	THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DI	IVISION AT (410) 515-1000 AT LEAST	
	FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT I-800-257-7777 AT LEAST 48-HOURS PR	IOR TO ANY EXCAVATION WORK.	
	PROJECT BACKGROUND:		
	LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET TAX MAP: 41 ELECTION DISTRICT: 5		
	ZONING: MXD-3 PER ZB-995M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AREA OF BUILDABLE LOTS (Nos. 172-206) FOR THIS SITE DEVELOPMENT PLAN: 1.61± ACRE	5.	
	FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING PB-378, WP-01-III, WP-03-02, WP-05-12, WP-07-122, WP-08-04, P-02-12, P-07-18, F-08-54, SDP-08-114, SDP-09-60, SDP-10-02, SDP-07-43, F-08-105, F-09-16, F-09-97, P-II-001, F-12	F-08-55, F-10-06, F-10-79, F-11-47, SDP-06-67, SDP-08-56, SDP-08-58,	1
	TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE	LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL	
	DEVICES (MUTC). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE F ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISK		
	PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED. EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161, F-08-012 & G.L.W. SURVE	Y DONE IN MAY/2009.	·
	COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY STORMWATER MANAGEMENT, FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PRO		
	SATISFIED BY EXISTING REGIONAL FACILITY CONSTRUCTED ON OPEN SPACE LOT 3 IN THE WE LOT 3 IS PUBLICLY OWNED AND MAINTAINED. THE RECHARGE OBLIGATIONS FOR THESE LOTS	STSIDE DISTRICT UNDER F-08-55. THE EXISTING FACILITY ON OPEN SPACE	
	LOT 68 IN THE WESTSIDE DISTRICT-AREA 2 AND CONSTRUCTED UNDER F-12-02I. PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY W&S CONTRACT #24-452I-	D, #24-4602-D & #24-4701-D) AND THE WATER METERS IN OUTSIDE VAULTS.	
	THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY TH		
	ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. BY A HOMEOWNER ASSOCIATION.	ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED	
	ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE	CORRECTED AT THE CONTRACTOR'S EXPENSE.	Ĩ
	THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON ELSEWHERE WITHIN THE HILLSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOO		
	THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COU THE FOREST CONSERVATION OBLIGATIONS WERE ADDRESSED UNDER F-08-054.	NTY CODE FOR FOREST CONSERVATION.	
	FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET 4 TO SATISFY S- HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE		
	FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET 4 AND THE GRADING	PERMIT CHART ON SHEET I.	
	DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FO ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS: A. WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE)		^ .
	 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2"MIN. C. GEOMETRY - MAX. 14% GRADE, MAX. 10% GRADE CHANGE AND MIN. 45' TURNING RADIUS. 		ľ
	 D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LO. E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING IOO-YR. FLOOD WITH NO MORE T F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE. 		
	PUBLIC REFUSE PICKUP IS PROVIDED IN THE ALLEY FOR LOTS 172-206.		
	BAY WINDOWS, WINDOW WELLS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIC NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.		
	AS A CONSEQUENCE OF THE SKETCH PLAN, S-OI-17 APPROVAL PRIOR TO 11-15-01, THIS PROJE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.	ECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE	
	SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERM SECTION 133.D.2.0 OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CR		
	CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS THE ON-STREET PARKING AREA WILL NOT BE STRIPED. THE ALLEYS ARE OWNED BY THE HOA	OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING.	
	"RIGHT-OF-WAY" THAT'S IN THE COVENANT FOUND AT L. 8259 F. 30543 NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SI		
	OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN. MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD R PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED		
	PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-99		
	CASE NO. 378 AND 9-06-16. BUILDABLE LOTS 172-206 SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO TI		
	A DEPUTY AND THE REAL AND CENTER HOUSE CONFECTION	HE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK	
		HE PUBLIC ROAD RIGHT OF WAY, FOR THE PURPOSES OF SIDEWALK APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANIAL AND	
	MAINTENANCE, WATER HOUSE CONNECTION AND SEWER HOUSE CONNECTION. BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE ADOPTED POLICIES.		
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	BECAUSE THESE MAY BE MODIFICATIONS TO LANDSCAPE INSPECTION, PLANT SUBSTITUTIONS CANNOT INCLIDE ADOPTED POLICIES. TDEVELOPMENT DATA ADOPTED POLICIES. APREAL SITE AWALYSIS DATA A. PRESENT ZONING: MOD-3 FER ZB-945M B. PROPOSED USE OF SITE. 35 SFA RESIDENTIAL DIRELLINGS. C. PROLICIES. MOD-3 FER ZB-945M B. PROPOSED USE OF SITE. 35 SFA RESIDENTIAL DIRELLINGS. C. PROLICIENT TO GARAGE SPACES (ALL DOTS HAVE AT LEAST A 2-CAR GAR. E. RECREATION OPEN SPACE FOR THIS SUBMISSION. 100712± SF OR LIGHT AC. A. AREA OF DISTURBANCE BY THIS SUBMISSION. 100712± SF OR LIGHT AC. B. AREA OF DISTURBANCE BY THIS SUD. 14± ACRES COT DESIGNATION. IMA N/A LOT TYPE LOT NUMBERS MINIMAL LOT SIZE MIN. LI TOWNHOME 112-206 N/A N/A TOWNHOME 112-206 N/A N/A TOWNHOME 112-206 N/A N/A INVELOVE 0 NONE 20' TO PRINCIPAL STRUCTURE. 3' FOR F A BERVERN SFE BACKS PER F-14-064 AND PLAT MOS. 22026-22024 LOT TYPE FRONT SETBACK LOT TYPE FRONT SETBACK SIDE SETBACK MINIMA REAR SETBACKS	APROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNT SPECIES PROHIBITED BY THE HOWARD CONTY LANDSCAPE MANUAL AND AGE, SEE NOTE 21 ABOVE REGARDING PARKING). LL OPEN SPACE PROVISION CHART ON THIS SHEET). DT MIDTH AT FRONT BRL MAX. BUILDING HT. 50 FEET (MEAN HT)	

add\drawncs\d3067\11081 (h1r)\plans by QLW\sdp (area 5)\11081_01_cs (area 5).drg	DES. mbt	DRN. klp	CHK. mbt	DATE

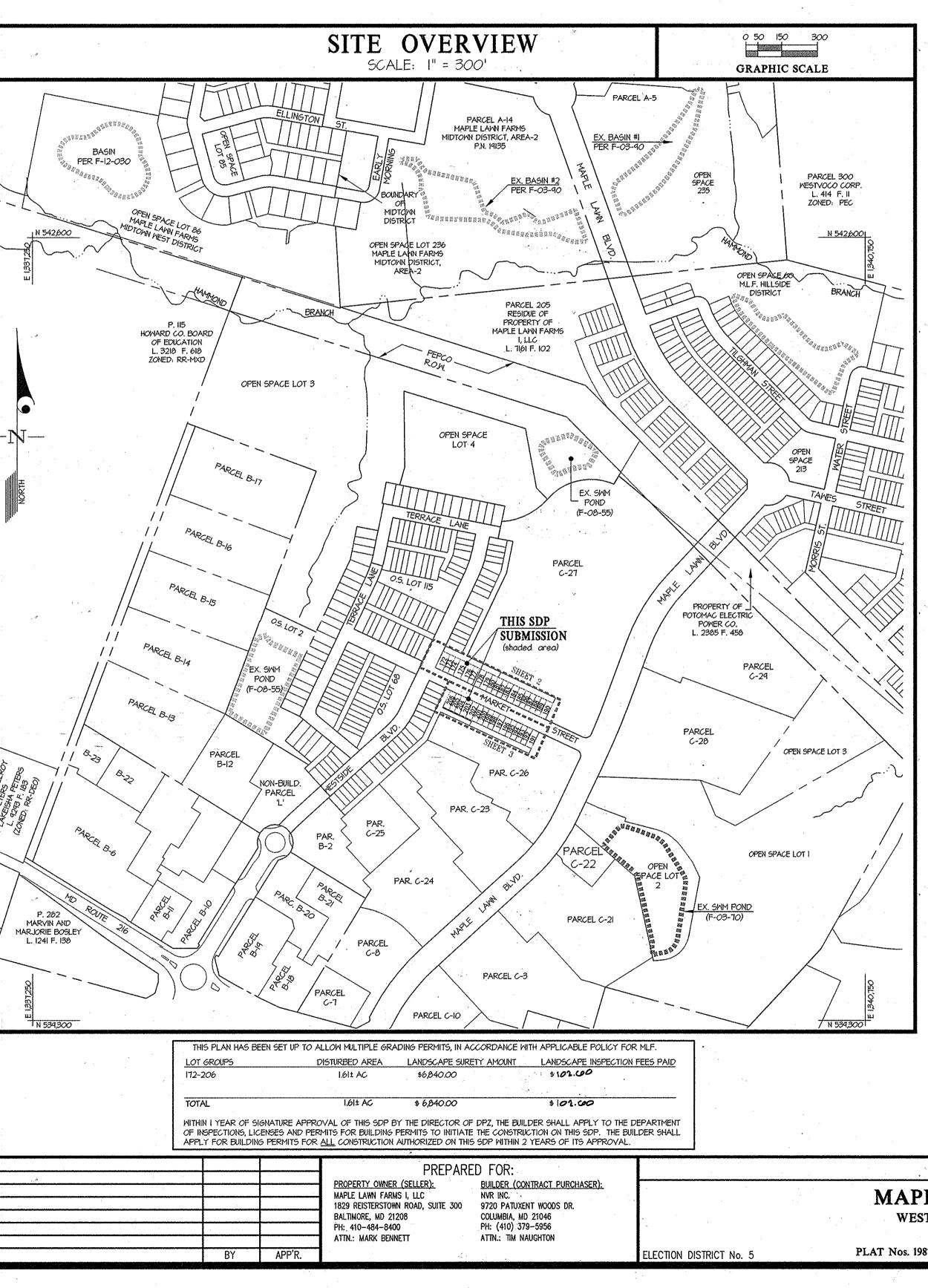
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK

BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

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MAPLE LAWN FARMS SITE DEVELOPMENT PLAN WESTSIDE DISTRICT - AREA 5 LOT Nos. 172-206 FIFTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND



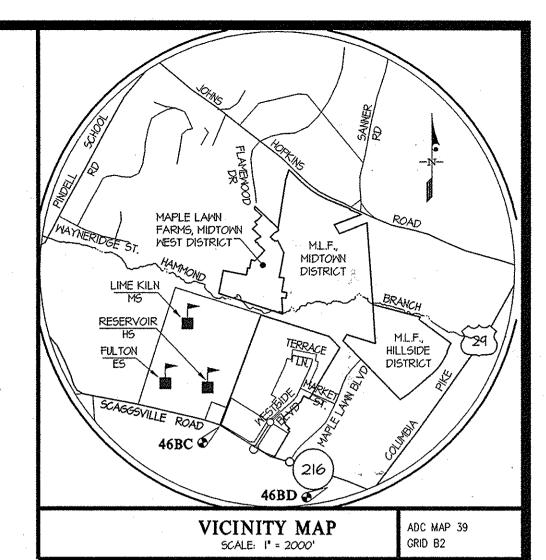
HOWARD COUNTY CONTROL NAD83 HORIZONTAL DATA &

NVD88 VERTICAL DATA

46BC ELEV. = 472.16 N = 539,925.13 E=1,337,205.77 STANDARD DISC ON CONCRETE MONUMENT

46BD ELEV. = 431.17 N = 538,656.76 E=1,334,461.55

STANDARD DISC ON CONCRETE MONUMENT



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OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS							
PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACREAGE	REQUIRED OPEN SPACE (35% OF GROSS AC.)	OPEN SPACE PROVIDED IN AC. (%) *	REQUIRED ACTIVE OPEN SPACE IN AC.**	ACTIVE RECREATION O.S. PROVIDED IN AC. (%) ***	
I (BUSINESS DISTRICT, AREA-I)	F-03-07	51.98	18.19	21.15 (40.7)	1.82		
2 (MIDTOWN DISTRICT, AREA-I)	F-03-90	37.43	13.10	15.75 (42.1)	1.31	7.52 (47.7)①	
3 (MIDTOWN DISTRICT, AREA-2)	F-04-92	58.80	20.58	22.85 (38.9)	2.06	·····	
4a (HILLSIDE DISTRICT, AREA-I)	F-05-81	15.47	5.41	6.70 (43.3)	0.54	0.29 (4.3) ② ;	
46 (MIDTOWN DISTRICT, AREA-3)	F-05-139	3.12	1.09	1.23 (39.4)	0.11		
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-112/113	3.00	1.05	0.00	0.11		
50 (HILLSIDE DISTRICT, AREA-I)	F-06-43	0.00	0.00	0.00	0.00		
50 (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	11.64	18.50 (55.6)	1.16	1.61 (8.7) ③	
6a (HILLSIDE DISTRICT, AREA-4)	F-08-072	15.05	5.27	5.50 (36.5)	0.53		
N/A	F-07-183	3.05	1.07	0.00	0.10		
66 (WESTSIDE DISTRICT)	F-08-54/F-08-55	90.60	31.71	26.65 (29.4)	3.17	4.76 (17.9) ④	
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	5.81	0.94 (5.7)	0.58		
8a (HILLSIDE DISTRICT, AREA-5)	F-11-27	0.00	0.00	0.20 (0.0)	0.00	······································	
86 (WESTSIDE DISTRICT, AREA-2)	F-12-21	0.00	0.00	0.67 (0.0)	0.00	0.67 (100) (5)	
8c (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.58	0.09 (5.5)	0.06	****	
80 (MIDTOWN WEST DISTRICT)	F-12-29	30.22	10.58	13.59 (45.0)	1.06	1.29 (9.5) 6	
N/A	F-12-15	9.37	3.28	0.00 (0.0)	0.33	0.00 (0.0)	
9b (WESTSIDE DISTRICT, AREA-3)	F-13-03	0.00	0.00	0.69 (0.0)	0.00	0.69 (100) ①	
9c (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	· 11.93	13.59 (39.9)	1.19	5.05 (37.2) 🛞 👘	
9c (GARDEN DISTRICT, PARCEL W)	F-13-08	75.79	26.53	0.00 (0.0)	2.65	0.00 (0.0)	
n/a (BUSINESS DISTRICT, AREA 2)	F-12-86	15.46	5.41	3.74 (24.2)	0.54	Ó.00 (0.0)	
100 (WESTSIDE DISTRICT, AREA 4)	F-14-15	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)	
10c (GARDEN DISTRICT, AREA I)	F-14-33	0.00	0.00	23.86 (0.0)	0.00	9.55 (40.0) ④	
IIC (GARDEN DISTRICT, AREA 2)	P-14-01	0.00	0.00	5.02 (0.0)	0.00	0.00 (0.0)	
IIb (WESTSIDE DISTRICT, AREA 5)	F-14-69	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)	
TOTAL		494.93	173.23	180.72 (36.5)	17.32	31.43 (17.4)	

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACREAGE.

** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.

*** THE PERCENTAGE OF ACTIVE RECREATION 0.5. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACREAGE).

1.52 AC. = COMMUNITY CENTER (0.5. 125 - 5.01 AC.), 0.5. 126 (0.55 AC.) AND 0.5. 123 (1.96 AC.)

Ø 0.29 AC. = PATHWAYS
 I.61 AC. = 0.5. LOT 213 (1.00 Ac.) and 0.5. LOT 214 (0.61 Ac.)

(4) 4.76 AC. = 0.5. LOT 4 (4.76 Ac.)

(5) 0.67 ACRES = 0.5. Lot 68 (0.67 Ac.)

(6) 1.29 ACRES = 0.5. Lot 85 (0.63 Ac.) and 0.5. Lot 84 (0.66 Ac.)

(1) 0.69 ACRES = 0.5. 115 (0.69 Ac.)

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() 0.04 ACRES = 0.5. 115 (0.04 AC.)

(6) 5.05 AREAS = 0.5. 179 (0.73 Ac.), 0.5. 180 (0.74 ac.), 0.5. 182 (3.58)

(9) 9.55 AREAS = 0.5. 99 (0.90 Ac.), 0.5. 101 (1.75 ac.), 0.5. 104 (2.85) and 0.5. 107 (2.44 Ac.)

