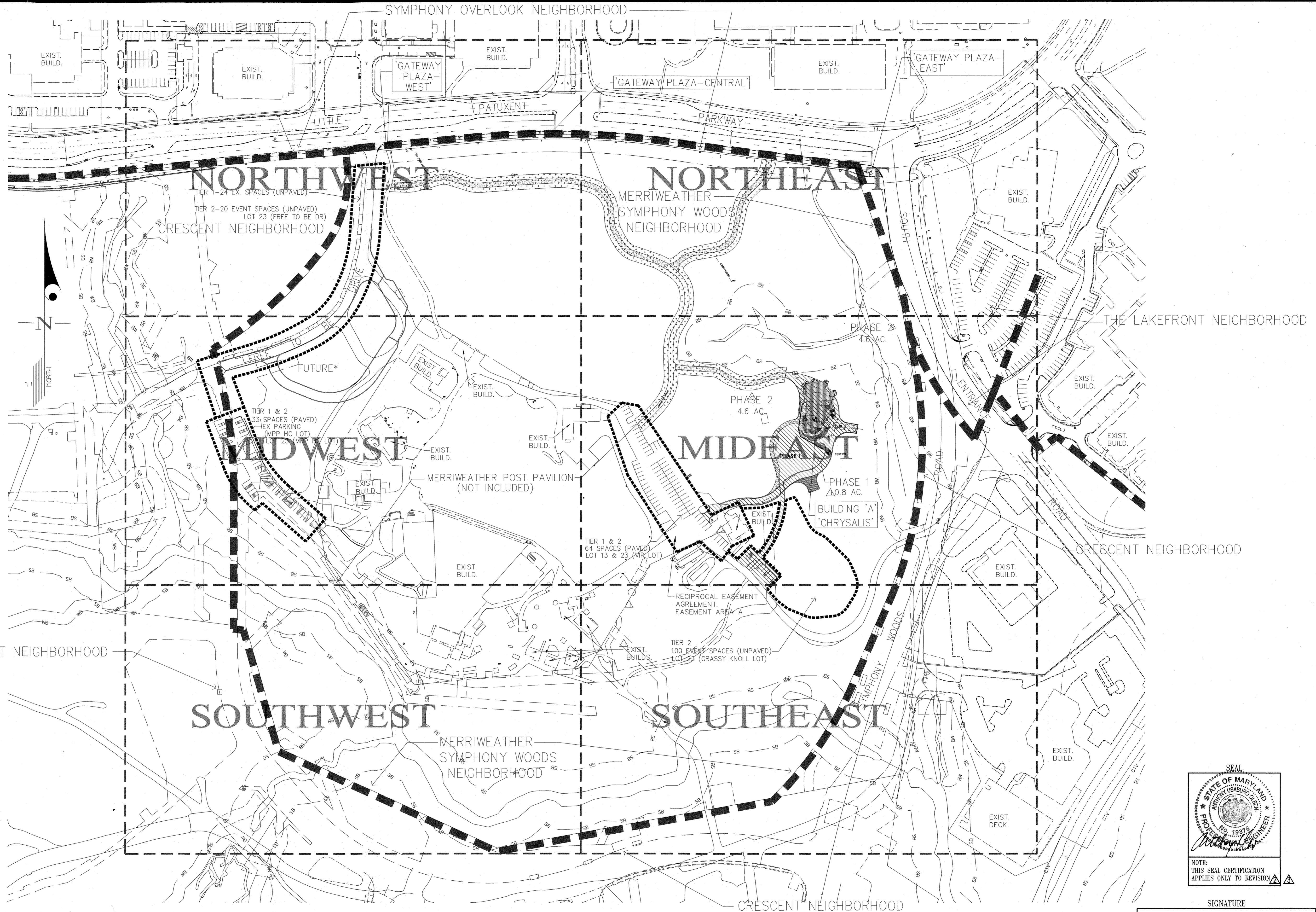




NOTES:

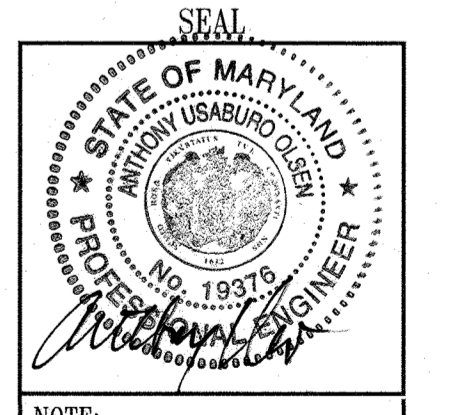
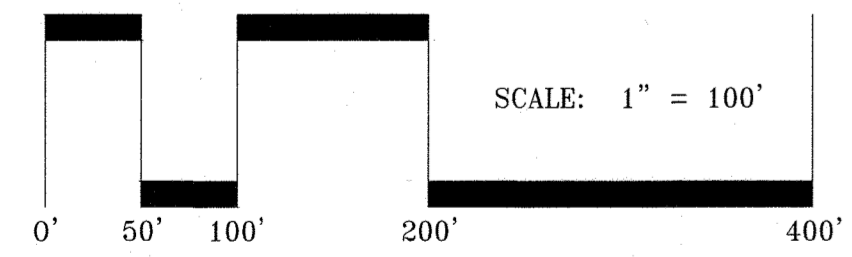
1. PHASING PROGRESSION MAY NOT CORRESPOND TO THE ASSIGNED PHASE NUMBERS AS SHOWN ON THE PLANS.
2. PHASING CONDITIONS PER APPROVED WP 15-027:
3. THE DEVELOPER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR THE INITIAL BUILDING PERMIT WITHIN ONE YEAR FROM THE DATE OF THE SDP SIGNATURE APPROVAL OF SDP 14-073.
4. THE DEVELOPER MUST APPLY FOR THE FIRST BUILDING PERMIT FOR CONSTRUCTION PHASE 1 OF THE PROPOSED SDP WITHIN 1 YEAR FROM THE DATE OF SIGNATURE APPROVAL OF SDP 14-073, AND ALL BUILDING PERMITS FOR CONSTRUCTION PHASES 2 THRU 7 WITHIN 7 YEARS FROM THE DATE OF SIGNATURE APPROVAL OF SDP 14-073. THE PERMIT DEADLINES WILL BE ESTABLISHED UPON SIGNATURE APPROVAL OF THE SDP.
5. THE DEVELOPER MUST APPLY FOR THE FINAL BUILDING PERMIT WITHIN 7 YEARS FROM THE DATE OF THE SDP SIGNATURE APPROVAL OF SDP 14-073.

\*THIS AREA WILL BE A PART OF A FUTURE REVISION / SUBMISSION UPON AMENDMENT OF FDP-DC-MSW-1 TO INCLUDE THIS AREA.



- LEGEND**
- LIMIT OF SUBMISSION (LOS)
  - NEIGHBORHOOD LIMITS
  - LIMITS OF APPROVED FDP-DC-MSW-1
  - PROPERTY LINE

CONSTRUCTION PHASING CHART		
PHASE	SYMBOL	IMPROVEMENT DESCRIPTION
1		CHRYSA LIS
2		EAST PATH SYSTEM



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dynce Esauberg* Date: 11/2/24  
 Chief, Division of Land Development: *gmm* Date: 11/2/24  
 Chief, Development Engineering Division: *HS* Date: 12-2-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTE THIS SHEET FOR PHASING

\*THE MICHAEL TRAPPEN (GLW) SIGNATURE AND SEAL PLACED ON THIS REPLACEMENT SHEET  
 PREPARED BY WHITMAN REQUARDT & ASSOCIATES IS FOR THE INFORMATION THAT WAS ORIGINALLY  
 DESIGNED BY GLW AND SIGNED BY THE COUNTY ON OR ABOUT SEPTEMBER, 2015, AS REVISED  
 FEBRUARY, 2016 (REVISION 1) AND AS REVISED NOVEMBER, 2018 (REVISION 2).

PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19978 EXPIRATION DATE: 12/31/2024

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
06/20/22	ADD AS-BUILT PATHWAY & REMOVE FUTURE PHASES	JTD	
5/17/19	UPDATE PHASE 2 LIMITS	AJO	
1816	UPDATE PHASE 1 AND 2 LIMITS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 20/2024  
 5/23/23 *CR*



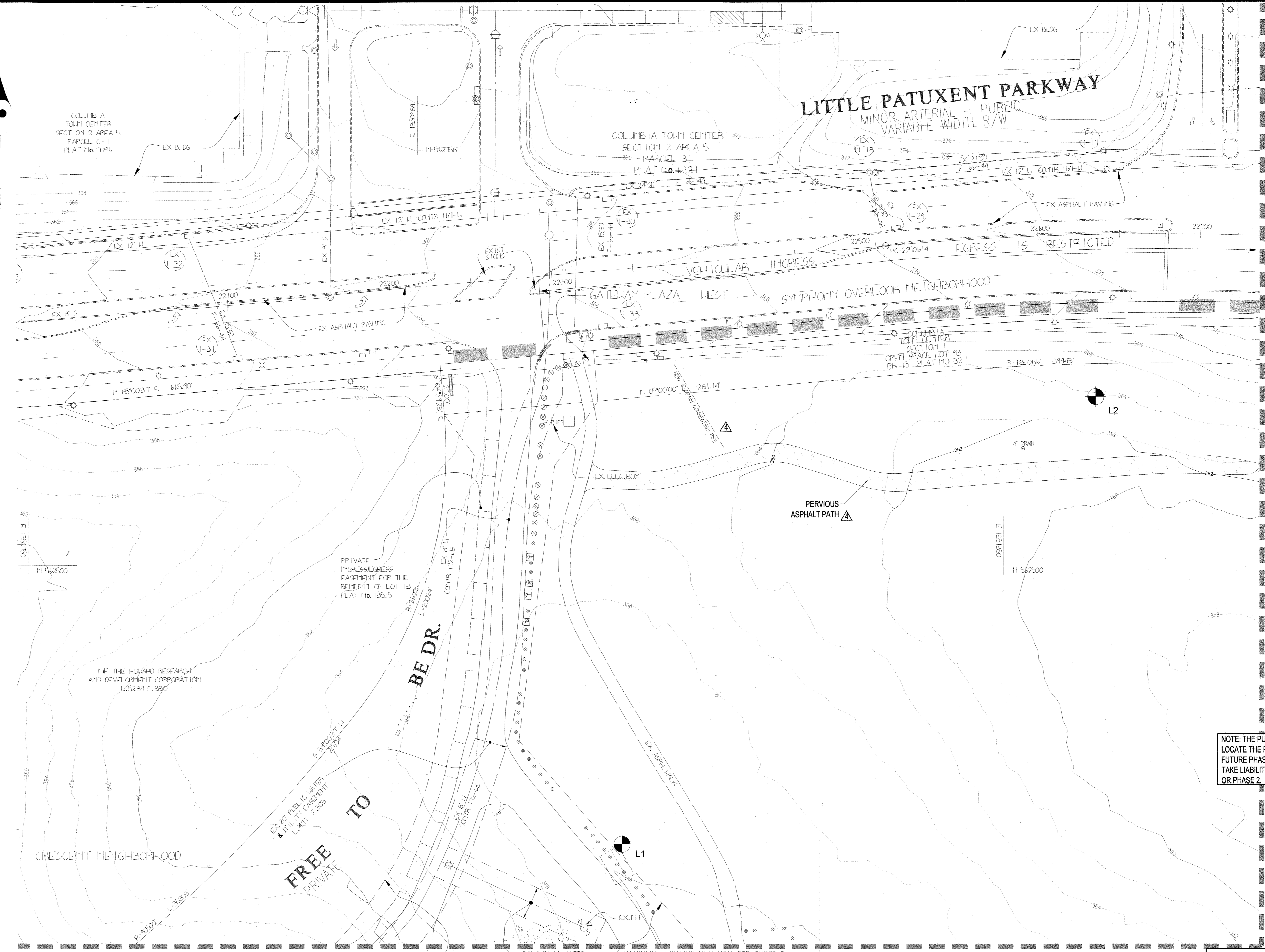
REVISED  
**SITE COMPOSITE, SHEET LAYOUT & PHASING DIAGRAM**  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

PDOC SHEET 2 OF 59		
SCALE 1"=100'	ZONING NT	G. L. W. FILE NO. 13043
DATE JAN., 2016	TAX MAP - GRID 36 - 01	SHEET 2 OF 38

N:\42118-002\CADD\2019-01-02-SDP02-COMPOSITE.dwg DES. DRN. CHK. DATE: 12/2/23

- LEGEND**
- PROPOSED CONTOUR
  - EXISTING CONTOUR
  - PROPOSED SPOT ELEV. (HP=HIGH PT.)
  - EXISTING CURB
  - EXISTING PAVING
  - PROPOSED FLUSH CURB (SEE LANDSCAPE FOR DETAIL)
  - WETLANDS
  - 25' WETLAND BUFFER (WB)
  - STREAM
  - STREAM BUFFER (SB)
  - EXISTING UTILITY/LIGHT POLE
  - PROP. STORM DRAIN
  - EXISTING STORM DRAIN
  - EXISTING SEWER MAIN (DASHED LINE)
  - FUTURE WATER MAIN
  - EASEMENTS
  - EXISTING PAVING TO BE REMOVED
  - LIMIT OF SUBMISSION (LOS)
  - NEIGHBORHOOD LIMITS
  - LIMITS OF APPROVED FDP-DC-MSW-1
  - CONSTRUCTION PHASING LIMITS
  - NUMBER OF PARKING SPACES
  - NUMBER OF EXISTING PARKING SPACES
  - PERMEABLE WALK & PAVERS
  - BOARDWALK
  - PROPOSED ASPHALT PAVING
  - PROPOSED GRASSPAVE OR SIMILAR
  - TREES UNDER 30" DBH
  - SPECIMEN TREES OVER 30" DBH
  - CRITICAL ROOT ZONE
  - TREES UNDER 30" DBH TO BE REMOVED
  - SPECIMEN TREES OVER 30" DBH TO BE REMOVED
  - SOIL BORING LOCATION
  - STORMWATER ESD DEVICE IDENTIFICATION
  - PATRON BUILDING ACCESS
  - EMPLOYEE ONLY BUILDING ACCESS
  - PROPOSED 12" BARRIER CURB

**NOTE:**  
 1. ALL PATHS ARE 10' MINIMUM WIDTH UNLESS NOTED OTHERWISE.  
 2. REFER TO SHEET 2 FOR ADDITIONAL PHASING INFORMATION.



