

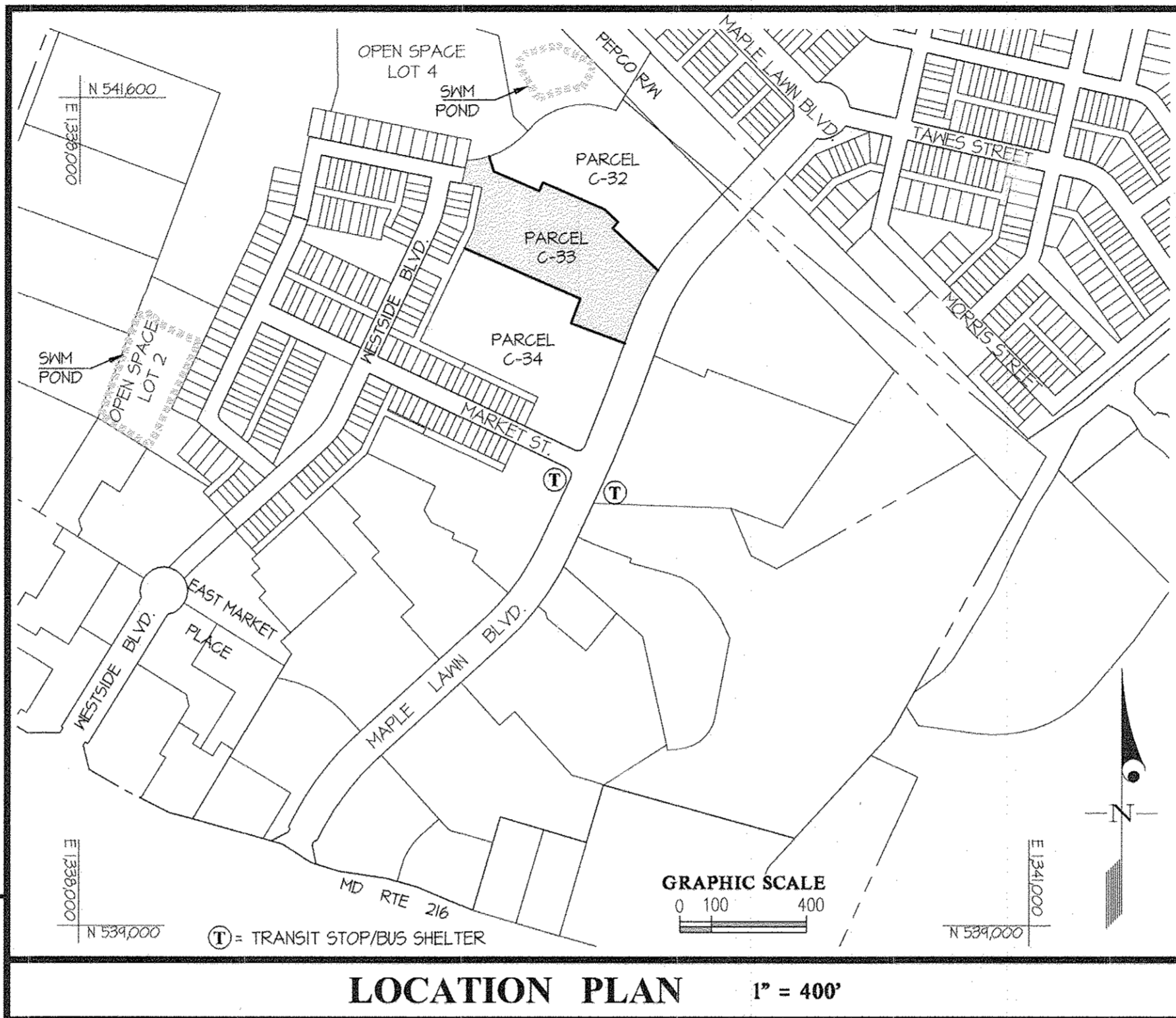
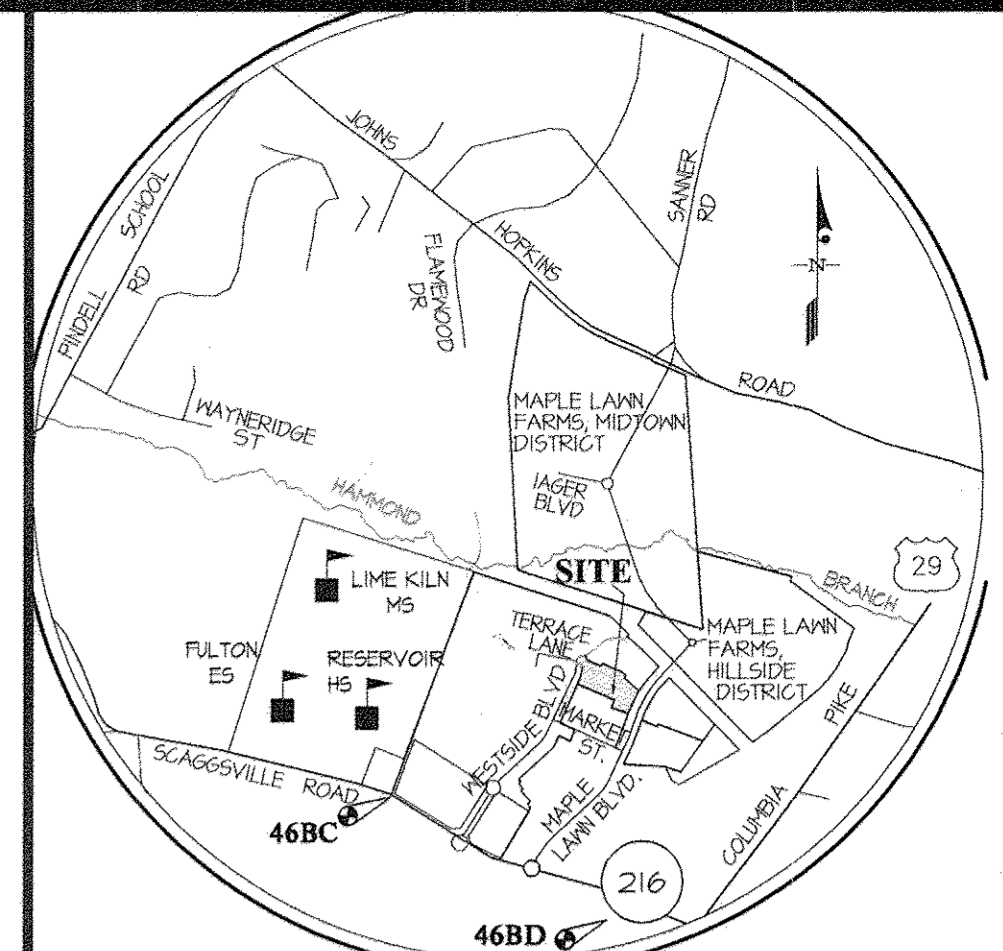
GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MIS UTILITY" AT 1-800-297-7111 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
4. PROJECT BACKGROUND: LOCATION: TAX MAP #46, GRIDS 3 & 4; ZONING: MXD-3; ELECTION DISTRICT: 5TH; PARCEL AREA: 3.91 AC; RECORDING REFERENCE: PLATS 23860 THRU 23862.
5. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4000 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
6. PROPOSED USE: OFFICE BUILDINGS WITH POSSIBLE FIRST FLOOR RETAIL/RESTAURANT.
7. ALL PLAN DIMENSIONS ARE TO FACE OF BUILDINGS UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
8. EXISTING TOPOGRAPHY IS SHOWN PER FIELD RAIN SURVEY PERFORMED BY GUTSCHICK, LITTLE & WEBER, P.A. IN APRIL 2015 AND UPDATED IN JULY 2015 AS WELL AS GRADES TAKEN FROM DESIGN PLANS FOR CONSTRUCTION.
9. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41EA AND NO. 46B2.
10. PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. COMP LITE DATED 07/20/06 AND PER ZB-495M WAS APPROVED 12/24/00 AND ZB-1039M WAS APPROVED ON 03/20/06 GRANTING APPROVAL TO PDF.
11. PREVIOUS DEPARTMENT OF PLANNING & ZONING FILE NUMBERS: S-01-11, ZB-495M, PB-363, S-06-16, ZB-1039M, WP-01-11(M), WP-02-054(M), WP-12-180, P-02-12, F-03-001, F-05-112, F-12-015, F-12-021, F-12-026, F-14-024, F-15-029, F-16-094, SDF-03-006, SDF-12-054, SDF-13-010, SDF-14-001, SDF-14-016, AND SDF-16-011.
12. WATER AND SEWER SERVICE IS PUBLIC. THE WATER METER SETTING WILL BE INSIDE THE BUILDING.
13. ALL EXISTING WATER AND SEWER IS PER CONTRACT #24-4271-D AND 44-4850-D.
14. ALL EXISTING PUBLIC STORM DRAIN IS PER F-05-112 AND SDF-16-011.
15. STORMWATER MANAGEMENT FOR QUALITY AND QUANTITY CONTROL IS BEING PROVIDED IN EXISTING FACILITIES. THE FIRST FACILITY IS LOCATED ON BUSINESS DISTRICT - OPEN SPACE LOT 3 AND HAS CONSTRUCTION UNDER F-05-112. THE OTHER IS LOCATED ON WESTSIDE DISTRICT, PARCEL C-32 AND WAS CONSTRUCTED UNDER F-05-112. PARCELS C-32, C-33, C-34, AND C-35 ARE SHOWN ON MAP 46B2 AND 46B3.
16. EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
17. THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
18. THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
19. THERE IS NO FLOODPLAIN ON THIS SITE.
20. THERE ARE NO WETLANDS ON THIS SITE.
21. THIS PROPERTY WAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
22. BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER FB CASE NO. 353, S-01-11, PB-370 AND S-06-16.
23. AS A CONSEQUENCE OF THE SKETCH PLAN, S-01-11 APPROVAL PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
24. PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-495M AND THE DECISION AND ORDER FOR FB CASE NO. 353 (S-01-11).
25. THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN S-01-11.
26. WATER AND SEWER CONNECTION LINES SHOWN ON THESE PLANS IS FROM THE ROAD R/W OR LIMIT OF PUBLIC EASEMENT TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER OF CONSTRUCTION.
27. BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
28. BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM IN AN INSIDE METER.
29. THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL CENTER.
30. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 10 SHADE TREES, AND 14 SHRUBS, A LANDSCAPE SURETY IN THE AMOUNT OF \$80,000.00 WILL BE POSTED WITH THE GRADING PERMIT.
31. THE SHARED ACCESS AND PARKING REQUIREMENT FOR PARCEL 'C-33' AND THE ADJACENT (FUTURE) PARCELS IS COVERED BY SECTION 16.124. ACCESS AND PARKING EASEMENT IN AMENDED AND REVISED DECLARATION OF COVENANTS, CONDITION AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC. AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 14H AT FOLIO 230.

GENERAL NOTES (cont.)

- 32. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 184 OF THE HOWARD COUNTY ZONING REGULATIONS.
33. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.102 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION MANUAL, FOR THIS PROJECT HAS BEEN SATISFIED BY P 12-002, F-19-01, AND F-19-08.
34. THE BUILDING IS REQUIRED TO MEET THE GREEN BUILDING STANDARDS AND WILL COMPLY WITH THE GREEN BUILDING REQUIREMENTS PER SECTION 3.1002(A) OF THE HOWARD COUNTY CODE.
35. THE INFORMATION SHOWN ON THIS PLAN SET SUPERCEDES INFORMATION SHOWN ON F-05-112. THE F-05-112 PLAN SET ACKNOWLEDGED THAT THE IMPROVEMENTS ALONG MAPLE LAWN BOULEVARD FROM THE BACK OF CURB TO THE RIGHT-OF-WAY LINE WOULD BE CONSTRUCTED UNDER THE SITE DEVELOPMENT PLAN ALONG THAT SECTION OF THE ROADWAY.
36. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
37. HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATION ASSOCIATED WITH THIS PLAN. PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS PLAN WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT MAY HAVE EQUIPMENT THAT EMITS RADIATION.
38. STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER MANAGEMENT DESIGN MANUAL, VOLUMES I AND II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MDE STORMWATER MANAGEMENT REGULATIONS, GUIDANCE FOR IMPLEMENTATION AND ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND THROUGH THE ADMINISTRATIVE WAIVER PROCESS, WAS GRANTED A WAIVER. THIS PLAN RECEIVED COMPREHENSIVE SKETCH PLAN APPROVAL (S-06-16) ON JANUARY 25, 2007. THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THIS WAIVER UNLESS ALL OF THE STORMWATER MANAGEMENT IS CONSTRUCTED BY MAY 4, 2017.
39. THE FOLLOWING ARE LEED REQUIRED ITEMS:
i) REGISTRATION WITH THE GREEN BUILDING COUNCIL AND THAT THE APPLICABLE REGISTRATION FEE HAS BEEN PAID; AND
ii) THE APPROPRIATE DATE OF THE RECEIPT AND CHECKLIST THAT IS PREPARED, SIGNED AND DATED BY THE LEED ACCREDITED PROFESSIONAL.
40. THE PLANNING BOARD APPROVED THIS SITE DEVELOPMENT PLAN ON JULY 7, 2016 WITH NO CONDITIONS.
41. THE ROOF TOWER IS TO BE UTILIZED FOR STORAGE AND MECHANICAL EQUIPMENT ONLY. THE ROOF TOWER DOES NOT COUNT TOWARDS THE F.A.R. OR PARKING REQUIREMENTS. HOWEVER, IF ANY PORTION OF THE ROOF TOWER IS CONVERTED TO OFFICE, THEN THE F.A.R. AND PARKING TOLERANCES SHALL BE REVISED ON A FUTURE REDLINE ACCORDINGLY.

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
Business District - Area 2
Parcel 'C-33' (OFFICE BUILDING No. 9)



SITE ANALYSIS DATA

- 1. ZONING: MXD-3.
2. GROSS AREA OF PARCEL C-33 = 172,426 SF = 3.91 AC.
3. LIMIT OF DISTURBED AREA = 0.0 AC. (LIMIT OF PLAN SUBMISSION)
4. PROPOSED USE: OFFICE BUILDING (OTHER USES MAY INCLUDE: FIRST FLOOR RETAIL, RESTAURANTS, PERSONAL SERVICE ESTABLISHMENTS, AND OTHER USES AS ALLOWED BY THE COMPREHENSIVE SKETCH PLAN)
5. BUILDING COVERAGE (% OF GROSS SITE AREA): OFFICE BUILDING-1: 25,624 S.F. OR 0.54 AC. = 14.8% OF PARCEL C-33 (3.91 AC)
6. FLOOR AREA RATIO (F.A.R.) CALCULATIONS:

Table with 2 columns: FLOOR, BLDG. #1 (C-33). Rows include Floor 1 (25,624 S.F.), Floor 2 (25,624 S.F.), Floors 3 and 4 (25,546 S.F.), Roof Tower (None), Total Gross Floor Area (102,264 S.F. (2.35 ac)), Parcel Area (3.91 ac), F.A.R. (0.54).

PARKING CALCULATIONS

Table with 5 columns: FLOOR, RENTABLE FLOOR AREA (1), ASSUMED USE (2), PARKING RATE, PARKING REQUIRED. Rows include First Floor (25,624 S.F., Non-Office, 5.0 per 1000 S.F., 16), Second Floor (22,943 S.F., General Office, 3.3 per 1000 S.F., 16), Third Floor (22,943 S.F., General Office, 3.3 per 1000 S.F., 16), Fourth Floor (22,943 S.F., General Office, 3.3 per 1000 S.F., 16), Roof Tower (N/A, N/A, N/A, N/A). Total Parking Required: 344. Parking Provided: 346 Spaces.

- (1) AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS' ASSOCIATION) GUIDELINES.
(2) NON-OFFICE HAS BEEN SHOWN AS THE ASSIGNED USE FOR ILLUSTRATIVE PURPOSES ONLY. THE 5 SPACES PER 1000 S.F. COVERS ALL NON-OFFICE USES WITHIN THE OFFICE BUILDING THAT ARE PERMITTED ON THE FIRST FLOOR INCLUDING RETAIL, RESTAURANTS, AND PERSONAL SERVICE ESTABLISHMENTS, AND MEDICAL OFFICES. WE HAVE PROVIDED THE PARKING TABULATION FOR THE MOST DEMANDING USE TO DEMONSTRATE THAT THE PARKING PROVIDED WILL BE ADEQUATE FOR ANY ANTICIPATED USES, INCLUDING GENERAL OFFICE.
(3) THE ROOF TOWER IS NOT BEING COUNTED TOWARDS THE F.A.R. OR THE PARKING REQUIREMENTS.
(4) THE 146 SURPLUS PARKING SPACES FROM THESE PARKING CALCULATIONS ARE TO BE APPLIED TO THE PARKING REQUIREMENTS FOR OFFICE BUILDINGS 10 ON PARCEL C-32, SDF 16-011.

SITE INDEX

- 1 COVER SHEET
2 SITE DEVELOPMENT PLAN
3 HANDICAP ACCESSIBILITY AND SITE DETAILS
4 PAVING DELINEATION PLAN AND SITE DETAILS
5 DRAINAGE AREA MAP AND DETAILS
6 SEDIMENT CONTROL PLAN
7 SEDIMENT CONTROL NOTES AND DETAILS
8 UTILITY PROFILES
9 LANDSCAPE PLAN (BY OTHERS)
10 LANDSCAPE PLAN DETAILS (BY OTHERS)

WP-02-54

VEHICULAR INGRESS AND EGRESS TO MARYLAND ROUTE 216 AND ALONG PROPOSED MAPLE LAWN BOULEVARD EXTENSION THROUGH THE SUBDIVISION IS RESTRICTED EXCEPT AT THE VARIOUS POINTS OF ACCESS TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF WP-01-11(M), WHICH WAS GRANTED ON MAY 2, 2001, ALLOWING THE FOLLOWING:

- A. ADDITIONAL POINTS ALONG MAPLE LAWN BOULEVARD OTHER THAN THOSE PERMITTED BY SECTION 16.102(I), SUBJECT TO FURTHER ANALYSIS AND APPROVALS AT LATER PLAN STAGES, AND
B. RESIDENTIAL LOTS FRONT ON NEIGHBORHOOD PARKS INSTEAD OF BEING LIMITED TO FRONTAGE ON PUBLIC RIGHTS OF WAY AS IN SECTION 16.102(G)(2), SUBJECT TO ADEQUATE PRIVATE ALLEY ACCESS.

WP-02-54

NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOOD PLAIN AREAS EXCEPT AS PERMITTED UNDER WP-02-54. WP-02-54 WAS GRANTED ON APRIL 2, 2002, ALLOWING THE FOLLOWING:

- 1. DEVELOPMENT WITHIN A 100 YEAR FLOODPLAIN, AND
2. GRADING AND REMOVAL OF VEGETATIVE COVER WITHIN A 25' WETLAND BUFFER AND A 50' STREAM BUFFER.
THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE WAIVER PETITION APPROVAL PERTAINS TO THE LIMITS OF DISTURBANCE TO THE WETLANDS, STREAM CHANNEL, AND FLOODPLAIN AREAS IDENTIFIED WITHIN THE PROPOSED EMPLOYMENT DISTRICT LOCATED IN THE SOUTHWEST PORTION OF PARCEL C-22.
2. MDE WATERWAY CONSTRUCTION APPROVAL IS REQUIRED PRIOR TO ROAD PLAN APPROVAL.
3. ALL GRADING, CLEARING AND FILLING DISTURBANCES WITHIN THE 100 YEAR FLOODPLAIN, WETLANDS, STREAM CHANNEL AND THEIR REQUIRED BUFFERS ARE SUBJECT TO OBTAINING ALL NECESSARY WATER QUALITY CERTIFICATES AND PERMITS FROM THE MARYLAND DEPARTMENTS OF THE ENVIRONMENT, NATURAL RESOURCES AND THE U.S. ARMY CORPS OF ENGINEERS, AND PRIOR TO COMMENCEMENT OF ANY GRADING DISTURBANCES. REFER TO THE APPROVED PERMITS, CERTIFICATES OR TRACKING NUMBERS ON ALL FUTURE PLAN AND PERMIT SUBMITTALS.
4. THE PHASE 1 STREAM CHANNEL MITIGATION AND RESTORATION PLAN SHALL BE IMPLEMENTED FOR THIS PROJECT AS PROPOSED AND SHOWN ON THE PETITIONER'S WAIVER PETITION PLAN EXHIBIT "E".

