

GENERAL NOTES

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.

- 2. CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:

- 4. SITE ANALYSIS:
PRESENT ZONING: TD (TRANSIT ORIENTED DEVELOPMENT)
EXISTING USE: PARKING LOT
PADDOCK POINTE OVERLAY PROJECT DATA (ALL PHASES):
GROSS AREA (TOTAL) (AC): 63,219 AC (PARCEL 384, INCLUDING AREAS BETWEEN NB & SB ROUTE 1)

- 5. PROJECT BACKLOG LOCATION:
TAX MAP 50, BLOCK 10, PARCELS 384/441; PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L, AND LOTS D, E-1, F-1, G, H, & I
ZONING: TD
SUBDIVISION: PADDOCK POINTE

- 6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
7. ANY DAMAGE TO EXISTING UTILITIES OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.

- 8. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS:
APPROPRIATE LOCATION OF EXISTING UTILITIES SHALL BE LOCATED BY THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

- 9. THE R1-1 SIGN AND THE STREET NAME (S/N) ASSEMBLY FOR THIS DEVELOPMENT MUST BE INSTALLED BEFORE THE BASE PAVING IS COMPLETED.
10. TRAFFIC CONTROL:
TRAFFIC CONTROL SIGNAGE SHALL BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.

- 11. TRAFFIC CONTROL DEVICES:
TRAFFIC CONTROL DEVICES SHALL BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.

- 12. TRAFFIC CONTROL DEVICES:
TRAFFIC CONTROL DEVICES SHALL BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.

- 13. TRAFFIC CONTROL DEVICES:
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- 14. TRAFFIC CONTROL DEVICES:
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- 15. TRAFFIC CONTROL DEVICES:
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- 16. TRAFFIC CONTROL DEVICES:
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- 20. TRAFFIC CONTROL DEVICES:
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- 22. TRAFFIC CONTROL DEVICES:
TRAFFIC CONTROL DEVICES SHALL BE FIELD APPROVED BY HOWARD COUNTY TRAFFIC DIVISION (410-313-2430) PRIOR TO THE INSTALLATION OF ANY OF THE TRAFFIC CONTROL DEVICES.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
DATE: 11/10/22
DATE: 11/10/22
DATE: 11/10/22

SITE DEVELOPMENT PLAN
PADDOCK POINTE - PHASE 1
PARCELS 384/441; PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L, AND LOTS D, E-1, F-1, G, H, & I

Table with columns: USE, 2016, 2017, 2018, 2019, 2020, 2021. Rows: RESIDENTIAL, OFFICE, RETAIL.

Table with columns: PHASE, OFFICE (SF), RETAIL (SF), YEAR. Rows: I, II, III, IV, TOTAL.

Table with columns: PHASE, RESIDENTIAL AREA (AC), AREA (AC), % IMP AREA. Rows: Phase 1 (SDP-15-043), TOTAL.

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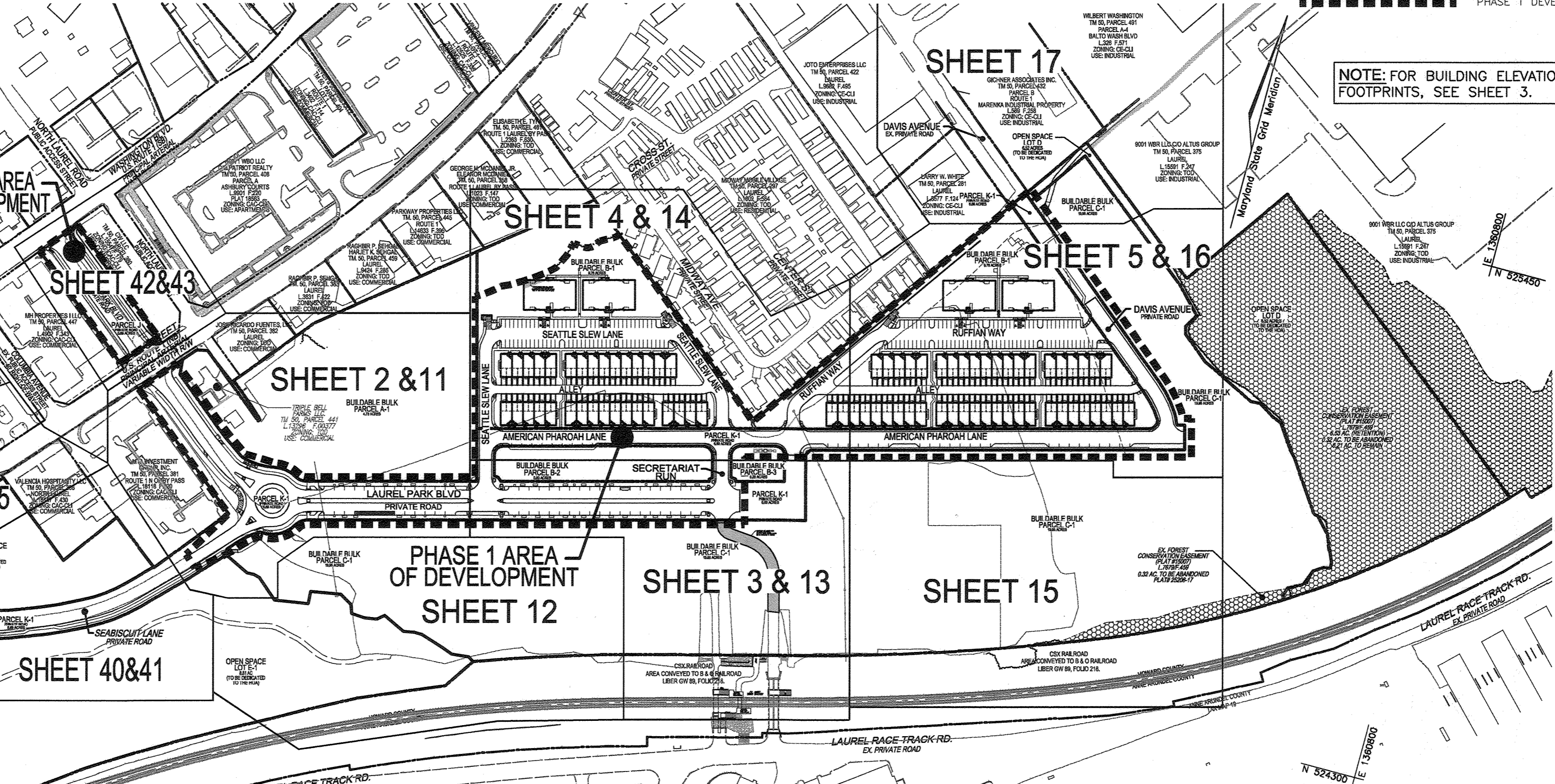
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NOTE: FOR BUILDING ELEVATIONS AND FOOTPRINTS, SEE SHEET 3.

LOCATION MAP
SCALE: 1"=200'

Table with columns: DESCRIPTION, SHEET NUMBER. Lists various site details and their corresponding sheet numbers.

Table with columns: NO., REVISION, DATE. Lists revisions to the site development plan.

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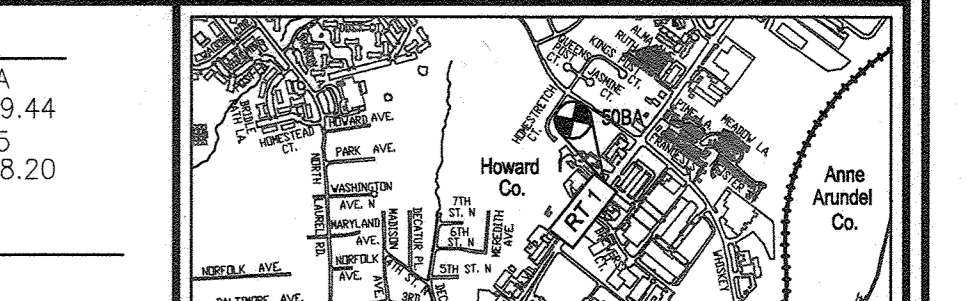


Table with columns: UNIT/BUILDING, STREET ADDRESS. Lists addresses for units and buildings in the development.

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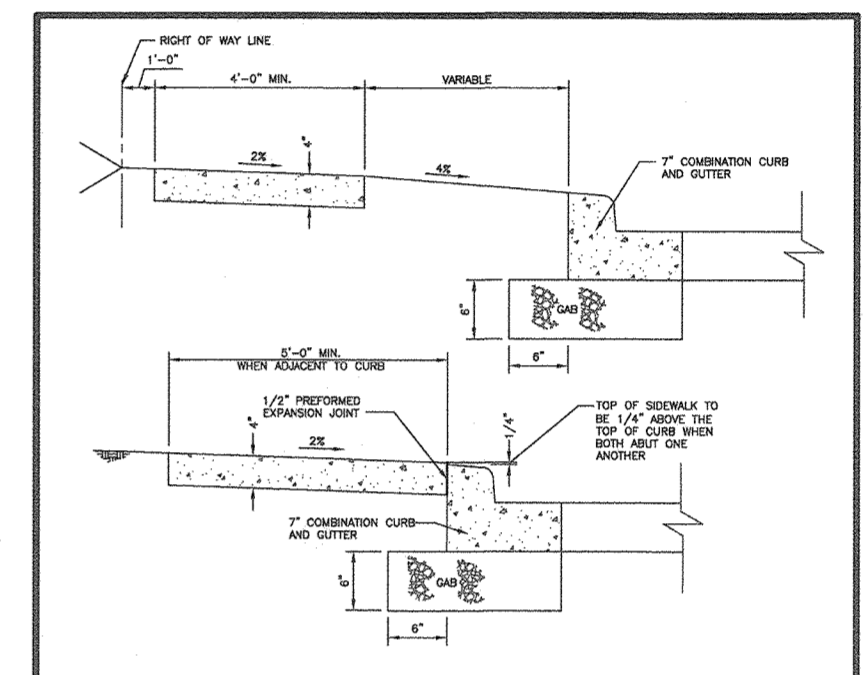
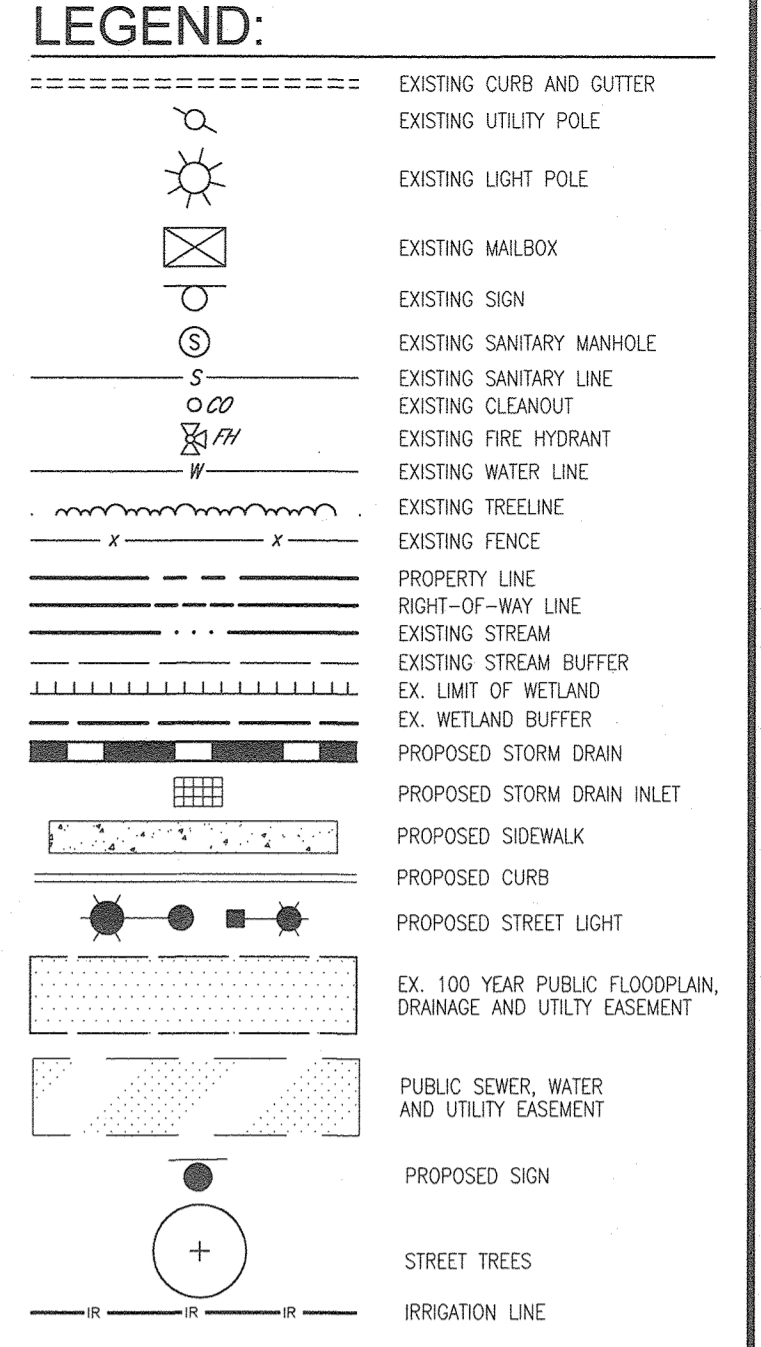
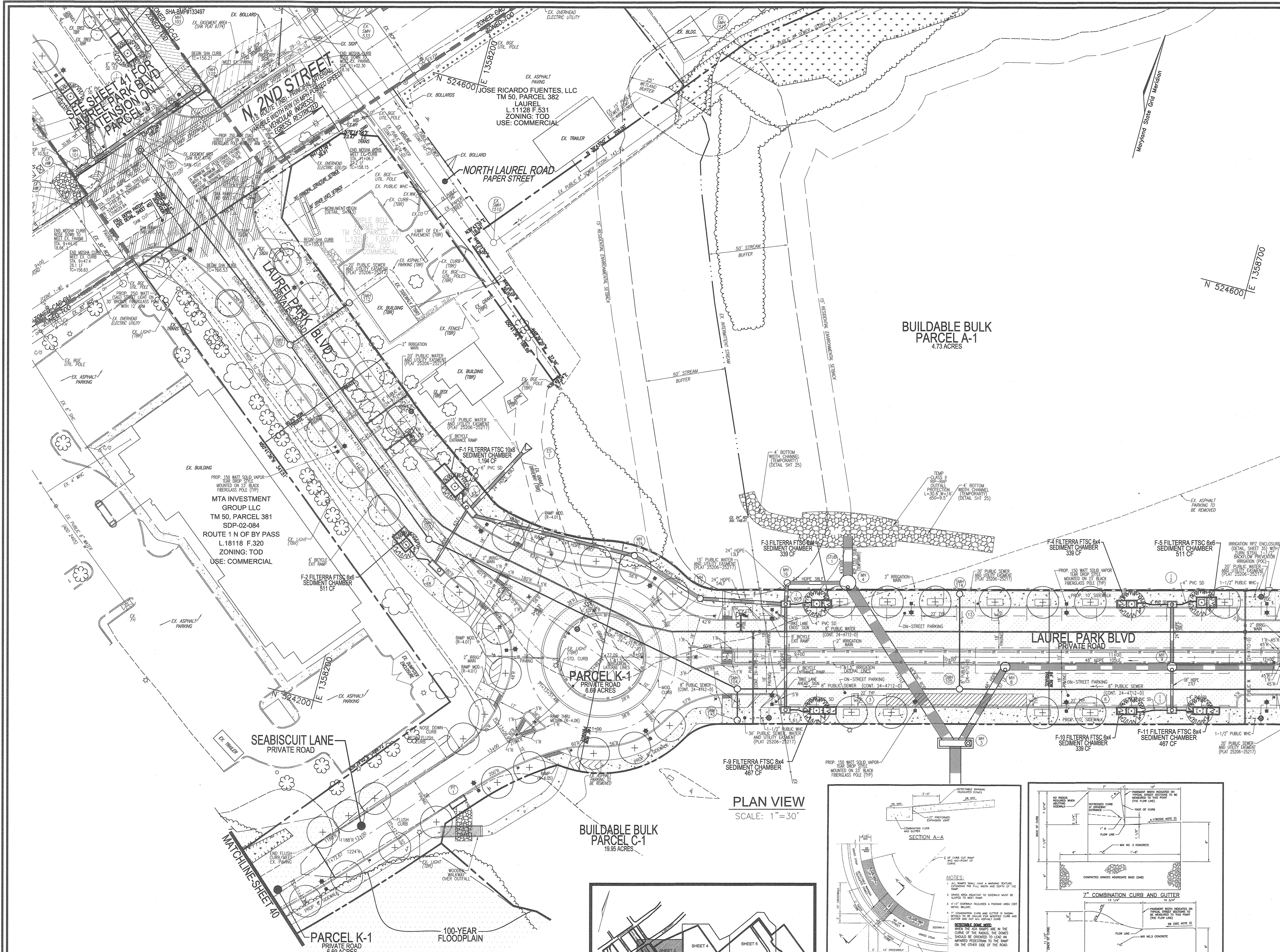
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Owner information for Triple Tree Farms, LLC and 20066 Delaware, Inc. Includes contact details for Robert H. Vogel, PE.

Professional Engineer seal for Robert H. Vogel, PE No. 16193, State of Maryland.



- NOTES:**
1. SIDEWALK TO BE SLOPED IN 2" MINIMUM SLOPES.
  2. EXISTING CURBS AND GUTTERS TO BE MAINTAINED UNLESS OTHERWISE NOTED TO BE REMOVED OR RECONSTRUCTED.
  3. 1/2" PRECAST CONCRETE CURBS SHALL BE 1/4" ABOVE CURB WITH 1/2" PRECAST EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
  4. CONCRETE TO BE 4000 PSI.
  5. 1/2" PRECAST CONCRETE CURBS SHALL BE 1/4" ABOVE CURB WITH 1/2" PRECAST EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
  6. ON EXISTING SIDEWALKS, CURBS SHALL BE 1/4" ABOVE CURB WITH 1/2" PRECAST EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
  7. SIDEWALKS ADJACENT TO CURBS SHALL BE 1/4" ABOVE CURB WITH 1/2" PRECAST EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
  8. SIDEWALKS LOCATED 2' OR MORE FROM CURBS MAY BE 4" IN WIDTH WITH A 5/8" PAVED SECTION PLACING 600 AREA.
  9. 4" x 4" SIDEWALK REQUIRES A PAVING AREA SEE DETAIL R-4.01.

Howards County, Maryland Department of Public Works Prepared by: <i>Robert H. Vogel</i> Date: 09/08/20	Detail CONCRETE SIDEWALK R-3.05
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<b>OWNER</b> TRIPLE BELL FARMS, LLC 14875 BAYVIEW AVE AURORA, ONTARIO CANADA	<b>OWNER/DEVELOPER</b> 20006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 725-0995
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NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	05/11/19

**REVISED SITE DEVELOPMENT PLAN**

**SITE LAYOUT PLAN**

**Paddock Pointe - Phase 1**  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 156 STACKED CONDOS UNITS

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L AND  
P.441 (L10518/F157)  
P.441 (L13298/F377)  
ZONED: TOD

LOT 5, G, H & I  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

DESIGN BY: RHY/DZE  
DRAWN BY: DZE  
CHECKED BY: RHY  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.D. NO.: 07-11/40111

STATE OF MARYLAND  
ROBERT H. VOGEL, PE No. 16193  
10-16-20  
PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

2 SHEET OF 54

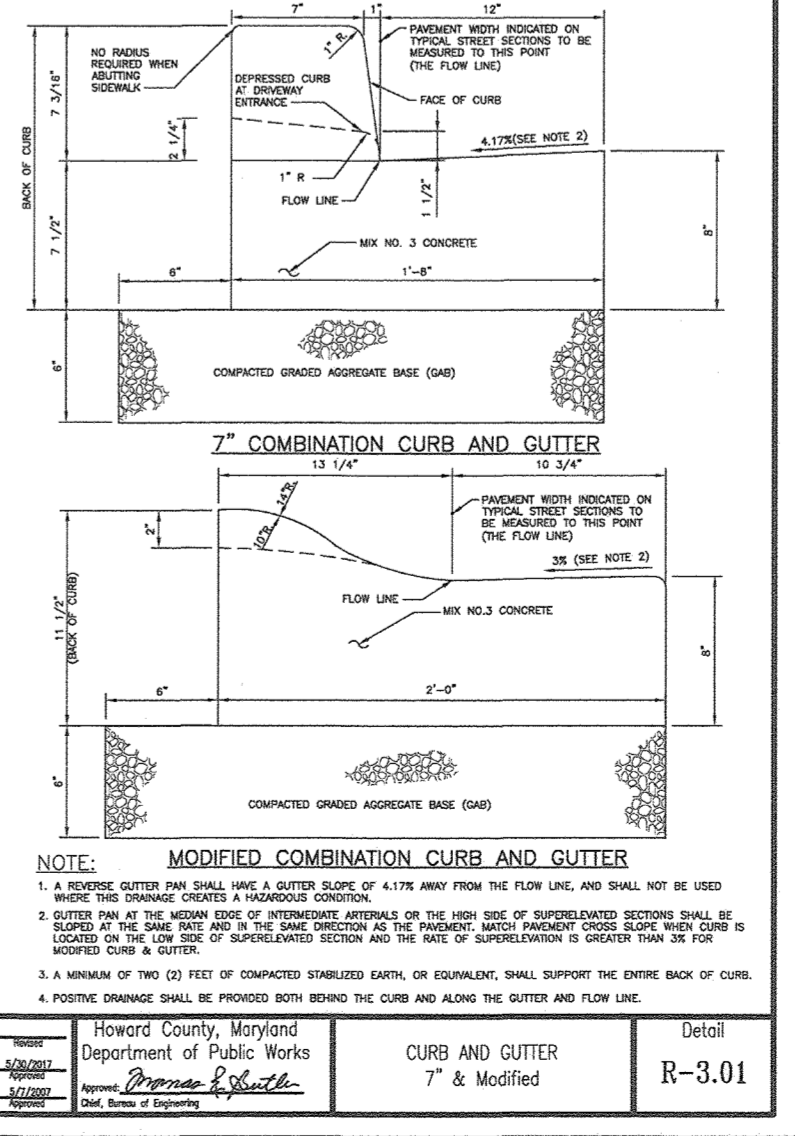
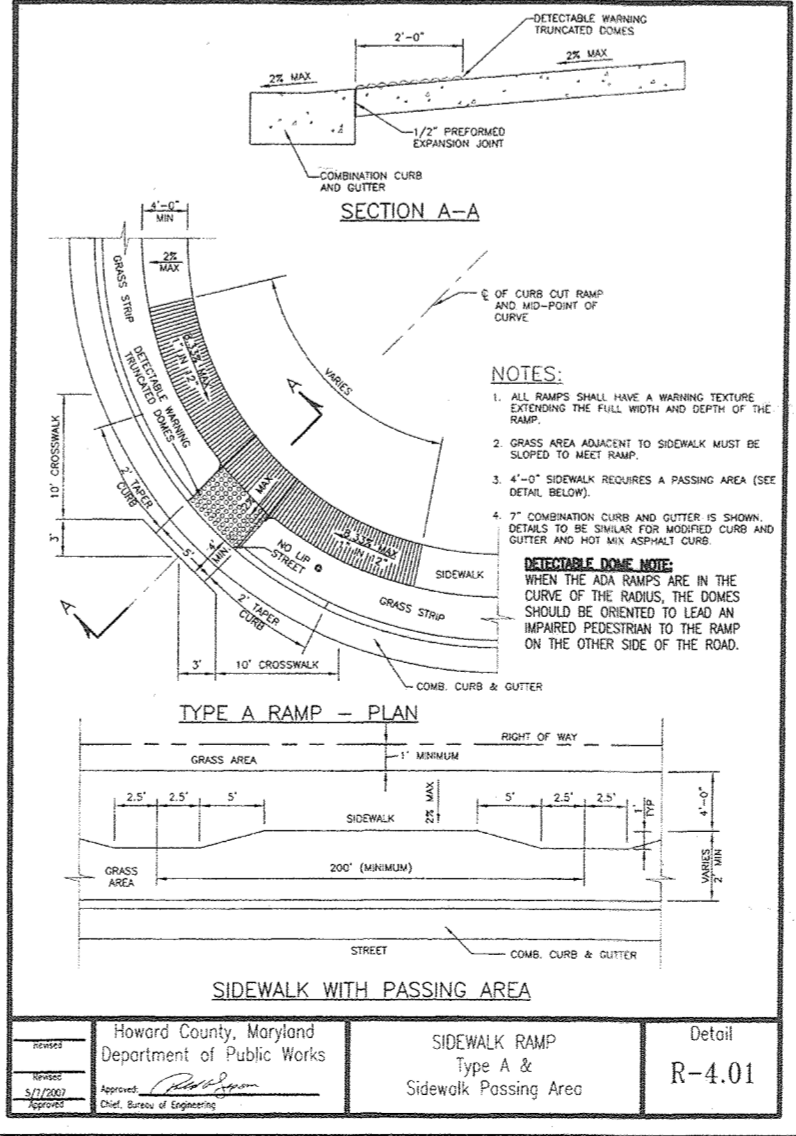
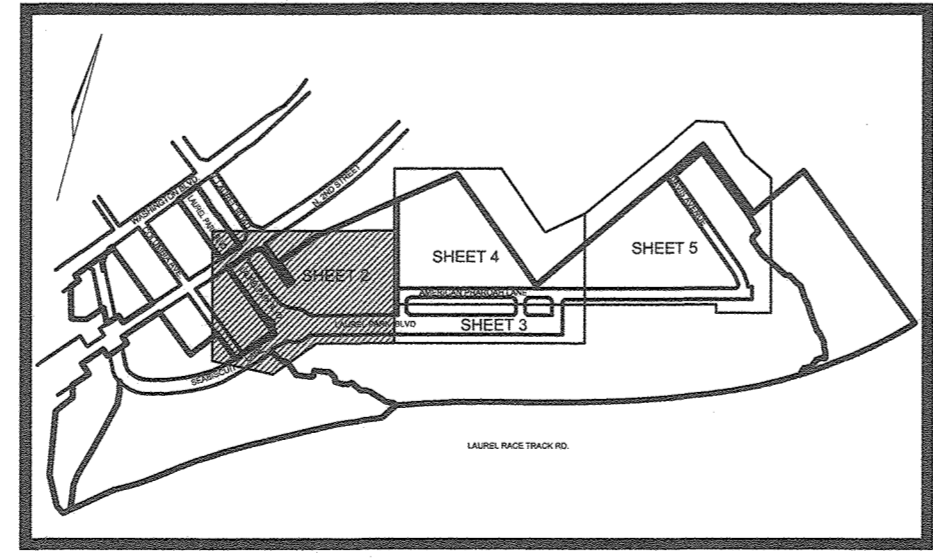
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Robert H. Vogel*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6-10-22

*John J. Gorman*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/10/22

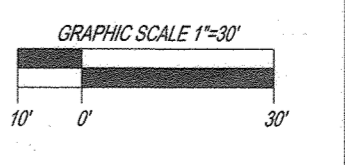
*Angie Gorman*  
DIRECTOR  
DATE: 6/10/22

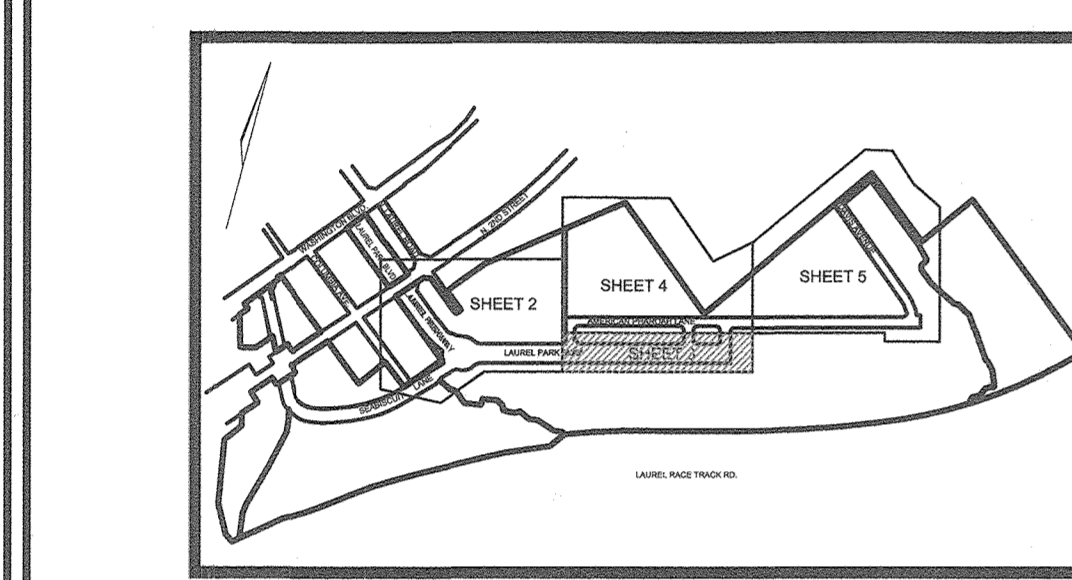
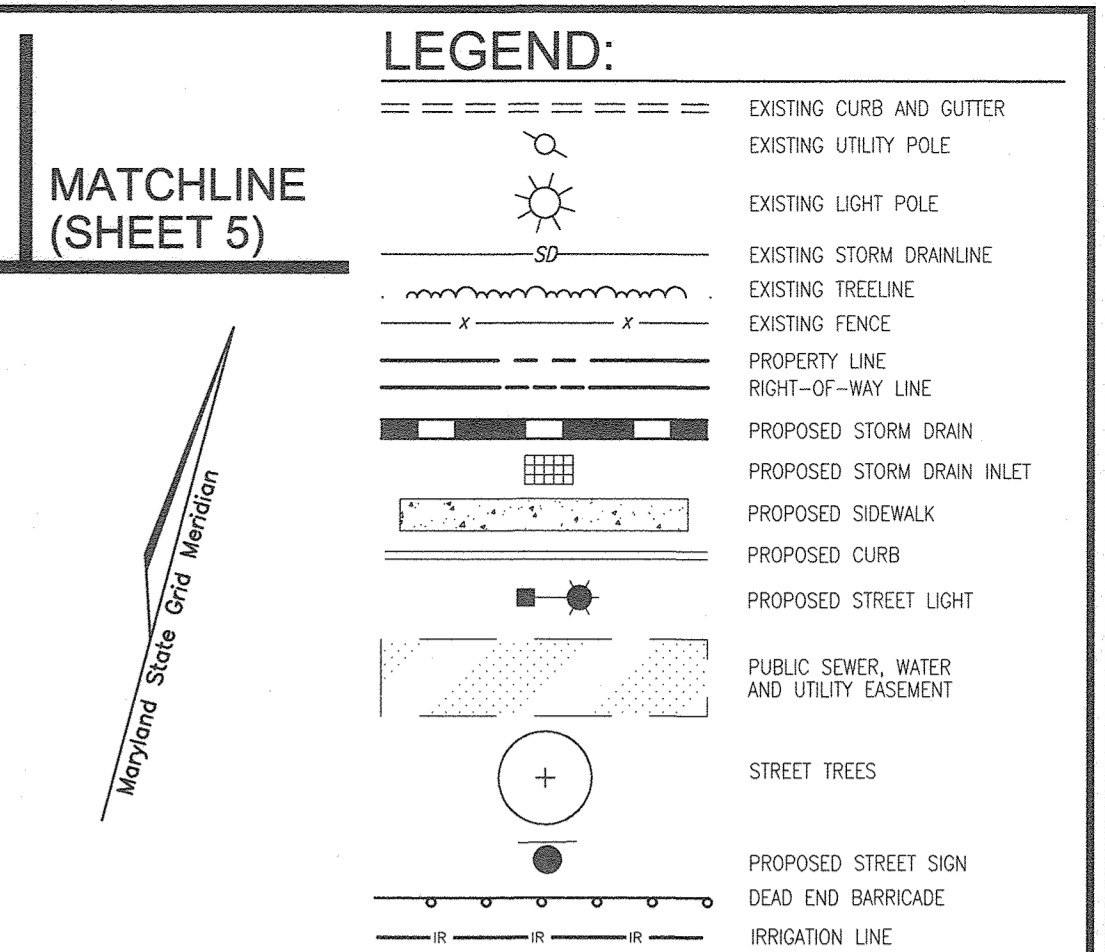
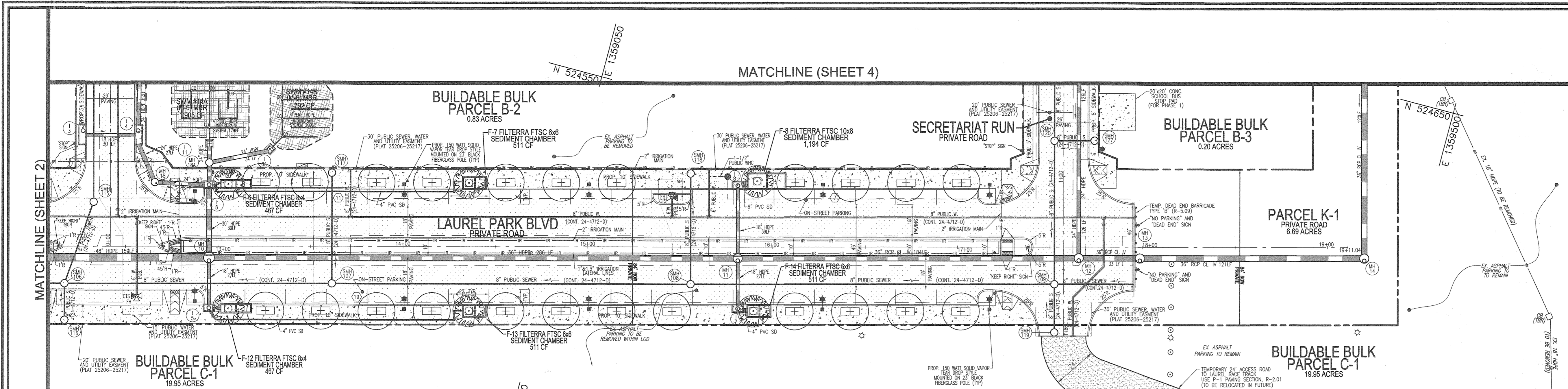
- NOTES:**
1. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD AND SEABISCUIT LANE, SEE SHEETS 50-52.



Howards County, Maryland Department of Public Works Prepared by: <i>Robert H. Vogel</i> Date: 09/08/20	Detail SIDEWALK RAMP Type A & Sidewalk Passing Area R-4.01
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Howards County, Maryland Department of Public Works Prepared by: <i>Robert H. Vogel</i> Date: 09/08/20	Detail CURB AND GUTTER 7" Modified R-3.01
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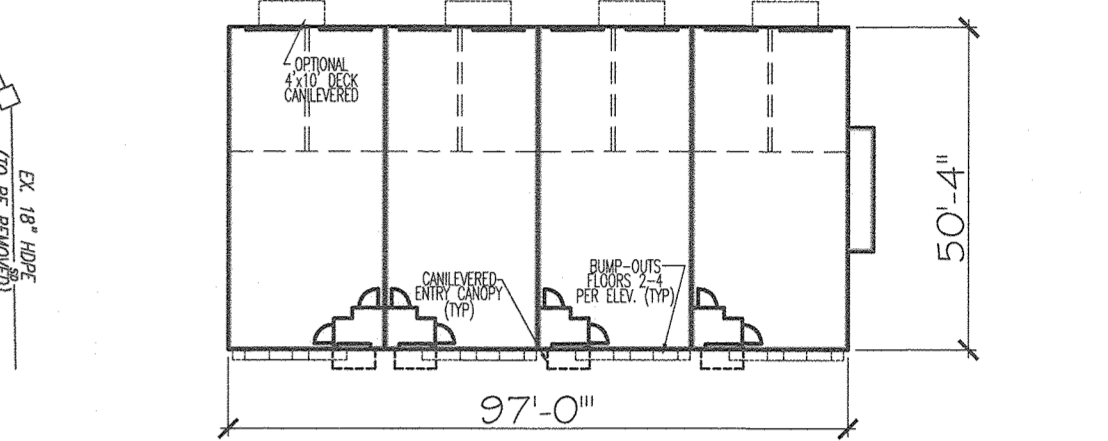


**NOTES:**  
 1. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD, SEE SHEETS 50-52.

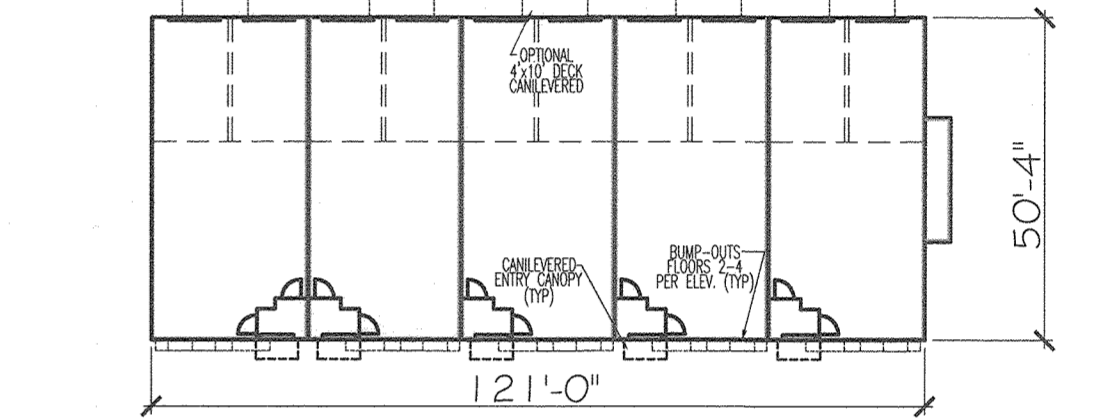
**PLAN VIEW**  
 SCALE: 1"=30'

**GENERAL NOTES (CONTINUED FROM SHEET 01):**  
 84. THIS PLAN IS SUBJECT TO WP-16-136; APPROVED 06/20/16; TO WAIVE SECTION 16.120(b)(4)(ii) WHICH PROHIBITS RESIDENTIAL CONDOMINIUM UNITS AND RENTAL APARTMENTS WITHIN 15 FEET OF THE PROTECTED ENVIRONMENTAL FEATURE BUFFER, SECTION 16.120(c)(1) WHICH REQUIRES COMMERCIAL, INDUSTRIAL, OR APARTMENT PARCELS OR LOTS SHALL HAVE A MINIMUM FRONTAGE OF 60 FEET ON A PUBLIC ROAD, SECTION 16.120(b)(12) WHICH REQUIRES OFF-STREET PARKING WITHIN 200 FEET FROM THE MAIN HIGHWAY CROSSING OF AN APARTMENT BUILDING OF THE MIDPOINT OF A GROUP OF SINGLE-FAMILY ATTACHED UNITS. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 1. COMPLIANCE WITH SUBMISSION REVIEW COMMITTEE COMMENTS ISSUED FOR SITE DEVELOPMENT PLANS, SDP-15-043 AND SDP-15-061.  
 2. ON ALL FUTURE SUBMISSION PLANS AND SITE DEVELOPMENT PLANS, PROVIDE A BRIEF DESCRIPTION OF WALKER PETITION, WP-16-136, AS A GENERAL NOTE TO INCLUDE REQUESTS, SECTIONS OF THE REGULATIONS, ACTION AND DATE.  
 3. APPROVAL OF ANY STATE OF MARYLAND PERMITS REQUIRED FOR THE ENVIRONMENTAL DISTURBANCES. THE MORE TRACING PERMIT NUMBER MUST BE SHOWN AS A GENERAL NOTE ON THE FINAL PLAN AND SITE DEVELOPMENT PLANS.  
 4. COMPLIANCE WITH ALL DEADLINES AS ESTABLISHED IN THE MOST RECENT APPROVED APFO PHASING CHART SCHEDULE.  
 5. APPROVAL FOR A WAIVER TO SECTION 16.120(b)(4)(ii) AUTHORIZES DISTURBANCES INTO THE 15-FOOT ENVIRONMENTAL SETBACK AS DEPICTED ON THE WALKER PETITION PLAN EXHIBIT DATED MAY 13, 2016. NO ADDITIONAL ACTIVITIES WITHIN THE 15' RESIDENTIAL ENVIRONMENTAL SETBACK ARE AUTHORIZED BY APPROVAL OF THIS WAIVER UNLESS IT CAN BE DEMONSTRATED AT THE SITE DEVELOPMENT PLAN STAGE TO BE JUSTIFIED.  
 6. SIGNAGE AND MARKINGS FOR GUEST AND COMMERCIAL USE PARKING SHOULD BE PROVIDED BY THE DEVELOPER OR SOME OTHER ALTERNATE METHOD TO ENSURE ADEQUATE PARKING FOR THE DIFFERENT USES (2 OVER 2'S, APARTMENT UNITS AND COMMERCIAL TENANTS).  
 7. A MEMORANDUM OF UNDERSTANDING WILL BE PREPARED WHICH ALLOWS PUBLIC ACCESS TO THE TOD SITE (PRIVATE ROADS, PARKING GARAGES, TRANSIT STOPS AND MARC STATION).  
 8. THE PROPERTY MANAGEMENT COMPANY THAT MANAGES THE PADDOCK POINTE PROPERTY WILL NEED TO MONITOR AND REGULATE THE PARKING SITUATION ON THE PROPERTY. PARKING SPACES WILL NEED TO BE ASSIGNED TO SPECIFIC RESIDENCE TYPES AND USES. SIGNAGE OR SPACE NUMBERING WILL NEED TO BE PROVIDED TO REGULATE PARKING FOR BOTH THE RESIDENTIAL AND COMMERCIAL ELEMENTS. A NOTE SHALL BE ADDED TO THE GENERAL NOTES ON THE SITE DEVELOPMENT PLANS STATING THIS ON THE UPDATED PLANS. THE OWNER OR MANAGEMENT COMPANY FOR THIS PROJECT SHALL MANAGE AND MONITOR THE ON-SITE PARKING ON A REGIONAL BASIS AND RESPOND TO ANY PARKING INADEQUACIES IMMEDIATELY SHOULD ANY PARKING PROBLEMS ARISE IN THE FUTURE.  
 85. REFERENCE WP-18-089; APPROVED 01/25/18; TO WAIVE SECTION 16.144(c)(1) SUBMISSION OF FINAL PLAN, SECTION 16.1106(i) - MILESTONES (TIMING FOR RESIDENTIAL PROJECTS); SECTION 16.1106(g) - MILESTONES (TIMING FOR NON-RESIDENTIAL PROJECTS); SECTION 16.144(g) - SUBMISSION OF ORIGINALS FOR SIGNATURE; SECTION 16.144(g) - PAYMENT OF FEES AND POSTING OF FINANCIAL OBLIGATIONS; SECTION 16.144(g) - SUBMISSION OF ORIGINALS FOR SIGNATURE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 1. THE PAYMENT OF FEES AND POSTING OF FINANCIAL OBLIGATIONS FOR THE SITE DEVELOPMENT PLANS (SDP-15-043) AND THE FINAL PLAN (F-16-013) MUST BE COMPLETED ON OR BEFORE 04/25/18.  
 2. THE ORIGINAL MYLARS FOR THE SITE DEVELOPMENT PLANS (SDP-15-043) AND THE FINAL PLAN (F-16-013) MUST BE COMPLETED ON OR BEFORE 04/25/18.  
 3. THE SITE DEVELOPMENT PLANS AND/OR ASSOCIATED FINAL PLAN FOR PHASE 3 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING ON OR BEFORE 08/02/2018.  
 4. THE SITE DEVELOPMENT PLANS AND/OR ASSOCIATED FINAL PLAN FOR PHASE 4 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING ON OR BEFORE 01/01/2018.  
 5. ON ALL FUTURE PLAN SUBMISSIONS, PROVIDE A BRIEF DESCRIPTION OF ALTERNATIVE COMPLIANCE PETITION WP-18-069, AS A GENERAL NOTE TO INCLUDE REQUEST(S), SECTIONS(S) OF THE REGULATIONS, ACTION AND DATE.  
 86. REFERENCE WP-18-113; APPROVED 05/17/18; TO WAIVE SECTION 16.156(f) PAYMENT OF FEES AND POSTING OF FINANCIAL OBLIGATIONS; SECTION 16.156(m) - SUBMISSION OF ORIGINALS FOR SIGNATURE; SECTION 16.144(g) - PAYMENT OF FEES AND POSTING OF FINANCIAL OBLIGATIONS; SECTION 16.144(g) - SUBMISSION OF ORIGINALS FOR SIGNATURE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 1. THE PAYMENT OF FEES AND POSTING OF FINANCIAL OBLIGATIONS FOR THE SITE DEVELOPMENT PLANS (SDP-15-043) AND THE FINAL PLAN (F-16-013) MUST BE COMPLETED ON OR BEFORE 06/04/18.  
 2. THE ORIGINAL MYLARS FOR THE SITE DEVELOPMENT PLANS (SDP-15-043) AND THE FINAL PLAN (F-16-013) MUST BE COMPLETED ON OR BEFORE 06/04/18.  
 3. ON ALL FUTURE PLAN SUBMISSIONS, PROVIDE A BRIEF DESCRIPTION OF ALTERNATIVE COMPLIANCE PETITION WP-18-069, AS A GENERAL NOTE TO INCLUDE REQUEST(S), SECTIONS(S) OF THE REGULATIONS, ACTION AND DATE.

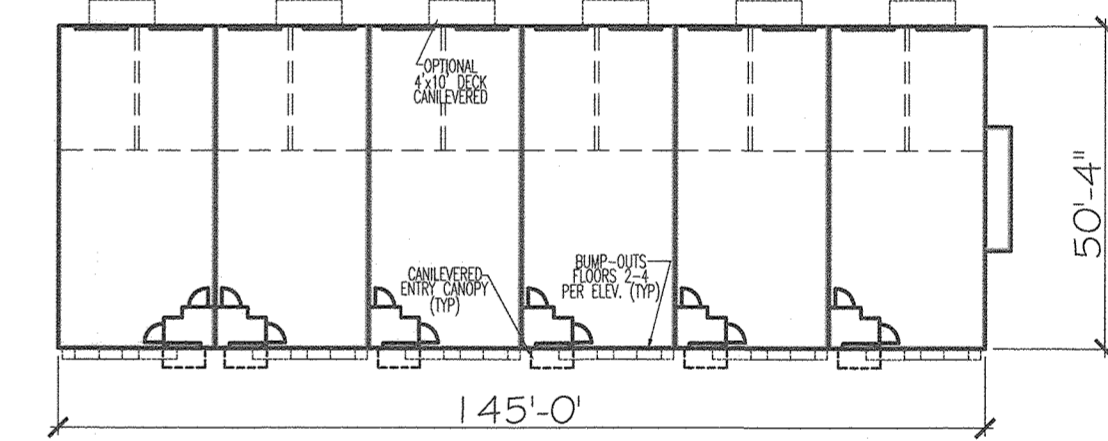
**GENERAL NOTES (CONTINUED...):**  
 87. REFERENCE WP-18-099; APPROVED 09/29/20; TO WAIVE SECTION 16.114(g) REQUIRING THE SUBMISSION OF A PRELIMINARY PLAN. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 A. PRIOR TO THE SIGNATURE OF THE SITE DEVELOPMENT PLAN FOR PHASE 2, A MAINTENANCE AGREEMENT AND A PRIVATE ROAD MAINTENANCE AND PUBLIC ACCESS AGREEMENT FOR PUBLIC USE OF THE AMENITIES AND MARC STATION MUST BE RECORDED IN THE HOWARD COUNTY LAND RECORDS OFFICE TO ALLOW THE COMMON PRIVATE ROADS TO BE MAINTAINED BY THE LAUREL PARK HOMEOWNERS ASSOCIATION AND COMMERCIAL OWNER ASSOCIATION, AND ALLOW PUBLIC ACCESS TO THE SUBDIVISION, INCLUDING THE PUBLIC AMENITIES AND MARC STATION.  
 B. COMPLIANCE WITH THE ATTACHED COMMENTS FROM THE OFFICE OF TRANSPORTATION DATED MAY 20, 2020.  
 C. THE SITE DEVELOPMENT PLAN AND/OR ASSOCIATED FINAL PLAN (IF APPLICABLE) FOR PHASE 3 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING ON OR BEFORE NOVEMBER 30, 2020.  
 D. THE SITE DEVELOPMENT PLAN AND/OR ASSOCIATED FINAL PLAN (IF APPLICABLE) FOR PHASE 4 MUST BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING ON OR BEFORE MARCH 1, 2021.  
 E. ON ALL FUTURE PLAN SUBMISSIONS, PROVIDE A BRIEF DESCRIPTION OF ALTERNATIVE COMPLIANCE PETITION, WP-20-106, AS A GENERAL NOTE TO INCLUDE REQUEST(S), SECTIONS(S) OF THE REGULATIONS, ACTION AND DATE.  
 88. THIS PLAN IS SUBJECT TO AN ESSENTIAL DISTURBANCES REQUEST IN ACCORDANCE WITH SECTION 16.116(c) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, APPROVED 6/17/2020; FOR ESSENTIAL OR NECESSARY STREAM, STREAM BUFFER, WETLANDS, WETLANDS BUFFER, AND 100-YEAR FLOODPLAIN DISTURBANCES ASSOCIATED WITH THE REMOVAL OF AN EXISTING PARKING LOT, PATHWAY, CULVERT AND ROADWAY FROM THE ENVIRONMENTAL AREAS. IN ADDITION, APPROVAL PROVIDED FOR ESSENTIAL OR NECESSARY DISTURBANCE WITHIN THE 100-YEAR FLOODPLAIN FOR WIDENING OF SCARSDALE LANE TO MEET THE COUNTY MINIMUM 24-FOOT WIDTH REQUIREMENT AND TO ACCOMMODATE CURB AND GUTTER, STREET TREES, AND SIDEWALK ALONG THIS ROADWAY. APPROVAL OF THE ABOVE DESCRIBED ESSENTIAL OR NECESSARY DISTURBANCES ARE SUBJECT TO THE FOLLOWING CONDITIONS AND MITIGATION METHODS:  
 A. THE ROAD WIDENING, AND ASSOCIATED ROAD IMPROVEMENTS SHALL ONLY DISTURB THOSE ENVIRONMENTAL AREAS AS STATED IN THE REQUEST AND DELINEATED ON THE PLAN TITLED 'EXHIBIT TO ACCOMPANY ALTERNATIVE COMPLIANCE, PADDOCK POINTE' DATED MAY 8, 2020; ANY DISTURBANCES TO ENVIRONMENTALLY REGULATED FEATURES BEYOND WHAT HAS BEEN APPROVED ARE NOT PERMITTED UNLESS THE DEVELOPER SUBMITS A FORMAL REQUEST TO DPZ FOR SUCH DISTURBANCES IN ACCORDANCE WITH SECTION 16.116(c).  
 B. THE REMOVAL OF AN EXISTING PARKING LOT, PATHWAY, CULVERT AND ROADWAY SHALL ONLY DISTURB THOSE ENVIRONMENTAL AREAS AS STATED IN THE REQUEST AND DELINEATED ON THE PLAN TITLED 'EXHIBIT TO ACCOMPANY ALTERNATIVE COMPLIANCE, PADDOCK POINTE' DATED MAY 8, 2020; ANY DISTURBANCES TO ENVIRONMENTALLY REGULATED FEATURES BEYOND WHAT HAS BEEN APPROVED ARE NOT PERMITTED UNLESS THE DEVELOPER SUBMITS A FORMAL REQUEST TO DPZ FOR SUCH DISTURBANCES IN ACCORDANCE WITH SECTION 16.116(c).  
 C. THE DISTURBED AREA SHALL BE RE-VEGETATED AND RETURNED TO ITS NATURAL CONDITION.  
 D. THE DEVELOPER SHALL OBTAIN AUTHORIZATION FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT AND U.S. ARMY CORPS OF ENGINEERS FOR ACTIVITIES IN REGULATED WETLAND AND STREAM AREAS PRIOR TO SUBMISSION OF ANY GRADING PERMIT APPLICATIONS. REFERENCE THE APPLICABLE MOE OR USACE PERMITS OR TRACKING NUMBERS ON ANY ASSOCIATED SUBDIVISION PLANS, SITE DEVELOPMENT PLANS AND BUILDING OR GRADING PERMITS.  
 89. THIS PLAN IS SUBJECT TO BA-20-002S; APPROVED 08-07-20; FOR VARIANCES TO ERECT TWO NEW MONUMENT BUILDING SIGNS IN A TOD TRANSIT ORIENTED DEVELOPMENT ZONING DISTRICT. THE CASE WAS GRANTED; PROVIDED, HOWEVER, THAT:  
 A. THE SIGN VARIANCES SHALL APPLY ONLY TO THE TWO SIGNS DESCRIBED IN THE PETITION AND PLAN AS REVISED AND SHOWN ON PG. 3 OF THE DECISION AND ORDER.  
 B. LANDSCAPING FOR SIGN 2 SHALL BE IN ACCORDANCE WITH THE PLANTING EXHIBIT, DATED JULY 17, 2020, EXCEPT ALL OTHER DEVELOPMENT SHALL BE IN ACCORDANCE WITH EXHIBIT 3, ENTRANCE SIGNAGE, MAY 8, 2020.  
 C. THE SIGNS SHALL NOT BE LOCATED IN A PUBLIC RIGHT-OF-WAY.  
 D. THE PETITIONER SHALL OBTAIN ALL NECESSARY PERMITS.