NOTE: THE PURPOSE OF THIS REVISION IS TO LOCATE THE PATHWAY AS-BUILT AND TO DELETE FUTURE PHASES PAST PHASE 2. WRA DOES NOT TAKE LIABILITY FOR THE DESIGN WORK IN PHASE 1 OR PHASE 2.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dynde Eschberg* Date: 1/2/24  
 Chief, Planning & Land Development: *John Smith* Date: 12-21-23  
 Chief, Development Engineering Division: *John Smith* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

PRIVATE INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF LOT 13 PLAT NO. 13535  
 PRIVATE INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF LOT 13 PLAT NO. 13535  
 PRIVATE INGRESS/EGRESS EASEMENT FOR THE BENEFIT OF LOT 13 PLAT NO. 13535

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12275  
 EXPIRATION DATE: MAY 20, 2024  
 5/23/23



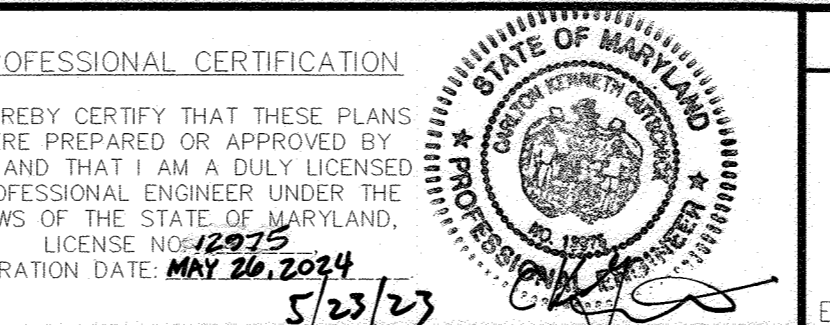
PERVIOUS PAVING OVERDRAIN PIPE SCHEDULE  
 4" PIPE: 52 LF  
 6" PIPE: 115 LF

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA. 301-989-2524 FAX: 301-421-4186

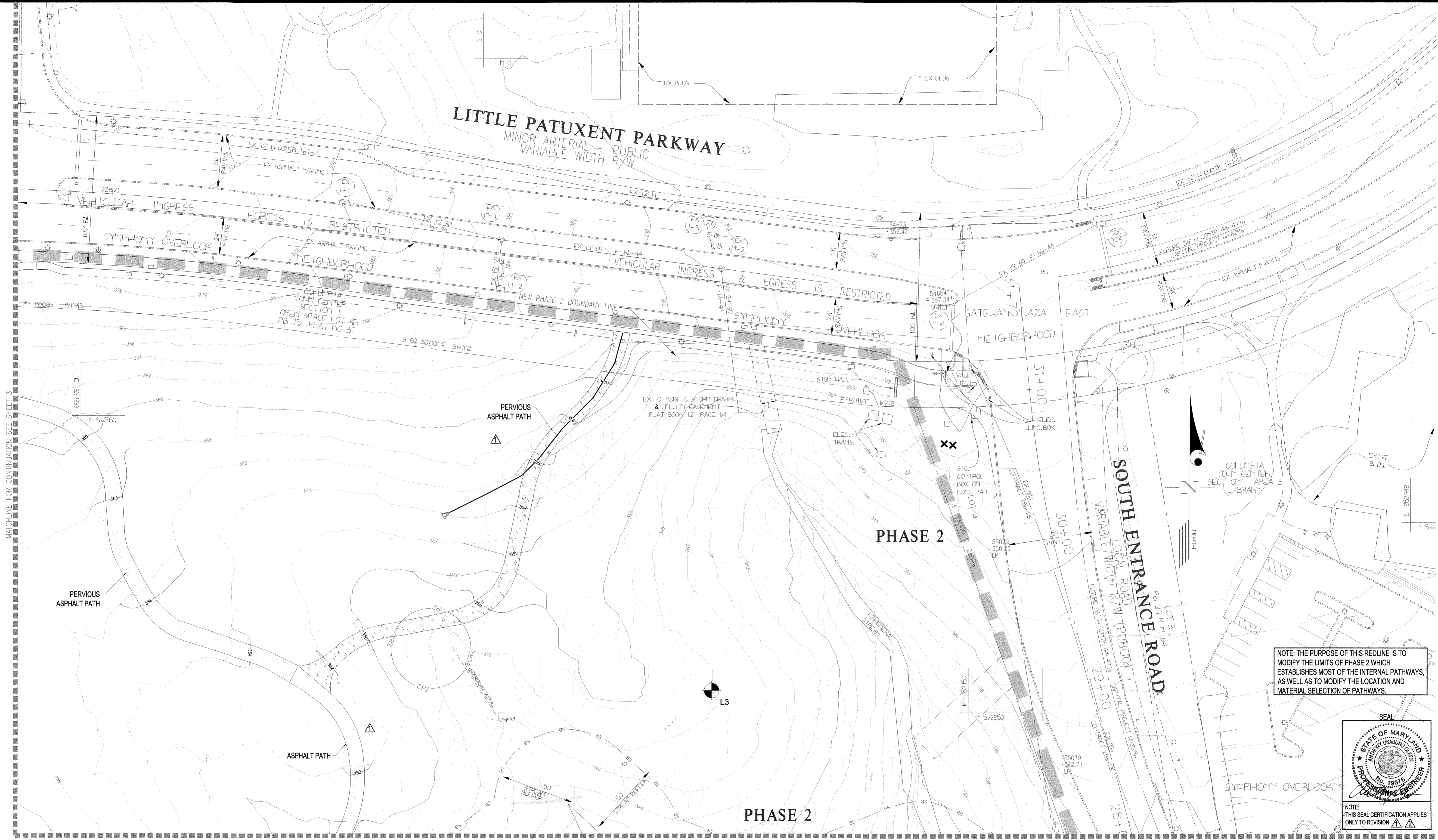
DATE	REVISION	AUO	JTD	AUO
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES			
08/05/2021	CHANGE FUTURE PATHWAY TO PROPOSED			
08/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES			
12/16	ADDED BARRIER CURBS TO LEGEND			

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029



REVISED SITE DEVELOPMENT PLAN-NORTHWEST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT BOOK 15, PAGE 32 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	3 OF 38



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.

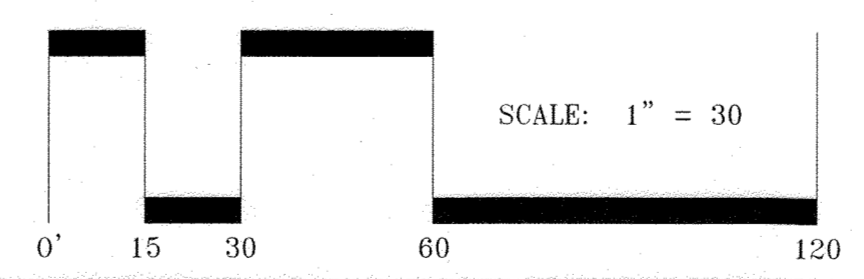


NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION

SIGNATURE

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376 EXPIRATION DATE: 03/22/2023

- NOTES:
1. ALL PATHS ARE 10' MINIMUM WIDTH UNLESS NOTED OTHERWISE.
  2. FOR LEGEND SEE SHEET 3.
  3. REFER TO SHEET 2 FOR ADDITIONAL PHASING INFORMATION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *David E. Esenberg* Date: 11/2/24  
 Chief, Planning & Development: *John J. Smith* Date: 11/2/24  
 Chief, Development Engineering Division: *John J. Smith* Date: 12-21-23

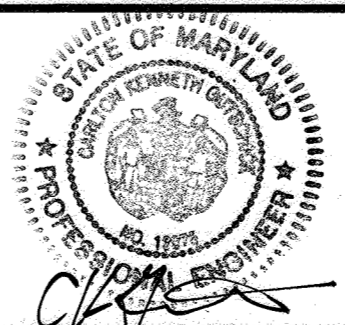
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

**GLW** GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALI: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	JTD
06/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	AJO	JTD

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 416-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 24, 2024  
 5/22/23

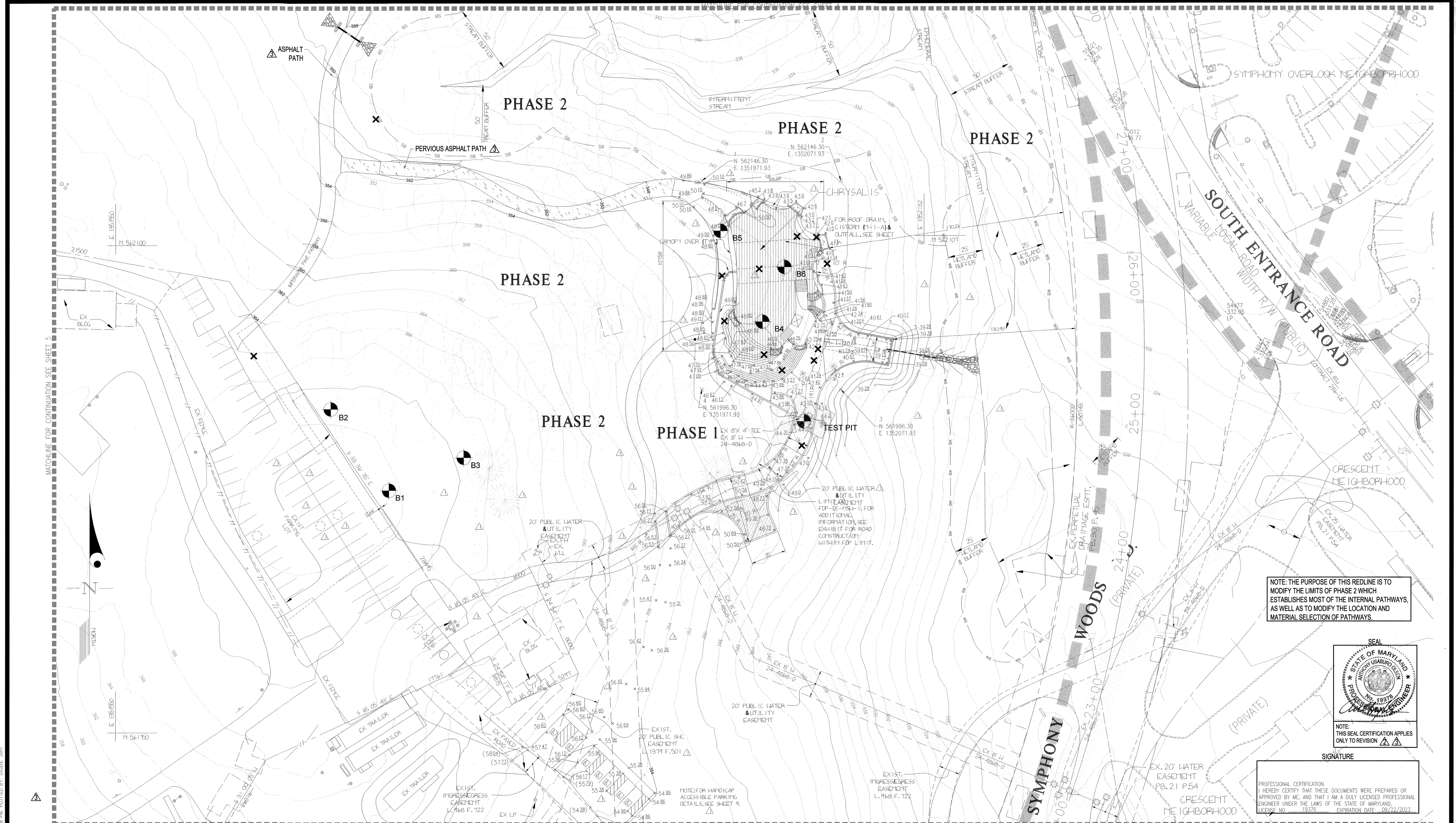


REVISED SITE DEVELOPMENT PLAN-NORTHEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER, SECTION I AREA I  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

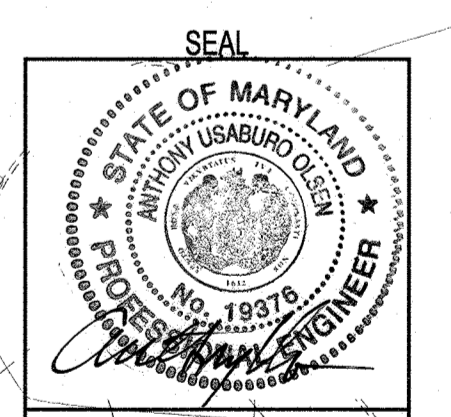
SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	4 OF 38

PDOX SHEET 4 OF 59

N:\Projects\2023\03\03\Sheets\_03-06.dwg DES: MJT DRN: Wjd CHK: MJT DATE: 05/20/2019 2:48 PM PLOTTED BY: DGGore, jbrn



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.

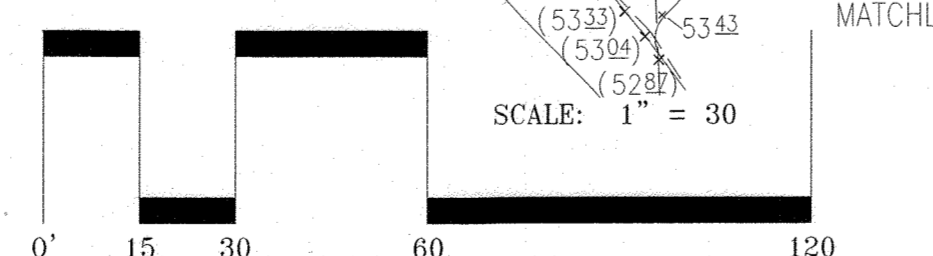


NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION  $\Delta$

SIGNATURE  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 11/21/24  
 Chief, Development Engineering Division: *[Signature]* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.



