

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-TITI AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
 - LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
 - ELECTION DISTRICT: 5
 - ZONING: MXD-3 PER ZB-495M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN AREA OF BUILDABLE LOTS (Nos. 112-206) FOR THIS SITE DEVELOPMENT PLAN. 1.61+ ACRES.
 - FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos. 5 01-11, 5-09-16, ZB-495M, ZB-495M, PB-305, PB-310, PB-311, PB-312, PB-313, PB-314, PB-315, PB-316, PB-317, PB-318, PB-319, PB-320, PB-321, PB-322, PB-323, PB-324, PB-325, PB-326, PB-327, PB-328, PB-329, PB-330, PB-331, PB-332, PB-333, PB-334, PB-335, PB-336, PB-337, PB-338, PB-339, PB-340, PB-341, PB-342, PB-343, PB-344, PB-345, PB-346, PB-347, PB-348, PB-349, PB-350, PB-351, PB-352, PB-353, PB-354, PB-355, PB-356, PB-357, PB-358, PB-359, PB-360, PB-361, PB-362, PB-363, PB-364, PB-365, PB-366, PB-367, PB-368, PB-369, PB-370, PB-371, PB-372, PB-373, PB-374, PB-375, PB-376, PB-377, PB-378, PB-379, PB-380, PB-381, PB-382, PB-383, PB-384, PB-385, PB-386, PB-387, PB-388, PB-389, PB-390, PB-391, PB-392, PB-393, PB-394, PB-395, PB-396, PB-397, PB-398, PB-399, PB-400, PB-401, PB-402, PB-403, PB-404, PB-405, PB-406, PB-407, PB-408, PB-409, PB-410, PB-411, PB-412, PB-413, PB-414, PB-415, PB-416, PB-417, PB-418, PB-419, PB-420, PB-421, PB-422, PB-423, PB-424, 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- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-012 & 6 L.I.M. SURVEY DONE IN MAY/2004.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 46BC & 46BD.
- STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS (WHICH IS PART OF A PHASED PROJECT) WILL BE SATISFIED BY EXISTING REGIONAL FACILITY CONSTRUCTED ON OPEN SPACE LOT 3 IN THE WESTSIDE DISTRICT UNDER F-09-55. THE EXISTING FACILITY ON OPEN SPACE LOT 3 IS PUBLICLY OWNED AND MAINTAINED. THE RECHARGE OBLIGATIONS FOR THESE LOTS HAVE BEEN PROVIDED IN AN EXISTING FACILITY LOCATED ON OPEN SPACE LOT 6 IN THE WESTSIDE DISTRICT-AREA 2 AND CONSTRUCTED UNDER F-12-021.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT #24-4521-D, #24-4602-D & #24-4701-D) AND THE WATER METERS IN OUTSIDE VAULTS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION. THE FOREST CONSERVATION ORDER NUMBER IS F-08-094.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 4 TO SATISFY 5-01-H DEVELOPMENT CRITERIA AND SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT (WHERE APPLICABLE). FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 4 AND THE GRADING PERMIT ON SHEET 1.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A. WIDTH - 12' (6' SERVING MORE THAN ONE RESIDENCE)
 - B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)
 - C. GEOMETRY - MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS.
 - D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (125 LOADINGS)
 - E. DRAINAGE ELEMENTS - CAPABLE OF SATURATING 100-YR. FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
 - F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY FOR LOTS 112-206.
- BAY WINDOWS, WINDOW HILLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 12B.1 OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-H APPROVAL PRIOR TO 11-05-11, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 13B.D.2.G OF THE ZONING REGULATIONS AND THE APPROVED M&F DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKINGS, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPPED. THE ALLEYS ARE OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" WITHIN THE COVENANT FOUND AT L. 3251 F. 30543.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFED AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-H, 5-06-16, PB-353, PB 310 AND ZB-495M.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-495M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-H) AND PB CASE NO. 310 AND 5-06-16.
- BUILDABLE LOTS 112-206 SHOWN HEREIN SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER MAIN CONNECTION AND SEWER HOSE CONNECTION.
- BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICIES.

LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA
 - A. PRESENT ZONING: MXD-3 PER ZB-495M
 - B. PROPOSED USE OF SITE: 35 SFA RESIDENTIAL DWELLINGS
 - C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTR. #24-4521-D, #24-4602-D & #24-4701-D)
 - D. PARKING REQUIRED PER Sec.13B.D.2.G: 2 SPACES/LOT x 35 = 70 SPACES
 - E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-06-161 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION
 - A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 70,072± SF OR 1.61± AC.
 - B. AREA OF THIS PLAN SUBMISSION: 1.61 ACRES (L.O.D.)
 - C. AREA OF DISTURBANCE BY THIS SDP: 1.61 ACRES
- LOT DESIGNATION

LOT TYPE	LOT NUMBERS	MINIMUM LOT SIZE	MIN LOT WIDTH AT FRONT BRL	MAX. BUILDING HT.
TOWNHOME	112-206	N/A	N/A	50 FEET (45' MAX HT.)
- STRUCTURE SETBACKS PER F-14-064 AND PLAT Nos. 22826-22829

LOT TYPE	FRONT SETBACK	SIDE SETBACK	MINIMUM REAR SETBACKS
TOWNHOME	0'	NONE	20' TO PRINCIPAL STRUCTURE, 3' FOR REAR (DETACH/ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.

 - A. BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK (EXCEPT ACROSS AN ALLEY), 50' BACK TO FRONT AND 6' OR AS REQUIRED BY THE BUILDING CODE FOR ALL OTHER CONDITIONS.
 - B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
 - C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.W) SHALL BE 30' APART.
 - D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 12B.A.1 APPLIES, EXCEPT FOR THE FOLLOWING:
 - PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12" FOR ESTATES. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12" FOR ESTATES. WHERE A SIDE YARD ABUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRoACH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS; TO WITHIN 12" FOR ESTATES.
 - STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.
 - GARDEN WALLS, FENCES, PIERS, GATES AND SIMILAR ORNAMENTS MAY BE BUILT IN THE FRONT AND SIDE YARDS NOT CLOSER THAN 1' FROM THE FRONT PROPERTY LINE (WALL FOOTINGS MUST BE OUTSIDE ANY EASEMENTS). NOT GREATER THAN 48" IN HEIGHT ALONG THE FRONT PROPERTY LINE AND NOT GREATER THAN 12" IN HEIGHT ALONG THE SIDE AND REAR PROPERTY LINES.
 - MASONRY VENEERS MAY ENCRoACH A MAXIMUM OF SIX INCHES INTO ANY REQUIRED SETBACK.

APPROVED
PLANNING BOARD OF HOWARD COUNTY
 Date: **JUNE 19, 2014**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* 7-30-14
 Chief, Division of Land Development: *[Signature]* 7-29-14
 Chief, Development Engineering Division: *[Signature]* 7-24-14

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12175, EXPIRATION DATE: MAY 26, 2016.
 7-2-14

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APP'R.

MAPLE LAWN FARMS

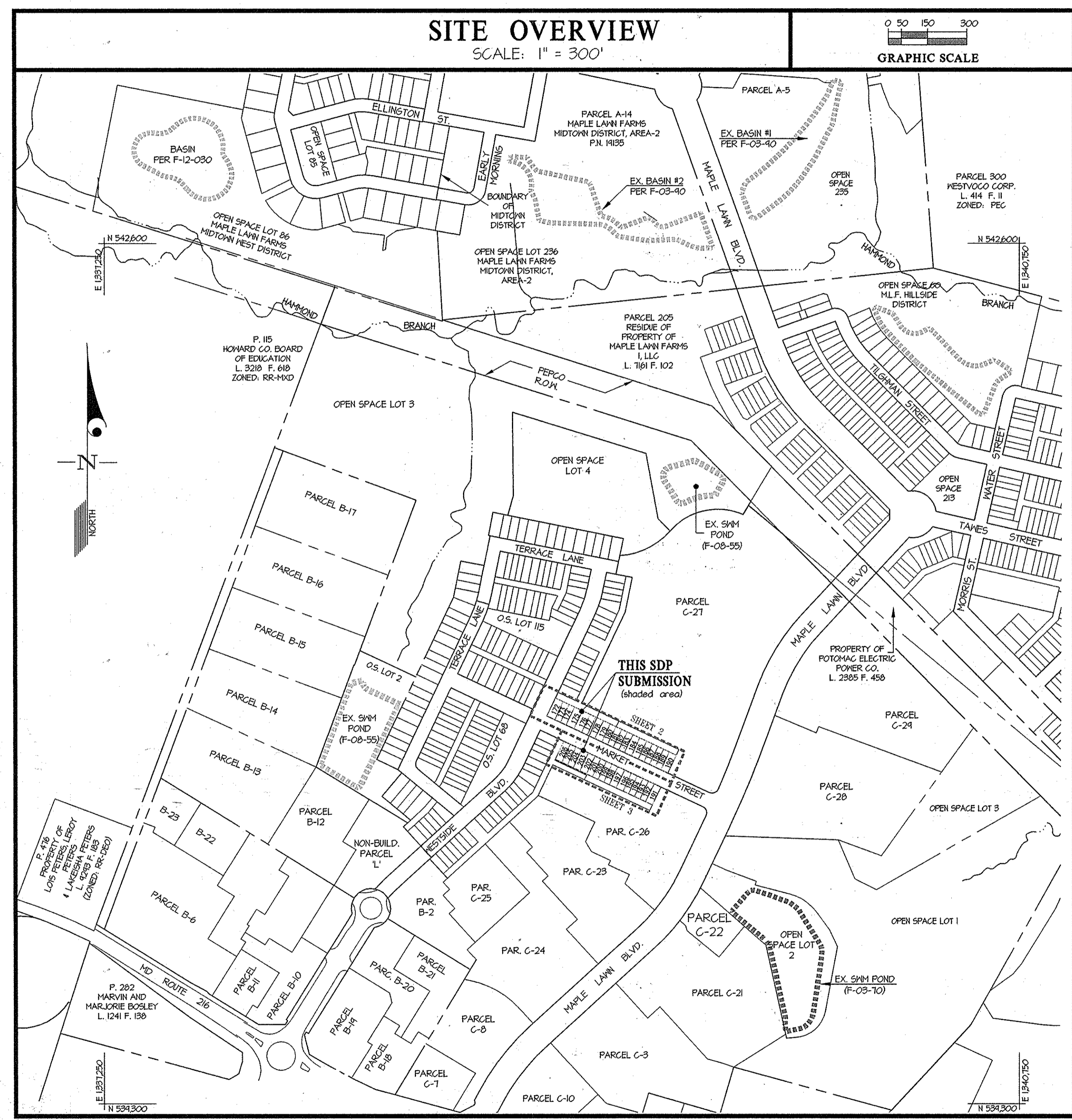
SITE DEVELOPMENT PLAN

WESTSIDE DISTRICT - AREA 5

LOT Nos. 172-206

FIFTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR MLF.