8 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'



10 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'



12 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'

**OWNER**  
 TRIPLE BELL FARMS, LLC.  
 14870 BAYVIEW AVE.  
 AURORA, ONTARIO  
 L4G 7A9  
 CANADA  
 (905) 726-0995

**OWNER/DEVELOPER**  
 20006 DELAWARE, INC.  
 455 MAGNA DRIVE  
 AURORA, ONTARIO  
 L4G 7A9  
 CANADA  
 (905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
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**REVISED SITE DEVELOPMENT PLAN**  
**SITE LAYOUT PLAN**  
**PADDOCK POINTE - PHASE 1**  
 FORMERLY KNOWN AS LAUREL PARK STATION  
 64 APARTMENT AND 180 STACKED CONDO UNITS  
 PARCELS: 384/441  
 PARCELS: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z  
 PARCELS: B-3, C-1, J, K-1, L, and M  
 P.384 (L10518/F.157) B-3, C-1, J, K-1, L, and M  
 P.441 (L13286/F.377) LOTS D, E-1, F-1, G, H, & I  
 ZONED: TOD  
 HOWARD COUNTY, MARYLAND  
 TAX MAP: 50 BLOCK: 04  
 6TH ELECTION DISTRICT

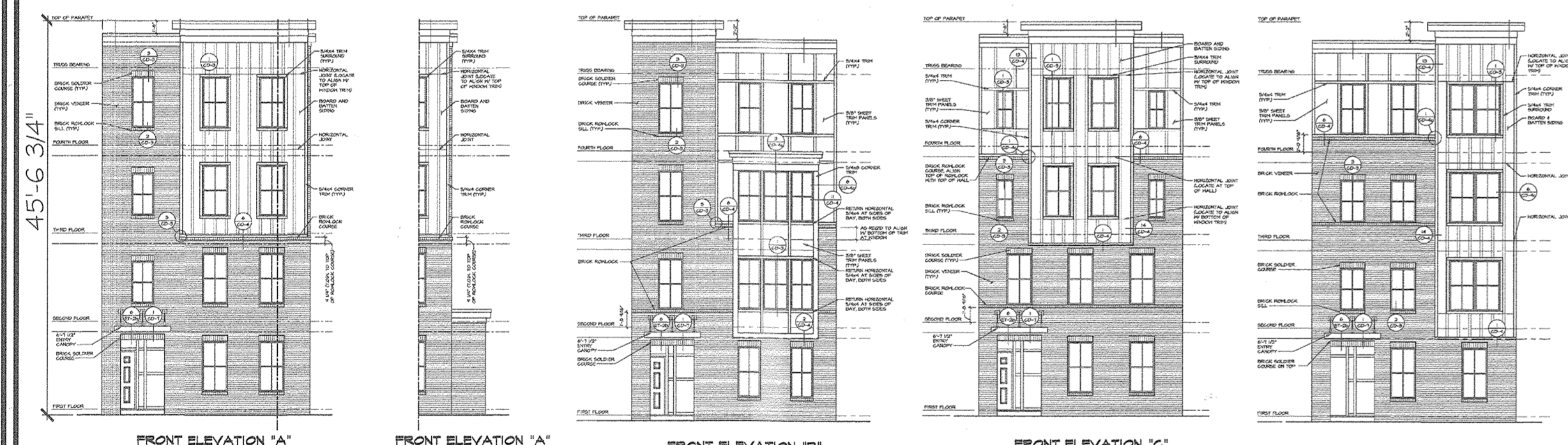
**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2022

DESIGN BY: RHV/DZE  
 DRAWN BY: DZE  
 CHECKED BY: RHV  
 DATE: SEPTEMBER 2020  
 SCALE: AS SHOWN  
 W.O. NO.: 07-11/40111

3 SHEET OF 54

**KEY MAP**  
 NOT TO SCALE



STACKED TOWNHOUSE ELEVATIONS  
 NOT TO SCALE



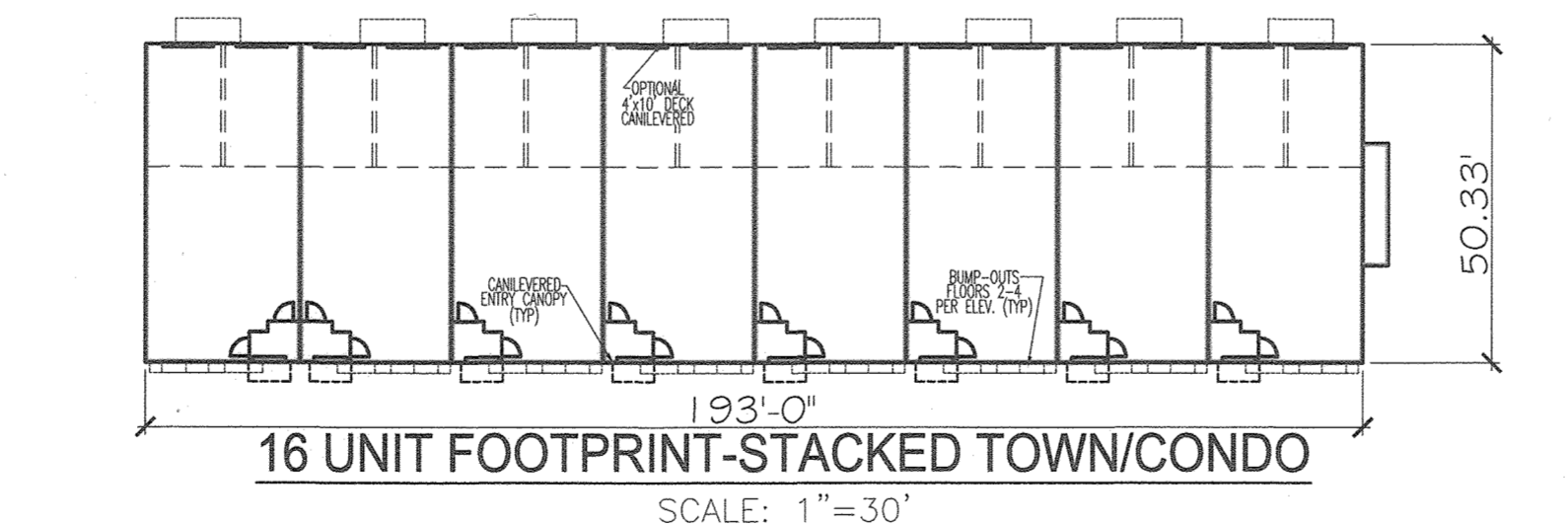
APARTMENT CONDO  
 NOT TO SCALE

**BUILDING NOTE:**  
 PRIOR TO APPLICATION FOR A BUILDING PERMIT, THE ELEVATIONS WILL BE REVIEWED AND THE DAP RECOMMENDATION CONSIDERED, AND THE ELEVATIONS THEN MODIFIED AS APPROPRIATE.

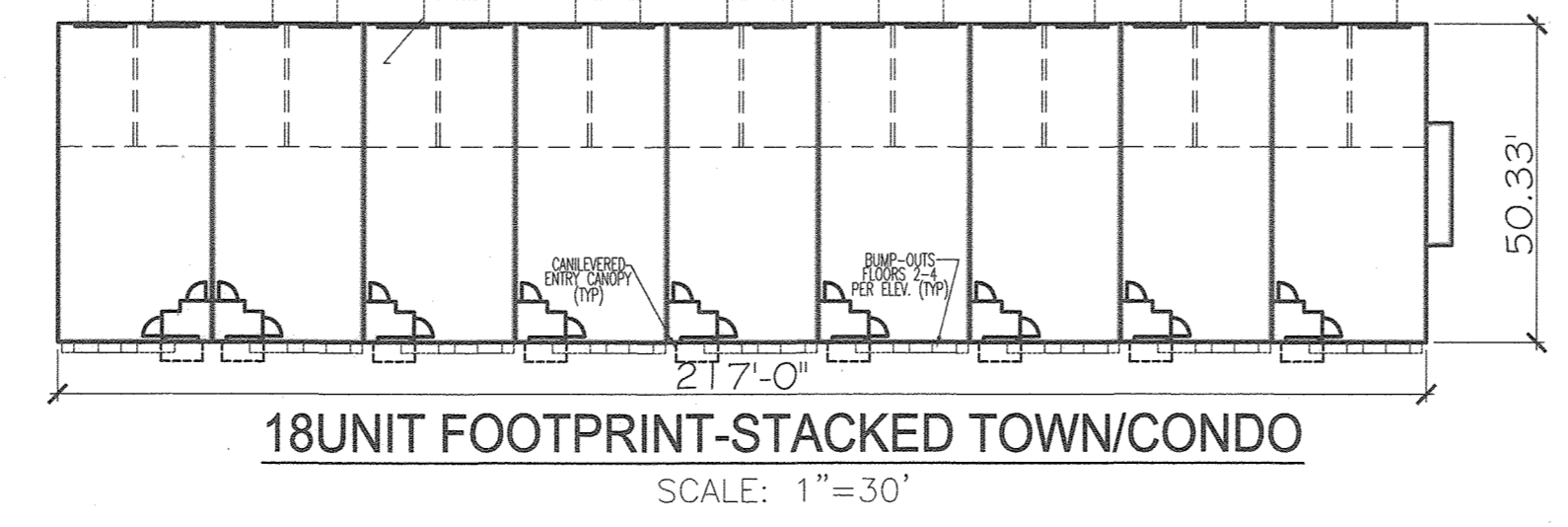
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22  
 DATE: 01/10/22  
 DATE: 01/10/22

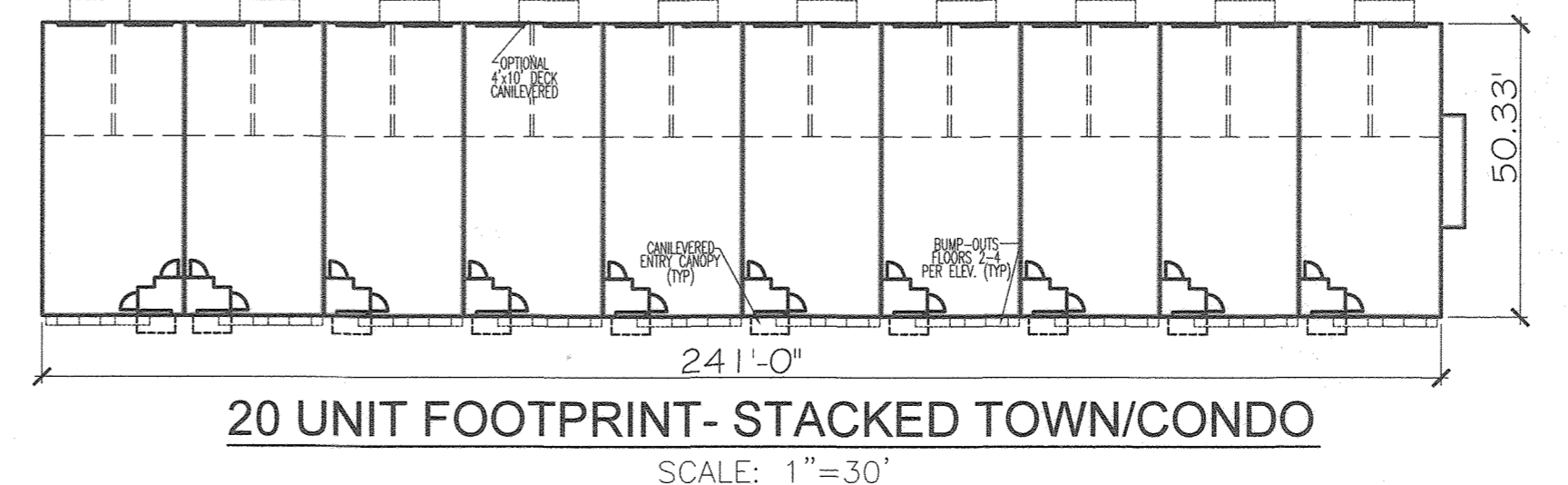
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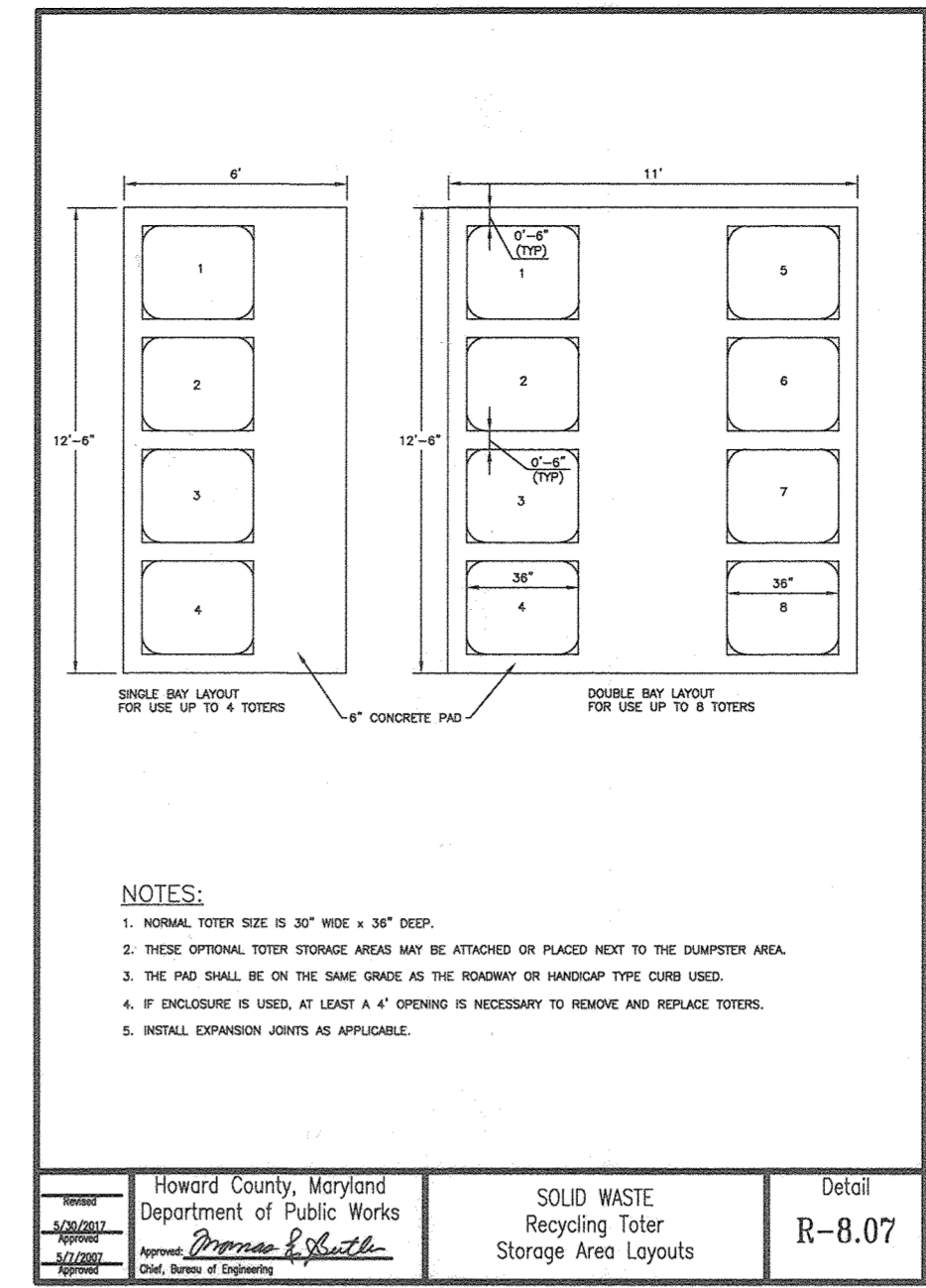
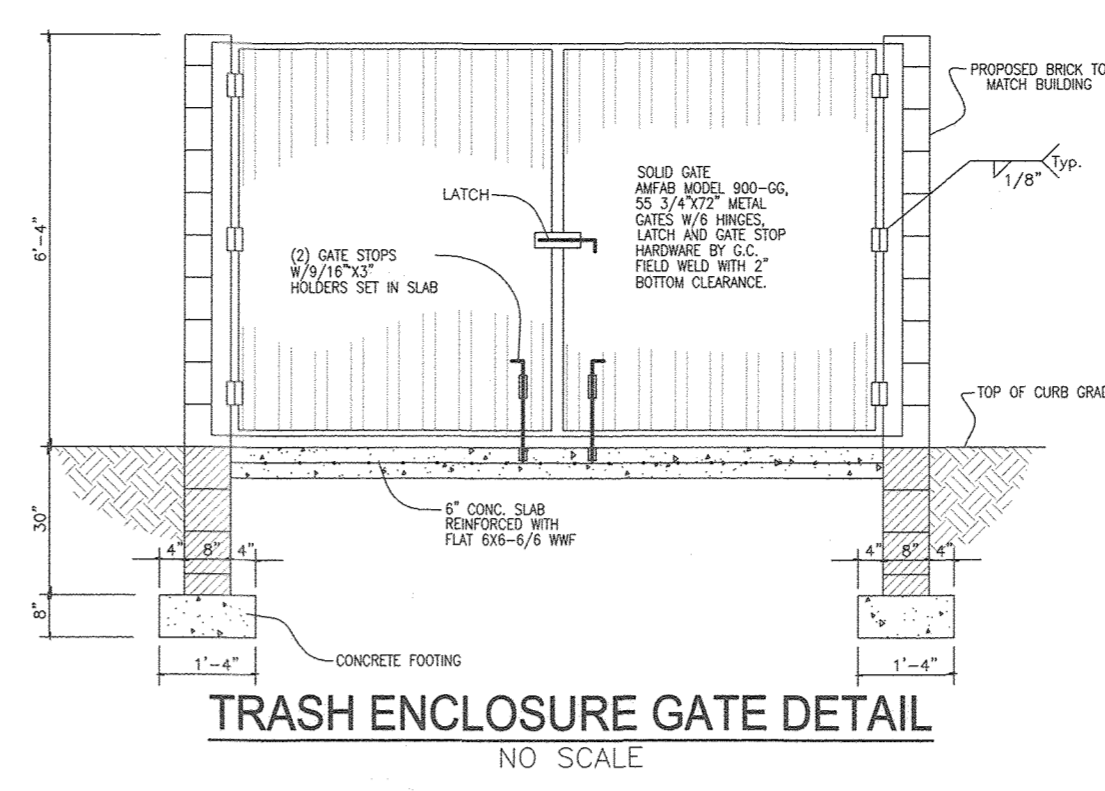
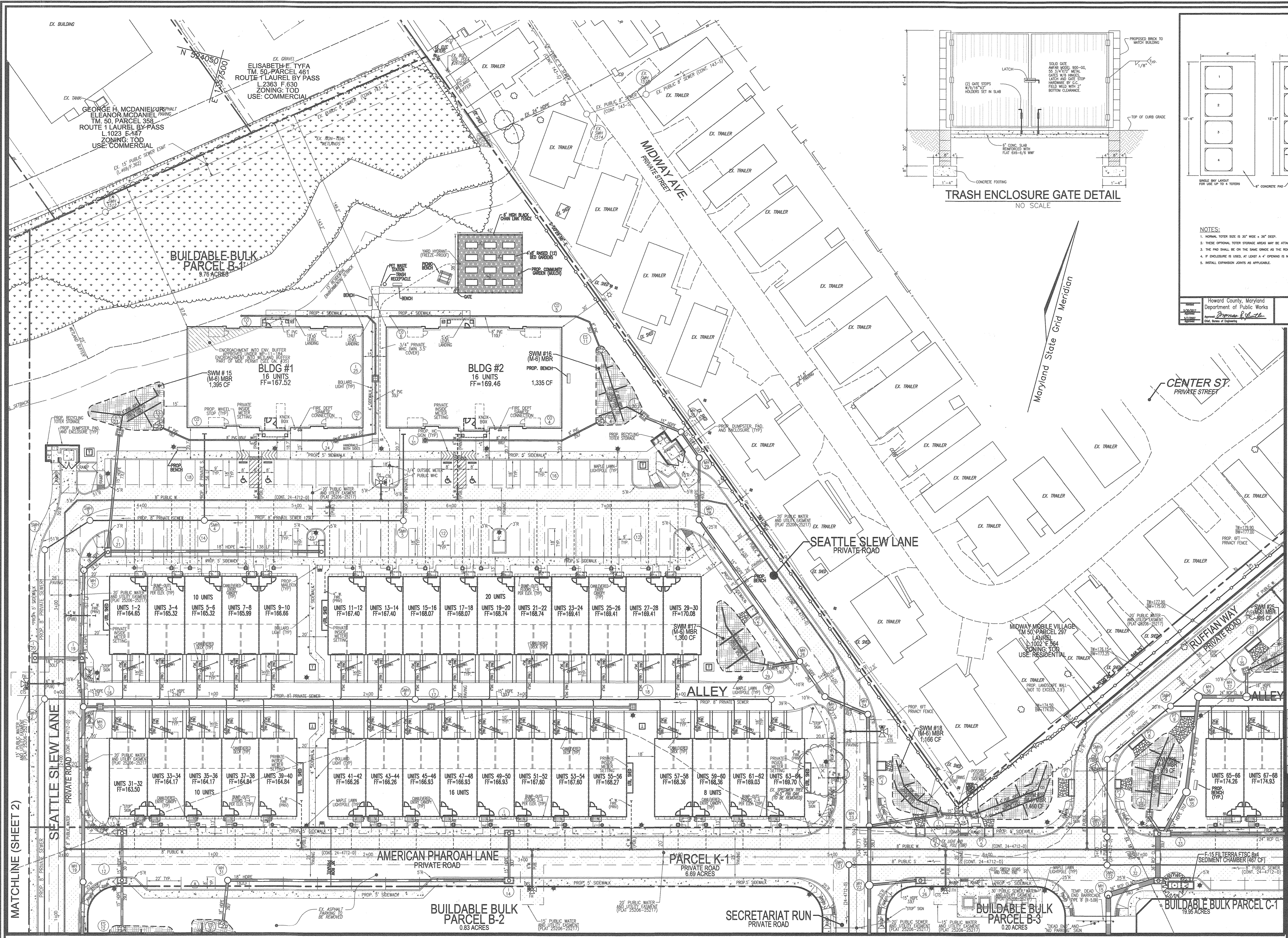
16 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'



18 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'



20 UNIT FOOTPRINT-STACKED TOWN/CONDO  
 SCALE: 1"=30'



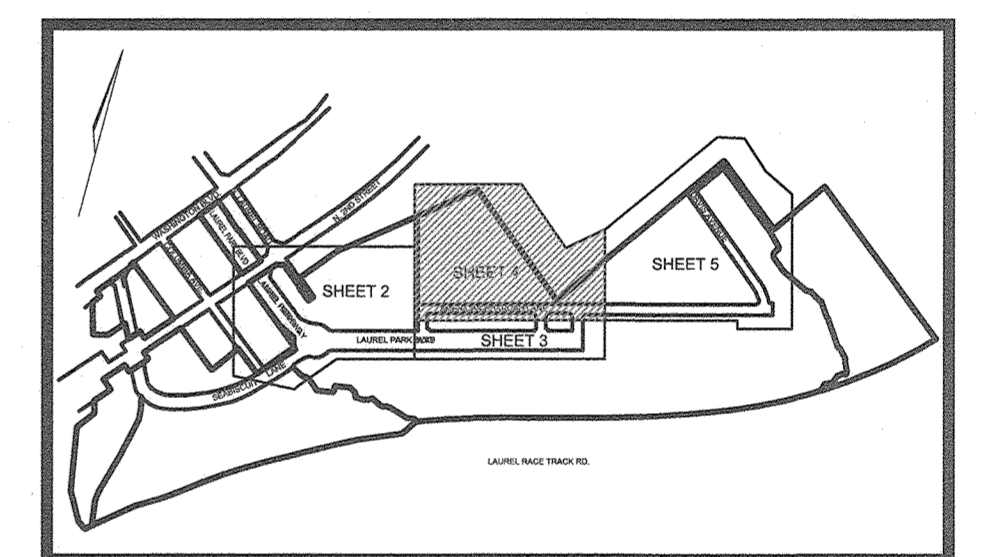
**LEGEND:**

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING TRENCH
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED STREET LIGHT
- PUBLIC SEWER, WATER AND UTILITY EASEMENT
- PERVIOUS PAVING
- STREET TREES
- PROPOSED STREET SIGN
- DEAD END BARRICADE
- PROPOSED RETAINING WALL

**NOTES:**

- MINIMUM TOWER SIZE IS 30" WIDE X 40" HIGH.
- THESE OPTIONAL TOWER STORAGE AREAS MAY BE ATTACHED OR PLACED NEXT TO THE DAMPENING AREA.
- THE PAD SHALL BE ON THE SAME GRADE AS THE ROADWAY OR HANDCAP TYPE CURB USED.
- IF ENCLOSURE IS USED, AT LEAST A 4" GRADING IS NECESSARY TO REMOVE AND REPLACE TOWERS.
- INSTALL EXPANSION JOINTS AS APPLICABLE.

Howard County, Maryland  
Department of Public Works  
SOLID WASTE  
Recycling Toler  
Storage Area Layouts  
Detail  
R-8.07



**KEY MAP**  
NOT TO SCALE

**OWNER**  
TRIPLE BELL FARMS, LLC.  
1487 S BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

NO.	REVISION	DATE
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**REVISED SITE DEVELOPMENT PLAN**  
**SITE LAYOUT PLAN**

**Paddock Pointe - Phase 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L10518/F.157)  
P.441 (L13288/F.377)  
ZONED: TOD

PARCELS: 384/441  
PARCELS: A-1, B-1, G-2  
PARCELS: B-3, C-1, J, K-1, L, and  
LOTS: D, E-1, F-1, G, H, & I  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8951 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022.

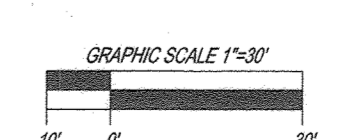
4 SHEET OF 54

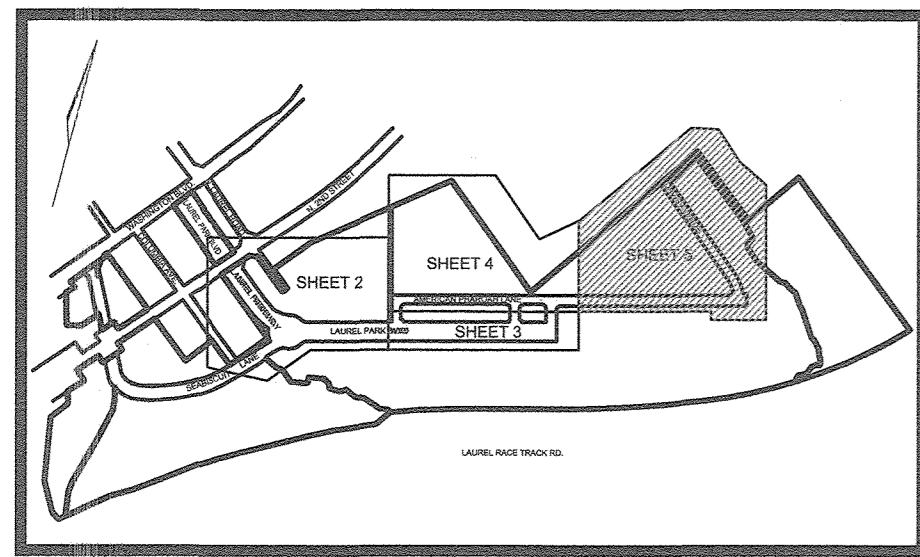
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6-10-22  
DATE: 01/10/22  
DATE: 01/10/22

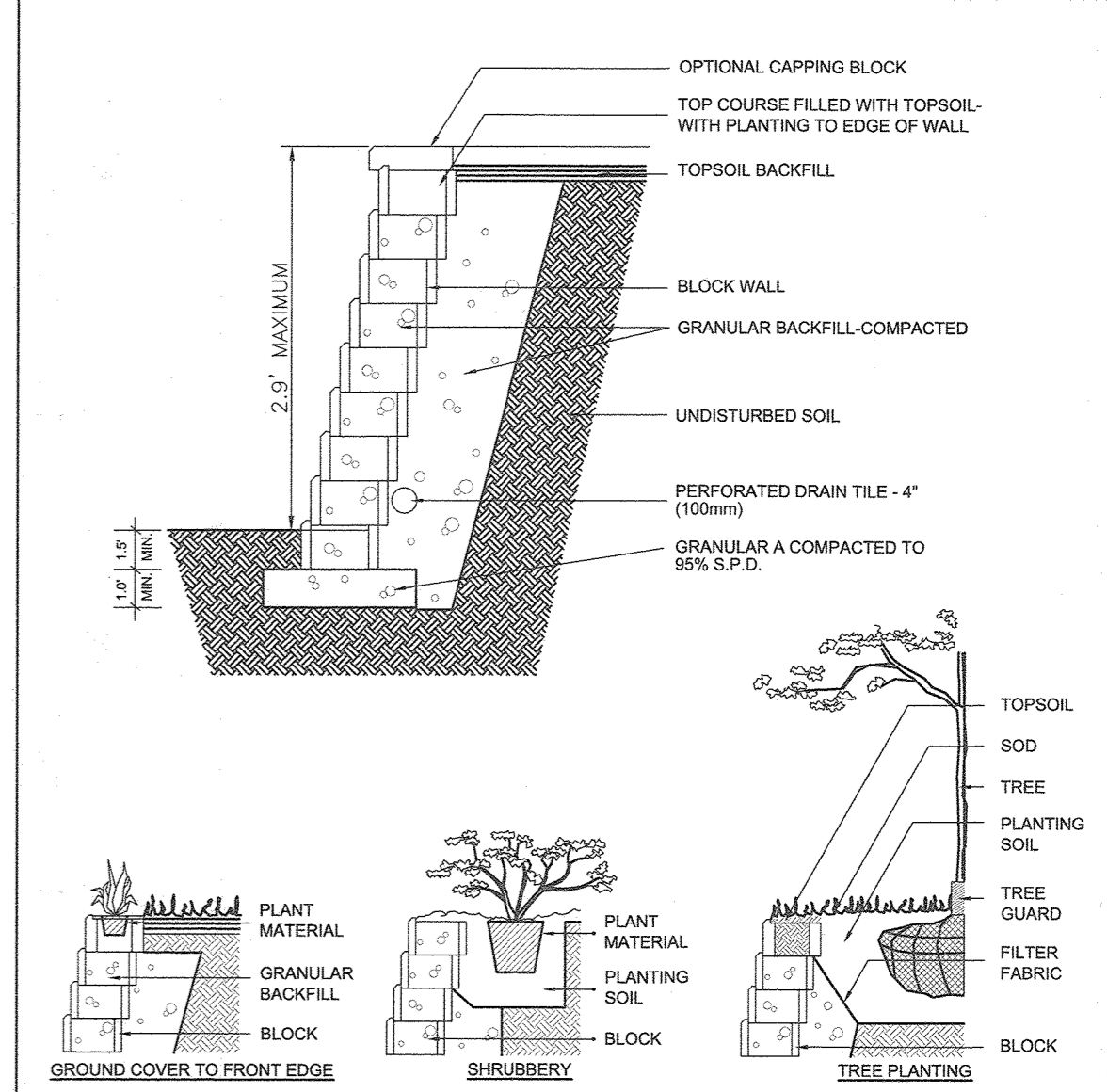
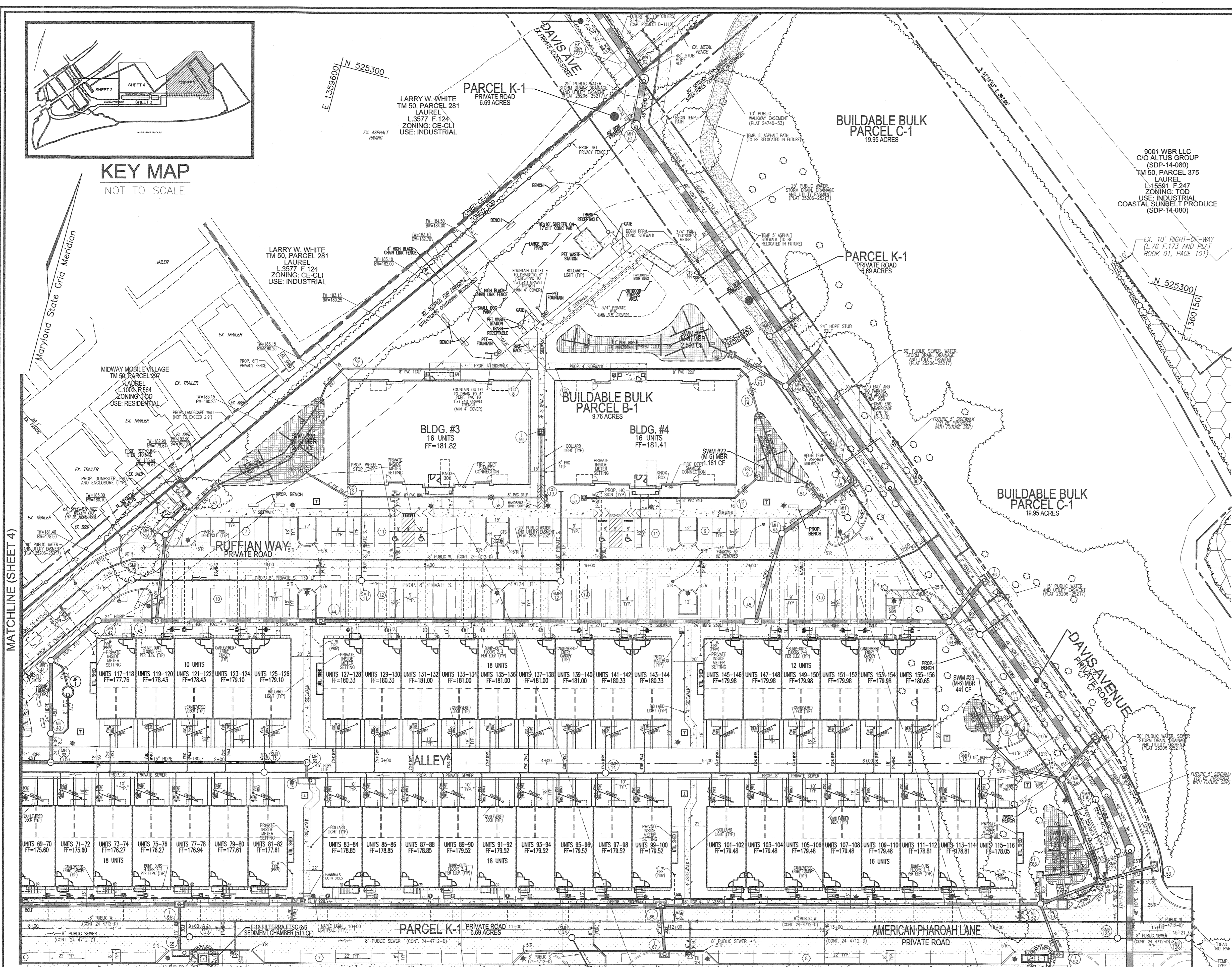
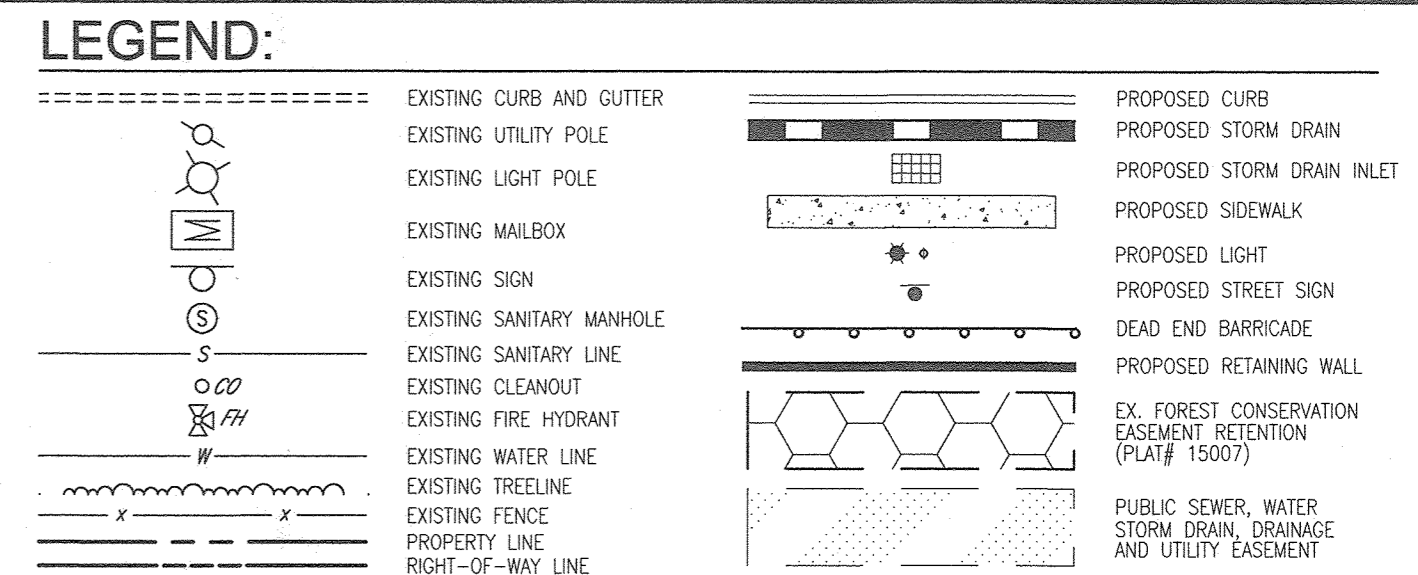
NOTE:  
NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

**PLAN VIEW**  
SCALE: 1"=30'





**KEY MAP**  
NOT TO SCALE



**SPECIFICATIONS:**

- EXCAVATE AREA TO LINE AND GRADES AS SHOWN ON CONSTRUCTION DRAWINGS
- SUBGRADE TO BE FIRM AND UNDISTURBED AND COMPACTED TO 95% S.P.D.
- BASE MATERIAL SHALL BE GRANULAR A COMPACTED TO 95% S.P.D. AND GRADED TO PROVIDE LEVEL HARD SURFACE ON WHICH TO PLACE THE FIRST COURSE OF UNITS, MIN. THICKNESS = 6" (150mm)
- PLACE FIRST COURSE A MINIMUM OF 4" (100mm) BELOW FINISHED GRADE, WITH THE BASED UP FACING OUT AND THE FRONT EDGES TIGHT TOGETHER. FILL CAVITIES WITH SAND OR CLEAR CRUSHED STONE AND COMPACT. SWEEP CLEAN AND CHECK THE UNITS FOR LEVEL AND ALIGNMENT. BACKFILL FRONT AND BACK OF ENTIRE BASE ROW TO FIRMLY LOCK IN PLACE.
- INSTALL SUBSEQUENT COURSES IN SIMILAR FASHION PROVIDING A MIN. 3" (76mm) OVERLAP OF SEAMS AND A MIN. OF 12" (305mm) GRANULAR BACKFILL. 6. WALLS HIGHER THAN 6' REQUIRE GEORGRIDS OR REBAR AND MASONRY CONSTRUCTION; CONSULT MANUFACTURER AND STRUCTURAL ENGINEER. 7. CONSULT WALL/BLOCK MANUFACTURER FOR MORE SPECIFIC INSTALLATION INSTRUCTIONS.

TYP. NON-STRUCTURAL WALL OR EQUAL

**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
2006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
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CANADA  
(905) 726-0995

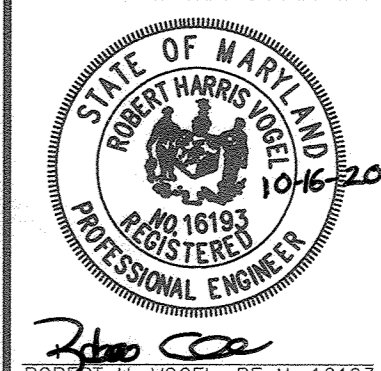
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REVISED SITE DEVELOPMENT PLAN

SITE LAYOUT PLAN

**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
PARCELS 384/441  
84 APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L.10518/F.157) B-3, C-1, J, K-1, L, and  
P.441 (L.13298/F.377) LOTS D, E-1, F-1, G, H, & I  
ZONED: TOD  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com



**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2022

DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

5 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

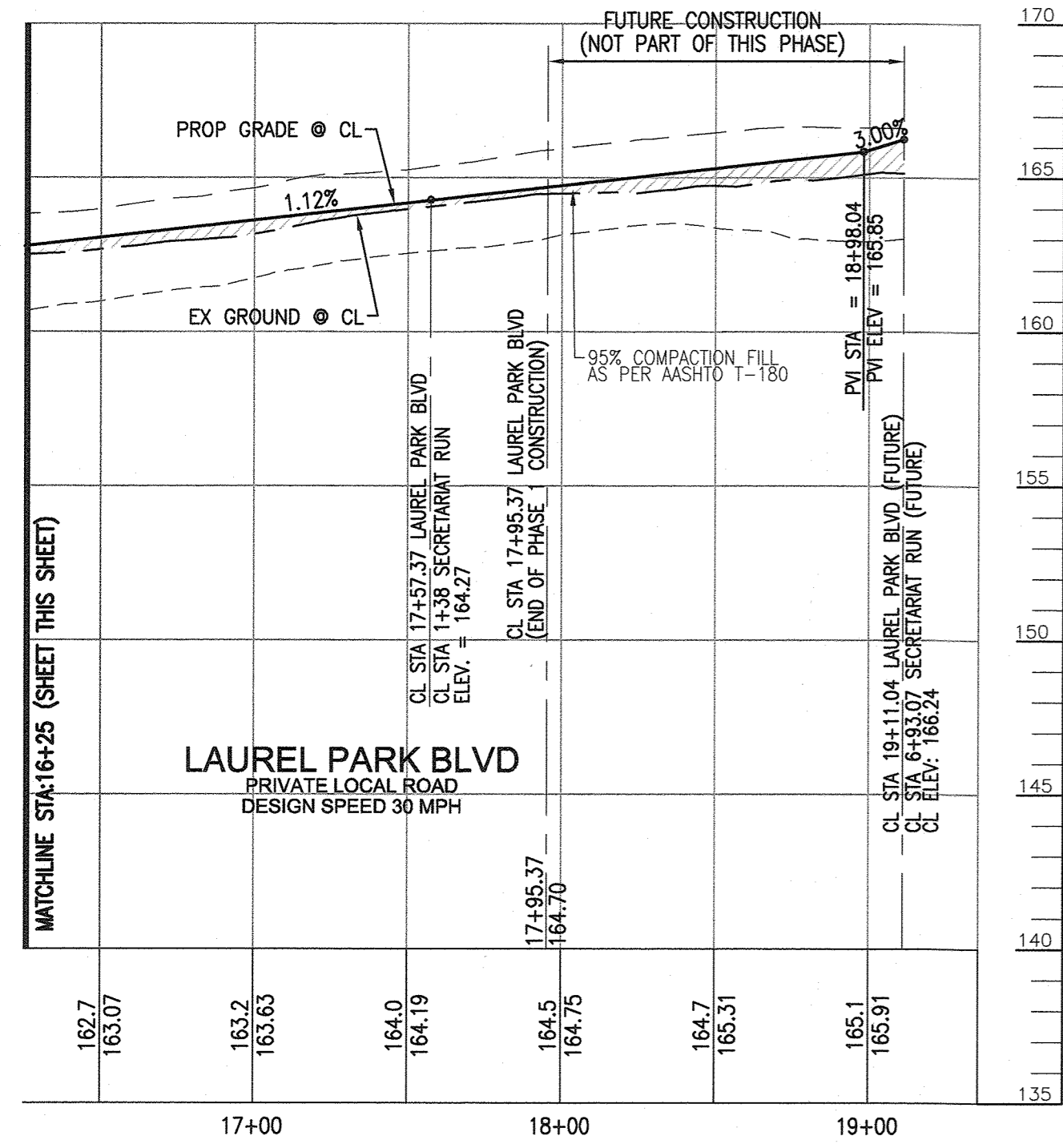
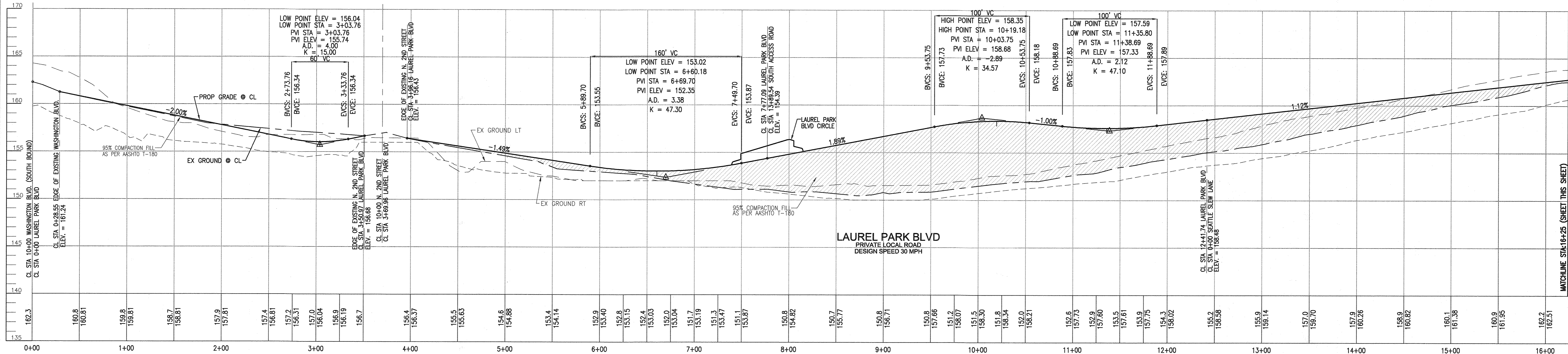
*[Signature]* 010/22  
CHIEF, DEVELOPMENT ENGINEERING DIVISION H&A DATE

*[Signature]* 01/11/22  
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

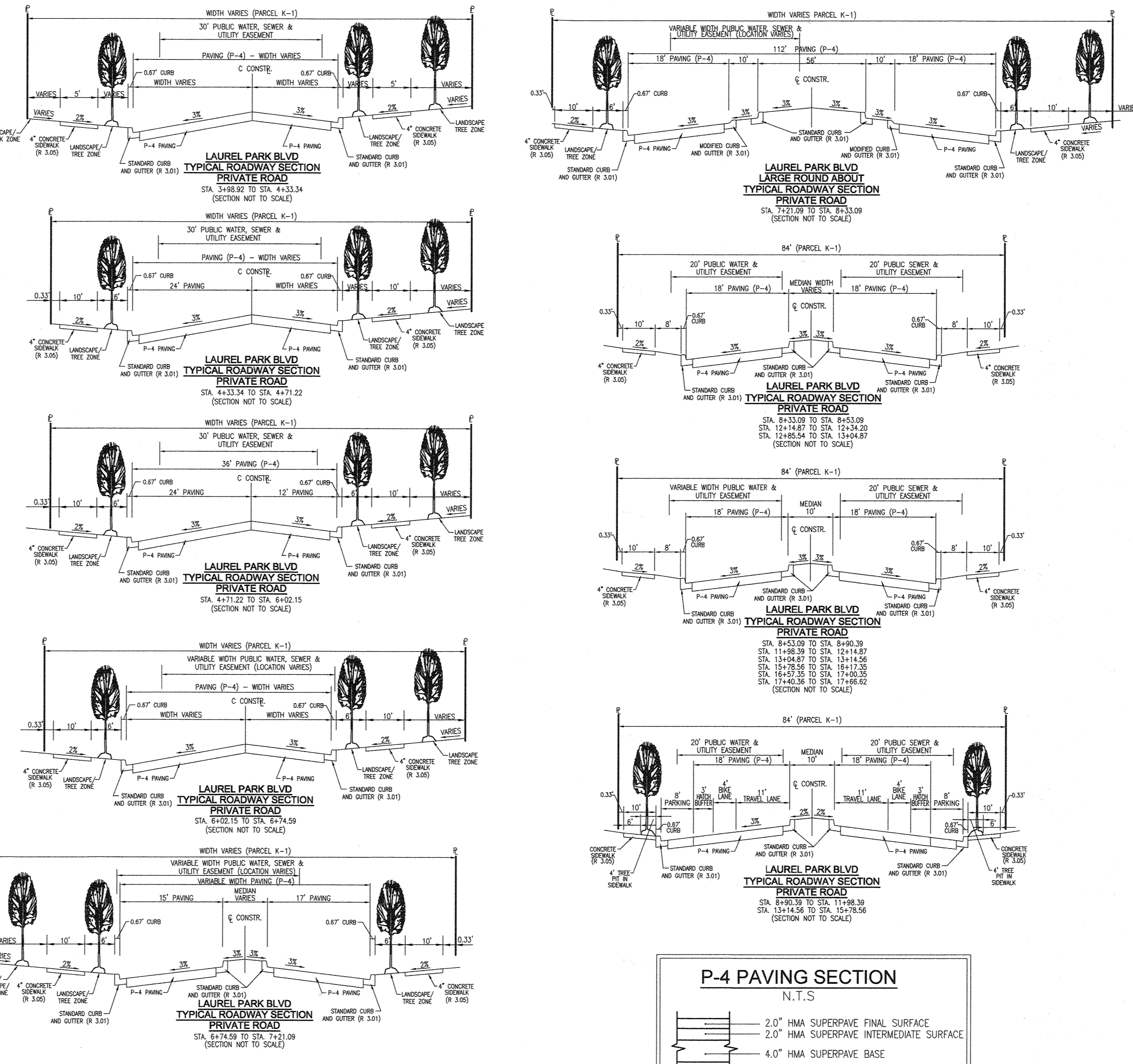
*[Signature]* 01/16/22  
DIRECTOR DATE

**NOTE:**  
NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

**PLAN VIEW**  
SCALE: 1" = 30'  
GRAPHIC SCALE 1"=30'



STREET NAME	STA.	OFFSET	FIXTURE TYP
LAUREL PARK BLVD.	0+44.33	37.78' L	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	0+99.59	22.17' R	150 WATT HPS VAPOR MAPLE
LAUREL PARK BLVD.	1+84.59	22.17' L	LAWN STYLE ACORN POT TOP
LAUREL PARK BLVD.	2+74.59	22.17' R	MOUNTED ON 12' BLACK
LAUREL PARK BLVD.	3+29.43	33.68' L	250 WATT (SAG) ON 30' BRONZE FIBERGLASS POLE WITH 12' ARM
LAUREL PARK BLVD.	4+15.02	23.31' R	
LAUREL PARK BLVD.	4+70.30	27.67' L	
LAUREL PARK BLVD.	5+69.48	15.66' R	
LAUREL PARK BLVD.	6+67.80	23.71' L	
LAUREL PARK BLVD.	7+26.16	31.60' R	
LAUREL PARK BLVD.	8+07.85	51.13' R	
LAUREL PARK BLVD.	8+10.53	49.42' L	
LAUREL PARK BLVD.	8+84.39	29.67' R	
LAUREL PARK BLVD.	8+84.39	29.67' L	
LAUREL PARK BLVD.	9+67.39	33.67' R	
LAUREL PARK BLVD.	9+67.39	33.67' L	
LAUREL PARK BLVD.	10+69.39	33.67' R	150 WATT HPS VAPOR MAPLE
LAUREL PARK BLVD.	10+69.39	33.67' L	LAWN STYLE ACORN POT TOP
LAUREL PARK BLVD.	11+95.39	33.67' R	MOUNTED ON 12' BLACK FIBERGLASS POLE WITH SHROUD
LAUREL PARK BLVD.	11+95.39	33.67' L	
LAUREL PARK BLVD.	12+87.39	29.67' R	
LAUREL PARK BLVD.	12+87.39	29.67' L	
LAUREL PARK BLVD.	14+00.56	33.67' L	
LAUREL PARK BLVD.	14+00.56	33.67' R	
LAUREL PARK BLVD.	15+00.56	33.67' L	
LAUREL PARK BLVD.	15+00.56	33.67' R	
LAUREL PARK BLVD.	16+27.06	33.67' L	
LAUREL PARK BLVD.	16+27.06	33.67' R	
LAUREL PARK BLVD.	17+17.30	33.67' L	
LAUREL PARK BLVD.	17+17.30	33.67' R	



WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.

