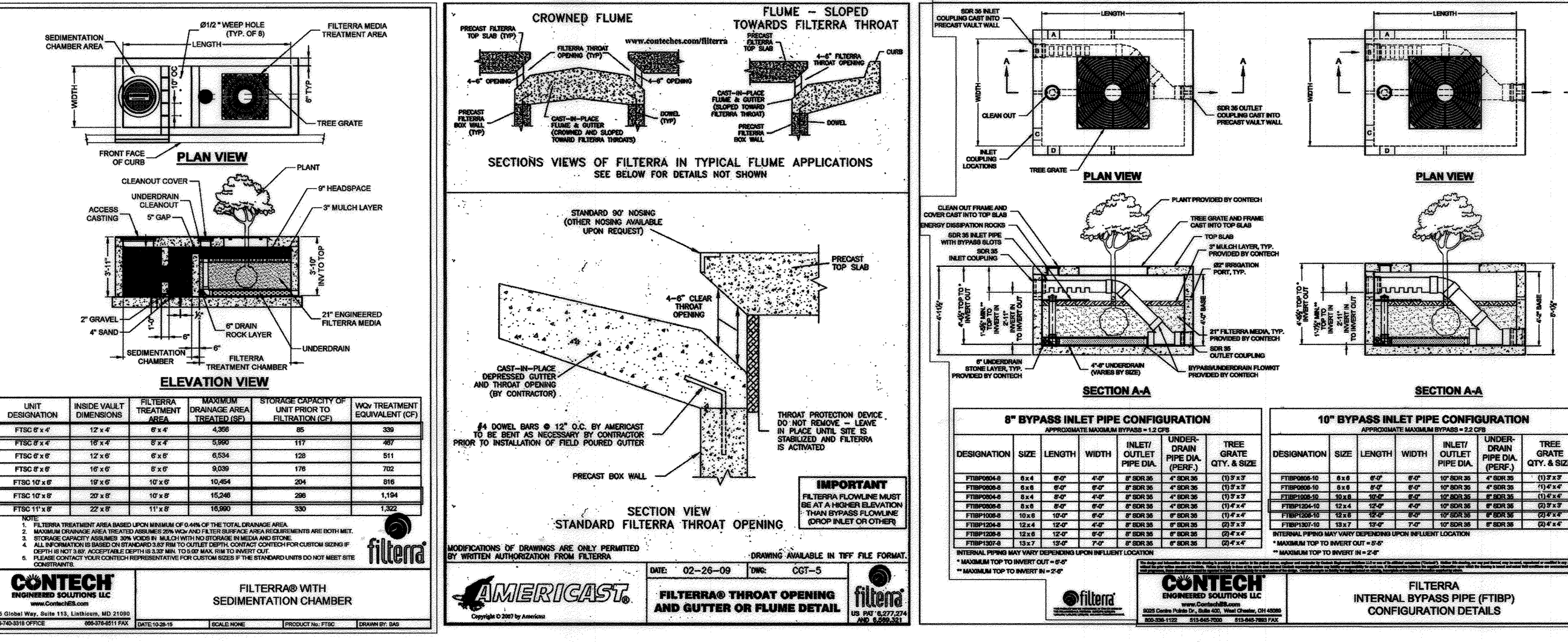


**STORMWATER MANAGEMENT FACILITIES TO BE PRIVATELY OWNED AND MAINTAINED**

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FILTERRA DEVICES (FIL)**

**Activation**  
A. Activation of the Filterra™ unit is performed ONLY by the Supplier. Purchaser is responsible for Filterra™ filter protection and subsequent clean out cost. This process cannot commence until the project site is fully stabilized and cleaned (final landscaping, grass cover, final paving and street sweeping completed), negating the chance of construction materials contaminating the Filterra™ system. Care shall be taken during construction not to damage the protective throat and top plates. B. Activation includes installation of plant(s) and mulch layers as necessary.

**Maintenance**  
A. Each correctly installed Filterra™ unit is to be maintained by the Supplier, or a Supplier approved contractor for a minimum period of 1 year. The cost of this service is to be included in the price of each Filterra™ unit. Extended maintenance contracts are available at extra cost upon request.  
B. Annual maintenance consists of a maximum of (2) scheduled visits. The visits are scheduled seasonally; the spring visit aims to clean up after winter loads including soils and sands. The fall visit helps the system by removing excessive leaf litter.  
C. Each maintenance visit consists of the following tasks:  
1. Filterra™ unit inspection  
2. Foreign debris, silt, mulch & trash removal  
3. Filter media evaluation and recharge as necessary  
4. Plant health evaluation and pruning or replacement as necessary  
5. Replacement of mulch  
6. Disposal of all maintenance refuse items  
7. Maintenance records updated and stored (reports available upon request)  
8. Dewatering the sediment chamber with all inspections, trash/ debris removal within the chamber.  
D. The beginning and ending date of Supplier's obligation to maintain the installed system shall be determined by the Supplier at the time the system is activated. Owners must promptly notify the Supplier of any damage to the plant(s), which constitutes a breach of part of the bioretention technology.



APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS

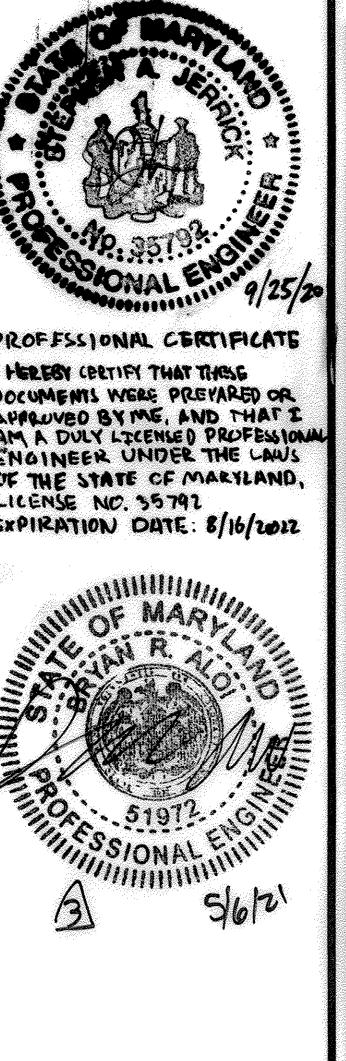
MAIWA ROSMAN, COUNTY HEALTH OFFICER, HOWARD COUNTY HEALTH DEPARTMENT, DATE: 9/17/2019

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE: 10-2-19

CHIEF, DIVISION OF LAND DEVELOPMENT, DATE: 10-25-19

DIRECTOR, DATE: 3-12-2028



**SITE DEVELOPMENT PLAN**  
**STORMWATER MANAGEMENT AND STORM DRAIN DRAINAGE AREA MAPS, PROFILES AND DETAILS**  
**GLENELG PLAZA**  
TEN OAKS AND TRIADELPHIA ROADS  
RETAIL AND OFFICE

