

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE. THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 318-1800 AT LEAST 48 HOURS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MESA UTILITY" AT 1-800-251-TITT AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY BUREAU OF PUBLIC WORKS BUREAU OF UTILITIES AT (410) 318-4400 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:**
LOCATION: TAX MAP 36
ZONING: PROPERTY IS ZONED "NEW TOWN" PER THE COMPREHENSIVE ZONING PLAN ZONING AMENDMENTS AND MAPS EFFECTIVE OCTOBER, 6 2013. ADDITIONALLY, THE PROJECT IS SUBJECT TO THE DOWNTOWN COLUMBIA PLAN - A GENERAL PLAN AMENDMENT EFFECTIVE APRIL, 6, 2014.
- DOWNTOWN COLUMBIA LAND USE:**
ELECTION DISTRICT: FIFTH ELECTION DISTRICT
AREA OF BULDBLAD LOTS: LOT 13, 10184 AC. & LOT 23, 36.2326 AC.
RECORD PLAT NO.: 4305
DPZ REF. FILE NO.: FDD-4-A-V, F-14-141, SDP-10-58c, SDP-01-178c, SDP-02-106c, SDP-03-126, SDP-04-222, SDP-04-122, FDD-DC-MSH-1A, ECP-15-083, F-15-106, ECP-16-020, & FDD-CA-10-100
- TOPOGRAPHIC AERIAL SURVEY WAS PERFORMED ON MARCH 2007 BY MCKENZIE SNYDER AND TOPOGRAPHIC FIELD SURVEY SUMMER, 2014 BY GUTSCHICK, LITTLE & WEBER.
- COORDINATES ARE BASED ON NAD 83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 36AA AND 36AB.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS AND FIELD LOCATIONS BY GUTSCHICK, LITTLE & WEBER, P.A. THE CONTRACTOR MUST DIG TEST PITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION AND DEPTH OF CURB UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- SPOT ELEVATIONS SHOWN FROM THE BOTTOM OF CURB UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- THE PROJECT IS WITHIN THE METROPOLITAN DISTRICT.
- WATER SERVICE & SEWER SERVICE ARE PUBLIC (CONTR. # 24-444-04).
- A TRAFFIC STUDY IS NOT REQUIRED SINCE THERE IS NO PROPOSED INCREASE TO THE VENUE CAPACITY.
- THE CEMETERY INVENTORY MAP DOES NOT SHOW ANY CEMETERIES WITHIN THE PROJECT LIMITS.
- THE HISTORIC SITES MAP DOES NOT SHOW ANY HISTORICAL SITES WITHIN THE PROJECT LIMITS.
- THE GEO-TECHNICAL REPORT WAS PROVIDED BY THE ROBERT B. BALTER COMPANY DATED SEPTEMBER 2015.
- A NOISE STUDY WAS PREPARED BY CERAMI & ASSOCIATES DATED OCTOBER 2015 AND WAS APPROVED WITH THIS SITE PLAN. A SOUND MEASUREMENT AND SUBSEQUENT ACOUSTICAL MODELING EXERCISE HAS BEEN UNDERTAKEN BY CERAMI & ASSOCIATES TO DETERMINE THE SOUND PROPAGATION FROM THE NEW MERRIWEATHER POST PAVILION. IT HAS BEEN DEMONSTRATED THAT WITH THE APPROPRIATE AFOREMENTIONED SOUND SYSTEM MODIFICATIONS, A REDUCTION IN OFF-SITE SOUND PROPAGATION CAN BE ACHIEVED UPON COMPLETION OF THE NEW ARCHITECTURAL SCHEME. IT HAS BEEN DEMONSTRATED THAT BETTER LAWN COVERAGE CAN LIKELY BE ACHIEVED ALLOWING DELAYS TO BE RUN AT LOWER POWER. APPROVAL OF THIS SITE DEVELOPMENT PLAN IS SUBJECT TO ALL NOISE MITIGATION MEASURES RECOMMENDED IN THE NOISE STUDY BEING IMPLEMENTED. IN ADDITION, THE MERRIWEATHER POST PAVILION OPERATOR SHALL WORK WITH THE HEALTH DEPARTMENT TO CONSIDER ADDITIONAL MITIGATION TO IMPLEMENT OVER THE NEXT 5 OPERATING SEASONS.
- SOILS DATA WAS TAKEN FROM THE SOIL SURVEY OF HOWARD COUNTY MARYLAND, 1982 & 2008.
- BOUNDARY INFORMATION IS FROM BOUNDARY SURVEYS BY GUTSCHICK, LITTLE, AND WEBER, P.A. DATED FEBRUARY, 2014.
- THE 100-YEAR FLOODPLAIN LIMITS FOR STREAM B WERE TAKEN FROM THE HOWARD COUNTY DIGITAL FLOOD INSURANCE RATE MAP. THE FEMA FLOODPLAIN ELEVATIONS WERE DELINEATED USING THE EXISTING TOPOGRAPHY.
- THE WETLANDS DELINEATION STUDY FOR THIS PROJECT WAS PREPARED BY DAFT-MCCUNE-WALKER, INC., DATED NOVEMBER 1, 2013.
- THE ENVIRONMENTAL FLOODPLAIN LOCATED ON LOT 13 CONSIST OF A 100-YEAR FLOODPLAIN AND A 50' STREAM BUFFER.
- THE PROJECT IS EXEMPT FROM FOREST CONSERVATION REQUIREMENTS OF SECTION 16.1202(B)(1)(IV) (PUD WITH A PDP APPROVED PRIOR TO 12/31/02).
- EXISTING TREES SHOWN ON THESE PLANS ARE FROM SURVEYS FROM THE CARE OF TREES (1/20/01) BIOHABITATS (3/20/14) AND GUTSCHICK, LITTLE AND WEBER (6/20/14) AND DO NOT REFLECT ANY CHANGES THAT MAY HAVE OCCURRED SINCE THESE SURVEYS WERE PERFORMED.
- GRADING, REMOVAL OF VEGETATIVE COVER OR TREE PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, 100 YEAR FLOODPLAIN AREAS, OR STEEP SLOPE AREAS WITH ON-SITE AND OFF-SITE CONTIGUOUS AREAS GREATER THAN 20,000 SF UNLESS PERMITTED UNDER AN APPROVED WAIVER PETITION OR DETERMINED TO BE ESSENTIAL TO THE PROJECT BY THE HOWARD COUNTY HEALTH DEPARTMENT. THE PROJECT SHALL BE CONSIDERED TO BE A CULTURALLY SIGNIFICANT SITE, IS A NECESSARY DISTURBANCE. SEE NOTE 45 FOR ADDITIONAL JUSTIFICATION.
- NOTE: IN CASE OF DISCREPANCIES BETWEEN THE PLAT AND THE PLANS, THE PLAT SHALL GOVERN.
- TRASH COLLECTION WILL BE PRIVATE.
- ALL OUTDOOR LIGHTING SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING PUBLIC ROADS AND IN ACCORDANCE WITH SECTION 13.4.0 OF THE HOWARD COUNTY ZONING REGULATIONS.
- THE LANDSCAPE PLAN WAS PREPARED ACCORDING TO THE ALTERNATIVE COMPLIANCE SECTION OF THE LANDSCAPE MANUAL. THE LANDSCAPE PLANS HAVE BEEN PREPARED BY A REGISTERED LANDSCAPE ARCHITECT AND IS CERTIFIED TO MEET THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD DESIGN GUIDELINES. SURETY FOR THE REQUIRED LANDSCAPING, 16,842.00 SHALL BE POSTED WITH THE DEVELOPMENT PLAN.
- THE MINIMUM BUILDING SETBACKS RESTRICTIONS FROM PROPERTY LINES AND PUBLIC ROAD RIGHTS OF WAY ARE TO BE IN ACCORDANCE WITH FDD-DC-MSH-1A RECORDED ON 12/10/2015 AS PLAT NOS. 22562 THROUGH 22562 AND THE NEIGHBORHOOD DESIGN GUIDELINES RECORDED AS LIBER 16542 FOLIO 035.
- PROPOSED BUILDINGS A & B WILL HAVE AUTOMATIC FIRE SUPPRESSION SPRINKLER SYSTEMS.
- IN ACCORDANCE WITH FDD-DC-MSH-1A, THERE IS A 4 STORY BUILDING HEIGHT LIMIT (NOT TO EXCEED 60 FEET) AND A MAXIMUM PAVILION HEIGHT OF 85', NO MAXIMUM BUILDING COVERAGES, NOR ARE THERE ANY SPECIFIED BUILDING SETBACKS FOR THIS SITE.
- THIS PROPERTY IS SUBJECT TO THE NEIGHBORHOOD SPECIFIC DESIGN GUIDELINES (NSDG), RECORDED IN LIBER 16542, FOLIO 035, THE NEIGHBORHOOD SPECIFIC IMPLEMENTATION PLAN (NSIP), RECORDED AS PLAT NO. 22562, THE NEIGHBORHOOD CONCEPT PLAN (NCP) RECORDED AS PLAT NO. 22560 AND THE FINAL DEVELOPMENT PLAN (FDD-DC-MSH-1A) RECORDED AS PLAT NOS. 22564 THRU 22562.
- FOOD SERVICE ESTABLISHMENTS MUST BE PROVIDED WITH A GREASE INTERCEPTOR. WASTEWATER DRAINS CONTAINING CONCENTRATIONS OF FATS OILS AND GREASES MUST BE ISOLATED FROM OTHER SOURCES OF WASTEWATER AND SHALL PASS THROUGH A GREASE INTERCEPTOR PRIOR TO ENTERING THE SANITARY SEWER. WASTEWATER FROM REST ROOMS AND GARBAGE GRINDERS SHALL BYPASS THE GREASE INTERCEPTOR. THE GREASE INTERCEPTOR SHALL BE DESIGNED FOR EFFICIENT REMOVAL OF GREASE AT THE MAXIMUM FLOW RATE. GREASE INTERCEPTORS THAT ARE LOCATED OUTSIDE THE BUILDING SHALL BE ACCESSIBLE BY MOTOR VEHICLE (WALKER HAULER) AND SHALL HAVE A MINIMUM SIZE OF 750 GALLONS. GREASE INTERCEPTORS LOCATED INSIDE THE FOOD SERVICE FACILITY MUST BE ISOLATED FROM FOOD PREPARATION AREAS AND MUST BE APPROVED BY THE HOWARD COUNTY HEALTH DEPARTMENT. IF APPROVAL FOR AN INDOOR GREASE INTERCEPTOR IS NOT GRANTED BY THE HOWARD COUNTY HEALTH DEPARTMENT, THEN AN EXTERIOR GREASE INTERCEPTOR WILL BE REQUIRED.
- HEALTH DEPARTMENT APPROVAL OF AN SDP DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PERMIT PLANS FOR CERTAIN FACILITIES TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. SUCH FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, THOSE WHICH HAVE SWIMMING POOLS, OR THAT SELL PREPARED OR PACKAGED FOODS, OR THAT HAVE EQUIPMENT THAT EMITS RADIATION.
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN, A PRE-SUBMISSION MEETING WAS HELD ON SEPTEMBER 8, 2015 AT MERRIWEATHER POST PAVILION. NOTICE OF THE MEETING WAS PROVIDED IN ACCORDANCE WITH SECTION 16.1202(B) THRU (G) AND SECTION 125.2.2 OF THE ZONING REGULATIONS.
- PRIOR TO SUBMITTING THIS SITE DEVELOPMENT PLAN A SUBMISSION TO THE HOWARD COUNTY DESIGN ADVISORY PANEL WAS MADE IN ACCORDANCE WITH SECTION 125.H(1). THE DESIGN ADVISORY PANEL CONSIDERED THE APPLICATION AT ITS MEETING ON SEPTEMBER 9, 2015. THE DAP ADOPTED FIVE RECOMMENDATIONS TO THE PLANNING BOARD FOR THE PROJECT AS NOTED IN THE MINUTES. AS A RESULT OF THE MEETING:
1. THE APPLICANT WILL TAKE INTO CONSIDERATION PRECEDENT MID-CENTURY GRAPHICS AND FORMS IN DEVELOPING A COMPREHENSIVE SIGNAGE PACKAGE.
2. THE APPLICANT WILL TAKE INTO CONSIDERATION PRECEDENT MID-CENTURY GRAPHICS AND FORMS IN DEVELOPING A COMPREHENSIVE SIGNAGE PACKAGE.
- DEVELOPMENT WITH THIS SDP IS NOT SUBJECT TO THE REVITALIZATION PHASING CHART OR CERTA REQUIREMENTS.
- THERE ARE NO REQUIREMENTS FOR COMMUNITY COMMON OPEN SPACES IN MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD. ALL LAND IS DESIGNATED AS AMENITY OR NATURAL AREAS.
- ALL PRIVATE WATER MAINS 4" AND LARGER SHALL BE C-100-DR18 PVC. ALL SEWER MAINS SHALL BE PVC.
- THIS SITE QUALIFIES FOR REDEVELOPMENT UNDER MDC CRITERIA. STORMWATER MANAGEMENT REQUIREMENTS PERMITS (A-2) WILL BE PROVIDED IN ACCORDANCE WITH CHAPTER 5 OF THE MDC STORMWATER DESIGN MANUAL. IN ORDER TO FULFILL THE STORMWATER MANAGEMENT REQUIREMENTS PERMITS (A-2) WILL BE USED. ALL PERMEABLE PAVEMENT WILL BE PRIVATELY OWNED AND MAINTAINED.
- ALL PARKING SPACES PLACED ON DOWNTOWN PARKLAND SHALL BECOME NON-CREDITED DOWNTOWN PARKLAND AND SHALL BE REPLACED AT A MINIMUM WITH AN EQUIVALENT AMOUNT OF DOWNTOWN LAND AREA FROM THE CRESCENT NEIGHBORHOOD WITHIN THE PROJECT LIMITS AND THE AREA SHALL BE AS QUALITY AS THAT OF THE AREA WITHIN THE PROJECT LIMITS.
- ENVIRONMENTALLY SENSITIVE LAND AREA. THE REPLACEMENT DOWNTOWN NON-ENVIRONMENTALLY SENSITIVE LAND, AS NEW DOWNTOWN PARKLAND, SHALL OCCUR WITHIN THE RECORDING OF THE PLAT OF SUBDIVISION FOR THE CRESCENT NEIGHBORHOOD (F-15-106).
- THE TOTAL AREA OF PLACED ON DOWNTOWN PARKLAND SHOWN ON THIS SITE PLAN TO BE REPLACED WITH NON-ENVIRONMENTALLY SENSITIVE LAND AREA FROM THE CRESCENT IS 0.26 ACRES (12,251 SF). THE ANTICIPATED TOTAL NON-CREDITED AREA ON DOWNTOWN PARKLAND SHOWN ON ALL SITE PLANS AND ROAD PLANS IS 1.7 ACRES. AND THE ANTICIPATED TOTAL AREA OF NON-ENVIRONMENTALLY SENSITIVE LAND AREA FROM THE CRESCENT TO BE TRANSFERRED TO THE COLUMBIA ASSOCIATION IS 5.8 ACRES.
- JUSTIFICATION FOR NECESSARY DISTURBANCES AT MERRIWEATHER POST PAVILION PER SECTION 16.106(K). THIS SITE DEVELOPMENT PLAN FOR THE PAVILION, LOT 13, STAGE NOISE STORAGE/ OFFICE, EAST PLAZA AREA, AND THE COMPLETION OF THE FIRE ACCESS LOOP BEHIND THE STAGE FACILITIES, REQUIRES MINOR DISTURBANCE TO THE STREAM BUFFER AND THE FLOODPLAIN. THE STREAM BUFFER OVERLAPS ONTO THE AREA THAT IS CURRENTLY USED FOR THE TRAILERS AND THE LOADING DOCK. THOSE IMPROVEMENTS EXISTED LONG BEFORE THERE WERE STREAM BUFFER REQUIREMENTS. THE PROPOSED IMPROVEMENTS SHOWN ON THIS SITE PLAN HAVE A NET DECREASE IN DISTURBANCE WITHIN THE ENVIRONMENTAL AREAS. THE NEW IMPROVEMENTS ARE BEING ADDED IN ORDER TO BUILD THE REQUIRED CROSS-SECTION OF THE FIRE ACCESS ROAD. THE WATER MAIN IS ALSO BEING REQUIRED TO PROVIDE PROPER PRESSURE FOR FIRE FIGHTING, BUT IT DOES NOT CAUSE FURTHER INTRUSION SINCE IT LIES WITHIN THE FIRE ROAD BED. HOWARD COUNTY HAS APPROVED THIS AS AN ESSENTIAL DISTURBANCE.
- THE DOWNTOWN COLUMBIA PLAN RECOGNIZES THE IMPORTANCE OF MERRIWEATHER POST PAVILION AS A MAJOR COMMUNITY ASSET AND ANTICIPATES ITS TRANSFER TO THE DOWNTOWN ARTS AND CULTURAL COMMISSION TO ASSURE ITS CONTINUED USE AS A PERFORMING ARTS CENTER AND PREMIER CONCERT VENUE. THE DOWNTOWN COLUMBIA ARTS AND CULTURAL COMMISSION (DCCAC) HAS CREATED AN ORGANIZATION WHOSE PURPOSES INCLUDE THE PROMOTION AND SUPPORT OF THE POTENTIAL REVITALIZATION OF MERRIWEATHER POST PAVILION IN ACCORDANCE WITH THE DOWNTOWN COLUMBIA PLAN AS AN ARTISTIC AND CULTURAL CENTER. CEPPA #24 REQUIRES MERRIWEATHER POST PAVILION TO BE TRANSFERRED TO THE DCCAC PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THE 50,000,000 SF OF DEVELOPMENT.
- SITE FURNISHINGS WILL BE COORDINATED WITH SURROUNDING NEIGHBORHOOD USES TO ENSURE A UNIFIED EXPRESSION IN THE CHARACTER OF MERRIWEATHER-SYMPHONY WOODS AS A CULTURAL PARK.

PARKING ANALYSIS
PARKING REQUIRED: 1 SPACE PER 3 FIXED SEATS; IF THERE ARE NO FIXED SEATS: 10 SPACES PER 1,000 SF OF ASSEMBLY AREA. THE ZONING CODE PERMITS SHARED PARKING SCENARIOS. THE ZONING CODE ALSO PERMIT A PARKING NEEDS STUDY TO PROPOSE AN ALTERNATIVE TO THE ENUMERATED PARKING REQUIREMENTS WITHIN THE CODE.
PARKING PROVIDED: SEE PARKING ANALYSIS ON SHEET 3

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: **DECEMBER 17, 2015**
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Walter J. ...* 3-2-16
Chief, Division of Land Development: *Ken ...* 3-2-16
Chief, Development Engineering Division: *Paul ...* 2-23-16

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT FOR PUBLIC WATER AND SEWER SYSTEMS
William ... 2/11/2016
County Health Officer: *...* date

GLWGuttschick Little & Weber, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 BALT: 410-890-1820 O'CAM: 301-988-2524 FAX: 301-421-4186

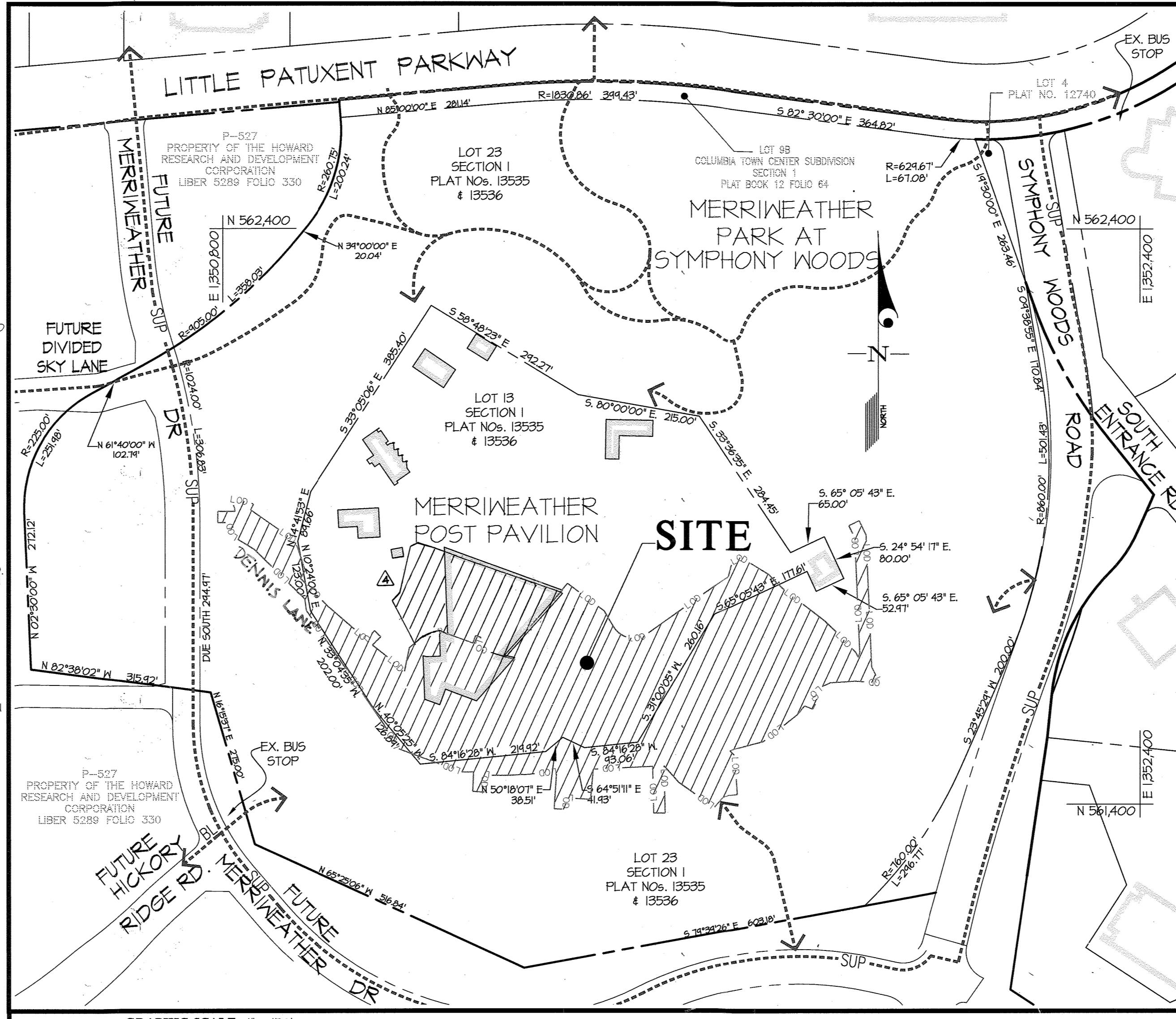
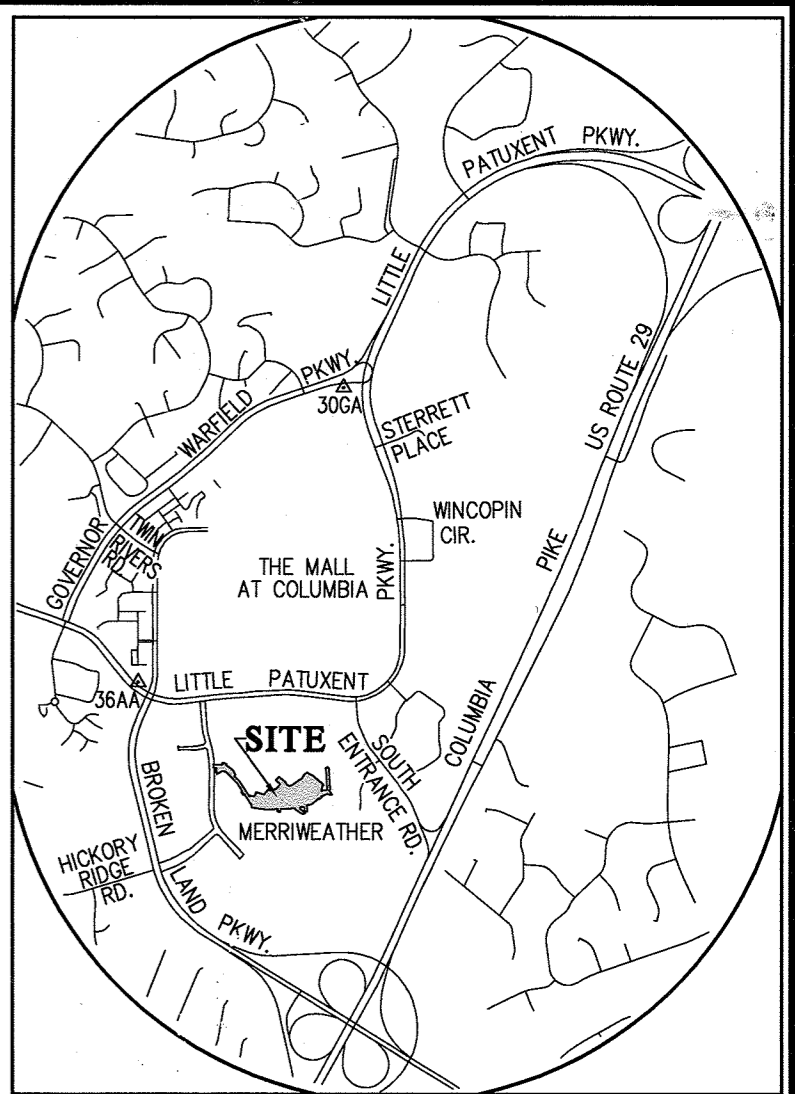
DATE	REVISION	BY	APP'R.
11-18-15	Updated Building sizes per Architect Revisions	gt	ANL
11-12-15	Added sheet 24	gt	ANL
1-2-2016	Revised LOD Per Architect Revised General Notes	gt	ANL
2-14-2017	Revised Building SF per Architecture change	gt	DBS
08-18-16	PARKING NOTE REVISED (3)	HKJ	DDS
05/08/16	VERMON MIRELESS EQUIPMENT SHELTER & PERKED COMPOUND ADDED		
09/20/16	DENNIS LANE ROAD NAME ADDED	CMD	DBS

SITE DEVELOPMENT PLAN

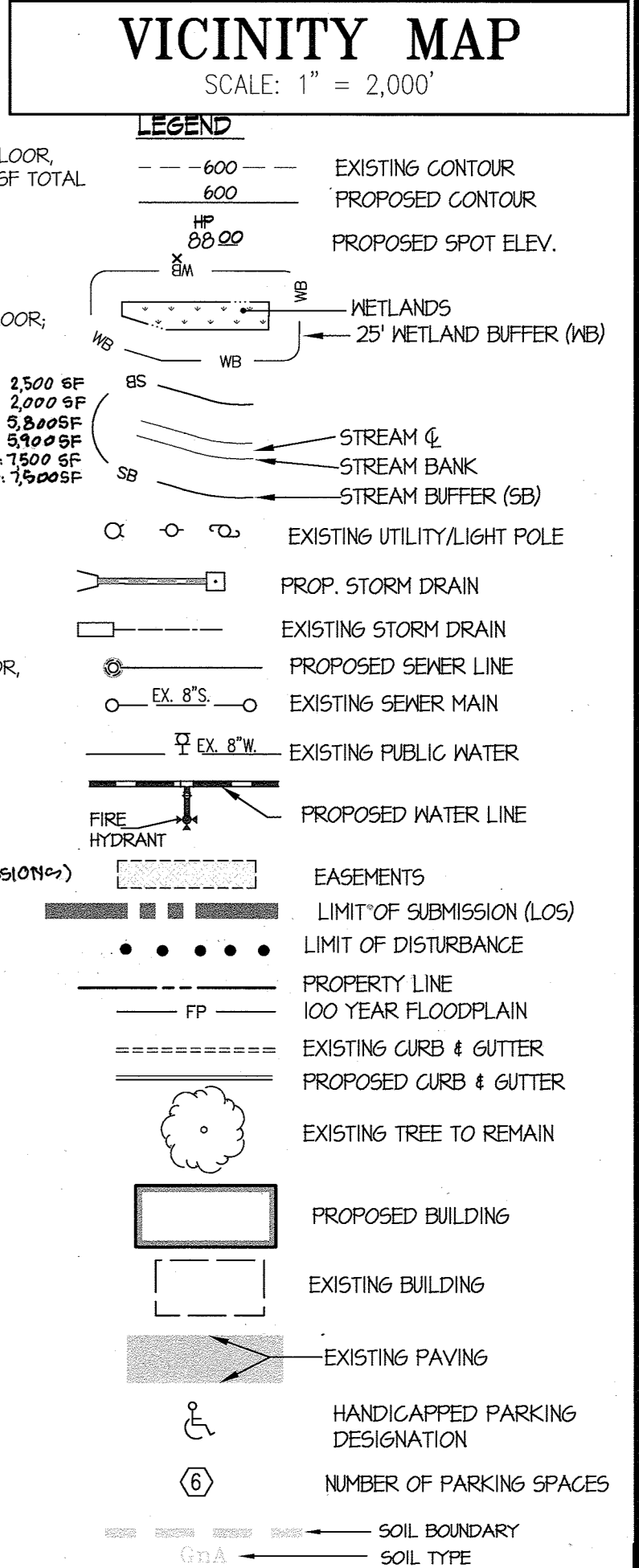
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS

TOWN CENTER, SECTION 1, LOTS 13 & 23 REDEVELOPMENT PHASE 2 & 3

HOWARD COUNTY CONTROL STATIONS
306A
NORTHING: 566,053.5471
EASTING: 1352,171.5307
ELEVATION: 3394.876
(LATEST ADJ. NOV. 2008)
36AA
NORTHING: 562,804.8537
EASTING: 1344,906.1701
ELEVATION: 3594.151
(LATEST ADJ. NOV. 2008)
ADC MAP 32 GRID A-1



- I. GENERAL SITE DATA**
A. TOTAL PROJECT AREA: 46.43 AC.
B. LIMIT OF DISTURBED AREA: 5.7 AC.
C. PRESENT ZONING: NT (OPEN SPACE)
D. PROPOSED USE OF SITE: CONCESSIONS, RESTROOMS, OFFICE, STORAGE AND BOX OFFICE
- F. FLOOR SPACE:**
BUILDING A: 1,881 SF 1ST FLOOR, 11,270 SF 2ND FLOOR, 3,442 SF OUTDOOR LOUNGE; 24,594 SF TOTAL
BUILDING B: 2,151 SF 3,442 SF
BUILDING C: 10,552 SF 1ST FLOOR, 1,666 SF 2ND FLOOR, 24,240 SF TOTAL
BUILDING D: 1,291 SF RESTROOMS, 9,806 SF OFFICE, 2,180 SF CONCESSIONS
BUILDING E: 3,195 SF TOTAL RESTROOMS, BOX OFFICE, MECHANICAL
BUILDING F: 1,479 SF TOTAL RESTROOMS
BUILDING G: 2,151 SF 1ST FLOOR, 1,248 SF 2ND FLOOR, 3,429 SF TOTAL CONCESSIONS
BUILDING H: 1,848 SF TOTAL RESTROOMS
CUSTOMER SERVICE/CONCESSIONS: 1,418 SF TOTAL, 225 SF (CUST. SERV.), 370 SF (CONCESSIONS)
- 2. DEVELOPMENT DATA**
A. STAGE SUPPORT: 2,151 SF
B. STORAGE: 11,271 SF
C. RESTROOMS: 5,914 SF
D. BOX OFFICE: 734 SF
E. OFFICE: 9,806 SF
F. CONCESSIONS: 5,957 SF
G. MECHANICAL: 1,249 SF
H. MECHANICAL: 1,770 SF
I. CUSTOMER SERVICE: 1,255 SF
J. OUTDOOR LOUNGE: 3,442 SF
K. LOGE AREA: 71,200 SF
TOTAL: 90,459 SF
- 3. DEMOLITION DATA**
A. CONCESSION: 4,033 SF
B. RETAIL: 1,131 SF
C. RESTROOMS: 1,436 SF
D. BOX OFFICE: 642 SF
E. STORAGE: 664 SF
F. OFFICE: 1,451 SF
G. STAGE SUPPORT: 264 SF
TOTAL: 15,347 SF
- * STAGE SUPPORT INCLUDES DRESSING ROOMS, PRODUCTION, KITCHEN/DINING, ETC.
** WITHIN THE OUTDOOR LOUNGE THERE IS 432 SF OF GAZEBOS AND A 675 SF POOL



PEDESTRIAN AND BICYCLE CONNECTIONS LEGEND
PER: FDD-DC-MSH-1A
PRIMARY BICYCLE ROUTES & PRIMARY PEDESTRIAN ROUTES
SHARED-USE PATHWAY
ON-STREET BIKE LANES

ADDRESS CHART

BUILDING	STREET ADDRESS
A	10473 LITTLE PATUXENT PARKWAY
B	10471 LITTLE PATUXENT PARKWAY
C	10464 LITTLE PATUXENT PARKWAY
D	10461 LITTLE PATUXENT PARKWAY
E	10465 LITTLE PATUXENT PARKWAY
F	10463 LITTLE PATUXENT PARKWAY 10461 LITTLE PATUXENT PARKWAY



SHEET INDEX

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26. SECTIONS

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

OWNER
LOT 23 -
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

REDEVELOPMENT PHASES 2 & 3

REVISED COVER SHEET
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS
TOWN CENTER, SECTION 1, LOTS 13 & 23

PERMIT INFORMATION CHART

SUBDIVISION NAME:	DOWNTOWN COLUMBIA MERRIWEATHER POST PAVILION & MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD	SECTION/AREA	1	PARCEL LOTS 13 & 23
PLAT No:	4305/4306	ZONE	NT	TAX MAP 36
BLOCK	1	ELEC. DIST.	5	CENSUS TRACT 6054
WATER CODE:	E31	SEWER CODE:	5521000	

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	1 OF 26

L:\CAD\DRAWINGS\11072\94077\PLANS BY QLM\SDP\94077-CS.dwg PLOTTED: 1/21/2016 5:05 PM, LAST SAVED: 1/21/2016 4:40 PM, PLOTTED BY: Don Sweeney

- LEGEND**
- 802 → EXIST. SPECIMEN TREE
TREE NUMBER
 - → EXIST. TREES UNDER 30"
 - → EXIST. TREE (TO BE REMOVED)
 - ▨ → EXIST. BLDG. (TO BE RAZED)
 - ▨ → EXIST. PAVING TO BE REMOVED
 - ▨ → EXIST. ESMT TO BE ABANDONED
 - LOD → LIMIT OF SUBMISSION/DISTURBANCE



LOT 13
COLUMBIA TOWN CENTER
SECTION I
PLAT Nos. 4305 & 4306

LOT 23
COLUMBIA TOWN CENTER
SECTION I
PLAT Nos. 4305 & 4306

LOT 23
COLUMBIA TOWN CENTER
SECTION I
PLAT Nos. 4305 & 4306

EXISTING
MERRIWEATHER
POST
PAVILION

EX. 20' PUBLIC WATER
& UTILITY EASEMENT
L. 471 F. 303
TO BE ABANDONED

EX. 20' PRIVATE
SEWER
& UTILITY EASEMENT

EX. 20' PUBLIC SEWER
& UTILITY EASEMENT
L. 471 F. 303

EX. 20' PUBLIC SEWER
& UTILITY EASEMENT
L. 471 F. 303

GRAPHIC SCALE 1" = 30'

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *N. J. J. J.* 3-2-16
Chief, Division of Land Development: *K. J. J. J.* 3-2-16
Chief, Development Engineering Division: *A. J. J. J.* 3-23-16

OWNER
LOT 23 -
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA PASU
410-740-0029

OWNER	LOT 23 - MERRIWEATHER PARK AT SYMPHONY WOODS INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER) 10630 LITTLE PATUXENT PARKWAY CENTURY PLAZA 315 COLUMBIA, MARYLAND 21044 ATTN: MS. NINA PASU 410-740-0029
OWNER	LOT 13 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION 10415 LITTLE PATUXENT PARKWAY COLUMBIA, MD 21045 ATTN: JAM KENNEDY 443-141-1414

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY
ME, AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2016
1-28-16 *CKL*

REDEVELOPMENT PHASES 2 & 3
DEMOLITION PLAN
MERRIWEATHER POST PAVILION &
MERRIWEATHER PARK AT SYMPHONY WOODS
TOWN CENTER, SECTION 1, LOTS 13 & 23
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	2 OF 26

L:\CAD\DRAWINGS\110121\94077\PLANS BY G.L.W.\SDP\94077-DEM0.dwg DESIGNED: JZ/1/2016 8:31 AM LAST SAVED: 1/18/2016 10:07 AM PLOTTED BY: Don Swenney

THE DRIVEWAY AND HANDICAP PARKING SHOWN IN THE AREA DESIGNATED AS ■■■■■■■■■■ IS PROPOSED PER F-15-106, HOWEVER IT IS SUBJECT TO THE PUBLIC REVIEW AND COMMENT, INCLUDING PLANNING BOARD ASSOCIATED WITH THIS SDP. ANY CHANGES REQUIRED AS A RESULT OF THE PUBLIC REVIEW TO THIS AREA WILL BE SHOWN ON BOTH F-15-106 AND THIS PLAN. THE HANDICAP ACCESSIBILITY DETAILS FOR THIS AREA ARE SHOWN ON SHEET 20 OF THIS SITE PLAN.

- NOTES:**
- SEE SHEET 1 FOR BUILDING AREAS AND PROPERTY LINE BEARING AND DISTANCES
 - SEE SHEET 4 FOR ALL SPOT SHOTS AND HANDICAP ACCESSIBILITY DETAILS
 - SEE SHEET 4 FOR BUILDING DIMENSIONS AND HEIGHTS, AND SEPARATION DISTANCES
 - SEE SHEET 12 FOR STEEP SLOPES DELINEATION
 - FOR CLARITY ALL OF THE PRIVATE INGRESS / EGRESS AND PRIVATE RECIPROCAL EASEMENTS BETWEEN LOT 13 AND LOT 1 ARE NOT SHOWN. SEE PREVIOUS PLANS FOR THESE EASEMENTS
 - BUILDING F HAS AN OUTSIDE METER, ALL OTHER PROPOSED BUILDINGS HAVE INSIDE METER SETTINGS
 - ALL EXISTING BUILDINGS SHOWN ON THIS PLAN ARE TO REMAIN. SEE DEMOLITION PLAN SHEET 2 FOR BUILDINGS TO BE REMOVED

PARKING ANALYSIS

PARKING PROVIDED:

PURSUANT TO FDP-DC-CRESCENT-1A, A MINIMUM OF 5,000 PARKING SPACES WILL BE PROVIDED WITHIN EXISTING OR PROPOSED PARKING AREAS LOCATED ON THE MERRIWEATHER POST PAVILION ("MPP") PROPERTY, WITHIN THE CRESCENT NEIGHBORHOOD (VIA PERMANENT EASEMENT RECORDED IN THE LAND RECORDS) AND WITHIN ANY PUBLIC GARAGE(S) AND ON OTHER DOWNTOWN PROPERTIES (VIA A TEMPORARY EASEMENT RECORDED IN THE LAND RECORDS FOR HOWARD COUNTY, MARYLAND) TO SERVE MPP EVENTS.

THE 5,000 PARKING SPACES SHALL BE NON-EXCLUSIVE AND THE AVAILABILITY THEREOF SHALL BE DETERMINED BY EVALUATING NON MPP PARKING DEMAND IN ACCORDANCE WITH THE DOWNTOWN REVITALIZATION SHARED PARKING METHODOLOGY.

PRIOR TO DEVELOPMENT WITHIN THE CRESCENT NEIGHBORHOOD, THE EXISTING BASELINE OF AVAILABLE SURFACE PARKING IS AS FOLLOWS:

MPP ON-SITE	350
CRESCENT AREA 1	500
AREA 2	750
AREA 3	2,100
CRESCENT SUBTOTAL	3,330
TOTAL CRESCENT AND MPP ON-SITE	3,680
OTHER DOWNTOWN PROPERTIES	1,320
5,000 TOTAL	

IF AND WHEN SUCH SURFACE SPACES ARE DISPLACED BY DEVELOPMENT ACTIVITIES OR CONSTRUCTION STAGING, PARKING MAY BE PROVIDED IN OTHER DOWNTOWN PROPERTIES VIA THE TEMPORARY EASEMENT RECORDED IN THE LAND RECORDS FOR HOWARD COUNTY, SO AS TO MAINTAIN THE MINIMUM 5,000 TOTAL REQUIRED SPACES.

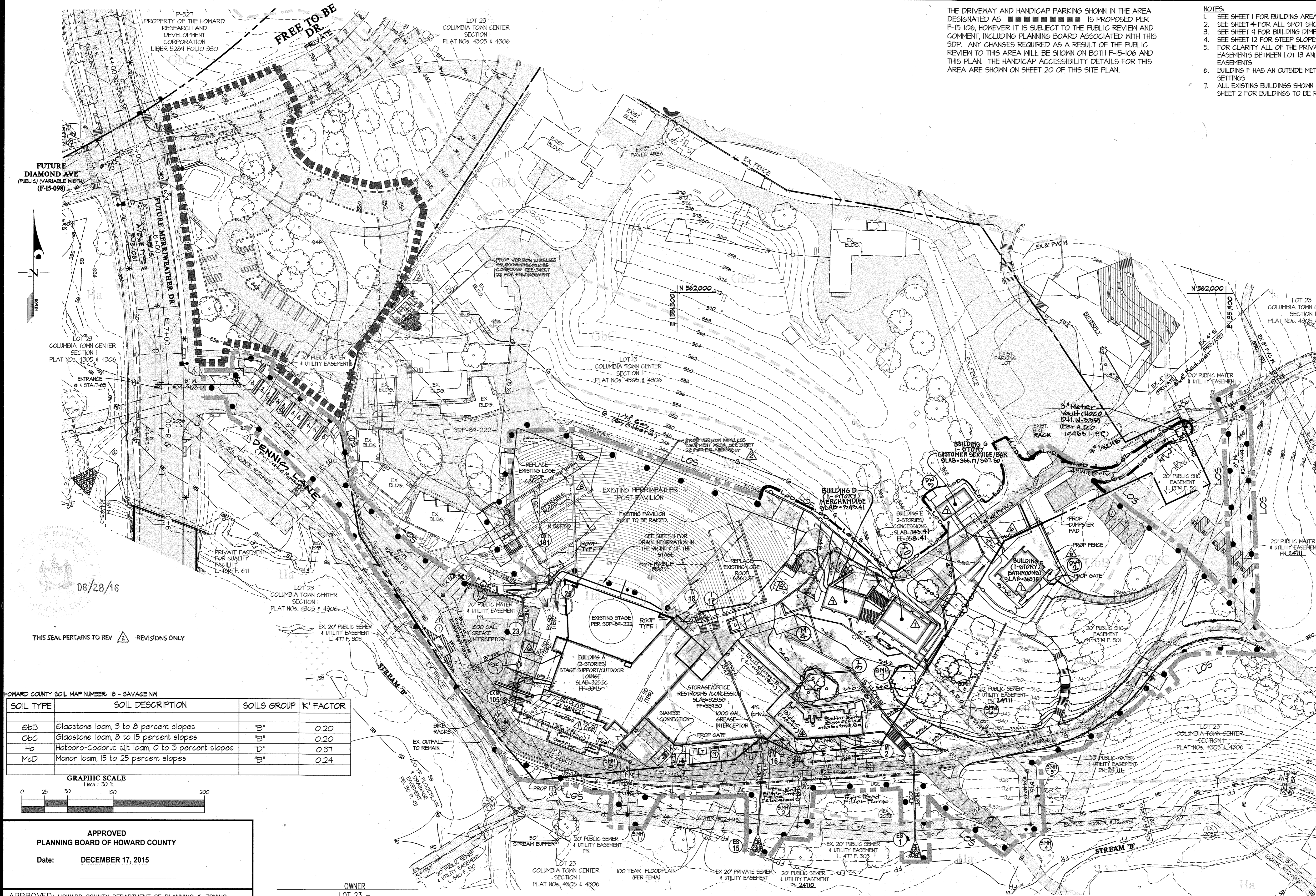
SPECIFICALLY FOR EACH SDP OR FINAL ROAD PLAN PROPOSING DISPLACEMENT OR DEMOLITION OF EXISTING MPP PARKING SPACES IN THE CRESCENT NEIGHBORHOOD, THE PETITIONER MUST SUBMIT A PARKING ANALYSIS IN ACCORDANCE WITH THE DOWNTOWN REVITALIZATION SHARED PARKING METHODOLOGY TO DEMONSTRATE WHERE THE DISPLACED SPACES WILL BE RELOCATED PURSUANT TO THE PERMANENT AND/OR TEMPORARY PARKING EASEMENT(S) REFERRED TO ABOVE.

AS PUBLIC AND PRIVATE PARKING SPACES ARE MADE AVAILABLE WITHIN THE CRESCENT NEIGHBORHOOD TO SERVE MPP EVENTS, THE NUMBER OF PARKING SPACES THAT WERE TEMPORARILY REQUIRED IN OTHER DOWNTOWN PROPERTIES IN ORDER TO PROVIDE THE TOTAL REQUIRED, CALCULATED IN ACCORDANCE WITH THE DOWNTOWN REVITALIZATION SHARED PARKING METHODOLOGY, SHALL BE CORRESPONDINGLY REDUCED. IN ADDITION, PETITIONER MAY RECORD A CORRESPONDING RELEASE OF THE TEMPORARY EASEMENT FROM ONE OR MORE OF SUCH OTHER DOWNTOWN PROPERTIES THAT ARE NO LONGER NECESSARY TO PROVIDE THE REQUIRED TOTAL.

WHEN AT LEAST 5,000 PARKING SPACES ARE AVAILABLE WITHIN THE CRESCENT NEIGHBORHOOD TO SERVE MERRIWEATHER POST PAVILION EVENTS, CALCULATED IN ACCORDANCE WITH THE DOWNTOWN REVITALIZATION SHARED PARKING METHODOLOGY, PETITIONER MAY RECORD A FULL RELEASE OF THE TEMPORARY EASEMENT FROM ALL OF THE OTHER DOWNTOWN PROPERTIES.

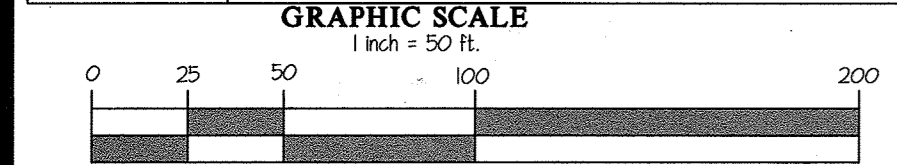
AS WITH PAST PRACTICES, THE MPP OPERATOR SHALL SECURE ADDITIONAL PARKING SPACES LOCATED BOTH WITHIN AND OUTSIDE THE DOWNTOWN AREA FOR ANY EVENTS REQUIRING MORE THAN 5,000 PARKING SPACES. ANY REQUIREMENT FOR SUCH ADDITIONAL PARKING SPACES SHALL BE DETERMINED ON A CASE-BY-CASE BASIS PRIOR TO ISSUANCE OF AN EVENT PERMIT BY THE COUNTY.

PARKING OPERATIONS FOR MERRIWEATHER POST PAVILION EVENTS SHALL BE GOVERNED BY THE MERRIWEATHER PAVILION PARKING PLAN PREPARED BY THE PARKING ADVISORY GROUP LLC DATED MAY 23, 2016, AS THE SAME MAY BE AMENDED FROM TIME TO TIME.



HOWARD COUNTY SOIL MAP NUMBER: 18 - SAVAGE NN

SOIL TYPE	SOIL DESCRIPTION	SOILS GROUP	K' FACTOR
GbB	Gladstone loam, 3 to 8 percent slopes	"B"	0.20
GbC	Gladstone loam, 8 to 15 percent slopes	"B"	0.20
Ha	Hatboro-Codorus silt loam, 0 to 3 percent slopes	"D"	0.37
McD	Manor loam, 15 to 25 percent slopes	"B"	0.24



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Walter J. Jaffe* 3-2-16
Date: 3-2-16

Chief, Division of Land Development: *K. J. ...* 3-2-16
Date: 3-2-16

Chief, Development Engineering Division: *...* 3-23-16
Date: 3-23-16

OWNER
LOT 23 -
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

NOTE: NO PARKING SHALL BE PERMITTED WITHIN THE LIMITS OF THE FIRE ACCESS ROAD AND THE FIRE ACCESS ROAD MUST BE FREE AND CLEAR FROM OBSTRUCTIONS.

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APPR.
11-18-14		Revised Buildings D, E, F and added Bldg. G	JK	AWL
11-12-14		Added drywells and soil to Plan	JK	AWL
2-5-15		Revised Lodge per Architect updates	JK	
2-15-17		Revised Buildings B & C per Architectural changes	JK	DD
08-18-16		PARKING NOTE ADDED	HKJ	DDS
08-18-16		VERSION NUMBER EQUIPMENT SHELTER & FINISHED COMPOUND ADDED	JK	DD
2-18-16		REVISION	JK	DD

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875
EXPIRATION DATE: MAY 28, 2016
CKL

REDEVELOPMENT PHASES 2 & 3

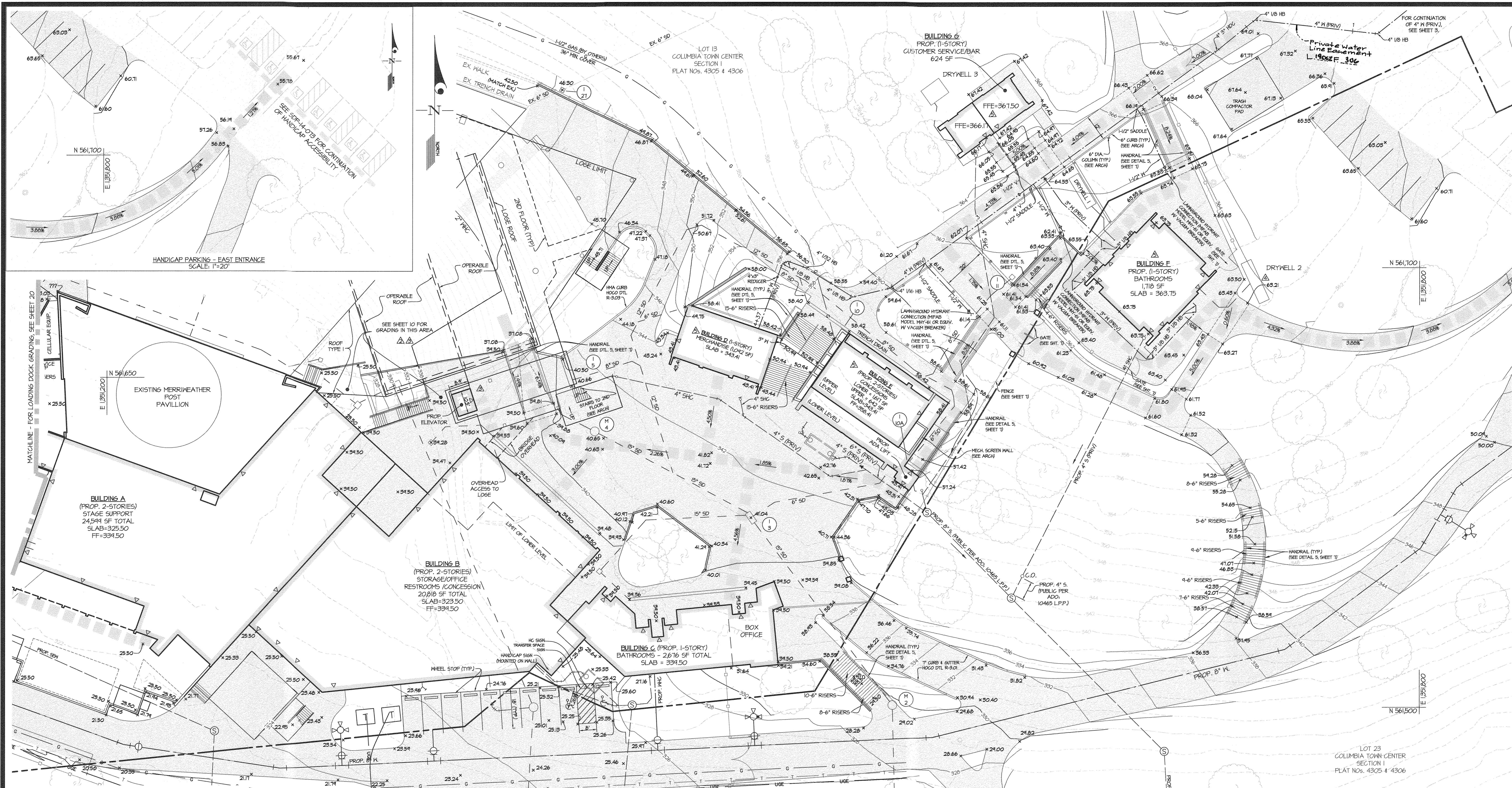
SITE DEVELOPMENT PLAN

MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=50'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN, 2016	36-1	3 OF 26

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DATE: 1/21/2016 8:31 PM LAST SAVER: 1/21/2016 5:08 PM PLOT BY: Don Sweaney
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DES: dds DRN: Wsj CHK:



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 12-18-19
 Date: 12/18/19
 Chief, Division of Land Development: *[Signature]*
 Chief, Development Engineering Division: *[Signature]* 11-27-19

GRAPHIC SCALE 1" = 20'
 OWNER
 LOT 13
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: IAN KENNEDY
 443-741-1974

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY
 ME, AND THAT I AM A DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND,
 LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2023
 11/13/19 *[Signature]*

REDEVELOPMENT PHASES 2 & 3
 REVISED GRADING AND HANDICAP ACCESSIBILITY PLAN
**MERRIWEATHER POST PAVILION &
 MERRIWEATHER PARK AT SYMPHONY WOODS
 TOWN CENTER, SECTION I, LOTS 13 & 23**

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	4 OF 26

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3609 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
08/02/19	REVISED BUILDINGS D, E, & F AND ADDED BUILDING G	AWL	DDS
11/12/18	ADDED DRYWELLS TO PLAN	AWL	DDS
08/14/17	REVISED LOGE ACCESS PER ARCHITECT CHANGES	AWL	DDS
02/14/17	REVISED BUILDINGS B & C PER ARCHITECT CHANGES	AWL	DDS
4/18/16	ARTIST LOUNG LAYOUT REVISED	GT	DDS

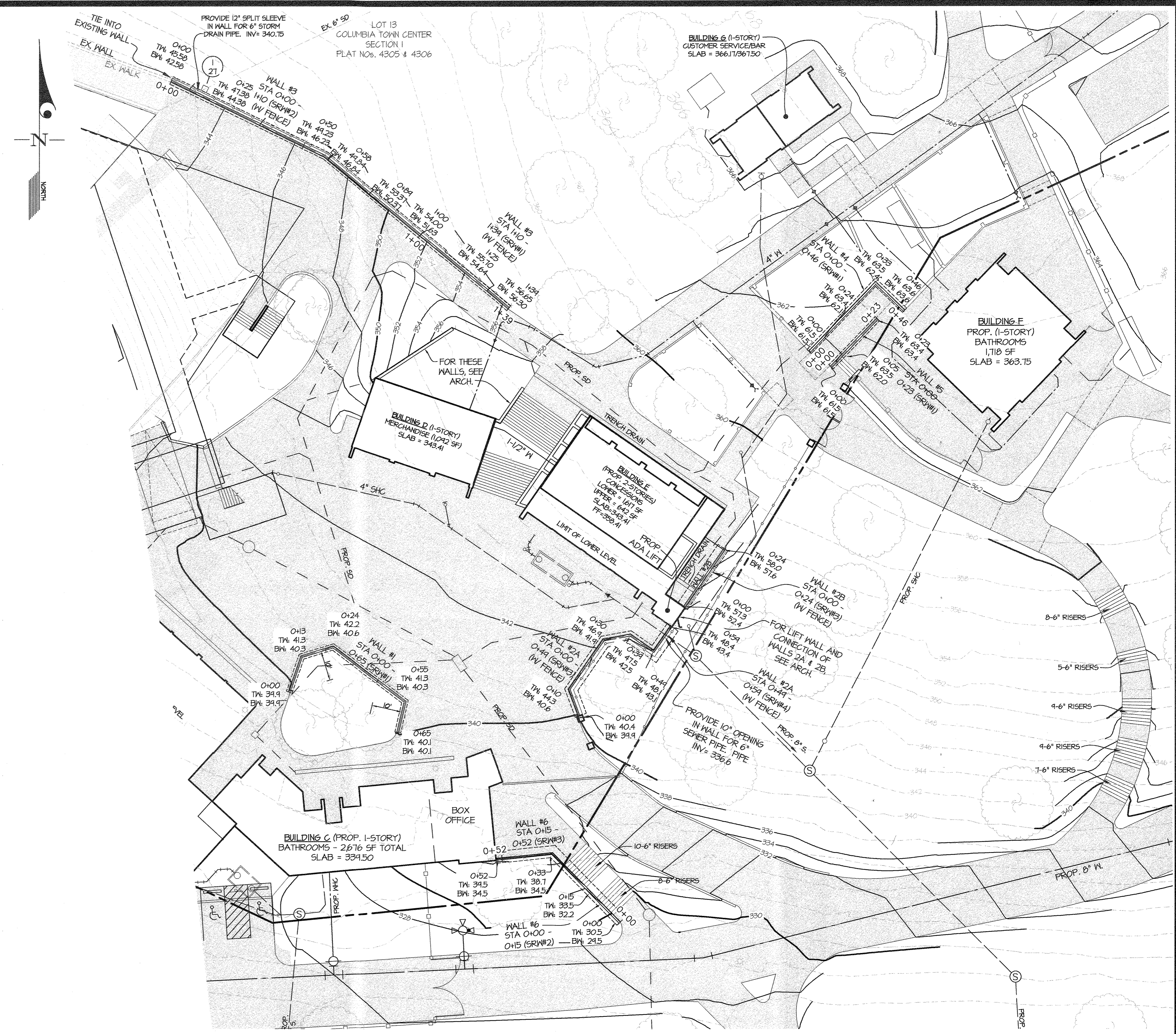
DES. DDS
 DRN. AWL
 CHK.