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
112-206	1.61± AC	\$6,840.00	\$101.00
TOTAL	1.61± AC	\$6,840.00	\$101.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

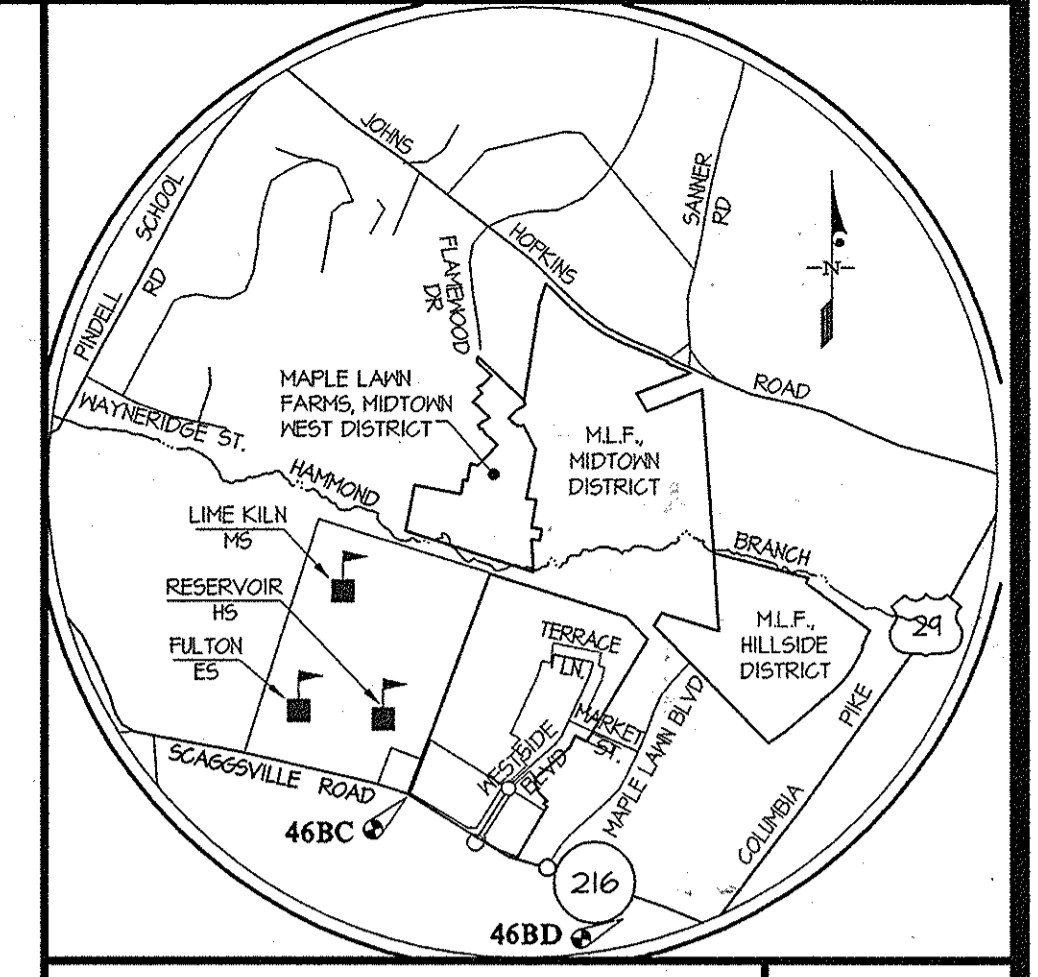
PREPARED FOR:
 BUILDER (CONTRACT PURCHASER):
 MVR INC.
 9720 PATUNTON WOODS DR.
 COLUMBIA, MD 21046
 PH: (410) 379-5556
 ATR: TIM NAUGHTON

COVER SHEET
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 5
 LOT Nos. 172-206
 (SFA RESIDENTIAL, USB)
 PLAT Nos. 19870, 22044-22051, 22307-22311 & 22826-22829

HOWARD COUNTY CONTROL
 NAD83 HORIZONTAL DATA & NVD83 VERTICAL DATA

46BC
 ELEV. = 472.16
 N = 534425.13 E = 1331205.71
 STANDARD DISC. ON CONCRETE MONUMENT

46BD
 ELEV. = 481.17
 N = 538656.76 E = 1334461.55
 STANDARD DISC. ON CONCRETE MONUMENT



VICINITY MAP
 SCALE: 1" = 2000'

OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

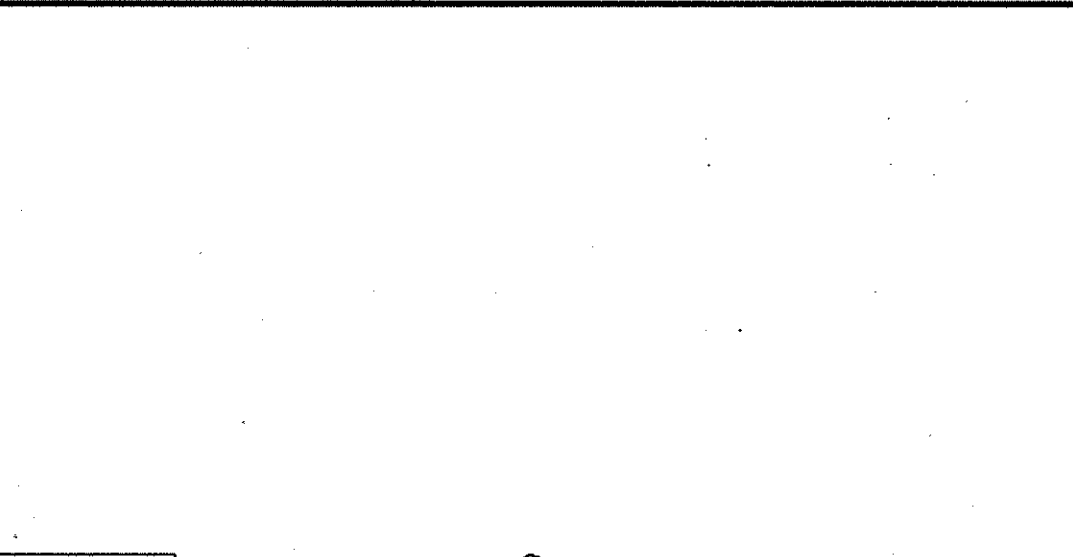
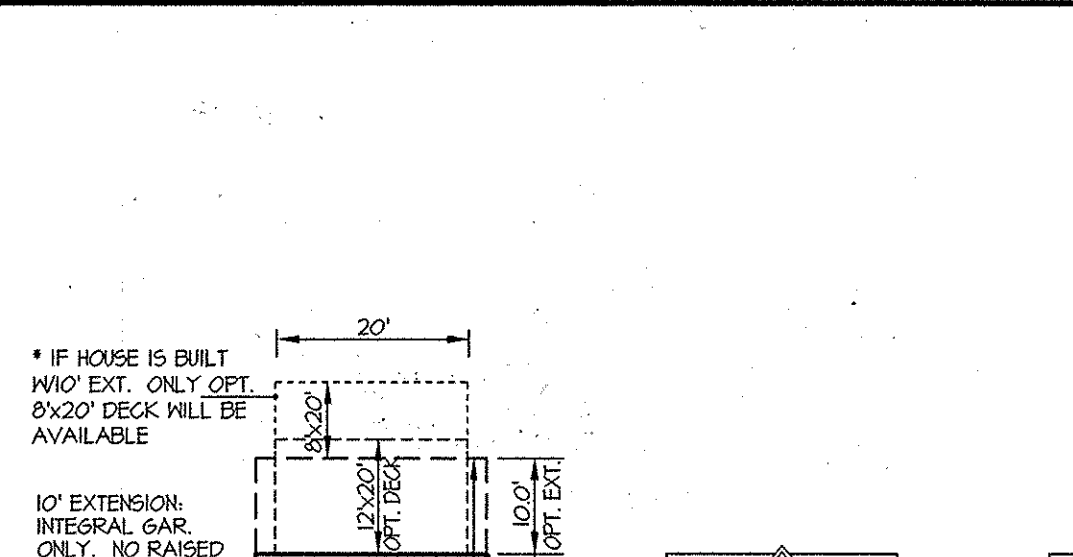
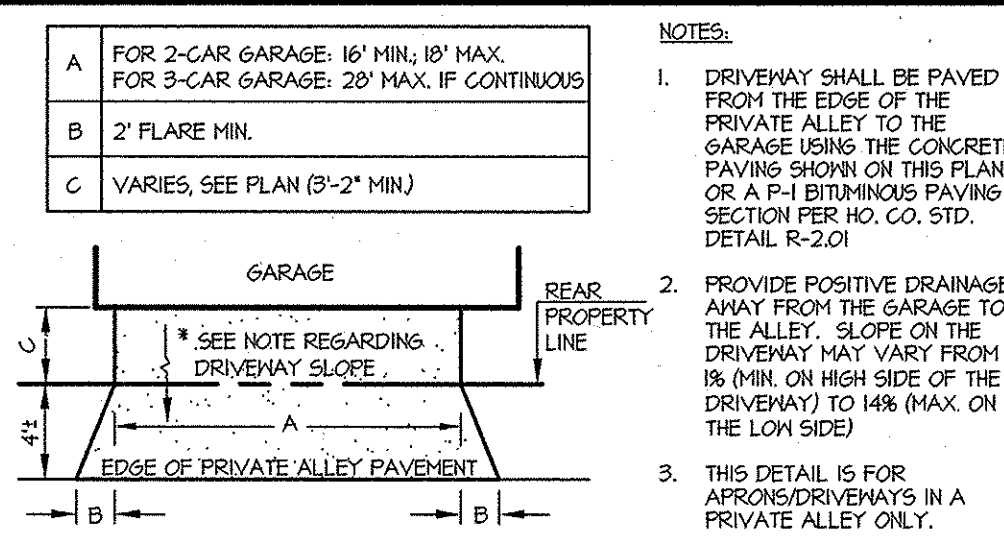
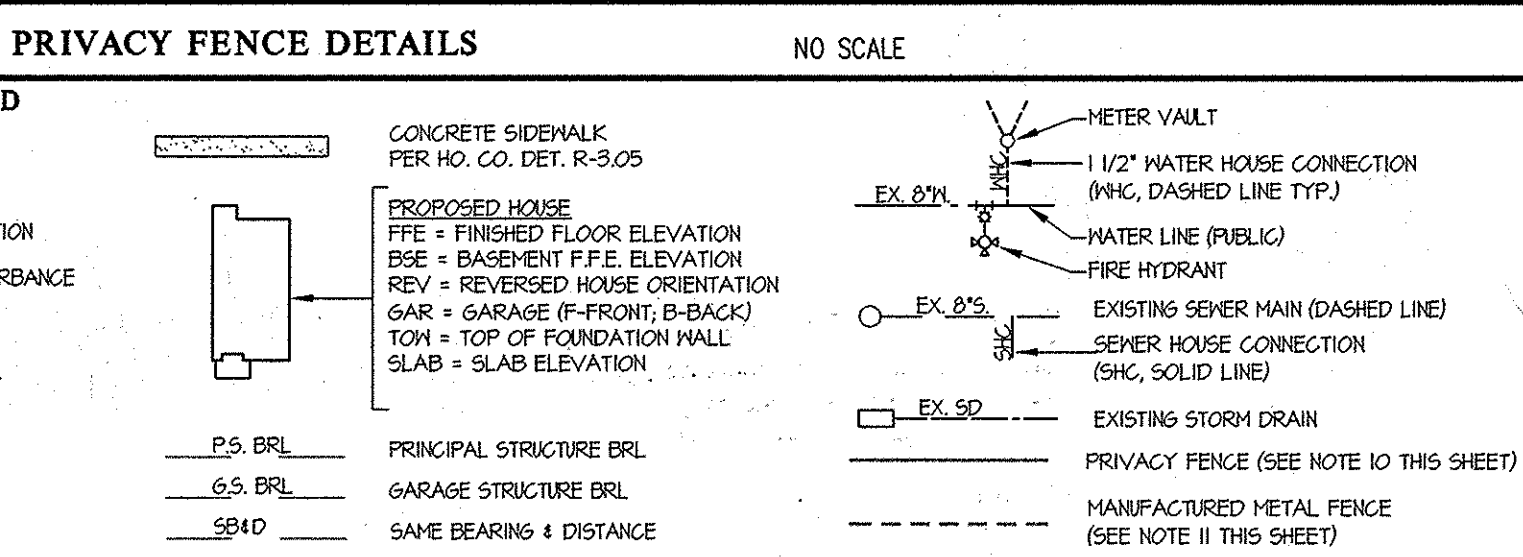
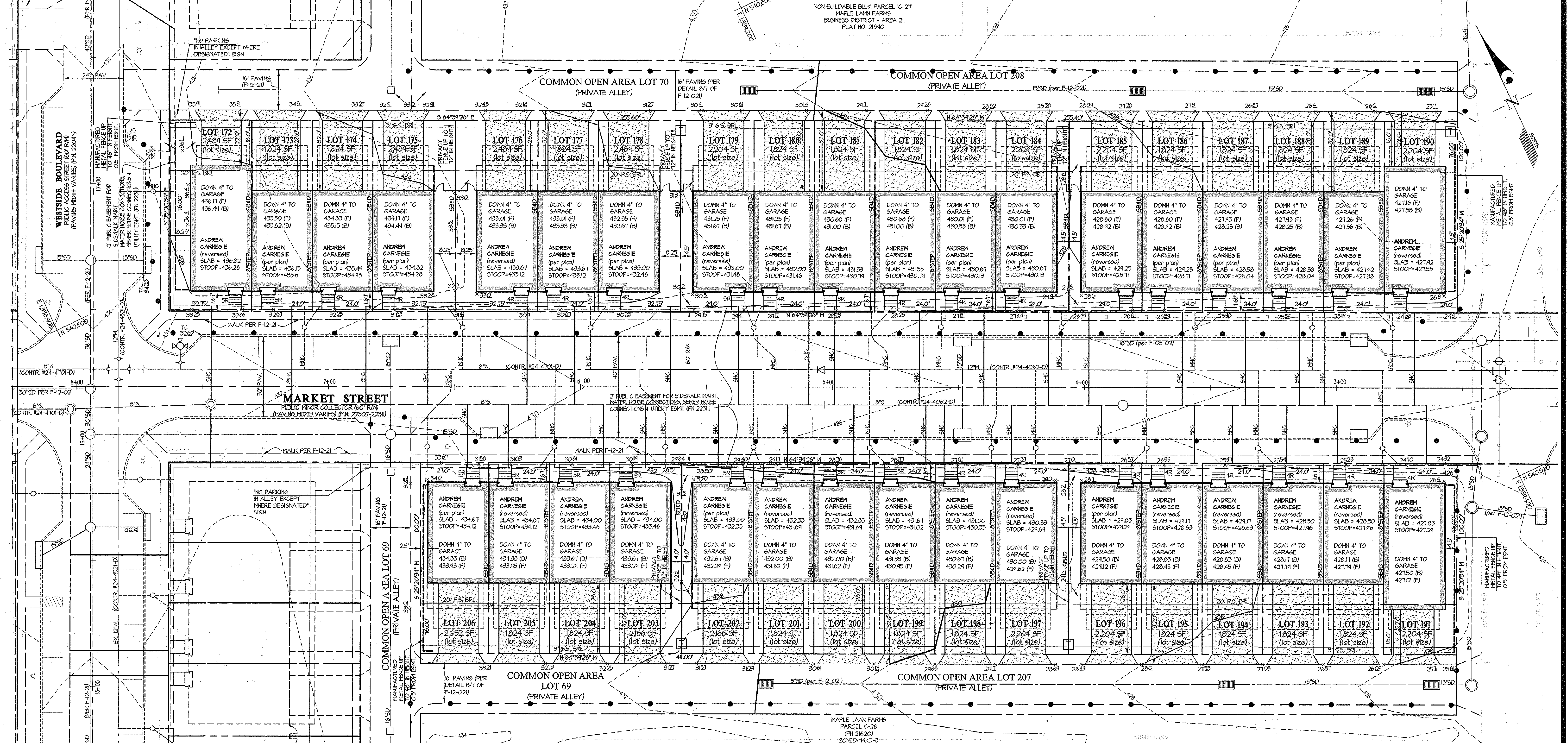
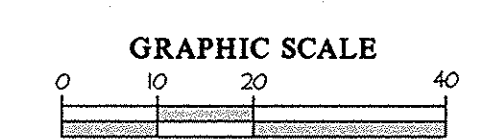
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA (GROSS AC)	REQUIRED OPEN SPACE (35% OF GROSS AC)	OPEN SPACE PROVIDED IN AC. (8)	REQUIRED ACTIVE OPEN SPACE IN AC. (9)	ACTIVE RECREATION O.S. PROVIDED IN AC. (9) ***
1 (BUSINESS DISTRICT, AREA-1)	F-09-01	51.88	18.14	21.5 (40.7)	1.82	---
2 (MIDTOWN DISTRICT, AREA-1)	F-09-00	37.43	13.10	15.75 (42.1)	1.31	1.52 (41.7) ①
3 (MIDTOWN DISTRICT, AREA-2)	F-04-42	58.80	20.58	22.85 (38.8)	2.06	---
4 (HILLSIDE DISTRICT, AREA-1)	F-05-81	15.47	5.41	6.10 (43.3)	0.54	0.29 (43) ②
4B (BUSINESS DISTRICT, AREA-3)	F-05-191	31.2	1.01	1.23 (39.4)	0.11	---
4C (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-112/113	3.00	1.05	0.00	0.11	---
5A (HILLSIDE DISTRICT, AREA-1)	F-06-43	0.00	0.00	0.00	0.00	---
5B (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	15.50 (35.6)	1.61 (6.7) ⑤	---
6A (HILLSIDE DISTRICT, AREA-4)	F-08-072	15.05	5.27	5.50 (36.5)	0.58	---
7A (MIDTOWN WEST DISTRICT)	F-07-183	3.05	1.07	0.00	0.10	---
6B (WESTSIDE DISTRICT)	F-08-54/F-08-55	40.60	31.71	26.65 (28.4)	3.17	4.76 (17.4) ④
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.84 (5.7)	0.58	---
8A (HILLSIDE DISTRICT, AREA-5)	F-11-21	0.00	0.00	0.20 (0.0)	0.00	---
8B (WESTSIDE DISTRICT, AREA-2)	F-12-21	0.00	0.00	0.61 (0.0)	0.00	0.67 (100) ⑥
8C (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.58	0.01 (5.9)	0.06	---
8D (MIDTOWN WEST DISTRICT)	F-12-24	30.22	10.58	15.51 (45.0)	1.06	1.24 (9.5) ⑦
9A (WESTSIDE DISTRICT, AREA-3)	F-12-25	4.37	3.28	0.00 (0.0)	0.33	---
9B (WESTSIDE DISTRICT, AREA-2)	F-13-03	0.00	0.00	0.64 (0.0)	0.00	0.61 (100) ⑧
9C (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	11.43	15.51 (24.4)	1.14	5.05 (37.2) ⑨
9D (WESTSIDE DISTRICT, PARCEL W)	F-13-08	75.74	26.59	0.64 (0.0)	2.65	0.00 (0.0)
10A (BUSINESS DISTRICT, AREA 2)	F-12-06	15.46	5.41	3.74 (24.2)	0.54	0.00 (0.0)
10B (WESTSIDE DISTRICT, AREA 4)	F-14-15	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
10C (GARDEN DISTRICT, AREA 1)	F-14-33	0.00	0.00	23.86 (0.0)	0.00	4.55 (40.0) ⑩
11 (GARDEN DISTRICT, AREA 2)	F-14-01	0.00	0.00	5.02 (0.0)	0.00	0.00 (0.0)
11B (WESTSIDE DISTRICT, AREA 5)	F-14-64	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
TOTAL		414.43	119.23	180.12 (36.5)	17.32	31.43 (17.4)

- * THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE.
- ** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
- *** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).
- ① 1.52 AC. = COMMUNITY CENTER (0.5, 1.25 - 5.01 AC.), 0.5, 1.26 (0.55 AC.) AND 0.5, 1.23 (1.16 AC.)
- ② 0.24 AC. = PATHWAYS
- ③ 1.61 AC. = O.S. LOT 213 (1.00 AC.) AND O.S. LOT 214 (0.61 AC.)
- ④ 4.76 AC. = O.S. LOT 4 (4.76 AC.)
- ⑤ 0.67 ACRES = O.S. Lot 6B (0.67 AC.)
- ⑥ 1.24 ACRES = O.S. Lot 85 (0.63 AC.) AND O.S. Lot 84 (