TAX MAP 22 GRID 14  
5TH ELECTION DISTRICT

PARCEL 203  
HOWARD COUNTY, MARYLAND

**KCI TECHNOLOGIES**  
ENGINEERS  
PLANNERS  
SCIENTISTS  
CONSTRUCTION MANAGERS

11830 WEST MARKET PLACE  
SUITE F  
FULTON, MD 20759  
TELEPHONE: (410) 792-8086  
FAX: (410) 792-7419

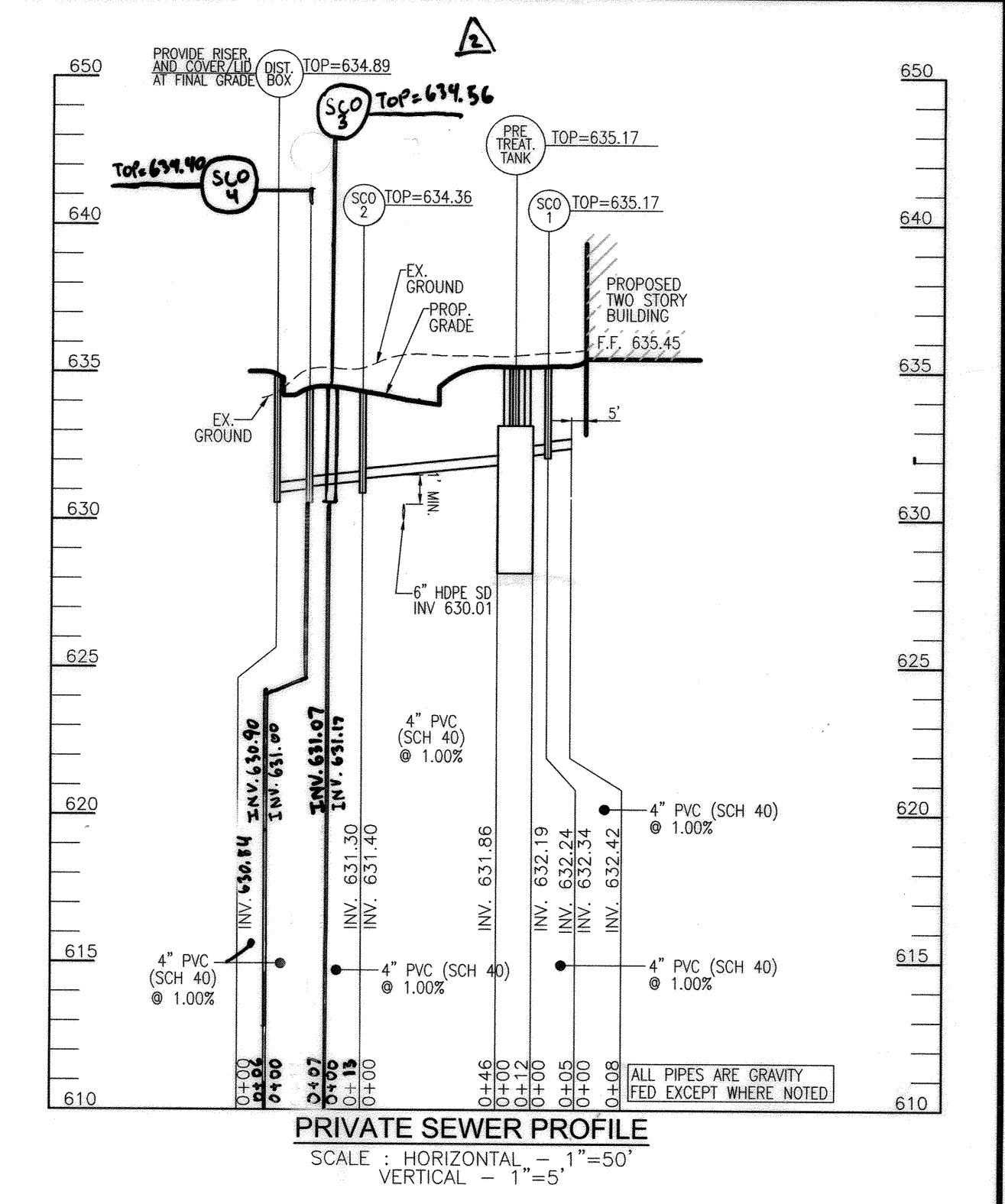
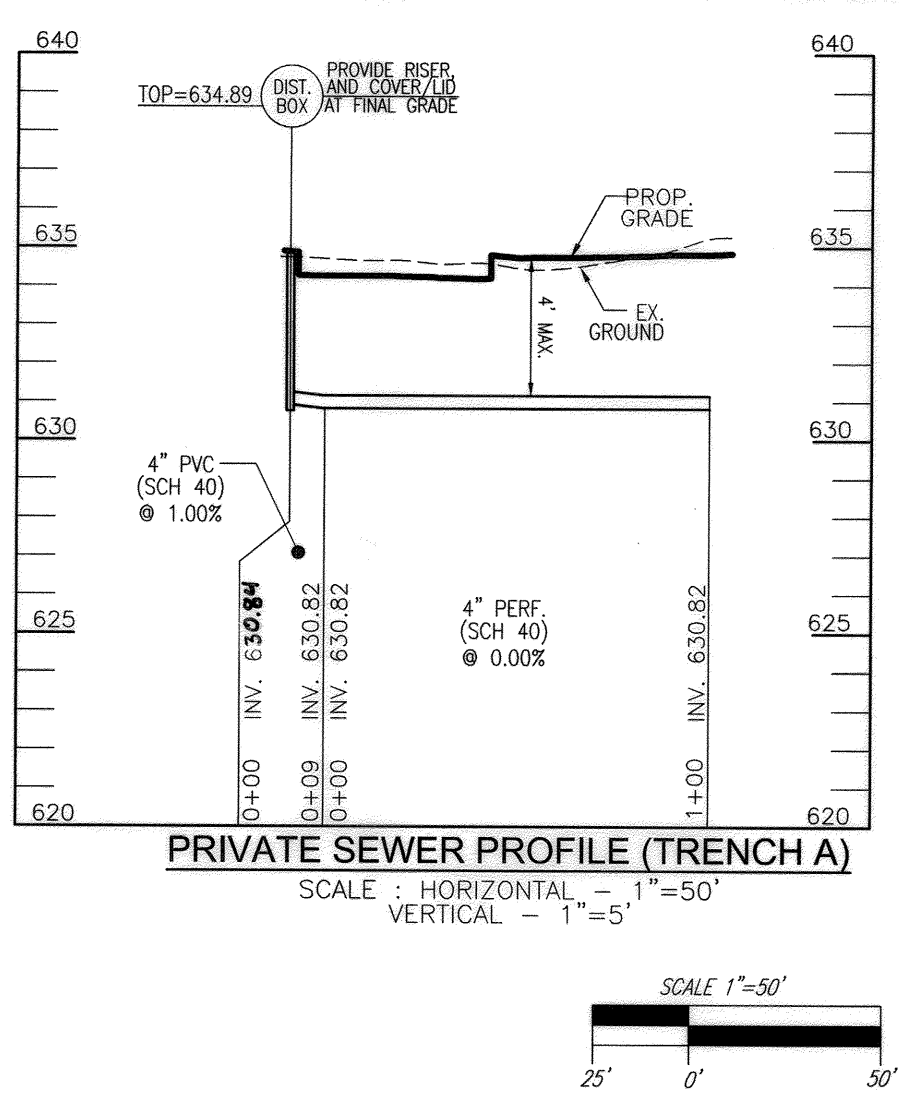
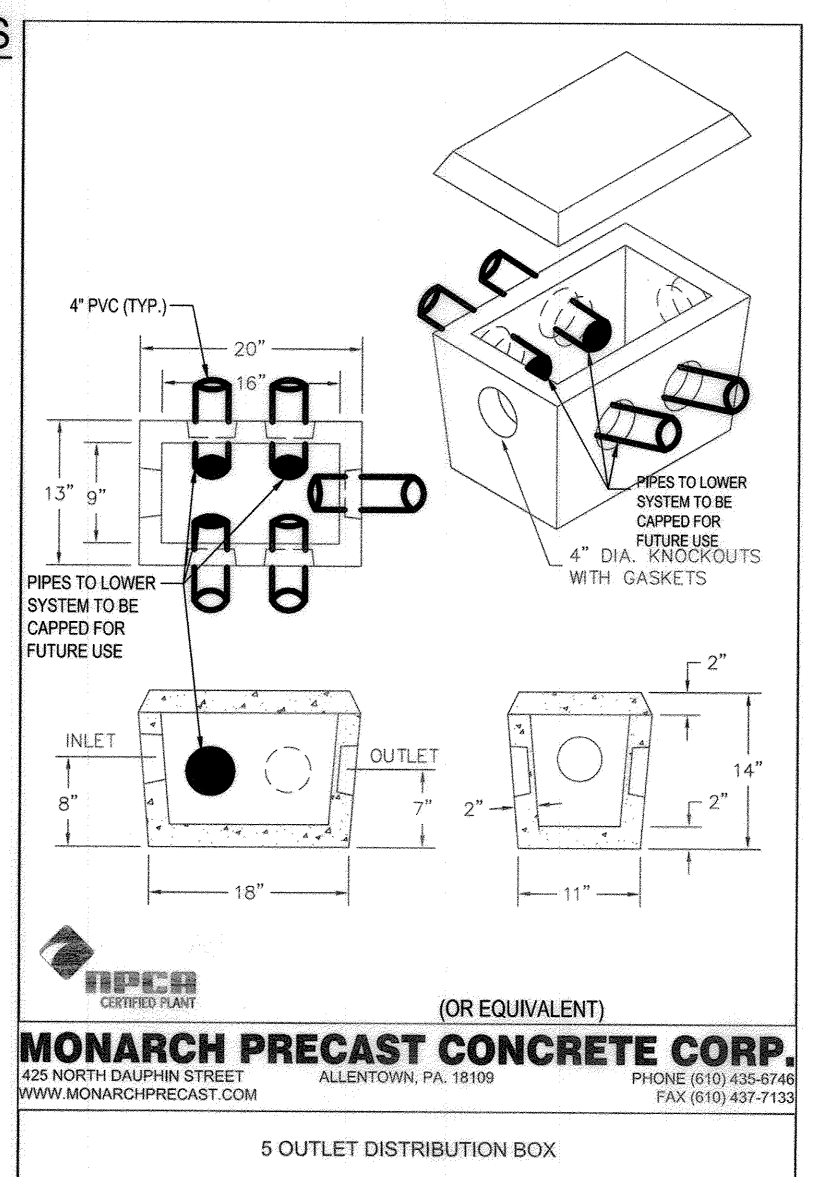
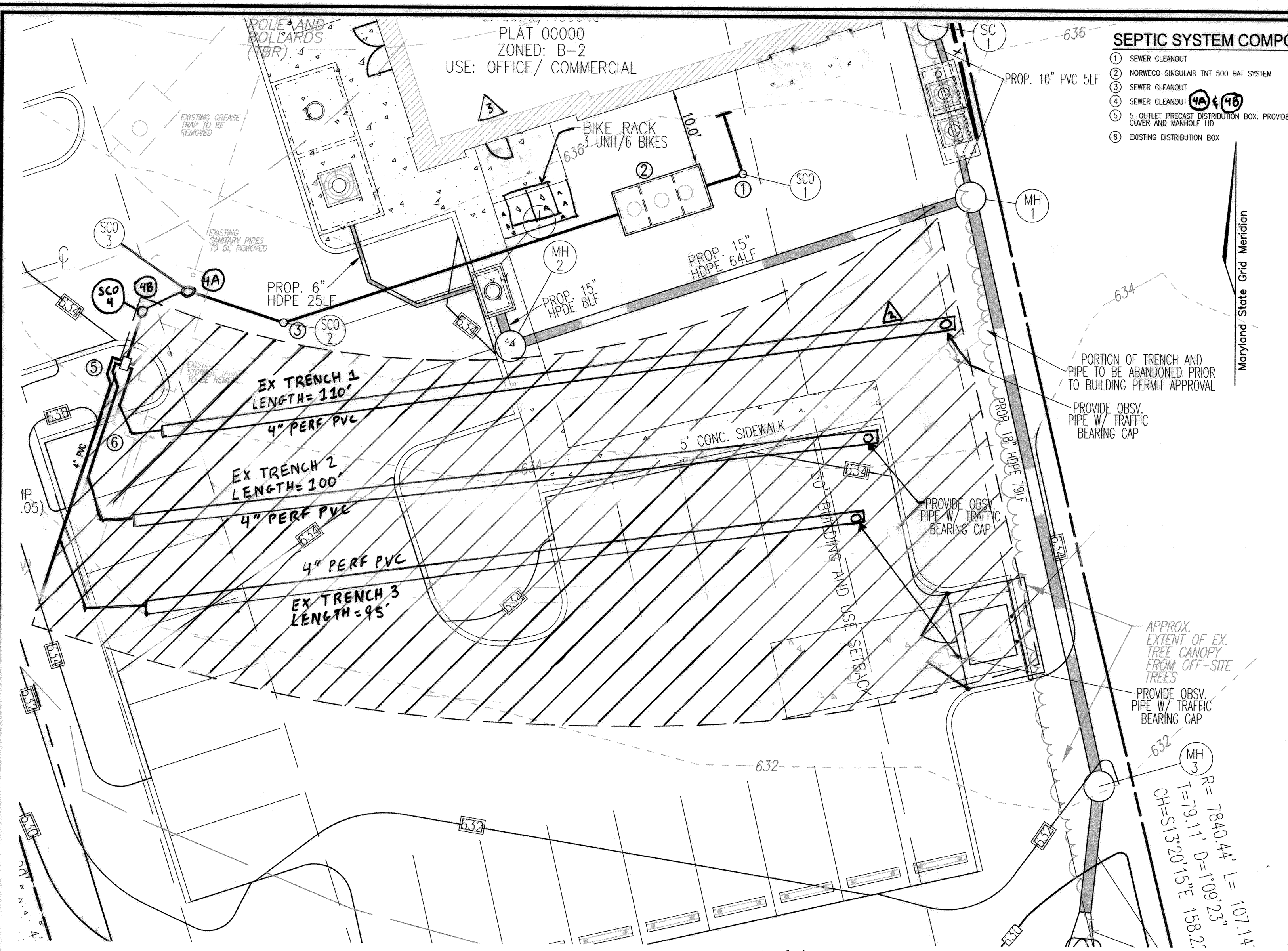
**OWNER / DEVELOPER**  
TEN OAKS INVESTORS LLC  
C/O KIRIT PARMAR  
12620 CLARKSVILLE PIKE  
CLARKSVILLE, MD 21029  
443-535-0600