NOTES:  
 1. ALL VARIABLE WIDTH PATHS ARE 10' MINIMUM WIDTH UNLESS NOTED OTHERWISE.  
 2. FOR LEGEND SEE SHEET 3.  
 3. REFER TO SHEET 2 FOR ADDITIONAL PHASING INFORMATION.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	AUO	JTD	AUO
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES			
06/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES			
1/1/24	UPDATE CHRYSLIS BUILDING LATER LINE SELLER SD ACCORD WITH PKG AND PATH			
	REMOVED TRAILER PARKING PADS			

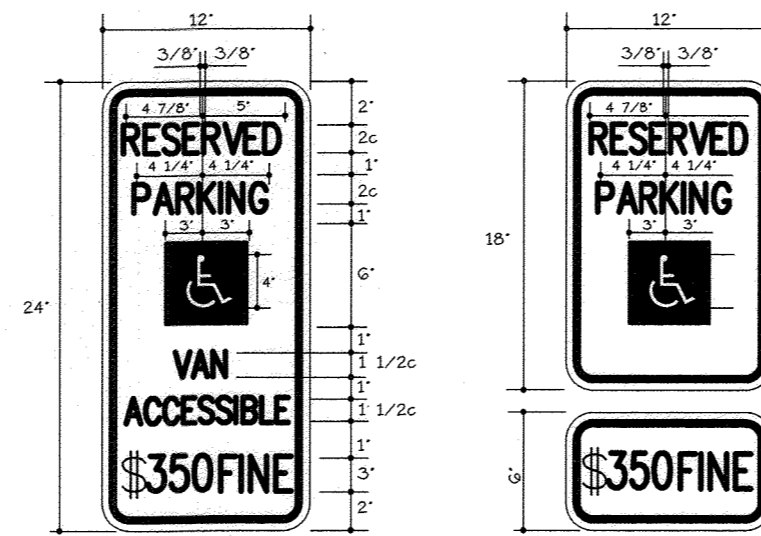
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 18995  
 EXPIRATION DATE: MAY 26, 2024  
*[Signature]* 5/23/23

REVISED SITE DEVELOPMENT PLAN-MIDEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7  
 TOWN CENTER SECTION I AREA I  
 PART OF OPEN SPACE LOT 23-PLAT NO. 15335 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	5 OF 38

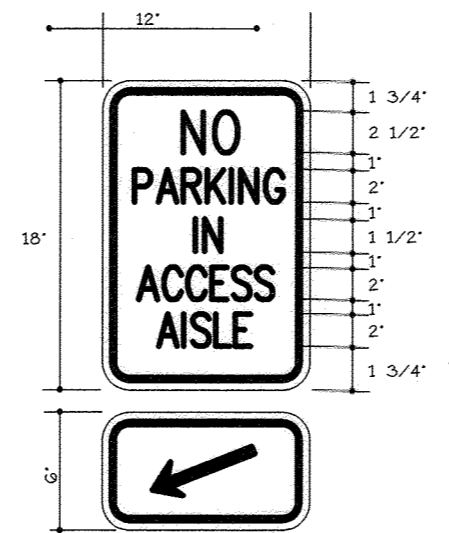
PDOX SHEET 6 OF 59



**General Notes:**

1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R7-3.
2. One sign is required per space placed as shown on site plan.
3. Spaces indicated on site plan as "VAN" accessible shall be signed accordingly.
4. Colors: Legend and Border - green  
Symbol - white on blue background  
background - white

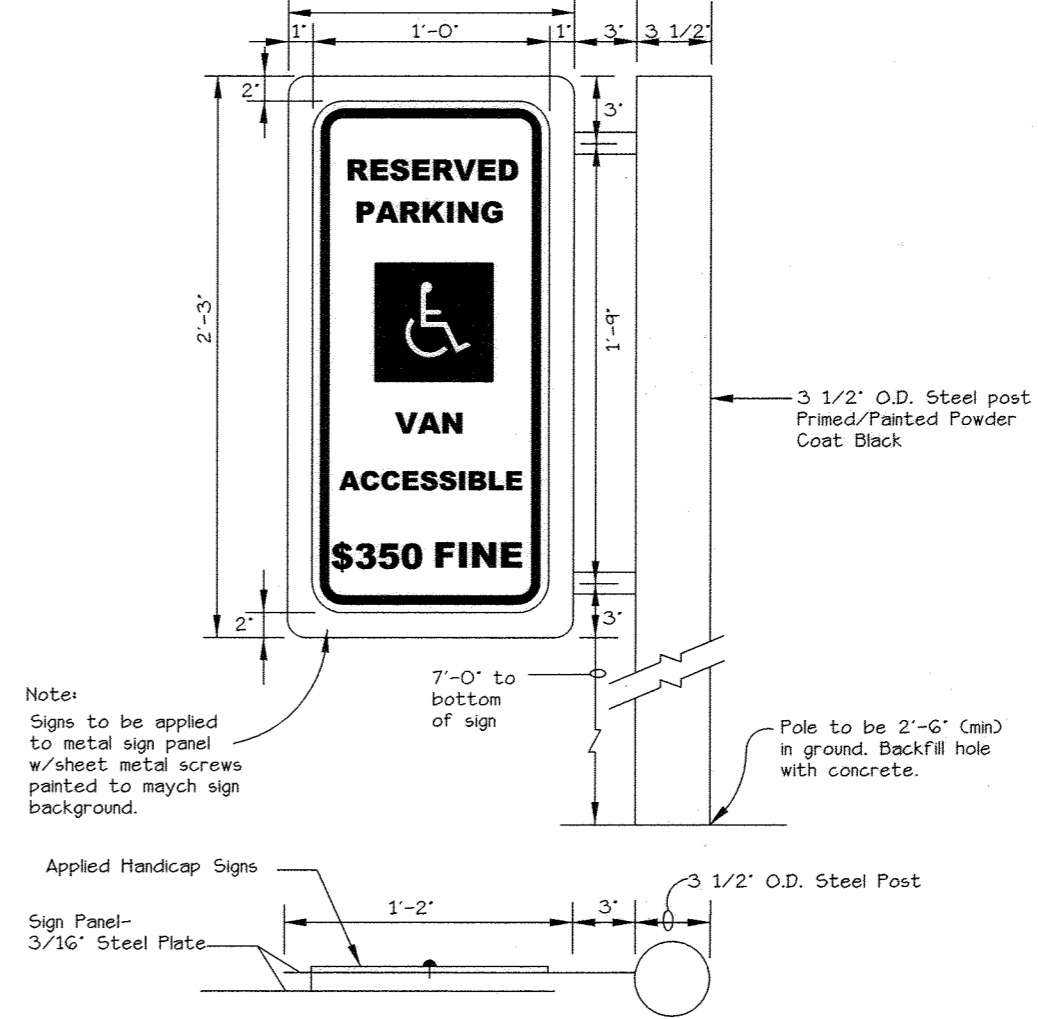
HANDICAP PARKING SIGNS DETAIL N.T.S.



**General Notes:**

1. Signs shall meet design standards of the Federal Highway Administration and conform to the State of Maryland Standard Highway sign booklet detail R6-1(2).
2. One sign is required per access aisle placed as shown on site plan.
3. Colors: Legend and Border - green  
Symbol - white on blue background  
background - white

ACCESS AISLE SIGN DETAIL N.T.S.

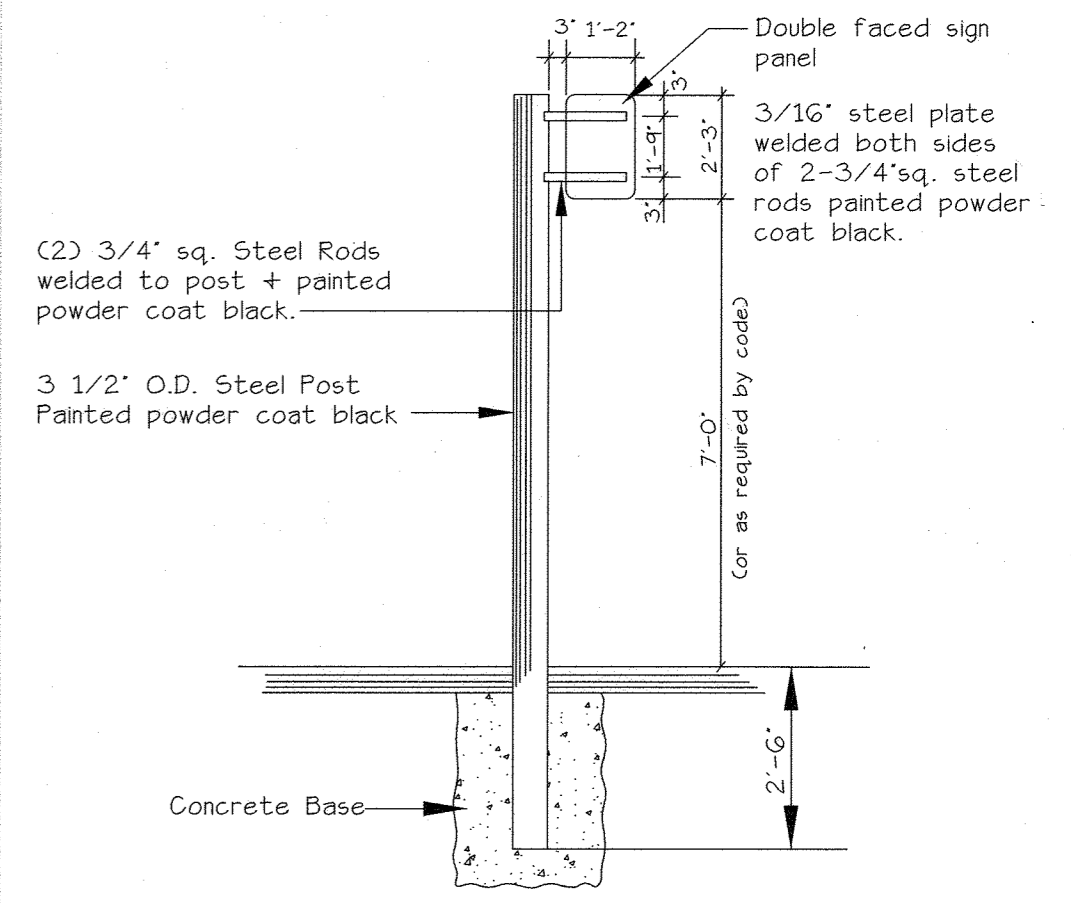


**Note:**  
Signs to be applied to metal sign panel w/ sheet metal screws painted to match sign background.

Applied Handicap Sign  
Sign Panel - 3/16" Steel Plate

3 1/2" O.D. Steel Post  
Pole to be 2'-0" (min) in ground. Backfill hole with concrete.

MOUNTING DETAIL FOR PARKING RESTRICTION SIGN N.T.S.



(2) 3/4" sq. Steel Rods welded to post + painted powder coat black.

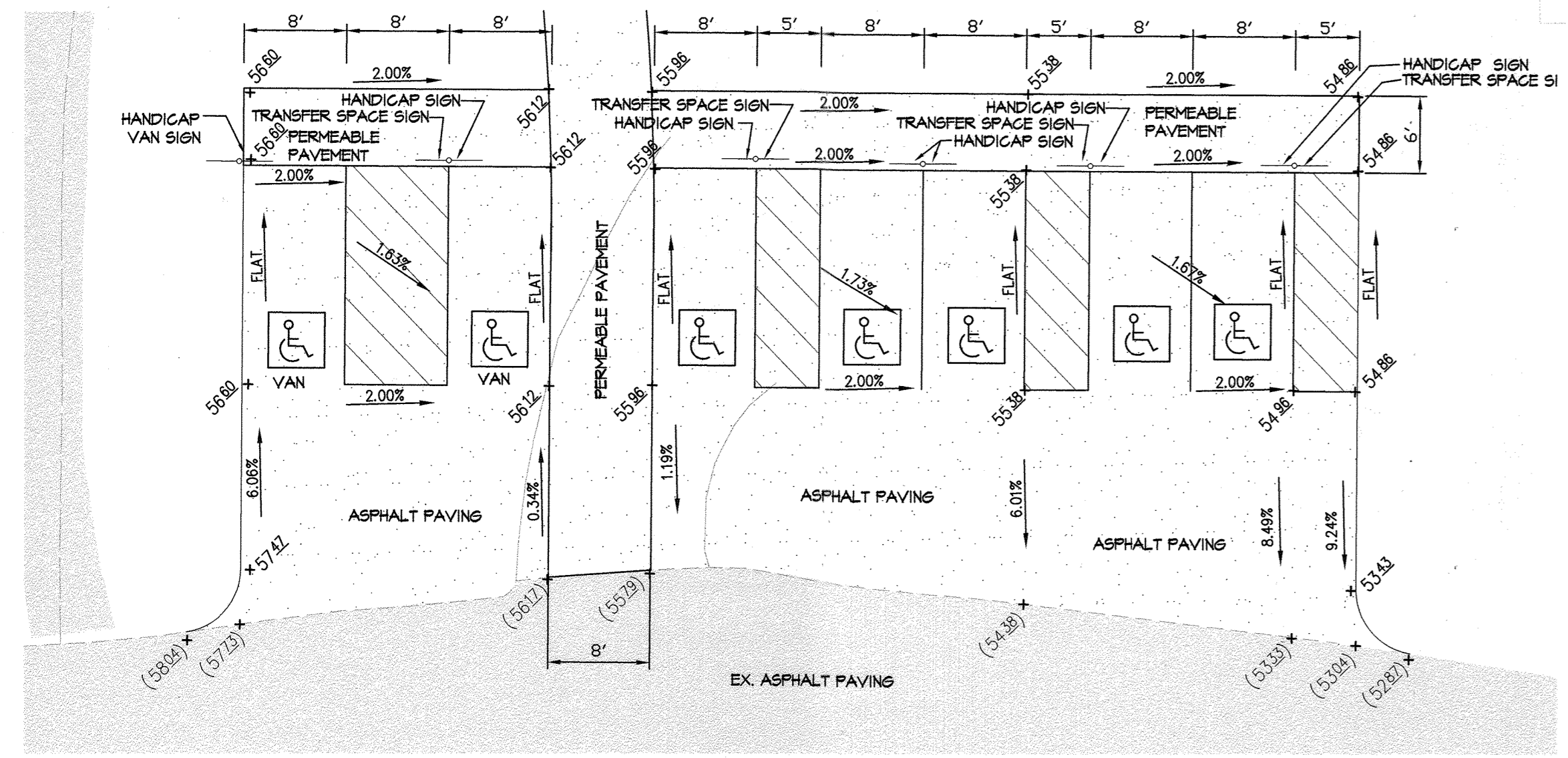
3 1/2" O.D. Steel Post Painted powder coat black.