FUTURE BUILDINGS CANNOT BE CLOSER THAN 10 FEET TO THE PUBLIC EASEMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 6/10/22

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 6/11/22

DIRECTOR: *[Signature]* DATE: 6/16/22

OWNER: 2006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 728-0995

OWNER/DEVELOPER: TRIPLE BELL FARMS, LLC. 14575 BAYVIEW AVE. AURORA, ONTARIO L4G 7A9 CANADA (905) 728-0995

NO.	REVISION	DATE
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REVISED SITE DEVELOPMENT PLAN

ROAD PROFILES AND DETAILS

PADDOCK POINTE - PHASE 1 (FORMERLY KNOWN AS LAUREL PARK STATION) PARCELS: 384/441 84 APARTMENT AND 156 STAPLED CONDO UNITS B-3, C-1, J, K-1, L AND P-384 (L10518/F157) B-3, C-1, J, K-1, L AND P-441 (L13286/F377) ZONED: T00 LOTS D, E-1, F-1, G, H, & I HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043 P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: RHW/DZE DATE: SEPTEMBER 2020

DRAWN BY: DZE

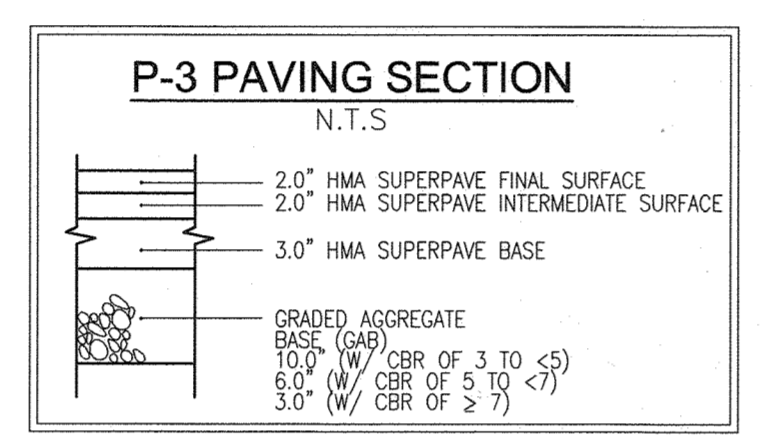
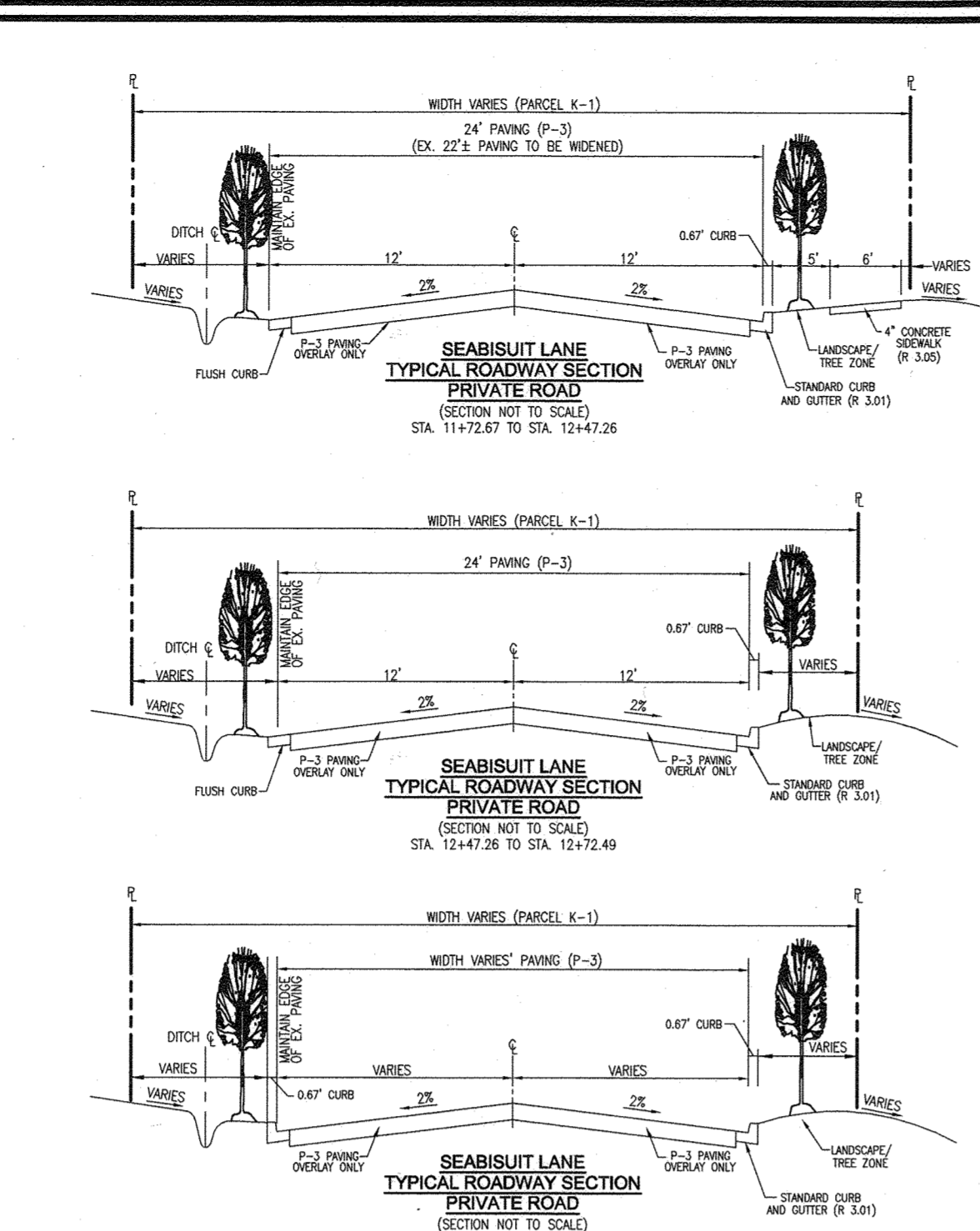
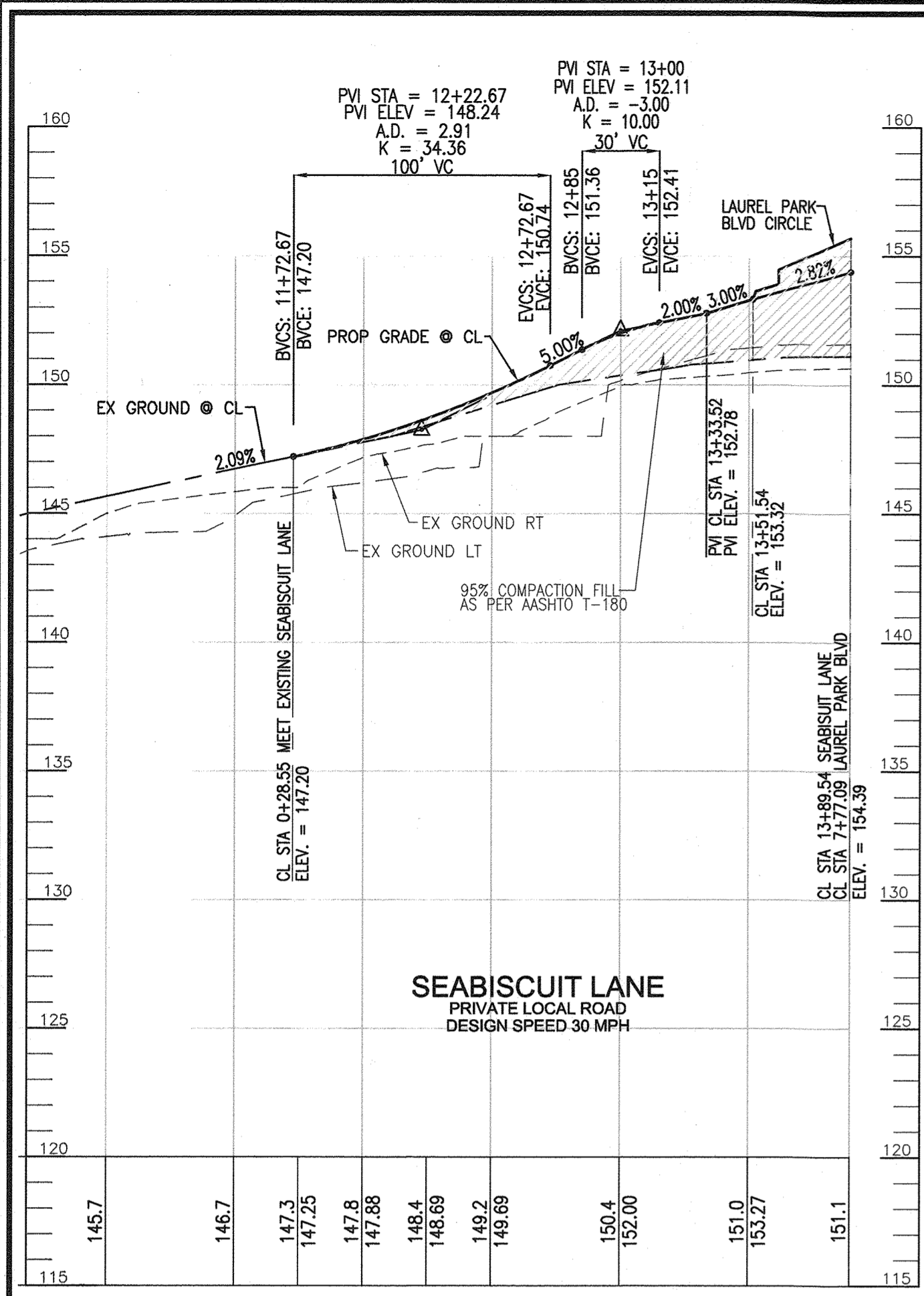
CHECKED BY: RHW

SCALE: AS SHOWN

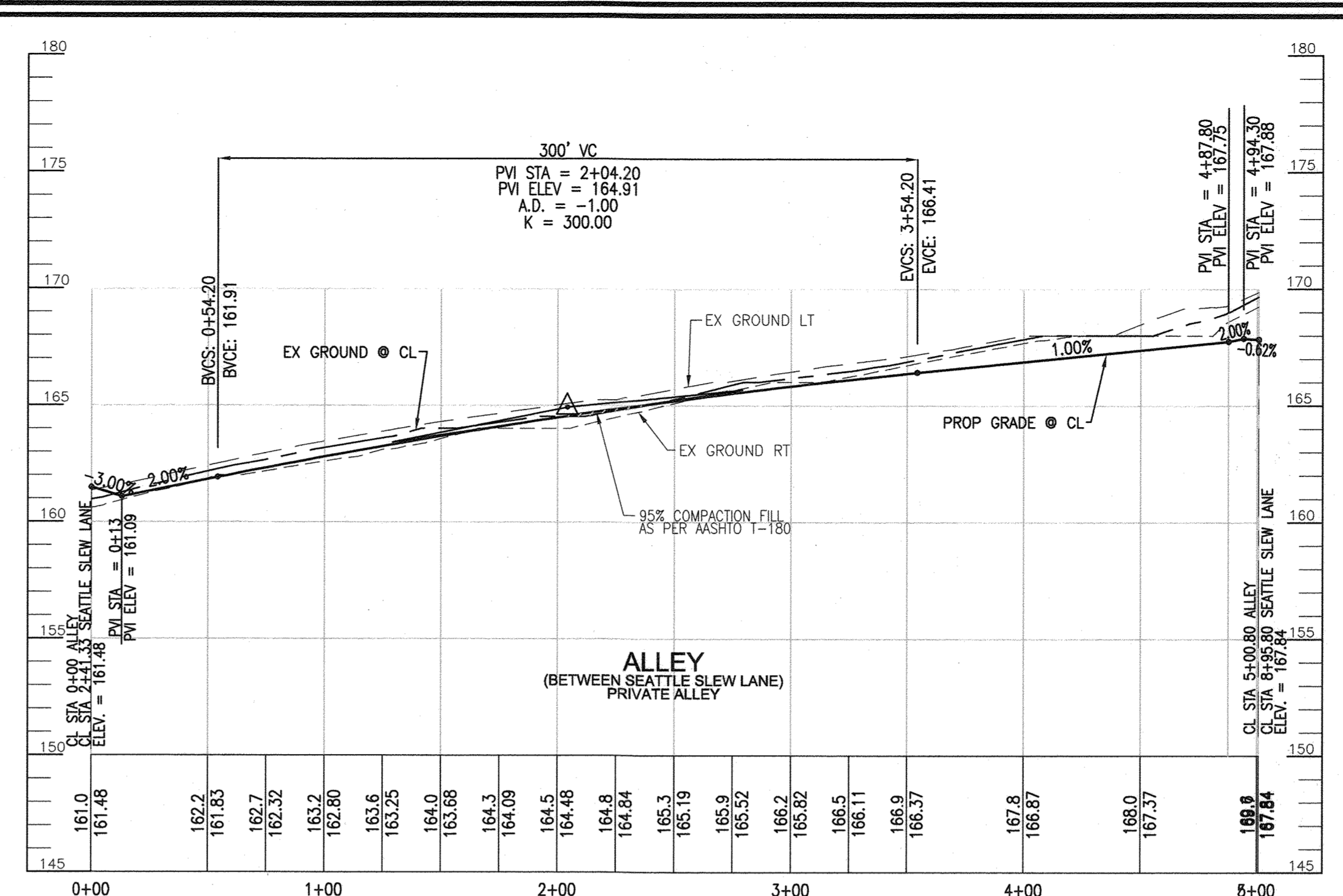
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: 09-27-2022

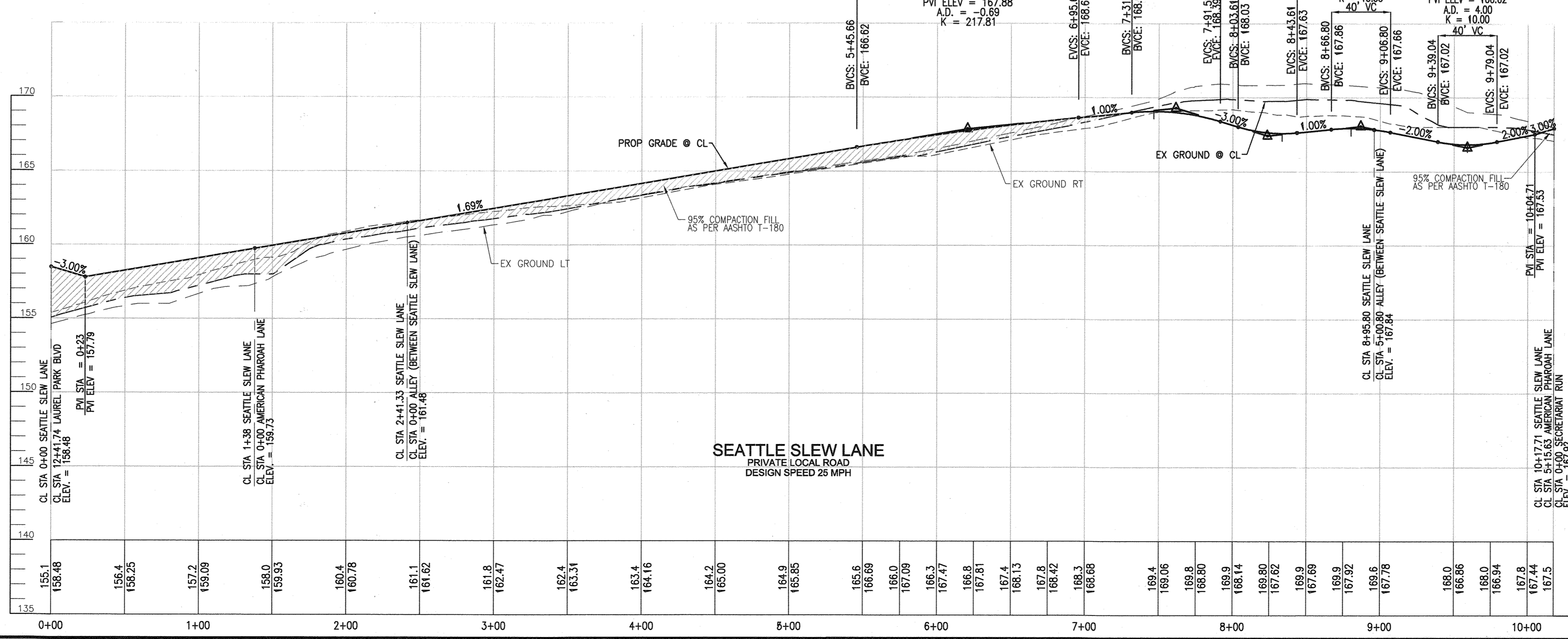
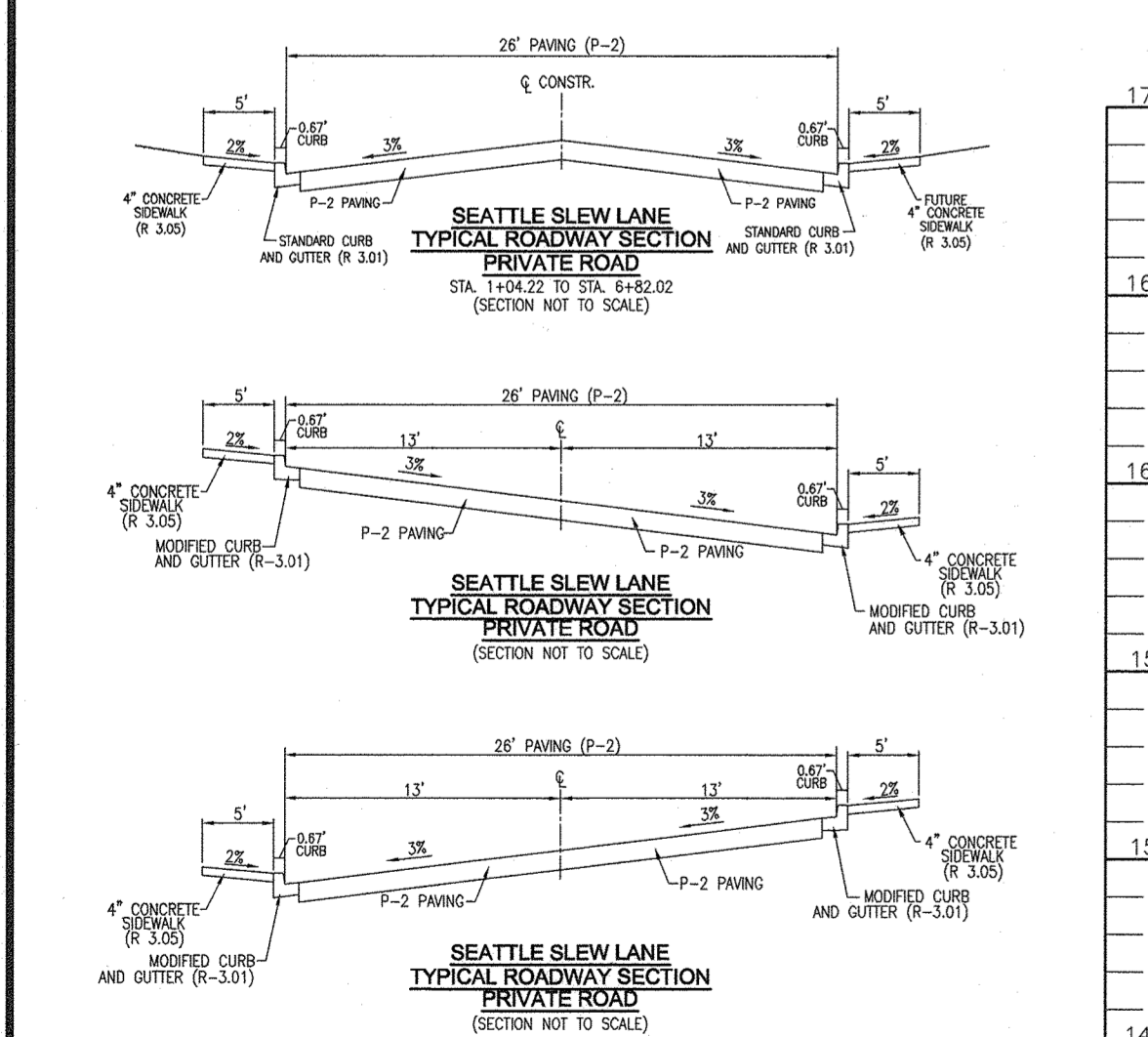
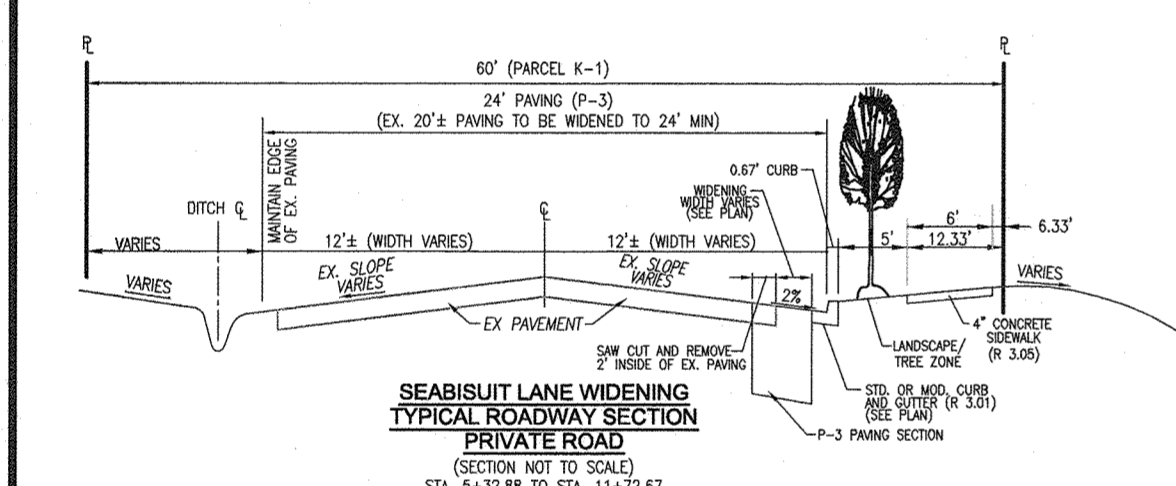
6 SHEET OF 54



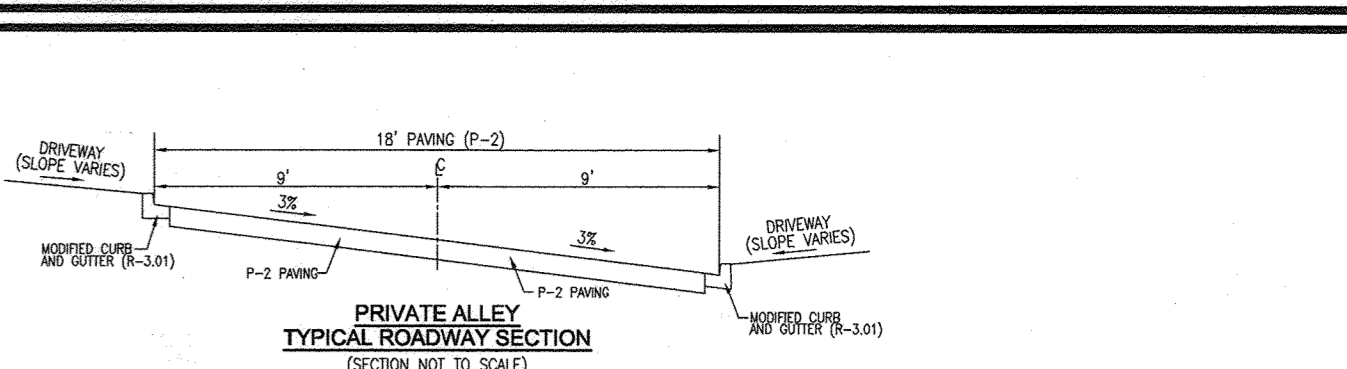
STREET NAME	STA	OFFSET	FIXTURE TYPE
SEABISCUIT LANE	5+49.32	15.17' R	150 WATT SOLID VAPOR TEAR DROP STYLE MOUNTED ON 2" BLACK FIBERGLASS POLE
SEABISCUIT LANE	6+43.51	26.78' R	
SEABISCUIT LANE	7+08.65	15.17' R	
SEABISCUIT LANE	8+11.07	21.17' R	
SEABISCUIT LANE	8+99.59	15.17' R	
SEABISCUIT LANE	9+86.39	15.17' R	
SEABISCUIT LANE	10+74.67	15.17' R	
SEABISCUIT LANE	11+64.45	15.17' R	
SEABISCUIT LANE	12+77.89	14.74' R	
SEABISCUIT LANE	12+77.89	14.74' R	



161.0	161.46	161.83	162.2	162.57	162.92	163.27	163.62	163.97	164.32	164.67	165.02	165.37	165.72	166.07	166.42	166.77	167.12	167.47	167.82	168.17	168.52	168.87	169.22	169.57	170.00
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155.1	156.46	156.83	157.2	157.57	157.92	158.27	158.62	158.97	159.32	159.67	160.02	160.37	160.72	161.07	161.42	161.77	162.12	162.47	162.82	163.17	163.52	163.87	164.22	164.57	164.92	165.27	165.62	165.97	166.32	166.67	167.02	167.37	167.72	168.07	168.42	168.77	169.12	169.47	169.82	170.17	170.52	170.87	171.22	171.57	171.92	172.27	172.62	172.97	173.32	173.67	174.02	174.37	174.72	175.07	175.42	175.77	176.12	176.47	176.82	177.17	177.52	177.87	178.22	178.57	178.92	179.27	179.62	179.97	180.32	180.67	181.02	181.37	181.72	182.07	182.42	182.77	183.12	183.47	183.82	184.17	184.52	184.87	185.22	185.57	185.92	186.27	186.62	186.97	187.32	187.67	188.02	188.37	188.72	189.07	189.42	189.77	190.12	190.47	190.82	191.17	191.52	191.87	192.22	192.57	192.92	193.27	193.62	193.97	194.32	194.67	195.02	195.37	195.72	196.07	196.42	196.77	197.12	197.47	197.82	198.17	198.52	198.87	199.22	199.57	199.92	200.27	200.62	200.97	201.32	201.67	202.02	202.37	202.72	203.07	203.42	203.77	204.12	204.47	204.82	205.17	205.52	205.87	206.22	206.57	206.92	207.27	207.62	207.97	208.32	208.67	209.02	209.37	209.72	210.07	210.42	210.77	211.12	211.47	211.82	212.17	212.52	212.87	213.22	213.57	213.92	214.27	214.62	214.97	215.32	215.67	216.02	216.37	216.72	217.07	217.42	217.77	218.12	218.47	218.82	219.17	219.52	219.87	220.22	220.57	220.92	221.27	221.62	221.97	222.32	222.67	223.02	223.37	223.72	224.07	224.42	224.77	225.12	225.47	225.82	226.17	226.52	226.87	227.22	227.57	227.92	228.27	228.62	228.97	229.32	229.67	230.02	230.37	230.72	231.07	231.42	231.77	232.12	232.47	232.82	233.17	233.52	233.87	234.22	234.57	234.92	235.27	235.62	235.97	236.32	236.67	237.02	237.37	237.72	238.07	238.42	238.77	239.12	239.47	239.82	240.17	240.52	240.87	241.22	241.57	241.92	242.27	242.62	242.97	243.32	243.67	244.02	244.37	244.72	245.07	245.42	245.77	246.12	246.47	246.82	247.17	247.52	247.87	248.22	248.57	248.92	249.27	249.62	249.97	250.32	250.67	251.02	251.37	251.72	252.07	252.42	252.77	253.12	253.47	253.82	254.17	254.52	254.87	255.22	255.57	255.92	256.27	256.62	256.97	257.32	257.67	258.02	258.37	258.72	259.07	259.42	259.77	260.12	260.47	260.82	261.17	261.52	261.87	262.22	262.57	262.92	263.27	263.62	263.97	264.32	264.67	265.02	265.37	265.72	266.07	266.42	266.77	267.12	267.47	267.82	268.17	268.52	268.87	269.22	269.57	269.92	270.27	270.62	270.97	271.32	271.67	272.02	272.37	272.72	273.07	273.42	273.77	274.12	274.47	274.82	275.17	275.52	275.87	276.22	276.57	276.92	277.27	277.62	277.97	278.32	278.67	279.02	279.37	279.72	280.07	280.42	280.77	281.12	281.47	281.82	282.17	282.52	282.87	283.22	283.57	283.92	284.27	284.62	284.97	285.32	285.67	286.02	286.37	286.72	287.07	287.42	287.77	288.12	288.47	288.82	289.17	289.52	289.87	290.22	290.57	290.92	291.27	291.62	291.97	292.32	292.67	293.02	293.37	293.72	294.07	294.42	294.77	295.12	295.47	295.82	296.17	296.52	296.87	297.22	297.57	297.92	298.27	298.62	298.97	299.32	299.67	300.02
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**FlowLine LED unit – linear LED tunnel luminaire**

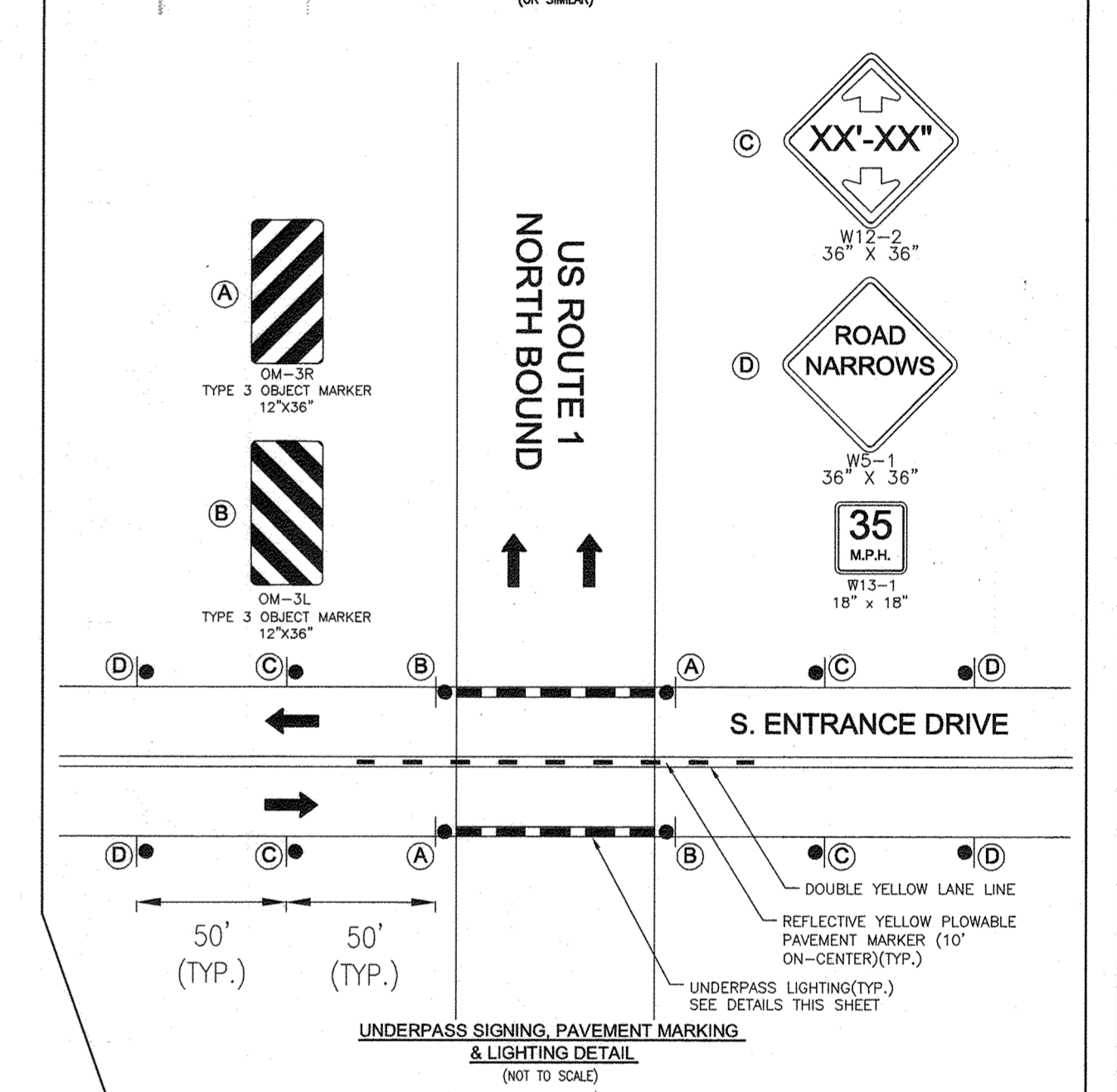
FlowLine LED lighting offers a true interior lighting solution. It is designed for use in tunnel environments where traditional fluorescent lighting is used. FlowLine LED lighting offers a true interior lighting solution. It is designed for use in tunnel environments where traditional fluorescent lighting is used. FlowLine LED lighting offers a true interior lighting solution. It is designed for use in tunnel environments where traditional fluorescent lighting is used.

**Specifications:**

- Type: Linear LED
- Length: 12' or 24'
- Power: 24 or 48 W
- Beam Spread: 30° or 45°
- Color Temperature: 3000K or 4000K
- Material: Aluminum
- Finish: Powder Coat
- Mounting: Surface or recessed
- Operating Temperature: -20°C to 50°C
- Humidity: 5% to 95%
- IP Rating: IP65
- UL Listing: UL Listed
- RoHS Compliant: Yes

**Features:**

- High efficiency LED
- Long life span
- Low heat output
- Easy installation
- Wide range of mounting options
- Available in multiple lengths
- Available in multiple colors
- Available in multiple finishes



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 6/10/22

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 6/16/22

DIRECTOR: *[Signature]* DATE: 6/16/22

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO L4C 7A9  
CANADA (905) 728-0995

**OWNER/DEVELOPER**  
455 MAGNA DRIVE  
AURORA, ONTARIO L4C 7A9  
CANADA (905) 728-0995

**REVISED SITE DEVELOPMENT PLAN**

**ROAD PROFILES AND DETAILS**

**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION) PARCELS: 384/441  
84 APARTMENT AND 156 STACKED CONDO UNITS PARCELS: A-1, B-1, B-2  
P.384 (L.10518/F.157) B-3, C-1, J, K-1, AND  
P.441 (L.13296/F.377) LOTS D, E-1, F-1, G, H, I AND  
ZONED: T00 HOWARD COUNTY, MARYLAND

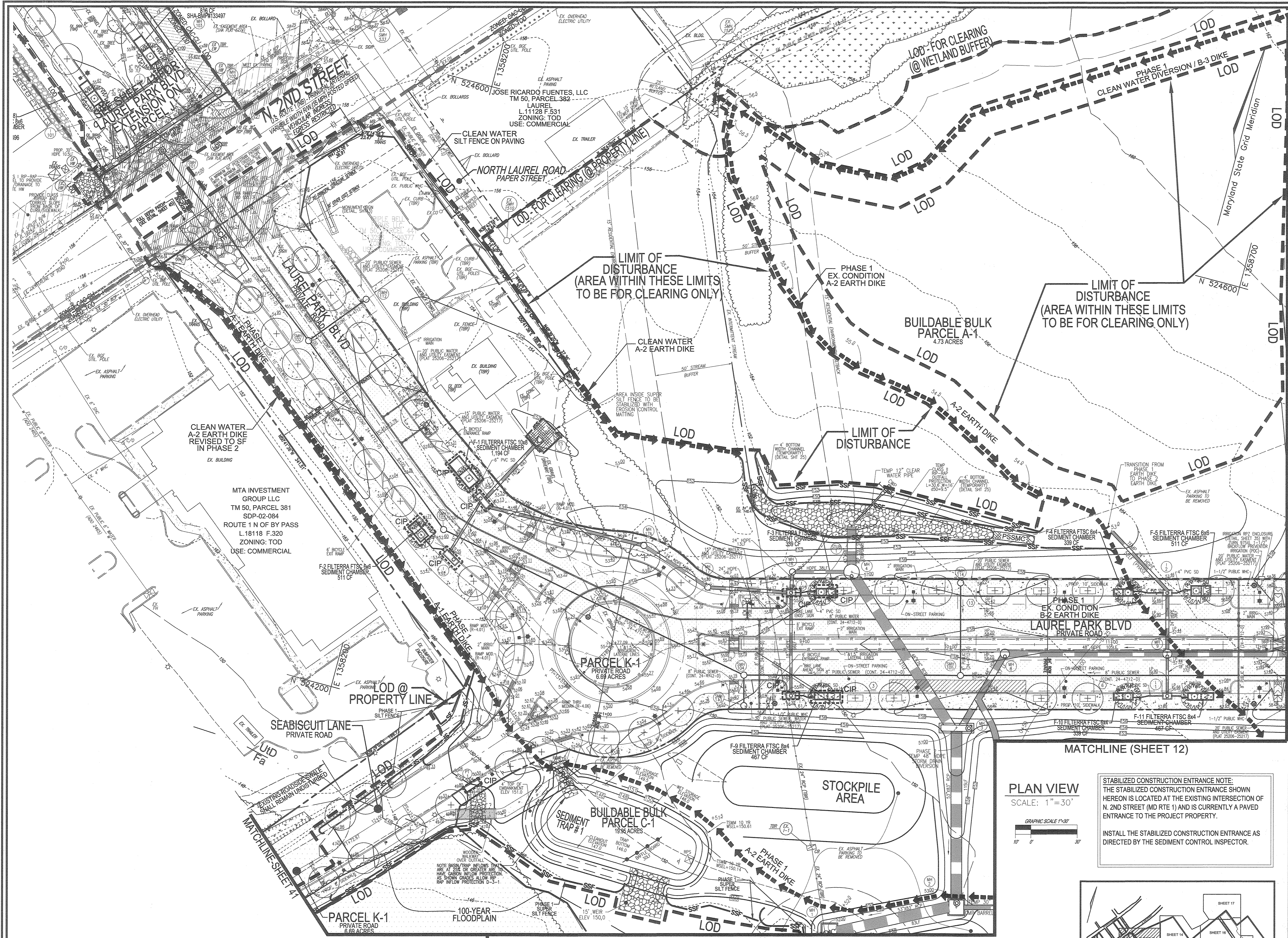
**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 19183. EXPIRATION DATE: 08-27-2022.

DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

7 SHEET OF 54



### LEGEND:

	EXISTING CONTOUR		PUBLIC 100 YR FLOODPLAIN
	PROPOSED CONTOUR		SUPER SILT FENCE
	EXISTING SPOT ELEVATION		SILT FENCE
	EXISTING CURB AND GUTTER		LIMIT OF DISTURBANCE
	EXISTING UTILITY POLE		CURB INLET PROTECTION
	EXISTING LIGHT POLE		STABILIZED CONSTRUCTION ENTRANCE
	EXISTING MAILBOX		EARTH DIKE / CLEAN WATER DIVERSION DIKE
	EXISTING SANITARY MANHOLE		PUBLIC SEWER, WATER AND UTILITY EASEMENT
	EXISTING SANITARY LINE		BAFFLE
	EXISTING CLEANOUT		GABION PROTECTION
	EXISTING FIRE HYDRANT		REMOVABLE PUMP STATION
	EXISTING WATER LINE		
	PROPOSED STORM DRAIN		
	PROPOSED STORM DRAIN INLET		
	EXISTING TREE LINE		
	EXISTING FENCE		
	PROPERTY LINE		
	RIGHT-OF-WAY LINE		
	SOILS BOUNDARY		
	EXISTING STREAM		
	EXISTING STREAM BUFFER		
	EX. WETLAND BUFFER		
	EX. LIMIT OF WETLAND		
	PROPOSED STREET LIGHT		
	PROPOSED SIDEWALK		
	PROPOSED STREET SIGN		
	DEAD END BARRIER		
	IRRIGATION LINE		
	STREET TREES		
	EROSION CONTROL MATTING (1.50LB/FT <sup>2</sup> )		
	CLEAR WATER PIPE THROUGH SILT FENCE		

### DETAIL E-4 CLEAR WATER PIPE THROUGH SILT FENCE OR SUPER SILT FENCE

**CONSTRUCTION SPECIFICATIONS:**

- INSTALL SILT FENCE OR SUPER SILT FENCE IN ACCORDANCE WITH DETAIL E-1 OR DETAIL E-2.
- AT THE POINT WHERE THE CLEAR WATER PIPE ENTERS THE SILT FENCE, THE PIPE SHALL BE SUPPORTED BY A 4x4 INCH POST. THE PIPE SHALL BE INSTALLED WITH A 1/2 INCH CLEARANCE ON BOTH SIDES OF THE PIPE. THE PIPE SHALL BE INSTALLED WITH A 1/2 INCH CLEARANCE ON BOTH SIDES OF THE PIPE.
- ENTRANCE TO HIGH PLYWOOD BATTLE A MINIMUM OF 8 INCHES AND SECURE TO THE UNDER SIDE OF THE FENCE STAKE OR POST. BATTLE SHOULD BE AT LEAST THE HEIGHT OF THE FENCE.
- PLACE 8 TO 18 INCH STONE OR EQUIVALENT RECYCLED CONCRETE BEHIND THE PLYWOOD BATTLE ON BOTH SIDES OF THE PIPE AND TO A HEIGHT OF 4 INCHES ABOVE THE TOP OF PIPE.
- USE HORNWOOD AND WOODS SILT FENCE BATTERIES AS SHOWN IN SECTION A-1 MATERIALS.
- REMOVE ACCUMULATED SEDIMENT AND SOLIDS FROM SEDIMENT CHAMBERS 8 INCHES IN HEIGHT AND REPLACE STAKE IF REPLACED. KEEP POINT OF ENTRANCE FREE OF BRUSH.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL  
 2011 MARYLAND DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES CONSTRUCTION SERIES

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	05/11/19

### REVISED SITE DEVELOPMENT PLAN

## GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN

### Paddock Pointe - Phase 1

FORMERLY KNOWN AS LAUREL PARK STATION  
 64 APARTMENT AND 150 STACKED CONDOS UNITS

PARCELS: 384/441  
 B-1, B-2, B-3, C-1, J, K, L, L-1  
 P.384 (L10518/F.157)  
 P.441 (L13296/F.377)  
 ZONED: TOD

TAX MAP: 50 BLOCK: 10  
 6TH ELECTION DISTRICT

## VOGEL ENGINEERING

### TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION  
 DATE: 6/10/22

CHIEF DIVISION OF LAND DEVELOPMENT  
 DATE: 6/10/22

DIRECTOR  
 DATE: 6/10/22

OWNER/DEVELOPER CERTIFICATION:  
 I HEREBY CERTIFY THAT ANY GRADING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT CONSERVATION DISTRICT.

OWNER/DEVELOPER SIGNATURE  
 MARK C. THOMPSON  
 PRINTED NAME & TITLE

DATE: 10/21/20

DESIGN CERTIFICATION:  
 I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE  
 ROBERT H. VOGEL  
 PRINTED NAME

DATE: 10/16/20

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D.  
 DATE: 05/23/22

### SOILS LEGEND

HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRO
ES	EVERSBROOK LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.43	NO	NO
Fs	FALLSINGTON LOAMY SAND, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RSB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
LSB	LOOKMOUNTS LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
LUD	URBAN LAND-UDORHENSIS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

**SOILS NOTE:**  
 HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

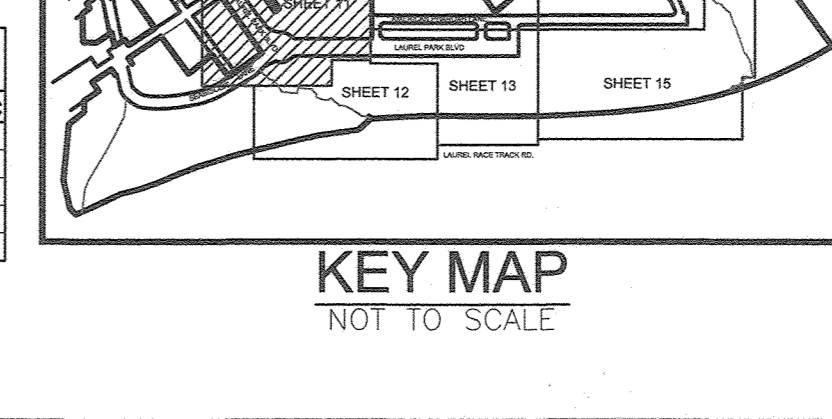
### PLAN VIEW

SCALE: 1" = 30'

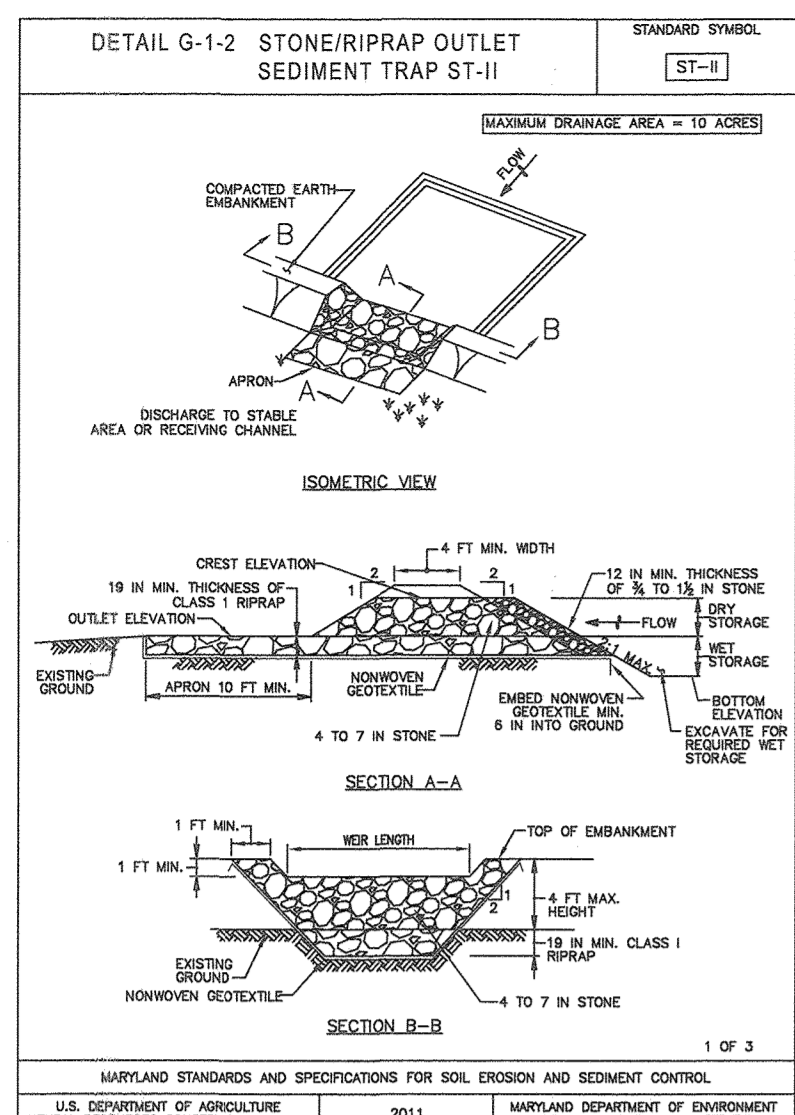
GRAPHIC SCALE 1" = 30'

STABILIZED CONSTRUCTION ENTRANCE NOTE:  
 THE STABILIZED CONSTRUCTION ENTRANCE SHOWN HEREON IS LOCATED AT THE EXISTING INTERSECTION OF N. 2ND STREET (MD RTE 1) AND IS CURRENTLY A PAVED ENTRANCE TO THE PROJECT PROPERTY.

INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR.







**BASIN # 1**

FACILITY TYPE: TEMPORARY BASIN

EX. DRAINAGE AREA: 20.00 AC

PROP. DRAINAGE AREA: 20.00 AC

TOTAL WET STORAGE REQ'D: 36,000 CF

TOTAL DRY STORAGE REQ'D: 16,000 CF

TOTAL STORAGE REQUIRED: 72,000 CF

TOTAL WET STORAGE PRVD: 37,593 CF

TOTAL DRY STORAGE PRVD: 39,273 CF

TOTAL STORAGE PROVIDED: 76,756 CF

BOTTOM ELEV.: 144.00

RISER CREST ELEVATION: 148.00

PROVIDE 4 (12") NOTCHES IN RISER SPACED EQUAL DISTANCE APART @ ELEV 147.30

WET STORAGE ELEVATION: 144.00-145.70

DRY STORAGE ELEVATION: 145.70-147.30

TOTAL STORAGE DEPTH: 3.3' (144.00-147.30)

TOP OF EMBANKMENT: 152.0 (SETTLED)

CLEANOUT ELEVATION: 144.85

SIDE SLOPES: 2:1 INSIDE, 3:1 OUTSIDE

EMERGENCY SPILLWAY: N/A

STORM DRAIN OUTFALL

Q1 (EX.): 28 CFS

Q10 (EX.): 63 CFS

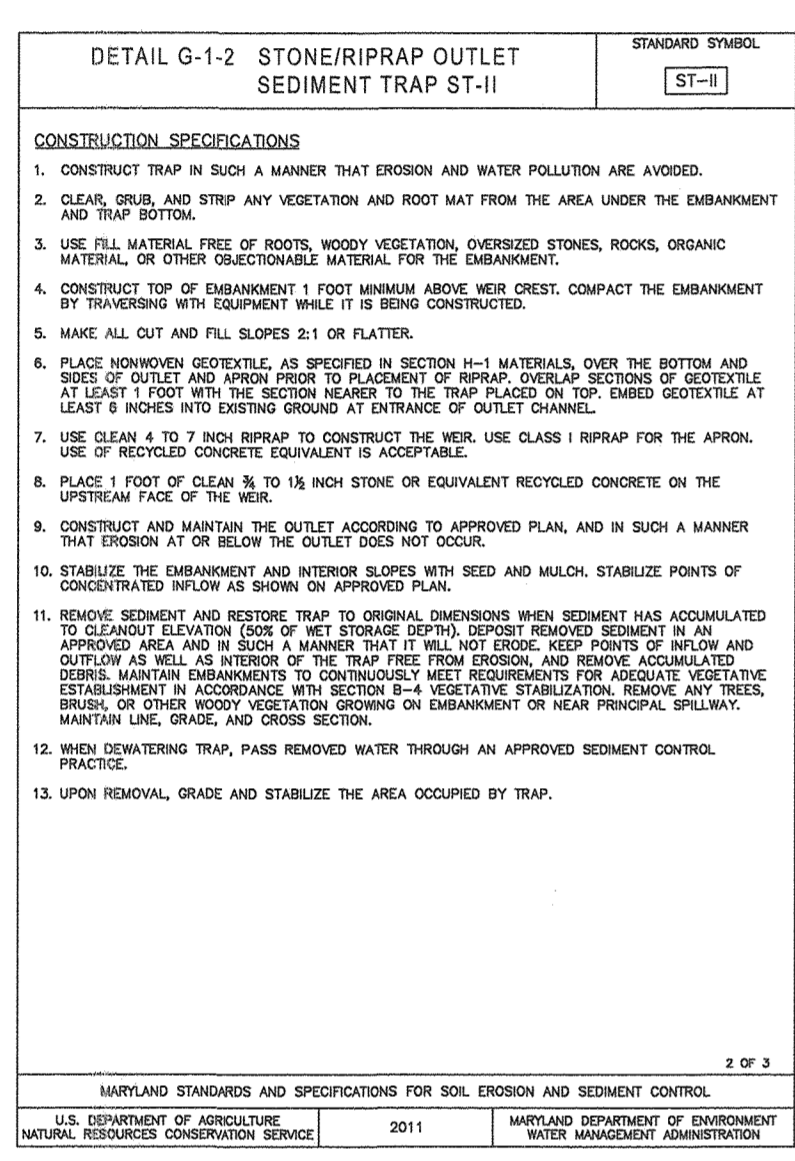
Q1 (BASIN): 22 CFS

Q10 (BASIN): 49 CFS

1 YR TSM WSEL = 148.41

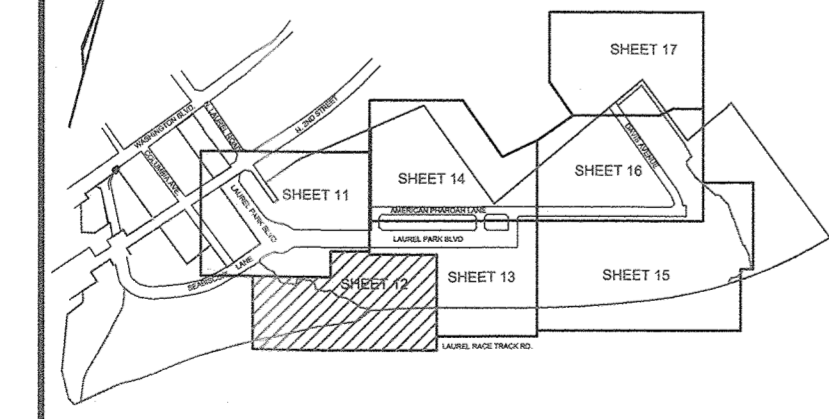
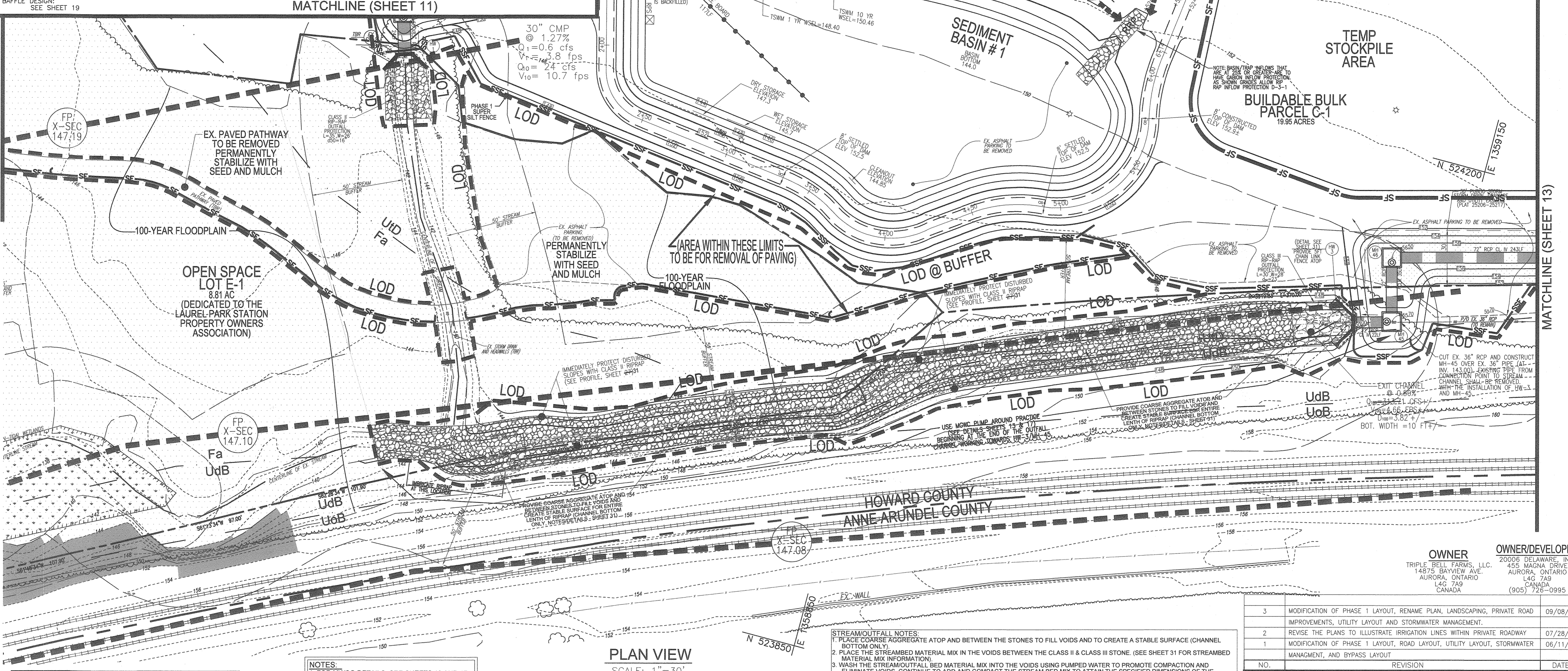
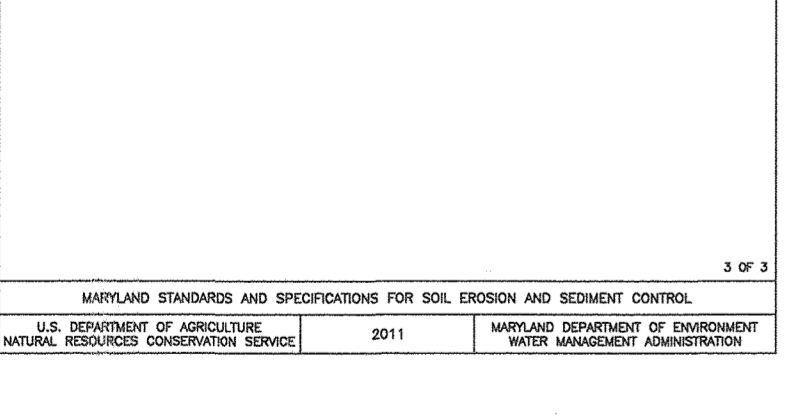
10 YR TSM WSEL = 150.33

BAFFLE DESIGN: SEE SHEET 19



DETAIL G-1-2 STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II

STONE/RIPRAP OUTLET SEDIMENT TRAP ST-II, TRAP NO.	1
DRAINAGE AREA - TOTAL	2.5 ACRES
DRAINAGE AREA - INTERIM	2.5 ACRES
DRAINAGE AREA - FINAL	3.8 ACRES
TOTAL STORAGE REQUIRED	12,960 CF
TOTAL STORAGE PROVIDED	16,218 CF
WET STORAGE REQUIRED	6,480 CF
WET STORAGE PROVIDED	7,087 CF
DRY STORAGE REQUIRED	6,480 CF
DRY STORAGE PROVIDED	9,131 CF
EXISTING GROUND ELEVATION AT OUTLET (NET STORAGE ELEVATION)	146.0 FT
TRAP BOTTOM ELEVATION	146.0 FT
TRAP BOTTOM DIMENSIONS APPROX. 33 X 97	SEE PLAN
TRAP LENGTH	3.0 X 4 FT
TRAP WIDTH (DRY STORAGE) ELEVATION	150.0 FT
CLEANOUT ELEVATION	147.0 FT
TOP OF EMBANKMENT ELEVATION	151.0 FT
SIDE SLOPE	2:1 H:V RATIO
EMBANKMENT TOP WIDTH	4 FT
OUTLET PROTECTION - LENGTH	10' FT
OUTLET PROTECTION - WIDTH	19' FT
BAFFLE DESIGN - SEE SHEET 19	N/A



**NOTES:**

- FOR MWCG DETAILS, SEE SHEETS 13 AND 17.
- SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
- DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
- SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
- LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC'S SHEET 18.
- EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRO
EB	EYEBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RuB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UdB	LUORHENTHS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
Ud	URBAN LAND-LUORHENTHS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

**SOILS NOTE:**  
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DESIGNER'S SIGNATURE: *Alexander Butcher* DATE: 05/23/22

DESIGNER: ROBERT H. VOSEL PRINTED NAME DATE: 10-6-22

MO REGISTRATION NO. 16193 (P) P.L.S. OR R.L.A. (circle one)

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22

DATE: 6/10/22

DATE: 6/10/22

OWNER/DEVELOPER CERTIFICATION:  
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

OWNER/DEVELOPER SIGNATURE: *Mark G. Thompson* DATE: 10/21/20

PRINTED NAME & TITLE: MARK G. THOMPSON

DESIGNER CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT THIS REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

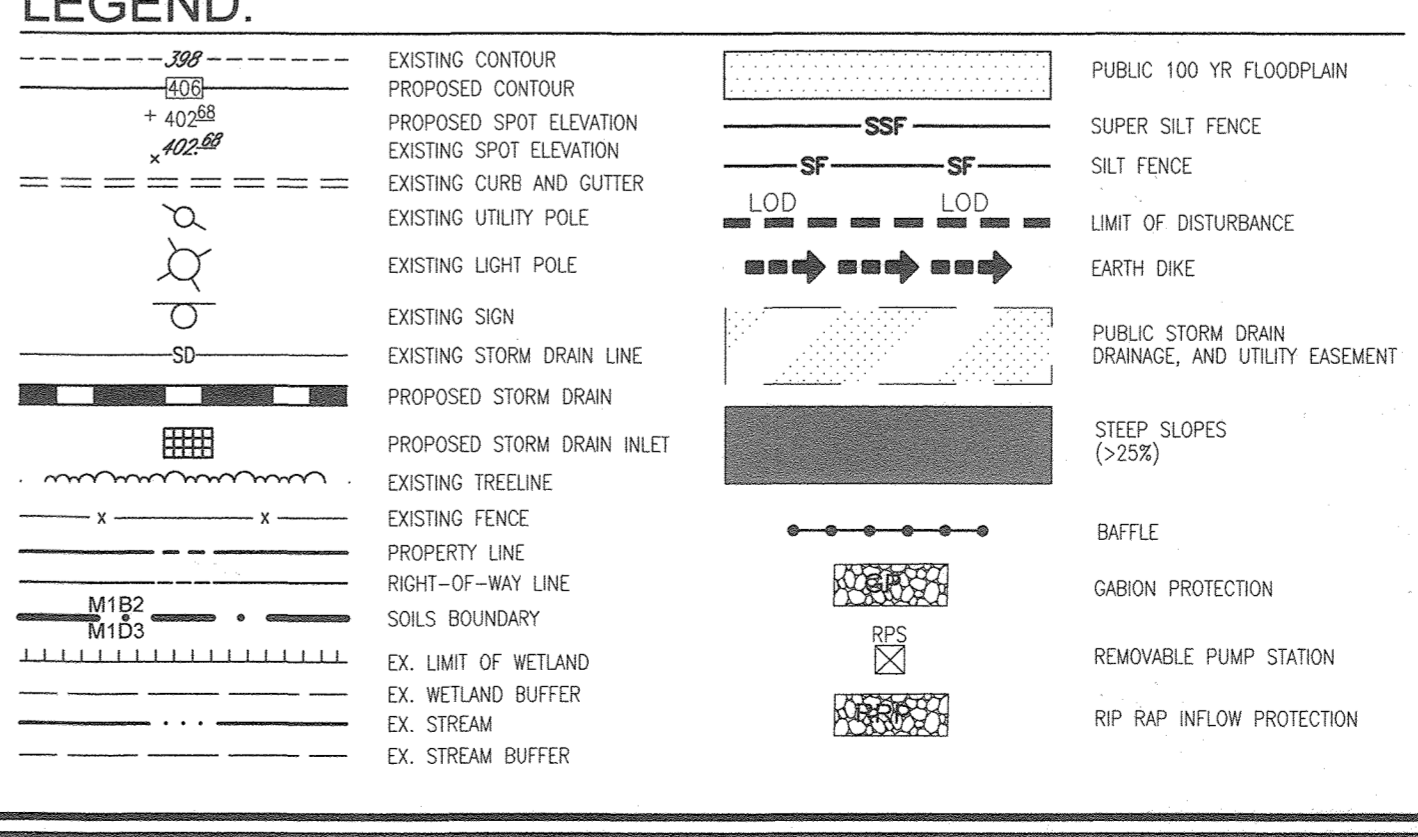
DESIGNER'S SIGNATURE: *Robert H. Voxel* DATE: 10-6-22

DESIGNER: ROBERT H. VOSEL PRINTED NAME DATE: 10-6-22

MO REGISTRATION NO. 16193 (P) P.L.S. OR R.L.A. (circle one)

**STREAMOUTFALL NOTES:**

- PLACE COARSE AGGREGATE ATOP AND BETWEEN THE STONES TO FILL VOIDS AND TO CREATE A STABLE SURFACE (CHANNEL BOTTOM ONLY).
- PLACE THE STREAMBED MATERIAL MIX IN THE VOIDS BETWEEN THE CLASS II & CLASS III STONE. (SEE SHEET 31 FOR STREAMBED MATERIAL MIX INFORMATION).
- WASH THE STREAMOUTFALL BED MATERIAL MIX INTO THE VOIDS USING PUMPED WATER TO PROMOTE COMPACTION AND ELIMINATE VOIDS. CONTINUE TO ADD AND COMPACT THE STREAM BED MIX TO ATTAIN THE SPECIFIED DIMENSIONS OF THE STRUCTURE. PLACE MIX EVEN WITH THE FINISHED GRADE OF STRUCTURE.
- WHEN FINAL SHAPE OF THE STRUCTURE IS ATTAINED, PLACE A LAYER OF SAND ATOP THE STRUCTURE AND WASH THE MATERIAL INTO THE VOIDS USING STREAM OF WATER.
- THE CONTRACTOR SHALL OBSERVE THE COMPLETED STRUCTURE WHEN STORM FLOW IS RETURNED TO THE STREAM TO ASSURE THAT BASEFLOW REMAINS ON TOP OF THE STRUCTURE AND DOES NOT GO SUBSURFACE. IF FLOWS ARE SUB-SURFACE, THE CONTRACTOR SHALL RE-WORK THE STRUCTURE TO ACHIEVE THE SURFACE FLOWS.
- THE STREAM CLOSURE PERIOD RUNS THROUGH JUNE 15, 2020. WORK CAN COMMENCE ANYTIME THEREAFTER.
- THIS WORK SHALL BE PERFORMED IN THE "DRY". CONTRACTOR TO INSTALL A BY-PASS PUMP AROUND OF THE BASE FLOW BY SAND-BAGGING THE OUTFALL, INSTALLING A PUMP, AND CARRYING THE BASE FLOW VIA PIPING, DISCHARGING IT JUST BELOW THE END OF THE RIP RAP. THIS WATER SHALL ALSO BE USED AS THE WASH WATER TO WASH THE RIVER SUBSTRATE MIX INTO THE STREAM BED. USE MWCG SAND BAGS AND PUMP AROUND PRACTICE (SEE DETAILS, SHEETS 13 & 17).



NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN**

**GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN**

**PADDOCK POINTE - PHASE 1**

FORMERLY KNOWN AS LAUREL PARK STATION

PARCELS: 384/441

PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L AND P.441 (L13296/F.377)

LOTS 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60

TAX MAP: 50 BLOCK: 10 6TH ELECTION DISTRICT

ZONED: TOD

HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043

P: 410.461.7666 F: 410.461.8951 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 16193.

EXPIRATION DATE: 09-27-2022

DESIGNED BY: RHV/DZE

DRAWN BY: DZE

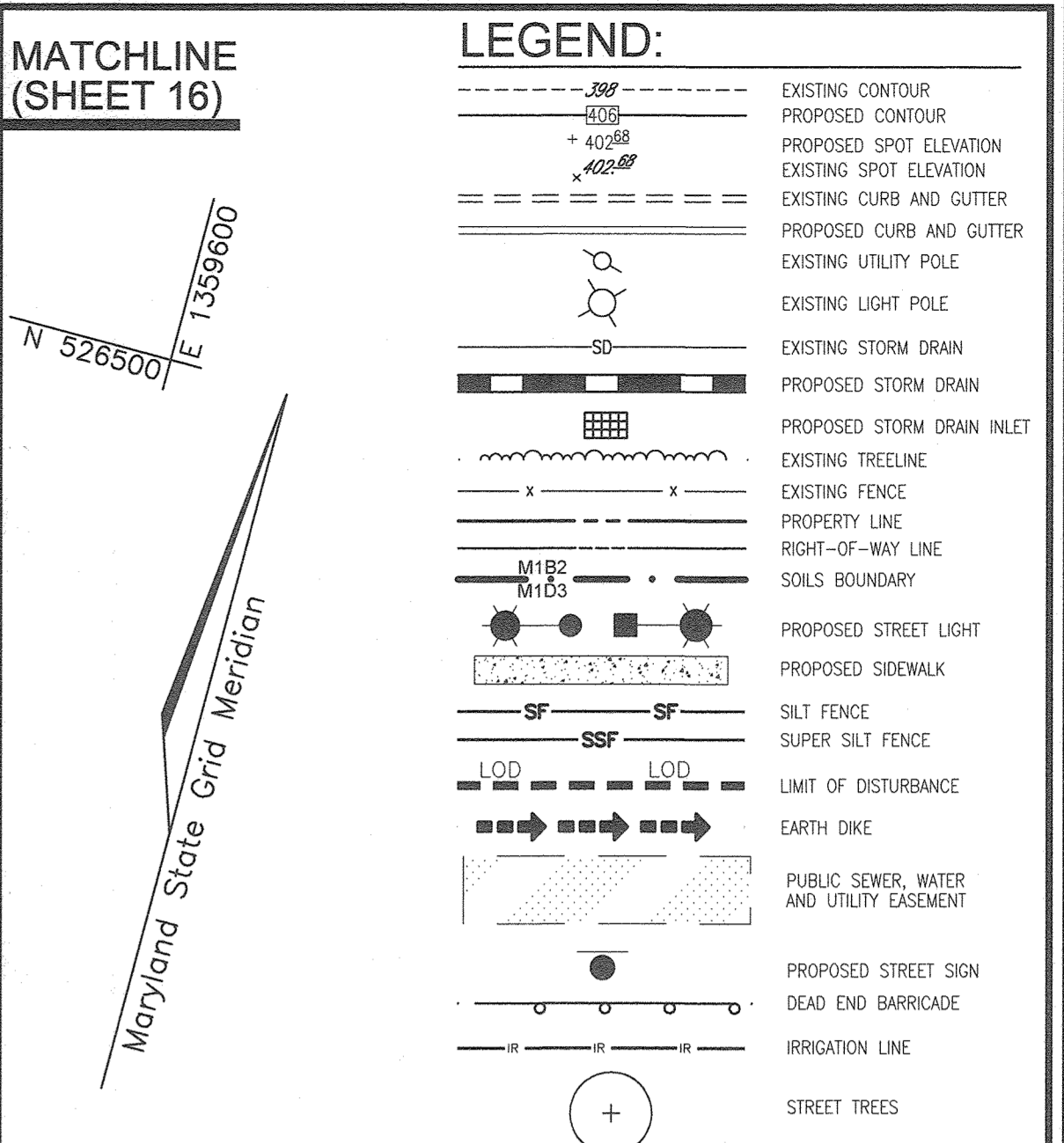
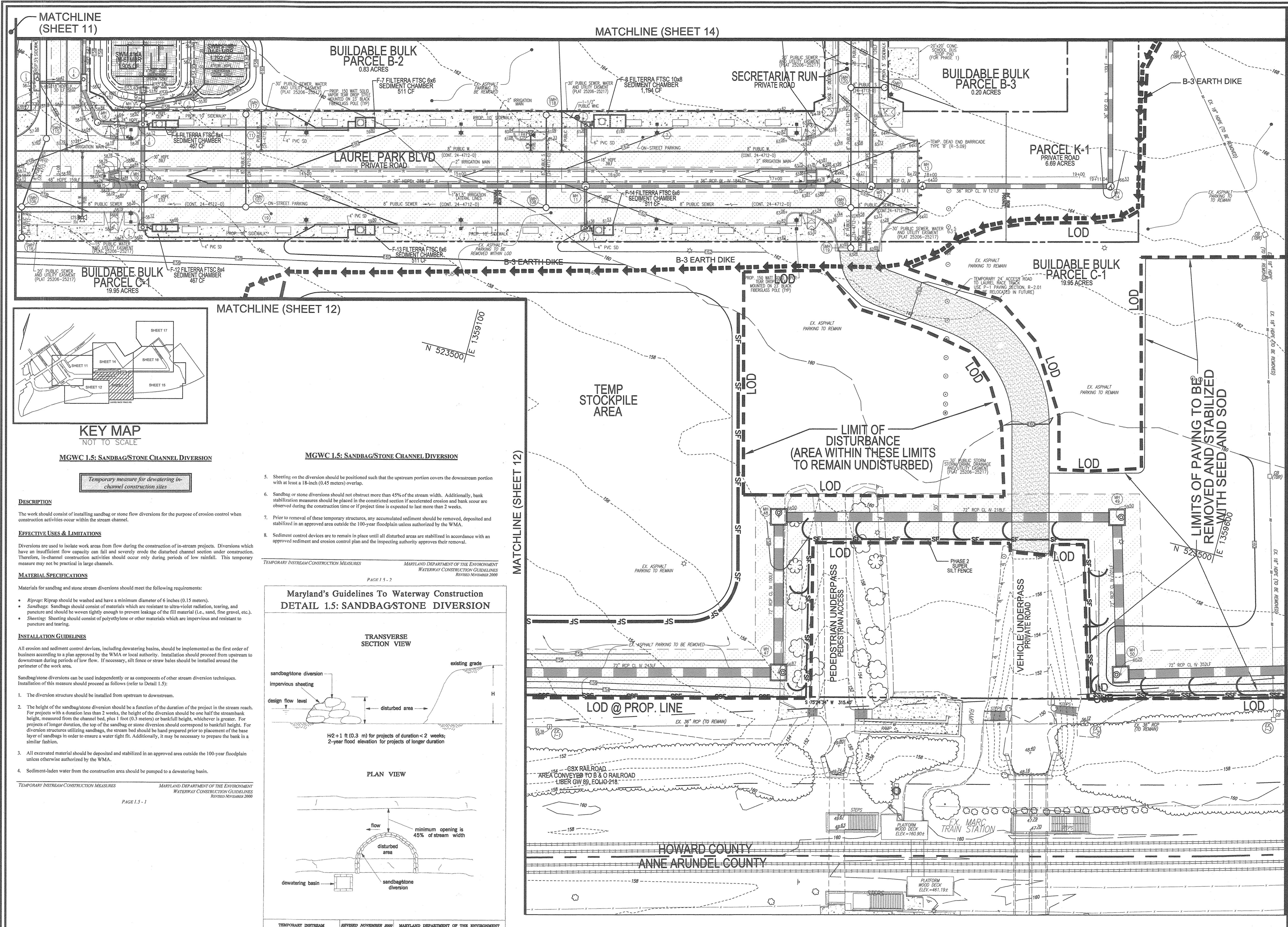
CHECKED BY: RHV

DATE: SEPTEMBER 2020

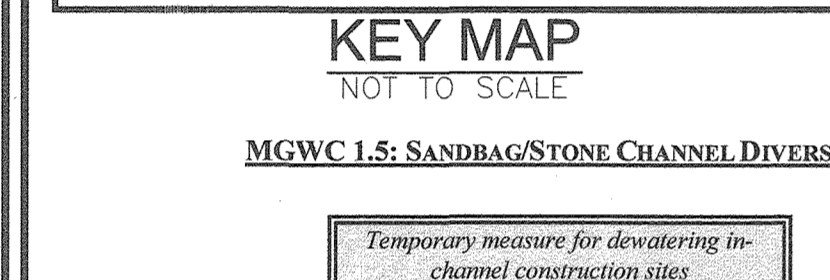
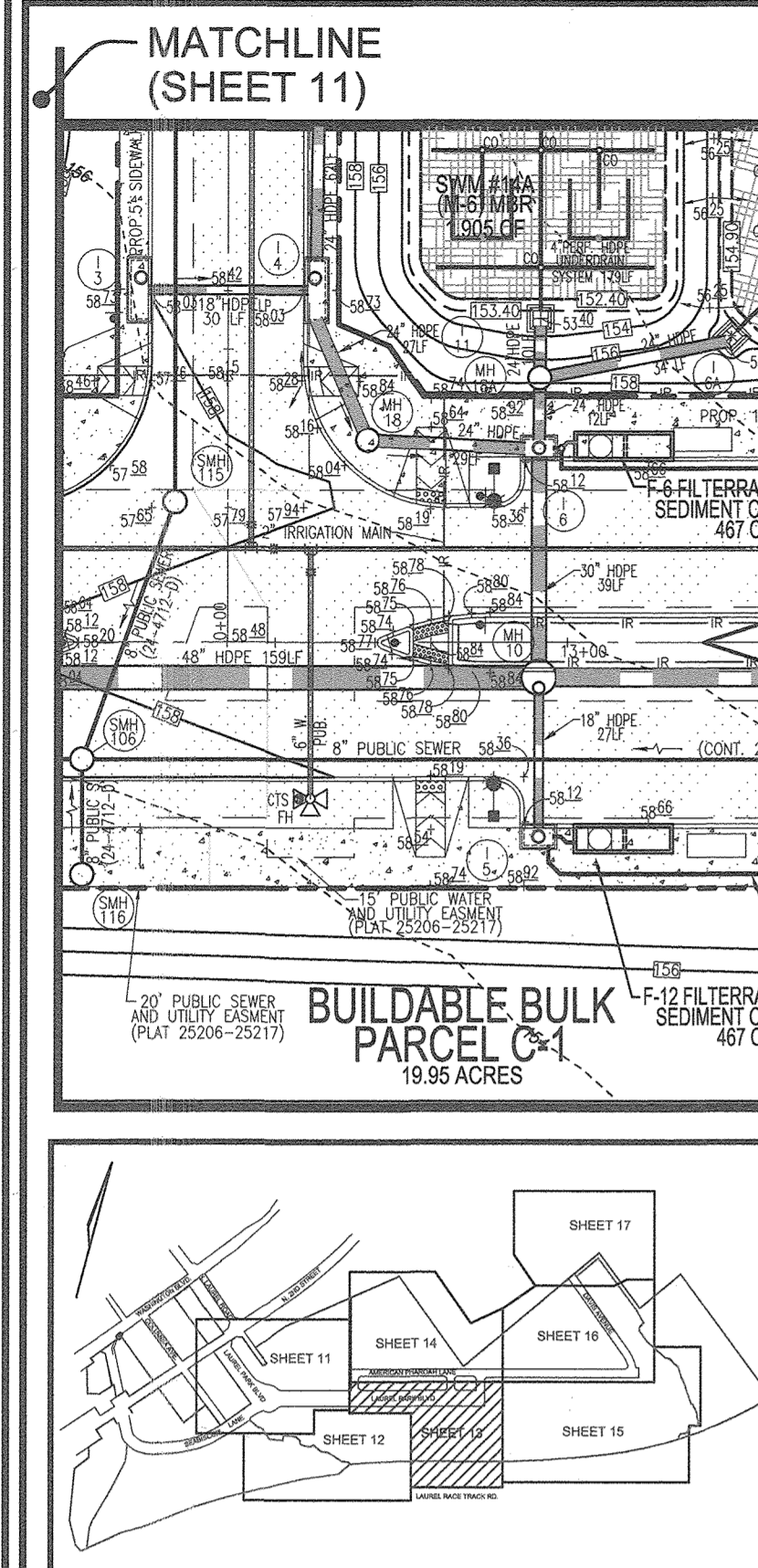
SCALE: AS SHOWN

W.O. NO.: 07-11/40111

12 SHEET OF 54



- NOTES:**
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
  2. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  3. SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
  4. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  5. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
  6. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC'S SHEET 18.
  7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.



**MGWC 1.5: SANDBAG/STONE CHANNEL DIVERSION**

*Temporary measure for dewatering in-channel construction sites*

**DESCRIPTION**

The work should consist of installing sandbag or stone flow diversions for the purpose of erosion control within the stream channel.

**EFFECTIVE USES & LIMITATIONS**

Diversions are used to isolate work areas from flow during the construction of in-stream projects. Diversions which have an insufficient flow capacity can fail and severely erode the disturbed channel section under construction. Therefore, in-channel construction activities should occur only during periods of low rainfall. This temporary measure may not be practical in large channels.

**MATERIAL SPECIFICATIONS**

Materials for sandbag and stone stream diversions should meet the following requirements:

- Riprap: Riprap should be washed and have a minimum diameter of 6 inches (0.15 meters).
- Sandbags: Sandbags should consist of materials which are resistant to ultra-violet radiation, tearing, and puncture and should be woven tightly enough to prevent leakage of the fill material (i.e., sand, fine gravel, etc.).
- Sheeting: Sheeting should consist of polyethylene or other materials which are impervious and resistant to puncture and tearing.

**INSTALLATION GUIDELINES**

All erosion and sediment control devices, including dewatering basins, should be implemented as the first order of business according to a plan approved by the WMA or local authority. Installation should proceed from upstream to downstream during periods of low flow. If necessary, silt fence or straw bales should be installed around the perimeter of the work area.

Sandbag/stone diversions can be used independently or as components of other stream diversion techniques. Installation of this measure should proceed as follows (refer to Detail 1.5):

1. The diversion structure should be installed from upstream to downstream.
2. The height of the sandbag/stone diversion should be a function of the duration of the project in the stream reach. For projects with a duration less than 2 weeks, the height of the diversion should be one half the streambank height, measured from the channel bed, plus 1 foot (0.3 meters) or bankfull height, whichever is greater. For projects of longer duration, the top of the sandbag or stone diversion should correspond to bankfull height. For diversion structures utilizing sandbags, the stream bed should be hand prepared prior to placement of the base layer of sandbags in order to ensure a water tight fit. Additionally, it may be necessary to prepare the bank in a similar fashion.
3. All excavated material should be deposited and stabilized in an approved area outside the 100-year floodplain unless otherwise authorized by the WMA.
4. Sediment-laden water from the construction area should be pumped to a dewatering basin.

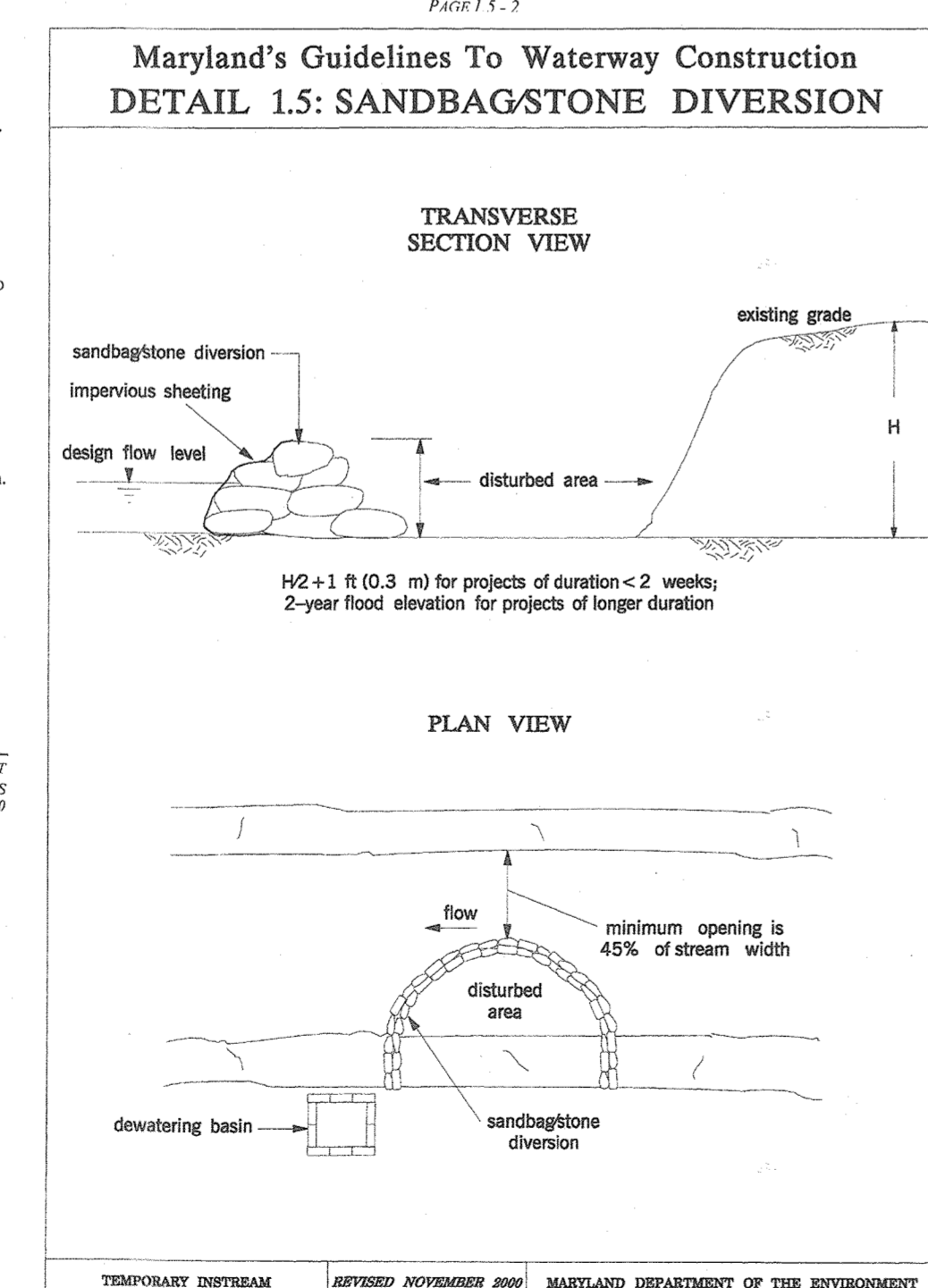
**MGWC 1.5: SANDBAG/STONE CHANNEL DIVERSION**

1. Sheeting on the diversion should be positioned such that the upstream portion covers the downstream portion with at least a 18-inch (0.45 meters) overlap.

2. Sandbag or stone diversions should not obstruct more than 45% of the stream width. Additionally, bank stabilization measures should be placed in the constricted section if accelerated erosion and bank scour are observed during the construction time or if project time is expected to last more than 2 weeks.

3. Prior to removal of these temporary structures, any accumulated sediment should be removed, deposited and stabilized in an approved area outside the 100-year floodplain unless authorized by the WMA.

4. Sediment control devices are to remain in place until all disturbed areas are stabilized in accordance with an approved sediment and erosion control plan and the inspecting authority approves their removal.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6.10.22  
DATE

01/11/22  
DATE

6/16/22  
DATE

OWNER/DEVELOPER CERTIFICATION:  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND THE WMA.

10/21/20  
DATE

MARK G. THOMPSON  
OWNER/DEVELOPER SIGNATURE  
PRINTED NAME & TITLE

DESIGN CERTIFICATION:  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

10-16-20  
DATE

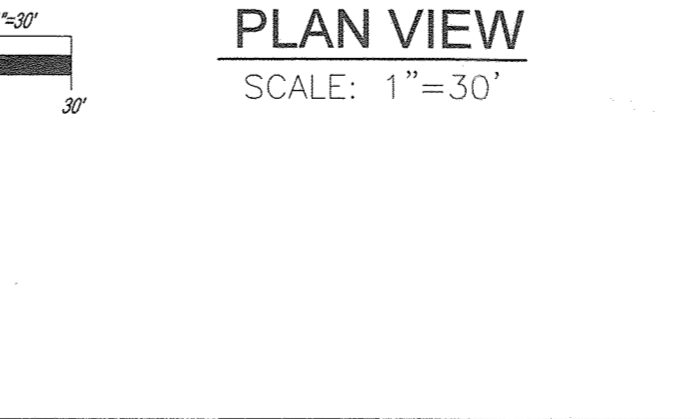
ROBERT H. VOGEL  
DESIGNER'S SIGNATURE  
PRINTED NAME

MD REGISTRATION NO. 16193  
P.E., P.L.S., OR P.L.A. (circle one)

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

05/23/22  
DATE

HOWARD S.C.D.



**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDROIC
ENC	EVESBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fo	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UWB	UDORHMENTS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UD	UDRUM LAND-UDORHMENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

**SOILS NOTE:**  
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
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**REVISED SITE DEVELOPMENT PLAN  
GRADING AND SOIL EROSION  
AND SEDIMENT CONTROL PLAN**

**Paddock Pointe - Phase 1**  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 150 STACKED CONDOS UNITS

PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L AND P.384 (L10518/F.157) P.441 (L13296/F.377)  
ZONED: TOD

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

LOT 5, G, H, & I  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

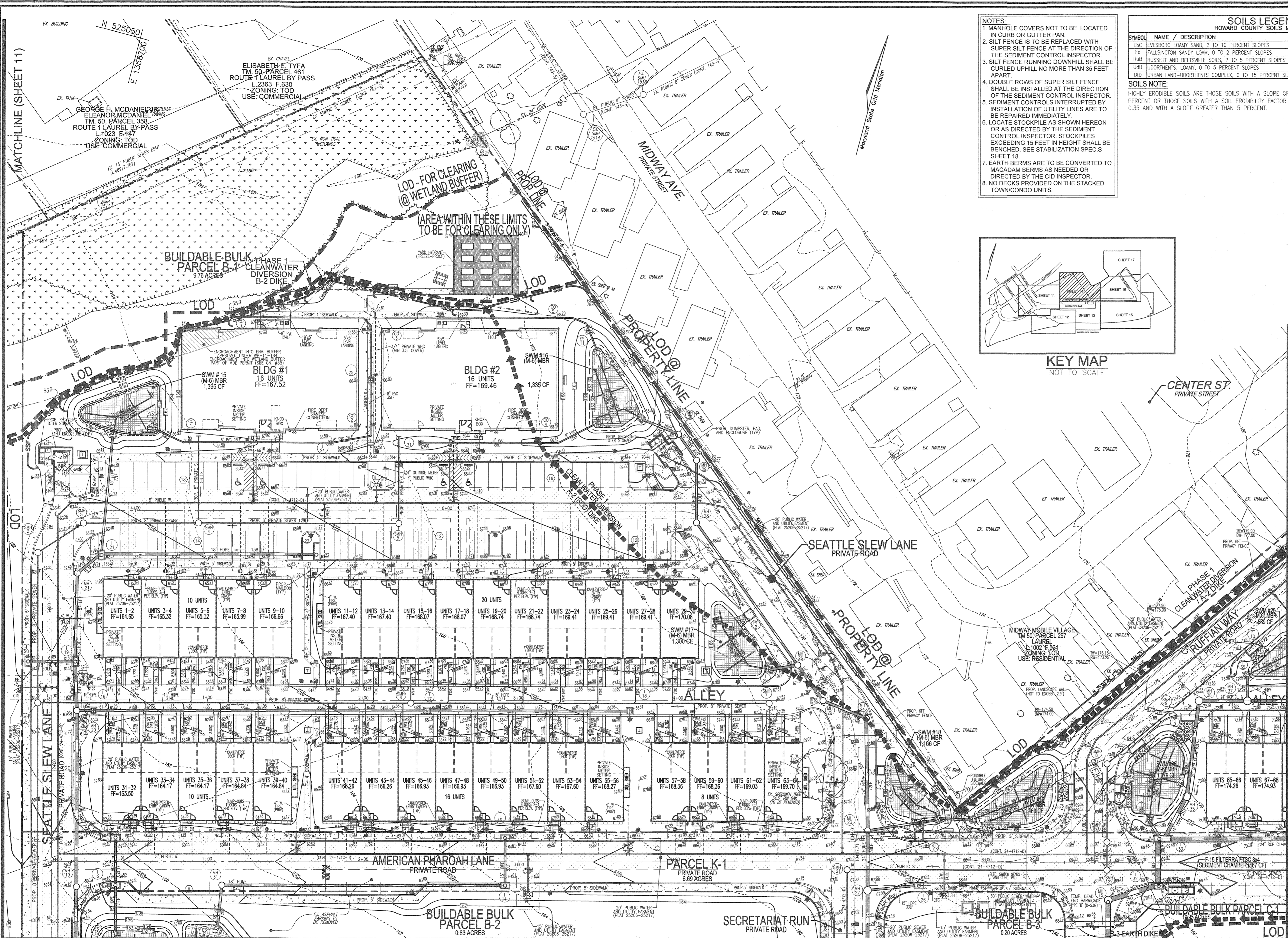
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8951 www.timmons.com

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
EXPIRATION DATE: 09-27-2022

DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

13 SHEET OF 54



- NOTES:**
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
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  7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.
  8. NO DECKS PROVIDED ON THE STACKED TOWN/CONDO UNITS.

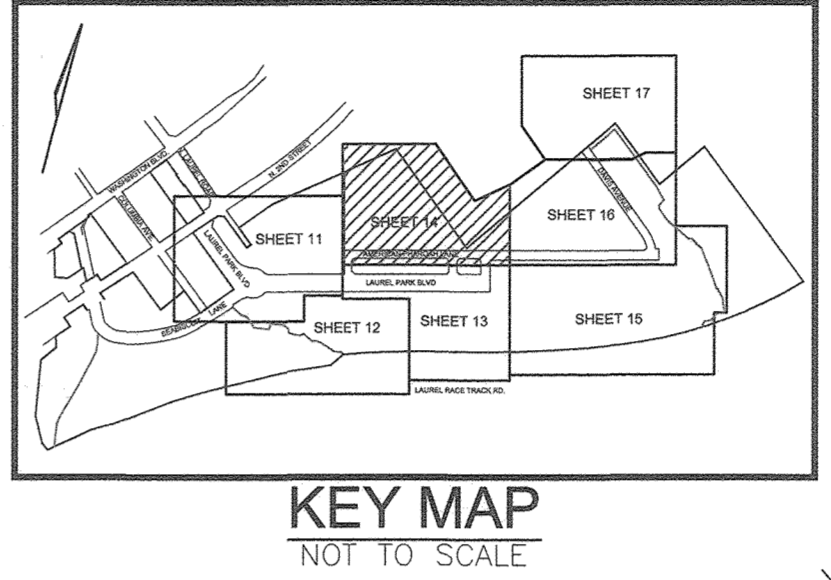
**SOILS LEGEND**  
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**LEGEND:**

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREELINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	SOILS BOUNDARY
	EX. LIMIT OF WETLAND
	PROPOSED STREET LIGHT
	PROPOSED SIDEWALK
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	PROPOSED STREET SIGN
	DEAD END BARRICADE
	STREET TREES
	EARTH DIKE
	CLEAN WATER DIVERSION DIKE
	PUBLIC SEWER, WATER AND UTILITY EASEMENT



NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
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**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

**REVISED SITE DEVELOPMENT PLAN**  
**GRADING AND SOIL EROSION**  
**AND SEDIMENT CONTROL PLAN**

**Paddock Pointe - Phase 1**  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 156 STACKED CONDO UNITS  
PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L & LOTS D, E-1, F-1, G, H & I  
HOWARD COUNTY, MARYLAND  
ZONED: TOD

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

CHIEF DIVISION OF LAND DEVELOPMENT  
DATE: 4/16/22

DIRECTOR

**OWNER/DEVELOPER CERTIFICATION:**  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT AND/OR MDE.

DATE: 10/21/20

OWNER/DEVELOPER SIGNATURE: MARK G. TIMMONS  
PRINTED NAME & TITLE: MARK G. TIMMONS

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 10-16-20

DESIGNER'S SIGNATURE: ROBERT H. VOGEL  
PRINTED NAME: ROBERT H. VOGEL

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 05/23/22

HOWARD S.C.D.

MATCHLINE (SHEET 13)

**PLAN VIEW**  
SCALE: 1" = 30'

GRAPHIC SCALE 1"=30'

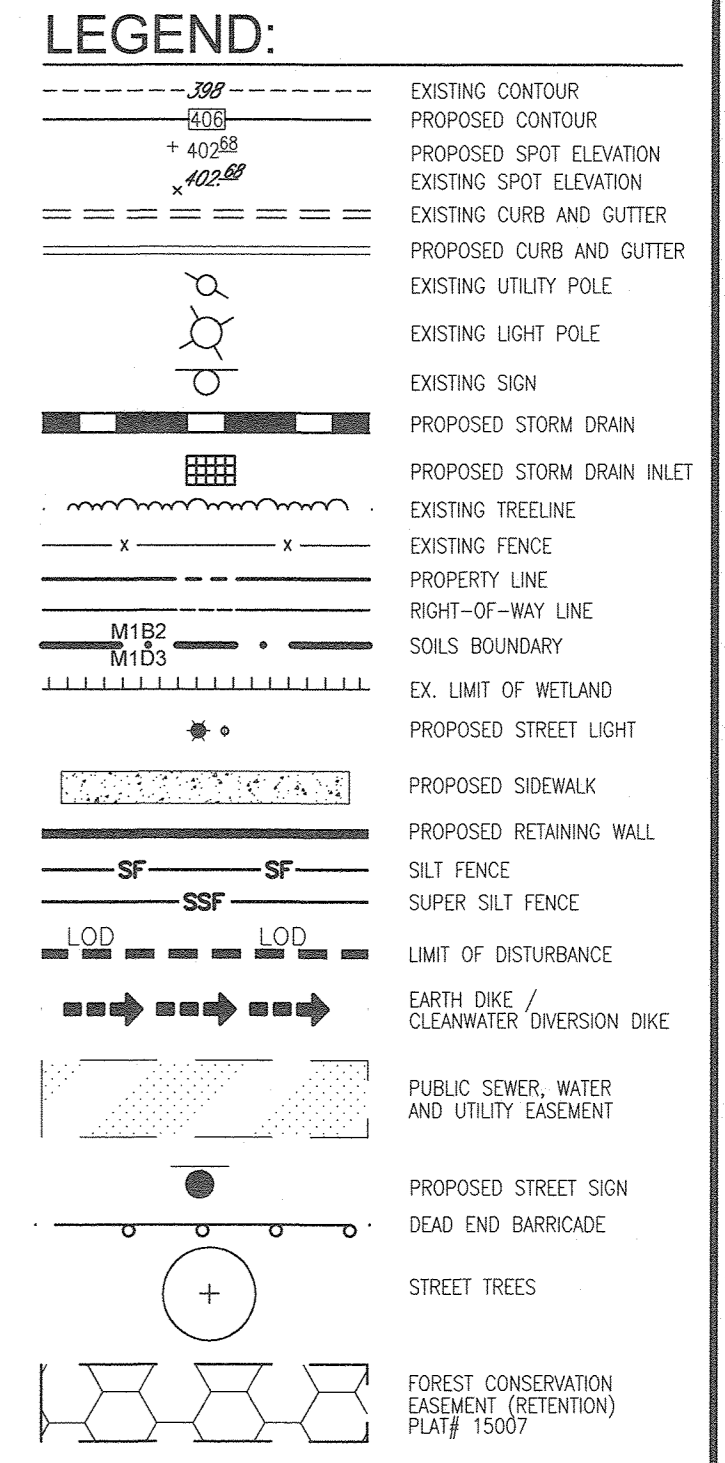
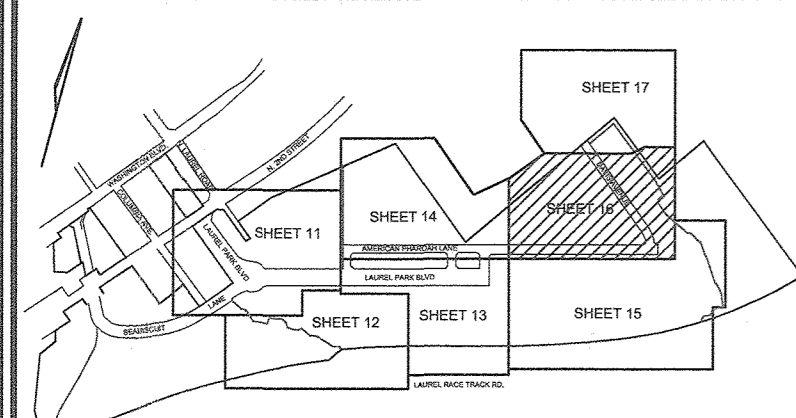
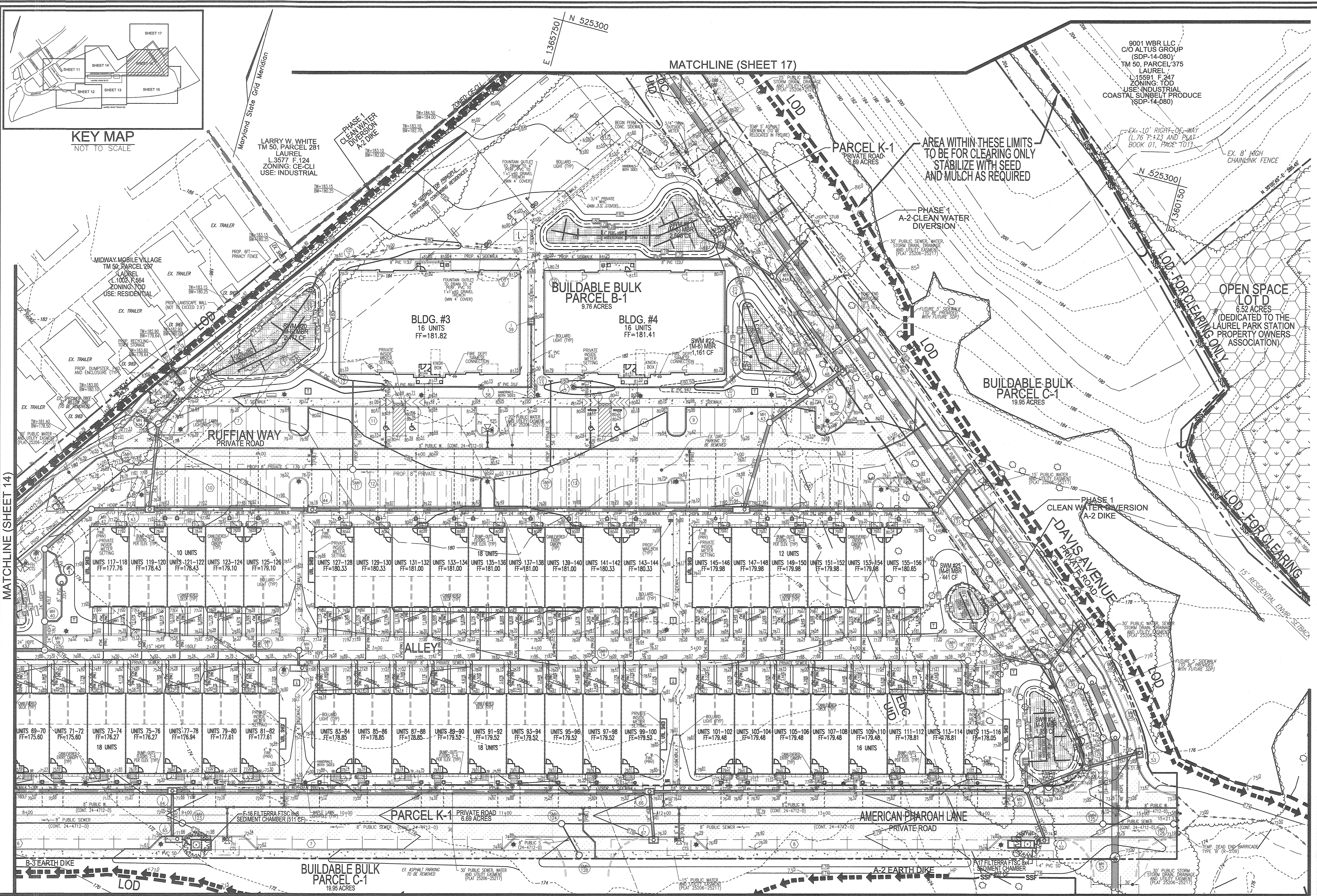
PROFESSIONAL CERTIFICATE

DESIGN BY: RHY/DZE  
DRAWN BY: DZE  
CHECKED BY: RHY  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.D. NO.: 07-11/40111

STATE OF MARYLAND  
REGISTERED PROFESSIONAL ENGINEER  
10-16-20  
ROBERT H. VOGEL, PE No. 16193

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY EXPIRATION DATE IS 09-27-2022.

14 SHEET OF 54



- NOTES:**
1. MANHOLE COVERS NOT TO BE LOCATED IN CURB OR GUTTER PAN.
  2. SILT FENCE IS TO BE REPLACED WITH SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  3. SILT FENCE RUNNING DOWNHILL SHALL BE CURLED UPHILL NO MORE THAN 35 FEET APART.
  4. DOUBLE ROWS OF SUPER SILT FENCE SHALL BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC.S SHEET 18.
  5. SEDIMENT CONTROLS INTERRUPTED BY INSTALLATION OF UTILITY LINES ARE TO BE REPAIRED IMMEDIATELY.
  6. LOCATE STOCKPILE AS SHOWN HEREON OR AS DIRECTED BY THE SEDIMENT CONTROL INSPECTOR. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED. SEE STABILIZATION SPEC.S SHEET 18.
  7. EARTH BERMS ARE TO BE CONVERTED TO MACADAM BERMS AS NEEDED OR DIRECTED BY THE CID INSPECTOR.
  8. NO DECKS PROVIDED ON THE STACKED TOWNHOCO UNITS.

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY MANAGEMENT, AND BYPASS LAYOUT	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	05/11/19

**OWNER**  
TRIPLE BELL FARMS, LLC.  
14879 BAYVIEW AVE.  
AURORA, ONTARIO L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO L4G 7A9  
CANADA (905) 728-0995

**REVISED SITE DEVELOPMENT PLAN  
GRADING AND SOIL EROSION  
AND SEDIMENT CONTROL PLAN**

**Paddock Pointe - Phase 1**  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L10518/F.157)  
P.441 (L13298/F.377)  
ZONED: TOD

PARCELS: 384/441  
B-3, C-1, J, K-1, L & M  
LOTS D, E-1, F-1, G, H & I  
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
TIMMONS GROUP  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

DESIGN BY: RHY/DZE  
DRAWN BY: DZE  
CHECKED BY: RHY  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

STATE OF MARYLAND  
REGISTERED PROFESSIONAL ENGINEER  
ROBERT H. VOGEL, PE No. 16193

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 16193 EXPIRATION DATE 09-27-2022

16 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION  
DATE: 6.10.22  
DATE: 6/10/22  
DATE: 6/10/22

**OWNER/DEVELOPER CERTIFICATION:**  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL ON EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, AND MARYLAND DEPARTMENT OF THE ENVIRONMENT.

DATE: 10/21/20  
DATE: 10/21/20

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 10/6/20  
DATE: 10/6/20

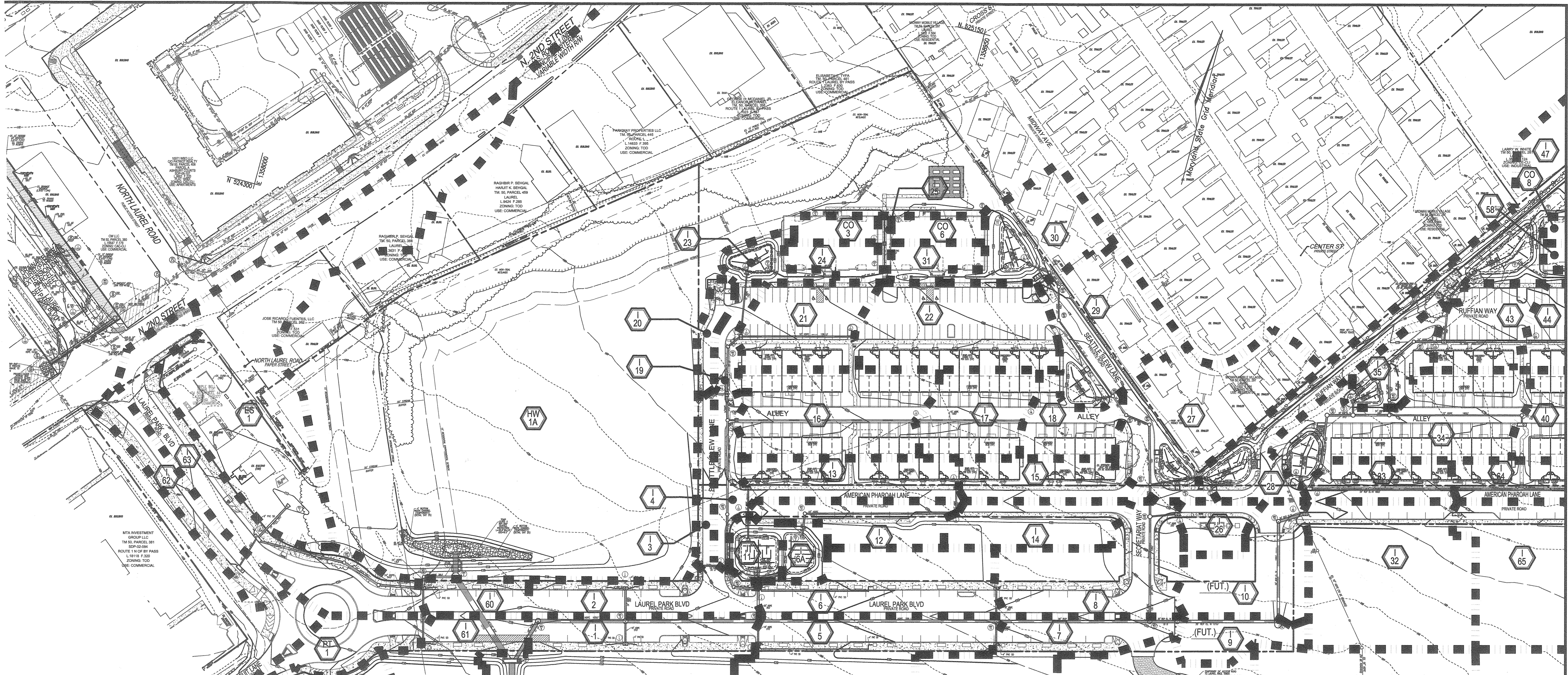
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

ROBERT H. VOGEL  
16193  
R.L.S., OR R.L.A. (Circle one)  
DATE: 05/23/22

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #28

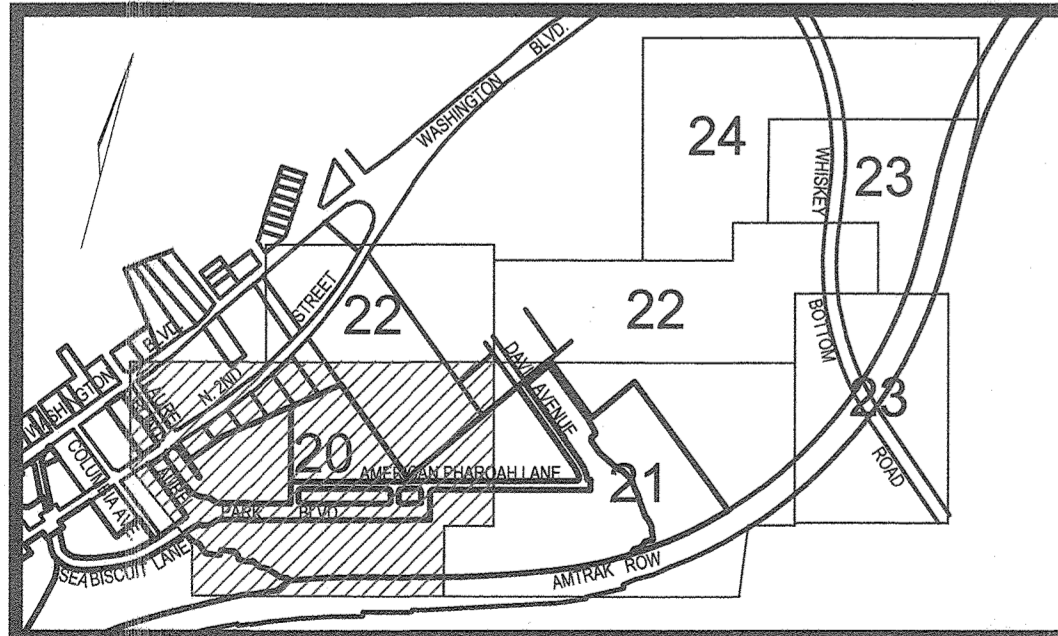
SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
EBC	EVERSBORO LOAMY SAND, 2 TO 10 PERCENT SLOPES	A	0.49	NO	NO
Fs	FALLSINGTON SANDY LOAM, 0 TO 2 PERCENT SLOPES	D	0.24	NO	YES
RUB	RUSSETT AND BELTSVILLE SOILS, 2 TO 5 PERCENT SLOPES	C	0.43	NO	NO
UdB	UDBORNTHS, LOAMY, 0 TO 5 PERCENT SLOPES	C	0.24	NO	NO
UdD	URBAN LAND-UDORNTHS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

**SOILS NOTE:**  
HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR K GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.

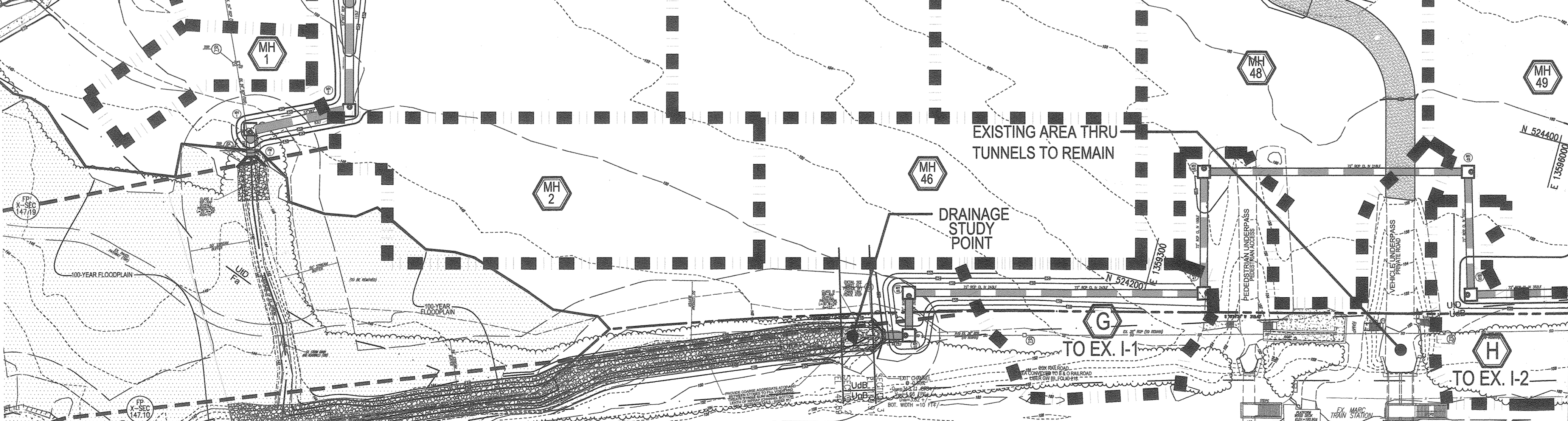


MATCHLINE - SHEET 21

FOR DRAINAGE AREAS ALONG SEABICUIT LANE SEE SHEET 44

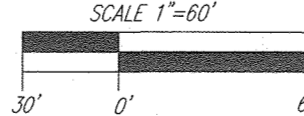


**KEY MAP**  
NOT TO SCALE



**PLAN VIEW**

SCALE: 1"=60'



**LEGEND:**

- EXISTING CURB AND GUTTER
- EXISTING CONTOUR
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- SOILS
- EXISTING TREELINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. LIMIT OF WETLAND
- EX. WETLAND BUFFER
- DRAINAGE AREA DIVIDE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- EX. FOREST CONSERVATION EASEMENT RESTRICTION PLAT# 15007
- DRAINAGE AREA LABEL

**OWNER**  
TRIPLE BELL FARMS, LLC  
14870 BAYVIEW AVE  
AURORA, ONTARIO L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO L4G 7A9  
CANADA (905) 725-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN**  
**STORM DRAIN DRAINAGE AREA MAP**  
**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L.10518/F.157) PARCELS: 384/441  
P.441 (L.13296/F.377) LOTS B-3, C-1, J, K-1, L AND LOTS D, E-1, F-1, G, H & I  
ZONED: TOD HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7656 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

STATE OF MARYLAND  
ROBERT H. VOGEL  
REGISTERED PROFESSIONAL ENGINEER  
NO. 16193  
EXPIRES 09/27/2022

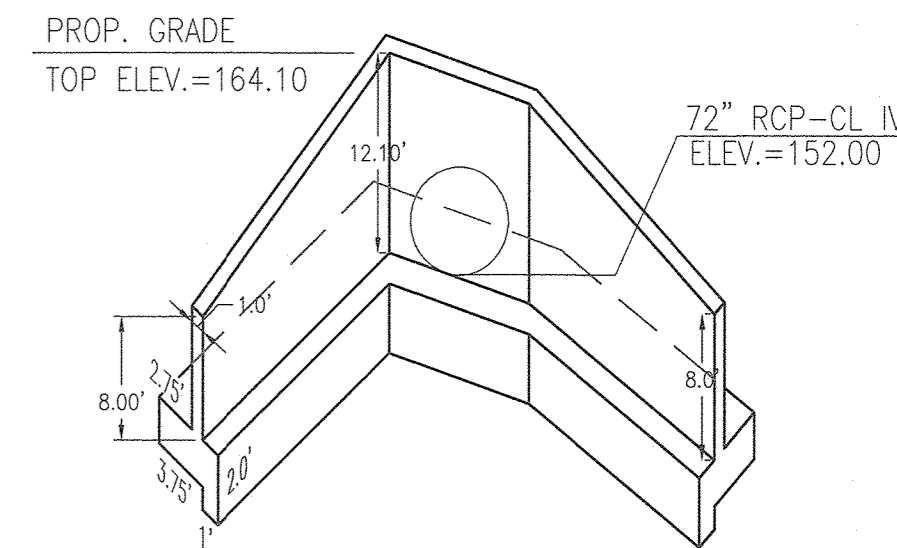
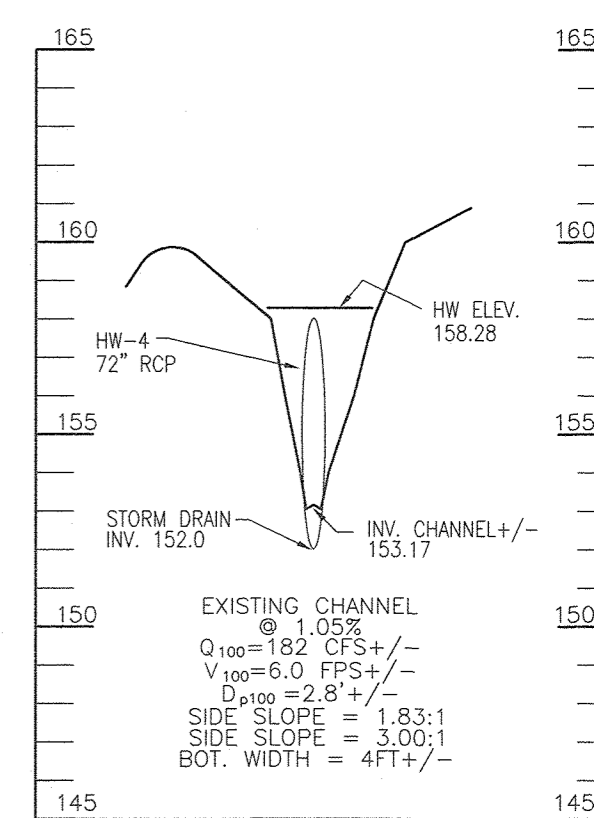
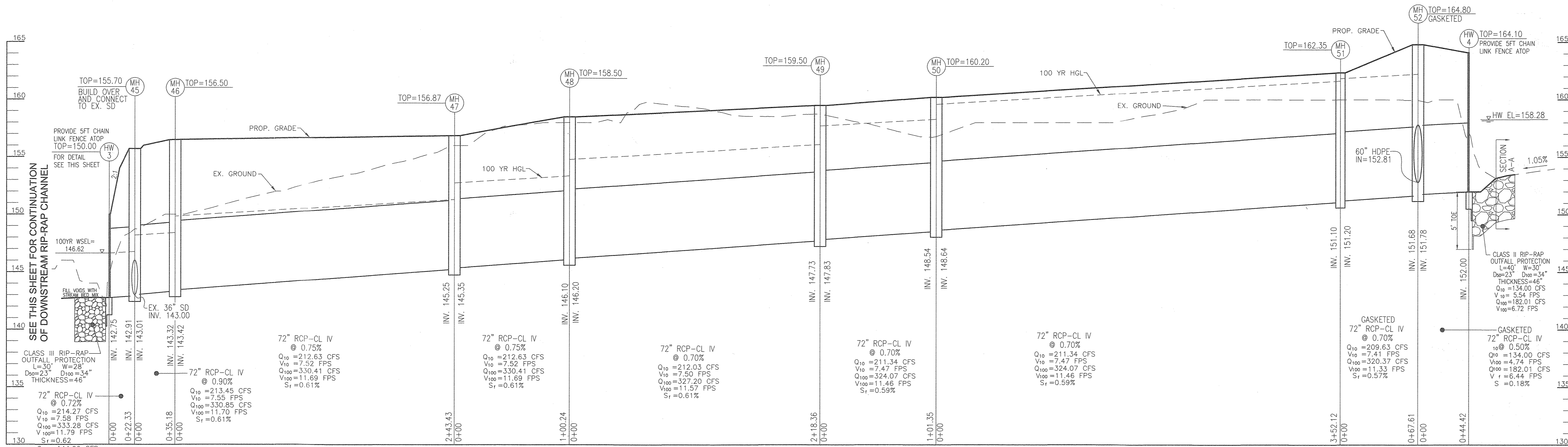
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/14/22

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/14/22

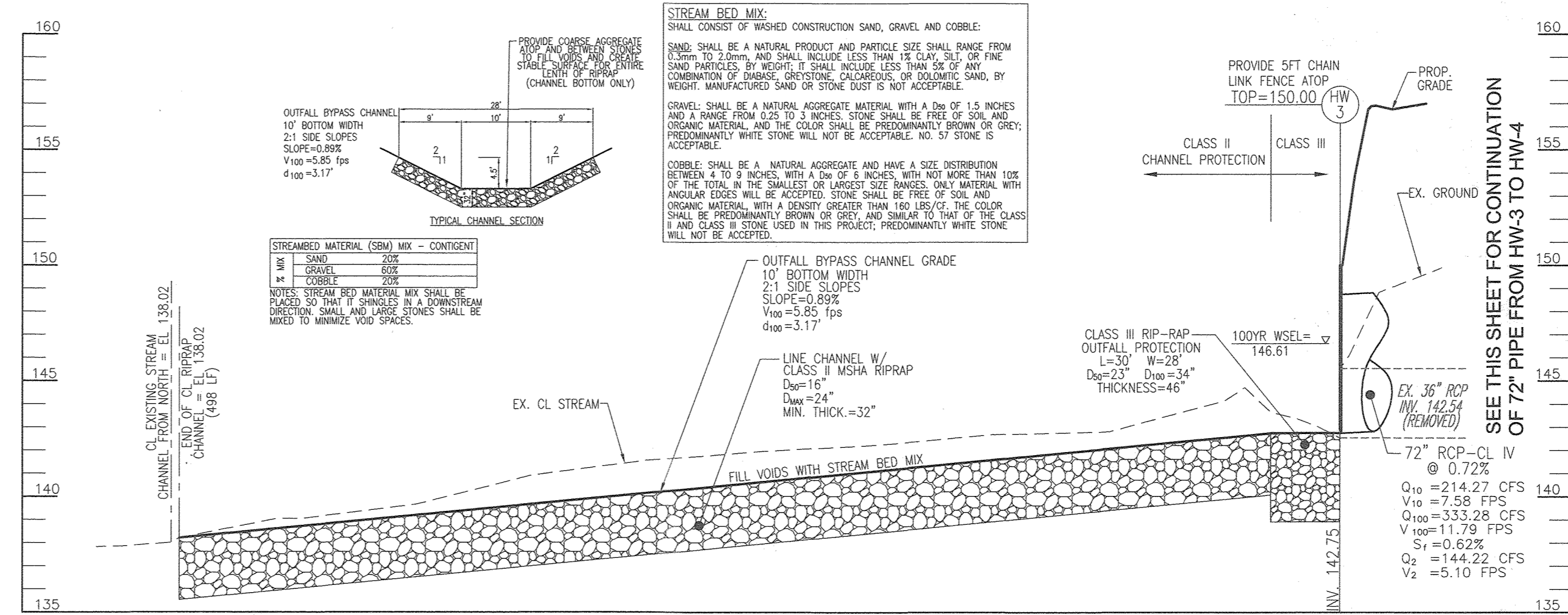
*[Signature]*  
DIRECTOR  
DATE: 6/14/22

**NOTES:**  
1. PERCENT IMPERVIOUS SHOWN, IGNORES STORMWATER MANAGEMENT "CREDITS", I.E. MICRO-BIRETENTION, FILTERRA AND JELLYFISH SYSTEMS.  
2. DESIGN ASSUMES COMPLETE FAILURE OF PROPOSED MICRO-SCALE PRACTICES  
3. DELINEATED FUTURE AREAS (FUT) ARE BASED UPON BEST AVAILABLE INFORMATION USED FOR PIPE SIZE/DESIGN TO BE CONSTRUCTED UNDER THIS SDP.