DESIGN BY: AJ/MG  
DRAWN BY: AJ/MG  
CHECKED BY: THM  
DATE: AUGUST 2019  
SCALE: AS SHOWN  
KCI NO.: 271903385

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR REVIEWED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 59792, EXPIRATION DATE: 8/16/2021

DATE: 10-2-19  
DATE: 10-25-19  
DATE: 3-12-2028

5 SHEET OF 7



**OEZset** by INFILTRATOR

OEZset by Infiltrator risers and lids are made from glass reinforced polypropylene, providing superior strength and durability. They come in green or black and in 20", 24", and 30" diameters making them ideal for use with any concrete or plastic tank. The slip resistant lids are fastened using stainless steel screws and can be further secured by installing locking rings.

**20" Riser System**  
+ 20" x 6" Risers (Green or Black)  
+ 20" x 12" Risers (Green or Black)  
+ 20" Lids (Green or Black)

**24" Riser System**  
+ 24" x 6" Risers (Green or Black)  
+ 24" x 12" Risers (Green or Black)  
+ 24" Lids (Green or Black)

**30" Riser System**  
+ 30" x 12" Risers (Green or Black)  
+ 30" Lids (Green or Black)

**UTILIZE 30"x12" RISER SYSTEM OVER DISTRIBUTION BOX**

- Adhesive Sealant
- 20" Locking Rings
- 20" Safety Pans
- 24" Locking Rings
- 24" Safety Pans
- 24" Adapter Rings
- 30" Locking Rings

(OR EQUIVALENT)  
Contact Infiltrator Water Technologies Technical Services Department for assistance at 1-800-221-4436

**GENERAL NOTES**

- THE EXISTING WELLS TO REMAIN.
- ANY CHANGE TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- THE EXISTING DISTRIBUTION BOX TO BE REPLACED WITH NEW DISTRIBUTION BOX.
- AN ADVANCED PRE-TREATMENT SYSTEM WHICH UTILIZES BEST AVAILABLE TECHNOLOGY TO PERFORM NITROGEN REDUCTION VOLUNTARILY WILL BE INSTALLED. A SUPPLEMENTAL SITE PLAN WITH ALL OF THE NECESSARY DETAILS FOR THE INSTALLATION OF THE SYSTEM WILL BE REQUIRED PRIOR TO THE RELEASE OF THE BUILDING PERMIT (IF APPLICABLE) AND THE SEPTIC SYSTEM INSTALLATION PERMIT. AN OPERATING AND MAINTENANCE CONTRACT AGREEMENT MUST BE FILED WITH HOWARD COUNTY RECORDS PRIOR TO BUILDING PERMIT APPROVAL.
- OPERATION AND MAINTENANCE MANUAL MUST BE PROVIDED WHICH SHOULD OUTLINE ALL PROPOSED CLEANING SOLUTIONS.
- AT THE TIME OF INSTALLATION THE EXISTING D-BOX SHOULD BE UNCOVERED AND REPAIRED. CONTRACTOR TO USE THE 5-OUTLET PRECAST DISTRIBUTION BOX.
- EXISTING GREASE TRAP AND SEPTIC TANKS TO BE PUMPED OUT AND ABANDONED DURING INSTALLATION OR DURING ABANDONMENT OF EXISTING STRUCTURE WHOEVER COMES FIRST.
- QUARTERLY SAMPLING IS REQUIRED AND MUST BE REPORTED TO MDE FOR THE FIRST YEAR AND THEN ANNUALLY THEREAFTER OR AS SPECIFIED BY THE MANUFACTURER.
- RECORDABLE WATER FLOW METERS TO BE PROVIDED FOR EACH TENANT.
- PERCOLATION CERTIFICATION PLAN APPROVED BY HOWARD COUNTY HEALTH DEPARTMENT ON 04/30/19.
- VOG TESTING OF THE WELL WILL BE REQUIRED PRIOR TO BUILDING PERMIT APPROVAL.