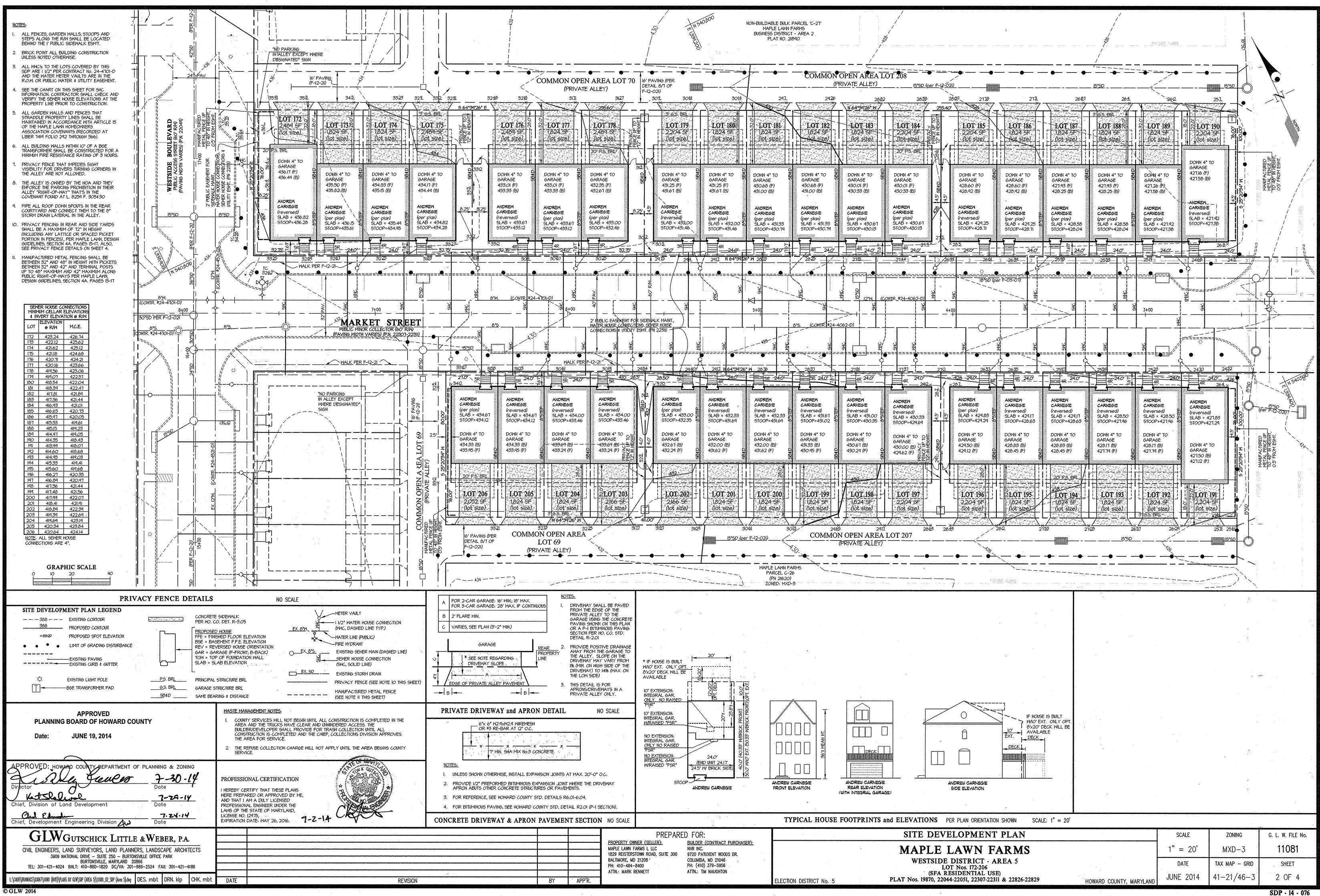
OPEN SPACE LOTS 126 AND 123 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE

ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

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SHEET INDEX		1		ADDRESS	CHAR	T	
I. COVER SHEET 2. SITE DEVELOPMENT PLAN	LOT No.	STREET ADDR	ESS		LOT No.	STREET ADDRESS	
3. SEDIMENT CONTROL PLAN	172	11305 MARKE	ET STREET		191	11348 MARKET	TREET
4. LANDSCAPE PLAN	173	11307			192	11346	
	174	11309			193	11344 *	νών»,
	175	11311		,u	194	11342	
	176	11315			195	11340	
	771	11317			196	11338	
	178	11319			197	11334	
	179	11323			198	11332	
	180	11325			199	11330	
	181	11327			200	11328	
·	182 .	11329			201	11326	
	183	11331			202	11324	
	184	11333			203	11320	
	185	11337			204	11318	
•	186	11339			205	11316	
· · · · · · · · · · · · · · · · · · ·	187	11341			206	11314	5.
X.	188	11343					
	189	11345					
	190	11347	Ť.		-		· · · · · · · · · · · · · · · · · · ·
•			PERMI	T INFORM	ATION	CHART	
	WATER E21	R CODE:			SEWE 7695	t CODE:	
	1	OPMENT NAME: LAWN FARMS		•	WESTSIDE	CT/AREA LO DISTRICT/ 172-2 EA 5	
	PLAT		ZONE	TAX MAP GRI		ELEC. DIST.	
· · · · · · · · · · · · · · · · · · ·	19870, 220 22307/11	044/51, 1 22826/29	MXD-3	41\$46 21\$	3	5	
COVER SHEET	•	·· .		SCALE		ZONING	G. L. W. FILE No.
LE LAWN FARMS	1			AS SHOW	N	MXD-3	11081
TSIDE DISTRICT - AREA 5 LOT Nos. 172-206	`			DATE	T/	AX MAP - GRID	SHEET
(SFA RESIDENTIAL USE) 870, 22044-22051, 22307-22311 & 22826-22829	HOWAF	RD COUNTY, M	IARYLAND	JUNE 201	4 41	-21/46-3	1 OF 4