ELECTION DISTRICT No. 5
 PLAT Nos. 4305 & 4306
 HOWARD COUNTY, MARYLAND

HOWARD COUNTY, MARYLAND

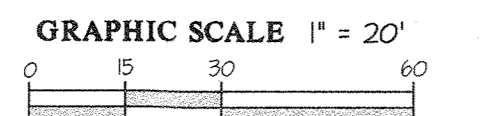
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- NOTES:
- "TN" AND "BN" INDICATE GROUND ELEVATION AT TOP AND BOTTOM OF WALL, RESPECTIVELY.
 - FENCE SHALL BE A MINIMUM OF THIRTY-SIX INCHES IN HEIGHT, AND THE OPENINGS IN THE FENCE OR RAIL MUST BE SMALL ENOUGH TO PREVENT THE PASSAGE OF A FOUR INCH SPHERE. FENCES MUST BE STABLE ENOUGH TO WITHSTAND 200 LBS OF CONCENTRATED LOADING APPLIED HORIZONTALLY ANY POINT. FENCE PER HOWARD COUNTY DETAIL 6-1.21 (MIN. HEIGHT 36") OR APPROVED EQUAL.
 - "SRN x" INDICATES SITE RETAINING WALL TYPE "X". REFER TO CONCRETE SITE RETAINING WALL SCHEDULE FOR ADDITIONAL INFORMATION.
 - SEE WALL LABELS FOR FENCE LOCATIONS.
 - FOR NOTES AND DETAILS, SEE SHEETS 6, 25, & 26.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 12-18-19

Chief, Division of Land Development: *[Signature]* Date: 12-18-19

Chief, Development Engineering Division: *[Signature]* Date: 11-27-19

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

OWNER
 LOT 23
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: MS. NINA BASU
 410-740-0029

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 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALY: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4188

DATE	REVISION	BY	APPR.
7-12-2019	1 REVISED WALLS PER ARCHITECT CHANGES		

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2023
 11/13/19 *[Signature]*



REDEVELOPMENT PHASES 2 & 3
 REVISED RETAINING WALL PLAN
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
 ELECTION DISTRICT No. 5
 PLAT NOS. 4305 & 4306
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	5 OF 26

L:\CADD\PROJECTS\1072\4077\PLANS BY GJM\SDP\4077 WALL BASE PLAN.dwg PLOTTED: 11/12/2019 11:12 AM. LAST SAVED: 11/12/2019 10:27 AM. PLOTTED BY: Tony Leggett

GENERAL STRUCTURAL NOTES

PART 1 - GENERAL REQUIREMENTS AND DESIGN CRITERIA

- 1.1 SPECIFICATIONS
 - A. REFER TO PROJECT SPECIFICATIONS FOR DETAILED REQUIREMENTS FOR MATERIAL AND WORKMANSHIP.
- 1.2 ELEVATIONS & DIMENSIONS
 - A. ALL ELEVATIONS AND DIMENSIONS SHOWN FOR NEW CONSTRUCTION ARE BASED ON THE ARCHITECTURAL AND CIVIL DRAWINGS. COORDINATE ALL ELEVATIONS AND DIMENSIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- 1.3 GOVERNING BUILDING CODES
 - A. THE FOLLOWING BUILDING CODES AND STANDARDS, INCLUDING ALL SPECIFICATIONS REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.
 1. "INTERNATIONAL BUILDING CODE - 2015", INTERNATIONAL CODE COUNCIL
 2. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", (ANSI/ASCE 7-10, 2010), AMERICAN SOCIETY OF CIVIL ENGINEERS.
 - B. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.
- 1.4 DESIGN LOADS
 - A. WIND LOAD PARAMETERS
 1. BASIC WIND SPEED (3-SECOND GUST), V = 115 MPH
 2. WIND IMPORTANCE FACTOR, I = 1.0, AND OCCUPANCY CATEGORY = II
 3. EXPOSURE CATEGORY: B
 4. INTERNAL PRESSURE COEFFICIENT: GC(P1) = +/- 0.18
 - B. EARTH PRESSURE PARAMETERS
 1. LATERAL EQUIVALENT FLUID PRESSURE:
 - a. ACTIVE CONDITION (CANTILEVERED RETAINING WALLS): 45 PSF/FOOT OF DEPTH

PART 2 - CONSTRUCTION

- 2.1 GENERAL
 - A. UNAUTHORIZED REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RE-SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
 - B. THESE DRAWINGS REPRESENT THE COMPLETED PROJECT WHICH HAS BEEN DESIGNED FOR THE WEIGHTS OF MATERIALS, FOR THE SUPERIMPOSED LOADS INDICATED IN THE DESIGN LOAD CRITERIA ABOVE, AND FOR LOADS INDICATED ON THE DRAWINGS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSE WORK, STAGING, BRACING, SHEETING AND SHORING, ETC.
 - C. DEVELOPING AND IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 - D. ALL COSTS OF INVESTIGATION AND REDESIGN, DUE TO THE CONTRACTOR MIS-LOCATION OF STRUCTURAL ELEMENTS OR OTHER LACK OF CONFORMANCE WITH THE PROJECT DOCUMENTS, SHALL BE AT THE CONTRACTOR'S EXPENSE.
 - E. CONTRACTOR SHALL REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, DRAWINGS FOR SIZE AND LOCATION OF OPENINGS, SLEEVES, CONCRETE HOUSEKEEPING PADS, INSERTS AND DEPRESSIONS.
 - F. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR DETAILED INFORMATION REGARDING FINISHES, WATERPROOFING, FIREPROOFING, ETC.
 - G. IN CASE OF CONFLICT BETWEEN THE GENERAL NOTES, THE DETAILS AND SPECIFICATIONS, THE MOST RIGID SHALL GOVERN.
 - H. WORK NOT INCLUDED ON THE DRAWINGS BUT IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING LOCATIONS ELSEWHERE ON THE DRAWINGS SHALL BE REPEATED.
- 2.2 SHOP DRAWINGS
 - A. SHOP DRAWINGS FOR ALL STRUCTURAL ELEMENTS SHOWN ON THE CONTRACT DOCUMENTS ARE REQUIRED TO BE SUBMITTED BY THE CONTRACTOR AND REVIEWED BY THE STRUCTURAL ENGINEER. IF A CONTRACTOR OR OWNER FAILS TO SUBMIT THE SHOP DRAWINGS, AIRPORT DESIGN CONSULTANTS (ADC) WILL NOT BE RESPONSIBLE FOR THE STRUCTURAL CERTIFICATION AND DESIGN OF THE PROJECT.
 - B. SHOP DRAWINGS SUBMITTED FOR STRUCTURAL REVIEW SHALL CONSIST OF ELECTRONIC DRAWINGS. ONLY ONE MARKED UP SET OF ELECTRONIC DRAWINGS WITH THE STRUCTURAL ENGINEER'S COMMENTS WILL BE RETURNED TO THE CONTRACTOR.
 - C. ALLOW 10 BUSINESS DAYS FOR STRUCTURAL REVIEW OF SHOP DRAWINGS. THIS TIME SHOULD BE ALLOTTED IN THE CONTRACTOR'S SCHEDULE.
 - D. SHOP DRAWINGS SHALL BEAR THE GENERAL CONTRACTOR'S STAMP OF APPROVAL WHICH SHALL CONSTITUTE CERTIFICATION THAT THEY HAVE VERIFIED ALL FIELD MEASUREMENTS, CONSTRUCTION CRITERIA, MATERIALS AND SIMILAR DATA AND HAVE CHECKED EACH DRAWING FOR COMPLETENESS, COORDINATION AND COMPLIANCE WITH THE CONTRACT DOCUMENTS.

PART 3 - FOUNDATIONS / EARTHWORK / GEOTECHNICAL REPORT

- 3.1 REFERENCE GEOTECHNICAL REPORT:
 - A. FOUNDATION DESIGN IS IN ACCORDANCE WITH THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT PREPARED BY THE ROBERT B. BALTER COMPANY, DATED JANUARY 4, 2016, AUTHOR'S REPORT NUMBER 16713-0 MD.
 - B. FOUNDATIONS HAVE BEEN DESIGNED WITH AN ALLOWABLE BEARING CAPACITY OF 2,500 PSF. PRIOR TO PLACING FOUNDATIONS THE CONTRACTOR SHALL HAVE AN EXPERIENCED, QUALIFIED GEOTECHNICAL ENGINEER FIELD VERIFY THE BEARING ELEVATIONS FOR FROST DEPTH AND THE ASSUMED ALLOWABLE BEARING CAPACITY.
 - C. ALL FOUNDATIONS SHALL BEAR A MINIMUM OF 30" BELOW ADJACENT EXTERIOR GRADE. THE CONTRACTOR SHALL COORDINATE THESE REQUIREMENTS WITH ALL UNDERGROUND UTILITIES, TUNNELS, ETC. AND NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENTS.
 - D. SEE THE SPECIFICATIONS AND GEOTECHNICAL REPORT REQUIREMENTS FOR EXCAVATION AND PREPARATION OF THE SUBGRADE FOR THE FOUNDATIONS AND THE SLAB ON GRADE, INCLUDING COMPACTION PROCEDURES. CONTRACTOR NOTE: REQUIREMENTS CONTAINED IN THE GEOTECHNICAL REPORT ARE PART OF THIS WORK.
- 3.2 EXCAVATION:
 - A. THE SLOPE BETWEEN THE LOWER EDGES OF ADJACENT FOUNDATIONS SHALL NOT EXCEED 30 DEGREES REFERENCED FROM THE HORIZONTAL, UNLESS NOTED OR DETAILED OTHERWISE ON THE PLAN. MAINTAIN A 1V:2H SLOPE FROM BOTTOM EDGE OF ANY EXCAVATION.
 - B. THE CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK.
 - C. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, ABOVE AND BELOW GRADE STRUCTURES, ETC., WHETHER INDICATED OR NOT, THAT MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
 - D. UTILITIES LINES SHALL NOT BE PLACED THROUGH OR BELOW FOUNDATIONS WITHOUT THE STRUCTURAL ENGINEER'S APPROVAL UNLESS DETAILED OTHERWISE IN THE PLANS.
 - E. ALL SHORING, SHEETING AND DEWATERING SHALL BE THE TOTAL RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR'S ENGINEER, REGISTERED IN THE PROJECT'S JURISDICTION, SHALL DESIGN THE SHEETING AND SHORING AND PROVIDE SIGNED AND SEALED SUBMITTALS FOR REVIEW.
- 3.3 BACKFILL AGAINST WALLS:
 - A. DO NOT BACKFILL AGAINST RETAINING WALLS UNTIL WALL CONCRETE IS AT FULL DESIGN STRENGTH. BACKFILL WITH APPROVED MATERIAL PLACED IN 8 IN. LAYERS AND COMPACTED TO 95% DENSITY AT OPTIMUM MOISTURE CONTENT AND FREE OF DEBRIS AS DEFINED BY ASTM D-1557, METHOD D.
 - B. WHERE THE FINAL GRADE ELEVATIONS ARE APPROXIMATELY EQUAL ON BOTH SIDES OF A WALL, BACKFILL IN LIFTS TO MAINTAIN LEVEL ELEVATIONS WITHIN 12 IN. ON BOTH SIDES AT ANY TIME.
- 3.4 FOUNDATION PLACEMENT & PROTECTION:
 - A. DO NOT PLACE FOUNDATION CONCRETE IN WATER OR ON FROZEN GROUND. PROTECT IN-PLACE FOUNDATIONS AND SLABS FROM FROST PENETRATION UNTIL THE PROJECT IS COMPLETE. DO NOT USE SALT OR CHLORIDE COMPOUNDS TO DE-ICE THE SITE.
 - B. NEW FOOTING BEARING ELEVATION IS TO MATCH ADJACENT EXISTING FOOTING BEARING ELEVATION WHERE APPLICABLE UNLESS NOTED OR DETAILED OTHERWISE ON PLAN.
 - C. CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.

PART 4 - CONCRETE WORK

- 4.1 CODES:
 - A. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318-14", AMERICAN CONCRETE INSTITUTE.
 - B. "ACI MANUAL OF CONCRETE PRACTICE - PARTS 1 THROUGH 5", AMERICAN CONCRETE INSTITUTE.
- 4.2 STANDARD SPECIFICATIONS AND REFERENCE STANDARDS:
 - A. "MANUAL OF STANDARD PRACTICE", CONCRETE REINFORCING STEEL INSTITUTE.
 - B. FOLLOW THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE AMERICAN CONCRETE INSTITUTE:
 1. ACI 301 STRUCTURAL CONCRETE FOR BUILDINGS
 2. ACI 302 CONCRETE FLOOR AND SLAB CONSTRUCTION
 3. ACI 304 MEASURING, MIXING, TRANSPORTING AND PLACING CONCRETE
 4. ACI 305 HOT WEATHER CONCRETING
 5. ACI 306 COLD WEATHER CONCRETING
 6. ACI 315 DETAILING REINFORCING STEEL
 7. ACI 318 GENERAL DESIGN OF ITEMS NOT OTHERWISE SPECIFIED
 8. ACI 347 FORMWORK
- 4.3 CONCRETE MIX PROPERTIES:
 - A. ELEMENT (NORMAL WEIGHT UNO)
 - 1. RETAINING WALLS:

28-DAY STRENGTH - W/C MAX(b)	AIR CONTENT(a)
4,000 PSI	0.50
	6% +/- 1.5

 - a. AIR CONTENT OF TROWEL FINISHED FLOORS SHALL NOT EXCEED 3%
 - b. PUMP MIXES: MAXIMUM WATER/CEMENT (W/C) RATIO MUST BE MAINTAINED. IF ADDITIONAL WORKABILITY IS REQUIRED FOR PUMPED PLACEMENT, THE HIGH OR MID-RANGE WATER REDUCERS SHALL BE USED IN LIEU OF ADDITIONAL WATER.
 - c. ELEVATED DECKS THAT ARE EXPOSED TO FREEZING TEMPERATURES, I.E. PLAZA DECKS, THAT DO NOT RECEIVE A TROWEL FINISH SHALL HAVE AN AIR CONTENT OF 6% +/- 1.5
 - B. PORTLAND CEMENT: ASTM C150, TYPE I OR II
 - C. CEMENT SUBSTITUTES: ASTM C595, TYPE LS (LIMIT TO 50% MAX OF CEMENTITIOUS CONTENT BY WEIGHT)
 - D. AGGREGATES / DENSITY: ASTM C33 / 145 PCF - NORMAL WEIGHT
 - E. AIR-ENTRAIMENT: ASTM C260
- 4.4 STEEL REINFORCEMENT:
 - 1. DEFORMED REINFORCING BARS: ASTM A615 GRADE 60
- 4.5 CONCRETE COVER:
 - A. MILD REINFORCED CONCRETE
 1. CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH: 3 IN.
 2. CONCRETE EXPOSED TO EARTH OR WEATHER:

#6 BAR OR LARGER	2 IN.
#5 BAR OR SMALLER	1 1/2 IN.
 3. CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:

SLABS, WALLS AND JOISTS:	#11 BAR OR SMALLER	3/4 IN.
BEAMS AND COLUMNS:	TO TIES, STIRRUPS, OR SPIRALS	1 1/2 IN.
- 4.6 GENERAL REQUIREMENTS:
 - A. REINFORCEMENT AT OPENINGS: UNLESS DETAILED OTHERWISE, PROVIDE 2 - #6 AT EACH SIDE OF ALL OPENINGS IN WALLS AND SLABS AND EXTEND 2 FT-6 IN. BEYOND THE OPENING OR AS DETAILED, EXCEPT VERTICAL BARS AT SIDES OF OPENINGS IN WALLS ARE TO EXTEND FROM FLOOR TO FLOOR. BARS MAY BE MOVED ASIDE AT OPENINGS OR SLEEVES, BUT DO NOT CUT OR OMIT.
 - B. MINIMUM REINFORCEMENT: REINFORCE ALL WALLS WITH AT LEAST #4 @ 12 IN. EACH WAY EACH FACE AND 2 - #6 EACH EDGE, UNLESS DETAILED OTHERWISE.
 - C. FORMWORK, SHORING AND RESHORING: SHALL BE DESIGNED AND SUBMITTED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION WITH ALL SUBMISSIONS BEARING THE ENGINEER'S SEAL AND SIGNATURE.
 - D. INSERTS AND SLEEVES: CONTRACTOR SHALL FURNISH DIMENSIONED SHOP DRAWINGS AT ALL LEVELS SHOWING LOCATIONS OF ALL CAST-IN-PLACE SLEEVES, INSERTS AND OPENINGS REQUIRED BY ALL TRADES FOR REVIEW BY THE MEP, ARCHITECT AND STRUCTURAL ENGINEER, IN THAT ORDER. NO SLEEVE SHALL BE PLACED THROUGH ANY CONCRETE ELEMENT UNLESS SHOWN ON THE APPROVED SHOP DRAWINGS OR SPECIFICALLY AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER OF RECORD.
 - E. CORES AND DRILLED FASTENERS:
 1. DRILLED OR POWDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE STRUCTURAL ENGINEER THAT THE FASTENERS WILL NOT SPALL THE CONCRETE OR DAMAGE EXISTING REINFORCEMENT.
 2. CORE DRILLING OF FOUNDATIONS SHALL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE STRUCTURAL ENGINEER.
 3. WHEN INSTALLING EXPANSION OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. ALL BOLTS AND ANCHORS SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
 - G. CHAMFER ALL EXPOSED CONCRETE CORNERS, 3/4 IN. X 3/4 IN. MINIMUM, UNLESS NOTED OTHERWISE ON THE ARCHITECTURAL DRAWINGS.
 - H. WATERSTOPS: AS SPECIFIED ON THE ARCHITECTURAL DRAWINGS, PROVIDE CONTINUOUS WATERSTOPS AT ALL HORIZONTAL AND VERTICAL CONSTRUCTION JOINTS IN ALL BELOW GRADE FOUNDATION WALLS, ELEVATOR PITTS AND OTHER PIT WALLS.
 - I. CONCRETE QUANTITIES: THE CONCRETE SLABS SHALL BE FINISHED, WITHIN TOLERANCE AND FLOOR FLATNESS REQUIREMENTS. TO THE ELEVATIONS INDICATED ON THE DRAWINGS. CONTRACTOR SHALL PROVIDE AT THEIR COST, ADDITIONAL CONCRETE AS REQUIRED DUE TO FORMWORK AND FRAMING DEFLECTION TO ACHIEVE THIS FINISHED TOP OF SLAB ELEVATION. CONTRACTOR NOTE: THE STRUCTURAL FLOOR FRAMING SYSTEM UTILIZED ON THIS BUILDING IS CONCRETE POURED OVER METAL DECK SUPPORTED BY STEEL BEAMS. THIS FLOOR FRAMING HAS BEEN DESIGNED AS UNSHORED CONSTRUCTION AND WILL REQUIRE ADDITIONAL CONCRETE TO ACCOUNT FOR INITIAL BEAM DEFLECTIONS DUE TO THE WEIGHT OF THE WET CONCRETE AND CONSTRUCTION LOADS. THE CONCRETE FLOOR SURFACE SHALL BE LEVEL WITH MINIMUM THICKNESS SPECIFIED ON THE CONTRACT DOCUMENTS.
- 4.7 SPLICING AND PLACEMENT OF REINFORCEMENT:
 - A. NO SPLICES OF REINFORCEMENT SHALL BE PERMITTED EXCEPT AS DETAILED OR AUTHORIZED BY THE STRUCTURAL ENGINEER. MAKE BARS CONTINUOUS AROUND CORNERS. WHEN PERMITTED, SPLICES SHALL BE MADE BY CONTACT TENSION LAP SPICE, UNLESS NOTED OTHERWISE.
 - B. SPLICE BARS AS SHOWN ON DRAWINGS BUT NOT LESS THAN 50 BAR DIAMETERS FOR SLABS AND BEAM BOTTOM BARS, AND NOT LESS THAN 65 BAR DIAMETERS FOR WALLS AND BEAM TOP STEEL.
 - C. NO WELDING OF REINFORCING SHALL BE PERMITTED UNLESS SPECIFICALLY CALLED FOR OR APPROVED BY THE STRUCTURAL ENGINEER.
 - D. PROVIDE #4 CHAIR BARS, HIGH CHAIRS, TIES, CLIPS, SLAB BOLSTERS AND OTHER ACCESSORIES WHERE NOT SPECIFIED ON THE DRAWINGS IN ACCORDANCE WITH MANUAL OF STANDARD PRACTICE OR DETAILING REINFORCING CONCRETE STRUCTURES ACI 315 OR CRSI-WRSI MANUAL OF STANDARD PRACTICE. USE PLASTIC TIPS ON ALL CHAIRS PLACED ON THE SIDES OF CONCRETE FORMWORK.
 - E. PROVIDE PLASTIC TIPPED BOLSTERS AND CHAIRS AT ALL LOCATIONS WHERE THE CONCRETE SURFACE IS IN CONTACT WITH THE BOLSTERS OR CHAIRS IS EXPOSED.
- 4.8 REINFORCEMENT SHOP DRAWINGS:
 - A. SUBMIT FOR APPROVAL, COMPLETE BENDING AND PLACING DETAILS OF ALL REINFORCEMENT INCLUDING WELDED WIRE REINFORCEMENT, INDICATING POSITION OF SPLICES. INCLUDE ACCESSORY DRAWINGS.
 - B. UNAUTHORIZED REPRODUCTION OF ANY PORTION OF THE STRUCTURAL CONTRACT DRAWINGS FOR RE-SUBMITTAL AS SHOP DRAWINGS IS PROHIBITED. SHOP DRAWINGS PRODUCED IN SUCH A MANNER WILL BE REJECTED AND RETURNED.
- 4.9 CONSTRUCTION JOINTS
 - A. CONSTRUCTION JOINTS FOR MILD-REINFORCED CONCRETE SHALL BE LOCATED WITHIN THE MIDDLE THIRD OF THE SPAN. PROPOSED CONSTRUCTION JOINT LOCATIONS SHALL BE SHOWN ON THE REINFORCING STEEL SHOP DRAWINGS. ANY STOP IN CONCRETE WORK MUST BE MADE WITH VERTICAL BULKHEADS AND HORIZONTAL KEYS, UNLESS INDICATED OTHERWISE. FOUNDATIONS, PILE CAPS, DRILLED PIERS, SLABS, BEAMS, GIRDERS, AND JOISTS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE UNLESS DETAILED OTHERWISE.
- 4.10 INSPECTION AND TESTING:
 - A. THE OWNER SHALL ENGAGE A TESTING AGENCY TO PROVIDE SERVICES AS INDICATED BELOW AND SUBMIT REPORTS.
 - B. CAST-IN-PLACE CONCRETE:
 1. THE AGENCY SHALL INSPECT THE FORMWORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS. THE AGENCY SHALL MONITOR ALL STRUCTURAL CONCRETE PLACEMENT FOR CONFORMANCE WITH APPLICABLE ACI REQUIREMENTS.
 2. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31.
 3. THE FOLLOWING NUMBER OF TEST CYLINDERS SHALL BE CAST FOR EACH DAY'S POUR OR EACH 50 CUBIC YARDS, WHICHEVER RESULTS IN MORE TEST CYLINDERS.
 - a. FOR FOOTINGS AND OTHER STRUCTURAL CONCRETE:

LAB CURED	2@7 DAYS, 2@28 DAYS
-----------	---------------------
 - b. FOR WALLS:

LAB CURED	2@7 DAYS, 2@28 DAYS
FIELD CURED	2@7 DAYS, 2@28 DAYS
 - c. THE AGENCY WILL MAKE ADDITIONAL TESTS OF IN-PLACE CONCRETE AT THE CONTRACTOR'S EXPENSE WHEN THE TEST RESULTS INDICATE SPECIFIED CONCRETE STRENGTHS HAVE NOT BEEN ATTAINED, AS DIRECTED BY THE STRUCTURAL ENGINEER.

1704.3 STATEMENT OF SPECIAL INSPECTIONS.

THE CONTRACTOR OR BUILDING OWNER SHALL RETAIN AN APPROVED THIRD PARTY AGENCY TO PERFORM SPECIAL INSPECTIONS. SPECIAL INSPECTIONS AND REPORTING SHALL CONFORM TO CHAPTER 17 OF THE 2015 INTERNATIONAL BUILDING CODE.

1704.2.5 SPECIAL INSPECTION OF FABRICATED ITEMS. WHERE FABRICATION OF STRUCTURAL, LOAD-BEARING OR LATERAL LOAD RESISTING MEMBERS OR ASSEMBLIES IS BEING CONDUCTED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTIONS OF THE FABRICATED ITEMS SHALL BE PERFORMED DURING FABRICATION.

1705.2.1 STRUCTURAL STEEL. SPECIAL INSPECTIONS AND NONDESTRUCTIVE TESTING OF STRUCTURAL STEEL ELEMENTS IN BUILDINGS, STRUCTURES AND PORTIONS THEREOF SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF AISC 360.

1705.2.2 COLD-FORMED STEEL DECK. SPECIAL INSPECTIONS AND QUALIFICATION OF WELDING SPECIAL INSPECTORS FOR COLD-FORMED STEEL FLOOR AND ROOF DECK SHALL BE IN ACCORDANCE WITH THE QUALITY ASSURANCE INSPECTION REQUIREMENTS OF SDI QA/QC.

1705.3 CONCRETE CONSTRUCTION. SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION AND TABLE 1705.3.

TABLE 1705.3
REQUIRED VERIFICATION AND INSPECTION OF CONCRETE CONSTRUCTION

VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION		REFERENCE CRITERIA	
	CONTINUOUS	PERIODIC	REFERENCE STANDARD	IBC REFERENCE
1. INSPECTION OF REINFORCING STEEL.	-	X	ACI 318 CH. 20, 25.2, 25.3, 26.5.1-26.5.3	1908.4
2. REINFORCING BAR WELDING: a. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A 706; b. INSPECT SINGLE-PASS FILLET WELDS, MAXIMUM 5/16"; AND c. INSPECT ALL OTHER WELDS.	-	X	AWS D1.4 ACI 318:26.5.4	-
3. INSPECT ANCHORS CAST IN CONCRETE.	-	X	ACI 318: 17.8.2	-
4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE MEMBERS. a. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS. b. MECHANICAL ANCHORS AND ADHESIVE ANCHORS NOT DEFINED IN 4.a.	X	-	ACI 318: 17.8.2.4 ACI 318: 17.8.2	-
5. VERIFY USE OF REQUIRED DESIGN MIX.	-	X	ACI 318: CH. 19, 26.4.3, 26.4.4	1904.1, 1904.2, 1908.2, 1908.3
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	-	ASTM C 172 ASTM C 31 ACI 318: 26.4.5, 26.12	1908.10
7. INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	-	ACI 318: 26.4.5	1908.6, 1908.7, 1908.8
8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	-	X	ACI 318: 26.4.7-26.4.9	1908.9
9. ERECTION OF PRECAST CONCRETE MEMBERS.	-	X	ACI 318: CH. 26.8	-
10. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF THE CONCRETE MEMBER BEING FORMED.	-	X	ACI 318: 26.10.1(b)	-

1705.6 SOILS. SPECIAL INSPECTIONS AND TESTS OF EXISTING SITE SOIL CONDITIONS, FILL PLACEMENT AND LOAD-BEARING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION AND TABLE 1705.6. THE APPROVED GEOTECHNICAL REPORT AND THE CONSTRUCTION DOCUMENTS PREPARED BY THE REGISTERED DESIGN PROFESSIONALS SHALL BE USED TO DETERMINE COMPLIANCE. DURING FILL PLACEMENT, THE SPECIAL INSPECTOR SHALL VERIFY THAT PROPER MATERIALS AND PROCEDURES ARE USED IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT.

TABLE 1705.6
REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS

VERIFICATION AND INSPECTION	FREQUENCY OF INSPECTION	
	CONTINUOUS	PERIODIC
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	X
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	-
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X

ABBREVIATIONS	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
ASD	ALLOWABLE STRESS DESIGN	EA	EACH	MAX
ALT	ALTERNATE	EF	EACH FACE	MECH
ACI	AMERICAN CONCRETE INSTITUTE	ES	EACH SIDE	MIN
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	EW	EACH WAY	NWC
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	EL	ELEVATION	NTS
AB	ANCHOR BOLT	EOR	ENGINEER OF RECORD	NO, NMB OR #
ARCH	ARCHITECT	EQ	EQUAL	OC
@	AT RATE OF	EXP BOLT	EXPANSION BOLT	PL OR LP
BM	BEAM	EXP JT OR EJ	EXPANSION JOINT	PSF
B OR BOT	BOTTOM	EXT	EXTERIOR	PSI
BEW	BOTTOM EACH WAY	FEET	FEET	REF
CIP	CAST-IN-PLACE	FIN	FINISH	REINF
CTR	CENTERED	FIN FL	FINISH FLOOR	SECT
C	CENTERLINE	FL	FLOOR	SHT
CLR	CLEAR	FTG	FOOTING	SIM
COL	COLUMN	FND	FOUNDATION	SPA
CONC	CONCRETE	GALV	GALVANIZED	SOG
CRSI	CONCRETE REINFORCING STEEL INSTITUTE	GA	GAUGE	SQ
CONST	CONSTRUCTION	GENL	GENERAL	STL
CONT	CONTINUOUS	GR	GRADE	STR
DET	DETAIL	GC	GENERAL CONTRACTOR	T
DIA	DIAMETER	H OR HORIZ	HORIZONTAL	T&B
DIM	DIMENSION	IN OR "	INCH	TOP & BOTTOM
DWLS	DOWELS	INFO	INFORMATION	TYP
DWG	DRAWING	JT	JOINT	UNO
		MATL	MATERIAL	V OR VERT
				VIF
				WWR
				W/

REDEVELOPMENT PHASES 2 & 3

GENERAL NOTES			SCALE	ZONING	G. L. W. FILE No.
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23			AS NOTED	NT OPEN SPACE	94077
			DATE	TAX MAP - GRID	SHEET
ELECTION DISTRICT No. 5			NOV., 2019	36-1	6 OF 26

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

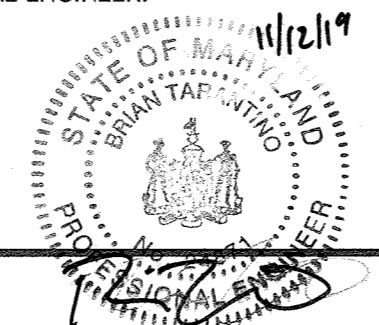
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 12-18-19
Chief, Division of Land Development: [Signature] Date: 12/13/19
Chief, Development Engineering Division: [Signature] Date: 11/27/19

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

DESIGNED BY: K.L.
DRAWN BY: M.L.
CHECKED BY: BT
DATE: _____ REVISION: _____ BY: _____ APPR: _____

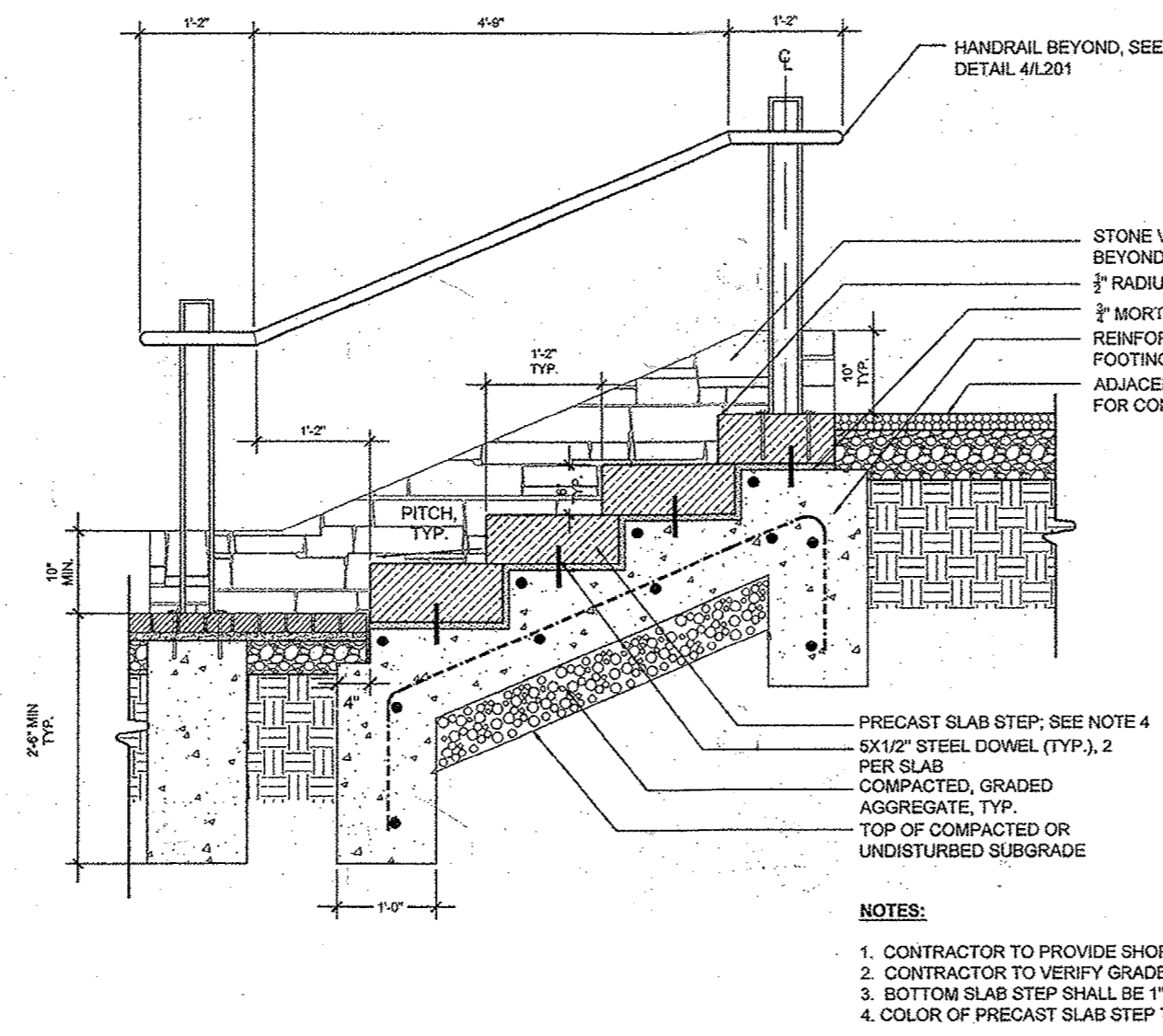
PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

"PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND."
BRIAN TARANTINO, LICENSE NO. 24871
EXPIRATION DATE: 2/28/2020

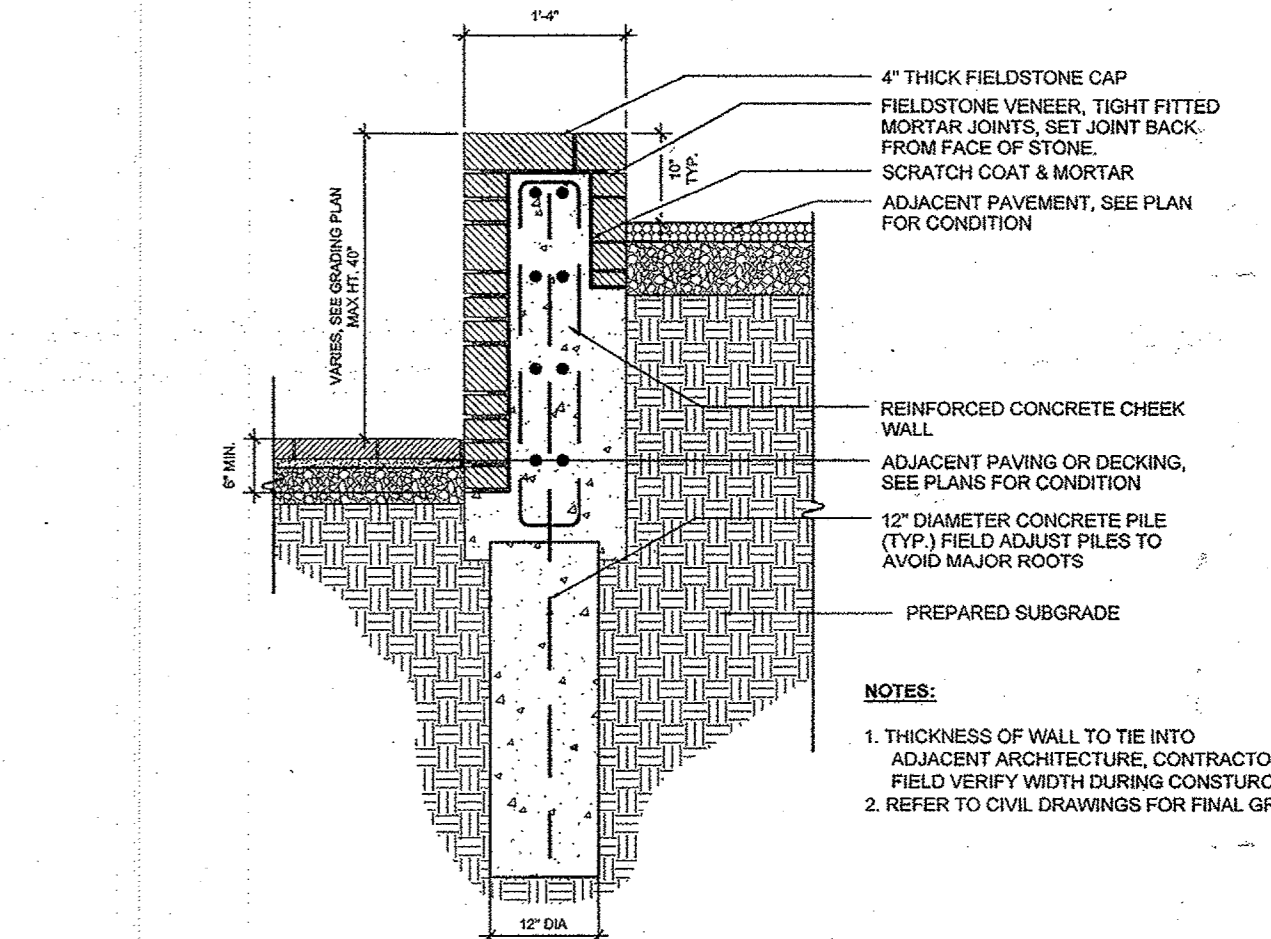
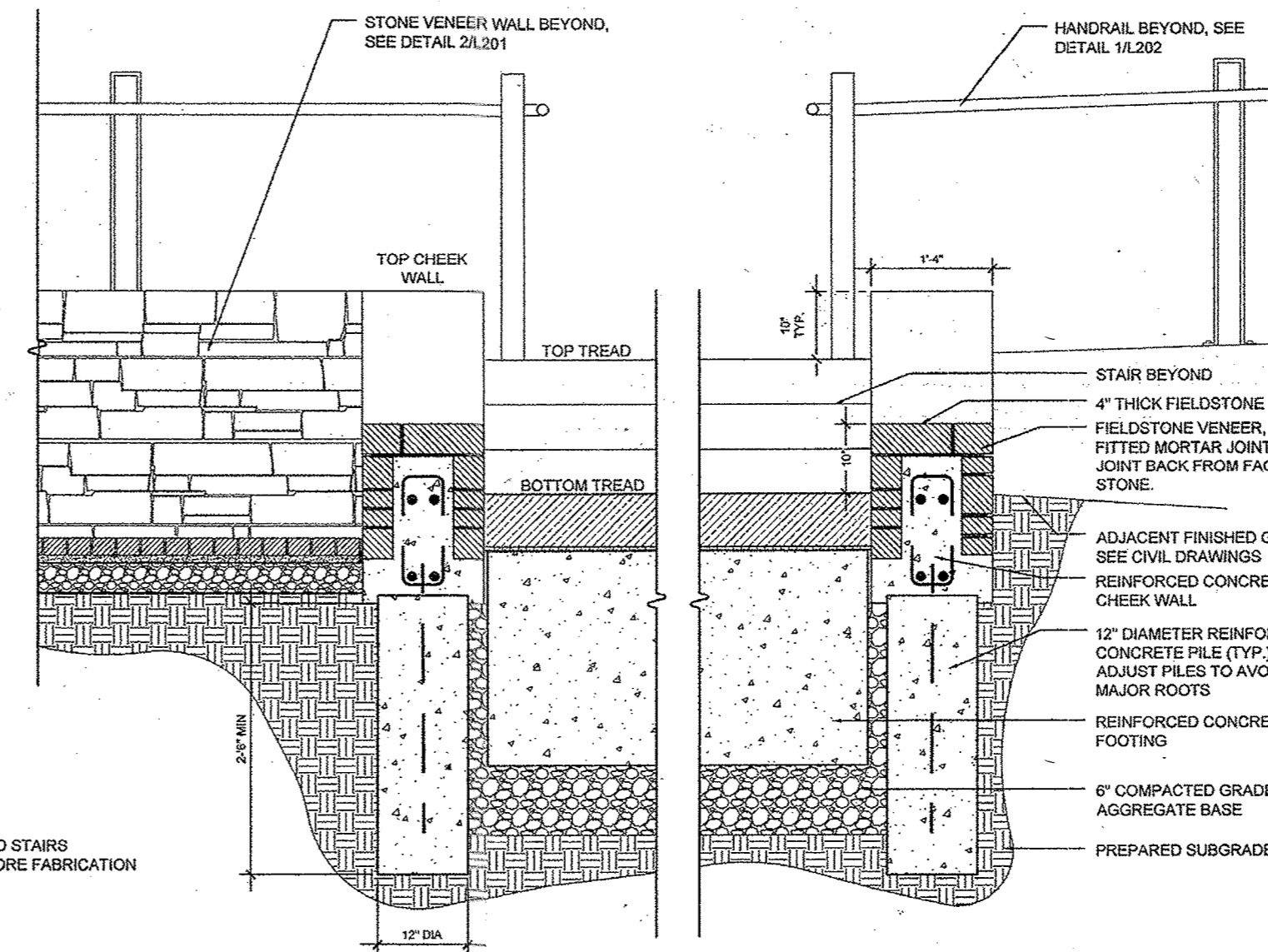




FENCE DETAIL
PROPOSED FENCE TO MATCH EXISTING VERTICAL PICKET FENCE ON SITE (AS SHOWN ABOVE).



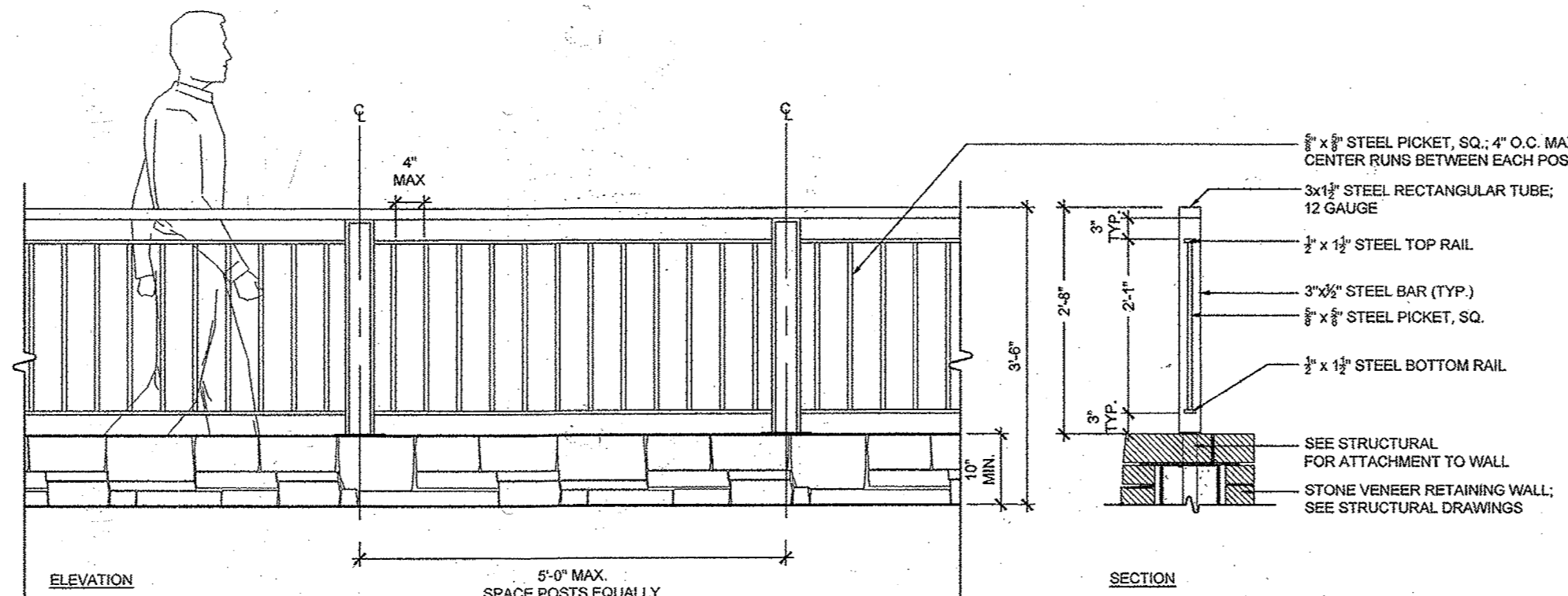
- NOTES:**
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILINGS AND STAIRS
 2. CONTRACTOR TO VERIFY GRADES & DIMENSIONS ON SITE BEFORE FABRICATION
 3. BOTTOM SLAB STEP SHALL BE 1\"/>



- NOTES:**
1. THICKNESS OF WALL TO TIE INTO ADJACENT ARCHITECTURE, CONTRACTOR TO FIELD VERIFY WIDTH DURING CONSTRUCTION.
 2. REFER TO CIVIL DRAWINGS FOR FINAL GRADES.

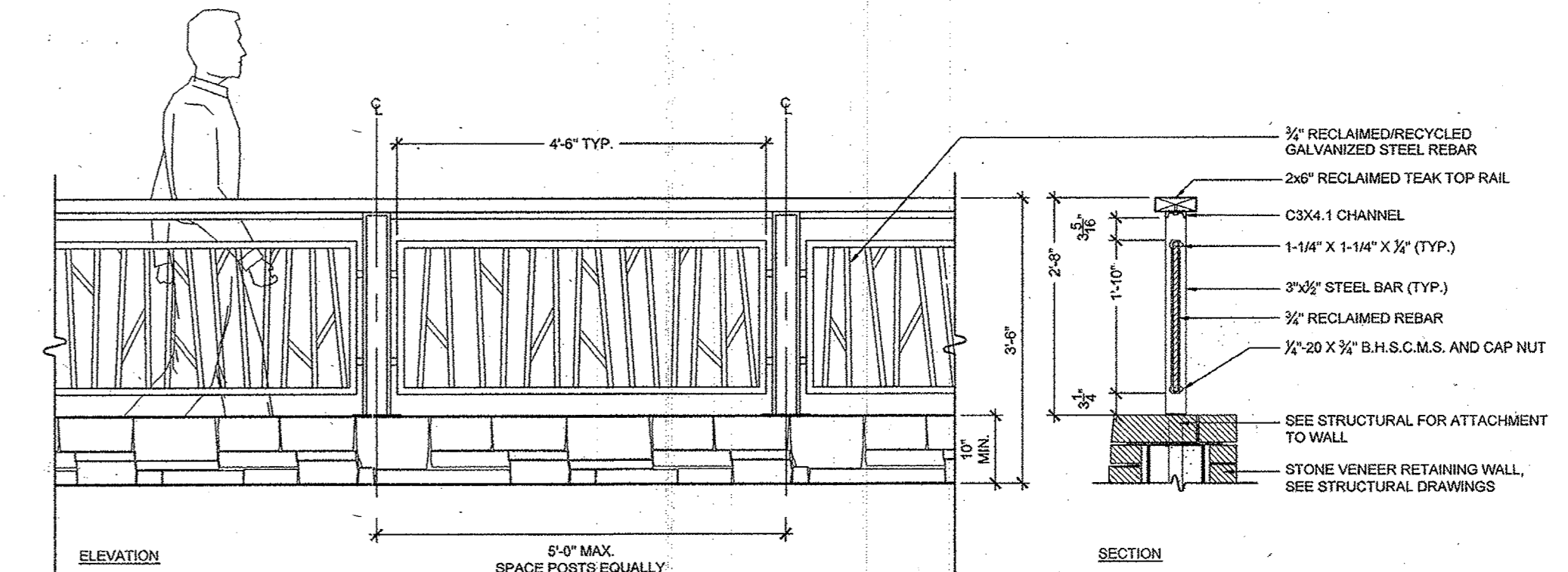
1 SITE STAIR AND STONE VENEER CHEEK WALL
3/4\"/>

2 STONE VENEER WALL
N.T.S.



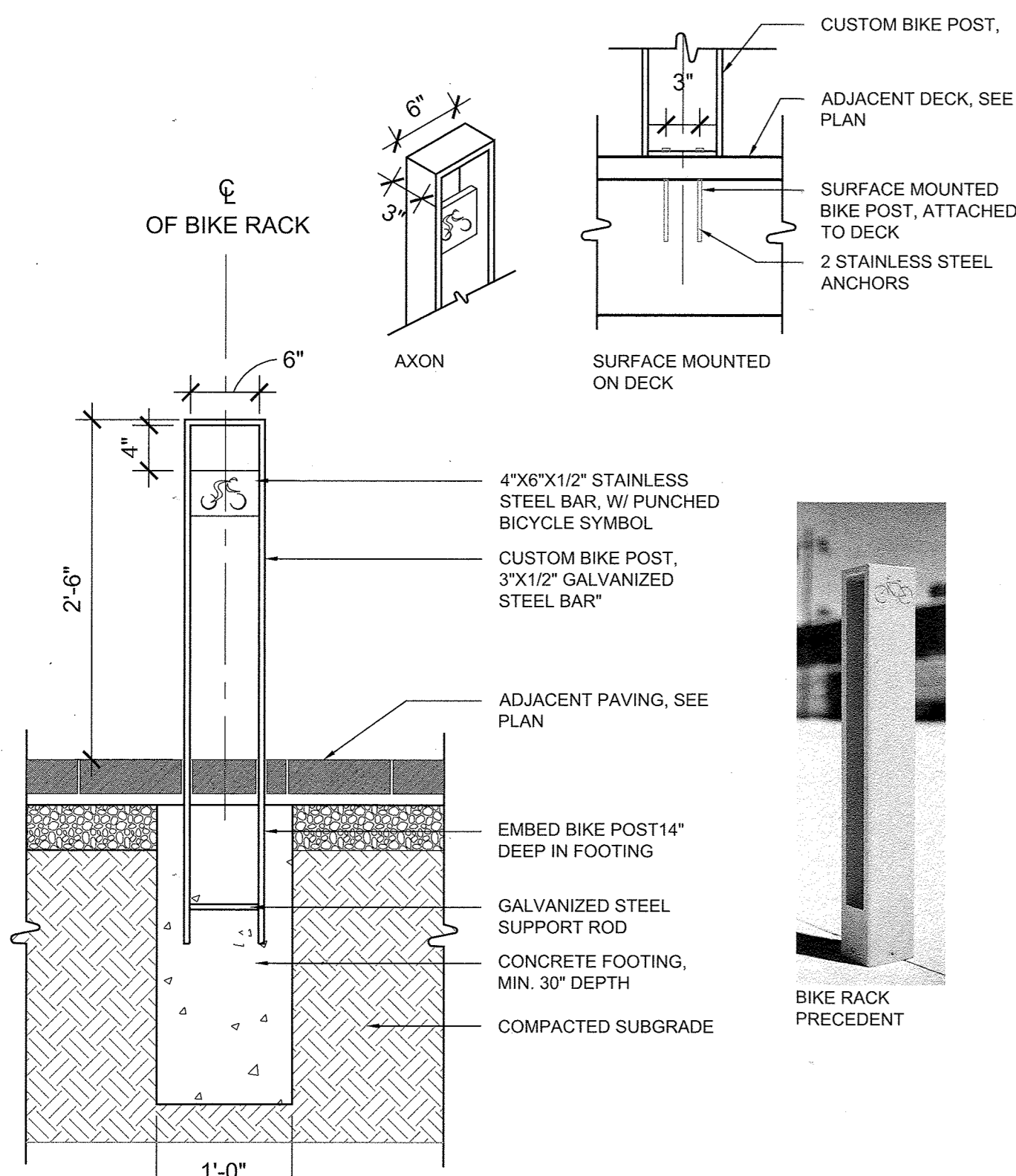
- NOTE:**
1. ALL METAL FRAMING AND HARDWARE TO BE GALVANIZED STEEL.
 2. UNLESS OTHERWISE SHOWN, ALL CONNECTIONS TO BE WELDED.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF GUARDRAIL FOR APPROVAL OF LANDSCAPE ARCHITECT BEFORE FABRICATION.
 4. SEE STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS AND GUARDRAIL ATTACHMENT TO RETAINING WALL.