**STRUCTURE SCHEDULE - BYPASS**

STR #	TYPE	INV. IN	INV. OUT	TOP ELEV	DETAIL	LOCATION	REMARKS
HW-3	HEADWALL B-72 (STANDARD)	142.75	150.00	150.00	MD 352.02	E= 1359100.33 N= 524101.05	(1) SEE DETAIL THIS SHEET
HW-4	HEADWALL B-72 (MODIFIED)	152.00	164.10	164.10	MD 352.02 (MODIFIED)	E= 1380009.83 N= 524369.53	(1) SEE DETAIL THIS SHEET
MH-45	SQUARE MANHOLE	143.00 / 143.01	142.91	155.70	E= 1359121.83 N= 524107.23		
MH-46	SQUARE MANHOLE	143.42	143.32	156.50	E= 1359112.76 N= 524141.22		
MH-47	SQUARE MANHOLE	145.35	145.25	156.87	E= 1359347.97 N= 524203.95		
MH-48	SQUARE MANHOLE	146.20	146.10	158.50	E= 1359322.14 N= 524300.83		
MH-49	SQUARE MANHOLE	147.83	147.73	159.50	E= 1359533.12 N= 524357.08		
MH-50	SQUARE MANHOLE	148.64	148.54	160.20	E= 1359561.72 N= 524259.89		
MH-51	MSHA 96" MANHOLE	151.20	151.10	162.35	MD-384.09	E= 1359899.52 N= 524359.22	SEE DETAIL THIS SHEET
MH-52	MSHA 120" MANHOLE	152.81/151.78	151.68	164.80	MD-384.11	E= 1359965.59 N= 524373.56	SEE DETAIL THIS SHEET
MH-53	MSHA 84" MANHOLE	154.11	153.01	165.95	MD-384.07	E= 1359967.93 N= 524399.80	SEE DETAIL THIS SHEET
MH-54	MSHA 72" MANHOLE	155.54	155.44	167.40	MD-384.05	E= 1360136.22 N= 524455.30	SEE DETAIL THIS SHEET
MH-55	MSHA 84" MANHOLE	158.06	157.96	170.15	MD-384.07	E= 1360314.07 N= 524532.47	SEE DETAIL THIS SHEET
MH-56	MSHA 72" MANHOLE	160.56	160.33	171.60	MD-384.05	E= 1360267.23 N= 524708.09	SEE DETAIL THIS SHEET
MH-57	MSHA 72" MANHOLE	162.93	162.83	173.50	MD-384.05	E= 1360220.54 N= 524883.14	SEE DETAIL THIS SHEET
MH-58	MSHA 72" MANHOLE	163.98	163.88	174.55	MD-384.05	E= 1360200.84 N= 524957.02	SEE DETAIL THIS SHEET
MH-59	MSHA 72" MANHOLE	164.55	164.45	175.41	MD-384.05	E= 1360177.74 N= 524986.60	SEE DETAIL THIS SHEET
MH-60	MSHA 72" MANHOLE	167.57	167.47	180.97	MD-384.05	E= 1359998.04 N= 525136.15	SEE DETAIL THIS SHEET
MH-61	MSHA 72" MANHOLE	172.45	171.00	187.42	MD-384.05	E= 1359787.01 N= 525311.77	SEE DETAIL THIS SHEET
MH-62	MSHA 72" MANHOLE	172.92	172.82	190.00	MD-384.05	E= 1359784.35 N= 525340.77	SEE DETAIL THIS SHEET
MH-63	MSHA 84" MANHOLE	175.75	175.65	EX 188.00 +/-	MD-384.07	E= 1359616.50 N= 525480.45	(FUTURE - BY OTHERS)
MH-64	MSHA 72" MANHOLE	178.70	176.34	EX 187.28 +/-	MD-384.05	E= 1359632.89 N= 525524.90	(FUTURE - BY OTHERS)



**STORM DRAIN PROFILE**

SCALE: HORIZONTAL = 1"=50' VERTICAL = 1"=5'

OWNER: TRIPLE BELL FARMS, LLC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 728-0995

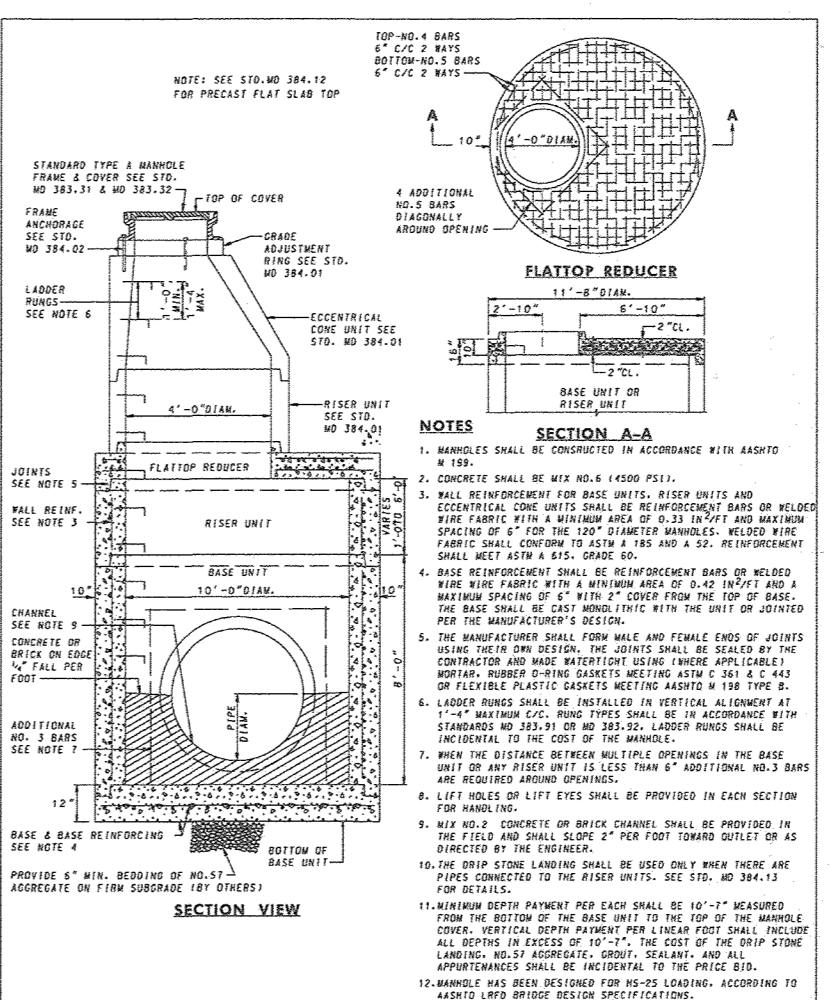
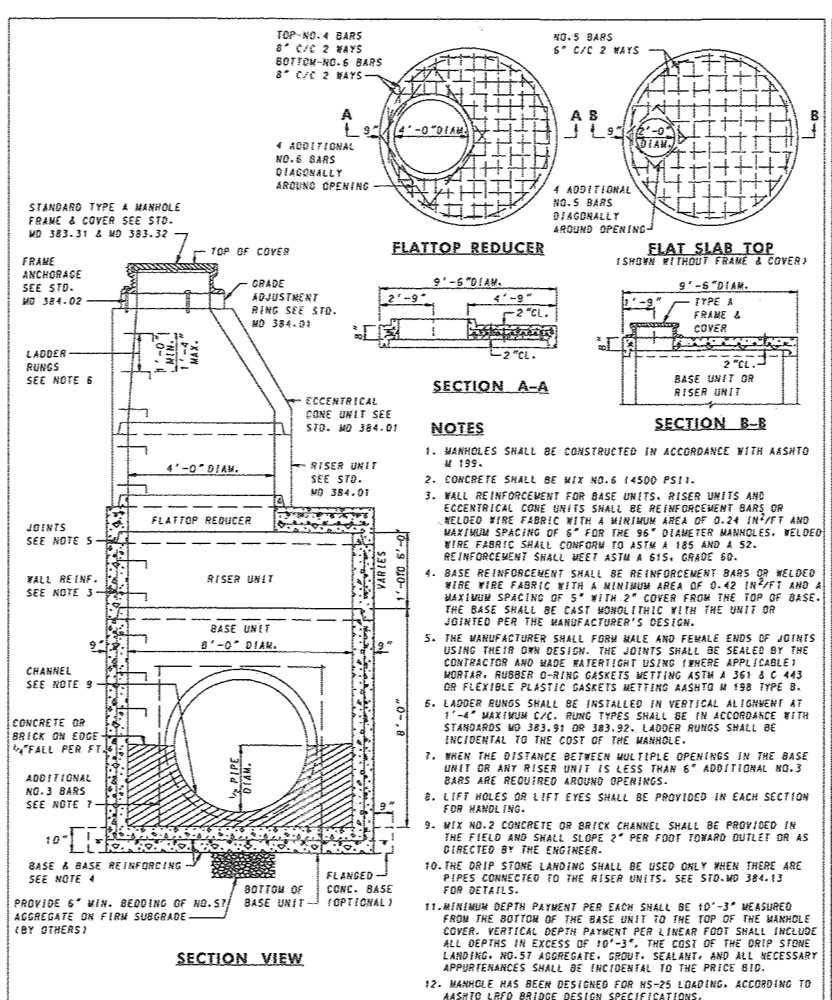
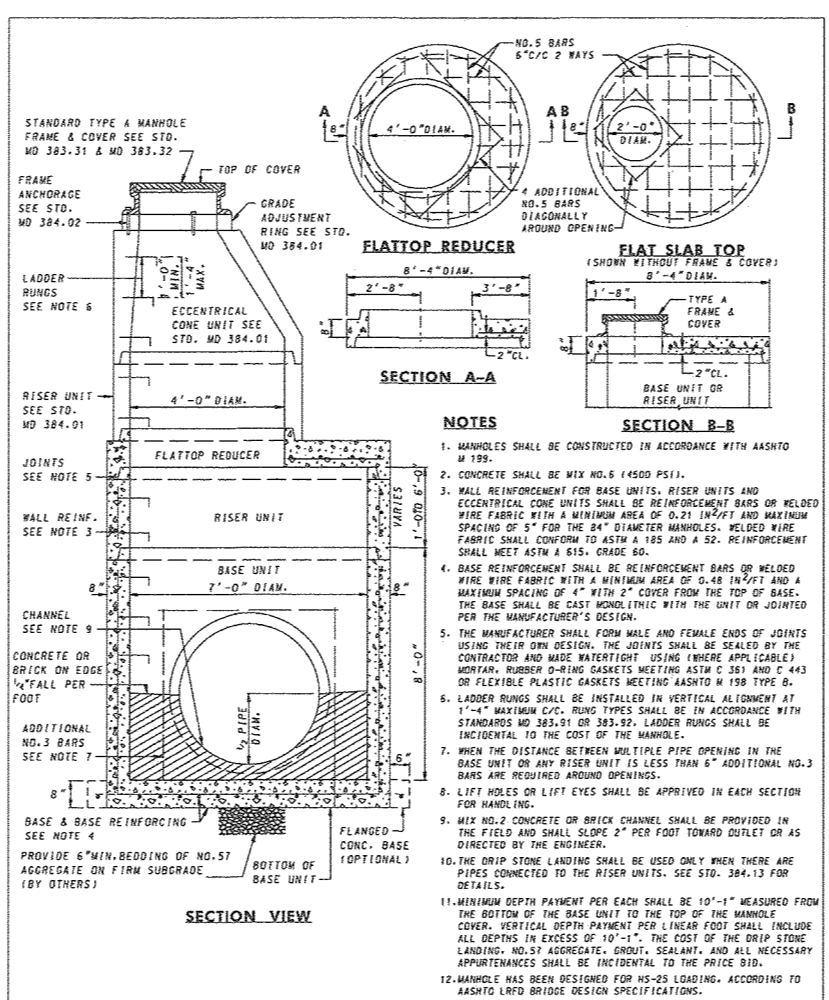
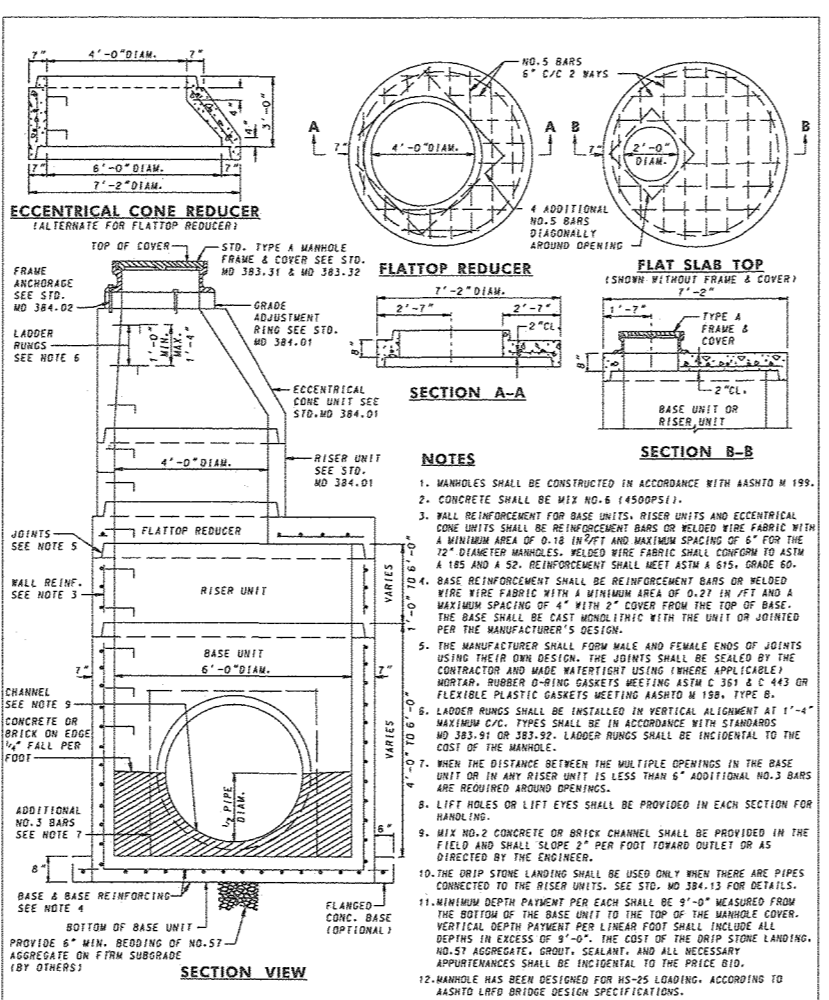
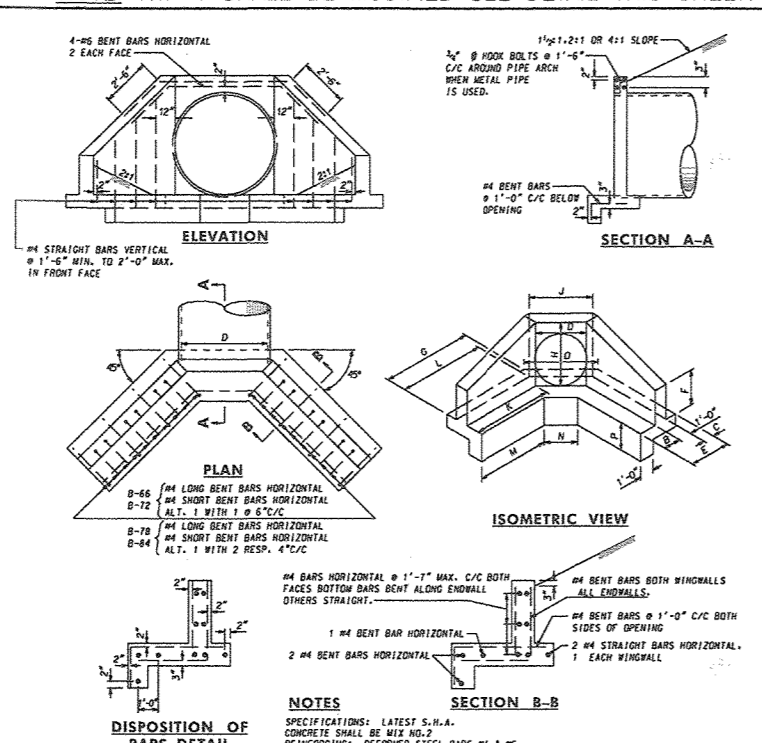
OWNER/DEVELOPER: 2006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 728-0995

**PIPE SCHEDULE - BYPASS**

SIZE	TYPE / CLASS	TOTAL LENGTH
48"	HDPE	1385
60"	HDPE	26
72"	RCP CL IV	1185

THE TOTAL LENGTH OF PIPE IS LINEAR FEET ONLY. HDPE IS TO BE SMOOTH INTERIOR. CONTRACTOR SHALL INSTALL PIPE IN ACCORDANCE WITH COUNTY AND MANUFACTURER'S SPECIFICATIONS.

DETAIL FOR HW-1, HW-3 AND HW-4. NOTE: HW-1 SHALL BE MODIFIED SEE DETAIL SHEET 25. NOTE: HW-4 SHALL BE MODIFIED SEE DETAIL SHEET 25.



NOTE: 1. FUTURE PIPE CONNECTION TO THIS SITE PLAN (SDP-15-043) STORM DRAIN SYSTEM MAY REQUIRE "DRIP STONE LANDINGS" PER MD 384.13.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/12/22

DATE: 6/16/22

Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARD HEADWALLS B-64, B-72, B-78, B-84

STANDARD NO. MD 352.02

Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARD HEADWALLS B-64, B-72, B-78, B-84

STANDARD NO. MD 384.05

Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARD HEADWALLS B-64, B-72, B-78, B-84

STANDARD NO. MD 384.07

Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARD HEADWALLS B-64, B-72, B-78, B-84

STANDARD NO. MD 384.09

Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARD HEADWALLS B-64, B-72, B-78, B-84

STANDARD NO. MD 384.11

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
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REVISED SITE DEVELOPMENT PLAN  
STORM DRAIN PROFILES  
BYPASS SYSTEM

PADDOCK POINTE - PHASE 1  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 166 STACKED CONDO UNITS  
P.384 (L 10518/F.157)  
P.441 (L 13286/F.377)  
ZONED: T0D

PARCELS: 384/441  
B-3, C-1, J, K-1, L & M  
LOTS D, E-1, F-1, G, H & I  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

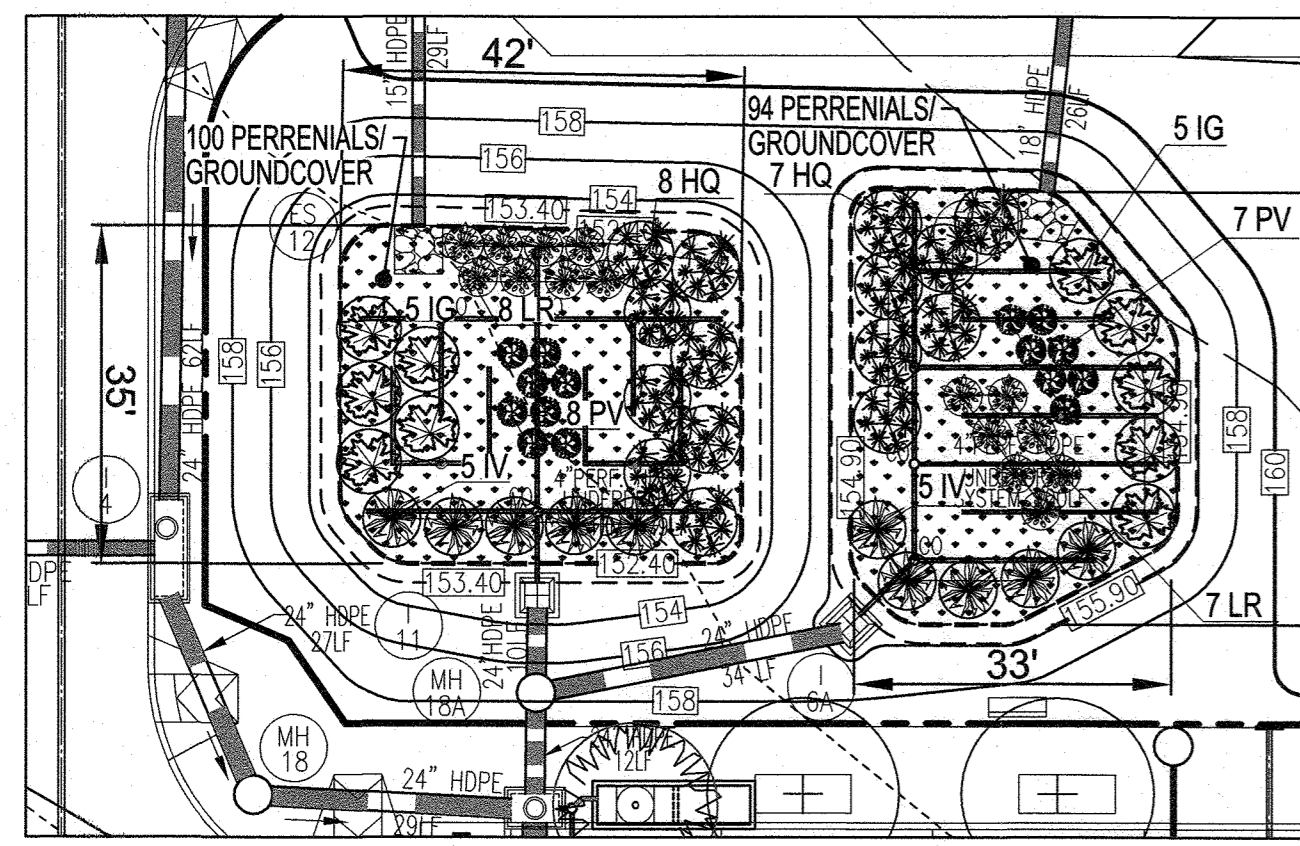
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

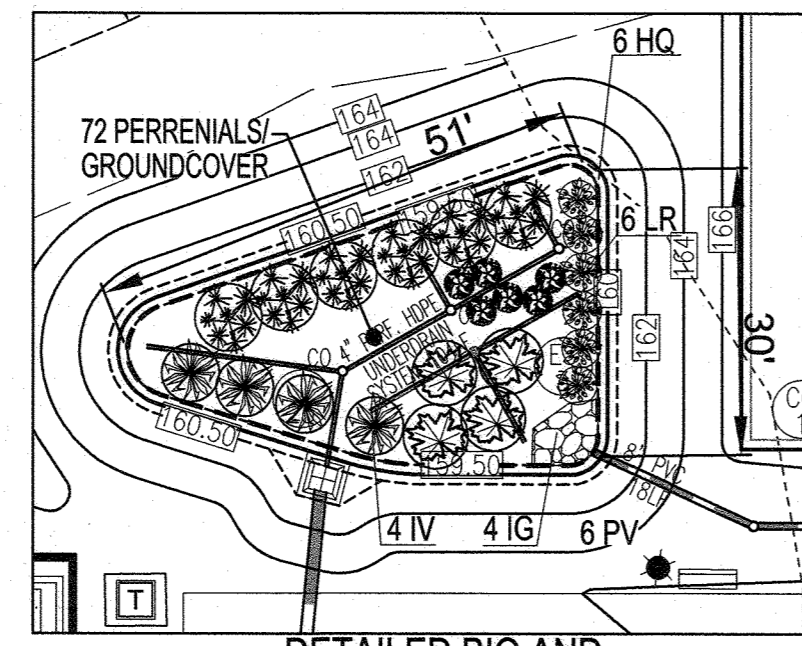
DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

ROBERT R. VOGEL, P.E. No. 16193

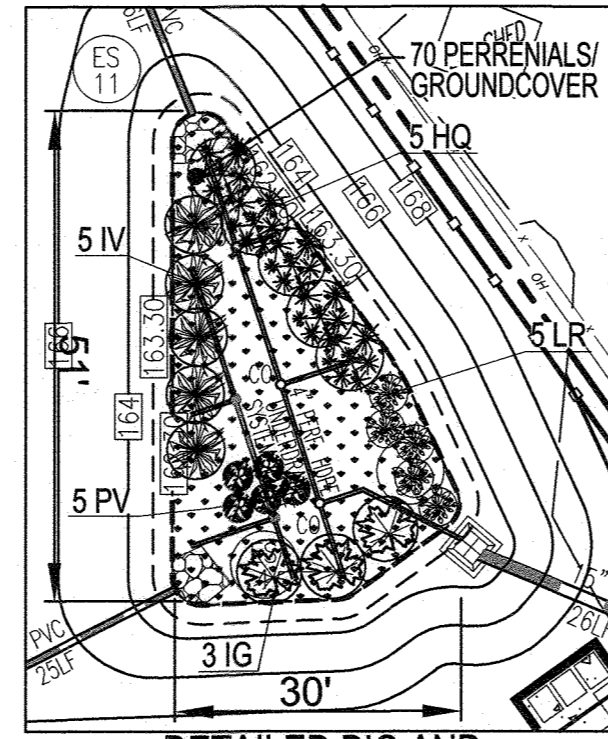
31 SHEET OF 54



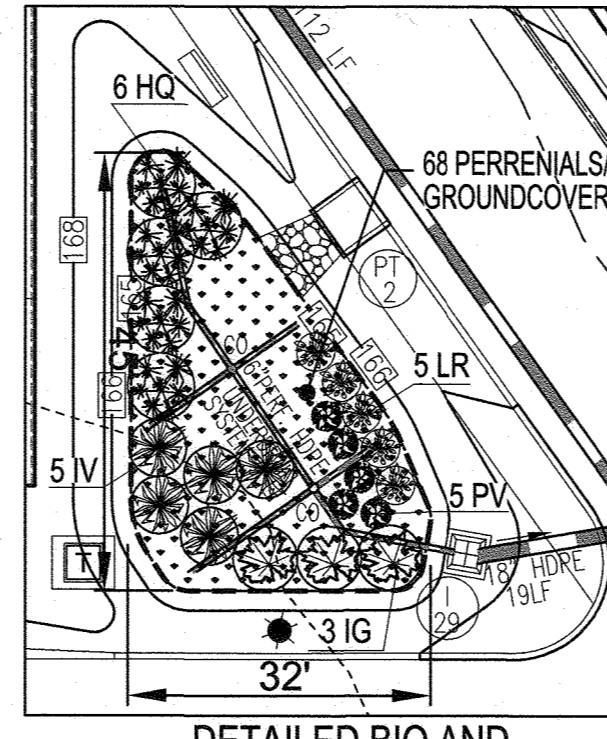
DETAILED BIO AND PLANTING PLAN (SWM #14A, 14B)  
SCALE: 1" = 20'



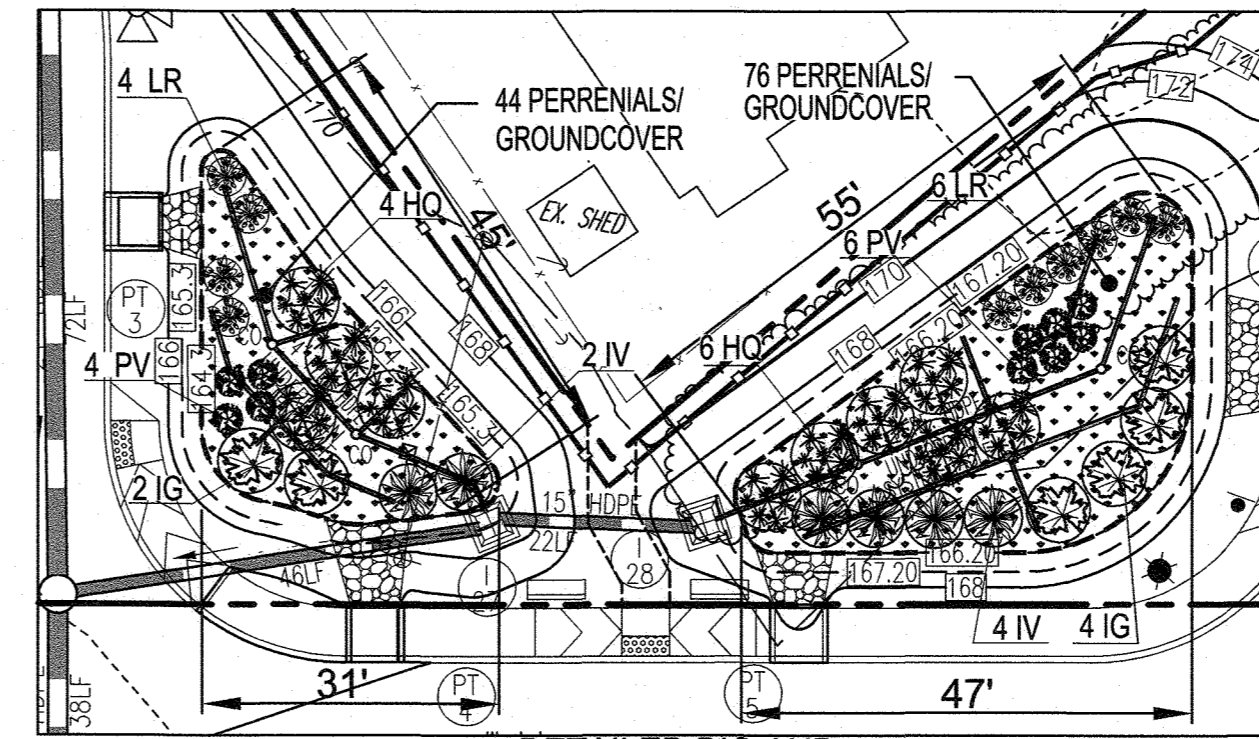
DETAILED BIO AND PLANTING PLAN (SWM #15)  
SCALE: 1" = 20'



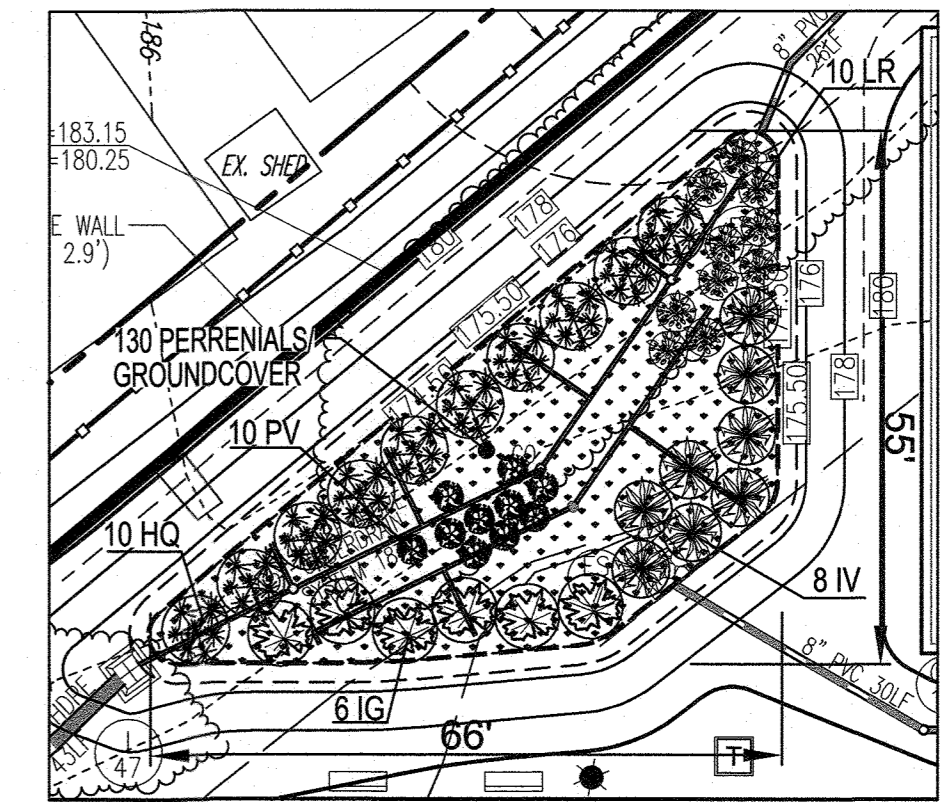
DETAILED BIO AND PLANTING PLAN (SWM #16)  
SCALE: 1" = 20'



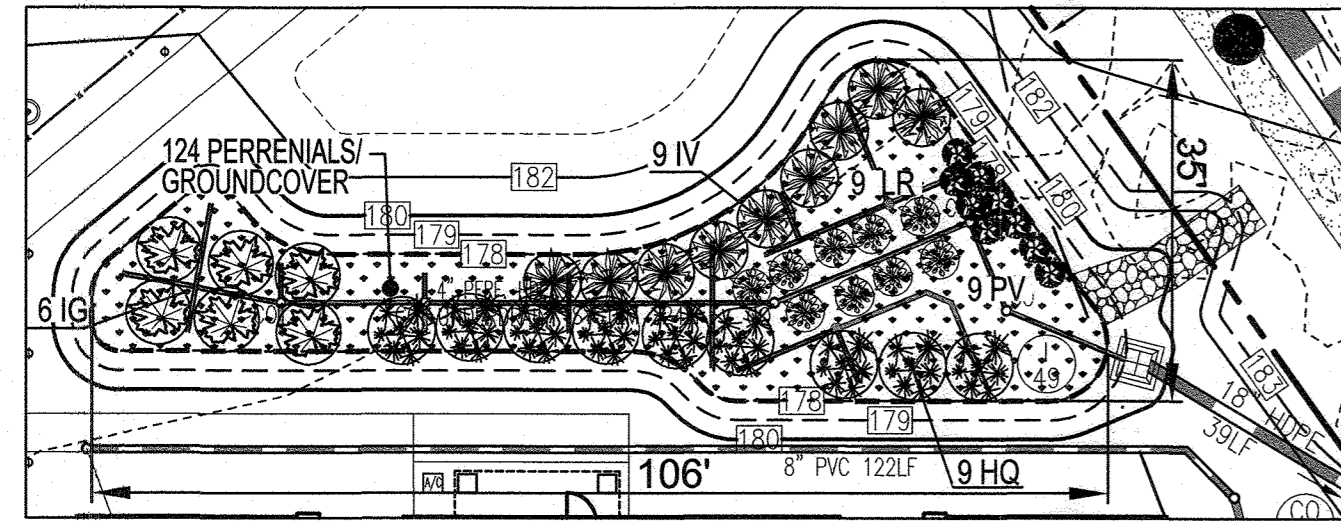
DETAILED BIO AND PLANTING PLAN (SWM #17)  
SCALE: 1" = 20'



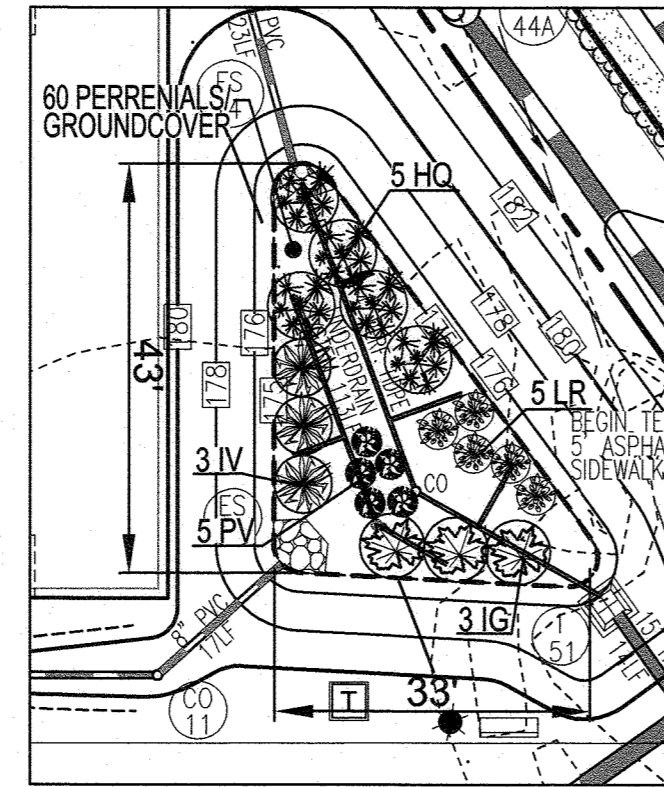
DETAILED BIO AND PLANTING PLAN (SWM #18 & 19)  
SCALE: 1" = 20'



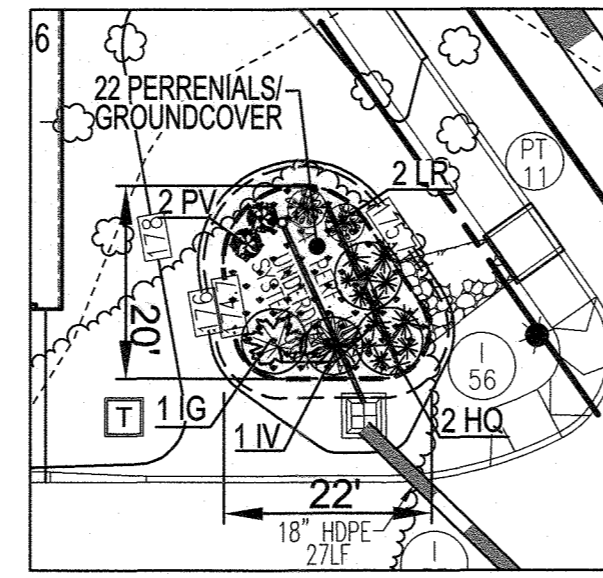
DETAILED BIO AND PLANTING PLAN (SWM #20)  
SCALE: 1" = 20'



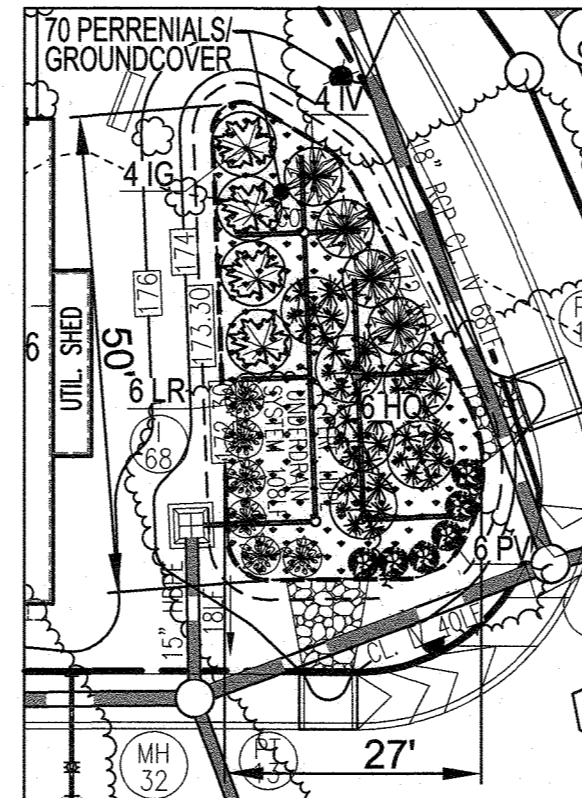
DETAILED BIO AND PLANTING PLAN (SWM #21)  
SCALE: 1" = 20'



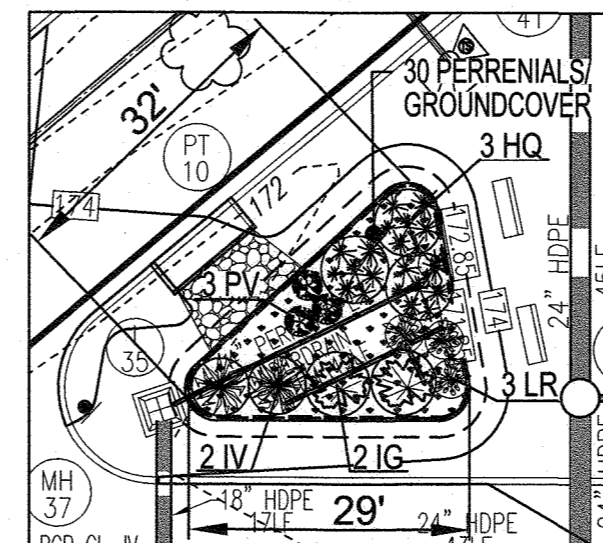
DETAILED BIO AND PLANTING PLAN (SWM #22)  
SCALE: 1" = 20'



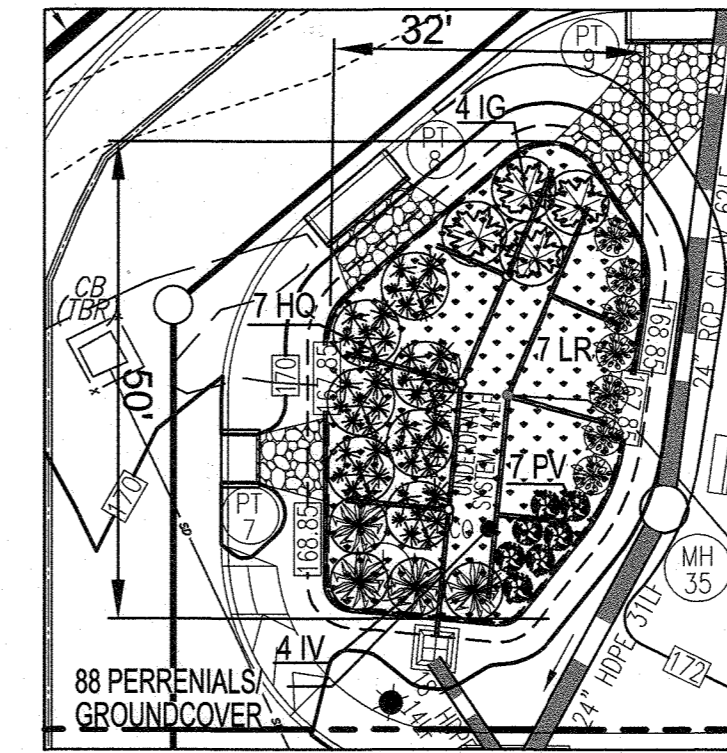
DETAILED BIO AND PLANTING PLAN (SWM #23)  
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #24)  
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #25)  
SCALE: 1" = 20'



DETAILED BIO AND PLANTING PLAN (SWM #26)  
SCALE: 1" = 20'

MICRO-BIORETENTION PLANTING REQUIREMENTS					PLANTINGS PROVIDED					PERENNIALS/GROUND COVER PROVIDED		
MBR #	LF	AREA	STEMS REQUIRED (0.0229)	STEMS PROVIDED	IG	IV	HQ	LR	PV	BA	AG	TOTAL
14A	144	1429	33	34	5	5	8	8	8	50	50	100
14B	138	1344	31	31	5	5	7	7	7	47	47	94
15	129	1046	24	26	4	4	6	6	6	36	36	72
16	135	1090	23	21	3	3	5	5	5	35	35	70
17	129	975	23	23	3	3	5	5	5	34	34	68
18	113	654	15	16	2	2	4	4	4	22	22	44
19	138	1095	26	26	4	4	6	6	6	38	38	76
20	194	1858	43	44	6	8	10	10	10	65	65	130
21	252	1779	41	42	6	9	9	9	9	62	62	124
22	130	871	20	21	3	3	5	5	5	30	30	60
23	67	331	8	8	1	1	2	2	2	11	11	22
24	131	1009	24	26	4	4	6	6	6	35	35	70
25	87	442	11	13	2	2	3	3	3	15	15	30
26	136	1259	29	29	4	4	7	7	7	44	44	88
<b>TOTALS:</b>	<b>1923</b>	<b>15092</b>	<b>351</b>	<b>360</b>	<b>52</b>	<b>59</b>	<b>83</b>	<b>83</b>	<b>83</b>	<b>524</b>	<b>524</b>	<b>1048</b>

BIORETENTION AREAS ARE TO BE PLANTED BASED ON A MINIMUM DENSITY OF 1000 STEMS PER PLANTED ACRE (0.0229 STEMS PER SQUARE FOOT).

PERENNIALS/GROUND COVER PLANTING SCHEDULE				
LEGEND	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	530	BAPTISIA AUSTRALIS FALSE INDIGO	4" POT	12"-15" O.C. FOR SIDES AND BOTTOM OF MBR. MIX ALL VARIETIES IN A NATURALIZED RANDOM PATTERN THROUGHOUT. PLANT IN GROUPS OF NO LESS THAN 9 PLANTS PER CLUMP.
	530	ACORUS GRAMINEUS 'OGON' GOLDEN VARIEGATED SWEET FLAG	1 QT.	

BIORETENTION PLANTING SCHEDULE (SHRUB/ORNAMENTAL GRASSES)				
LEGEND/KEY	QTY	BOTANICAL NAME/COMMON NAME	SIZE	REMARKS
	52	ILEX GLABRA 'SHAMROCK' INKBERRY HOLLEY	1 GALLON	18" O.C.
	59	ITEA VIRGINICA 'HENRY'S GARNETT' VIRGINIA SWEETSPICE	1 GALLON	18" O.C.
	83	HYDRANGEA QUERCIFOLIA OAKLEAF HYDRANGEA	1 GALLON	30" O.C.
	83	LEUCOTHEO RACEMOSA FETTERBUSH	1 GAL.	30" O.C.
	83	PANICUM VIRGATUM SWITCHGRASS	1 GAL.	36" O.C.

OWNER: TRIPLE BELL FARMS, LLC. 14875 BAYVIEW AVE. AURORA, ONTARIO L4G 7A9 CANADA  
OWNER/DEVELOPER: 20006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN  
STORMWATER MANAGEMENT  
MICRO-BIORETENTION PLANTINGS

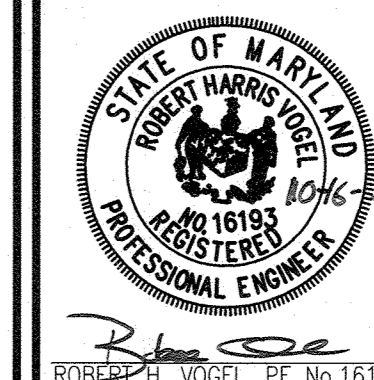
Paddock Pointe - Phase 1

(FORMERLY KNOWN AS LAUREL PARK STATION) PARCELS: 384/441  
64 APARTMENT AND 156 STACKED CONDO UNITS PARCELS A-1, B-1, B-2, P-384 (L10518/F.157) B-3, C-1, J, K-1, L, AND P.441 (L13298/F.377) LOTS D, E-1, F-1, G, H, & I  
TAX MAP: 50 BLOCK: 10 ZONED: TOD HOWARD COUNTY, MARYLAND  
6TH ELECTION DISTRICT

VOGEL ENGINEERING

TIMMONS GROUP

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com



DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16793, EXPIRATION DATE: 09-27-2023.