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SDP - 14 - 076



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B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS	B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING and MULCHING	B-4-4 STAI FOR TH
DEFINITION THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.	DEFINITION THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.	to stabilize distur
PURPOSE TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.	PURPOSE TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF	to use fast growing v
CONDITIONS WHERE PRACTICE APPLIES WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.	CONSTRUCTION. CONDITIONS WHERE PRACTICE APPLIES	CONDITIONS WHERE PRACTICE A A PERIOD OF 6 MONTHS OR LE
CRITERIA	TO THE SURFACE OF ALL PERIMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.	1. SELECT ONE OR MORE OF
A. SOIL PREPARATION 1. TEMPORARY STABILIZATION	<u>CRITERIA</u> A. SEEDING	APPROPRIATE PLANT HARD TEMPORARY SEEDING SUMM AND SEEDING DEPTHS. IF T
O. SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE	 SPECIFICATIONS ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. 	THEN TABLE B.1 PLUS FER 2. FOR SITES HAVING SOIL TE THE TESTING AGENCY SOIL 3. WHEN STABILIZATION IS RE
TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS. c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.	ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B.4 REGARDING THE QUALITY OF SEED. SEED TAGS MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.	MULCH OR STRAW MULCH UNTIL THE NEXT SEEDING S
2. PERMANENT STABILIZATION a. A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL	b. MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE GROUND IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THAWS.	·
CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE: I. SOIL PH BETWEEN 6.0 AND 7.0.	c. INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIFICALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADD FRESH INOCULANTS AS DIRECTED ON THE PACKAGE. USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE:	HARDINESS ZONE: 6b SEED MIXTURE: APPLICA
 II. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM). III. SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF 	IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE. d. SOD OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL	No. SPECIES RATE (Ib ANNUAL 1 RYEGRASS 40 Ib/
MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.	STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS. 2. APPLICATION	2 PEARL MILLET 20 1b/
IV. SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT. V. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.	 DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON 	SEI
 b. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS. c. GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED 	TEMPORARY SEEDING TABLE B.1, PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES. ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. ROLL THE SEEDED AREA WITH A	1. A MINIMUM OF 48 HOURS OF INSPECTION, LICENSES START OF ANY CONSTRUC
PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES. d. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.	WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT. b. DRILL OR CULTIPACKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.	2. ALL VEGETATIVE AND STRI PROVISIONS OF THIS PLAN "MARYLAND STANDARDS A AND REVISIONS THERETO.
e. MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY	i. CULTIPACKING SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A FASHION AS TO PROVIDE AT LEAST 1/4 INCH OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.	3. FOLLOWING INITIAL SOIL DI STABILIZATION SHALL BE A. 3 CALENDAR DAYS FOR
CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRIABLE. SEEDBED LOOSENING MAY BE	 ii. APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION. c. HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FEDERATED) 	A. S CALENDAR DATS FO PERIMETER SLOPES AN B. 7 DAYS AS TO ALL OT 4. ALL DISTURBED AREAS MU
UNNECESSARY ON NEWLY DISTURBED AREAS.	SEED AND FERTILIZER). i. IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHOROUS), 200 POUNDS PER ACRE;	ACCORDANCE WITH THE "2 EROSION AND SEDIMENT C SEEDING (Sec. B-4-4) AN MULCH ALONE CAN ONLY
1. TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR	K20 (POTASSIUM), 200 POUNDS PER ACRE. ii. LIME: USE ONLY GROUND AGRICULTURAL LIMESTONE (UP TO 3 TONS PER ACRE MAY BE APPLIED BY HYDROSEEDING). NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED	
UNACCEPTABLE SOIL GRADATION. 2. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN	LIME WHEN HYDROSEEDING. iii. MIX SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION. iv. WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.	0BTAINED FROM THE HOW/ 6. SITE ANALYSIS:
SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS. 3. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:	B. MULCHING	TOTAL AREA OF SITE AREA DISTURBED
 a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT 	 MULCH MATERIALS (IN ORDER OF PREFERENCE) a. STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS 	AREA TO BE ROOFED OR PA AREA TO BE VEGETATIVELY S TOTAL CUT
PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. c. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. d. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.	AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOLDY, CAKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE ONE SPECIES OF GRASS IS DESIRED. b. WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD	TOTAL FILL OFF-SITE WASTE/BORROW.AI
 AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA: 	CELLULOSE PROCESSED INTO A UNIFORM FIBROUS PHYSICAL STATE. i. WCFM IS TO BE DYED GREEN OR CONTAIN A GREEN DYE IN THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMLY SPREAD SLURRY.	 ANY SEDIMENT CONTROL F PLACEMENT OF UTILITIES N ADDITIONAL SEDIMENT CON
O. TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES,	 WCFM, INCLUDING DYE, MUST CONTAIN NO GERMINATION OR GROWTH INHIBITING FACTORS. WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM 	9. ON ALL SITES WITH DISTUI INSPECTION AGENCY SHAL
SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER. b. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERNUDA GRASS, QUACK	SUSPENSION IN WATER UNDER AGITATION AND WILL BLEND WITH SEED, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER, ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES	PERIMETER EROSION AND EARTH DISTURBANCE OR (MAY NOT BE AUTHORIZED MADE.
 GRASS, JOHNSON GRASS, NUT SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED. C. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. 	AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS. IV. WCEM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.	10. TRENCHES FOR THE CONS WHICH SHALL BE BACKFILL WHICHEVER IS SHORTER.
6. TOPSOIL APPLICATION a. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.	V. WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER	11. ANY CHANGES OR REVISIO AND APPROVED BY THE P CONSTRUCTION.
b. UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE	HOLDING CAPACITY OF 90 PERCENT MINIMUM. 2. APPLICATION	12. A PROJECT IS TO BE SEQUE GRADING UNIT (MAXIMUM A PROCEED TO A SUBSEQUE DISTURBED AREA IN THE F
CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS. C. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.	 a. APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING. b. WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LOOSE DEPTH OF 1 TO 2 INCHES. APPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SUPERACE IC NOT SUPER MUCH MULCH AND ADDRESS THE SOIL 	BY THE ENFORCEMENT AU APPROVAL AUTHORITY, NO A GIVEN TIME.
C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS) 1. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH	SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE. c. WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO	STANDA Fe
LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES. 2. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE	ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER. 3. ANCHORING	CONTROLLING THE SUS
APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.	o. PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:	OFF-SITE C AREAS SUBJECT TO DUST BLOWN
3. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING) WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A	i. A MULCH ANCHORING TOOL IS A TRACTOR DRAWN IMPLEMENT DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND,	
#20 MESH SIEVE. 4. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5. INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE AT THE RATE OF 4 TO 8	THIS PRACTICE SHOULD FOLLOW THE CONTOUR. ii. WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD	MULCHES: SEE SECTION B-4 B-4-3 SEEDING AND MULCH ANCHORED TO PREVENT BLO VEGETATIVE COVER: SEE SEC
TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.	CELLULOSE FIBER PER 100 GALLONS OF WATER. iii. SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (AGRO-TACK), DCA-70, PETROSET, TERRA TAX II, TERRA MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND	
GRAPHIC SCALE	CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRICTLY PROHIBITED. IV. LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY	4. IRRIGATION: SPRINKLE SITE V MUST NOT BE IRRIGATED TO 5. BARRIERS: SOUD BOARD FEN SIMILAR MATERIAL CAN BE U
	AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG. PROFESSIONAL CERTIFICATION	6. CHEMICAL TREATMENT: USE PLAN REVIEW AUTHORITY.
APPROVED PLANNING BOARD OF HOWARD COUNTY	I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT	THIS DEVELOPMENT PLAN CONTROL BY THE HOWAR
Date: JUNE 19, 2014	I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975, EXPIRATION DATE: MAY 26, 2016.	John K.K.
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING	ENGINEER'S CERTIFICATE	DWARD S.CD. BUILDER'S CERTIN
Wiector Jewen 7-30-14	"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE	BUILDER'S CERTIFI "I/WE CERTIFY THAT ALL DEVI TO THIS PLAN, AND THAT AN PROJECT WILL HAVE A CERTIF
Chief, Division of Land Development Date	REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."	THE ENVIRONMENT APPROVED EROSION BEFORE BEGINNING INSPECTION BY THE HSCD
Chief, Development Engineering Division Aw Date	Chapton 7-2-14 DATE	SIGNATURE OF DEVELOPER/
GLWGUTSCHICK LITTLE & WEBER, P.A.		
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866		
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186 L:\CADD\DRAWINGS\03067\11081 (NVR)\PLANS BY GLW\SDP (AREA 5)\11081_03_SC (Area 5).drg DES. mbt DRN. klp CHK. mbt	DATE	REVISION
© GLW 2014		

NDARDS AND SPECIFICATIONS EMPORARY STABILIZATION DEFINITION

RBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. <u>PURPOSE</u>

EGETATION THAT PROVIDES COVER ON DISTURBED SOILS. PPLIES EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR SS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

<u>CRITERIA</u>

THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE DINESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE ARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES HIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, TILIZER AND LIME RATES MUST BE PUT ON THE PLAN. TS PERFORMED. USE AND SHOW THE RECOMMENDED RATES B TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING. QUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN

TEMPORARY SEEDING SUMMARY

					1
NE: 6b			FERTILIZER	LIME RATE	2
APPLICATION ATE (Ib/ac.)	SEEDING DATES	SEEDING DEPTHS	(10-10-10)	LIME RAIL	ľ
40 lb/ac	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb./ac. (10 lb./	2 tons/ac. (90 lb./	
20 lb/ac	May 16 to July 31	0.5 INCHES	1,000 sf)	1,000 sf)	

DIMENT CONTROL NOTES NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE CTION. (410-313-1855).

ICTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL

TURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY COMPLETED WITHIN: R ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, D ALL SLOPES GREATER THAN 3.1, D ALL SLOPES GREATER THAN 3.1, HER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

JST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL ONTROL" FOR PERMANENT SEEDING (Sec. B-4-5), TEMPORARY) MULCHING (Sec. B-4-3). TEMPORARY STABILIZATION WITH E DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW AND ESTABLISHMENT OF GRASSES.

RUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN

E HOWARD COUNTY	SE	DIMENT CONTR	OF INSPECTOR.	
		L <u>OTS</u> 172–190	<u>LOTS</u> 191-206	TOTAL OF LOTS
	:	0.89± AC.	0.72± AC.	1.61± AC.
	:	1.05± AC.	0.85± AC.	1.90± AC.
OR PAVED	:	0.74± AC.	0.61± AC.	1.35± AC.
IVELY STABILIZED	:	0.31± AC.	0.24± AC.	0.55± AC.
	:	665± CY	560± CY	1,225± CY
	:	665± CY	560± CY	1,225± CY
ROW AREA LOCATIO	N:	NONE	NONE	NONE

RACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR UST BE REPAIRED ON THE SAME DAY OF DISTURBANCE ROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CONTROL INSPECTOR.

1

REED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE L BE REQUESTED UPON COMPLETION OF INSTALLATION OF SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHE RADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS

STRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT LLED AND STABILIZED BY THE END OF EACH WORK DAY,

NS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH

JENCED SO THAT THE GRADING ACTIVITIES BEGIN ON ONE CREACE OF 20 AC. PER GRADING UNIT) AT A TIME. WORK MAY RECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED HORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY T MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT

ARDS AND SPECIFICATIONS OR DUST CONTROL

DEFINITION PENSION OF DUST PARTICLES FROM CONSTRUCTION ACTIVITIES. PURPOSE DVEMENT OF DUST FROM EXPOSED SOIL SURFACES TO REDUCE ON AND

DAMAGE INCLUDING HEALTH AND TRAFFIC HAZARDS. CONDITIONS WHERE PRACTICE APPLIES G AND MOVEMENT WHERE ON AND OFF-SITE DAMAGE IS LIKELY WITHOUT

TREATMENT.

SPECIFICATIONS

-2 SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS, SECTION ING, AND SECTION B-4-4 TEMPORARY STABILIZATION. MULCH MUST BE TION 8-4-4 TEMPORARY STABILIZATION.