WP-01-122

WAS APPROVED ON JUNE 19, 2007 TO HAVE SECTION 16.146 AND TO ALLOW FOR THE RECONFIGURATION OF EXISTING COMMERCIAL PARCELS (ONE OF WHICH IS THIS PARCEL C-18) EXPANDING INTO A PORTION OF THE WESTSIDE DISTRICT (FORMERLY WESSEL PROPERTY) ON A RESUBDIVISION PLAT PRIOR TO PRELIMINARY PLAN APPROVAL.

WP-12-180

WAS APPROVED ON JULY 3, 2012 TO WAIVE SECTIONS 16.146(A) & 16.144(I), WHICH REQUIRES A SKETCH PLAN AND PRELIMINARY PLAN APPROVAL AS PART OF THE SUBDIVISION PROCESS. THE APPROVAL WAS GRANTED BASED ON THE FOLLOWING:

- 1. NO PUBLIC INFRASTRUCTURE IS REQUIRED AS PART OF THE DEVELOPMENT.
2. STORMWATER MANAGEMENT FOR THIS DEVELOPMENT IS PRIVATE AND HAS ALREADY BEEN CONSTRUCTED.

COMMERCIAL DEVELOPMENT DESIGN CRITERIA PER S-06-16

PARCEL SIZE: NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.
HEIGHT: MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS ALLOWED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:
• COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND MAPLE LAWN BOULEVARD SHALL NOT EXCEED THREE STORIES.
• COMMERCIAL BUILDINGS EAST OF MAPLE LAWN BOULEVARD AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
• COMMERCIAL BUILDINGS IN THE BUSINESS DISTRICT BEYOND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES.
• COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED TWO STORIES.
• COMMERCIAL BUILDINGS IN THE WESTSIDE DISTRICT BEYOND 300 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
• ABOVE THE HIGHEST ADJOINING GRADE.
PERMITTED USES: THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:
EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE POR, B-1 AND M-1 DISTRICTS, AS PER PETITIONER'S PDF EXHIBIT 7B, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS: FAST FOOD, CONVENIENCE STORES, COUNTRY STORES AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SKILLED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.
THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE POR, B-1 AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS AMENDED COMPREHENSIVE SKETCH PLAN PROVIDED, HOWEVER, THAT QUEUES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:
• PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
• THEATERS, LEGITIMATE AND DINER THEATERS, MOVIE
• PUBLIC UTILITY USES, LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMERCIAL COMMUNICATIONS TOWERS.
THE FOLLOWING USE RESTRICTIONS ALSO APPLY:
• NO MORE THAN 10% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
• CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED.
• A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
NO SINGLE RETAIL CENTER SHALL CONTAIN MORE THAN 150,000 SQUARE FEET OF GROSS FLOOR AREA DESIGNATED FOR USE BY RETAIL AND PERSONAL SERVICES. DESIGNATED RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 150,000 SQUARE FEET PER GROSS ACRE. NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE MXD-3 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.
SECTION 128.6 SHALL APPLY TO EMPLOYMENT LAND USE AREAS.
COVERAGE: NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.
FLOOR AREA RATIO (F.A.R.): OVERALL LIMIT IS 0.95 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.
SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS"): THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
• 50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216
• 10' FROM THE RIGHT-OF-WAY OF MAPLE LAWN BOULEVARD
• 10' SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BOULEVARD AS NOTED ABOVE.
• 10' FROM ANY OTHER PROPERTY LINE

APPROVED: FOR PUBLIC WATER AND SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Signature and date for Health Department approval: 9/1/16

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: 07/07/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Signatures and dates for Planning & Zoning approval: 9-1-16, 9/01/16, 8-19-16

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

PREPARED FOR: OWNER: MAPLE LAWN C.C. STATUTORY TRUST... DEVELOPER: ST. JOHN PROPERTIES... PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND...

COVER SHEET MAPLE LAWN FARMS Business District - Area 2 Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building) (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service) PLAT No. 23860 THRU 23862

RETAIL and SERVICE TRACKING CHART. Table with 2 columns: FILE No., AREA OF RETAIL (S.F.). Rows include SDP-04-096 (10,941), SDP-05-008 (9,312), SDP-05-036 (0), SDP-05-047 (0), SDP-06-067 (0), SDP-06-148 (0), SDP-07-002 (14,918), \*SDP-08-056 (49,815), \*SDP-08-058 (0), \*SDP-08-114 (37,318), SDP-09-060 (0), SDP-10-002 (0), SDP-10-067 (25,072), SDP-12-059 (0), SDP-14-007 (0), SDP-16-011 (0), SDP-16-007 (0), SDP-16-048 (0). TOTAL: 147,376.

A TOTAL OF 152,370 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH S-01-11, OR A TOTAL OF 100,590 S.F. OF RETAIL UNDER S-06-16.

FLOOR AREA RATIO (F.A.R.) TRACKING CHART

Table with 5 columns: DPZ File Numbers, MLF District, Parcel Area (ac./s.f.), Gross Floor Area (s.f.), F.A.R. Rows include SDP-04-44 (Office Bldg-1), SDP-04-96 (Retail Bldg-1 and Bank), SDP-05-08 (Retail Bldg-2 and Gas Station), SDP-05-36 (Office Bldg-2, Par. C-24), SDP-05-47 (Office Bldg-3, Par. C-21 and Bank, Par. C-22), SDP-06-67 (Office Bldg-4, Par. C-23), SDP-06-148 (Medical and 3 Office Buildings), SDP-07-02 (Bank, School, Retail & Restaurant), SDP-08-58 (Harris Teeter Grocery Store, Par. B6), SDP-08-058 (Bank, Parcel B-11), SDP-08-114 (Parcels B-7 thru B-10 and B-22 & B-26), SDP-09-060 (Parcels B-12 thru B-17), SDP-10-007 (Office Bldg-2A, Par. C-25), SDP-10-067 (Parcels B-18 thru B-21), SDP-12-059 (Office Bldg-6, Parcel C-28), SDP-14-007 (Office Bldg-8, Parcel C-29), SDP-16-011 (Building 10, Parcel C-32), SDP-16-048 (Building 9, Parcel C-33) - THIS SDP. SUB-TOTAL: 97.47, 4,245,738, 1,512,000, 0.35. Road R/W (Employment): 13.60, 592,416, 0, 0.00. TOTAL REMAINING EMPLOYMENT AREA (acres): 10.93. TOTAL AREA TO BE RECORDED AS EMPLOYMENT (acres): 122.00, 5,314,320, 1,860,012, 0.35.

ADDRESS and PERMIT INFORMATION CHART

Table with 4 columns: BUILDING ADDRESS, SECTION/AREA, PARCELS, PLAT No. Rows include 8120 MAPLE LAWN BOULEVARD (Building No. 9), BUSINESS DISTRICT-area 2, C-33, 23860 THRU 23862, MXD-3, 46 3 & 4, 5, 609/02.

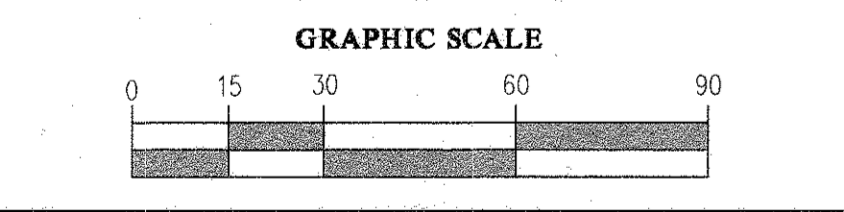
Table with 4 columns: SCALE, ZONING, G. L. W. FILE No., SHEET. Rows include AS SHOWN, MXD-3, 15119, DATE: JULY, 2016, TAX MAP - GRID: 46: 3&4, SHEET: 1 OF 10.



**SITE DEVELOPMENT LEGEND**

- 366 --- EXISTING CONTOUR
- 300 --- PROPOSED CONTOUR
- 69.1 PROPOSED SPOT ELEVATION
- XXXXX EXISTING SPOT ELEVATION
- MEX MATCH EXISTING
- LIMIT OF DISTURBANCE
- E.O.P. PROPOSED EDGE OF PAVING
- EX-M EXISTING STORM DRAIN
- EX-M-1 EXISTING MANHOLE
- EX-ES EXISTING END SECTION
- PROPOSED STORM DRAIN
- M - MANHOLE
- I - INLET
- S - STUB
- EX-S/S EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER (PRIVATE)
- EX-D/M WATERLINE (PUBLIC)
- MHC (PRIVATE)
- EXISTING FIRE HYDRANT
- NEX FIRE HYDRANT
- EXISTING CURB & GUTTER
- CONCRETE CURB & GUTTER (DET. 1/5)
- FACE OF CURB
- P.T.C. BACK OF CURB
- SPILL (REVERSE) 6/46 PORTION
- CONCRETE SIDEWALK PER NO. CO. DET. R-3/05
- EASEMENT AREA (SHADED)
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING DESIGNATION
- EX LIGHT FIXTURE & POLE
- PROP. LIGHT FIXTURES & POLE
- REFUSE DUMPSTER
- ELECTRICAL TRANSFORMER
- BUILDING INGRESS/EGRESS
- SOIL BORING LOCATION AND No.
- TELEPHONE LINE
- ELECTRIC LINE
- GAS LINE
- TREE PIT
- EXISTING TREE

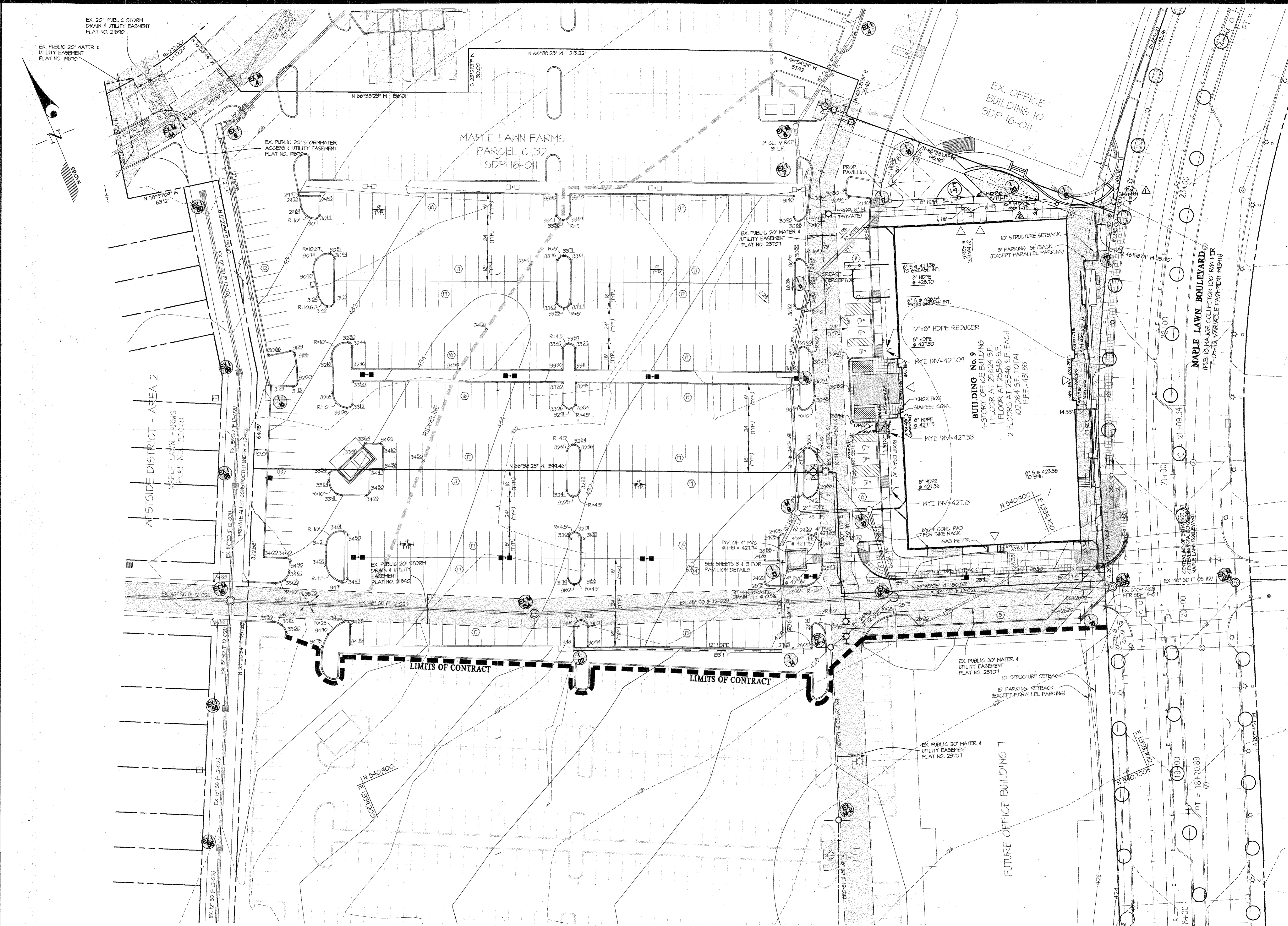
- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE POINTS, CORNERS AND TERMINUSES.
  2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
  3. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 87% AND FIRE HYDRANTS THAT ARE WITHIN THE PUBLIC WATER & UTILITY EASEMENT. ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE PUBLIC SEWER & UTILITY EASEMENT.
  4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE OPEN CONTRACT NO. 44-4950-D AND 24-1466-S.
  5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BLDG., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
  6. ALL CURB RADI ARE 3' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
  7. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING.
  8. SEE SHEET 3 FOR THE ADA COMPLIANT ACCESS ROUTE AND SHEET 4 FOR HANDICAP ACCESSIBILITY DETAILS.
  9. A KNOX BOX IS REQUIRED TO BE PLACED ON THE PARKING LOT SIDE OF THE BUILDING. IT SHALL BE PLACED TO THE LEFT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6" LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED.
  10. SEE SHEET 4 FOR LIGHTING FIXTURE SCHEDULE AND SHEET 6 FOR LIGHT DETAIL.
  11. SEE SHEET 3 FOR DETAIL AROUND OFFICE BUILDING 9.
  12. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY OR PARTIALLY SHIELDED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 DATE 07/07/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*William J. ...* 7-1-16  
 Director Date  
*Kurt Schum* 9-01-16  
 Chief, Division of Land Development Date  
*Chad ...* 8-11-16  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL BLVD., SUITE 250 - BERTHLEMSVILLE OFFICE PARK  
 BURTONTOWNE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC: 301-989-2524 FAX: 301-421-4186



10-16	Revised Plans	BY	LAG	APPR.	LAG
02-11	Revised Private Sewer	BY	LAG	APPR.	LAG
DATE	REVISION				