7'-0" (Cor as required by code)

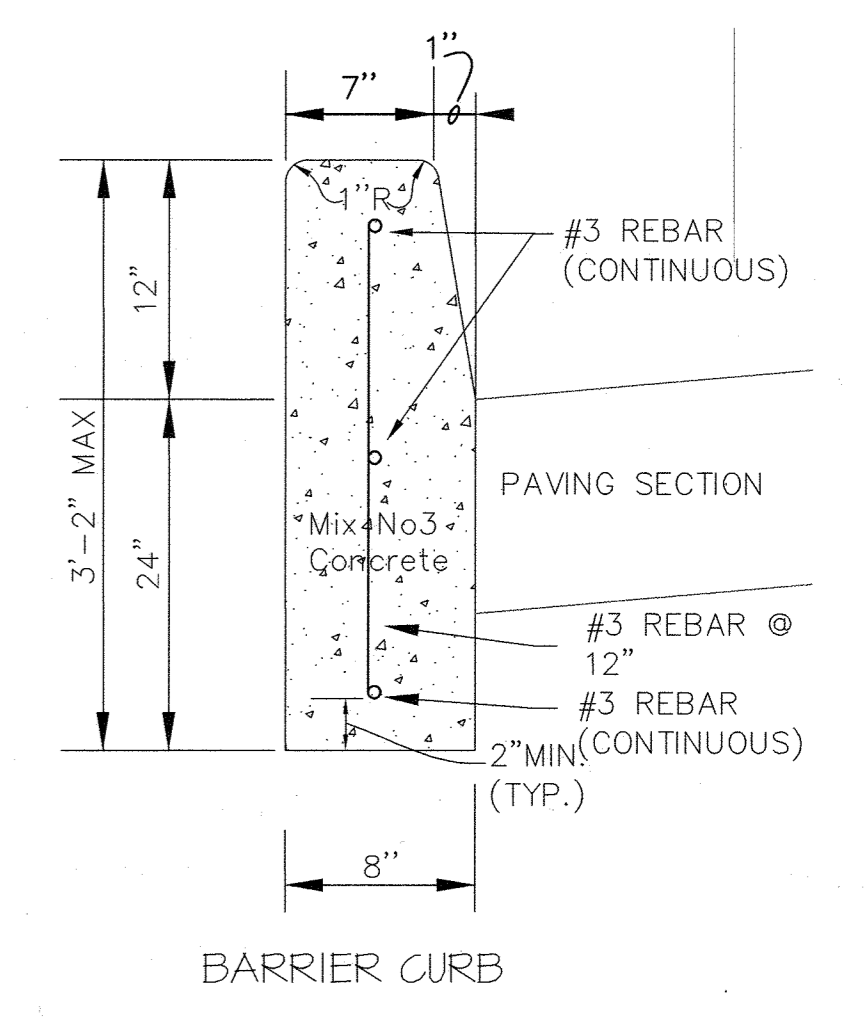
2'-6"

Concrete Base

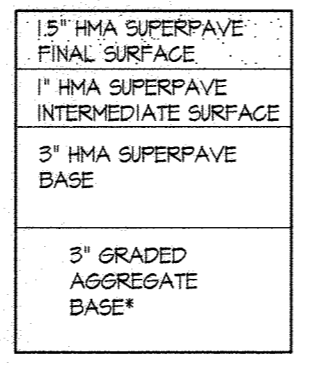
POST & SIGN PANEL DETAIL FOR PARKING RESTRICTION SIGN N.T.S.



HANDICAP ACCESSIBLE PARKING DETAIL (ADJACENT TO FARMHOUSE) 1" = 10'



BARRIER CURB N.T.S.



\* NOTE:  
FOR CBR 5 TO <5, USE 10" GAB  
FOR CBR 5 TO <1, USE 6" GAB  
FOR CBR >=1, USE 3" GAB

**P-3**

**BITUMINOUS PAVING SECTION**

1. P-3 IS A HOWARD COUNTY R-201 SECTION DESIGNATIONS
2. OTHER EQUIVALENT PAVING SECTIONS MAY BE USED WHEN APPROVED BY A PROFESSIONAL SOILS ENGINEER.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *[Signature]* Date: 11/21/24  
Chief, Division of Land Development: *[Signature]* Date: 11/21/24  
Chief, Development Engineering Division: *[Signature]* Date: 12-21-23

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: NOVEMBER 20, 2014  
\* SEE NOTES ON SHEET 2 FOR PHASING

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES		
1/8/16	DELETED DETAILS & ADDED HC ACCESSIBILITY DETAIL ADJ FARMHOUSE & CURB DET.	mjt	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

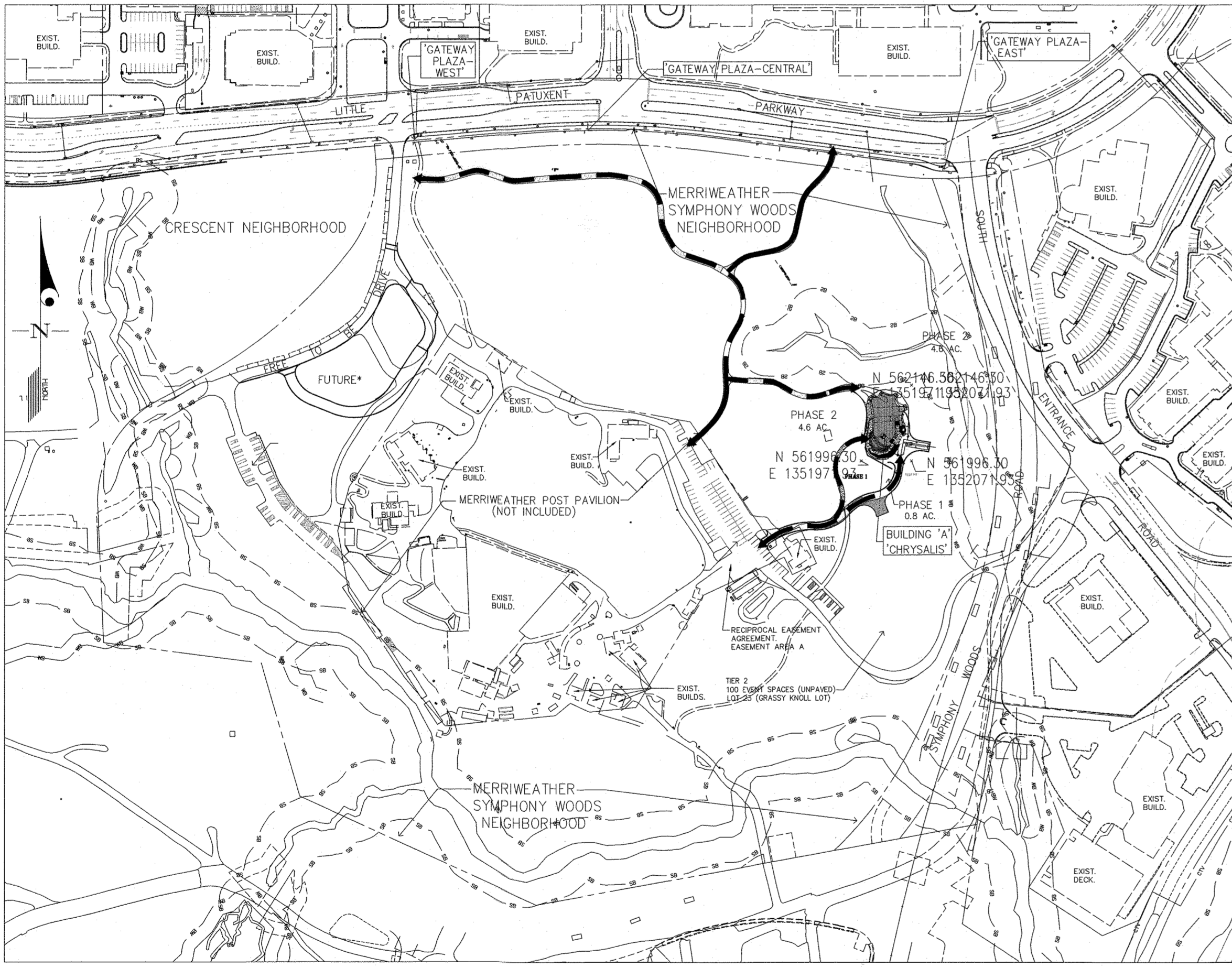
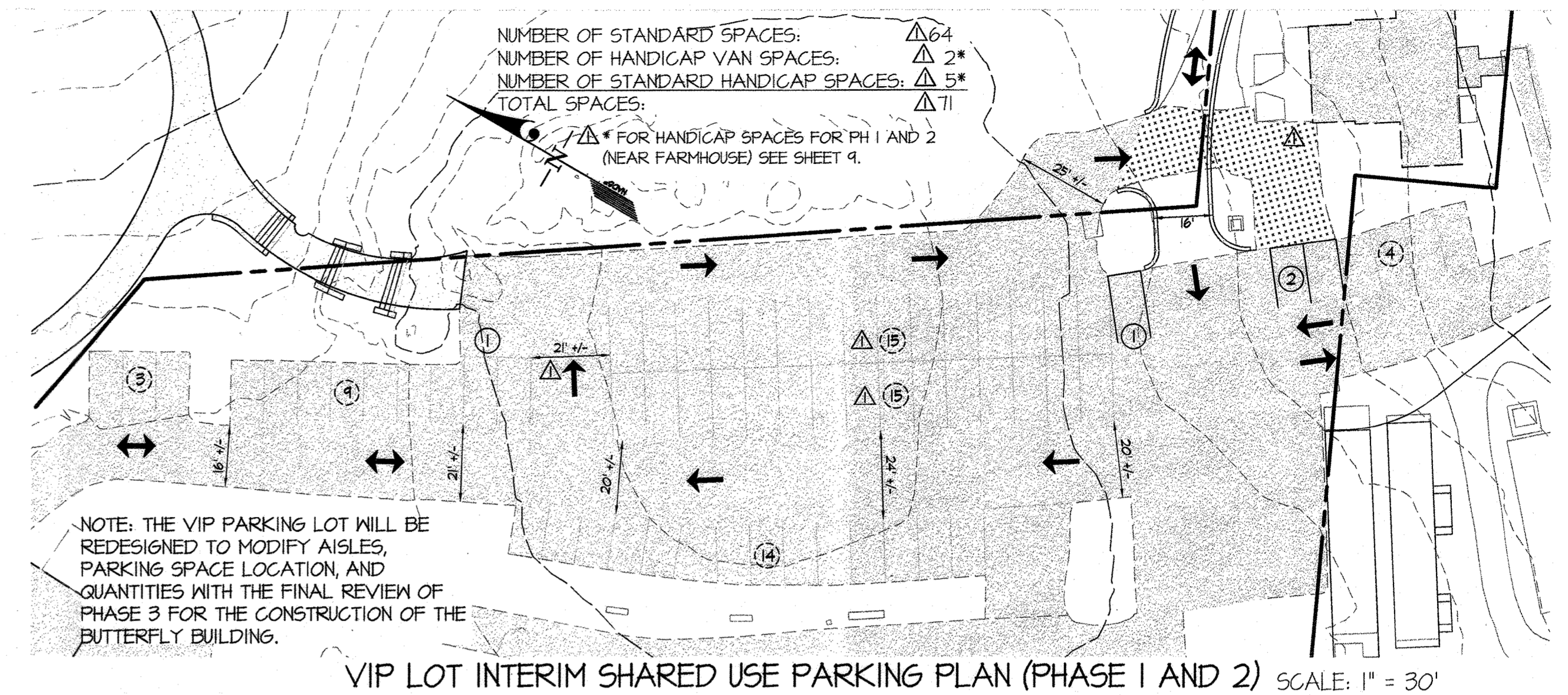
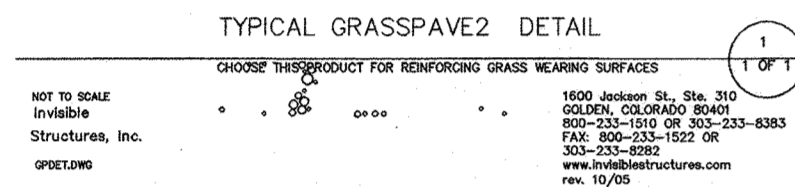
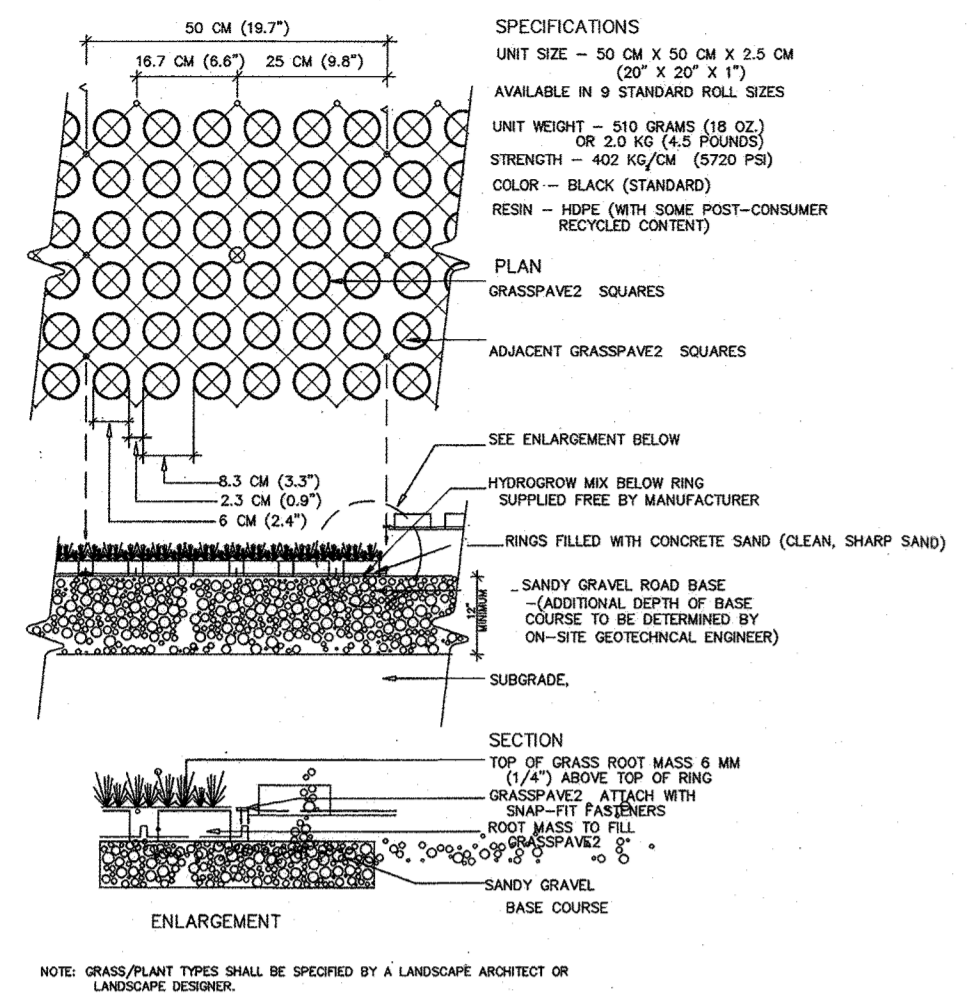
PROFESSIONAL CERTIFICATION  
STATE OF MARYLAND  
MICHAEL MCCALL  
LICENSE NO. 12875  
EXPIRATION DATE: MAY 28, 2024  
1-4-23