3 TYPICAL GUARDRAIL
N.T.S.

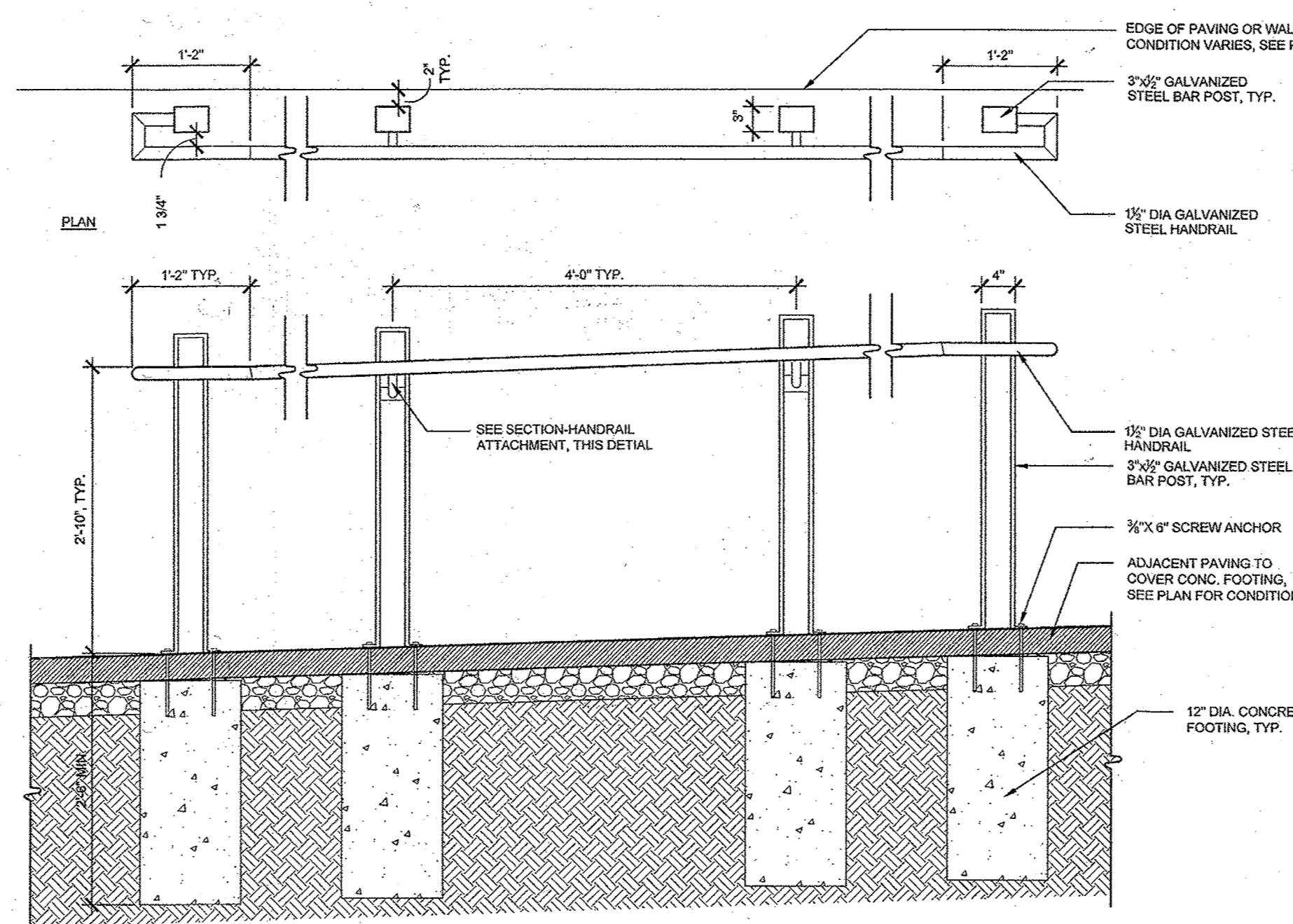


- NOTE:**
1. ALL METAL FRAMING AND HARDWARE TO BE GALVANIZED STEEL.
 2. UNLESS OTHERWISE SHOWN, ALL CONNECTIONS TO BE WELDED.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF GUARDRAIL FOR APPROVAL OF LANDSCAPE ARCHITECT BEFORE FABRICATION.
 4. SEE STRUCTURAL DRAWINGS FOR RETAINING WALL DETAILS AND GUARDRAIL ATTACHMENT TO RETAINING WALL.

ADD ALTERNATE

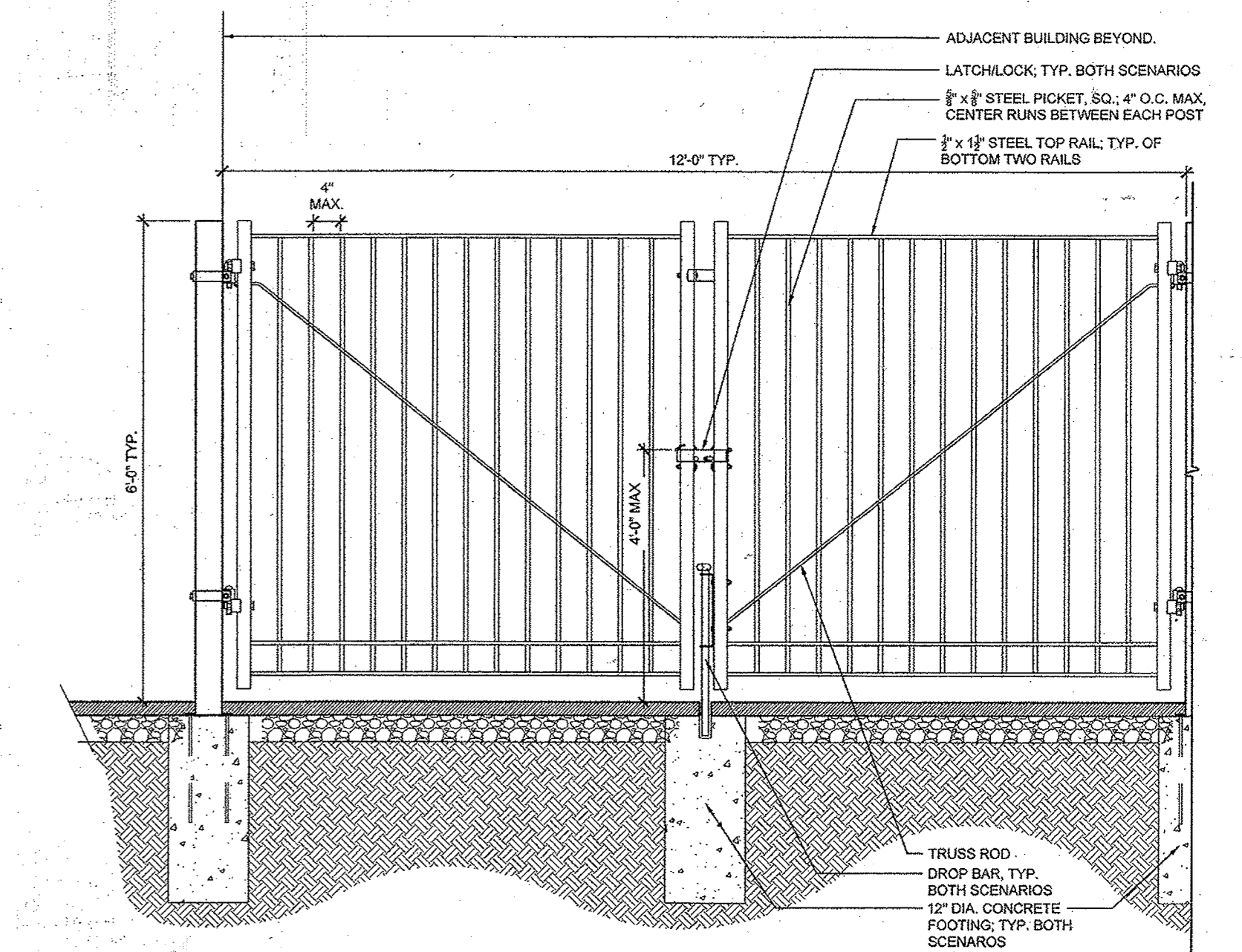


4 BIKE RACK
1\"/>



- NOTES:**
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR RAILINGS.
 2. CONTRACTOR TO VERIFY GRADES & DIMENSIONS ON SITE BEFORE FABRICATION.

5 TYPICAL HANDRAIL
N.T.S.



6 MAIN ENTRY GATES
N.T.S.

REDEVELOPMENT PHASES 2 & 3
SITE DETAILS - WALL AND RAILING DETAILS
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

SCALE	ZONING	G. L. W. FILE No.
NTS	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	7 OF 26

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Natalie Joffe* 3-2-16
Date: 3-2-16
Chief, Division of Land Development: *Walter...* 3-2-16
Date: 3-2-16
Chief, Development Engineering Division: *Chad...* 2-23-16
Date: 2-23-16

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PEPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1714

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK
BURTOWNSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

PREPARED FOR:
MERRIWEATHER POST PAVILION
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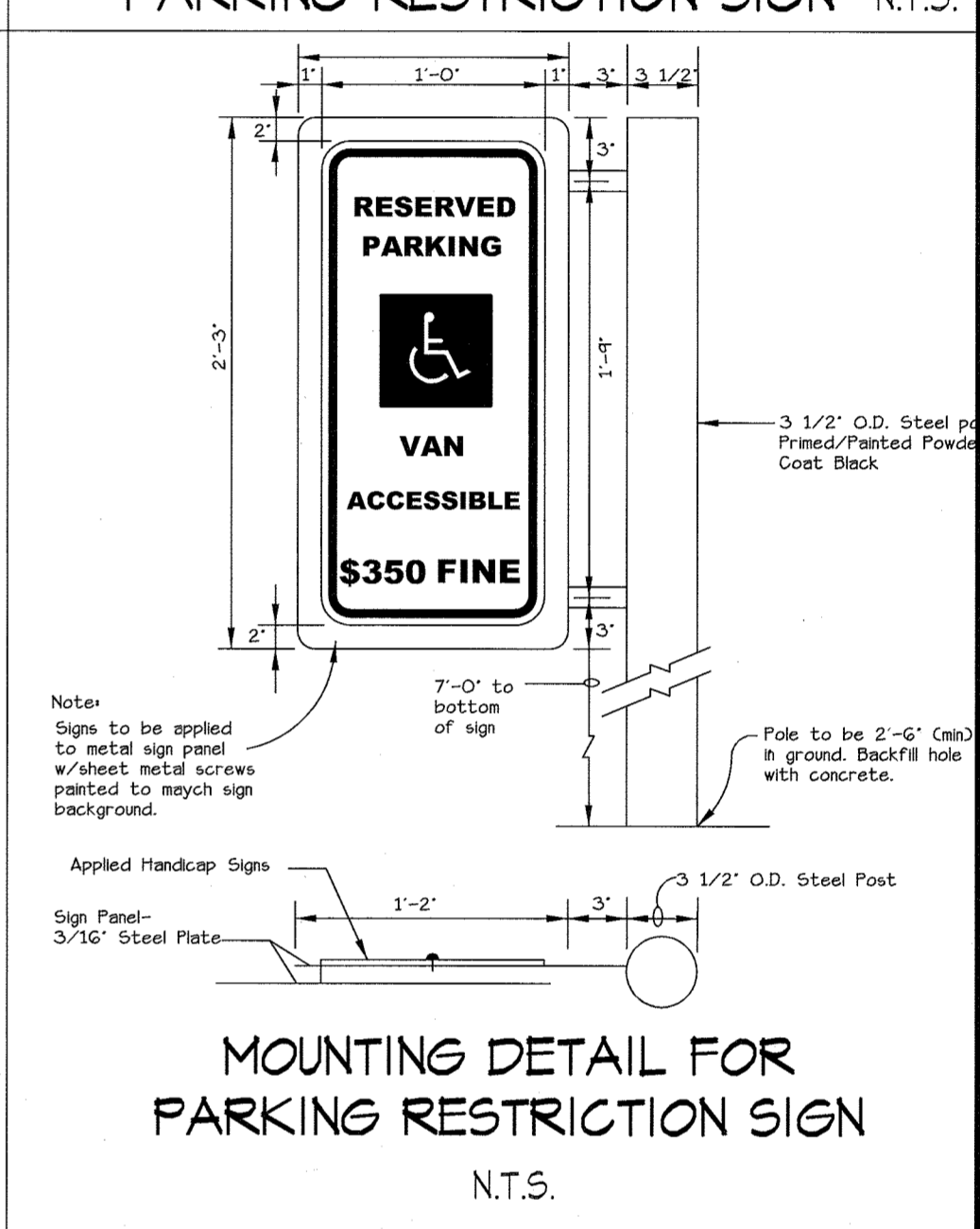
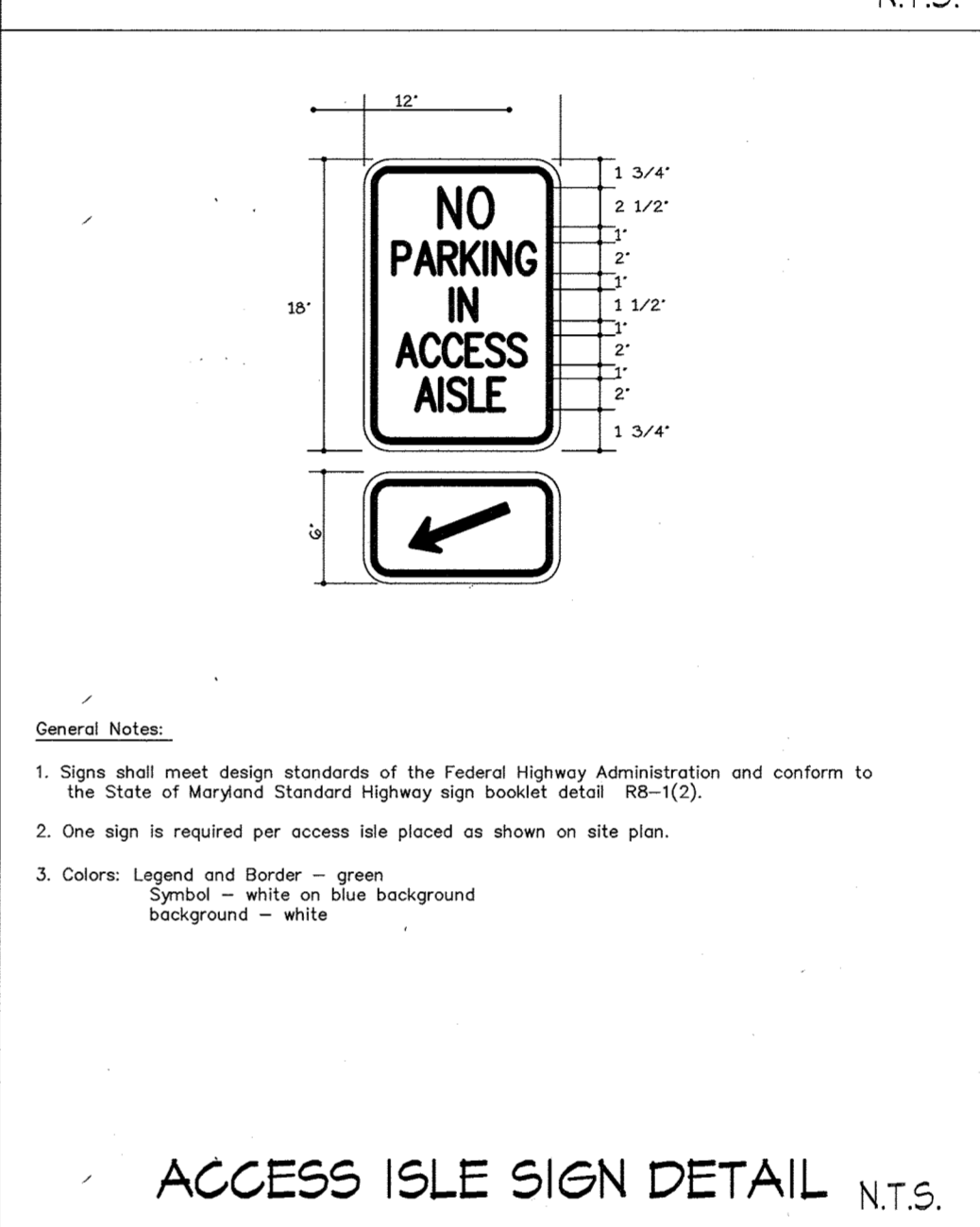
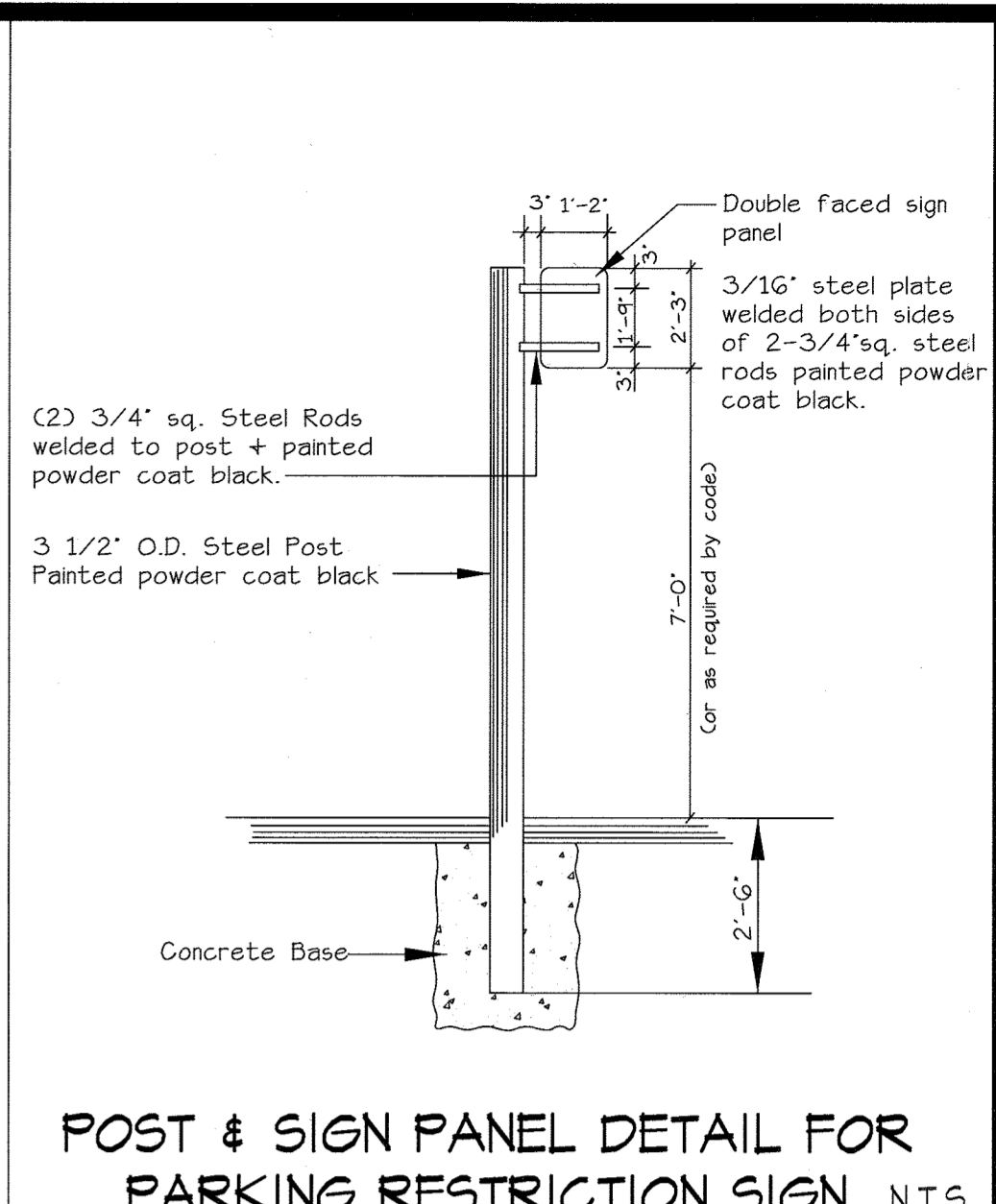
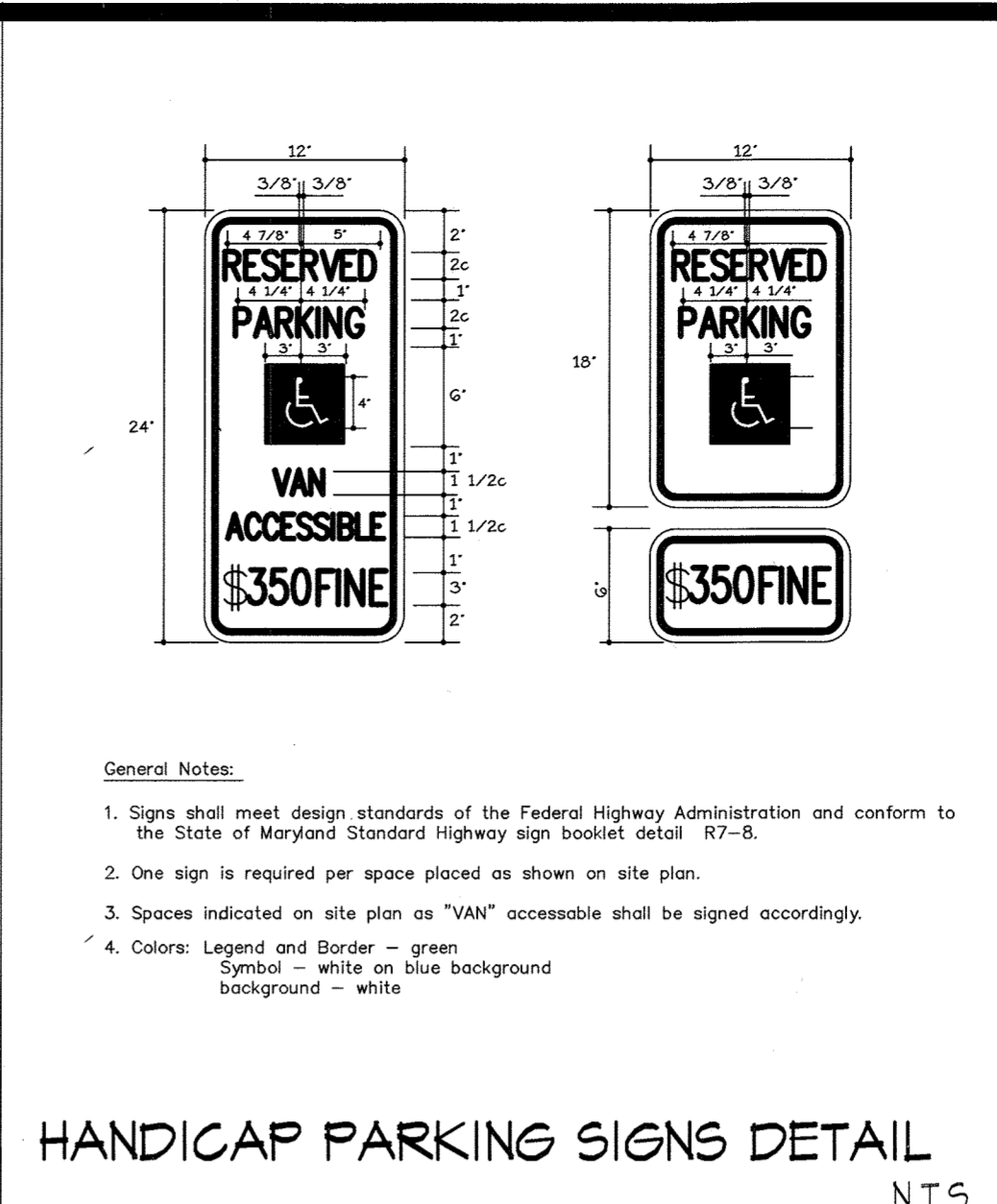
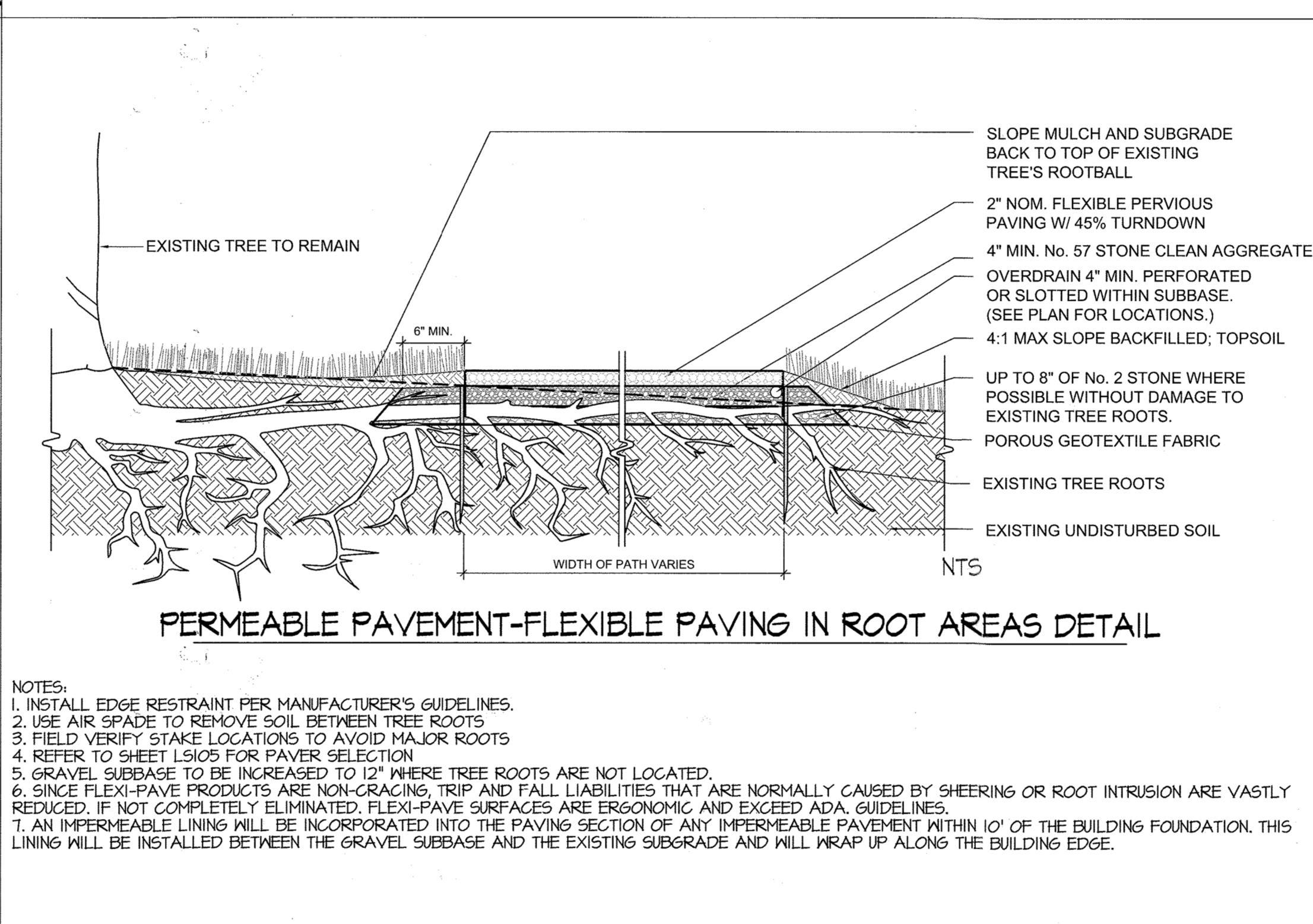
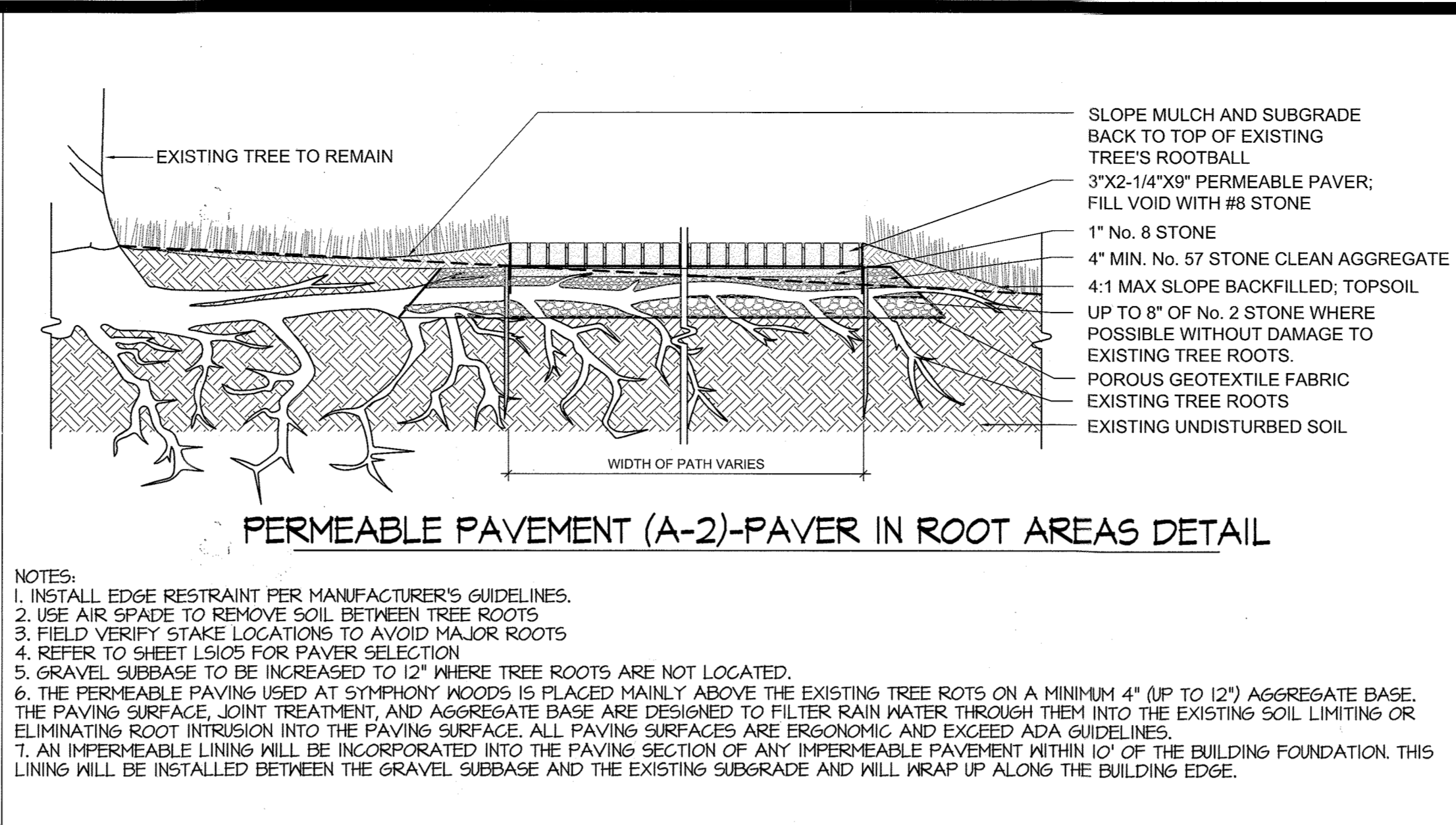
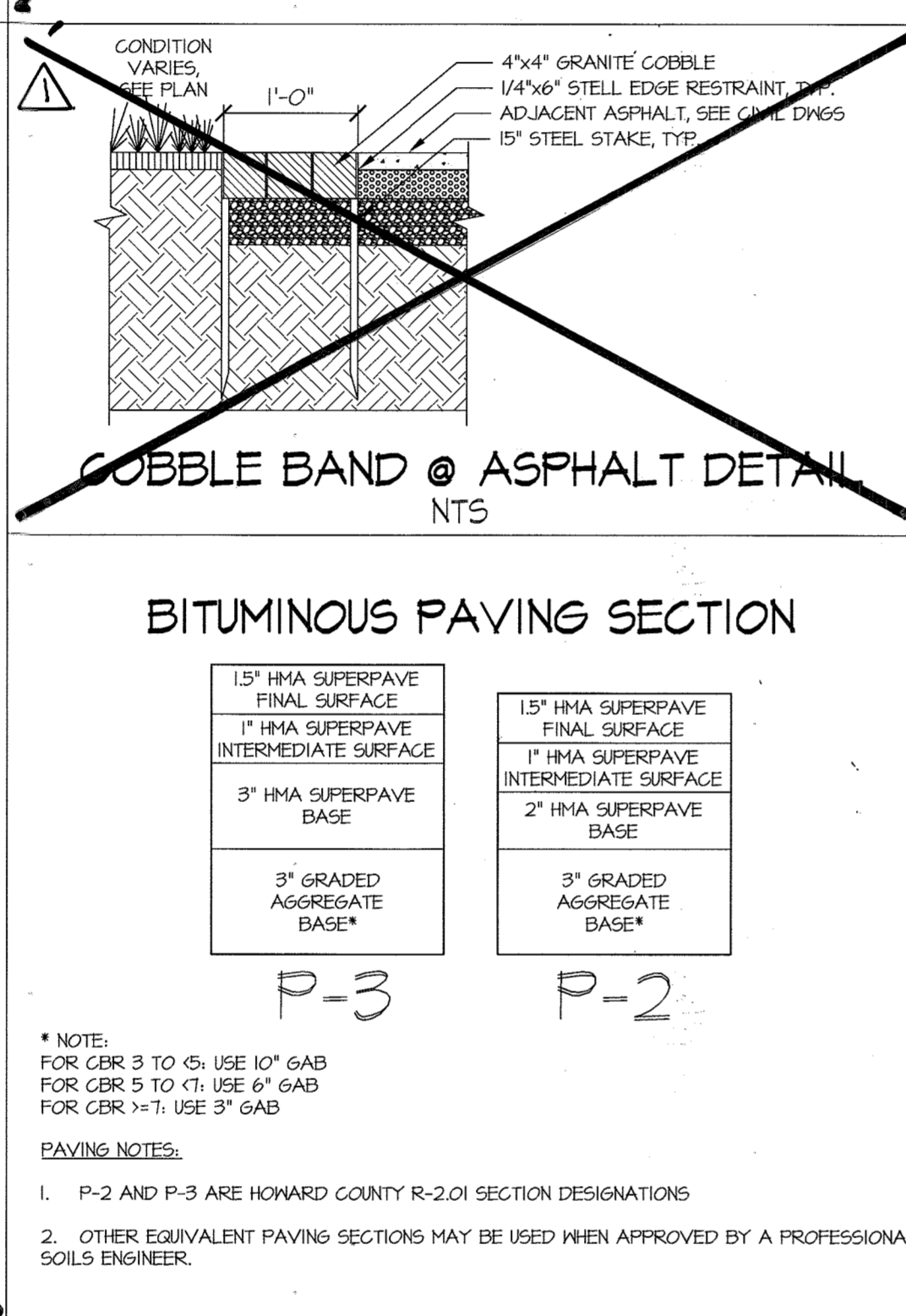
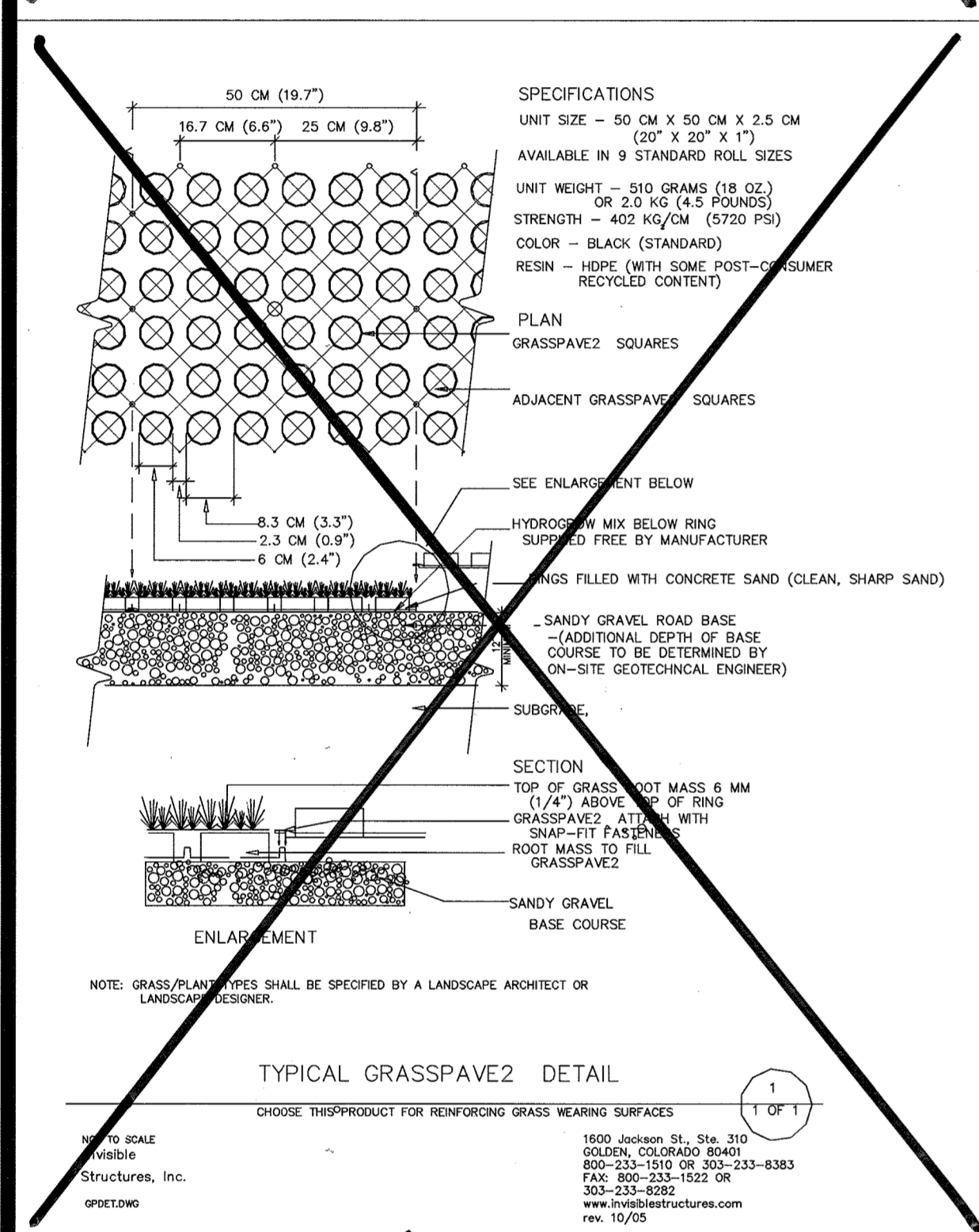
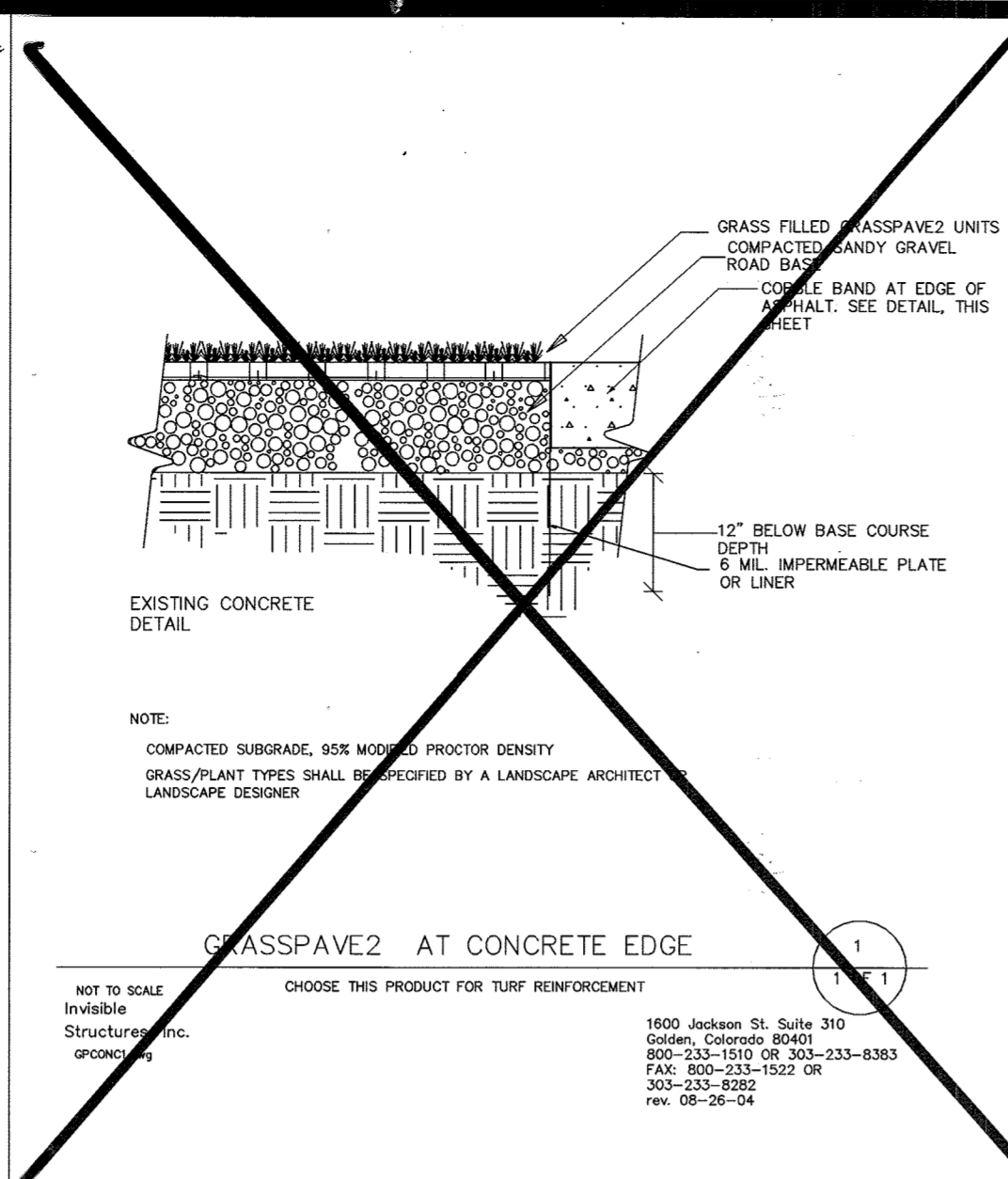
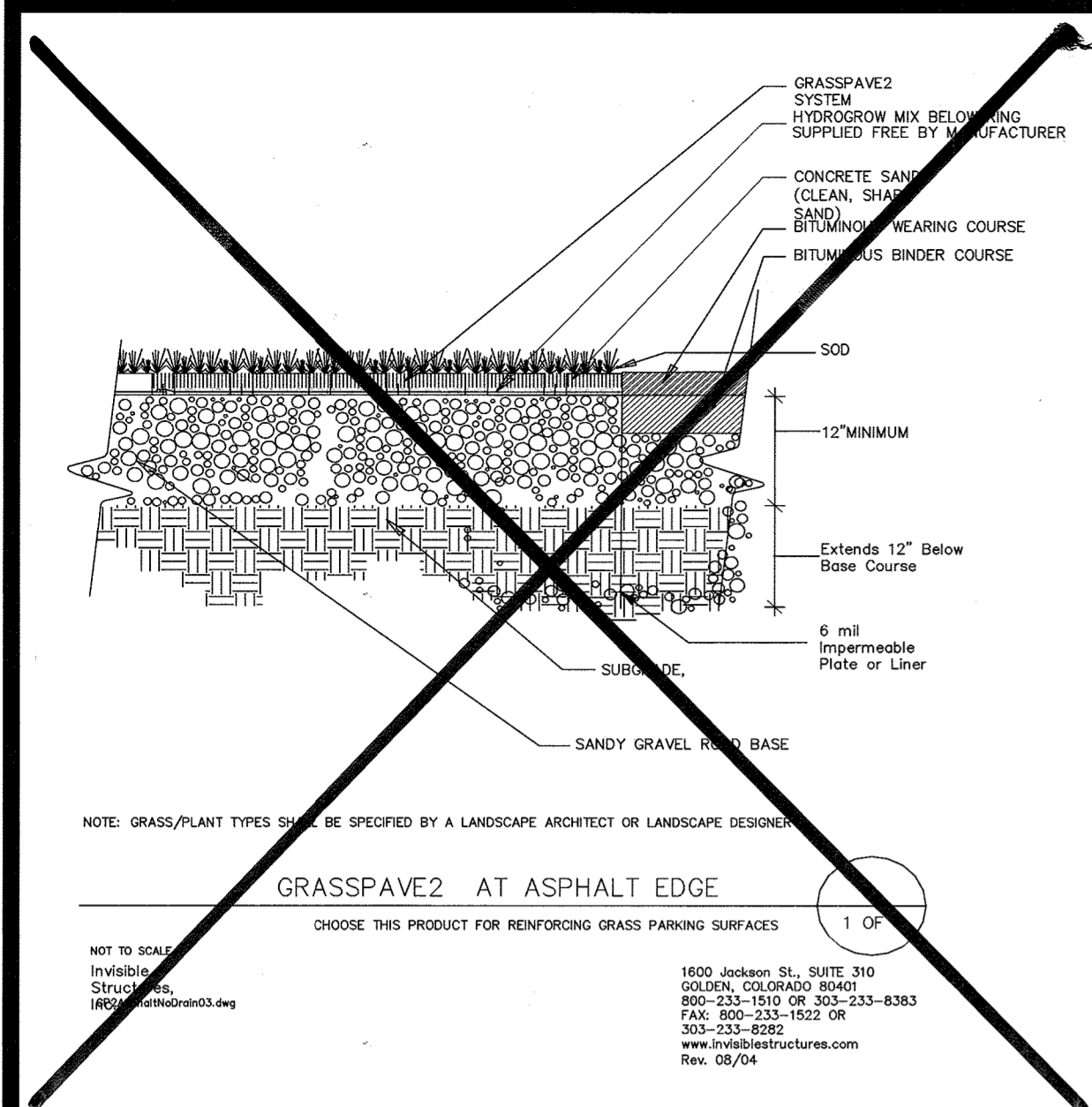
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 28, 2016
1-20-16

ELECTION DISTRICT No. 5

PLAT Nos. 4305 & 4306

HOWARD COUNTY, MARYLAND

11-18-19 Updated detail callouts + owner information
DATE REVISION
BY APPR.
94 AWL
BY APPR.



OWNER
 LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: JAM KENNEDY
 447-741-1914

OWNER
 LOT 13
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: M.S. NINA BASU
 410-740-0029

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Valentin J. J. J.* 3-2-16
 Chief, Division of Land Development: *Ke...* 3-2-16
 Chief, Development Engineering Division: *...* 2-23-16

B.4.B Specifications for Permeable Pavements
 These specifications include information on acceptable materials for typical applications and are not exclusive or limiting. The designer is responsible for developing detailed specifications for individual projects and specific conditions.

1. Pervious Concrete Specifications
 Design Thickness - Pervious concrete applications shall be designed so that the thickness of the concrete slab shall support the traffic and vehicle types that will be carried. Applications may be designed using either standard pavement procedures (e.g., AASHTO, ACI 325.9R, ACI 330R) or using structural values derived from flexible pavement design procedures.
 Mix & Installation - Traditional Portland cements (ASTM C 150, C 1157) may be used in pervious concrete applications. Phosphorus admixtures may also be used. Materials should be tested (e.g., trial batching) prior to construction so that critical properties (e.g., setting time, rate of strength development, porosity, permeability) can be determined.
 Aggregate - Pervious concrete contains a limited fine aggregate content. Commonly used gradations include ASTM C 33 No. 67 (¾ in. to No. 4), No. 8 (¾ in. to No. 16) and No. 89 (¾ in. to No. 50) sieves. Single-sized aggregate (up to 1 inch) may also be used.
 Water Content - Water-to-cement ratios between 0.21 and 0.30 are used routinely with proper inclusion of chemical admixtures. Water quality should meet ACI 308. As a general rule, potable water should be used although recycled concrete production water meeting ASTM C 44 or AASHTO M 151 may also be used.
 Admixtures - Chemical admixtures (e.g., retarders or hydration-stabilizers) are

used to obtain special properties in pervious concrete. Use of admixtures should meet ASTM C 444 (chemical admixtures) and ASTM C 260 (air entraining admixtures) and closely follow manufacturer's recommendations.

Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

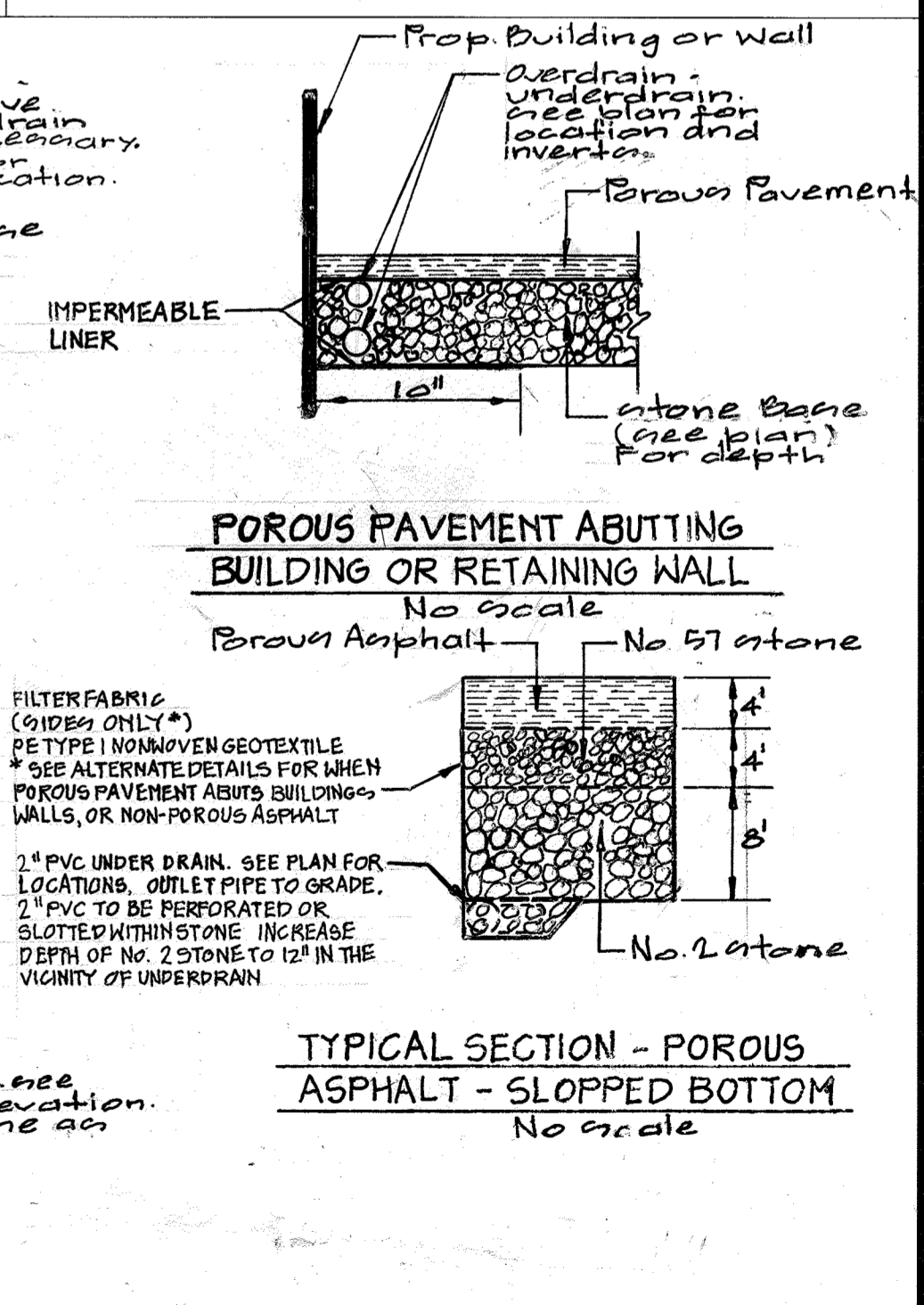
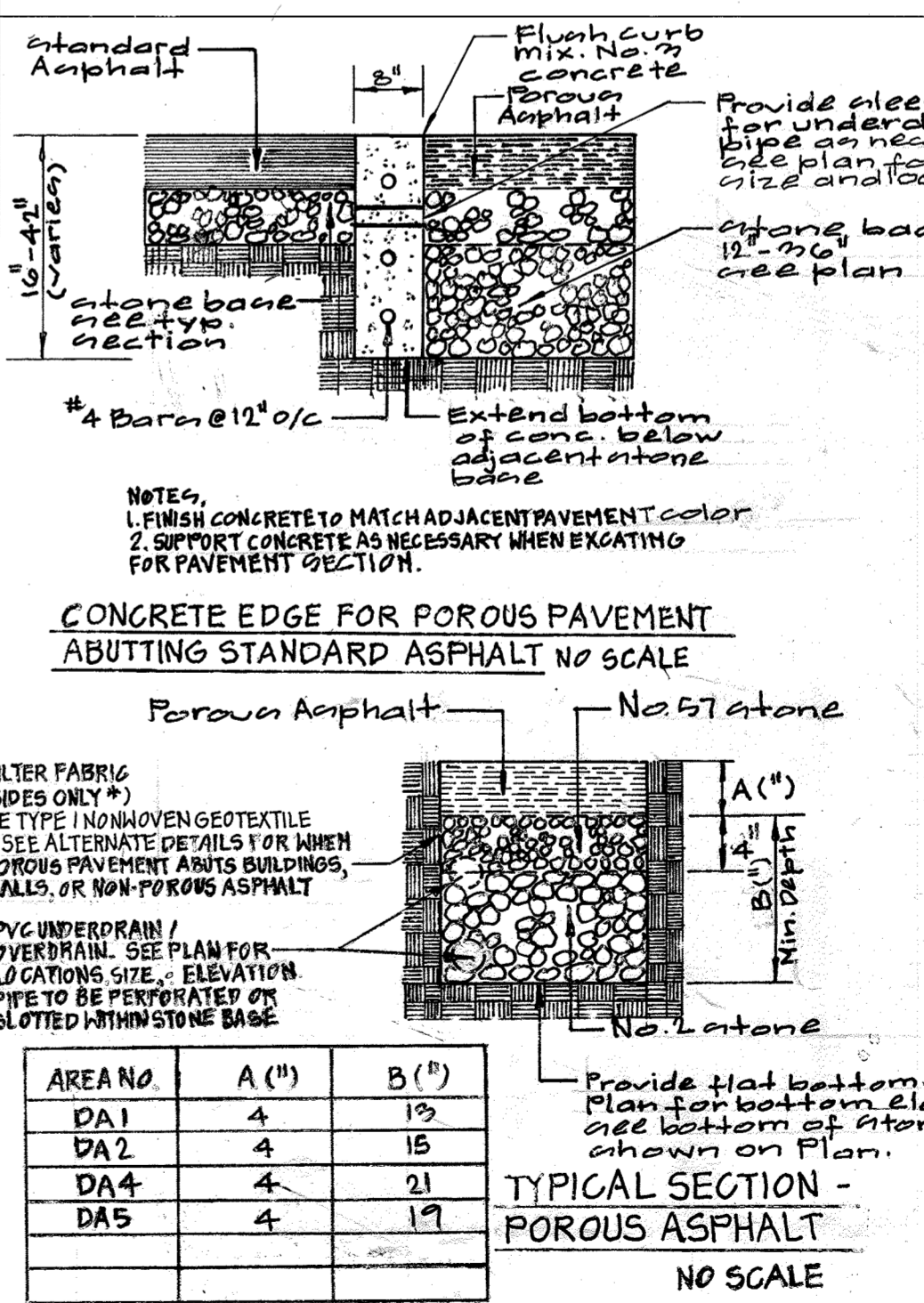
2. Permeable Interlocking Concrete Pavements (PICP)
 Paver Blocks - Blocks should be either 3 ½ in. or 4 in. thick, and meet ASTM C 456 or CSA A291.2 requirements. Applications should have 20% or more (40% preferred) of the surface area open. Installation should follow manufacturer's instructions, except that infill and base course materials and dimensions specified in this Appendix shall be followed.
 Infill Materials and Leveling Course - Openings shall be filled with ASTM C-33 graded sand or sand/loam. PICP blocks shall be placed on a one-inch thick leveling course of ASTM C-33 sand.
 Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).
 Reinforced Turf
 Reinforced Grass Pavement (RGP) - Whether used with grass or gravel, the RGP thickness shall be at least 1 ¾" thick with a load capacity capable of supporting the traffic and vehicle types that will be carried.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED FERMEABLE PAVEMENT (A-2)

- The Owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and ensure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.
- The Owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subspace.
- The Owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pretreated salt.
- The Owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

- Maintenance of areas receiving disconnected runoff is generally no different than that required for other lawn or landscaped areas. The Owner shall ensure the areas receiving runoff are protected from future compaction or development of impervious area. In commercial areas, foot traffic should be discouraged as well.