SURFACE AND BRING CLODS TO THE SURFACE. BEGIN PLOWING ON ISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED WS ARE EXAMPLES OF EQUIPMENT THAT MAY PRODUCE THE DESIRED

WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. THE SITE THE POINT THAT RUNOFF OCCURS. CES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, ANI

SED TO CONTROL AIR CURRENTS AND SOIL BLOWING. OF CHEMICAL TREATMENT REQUIRES APPROVAL BY THE APPROPRIATE

I IS APPROVED FOR SOIL EROSION AND SEDIMENT SOIL CONSERVATION DISTRICT.

FICATE LOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION ICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE

7/1/14 DATE

RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD OFFICE GUIDE, SECTION 342 - CRITICAL AREA PLANTING. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY. FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING N ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.

. SEED MIXTURES

GENERAL US

2. TURFGRASS MIXTURES a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND

B-4-5 STANDARDS AND SPECIFICATIONS

FOR PERMANENT STABILIZATION

DEFINITION TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE

TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER

on disturbed soils.

CONDITIONS WHERE PRACTICE APPLIES

EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

O. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE

APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE

CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION

- COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED
- ON THE PLAN KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN AREAS THAT RECEIVE INTENSIVE MANAGEMENT. IRRIGATION REQUIRED IN THE AREAS OF CENTRAL MARYLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS SEEDING RATE: 1.5 TO 2.0 POUNDS PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET, CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- iii. TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE RECOMMENDED MIXTURE INCLUDES; CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE 81 FNDF
- KENTUCKY BLUEGRASS/FINE FESCUE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE IN BLUEGRASS LAWNS. FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREA. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED FINE FESCUE AND 60 TO 70 PERCENT. SEEDING RATE: 11/2 TO 3 POUNDS PER 1000 SQUARE FEET.
- NOTES: SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND"
- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES *A PURE GENETIC LINE
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDINESS ZONES: CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONE: SOUTHERN MD. EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES: 7A, 7B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOWING OF GRASSES WILL POSE NO DIFFICULTY.
- K. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS DEPENDING ON SOIL TEXTURE) UNTIL THEY ARE FIRMLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE

PERMANENT SEEDING SUMMARY

	ARDINESS ZONE: 6b EED MIXTURE: #9 (Tall Fescue,	FERTILIZER				
No.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue blend (95% by weight): Falcon IV, Penn 1901 & Rebel Exeda and Certified Kentucky Bluegrass blend (5% by weight): Courtyard, Raven & Yankee	6-8 ¹ b/		1/4 - 1/2 IN.		90 lb/ 1000 s.f.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used SOD: TO PROVIDE QUICK COVER ON DISTURBED AREAS (2:1 GRADE OR FLATTER).

- GENERAL SPECIFICATIONS 0. CLASS OF TURFGRASS SOD MUST BE MARYLAND STATE CERTIFIED. SOD LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR. b. SOD MUST BE MACHINE CUT AT A UNIFORM SOIL THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/4 INCH, AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST EXCLUDE TOP
- GROWTH AND THATCH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE ACCEPTABLE. STANDARD SIZE SECTIONS OF SOD MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER 10 PERCENT OF THE SECTION.
- B. SOD MUST NOT BE HARVESTED OR TRANSPLANTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL
- SOD MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOD NOT TRANSPLANTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
- SOD INSTALLATION DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOD. LAY THE FIRST ROW OF SOD IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAGGER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. ENSURE THAT SOD IS NOT
- STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS. WHEREVER POSSIBLE, LAY SOD WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAGGERING JOINTS. ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOD TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOD ROOTS
- AND THE UNDERLYING SOIL SURFACE. WATER THE SOD IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOD PAD AND SOIL SURFACE BELOW THE SOD ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PIECE OF SOD WITHIN EIGHT HOURS.

SOD MAINTENANCE

APP'R.