**SEPTIC SYSTEM DESIGN**

RETAIL AND OFFICE = 400 GALLONS PER DAY  
MAXIMUM DESIGN FLOW: 400 GPD  
TRENCH LOADING RATE (WITH PRETREATMENT): 1.2 GPD/SF  
TRENCH WIDTH: 2.0 FEET  
DEPTH OF GRAVEL BELOW PIPE INVERT: 4.5 FEET  
TRENCH SPACING, WALL TO WALL: 10 FEET  
DISTRIBUTION PIPE INVERT, BELOW SOIL SURFACE: 3.5 FEET  
EFFECTIVE ADSORPTION AREA: 400 GPD/7.2 GPD/SF = 33.3 SF  
REQUIRED TRENCH LENGTH: 33.3/2 x 0.33 = 50 FEET (REPLACEMENT SYSTEM)LOWEST FLOOR ELEVATION SERVED: 630.84  
632.42  
634.42  
INVERT INTO EX. DISTRIBUTION BOX OR REPLACEMENT: 630.84  
INVERT INTO TRENCH AT DISTRIBUTION BOX: SEE SCHEDULE 1  
PROP. GRADE AT DISTRIBUTION BOX: 634.89  
EX TRENCH LENGTH PROVIDED: 118 LF  
SEPTIC TRENCH LENGTH TO BE PROVIDED: 305 LF

**SEPTIC TRENCH SCHEDULE**

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
SCO-1	SEWER CLEANOUT	N 581587.91 E 1316430.64	635.17	632.34	632.24	HO. CO. STD S-2.23
SCO-2	SEWER CLEANOUT	N 581568.13 E 1316370.41	634.36	631.40	631.30	HO. CO. STD S-2.23
SCO-3	SEWER CLEANOUT	N 581572.17 E 1316377.99	634.56	631.17	631.07	HO. CO. STD S-2.23
SCO-4	SEWER CLEANOUT	N 581567.76 E 1316357.67	634.90	631.00	630.50	HO. CO. STD S-2.23

**SEWER STRUCTURE SCHEDULE**

NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
SCO-1	SEWER CLEANOUT	N 581587.91 E 1316430.64	635.17	632.34	632.24	HO. CO. STD S-2.23
SCO-2	SEWER CLEANOUT	N 581568.13 E 1316370.41	634.36	631.40	631.30	HO. CO. STD S-2.23
SCO-3	SEWER CLEANOUT	N 581572.17 E 1316377.99	634.56	631.17	631.07	HO. CO. STD S-2.23
SCO-4	SEWER CLEANOUT	N 581567.76 E 1316357.67	634.90	631.00	630.50	HO. CO. STD S-2.23

**SEPTIC TRENCH SCHEDULE**

SYSTEM	TRENCH	EX. GROUND AT TRENCH	INVERT AT TRENCH	TRENCH BOTTOM	TRENCH LENGTH
INITIAL	EX				
			INSTALLED		

**SEWER PIPE SCHEDULE**

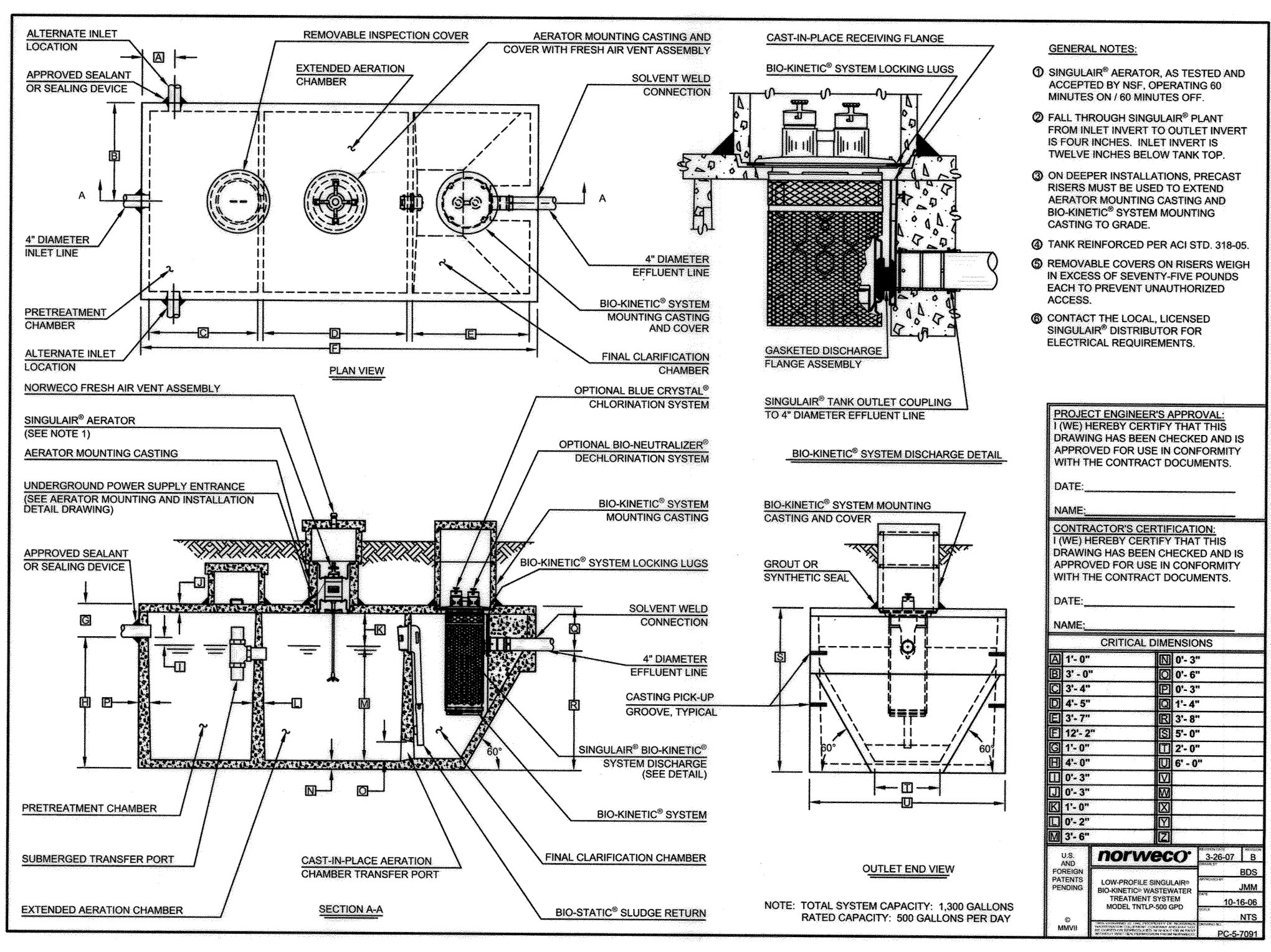
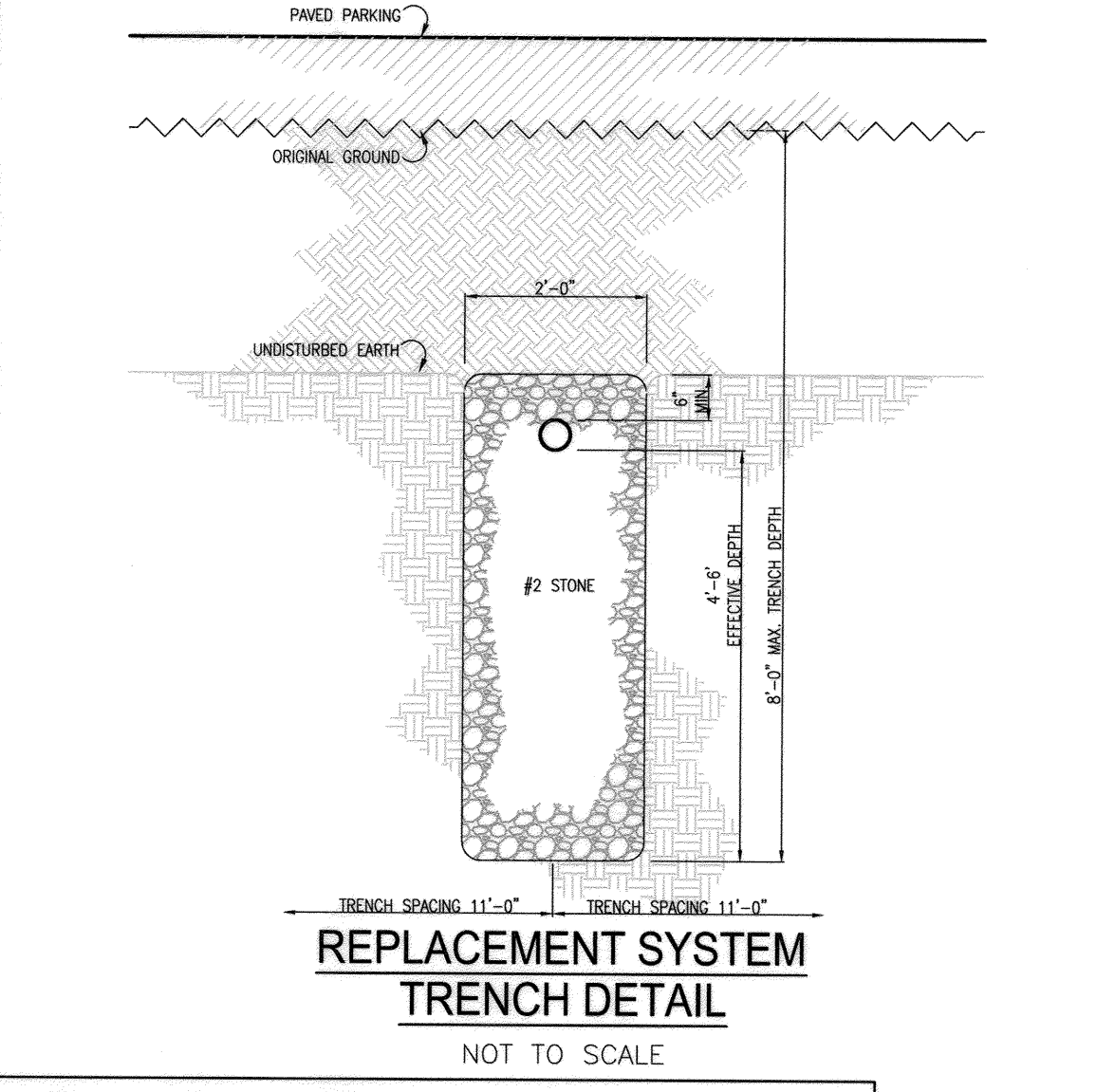
SIZE	TYPE	LENGTH
4"	PVC (SCH 40)	80 LF
4"	PVC PERF (TRENCH)	EXISTING