AREA NO	A (')	B (')
DA1	4	13
DA2	4	15
DA4	4	21
DA5	4	19

GLWGutschick Little & Weber, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

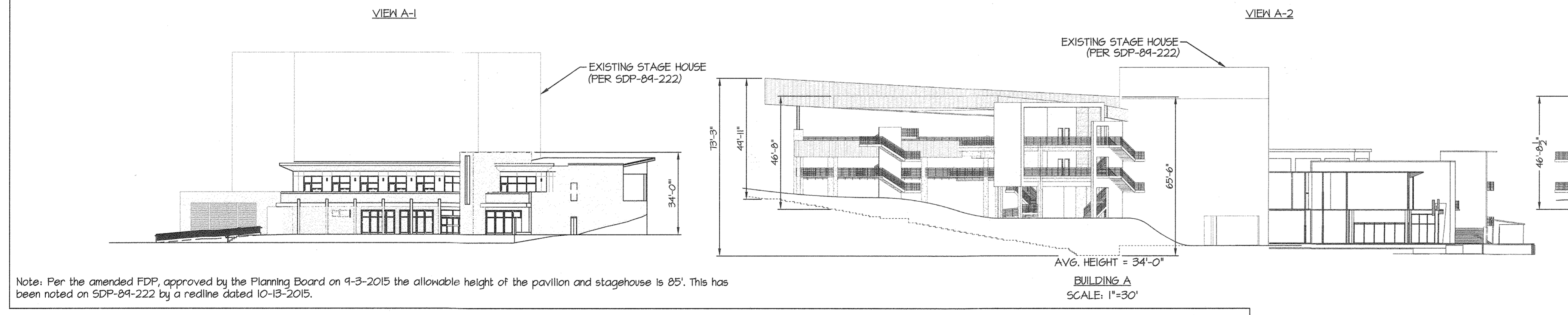
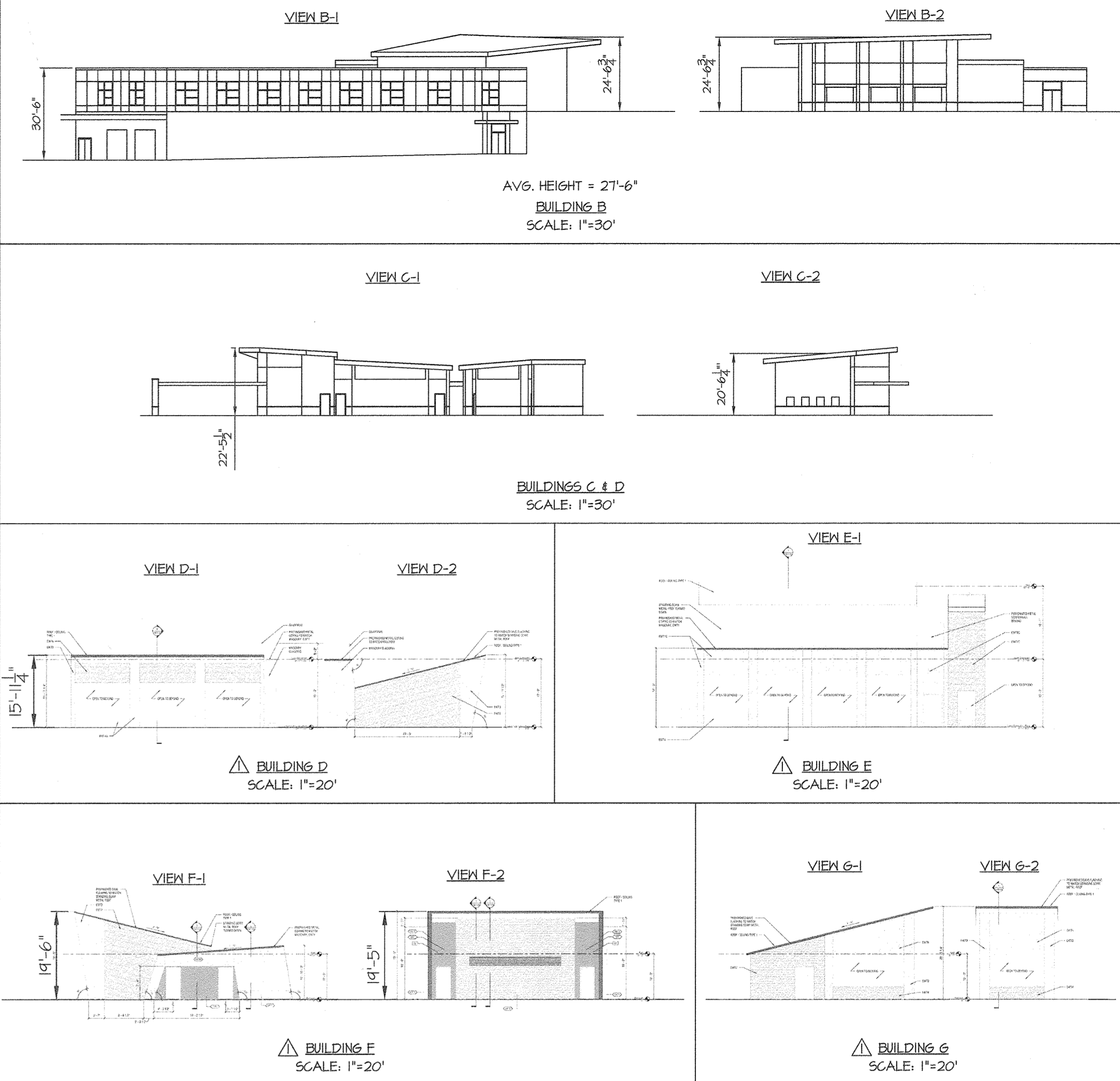
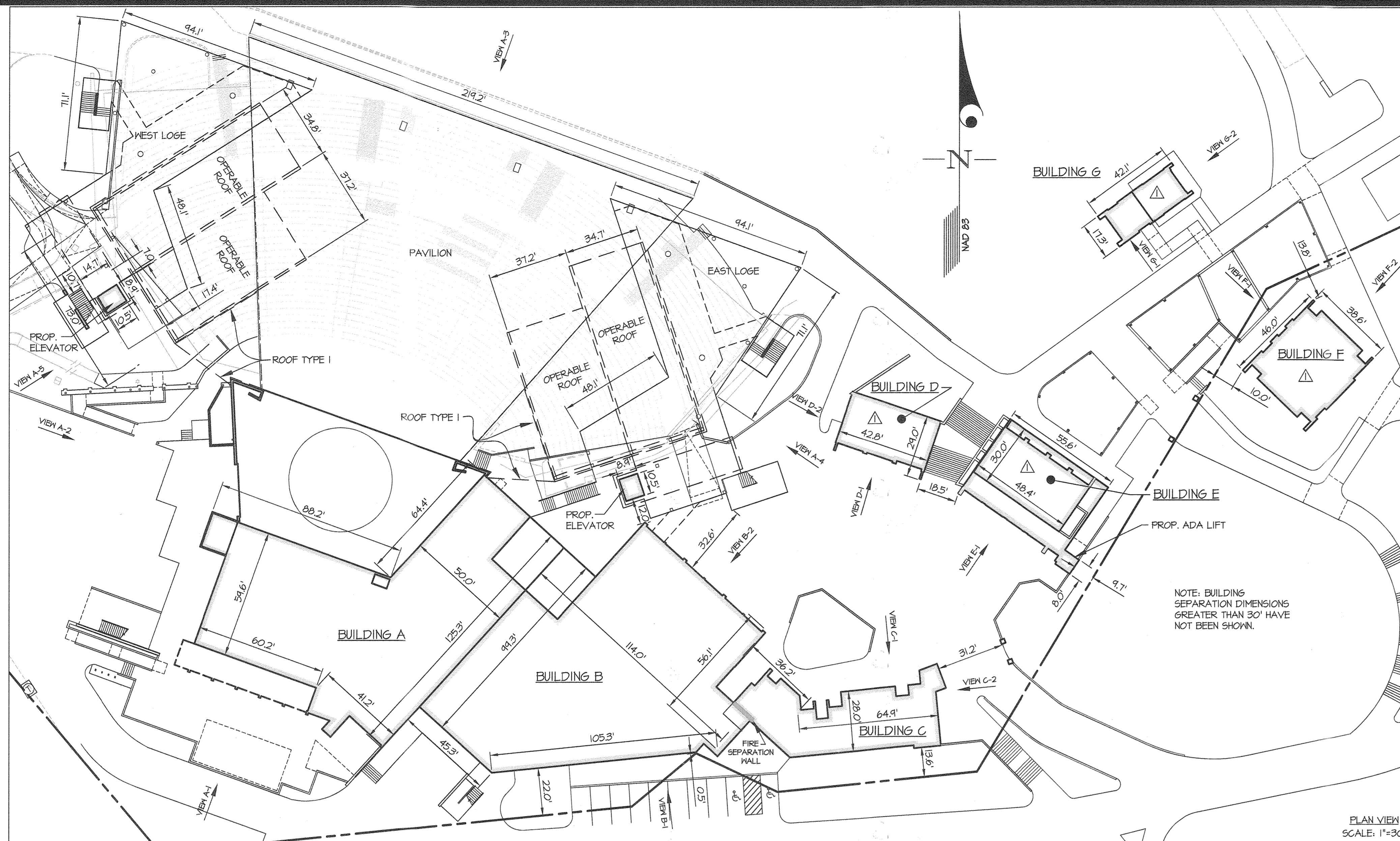
DES. DDS DRN. ARL. CHK. CKG
 DATE: 11-18-19
 BY: ANL
 APPR.:

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 28, 2016
 1-20-16

SITE DETAILS AND HANDICAP SIGN DETAILS
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
 ELECTION DISTRICT No. 5
 PLAT Nos. 4305 & 4306
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	8 OF 26



APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-18-19

Chief, Division of Land Development: [Signature] Date: 12/18/19

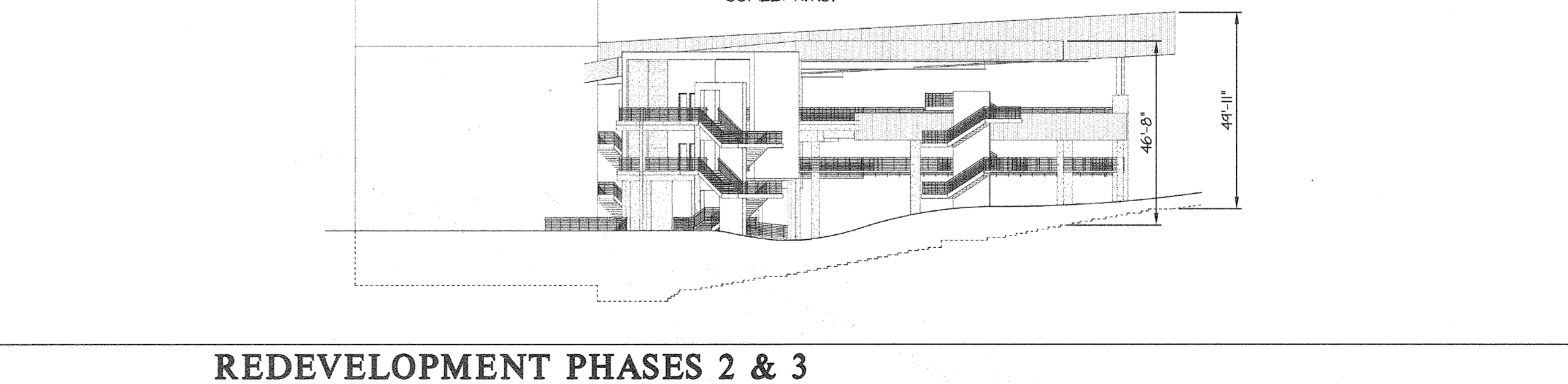
Chief, Development Engineering Division: [Signature] Date: 11-27-19

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MR. MICHAEL MCCALL
410-740-0029

PREPARED FOR:
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EXPIRATION DATE: MAY 26, 2023
11/13/19 [Signature]



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND, 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4188

DATE	REVISION	AWL	DDS
11/11/2019	REVISED BLDGS D,E,F&G PER ARCHITECT CHANGES		

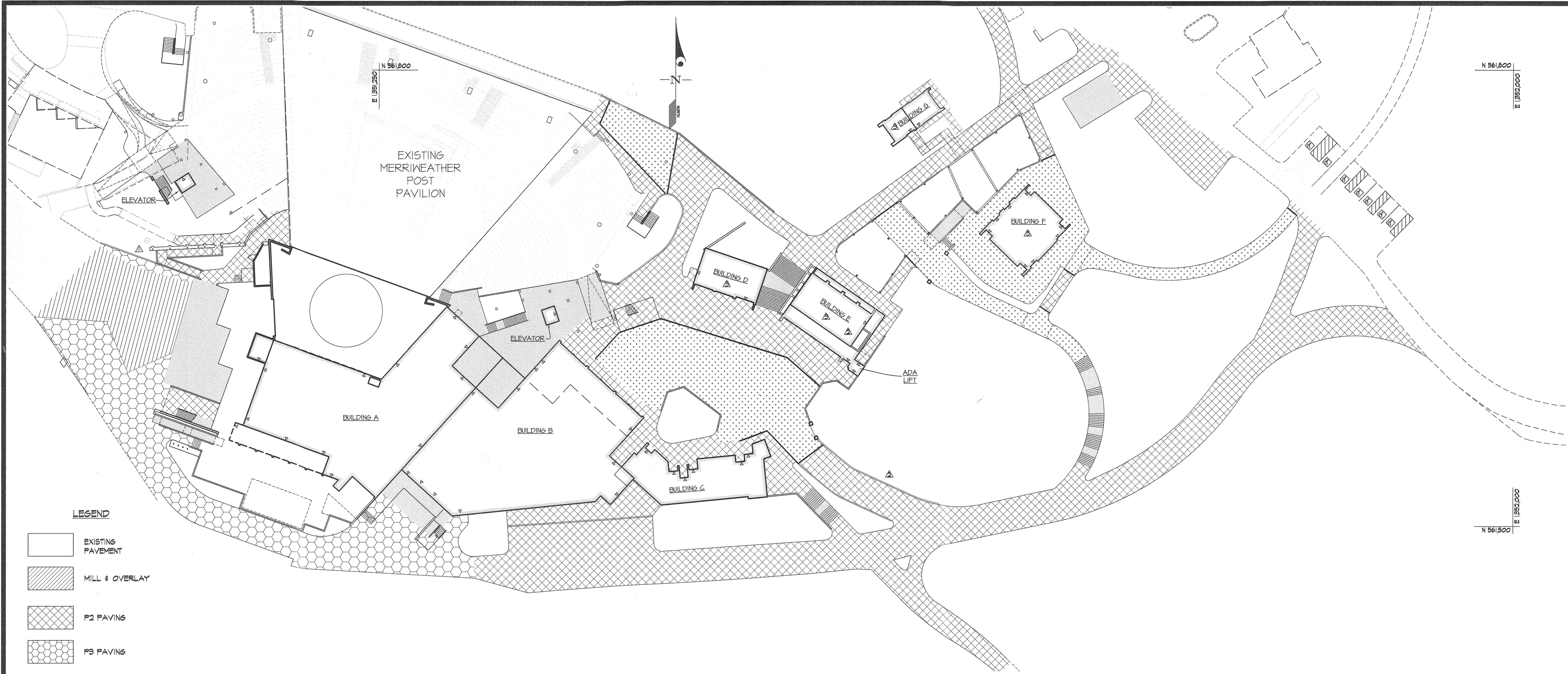
ELECTION DISTRICT No. 5

PLAT Nos. 4305 & 4306

HOWARD COUNTY, MARYLAND

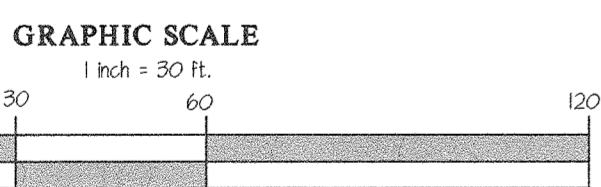
REDEVELOPMENT PHASES 2 & 3		
REVISED BUILDING ELEVATIONS AND DIMENSIONS		
SCALE	ZONING	G. L. W. FILE No.
NTS	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	9 OF 26

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LEGEND

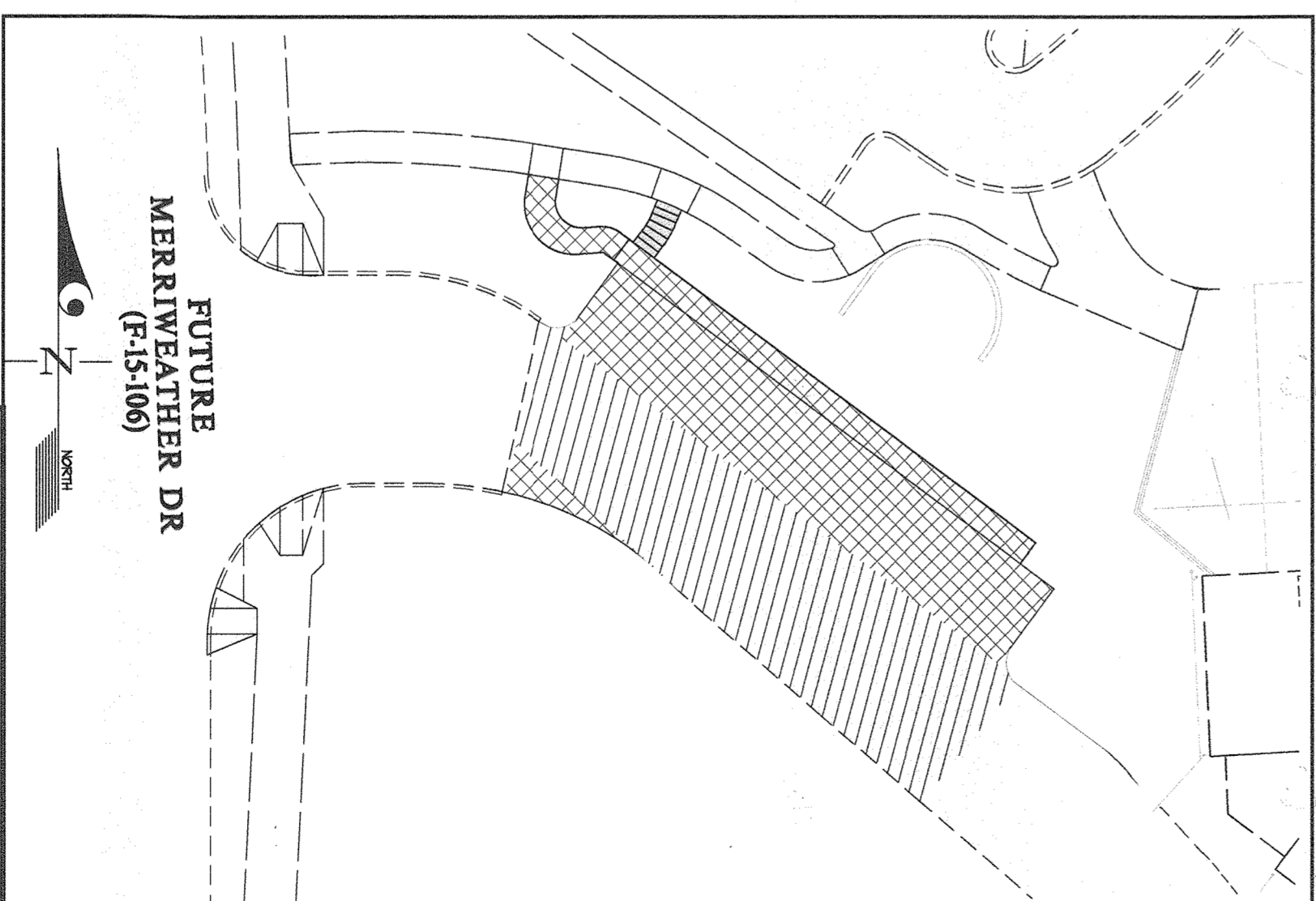
- EXISTING PAVEMENT
- MILL & OVERLAY
- P2 PAVING
- P3 PAVING
- POROUS ASPHALT
- CONCRETE
- CONCRETE EDGE. SEE DETAIL SHEET 2



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: **DECEMBER 17, 2015**

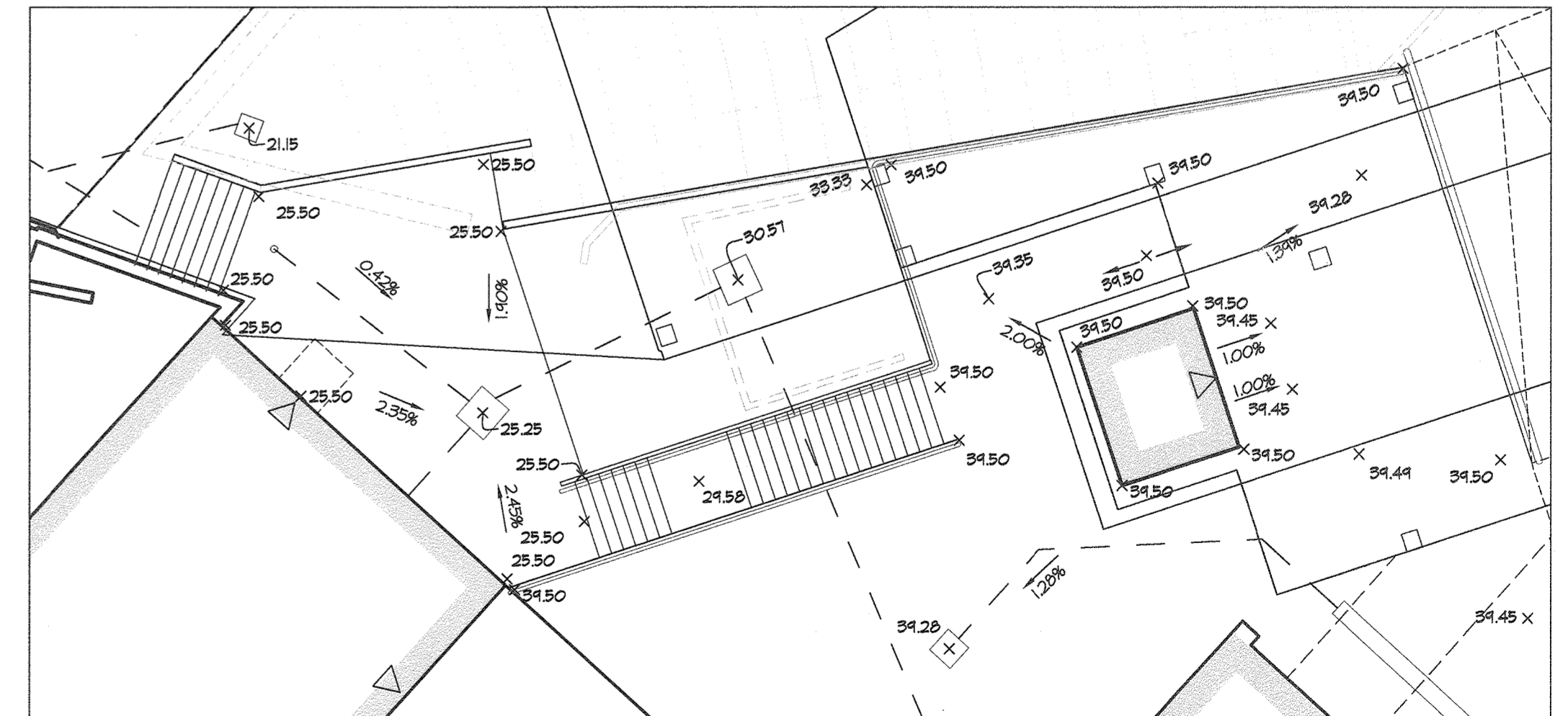
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director	<i>[Signature]</i>	12-18-19
Chief, Division of Land Development	<i>[Signature]</i>	12/13/19
Chief, Development Engineering Division	<i>[Signature]</i>	11-27-19



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410-740-0029

OWNER
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DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974



REDEVELOPMENT PHASES 2 & 3
REVISED PAVING DELINEATION PLAN
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

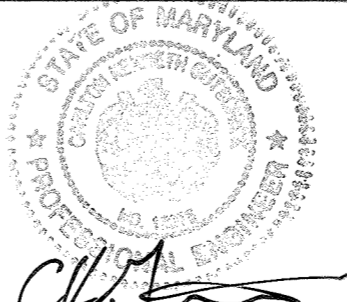
ORCHESTRA PIT EGRESS/V.I.P. ACCESS GRADING PLAN
SCALE: 1"=10'

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11/11/2019	REVISED BLDGS D,E,F&G PER ARCHITECT CHANGES	AWL	DDS
10/29/2018	REVISED P-2 AND POROUS ASPHALT LIMITS	AWL	DDS
04/2016	WEST SIDE PAVING REVISED	dds	

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
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EXPIRATION DATE: MAY 26, 2025
11/13/19



ELECTION DISTRICT No. 5
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	10 OF 26

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STORMWATER MANAGEMENT REQUIREMENTS	
STUDY AREA:	4.2 Ac
EX IMPERVIOUS AREA:	74,300 SF
(SITE IS GREATER THAN 40% IMPERVIOUS, RE-DEVELOPMENT CRITERIA APPLIES)	
PROPOSED IMPERVIOUS AREA:	112,300 SF
NET IMPERVIOUS:	+35,000 SF
SITE IS 80% B, 20% D SOILS. TARGET P_e FOR NEW IMPERVIOUS IS 2.45"	
ESDV REQUIREMENT = 50% * 74,300 SF = 37,150 SF (1" TREATMENT) + 35,000 SF (2.45" TREATMENT) = 72,150 SF	
Treatment Area Required = (37,150 SF + 35,000 SF) = 72,150 SF	

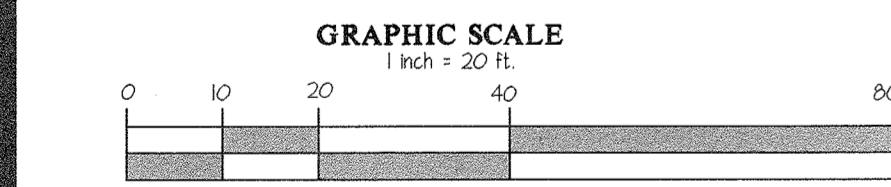
STORMWATER MANAGEMENT PROVIDED BY DEVICE	
ESD TREATMENT BY DEVICE	
(A-2) POROUS PAVEMENT:	4,687 CU-FT
(M-8) DRYWELLS:	450 CU-FT
(M-8) BIO SWALES:	1,494 CU-FT
STORMCEPTOR:	3,139 CU-FT
TOTAL:	9,770 CU-FT
EXCESS ESDV FROM SDP-04-22 TO BE USED ON THIS SDP:	
(A-2) POROUS PAVEMENT:	484 CU-FT
(M-8) DRYWELLS:	1,785 CU-FT
(M-8) BIO SWALES:	3,139 CU-FT
STORMCEPTOR (TREATMENT @ 1"):	34,650 SF (MAX)
TOTAL:	12,744 SF

ESD SUMMARY TABLE				
AREA NO.	AREA (SF)	IMPERVIOUS	ESDV (CF)	P_e PROVIDED
DA 1	4,059	100%	800	2.49"
DA 2	3,950	81%	633	2.47"
DA 3	1,462	100%	287	2.6"
DA 4	3,025	100%	608	2.53"
DA 5	11,800	99%	2,297	2.48"
DA 6	23,600	30%	1,456	2.3"
DA 7	1,840	100%	324	2.5"
DA 8	635	100%	128	2.55"
STORMCEPTOR*	35,650	100%	3,139	1.0"
TOTAL	89,821		9,720	

* - SEE STORM DRAIN DRAINAGE AREA MAP FOR STORMCEPTOR AREA. AREA LISTED IS THE MAXIMUM CREDIT AREA BASED ON THE EXISTING IMPERVIOUS AREA.

- LEGEND**
- EXISTING PAVEMENT
 - PROPOSED IMPERVIOUS AREA
 - PROPOSED POROUS PAVEMENT (A-2) w/ 12" MINIMUM STONE BASE. SEE PLAN FOR STONE DEPTH
 - BOTTOM OF STONE ELEVATION
 - BOTTOM OF STONE ELEVATION BREAK
 - 4" PVC OVERDRAIN. SEE PLAN FOR PIPE ELEVATION. OVERDRAIN IS SLOTTED WITHIN THE LIMITS OF THE STONE AND SOLID OUTSIDE OF THE STONE
 - 2" SLOTTED PVC UNDERDRAIN. UNDERDRAIN IS SLOTTED WITHIN THE LIMITS OF THE STONE AND SOLID OUTSIDE OF THE STONE
 - 4" PVC UNDERDRAIN PIPE
 - ESD DRAINAGE DIVIDE

- NOTES:**
- ALL ROOF DRAINS IN THE VICINITY OF THE POROUS PAVEMENT MUST TIE DIRECTLY INTO STORM DRAIN OR A UNDERDRAIN PIPE. ROOF DRAINS MAY NOT OUTLET TO POROUS PAVEMENT.
 - STONE BOTTOM MUST BE FLAT UNLESS NOTED OTHERWISE. CONTRACTOR MAY INSTALL ADDITIONAL STEPS IN STONE BASE.
 - SEE SHEET 8 FOR TYPICAL SECTION AND ALTERNATE SECTION WHEN TREE ROOTS ARE ENCOUNTERED.
 - PROVIDE IMPERMEABLE LINER WHEN POROUS PAVEMENT ABUTS A BUILDING OR RETAINING WALL. SEE DETAIL SHEET 8.
 - PROVIDE CONCRETE EDGE WHEN POROUS ASPHALT ABUTS REGULAR ASPHALT. SEE DETAIL SHEET 8 AND SHEET 10 FOR LOCATIONS



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-18-19
 Chief, Division of Land Development: [Signature] Date: 12/15/19
 Chief, Development Engineering Division: [Signature] Date: 11-27-19

OWNER
 LOT 23 -
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC.
 (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: MS. NINA BASU
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OWNER
 LOT 13
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 AND CULTURE COMMISSION
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 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11/11/2019	REVISED SITE LAYOUT PER ARCHITECT CHANGES	DDS	
10/29/18	REVISED SWM AND LIMITS OF POROUS PAVING	AWL	DDS
08/20/17	LOGS REVISED		

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2027
 11/13/19 [Signature]

REVISED UNDERDRAIN DETAILS & STORMWATER MANAGEMENT NOTES

MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

ELECTION DISTRICT No. 5 PLAT Nos. 4305 & 4306 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	11 OF 26



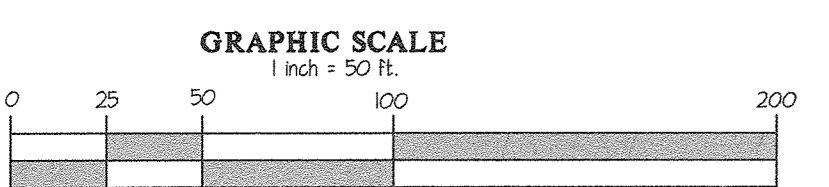
- NOTES:**
1. STANDARD SILT FENCE MAY BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
 2. WHEN SUPER SILT FENCE IS RUNNING AT A SLOPE GREATER THEN 5% FOR A DISTANCE OVER 50', CURL FENCE UP 2' FOR EVERY 2' OF ELEVATION CHANGE ALONG SILT FENCE.
 3. SEDIMENT CONTROL INSPECTOR MAY RELOCATE STABILIZED CONSTRUCTION ENTRANCES.
 4. IF A STOCKPILE EXCEEDS 15 FEET IN HEIGHT, IT MUST BE BENCHED.
 5. CONSTRUCTION FOR THE WATERLINE IN THIS AREA IS LIMITED TO THAT WHICH CAN BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORK DAY.

STANDARD STABILIZATION NOTE:
 FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN:
 A) THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SHALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
 B) SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

- LEGEND**
- SSSF PROPOSED SUPER SILT FENCE
 - SCE STABILIZED CONSTRUCTION ENTRANCE
 - LIMIT OF DISTURBANCE
 - FP 100 YEAR FLOODPLAIN
 - Gla SOIL BOUNDARY SOIL TYPE
 - SIP STANDARD INLET PROTECTION (TYPE B)
 - PROPOSED TEMPORARY STOCKPILE AREA
 - STEEP SLOPES 15-25%
 - STEEP SLOPES 25%+

HOWARD COUNTY SOIL MAP NUMBER 10 - SAVAGE M

SOIL TYPE	SOIL DESCRIPTION	SOILS GROUP	'K' FACTOR
GbB	Gladstone loam, 3 to 8 percent slopes	"B"	0.20
GbC	Gladstone loam, 8 to 15 percent slopes	"B"	0.20
Ha	Hatboro-Codorus silt loam, 0 to 3 percent slopes	"D"	0.37
McD	Manor loam, 15 to 25 percent slopes	"B"	0.24



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* 12-13-19
 Date: 12/13/19
 Chief, Division of Land Development
 Chief, Development Engineering Division: *[Signature]* 11-27-19
 Date: 11/27/19

DEVELOPER'S/BUILDER'S CERTIFICATE
 "I ME CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

[Signature] 11/12/19
 SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 11/13/19
 ENGINEER'S SIGNATURE DATE

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 11/23/19
 HOWARD SOIL CONSERVATION DISTRICT DATE

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2022
 11/13/19 *[Signature]*

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
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 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: MS. NINA BASU
 410-740-0029

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11/11/2019	REVISED BUILDINGS PER ARCHITECT CHANGES	AWL	DDS
11/12/18	ADDED DRYWELLS AND SC-1	GT	AWL
02/05/18	REVISED LOGES PER ARCHITECT CHANGES	GT	DDS

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

REDEVELOPMENT PHASES 2 & 3
REVISED SEDIMENT CONTROL PLAN
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

ELECTION DISTRICT No. 5
 PLAT Nos. 4305 & 4306
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=50'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	12 OF 26

L:\CADD\DRAWINGS\11072\94077\PLANS BY GLW\SDP\94077-SNE.dwg
 PLOTTED: 11/12/2019 9:26 AM, LAST SAVED: 11/17/2019 4:38 PM, PLOTTED BY: Tony Loggner
 L:\CADD\DRAWINGS\11072\94077\PLANS BY GLW\SDP\94077-SNE.dwg

B-4-8 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA

DEFINITION: A MOUND OR PILE OF SOIL PROTECTED BY APPROPRIATELY DESIGNED EROSION AND SEDIMENT CONTROL MEASURES. PURPOSE: TO PROVIDE A DESIGNATED LOCATION FOR THE TEMPORARY STORAGE OF SOIL THAT CONTROLS THE POTENTIAL FOR EROSION, SEDIMENTATION, AND CHANGES TO DRAINAGE PATTERNS.

CRITERIA: 1. THE STOCKPILE LOCATION AND ALL RELATED SEDIMENT CONTROL PRACTICES MUST BE CLEARLY INDICATED ON THE EROSION AND SEDIMENT CONTROL PLAN. 2. THE FOOTPRINT OF THE STOCKPILE MUST BE SIZED TO ACCOMMODATE THE ANTICIPATED VOLUME OF MATERIAL AND BASED ON A 3:1 SLOPE RATIO NO STEEPER THAN 2:1.

SEQUENCE OF CONSTRUCTION: 1. Arrange pre-construction meeting with the Sediment Control Inspector and obtain the Grading Permit. 1 DAY. 2. Install stabilized construction entrance and super silt fence. 1 DAY. 3. Fine grade site. 1 WEEKS.

1. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 2011 HANDBOOK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard Soil Conservation District. Signature: Howard S.C.D. Date: 2/2/16

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER'S/BUILDER'S CERTIFICATE: I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

APPROVED PLANNING BOARD OF HOWARD COUNTY: Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Director: Date: 3-2-16. Chief, Division of Land Development: Date: 3-2-16. Chief, Development Engineering Division: Date: 3-23-16.

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK. BURTONSVILLE, MARYLAND 20866. TEL: 301-421-4024 FAX: 301-421-4186

DES. WSJ DRN. WSJ CHK. NB DATE: 11-18-19 REVISION: Updated owner information 3+ AWL BY: APPR.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CRITERIA: 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.I.

TEMPORARY SEEDING SUMMARY TABLE with columns: No., Species, Application Rate (lb./ac.), Seeding Dates, Seeding Depths, Fertilizer Rate (10-10-10), Lime Rate.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES: 1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, CONSTRUCTION INSPECTION DIVISION (CID).

OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE. OTHER RELATED STATE AND FEDERAL PERMITS SHALL BE REFERENCED TO ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.

2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 2011 HANDBOOK STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERE TO.

3. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMETER CONTROLS, DIKES, SWALES, DITCHES, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1), AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR TOPSOIL (SEC. B-4-2), PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES IF THE GROUND IS FROZEN.

5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE CID.

6. SITE ANALYSIS: TOTAL AREA OF SITE: 10.2 ACRES. AREA TO BE ROOFED OR PAVED: 5.74 ACRES. AREA TO BE VEGETATIVELY STABILIZED: 4.46 ACRES. TOTAL CUT: 1,000 cu yds. OFFSITE WASTE/BORROW AREA LOCATION: 1,000 cu yds.

14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IRRIGATED AT 25 MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2" IN ELEVATION.

15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUSIVE): * USE I AND II: MARCH 1 - JUNE 15. * USE III AND IIIP: OCTOBER 1 - APRIL 30. * USE IV: MARCH 1 - MAY 31.

B-4-3 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. CRITERIA: A. SOIL PREPARATION 1. TEMPORARY STABILIZATION a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT.

IV. SOIL CONTAINS 15 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.

B. TOPSOILING 1. PERMANENT VEGETATION: THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, AND/OR ARE HIGHLY TOXIC TO PLANTS AND/OR INACCEPTABLE SOIL GRADATION.

2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN TYPE OF CULTIVATION CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.

3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. 5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: a. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND.

6. TOPSOIL APPLICATION a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL. b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 1/4 INCHES.

7. SOIL AMENDMENTS: FERTILIZER AND LIME SPECIFICATIONS: a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER.

14. ALL SILT FENCE AND SUPER SILT FENCE SHALL BE PLACED ON-THE-CONTOUR, AND BE IRRIGATED AT 25 MINIMUM INTERVALS, WITH LOWER ENDS CURLED UPHILL BY 2" IN ELEVATION.

OWNER: LOT 13 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION 10475 LITTLE PATUXENT PARKWAY COLUMBIA, MD 21045 ATTN: IAH KENNEDY 442-741-1974

PREPARED FOR: MERRIWEATHER POST PAVILION P.O. BOX 112 COLUMBIA, MARYLAND 21044 ATTN: BRAD CANFIELD 410-715-5550

B-4-2 STANDARDS AND SPECIFICATIONS FOR SEEDING and MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION. CRITERIA: A. SEEDING 1. SPECIFICATIONS a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LABORATORY.

2. APPLICATION a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. HYDROSEEDING: THIS INCLUDES USE OF LIQUID MIXTURES.

B. MULCHING 1. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD. MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONE: 5B, 6A).

2. APPLICATION a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES.

3. ANCHORS a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER.

4. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD.

5. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD.

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OWNER: LOT 23 - MERRIWEATHER PARK AT SYMPHONY WOODS INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER) 10630 LITTLE PATUXENT PARKWAY CUMMERS PLAZA 315 COLUMBIA, MARYLAND 21044 ATTN: MS. NINA BASU 410-740-0029

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975. EXPIRATION DATE: MAY 26, 2016

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS. CRITERIA: A. SEED MIXTURES 1. GENERAL USE a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PURPOSE (FROM TABLE B.2) (ENTER SELECTED MIXTURES), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY.

2. APPLICATION a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. HYDROSEEDING: THIS INCLUDES USE OF LIQUID MIXTURES.

3. ANCHORS a. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER.

4. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD.

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OWNER: LOT 23 - MERRIWEATHER PARK AT SYMPHONY WOODS INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER) 10630 LITTLE PATUXENT PARKWAY CUMMERS PLAZA 315 COLUMBIA, MARYLAND 21044 ATTN: MS. NINA BASU 410-740-0029

REDEVELOPMENT PHASES 2 & 3 SEDIMENT CONTROL NOTES AND DETAILS MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

2. SOD INSTALLATION a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

3. SOD MAINTENANCE a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES.

CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. 2. PIPE ALL SURFACE WATER FLOWING TO OR OVER THE ENTRANCE TO THE SITE UNDER THE ENTRANCE.

3. MAINTAIN UTILITY AND SIDEWALKS: Stabilize areas with grass seed and mulch. 1 MONTH.

4. WHEN ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED AND PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, THOSE SEDIMENT CONTROL DEVICES MAY BE REMOVED.

5. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER.

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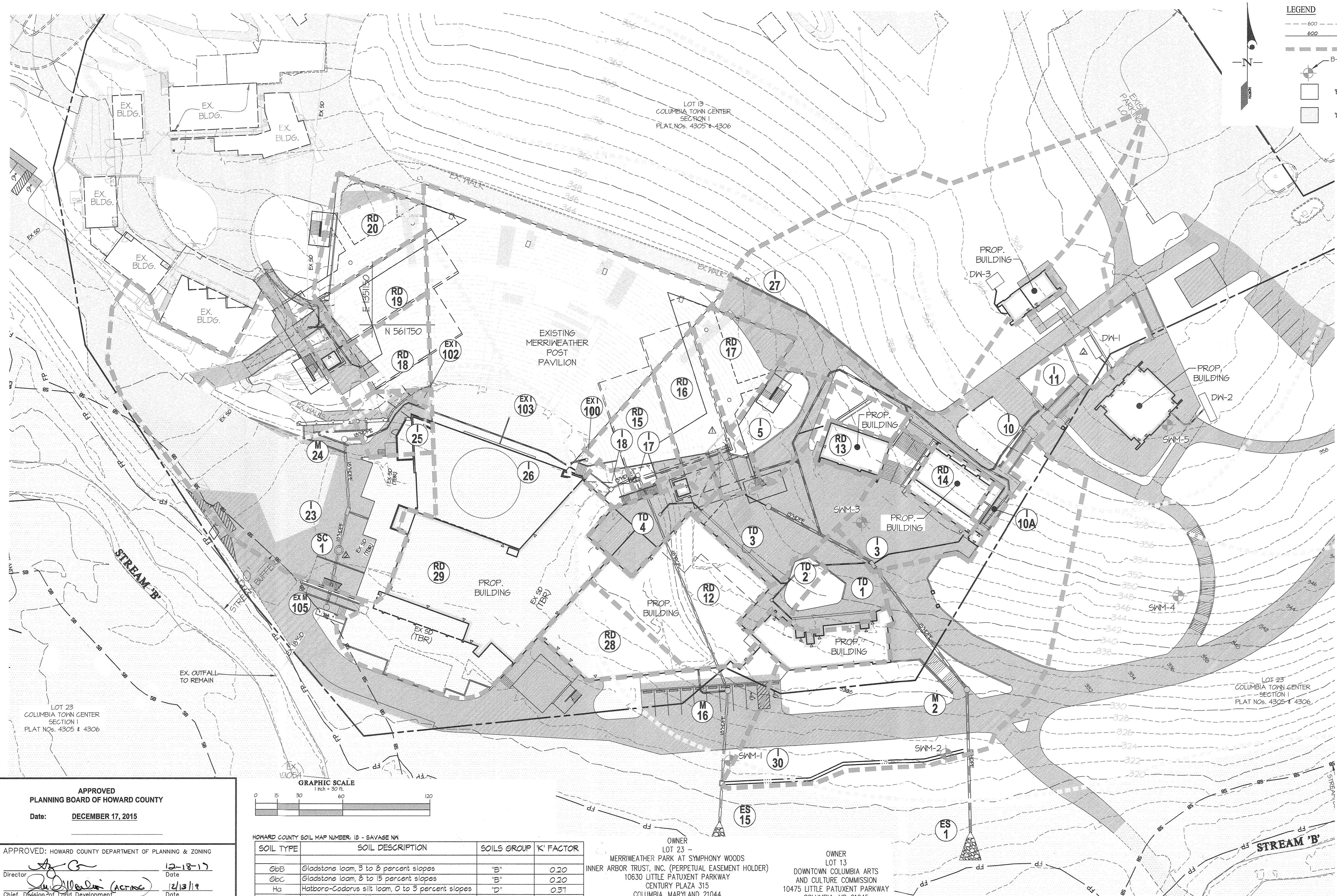
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SCALE: AS SHOWN ZONING: NT OPEN SPACE G. L. W. FILE NO. 94077 DATE: JAN, 2016 TAX MAP - GRID: 36-1 SHEET: 13 OF 26

SDP-16-018



LEGEND

- 600 EXISTING CONTOUR
- 602 PROPOSED CONTOUR
- PROPOSED STORM DRAIN DRAINAGE DIVIDE
- B-12 STORMWATER BORING
- 'B' TYPE SOILS
- 'D' TYPE SOILS

DRAINAGE AREA INFORMATION

INLET	AREA (ACRES)	C' VALUE	% IMP.
I-3	0.11	0.26	100%
I-5	0.08	0.13	80%
I-10	0.27	0.13	80%
I-10A	0.01	0.26	100%
I-11	0.06	0.24	0%
I-17	0.05	0.26	100%
I-18	0.24	0.26	100%
I-25	0.47	0.13	80%
I-25	0.01	0.13	80%
I-27	0.51	0.24	0%
I-30	0.51	0.13	80%
RD-12	0.23	0.26	100%
RD-13	0.03	0.26	100%
RD-14	0.05	0.26	100%
RD-15	0.05	0.26	100%
RD-16	0.01	0.26	100%
RD-17	0.07	0.26	100%
RD-18	0.05	0.26	100%
RD-19	0.07	0.26	100%
RD-20	0.07	0.26	100%
RD-20	0.08	0.26	100%
RD-24	1.01	0.26	100%
TD-1	0.06	0.26	100%
TD-2	0.03	0.26	100%
TD-3	0.16	0.26	100%
TD-4	0.06	0.26	100%
EX I-100	0.01	0.26	100%
EX I-101	0.24	0.26	100%
EX I-102	0.01	0.26	100%

NOTE: THIS SITE WAS PREVIOUSLY MASS GRADED.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* 12-18-17
 Date: 12/13/19
 Chief, Division of Land Development: *[Signature]* 11-27-19
 Date: 11-27-19
 Chief, Development Engineering Division: *[Signature]*

GRAPHIC SCALE
 1" = 30'

HOWARD COUNTY SOIL MAP NUMBER: 12 - SAVAGE NN

SOIL TYPE	SOIL DESCRIPTION	SOILS GROUP	'K' FACTOR
GbB	Gladstone loam, 3 to 8 percent slopes	"B"	0.20
GbC	Gladstone loam, 8 to 15 percent slopes	"B"	0.20
Ha	Halboro-Codorus silt loam, 0 to 3 percent slopes	"D"	0.37
McD	Minor loam, 15 to 25 percent slopes	"B"	0.24

OWNER
 LOT 23 -
 MERRIVEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
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 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
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 410-740-0029

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS
 AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

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DATE	REVISION	BY	APPR.
11/11/2019	3 REVISED LAYOUT PER ARCHITECT CHANGES	AWL	DDS
10/30/2018	4 ADDED I-27 AND SC-1 AND REVISED DRAINAGE AREAS	AWL	DDS
09/01/17	1 REVISED LAYOUT PER ARCHITECT CHANGES	AWL	DDS

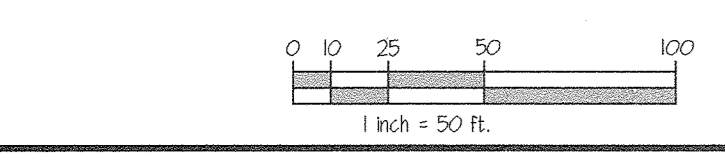
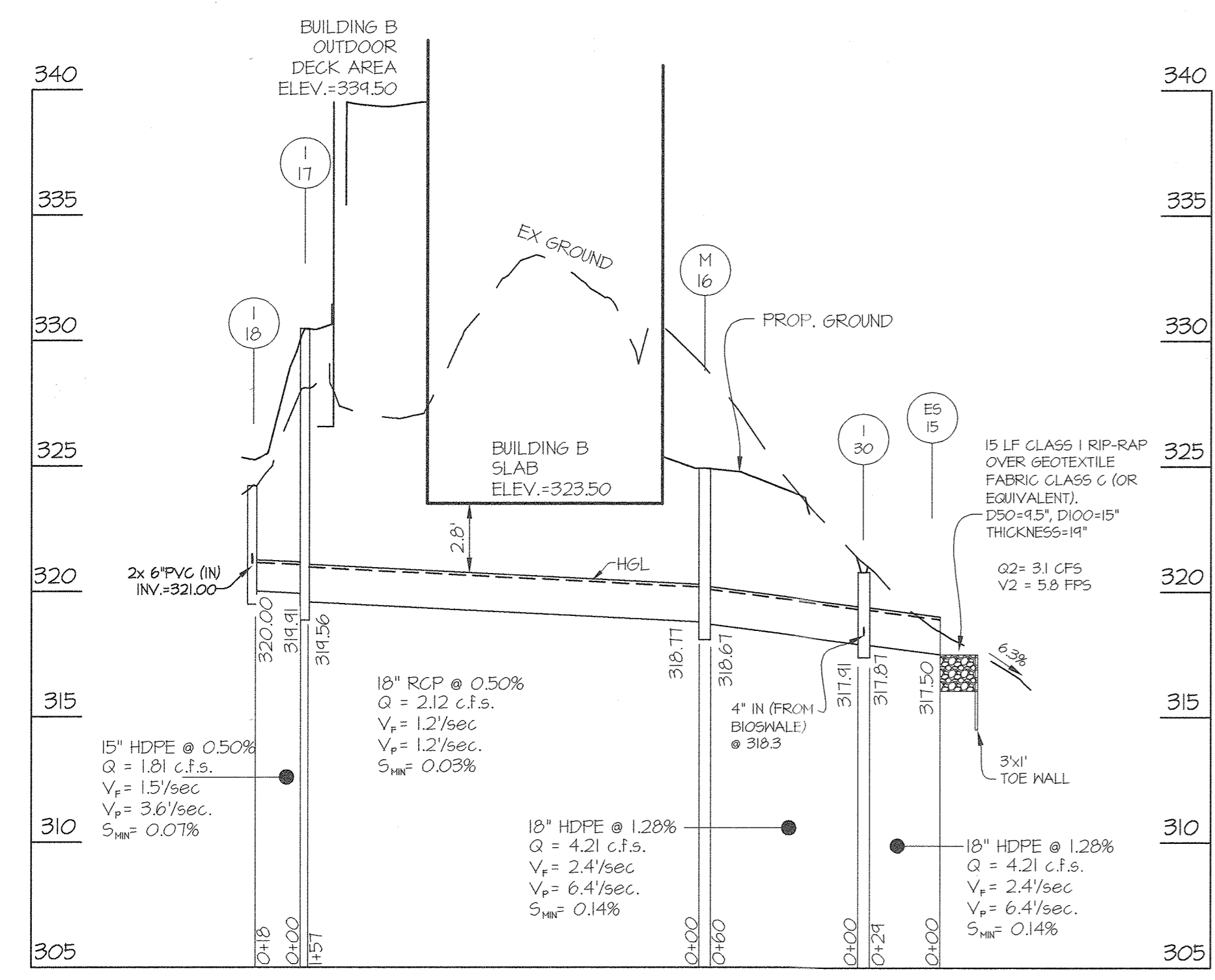
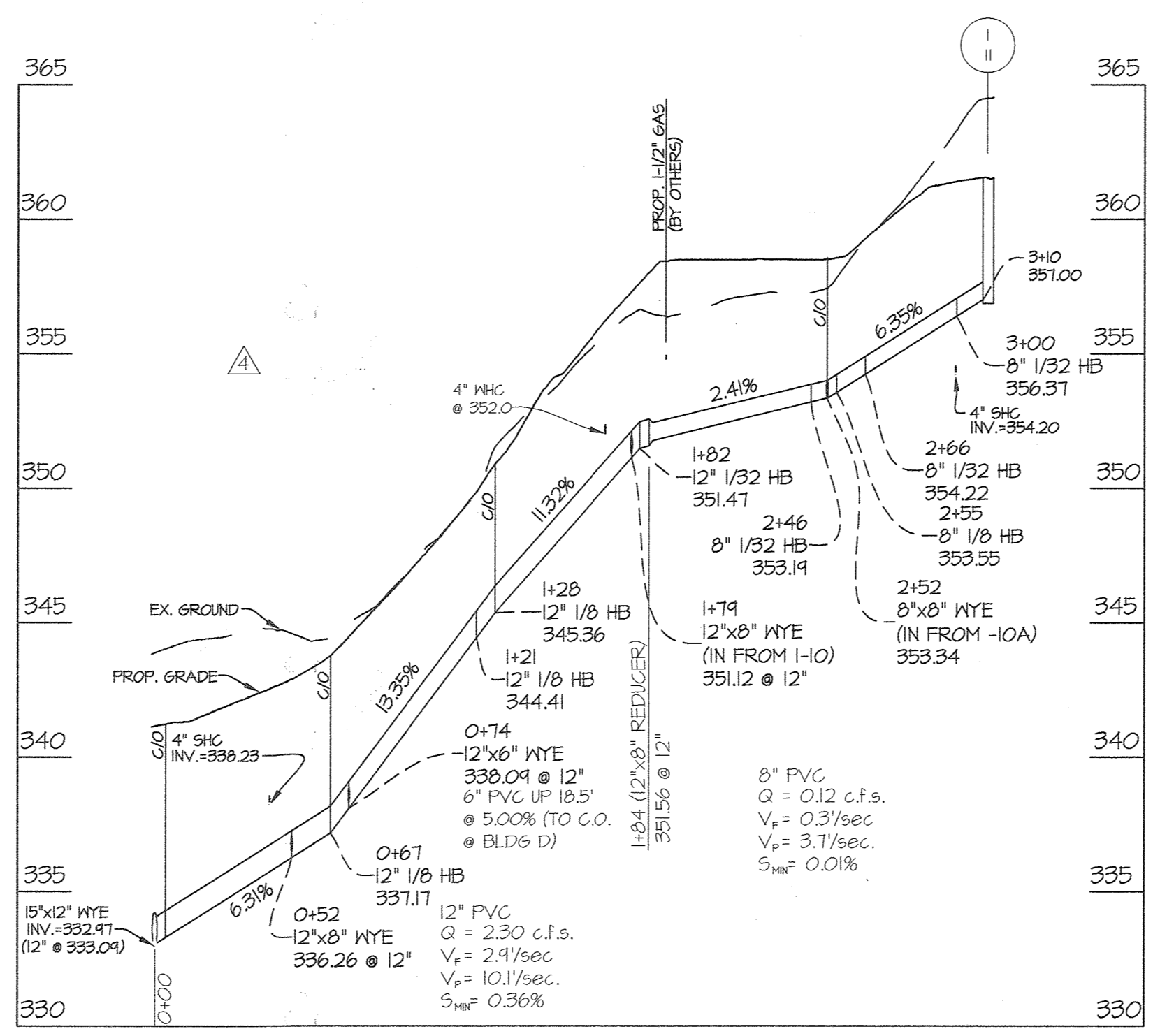
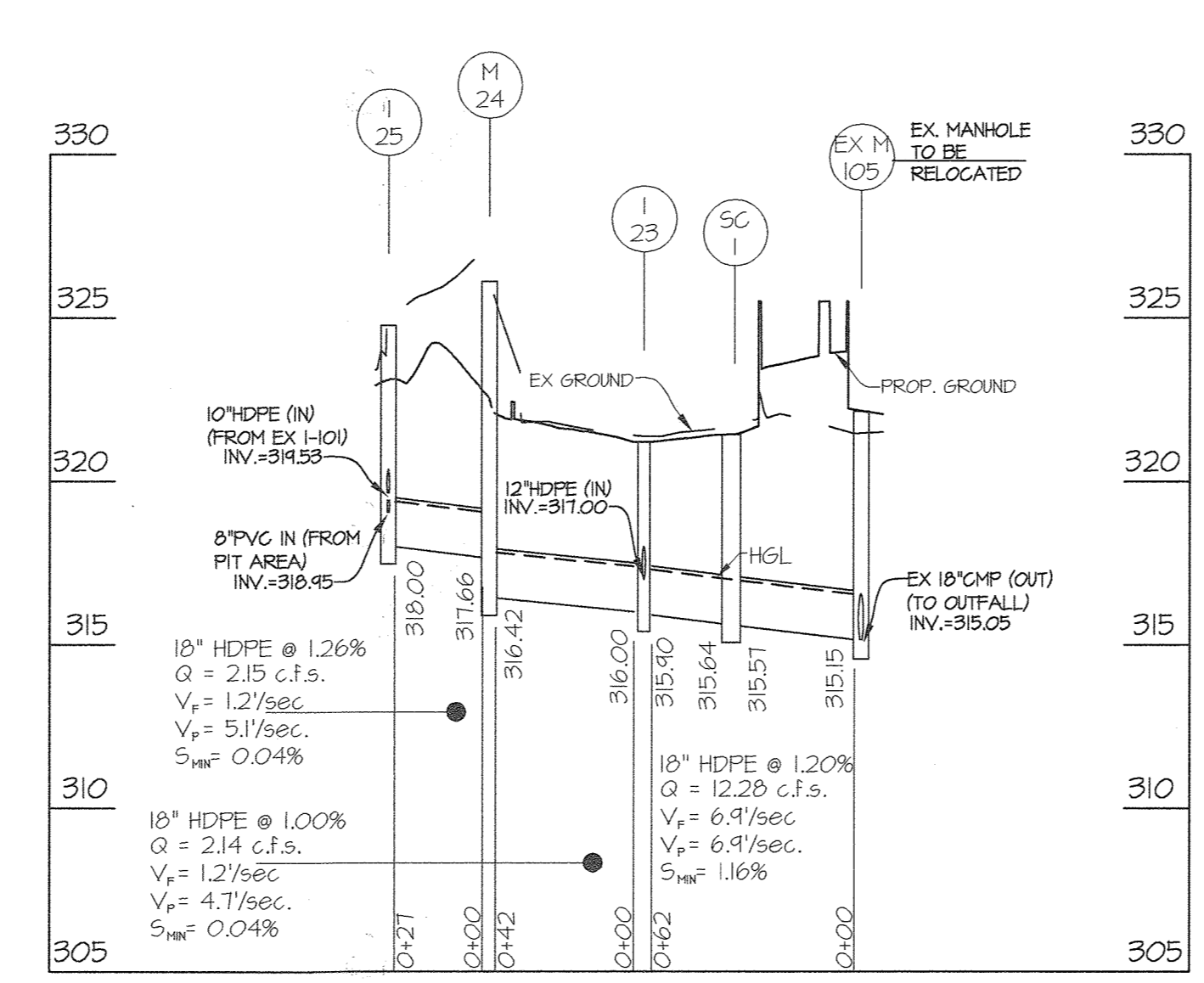
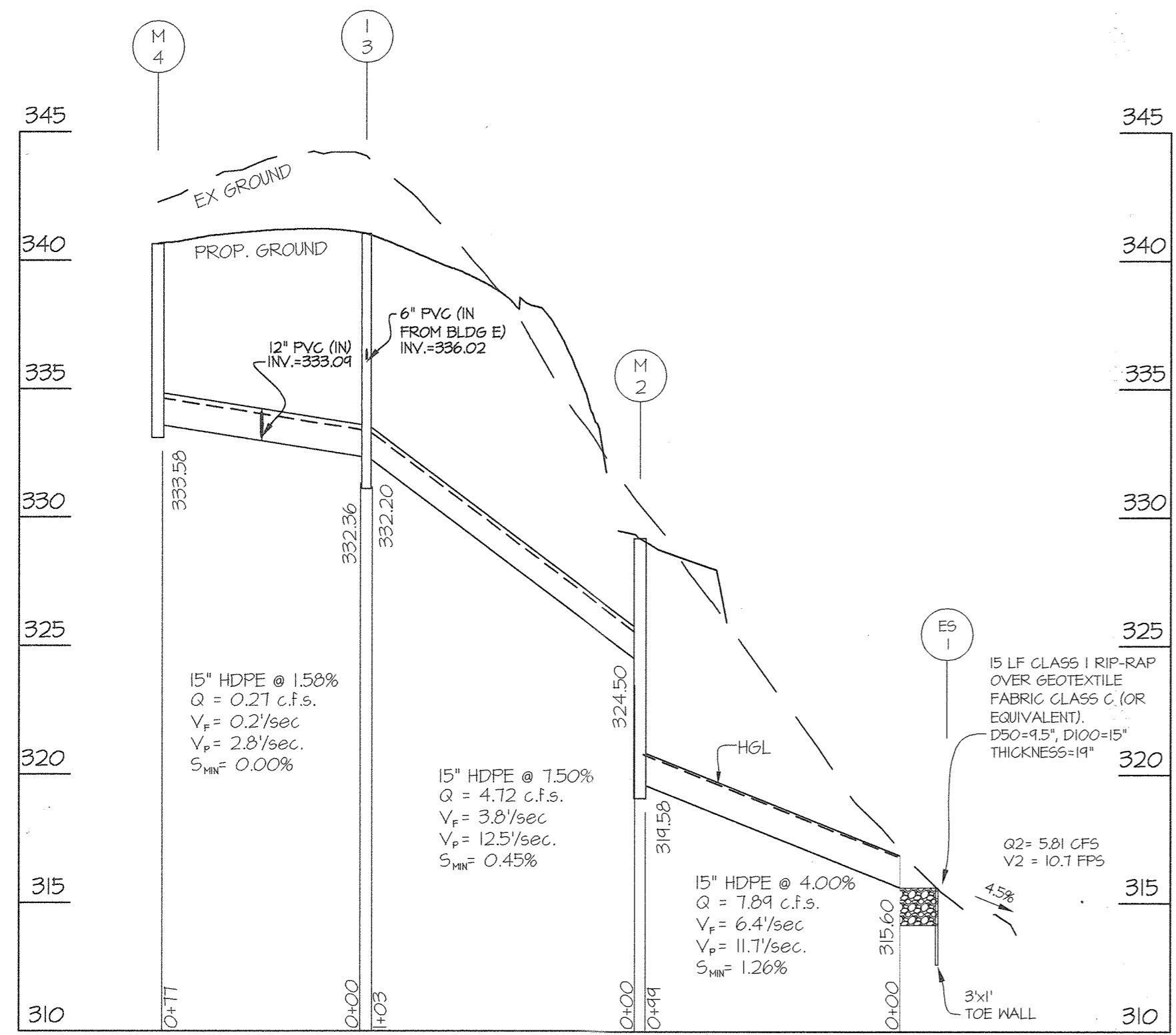
PREPARED FOR:
 MERRIVEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2022
 11/13/19 *[Signature]*

REDEVELOPMENT PHASES 2 & 3
REVISED STORM DRAIN DRAINAGE AREA MAP
MERRIVEATHER POST PAVILION & MERRIVEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

ELECTION DISTRICT No. 5
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1" = 30'	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	14 OF 26



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: **12-18-19**
Chief, Division of Land Development: *[Signature]* Date: **12/13/19**
Chief, Development Engineering Division: *[Signature]* Date: **11-27-19**

DATE	REVISION	BY	APPR.
11-11-2019	REPLACED SHEET, UPDATED PROFILES PER ARCHITECT CHANGES	AWL	
11-12-2018	ADDED SC-1 TO PROFILE	GT	AWL
4-30-2018	REVISED PROFILES PER ARCHITECT CHANGES	GT	DDOS
2-17-2017	REVISED PROFILES PER ARCHITECT CHANGES	GT	DDOS

DATE	REVISION	BY	APPR.