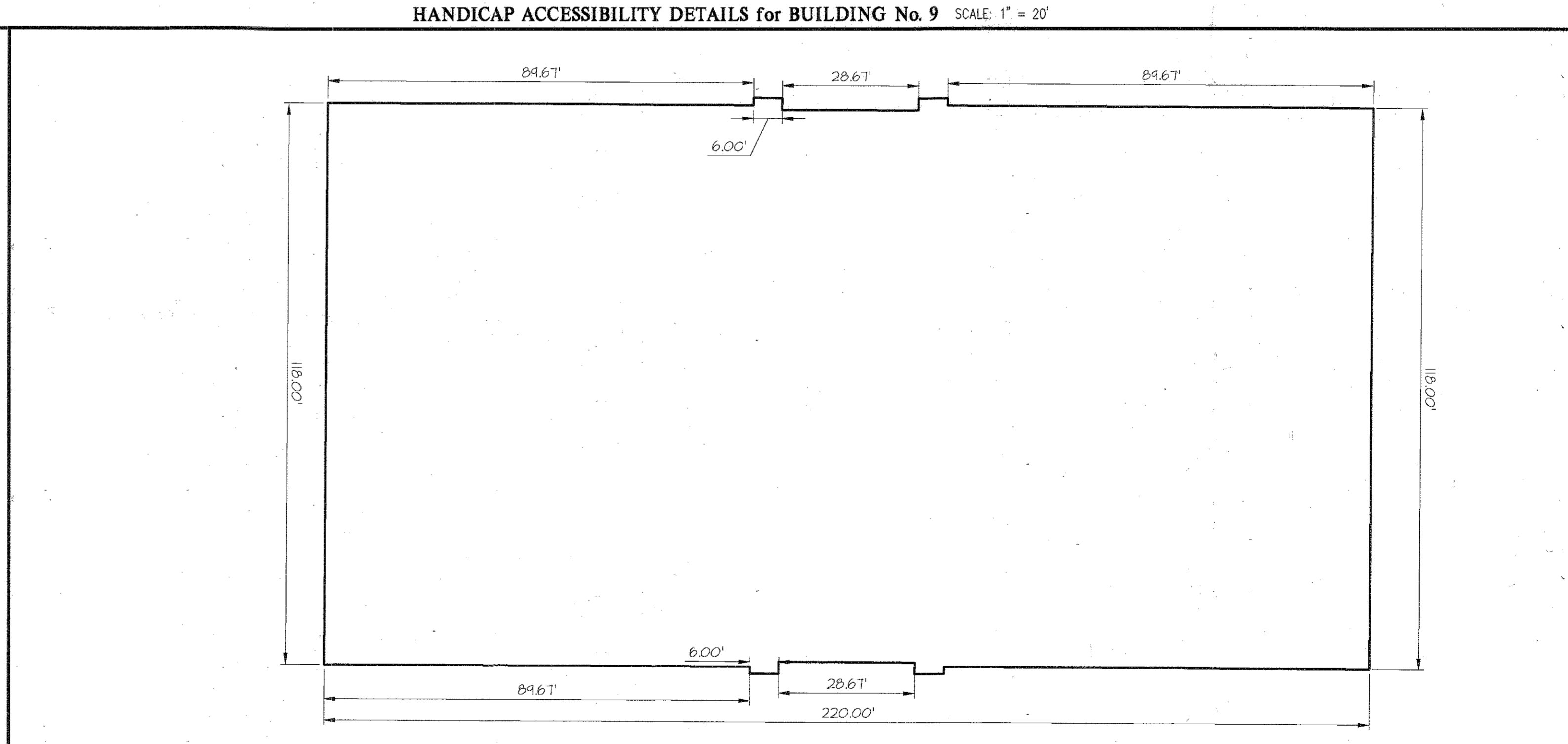
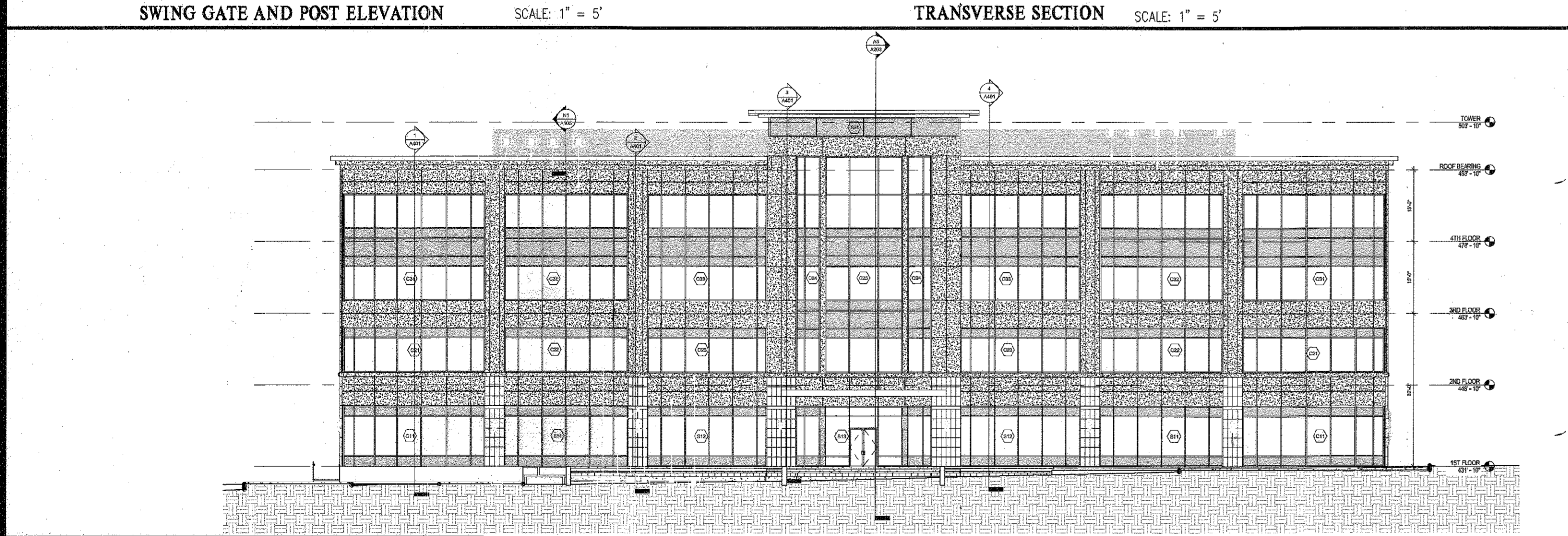
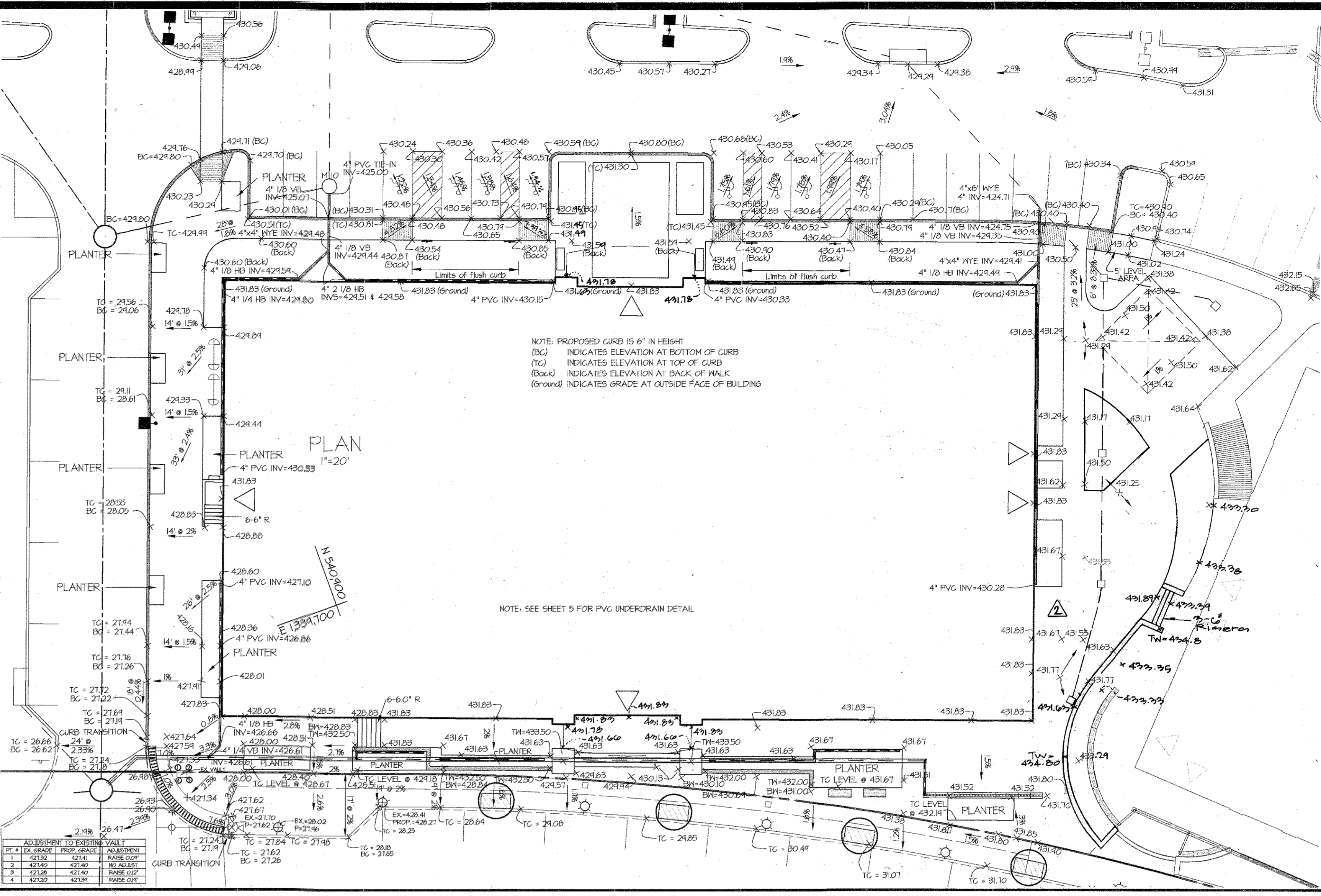
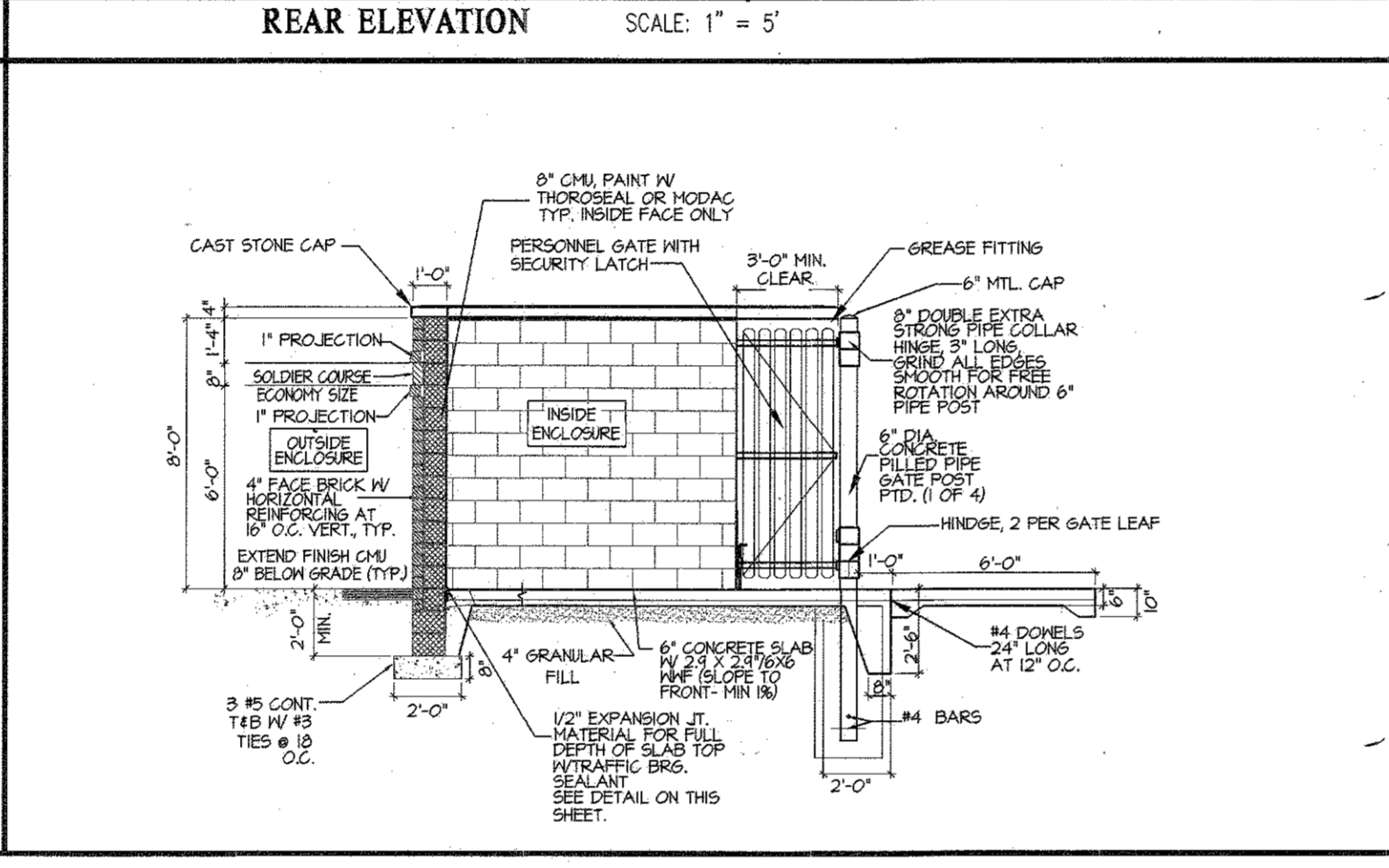
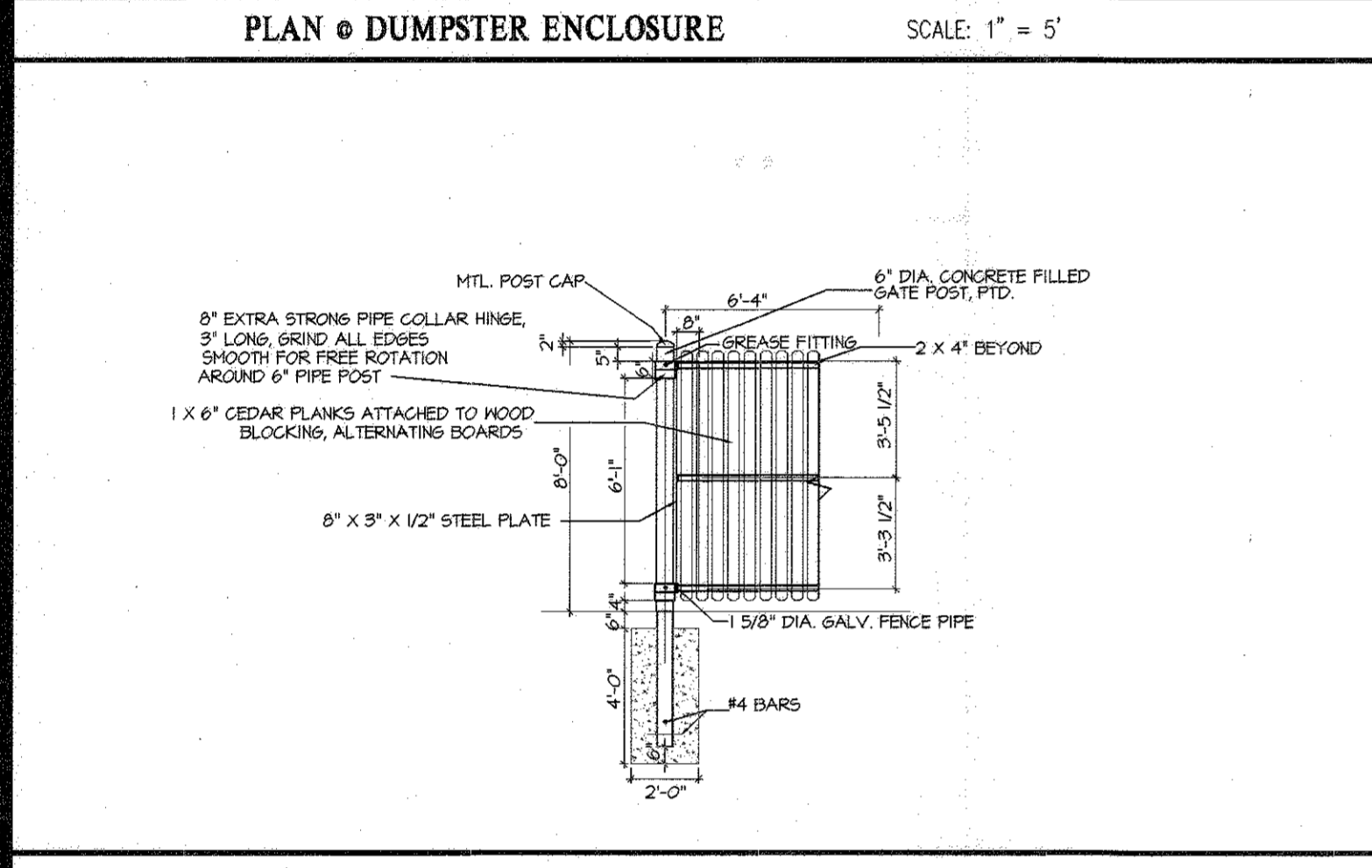
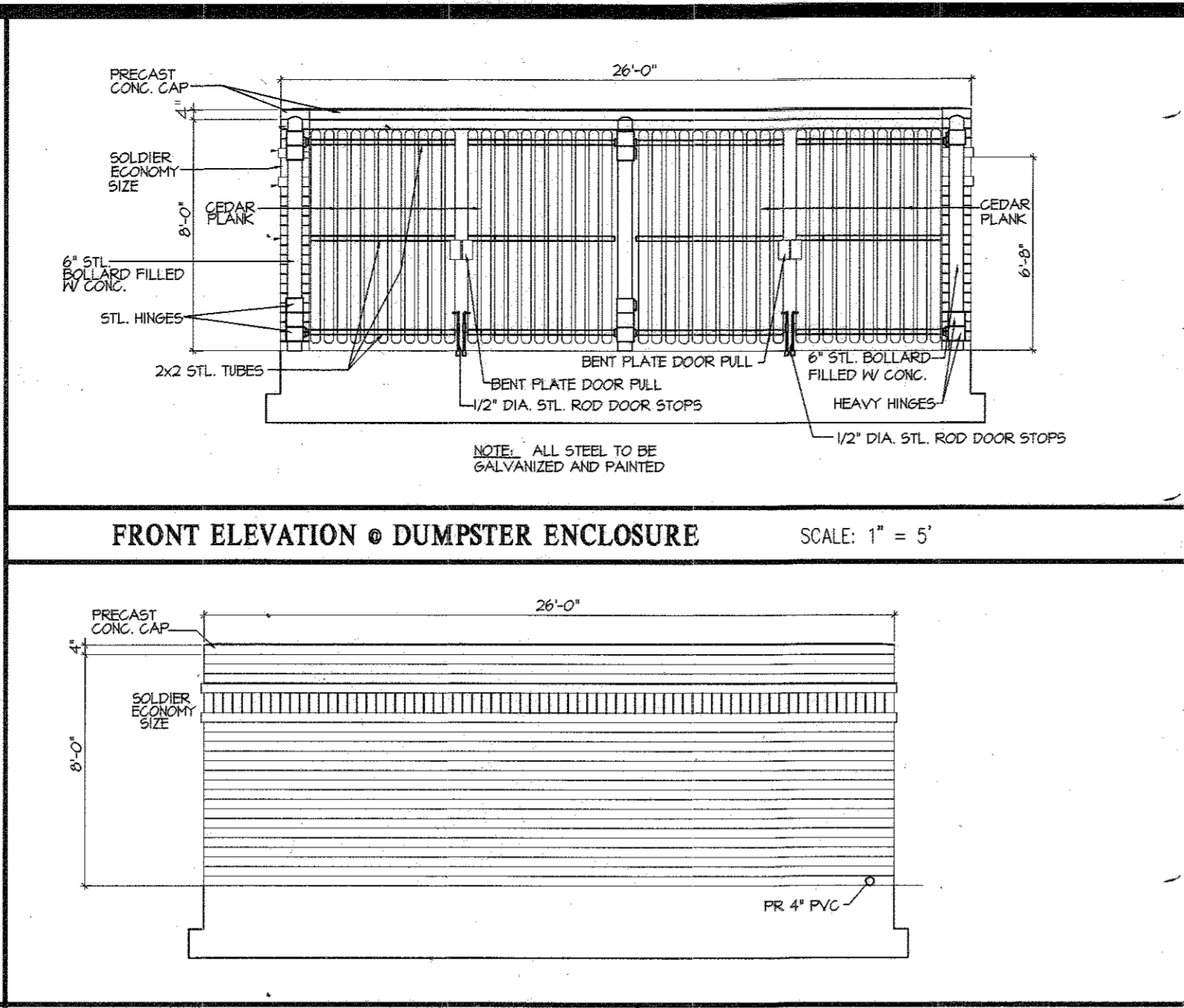
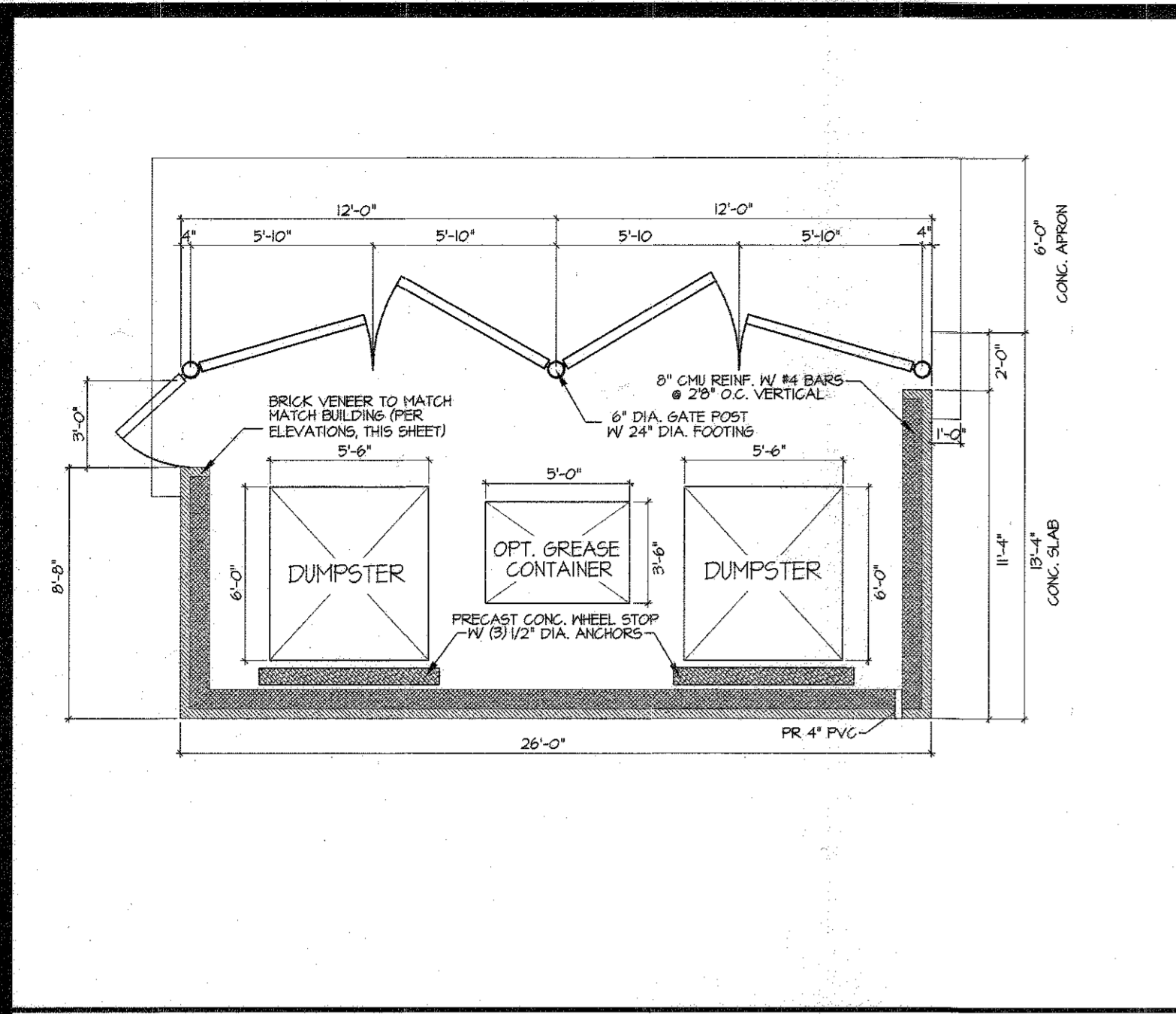
**PREPARED FOR:**  
 OWNER: MAPLE LAWN C.C. STATUTORY TRUST  
 1829 REISTERSTOWN ROAD SUITE 300 BALTIMORE, MD 21208 PH: 410-884-8400 ATTN: MARK BENNETT

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12-915 EXPIRATION DATE: 07/11/16

**SITE DEVELOPMENT PLAN**  
**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel C-33 (Office Building No. 9 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)  
 PLAT Nos. 23880 thru 23882  
 ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	15119
DATE	TAX MAP - GRID	SHEET
JULY, 2016	46: 3&4	2 OF 10





APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 07/07/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director W. J. [Signature] 9-1-16  
Chief, Division of Land Development K. [Signature] 9-01-16  
Chief, Development Engineering Division C. [Signature] 8-14-16

GRAPHIC SCALE  
1 inch = 20 ft.