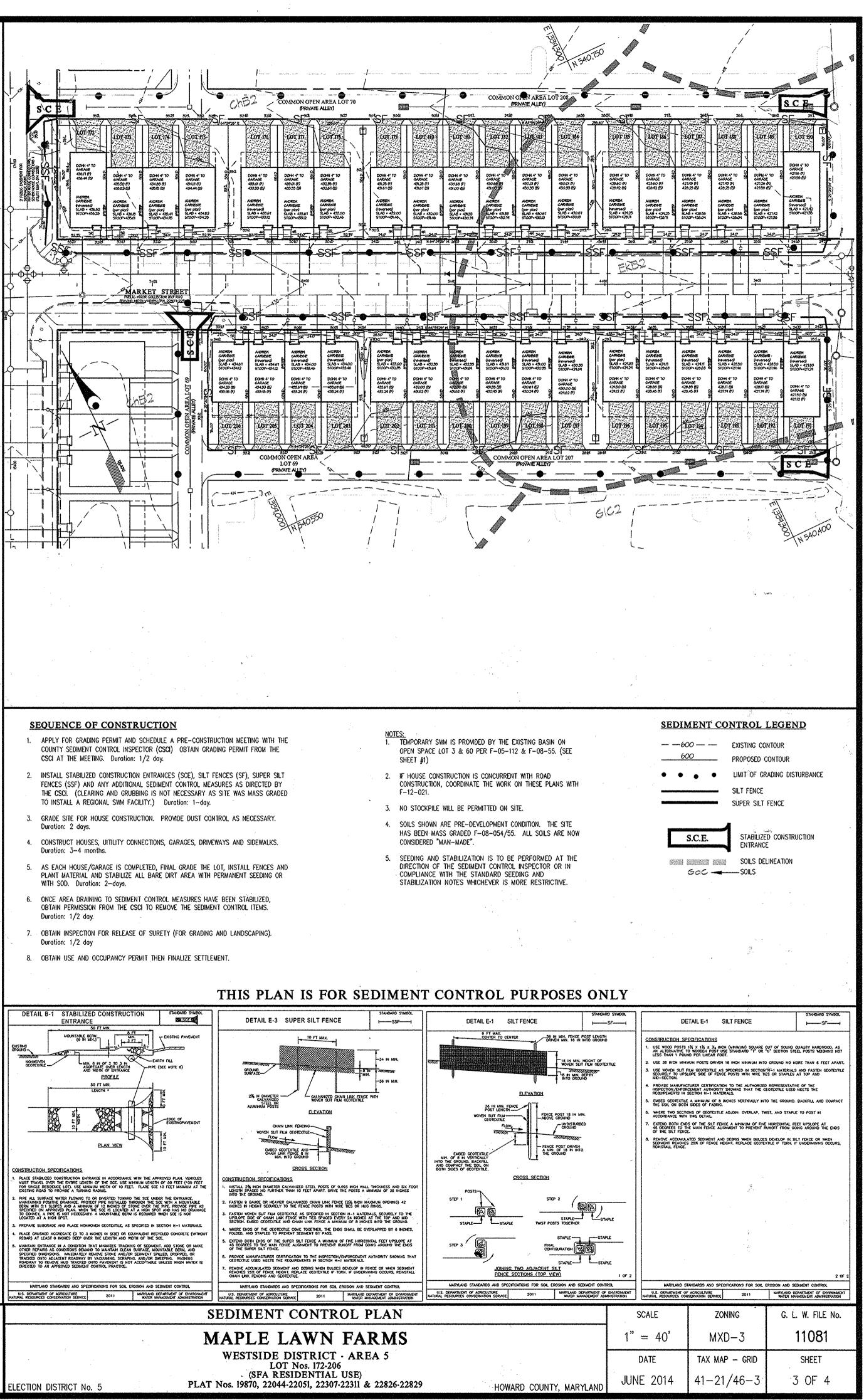
BY

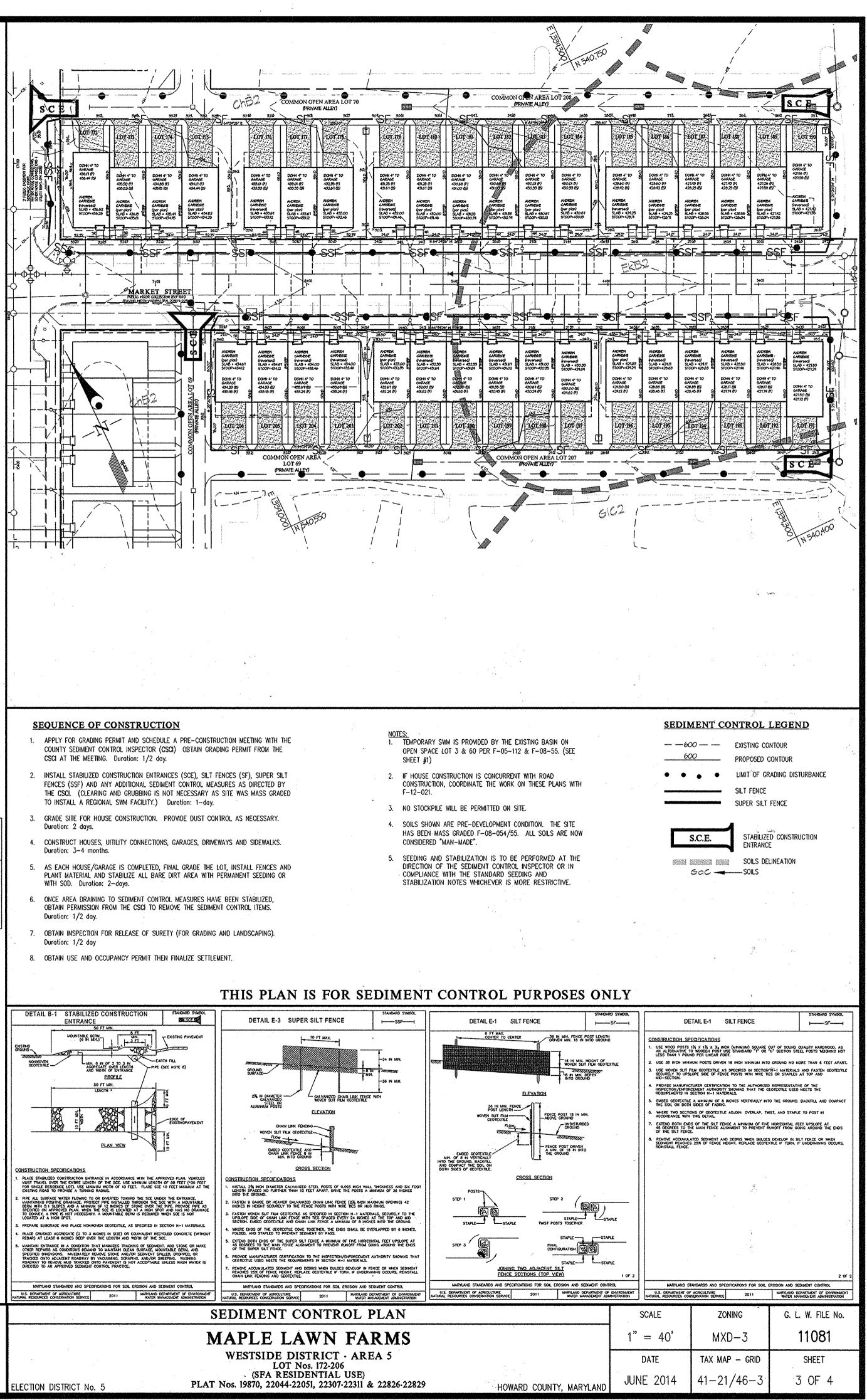
- a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AND SUFFICIENTLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOD DURING THE HEAT OF THE DAY TO PREVENT WILTING.
- AFTER THE FIRST WEEK, SOD WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT. DO NOT MOW UNTIL THE SOD IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A
- GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.
- PREPARED FOR: PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I. LLC 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 . PH: 410-484-8400

ATTN .: MARK BENNETT

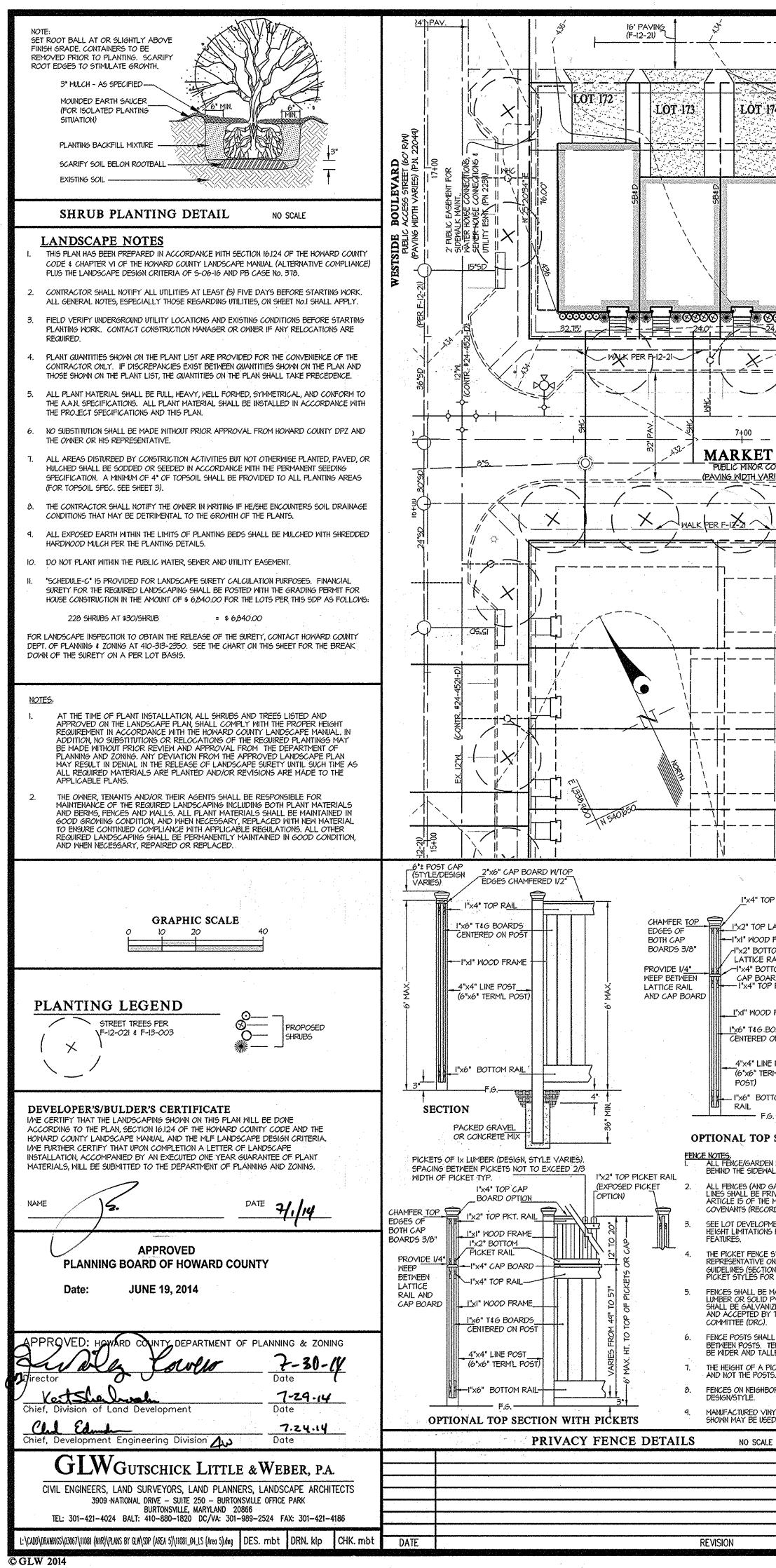
NVR INC. 9720 PATUXENT WOODS DR. COLUMBIA, MD 21046 PH: (410) 379-5956 ATTN .: TIM NAUGHTON

BUILDER (CONTRACT PURCHASER):