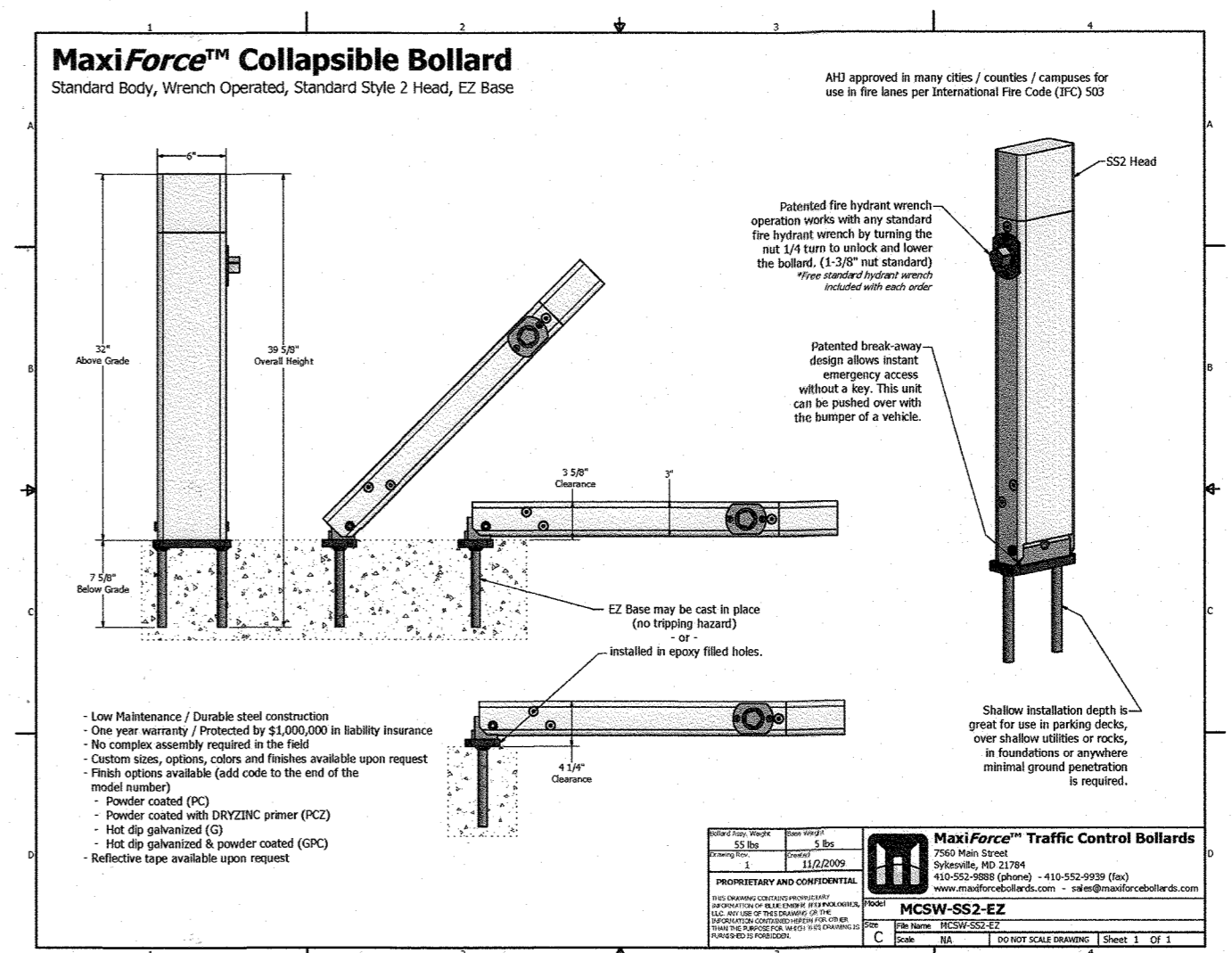
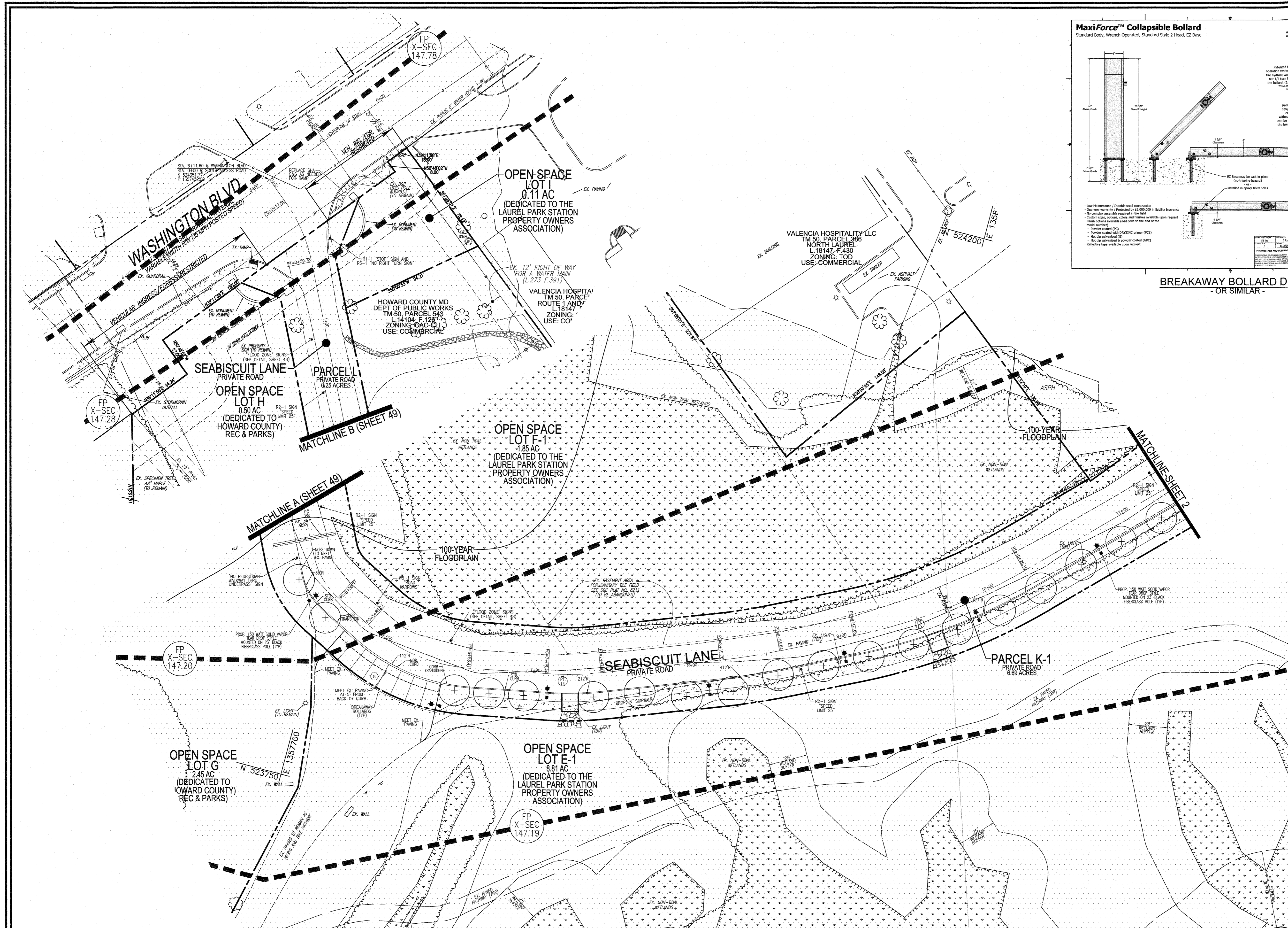
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division  
Chief, Division of Land Development  
Director

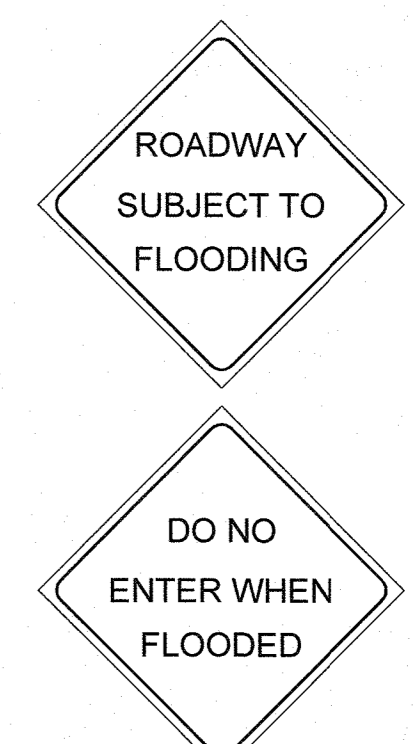
DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature of Developer  
Date: 10/21/20



- LEGEND:**
- EXISTING CURB AND GUTTER
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - EXISTING SIGN
  - EXISTING SANITARY LINE
  - EXISTING SANITARY MANHOLE
  - EXISTING CLEANOUT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER LINE
  - EXISTING TREELINE
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - EXISTING STREAM BUFFER
  - EX. LIMIT OF WETLAND
  - EXISTING WETLAND BUFFER
  - PROPOSED STORM DRAIN
  - PROPOSED STORM DRAIN INLET
  - PROPOSED SIDEWALK
  - PROPOSED CURB
  - PROPOSED STREET LIGHT
  - EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
  - PROPOSED STREET SIGN
  - STREET TREES



**FLOOD ZONE SIGNS (TYP)**

- SIGNS SHALL BE MAINTAINED IN GOOD CONDITION BY THE OWNER/DEVELOPER.
- HOWARD COUNTY WILL HAVE NO RESPONSIBILITY FOR THIS SIGNAGE.

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

NO.	REVISION	DATE
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**OWNER**  
TRIPLE T BELL FARMS, LLC  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

**REVISED SITE DEVELOPMENT PLAN**  
**SITE LAYOUT PLAN**  
**PADDOCK POINT - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L AND  
P-384 (L10518/F.157) B-3, C-1, J, K-1, L AND  
P-441 (L13296/F.377) LOIS D, E-1, F-1, G, H & I  
ZONED: TOD  
TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
+  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**  
DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/49111

**STATE OF MARYLAND**  
ROBERT H. VOGEL  
PROFESSIONAL ENGINEER  
NO. 16193  
EXPIRES 08-27-2022

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND AND LICENSE NO. 16193 EXPIRATION DATE 08-27-2022

40 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

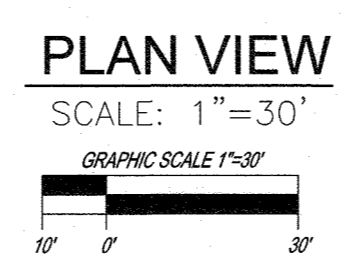
*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 10/10/22

*[Signature]*  
DIRECTOR  
DATE: 6/14/22

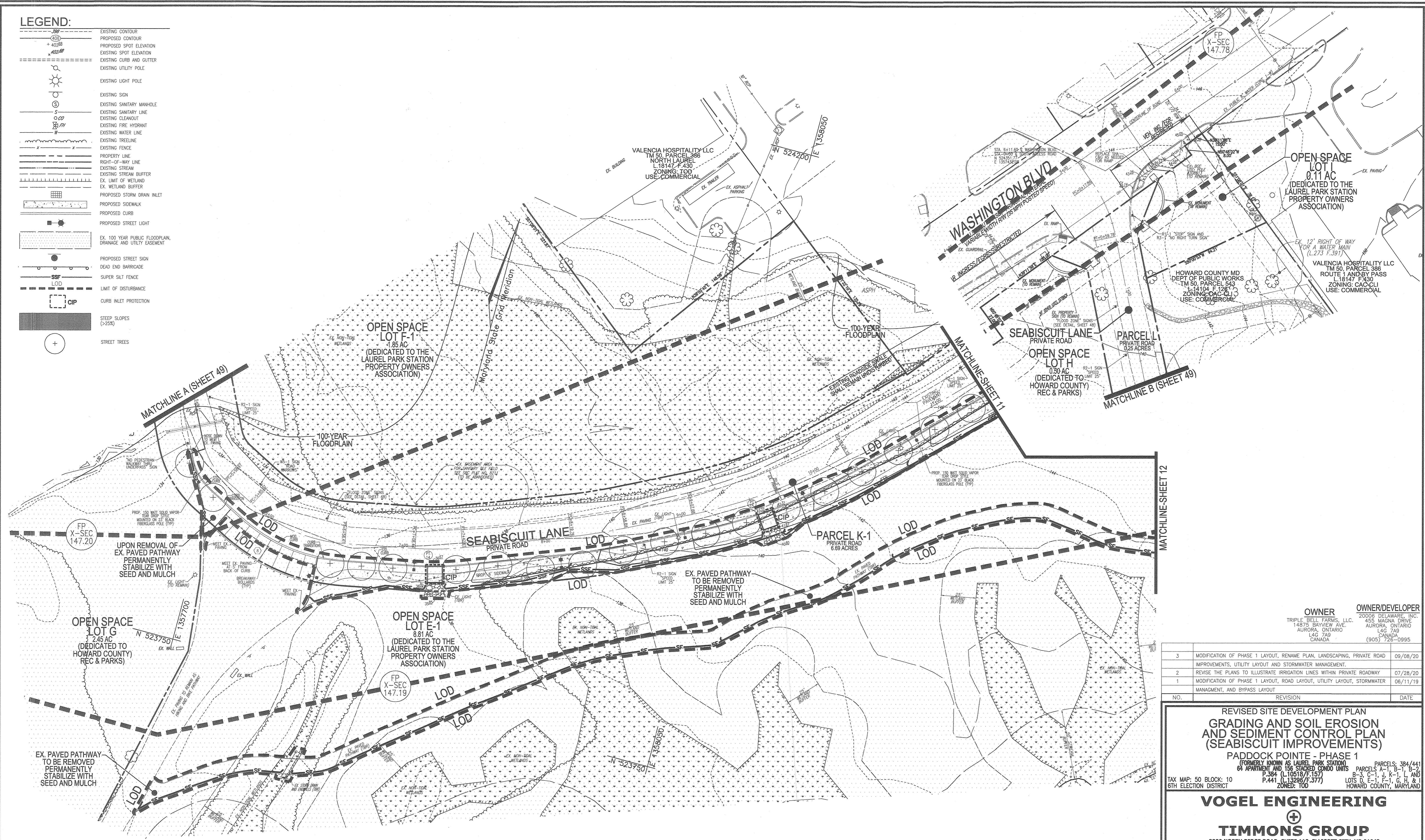
**NOTES:**

- FOR SEABISCUIT LANE GRADING, SEE SHEET 41.
- FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS, SHEET SHEETS 50-52.





- LEGEND:**
- EXISTING CONTOUR
  - - - - PROPOSED CONTOUR
  - + 402.68 PROPOSED SPOT ELEVATION
  - 402.68 EXISTING SPOT ELEVATION
  - - - - EXISTING CURB AND GUTTER
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - EXISTING SIGN
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY LINE
  - EXISTING CLEANOUT
  - EXISTING FIRE HYDRANT
  - EXISTING WATER LINE
  - EXISTING TREELINE
  - EXISTING FENCE
  - PROPERTY LINE
  - RIGHT-OF-WAY LINE
  - EXISTING STREAM
  - EXISTING STREAM BUFFER
  - EX. LIMIT OF WETLAND
  - EX. WETLAND BUFFER
  - PROPOSED STORM DRAIN INLET
  - PROPOSED SIDEWALK
  - PROPOSED CURB
  - PROPOSED STREET LIGHT
  - EX. 100 YEAR PUBLIC FLOODPLAIN, DRAINAGE AND UTILITY EASEMENT
  - PROPOSED STREET SIGN
  - DEAD END BARRICADE
  - SUPER SILT FENCE
  - LOD LIMIT OF DISTURBANCE
  - CIP CURB INLET PROTECTION
  - STEEP SLOPES (>25%)
  - STREET TREES



**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 728-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
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**REVISED SITE DEVELOPMENT PLAN  
GRADING AND SOIL EROSION  
AND SEDIMENT CONTROL PLAN  
(SEABISCUIT IMPROVEMENTS)**

**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 168 STACKED COND. UNITS  
P.384 (L.10518/F.157)  
P.441 (L.13286/F.377)  
ZONED: TOD

PARCELS: 384/441  
B-3, C-3, J, K-1, L AND  
LOTS D, E-1, F-1, G, H, & I  
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
5TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
+  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

DESIGN BY: RHY/DZE  
DRAWN BY: DZE  
CHECKED BY: RHY  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193.  
EXPIRATION DATE: 09-27-2022

41 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/20  
DATE: 6/11/20  
DATE: 6/16/22

**OWNER/DEVELOPER CERTIFICATION:**  
I/WE CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION, OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (MDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, AND MDE.

DATE: 10/21/20  
OWNER/DEVELOPER SIGNATURE: *Mark G. Thompson*  
PRINTED NAME & TITLE: MARK G. THOMPSON

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 10-16-20  
DESIGNER'S SIGNATURE: *Robert H. Vogel*  
PRINTED NAME: ROBERT H. VOGEL  
MD REGISTRATION NO. 16193  
R.L.S., OR R.L.A. (Circle one)

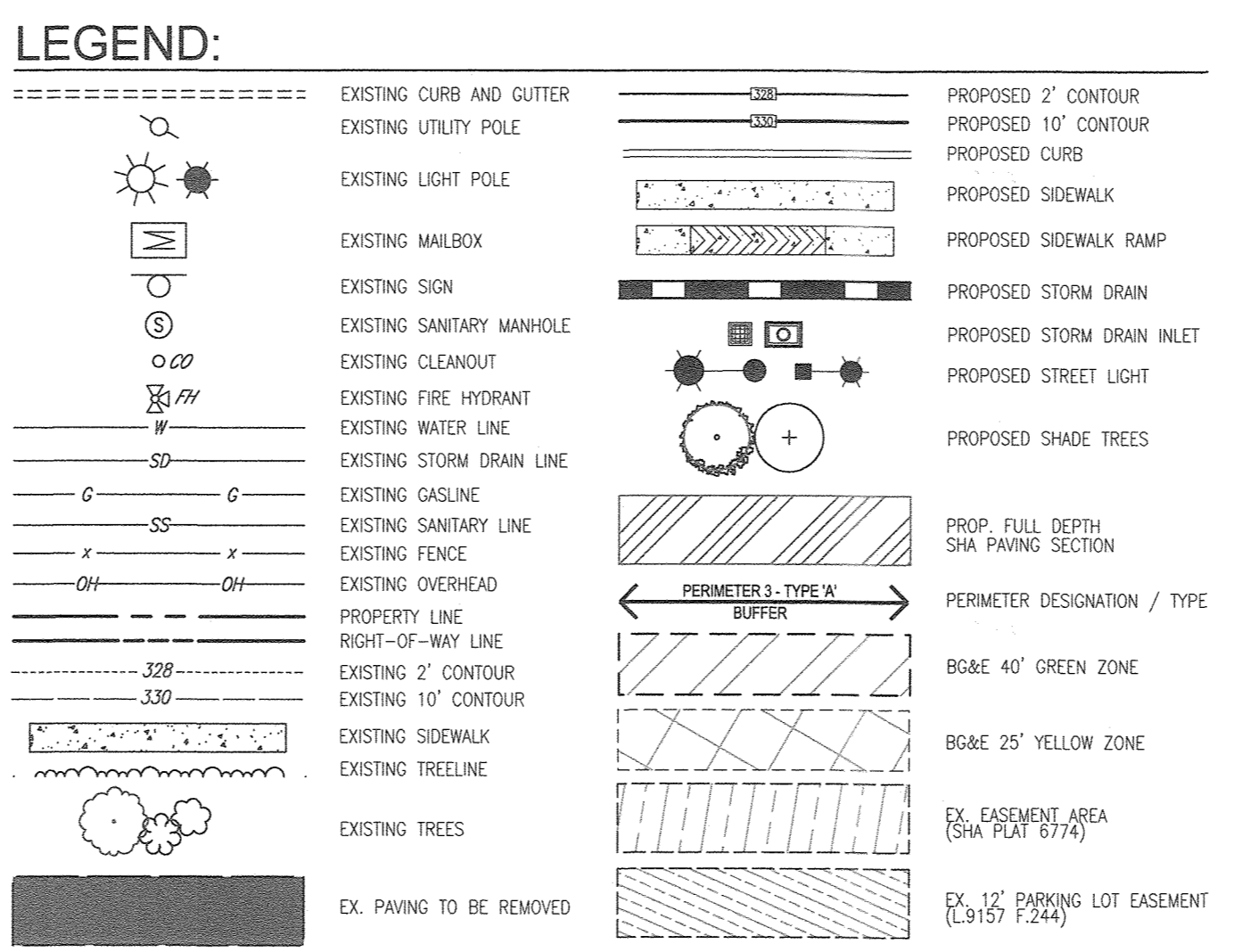
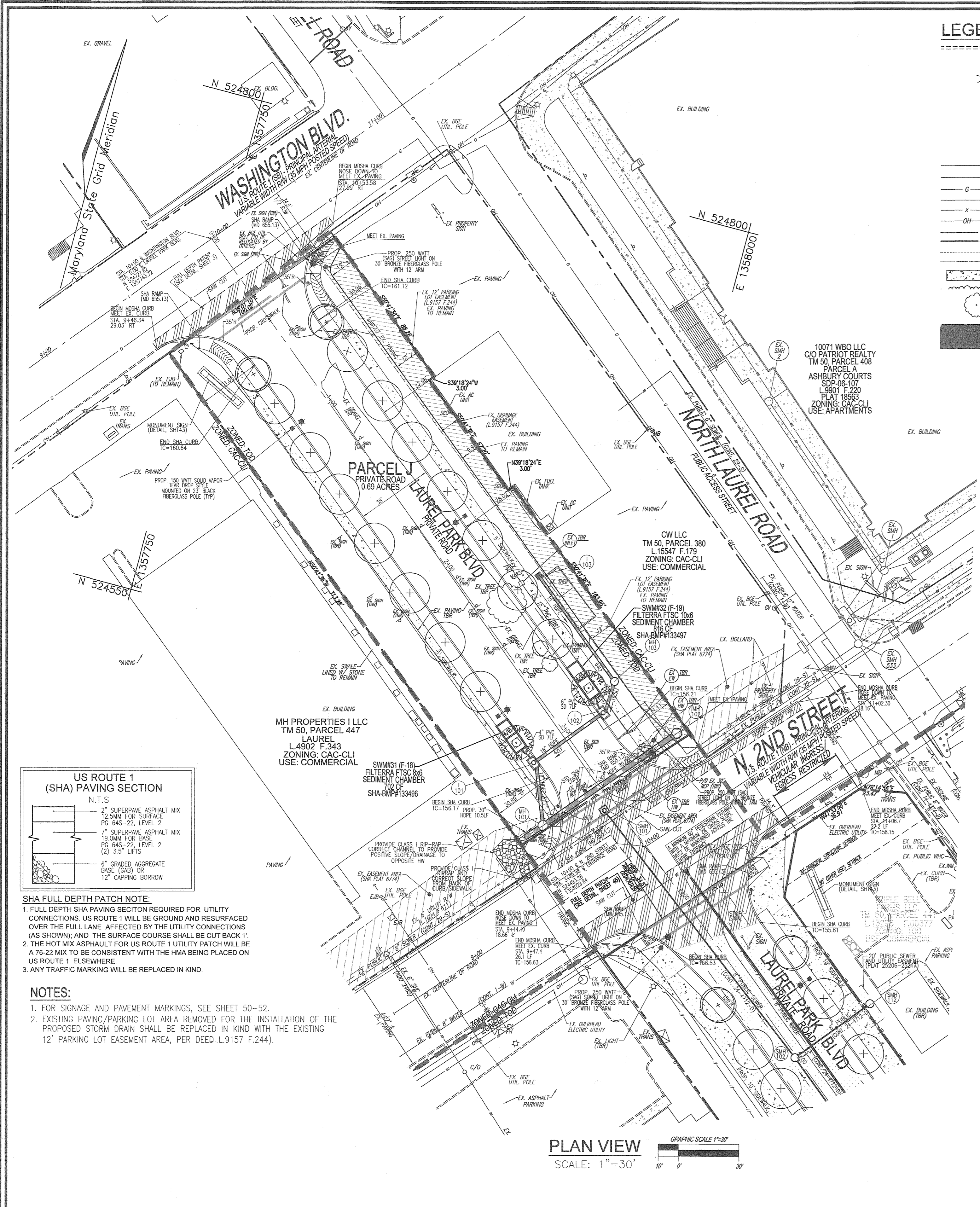
PLAN VIEW  
SCALE: 1"=30'

GRAPHIC SCALE 1"=30'

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

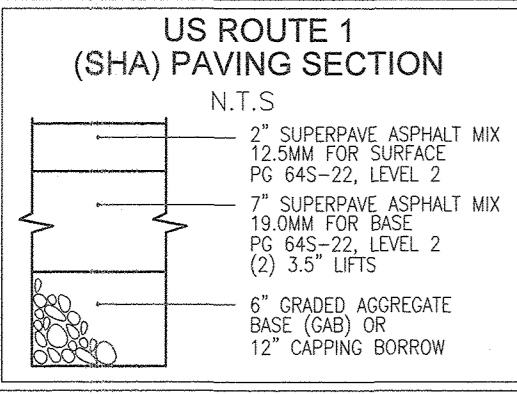
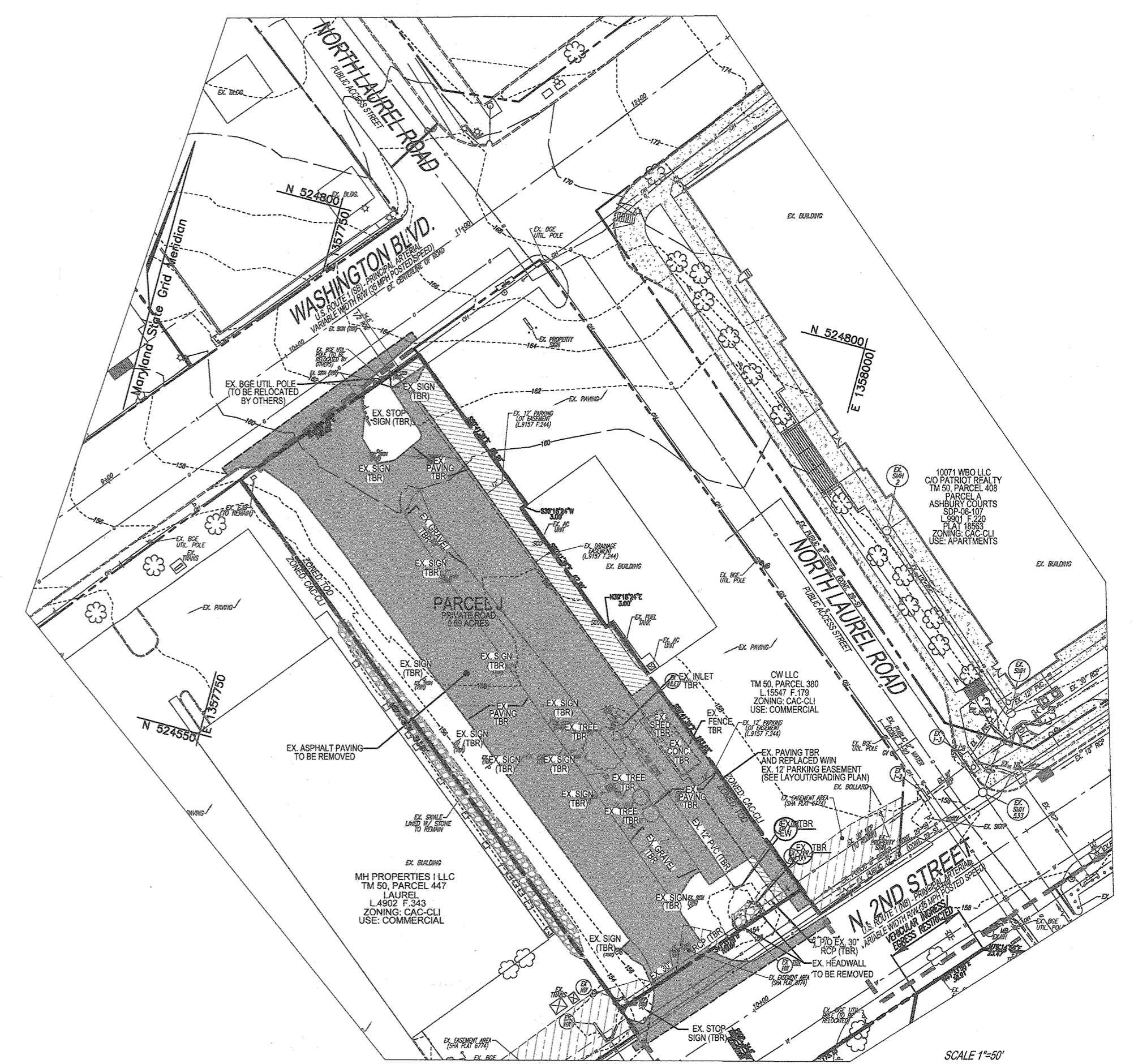
DATE: 05/23/22  
DATE: 05/23/22

**NOTES:**  
1. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.



**EXISTING UTILITIES NOTE:**  
 EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES. TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.



**SHA FULL DEPTH PATCH NOTE:**  
 1. FULL DEPTH SHA PAVING SECTION REQUIRED FOR UTILITY CONNECTIONS. US ROUTE 1 WILL BE GROUND AND RESURFACED OVER THE FULL LANE AFFECTED BY THE UTILITY CONNECTIONS (AS SHOWN), AND THE SURFACE COURSE SHALL BE CUT BACK 1'-0".  
 2. THE HOT MIX ASPHALT FOR US ROUTE 1 UTILITY PATCH WILL BE A 78-22 MIX TO BE CONSISTENT WITH THE HMA BEING PLACED ON US ROUTE 1 ELSEWHERE.  
 3. ANY TRAFFIC MARKING WILL BE REPLACED IN KIND.

**NOTES:**  
 1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.  
 2. EXISTING PAVING/PARKING LOT AREA REMOVED FOR THE INSTALLATION OF THE PROPOSED STORM DRAIN SHALL BE REPLACED IN KIND WITH THE EXISTING 12' PARKING LOT EASEMENT AREA, PER DEED L.9157 F.244).

**PLAN VIEW**  
 SCALE: 1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
 CHIEF, DEVELOPMENT ENGINEERING DIVISION  
 DATE: 6/10/22

*[Signature]*  
 CHIEF, DIVISION OF LAND DEVELOPMENT  
 DATE: 6/10/22

*[Signature]*  
 DIRECTOR  
 DATE: 6/10/22

**OWNER**  
 TRIPLE BELL FARMS, LLC  
 14879 BAYVIEW AVE.  
 AURORA, ONTARIO  
 L4G 7A9  
 CANADA

**OWNER/DEVELOPER**  
 20006 DELAWARE, INC.  
 455 MAGNA DRIVE  
 AURORA, ONTARIO  
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 CANADA  
 (905) 726-0995

NO.	REVISION	DATE
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**REVISED SITE DEVELOPMENT PLAN  
 SITE LAYOUT PLAN,  
 AND DEMOLITION PLAN  
 (PARCEL J)**

**PADDOCK POINTE - PHASE 1**  
 (FORMERLY KNOWN AS LAUREL PARK STATION)  
 64 APARTMENT AND 150 STACKED CONDO UNITS

TAX MAP: 50 BLOCK: 10  
 6TH ELECTION DISTRICT

PARCELS: 384/441  
 PARCELS A-1, B-1, B-2  
 B-3, C-1, J, K-1, L, AND  
 P.441 (L.13298/F.3777)  
 ZONED: TOD

LOTS D, E-1, F-1, G, H & I  
 HOWARD COUNTY, MARYLAND

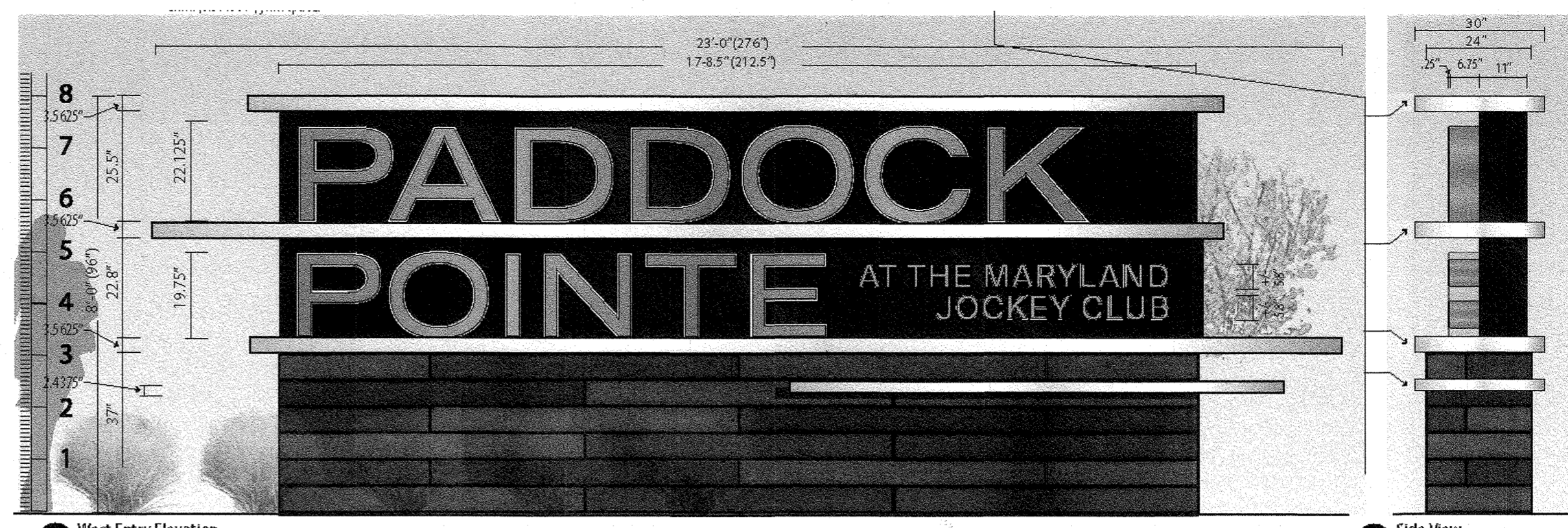
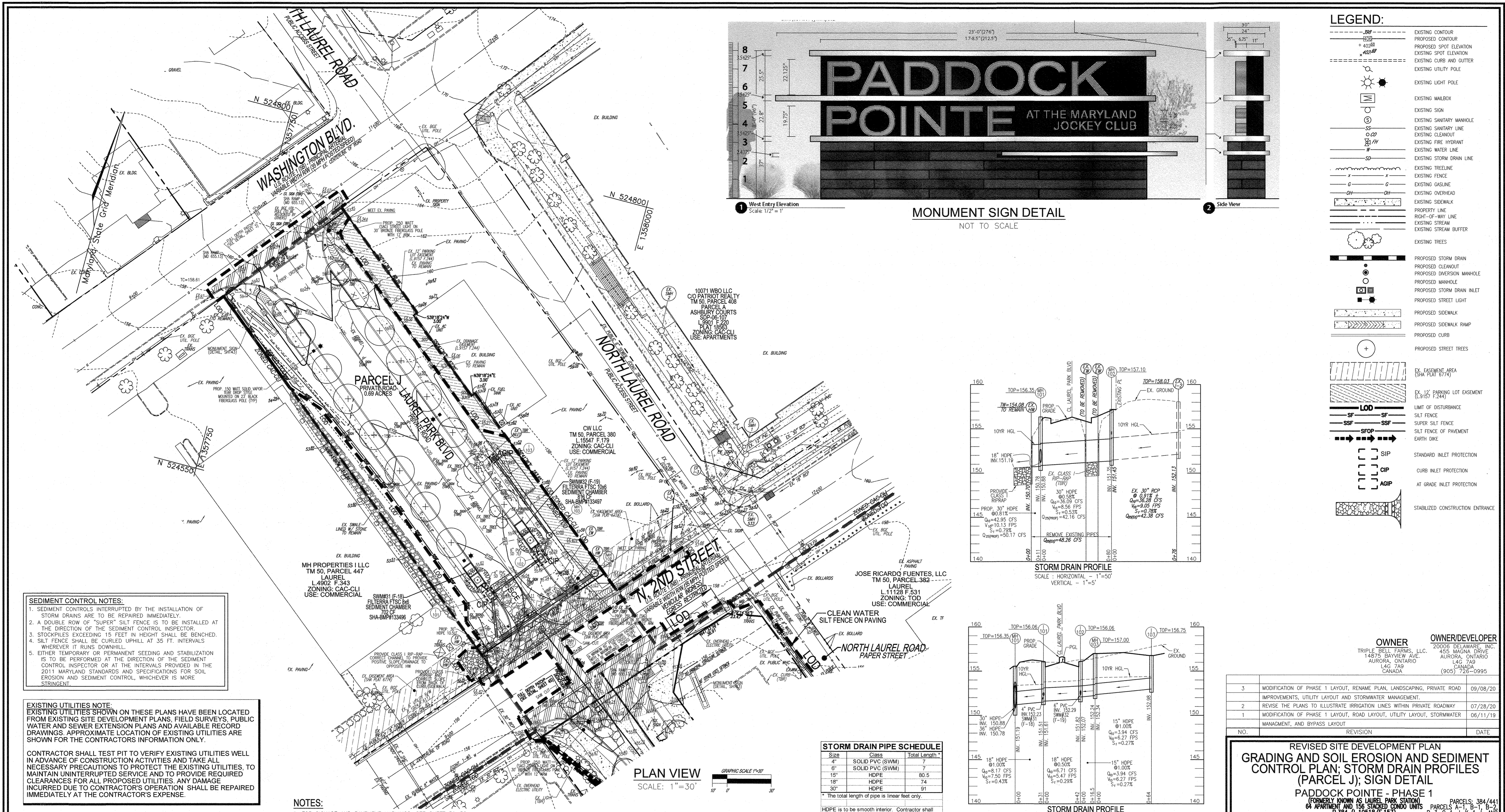
**VOGEL ENGINEERING**  
 +  
**TIMMONS GROUP**  
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7656 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHM/DZE  
 DRAWN BY: DZE  
 CHECKED BY: RHM  
 DATE: SEPTEMBER 2020  
 SCALE: AS SHOWN  
 W.O. NO.: 07-11/40111

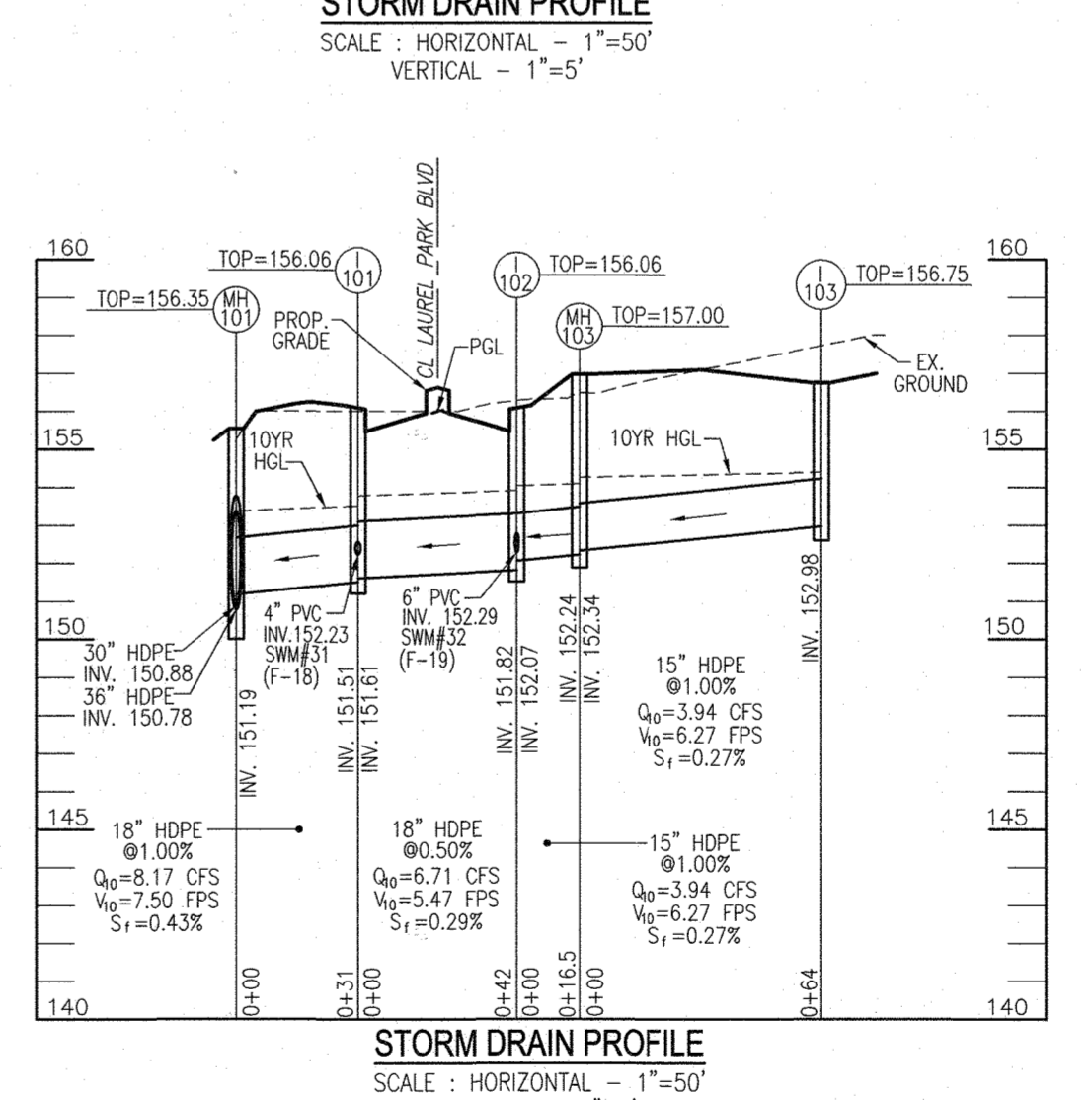
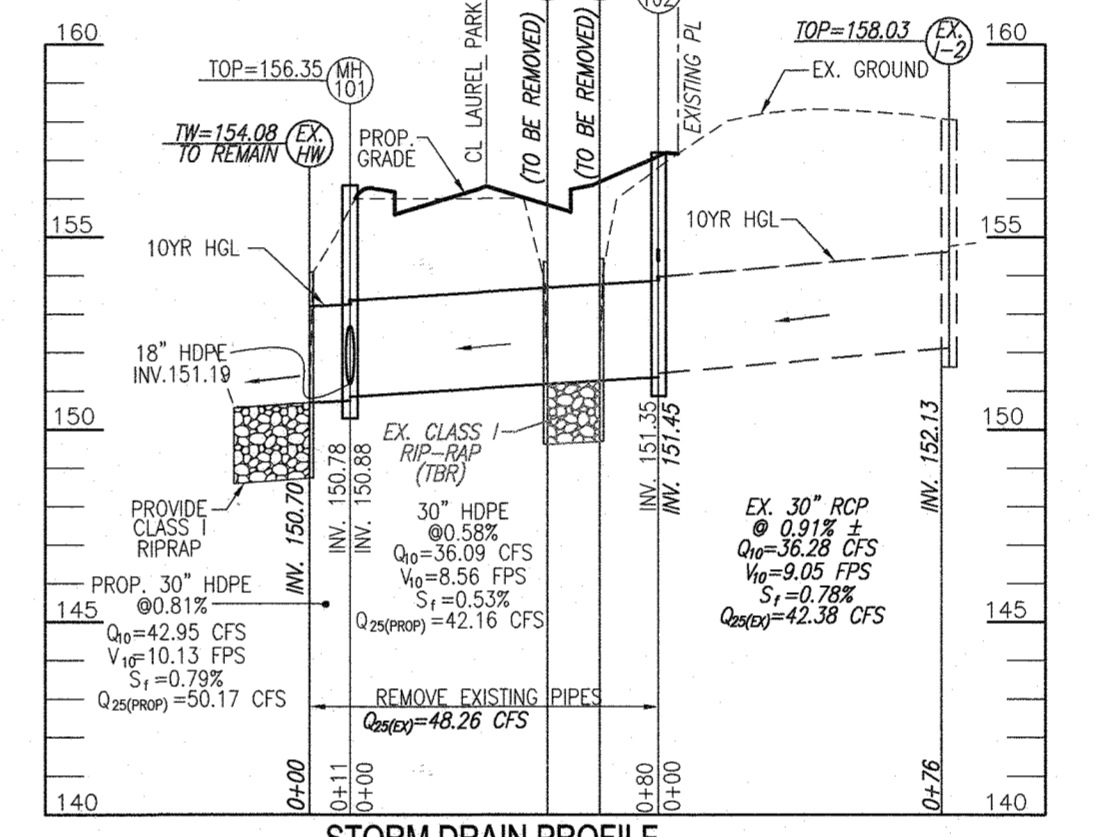
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY EXPIRATION DATE: 09-27-2022

42 SHEET OF 54



**LEGEND:**

- - - - - EXISTING CONTOUR
- PROPOSED CONTOUR
- + 40.28 PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- ☀ EXISTING LIGHT POLE
- ☐ EXISTING MAILBOX
- ☐ EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING STORM DRAIN LINE
- EXISTING TREELINE
- EXISTING FENCE
- EXISTING GASLINE
- EXISTING OVERHEAD
- EXISTING SIDEWALK
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- EXISTING TREES
- PROPOSED STORM DRAIN
- PROPOSED CLEANOUT
- PROPOSED DIVERSION MANHOLE
- PROPOSED MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STREET LIGHT
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK RAMP
- PROPOSED CURB
- PROPOSED STREET TREES
- EX. EASEMENT AREA (SHA PLAT 8774)
- EX. 10' PARKING LOT EASEMENT (L3157 F.244)
- LOD LIMIT OF DISTURBANCE
- SF SILT FENCE
- SSF SUPER SILT FENCE
- SFOP SILT FENCE OF PAVEMENT
- EARTH DIKE
- SIP STANDARD INLET PROTECTION
- CIP CURB INLET PROTECTION
- AGIP AT GRADE INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE



- SEDIMENT CONTROL NOTES:**
1. SEDIMENT CONTROLS INTERRUPTED BY THE INSTALLATION OF STORM DRAINS ARE TO BE REPAIRED IMMEDIATELY.
  2. A DOUBLE ROW OF "SUPER" SILT FENCE IS TO BE INSTALLED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.
  3. STOCKPILES EXCEEDING 15 FEET IN HEIGHT SHALL BE BENCHED.
  4. SILT FENCE SHALL BE CURLED UPHILL AT 35 FT. INTERVALS WHEREVER IT RUNS DOWNHILL.
  5. EITHER TEMPORARY OR PERMANENT SEEDING AND STABILIZATION IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR OR AT THE INTERVALS PROVIDED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, WHICHEVER IS MORE STRINGENT.

**EXISTING UTILITIES NOTE:**  
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION ONLY.

CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

- NOTES:**
1. FOR SIGNAGE AND PAVEMENT MARKINGS, SEE SHEET 50-52.
  2. EXISTING PAVING/PARKING LOT AREA REMOVED FOR THE INSTALLATION OF THE PROPOSED STORM DRAIN SHALL BE REPLACED IN KIND WITH THE EXISTING 12' PARKING LOT EASEMENT AREA, PER DEED L9157 F.244.
  3. APPROVAL OF THIS PLAN DOES NOT ALLOW FOR UNAUTHORIZED OFFSITE GRADING OR IMPACTS OF ANY MANNER THAT WILL EFFECT ADJOINING PROPERTY OWNERS/TENANTS. IT IS THE DEVELOPER'S OBLIGATION TO ENSURE ADJACENT PROPERTIES ARE APPROPRIATELY NOTIFIED PRIOR TO ANY OFFSITE DISTURBANCES THAT MAY AFFECT THE USE OF, AND/OR ACCESS TO, THEIR PROPERTY.

**STORM DRAIN PIPE SCHEDULE**

Size	Class	Total Length*
4"	SOLID PVC (SVM)	7
6"	SOLID PVC (SVM)	7
15"	HDPE	80.5
18"	HDPE	74
30"	HDPE	91

\* The total length of pipe is linear feet only.

**PLAN VIEW**  
SCALE: 1"=30'

**STORM DRAIN STRUCTURE SCHEDULE**

STR #	TYPE	INV. IN	INV. OUT	TOP	DETAIL	LOCATION	REMARKS
MH-101	PRECAST 4' MANHOLE	151.19 / 150.88	150.78	156.35	G-5.12	E= 1357977.74 N= 524490.05	
MH-102	PRECAST 4' MANHOLE	151.45	151.35	157.20	G-5.12	E= 1358029.96 N= 524551.30	BUILD OVER AND CONNECT TO EX. 30" HDPE
MH-103	PRECAST 4' MANHOLE	152.34	152.24	157.00	G-5.12	E= 1357993.49 N= 524568.07	
I-101	PRECAST TYPE A-5	152.23 / 151.61	151.51	156.06	D-4.02	E= 1357965.21 N= 524518.88	
I-102	PRECAST TYPE A-5	152.29 / 152.07	151.82	156.06	D-4.02	E= 1357992.06 N= 524551.62	
I-103	YARD INLET	152.46	152.24	155.79	D-4.12	E= 1357943.78 N= 524608.82	

**SOILS LEGEND**  
HOWARD COUNTY SOILS MAP #28

SYMBOL	NAME / DESCRIPTION	GROUP	K-FACTOR	ERODIBLE	HYDRIC
URD	URBAN LAND-UDORTHERENTS COMPLEX, 0 TO 15 PERCENT SLOPES	D	0.28	NO	NO

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

6/10/22  
DATE

6/10/22  
DATE

6/16/22  
DATE

**OWNER/DEVELOPER CERTIFICATION:**  
I HEREBY CERTIFY THAT ANY CLEARING, GRADING, CONSTRUCTION OR DEVELOPMENT WILL BE DONE PURSUANT TO THIS APPROVED EROSION AND SEDIMENT CONTROL PLAN, INCLUDING INSPECTING AND MAINTAINING CONTROLS AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT (UDE) APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT PRIOR TO BEGINNING THE PROJECT. I CERTIFY RIGHT-OF-ENTRY FOR PERIODIC ON-SITE EVALUATION BY HOWARD COUNTY, THE HOWARD SOIL CONSERVATION DISTRICT, AND/OR A.G.E.

6/16/22  
DATE

6/16/22  
DATE

**DESIGN CERTIFICATION:**  
I HEREBY CERTIFY THAT THIS PLAN HAS BEEN DESIGNED IN ACCORDANCE WITH CURRENT MARYLAND EROSION AND SEDIMENT CONTROL LAWS, REGULATIONS, AND STANDARDS, THAT IT REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

10/12/20  
DATE

10/16/20  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Almendra Bontchari  
HOWARD S.C.D.  
DATE: 05/23/22

- STORM DRAIN NOTES:**
1. FOR STORM DRAIN DRAINAGE AREA MAP FOR PARCEL J, SEE SHEET 44.
  2. FOR STORM DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 20-24.
  3. FOR PROFILES AND SCHEDULES FOR REMAINDER OF SITE, SHEET SHEETS 25-33.

**OWNER**  
TRIPLE BELL FRANKS, LLC.  
14875 BAYVIEW AVENUE  
AURORA, ONTARIO L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO L4G 7A9  
CANADA (905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN  
GRADING AND SOIL EROSION AND SEDIMENT CONTROL PLAN; STORM DRAIN PROFILES (PARCEL J); SIGN DETAIL

PADDOCK POINTE - PHASE 1  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDUNIT UNITS  
PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L, L-1, L-2, L-3, L-4, L-5, L-6, L-7, L-8, L-9, L-10, L-11, L-12, L-13, L-14, L-15, L-16, L-17, L-18, L-19, L-20, L-21, L-22, L-23, L-24, L-25, L-26, L-27, L-28, L-29, L-30, L-31, L-32, L-33, L-34, L-35, L-36, L-37, L-38, L-39, L-40, L-41, L-42, L-43, L-44, L-45, L-46, L-47, L-48, L-49, L-50, L-51, L-52, L-53, L-54, L-55, L-56, L-57, L-58, L-59, L-60, L-61, L-62, L-63, L-64, L-65, L-66, L-67, L-68, L-69, L-70, L-71, L-72, L-73, L-74, L-75, L-76, L-77, L-78, L-79, L-80, L-81, L-82, L-83, L-84, L-85, L-86, L-87, L-88, L-89, L-90, L-91, L-92, L-93, L-94, L-95, L-96, L-97, L-98, L-99, L-100

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
TIMMONS GROUP  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21143  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

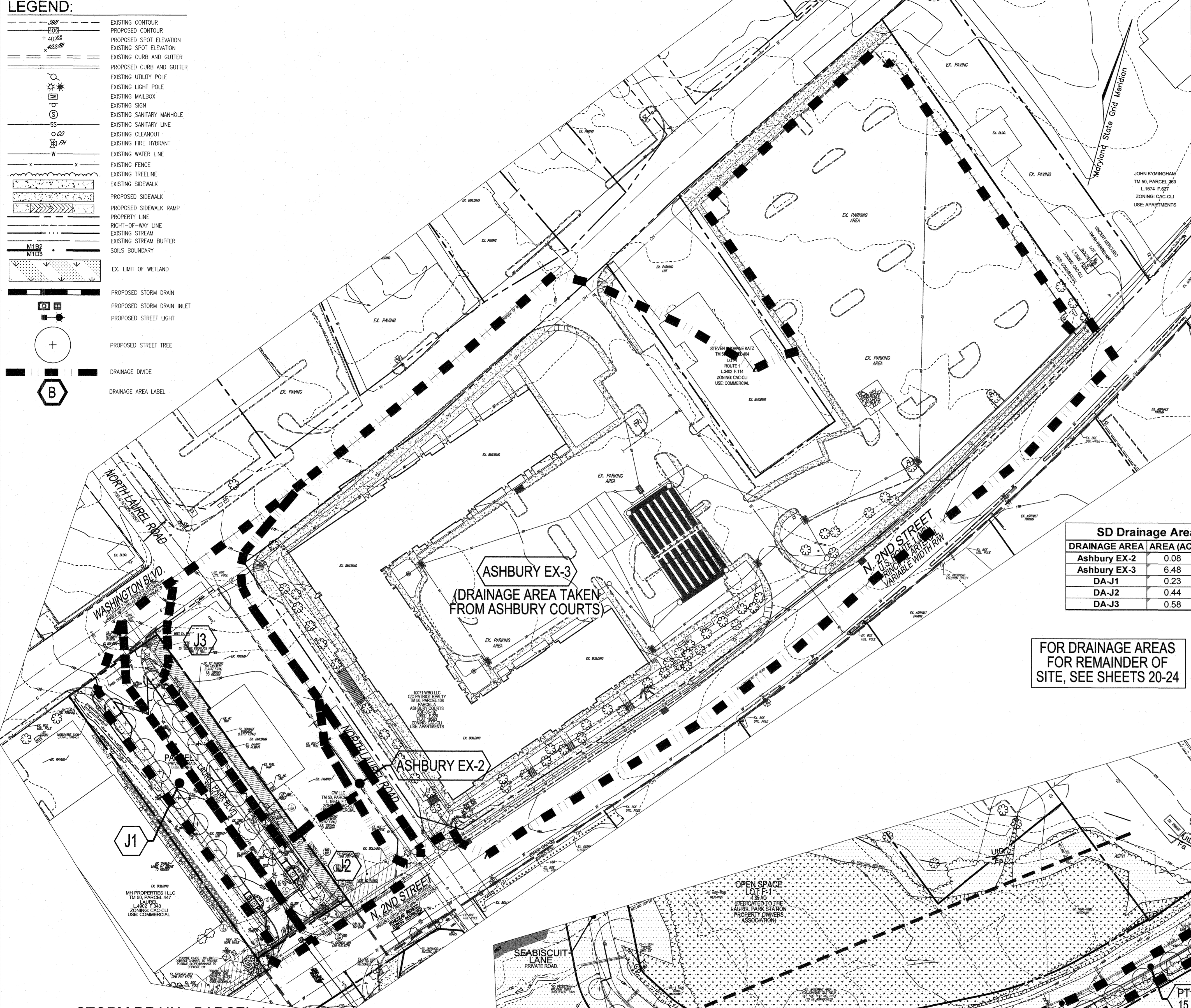
DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LIES OF THE STATE OF MARYLAND, LICENSE NO. 18193 EXPIRATION DATE: 09-27-2025

43 SHEET OF 54

**LEGEND:**

- EXISTING CONTOUR
- - - PROPOSED CONTOUR
- + 40.25' EXISTING SPOT ELEVATION
- + 40.25' EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING FENCE
- EXISTING TREELINE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED SIDEWALK RAMP
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING STREAM
- EXISTING STREAM BUFFER
- SOILS BOUNDARY
- EX. LIMIT OF WETLAND
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED STREET LIGHT
- PROPOSED STREET TREE
- DRAINAGE DIVIDE
- DRAINAGE AREA LABEL



**STORM DRAIN - PARCEL J  
DRAINAGE AREA MAP**  
SCALE: 1"=50'

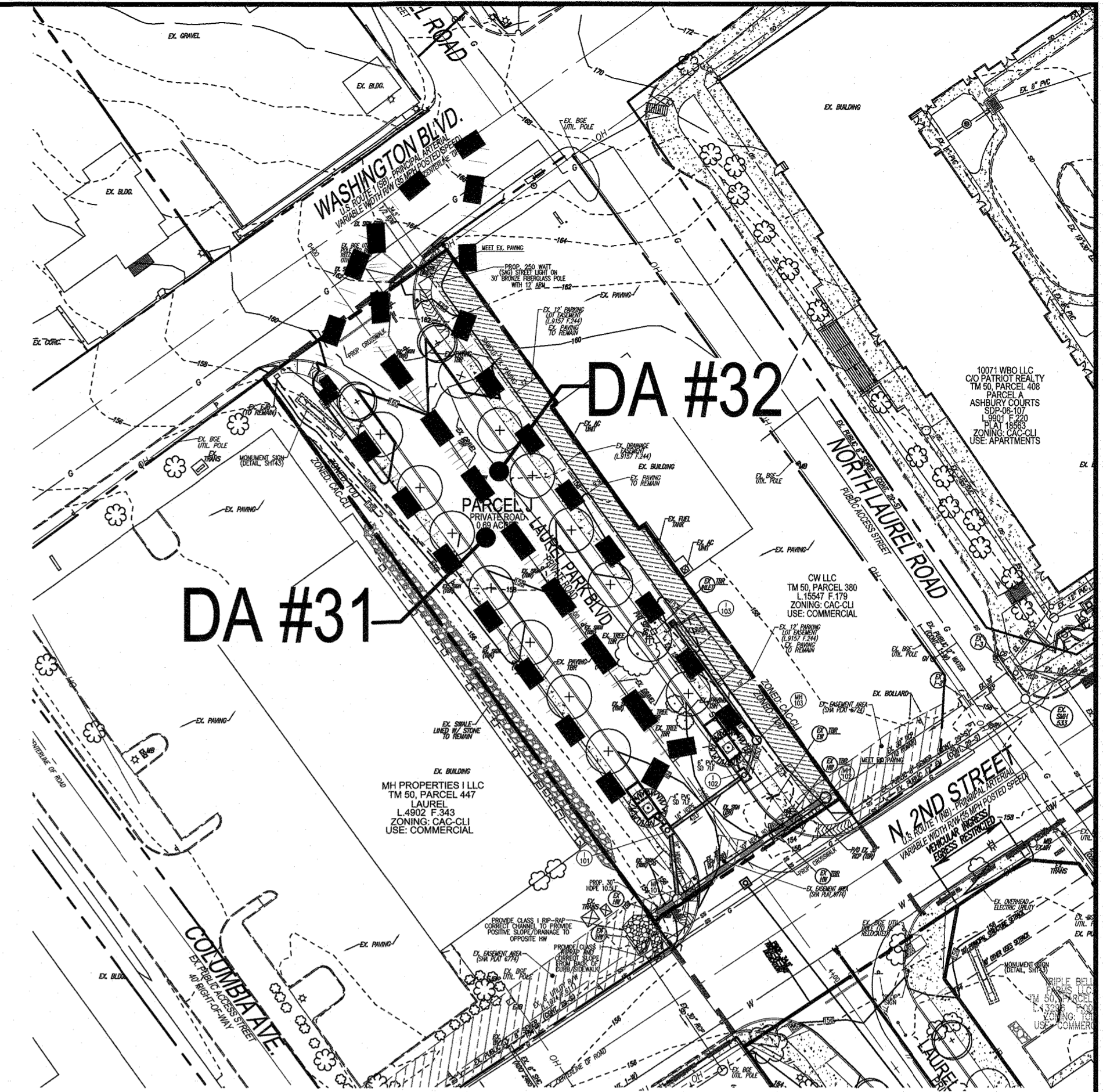
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION *[Signature]* DATE 6/10/22  
 CHIEF, DIVISION OF LAND DEVELOPMENT *[Signature]* DATE 6/10/22  
 DIRECTOR *[Signature]* DATE 6/10/22

**SD Drainage Area Chart**

DRAINAGE AREA	AREA (AC)	IMP %	C
Ashbury EX-2	0.08	100%	0.86
Ashbury EX-3	6.48	85%	0.73
DA-J1	0.23	84%	0.76
DA-J2	0.44	83%	0.76
DA-J3	0.58	91%	0.80

FOR DRAINAGE AREAS  
FOR REMAINDER OF  
SITE, SEE SHEETS 20-24



**STORM WATER MANAGEMENT - PARCEL J  
DRAINAGE AREA MAP**  
SCALE: 1"=50'

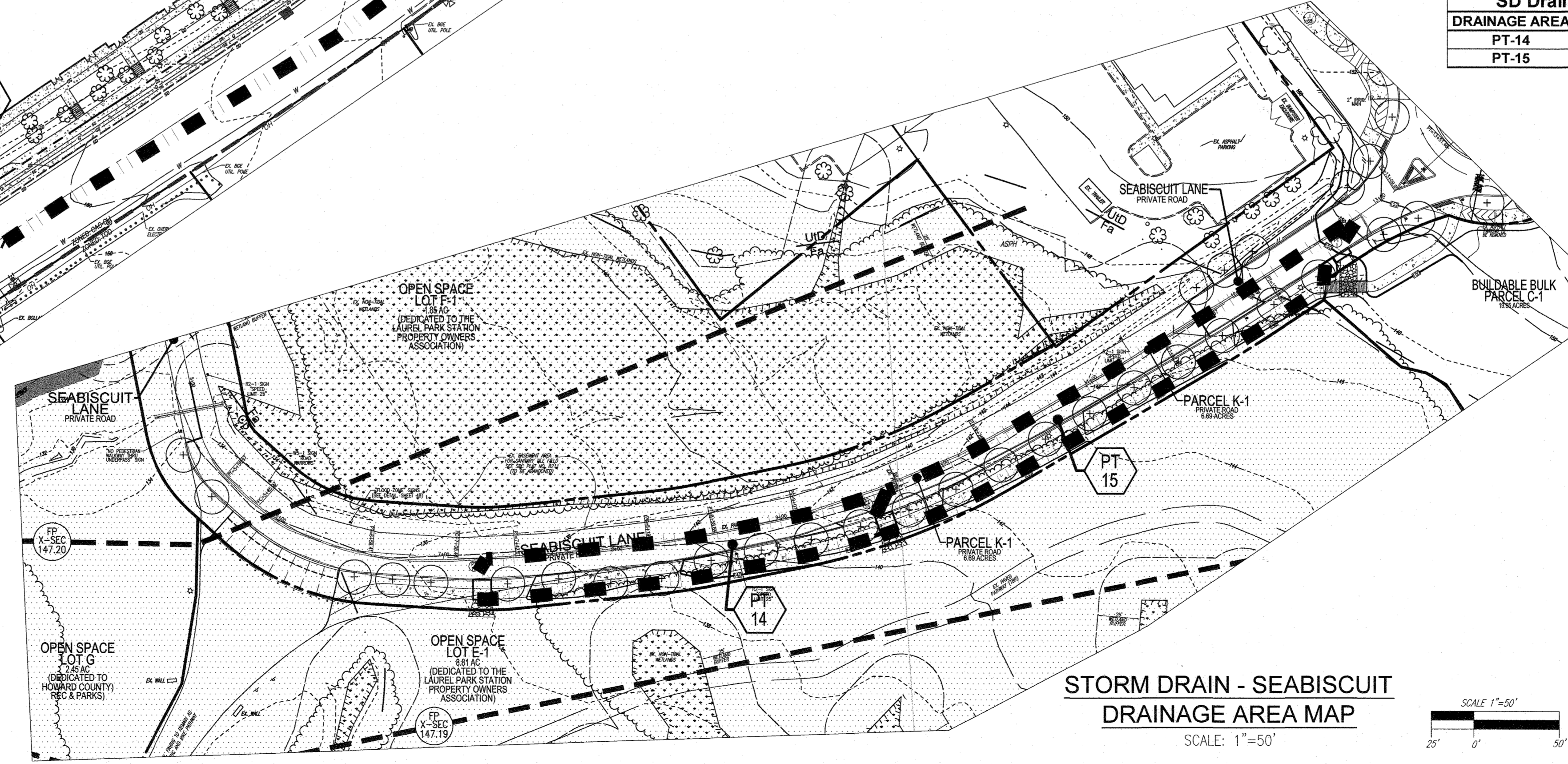
- STORM DRAIN NOTES:**
1. FOR STORM DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 20-24.
  2. FOR STORM DRAIN PROFILES AND SCHEDULE FOR PARCEL J, SEE SHEET 43. FOR PROFILES AND SCHEDULES FOR REMAINDER OF SITE, SEE SHEETS 25-33.
  3. FOR STORMWATER MANAGEMENT DRAIN DRAINAGE AREA MAP FOR REMAINDER OF SITE, SEE SHEETS 36-37.
  4. FOR STORMWATER MANAGEMENT NOTES AND DETAILS, SEE SHEET 38.