GRAPHIC SCALE  
1 inch = 10 ft.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
1.4.16	Revised Plaza	LAG	

PREPARED FOR:  
OWNER: MAPLE LAWN  
C.C. STATUTORY TRUST  
1829 RISTERSTOWN ROAD  
SUITE 300  
BALTIMORE, MD 21208  
PH: 410-494-8900  
ATTN: MARK BENNETT

DEVELOPER:  
ST. JOHN PROPERTIES  
2580 LOBO BALTIMORE, MD  
BALTIMORE, MD 21244  
PH: 410-788-0100  
ATTN: KAREN WATSON

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12-9-12  
EXPIRATION DATE: May 22, 2018

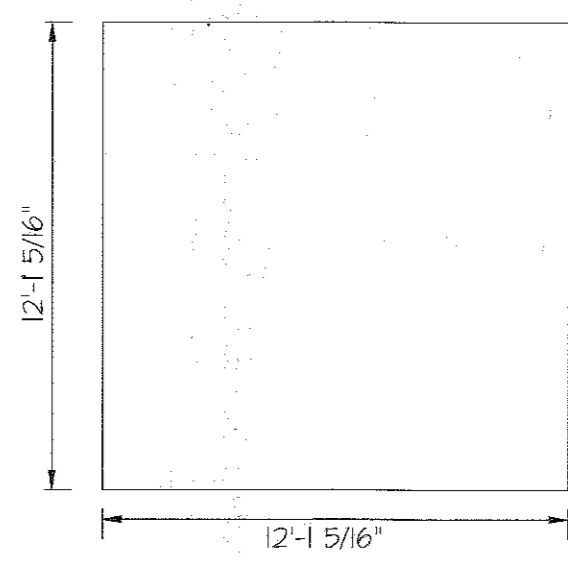
**HANDICAP ACCESSIBILITY and SITE DETAILS**  
**MAPLE LAWN FARMS**  
Business District - Area 2  
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)  
PLAT Nos. 23682 thru 23682

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	15119
DATE	TAX MAP - GRID	SHEET
JULY, 2016	46: 3&4	3 OF 10

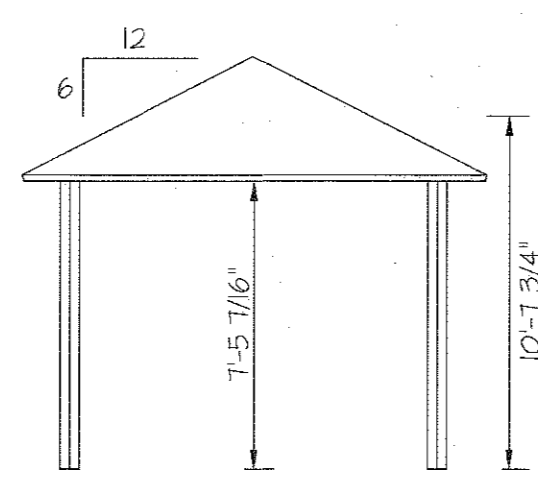








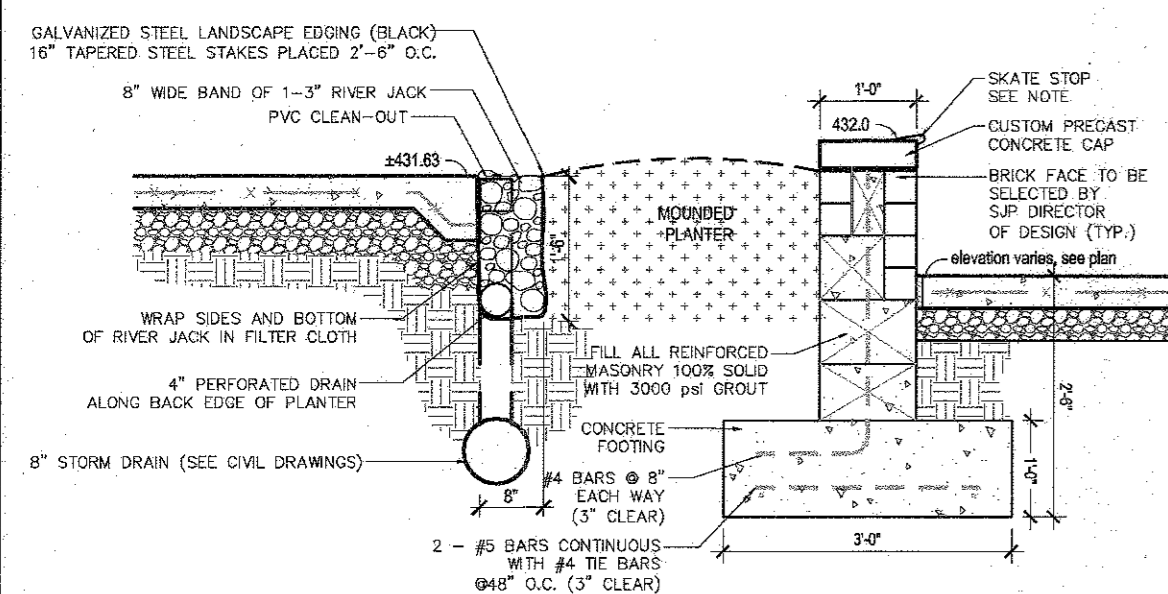
PAVILION - SLAB



PAVILION - FRONT ELEVATION

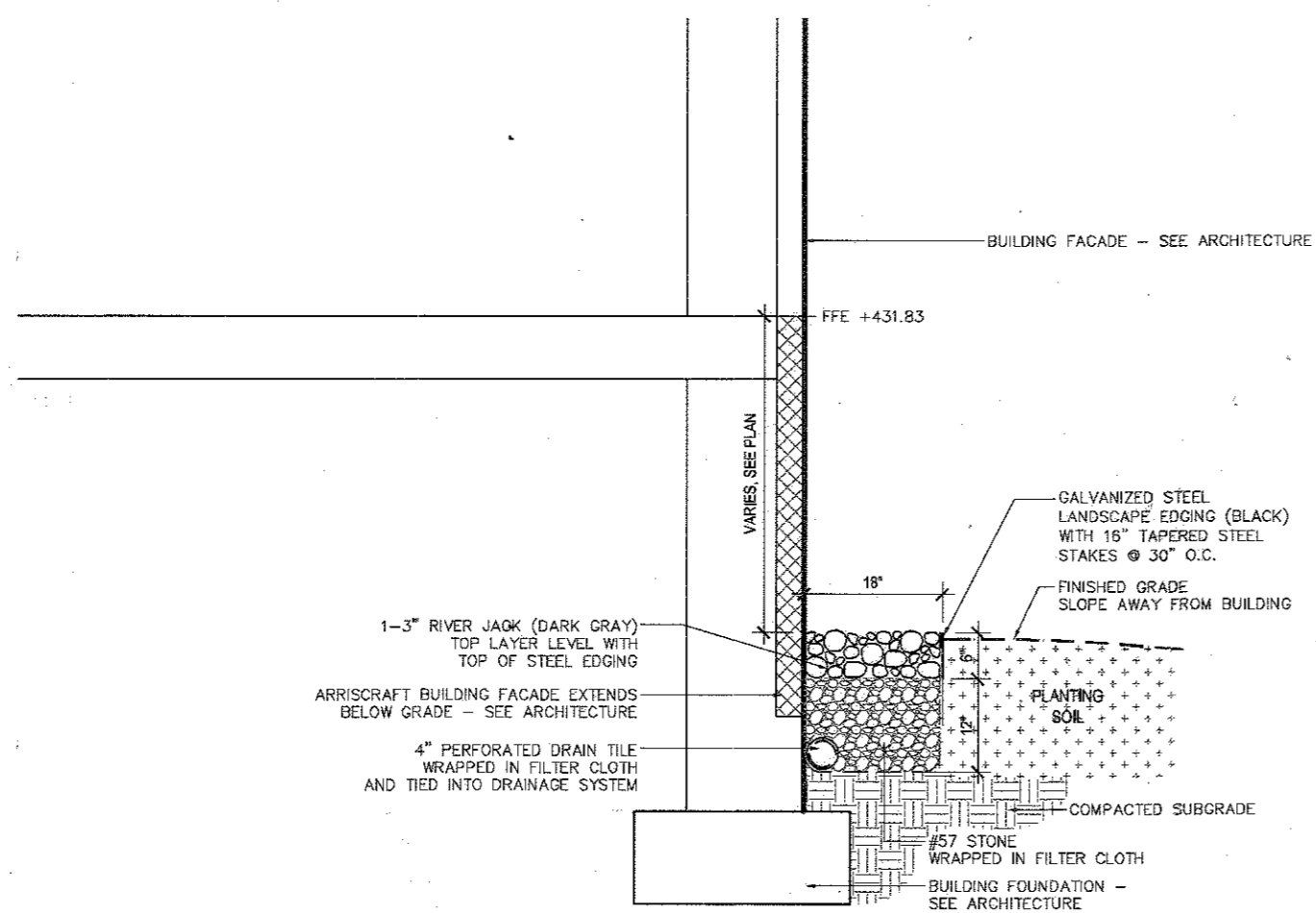
PAVILION DETAILS

SCALE: 1" = 5'



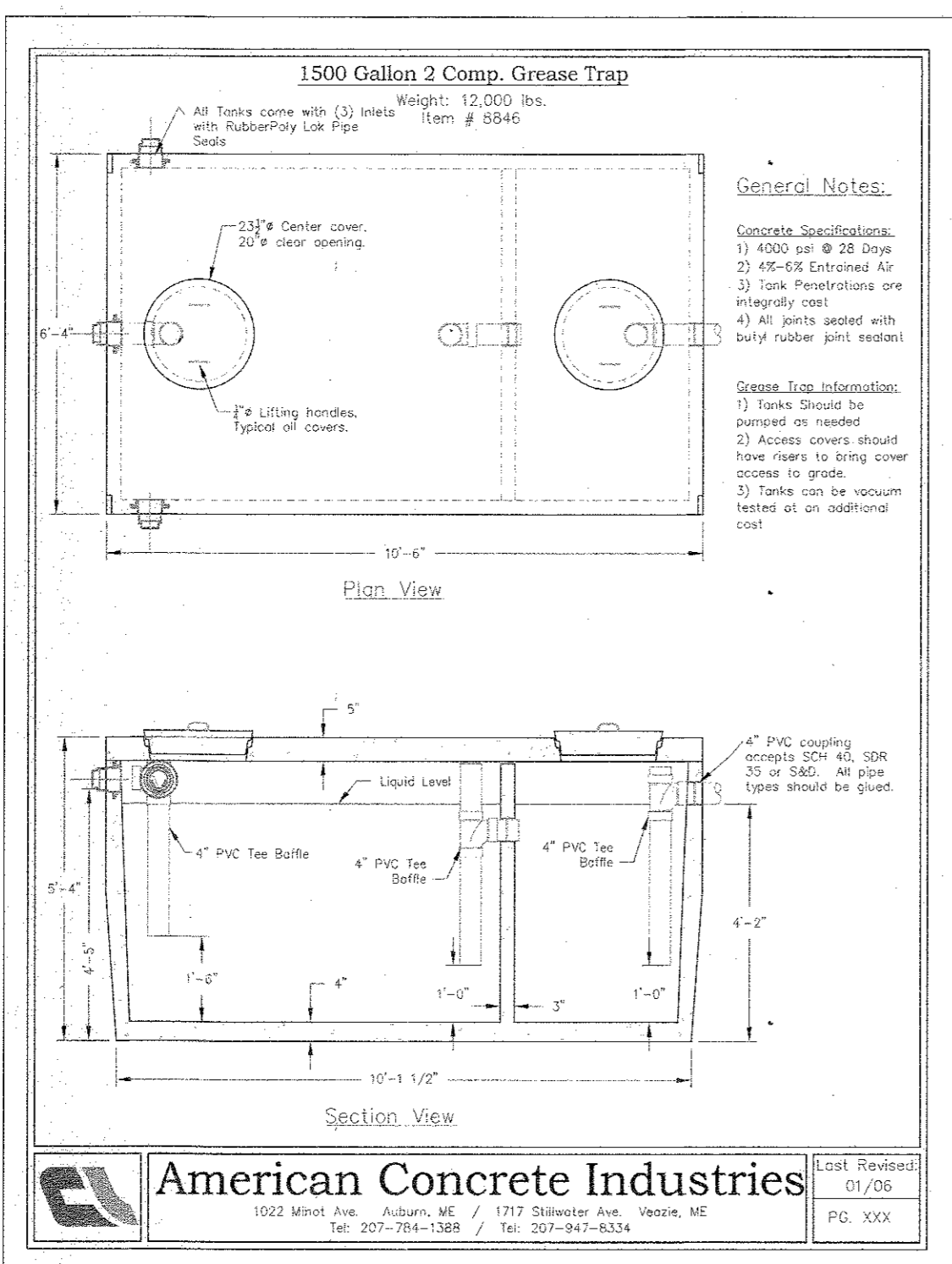
PLANTER AND WALL SECTION

SCALE: 1" = 2'



TYPICAL SECTION - RIVER JACK BAND TREATMENT AT BUILDING

SCALE: 1" = 2'



General Notes:

- Concrete Specifications:
  - 4000 psi @ 28 Days
  - 10% Free Water/Air
  - 10% Free Water/Air
- Grease Trap Information:
  - Tanks should be painted on needed
  - Access covers should have risers to bring cover closer to grade
  - Tanks can be vacuum tested at an optional cost

American Concrete Industries  
1002 West Ave. Auburn, ME / 1717 Sistrunk Ave. Hazlet, ME  
Tel: 207-784-1388 / Tel: 207-947-8324

APPROVED: FOR WATER AND SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 07/27/2016

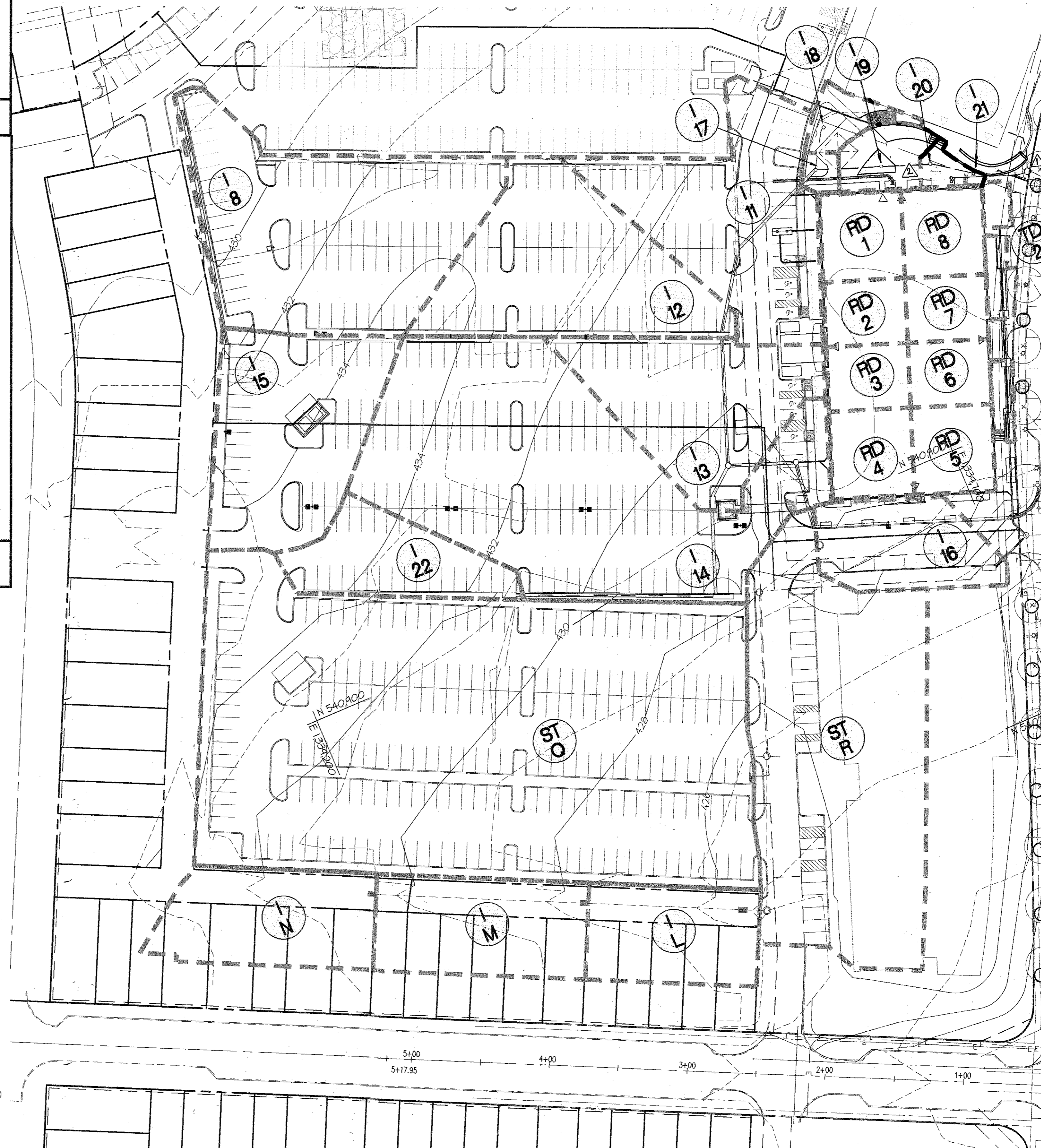
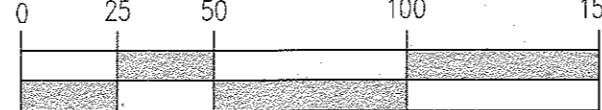
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *N. Joffe* 9-1-16  
Chief, Division of Land Development *K. Delwood* 9-01-16  
Chief, Development Engineering Division *C. E. ...* 8-19-16

GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK  
BURTENVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

1.4.1B	Revised drainage area, landscape	31	LAG
1.4.17	Revised Private sewer	34	LAG
DATE	REVISION	BY	APPR.