**STANDARD OBSERVATION PIPE**  
NOT TO SCALE

**PROFESSIONAL CERTIFICATES**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972, EXPIRATION DATE 11/20/20.

9/25/20



**APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS**

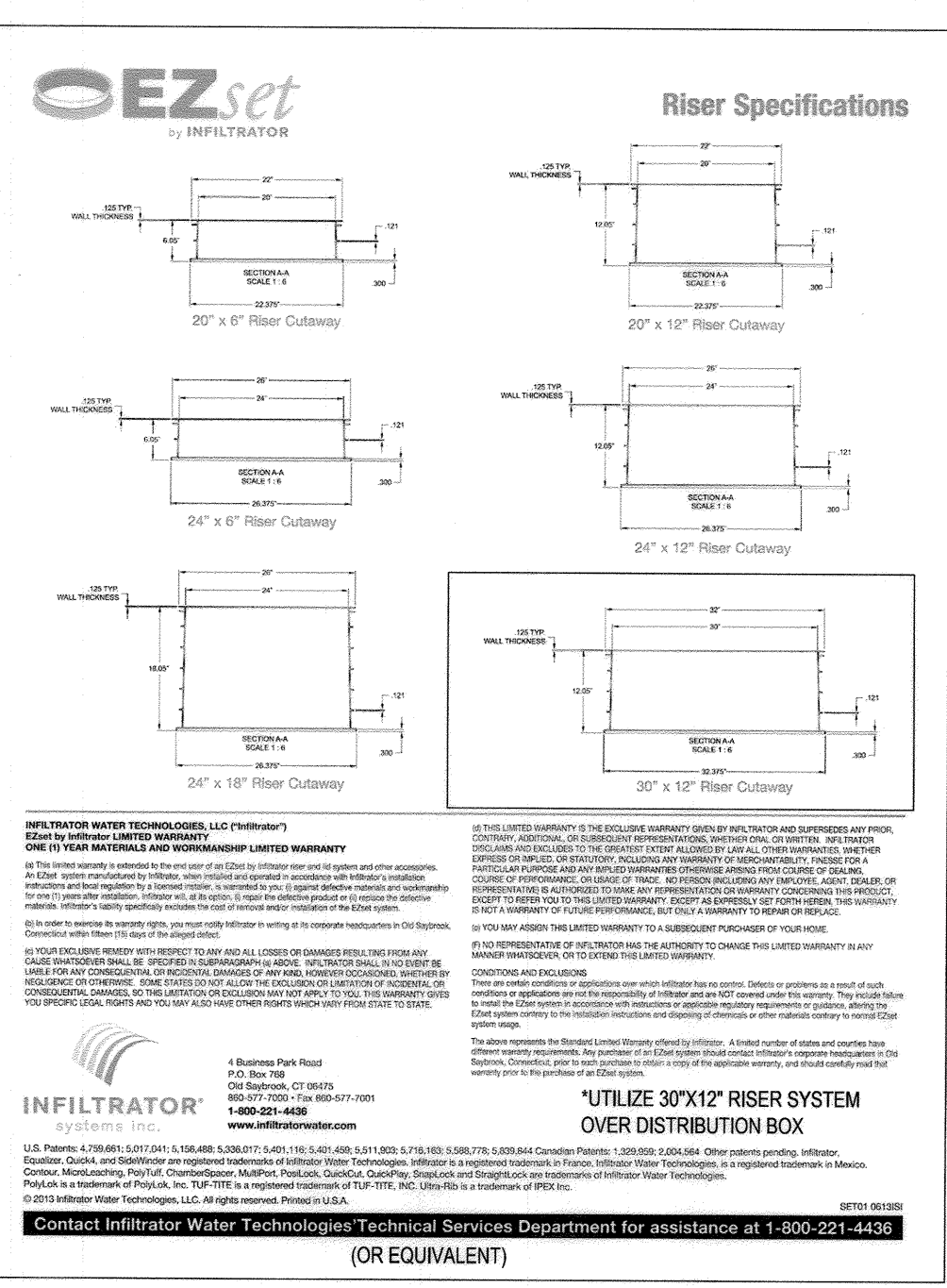
*Benita for Maria Rossman* 9/27/2019  
COUNTY HEALTH OFFICER  
HOWARD COUNTY HEALTH DEPARTMENT

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING**

*Paul Edm* 10-2-19  
CHIEF, DEVELOPMENT ENGINEERING DIVISION

*Kentia Leach* 10-25-19  
CHIEF, DIVISION OF LAND DEVELOPMENT

*Sharon* 3-13-2020  
DIRECTOR



**TRENCH CONSTRUCTION NOTES**

- TRENCHES SHALL BE EXCAVATED USING A BACKHOE, FRONT-END LOADERS OR BULLDOZERS SHOULD NOT BE USED FOR TRENCH EXCAVATIONS.
- EXCAVATED MATERIALS FROM THE TRENCHES SHALL BE PLACED AT A SUFFICIENT DISTANCE DOWNSTREAM OF THE TRENCHES TO AVOID MIXTURE OF SOLID BOX INTO THE TRENCH.
- WORK SHALL BE SCHEDULED SUCH THAT THE TRENCHES CAN BE COVERED IN ONE DAY TO PREVENT WIND-BLOWN OR WIND-DRIVEN SEEDS FROM ENTERING THE TRENCH. HEALTH DEPARTMENT TO BE NOTIFIED FOR INSPECTION PRIOR TO STONE PLACEMENT IN TRENCH.
- THE FIELD ENGINEER SHALL VERIFY THE CONSTRUCTED ELEVATIONS OF THE TRENCHES TO ENSURE A MINIMUM 4" COVER IS PROVIDED BELOW PRELIMINARY BASE GRADE.
- UPON COMPLETION OF THE TRENCH EXCAVATION AND PRIOR TO PLACEMENT OF PAVING, HEAVY CONSTRUCTION EQUIPMENT TRAFFIC SHALL BE PERMANENTLY INVERTED FROM THE TRENCHES AND ADJACENT AREA.
- PROVIDE OBSERVATION PIPE WITH TRAFFIC BEARING CAPS TO EXISTING TRENCHES.