REVISED  
SITE DETAILS, HANDICAP ACCESS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER PARK at SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13335 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN, 2016	36 - 01	6 OF 38

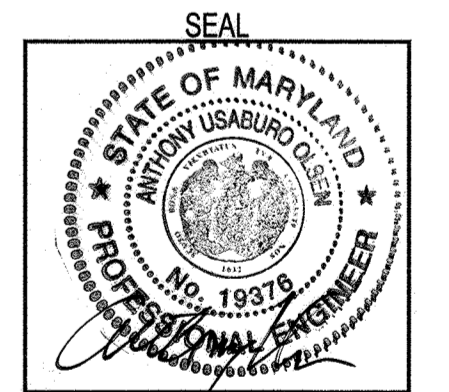
PDOX SHEET 9 OF 59

L:\CAD\DRAWINGS\11072\11072.dwg (P) by: G:\VSP\13043-SDP\10-SITE DETAILS-PARK.dwg  
PLOT FILE: 1/2/2023 4:35 PM, LAST SAVED: 1/2/2023 4:30 PM, PLOTTED BY: Don Swenny



- LEGEND**
- ACCESSIBLE PATH  
(1%-5%)  
8' MINIMUM WIDTH
  - ADA TRAILS  
(5%-12.5%)  
6' MINIMUM WIDTH
  - NOT ACCESSIBLE  
(12.5% OR STAIRS  
REQUIRED)  
10' MINIMUM WIDTH
  - SIDEWALK  
FOLLOWS GRADE OF  
STREET (10' MINIMUM  
WIDTH)
  - NON-PAVED HIKING TRAIL  
2.5' MINIMUM WIDTH

HANDICAP ACCESS PLAN SCALE: 1" = 30'



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION A & B

SIGNATURE

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Don de Eisenberg* Date: 11/2/24  
Chief, Division of Land Development: *Sam* Date: 12/21/23  
Chief, Development Engineering Division: *MS* Date:

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: NOVEMBER 20, 2014  
\*SEE NOTES ON SHEET 2 FOR PHASING.

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	JTD
07/20/22	REMOVE PHASES NOT BUILT	JTD	
1/8/16	DELETE TEMP ACCESS PATH DETAIL AND UPDATES VIP LOT DETAIL	MJT	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

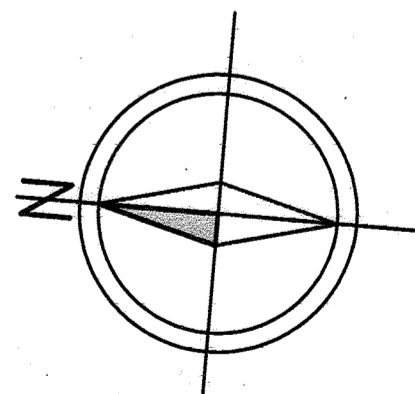
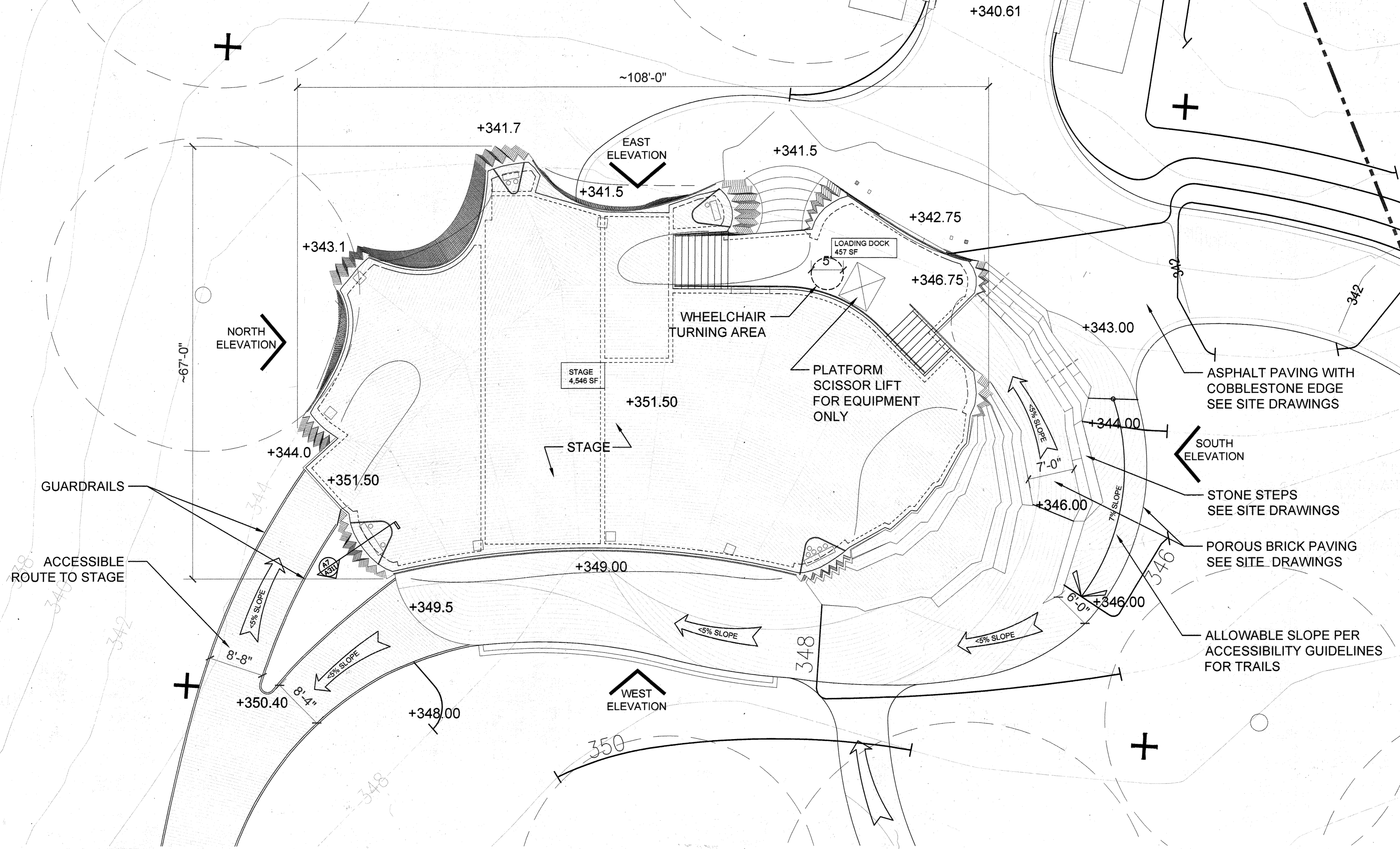
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 12775  
EXPIRATION DATE: MAY 26, 2024  
5/23/22

REVISED HANDICAP ACCESS DIAGRAM & DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7  
TOWN CENTER SECTION I AREA I  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN 2016	36 - 01	7 OF 38

N:\M2118-002\CADD\Sheet 10.dwg: 10.dwg: 12/21/23 4:16 PM, PLOTTED BY: DISCAR, .dwt

NOTES:  
 BUILDING A "CHRYSALIS" WILL BE PROVIDED WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH IBC 903.3.1.1 AS REQUIRED BY IBC.410.7, OR AN ACCEPTABLE ALTERNATIVE SYSTEM BASED ON THE RESULTS OF AN ENGINEERING ANALYSIS, SUBJECT TO APPROVAL.



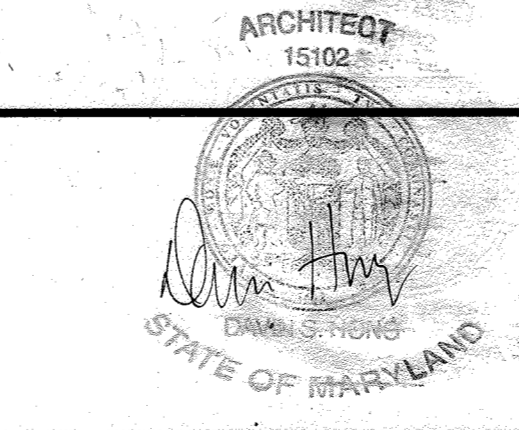
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-2-15  
 Chief, Division of Land Development: *[Signature]* Date: 8-25-15  
 Chief, Development Engineering Division: *[Signature]* Date:

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 21, 2014

LEAD DESIGNER:  
 THEVERYMANY, LLC  
 ENGINEER OF RECORD:  
 ARUP  
 ARCHITECT OF RECORD:  
 LIVING DESIGN LAB, LLC  
 MARC FORNES ©  
 www.theverymany.com

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

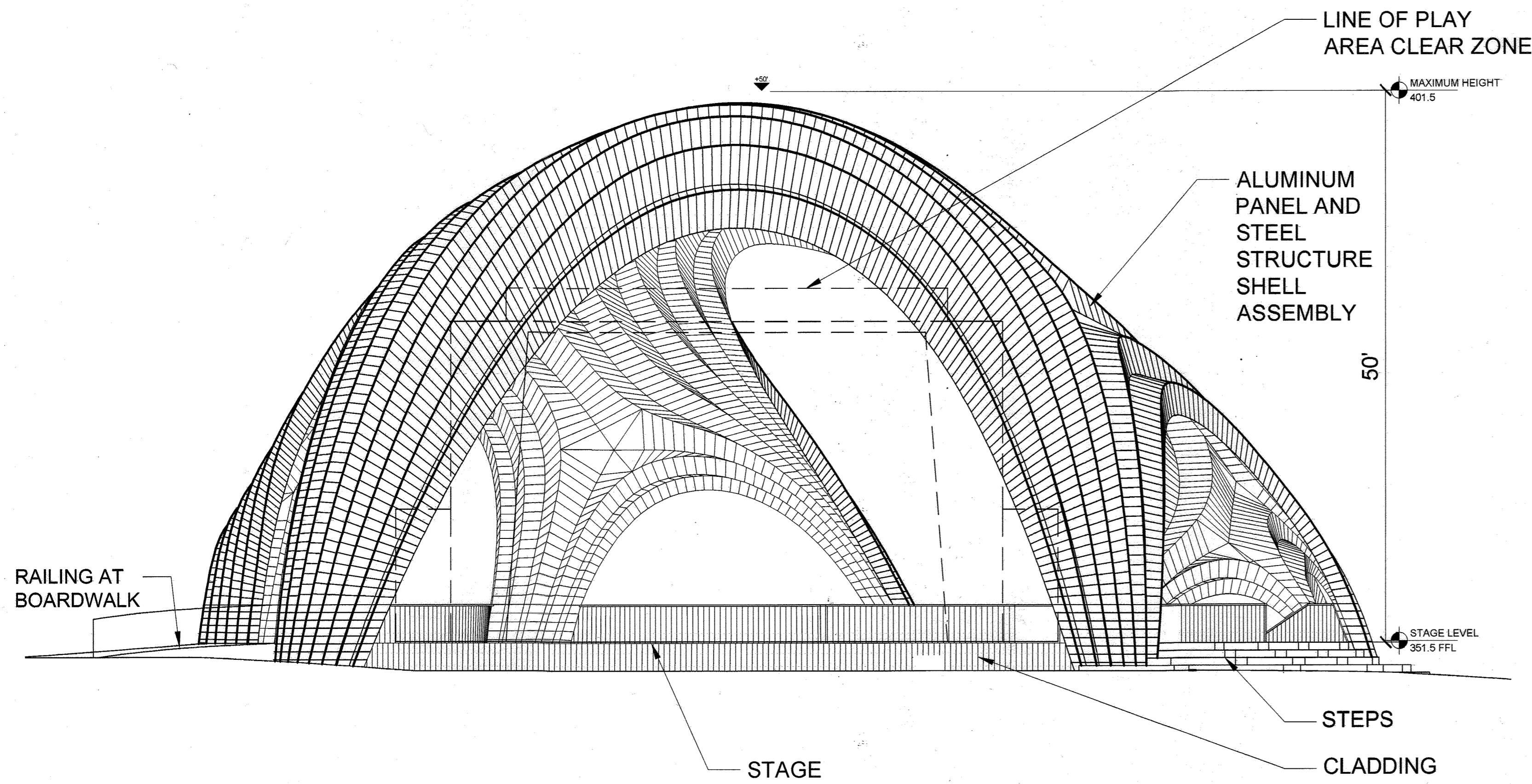
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