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: **MAY 26, 2025**
[Signature] **11/13/19**

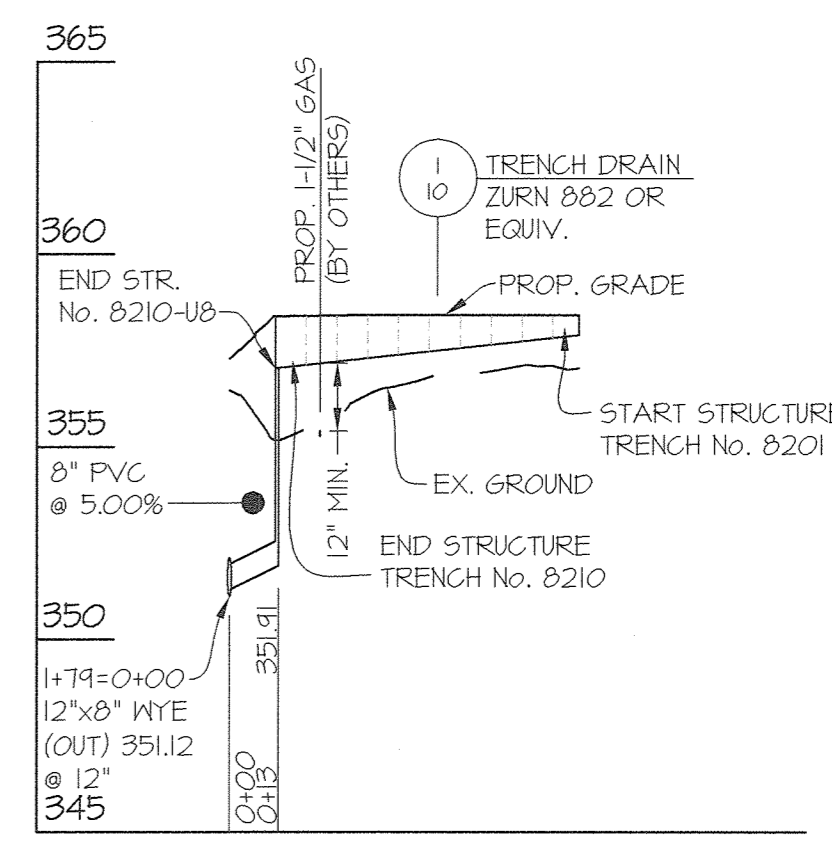
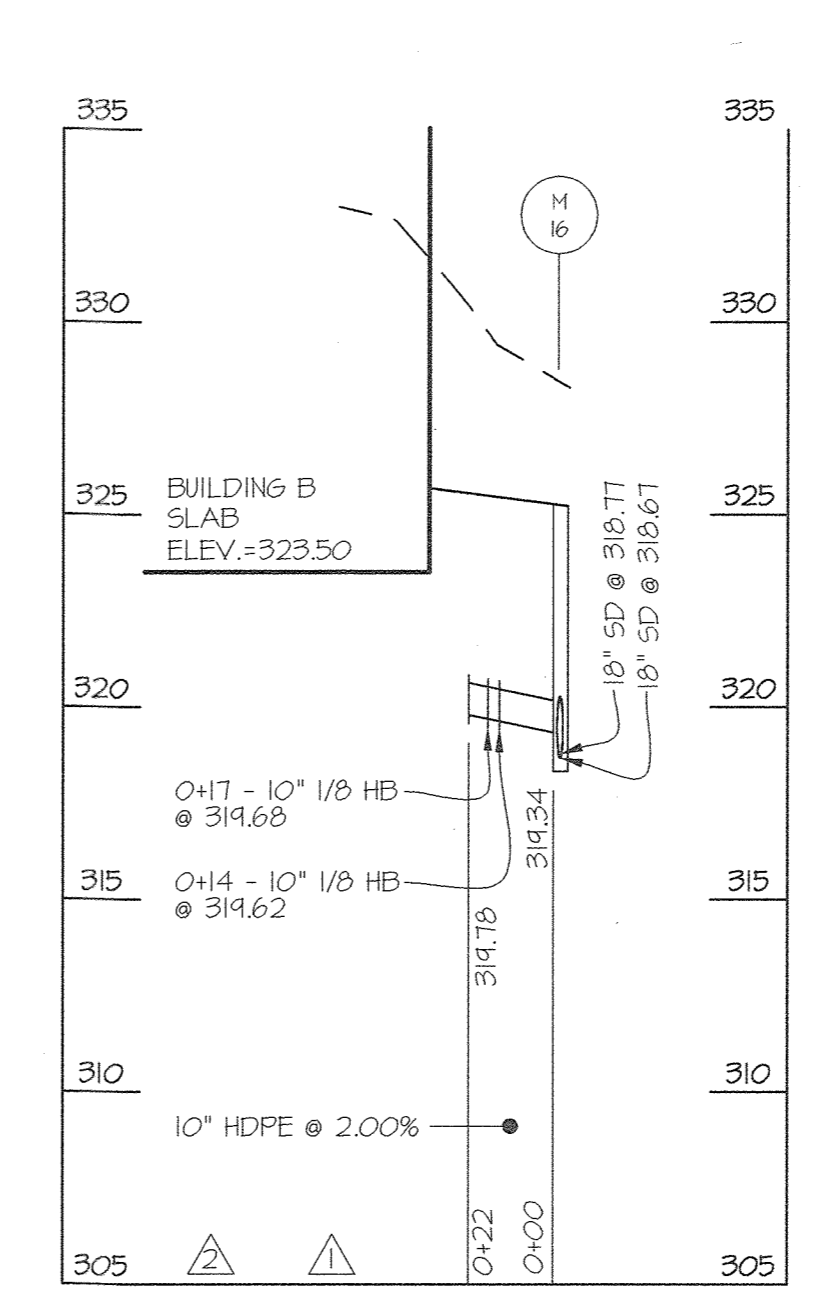
REDEVELOPMENT PHASES 2 & 3
REVISED STORM DRAIN PROFILES
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
ELECTION DISTRICT No. 5
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50' (H) 1" = 5' (V)	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	15 OF 26

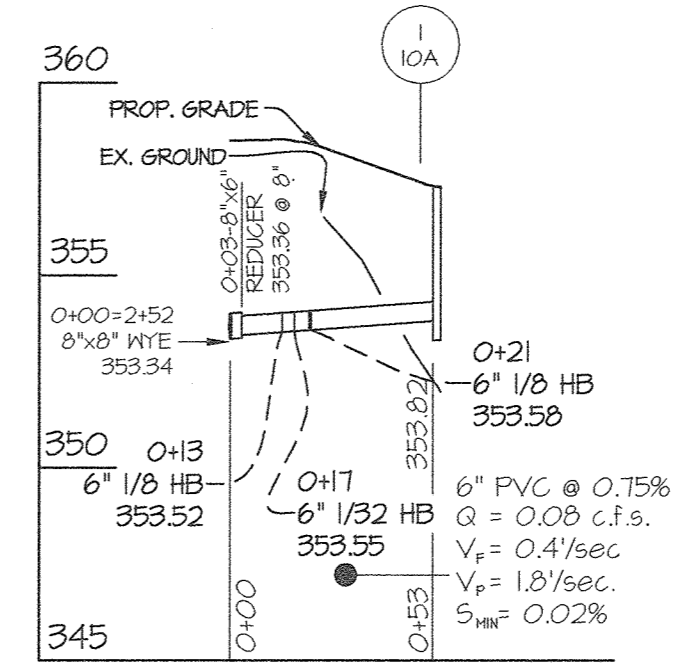
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION						STD. DETAIL	REMARKS	LOCATIONS	
			PROPOSED		AS-BUILT		INVERT					
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER				
I-3	DOUBLE 5' INLET	2'-1.5"	341.04	----	UPPER	LOWER	333.41	332.20		HO. CO. D 4.23	PRIVATE	
I-5	TRENCH DRAIN	12"	340.66	340.50			331.42	----		ZURN 882 TRENCH DRAIN OR EQUIV.	PRIVATE	
I-10	TRENCH DRAIN	12"	338.40				331.91	----		ZURN 882 TRENCH DRAIN OR EQUIV.	PRIVATE	
I-10A	TRENCH DRAIN	12"	351.24				333.82	----		ZURN 882 TRENCH DRAIN OR EQUIV.	PRIVATE	
I-11	NYLOPLAST 10" DRAIN	10"	361.50				351.00	----		NYLOPLAST 10" BASIN W/ 10" DOSE GRATE OR EQUIV.	PRIVATE	
I-17	5' INLET	2'-1.5"	328.00	----			319.91	319.56		HO. CO. D 4.22	INLET TOP ELEV. TO BE LOWERED TO 326.21 AS PART OF PHASE 3	
I-18	5' INLET	2'-1.5"	324.20	----			321.00	320.00		HO. CO. D 4.22	INLET TOP ELEV. TO BE RAISED TO 324.51 AS PART OF PHASE 3	
I-23	DOUBLE 5' INLET	2'-1.5"	321.20	----			317.00	315.90		HO. CO. D 4.23	PRIVATE	
I-25	STANDARD MANHOLE	4'-0"	323.50	----			319.53	318.00		HO. CO. G-5.12	INLET FRAME & GRATE (OR EQUIV.) NEAR FLOOR-FR-2554 PRIVATE	
I-27	NYLOPLAST 24" DRAIN	24"	346.30	----			340.75	----		NYLOPLAST 24" BASIN W/ 24" STD. GRATE OR EQUIV.	PRIVATE	
I-30	NYLOPLAST 24" DRAIN	24"	320.80	----			317.91	317.81		NYLOPLAST 24" BASIN W/ 24" STD. GRATE OR EQUIV.	PRIVATE	
M-2	STANDARD MANHOLE	4'-0"	328.74	----			324.50	319.58		HO. CO. G-5.12	PRIVATE	
M-4	STANDARD MANHOLE	4'-0"	340.63	----			333.58	----		HO. CO. G-5.12	PRIVATE	
M-7	STANDARD MANHOLE	4'-0"	331.60	----			328.00	326.90		HO. CO. G-5.12	PRIVATE	
M-16	STANDARD MANHOLE	4'-0"	325.05	----			319.34	318.67		HO. CO. G-5.12	PRIVATE	
M-24	STANDARD MANHOLE	4'-0"	326.11	----			317.66	316.42		HO. CO. G-5.12	PRIVATE	
ES-1	END SECTION	1'-0"	316.85	----			315.60	----		HO. CO. D-5.21	PRIVATE	
ES-15	END SECTION	1'-0"	319.00	----			317.50	----		HO. CO. D-5.21	PRIVATE	
SC-1	STORMCEPTOR		321.43	----			315.64	315.57		STORMCEPTOR (SEE SH. 24)	PRIVATE	

SIZE	TYPE	QUANTITY (I.F.)	REMARKS
6"	PVC	110	SCHEDULE 40
8"	PVC	148	SCHEDULE 40
10"	PVC	37	SCHEDULE 40
10"	HDPE	22	SCHEDULE 40
12"	PVC	180	SCHEDULE 40
15"	HDPE	297	PRIVATE
18"	HDPE	220	PRIVATE
18"	RCP	157	CL IV

HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-9 by Hancor or an approved equal.

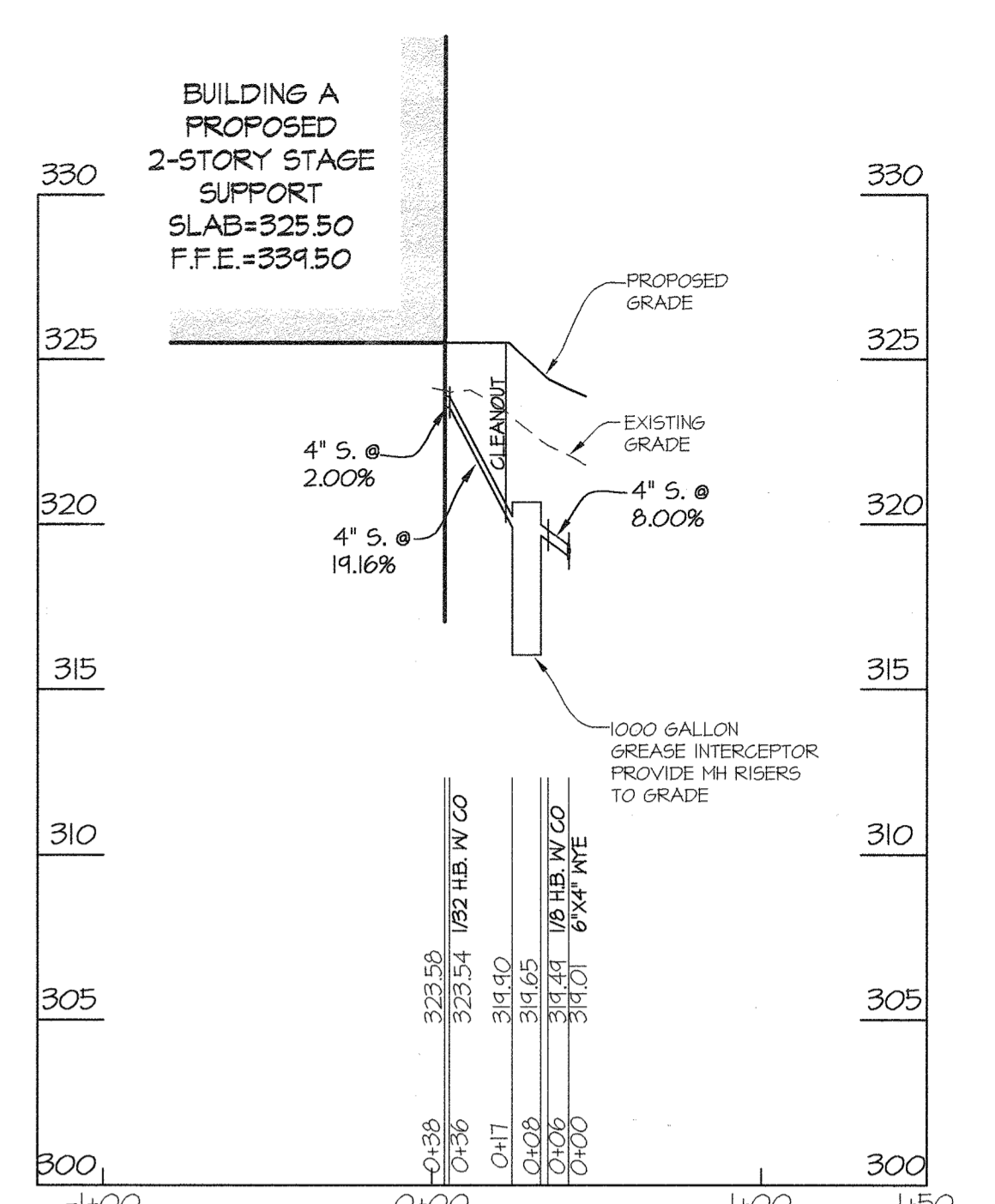
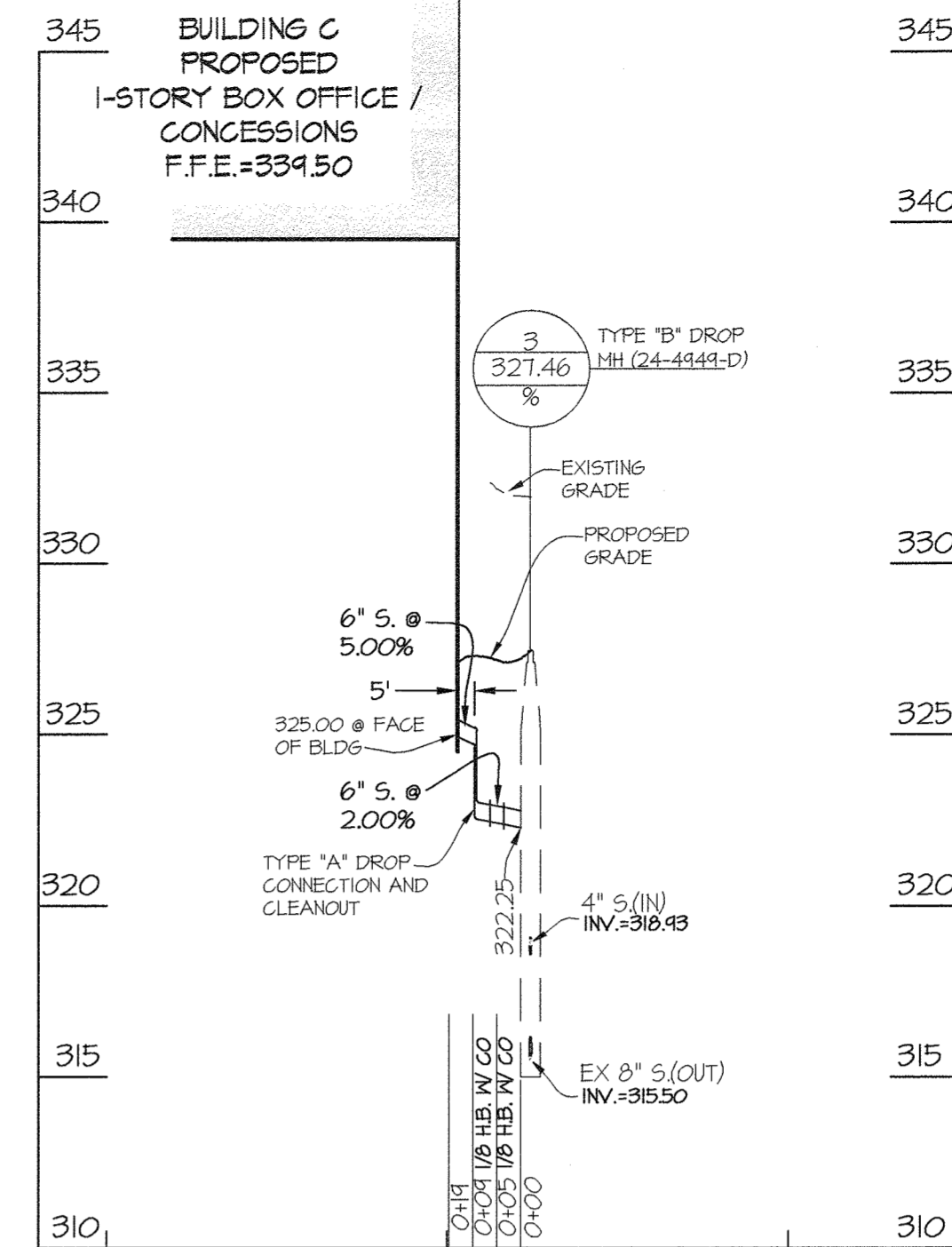
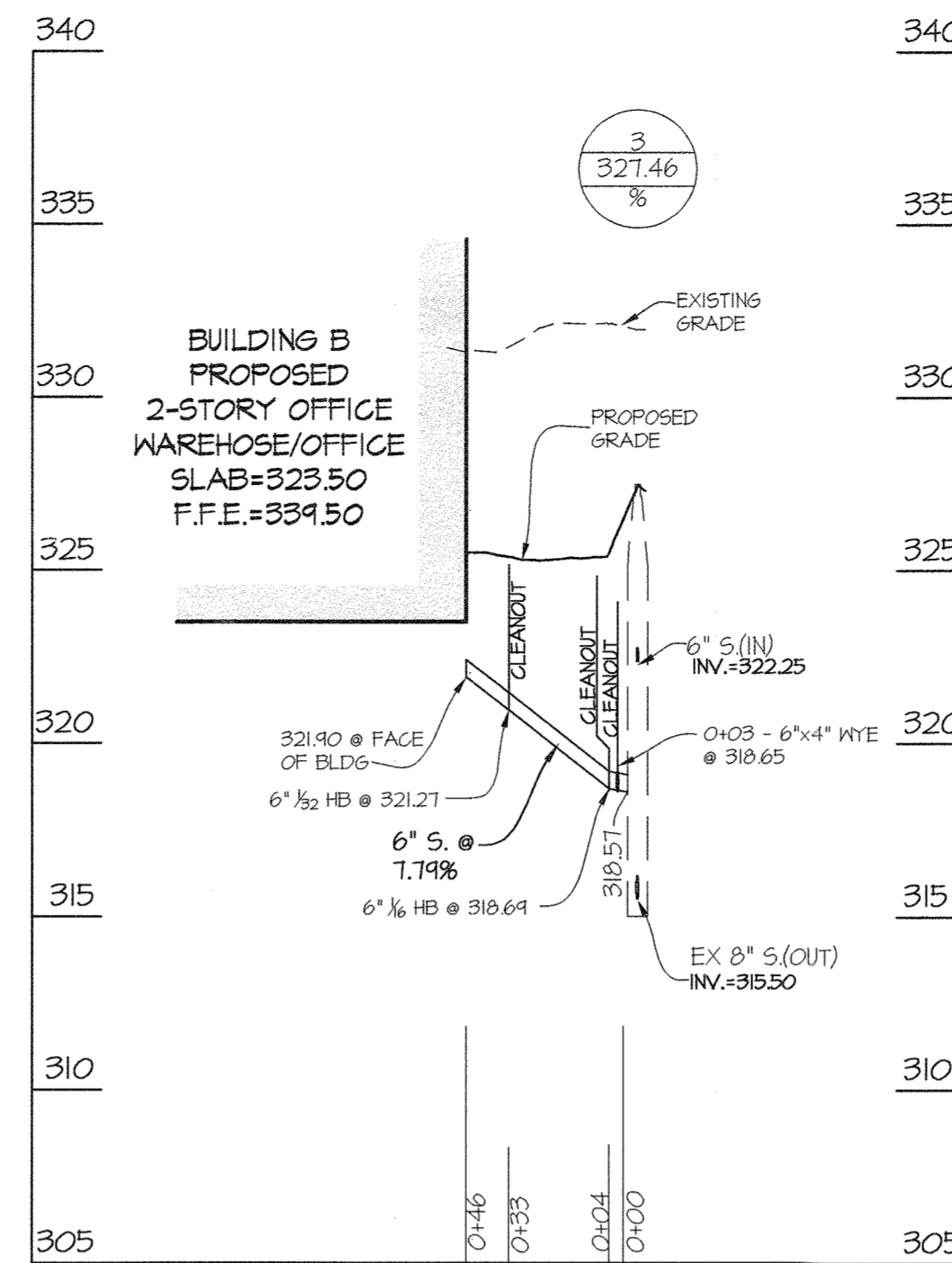
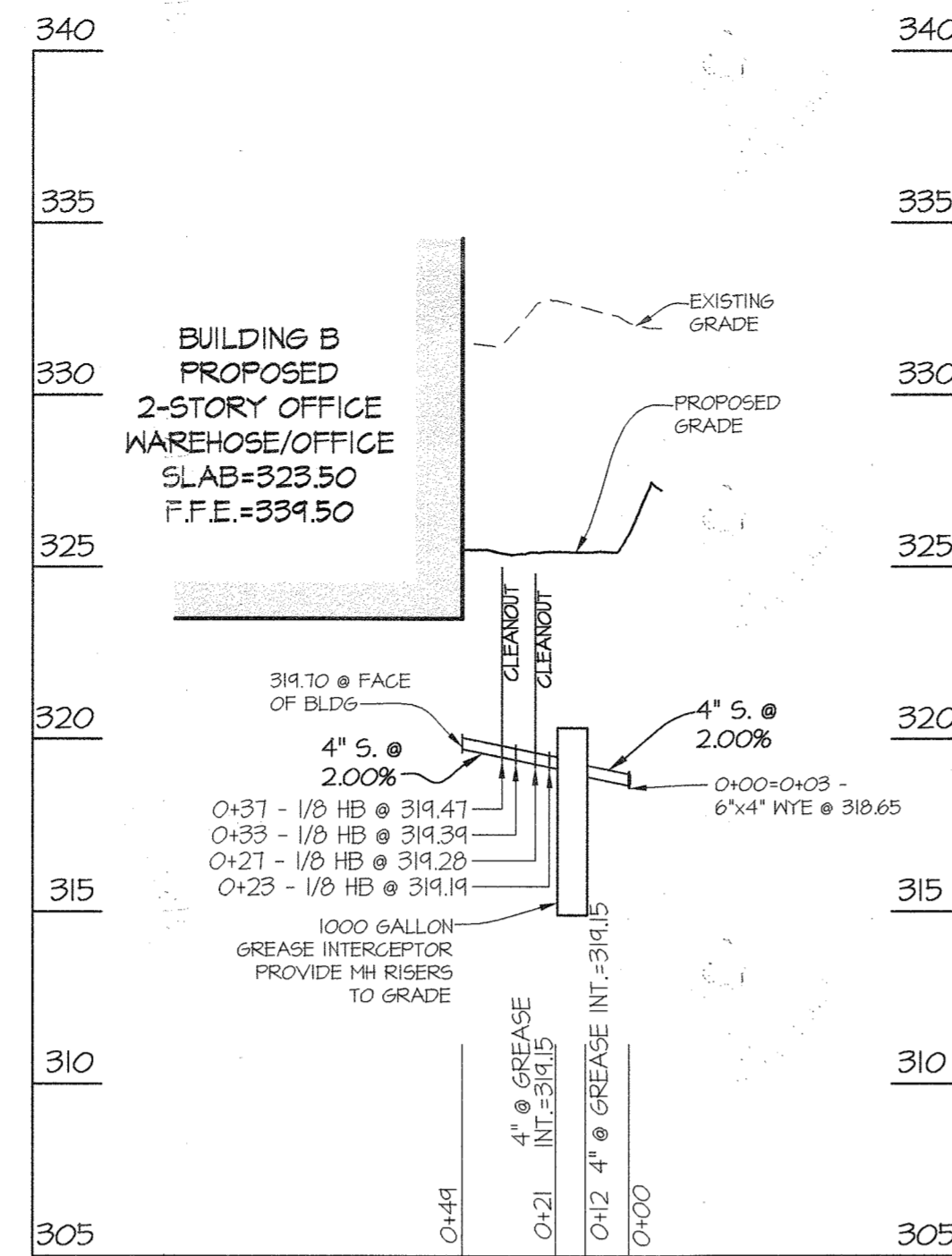
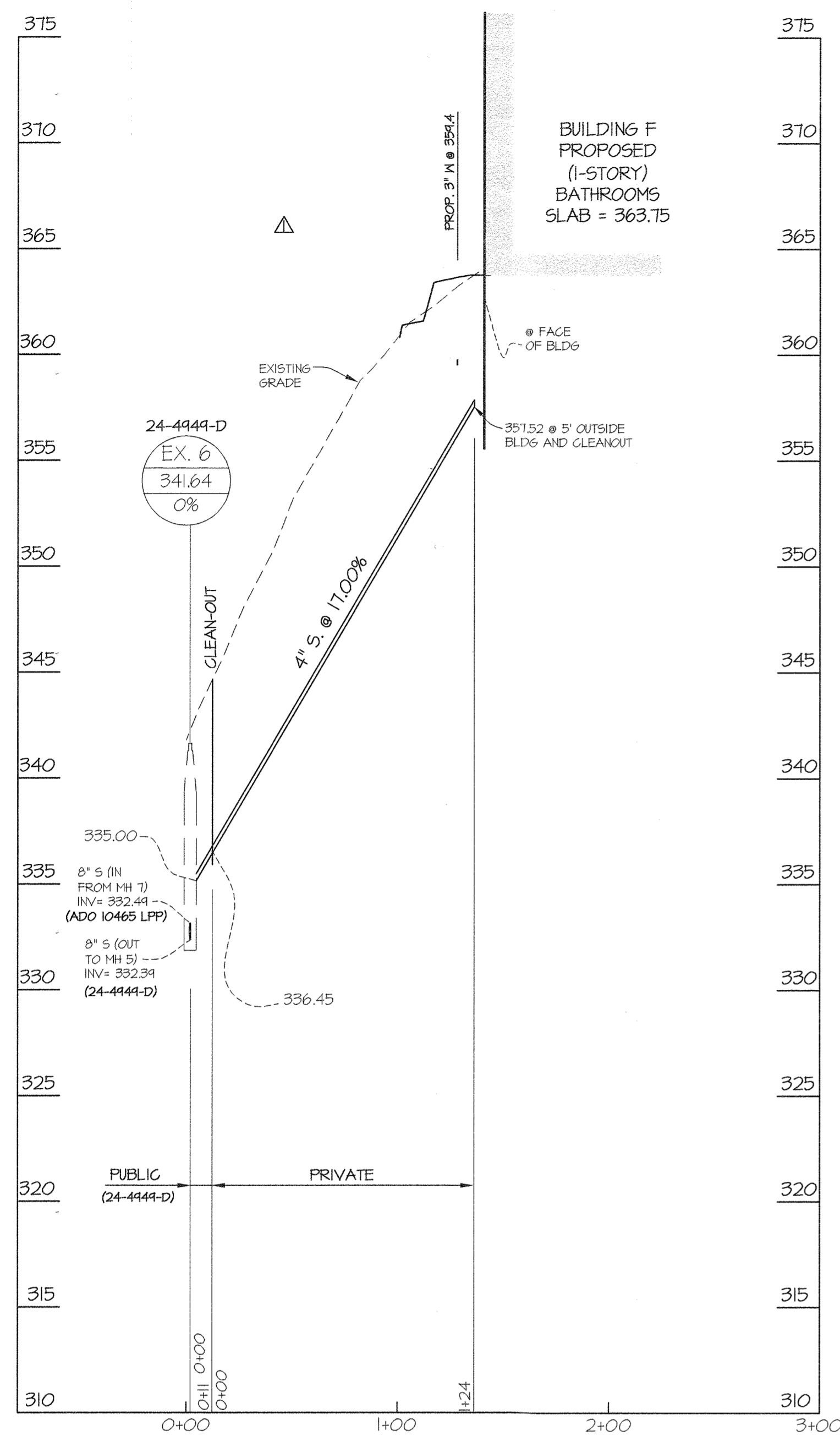


TRENCH DRAIN I-10A TO BE 6' LONG WITH ZURN STR. No. 8201 WITH ADAPTER 8201-10 AT THE OUTFALL W/ ADAPTER HEEL GRATE, OR EQUIVALENT.



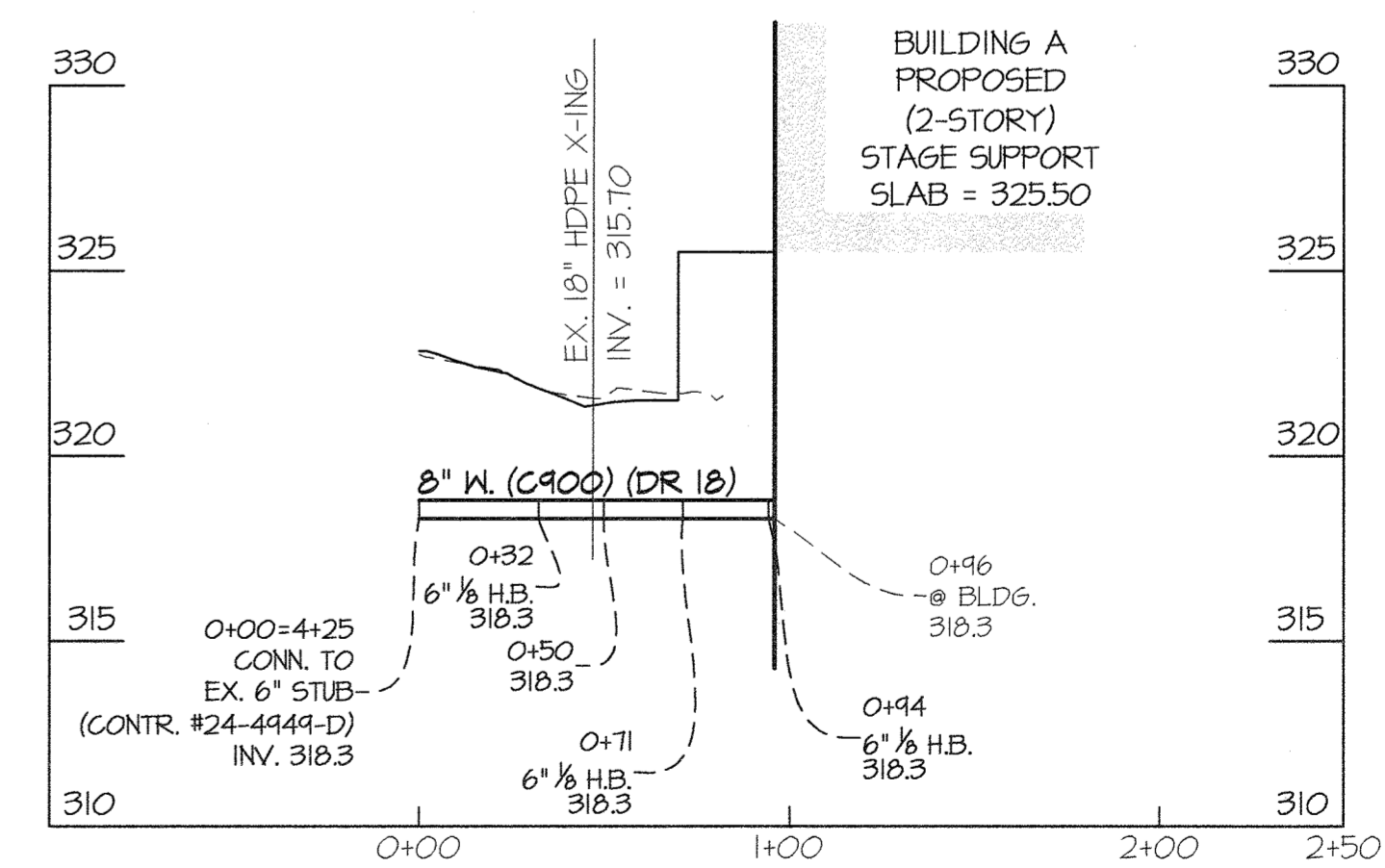
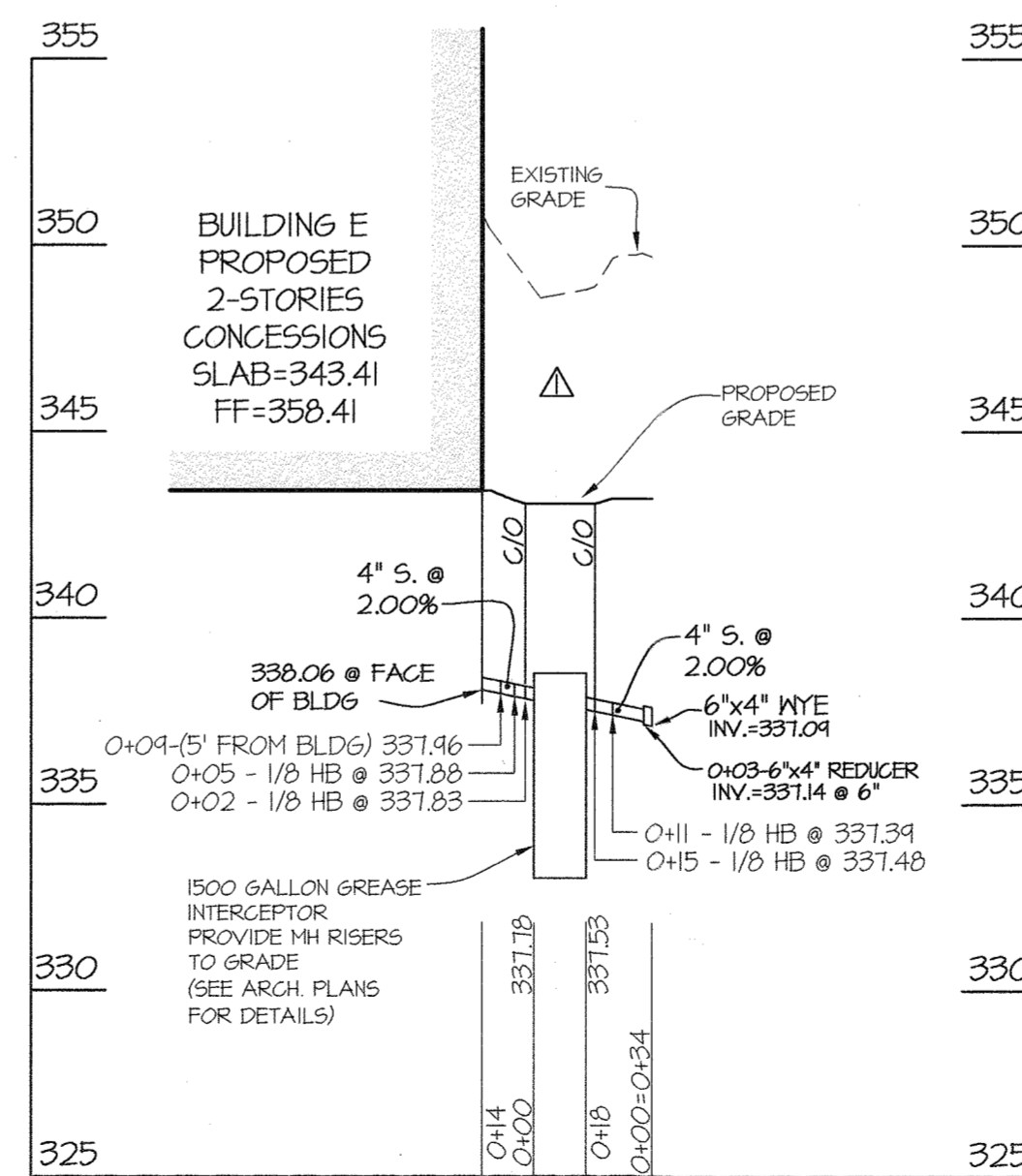
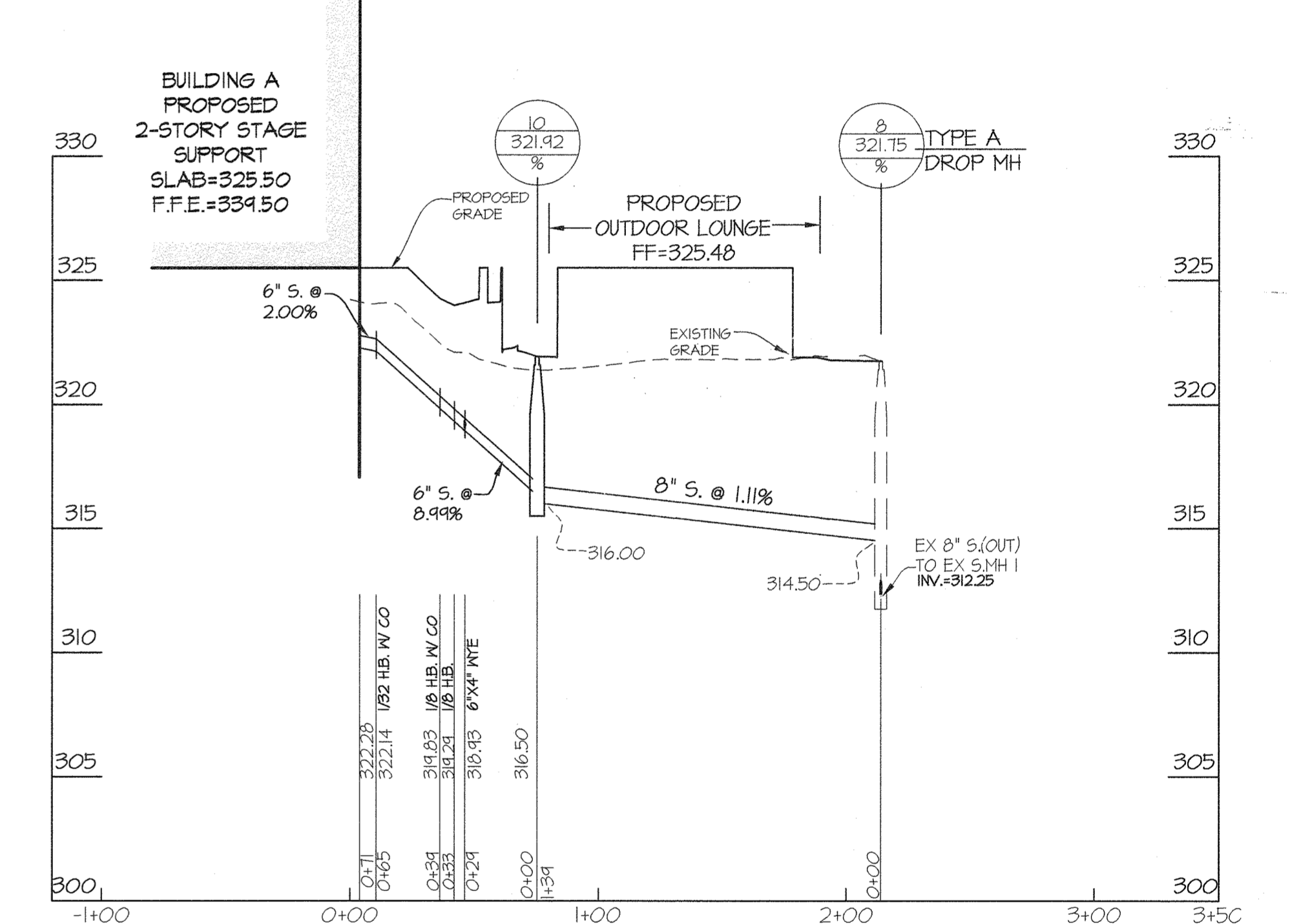
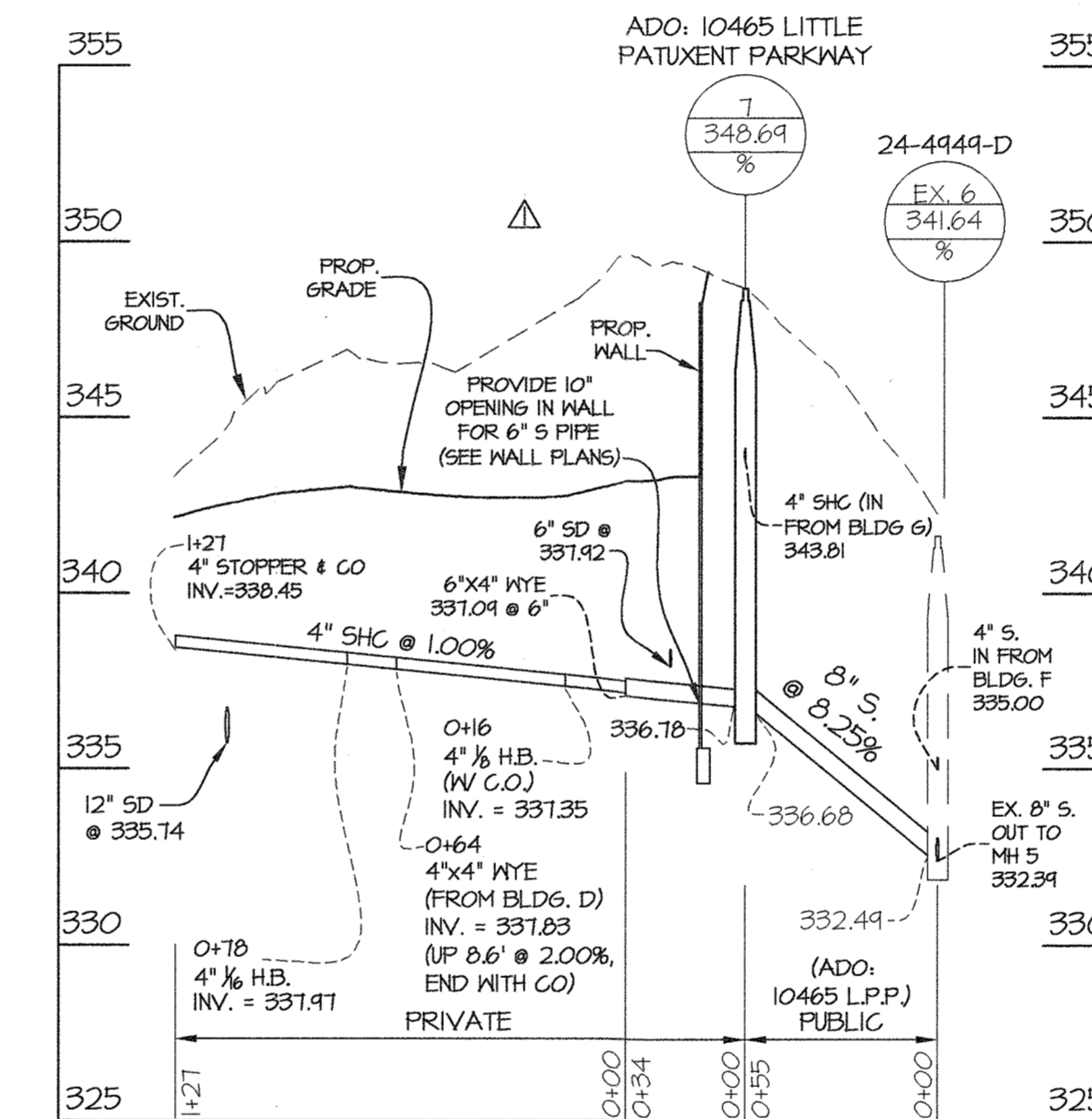
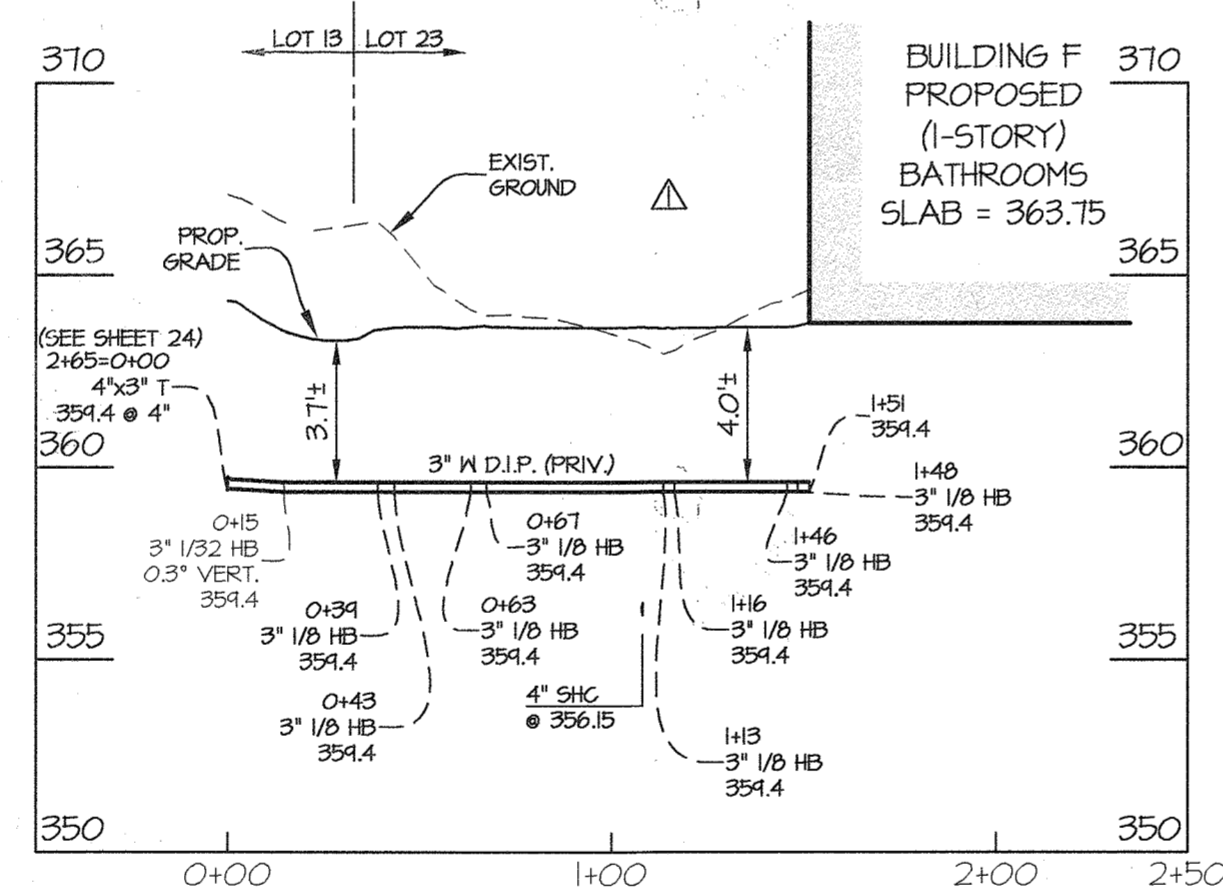
OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
MS. NINA BASU
410-740-0029



OWNER
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DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
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CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
MS. NINA BASU
410-740-0029



APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-17-19

Chief, Division of Land Development: [Signature] Date: 12/18/19

Chief, Development Engineering Division: [Signature] Date: 11-27-19

NOTE: ALL PROPOSED WATER AND SEWER SHOWN IS PRIVATE UNLESS OTHERWISE NOTED

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-883-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