**NOTE:** ANY PROPOSED MODIFICATIONS TO THE SEPTIC SYSTEM DETAILS WILL BE SUBMITTED TO THE HEALTH DEPARTMENT THROUGH THE PROJECT ENGINEER.

**NOTE: EXISTING (D) TRENCHES HAVE BEEN FIELD LOCATED AND OBSERVED BY HOWARD COUNTY HEALTH DEPT INSPECTOR ON 10/01/2020 TO VALIDATE THAT IT IS STILL IN SUFFICIENT CONDITION FOR CONTINUED USAGE.**

**REVISIONS**

NO.	REVISION	DATE
1	ADD DOOR LOCATION & SIDEWALK. REMOVE PUMP HOUSE & 2ND FLR.	3-17-21
2	REVISED SEPTIC TRENCH SYSTEM LAYOUT	10-02-20
3	ADD STORAGE AREA TO 2ND FLOOR SERVICE DOOR LOCATION	7-31-20

**SITE DEVELOPMENT PLAN**  
**SEPTIC SYSTEM PLAN, NOTES AND DETAILS**  
**GLENELG PLAZA**  
TEN OAKS AND TRIADDELPHIA ROADS  
RETAIL AND OFFICE

TAX MAP 22 GRID 14  
5TH ELECTION DISTRICT

PARCEL 203  
HOWARD COUNTY, MARYLAND

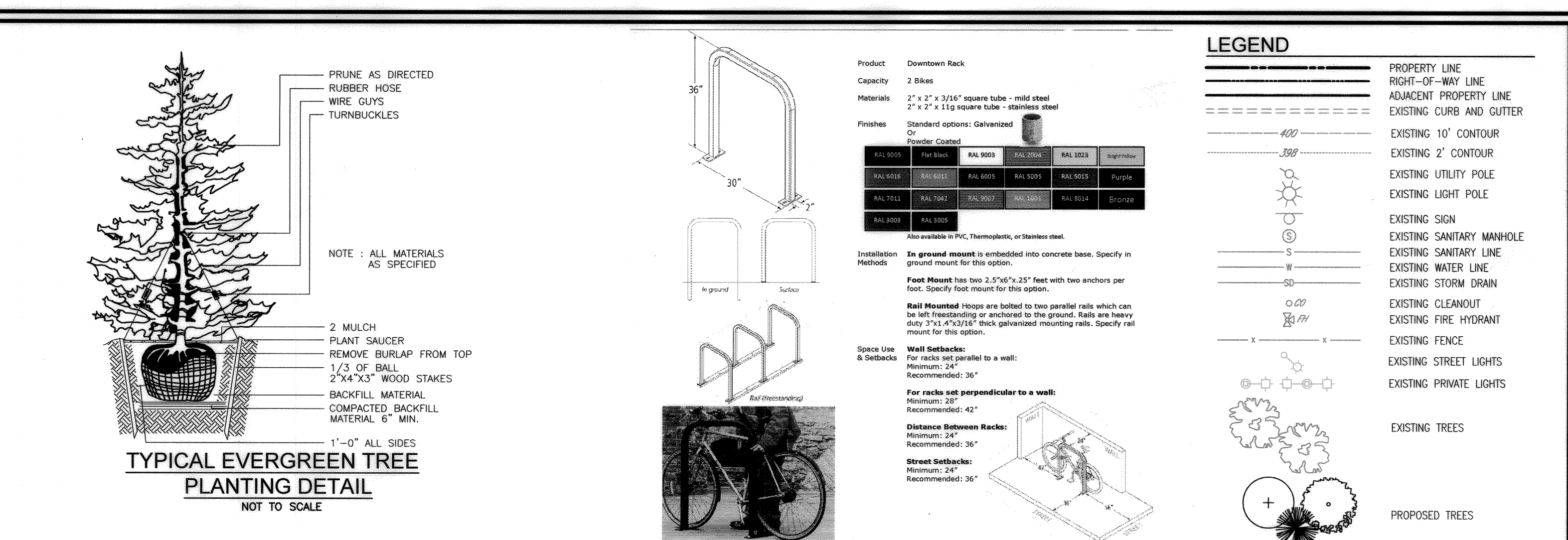
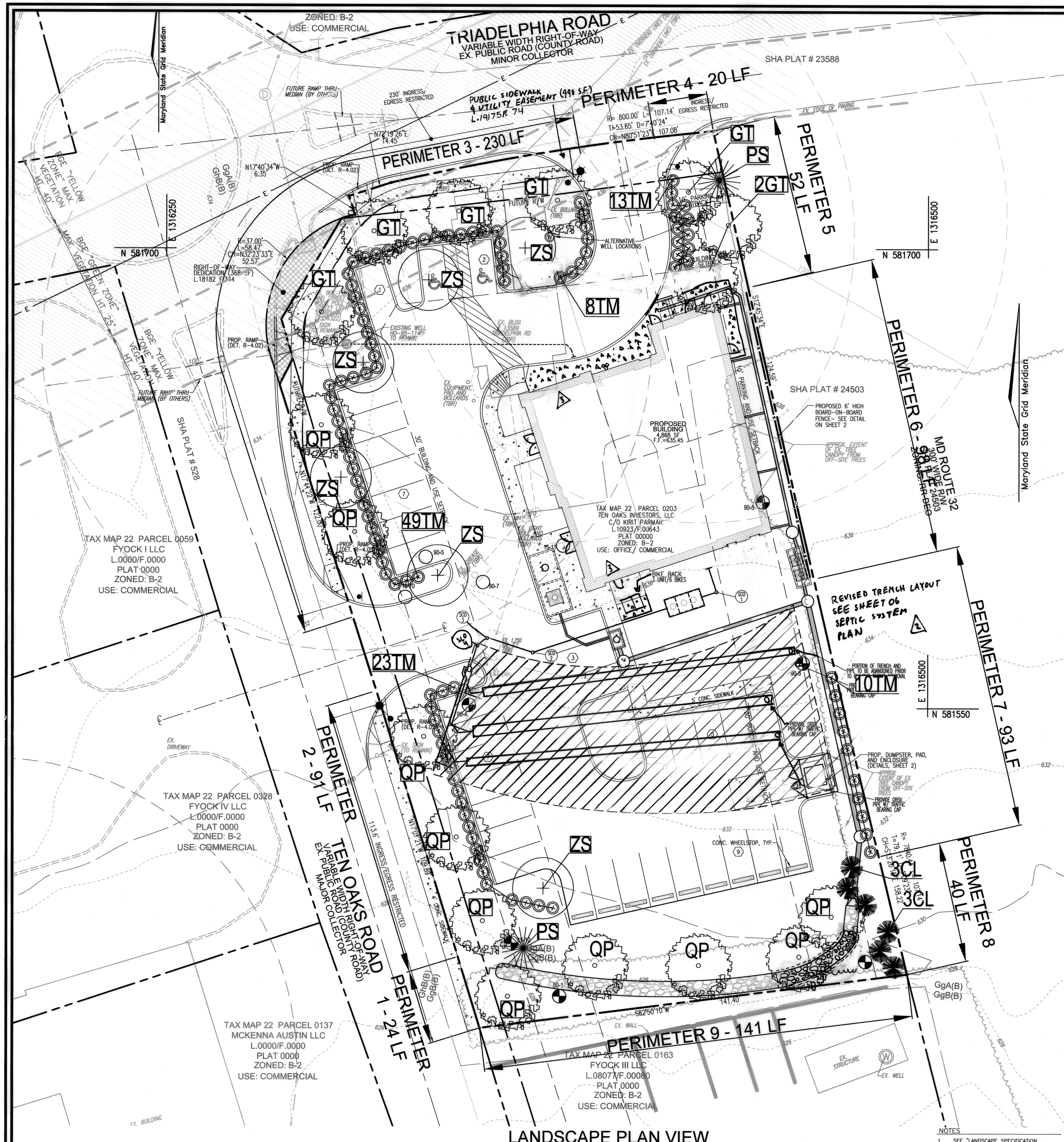
**ENGINEERS PLANNERS SCIENTISTS**  
**KCI TECHNOLOGIES**  
11830 WEST MARKET PLACE  
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TELEPHONE: (410) 792-8086  
FAX: (410) 792-7419