- NOTES:**
- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK EASY.
 - BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL H/W'S TO THE LOTS COVERED BY THIS SFP ARE 1 1/2" PER CONTRACT NO. 24-4101-D AND THE WATER METER VAULTS ARE IN THE R.O.M. OR PUBLIC WATER UTILITY EASEMENT.
 - SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 - ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBERTY FOLIO 242 THROUGH 386).
 - ALL BUILDINGS WITHIN 10' OF A BSE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATING OF 3 HOURS.
 - PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.
 - THE ALLEY IS OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE GOVERNMENT FOND ACT L. 8254 F. 305430
 - PIPE ALL ROOF DRAIN SPOTS IN THE REAR COURTYARD AND CONNECT THEM TO THE 8" STORM DRAIN LATERAL IN THE ALLEY.
 - PRIVACY FENCING IN REAR AND SIDE YARDS SHALL BE A MAXIMUM OF 12" IN HEIGHT (INCLUDING ANY LATTICE OR SPACED PICKET PORTION IN FENCES), PER MAPLE LAWN DESIGN GUIDELINES, SECTION 4A, PAGES 15-11. ALSO, SEE PRIVACY FENCE DETAILS ON SHEET 4.
 - MANUFACTURED METAL FENCING SHALL BE BETWEEN 32" AND 42" IN HEIGHT WITH PICKETS BETWEEN 32" AND 42" AND TERMINAL POSTS UP TO 48" MAXIMUM AND 42" MAXIMUM ALONG PUBLIC RIGHT-OF-WAYS. MAPLE LAWN DESIGN GUIDELINES, SECTION 4A, PAGES 15-11

LOT	ELEVATION @ R/W	M.C.E.
172	423.24	426.14
173	422.12	425.02
174	421.62	424.52
175	421.18	424.08
176	420.71	423.61
177	420.16	423.06
178	419.56	422.46
179	418.97	421.87
180	418.34	421.24
181	417.69	420.59
182	417.01	419.91
183	416.34	419.24
184	415.65	418.55
185	414.95	417.85
186	414.24	417.14
187	413.52	416.42
188	412.79	415.69
189	412.04	414.94
190	411.28	414.18
191	410.51	413.41
192	409.73	412.63
193	408.94	411.84
194	408.14	411.04
195	407.33	410.23
196	406.51	409.41
197	405.68	408.58
198	404.84	407.74
199	403.99	406.89
200	403.14	406.04
201	402.28	405.18
202	401.41	404.31
203	400.54	403.44
204	399.66	402.56
205	398.77	401.67
206	397.88	400.78

NOTE: ALL SEWER HOUSE CONNECTIONS ARE 4".



WASTE MANAGEMENT NOTES

- COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDER/DEVELOPER SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF, COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
- THE REFUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.

Mark Bennett 7-2-14

NOTES:

- UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C.
- PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE THE DRIVEWAY APRON ADJUTS OTHER CONCRETE STRUCTURES OR PAVEMENTS.
- FOR REFERENCE, SEE HOWARD COUNTY STD. DETAILS RB.01-6.04.
- FOR BITUMINOUS PAVING, SEE HOWARD COUNTY STD. DETAIL R2.01 (P-I SECTION).

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: **JUNE 19, 2014**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Julia Jensen 7-30-14
Director

Mark Bennett 7-29-14
Chief, Division of Land Development

Paul Edwards 7-24-14
Chief, Development Engineering Division

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 FAX: 410-880-1820 DC/VIA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC
1829 RESTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):

NWR INC.
9720 PATENT WOODS DR.
COLUMBIA, MD 21046
PH: (410) 379-5956
ATN: TIM NAUGHTON

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

WESTSIDE DISTRICT - AREA 5
LOT Nos. 172-206
(SPA RESIDENTIAL USE)
PLAT Nos. 19870, 22044-22051, 22307-22311 & 22826-22829

SCALE: 1" = 20'

ZONING: MXD-3

G. L. W. FILE NO.: 11081

DATE: JUNE 2014

TAX MAP - GRID: 41-21/46-3

SHEET: 2 OF 4

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

B-4.2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

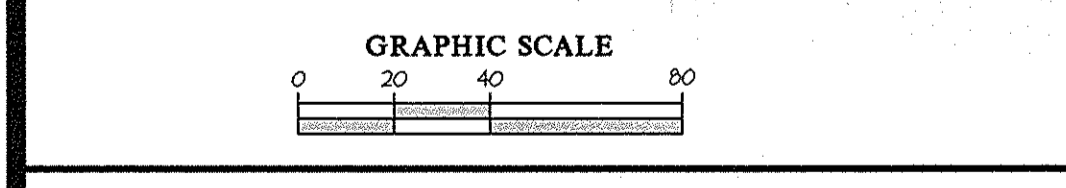
DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

- 1. TEMPORARY STABILIZATION
a. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT...
b. PERMANENT STABILIZATION
a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE...

B. TOPSOILING
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH...

- 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS...
3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE...

- 4. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN...
5. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA...
6. TOPSOIL APPLICATION
a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL...



APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: JUNE 19, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Signature: Andrew J. Leaver, 7-30-14
Signature: Jeff Stelbrink, 7-25-14
Signature: Chad Edmond, 7-24-14

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866

B-4.3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION...

- 1. SPECIFICATIONS
a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW...
b. PERMANENT STABILIZATION
i. MULCH MATERIALS (IN ORDER OF PREFERENCE)
1. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY...

- ii. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE...
iii. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION...

- 2. APPLICATION
a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING...
b. WOOD CELLULOSE FIBER MULCH MAY BE USED FOR ANCHORING STRAW...
c. SYNTHETIC BINDERS SUCH AS ACRYLIC ULR (AGRO-TAC), DCA-70, PEGSOL, TERRA TAC, TERRA MANUFACTURER...
d. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH...

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2016.

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

Signature: [Signature], 7-2-14
Signature: [Signature], 7-2-14

DATE REVISION BY APPR.

B-4.4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS...

TEMPORARY SEEDING SUMMARY table with columns: HARDNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

SEDIMENT CONTROL NOTES
1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION...

Table with columns: TOTALS, LOTS 177-180, LOTS 181-206, TOTAL OF LOTS. Rows include: TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE REVEGETATED OR PAVED, etc.

PERMANENT SEEDING SUMMARY table with columns: HARDNESS ZONE, SEED MIXTURE, APPLICATION RATE, SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE, LIME RATE.

STANDARDS AND SPECIFICATIONS FOR DUST CONTROL
DEFINITION: CONTROLLING THE SUSPENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. PURPOSE: TO PREVENT BLOWING AND MOVEMENT OF DUST FROM EXPOSED SOIL SURFACES...

- 1. MULCHES: SEE SECTION B-4-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS...
2. TILLAGE: TILL TO ROUGHEN SURFACE AND BRING CLOSURE TO THE SURFACE BEING PLOWING ON UNDOING SITE OF SITE...
3. SOIL INSTALLATION
a. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL...

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
Signature: John P. Robertson, 7/15/14

BUILDER'S CERTIFICATE
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERMITTING ON-SITE INSPECTION BY THE HCD.

PREPARED FOR: PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC
BUILDER (CONTRACT PURCHASER): MVR INC.
Signature: [Signature], 7/1/14