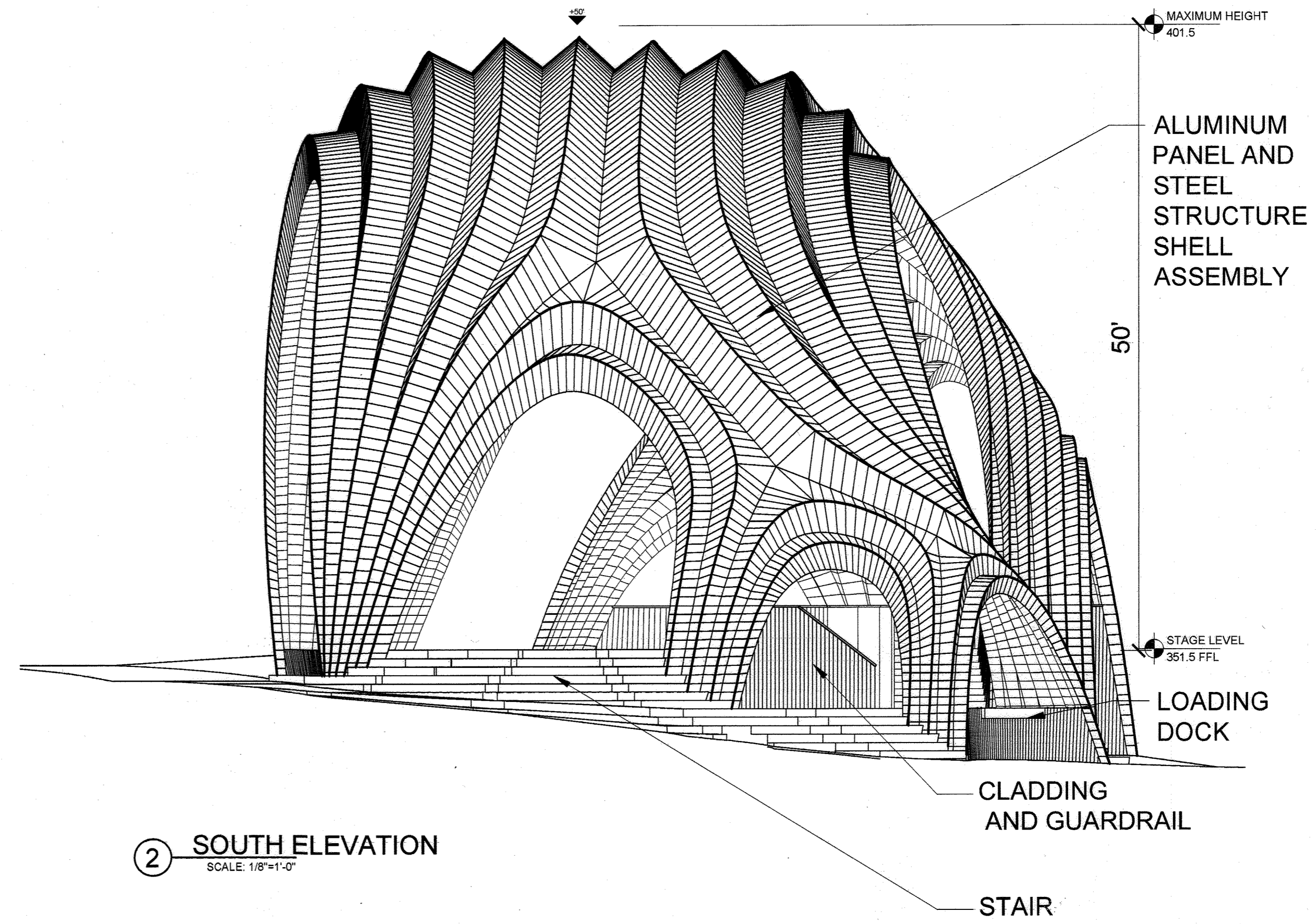
Building A Chrysalis Amphitheater Plan with Accessible Paths  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=1'-0"	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	8 OF 38

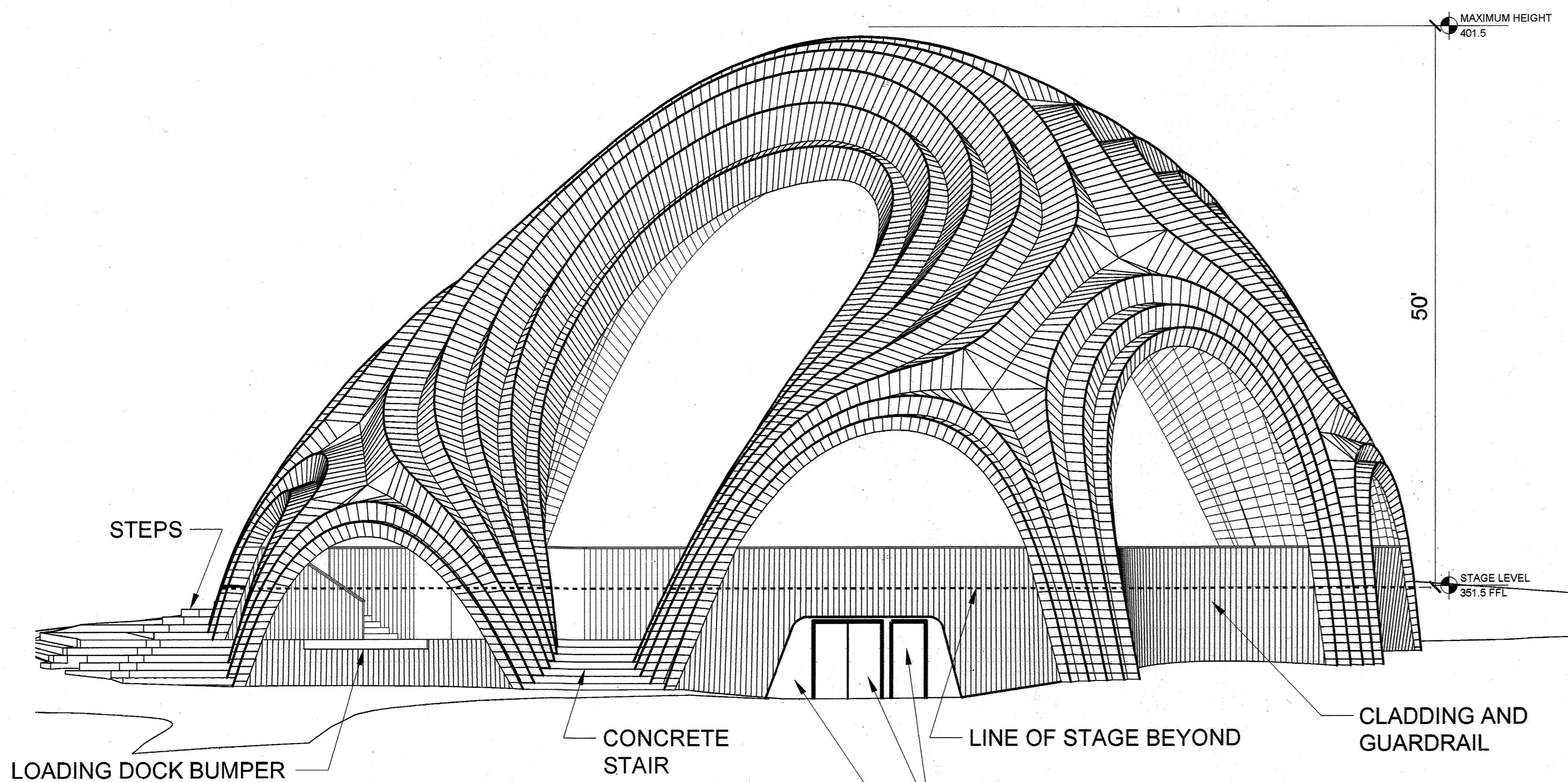




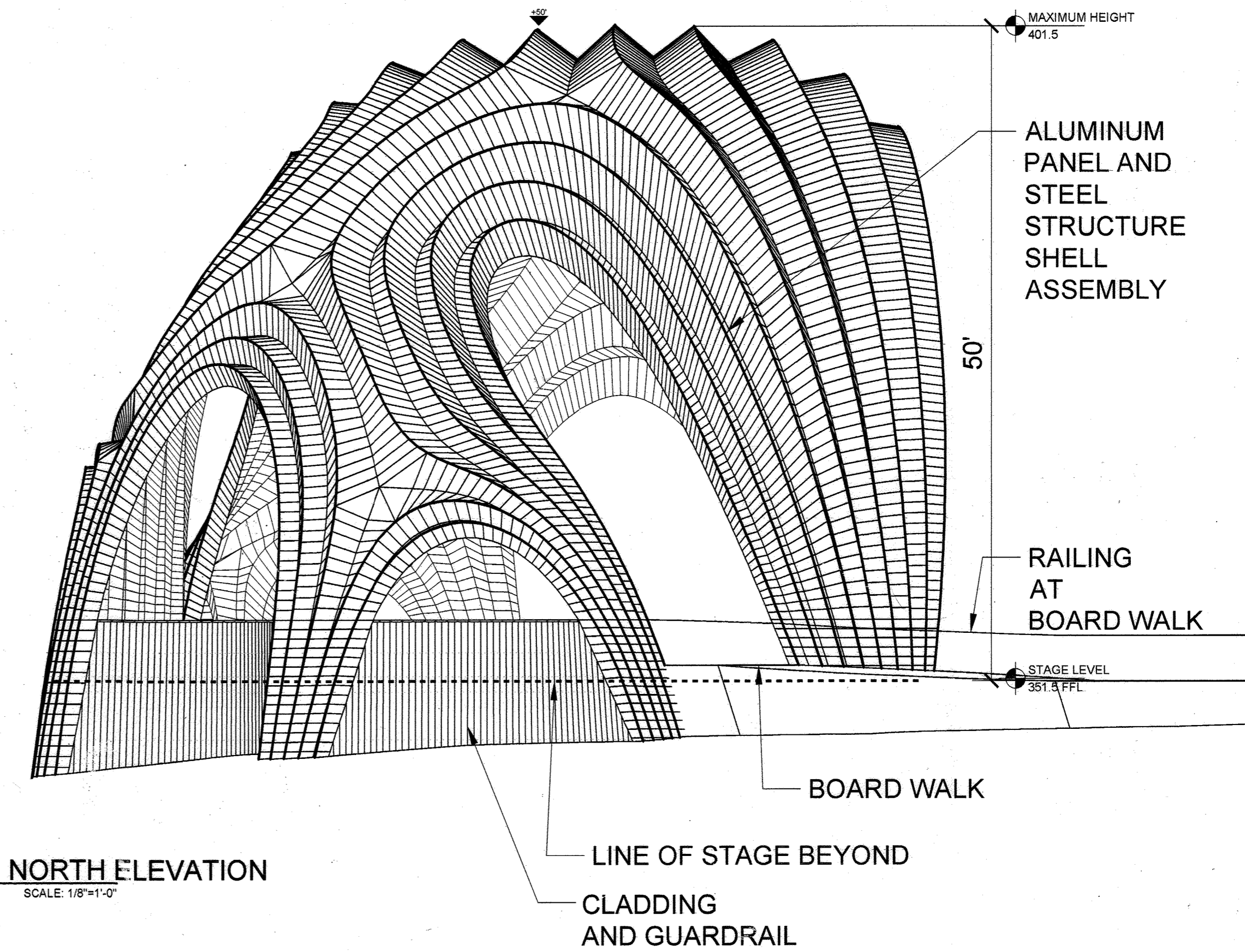
① WEST ELEVATION  
SCALE: 1/8"=1'-0"



② SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



① EAST ELEVATION  
SCALE: 1/8"=1'-0"



② NORTH ELEVATION  
SCALE: 1/8"=1'-0"

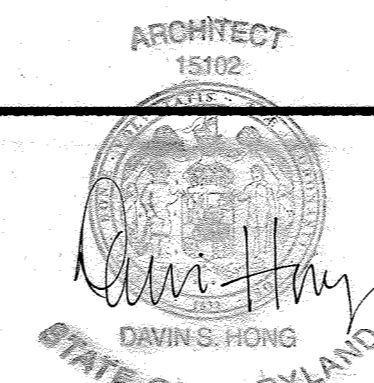
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-8-15  
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15  
 Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 26, 2014

LEAD DESIGNER: THEVERYMANY, LLC  
 ENGINEER OF RECORD: ARUP  
 ARCHITECT OF RECORD: LIVING DESIGN LAB, LLC

NO.	DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



Building A Chrysalis Amphitheater: Building Elevations  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

SCALE	ZONING	G. L. W. FILE No.
1/8"=1'-0"	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	9 OF 38

- LEGEND**
- PROPOSED SILT FENCE
  - PROPOSED SUPER SILT FENCE
  - LIMITS OF DISTURBANCE/L.O.D.
  - PHASE LIMITS OF DISTURBANCE/L.O.D.
  - LIMIT OF SUBMISSION/LOS
  - SOILS BOUNDARY
  - STABILIZED CONSTRUCTION ENTRANCE
  - SCE
  - PHASE 1 DRAINAGE AREA
  - FUTURE PHASE DRAINAGE AREA

- NOTES:**
1. ALL VARIABLE WIDTH PATHS ARE 10' MINIMUM WIDTH UNLESS NOTED OTHERWISE.
  2. FOR LEGEND SEE SHEET 3.
  3. IMPROVEMENTS OUTSIDE OF THE LIMITS OF THE APPROVED FDP (FDP-DC-1514-1) TO BE ADDED BY A FUTURE REDLINE TO THESE PLANS ONCE AN AMENDED FDP HAS BEEN SUBMITTED, REVIEWED AND APPROVED BY DPZ.