GRAPHIC SCALE

1 INCH = 50 FT.



LEGEND

- 400 EXISTING CONTOUR
- METLAND BUFFER
- STREAM BUFFER
- FOREST CONSERVATION EASEMENT
- STORM DRAIN DRAINAGE AREA

NOTE: 'C' TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.

'C' FACTOR COMPUTATIONS

STRUCTURE	AREA (AC.)	'C'	IMPERVIOUS
I-11	0.41	0.01	40%
I-12	0.42	0.01	40%
I-13	0.34	0.01	40%
I-14	0.32	0.01	40%
I-16	0.18	0.01	40%
I-15	0.36	0.01	40%
I-8	0.60	0.01	40%
I-17	0.02	0.01	40%
I-8	0.05	0.01	40%
I-18	0.06	0.01	40%
I-20	0.02	0.01	40%
I-21	0.01	0.01	40%
I-22	0.10	0.01	40%
I-L	0.20	0.01	40%
I-M	0.25	0.01	40%
I-N	0.24	0.01	40%
ST-2	1.80	0.01	40%
ST-R	0.01	0.01	40%
RD-1	0.04	0.06	100%
RD-2	0.06	0.06	100%
RD-3	0.06	0.06	100%
RD-4	0.04	0.06	100%
RD-5	0.04	0.06	100%
RD-6	0.06	0.06	100%
RD-7	0.06	0.06	100%
RD-8	0.04	0.06	100%
TD-2	0.06	0.06	100%

\* NOTE: DRAINAGE AREAS L, M, N, G, & R SHOWN TO DEMONSTRATE PROPOSED SYSTEM CAN ACCOMMODATE FUTURE DEVELOPMENT.

DRAINAGE AREA MAP

Scale: 1" = 50'

DRAINAGE AREA MAP and DETAILS

MAPLE LAWN FARMS

Business District - Area 2  
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)  
PLAT Nos 23880 thru 23882

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	15119
DATE	TAX MAP - GRID	SHEET
JULY, 2016	46: 3&4	5 OF 10

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16115  
EXPIRATION DATE: 08/11/16  
*[Signature]*

PREPARED FOR:  
OWNER: MAPLE LAWN C.C. STATUTORY TRUST 1829 REISTERSTOWN ROAD SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8403 ATTN: MARK BENNETT  
DEVELOPER: ST. JOHN PROPERTIES 2550 LORD BALTIMORE DR. BALTIMORE, MD 21244 PH: 410-788-0100 ATTN: KAREN WATSON



**LEGEND**

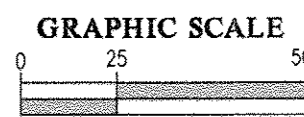
---	600	EXISTING CONTOUR
---	600	PROPOSED CONTOUR
---	SS	PROPOSED SUPER SILT FENCE
•••	LOD	LIMIT OF DISTURBANCE
□	CIP	CURB INLET PROTECTION
□	AGIP	CURB INLET PROTECTION
□	SCC	STABILIZED CONSTRUCTION ENTRANCE
---	DF	DIVERSION FENCE
---	>	EARTH DIKE
---	FL-18	FILTER LOG
---		SOIL GROUP
---		RIDGE LINE

NOTE: WHERE THE LIMIT OF DISTURBANCE (LOD) IS NOT SHOWN, THE LIMIT OF WORK TO BE PERFORMED UNDER THIS SITE DEVELOPMENT PLAN IS DEFINED BY THE PERIMETER SEDIMENT CONTROL DEVICES SHOWN ON THIS PLAN.

**SOIL TYPES**

Symbol	Description	Soil Type	Kv
CHB2	Chester Silt Loam, 3 to 8 percent slopes, moderately eroded	B	0.31
EkB2	Elkoot Silt Loam, 3 to 8 percent slopes, moderately eroded	C	0.32
GtB2	Glenns Silt Loam, 3 to 8 percent slopes, moderately eroded	B	0.20
GtC2	Glenns Silt Loam, 8 to 15 percent slopes, moderately eroded	B	0.20
GrB2	Glennville Silt Loam, 3 to 8 percent slopes, moderately eroded	C	0.31
GrC2	Glennville Silt Loam, 8 to 15 percent slopes, moderately eroded	C	0.31
MID2	Manor Loam, 15 to 25 percent slopes, moderately eroded	B	0.24

NOTE: 'C' TYPE SOILS ASSIGNED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.



**BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Mark Watsch* owner agent 7/25/16  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND FEASIBLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CKL* 8/1/16  
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/1/16  
HOWARD S.C.D. DATE

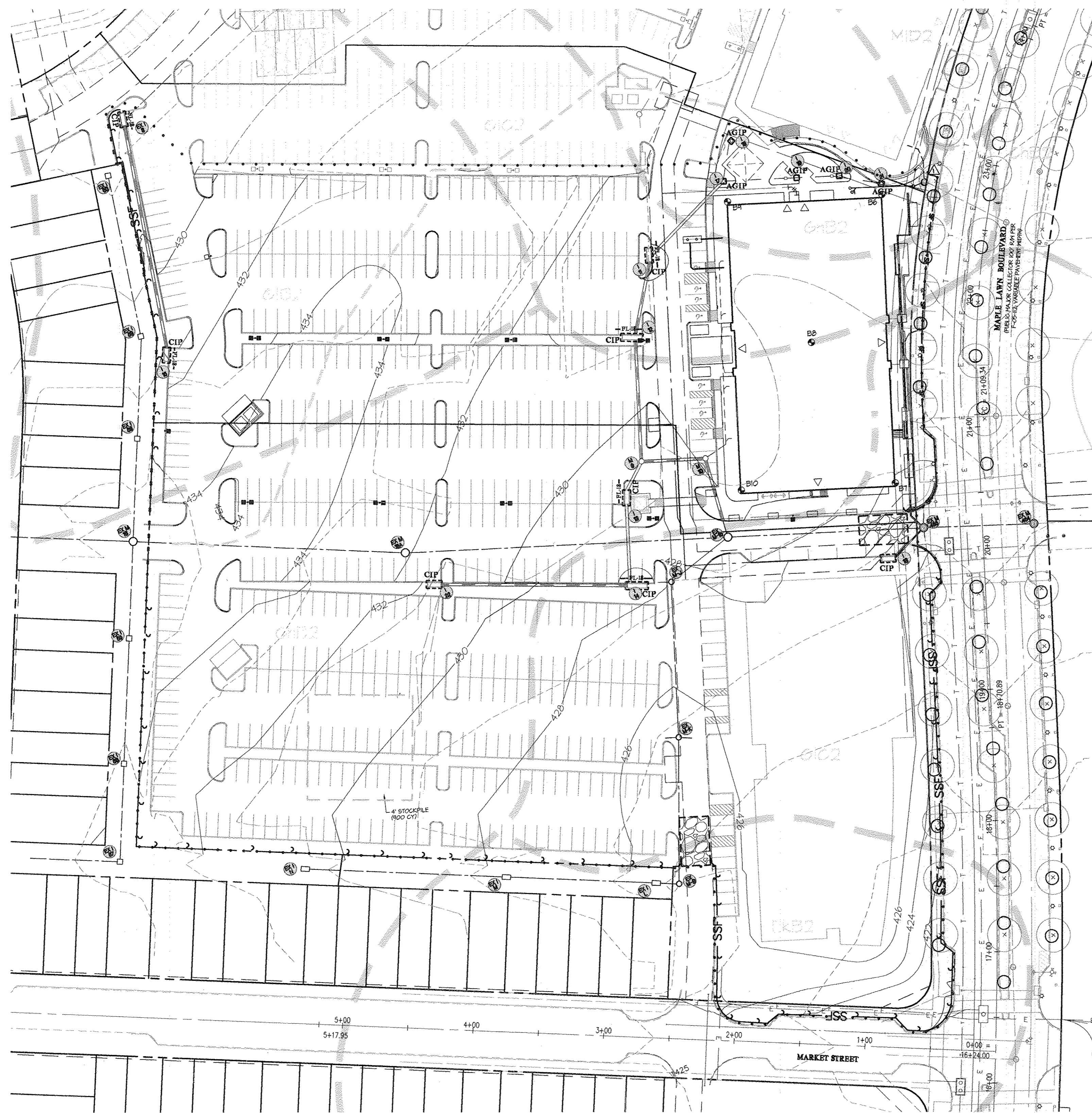
**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE 07/07/2016

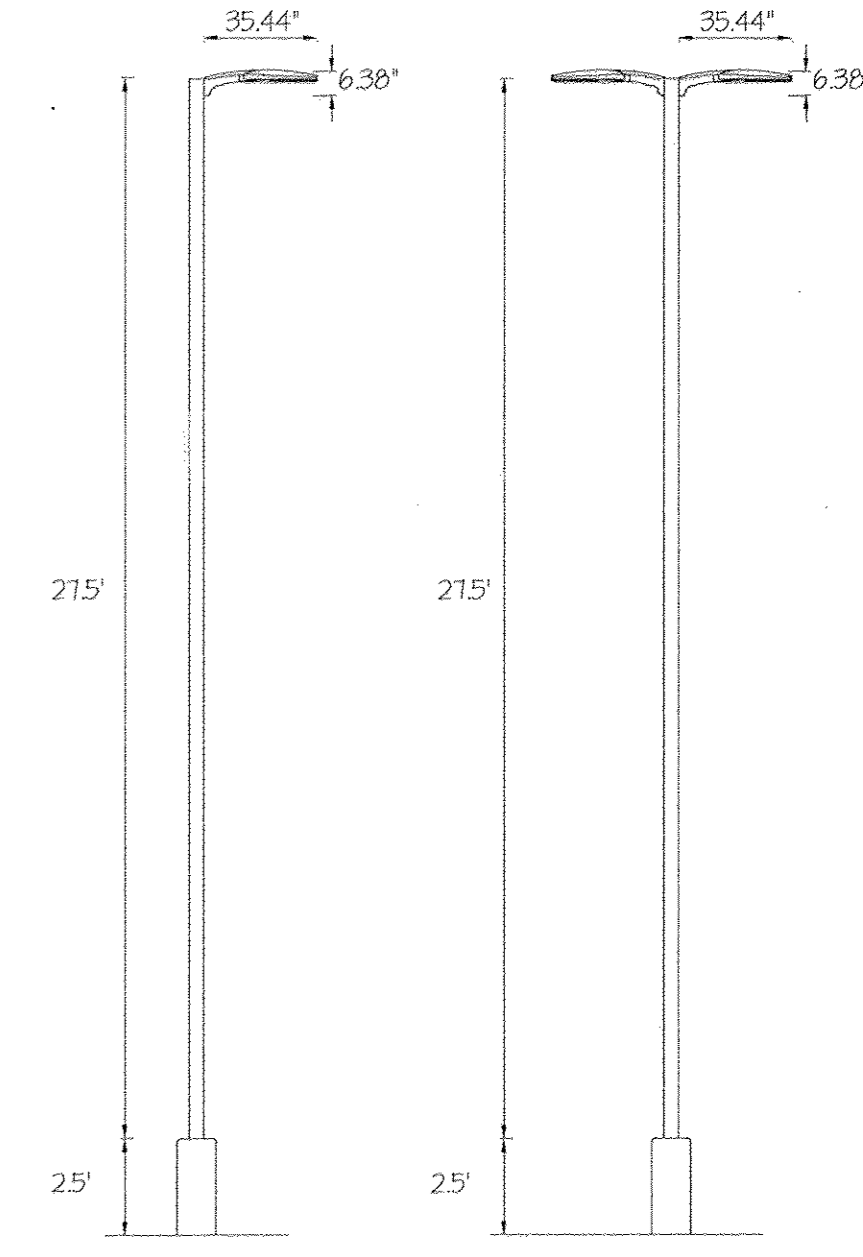
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Walter J. J. J.* 9-1-16  
Director Date  
*V. J. J.* 9-01-16  
Chief, Division of Land Development Date  
*Chad Chubb* 8-19-16  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL 301-421-4024 BALT. 410-880-1820 DC/VA. 301-989-2524 FAX: 301-421-4186



NOTE TO CONTRACTOR:  
FILTER LOGS ARE TO BE WEIGHTED DOWN (ANCHORED) WITH GRAVEL, BLOCK, OR A SIMILAR MATERIAL.



**LIGHT DETAILS**

SCALE: 1" = 5'

**SEQUENCE OF CONSTRUCTION**

1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE INSPECTOR. OBTAIN GRADING PERMIT FROM THE INSPECTOR AT THE MEETING. DURATION: 1 day.
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE (SCE) AND SUPER SILT FENCE (SSF). DURATION: 1-day.
3. CONTRACTOR IS TO INSPECT THE FILTER FABRIC PLACED OVER THE GABION WALL IN THE STORMWATER MANAGEMENT POND UNDER F 05-112 AND THE CURB INLET PROTECTION INSTALLED UNDER SOP 16-011. THE CONTRACTOR IS TO MAKE ANY NECESSARY REPAIRS. DURATION: 1 day.
4. INSTALL STORM DRAINS AND OTHER SITE UTILITIES. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED. INSTALL FILTER LOGS AT INLETS I-8 & I-11 THROUGH I-15. DURATION: 1 month.
5. FINE GRADE SITE AND BEGIN BUILDING CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. DURATION: 9 months.
6. INSTALL CURB AND GUTTER, SIDEWALKS AND BASE PAVING. STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING. DURATION: 1 month.
7. FLUSH AND CLEAN STORM DRAIN SYSTEM. DURATION: 1-day.
8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS. DURATION: 1 week.
9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPING. DURATION: 2 weeks.
10. COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE AND OCCUPANCY PERMIT.

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

DATE	09-17-17	REVISION	Revised Private sewer
DATE		BY	LAG
DATE		APP'R	

**PREPARED FOR:**

OWNER:  
MAPLE LAWN  
C.C. STATUTORY TRUST  
1829 REISTERSTOWN ROAD  
SUITE 300  
BALTIMORE, MD 21208  
PH. 410-484-8400  
ATTN: MARK BENNETT

DEVELOPER:  
ST. JOHN PROPERTIES  
2560 LORR BALTHORE DR.  
BALTIMORE, MD 21244  
PH. 410-788-0100  
ATTN: KAREN WATSC

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12-0112  
EXPIRATION DATE: May 20, 2018



**SEDIMENT CONTROL PLAN**

**MAPLE LAWN FARMS**

Business District - Area 2  
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)  
PLAT Nos. 23800 thru 23802

SCALE	1"=50'	ZONING	MXD-3	G. L. W. FILE NO.	15119
DATE	JULY, 2016	TAX MAP - GRID	46: 3&4	SHEET	6 OF 10

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



**B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS**  
DEFINITION

THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.  
**PURPOSE:**  
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.  
**CONDITIONS WHERE PRACTICE APPLIES:**  
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.  
**CRITERIA**

**A. SOIL PREPARATION**

- 1. TEMPORARY STABILIZATION
a. SEEDBED PREPARATION CONSISTS OF LOOSINGING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
2. PERMANENT STABILIZATION
a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...
b. SOIL PH BETWEEN 6.0 AND 7.0.
c. SOIL SOLIDS LESS THAN 500 PARTS PER MILLION (PPM).
d. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL...
e. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL...
f. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
g. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
h. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
i. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN...
j. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
k. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS...

**B. TOPSOILING**

- 1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION...
2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...
3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH...
b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS...
c. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
4. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND...
b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS...
c. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST...
5. TOPSOIL APPLICATION
a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL...
b. TOPSOIL APPLICATION
c. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE: 07/07/2016
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 9-1-16
Chief, Division of Land Development: [Signature] Date: 9-01-16
Chief, Development Engineering Division: [Signature] Date: 8-19-16

**ENGINEER'S CERTIFICATE**

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE...
Signature of Engineer: [Signature] Date: 8/11/16
Signature of Developer/Builder: [Signature] Date: 7/25/16

**GLWGuttschick Little & Weber, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 200 - BURTOWNVILLE OFFICE PARK
BURTOWNVILLE, MARYLAND 20868
TEL: 301-421-4024 FAX: 301-421-4020 DC/VA: 410-880-1820 FAX: 301-421-4186

Table with 5 columns: DES, LAG, DRN, LAG, CHK, DEV. Includes revision history.

**B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and MULCHING**  
DEFINITION

THE APPLICATION OF SEEDS AND MULCH TO ESTABLISH VEGETATIVE COVER.  
**PURPOSE:**  
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.  
**CONDITIONS WHERE PRACTICE APPLIES:**  
TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.  
**CRITERIA**

**A. SEEDING**

- 1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...
b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES...
c. INOCULANTS: THE INOCULANT FOR TREATING LEANING SEEDS IN THE SEED MIXTURES...
d. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER...
e. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DRIP OR BROADCAST SPREADERS...
f. MULCHING
1. MULCH MATERIALS (IN ORDER OF PREFERENCE)
a. STRAW CONSISTING OF THRESHED WHEAT, RYE, OAT, OR BARLEY...
b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBER PHYSICAL STATE...
2. APPLICATION
a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING...
3. ANCHORING
a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH...
b. MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT...
c. WOOD CELLULOSE FIBER MULCH IS TO BE EVENLY DISTRIBUTED...
d. SYNTHETIC BONDERS SUCH AS ACRYLIC GEL...
e. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH...
2. BUILDER'S CERTIFICATE
I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN...
Signature of Developer/Builder: [Signature] Date: 7/25/16

**HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES**

- 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID)...
2. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
3. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
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15. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
16. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
17. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
18. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
19. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...
20. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE...

**B. TURFGRASS MIXTURES**

- 1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES...
c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES...
d. FOR AREAS RECEIVING LOW MAINTENANCE...
2. TURFGRASS MIXTURES
a. ALL MIXTURES MUST BE DESIRED INCLUDE LAWN, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW...
i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE...
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE...
iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE...
iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE...
3. INSPECTION DATE
INSPECTION TIME (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
NAME AND TITLE OF INSPECTOR
WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT ACTIVITIES
EVIDENCE OF SEDIMENT DISCHARGES
IDENTIFICATION OF PLAN DEFICIENCIES
IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
PHOTOGRAPHS
MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE).

**PERMANENT SEEDING SUMMARY**

Table with columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Kentucky Bluegrass, Perennial Rye, etc.

**TEMPORARY SEEDING SUMMARY**

Table with columns: SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Pearl Millet, etc.

- 1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED...
b. SOIL MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS...
c. STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT...
d. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING...
2. SOIL MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK...
b. AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT...
c. DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED...
3. SOIL INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE...
b. LAY THE FIRST ROW OF SOIL IN A STRAIGHT LINE...
c. WHEREVER POSSIBLE, LAY SOIL WITH THE LONG EDGES PARALLEL TO THE CONTOUR...
d. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING...
3. SOIL MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK...
b. AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT...
c. DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED...
3. SOIL INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE...
b. LAY THE FIRST ROW OF SOIL IN A STRAIGHT LINE...
c. WHEREVER POSSIBLE, LAY SOIL WITH THE LONG EDGES PARALLEL TO THE CONTOUR...
d. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING...