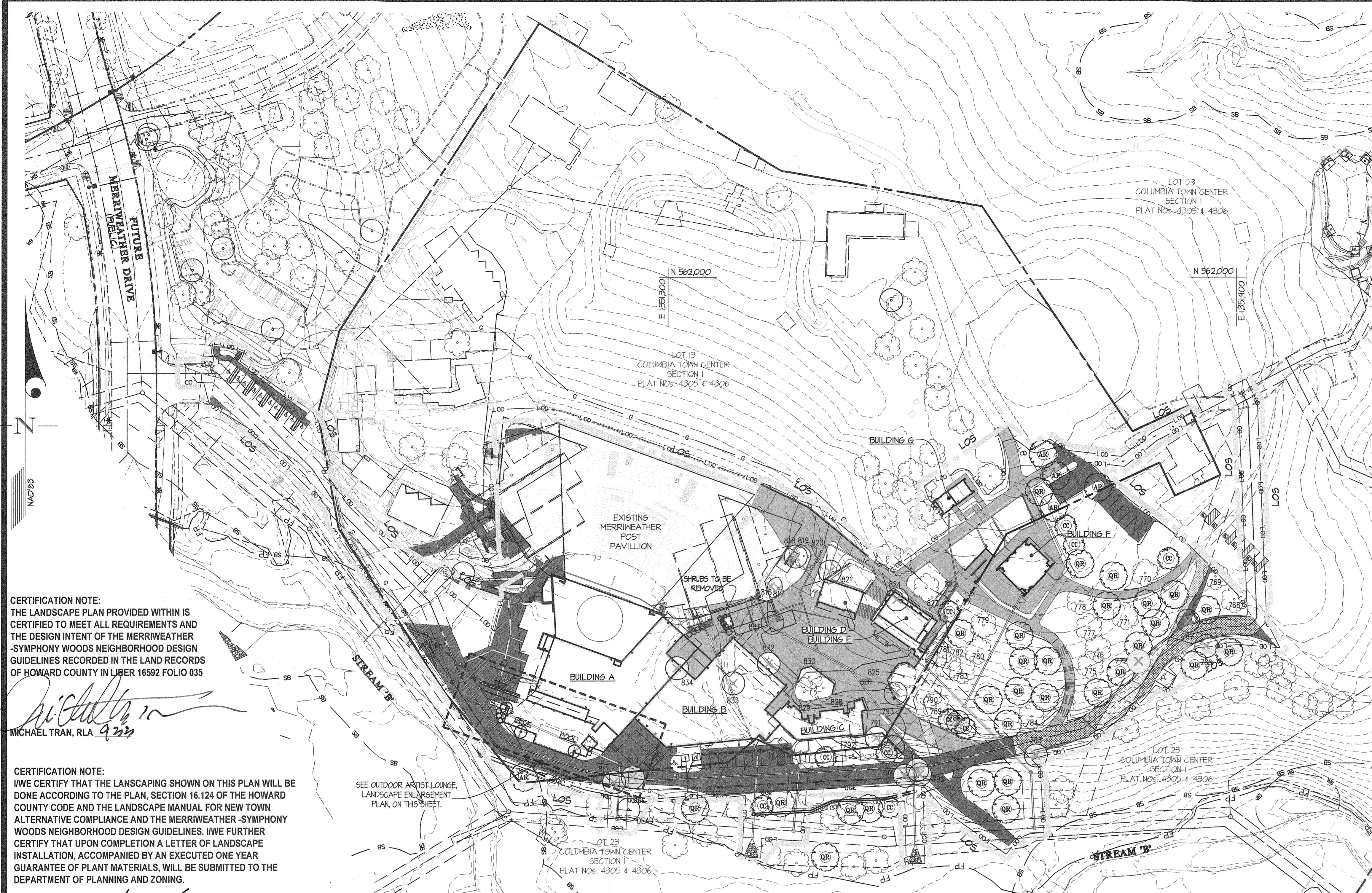
DATE	REVISION	BY	APP'R.
11/11/2019	REVISED PROFILES PER ARCHITECT CHANGES (REPLACED SHEET)	AWL	DDS

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
EXPIRATION DATE: MAY 26, 2020
11/19/19 [Signature]

REDEVELOPMENT PHASES 2 & 3
REVISED PRIVATE WATER/SEWER PROFILES & DETAILS
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
ELECTION DISTRICT No. 5
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 50' (H) 1" = 5' (V)	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	16 OF 26

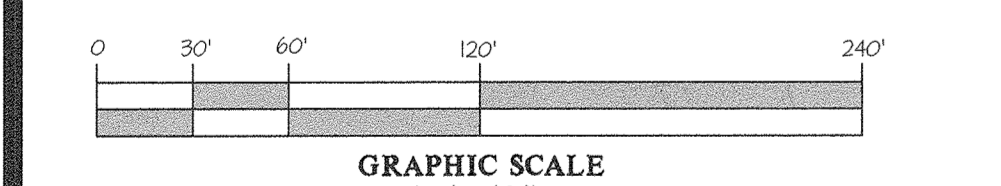


CERTIFICATION NOTE:
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 16592 FOLIO 035

Michael Tran
MICHAEL TRAN, RLA 9/2/19

CERTIFICATION NOTE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR NEW TOWN ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Michael Tran
DEVELOPER'S/OWNER'S NAME DATE 11/12/19

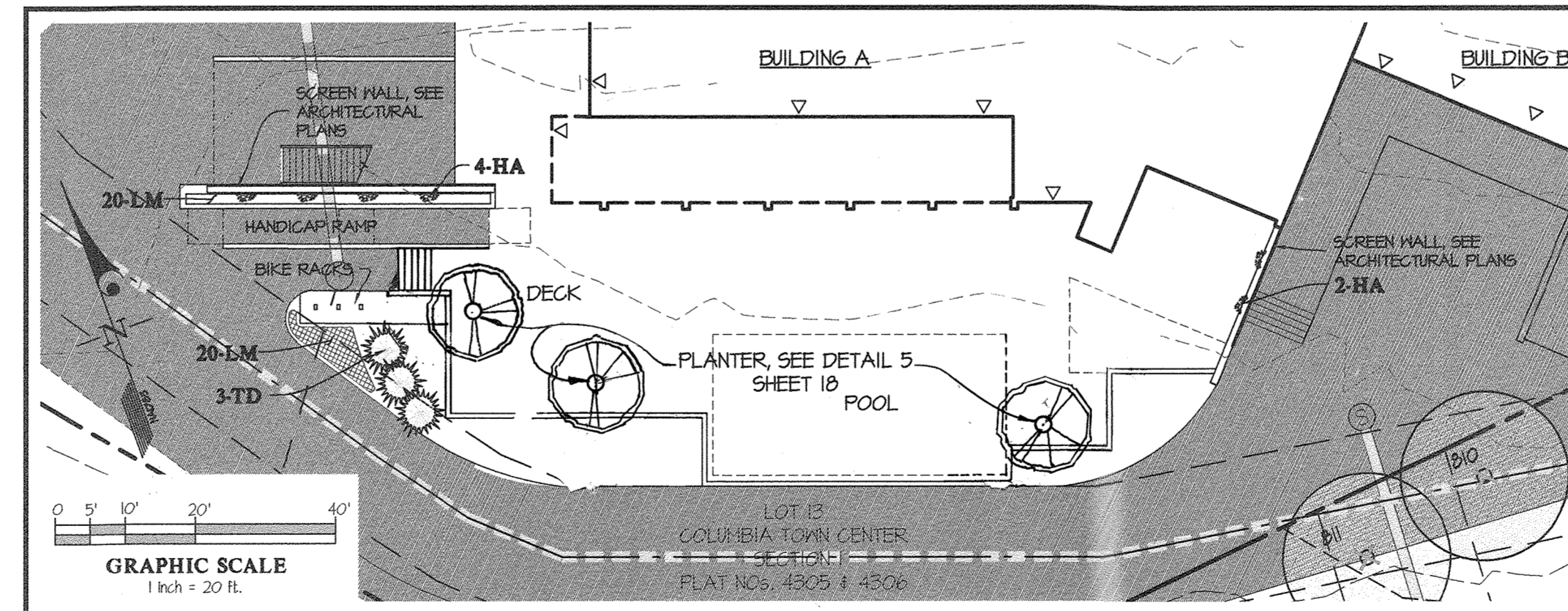


APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 12-18-19
Chief, Division of Land Development: [Signature] Date: 12/13/19
Chief, Development Engineering Division: [Signature] Date: 11-27-19

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
MS. NINA BASU
410-740-0029



OUTDOOR ARTIST LOUNGE - LANDSCAPE PLAN ENLARGEMENT

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

No.	KEY	COMMON NAME	SCIENTIFIC NAME	DBH (INCHES)	CRZ (FEET)	CONDITION	EXISTING TREE ANALYSIS				TOTAL	CILA CONDITION RATING %	
							ROOTS	TRUNK	SCAFFOLD BRANCH	TWIGS			FOLIAGE
768	TBR	CRABAPPLE	Malus sp.	8	12	POOR	2	2	2	2	2	11	24.4%
767	TBR	CRABAPPLE	Malus sp.	11	17	POOR	2	2	2	2	2	10	58.4%
769	SAVE	SILVER MAPLE	Acer saccharinum	51	77	FAIR	3	4	3	3	3	19	78.1%
770	SAVE	BLACK WALNUT	Juglans nigra	13	20	FAIR	3	4	3	3	3	17	84.4%
771	SAVE	BLACK WALNUT	Juglans nigra	28	42	FAIR	3	3	2	3	3	17	71.9%
772	TBR	BLACK CHERRY	Prunus serotina	14	21	FAIR	4	4	3	3	3	17	88.8%
773	SAVE	HICKORY	Carya sp.	16	24	FAIR	4	4	2	2	3	16	75.0%
774	SAVE	RED MAPLE	Acer rubrum	10	15	FAIR	4	4	2	2	3	16	75.0%
775	SAVE	TULIP POPLAR	Liriodendron tulipifera	21	32	GOOD	4	4	4	4	4	20	100.0%
776	SAVE	WHITE PINE	Pinus strobus	36	54	FAIR	4	4	3	3	3	17	87.5%
777	SAVE	White oak	Quercus alba	22	33	FAIR	4	4	3	3	3	17	87.5%
778	SAVE	Red oak	Quercus rubra	42	63	FAIR	4	4	3	3	3	17	87.5%
779	SAVE	White oak	Quercus alba	23	35	FAIR	3	3	3	3	3	15	81.3%
780	SAVE	White oak	Quercus alba	10	15	GOOD	4	4	4	4	4	20	100.0%
781	SAVE	White oak	Quercus alba	22	33	FAIR	4	4	3	3	3	17	87.5%
782	SAVE	White oak	Quercus alba	22	33	FAIR	4	4	3	3	3	17	87.5%
783	SAVE	White oak	Quercus alba	22	33	FAIR	4	4	3	3	3	17	87.5%
784	SAVE	TULIP POPLAR	Liriodendron tulipifera	14	21	GOOD	4	4	4	4	4	20	100.0%
785	TBR	HICKORY	Carya sp.	19	29	GOOD	4	4	4	4	4	20	100.0%
786	TBR	Tul Poplar	Liriodendron tulipifera	16	24	FAIR	4	4	2	2	4	18	87.5%
787	SAVE	White oak	Quercus alba	22	33	GOOD	4	4	3	3	3	17	87.5%
788	SAVE	Tul Poplar	Liriodendron tulipifera	32	48	FAIR	4	3	3	3	3	16	84.4%
789	TBR	Hickory SPP	Carya SPP	21	32	POOR	3	2	2	2	2	14	48.8%
790	SAVE	Red oak	Quercus rubra	32	48	FAIR	3	3	3	4	4	17	87.5%
791	TBR	Tul Poplar	Liriodendron tulipifera	28	42	FAIR	3	3	4	3	3	16	81.3%
792	TBR	Tul Poplar	Liriodendron tulipifera	32	48	FAIR	3	3	4	3	3	16	81.3%
793	TBR	Tul Poplar	Liriodendron tulipifera	28	42	FAIR	3	3	4	3	3	16	81.3%
794	TBR	Tul Poplar	Liriodendron tulipifera	28	42	FAIR	3	3	4	3	3	16	81.3%
795	TBR	Tul Poplar	Liriodendron tulipifera	23	35	FAIR	3	3	4	3	3	15	78.1%
796	TBR	Tul Poplar	Liriodendron tulipifera	27	41	FAIR	3	3	4	3	3	15	78.1%
797	SAVE	Tul Poplar	Liriodendron tulipifera	26	39	POOR	3	2	3	2	3	14	48.8%
798	TBR	Red oak	Quercus rubra	48	72	POOR	3	3	2	2	3	13	46.9%
799	TBR	HICKORY	Carya sp.	12	18	FAIR	4	4	3	3	3	16	81.3%
800	TBR	White oak	Quercus alba	31	47	FAIR	3	3	3	3	3	15	78.1%
801	TBR	American beech	Fagus grandifolia	27	41	FAIR	3	3	3	3	3	15	78.1%
802	TBR	White oak	Quercus alba	28	42	FAIR	2	3	3	3	3	14	46.9%
803	SAVE	Hickory SPP	Carya SPP	18	27	GOOD	3	4	4	4	4	20	100.0%
804	SAVE	Black gum	Nyssa sylvatica	17	26	GOOD	3	3	3	4	4	19	90.6%
805	SAVE	Hickory SPP	Carya SPP	20	30	FAIR	3	2	3	2	4	16	81.3%
806	SAVE	Hickory SPP	Carya SPP	16	24	GOOD	4	4	3	3	4	18	80.0%
807	SAVE	White oak	Quercus alba	24	36	FAIR	3	3	3	3	3	15	78.1%
808	TBR	White oak	Quercus alba	27	41	FAIR	3	3	4	3	3	15	78.1%
809	SAVE	Red oak	Quercus rubra	29	44	FAIR	3	2	3	3	3	14	46.9%
810	TBR	White oak	Quercus alba	28	42	POOR	3	2	3	2	3	14	46.9%
811	TBR	Red oak	Quercus rubra	23	35	POOR	3	2	2	4	3	13	43.8%
812	SAVE	Scarlet Oak	Quercus cocinea	20	30	FAIR	3	2	4	3	4	16	81.3%
813	SAVE	Hickory SPP	Carya SPP	18	27	FAIR	3	2	4	3	4	16	81.3%
814	TBR	Hickory SPP	Carya SPP	37	56	POOR	3	2	2	2	2	11	36.4%
815	TBR	Scarlet oak	Quercus cocinea	40	60	FAIR	3	2	3	3	3	14	46.9%
816	TBR	White pine	Pinus strobus	17	26	FAIR	3	2	4	3	4	16	81.3%
817	TBR	Scarlet oak	Quercus cocinea	48	72	FAIR	3	2	3	3	3	14	46.9%

KEY
TBR Specimen Trees To be Removed, located on Lot 23 and replaced at a 2:1 ratio.
TBR Trees to be Removed, located on Lot 23 and replaced at a 2:1 ratio.
TBR Trees to be Removed, located on Lot 13 and replaced at a 2:1 ratio.
TBR Trees recommended for removal per Biohabitats Tree Analysis is dated 03/06/2015 & replaced at a 2:1 ratio.

TREE SCHEDULE

KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT/ B&B	COMMENTS
AR 5	Acer rubrum 'Red Sunset'	Red Sunset Maple	4' Cal. MIN	B&B	6' min. branching Ht., Single Stem, Matched
CC 10	Cornus caroliniana	Ironwood	4' Cal. MIN	B&B	Central Leader Full Crown
QR 24	Quercus rubra	Northern Red Oak	4' Cal. MIN	B&B	6' min. branching Ht., Single Stem, Matched, Central Leader w/ Full Crown

PLANT SCHEDULE - LOT 13 (SUPPLEMENTAL LANDSCAPING)

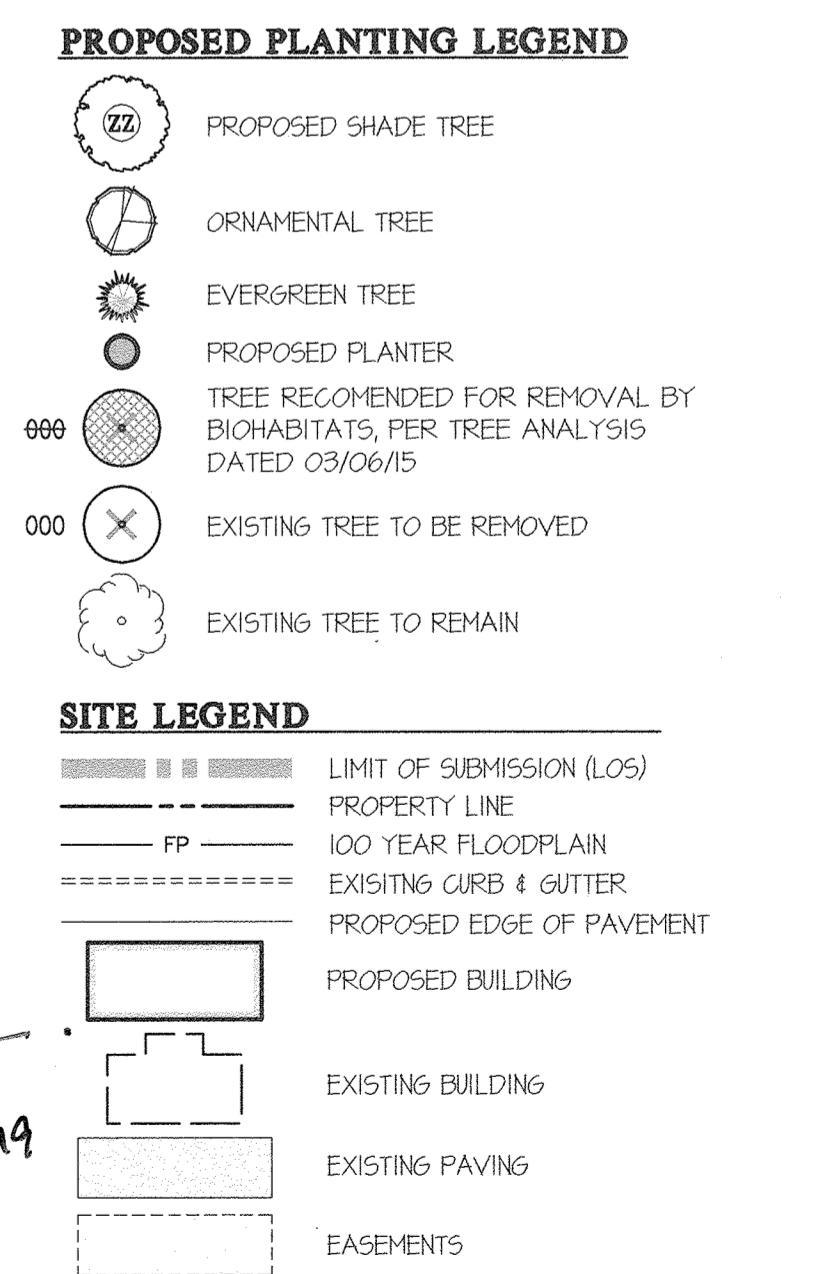
KEY QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT/ B&B	COMMENTS
LT 3	Lagerstroemia indica 'Tuskegee'	Tuskegee Grape Myrtle	6' ht. min.	B&B	Single-stem, matched
TD 3	Taxus canadensis	Deerhoop Spruce	6' ht. min.	B&B	Matched
HA 6	Hydrangea anomala ssp. 'Petals of Snow'	Climbing Hydrangea	-	1 gallon	
LM 40	Liriodendron tulipifera 'Big Blue'	Big Blue Liriope	-	1 quart	

TREE CALCULATIONS
EXISTING TREES TO BE REMOVED: 22
NEW TREES PROVIDED: 44 (2:1 RATIO)

LANDSCAPE SURETY
(44) SHADE TREES X \$300 = \$13,200
(0) ORNAMENTAL TREES X \$150 = \$0
(0) EVERGREEN TREES X \$150 = \$0
TOTAL = \$13,200

TOTAL LANDSCAPE SURETY = \$13,200

NOTES:
1. SEE TREE CALCULATIONS ON THIS SHEET FOR THE QUANTITY OF TREES REMOVED AND TREES PROVIDED.
2. REFER TO SHEET 10 FOR ALL PLANTING DETAILS AND SHEET 14 FOR TREE PRESERVATION SPECIFICATIONS.
3. TREE INVENTORY ANALYSIS PROVIDED BY BIOHABITATS, DATED MARCH 6, 2015.



REDEVELOPMENT PHASES 2 & 3

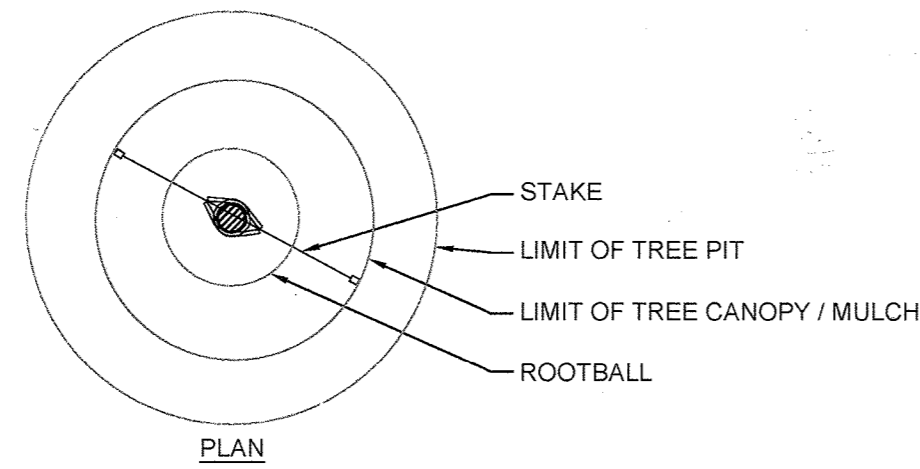
REVISED SITE TREE PRESERVATION, DEMOLITION AND PLANTING PLAN
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
ELECTION DISTRICT No. 5
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

SCALE 1"=60'	ZONING NT OPEN SPACE	G. L. W. FILE No. 94077
DATE NOV., 2019	TAX MAP - GRID 36-1	SHEET 17 OF 26

L:\CADD\DRAWINGS\1072\94077\PLANS BY GLW\SDR\94077SSP-TYP-01.dwg, PLOTTED: 11/12/2019 9:31 AM, LAST SAVED: 11/12/2019 5:18 PM, PLOTTED BY: Tony Loggner

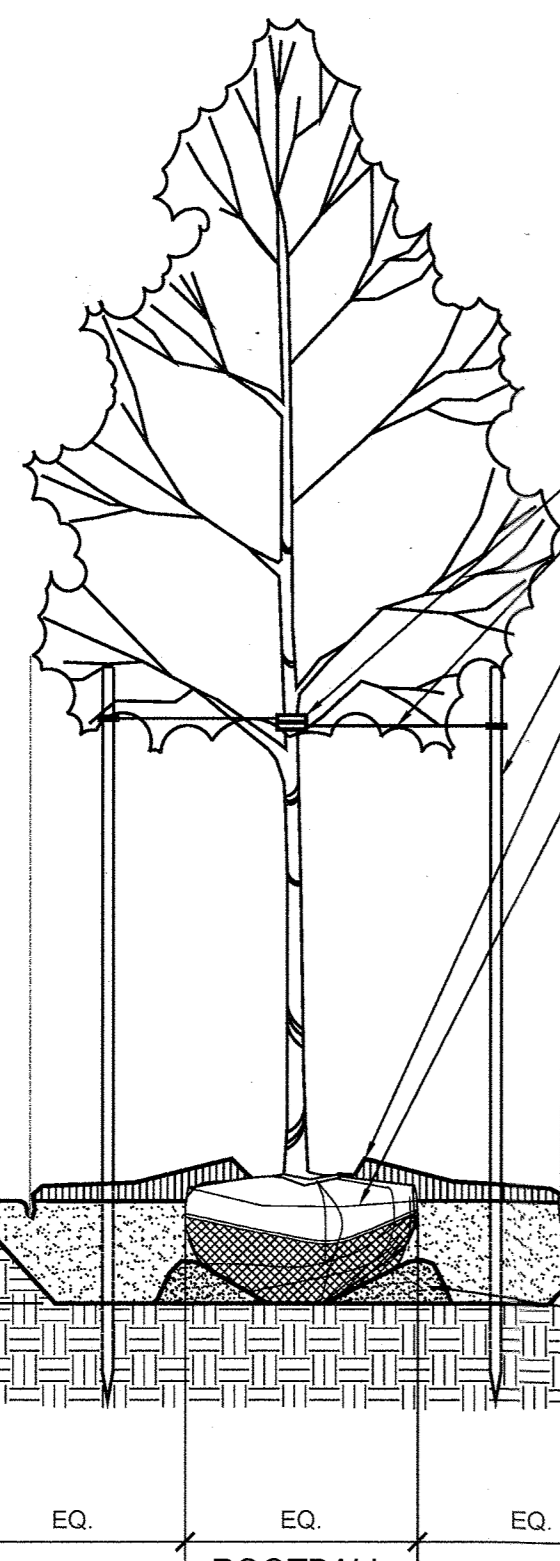
SEQUENCE OF CONSTRUCTION (GENERAL) REFER TO SPECIFICATIONS

1. STAKE OUT PLANT/BED LOCATIONS.
2. CUT EDGE OF PLANT BED.
3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
5. INSTALL PLANTS.
6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
7. PLACE BACKFILL.
8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
9. PLACE MULCH OVER ENTIRE PLANT BED.
10. WATER ENTIRE PLANT BED THOROUGHLY.



NOTES:

1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
2. NEVER CUT CENTRAL LEADER.
3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

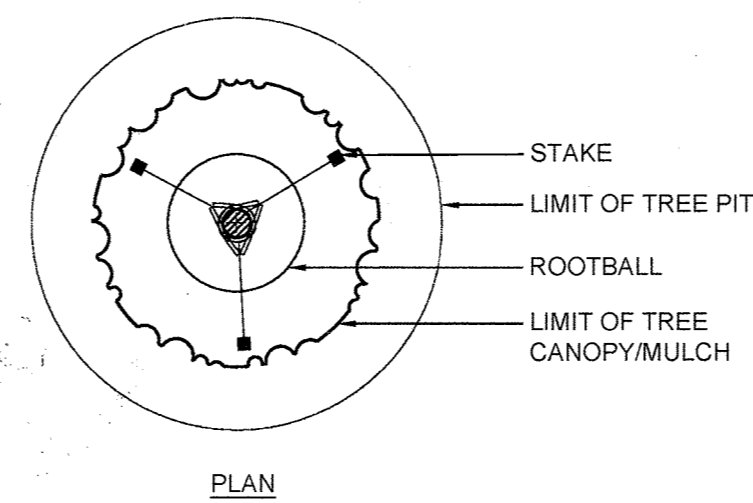


- RUBBER HOSE
- GUYS
- STAKE, TYPICAL OF 2
- MULCH, NEVER TO BE PLACED AGAINST TRUNK.
- FOR B&B TREES CUT & REMOVE TOP 1/3 OF BURLAP OR WIRE BASKET FROM ROOTBALL.

- MULCH RING TO LIMIT OF CANOPY OR 2" MIN. DIA., WHICH EVER IS GREATER.
- SHOVEL-CUT EDGE
- PLANTING SOIL
- WHEN PLANTING IN LAWN, SEED / SOD TO LIMIT OF MULCH RING
- FINISH GRADE
- ADJACENT PLANTING, REF. PLAN FOR MATERIALS.
- SCARIFY SIDES AND BOTTOM OF PLANT PIT TO 1" DEPTH.
- HAND TAMPED SOIL TO STEADY ROOT BALL
- UNDISTURBED SOIL

2 Typical Tree Planting (Less than 12' Ht, 2.5" Cal.), Staked

1/2" = 1'-0"



WHEN PLANTING IN LAWN, SEED OR SOD TO LIMIT OF MULCH RING, BOTH SIDES

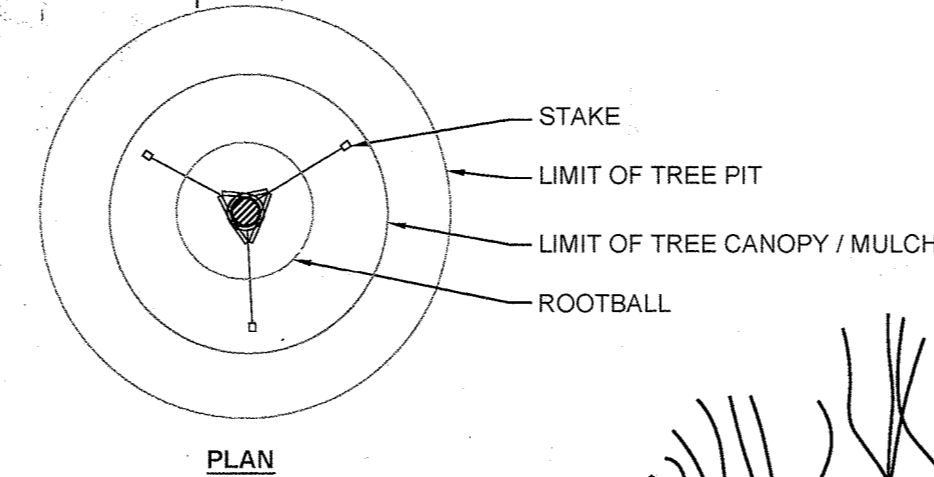


- NOTES:**
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT CENTRAL LEADER.
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

- RUBBER HOSE
- GUYS
- MULCH, NEVER TO BE PLACED AGAINST TRUNK
- FOR B&B TREES CUT & REMOVE TOP 1/3 OF BURLAP OR WIRE BASKET FROM ROOTBALL.
- MULCH RING TO LIMIT OF CANOPY OR 2" MIN. DIA., WHICH EVER IS GREATER
- SHOVEL-CUT EDGE
- PLANTING SOIL
- ADJACENT PLANTING, REFERENCE PLAN FOR MATERIALS
- FINISH GRADE
- SCARIFY SIDES AND BOTTOM OF PLANT PIT TO 1" DEPTH
- HAND TAMPED SOIL TO STEADY ROOT BALL
- UNDISTURBED SOIL

1 Typical Tree Planting (2.5" Cal. - 4" Cal.) (Less Than 14' Ht.), Staked

1/2" = 1'-0"



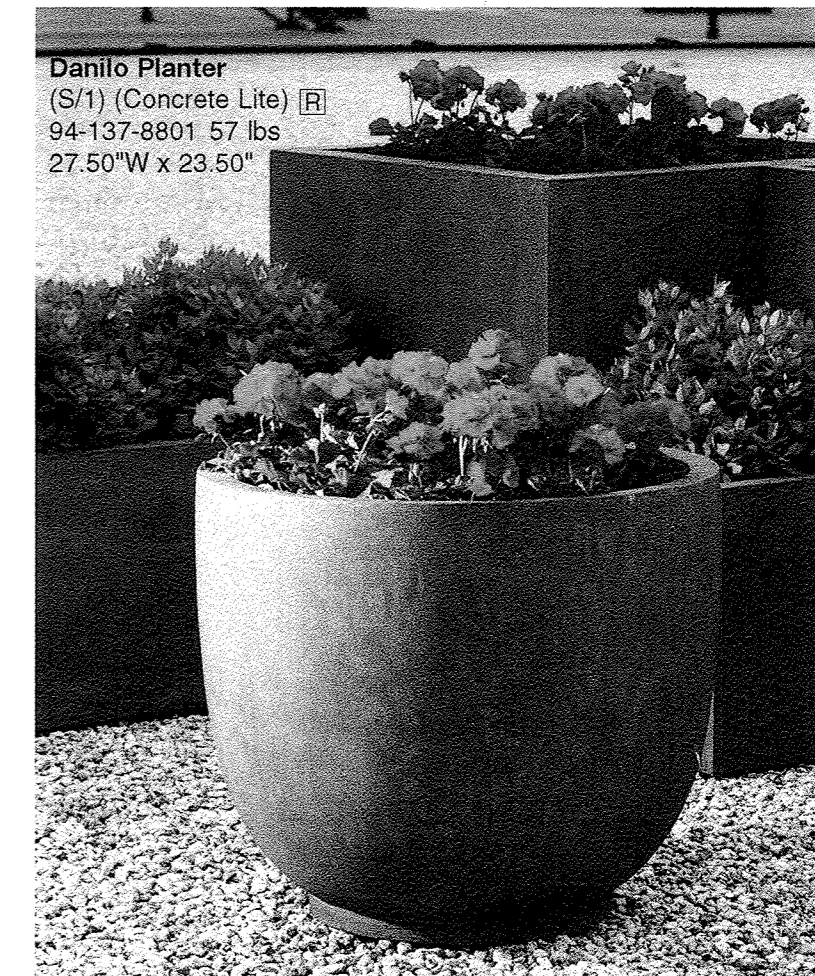
- NOTES:**
1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.
 2. NEVER CUT DOMINANT LEADER(S).
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

- MULCH RING TO LIMIT OF CANOPY OR 2" MIN. DIA., WHICH EVER IS GREATER
- RETAIN NATURAL LEADER(S)
- SURVEYOR'S FLAG - ONE EACH WIRE
- CABLE WITH PAINTED TURN-BUCKLE (3 REQ'D)
- MULCH NEVER TO BE PLACED AGAINST TRUNK
- STAKES OR APPROVED PROPRIETARY STAKING AND GUYING DEVICE
- SHOVEL-CUT EDGE
- FINISH GRADE
- REMOVE TOP 1/3 OF BURLAP, CUT WIRE BASKET IN AT LEAST FOUR LOCATIONS CIRCLING ROOTBALL AND TURN DOWN SIDES
- PLANTING SOIL
- HAND TAMPED SOIL TO STEADY ROOTBALL
- UNDISTURBED SOIL

3 Typical Tree Planting (Over 3" Cal - 14' Ht.), Staked

1/2" = 1'-0"

Campania Modular Lite

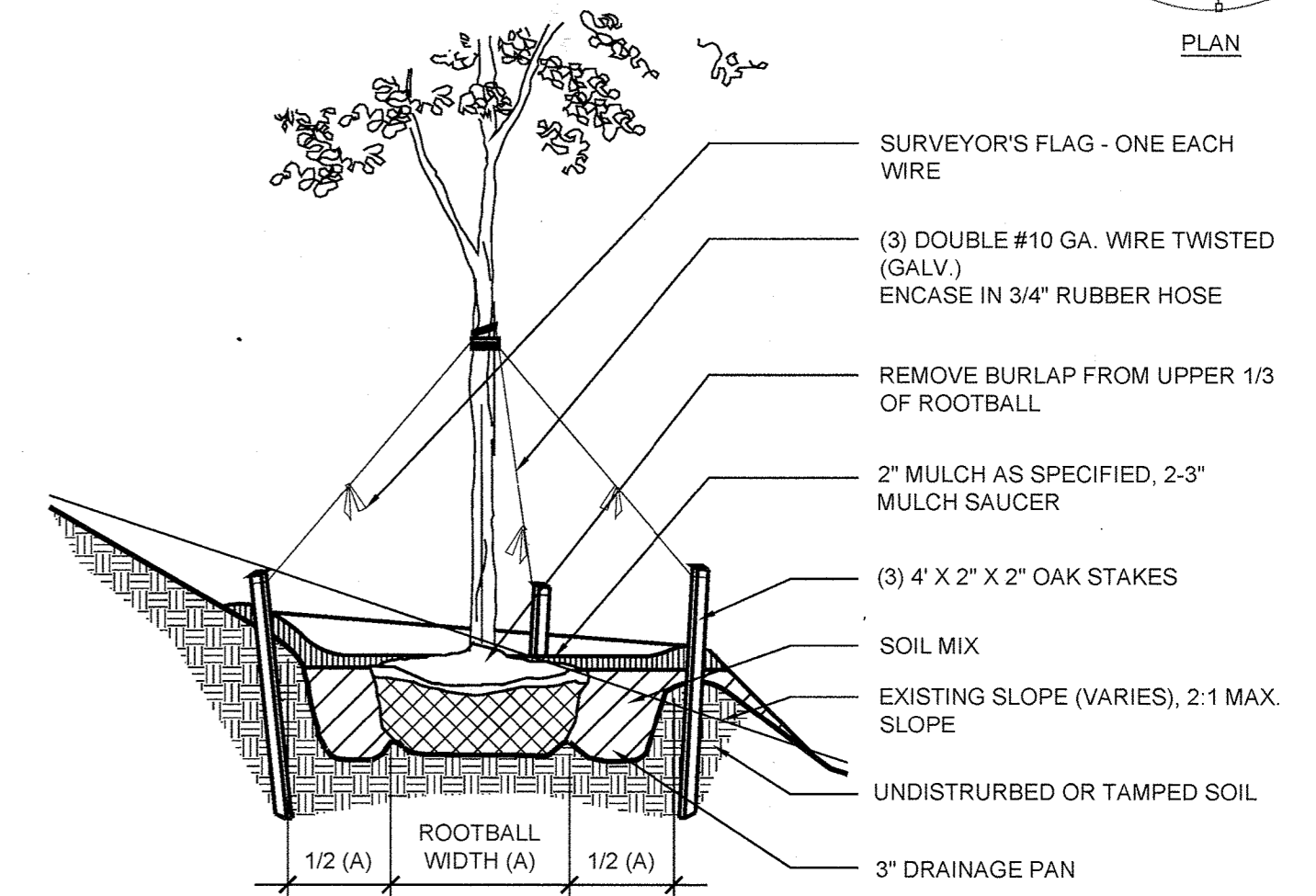
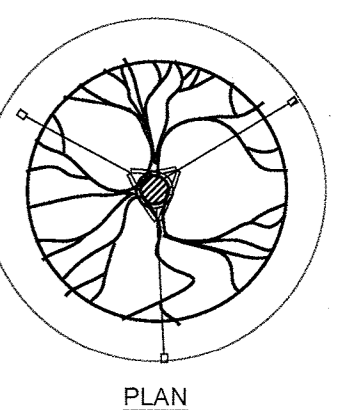


Daniolo Planter (S/1) (Concrete Lite) [R] 94-137-8801 57 lbs 27.50" W x 23.50"

5 Planter (typ.) or (approved equal)

NOTES:

1. NEVER CUT CENTRAL LEADER.
2. NEVER MULCH AGAINST TRUNK.
3. SET TREE WITH 1/8 OF ROOT BALL ABOVE GRADE.
4. STAKES, WIRES, AND HOSES SHALL BE REMOVED AFTER ONE YEAR.
5. SCARIFY SUBSOIL AND SIDES OF TREE PIT TO A MIN. OF 4" DEPTH.
6. TREES UNDER 2-1/2" CAL.: 10" x 2" x 2" STAKES SET VERTICAL, MIN. TWO FEET INTO COMPACTED SUBGRADE.
7. TREES TO HAVE SINGLE LEADER.
8. CUT AND REMOVE TOP HALF OF WIRE BASKETS.



4 Typical Tree Planting on Slope

1/2" = 1'-0"

CERTIFICATION NOTE: THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

REDEVELOPMENT PHASES 2 & 3

SITE PLANTING DETAILS

MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

SCALE	ZONING	G. L. W. FILE No.
AS NOTED	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	18 OF 26

ELECTION DISTRICT No. 5

PLAT Nos. 4305 & 4306

HOWARD COUNTY, MARYLAND

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Nadine Taylor* 3-2-16
 Chief, Division of Land Development: *Kathleen Doherty* 3-2-16
 Chief, Development Engineering Division: *Chris Peltz* 7-23-16

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
442-741-1974

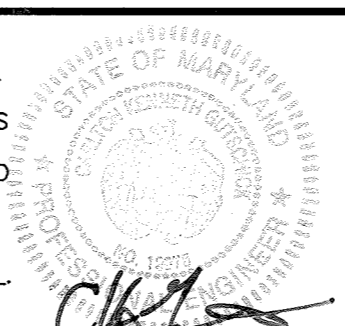
OWNER
LOT 23 -
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 28, 2016



GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.
			11-18-19	Updated owner information	AWL	

PRODUCTS

2.1 TREE PROTECTION FENCING

MINIMUM SPECIFICATIONS - BLAZE ORANGE, HEAVY DUTY, PLASTIC MESH FENCE, A MINIMUM OF 4 FOOT (1.2M) HIGH, SECURELY ATTACHED TO 2 INCH (50MM) METAL POSTS 6 FEET (1.8M) HIGH, DRIVEN A MINIMUM OF 2 FEET (0.6M) INTO THE GROUND. POSTS SHALL BE SET A MAXIMUM OF 8 FEET (2.4M) ON CENTER.

2.2 TREE PROTECTION SIGNAGE

HEAVY-DUTY CARDBOARD OR METAL SIGNS 12 INCHES (304MM) BY 12 INCHES ATTACHED TO 3/4 INCH (19MM) THICK EXTERIOR GRADE MDO PLYWOOD (OR OTHER SUBSTRATE AS RECOMMENDED BY THE SIGN SUPPLIER). SIGN SHALL HAVE A BLAZE ORANGE BACKGROUND WITH BLACK BLOCK LETTERS, 1 INCH (25MM) HIGH, WITH THE INSCRIPTION "NO CONSTRUCTION ACTIVITY - TREE PROTECTION ZONE".

SIGNAGE SHALL BE ATTACHED TO THE TREE PROTECTION FENCE AT INTERVALS NOT TO EXCEED 25 FEET (7.6M) ON CENTER.

2.3 MULCH

MULCH SHALL CONSIST OF HARDWOOD CHIPS, AGED A MINIMUM OF SIX MONTHS AND SHALL BE FREE OF LEAVES. CHIPS STOCKPILED FROM THE TREE REMOVAL OPERATION MAYBE USED.

IF MULCH CONSISTS OF HARDWOOD AGED LESS THAN 6 MONTHS, SPREAD NITROGEN FERTILIZER AT THE RATE OF 10 LBS. PER 1000 SQ. FT.

2.4 CONSTRUCTION MAT

CONSTRUCTION MATTING WILL CONSIST OF 3/4 INCH PLYWOOD OR HEAVY GAUGE STEEL PLATES WITH AN UNDERLAYMENT OF A MINIMUM OF SIX INCHES OF WOOD CHIP MULCH. THE PLYWOOD OR STEEL TOP LAYER SHOULD ONLY BE APPLIED WHERE VEHICLE MOVEMENT IS ANTICIPATED AND SHOULD NOT BE KEPT IN PLACE FOR EXTENDED PERIODS OF TIME.

2.5 SOIL TENSIO METER

TENSIO METER SHALL BE DESIGNED TO ACCURATELY MEASURE SOIL MOISTURE TENSION THROUGH THE USE OF A POROUS MOISTURE HOLDING CUP AND A VACUUM PRESSURE GAUGE. TENSIO METER SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE TARGET TREE AND MONITORED ON A NO LESS THAN WEEKLY BASIS DURING THE PERIOD OF CONSTRUCTION. MOISTURE CUP SHALL BE REGULARLY FILLED WITH WATER AND THE POROUS CUP ROUTINELY INSPECTED FOR CLOGGING AND/OR CRACKING.

2.6 AIR SPADE

AIR SPADE OR EQUIVALENT EXCAVATION TOOL DELIVERING A FOCUSED, HIGH EFFICIENCY, SUPERSONIC AIR JET DESIGNED TO REMOVE SOIL PARTICLES WITHOUT DAMAGING TREE ROOT STRUCTURES. NOZZLE SHALL BE FLOW RATED AT 150 SCFM AND PRESSURE RATED AT 90 PSIG. OPERATOR SHALL BE TRAINED AND EXPERIENCED IN PROPER USE OF EQUIPMENT

TREE PRESERVATION APPROACH

MERRIWEATHER

TREE PRESERVATION DURING CONSTRUCTION REQUIRES AN INTEGRATED APPROACH THAT RECOGNIZES BOTH THE INHERENT BIOLOGICAL LIMITATIONS OF MATURE TREES AND THE PHYSICAL DEMANDS THAT HUMAN INFRASTRUCTURE PLACES UPON THE LANDSCAPE. THE FOLLOWING DESCRIBES THE COMPREHENSIVE TREE PRESERVATION METHODOLOGY THAT WILL BE UNDERTAKEN TO ENSURE THE HIGHEST POTENTIAL FOR MAINTAINING TREE HEALTH.

THE CRITICAL ROOT ZONE (CRZ) IS THE AREA AROUND THE BASE OF THE PLANT THAT CONTAINS THE VAST MAJORITY OF SMALL, ABSORBING ROOTS. AS OPPOSED TO THE LARGE, STRUCTURAL SUPPORT ROOTS, THE ABSORBING ROOTS ARE PRIMARILY RESPONSIBLE FOR THE UPTAKE OF BOTH WATER AND ESSENTIAL ELEMENTS. THEY REQUIRE ADEQUATE OXYGEN IN ORDER TO SURVIVE. AS SUCH, THEY ARE LOCATED CLOSE TO THE SURFACE (IN THE TOP 12 TO 18" OF SOIL). THEY ARE ALSO HIGHLY VULNERABLE TO SOIL COMPACTION AND THE ACCOMPANYING REDUCTION IN OXYGEN-CONTAINING PORE SPACES BETWEEN SOIL PARTICLES. THE PRIMARY STRATEGY TO BE EMPLOYED IN PRESERVING THE VALUABLE TREES IN MERRIWEATHER PARK WILL BE TO AVOID AND MITIGATE SOIL COMPACTION WITHIN THE CRZ. CRZ WILL BE ESTIMATED BASED ON TREE DIAMETER, AN APPROPRIATE INDICATOR OF POTENTIAL ROOTING AREA. FIELD STUDIES HAVE SHOWN THAT, FOR EVERY INCH OF TREE DIAMETER AT BREST HEIGHT (DBH), A CORRESPONDING RADIUS OF 1.5 FEET (STARTING FROM THE TREE STEM) WILL CAPTURE MOST OF THE CRZ. FOR INSTANCE, A PLANT WITH A DBH OF 10 INCHES WILL HAVE A CRITICAL ROOT ZONE EDGE 15 FEET FROM THE STEM.

THE PLAN WILL INVOLVE TWO COMPLEMENTARY TECHNIQUES TO AVOID UNINTENDED TREE LOSS DURING THE CONSTRUCTION PROCESS:

- A) AVOID THE CRITICAL ROOT ZONE OF TREES SELECTED FOR PRESERVATION
- B) MODIFY CONSTRUCTION ACTIVITIES WHEN IT IS NECESSARY TO OPERATE WITHIN THE CRITICAL ROOT ZONE

AVOIDING THE CRITICAL ROOT ZONE

IN ORDER TO MAXIMIZE THE LEVEL OF TREE CANOPY AND FOREST INTEGRITY THAT IS PROTECTED AT THE PARK, IT IS IMPORTANT TO FIRST FIELD DETERMINE WHICH TREES ARE COMPATIBLE WITH THE PLANNED INFRASTRUCTURE EXPANSION, AND TO THEN DELINEATE THE CRITICAL ROOT ZONES FOR THESE PLANTS.

1 - IDENTIFY TREES FOR RETENTION

A TREE INVENTORY WAS PERFORMED IN 2010. DOMINANT, CANOPY-LEVEL TREES WITHIN THE TARGETED CONSTRUCTION ZONE WILL BE RE-EVALUATED WITHIN THE CONTEXT OF PLANNED ACTIVITIES AND CHARACTERIZED AS TO SPECIES, DBH, AND CONDITION. CHARACTERIZATION OF SPECIES AND CONDITION WILL ALLOW FOR INFORMED DETERMINATION OF WHICH PLANTS ARE COMPATIBLE WITH CONSTRUCTION. TREES IN POOR CONDITION, OR THAT ARE OF SPECIES LIKELY TO BE INTOLERANT OF DISTURBANCE AND PRONE TO HAZARD GENERATION, SHOULD BE REMOVED FROM CONSIDERATION FOR RETENTION.

2 - CRZ LOCATIONS

BASED ON EVALUATION, CRZ LOCATIONS WILL BE REFINED FROM PREVIOUS TREE INVENTORY.

3 - INTEGRATE TREE DATA INTO DESIGN PROCESS

TO DATE, THE DESIGN HAS GONE TO GREAT LENGTHS TO AVOID CRZ OF EXISTING TREES. BASED ON REFINED INFORMATION COLLECTED ABOVE, MINOR MODIFICATIONS MAY BE TAKEN TO RETAIN TREES AND TO MAXIMIZE THE OPPORTUNITY FOR PRESERVING THE TREE CANOPY AND FOREST INTEGRITY. ALL DESIGN SUBMISSIONS WILL INCLUDE A REVIEW AND COMMENTARY BY A QUALIFIED ARBORICULTURAL PROFESSIONAL EXPERIENCED IN TREE PRESERVATION TECHNIQUES.

MODIFY CONSTRUCTION ACTIVITIES WITHIN THE CRZ

TREE PRESERVATION TECHNIQUES WILL BE IMPLEMENTED TO REDUCE SOIL COMPACTION AND THE SUBSEQUENT LOSS OF TREE COVER. THE FOLLOWING MEASURES WILL BE CONSIDERED TO AVOID IMPACTS TO TREES DESIGNATED FOR RETENTION.

4 - FIELD DELINEATE INDIVIDUAL CRZ LOCATIONS

PRIOR TO CONSTRUCTION ACTIVITIES, INDIVIDUAL TREE CRZ ZONES WITHIN DISTURBANCE ZONES WILL BE MARKED WITH FLAGGING AND/OR GROUND PAINT BY AN ARBORICULTURAL PROFESSIONAL, LICENSED BY THE STATE OF MARYLAND AND QUALIFIED IN THE FIELD OF TREE PRESERVATION.

5 - DEVELOP INDIVIDUAL TREE PROTECTION PLANS

INDIVIDUAL TREE PROTECTION PLANS WILL BE CREATED THAT ADDRESS ARBORICULTURAL INTERVENTIONS AND CONSTRUCTION PRACTICES REQUIRED FOR THE TARGETED PLANTS. THESE MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- TREE PROTECTION FENCING
- TREE PROTECTION SIGNAGE
- MULCH SPECIFICATIONS
- CONSTRUCTION MAT SPECIFICATIONS
- SOIL MOISTURE MONITORING STANDARDS
- SUPPLEMENTAL IRRIGATION STANDARDS
- SOIL MODIFICATION (FERTILIZATION, AIR SPADING) RECOMMENDATIONS
- TRENCHING, DIRECTIONAL DRILLING RECOMMENDATIONS
- ROOT PRUNING RECOMMENDATIONS
- ACCESS PIT LOCATIONS
- TREE REMOVAL AND STUMP REMOVAL SPECIFICATIONS
- TREE HAZARD REDUCTION RECOMMENDATIONS

6 - CONSTRUCTION MONITORING

A TRAINED AND QUALIFIED ARBORICULTURAL PROFESSIONAL DURING CRITICAL CONSTRUCTION PHASES WILL BE PRESENT ON SITE TO ENSURE TREE PRESERVATION PLAN IS ABIDED.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

N. J. J. J. 3-2-14
 Director Date

V. J. J. 3-2-16
 Chief, Division of Land Development Date

P. J. J. 2-23-16
 Chief, Development Engineering Division Date

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS
 AND CULTURE COMMISSION
 10415 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: JAH KENNEDY
 443-741-1974

OWNER
 LOT 23 -
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: MS. MINA BASU
 410-740-0029

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION
			11-18-14	Updated owner information
			9+	AWL
				BY APP'R.