SOIL TYPE	SOIL DESCRIPTION	SOILS GROUP
BaA	Boile silt loam, 0 to 3 percent slopes	"D"
GbB	Gladstone loam, 3 to 8 percent slopes	"B"
GbC	Gladstone loam, 8 to 15 percent slopes	"B"
Ha	Hatboro-Codorus silt loam, 0 to 3 percent slopes	"D"
MaC	Manor loam, 8 to 15 percent slopes	"B"
McD	Manor loam, 15 to 25 percent slopes	"B"
UuB	Urban land-Udorthents complex, 0 to 8 percent slopes	"D"

- 'B' TYPE SOILS
- 'D' TYPE SOILS

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexandra D'Amico* 12/04/23  
 HOWARD SCD DATE

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*MW* 10/30/23  
 SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*CK* 5/23/23  
 ENGINEER'S SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Sydney Eisberg* 1/2/24  
 Director Date

*John* 1/2/24  
 Chief, Planning & Land Development Date

*John* 12-21-23  
 Chief, Development Engineering Division Date

APPROVED  
**PLANNING BOARD OF HOWARD COUNTY**  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3809 NATIONAL DRIVE - SUITE 250 - BURTOWNE OFFICE PARK  
 BURTOWNE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AUD	AUD
06/20/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JJD	AUD

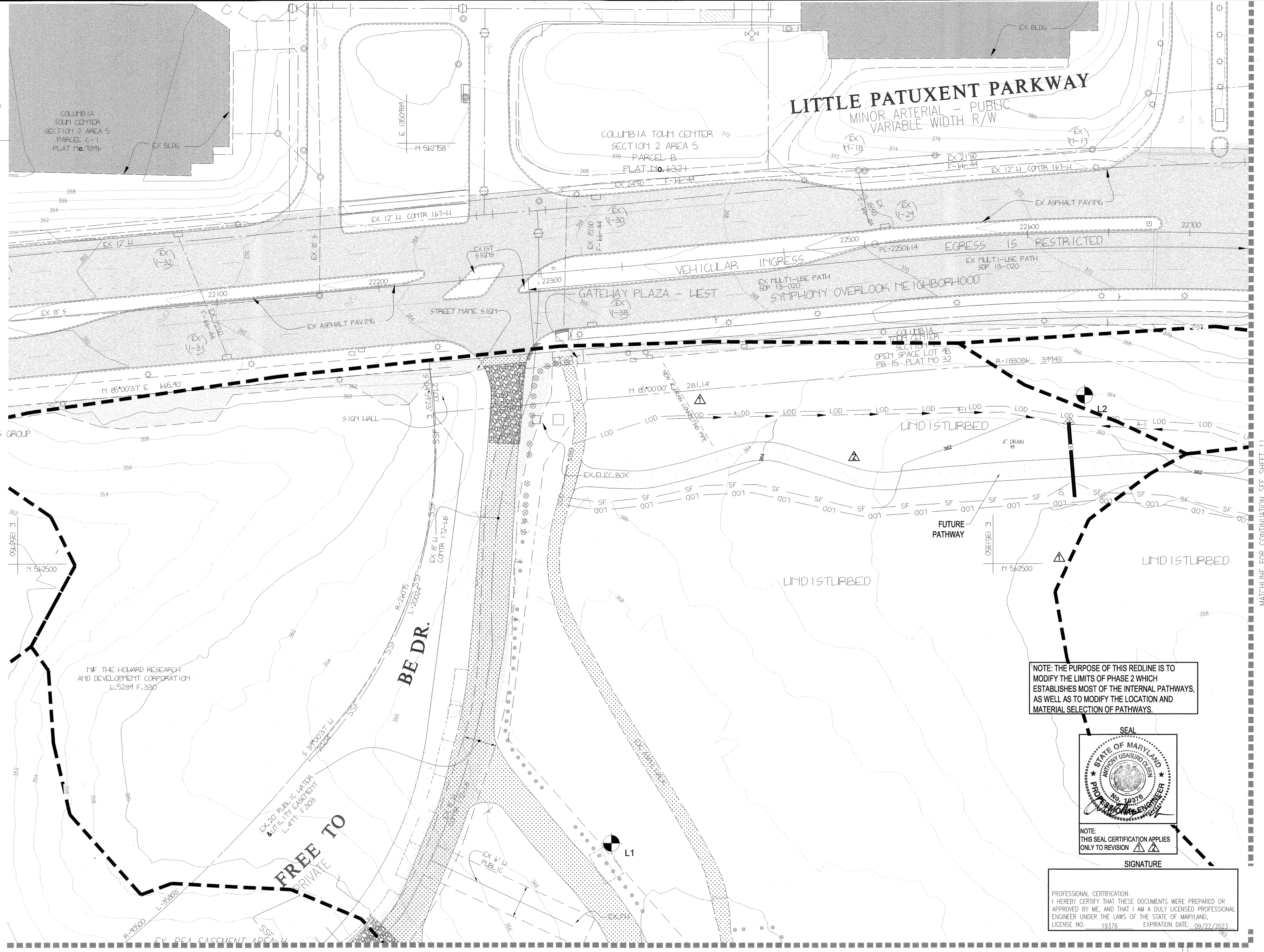
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376  
 EXPIRATION DATE: MAY 26, 2024  
 5/23/23

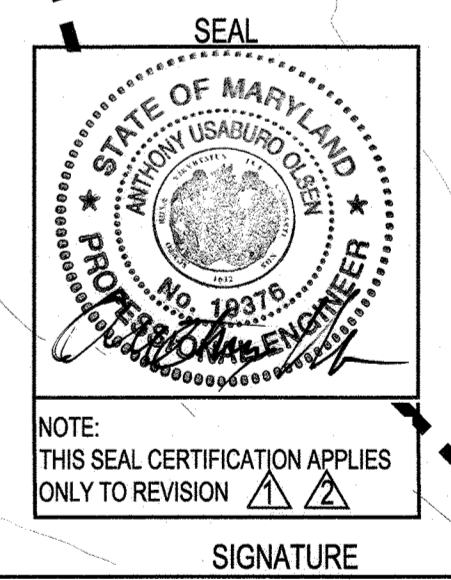


**REVISED SEDIMENT CONTROL PLAN-NORTHWEST**  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	10 OF 38

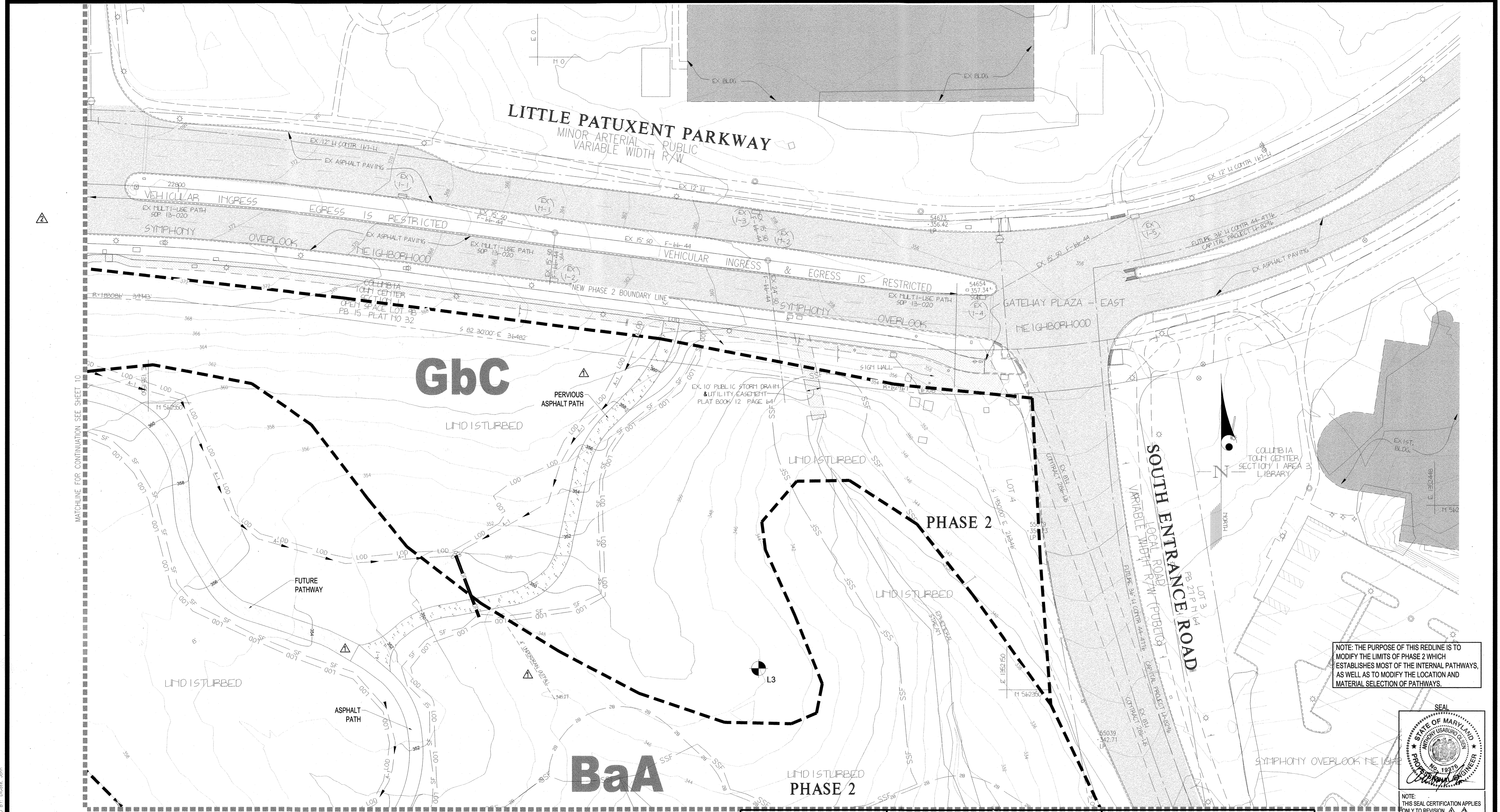


NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.

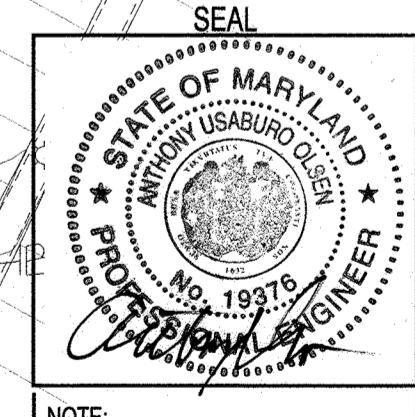


PROFESSIONAL CERTIFICATION:  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376 EXPIRATION DATE: 08/22/2023

N:\42118-002\CADD\Sheets 27-30.dwg, PLOTTED: 2/27/2023 3:48 PM, LAST SAVED: 12/19/2022 4:07 PM, PLOTTED BY: DGG/ste\_john



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Lynda Eversberg* 1/2/24  
 Chief Planner: *John Development* 12/24  
 Chief, Development Engineering Division: *gsm* 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
*Allyson Baithis* 12/04/23  
 HOWARD SCD DATE

DEVELOPER'S/BUILDER'S CERTIFICATE  
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: *10/30/2023* DATE

ENGINEER'S CERTIFICATE  
 I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature: *5/23/23* DATE

SIGNATURE  
 PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

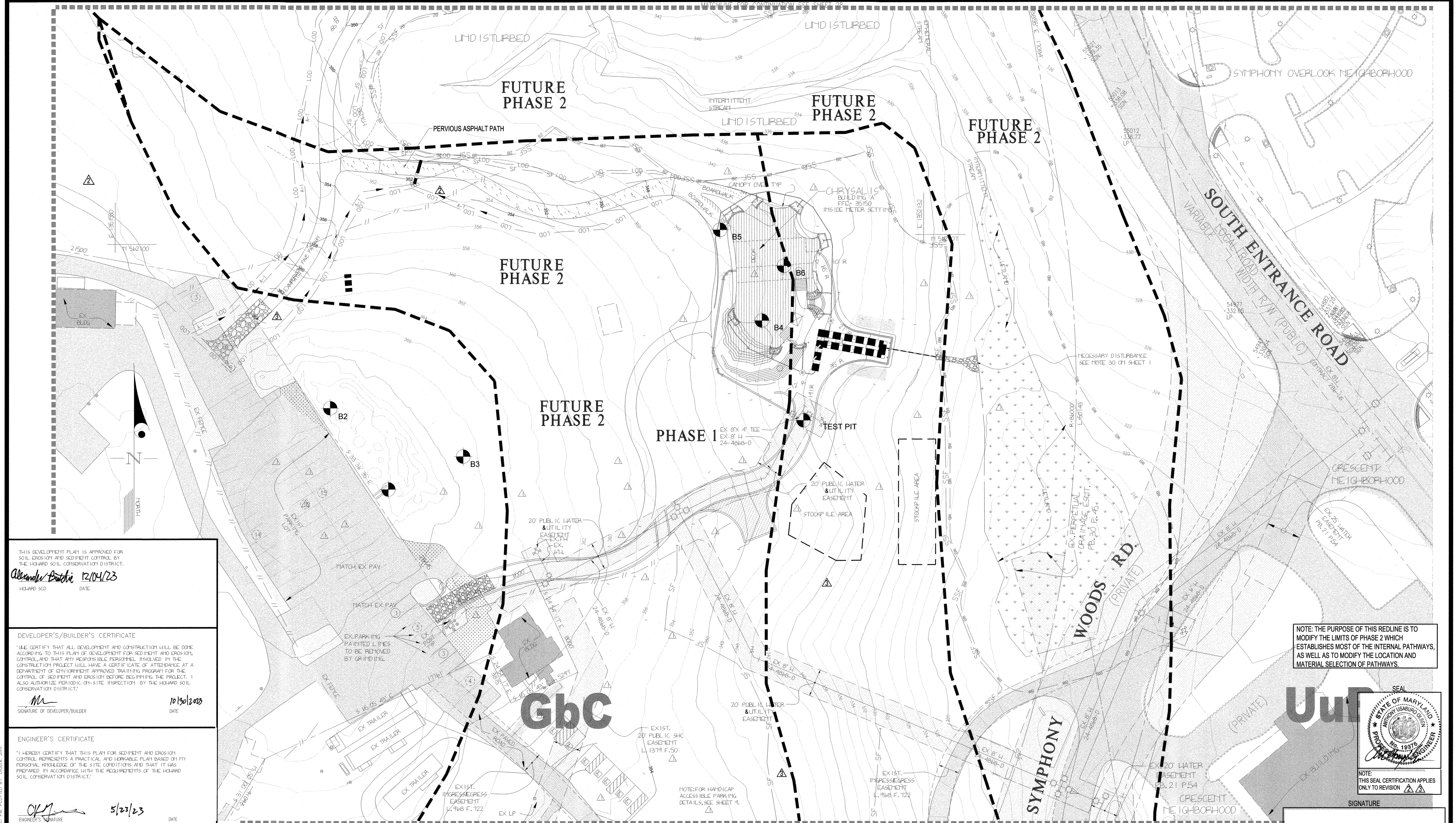
DATE	REVISION	BY	APPR.
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AUO	AUO
06/20/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JTO	AUO

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXPIRATION DATE: 11/20/2024 5/23/23

REVISED SEDIMENT CONTROL PLAN-NORTHEAST  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7  
 TOWN CENTER SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE 1"=30'	ZONING NT	G. L. W. FILE NO. 13043
DATE JAN., 2016	TAX MAP - GRID 36 - 01	SHEET 11 OF 38



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*Alexander Baiter* 12/04/23  
 HOWARD SCD DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

*M* 10/30/2023  
 SIGNATURE OF DEVELOPER/BUILDER DATE

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*OKM* 5/23/23  
 ENGINEER'S SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*d m de evans* 11/2/24  
 Director Date

*WJ* 12-21-23  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014

\*SEE NOTES ON SHEET 2 FOR PHASING.