**OWNER / DEVELOPER**  
TEN OAKS INVESTORS LLC  
C/O KIRIT PARMAR  
12820 CLARKSVILLE PIKE  
CLARKSVILLE, MD 21029  
443-535-0600

**PROFESSIONAL CERTIFICATE**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972, EXPIRATION DATE 12/11/2019.

DESIGN BY: AI/MG  
DRAWN BY: AI/MG  
CHECKED BY: THM  
DATE: AUGUST 2019  
SCALE: AS SHOWN  
KCI NO.: 271903385

6 SHEET OF 7



KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
ZS	6	ZELCOVA SEROTINA VILLAGE GREEN	2 1/2"-3" CAL.	B & B
QP	10	QUERCUS PHellos	2 1/2"-3" CAL.	B & B
CL	6	CUPRESSOCYPRIS LEYLANDI	6"-8" HT.	B & B
PS	2	PINUS STROBUS EASTERN WHITE PINE	2 1/2"-3" CAL.	B & B
TM	104	TAXUS MEDIA 'DENSIFORMIS'	2 1/2"-3" HT.	B & B
GT	7	GLEDITSIA TRICANTHOS 'NERMIS IMPERIAL'	12" HGT. MIN.	B & B

**LANDSCAPE SCHEDULE NOTE:**

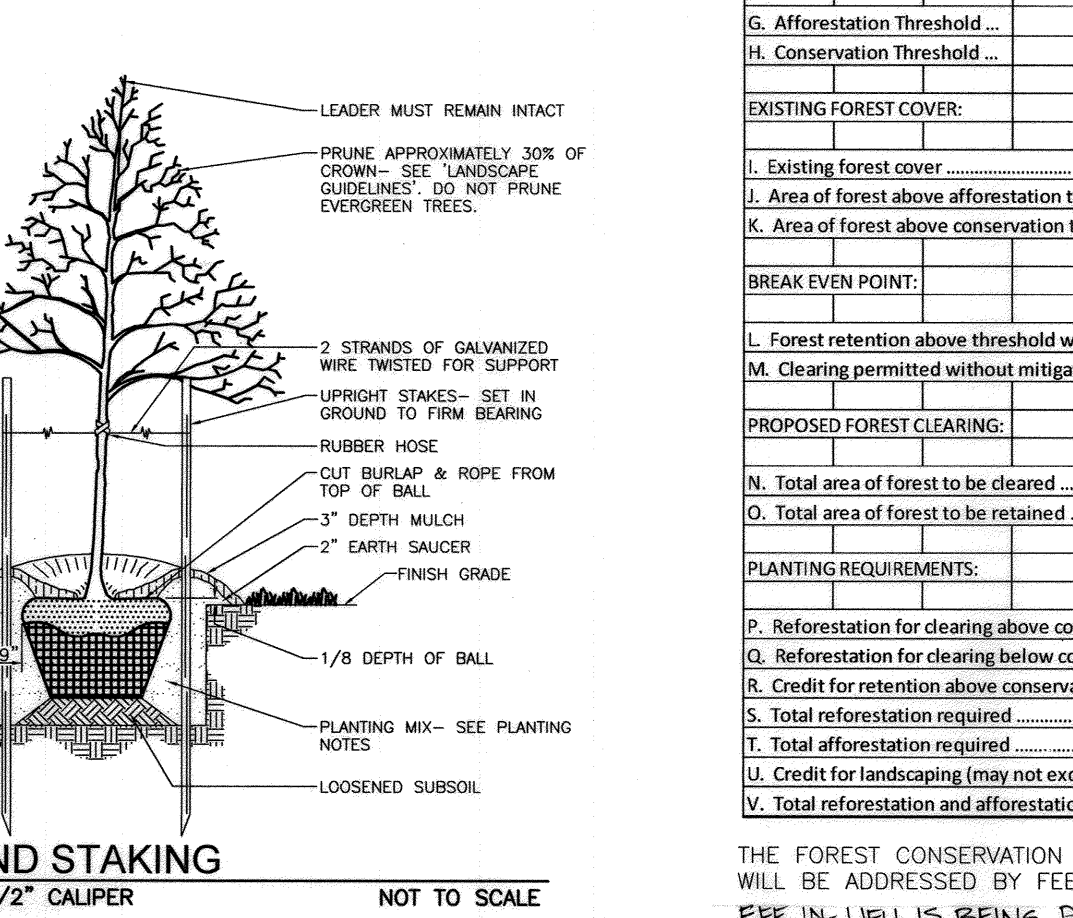
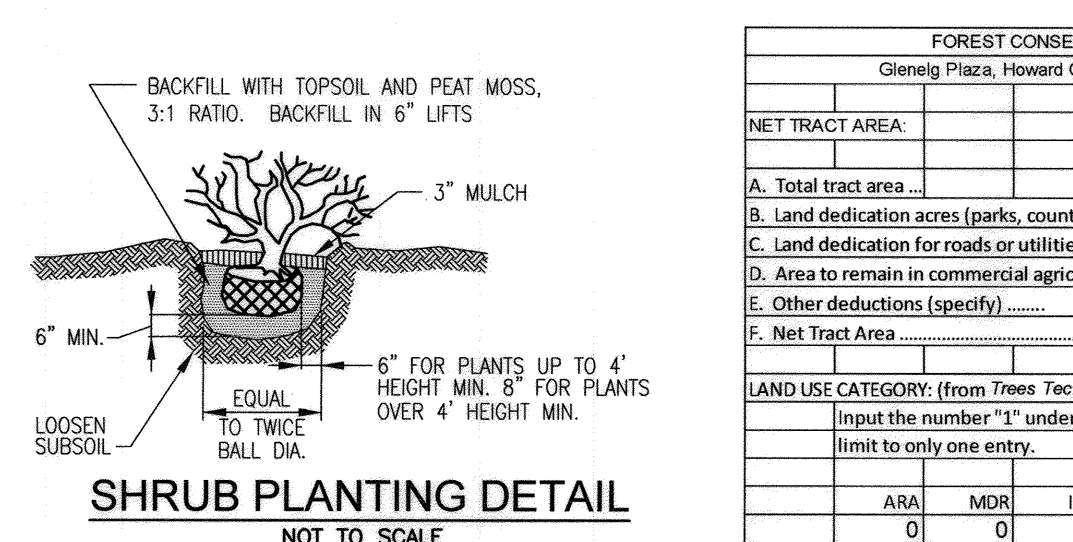
- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT ANI SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HED PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLANT DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