**B-4-4 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION**  
DEFINITION

TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.  
**PURPOSE:**  
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.  
**CONDITIONS WHERE PRACTICE APPLIES:**  
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.  
**CRITERIA**

**A. SEED MIXTURES**

- 1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES...
c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES...
d. FOR AREAS RECEIVING LOW MAINTENANCE...
2. TURFGRASS MIXTURES
a. ALL MIXTURES MUST BE DESIRED INCLUDE LAWN, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...
b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW...
i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE...
ii. KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE...
iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE...
iv. KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE...
3. INSPECTION DATE
INSPECTION TIME (ROUTINE, PRE-STORM EVENT, DURING RAIN EVENT)
NAME AND TITLE OF INSPECTOR
WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
BRIEF DESCRIPTION OF PROJECT'S STATUS (E.G., PERCENT COMPLETE) AND /OR CURRENT ACTIVITIES
EVIDENCE OF SEDIMENT DISCHARGES
IDENTIFICATION OF PLAN DEFICIENCIES
IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
COMPLIANCE STATUS REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
PHOTOGRAPHS
MONITORING/SAMPLING MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED
OTHER INSPECTION ITEMS AS REQUIRED BY THE "GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES" (NPDES, MDE).

**PERMANENT SEEDING SUMMARY**

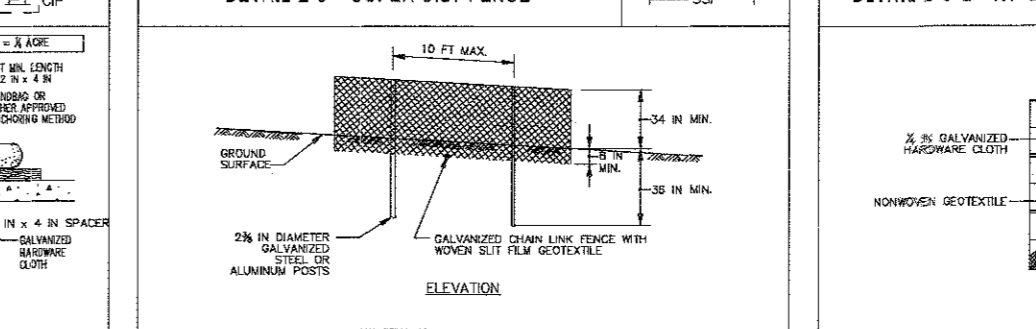
Table with columns: No., SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Kentucky Bluegrass, Perennial Rye, etc.

**TEMPORARY SEEDING SUMMARY**

Table with columns: SPECIES, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE. Includes rows for Pearl Millet, etc.

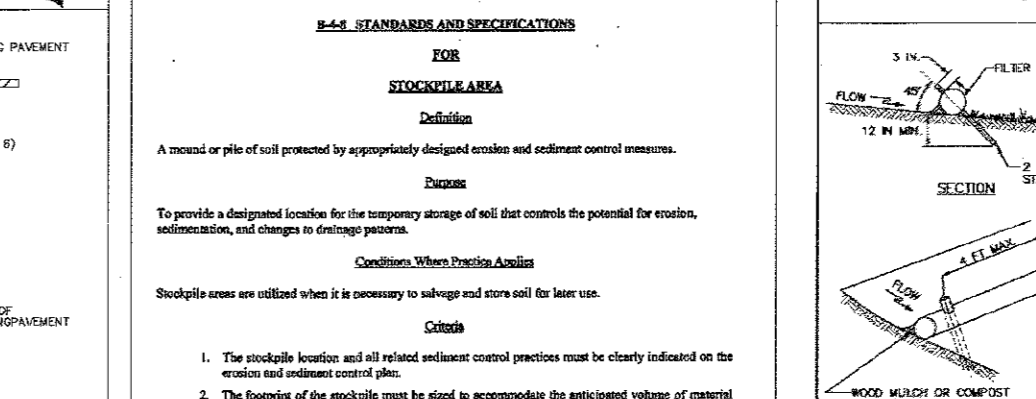
- 1. GENERAL SPECIFICATIONS
a. CLASS OF TURFGRASS SOIL MUST BE MARYLAND STATE CERTIFIED...
b. SOIL MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS...
c. STANDARD SIZE SECTIONS OF SOIL MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT...
d. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING...
2. SOIL MAINTENANCE
a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK...
b. AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT...
c. DO NOT MOW UNTIL THE SOIL IS FIRMLY ROOTED...
3. SOIL INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE...
b. LAY THE FIRST ROW OF SOIL IN A STRAIGHT LINE...
c. WHEREVER POSSIBLE, LAY SOIL WITH THE LONG EDGES PARALLEL TO THE CONTOUR...
d. WATER THE SOIL IMMEDIATELY FOLLOWING ROLLING AND TAMPING...

**DETAIL E-1 CUBI INLET PROTECTION**



CONSTRUCTION SPECIFICATIONS
1. CURB SHALL BE CONCRETE UNLESS OTHERWISE SHOWN. CURB SHALL BE 10 INCHES HIGH AND 12 INCHES WIDE AT THE TOP...
2. GRATE SHALL BE 6 INCHES DEEP AND 12 INCHES WIDE...
3. CATCH BASIN SHALL BE CONCRETE UNLESS OTHERWISE SHOWN...
4. SLOPE OF CURB SHALL BE 1:1...
5. CURB SHALL BE FINISHED WITH A BROOM OR TAMPED FINISH...
6. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-2 SUPER SILT FENCE**



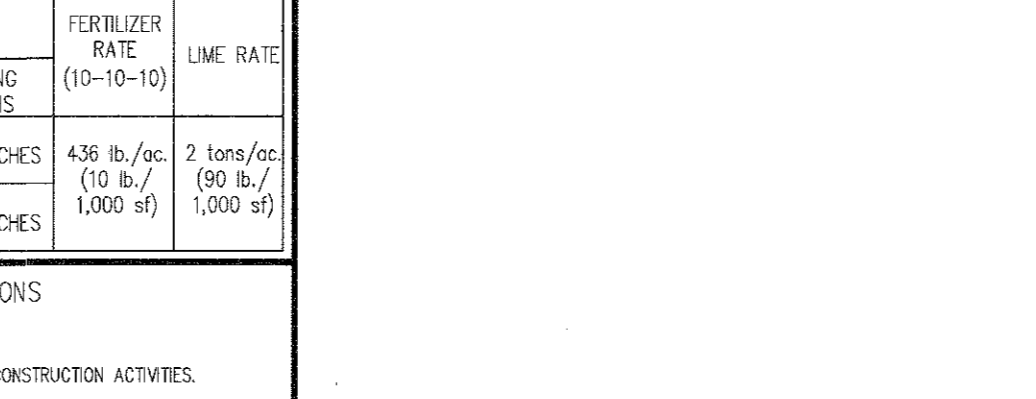
CONSTRUCTION SPECIFICATIONS
1. SUPER SILT FENCE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...
2. FABRIC SHALL BE 18 INCHES HIGH AND 12 INCHES WIDE...
3. STONE CORE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE...
4. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
5. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
6. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
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9. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-3 AT-GRADE INLET PROTECTION**



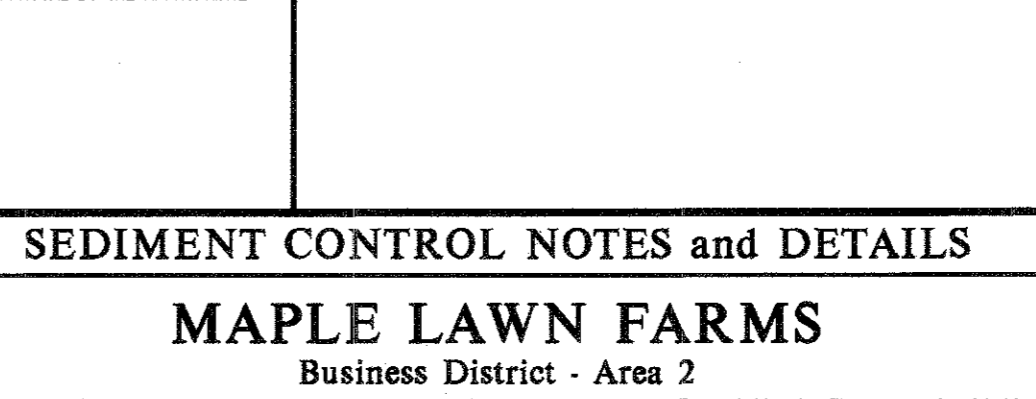
CONSTRUCTION SPECIFICATIONS
1. CURB SHALL BE CONCRETE UNLESS OTHERWISE SHOWN. CURB SHALL BE 10 INCHES HIGH AND 12 INCHES WIDE AT THE TOP...
2. GRATE SHALL BE 6 INCHES DEEP AND 12 INCHES WIDE...
3. CATCH BASIN SHALL BE CONCRETE UNLESS OTHERWISE SHOWN...
4. SLOPE OF CURB SHALL BE 1:1...
5. CURB SHALL BE FINISHED WITH A BROOM OR TAMPED FINISH...
6. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
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9. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-4 FILTER LOG**



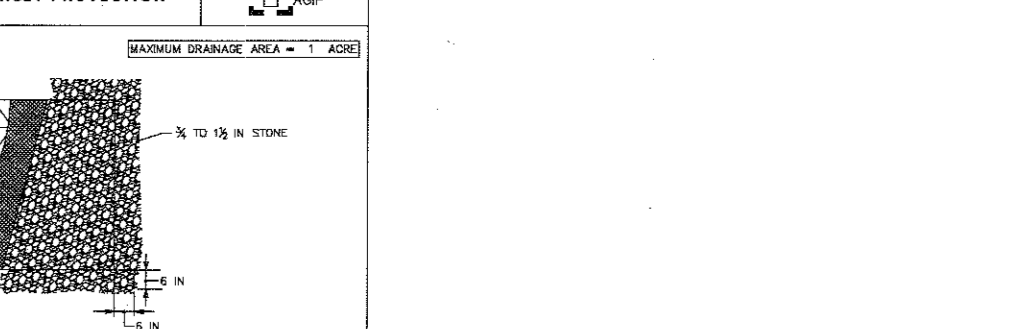
CONSTRUCTION SPECIFICATIONS
1. FILTER LOG SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...
2. FABRIC SHALL BE 18 INCHES HIGH AND 12 INCHES WIDE...
3. STONE CORE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE...
4. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
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9. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
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**DETAIL E-5 STABILIZED CONSTRUCTION ENTRANCE**



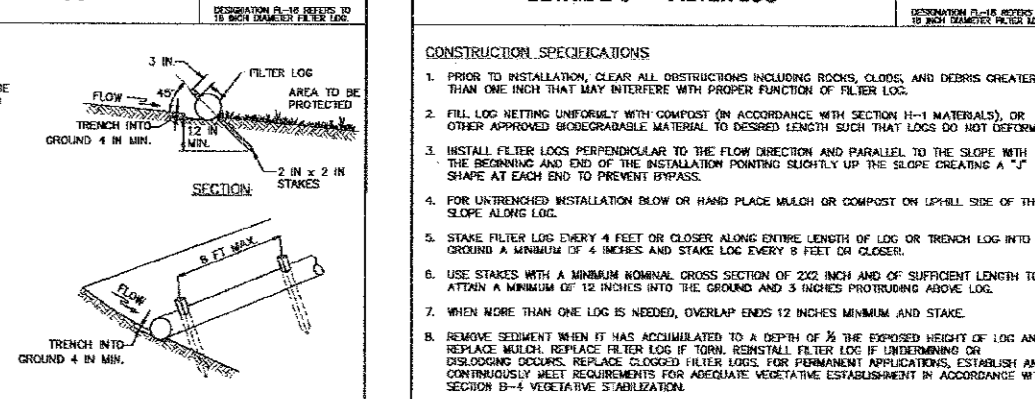
CONSTRUCTION SPECIFICATIONS
1. CURB SHALL BE CONCRETE UNLESS OTHERWISE SHOWN. CURB SHALL BE 10 INCHES HIGH AND 12 INCHES WIDE AT THE TOP...
2. GRATE SHALL BE 6 INCHES DEEP AND 12 INCHES WIDE...
3. CATCH BASIN SHALL BE CONCRETE UNLESS OTHERWISE SHOWN...
4. SLOPE OF CURB SHALL BE 1:1...
5. CURB SHALL BE FINISHED WITH A BROOM OR TAMPED FINISH...
6. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-6 FILTER LOG**



CONSTRUCTION SPECIFICATIONS
1. FILTER LOG SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...
2. FABRIC SHALL BE 18 INCHES HIGH AND 12 INCHES WIDE...
3. STONE CORE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE...
4. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
5. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
6. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-7 STABILIZED CONSTRUCTION ENTRANCE**



CONSTRUCTION SPECIFICATIONS
1. CURB SHALL BE CONCRETE UNLESS OTHERWISE SHOWN. CURB SHALL BE 10 INCHES HIGH AND 12 INCHES WIDE AT THE TOP...
2. GRATE SHALL BE 6 INCHES DEEP AND 12 INCHES WIDE...
3. CATCH BASIN SHALL BE CONCRETE UNLESS OTHERWISE SHOWN...
4. SLOPE OF CURB SHALL BE 1:1...
5. CURB SHALL BE FINISHED WITH A BROOM OR TAMPED FINISH...
6. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-8 FILTER LOG**



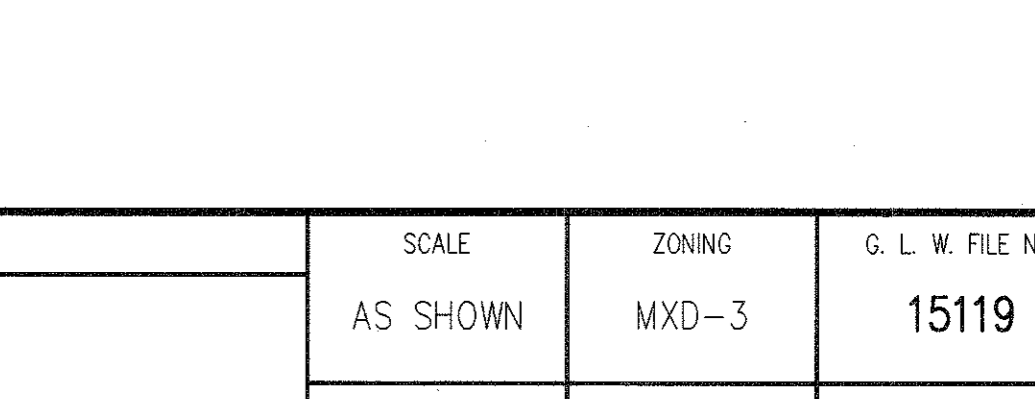
CONSTRUCTION SPECIFICATIONS
1. FILTER LOG SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...
2. FABRIC SHALL BE 18 INCHES HIGH AND 12 INCHES WIDE...
3. STONE CORE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE...
4. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
5. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
6. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-9 STABILIZED CONSTRUCTION ENTRANCE**



CONSTRUCTION SPECIFICATIONS
1. CURB SHALL BE CONCRETE UNLESS OTHERWISE SHOWN. CURB SHALL BE 10 INCHES HIGH AND 12 INCHES WIDE AT THE TOP...
2. GRATE SHALL BE 6 INCHES DEEP AND 12 INCHES WIDE...
3. CATCH BASIN SHALL BE CONCRETE UNLESS OTHERWISE SHOWN...
4. SLOPE OF CURB SHALL BE 1:1...
5. CURB SHALL BE FINISHED WITH A BROOM OR TAMPED FINISH...
6. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. CURB SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**DETAIL E-10 FILTER LOG**



CONSTRUCTION SPECIFICATIONS
1. FILTER LOG SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS...
2. FABRIC SHALL BE 18 INCHES HIGH AND 12 INCHES WIDE...
3. STONE CORE SHALL BE 12 INCHES HIGH AND 12 INCHES WIDE...
4. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
5. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
6. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
7. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
8. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
9. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...
10. FABRIC SHALL BE INSTALLED WITHIN 72 HOURS OF THE TIME OF POURING THE CONCRETE...

**SEDIMENT CONTROL NOTES AND DETAILS**

**MAPLE LAWN FARMS**
Business District - Area 2
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT Nos. 23880 thru 23882

Table with 4 columns: SCALE, ZONING, G. L. W. FILE No., SHEET. Includes values: AS SHOWN, MXD-3, 15119, 7 OF 10.

**SEDIMENT CONTROL NOTES AND DETAILS**

**MAPLE LAWN FARMS**
Business District - Area 2
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT Nos. 23880 thru 23882