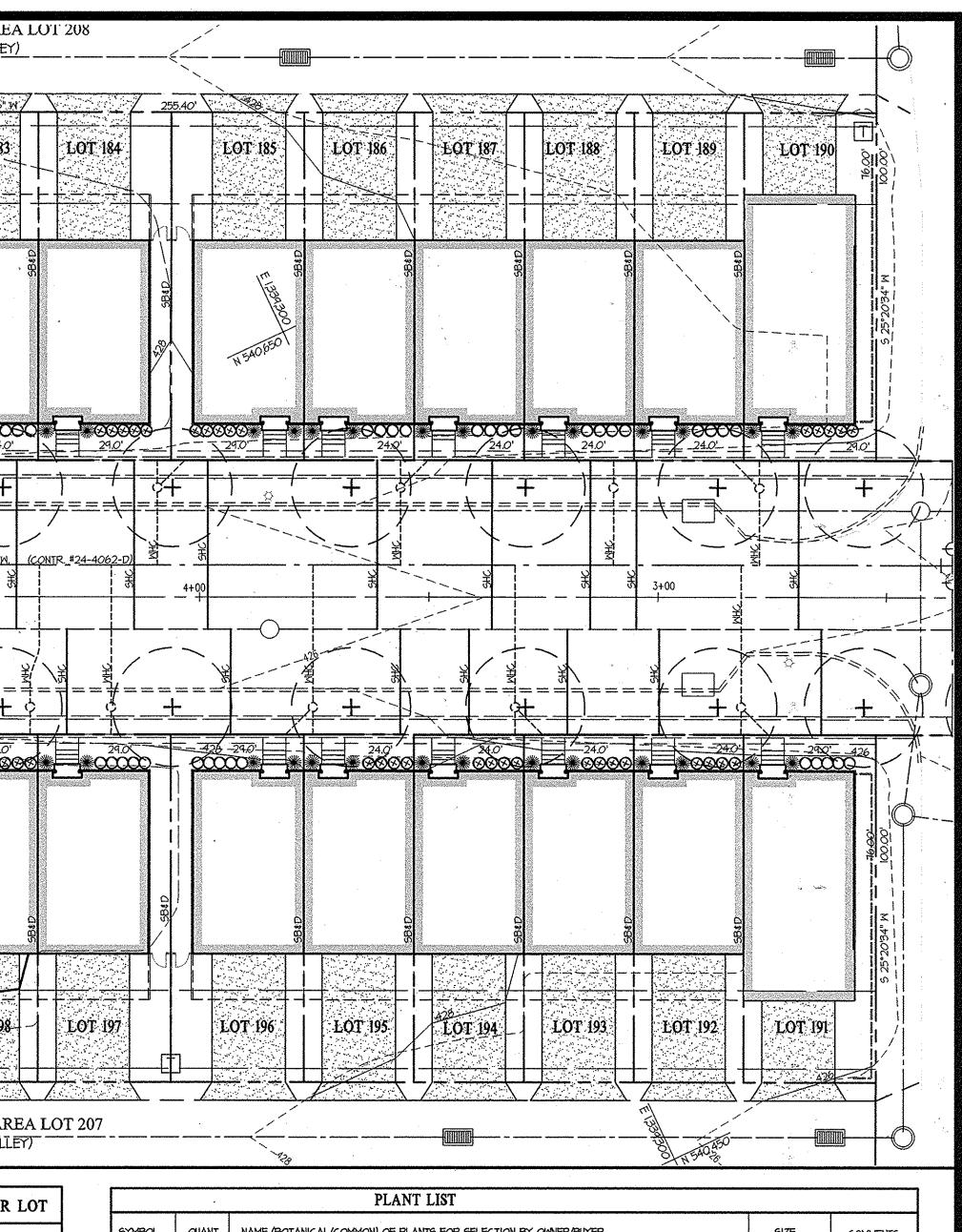




SDP - 14 - 076



	COMMON OPEN AREA LOT (PRIVATE ALLEY)		-	N OPEN AREA LO'I (PRIVATE ALLEY)
	LOT 176 LOT 177 LOT 178		LOT 181 LOT 182	
	₩			
	8"S CONTR #24-4TOL-D) 3"W. (CONTR #24-4TOL-D) 3"W. (CONTR #24-4TOL-D) 3"W. (CONTR #24-4TOL-D) 4 5 6+00 2' FUBLIC EASEMENT WATER HOUSE CONN CONTR #24-4TOL-D) 4 5 6+00 2' FUBLIC EASEMENT WATER HOUSE CONN CONTR #24-4TOL-D)	FOR SIDEWALK MAINT., ECTIONS, SEVER HOUSE	┫┫━━╹━━┫┷╸━━━━━ ╱╧┦╋╸╶┷╍╱┷╽╲━━━━╸━╸	
	→ → → → → → → → → → → → → → → → → → →		24.0'	
EA LOT 69 (f-12-21) 7) 2034' W 80.00'	286 270 270	CEP CEP	- Crees	CI PEC
COMMON OPEN ARE/	LOT 205 N 64*3926 W	LOT 202 - LOT 201	LOT 200 LOT 199	
	COMMON OPEN AREA LOT 69 (PRIVATE ALLEY)		COMM Top	ON OPEN AREA LO (PRIVATE ALLEY)
	REQUIRED PLANTINGS: SHRUBS IN FRONT RE LOT NO. YARD AT 1:4 OF LOT WIDTH AT BRL SF (SHADE TREES ARE NOT REGUIRED) PUT	OT INTERNAL LANDSCAPING MENTS (SCHEDULE-C) QUIRED PLANTINGS: ON SIDE OF A BUILDINGS ORIENTED TO BLIC ROADWAYS, PROVIDE 1:4 OF PROVIDED PROVIDED	COMMENTS PLANT G	SURETY PER LOT
FRAME		BLD. LENGTH SHRUBS REQUIRED SHRUBS N/A N/A 8 N/A N/A 6	LOT No. SHRUI 172 8 173 6	B5 SURETY AMOUNT \$ 240.00 \$ 180.00
F CA				\$ 180.00
	174 24.0' 6 175 32.75' 8 176 32.75' 8 177 24.0' 6	N/AN/A6N/AN/A8N/AN/A8N/AN/A6	174 6 175 8 176 8 171 6	\$ 180.00 \$ 240.00 \$ 240.00 \$ 180.00 \$ 180.00
DARDS N POST POS	175 32.75' 8 176 32.75' 8	N/A N/A 6 N/A N/A 8 N/A N/A 8	174 6 175 8 176 8	\$ 240.00 \$ 240.00
POST	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	N/AN/A6N/A	174 6 175 8 176 8 176 8 177 6 178 8 174 7 180 6 181 6 182 6 183 6 184 7	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00
DARDS DARDS N POST POST ML WL	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	N/AN/A6N/A	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00
DARDS DARDS N POST POST M"L COM 	$\begin{array}{ c c c c c c c c c c c c c c c c c c c$	N/AN/A6N/A	174 6 175 8 176 8 177 6 178 8 174 7 180 6 181 6 182 6 183 6 184 7 185 7 186 6	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 20,00 \$ 180,00 \$ 20,00 \$ 180,00 \$ 180,00 \$ 20,00 \$ 180,00 \$ 210,00 \$ 210,000 \$ 210,0000 \$ 210,0000 \$ 210,0000
ARDS DARDS DARDS DN POST POST M'L POST M'L COM SECTION WITH LATTICE WALLS ALONG THE R/W SHALL BE LOCATED LK ESM'T. ARDEN WALLS) THAT STRADDLE PROPERTY VATELY MAINTAINED IN ACCORDANCE WITH MAPLE LAWN HOMEOWNERS ASSOCIATION	i75 $32.75'$ 8 $i76$ $32.75'$ 8 $i171$ $24.0'$ 6 $i178$ $32.75'$ 8 $i174$ $29.0'$ 7 $i80$ $24.0'$ 6 $i81$ $24.0'$ 6 $i82$ $24.0'$ 6 $i82$ $24.0'$ 6 $i82$ $24.0'$ 6 $i83$ $24.0'$ 6 $i84$ $29.0'$ 7 $i85$ $24.0'$ 6 $i84$ $29.0'$ 7 $i86$ $24.0'$ 6 $i87$ $24.0'$ 6 $i87$ $24.0'$ 6 $i88$ $24.0'$ 6 $i88$ $24.0'$ 6 $i84$ $24.0'$ 6 $i84$ $24.0'$ 6 $i84$ $24.0'$ 6 $i40$ $24.0'$ 7 $i41$ $24.0'$ 7 $i42$ $24.0'$	N/AN/A6N/A	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,000 \$ 210,0000 \$ 210,0000 \$ 210,0000 \$ 210,0000 \$ 210,000
ARDS ARDS	i75 $32.75'$ 8 $i76$ $32.75'$ 8 $i171$ $24.0'$ 6 $i178$ $32.75'$ 8 $i174$ $24.0'$ 6 $i174$ $24.0'$ 7 $i80$ $24.0'$ 6 $i81$ $24.0'$ 6 $i82$ $24.0'$ 6 $i82$ $24.0'$ 6 $i83$ $24.0'$ 6 $i83$ $24.0'$ 6 $i84$ $29.0'$ 7 $i85$ $24.0'$ 6 $i87$ $24.0'$ 6 $i88$ $24.0'$ 6 $i88$ $24.0'$ 6 $i84$ $24.0'$ 6 $i84$ $24.0'$ 6 $i40$ $29.0'$ 7 $i41$ $29.0'$ 7 $i42$ $24.0'$ 6 $i43$ $24.0'$ 6 $i43$ $24.0'$ 6 $i44$ $24.0'$	N/AN/A6N/A <tr< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,000 \$ 180,000</td></tr<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,000 \$ 180,000
ARDS N POST POST POST M'L OM SECTION WITH LATTICE WALLS ALONG THE R/W SHALL BE LOCATED LK ESM'T. ARDEN WALLS) THAT STRADDLE PROPERTY VATELY MAINTAINED IN ACCORDANCE WITH MAPLE LAWN HOMEOWNERS ASSOCIATION DED AS LIBER 7419 FOLIO 292 THROUGH 366). ENT DATA ITEM 4.D. ON SHEET I REGARDING FOR FENCES, GARDEN WALLS AND SIMILAR BTYLE SHOWN ON THESE DETAILS IS A SAMPLE N.Y. REFER TO THE MAPLE LAWN DESIGN	175 $32.75'$ ϑ 176 $32.75'$ ϑ 171 $24.0'$ 6 178 $32.75'$ ϑ 179 $24.0'$ 6 174 $24.0'$ 6 180 $24.0'$ 6 181 $24.0'$ 6 182 $24.0'$ 6 183 $24.0'$ 6 183 $24.0'$ 6 184 $29.0'$ 7 185 $24.0'$ 6 184 $29.0'$ 7 185 $24.0'$ 6 184 $29.0'$ 7 186 $24.0'$ 6 187 $24.0'$ 6 189 $24.0'$ 6 189 $24.0'$ 6 190 $29.0'$ 7 191 $29.0'$ 7 192 $24.0'$ 6 193 $24.0'$	N/AN/A6N/A <tr< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$ 210,000 \$</td></tr<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,00 \$ 180,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$ 210,000 \$ 210,000 \$ 180,000 \$ 210,000 \$