**STORMWATER MANAGEMENT DRAINAGE AREA CHART**

DA #	DRAINAGE AREA (AC)	PERCENT IMPERVIOUS	ESDv PROVIDED (cf)
31	0.18	77%	702
32	0.22	74%	816

**SD Drainage Area Chart**

DRAINAGE AREA	AREA (AC)	IMP %	C
PT-14	0.13	79%	0.73
PT-15	0.17	79%	0.73



**STORM DRAIN - SEABISCUIT  
DRAINAGE AREA MAP**  
SCALE: 1"=50'

**OWNER**  
TRIPLE BELL FARMS, LLC  
14875 BAYVIEW AVE.  
AURORA, ONTARIO L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO L4G 7A9  
CANADA (905) 728-0995

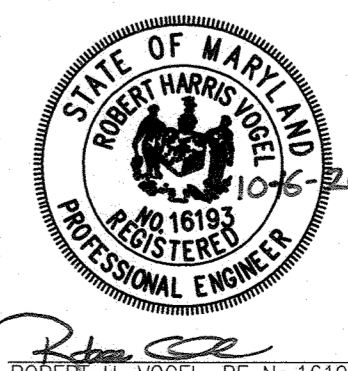
NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
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**REVISED SITE DEVELOPMENT PLAN  
DRAINAGE AREA MAPS  
(SEABISCUIT & PARCEL J)**

**PADDOCK POINTE - PHASE 1**  
FORMERLY KNOWN AS LAUREL PARK STATION  
64 APARTMENT AND 150 SPACED COND UNITS  
PARCELS: 384/441  
P.384 (L.10518/F.157) PARCELS: A, B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z  
P.441 (L.13286/F.377) ZONED: TOD

TAX MAP: 50 BLOCK: 10  
5TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
+  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com



**PROFESSIONAL CERTIFICATE**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2022.

DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

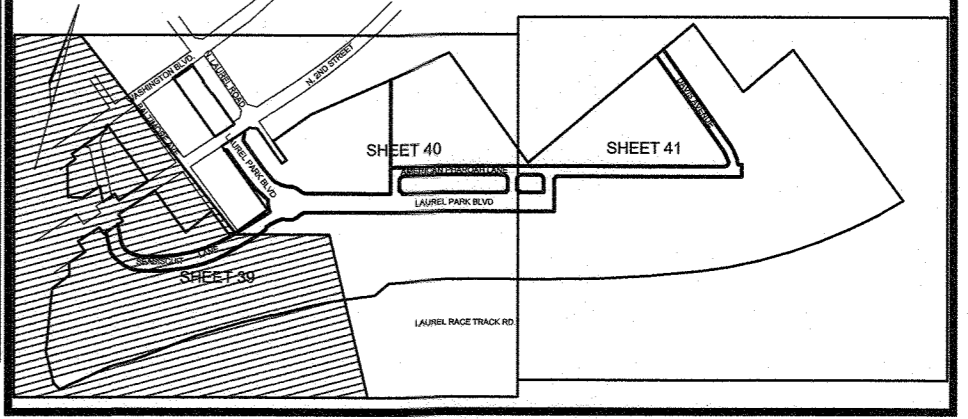
44 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE 6/18/22
CHIEF, DIVISION OF LAND DEVELOPMENT DATE 6/16/22
DIRECTOR DATE 6/16/22

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.
SIGNATURE OF DEVELOPER DATE 10/21/20



LEGEND:

- EXISTING CURB AND GUTTER
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING MAILBOX
EXISTING SIGN
EXISTING SANITARY MANHOLE
EXISTING SANITARY LINE
EXISTING 10' CONTOUR
EXISTING 2' CONTOUR
SOILS
EXISTING CLEANOUT
EXISTING FIRE HYDRANT
EXISTING WATER LINE
EXISTING FENCE
PROPERTY LINE
RIGHT-OF-WAY LINE
EX. STREAM BUFFER
EX. LIMIT OF WETLAND
PROPOSED 10' CONTOUR
PROPOSED 2' CONTOUR
PROPOSED SPOT ELEVATION
PROPOSED STORM DRAIN
PROPOSED STORM DRAIN INLET
PROPOSED SIDEWALK
PROPOSED CURB
PROPOSED STREET LIGHT
EX. FOREST CONSERVATION EASEMENT PLAT# 15007
PROPOSED SHADE TREES
PROPOSED EVERGREEN TREES
PROPOSED LANDSCAPE BUFFER
PUBLIC 100-YEAR FLOODPLAIN
BG&E 25' YELLOW ZONE
BG&E 40' GREEN ZONE
PROPOSED SIGN
DEAD END BARRICADE

KEY MAP NOT TO SCALE

STREET TREE PLANT LIST (ST) table with columns: KEY, QUAN, BOTANICAL NAME, SIZE, REM.

PLANT LIST - SCHEDULE A (PERIMETER) table with columns: KEY, QUAN, BOTANICAL NAME, SIZE, CAT.

PLANT LIST - SCHEDULE B (PARKING LOT) table with columns: KEY, QUAN, BOTANICAL NAME, SIZE, CAT.

PLANT LIST - SCHEDULE C (RESIDENTIAL) table with columns: KEY, QUAN, BOTANICAL NAME, SIZE, CAT.

SCHEDULE A PERIMETER LANDSCAPING table with columns: CATEGORY, ADJACENT TO PERIMETER AND ROADSIDE, ADJACENT TO DUMPSTER.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING table with columns: NUMBER OF DWELLING UNITS, NUMBER OF PARKING LOT SPACES, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED.

LANDSCAPE SCHEDULE C table with columns: NUMBER OF DWELLING UNITS, NUMBER OF TREES REQUIRED, NUMBER OF TREES PROVIDED.

STREET TREE CALCULATIONS table with columns: STREET NAME, LINEAR FEET, NO. REQUIRED, NO. PROVIDED.

GENERAL NOTES:

- 1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
2. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$48,250.00 FOR THE REQUIRED 220 SHADE TREES AND 15 EVERGREENS.
3. FINANCIAL SURETY FOR THE REQUIRED STREET TREE PLANTING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$72,300.00 FOR THE REQUIRED 241 STREET TREES.

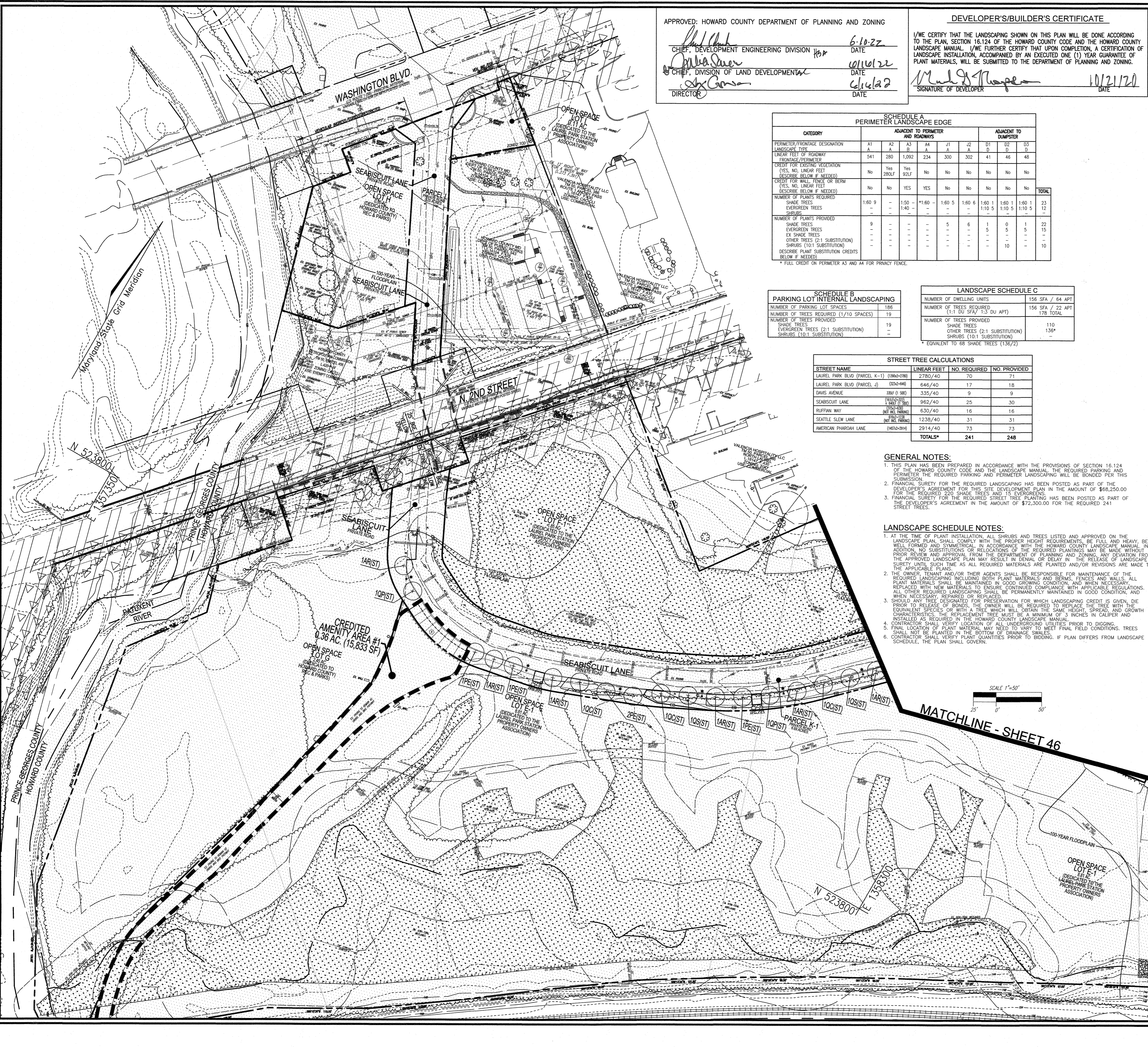
LANDSCAPE SCHEDULE NOTES:

- 1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENTS, BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR LOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
2. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
3. SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD, AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.
4. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
5. FINAL LOCATION OF PLANT MATERIALS NEEDS TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
6. CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

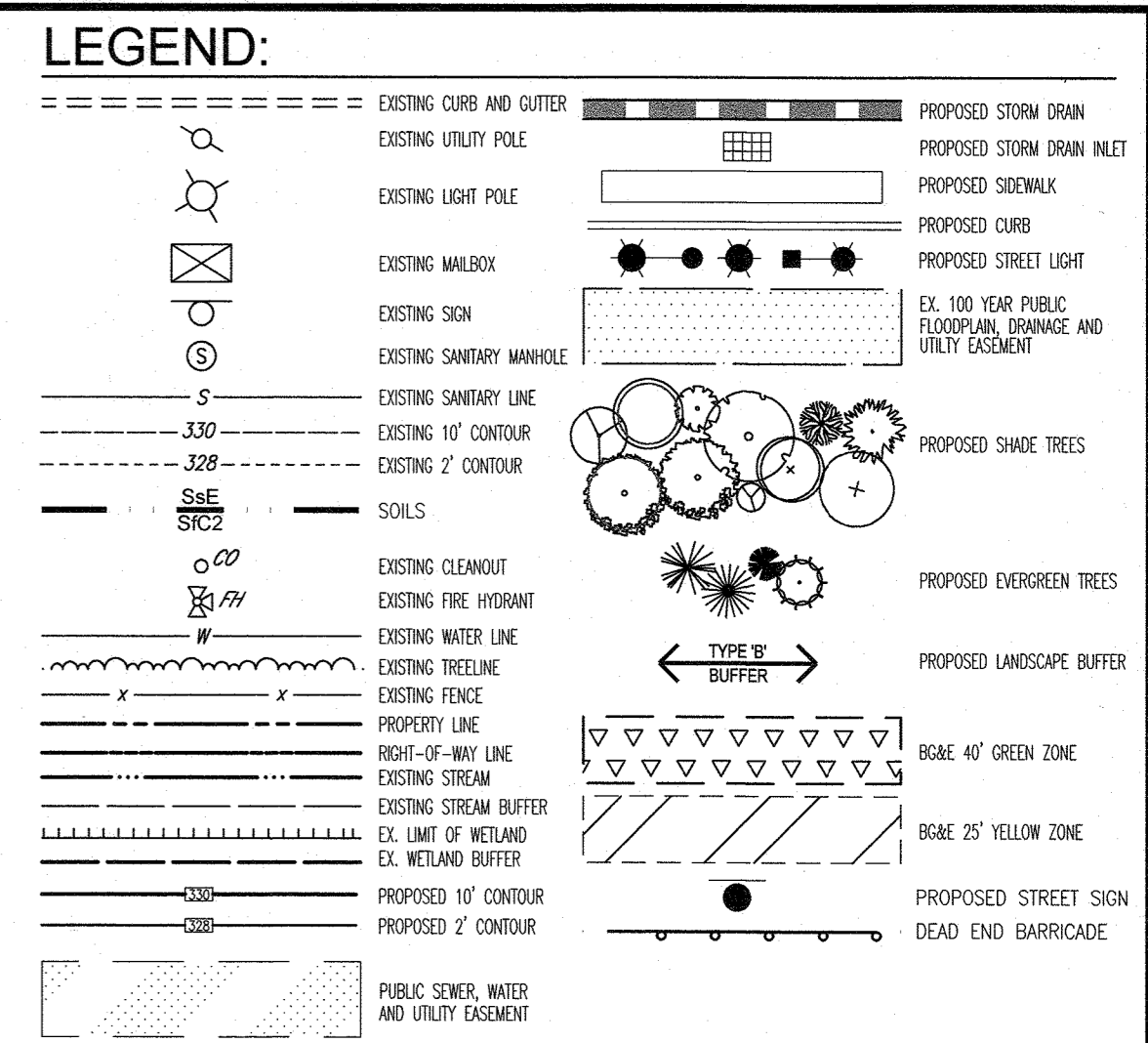
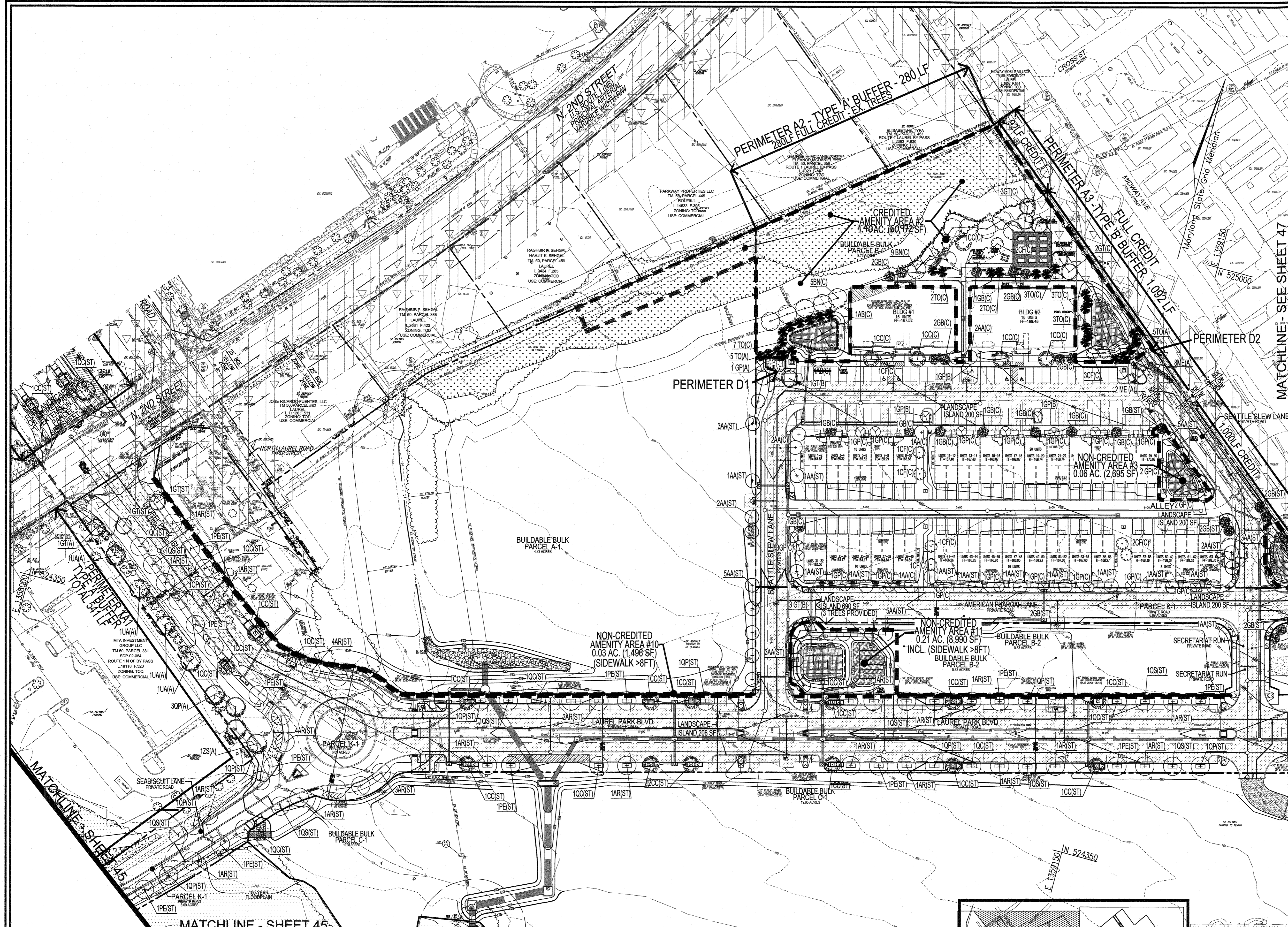
OWNER: TRIPLE BELL FARMS, LLC. 14875 BAYVIEW AVE. AURORA, ONTARIO L4G 7A9 CANADA (905) 721-0995
OWNER/DEVELOPER: 20006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 721-0995

Table with 3 columns: NO., REVISION, DATE. Contains revision history for the plan.

PLAN VIEW SCALE: 1"=50'



REVISED SITE DEVELOPMENT PLAN LANDSCAPE PLAN Paddock Pointe - Phase 1 (Formerly known as Laurel Park Station) 64 APARTMENT AND 156 STACKED CONDO UNITS. P.384 (L10518/F157) P.441 (L13296/F377) ZONED: T0D. VOGEL ENGINEERING + TIMMONS GROUP. 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043. P: 410.461.7666 F: 410.461.8961 www.timmons.com



#### Forest Conservation Worksheet 2.2

Net Tract Area	Parcel 441	A =	2.07
Total Tract Area		B =	0.00
Deductions		C =	2.07
Net Tract Area			
Land Use Category	Input the number "1" under the appropriate land use zoning, and limit to only one entry		
	ARA	MDR	IDA
			HDR
			MPD
			CIA
D. Afforestation Threshold ( Net Tract Area x 15% )		D =	0.31
E. Conservation Threshold ( Net Tract Area x 20% )		E =	0.41
F. Existing Forest Cover		F =	0.00
G. Area of Forest Above Conservation Threshold		G =	0.00
H. Break Even Point		H =	0.00
I. Forest Clearing Permitted Without Mitigation		I =	0.00
J. Total Area of Forest to be Cleared		J =	0.00
K. Total Area of Forest to be Retained		K =	0.00
L. Reforestation for Clearing Above the Conservation Threshold		L =	0.00
M. Reforestation for Clearing Below the Conservation Threshold		M =	0.00
N. Credit for Retention above the Conservation Threshold		N =	0.00
O. Total Reforestation Required		O =	0.00
P. Total Afforestation Required		P =	0.31
Q. Total Planting Requirement		Q =	0.31
R. Total Reforestation Requirement		R =	0.31

#### Net Tract Area Calculation:

Parcel 384 Acreage (Current)	63.1777 ac
Parcel 144 Acreage	0.2084 ac
Paper Street Parcel Area	0.1189 ac
Gross Area of Project (Current)	63.50 ac
less Parcel 384 Acreage (from SDP-01-032)	61.43 ac
Total Net Tract Area	2.07 ac

FOREST CONSERVATION OBLIGATION FOR PARCEL 384 (61.43 AC.) HAS BEEN PREVIOUSLY FULFILLED BY ON-SITE RETENTION OF 6.53 AC. OF EXISTING FOREST (PLAT 15007) AND A FEE-IN-LIEU FOR 1.67 ACRES AS PART OF SDP-01-032.

THE REMAINING NET TRACT AREA FOR PARCEL 384, PARCEL 144 AND THE PAPER STREET IS 2.07 ACRES. THE FOREST CONSERVATION OBLIGATION FOR THIS PROJECT HAS BEEN SATISFIED UNDER THIS PLAN (SDP-15-043) BY A FEE-IN-LIEU PAYMENT IN THE AMOUNT OF \$10,127.70 (0.31 AC x 43560 SF x 0.75).

THIS PLAN ALSO ABANDONS 0.32 ACRES OF THE EXISTING 6.53 ACRE EASEMENT, NETTING 6.21 ACRES OF RETENTION. THE OBLIGATION FOR THE ABANDONMENT OF 0.32 ACRES OF FOREST CONSERVATION EASEMENT HAS BEEN MET BY A FEE-IN-LIEU PAYMENT OF \$17,424.00 (0.32x43560x1.25=\$17,424.00).

<b>OWNER</b>	<b>OWNER/DEVELOPER</b>
TRIPLE BELL FARMS, LLC 14875 BAYVIEW AVE. AURORA, ONTARIO L4G 7A9 CANADA	20006 DELAWARE, INC. 455 MAGNA DRIVE AURORA, ONTARIO L4G 7A9 CANADA (905) 746-0995

3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19
NO.	REVISION	DATE

REVISED SITE DEVELOPMENT PLAN

LANDSCAPE PLAN

Paddock Pointe - Phase 1  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STAPLED CONDOS UNITS  
P. 384 (L. 10518/F. 157) PARCELS 1-1, B-1, B-2, B-3, C-1, J, K-1, L, and P. 441 (L. 13298/F. 377) LOTS D, E-1, F-1, G, H, & I  
ZONED: TOD HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE

DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2024

46 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

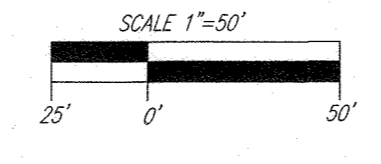
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/16/22

DIRECTOR  
DATE: 6/16/22

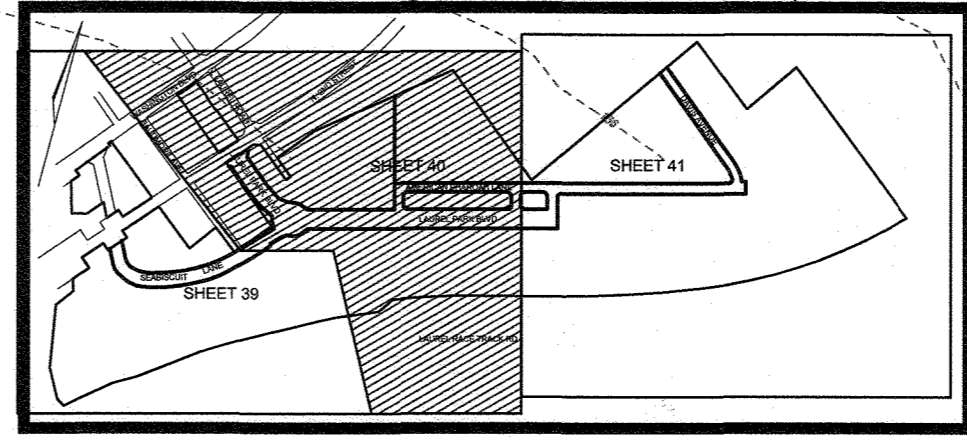
DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

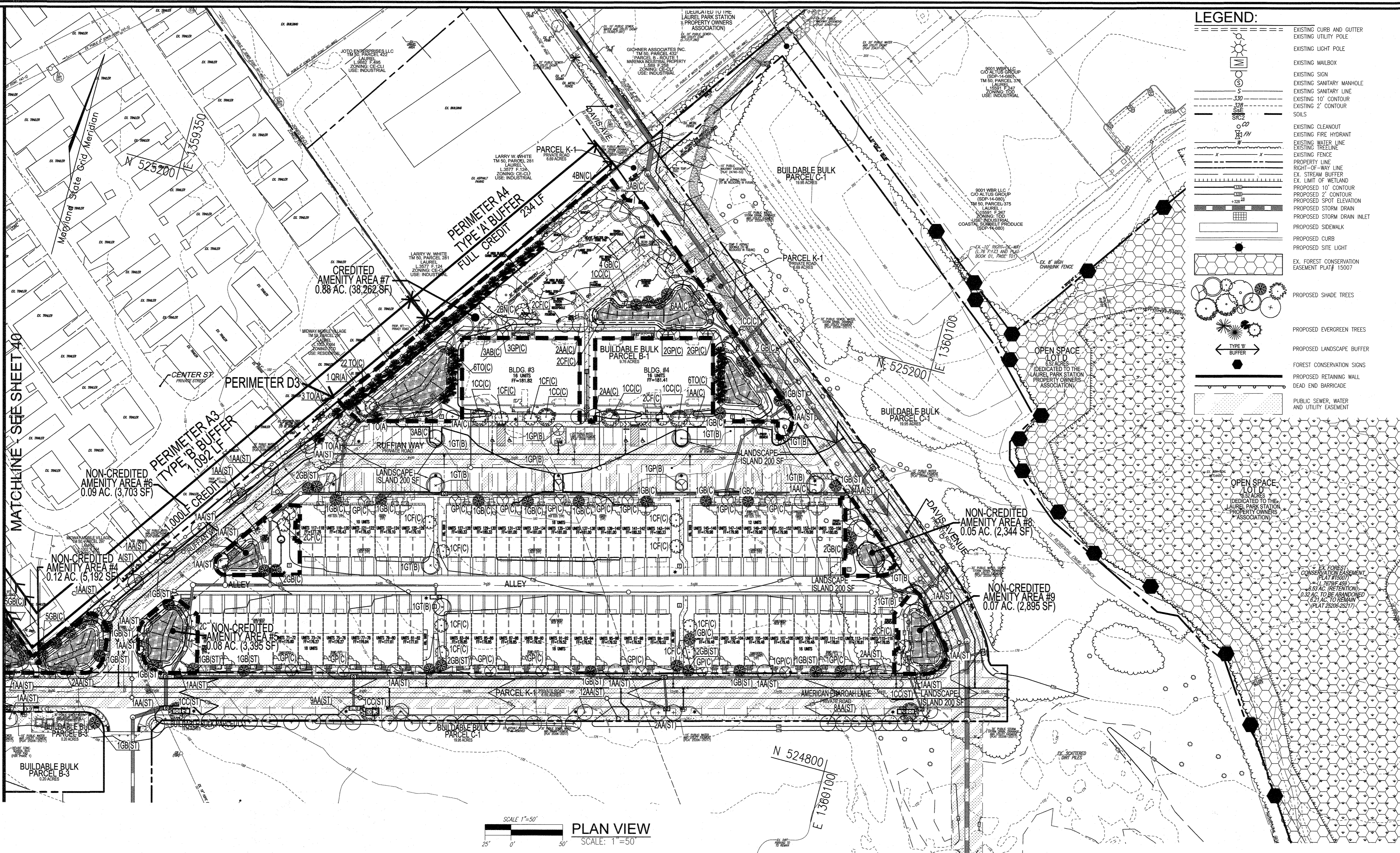
SIGNATURE OF DEVELOPER: *Mark J. Timmons*  
DATE: 10/21/20



PLAN VIEW  
SCALE: 1"=50'



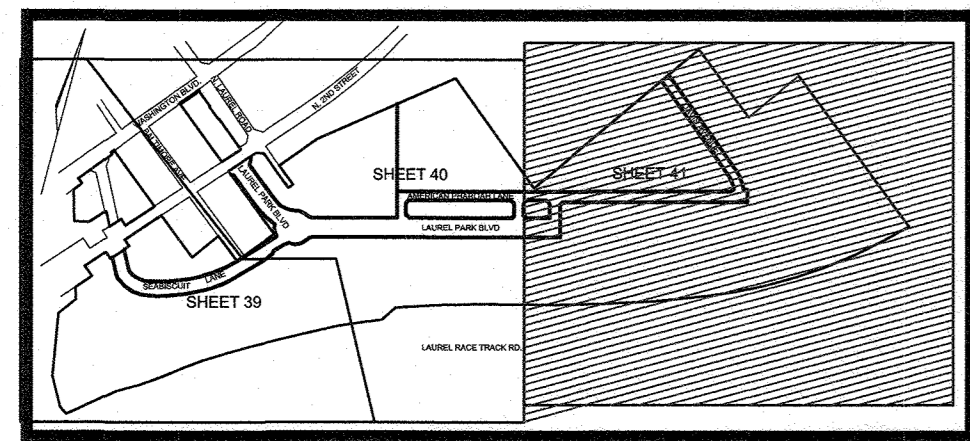
KEY MAP  
NOT TO SCALE



**LEGEND:**

- EXISTING CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- SOILS
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- EXISTING TREE LINE
- EXISTING FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EX. STREAM BUFFER
- EX. LIMIT OF WETLAND
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED SITE LIGHT
- EX. FOREST CONSERVATION EASEMENT PLAT# 15007
- PROPOSED SHADE TREES
- PROPOSED EVERGREEN TREES
- PROPOSED LANDSCAPE BUFFER
- FOREST CONSERVATION SIGNS
- PROPOSED RETAINING WALL
- DEAD END BARRICADE
- PUBLIC SEWER, WATER AND UTILITY EASEMENT

SCALE 1"=50'  
PLAN VIEW  
SCALE: 1"=50'



**KEY MAP**  
NOT TO SCALE

THE INDIVIDUAL BUILDABLE PARCELS WITHIN THE PADDOCK POINTE SUBDIVISION WILL COMBINE TO PROVIDE THE AMENITY AREA REQUIREMENT (10% OF NET AREA REQUIREMENT = 4.85 AC.) WITH THEIR CORRESPONDING SITE DEVELOPMENT PLANS. THIS PLAN ACCOUNTS FOR 2.64 AC. OF AMENITY SPACE. REFER TO THE AMENITY AREA CHART FOR THE PADDOCK POINTE SUBDIVISION BELOW.

PADDOCK POINTE SUBDIVISION PUBLIC AMENITY AREA CHART 4.85 AC. REQUIRED			
PLAN	PROVIDED	REMAINING	
PADDOCK POINTE SDP-15-043 (PHASE 1 - 220 UNITS)	2.64 AC.	2.21 AC.	
*TO BE PROVIDED IN FUTURE PHASES			

AMENITY AREA NOTE:  
1. THE AMENITY AREA DESIGNED AS A CIVIC GATHERING PLACE SHALL BE PROVIDED IN FUTURE PHASE 2.  
2. RECREATIONAL AREAS FOR CHILDREN SHALL BE PROVIDED IN FUTURE PHASE 3.

PUBLIC AMENITY AREA CHART			
AMENITY #	AMENITY AREA (SF)	NON-CREDIT AMENITY AREA (AC)	AMENITY AREA (AC)
1	15,833		0.36
2	4,927		1.40
3	2,695	0.06	
4	5,192	0.12	
5	3,395	0.08	
6	3,703	0.09	
7	38,262		0.88
8	2,344	0.05	
9	2,895	0.07	
10	1,496	0.03	
11	8,990	0.21	
<b>TOTALS:</b>	<b>195,777</b>	<b>0.71</b>	<b>2.64</b>

**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

REVISED SITE DEVELOPMENT PLAN

LANDSCAPE PLAN

PADDOCK POINTE - PHASE 1

(FORMERLY KNOWN AS LAUREL PARK STATION)  
OF APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L.10518/F.157)  
P.441 (L.13298/F.377)  
ZONED: T0D

PARCELS: 384/441  
PARCELS A-1, B-1, B-2  
B-3, C-1, J, K-1, L, AND  
LOTS D, E-1, F-1, G, H, & I  
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**

**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6.10.22

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/10/22

DIRECTOR  
DATE: 6/14/22

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

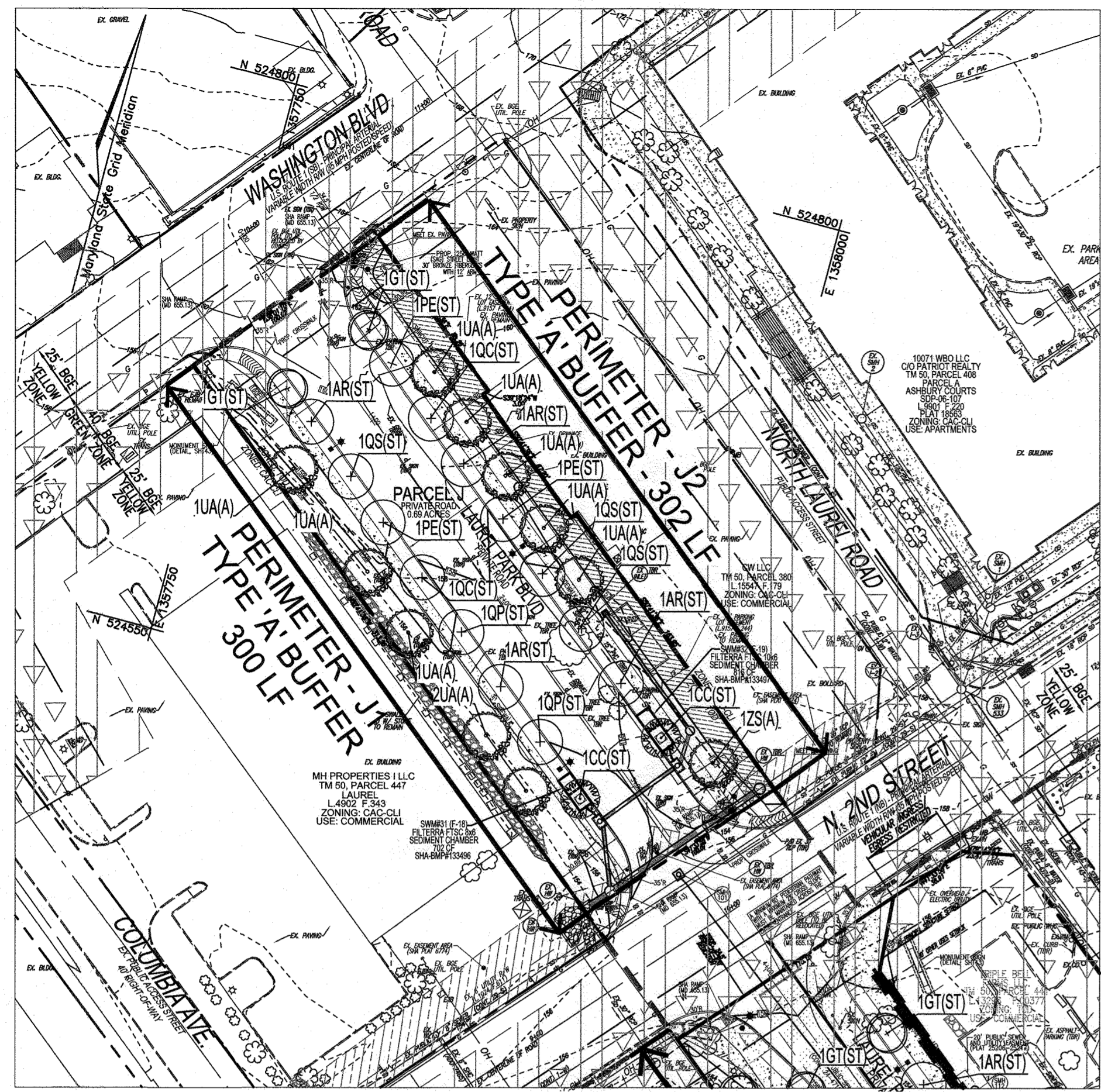
SIGNATURE OF DEVELOPER: *Mark D. Prose*  
DATE: 10/21/20

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 08-27-2022.

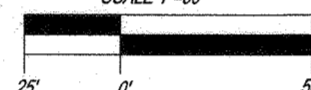
DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

47 SHEET OF 54

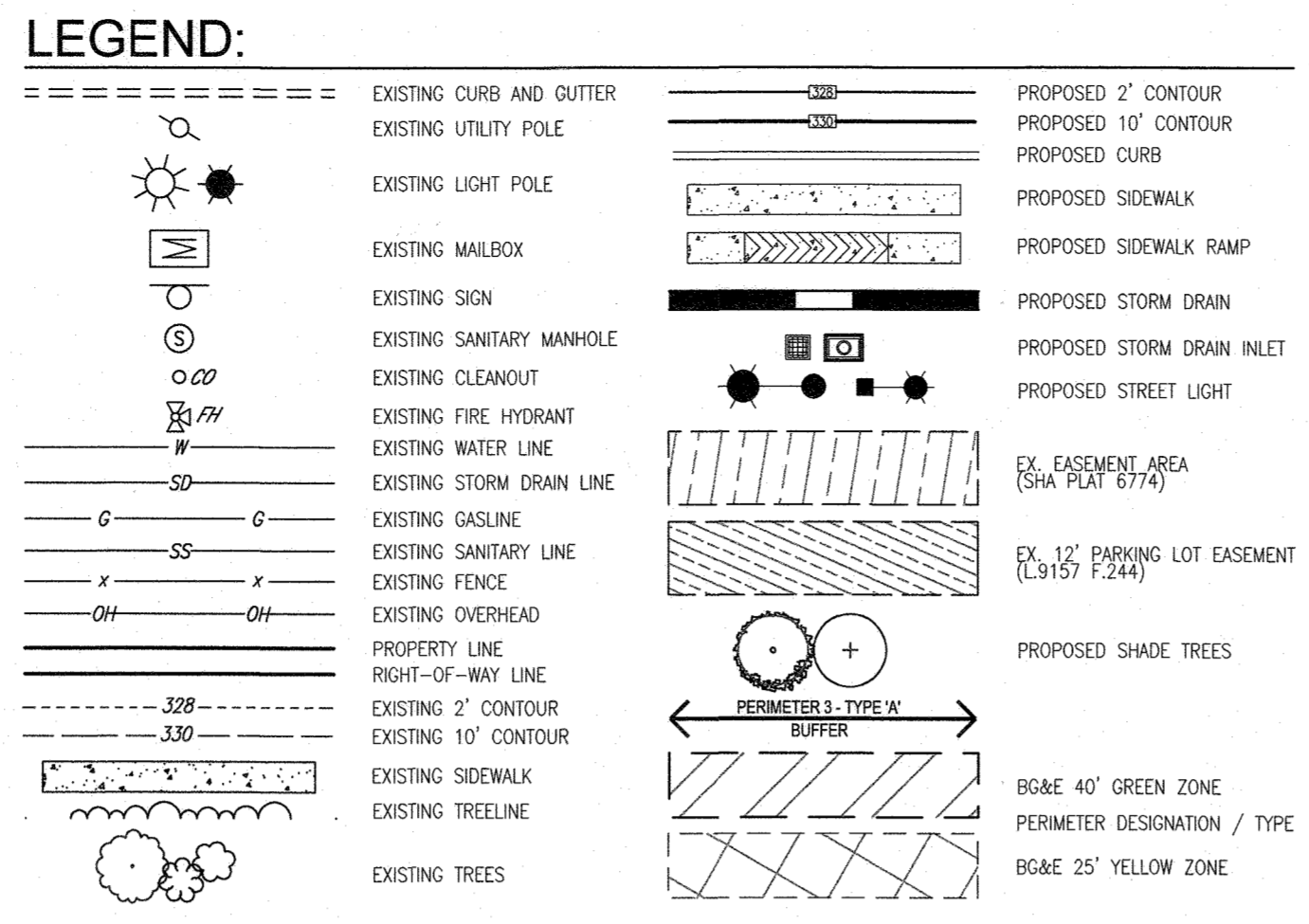


**PARCEL J - LANDSCAPE PLAN**

SCALE: 1"=50'

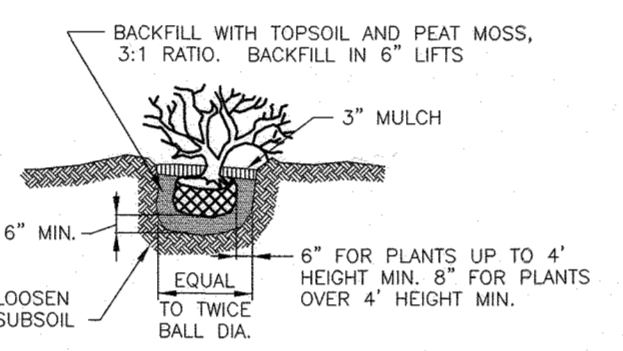


- NOTES:**
- SEE SHEET 39 FOR LANDSCAPE NOTES, DETAILS, AND SURETY INFORMATION.

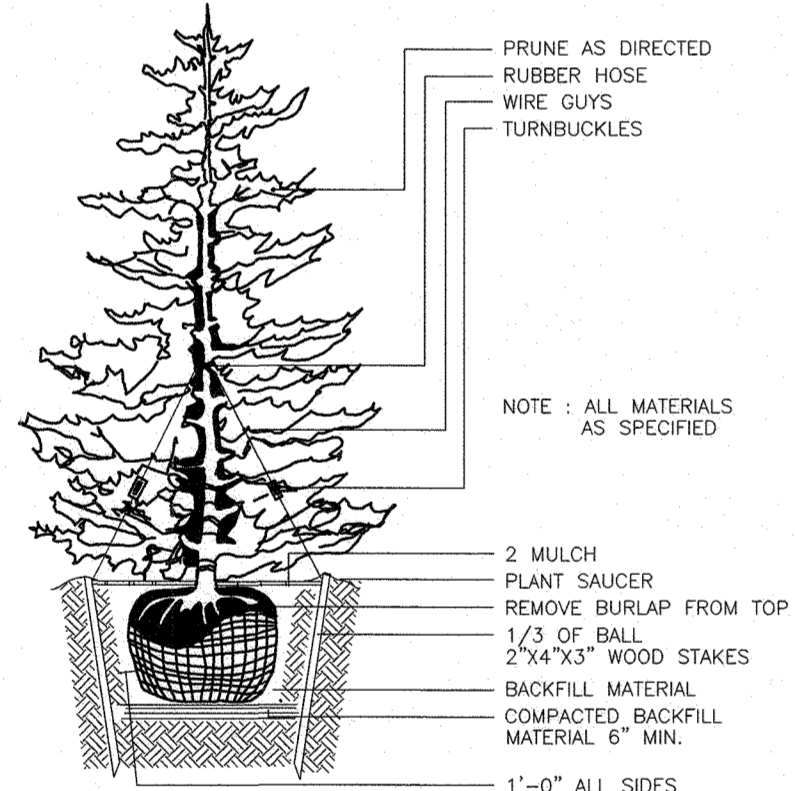


**EXISTING UTILITIES NOTE:**  
EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED FROM EXISTING SITE DEVELOPMENT PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION ONLY.

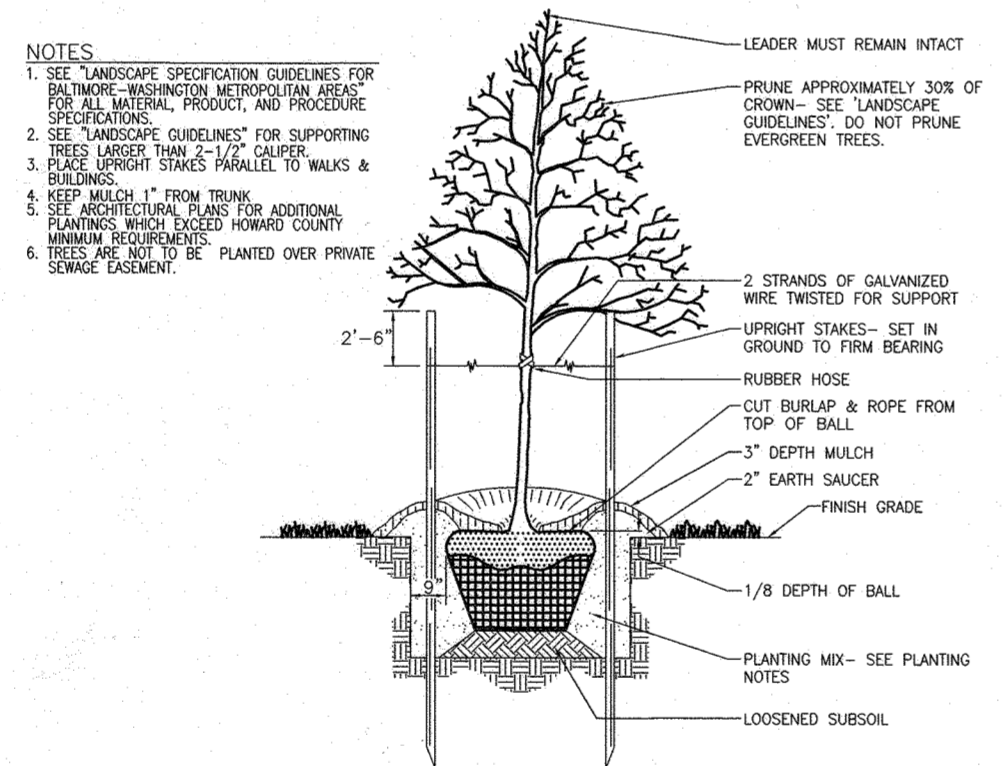
CONTRACTOR SHALL TEST PIT TO VERIFY EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES, TO MAINTAIN UNINTERRUPTED SERVICE AND TO PROVIDE REQUIRED CLEARANCES FOR ALL PROPOSED UTILITIES. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.