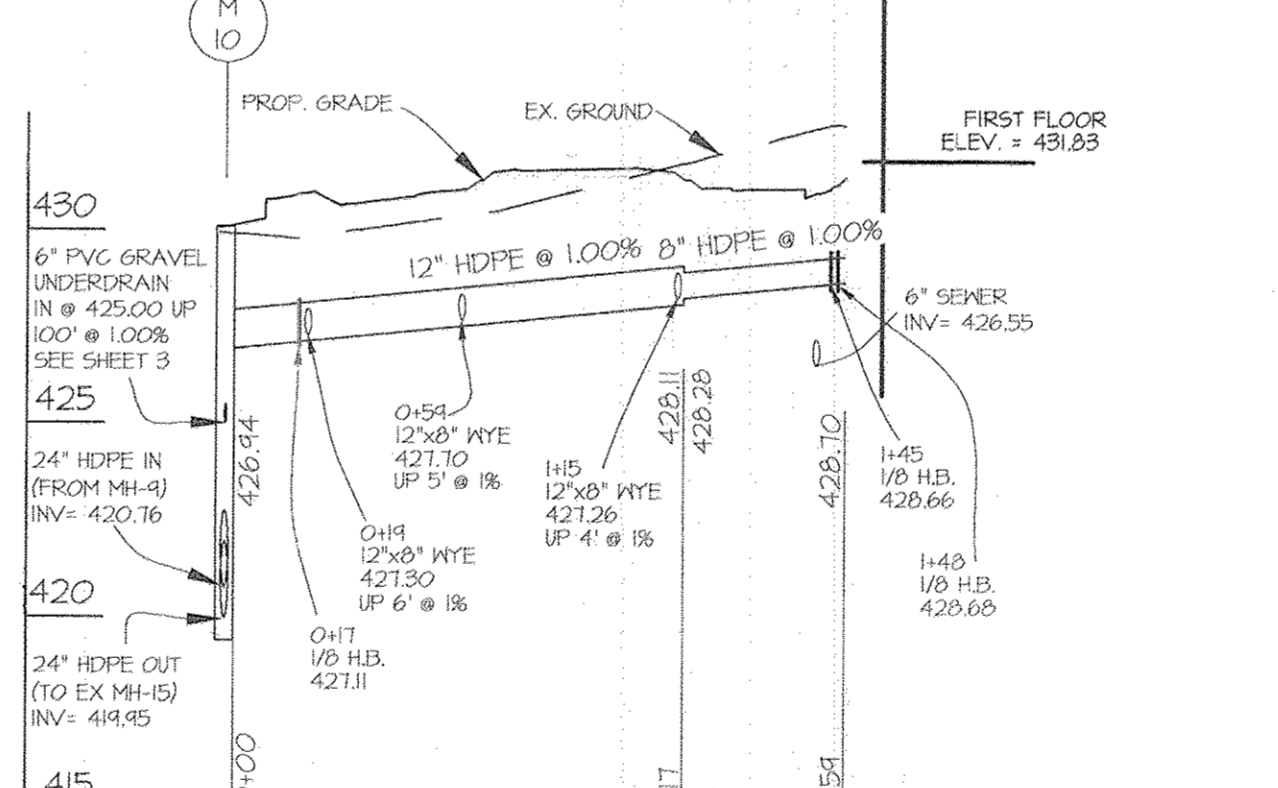
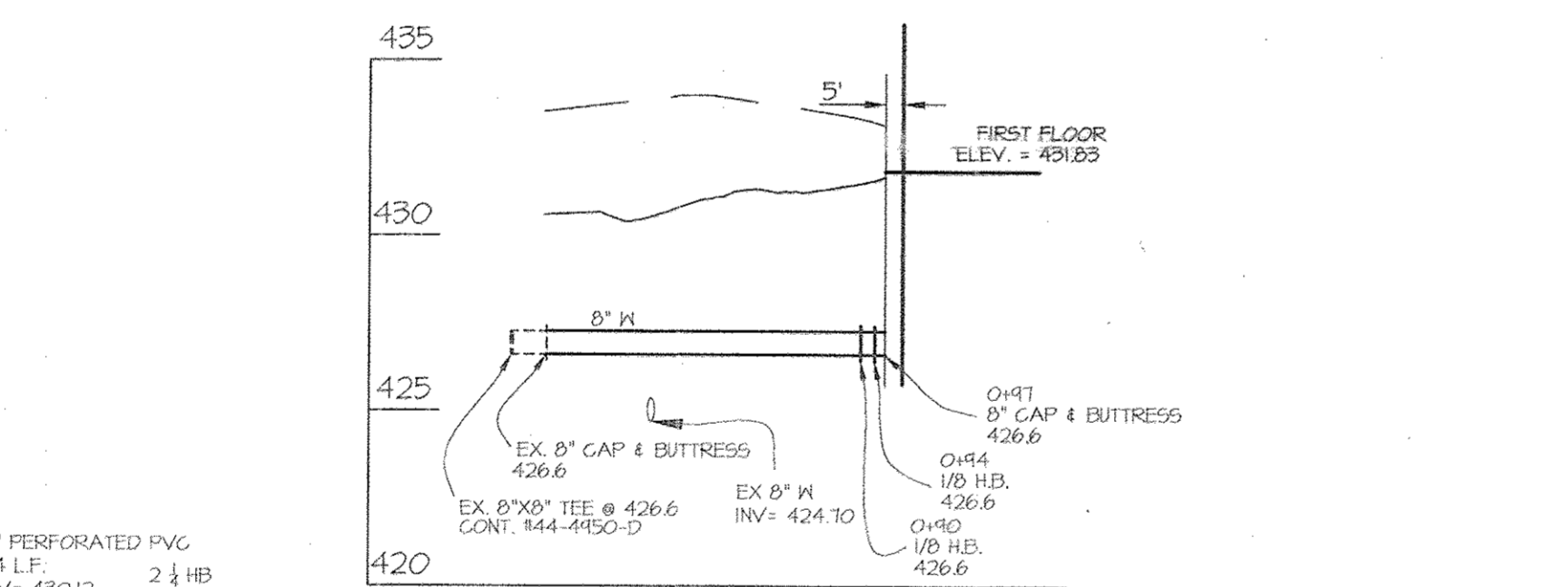
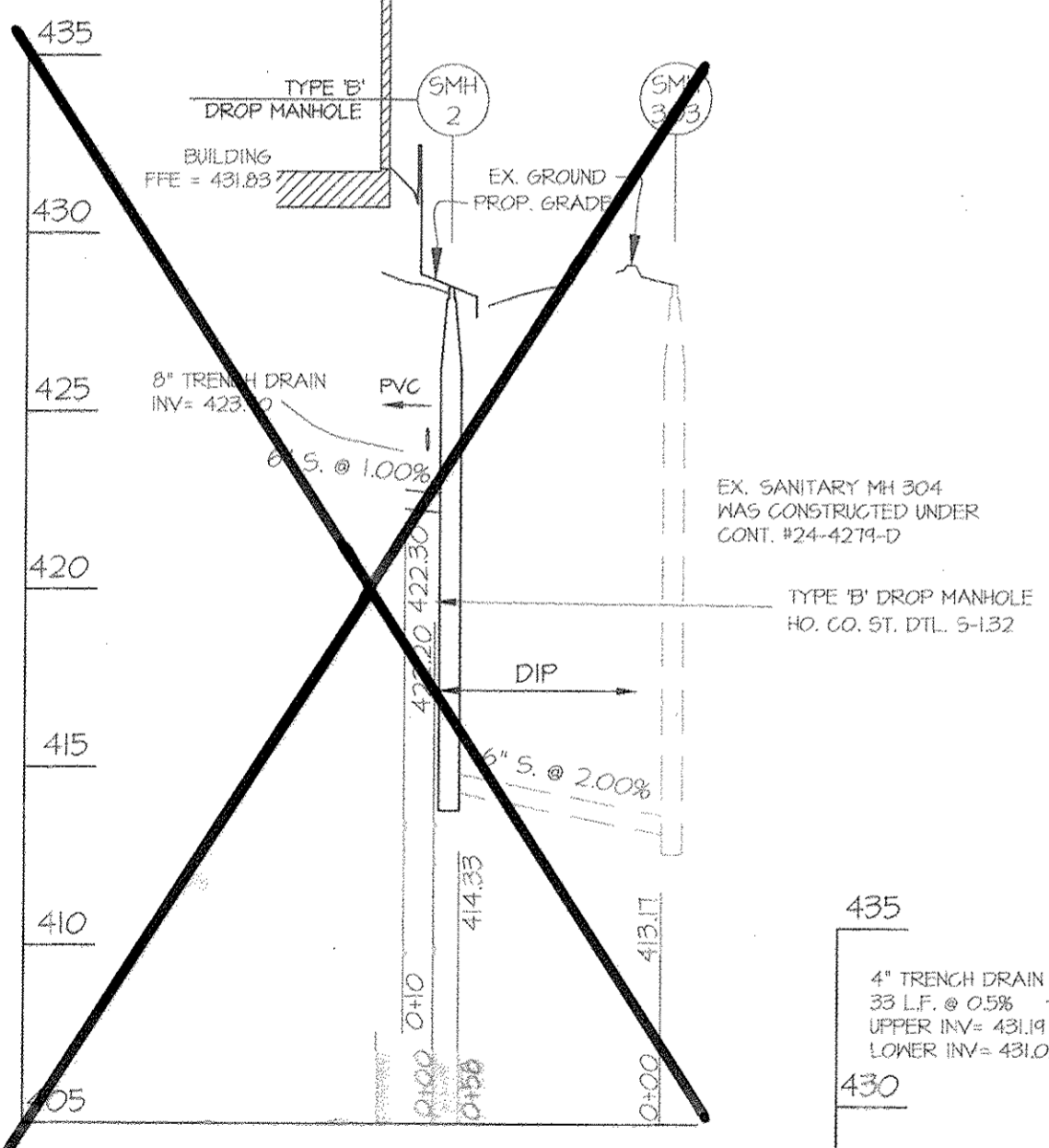
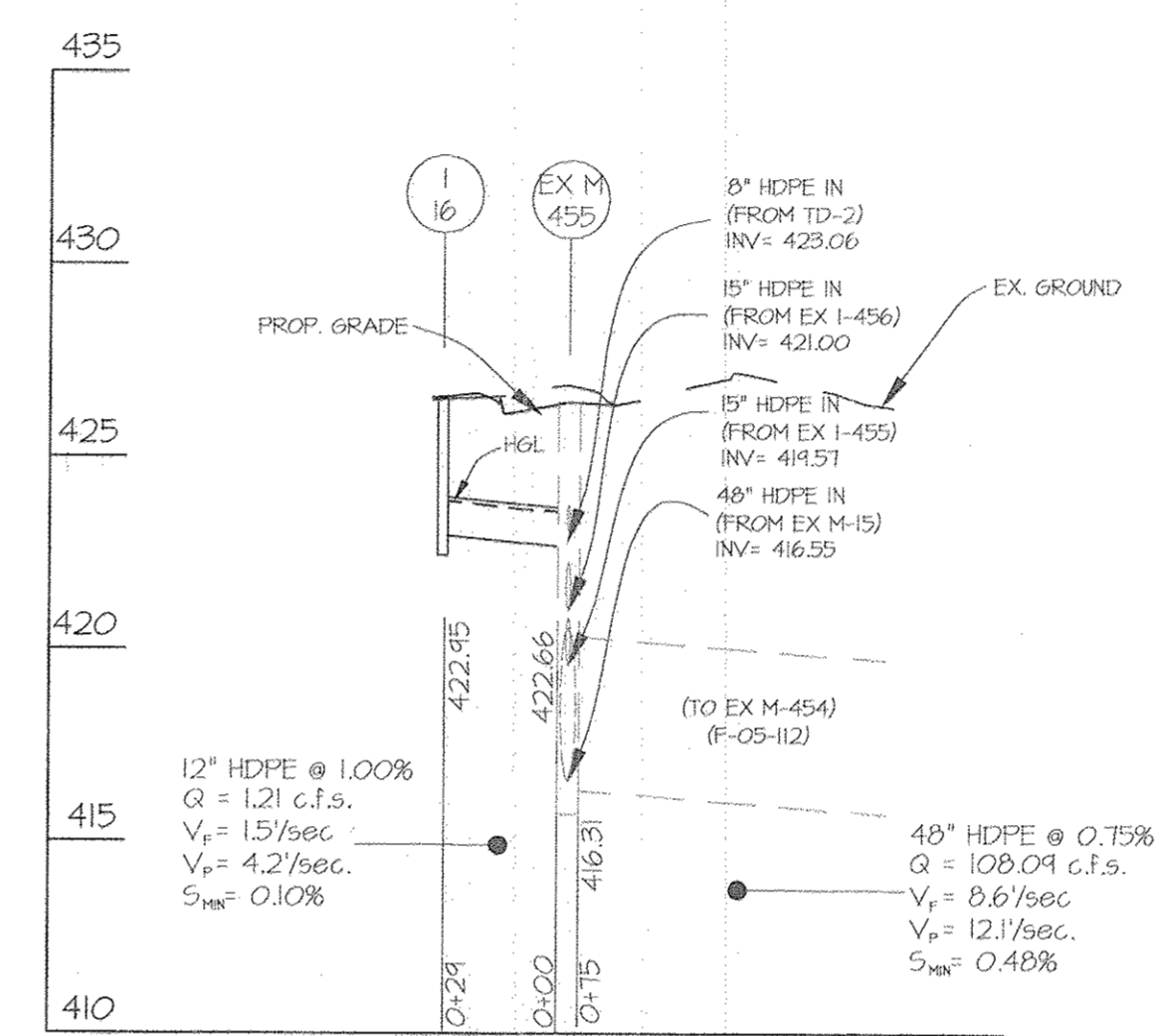
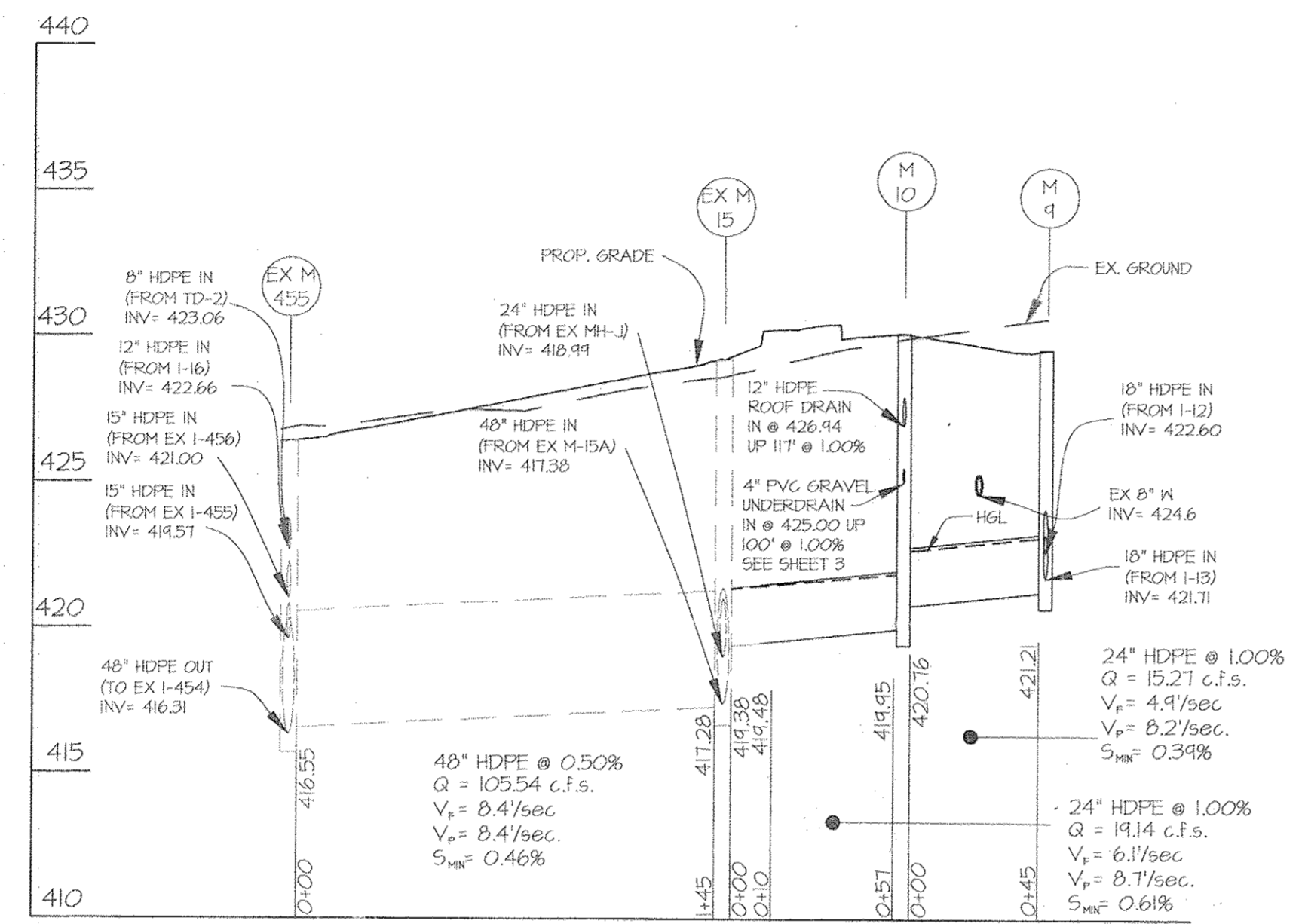
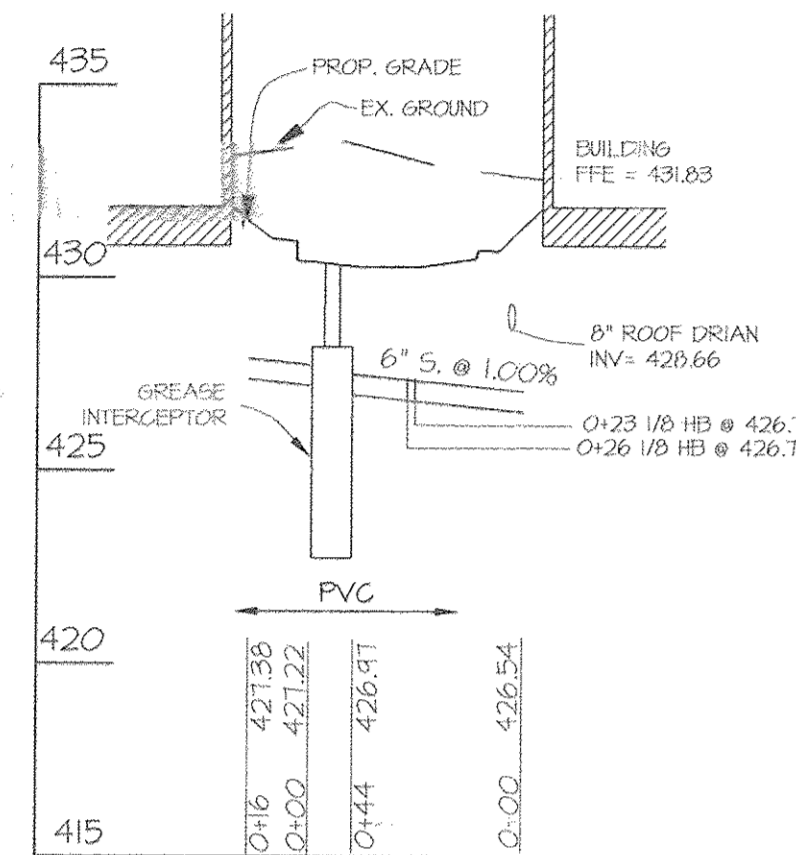
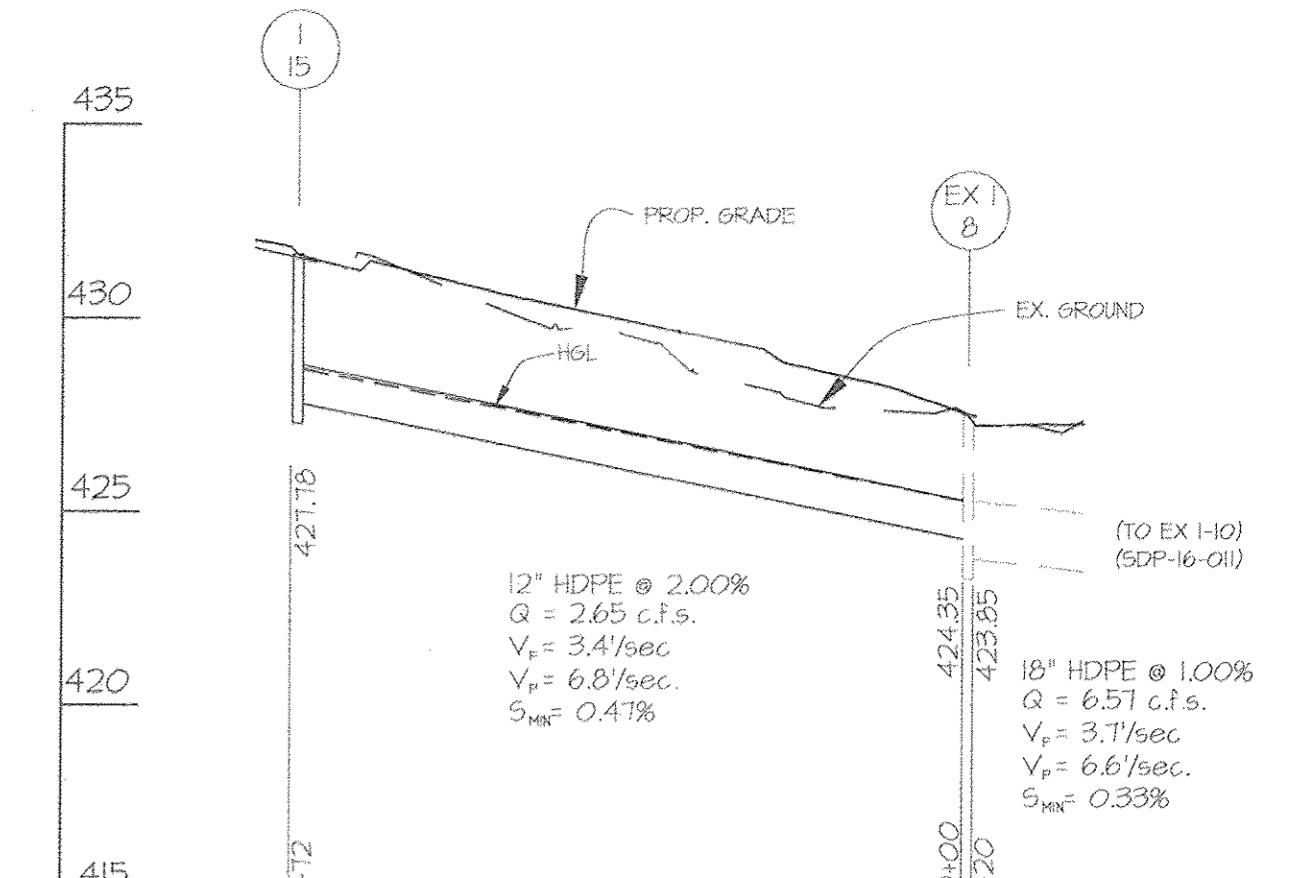
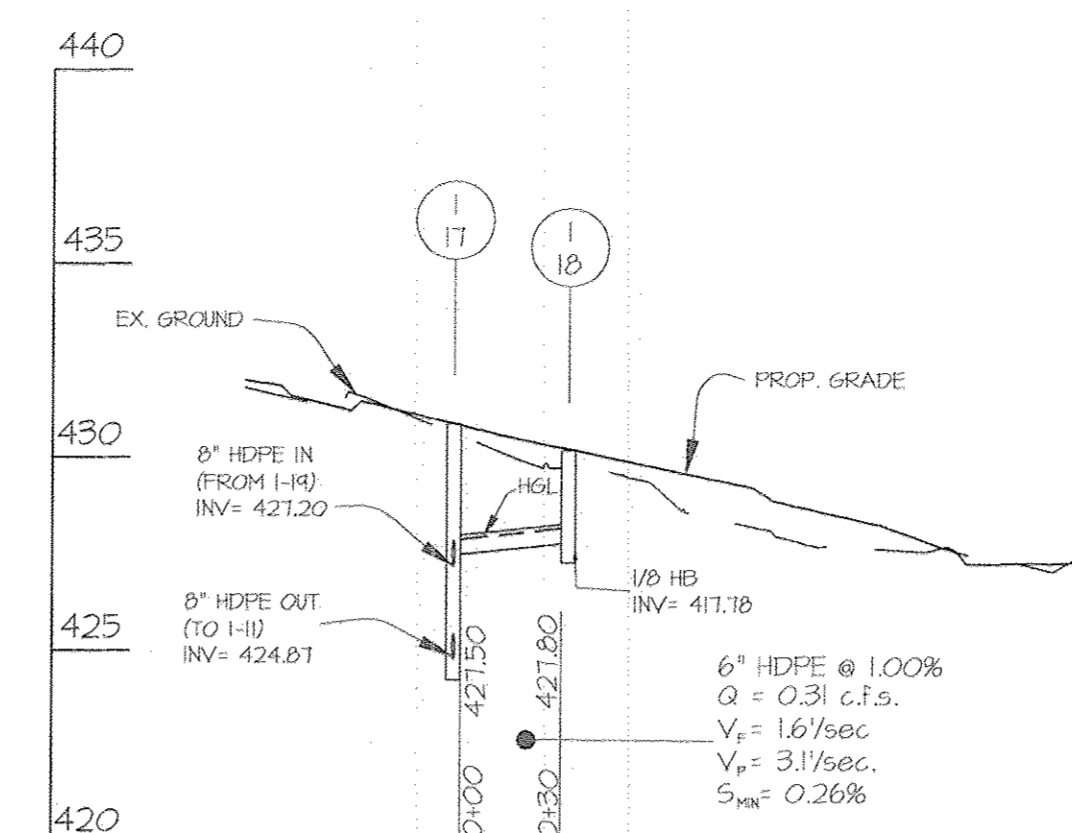
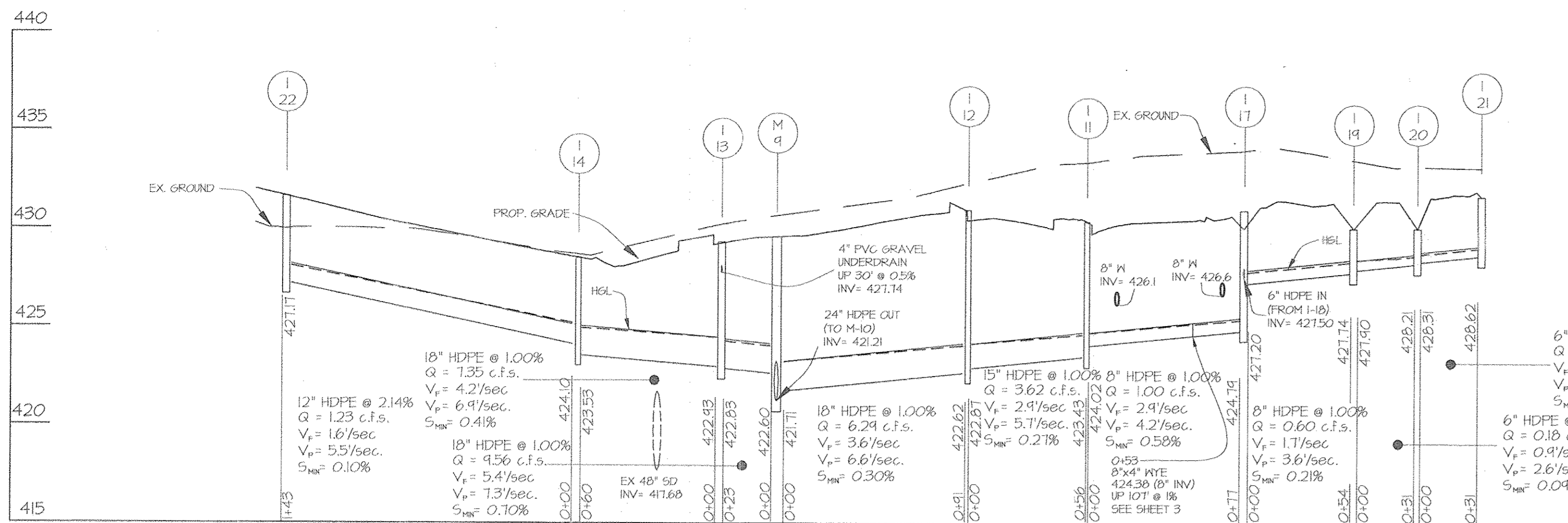
Table with 4 columns: SCALE, ZONING, G. L. W. FILE No., SHEET. Includes values: AS SHOWN, MXD-3, 15119, 7 OF 10.