B-4.5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

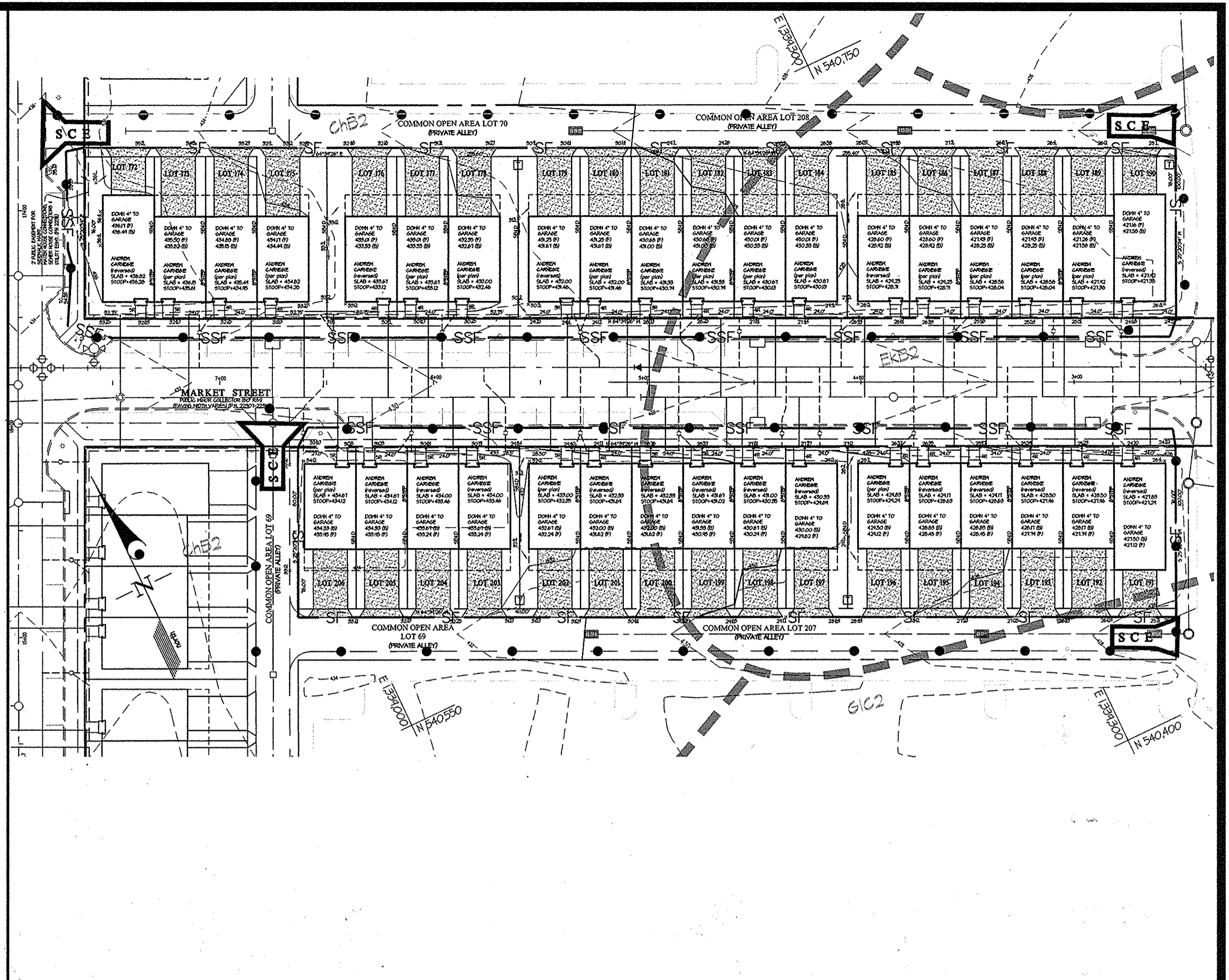
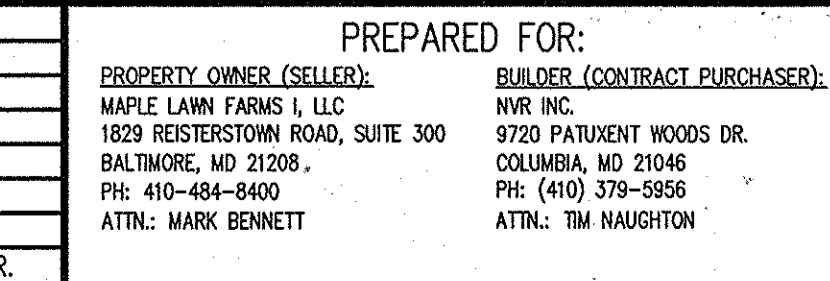
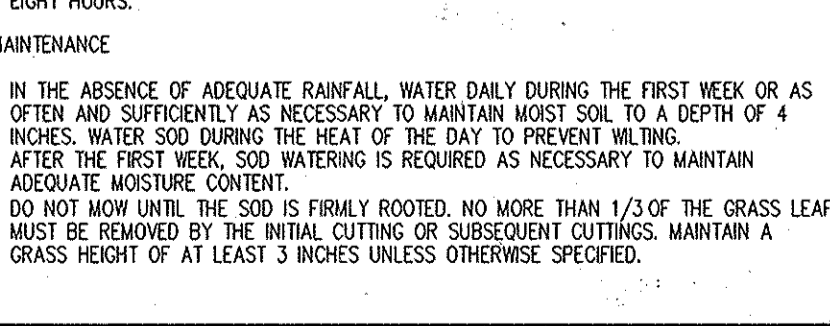
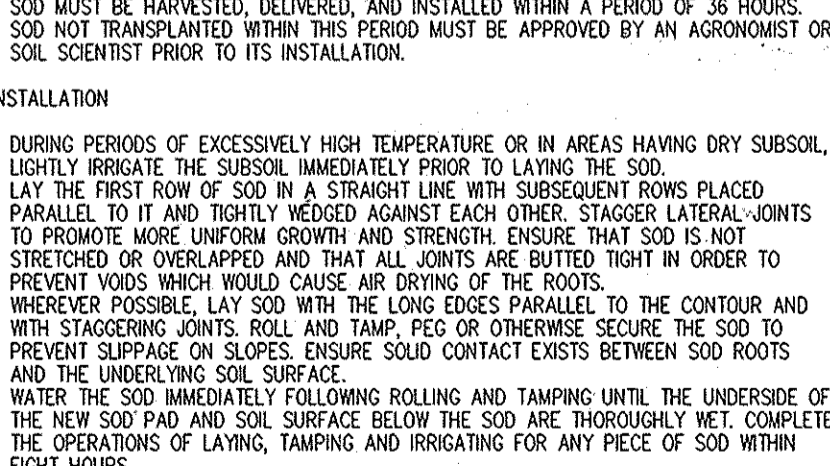
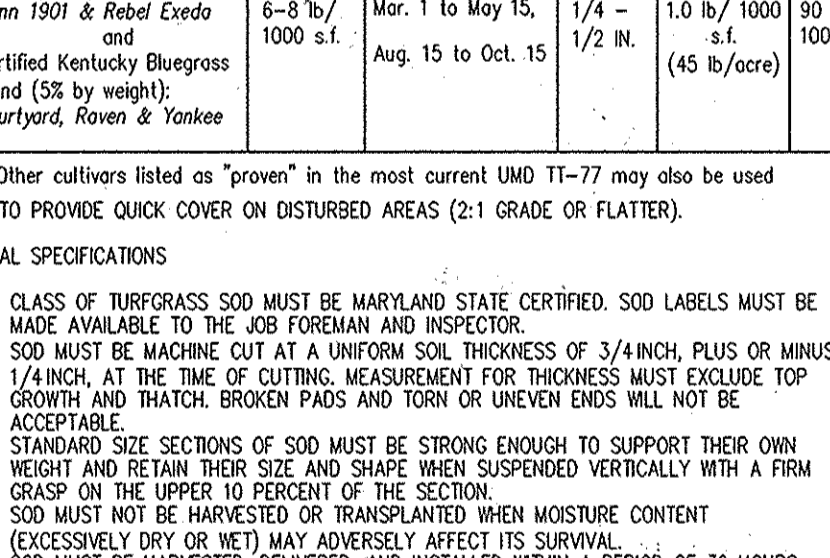
DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS...

- A. SEED MIXTURES
1. GENERAL USE
a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE...
b. ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES...
2. TURFGRASS MIXTURES
a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES...

NOTES:
1. IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES: WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1...
2. CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15...
3. SOUTHERN MD, EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15...

- 4. CONSTRUCTION FEATURES, UTILITY CONDUITS, GARAGES, DRIVEWAYS AND SIDEWALKS: Duration: 3-4 months.
5. AS EACH HOUSE/GARAGE IS COMPLETED, FINAL GRADE THE LOT, INSTALL FENCES AND PLANT MATERIAL AND STABILIZE ALL BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: 2-3 days.
6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE HCD TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day.

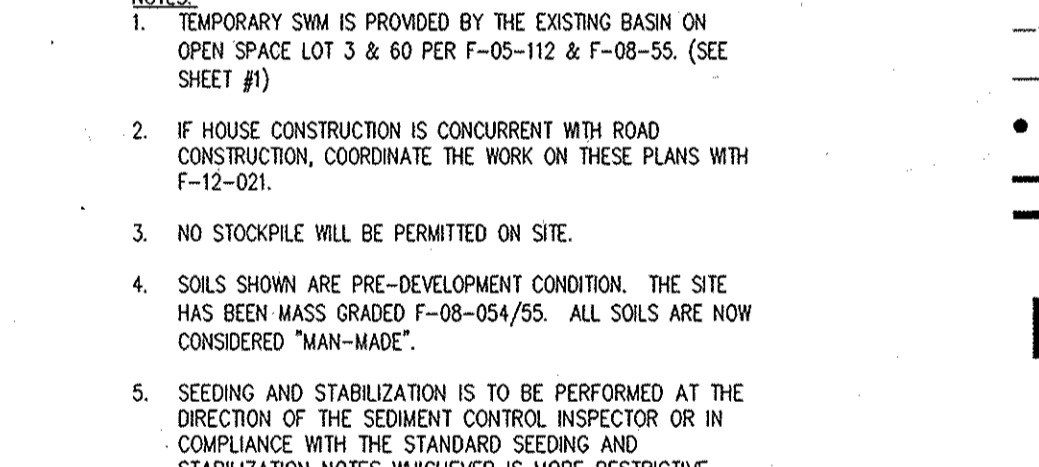
CONSTRUCTION SPECIFICATIONS
1. PLACE STABILIZED CONSTRUCTION ENTRANCES IN ACCORDANCE WITH THE APPROVED PLAN...
2. THE ALL SURFACE WATER FLOWING TO OR DRAINING TOWARD THE SOIL UNDER THE ENTRANCE...
3. PREPARE ENTRANCES AND PLACE ENTRANCE MATS AS SHOWN IN SECTION 3.01 MATERIALS...
4. WIDE OPEN ENDS OF THE SUPPLY AND DRAINAGE ENDS SHALL BE OVERLAPPED BY A BORDER...
5. DETAIL THE ENDS OF THE SUPPLY AND DRAINAGE ENDS WITH A MINIMUM OF 1/2 INCH OF OVERLAP...
6. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...
7. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...
8. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...