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 28, 2016

1-20-16 *AWL*

REDEVELOPMENT PHASES 2 & 3

SITE TREE PROTECTION & PRESERVATION

MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

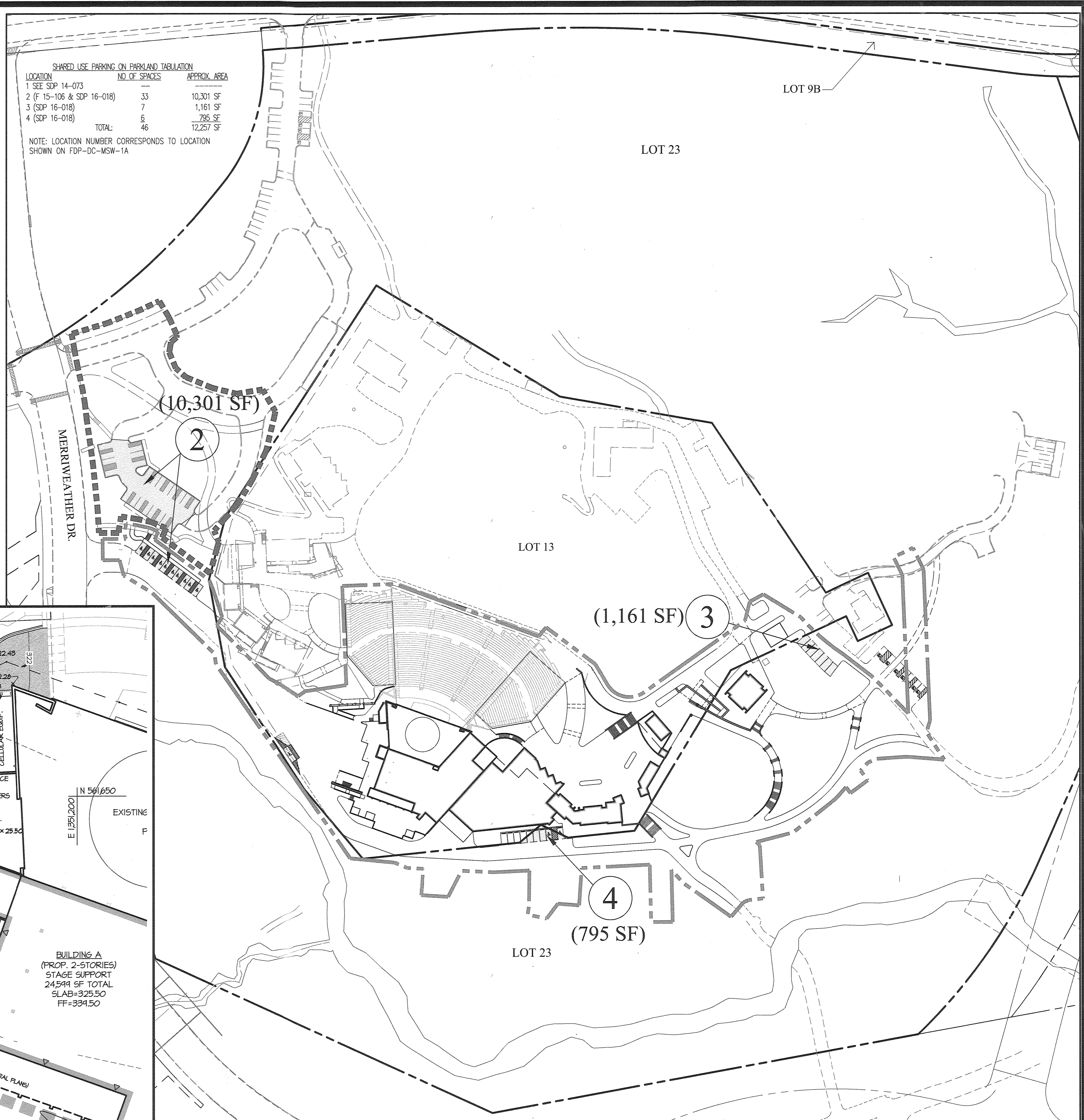
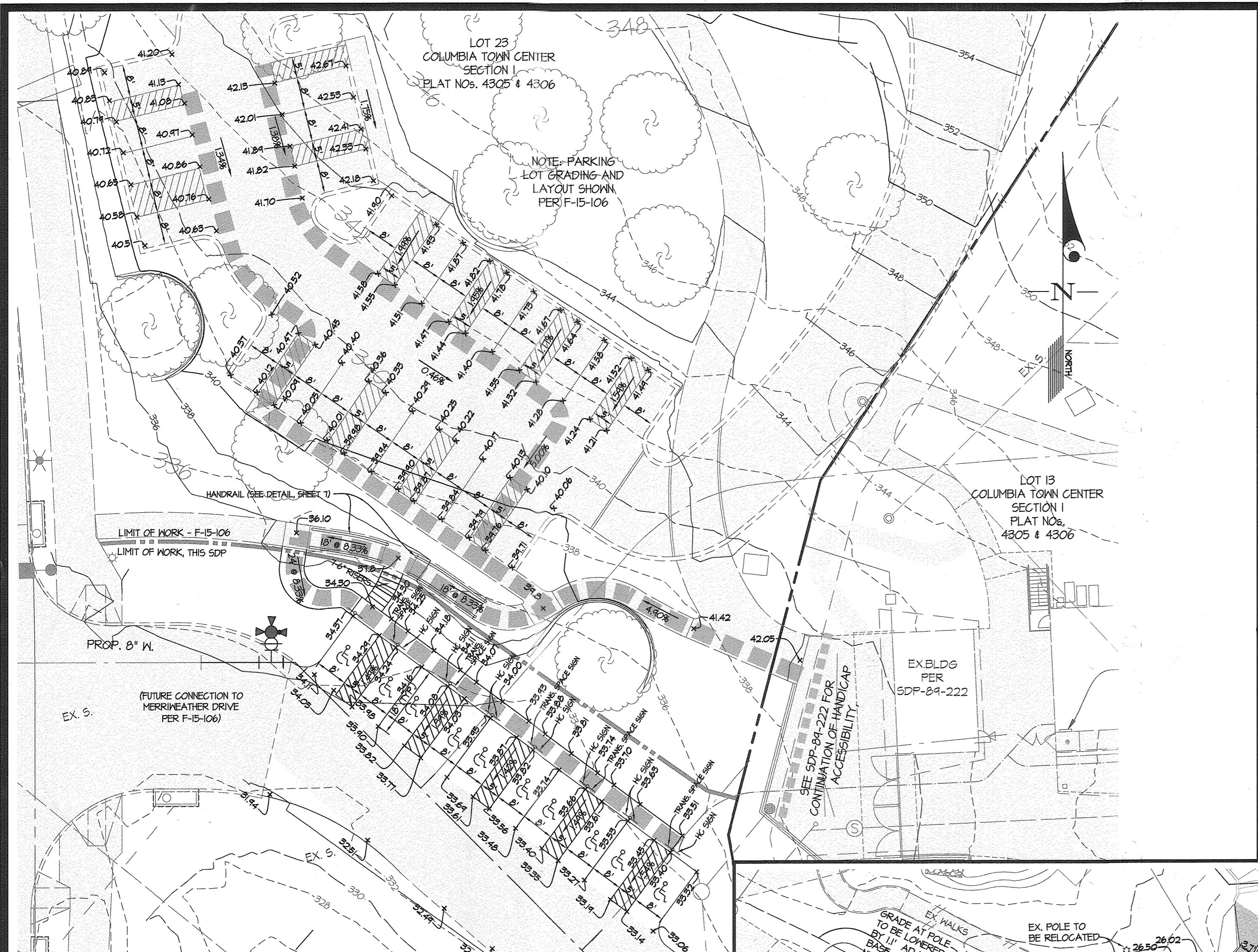
ELECTION DISTRICT No. 5

PLAT Nos. 4305 & 4306

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
N.T.S.	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36-1	19 OF 26

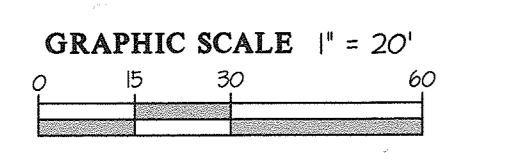
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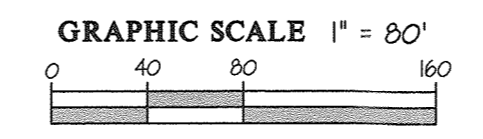
SHARED USE PARKING ON PARKLAND TABULATION

LOCATION	NO. OF SPACES	APPROX. AREA
1 (SEE SDP 14-073)		
2 (F-15-106 & SDP 16-018)	33	10,301 SF
3 (SDP 16-018)	7	1,161 SF
4 (SDP 16-018)	6	795 SF
TOTAL:	46	12,257 SF

NOTE: LOCATION NUMBER CORRESPONDS TO LOCATION SHOWN ON FDP-DC-MSW-1A



HANDICAP PARKING - WEST ENTRANCE FROM MERRIWEATHER DRIVE
SCALE: 1"=20'



PROPOSED PARKING ON PARKLAND
SCALE: 1"=80'

OWNER ▲
LOT 13
DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

OWNER ▲
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: DECEMBER 17, 2015

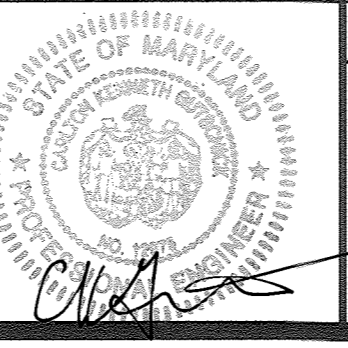
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Nellie J. J. J.* 5-5-16
Date: 5-5-16
Chief, Division of Land Development: *Nellie J. J. J.* 5-5-16
Date: 5-3-16
Chief, Development Engineering Division: *Nellie J. J. J.* 5-3-16
Date: 5-3-16

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11-18-19	Added owner information	gt	AWL
11-12-2018	Added 912-1	gt	AWL
04/2016	BLDG A HANDICAP SPACE ADDED	AWL	

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12935
EXPIRATION DATE: MAY 26, 2016
4/20/16

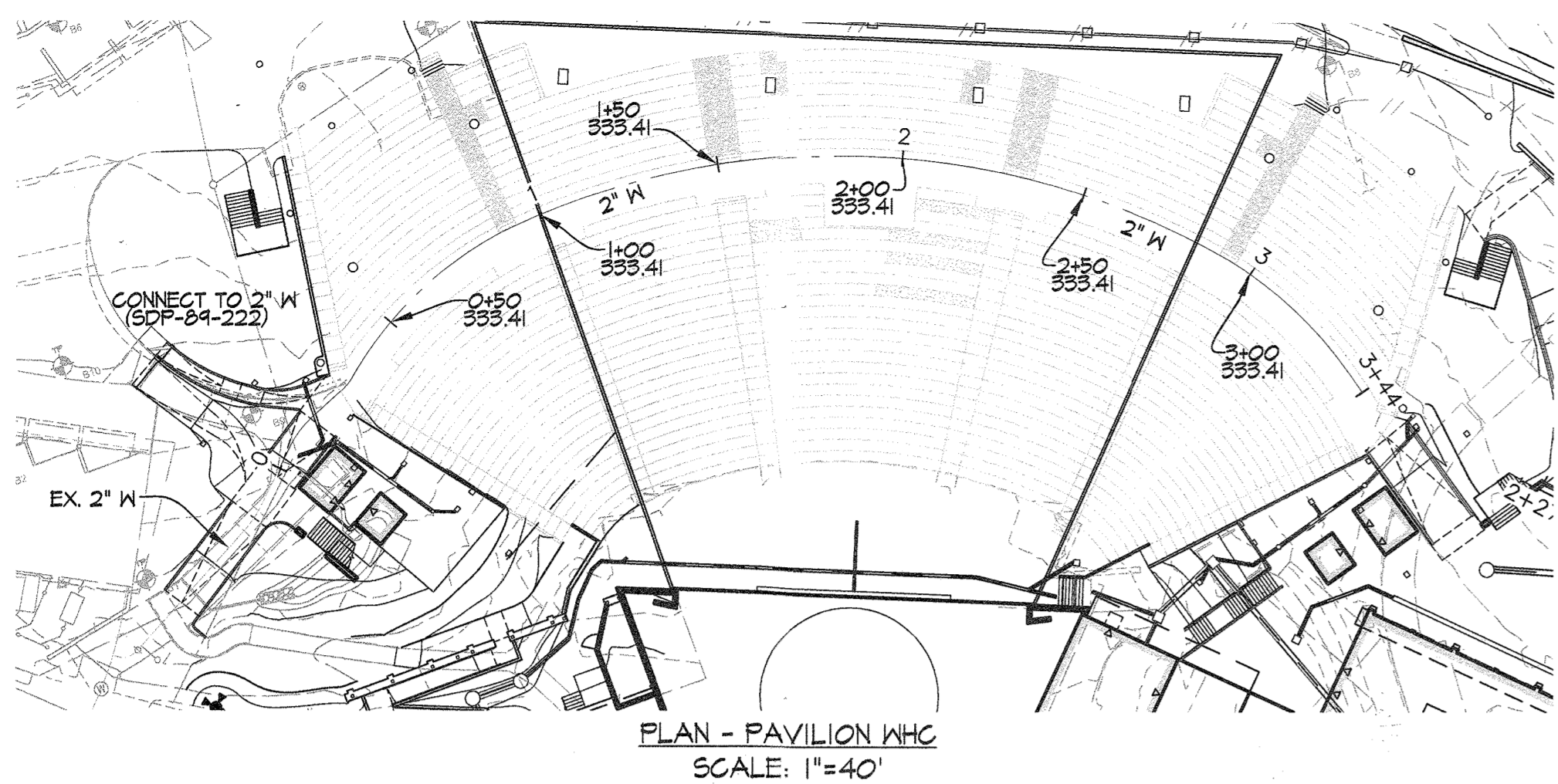


REDEVELOPMENT PHASES 2 & 3
REVISED HANDICAP ACCESSIBILITY PLAN, GRADING & PARKLAND PARKING
MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23
ELECTION DISTRICT No. 5
PLAT Nos. 4305 & 4306
HOWARD COUNTY, MARYLAND

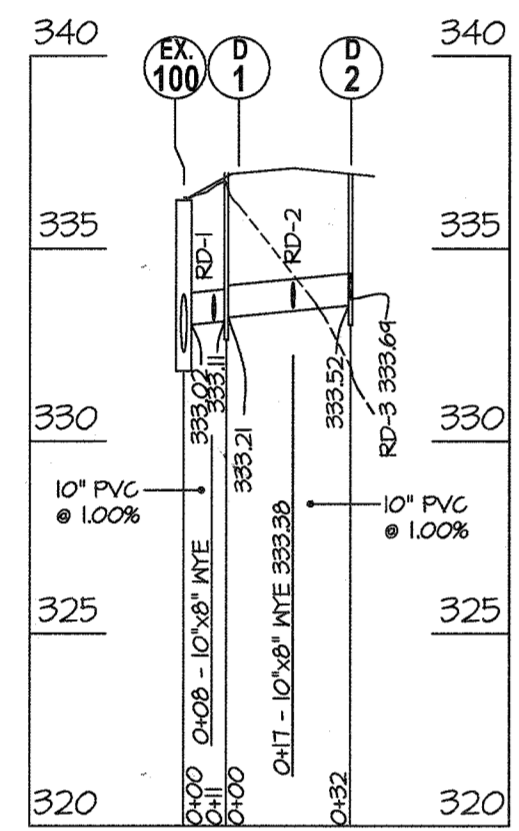
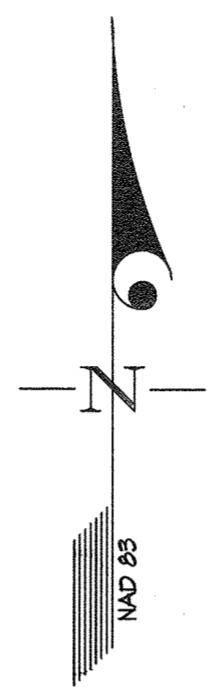
PROPOSED PARKING ON THE COLUMBIA ASSOCIATION, INC. DOWNTOWN PARKLAND PROPERTY PER THIS SDP.
(TOTAL AREA = 12,257 SF)
SEE GENERAL NOTE 44 ON SHEET 1

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
APRIL, 2016	36-1	20 OF 26

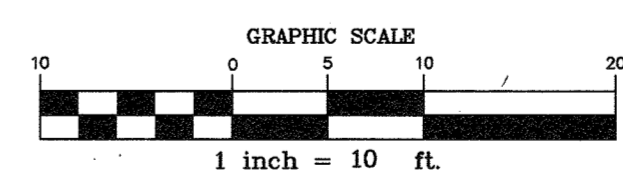
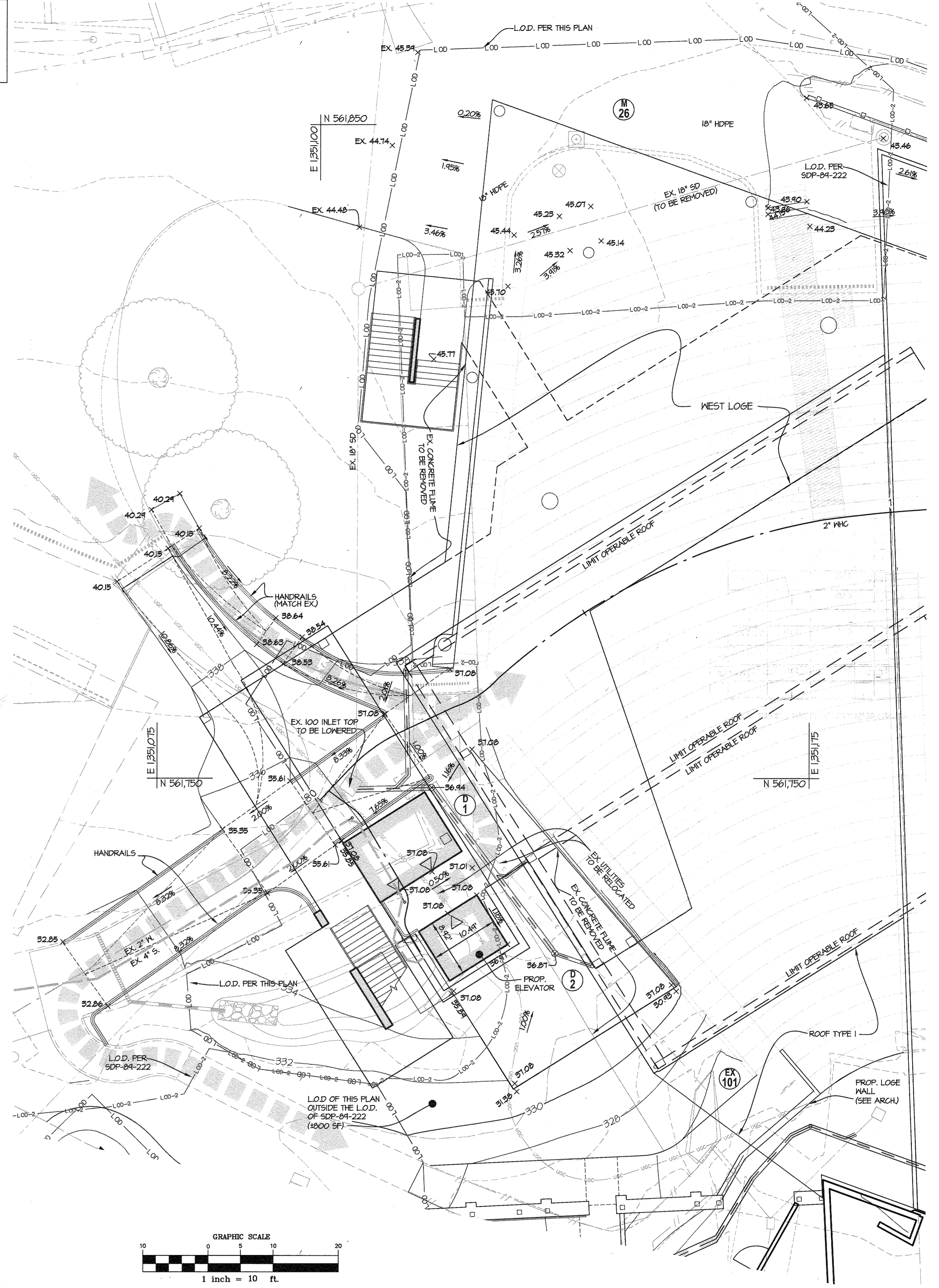
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LEGEND
 L-00 LIMIT OF DISTURBANCE (THIS PLAN)
 L-00-2 LIMIT OF DISTURBANCE (SDP-04-222)
 EXPANDED L.O.D. OF THIS PLAN OUTSIDE OF SDP-04-222
 HANDICAP ACCESSIBLE PATH



NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	REMARKS	LOCATIONS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
D-1	8" NYLOPLAST BASIN	8"	336.94	-----			333.21	333.11			NYLOPLAST 8" DRAIN BASIN OR EQUIV.	PRIVATE	
D-2	8" NYLOPLAST BASIN	8"	336.87	-----			333.64	333.52			NYLOPLAST 8" DRAIN BASIN OR EQUIV.	PRIVATE	



APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *N. J. Joplin* 5-17-18
 Chief, Division of Land Development: *V. St. Onge* 5-17-18
 Chief, Development Engineering Division: *C. L. ...* 5-10-18

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10415 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 444-741-1974

OWNER
 LOT 23
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA, MARYLAND 21044
 ATTN: MS. NIHA BASU
 410-740-0029

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-580-1520 DC/VA: 301-588-2524 FAX: 301-421-4186

PREPARED FOR:
 MERRIWEATHER POST PAVILION
 P.O. BOX 112
 COLUMBIA, MARYLAND 21044
 ATTN: BRAD CANFIELD
 410-715-5550

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975
 EXPIRATION DATE: MAY 26, 2016
 5/1/18

REDEVELOPMENT PHASES 2 & 3
 REVISIONS TO GRADING PLAN - WEST LOGE ACCESS
 SCALE: 1"=10'

MERRIWEATHER POST PAVILION & MERRIWEATHER PARK AT SYMPHONY WOODS TOWN CENTER, SECTION 1, LOTS 13 & 23

SCALE: AS SHOWN
 ZONING: NT OPEN SPACE
 G. L. W. FILE No.: 94077

DATE: MAY, 2018
 TAX MAP - GRID: 36-1
 SHEET: 21 OF 26

ELECTION DISTRICT No. 5
 PLAT Nos. 4305 & 4306
 HOWARD COUNTY, MARYLAND

MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 Civil / Structural Engineers
 1220-G East Joppa Road, Suite 505
 Towson, Maryland 21286
 410-821-1690
 410-821-1748 Fax

STATE OF MARYLAND
 15008 TORREY
 No. 37129
 PROFESSIONAL ENGINEER
 PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 37129, EXPIRATION DATE: 07/01/2017.

verizon
 MERRIWEATHER POST PAVILION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044 (MONTGOMERY COUNTY)

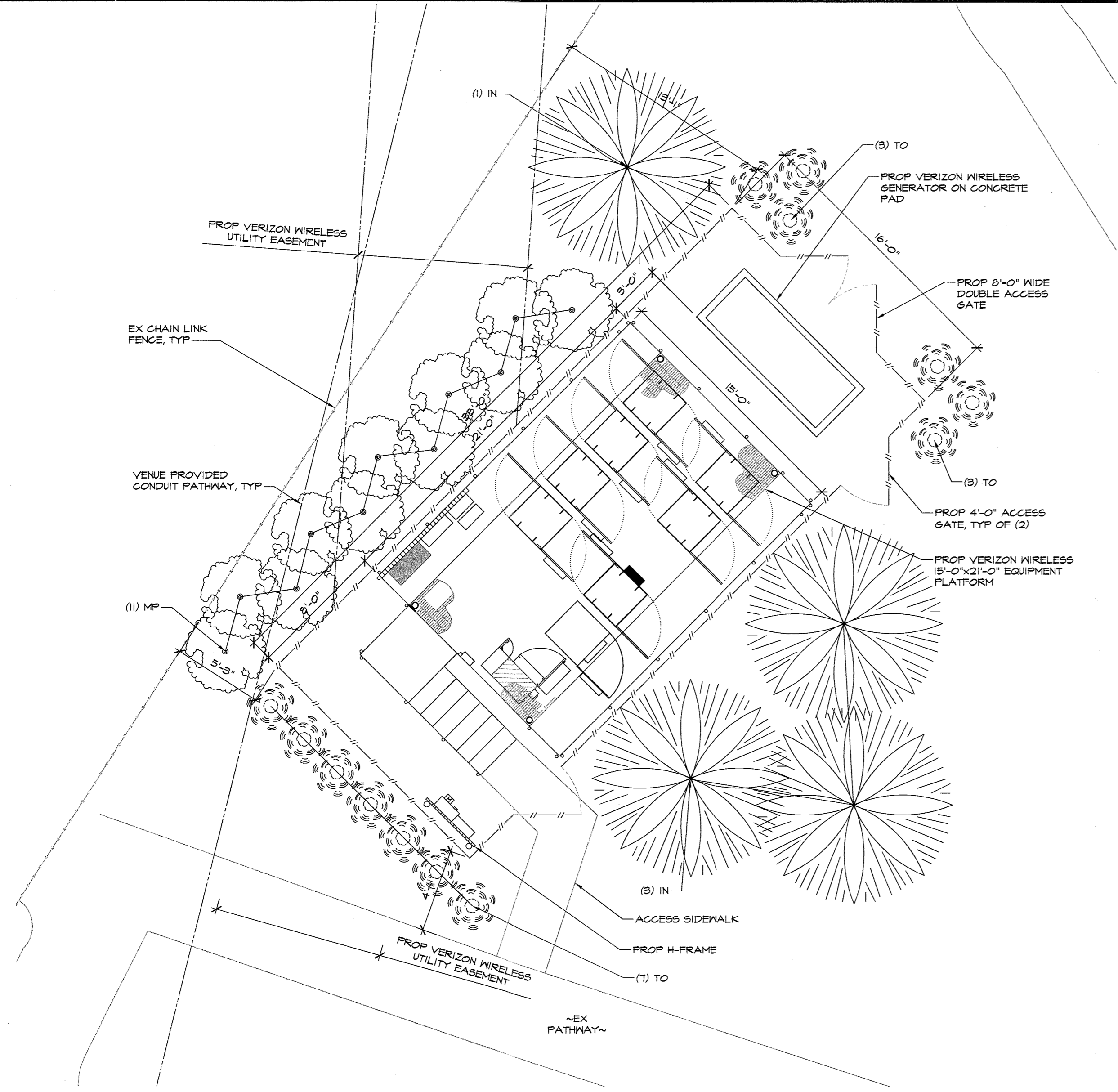
REVISIONS:

NO.	DESCRIPTION	DATE
1	REVIEW COMMENTS	05/20/16

DESIGNED BY: JT
 DRAWN BY: A.J.L.
 PROJECT NO: 10427.1118
 DATE: 03/07/2016
 SCALE: AS NOTED

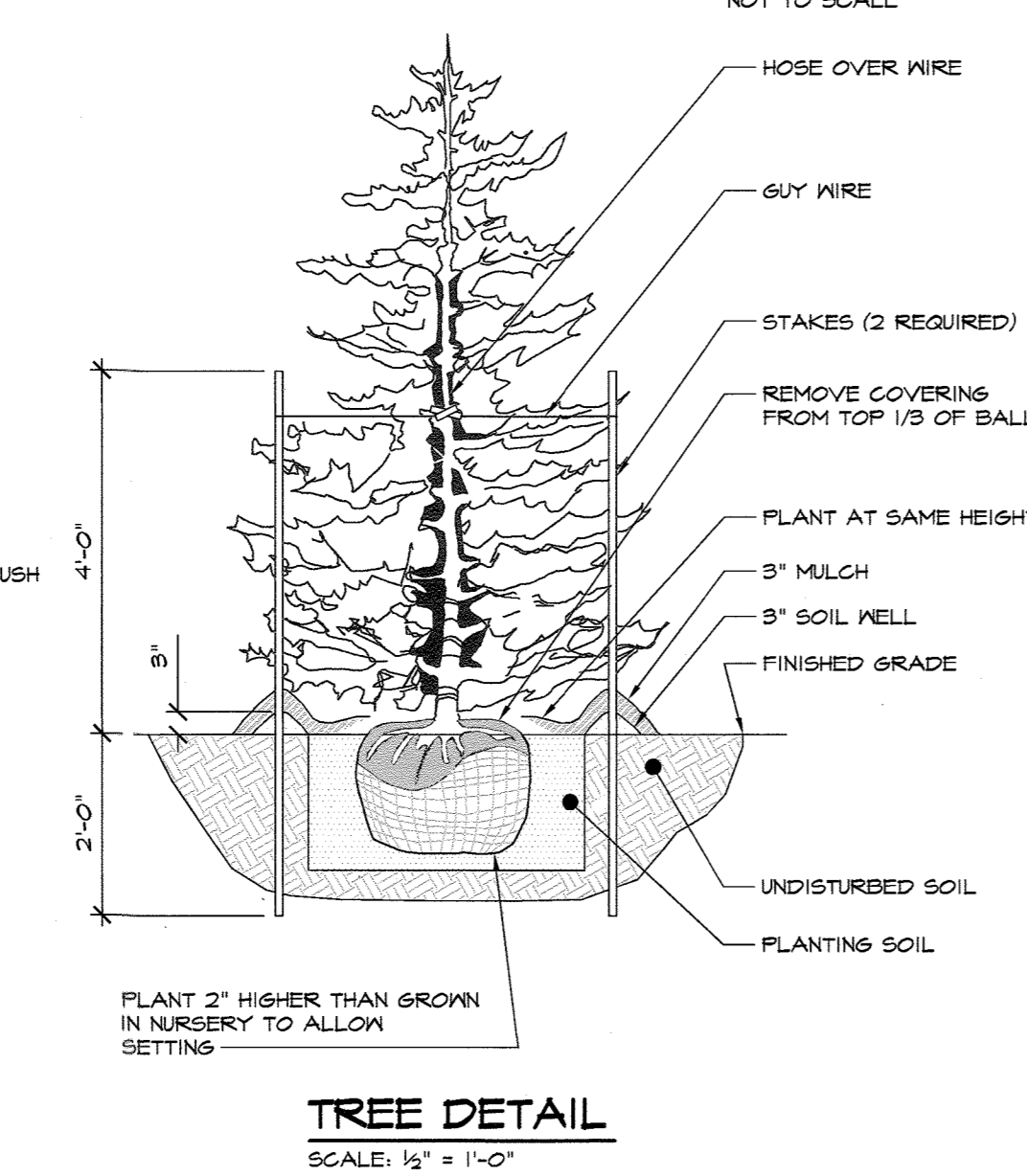
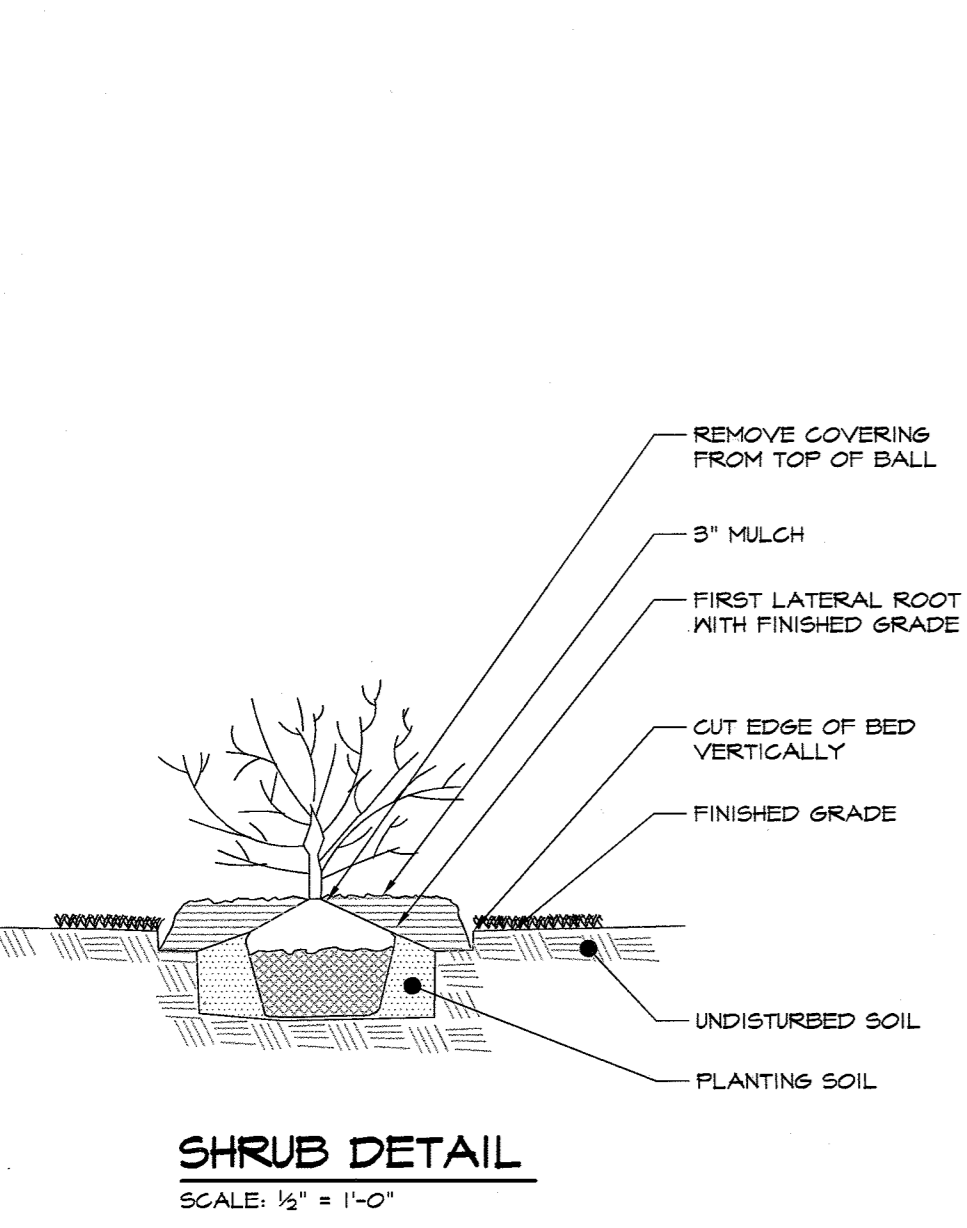
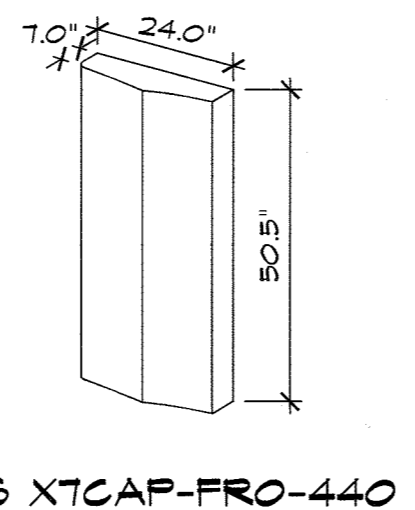
TITLE: **Site Development Plan - Site Details**

SHEET: **22 of 26**

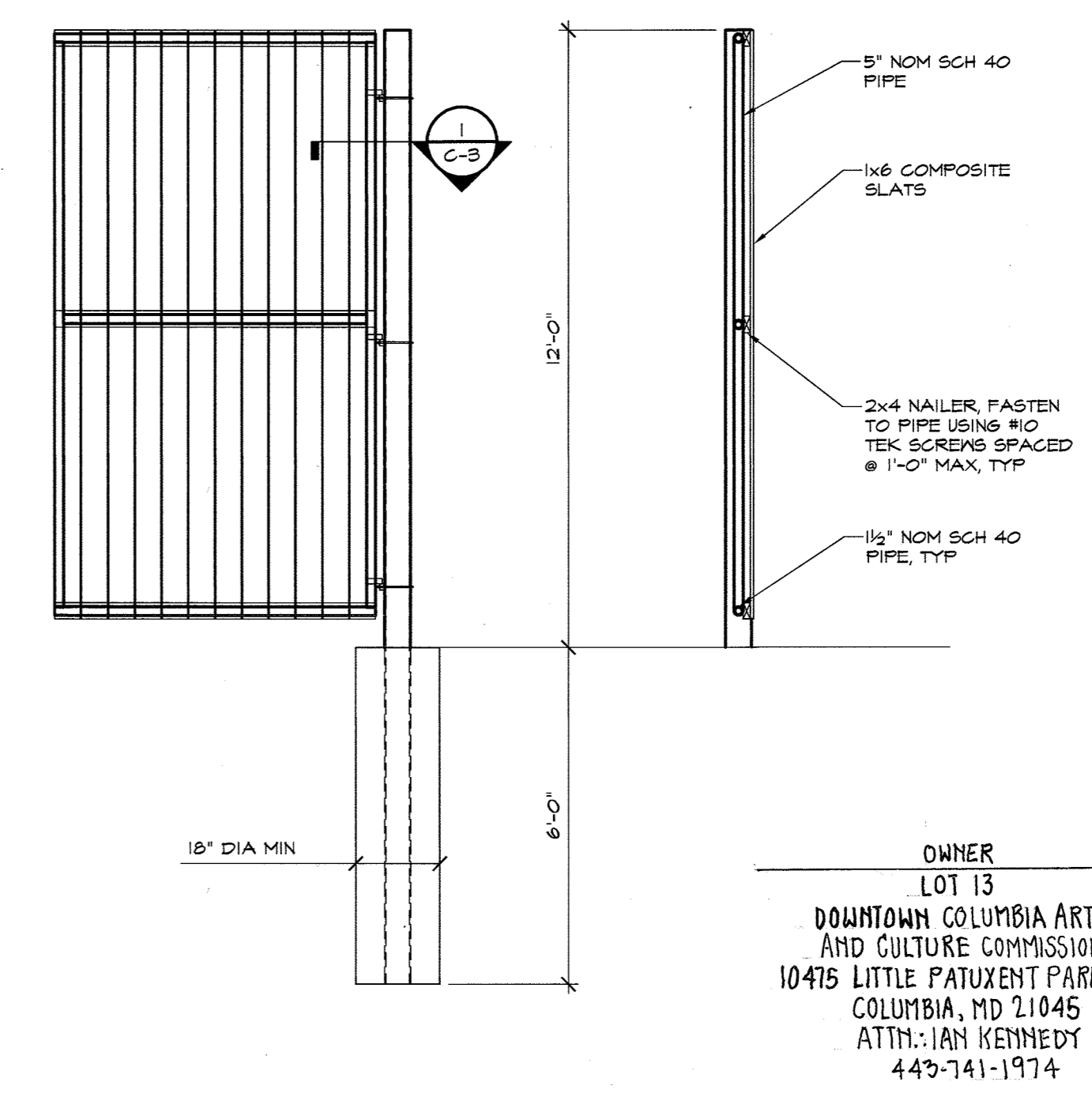
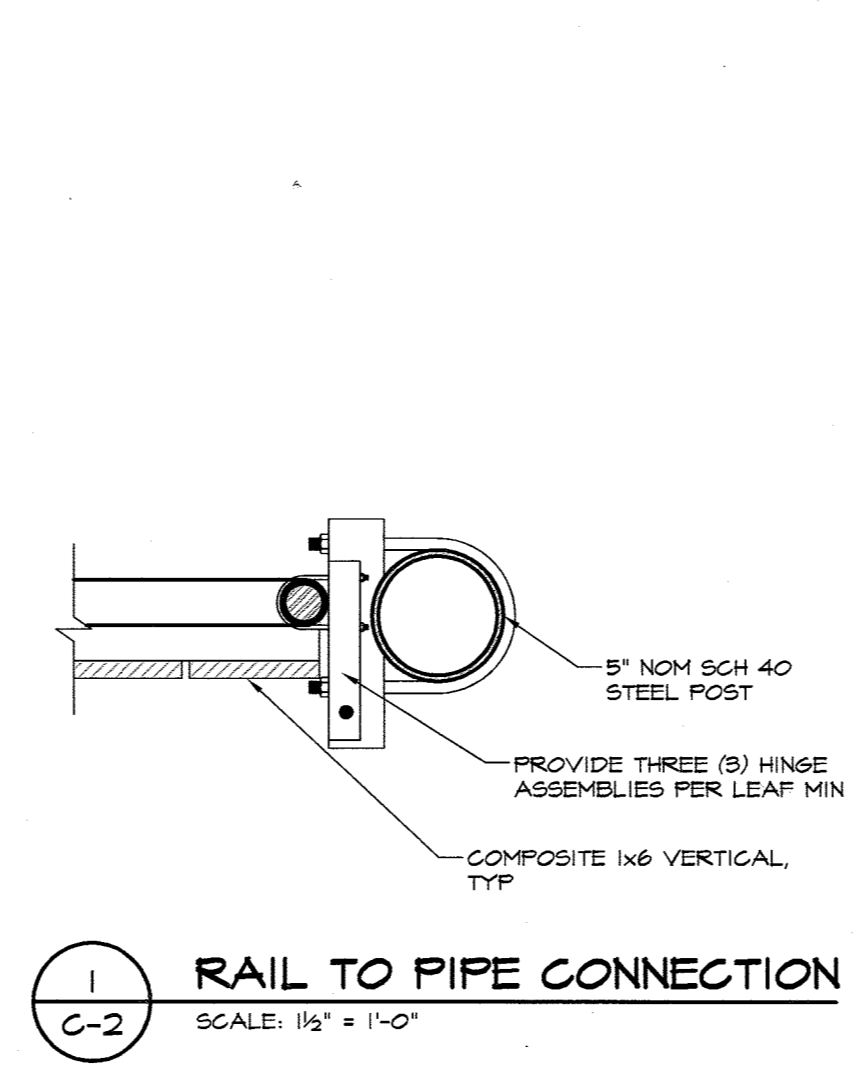
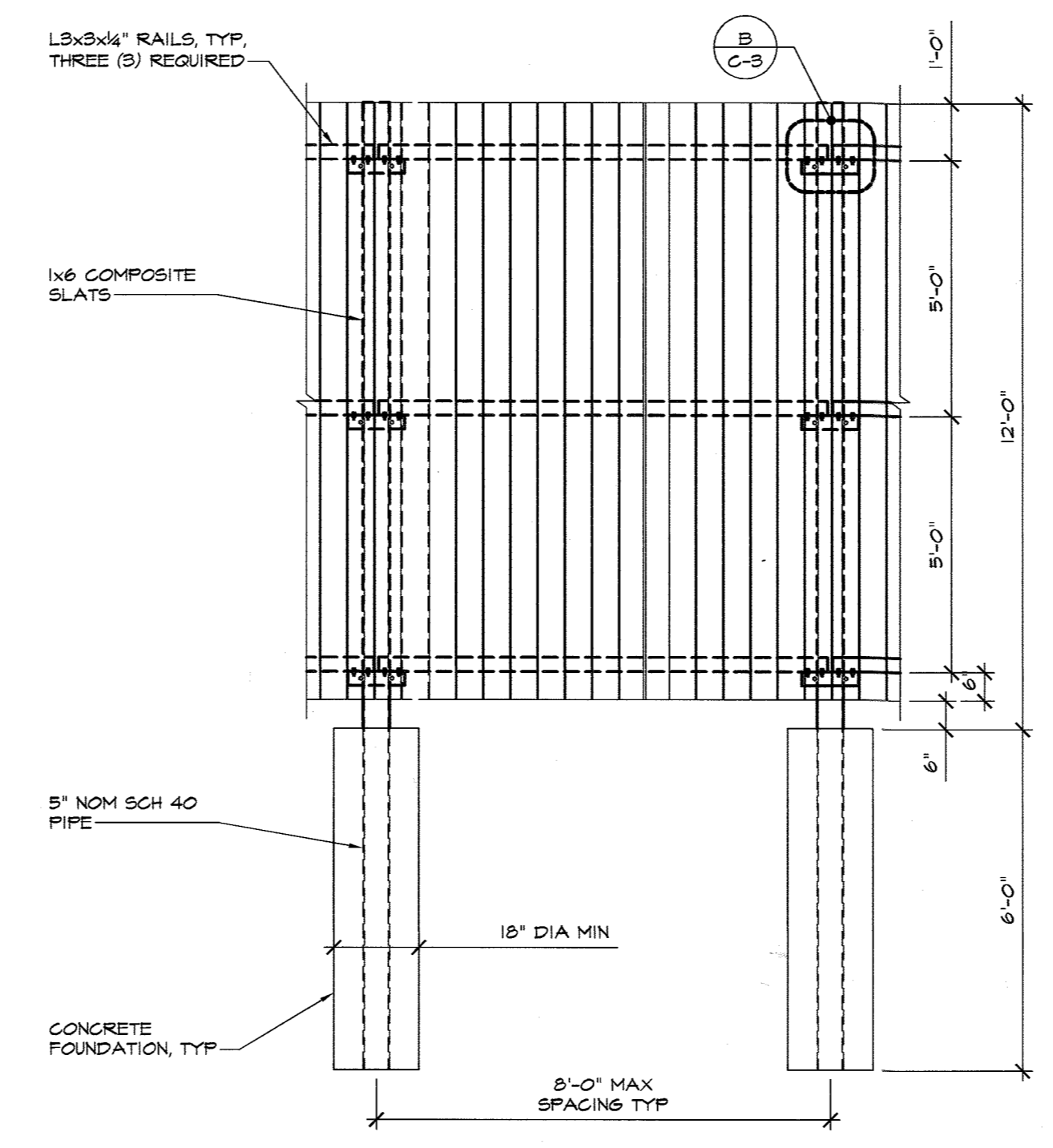


PLANTING SCHEDULE

SYM.	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
TO	13	THUJA OCCIDENTALIS ARBORVITAE	EMERALD GREEN	24"-48" HT.	B4B/C6	AS SHOWN
MP	11	MYRICA PENNSYLVANICA	BAYBERRY	48" HT.	B4B/C6	AS SHOWN
IN	4	ILEX NELLIE R. STEVENS	NELLIE R. STEVENS HOLLY	6'-0" HT.	B4B	AS SHOWN



VERIZON WIRELESS ANTENNA DETAILS
 NOT TO SCALE



NOTES:
 1. COORDINATE COMPOSITE SLAT COLOR WITH OWNER'S SPECIFICATIONS.
 2. FENCING SHALL SCREEN TO 100% OPACITY.

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

OWNER
 LOT 23
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
 10630 LITTLE PATUXENT PARKWAY
 CENTURY PLAZA 315
 COLUMBIA MARYLAND 21044
 ATTN: MS. MINA BASU
 410-740-0029

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Nadine J. J. J. 7-20-16
 Director Date
Wadsworth 7-19-16
 Chief, Division of Land Development Date
Ch. J. J. 7-14-16
 Chief, Development Engineering Division Date

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: December 17, 2015

811
 Know what's below.
 Call before you dig.
 PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

MRA
MORRIS & RITCHE
ASSOCIATES, INC.
 Civil/Structural Engineers
 1220-C East Johns Road, Suite 505
 Towson, Maryland 21286
 410-821-1690
 410-821-1748 Fax



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 37198, EXPIRATION DATE: 07/01/2017.

verizon
 MERRIWEATHER POST PAVILION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MARYLAND 21044 (MONTGOMERY COUNTY)

REVISIONS:

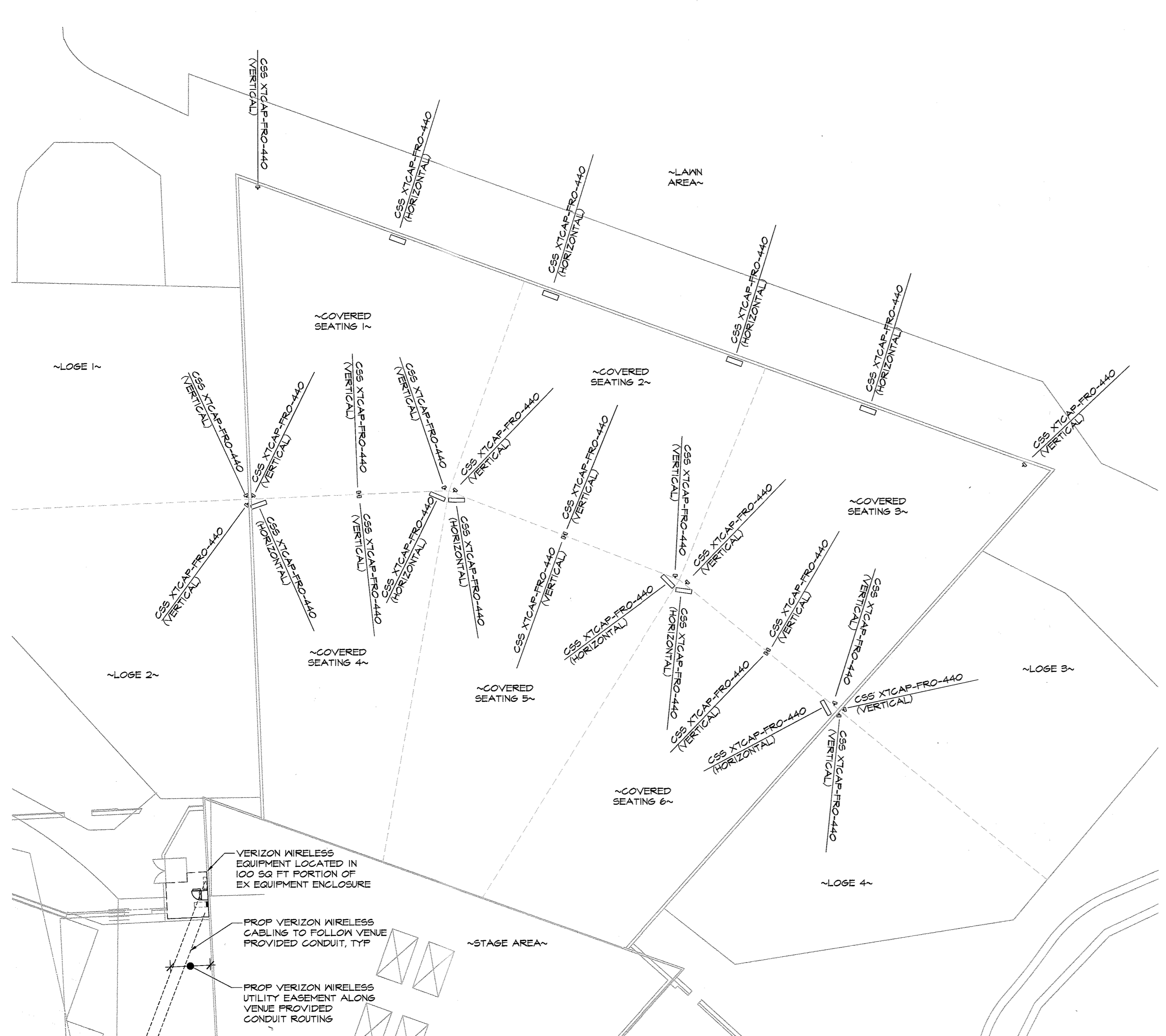
No.	DESCRIPTION	DATE
1	REVIEW COMMENTS	05/20/16

DESIGNED BY: JT
 DRAWN BY: A-J
 PROJECT NO: 10427.1118
 DATE: 03/07/2016
 SCALE: AS NOTED

TITLE:
Site Development Plan - Site Details

SHEET:

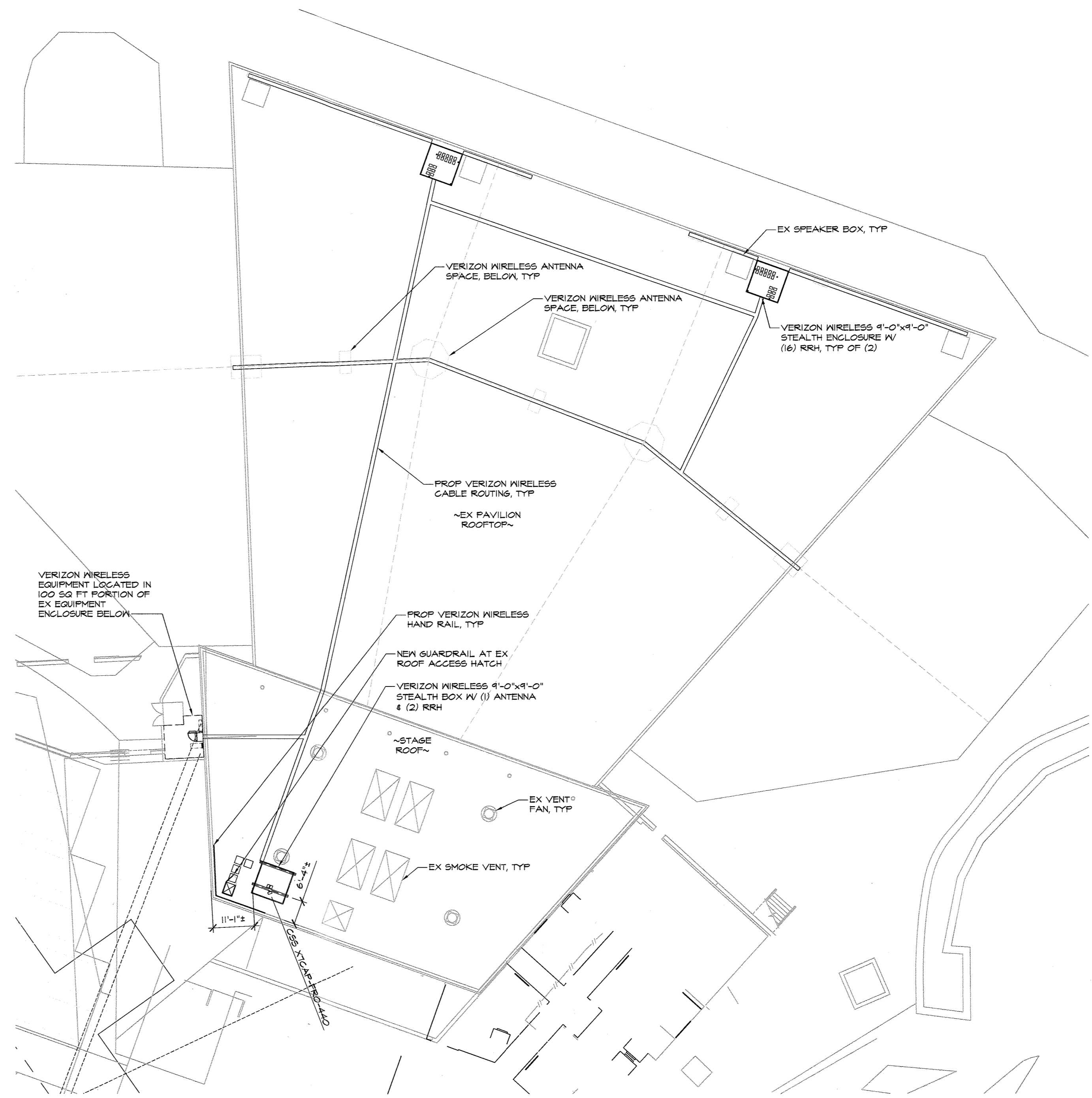
23 of 26



PAVILION ANTENNA & EQUIPMENT LOCATIONS (BELOW ROOF)
 SCALE: 1" = 20'-0"

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 ATTN: IAN KENNEDY
 443-741-1974

OWNER
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 COLUMBIA MARYLAND 21044
 ATTN: MS. MINA BASU
 410-740-0029



PAVILION ANTENNA & EQUIPMENT LOCATIONS (ROOF LEVEL)
 SCALE: 1" = 20'-0"

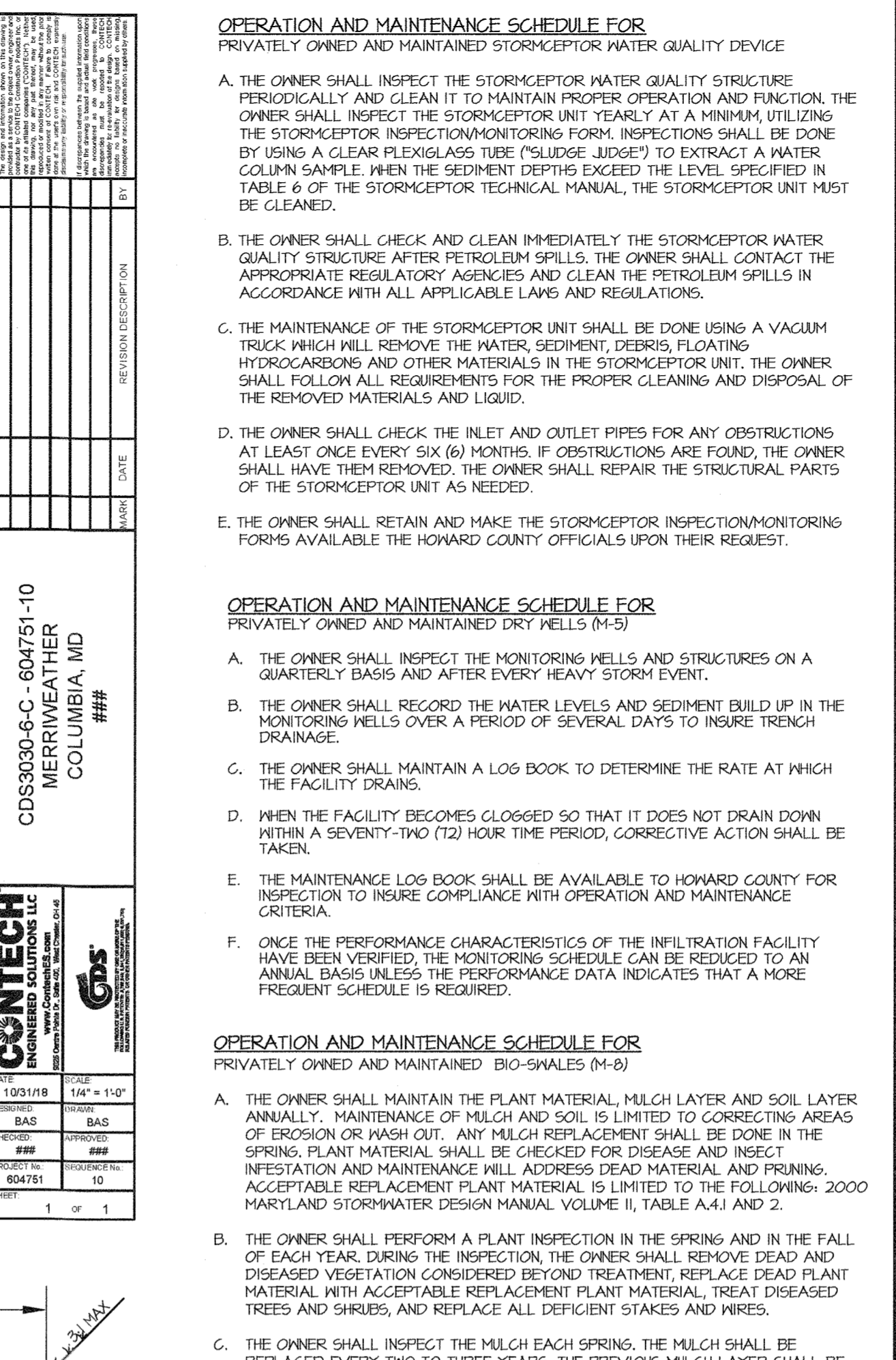
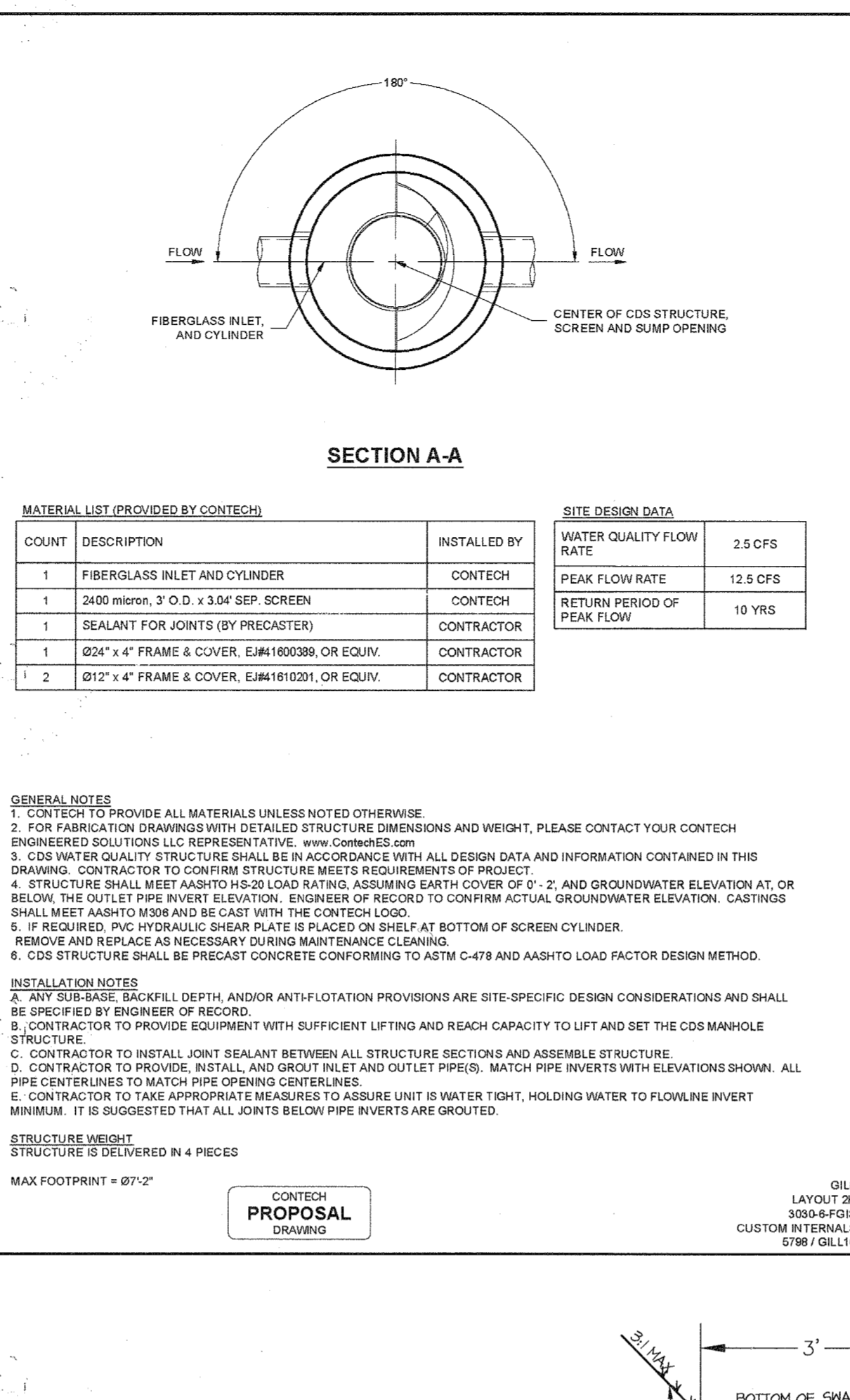
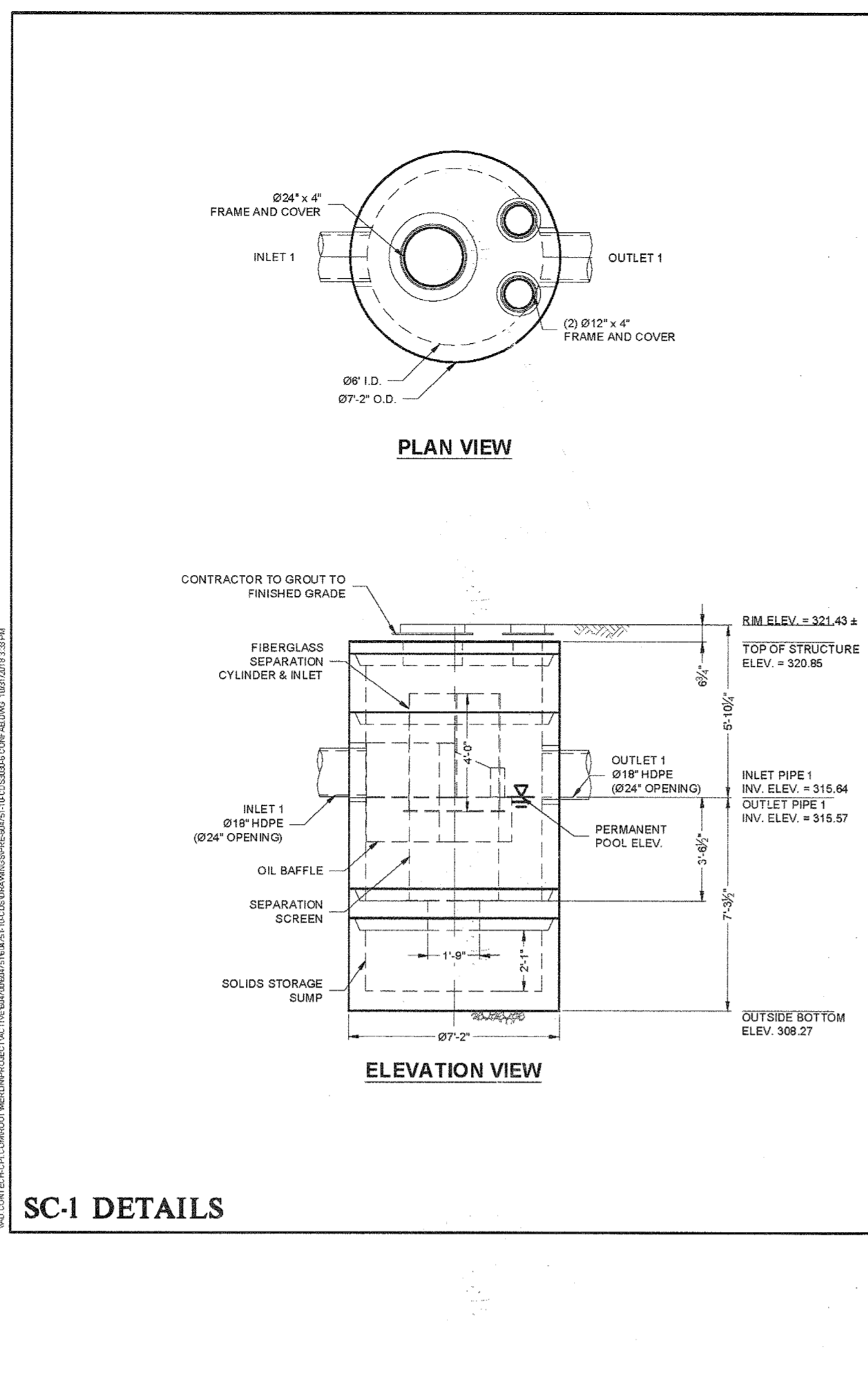
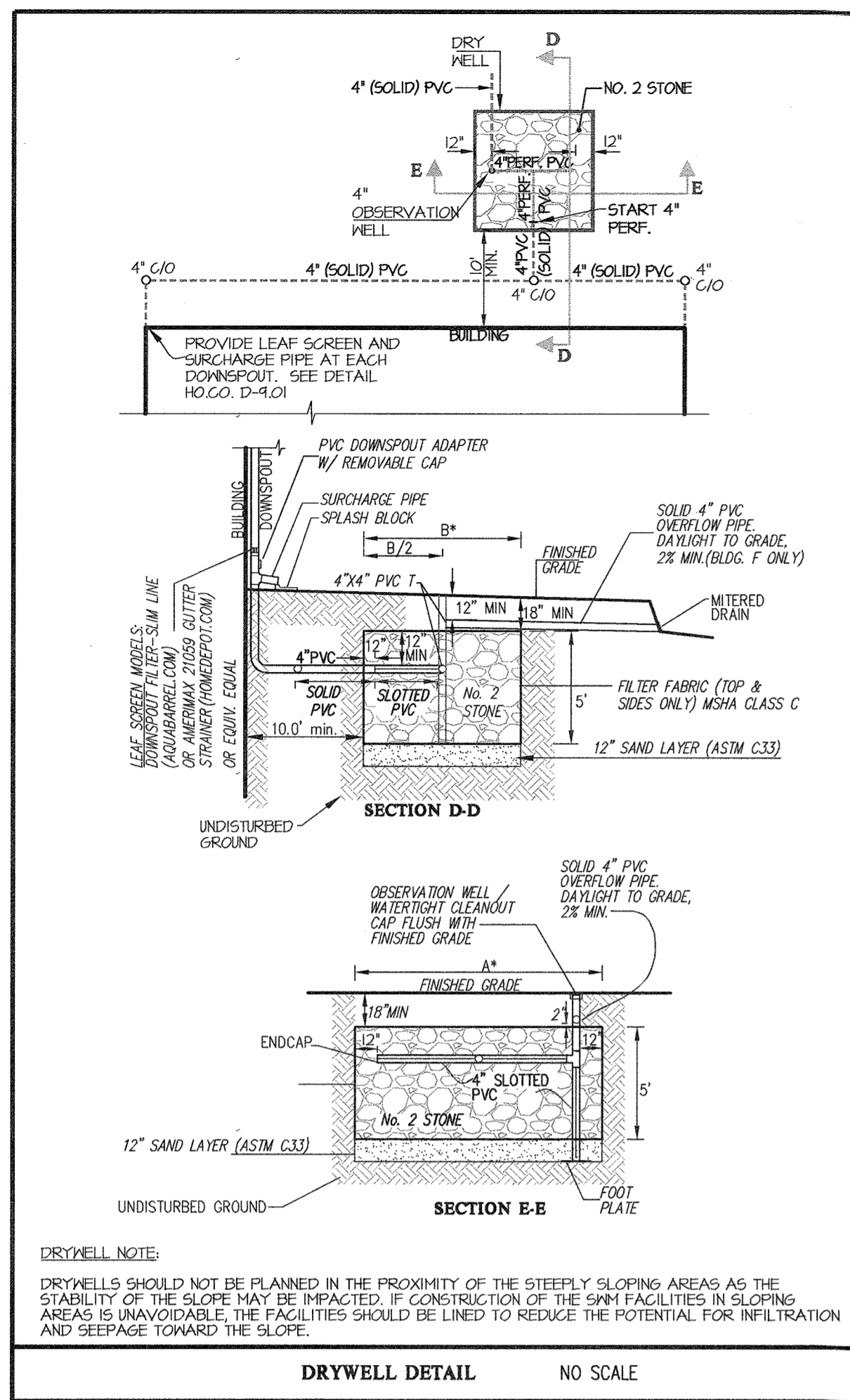
NOTE:
 VERIZON WIRELESS ROOFTOP CONDUIT DEFLECTED FOR REFERENCE ONLY. PROP CABLE ROUTING TO BE COORDINATED IN FIELD W/ VENUE PROVIDED CONDUIT.