ARDS DARDS DN POST POST M ¹ L POST M ¹ L OM COM COM COM COM COM COM COM	115 $32.15'$ δ 176 $32.75'$ δ 171 $24.0'$ δ 178 $32.75'$ δ 179 $24.0'$ δ 174 $24.0'$ δ 174 $24.0'$ δ 180 $24.0'$ δ 181 $24.0'$ δ 182 $24.0'$ δ 182 $24.0'$ δ 182 $24.0'$ δ 183 $24.0'$ δ 184 $29.0'$ 7 185 $29.0'$ 7 185 $24.0'$ 6 184 $24.0'$ 6 187 $24.0'$ 6 188 $24.0'$ 6 189 $24.0'$ 6 140 $29.0'$ 7 141 $24.0'$ 6 142 $24.0'$ 6 143 $24.0'$	N/AN/A6N/A <tr< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 210,00 \$ 210,00</td></tr<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 180,00 \$ 210,00 \$ 210,00
ARDS N POST POST POST M'L OM SECTION WITH LATTICE WALLS ALONG THE R/W SHALL BE LOCATED LK ESM'T. ARDEN WALLS) THAT STRADDLE PROPERTY VATELY MAINTAINED IN ACCORDANCE WITH MAPLE LAWN HOMEOWNERS ASSOCIATION DED AS LIBER 7419 FOLIO 292 THROUGH 366). ENT DATA ITEM 4.D. ON SHEET I REGARDING FOR FENCES, GARDEN WALLS AND SIMILAR BTYLE SHOWN ON THESE DETAILS IS A SAMPLE N.Y. REFER TO THE MAPLE LAWN DESIGN	115 32.15' ϑ 176 32.75' ϑ 171 24.0' 6 178 32.75' ϑ 179 29.0' 7 180 24.0' 6 181 24.0' 6 182 24.0' 6 183 24.0' 6 183 24.0' 6 184 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 186 24.0' 6 187 24.0' 6 189 24.0' 6 190 29.0' 7 191 29.0' 7 192 24.0' 6 194	N/AN/A6N/A <tr< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 20,000 \$ 20,0</td></tr<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 20,000 \$ 20,0
ARDS DARDS DN POST POST M ¹ L POST M ¹ L OM COM COM COM COM COM COM COM	175 32.75' δ 176 32.75' δ 171 24.0' δ 171 24.0' δ 174 24.0' δ 174 24.0' δ 180 24.0' δ 181 24.0' δ 182 24.0' δ 183 24.0' δ 183 24.0' δ 184 29.0' 7 185 29.0' 7 185 29.0' 7 185 29.0' 7 185 24.0' δ 181 24.0' δ 182 24.0' δ 183 24.0' δ 184 24.0' δ 182 24.0' δ 142 24.0' δ 143 24.0' δ 143 24.0' δ 144<	N/AN/A6N/A <tr< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,</td></tr<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,00 \$ 210,00 \$ 180,00 \$ 210,00 \$ 210,
ARDS N POST POST M ^T L POST M ^T L POST	175 32.75' δ 176 32.75' δ 171 24.0' δ 174 24.0' δ 174 24.0' δ 180 24.0' δ 182 24.0' δ 183 24.0' δ 183 24.0' δ 184 29.0' 7 185 29.0' 7 185 24.0' δ 184 24.0' δ 185 24.0' δ 185 24.0' δ 184 24.0' δ 185 24.0' δ 184 24.0' δ 184 24.0' δ 184 24.0' δ 142 24.0' δ 143 24.0' δ 143 24.0' δ 144 24.0' δ 145<	NANA6NA <t< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,</td></t<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,00 \$ 180,00 \$ 210,00 \$ 180,00 \$ 180,
ARDS NI POST POST M'L POST M'L OM COM COM COM COM COM COM COM	175 32.75' δ 176 32.75' δ 171 24.0' δ 174 24.0' δ 174 24.0' δ 180 24.0' δ 182 24.0' δ 183 24.0' δ 183 24.0' δ 184 29.0' 7 185 29.0' 7 185 24.0' δ 184 24.0' δ 185 24.0' δ 185 24.0' δ 184 24.0' δ 185 24.0' δ 184 24.0' δ 184 24.0' δ 184 24.0' δ 142 24.0' δ 143 24.0' δ 143 24.0' δ 144 24.0' δ 145<	NANA6NA <t< td=""><td>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</td><td>\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,</td></t<>	$ \begin{array}{c ccccccccccccccccccccccccccccccccccc$	\$ 240,00 \$ 240,00 \$ 180,00 \$ 240,00 \$ 240,00 \$ 240,00 \$ 210,00 \$ 180,00 \$ 180,
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-	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	SIZE	COMMENTS	
Т	SHRUBS O	24	AZALEA VAR.: 'GUMPO PINK', 'GUMPO WHITE', 'KAEMPO' COTONEASTER DAMMERII 'CORAL BEAUTY'/ CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR.: 'BAR HARBOR', 'ANDORRA', 'WILTONI BLUE RUG' JUNIPERUS PROCUMBENS 'NANA' / DWARF JAPANESE GARDEN JUNIPER	ALL 18" - 24" SPREAD	ALL CONTAINERIZED	
	8	68	AZALEA VAR.: 'DELAWARE VALLEY WHITE', 'HERSHEY RED', 'HINO CRIMSON' DEUTZIA GRACILIS/ SLENDER DEUTIZIA ILEX CRENATA 'HELLEI' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INKBERRY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL 24" - 30" SPREAD	ALL CONTAINERIZED	
	0	66	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN' / MANHATTAN EUONYMUS MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'GULFTIDE' / SWEET HOLLY RHODODENDRON HYBRID VAR. (CAT. ALBUM, CAT. GRANDIFLORA, 'ENGLISH ROSEUM', 'ROSEUM ELEGANS') RHODODENDRON 'PJM'/ PJM RHODODENDRON TAXUS CUSPIDATA 'NANA' / DWARF JAPANESE YEW VIBURNUM CALESI / KOREAN SPICE VIBURNUM BUXUS SEMPERVIRENS / BOXHOOD	ALL 24" - 30" SPREAD 4 25' - 3' HT.	ALL CONTAINERIZED	م ب ب
	*	70	ILEX VERTICILLATA VAR/WINTERBERRY HOLLY VAR. ('CARDINAL', 'JIM DANDY', ' RED SPRITE', 'WINTER RED' or 'SPARKLEBERRY') JUNIPERUS CHINENSIS 'BLUE POINT / BLUE POINT JUNIPER TAXUS MEDIA 'HICKSII' / HICKS YEW THUJA OCCIDENTIALIS 'EMERAL GREEN' / EMERAL GREEN ARBORVITAE	ALL 3' ≟4' HT.	ALL CONTAINERIZED	

STATE OF MARYLANL

Monad B. Tran

DR PLANTING PURPOSES ONLY

			:	
LANDSCAPE PLAN		SCALE	ZONING	G. L. W. FILE No.
APLE LAWN FARMS		1" = 20'	MXD-3	11081
VESTSIDE DISTRICT - AREA 5 LOT Nos. 172-206 (SFA RESIDENTIAL USE) ps. 19870, 22044-22051, 22307-22311 & 22826-22829	HOWARD COUNTY, MARYLAND	date JUNE 2014	tax map - grid 41-21/46-3	SHEET 4 OF 4
				SDD 14 076

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