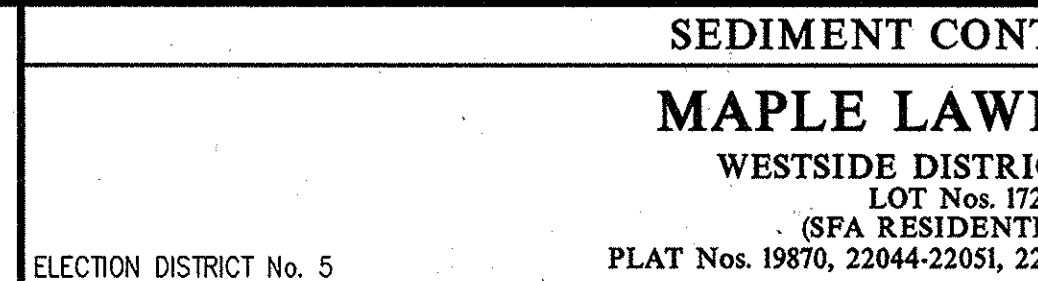
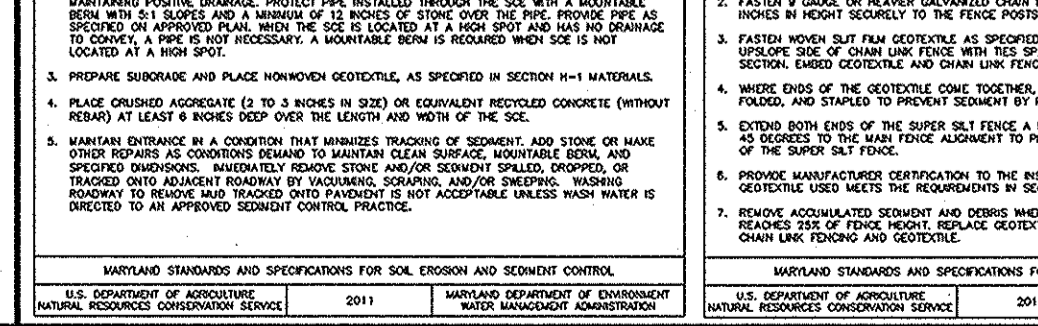
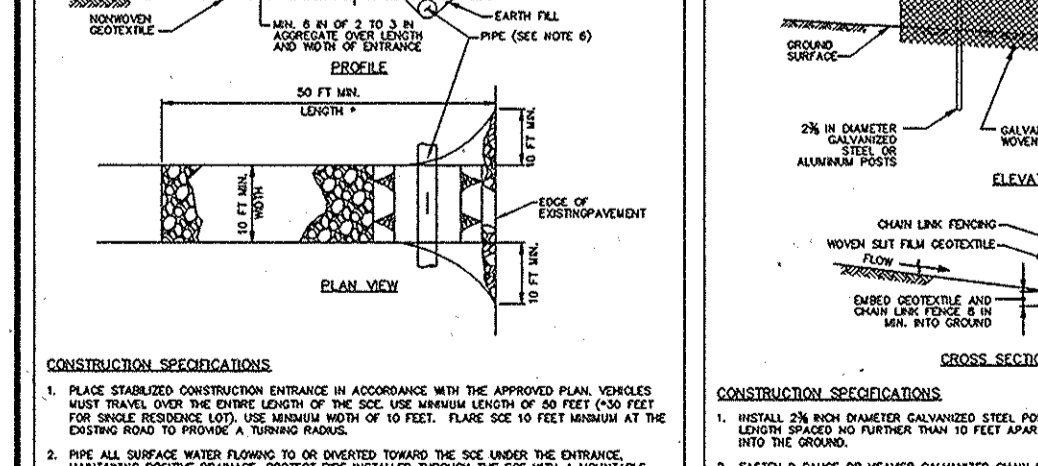
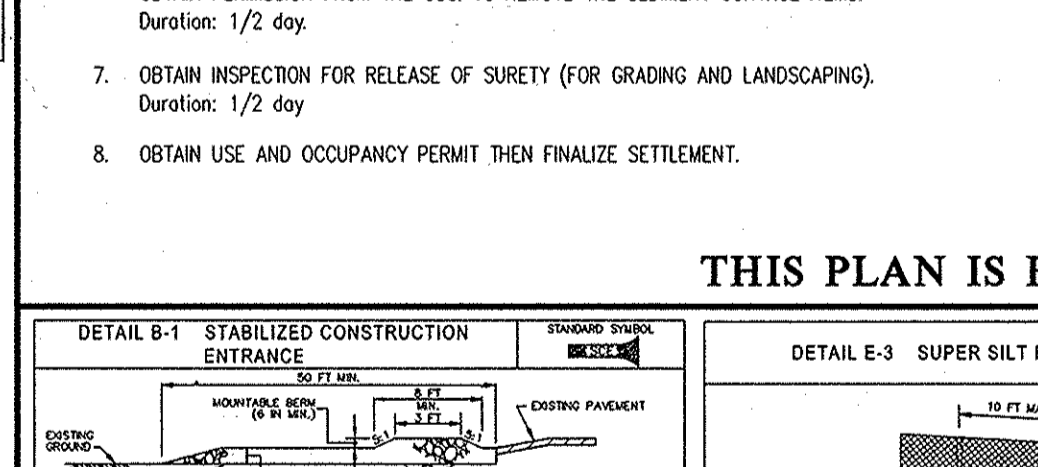
SEQUENCE OF CONSTRUCTION

- 1. APPLY FOR GRADING PERMIT AND SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE COUNTY SEDIMENT CONTROL INSPECTOR...
2. INSTALL STABILIZED CONSTRUCTION ENTRANCES (SCE), SILT FENCES (SF), SUPER SILT FENCES (SSF) AND ANY ADDITIONAL SEDIMENT CONTROL MEASURES AS DIRECTED BY THE HCD...
3. GRADE SITE FOR HOUSE CONSTRUCTION. PROVIDE DUST CONTROL AS NECESSARY. Duration: 2 days.
4. CONSTRUCT HOUSES, UTILITY CONDUITS, GARAGES, DRIVEWAYS AND SIDEWALKS. Duration: 3-4 months.
5. AS EACH HOUSE/GARAGE IS COMPLETED, FINAL GRADE THE LOT, INSTALL FENCES AND PLANT MATERIAL AND STABILIZE ALL BARE DIRT AREA WITH PERMANENT SEEDING OR WITH SOD. Duration: 2-3 days.
6. ONCE AREA DRAINING TO SEDIMENT CONTROL MEASURES HAVE BEEN STABILIZED, OBTAIN PERMISSION FROM THE HCD TO REMOVE THE SEDIMENT CONTROL ITEMS. Duration: 1/2 day.
7. OBTAIN INSPECTION FOR RELEASE OF SURETY (FOR GRADING AND LANDSCAPING). Duration: 1/2 day.
8. OBTAIN USE AND OCCUPANCY PERMIT THEN FINALIZE SETTLEMENT.

SEDIMENT CONTROL LEGEND

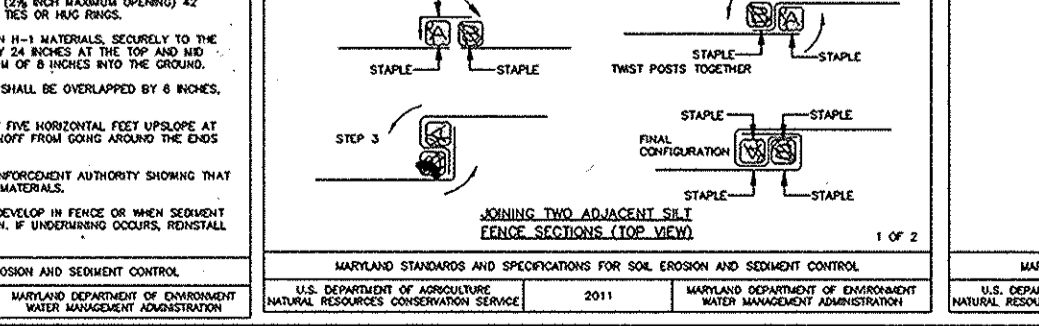
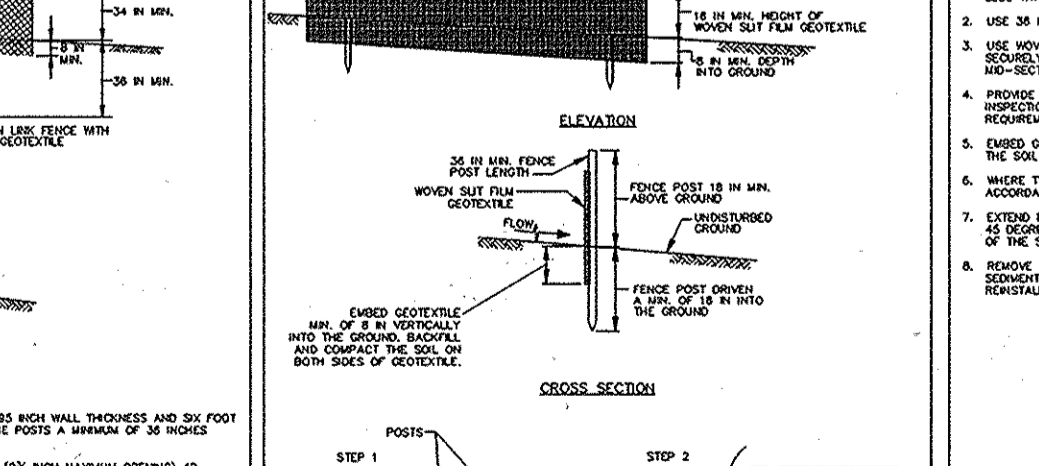


THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

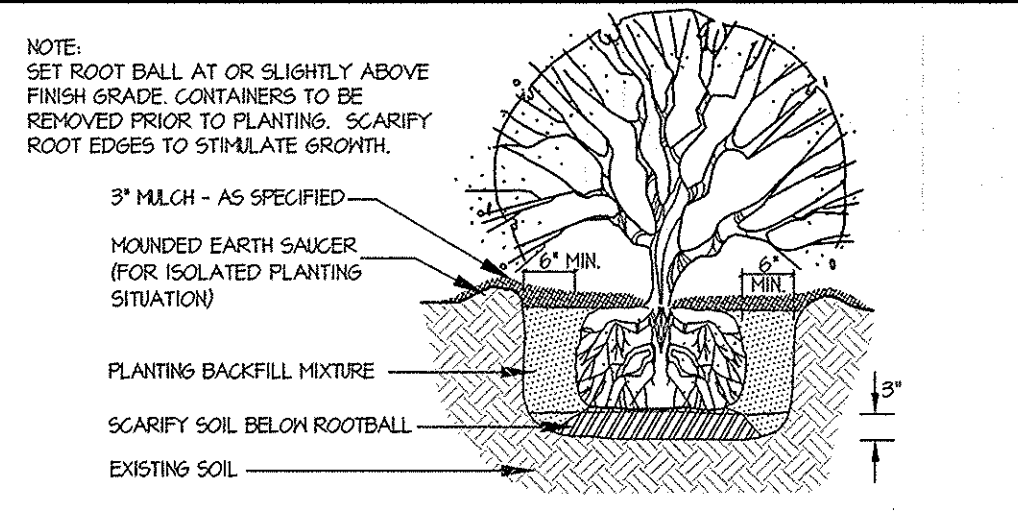


CONSTRUCTION SPECIFICATIONS

- 1. INSTALL 24 INCH DIAMETER GALVANIZED STEEL PILES OF 1/2 INCH WALL THICKNESS AND 30 FT LONG...
2. THE ALL SURFACE WATER FLOWING TO OR DRAINING TOWARD THE SOIL UNDER THE ENTRANCE...
3. PREPARE ENTRANCES AND PLACE ENTRANCE MATS AS SHOWN IN SECTION 3.01 MATERIALS...
4. WIDE OPEN ENDS OF THE SUPPLY AND DRAINAGE ENDS SHALL BE OVERLAPPED BY A BORDER...
5. DETAIL THE ENDS OF THE SUPPLY AND DRAINAGE ENDS WITH A MINIMUM OF 1/2 INCH OF OVERLAP...
6. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...
7. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...
8. REMOVE UNNECESSARY MATERIALS FROM THE ENTRANCE/DRAINAGE ADJACENT TO THE ENTRANCE...