Know what's below. Call before you dig.
 PROTECT YOURSELF, GIVE THREE WORKING DAYS NOTICE
 THIS DRAWING DOES NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. ALL CONSTRUCTION MUST BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 AND ALL RULES AND REGULATIONS THERE TO APPURTENANT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 [Signature] 7-20-16
 Director Date
 [Signature] 7-19-16
 Chief, Division of Land Development Date
 [Signature] 7-14-15
 Chief, Development Engineering Division Date

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 Date: DECEMBER 17, 2015



APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-18-19

Chief, Division of Land Development: [Signature] Date: 12/13/19

Chief, Development Engineering Division: [Signature] Date: 11-27-19

DESIGNED BY: AWL

DRAWN BY: AWL

CHECKED BY: DDS

DATE: 11/11/2019

REVISION: ADDED WATER AND SEWER PROFILES PER ARCHITECT CHANGES

OWNER

LOT 23 - MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
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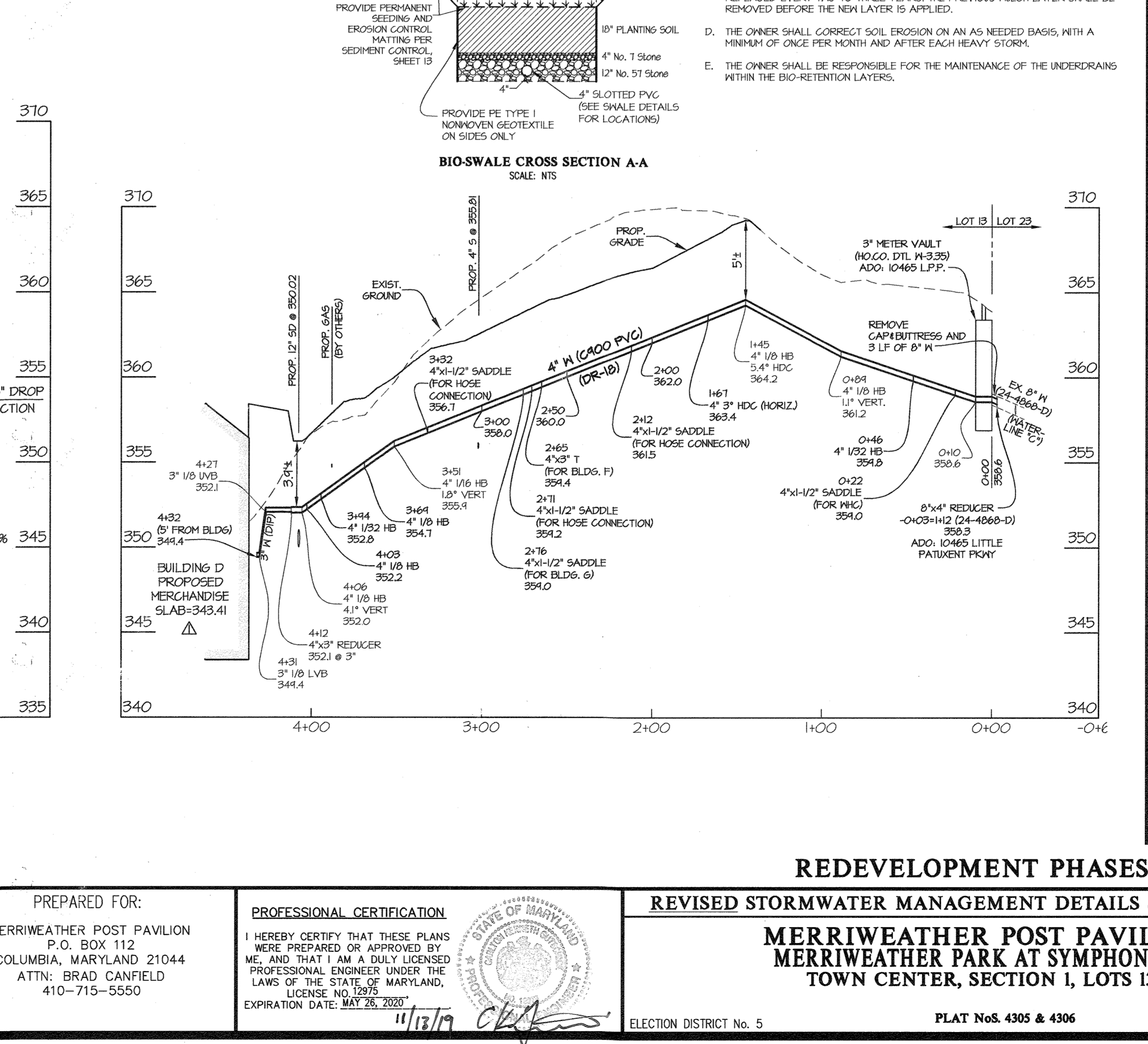
PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 26, 2020

11/13/19 [Signature]



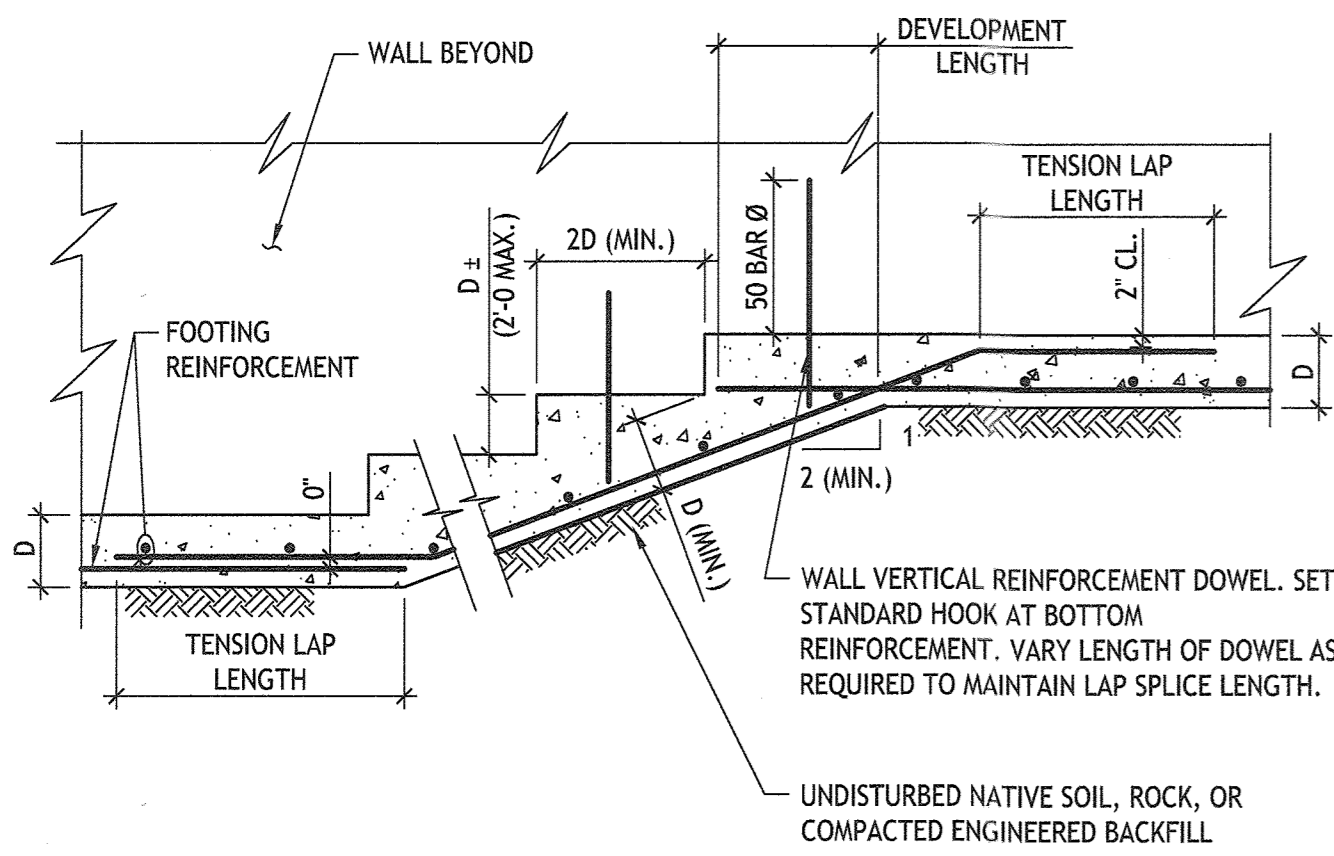
GENERAL NOTES

- MATERIAL SPECIFICATIONS FOR ALLOWABLE MATERIALS TO BE USED IN THESE PRACTICES ARE DETAILED IN TABLE B.4.1.
- PLANTING SOIL SHALL BE A UNIFORM MIX, FREE OF STONES, STUMPS, ROOTS OR OTHER SIMILAR OBJECTS LARGER THAN TWO INCHES. NO OTHER MATERIALS OR SUBSTANCES SHALL BE MOVED OR DUMPED WITHIN THE MICRO-BIORETENTION PRACTICE THAT MAY BE HARMFUL TO PLANT GROWTH, OR PROVE A HINDERANCE TO THE PLANTING OR MAINTENANCE OPERATIONS. THE PLANTING SOIL SHALL BE FREE OF BERMUDA GRASS, QUACKGRASS, JOHNSON GRASS, OR OTHER NOODOUS WEEDS AS SPECIFIED UNDER COMAR 15.06.01.05.
- THE PLANTING SOIL SHALL BE TESTED AND SHALL MEET THE FOLLOWING CRITERIA:
• SOIL COMPONENT - LOAMY SAND OR SANDY LOAM (USDA SOIL TEXTURE CLASSIFICATION) ORGANIC MATTER 1.5 - 4% (BY WEIGHT)
• SOIL COMPONENT - MINIMUM 10% BY DRY WEIGHT (ASTM D 2974) IN THIS CAN BE MET WITH A MIXTURE OF LOAMY SAND (60%-65%) AND COMPOST (35% TO 40%) OR SANDY LOAM (30%), COARSE SAND (30%), AND COMPOST (40%).
• CLAY CONTENT - MEDIA SHALL HAVE A CLAY CONTENT OF LESS THAN 5%.
• PH RANGE - SHOULD BE BETWEEN 5.5 - 7.0. AMENDMENTS (E.G., LIME, ION SULFATE PLUS SULFUR) MAY BE MIXED INTO THE SOIL TO INCREASE OR DECREASE PH.
- THERE SHALL BE AT LEAST ONE SOIL TEST PER PLOT, EACH TEST SHALL CONSIST OF BOTH THE STANDARD SOIL TEST FOR PH, AND ADDITIONAL TESTS OF ORGANIC MATTER AND SULFUR. A TEXTURAL ANALYSIS IS REQUIRED FROM THE SITE STOCKPILE. IF TOPSOIL IS IMPORTED, THEN A TEXTURE ANALYSIS SHALL BE PERFORMED FOR EACH LOCATION WHERE THE TOPSOIL WAS EXCAVATED.
- COMPACTION IT IS VERY IMPORTANT TO MINIMIZE COMPACTION OF BOTH THE BIORETENTION PRACTICES AND THE REQUIRED BACKFILL. WHEN POSSIBLE, USE EXCAVATION HOES TO REMOVE ORIGINAL SOIL. IF PRACTICES ARE EXCAVATED USING A LOADER, THE CONTRACTOR SHOULD USE WIDE TRACK OR MARSH TRACK EQUIPMENT OR LIGHT EQUIPMENT WITH TIRE TYPE TIRES. USE OF EQUIPMENT WITH NARROW TRACKS OR NARROW TIRES, RUBBER TIRES WITH LARGE LUGS, OR HIGH-PRESSURE TIRES WILL CAUSE EXCESSIVE COMPACTION RESULTING IN REDUCED INFILTRATION RATES AND IS NOT ACCEPTABLE. COMPACTION WILL SIGNIFICANTLY CONTRIBUTE TO DESIGN FAILURE.
- COMPACTION CAN BE ALLEVATED AT THE BASE OF THE BIORETENTION FACILITY BY USING A PRIMARY TILLING OPERATION SUCH AS A CHISEL PLOW, HIPPER, OR SUBSOILER. THESE TILLING OPERATIONS ARE TO REFRACTOR THE SOIL PROFILE THROUGH THE 12 INCH COMPACTION ZONE. SUBSTITUTE METHODS MUST BE APPROVED BY THE ENGINEER. ROTOTILLERS TYPICALLY DO NOT TILL DEEP ENOUGH TO REDUCE THE EFFECTS OF COMPACTION FROM HEAVY EQUIPMENT.
- ROTTILL 2 TO 3 INCHES OF SAND INTO THE BASE OF THE BIORETENTION FACILITY BEFORE BACKFILLING THE OPTIONAL SAND LAYER. PUMP ANY PONDED WATER BEFORE PREPARING (ROTTILLING) BASE.
- WHEN BACKFILLING THE TOPSOIL OVER THE SAND LAYER, FIRST PLACE 3 TO 4 INCHES OF TOPSOIL OVER THE SAND, THEN ROTOTILL THE SAND/TOPSOIL TO CREATE A GRADATION ZONE. BACKFILL THE REMAINDER OF THE TOPSOIL TO FINAL GRADE. WHEN BACKFILLING THE BIORETENTION FACILITY, PLACE SOIL IN LIFTS 12 TO 18" DO NOT USE HEAVY EQUIPMENT WITH THE BIORETENTION BASIN. HEAVY EQUIPMENT CAN BE USED AROUND THE PERIMETER OF THE BASIN TO SUPPLY SOILS AND SAND. GRADE BIORETENTION MATERIALS WITH LIGHT EQUIPMENT SUCH AS A COMPACT LOADER OR A DOZER/LOADER WITH MARSH TRACKS.
- PLANT MATERIAL RECOMMENDED PLANT MATERIAL FOR MICRO-BIORETENTION PRACTICES CAN BE FOUND IN APPENDIX A, SECTION A.2.3.
- PLANT INSTALLATION COMPOST IS A BETTER ORGANIC MATERIAL SOURCE, IS LESS LIKELY TO FLOAT, AND SHOULD BE PLACED IN THE INVERT AND OTHER LOW AREAS. MULCH SHOULD BE PLACED IN SURROUNDING TO A UNIFORM THICKNESS OF 2" TO 3". SHREDED OR CHIPPED HARDWOOD MULCH IS THE ONLY ACCEPTED MULCH. PINE MULCH AND WOOD CHIPS WILL FLOAT AND MOVE TO THE PERIMETER OF THE BIORETENTION AREA DURING A STORM EVENT AND ARE NOT ACCEPTABLE. SHREDDED MULCH MUST BE WELL AEO (6 TO 12 MONTHS) FOR ACCEPTANCE.
- ROOTSTOCK OF THE PLANT MATERIAL SHALL BE KEPT MOST DURING TRANSPORT AND ON-SITE STORAGE. THE PLANT ROOT BALL SHOULD BE PLANTED SO 1/8TH OF THE BALL IS ABOVE FINAL GRADE SURFACE. THE DIAMETER OF THE PLANTING PIT SHALL BE AT LEAST 5 INCHES LARGER THAN THE DIAMETER OF THE PLANTING BALL. SET AND MAINTAIN THE PLANT STRAIGHT DURING THE ENTIRE PLANTING PROCESS. THOROUGHLY WATER GROUND BED COVER AFTER INSTALLATION.
- TREES SHALL BE BRACED USING 2" BY 2" STAKES ONLY AS NECESSARY AND FOR THE FIRST GROWING SEASON ONLY. STAKES ARE TO BE EQUALLY SPACED ON THE OUTSIDE OF THE TREE BALL.
- GRASSES AND LEGUME SEED SHOULD BE DRILLED INTO THE SOIL TO A DEPTH OF AT LEAST ONE INCH. GRASS AND LEGUME PLUGS SHALL BE PLANTED FOLLOWING THE NON-GRASS GROUND COVER PLANTING SPECIFICATIONS.
- THE TOPSOIL SPECIFICATIONS PROVIDE ENOUGH ORGANIC MATERIAL TO ADEQUATELY SUPPLY NUTRIENTS FROM NATURAL CYCLING. THE PRIMARY FUNCTION OF THE BIORETENTION STRUCTURE IS TO IMPROVE WATER QUALITY. ADDING FERTILIZERS BEFORE OR AT A MINIMUM, AFTER THE SOIL, ONLY ADD FERTILIZER IF WOOD CHIPS OR MULCH ARE USED TO AMEND THE SOIL. ROTOTILL UREA FERTILIZER AT A RATE OF 2 POUNDS PER 1000 SQUARE FEET.
- UNDERDRAINS UNDERDRAINS SHOULD MEET THE FOLLOWING CRITERIA:
• PIPE - SHOULD BE 4" TO 6" DIAMETER SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F758, TYPE PS 28, OR AASHTO M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED, 4" RIGID PIPE (E.G., PVC OR HDPE).
• PERFORATIONS - IF PERFORATED PIPE IS USED, PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROLL. PIPE SHALL BE WRAPPED WITH A 4" (NO. 4 OR 4X) GALVANIZED HARDWARE CLOTH.
• GRAVEL - THE GRAVEL LAYER (NO. 57 STONE PREFERRED) SHALL BE AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.
• THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
• A RIGID, NON-PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQUARE FEET) TO PROVIDE A CLEAN-OUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
• A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".
- THE MAIN COLLECTOR PIPE FOR UNDERDRAIN SYSTEMS SHALL BE CONSTRUCTED AT A MINIMUM SLOPE OF 0.5%. OBSERVATION WELLS AND/OR CLEAN-OUT PIPES MUST BE PROVIDED (ONE MINIMUM PER EVERY 1000 SQUARE FEET OF SURFACE AREA).
- MISCELLANEOUS THESE PRACTICES MAY NOT BE CONSTRUCTED UNTIL ALL CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.

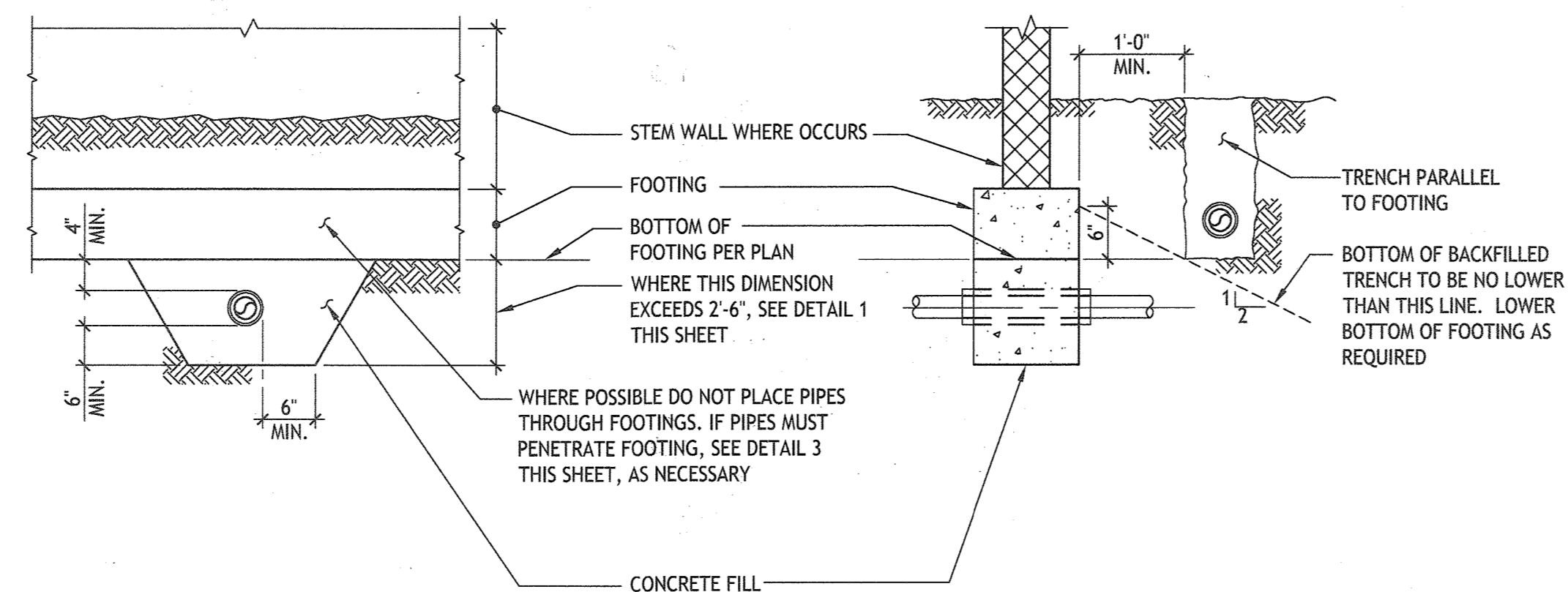
APPENDIX B.1.1 - SUPPLEMENTAL POND SPECIFICATIONS (NON-378)

SUPPLEMENTAL STORMWATER PONDS AND WETLAND MODIFICATIONS (NON-378)

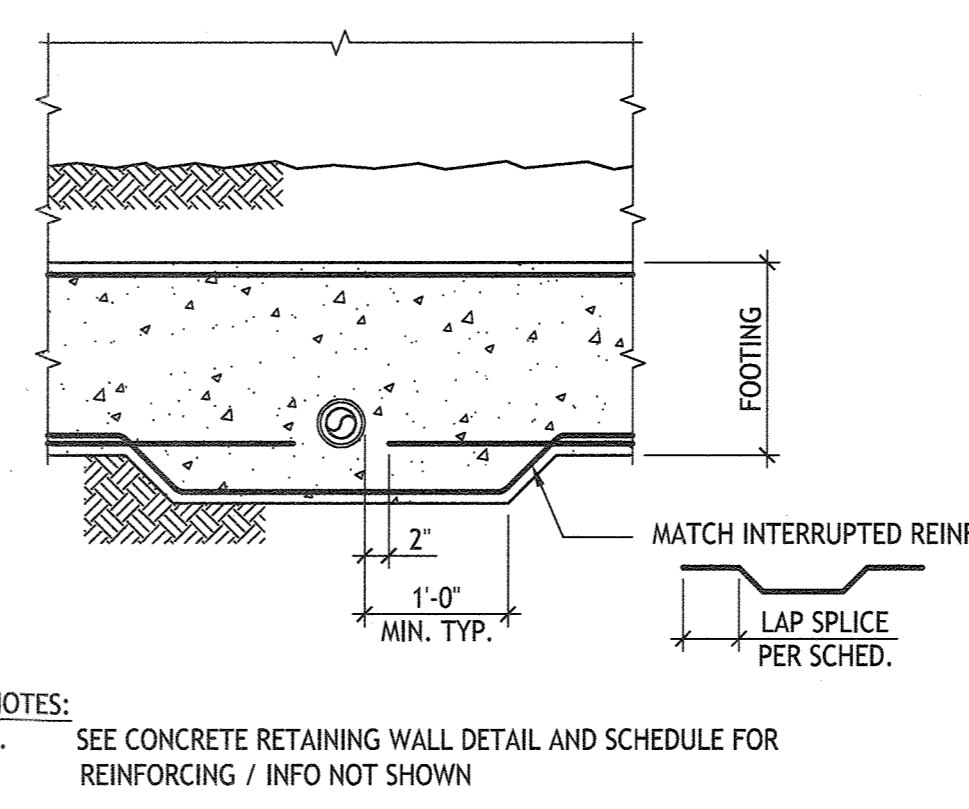
THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTIONS AS TO THE APPLICABILITY, THE MD-378 SPECIFICATIONS SUPERSEDE.



1 TYP STEPPED FOOTING SCALE: 3/4" = 1'-0"



2 TYPICAL PIPE AT FOOTING SCALE: 3/4" = 1'-0"

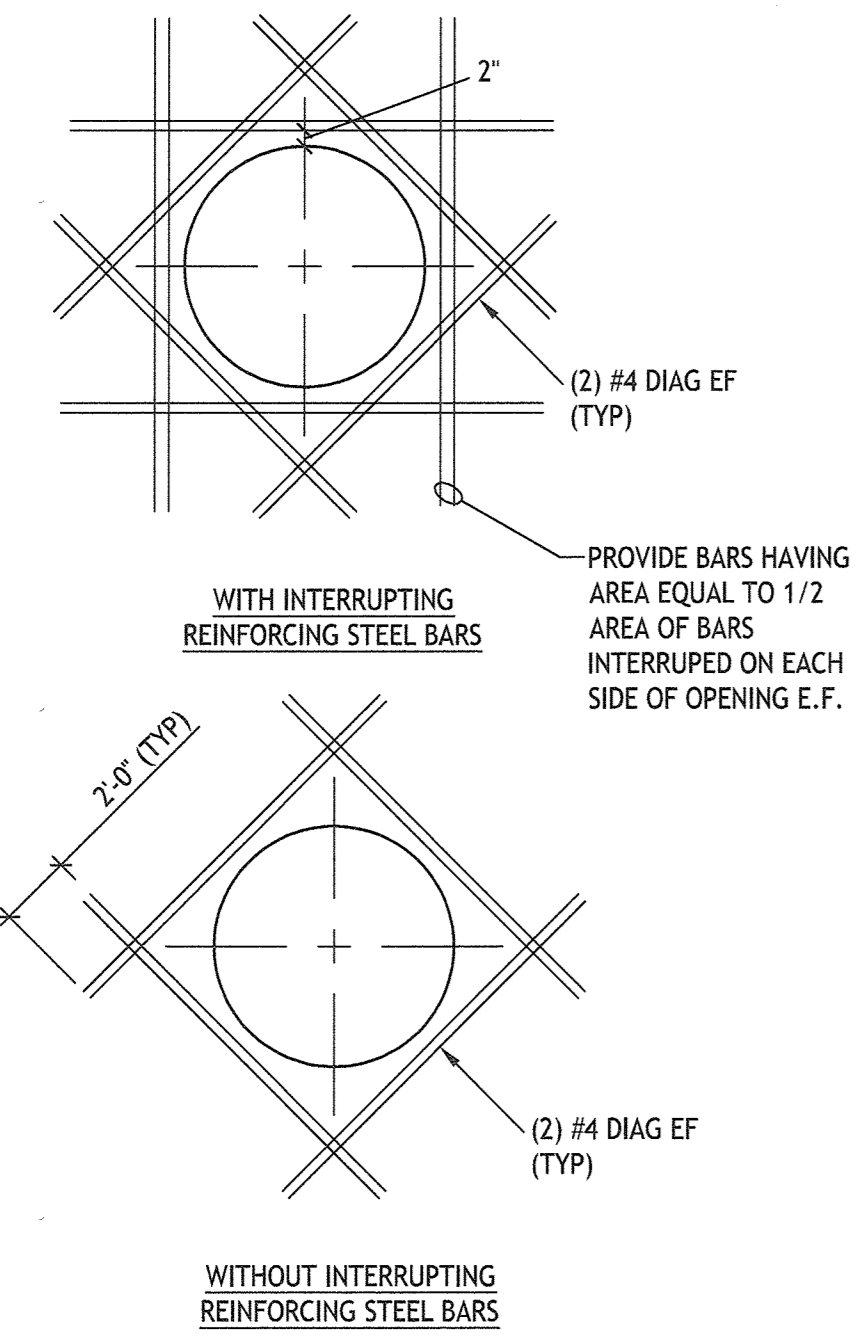


3 TYPICAL PIPE AT FOOTING SCALE: 3/4" = 1'-0"

CLASS B TENSION SPlice		FY=60000 PSI									
(UNLESS OTHERWISE SHOWN ON DRAWINGS)											
SPlice LENGTH	FC=4000 PSI	#3	#4	#5	#6	#7	#8	#9	#10	#11	
		TOP BARS	16"	22"	27"	33"	41"	55"	69"	88"	108"
OTHER BARS	12"	16"	20"	24"	30"	39"	49"	63"	77"		
DEVELOPMENT LENGTH	FC=4000 PSI	TOP BARS	13"	17"	21"	25"	32"	42"	53"	67"	83"
		OTHER BARS	12"	12"	15"	18"	23"	30"	38"	48"	59"

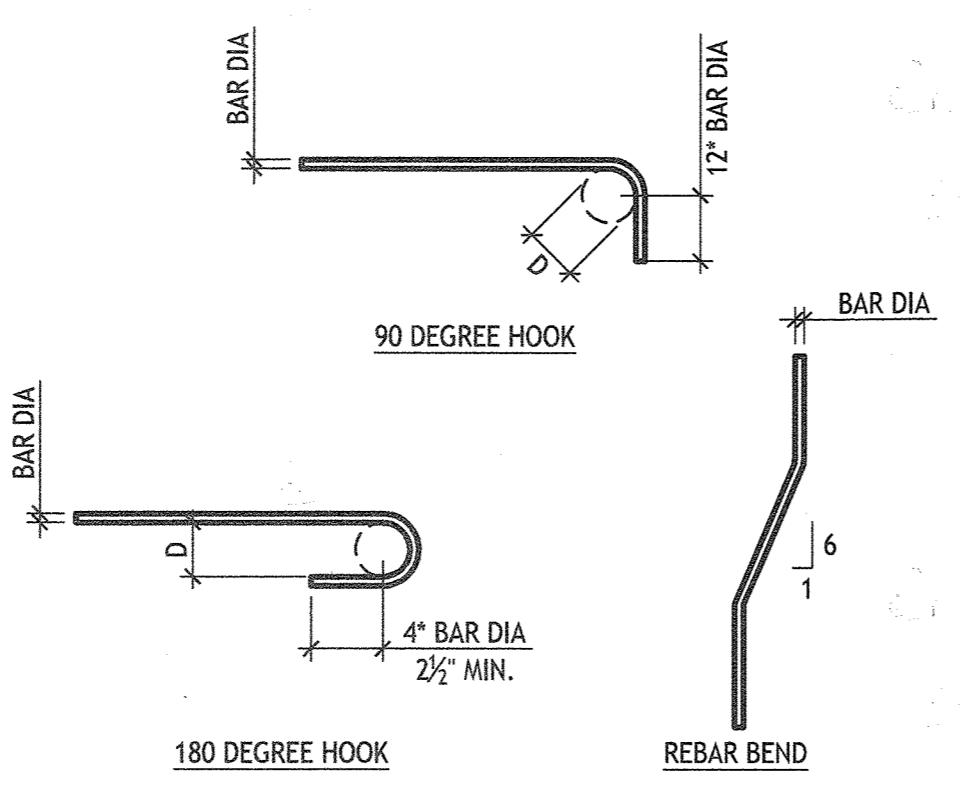
- AVOID SPlices IN REGIONS OF MAXIMUM MOMENT. IF THIS IS NOT POSSIBLE STAGGER SPlices SO THAT NOT MORE THAN 50% OF THE BARS ARE SPliced WITHIN A REQUIRED SPlice LENGTH OTHERWISE INCREASE SPlice LENGTH BY 30%.
- TOP BARS ARE DEFINED AS HORIZONTAL BARS WITH MORE THAN 12" OF FRESH CONCRETE CAST IN THE MEMBER BELOW THE REINFORCEMENT. WALL REINFORCING IS CLASSIFIED AS OTHER BARS.

4 LAP SPlice SCHEDULE NTS

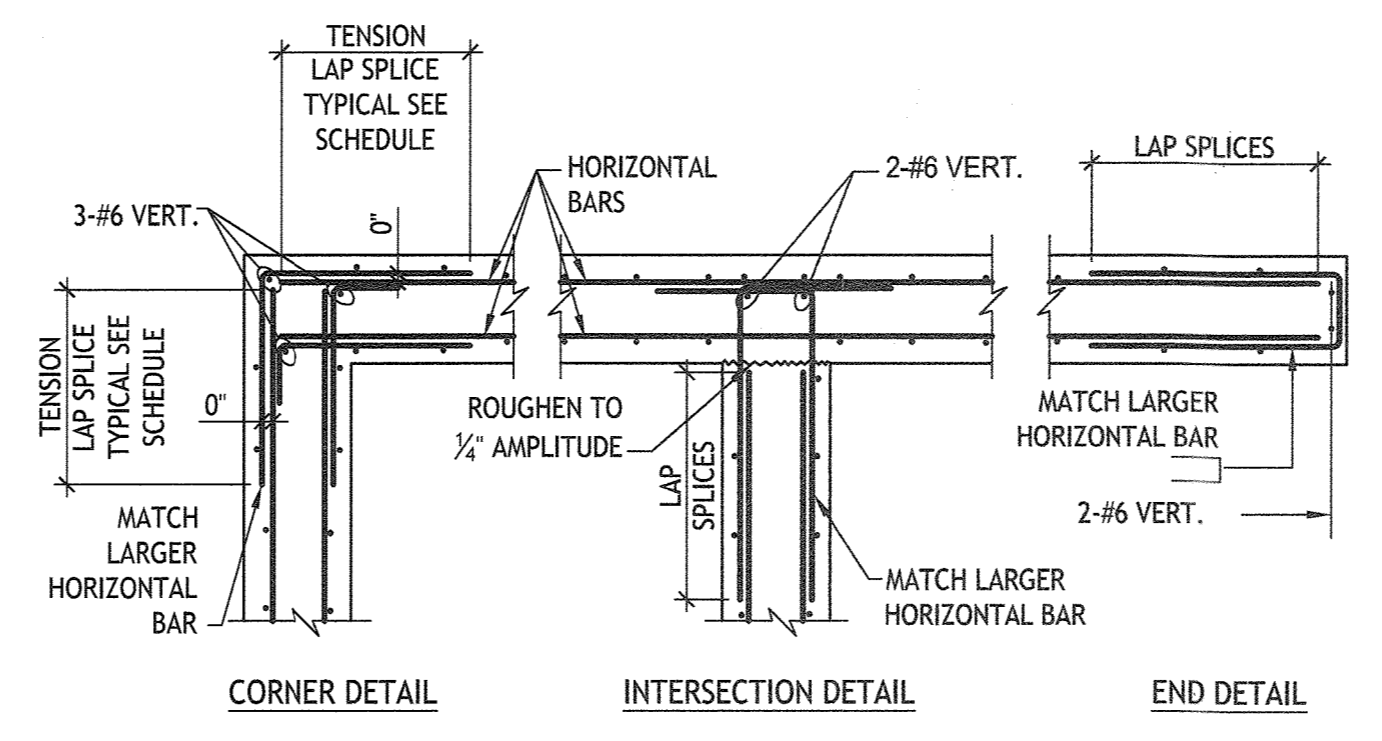


5 TYPICAL REINFORCEMENT FOR CONCRETE PENETRATION SCALE: 1/2" = 1'-0"

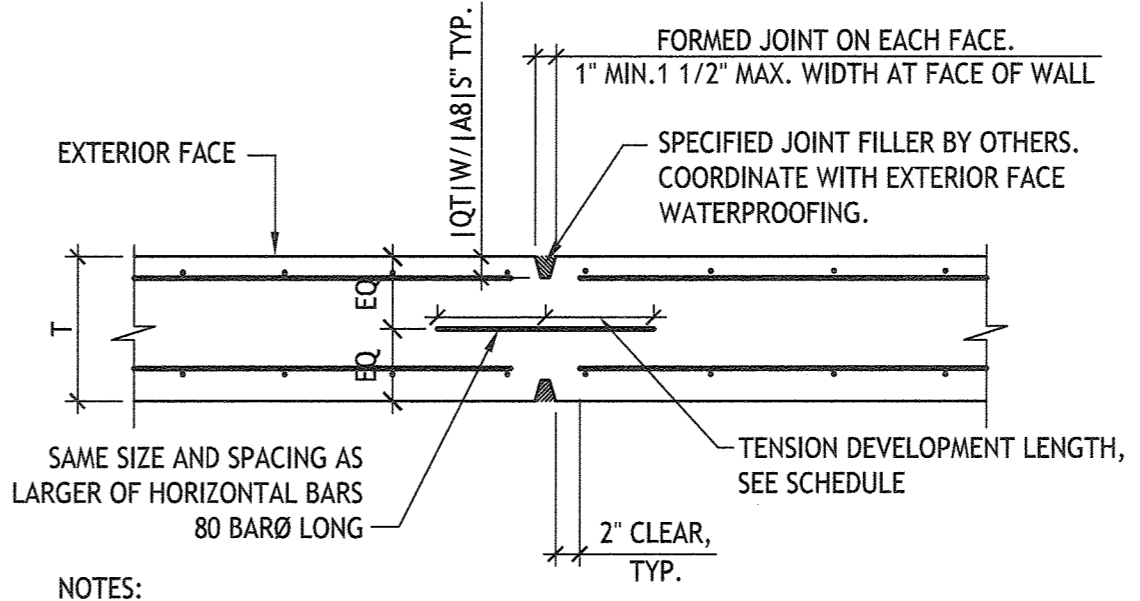
BAR SIZE	D (IN.)
#3	2 1/4
#4	3
#5	3 3/4
#6	4 1/2
#7	5 1/4
#8	6
#9	9
#10	10 1/4
#11	11 1/4



6 TYPICAL REINFORCEMENT BENDS SCALE: 3/4" = 1'-0"

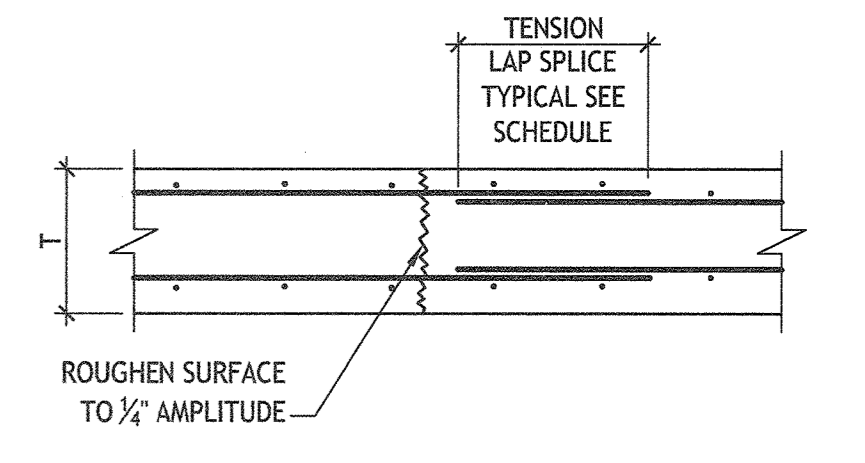


7 HORIZONTAL WALL REINFORCEMENT DETAILS SCALE: 3/4" = 1'-0"



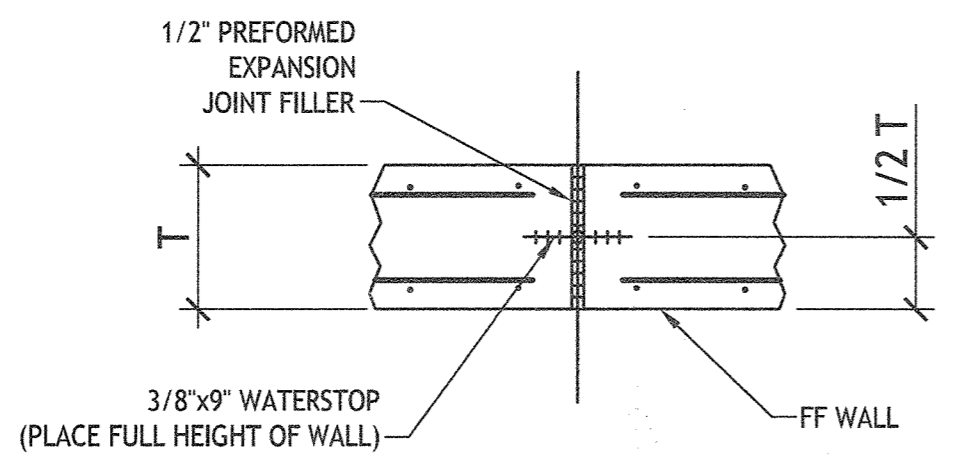
- T INDICATES WALL THICKNESS.
- 30" MAXIMUM SPACING BETWEEN CONTROL AND/OR CONSTRUCTION JOINTS.
- PROVIDE JOINTS WITHIN 5 FT. OF ALL CORNERS AND/OR INTERSECTIONS.

8 VERTICAL CONTROL JOINT SCALE: 3/4" = 1'-0"



- CONSTRUCTION JOINTS SHALL BE PLACED AT A VERTICAL CONTROL JOINT. SEE VERTICAL CONTROL JOINT DETAIL.

9 VERTICAL CONSTRUCTION JOINT SCALE: 3/4" = 1'-0"



10 SECTION THRU EXPANSION JOINT SCALE: 3/4" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: **DECEMBER 17, 2015**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* 12-18-19
Date: 12/18/19
Chief, Division of Land Development: *[Signature]* 12/18/19
Date: 12/18/19
Chief, Development Engineering Division: *[Signature]* 12/18/19
Date: 12/18/19

OWNER
LOT 23
MERRIWEATHER PARK AT SYMPHONY WOODS
INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA 315
COLUMBIA, MARYLAND 21044
ATTN: MS. NINA BASU
410-740-0029

OWNER
LOT 13
DOWNTOWN COLUMBIA ARTS
AND CULTURE COMMISSION
10475 LITTLE PATUXENT PARKWAY
COLUMBIA, MD 21045
ATTN: IAN KENNEDY
443-741-1974

PREPARED FOR:
MERRIWEATHER POST PAVILION
P.O. BOX 112
COLUMBIA, MARYLAND 21044
ATTN: BRAD CANFIELD
410-715-5550

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
BRIAN TARANTINO, LICENSE NO. 24871
EXPIRATION DATE: 2/28/2020

REDEVELOPMENT PHASES 2 & 3
SECTIONS
MERRIWEATHER POST PAVILION &
MERRIWEATHER PARK AT SYMPHONY WOODS
TOWN CENTER, SECTION 1, LOTS 13 & 23

TEC
Tarantino Engineering Consultants, PC
11840 West Market Place, Suite K
Fulton, MD 20759
410-921-7678
www.tarantinoec.com

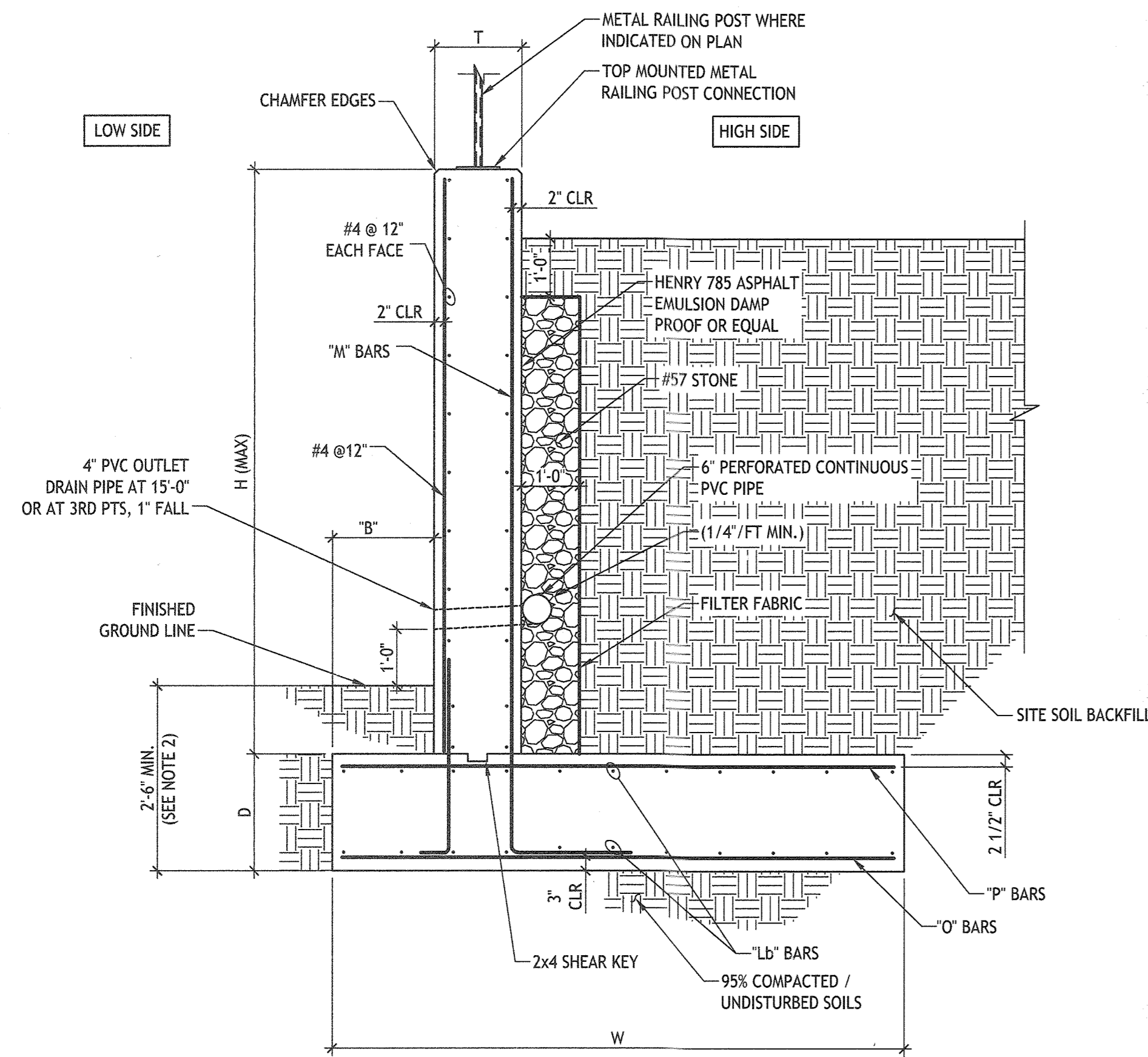
DESIGNED BY:	DATE	REVISION	BY	APPR.
KL				
ML				
BT				

ELECTION DISTRICT No. 5

PLAT NoS. 4305 & 4306

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS NOTED	NT OPEN SPACE	94077
DATE	TAX MAP - GRID	SHEET
NOV., 2019	36-1	25 OF 26



CONCRETE SITE RETAINING WALL SCHEDULE										
MARK	WALL			FOOTING			REINFORCEMENT			
	H	T	D	B	W	"M" BARS	"O" BARS	"P" BARS	"Lb" BARS	
SRW1	3'-6"	8"	1'-0"	0'-8"	2'-0"	#5@12"	#5@12"	#5@12"	#5@12"	
SRW2	4'-9"	8"	1'-0"	0'-9"	2'-9"	#5@12"	#5@12"	#5@12"	#5@12"	
SRW3	7'-0"	8"	1'-0"	1'-0"	4'-0"	#5@12"	#5@12"	#5@12"	#5@12"	
SRW4	8'-6"	8"	1'-0"	1'-3"	4'-6"	#5@12"	#5@12"	#5@12"	#5@12"	

1 CONCRETE RETAINING WALL DETAIL AND SCHEDULE

- NOTES:
- REFER TO PLAN FOR SITE WALL LOCATIONS.
 - STEP FOOTING AS REQUIRED TO MAINTAIN FROST DEPTH COVER, SEE "TYP STEPPED FOOTING" DETAIL ON PREVIOUS SHEET FOR ADDITIONAL INFORMATION.

SCALE: 1/2" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: DECEMBER 17, 2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 12-18-19
 Chief, Planning & Zoning: [Signature] Date: 12/18/19
 Chief, Development Engineering Division: [Signature] Date: 11-27-19

OWNER
 LOT 13
 DOWNTOWN COLUMBIA ARTS AND CULTURE COMMISSION
 10475 LITTLE PATUXENT PARKWAY
 COLUMBIA, MD 21045
 443-741-1974

OWNER
 LOT 23
 MERRIWEATHER PARK AT SYMPHONY WOODS
 INNER ARBOR TRUST, INC. (PERPETUAL EASEMENT HOLDER)
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REDEVELOPMENT PHASES 2 & 3

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DESIGNED BY:	DATE	REVISION	BY	APPR.
KL				
DRAWN BY:				
ML				
CHECKED BY:				
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 P.O. BOX 112
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ELECTION DISTRICT No. 5
 PLAT Nos. 4305 & 4306
 HOWARD COUNTY, MARYLAND

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