**LANDSCAPE NOTES:**

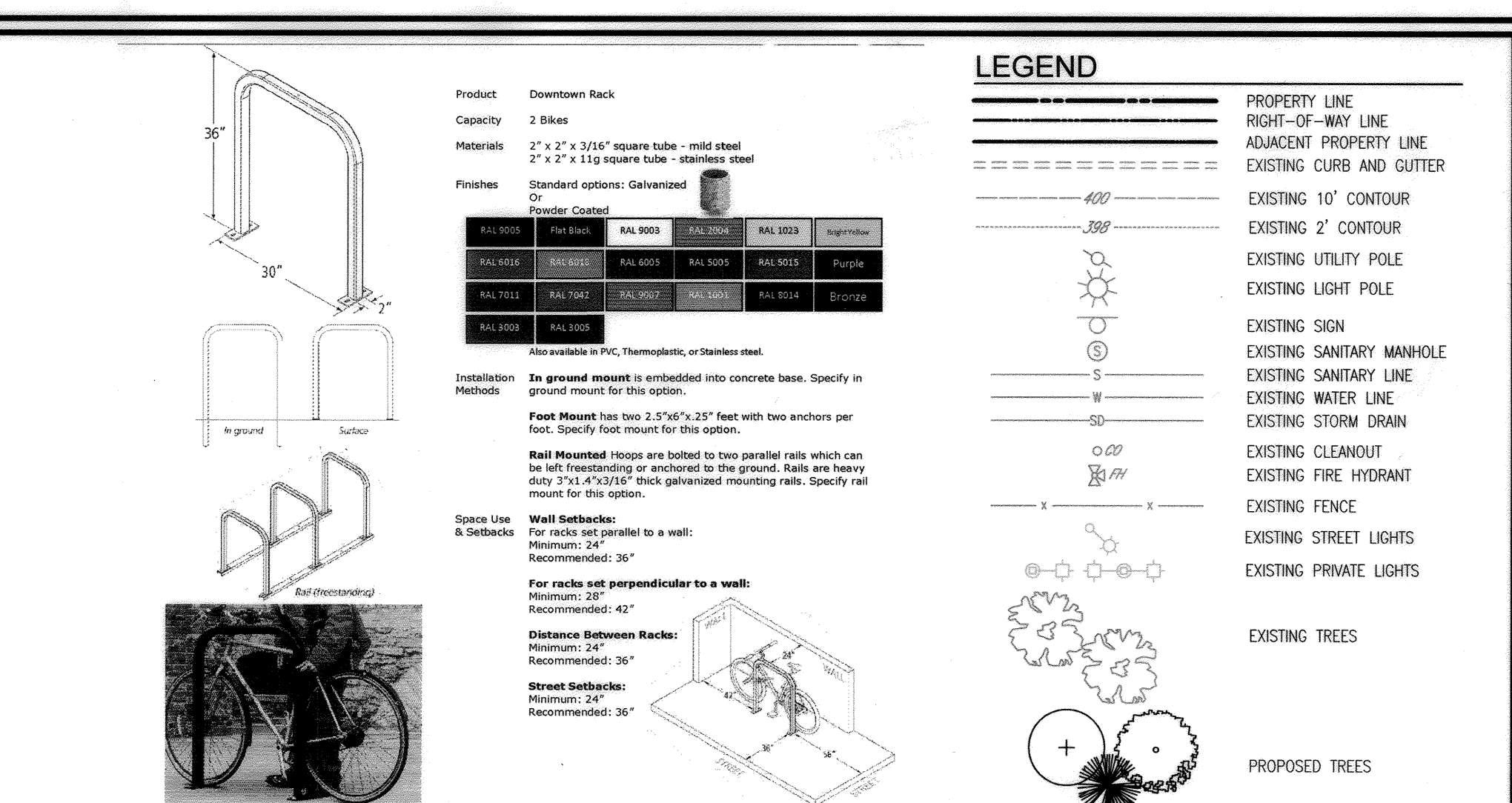
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIBER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
- PLANTINGS SHOWN HEREON ARE THE RESPONSIBILITY OF THE DEVELOPER TO INSTALL.

**GENERAL NOTES:**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER THE REQUIRED PARKING AND PERIMETER LANDSCAPING HAS BEEN BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$11,200 FOR THE REQUIRED 23 SHADE TREES, 8 EVERGREEN TREES, AND 104 SHRUBS.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND SETBACK AND BUFFER REGULATIONS. DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH LAND DEVELOPMENT AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AND GRADING PERMITS.
- THERE ARE NO BURIAL GROUNDS, CEMETERIES, OR HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
- NO LANDSCAPING TO BE INSTALLED WITHIN ANY PUBLIC EASEMENT FOR WATER, SEWER, OR STORMDRAIN.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- LANDSCAPING IS NOT PERMITTED WITHIN 7.5' ON EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR, UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4.



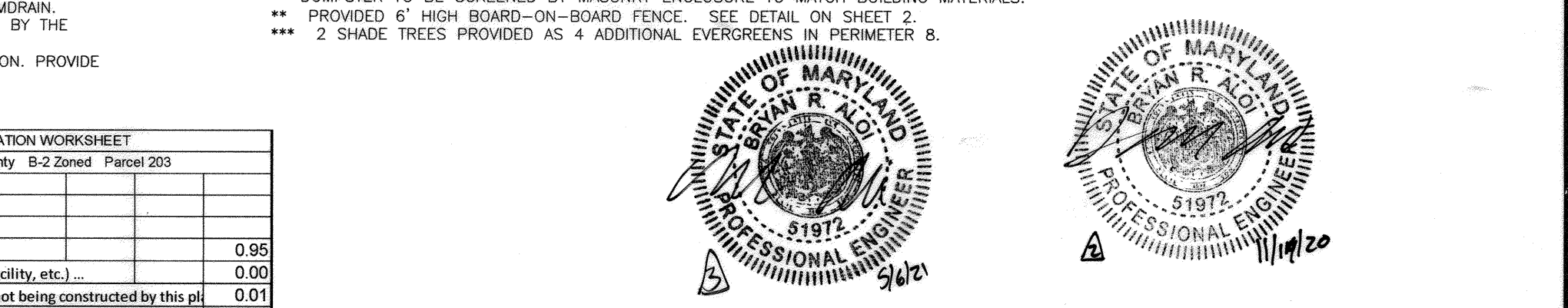
**TREE PLANTING AND STAKING**  
 DEODOUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE



NUMBER OF SPECIMEN TREES TO BE REMOVED	1
NUMBER OF TREES PROVIDED (2x TREES DEMO)	2
NUMBER OF TREES PROVIDED (SHADE TREES)	2
NUMBER OF TREES PROVIDED (SHRUBS (1:0.1 SUBSTITUTION))	-

NUMBER OF PROPOSED PARKING SPACES	34
NUMBER OF TREES REQUIRED (1/10 SPACES)	4
NUMBER OF TREES PROVIDED	-
SHADE TREES (2:1 SUBSTITUTION)	4
OTHER TREES (2:1 SUBSTITUTION)	-

CATEGORY	SCHEDULE 'A' PERIMETER LANDSCAPE EDGE										DUMPSITER		
	ADJACENT TO PERIMETER PROPERTIES												
PERIMETER/FRONTAGE DESIGNATION	1	2	3	4	5	6	7	8	9	10			
LANDSCAPE TYPE	B	E	E	B	E	C	E	C	A	D			
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	24'	91'	230'	20'	52'	98'	93'	40'	141'	42'			
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO	NO		
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	YES** 98'	NO	NO	NO	YES*			
NUMBER OF PLANTS REQUIRED	24*	91*	230*	20*	52*	98*	93*	40*	141*	0*	0*		
SHADE TREES	1:50	1:40	1:40	6	1:50	1	1:40	2	1:40	1:40	1:60	3	19
EVERGREEN TREES	1:40	1	1:20	0	1:40	1	1:20	0	1:20	2	1:20	0	4
SHRUBS	-	-	-	-	-	-	-	-	-	-	-	-	104
NUMBER OF PLANTS PROVIDED	1	3	6	1	2	-	0*	1	3	-	-	17	8
SHADE TREES	-	-	-	-	-	-	-	-	-	-	-	-	-
EVERGREEN TREES	-	-	-	-	-	-	-	-	-	-	-	-	-
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	-	-	-	-	-	-	-	-
SHRUBS (10:1 SUBSTITUTION)	-	23	58	-	13	-	10	-	-	-	-	-	-
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)													
* DUMPSITER TO BE SCREENED BY MASONRY ENCLOSURE TO MATCH BUILDING MATERIALS.													
** PROVIDED 6' HIGH BOARD-ON-BOARD FENCE. SEE DETAIL ON SHEET 2.													
*** 2 SHADE TREES PROVIDED AS 4 ADDITIONAL EVERGREENS IN PERIMETER 8.													



ADD OWNER LOCATION & SIDEWALK REMOVE POINT HOWE & 2ND FLR  
 REVISED SEPTIC TRENCH SYSTEM LAYOUT  
 NO. REVISION DATE

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 COUNTY HEALTH OFFICER  
 HOWARD COUNTY HEALTH DEPARTMENT  
 DATE: 9/27/2019

DEVELOPER'S/BUILDER'S CERTIFICATE  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 SIGNATURE OF DEVELOPER: [Signature] DATE: 8/20/19

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 10-25-19  
 DATE: 7-13-2026

**SITE DEVELOPMENT PLAN LANDSCAPE PLAN, NOTES AND DETAILS**  
**GLENELG PLAZA**  
 TEN OAKS AND TRIADDELPHIA ROADS  
 RETAIL AND OFFICE

TAX MAP 22 GRID 14 5TH ELECTION DISTRICT  
 PARCEL 203 HOWARD COUNTY, MARYLAND

ENGINEERS PLANNERS SCIENTISTS  
**KCI TECHNOLOGIES**  
 11830 WEST MARKET PLACE SUITE F  
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 12620 CLARKSVILLE PIKE  
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 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 51972, EXPIRATION DATE: 12/31/2019

DESIGN BY: AI/MG  
 DRAWN BY: AI/MG  
 CHECKED BY: THM  
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 SCALE: AS SHOWN  
 KCI NO.: 271903385

7 SHEET OF 7