SEDIMENT CONTROL PLAN
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 5
(SFA PLAT 122-206) (USE)
PLAT Nos. 19870, 22044-22051, 22307-22311 & 22826-22829
SCALE: 1" = 40'
ZONING: MXD-3
G. L. W. FILE No. 11081
DATE: JUNE 2014
TAX MAP - GRID: 41-21-46-3
SHEET: 3 OF 4

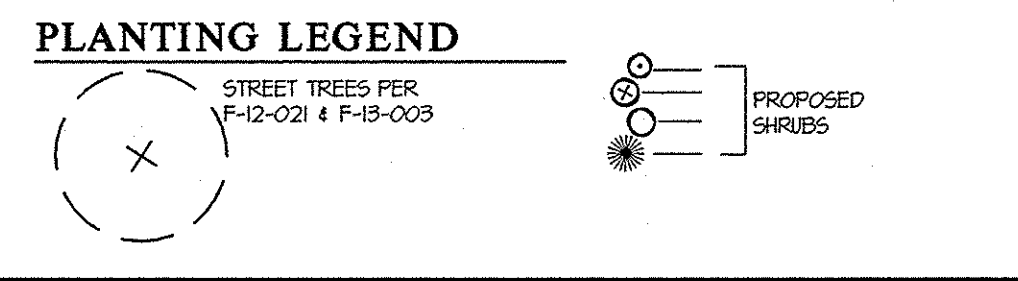
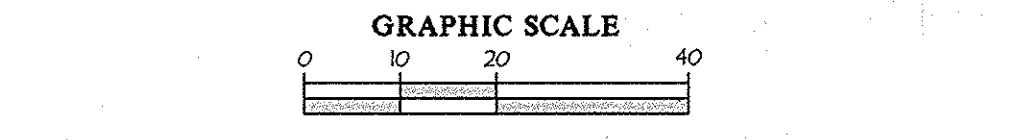
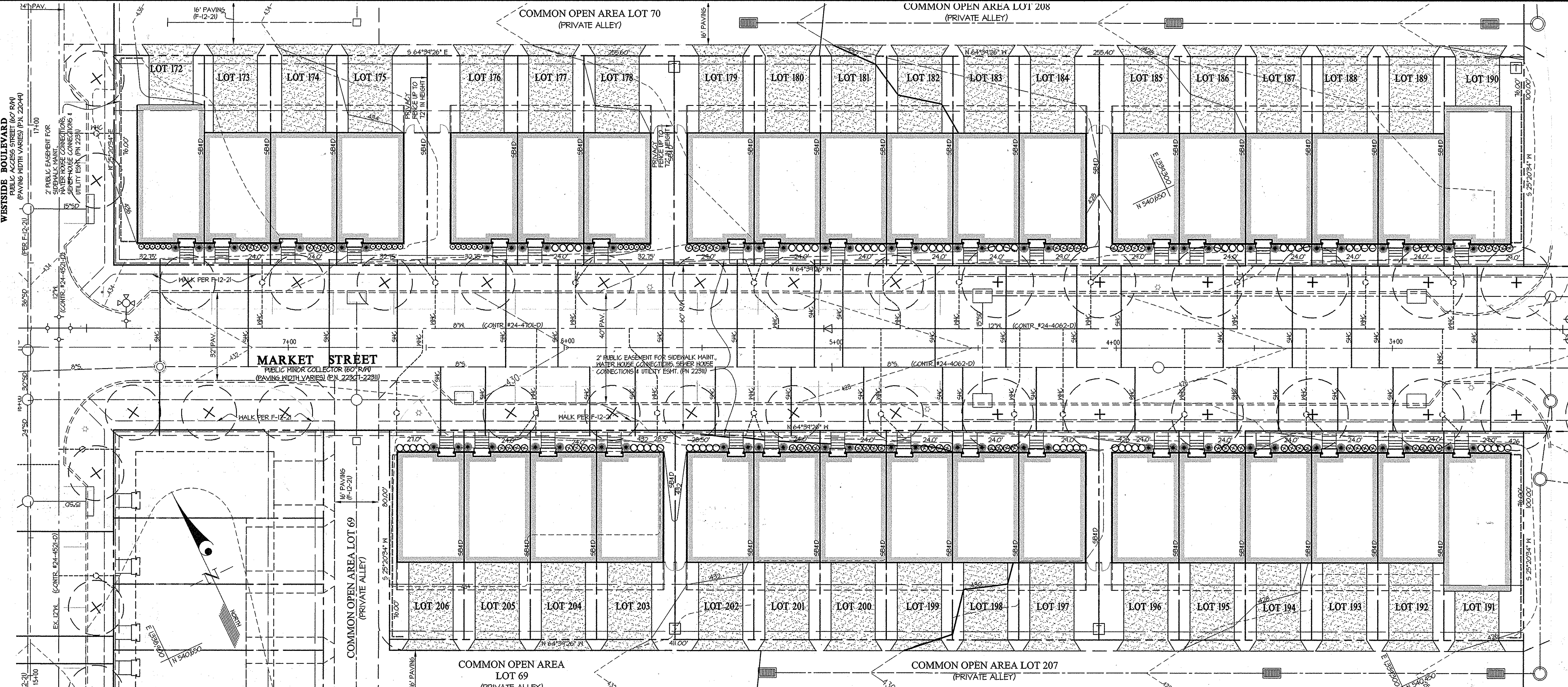


SHRUB PLANTING DETAIL NO SCALE

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.12.4 OF THE HOWARD COUNTY CODE 4 CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PB CASE NO. 378.
 - CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. 1 SHALL APPLY.
 - FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGERS OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
 - PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL-FORMED, SYMMETRICAL, AND CONFORM TO THE AAS, SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
 - NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
 - ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOLOD OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 3).
 - THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
 - ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
 - DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
 - "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 6,840.00 FOR THE LOTS PER THIS SCHEDULE AS FOLLOWS:
228 SHRUBS AT \$30/SHRUB = \$ 6,840.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-315-2350. SEE THE CHART ON THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.

- NOTES:**
- AT THE TIME OF PLANT INSTALLATION ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL CONFORM WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL. IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
 - THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.



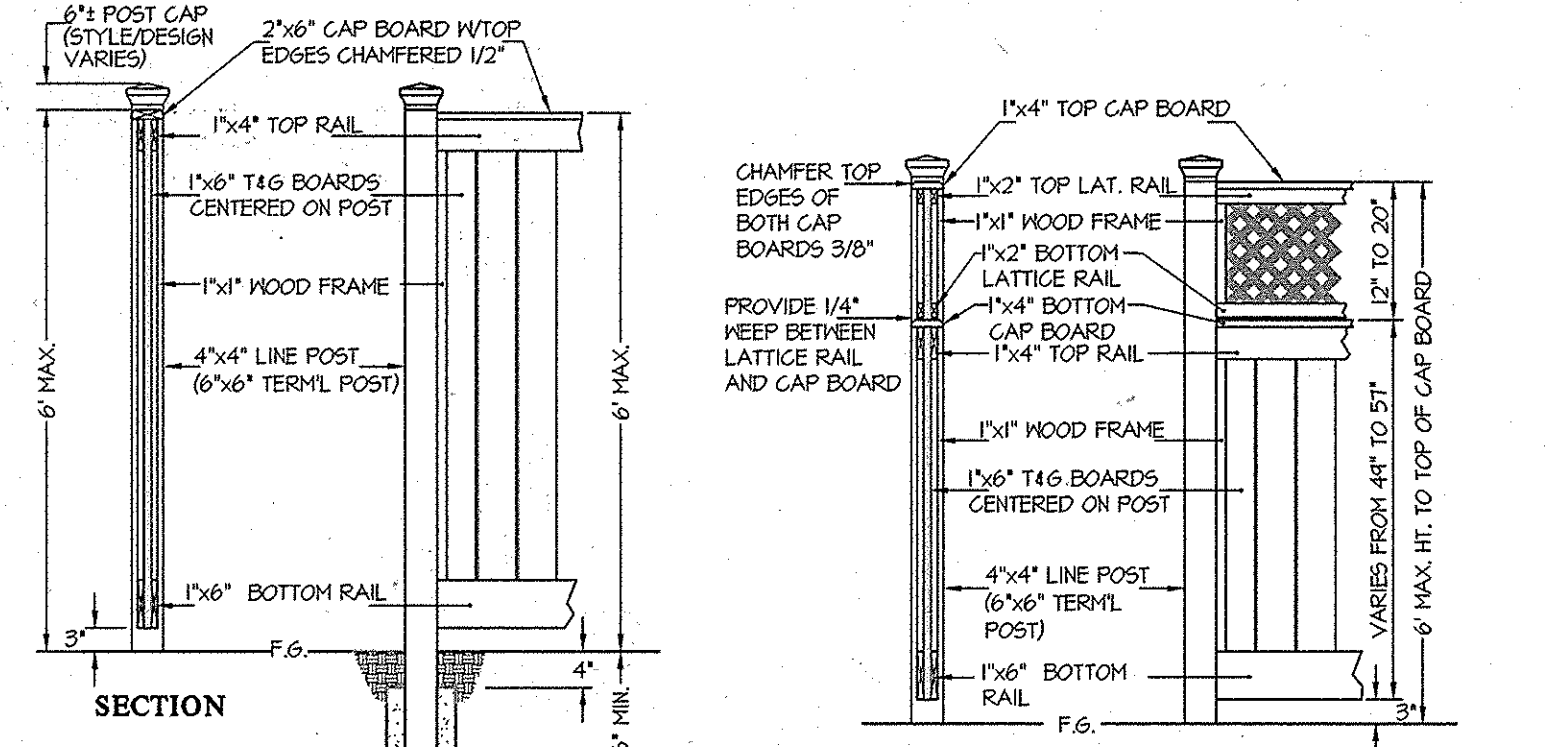
DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.12.4 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE MFLP LANDSCAPE DESIGN CRITERIA. I FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