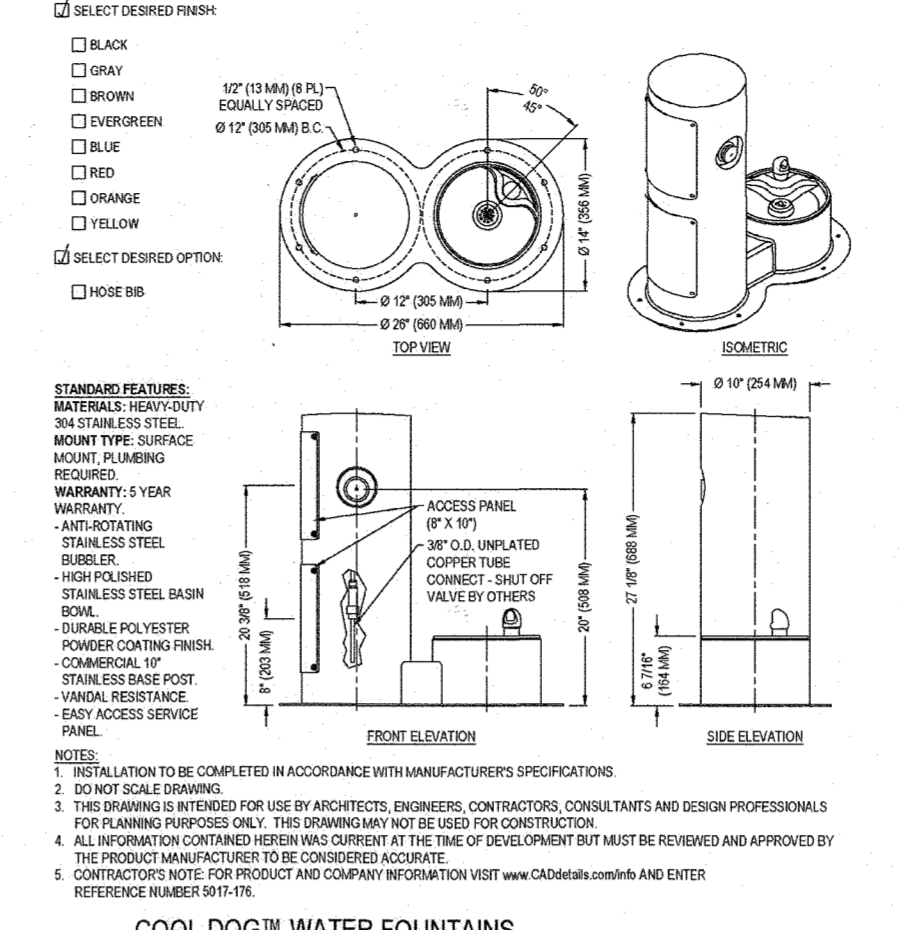
**SHRUB PLANTING DETAIL**  
NOT TO SCALE



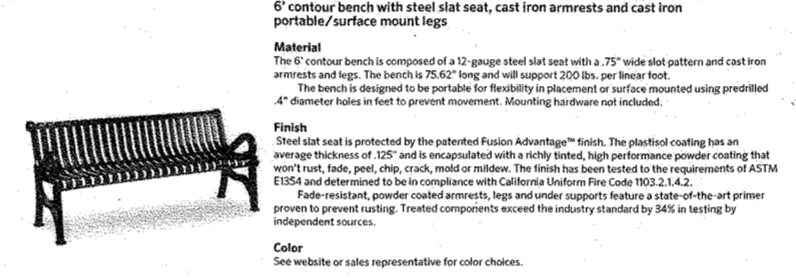
**TYPICAL EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



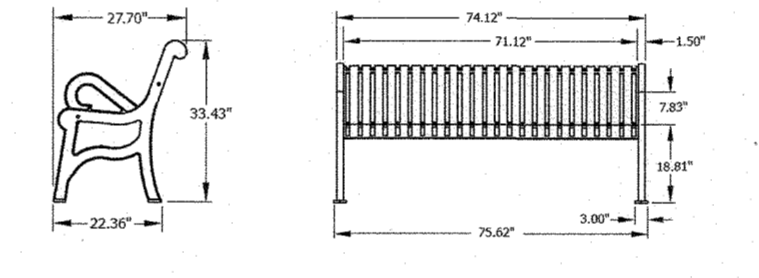
**TREE PLANTING AND STAKING**  
DECIDUOUS TREES UP TO 2-1/2" CALIPER  
NOT TO SCALE



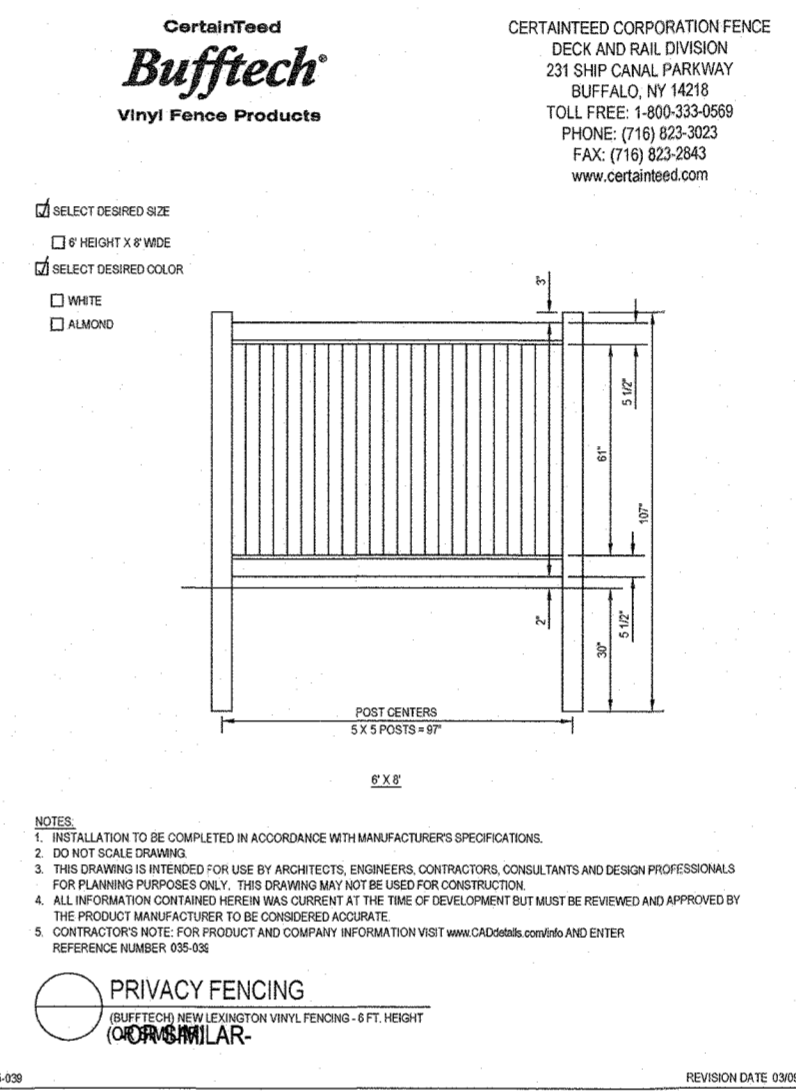
**COOL DOG™ WATER FOUNTAINS**  
EL-1800-STE-DOG SIGN -OR SIMILAR-



**BENCH** -OR SIMILAR-

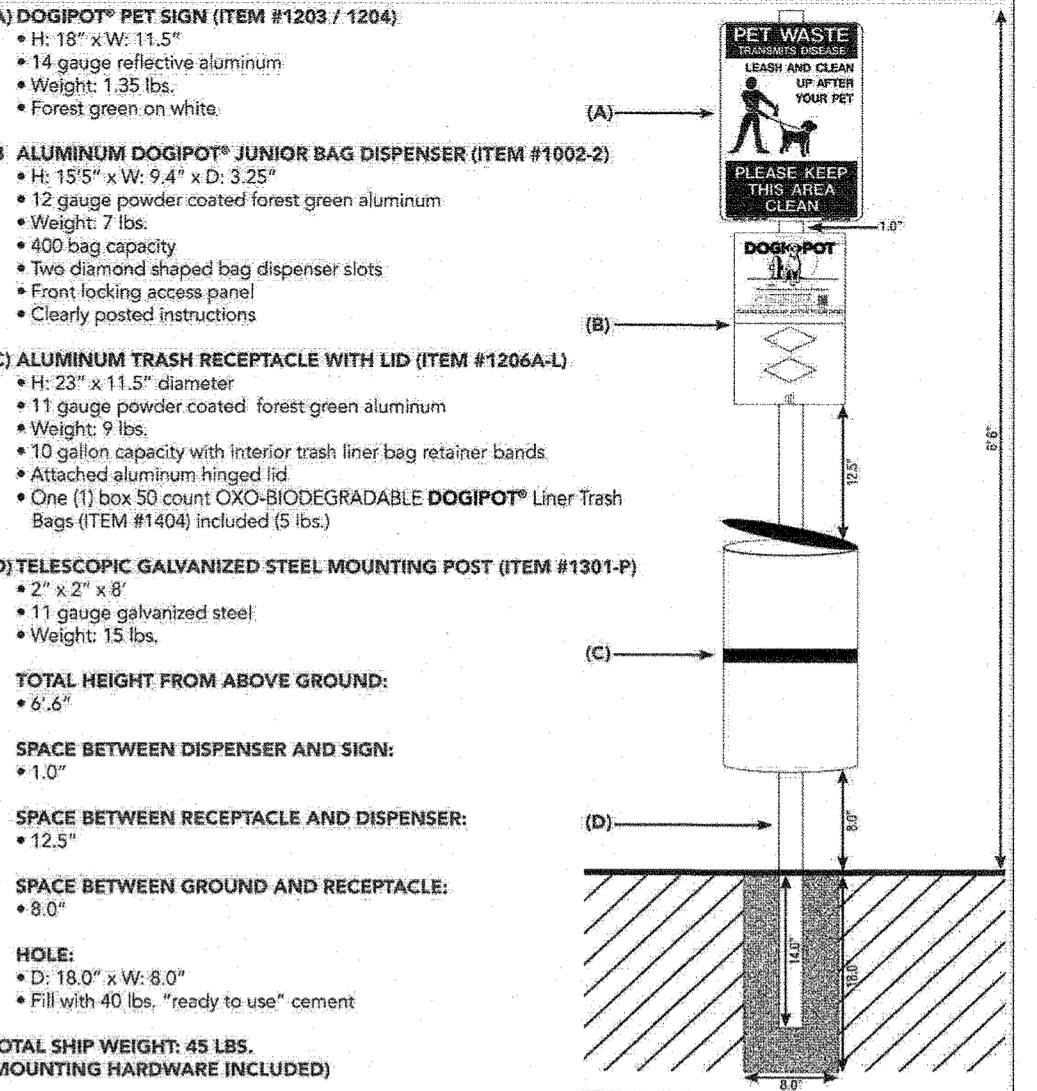


**SHIPPING INFORMATION**

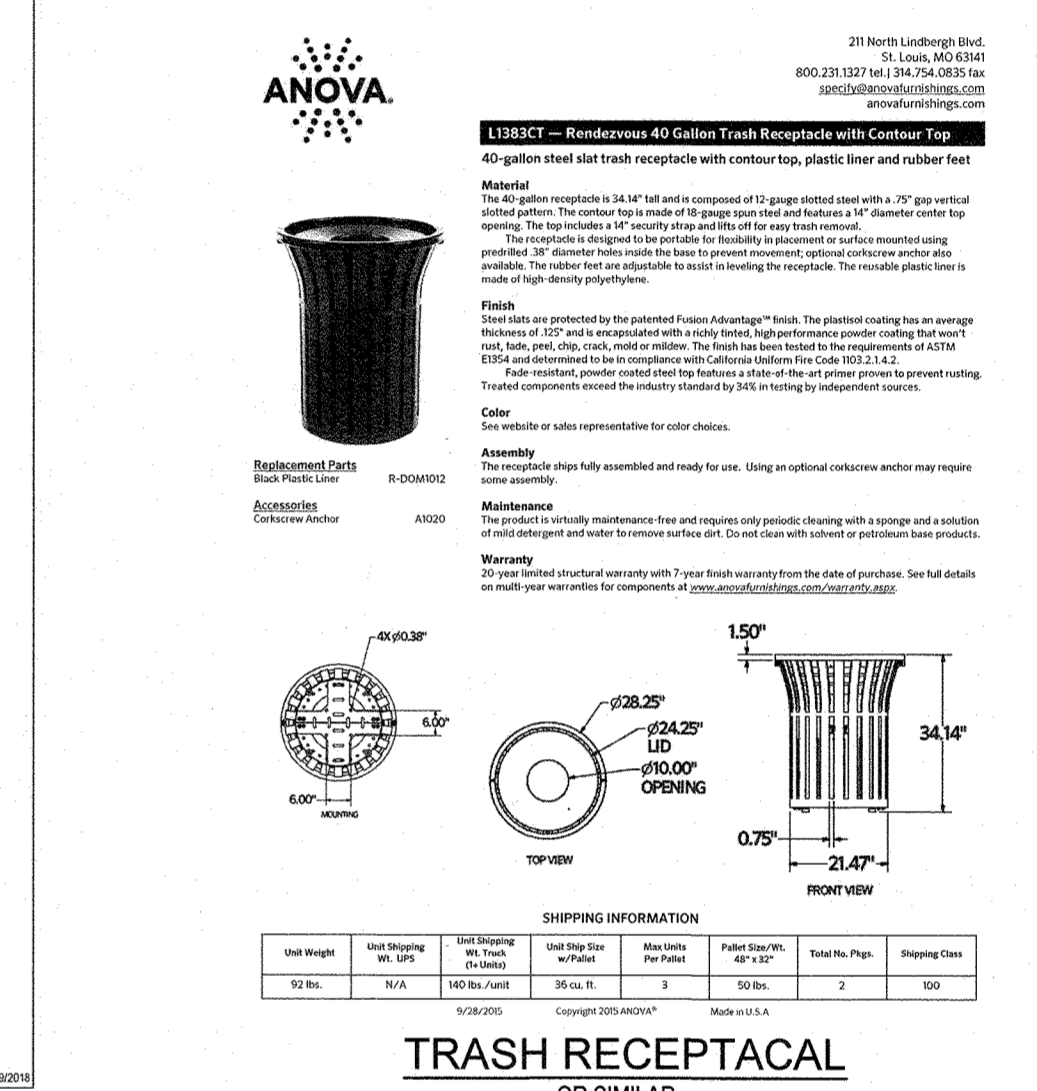


**PRIVACY FENCING**  
-OR SIMILAR-

**ALL ALUMINUM DOGPOT™ PET STATION (ITEM #1002A-L)**  
SPECIFICATION, INSTALLATION AND OPERATION SHEET



**DOG WALKING STATION**  
-OR SIMILAR-



**TRASH RECEPTACLE**  
-OR SIMILAR-

Unit Weight	Net Weight	Net Volume	Unit Weight	Net Weight	Net Volume	Unit Weight	Net Weight	Net Volume
50 lbs	50 lbs	0.2 cu ft	50 lbs	50 lbs	0.2 cu ft	50 lbs	50 lbs	0.2 cu ft

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN**  
**LANDSCAPE PLAN, NOTES AND DETAILS (PARCEL J)**  
**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STAFFED CONDO UNITS  
PARCELS 384/441  
P.384 (L.10518/F.157) PARCELS A-1, B-1, B-2  
P.441 (L.13298/F.377) PARCELS B-3, C-1, J, K-1, L, AND  
LOTS D, E-1, F-1, G, H, & I  
ZONED: TOD HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
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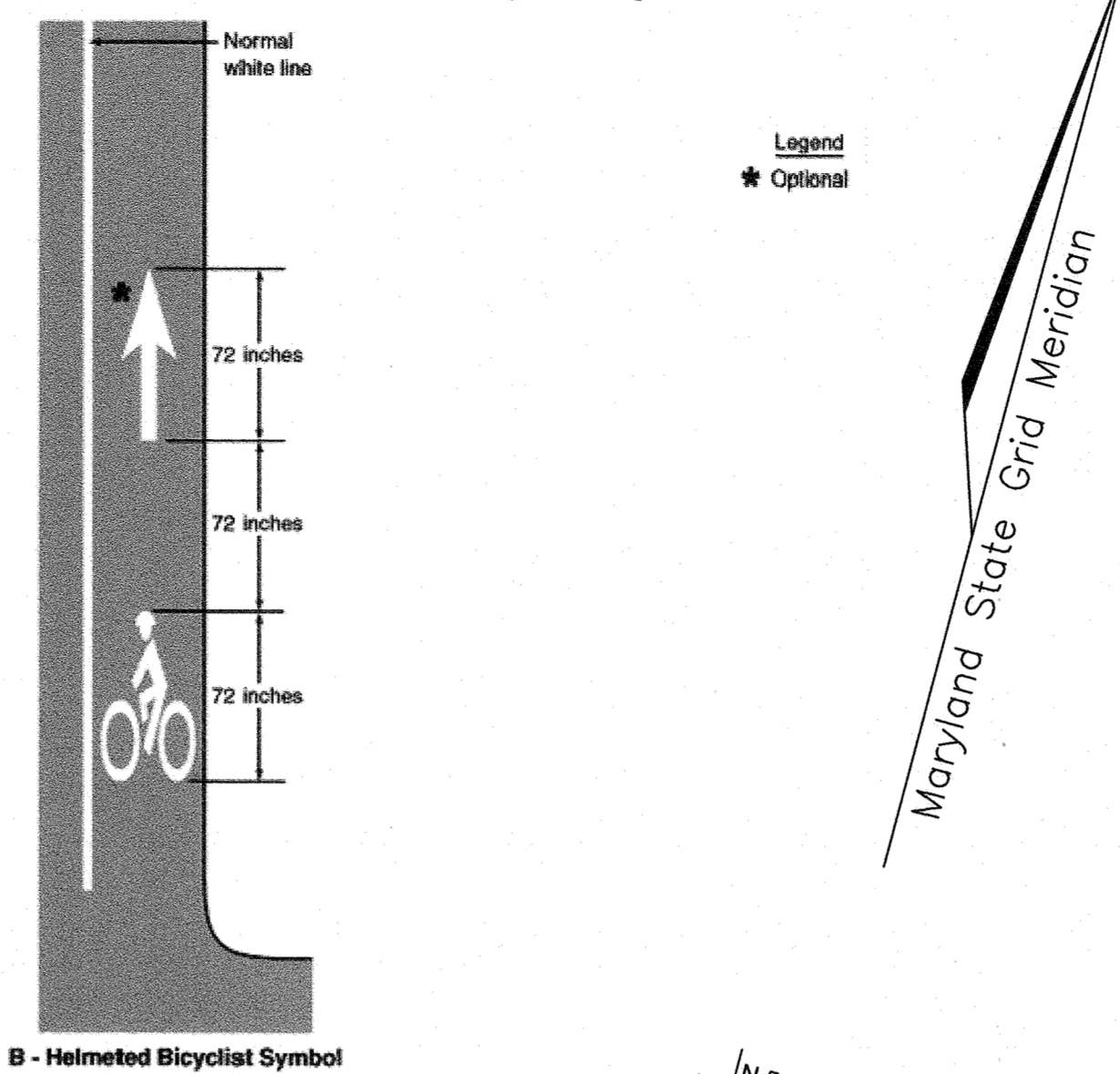
**PROFESSIONAL CERTIFICATE**  
DESIGN BY: RHY/DZE  
DRAWN BY: DZE  
CHECKED BY: RHY  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193  
EXPIRATION DATE: 09-27-2024  
48 SHEET OF 54

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6.10.22  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/16/22  
DIRECTOR  
DATE: 6/16/22

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
SIGNATURE OF DEVELOPER: [Signature]  
DATE: 10/21/20



Figure 9C-3. Word, Symbol, and Arrow Pavement Markings for Bicycle Lanes



B - Helmeted Bicyclist Symbol

SIGNAGE LOCATION CHART				
ROAD NAME	STATION	OFFSET		TYPE
LAUREL PARK BLVD	4+17.51	29.84' L		"STOP" SIGN
LAUREL PARK BLVD	5+66.42	15.20' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	6+76.16	0.99' L	(2) YELLOW O.M. (OM1-3) BACK TO BACK / R4-7 KEEP RIGHT	
LAUREL PARK BLVD	6+79.13	18.17' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	7+13.75	33.51' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	7+14.41	21.81' R	R1-2 YIELD	
LAUREL PARK BLVD	7+18.24	3.81' L	(2) - "LAUREL PARK BLVD" STREET SIGN / R1-2 YIELD	
LAUREL PARK BLVD	7+51.77	0.00' R	R6-4 ROUNDABOUT DIRECTIONAL MOUNT BOTTOM 4' FROM ROAD SURFACE	
LAUREL PARK BLVD	8+02.42	0.00' L	R6-4 ROUNDABOUT DIRECTIONAL MOUNT BOTTOM 4' FROM ROAD SURFACE	
LAUREL PARK BLVD	8+36.13	0.00' R	(2) - "LAUREL PARK BLVD" STREET SIGN / R1-2 YIELD	
LAUREL PARK BLVD	8+47.77	25.77' L	R1-2 YIELD	
LAUREL PARK BLVD	8+49.00	26.25' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	8+68.22	25.67' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	8+87.05	28.00' R	R3-17 and R3-17op "BIKE LANE AHEAD"	
LAUREL PARK BLVD	8+87.05	28.00' L	R3-17 and R3-17op "BIKE LANE ENDS"	
LAUREL PARK BLVD	10+13.56	33.67' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
SEABISCUIT LANE	13+65.69	0.00' L	R6-4 ROUNDABOUT DIRECTIONAL MOUNT BOTTOM 4' FROM ROAD SURFACE	
SEABISCUIT LANE	13+36.64	28.21' R	R1-2 YIELD	
SEABISCUIT LANE	13+31.16	0.00' R	(2) - "SEABISCUIT LANE" STREET SIGN / R1-2 YIELD	
SEABISCUIT LANE	13+17.05	0.75' L	(2) YELLOW O.M. (OM1-3) BACK TO BACK	
SEABISCUIT LANE	13+17.05	0.75' L	R4-7 KEEP RIGHT (SEE DETAIL)	
SEABISCUIT LANE	13+06.47	15.14' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	

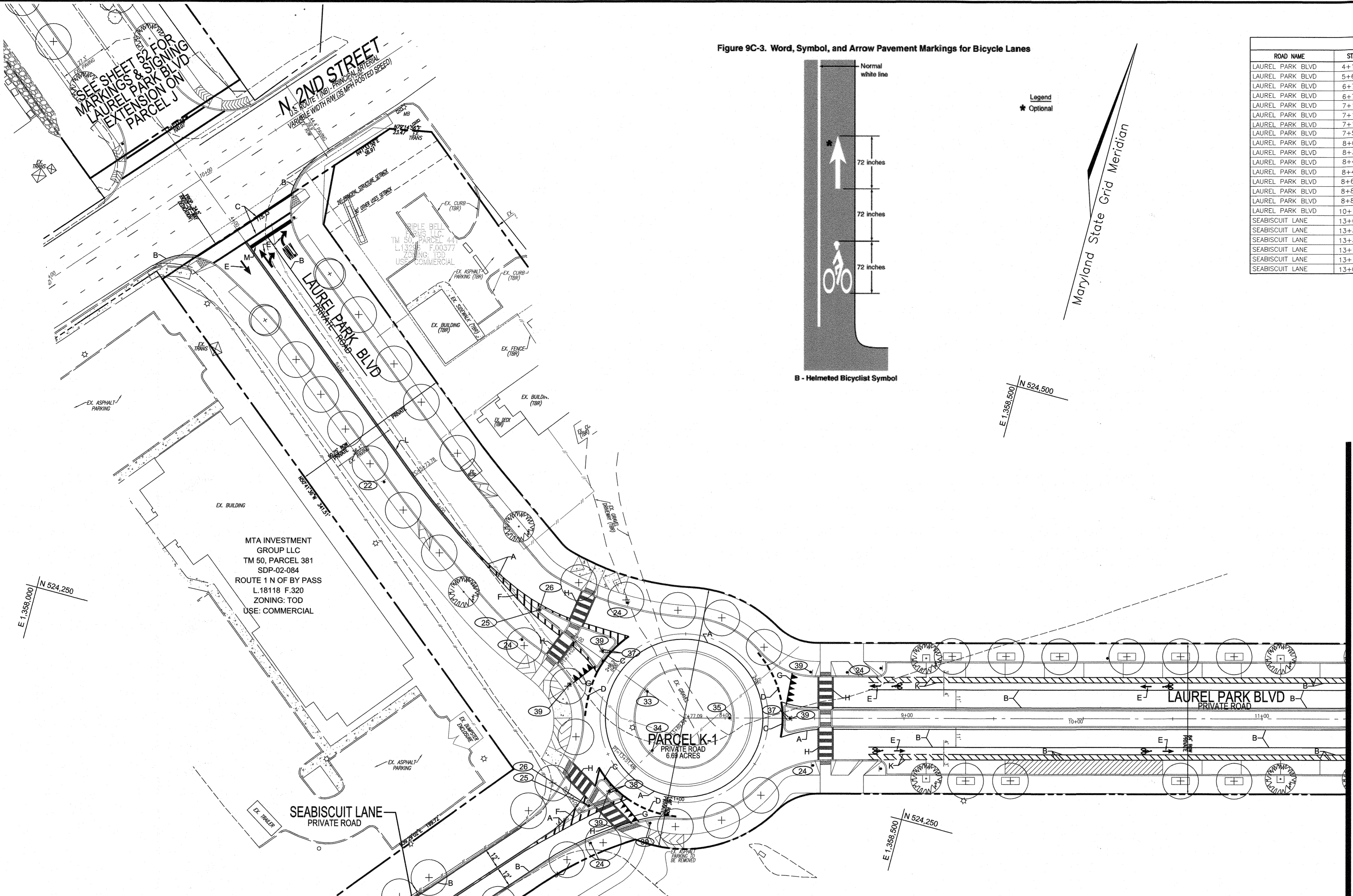
NOTES

- ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.
- ALL ROUNDABOUT MARKINGS SHALL BE LAID OUT BY HOWARD COUNTY TRAFFIC.
- TOTAL NUMBER OF 'SHARKS TEETH' NEEDED WILL BE DETERMINED IN THE FIELD.
- STREET NAME SIGNS WILL BE MOUNTED ON THE R1-2 SIGNS IN THE ROUNDABOUT AS DIRECTED BY THE COUNTY TRAFFIC ENGINEER.
- "NO PARKING" SIGNS TO BE INSTALLED AS NEEDED NEAR ROUNDABOUT. TRAFFIC DIVISION WILL FIELD DETERMINE LOCATIONS.
- FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD (PARCEL) AND REMAINDER OF SEABISCUIT LANE, SEE SHEET 52.

PAVEMENT MARKING LEGEND

- Ⓜ 5" SOLID YELLOW PAINT LINE
- Ⓜ 5" SOLID WHITE PAINT LINE
- Ⓜ 12" WHITE THERMOPLASTIC
- Ⓜ 12" x 3" SKIP/SPACE WHITE THERMOPLASTIC
- Ⓜ LANE ARROWS
- Ⓜ 10" WIDE YELLOW HATCH MARKINGS-PAINT
- Ⓜ SHARKS TEETH ▾ WHITE THERMOPLASTIC
- Ⓜ HOWARD COUNTY CROSSWALK
- Ⓜ 5" DASHED WHITE PAINT LINE
- Ⓜ DOUBLE 5" YELLOW PAINT LINE

MATCH LINE SEE SHEET 51

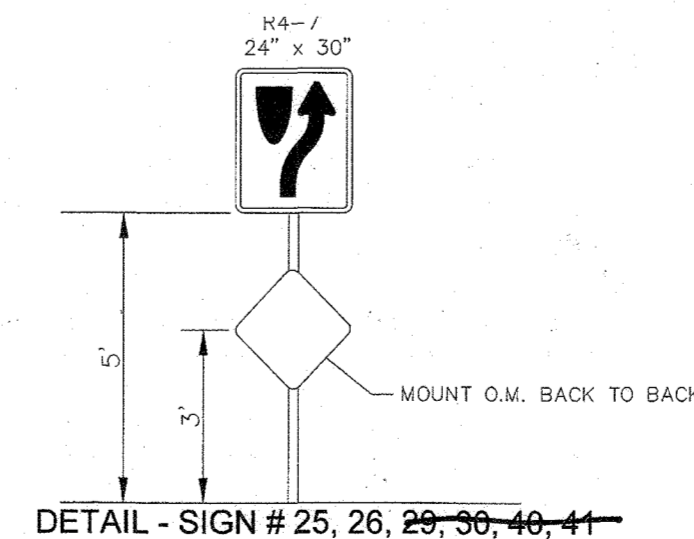


PAVEMENT MARKING AND SIGNAGE PLAN

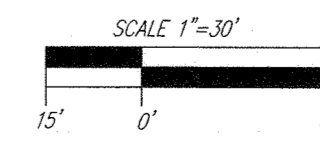
SCALE: 1" = 30'

STREET SIGN SCHEDULE

NO.	SIGN TYPE / DESCRIPTION
22	W11-2 (30x30) FYG / W16-9P (AHEAD) FYG
24	W11-2 (30x30) FYG / W16-7P (24x12) FYG
25	R4-7 KEEP RIGHT (SEE DETAIL)
26	(2) YELLOW O.M. (OM1-3) BACK TO BACK
27	W11-2 (30x30) FYG / W16-7P (24x12) FYG
33	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
34	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
35	R6-4 MOUNT BOTTOM 4' FROM ROAD SURFACE
37	"LAUREL PARK BLVD" STREET SIGN
38	"SEABISCUIT LANE" STREET SIGN
39	R1-2 YIELD



DETAIL - SIGN # 25, 26, 29, 38, 40, 41



**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

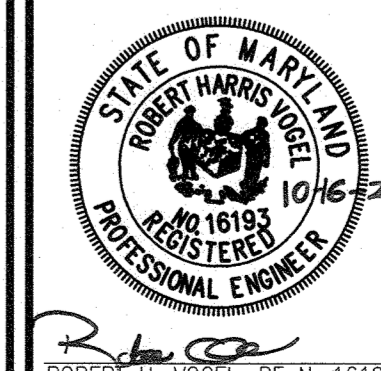
REVISED SITE DEVELOPMENT PLAN  
LAUREL PARK BOULEVARD  
PAVEMENT MARKING AND SIGNAGE PLAN  
PADDOCK POINTE - PHASE 1  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L, AND  
P.384 (L10518/F.157) PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L, AND  
P.441 (L13298/F.377) LOTS D, E-1, F-1, G, H, & I  
ZONED: TOD HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com



PROFESSIONAL CERTIFICATE  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 09-27-2022

DESIGN BY: RHW/DZE  
DRAWN BY: DZE  
CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

DATE: 6/10/22  
DATE: 6/10/22  
DATE: 6/10/22

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DIRECTOR

SIGNAGE LOCATION CHART				
ROAD NAME	STATION	OFFSET	TYPE	
LAUREL PARK BLVD	12+00.00	3.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	12+00.00	25.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	12+13.33	0.00' L	"KEEP RIGHT" SIGN	
LAUREL PARK BLVD	12+22.14	55.30' L	"STOP" SIGN	
LAUREL PARK BLVD	12+70.40	0.00' L	"KEEP RIGHT" SIGN	
LAUREL PARK BLVD	12+85.00	25.00' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	12+85.00	3.00' L	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	17+20.00	25.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	17+20.00	3.00' R	W11-2 (30x30) FYG PEDESTRIAN X-ING/ W16-9P (AHEAD) FYG ARROW	
LAUREL PARK BLVD	17+35.59	51.91' R	"STOP" SIGN	
LAUREL PARK BLVD	17+37.99	0.00' L	"KEEP RIGHT" SIGN	
LAUREL PARK BLVD	17+57.37	49.32' R	"DEAD END" AND "NO PARKING" SIGN	
LAUREL PARK BLVD	17+97.70	12.00' L	"DEAD END" AND "NO PARKING" SIGN	
LAUREL PARK BLVD	17+97.70	12.00' R	"DEAD END" AND "NO PARKING" SIGN	

**NOTE**  
 1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.

**PAVEMENT MARKING LEGEND**  
 (S) 5" SOLID WHITE PAINT LINE  
 (A) LANE ARROWS  
 (D) 5" DASHED WHITE PAINT LINE  
 (H) HOWARD COUNTY CROSSWALK

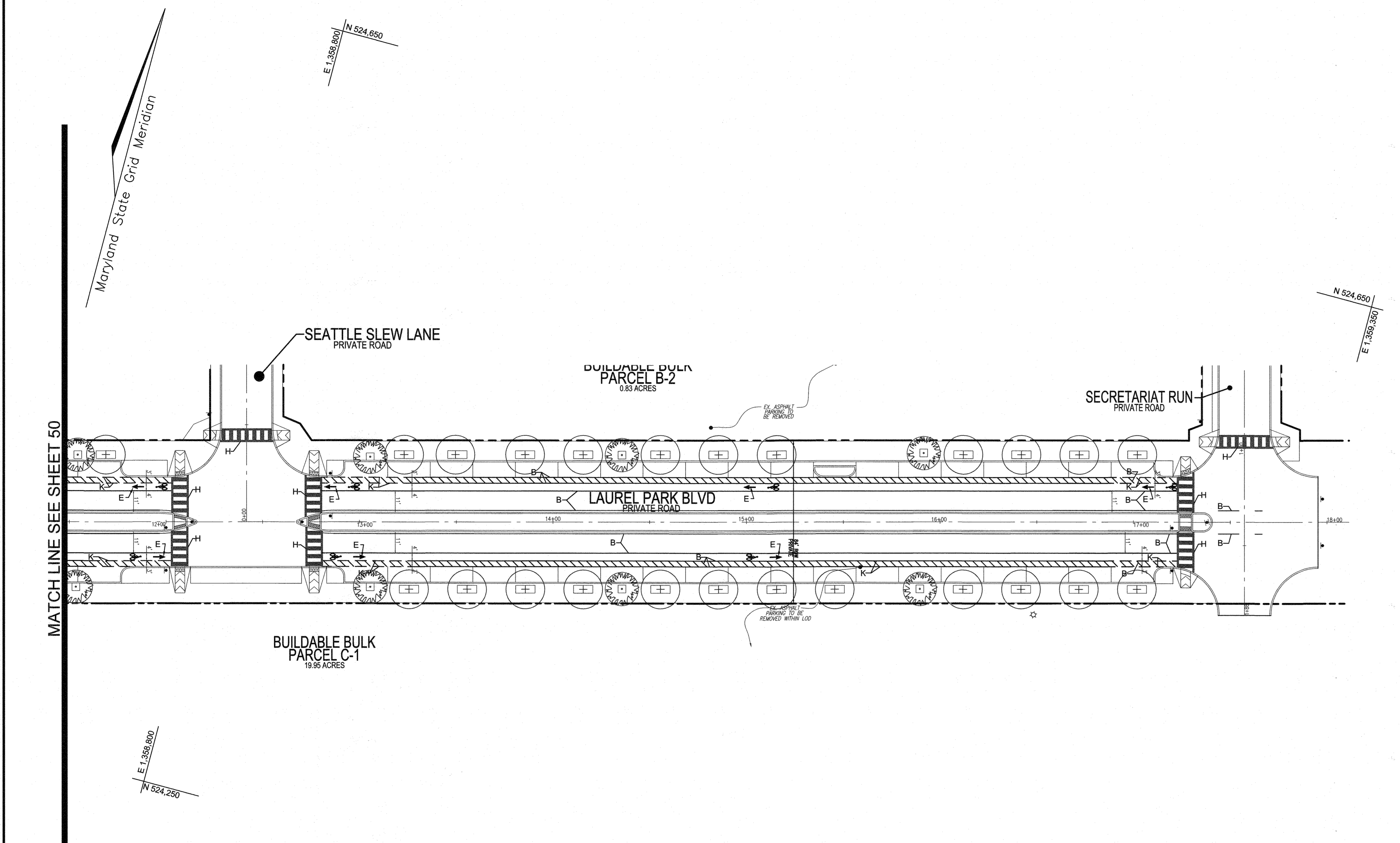
**PAVEMENT MARKING AND SIGNAGE PLAN**  
 SCALE: 1" = 30'

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

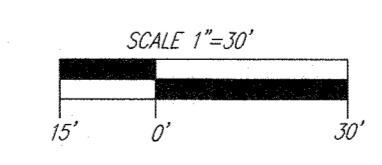
**REVISED SITE DEVELOPMENT PLAN**  
**LAUREL PARK BOULEVARD**  
**PAVEMENT MARKING AND SIGNAGE PLAN**  
 PADDOCK POINTE - PHASE 1  
 (FORMERLY KNOWN AS LAUREL PARK STATION)  
 64 APARTMENT AND 156 STACKED CONDO UNITS PARCELS 384/441  
 PARCELS A-1, B-1, B-2, B-3, C-1, J, K-1, L AND LOTS D, E-1, F-1, G, H, & I  
 TAX MAP: 50 BLOCK: 10 PARCELS: 384/441  
 6TH ELECTION DISTRICT P.384 (L10518/F.157) B-3, C-1, J, K-1, L AND  
 P.441 (L13296/F.377) LOTS D, E-1, F-1, G, H, & I  
 ZONED: 10D HOWARD COUNTY, MARYLAND

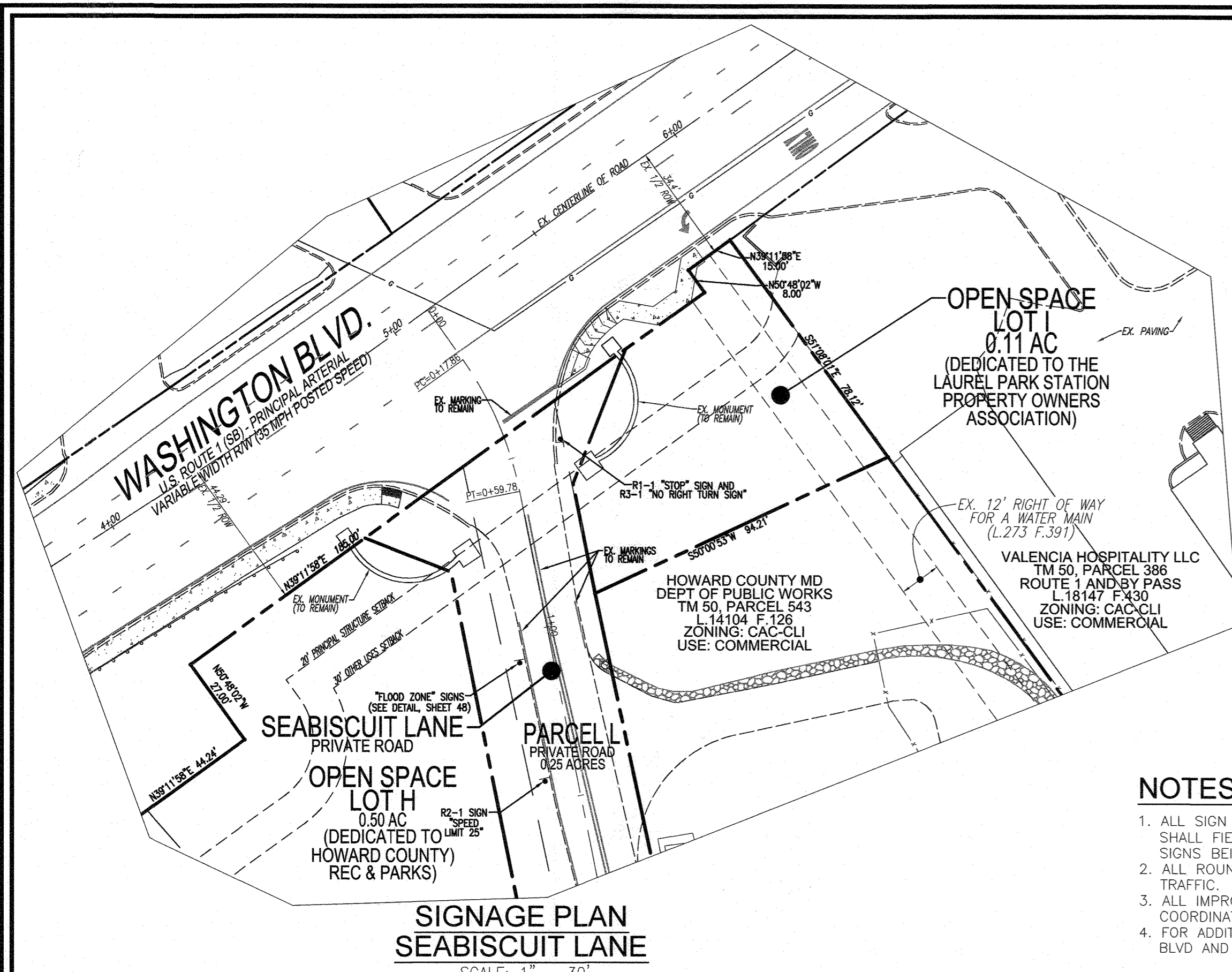
**VOGEL ENGINEERING**  
 +  
**TIMMONS GROUP**  
 3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
 P: 410.461.7666 F: 410.461.8961 www.timmons.com

PROFESSIONAL CERTIFICATE  
 DESIGN BY: RHW/DZE  
 DRAWN BY: DZE  
 CHECKED BY: RHW  
 DATE: SEPTEMBER 2020  
 SCALE: AS SHOWN  
 W.O. NO.: 07-11/40111  
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 51 SHEET OF 54



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING  
 Chief, Development Engineering Division: *[Signature]* DATE: 6/10/22  
 Chief, Division of Land Development: *[Signature]* DATE: 6/10/22  
 Director: *[Signature]* DATE: 6/16/22

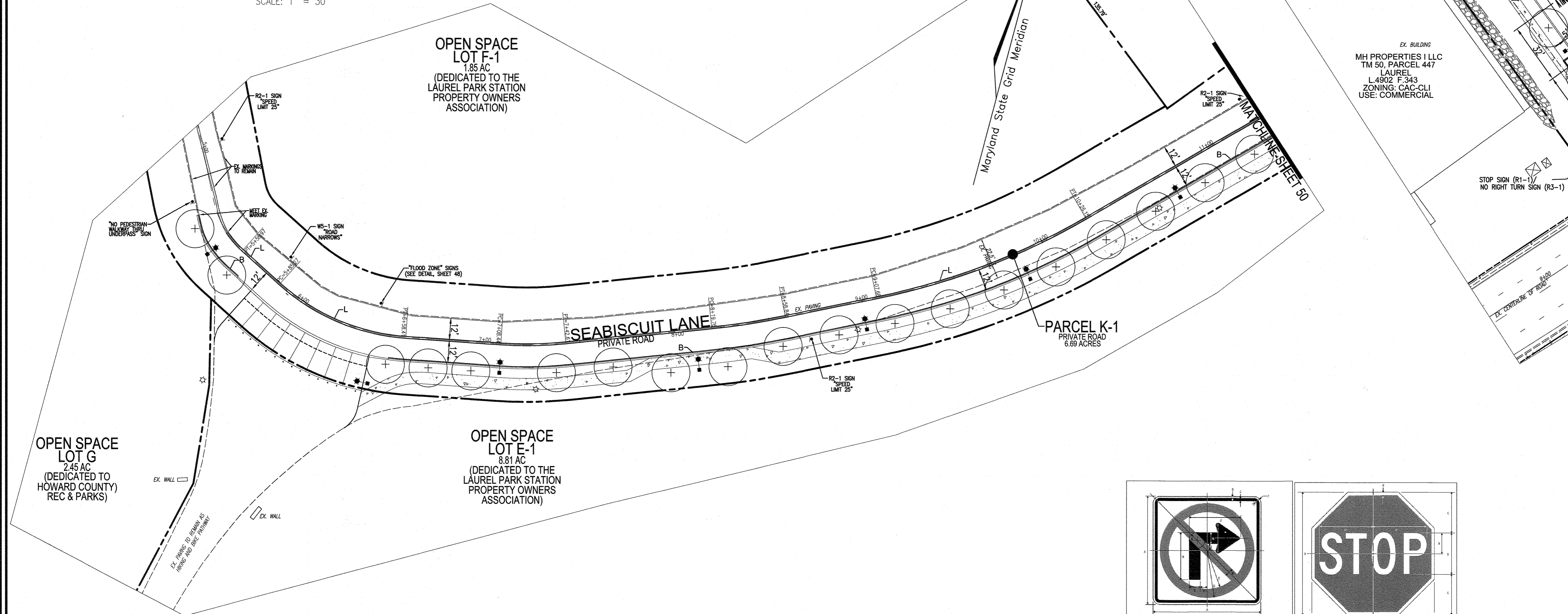




**SIGNAGE PLAN  
SEABISCUIT LANE**  
SCALE: 1" = 30'

**NOTES**

1. ALL SIGN LOCATIONS ARE APPROXIMATE. HOWARD COUNTY TRAFFIC SHALL FIELD APPROVE OR MARK ALL SIGN LOCATIONS PRIOR TO ANY SIGNS BEING INSTALLED. CALL 410-313-5752.
2. ALL ROUNDABOUT MARKINGS SHALL BE LAID OUT BY HOWARD COUNTY TRAFFIC.
3. ALL IMPROVEMENTS WITHIN THE SHA RIGHT OF WAY SHALL BE COORDINATED DIRECTLY WITH SHA.
4. FOR ADDITIONAL SIGNAGE AND PAVEMENT MARKINGS FOR LAUREL PARK BLVD AND SEABISCUIT LANE, SEE SHEETS 43-44.



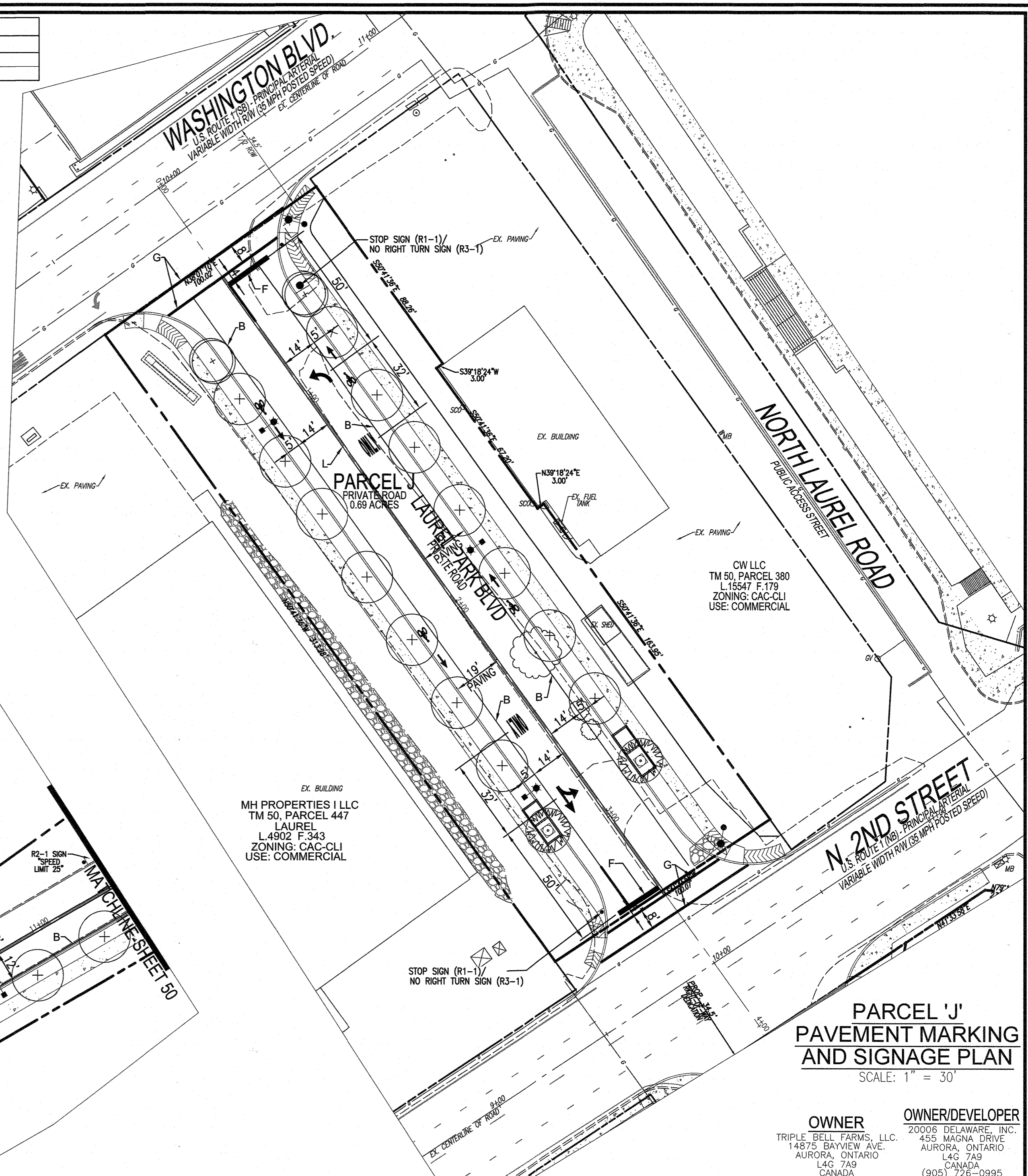
**PARCEL 'J'  
PAVEMENT MARKING  
AND SIGNAGE PLAN**  
SCALE: 1" = 30'

**SIGNAGE LOCATION CHART**

ROAD NAME	STATION	OFFSET	TYPE
LAUREL PARK DRIVE	0+62.59	22.52' LT	R1-1 STOP SIGN/R3-1 NO RIGHT TURN
LAUREL PARK DRIVE	3+14.90	21.41' RT	R1-1 STOP SIGN/R3-1 NO RIGHT TURN

**PAVEMENT MARKING LEGEND**

- ① 5" SOLID WHITE PAINT LINE
- ② 24" WIDE WHITE SOLID PAVEMENT MARKING FOR STOP LINE
- ③ 12" WHITE THERMOPLASTIC
- ④ DOUBLE 5" YELLOW PAINT LINE
- ↔ WHITE TURN LANE STRIPING
- ↔ WHITE BIKE LANE STRIPING



**OWNER**  
TRIPLE BELL FARMS, LLC.  
4875 BAYVIEW AVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA

**OWNER/DEVELOPER**  
20005 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA (905) 726-0995

NO.	REVISION	DATE
3	MODIFICATION OF PHASE 1 LAYOUT, RENAME PLAN, LANDSCAPING, PRIVATE ROAD IMPROVEMENTS, UTILITY LAYOUT AND STORMWATER MANAGEMENT.	09/08/20
2	REVISE THE PLANS TO ILLUSTRATE IRRIGATION LINES WITHIN PRIVATE ROADWAY	07/28/20
1	MODIFICATION OF PHASE 1 LAYOUT, ROAD LAYOUT, UTILITY LAYOUT, STORMWATER MANAGEMENT, AND BYPASS LAYOUT	06/11/19

**REVISED SITE DEVELOPMENT PLAN**

**PAVEMENT MARKING AND SIGNAGE PLAN**

**PADDOCK POINTE - PHASE 1**  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
PARCELS: 384/441  
A-1, B-1, B-2, B-3, C-1, J, K-1, L & LOTS D, E-1, F-1, G, H, & I  
P.384 (L10518/F.157) P.441 (L13298/F.377)  
ZONED: TOD

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

**PROFESSIONAL CERTIFICATE**

DESIGN BY: RHV/DZE  
DRAWN BY: DZE  
CHECKED BY: RHV  
DATE: SEPTEMBER 2020  
SCALE: AS SHOWN  
W.O. NO.: 07-11/40111

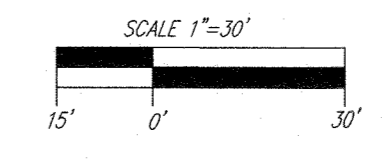
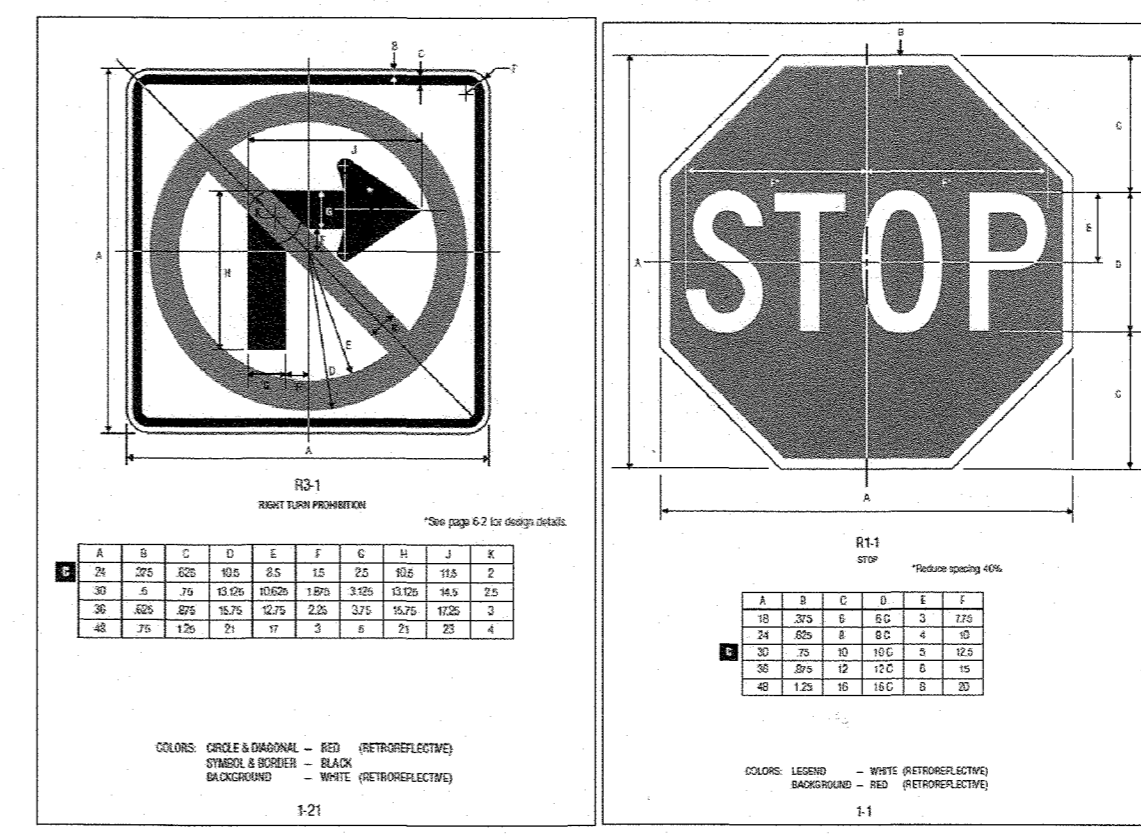
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

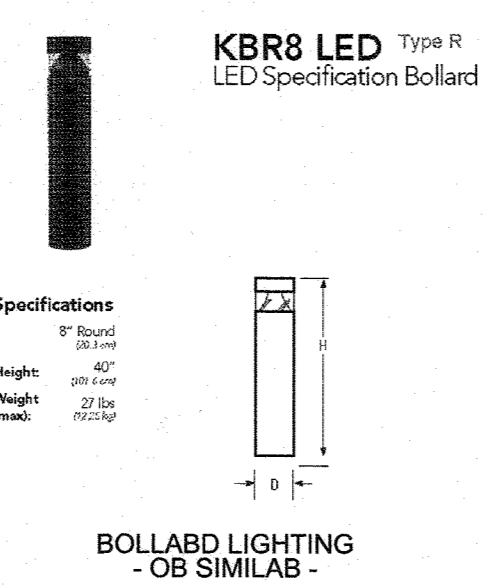
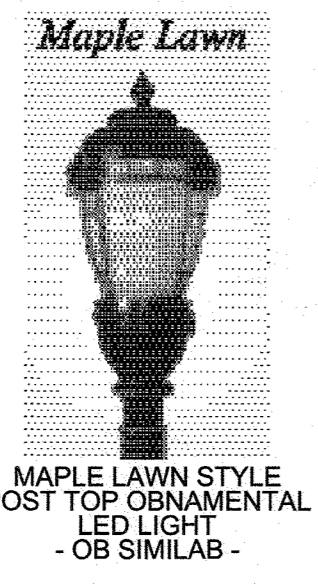
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/10/22

DIRECTOR  
DATE: 6/16/22





PLAN VIEW  
SCALE: 1"=50'



Symbol	Label	Quantity
	ML	55
	B	38

OWNER  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO  
L4G 7A9  
CANADA

OWNER/DEVELOPER  
2006 DELAWARE, INC.  
455 MAGNA DRIVE  
AURORA, ONTARIO  
L4G 7A9  
CANADA  
(905) 726-0995

NO.	REVISION	DATE
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REVISED SITE DEVELOPMENT PLAN  
PHOTOMETBIC PLAN  
PADDOCK POINTE - PHASE 1  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
PARCELS: 384/441  
PARCELS A-1, B-1, B-2  
B-3, C-1, J, K-1, L AND  
P.384 (L10518/F.157)  
P.441 (L13296/F.377)  
ZONED: TOD  
LOTS D, E-1, F-1, G, H & I  
HOWARD COUNTY, MARYLAND

TAX MAP: 50 BLOCK: 10  
6TH ELECTION DISTRICT

**VOGEL ENGINEERING**  
**TIMMONS GROUP**  
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CHECKED BY: RHW  
DATE: SEPTEMBER 2020  
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W.O. NO.: 07-11/40111

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 16193 EXPIRATION DATE 09-27-2026

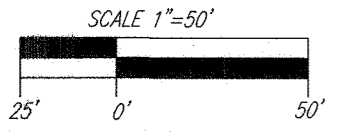
ROBERT H. VOGEL, PE No.16193

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/10/22

DIRECTOR  
DATE: 6/16/22



PHASE 1 AREA OF DEVELOPMENT

PHASE 1 AREA OF DEVELOPMENT

PLAN VIEW  
SCALE: 1"=120'

TOD RESIDENTIAL DEVELOPMENT TRACKING		
GROSS AREA (LAUREL PARK PROJECT)	63.33 AC.	
MINUS FLOOPLAIN & STEEP SLOPES	34.84 AC.	
DEVELOPABLE ACREAGE (NET)	48.49 AC.	
50% OF DEVELOPABLE AREA (NOT TO EXCEED)	24.25 AC.	
PHASE/PROJECT	AREA	% OF NET
PHASE 1 RESIDENTIAL AREA (SDP-15-043)	5.58 AC.	11.52%
<b>TOTAL</b>	<b>5.58 AC.</b>	<b>11.52%</b>

\*NO MORE THAN 50% OF THE DEVELOPABLE AREA ACREAGE, EXCLUDING ROAD RIGHT OF WAY AND OPEN SPACE SHALL BE DEVOTED TO RESIDENTIAL BUILDINGS AND PARKING.

LEGEND

- PHASE 1 - TOD AREA
- 100-YR FLOODPLAIN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*[Signature]*  
CHIEF, DEVELOPMENT ENGINEERING DIVISION  
DATE: 6/10/22

*[Signature]*  
CHIEF, DIVISION OF LAND DEVELOPMENT  
DATE: 6/10/22

*[Signature]*  
DIRECTOR  
DATE: 6/10/22

**OWNER**  
TRIPLE BELL FARMS, LLC.  
14875 BAYVIEW AVE.  
AURORA, ONTARIO L4G 7A9  
CANADA

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REVISED SITE DEVELOPMENT PLAN  
TOD RESIDENTIAL DEVELOPMENT  
AREA EXHIBIT (PHASE 1)

Paddock Pointe - PHASE 1  
(FORMERLY KNOWN AS LAUREL PARK STATION)  
64 APARTMENT AND 156 STACKED CONDO UNITS  
P.384 (L.10518/F.157)  
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ZONED: TOD

PARCELS: 384/441  
PARCELS: A-1, B-1, B-2  
PARCELS: B-3, C-1, J, K-1, L AND  
LOTS: D, E-1, F-1, G, H, & I  
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*[Signature]*  
ROBERT H. VOGEL, PE No.16193

54 SHEET OF 54