**SEDIMENT CONTROL NOTES AND DETAILS**

**MAPLE LAWN FARMS**
Business District - Area 2
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)
PLAT Nos. 23880 thru 23882

Table with 4 columns: SCALE, ZONING, G. L. W. FILE No., SHEET. Includes values: AS SHOWN, MXD-3, 15119, 7 OF 10.





NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-11	A-10 INLET	3'-0"	429.19	---	424.02	423.43	HO. CO. D-4-03	N 541,096 E 1,339,615	
I-12	A-15 INLET	3'-0"	431.05	430.80	422.87	422.62	P. 6. CO. SD 101	N 541,046 E 1,339,578	
I-13	A-10 INLET	3'-0"	429.48	429.38	422.93	422.83	HO. CO. D-4-03	N 540,933 E 1,339,525	
I-14	A-15 INLET	3'-0"	428.15	---	424.10	423.53	P. 6. CO. SD 101	N 540,810 E 1,339,507	
I-15	A-10 INLET	3'-0"	432.02	431.79	---	421.78	HO. CO. D-4-03	N 541,170 E 1,339,246	
I-16	A-10 INLET	3'-0"	426.10	426.86	---	422.95	HO. CO. D-4-03	N 540,814 E 1,339,692	
I-17	12" NYLOPLAST	12"	430.00	---	421.20	424.79	---	N 541,126 E 1,339,688	12" DOME
I-18	12" NYLOPLAST	12"	430.50	---	---	421.80	---	N 541,152 E 1,339,705	12" DOME
I-19	12" NYLOPLAST	12"	430.00	---	---	421.90	---	N 541,113 E 1,339,732	12" DOME
I-20	12" NYLOPLAST	12"	430.00	---	---	428.31	---	N 541,101 E 1,339,765	12" DOME
I-21	12" NYLOPLAST	12"	431.63	---	---	428.62	---	N 541,071 E 1,339,798	12" STANDARD SQUARE
I-22	A-10 INLET	3'-0"	431.91	431.68	---	421.17	HO. CO. D-4-03	N 540,932 E 1,339,365	
M-9	STANDARD MANHOLE	4'-0"	429.15	---	422.60	421.21	HO. CO. G-5-12	N 540,954 E 1,339,547	
M-10	STANDARD MANHOLE	4'-0"	430.16	---	426.94	419.95	HO. CO. G-5-12	N 540,937 E 1,339,593	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF THE STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTER OF STRUCTURE FOR MANHOLES AND END SECTIONS.

PROFILE SCALES:  
HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

SIZE	TYPE	QUANTITY (LF)	REMARKS
2"	PVC	17	
4"	PVC	114	
4"	PERFORATED PVC	474	
6"	HDPE	92	
8"	HDPE	413	
12"	HDPE	461	
15"	HDPE	56	
18"	HDPE	174	
24"	HDPE	102	

ITEM	QUANTITY	TYPE
8" WATER MAIN	97 L.F.	D.I.P. (CL 54)
8" CAP & BUTTRESS	1 EA.	
8" 1/8" H.B.	2 EA.	
6" SEWER MAIN	102 L.F.	PVC
4" SEWER MANHOLE	1 EA.	

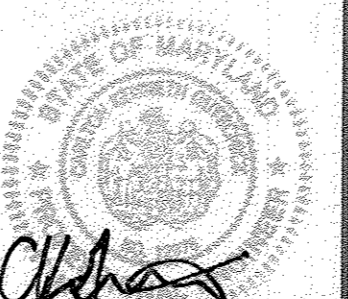
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 07/07/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 9-1-16  
Chief, Division of Land Development: [Signature] Date: 9-01-16  
Chief, Development Engineering Division: [Signature] Date: 8-19-16

GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3509 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT. 410-880-1820 DC/VA. 301-989-2524 FAX: 301-421-4186

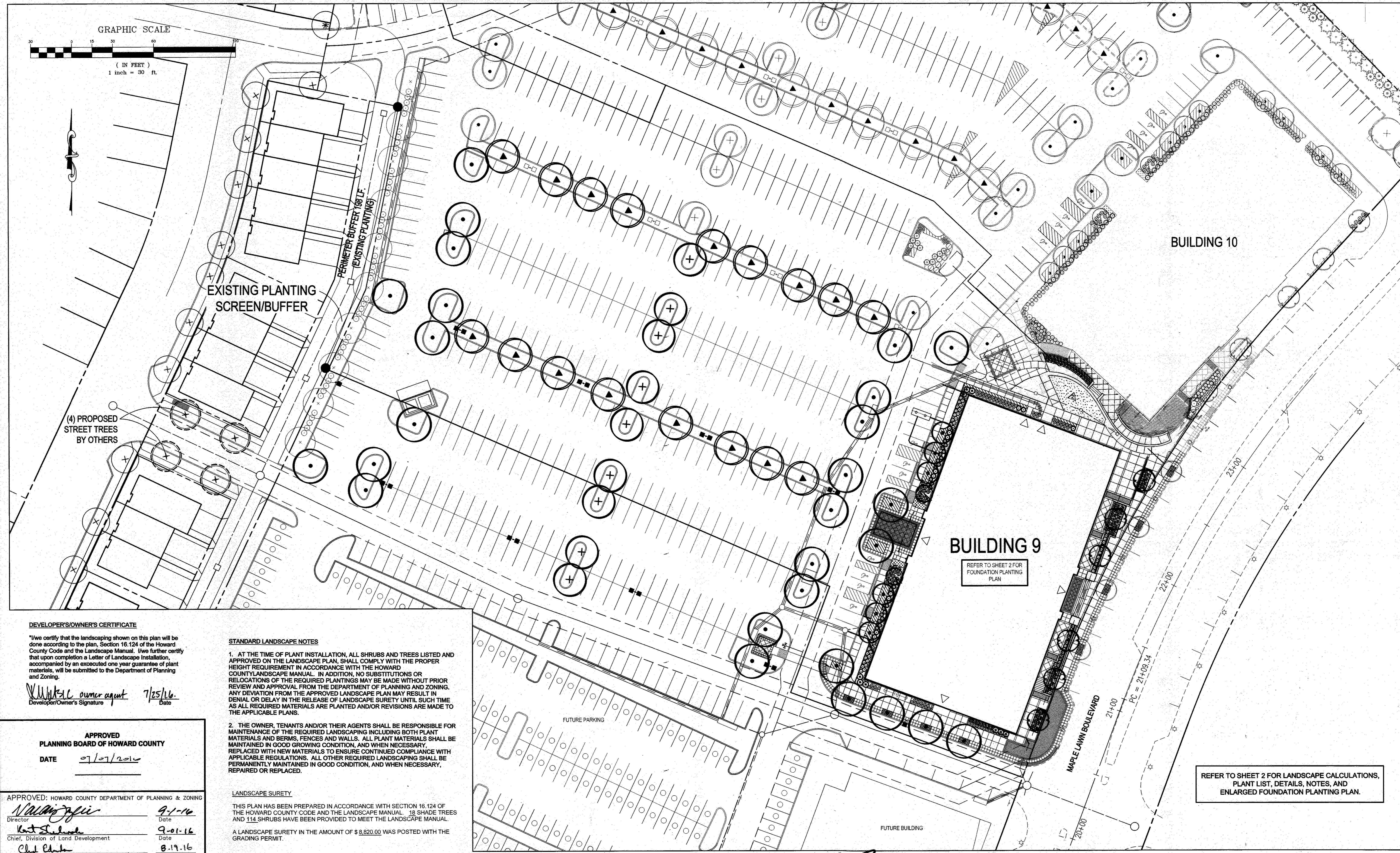
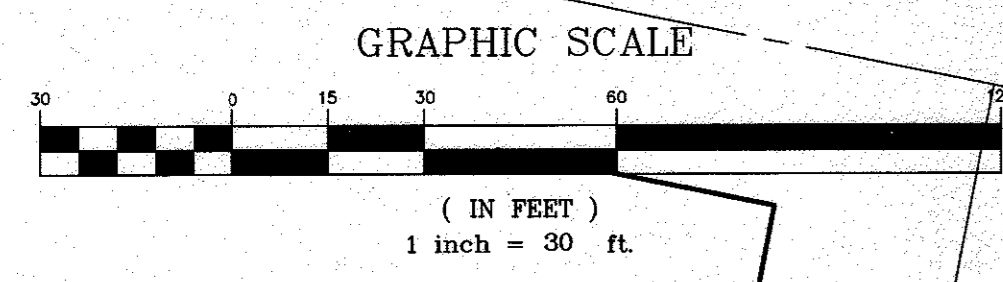
PREPARED FOR:  
OWNER: MAPLE LAWN  
C.C. STATUTORY TRUST  
1029 REISTERSTOWN ROAD  
SUITE 300  
BALTIMORE, MD 21208  
PH: 410-484-8400  
ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12775  
EXPIRATION DATE: May 16, 2018  
8/1/16 [Signature]



UTILITY PROFILES  
MAPLE LAWN FARMS  
Business District - Area 2  
Parcel 'C-33' (Office Building No. 9 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail, Restaurant, or Personal Service)  
PLAT Nos. 23880 thru 23882  
ELECTION DISTRICT No. 5  
SCALE: AS SHOWN  
ZONING: MXD-3  
G. L. W. FILE NO.: 15119  
DATE: JULY, 2016  
TAX MAP - GRID: 46: 3&4  
SHEET: 8 OF 10





**DEVELOPER'S/OWNER'S CERTIFICATE**

"I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*W. J. C. owner agent* 7/25/16  
 Developer/Owner's Signature Date

**STANDARD LANDSCAPE NOTES**

1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**LANDSCAPE SURETY**

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. 18 SHADE TREES AND 114 SHRUBS HAVE BEEN PROVIDED TO MEET THE LANDSCAPE MANUAL. A LANDSCAPE SURETY IN THE AMOUNT OF \$ 8,820.00 WAS POSTED WITH THE GRADING PERMIT.

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 DATE 07/07/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*N. Valentinovic* 9-1-16  
 Director Date  
*W. St. John* 9-01-16  
 Chief, Division of Land Development Date  
*Chad Clark* 8-19-16  
 Chief, Development Engineering Division Date

**HUMAN & ROHDE, INC.**  
 Landscape Architects  
 512 Virginia Ave. Towson, Maryland 21286  
 (410) 825-3885 Phone (410) 825-3887 Fax

PREPARED FOR:  
 OWNER: MAPLE LAWN C.C. STATUTORY TRUST 1829 REGISTERSTOWN ROAD SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN: MARK BENNETT  
 DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 PH: 410-788-0100 ATTN: KAREN WATSON

**OVERALL LANDSCAPE PLAN**  
**MAPLE LAWN FARMS**

Business District - Area 2  
 Parcel 'C-32' (Office Building No. 9 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 23890 thru 23892

REFER TO SHEET 2 FOR LANDSCAPE CALCULATIONS, PLANT LIST, DETAILS, NOTES, AND ENLARGED FOUNDATION PLANTING PLAN.

1. 1/16/16 2. 2/16/16 3. 3/16/16 4. 4/16/16 5. 5/16/16 6. 6/16/16 7. 7/16/16 8. 8/16/16 9. 9/16/16 10. 10/16/16 11. 11/16/16 12. 12/16/16 13. 1/17/17 14. 2/17/17 15. 3/17/17 16. 4/17/17 17. 5/17/17 18. 6/17/17 19. 7/17/17 20. 8/17/17 21. 9/17/17 22. 10/17/17 23. 11/17/17 24. 12/17/17 25. 1/18/18 26. 2/18/18 27. 3/18/18 28. 4/18/18 29. 5/18/18 30. 6/18/18 31. 7/18/18 32. 8/18/18 33. 9/18/18 34. 10/18/18 35. 11/18/18 36. 12/18/18 37. 1/19/19 38. 2/19/19 39. 3/19/19 40. 4/19/19 41. 5/19/19 42. 6/19/19 43. 7/19/19 44. 8/19/19 45. 9/19/19 46. 10/19/19 47. 11/19/19 48. 12/19/19 49. 1/20/20 50. 2/20/20 51. 3/20/20 52. 4/20/20 53. 5/20/20 54. 6/20/20 55. 7/20/20 56. 8/20/20 57. 9/20/20 58. 10/20/20 59. 11/20/20 60. 12/20/20 61. 1/21/21 62. 2/21/21 63. 3/21/21 64. 4/21/21 65. 5/21/21 66. 6/21/21 67. 7/21/21 68. 8/21/21 69. 9/21/21 70. 10/21/21 71. 11/21/21 72. 12/21/21 73. 1/22/22 74. 2/22/22 75. 3/22/22 76. 4/22/22 77. 5/22/22 78. 6/22/22 79. 7/22/22 80. 8/22/22 81. 9/22/22 82. 10/22/22 83. 11/22/22 84. 12/22/22 85. 1/23/23 86. 2/23/23 87. 3/23/23 88. 4/23/23 89. 5/23/23 90. 6/23/23 91. 7/23/23 92. 8/23/23 93. 9/23/23 94. 10/23/23 95. 11/23/23 96. 12/23/23 97. 1/24/24 98. 2/24/24 99. 3/24/24 100. 4/24/24 101. 5/24/24 102. 6/24/24 103. 7/24/24 104. 8/24/24 105. 9/24/24 106. 10/24/24 107. 11/24/24 108. 12/24/24 109. 1/25/25 110. 2/25/25 111. 3/25/25 112. 4/25/25 113. 5/25/25 114. 6/25/25 115. 7/25/25 116. 8/25/25 117. 9/25/25 118. 10/25/25 119. 11/25/25 120. 12/25/25 121. 1/26/26 122. 2/26/26 123. 3/26/26 124. 4/26/26 125. 5/26/26 126. 6/26/26 127. 7/26/26 128. 8/26/26 129. 9/26/26 130. 10/26/26 131. 11/26/26 132. 12/26/26 133. 1/27/27 134. 2/27/27 135. 3/27/27 136. 4/27/27 137. 5/27/27 138. 6/27/27 139. 7/27/27 140. 8/27/27 141. 9/27/27 142. 10/27/27 143. 11/27/27 144. 12/27/27 145. 1/28/28 146. 2/28/28 147. 3/28/28 148. 4/28/28 149. 5/28/28 150. 6/28/28 151. 7/28/28 152. 8/28/28 153. 9/28/28 154. 10/28/28 155. 11/28/28 156. 12/28/28 157. 1/29/29 158. 2/29/29 159. 3/29/29 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