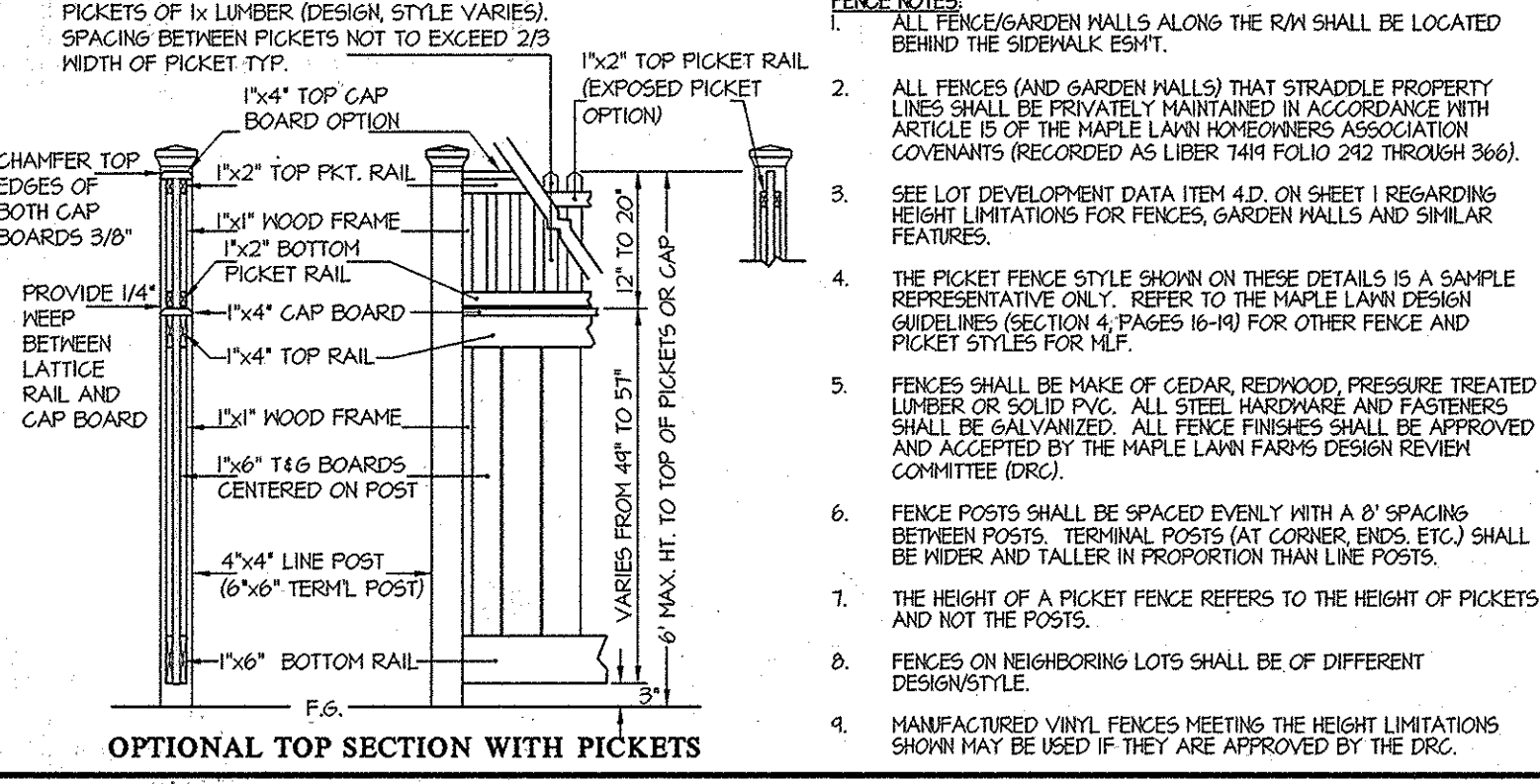
NAME: *[Signature]* DATE: 7/1/14

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: JUNE 19, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
[Signature] 7-30-14
[Signature] 7-29-14
[Signature] 7-24-14



OPTIONAL TOP SECTION WITH LATTICE



OPTIONAL TOP SECTION WITH PICKETS

PRIVACY FENCE DETAILS NO SCALE

RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

LOT No.	REQUIRED PLANTINGS: SHRUBS IN FRONT YARD AT 1/4 OF LOT WIDTH AT SBL (SHADE TREES ARE NOT REQUIRED).		REQUIRED PLANTINGS: ON SIDE OF SFA BUILDINGS ORIENTED TO PUBLIC ROADWAYS, PROVIDE 1/4 OF SIDE BLDG. LENGTH		PLANTINGS PROVIDED	COMMENTS
	LOT WIDTH	SHRUBS REQUIRED	SHRUBS REQUIRED	SHRUBS REQUIRED		
172	32.75'	8	N/A	N/A	8	
173	24.0'	6	N/A	N/A	6	
174	24.0'	6	N/A	N/A	6	
175	32.75'	8	N/A	N/A	8	
176	32.75'	8	N/A	N/A	8	
177	24.0'	6	N/A	N/A	6	
178	32.75'	8	N/A	N/A	8	
179	24.0'	6	N/A	N/A	6	
180	24.0'	6	N/A	N/A	6	
181	24.0'	6	N/A	N/A	6	
182	24.0'	6	N/A	N/A	6	
183	24.0'	6	N/A	N/A	6	
184	24.0'	6	N/A	N/A	6	
185	24.0'	6	N/A	N/A	6	
186	24.0'	6	N/A	N/A	6	
187	24.0'	6	N/A	N/A	6	
188	24.0'	6	N/A	N/A	6	
189	24.0'	6	N/A	N/A	6	
190	24.0'	6	N/A	N/A	6	
191	24.0'	6	N/A	N/A	6	
192	24.0'	6	N/A	N/A	6	
193	24.0'	6	N/A	N/A	6	
194	24.0'	6	N/A	N/A	6	
195	24.0'	6	N/A	N/A	6	
196	24.0'	6	N/A	N/A	6	
197	24.0'	6	N/A	N/A	6	
198	24.0'	6	N/A	N/A	6	
199	24.0'	6	N/A	N/A	6	
200	24.0'	6	N/A	N/A	6	
201	24.0'	6	N/A	N/A	6	
202	24.0'	6	N/A	N/A	6	
203	24.0'	6	N/A	N/A	6	
204	24.0'	6	N/A	N/A	6	
205	24.0'	6	N/A	N/A	6	
206	24.0'	6	N/A	N/A	6	
TOTAL		228			\$ 6,840.00	

LANDSCAPE SURETY PER LOT

LOT No.	LANDSCAPE SURETY PER LOT	
	PLANT QUANTITY	SURETY AMOUNT
172	8	\$ 240.00
173	6	\$ 180.00
174	6	\$ 180.00
175	8	\$ 240.00
176	8	\$ 240.00
177	6	\$ 180.00
178	8	\$ 240.00
179	6	\$ 180.00
180	6	\$ 180.00
181	6	\$ 180.00
182	6	\$ 180.00
183	6	\$ 180.00
184	6	\$ 180.00
185	6	\$ 180.00
186	6	\$ 180.00
187	6	\$ 180.00
188	6	\$ 180.00
189	6	\$ 180.00
190	6	\$ 180.00
191	6	\$ 180.00
192	6	\$ 180.00
193	6	\$ 180.00
194	6	\$ 180.00
195	6	\$ 180.00
196	6	\$ 180.00
197	6	\$ 180.00
198	6	\$ 180.00
199	6	\$ 180.00
200	6	\$ 180.00
201	6	\$ 180.00
202	6	\$ 180.00
203	6	\$ 180.00
204	6	\$ 180.00
205	6	\$ 180.00
206	6	\$ 180.00
TOTAL	228	\$ 6,840.00

PLANT LIST

SYMBOL	QUANT.	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	SIZE	COMMENTS
○	24	AZALEA VAR. 'GUMPO PINK', 'GUMPO WHITE', 'KASHPO', COTONEASTER DAMMERII 'CORAL BEAUTY', CORAL BEAUTY COTONEASTER, COTONEASTER HORIZONTALIS 'TOM THUMB', TOM THUMB COTONEASTER, JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BARK HARBOR', 'ANDORRA', 'MILTON BLUE RISE', JUNIPERUS PROCUMBENS 'NANA', 'DWARF JAPANESE GARDEN JUNIPER	ALL 18" - 24" SPREAD	ALL CONTAINERIZED
○	68	AZALEA VAR. 'DELANARE VALLEY WHITE', 'HERSEY RED', 'HINO CRIMSON', DEUTZIA GRACILIS / SLENDER DEUTZIA, ILEX CRENATA 'HELIX', 'DWARF JAPANESE HOLLY', ILEX GLABRA 'COMPACTA', 'DWARF INK-BERRY', MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY, SPIREA NIPPONICA 'SNOWMOUND', 'SNOWMOUND SPIREA	ALL 24" - 30" SPREAD 4 2.5' - 3' HT.	ALL CONTAINERIZED
○	66	BIGNONIAS KLUITSCHOVICHII 'MANHATTAN', MANHATTAN BIGNONIAS, MAHONIA BEALEI / LEATHERLEAF MAHONIA, OSMANTHUS HETEROPHYLLUS 'SULFURIDE', 'SHEET HOLLY', RHODODENDRON HYBRID VAR. (CAT. ALBA, CAT. GRANDIFLORA, ENGLISH ROSEUM, ROSEUM ELEGANS), RHODODENDRON FLAMM. P.M. RHODODENDRON, TAXUS CUSPIDATA 'NANA', 'DWARF JAPANESE YEM', VIBURNUM CAULESIS / KOREAN SPICE VIBURNUM, BUNUS SERRIFOLIENSIS / BOKHWOOD	ALL 24" - 30" SPREAD 4 2.5' - 3' HT.	ALL CONTAINERIZED
○	70	ILEX VERTICILLATA VAR. / WINTERBERRY HOLLY VAR. ('CARDINAL', 'LIM DANDY', 'RED SPRITE', 'WINTER RED', 'SPARKLEBERRY'), JUNIPERUS CHINENSIS 'BLUE POINT', 'BLUE POINT JUNIPER', TAXUS MEDIA 'MEXASIS', 'HICKS YEM', THUJA OCCIDENTALIS 'EMERALD GREEN', 'EMERALD GREEN ARBORVITAE	ALL 3" - 4" HT.	ALL CONTAINERIZED

STATE OF MARYLAND
Michael E. Tran
7/2/14

THIS PLAN IS FOR PLANTING PURPOSES ONLY

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

PREPARED FOR:
PROPERTY OWNER (SELLER):
MAPLE LAWN FARMS I, LLC
1829 REISTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-464-8400
ATR: MARK BENNETT

BUILDER (CONTRACT PURCHASER):
NVR INC.
9720 PARADISE WOODS DR.
COLUMBIA, MD 21046
PH: (410) 378-5555
ATR: TIM NAUGHTON

LANDSCAPE PLAN
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 5
(SFA RESIDENTIAL USE)
PLAT Nos. 19870, 22044-22051, 22307-22311 & 22826-22829

SCALE	ZONING	G. L. W. FILE No.
1" = 20'	MXD-3	11081
DATE	TAX MAP - GRID	SHEET
JUNE 2014	41-21/46-3	4 OF 4