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNSVILLE OFFICE PARK  
 BURTOWNSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT. 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AUO	AUO
06/20/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JTD	AUO
1/8/24	UPDATE CHRYSALIS BUILDING WATER LINE SIZER SO ADDED NEW TRAILER PARKING AND PATH		
	REMOVED TRAILER PARKING PADS		

PREPARED FOR & DEVELOPER:

INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19875

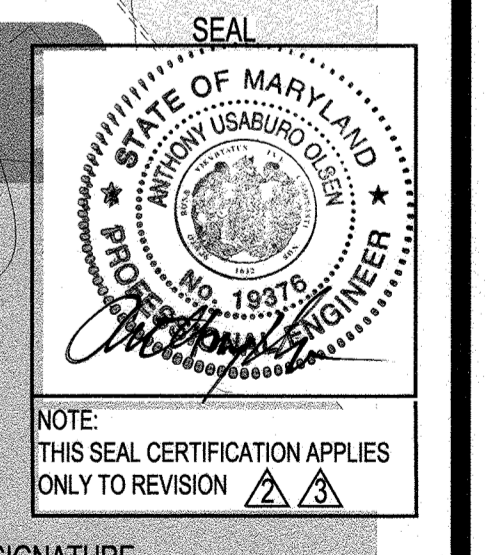
EXPIRATION DATE: MAY 26, 2024  
 5/23/23

REVISED SEDIMENT CONTROL PLAN-MIDEAST

**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	12 OF 38

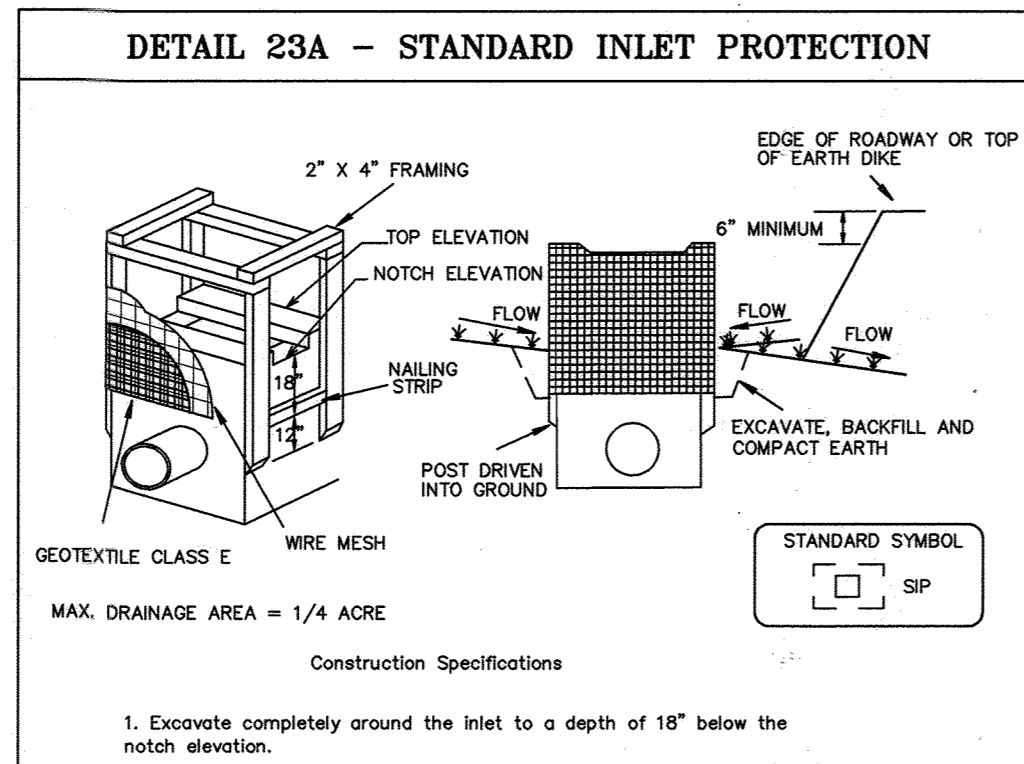
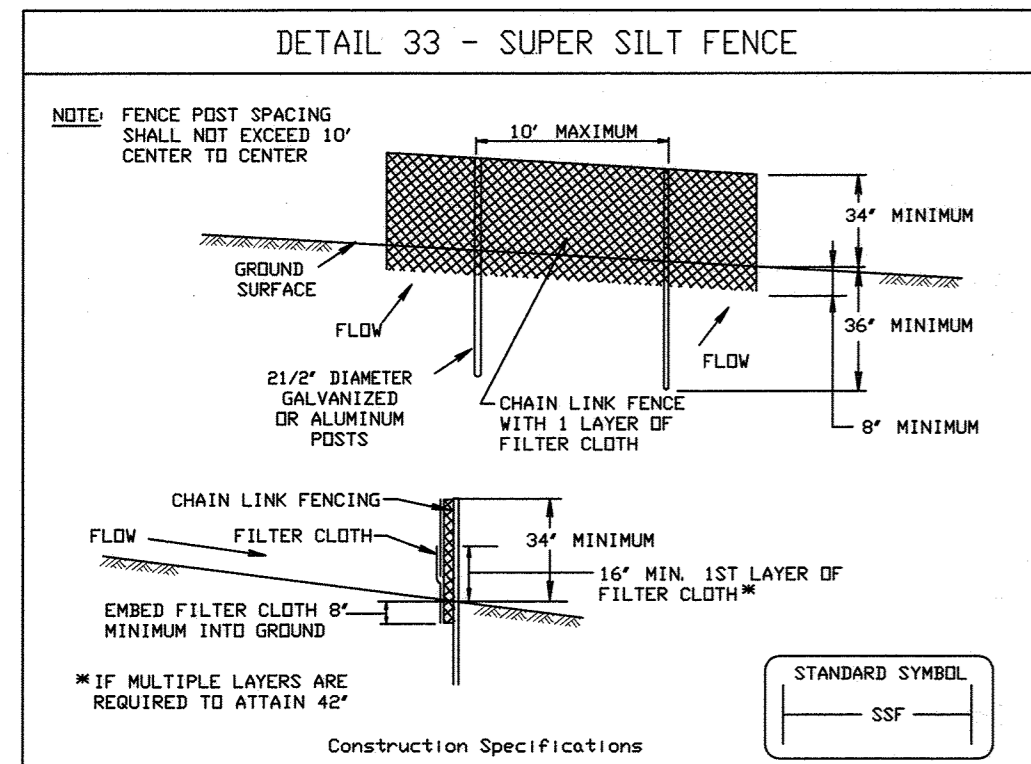
NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19376 EXPIRATION DATE: 09/22/2019

SIGNATURE



**DETAIL 33 - SUPER SILT FENCE**

NOTE: FENCE POST SPACING SHALL NOT EXCEED 10' CENTER TO CENTER

34" MINIMUM

36" MINIMUM

8" MINIMUM

16" MIN. 1ST LAYER OF FILTER CLOTH

CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
 

Tensile Strength	50 lbs/in. (min.)	Test: MSMT 509
Tensile Modulus	80 lbs/in. (min.)	Test: MSMT 509
Flow Rate	0.3 gal/ft <sup>2</sup> /minute (max.)	Test: MSMT 382
Filtration Efficiency	75% (min.)	Test: MSMT 382

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 16 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

**DETAIL 23A - STANDARD INLET PROTECTION**

GEOTEXTILE CLASS E

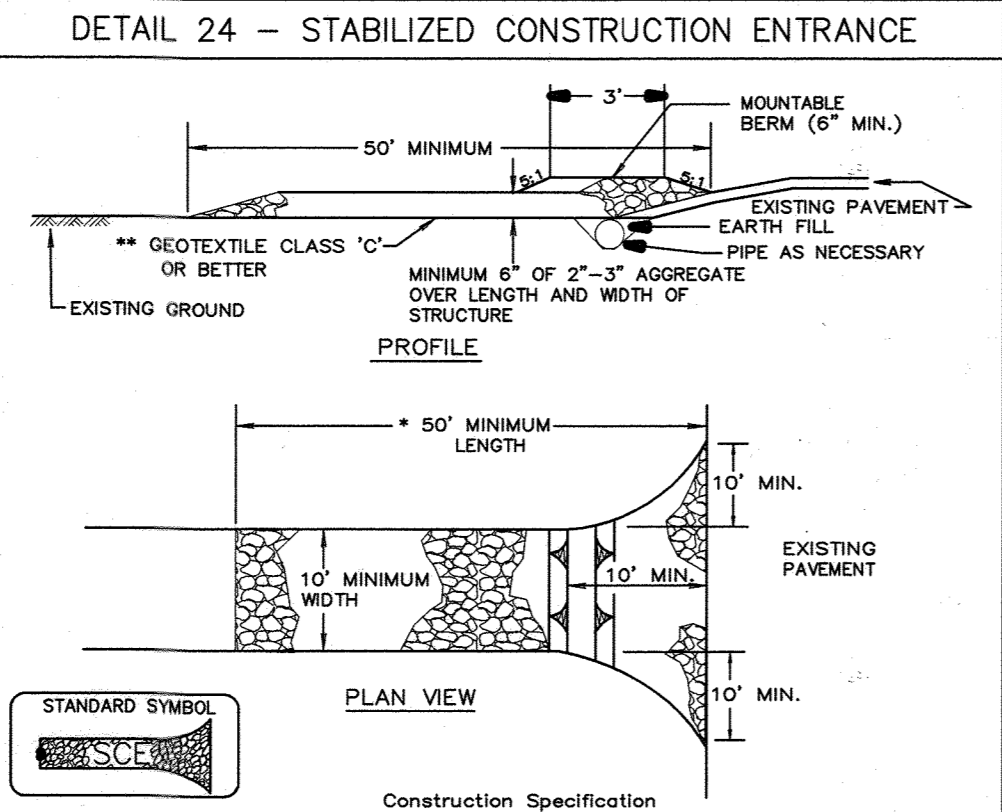
WIRE MESH

STANDARD SYMBOL

CONSTRUCTION SPECIFICATIONS

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (web) must be 6" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh lightly around the frame and fasten securely. The ends must meet and overlap at a post.
- Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B - 16 - 6	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

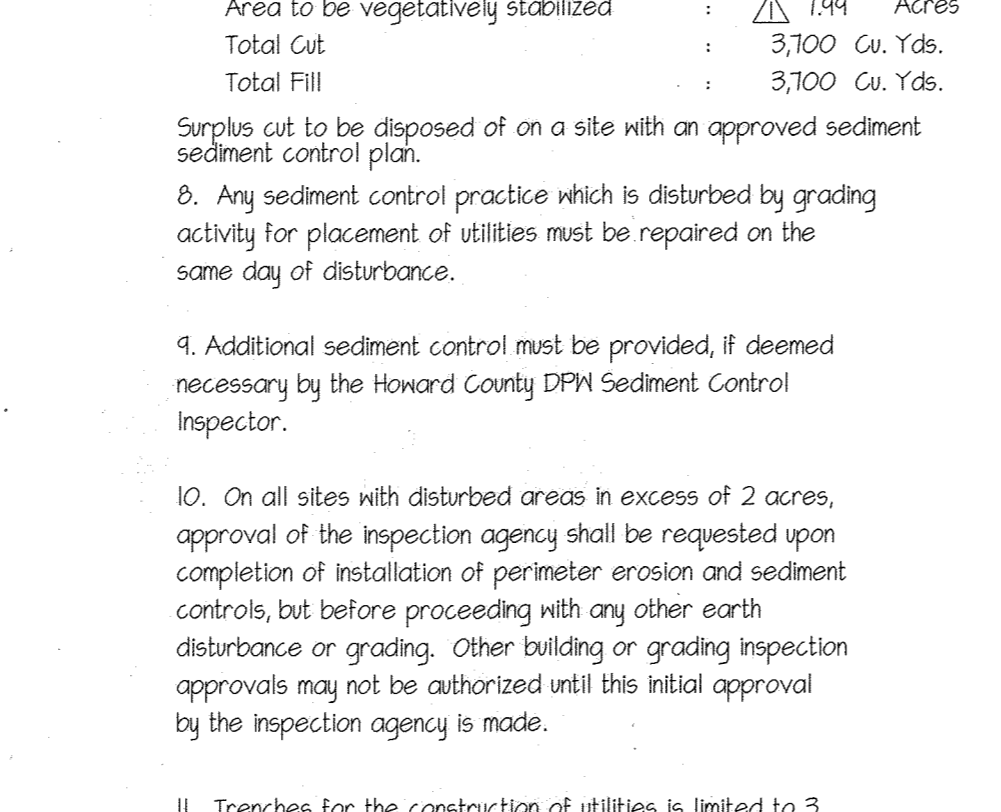


**DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE**

CONSTRUCTION SPECIFICATION

- Length - minimum of 50' (\*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. \*\*The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a moundable berm with a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---



**TREE PROTECTION FENCE**

NOT TO SCALE

EXISTING TREES TO BE SAVED IN AND ADJACENT TO THE CONSTRUCTION AREA

HIGHLY VISIBLE FLAGGING (ATTACH FLAGGING TO WIRE FENCE)

SMOOTH WIRE FENCE - THREE STRAND TOP STRAND 4" MINIMUM HEIGHT

6' HT. 2" STEEL FENCE POSTS 6' O.C.

1/3 OF HT. OF POST ABOVE GROUND

TREE PROTECTION FENCING

- Tree protection device only.
- Device must be maintained throughout construction.
- Wire must be securely attached to posts.

This Development Plan is approved for Soil Erosion and Sediment Control by the Howard County Conservation District.

*Alexandra Braithwaite* 12/04/23  
Howard S.C.D. Date

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT AND EROSION CONTROL, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 10/30/2023  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*[Signature]* 1/4/23  
ENGINEER'S SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*[Signature]* 1/2/24  
Director Date

Chief, Division of Land Development 1/2/24  
Date

Chief, Development Engineering Division 1/2/24  
Date

APPROVED: HOWARD COUNTY

PLANNING BOARD

NOVEMBER 20, 2024

Date: 1/2/24

SEE NOTES ON SHEET 2 FOR PHASING

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866

TEL: 301-421-4024 BALT: 410-860-1820 DC/VA: 301-999-2524 FAX: 301-421-4186

DES. WSJ DRN. WSJ CHK. XXX

06/2022	2	ADD AS-BUILT PATH AND DELETE FUTURE PHASES			
1/4/16		UPDATE SITE ANALYSIS	mjt		
DATE	BY	REVISION			

PREPARED FOR & DEVELOPER:

INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975

EXPIRATION DATE: MAY 28, 2027

1-4-23 *[Signature]*

**SEDIMENT CONTROL NOTES AND DETAILS**

**DOWNTOWN COLUMBIA**

**MERRIWEATHER SYMPHONY WOODS NEIGHBORHOOD**

**MERRIWEATHER PARK AT SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7**

TOWN CENTER SECTION 1 AREA 1

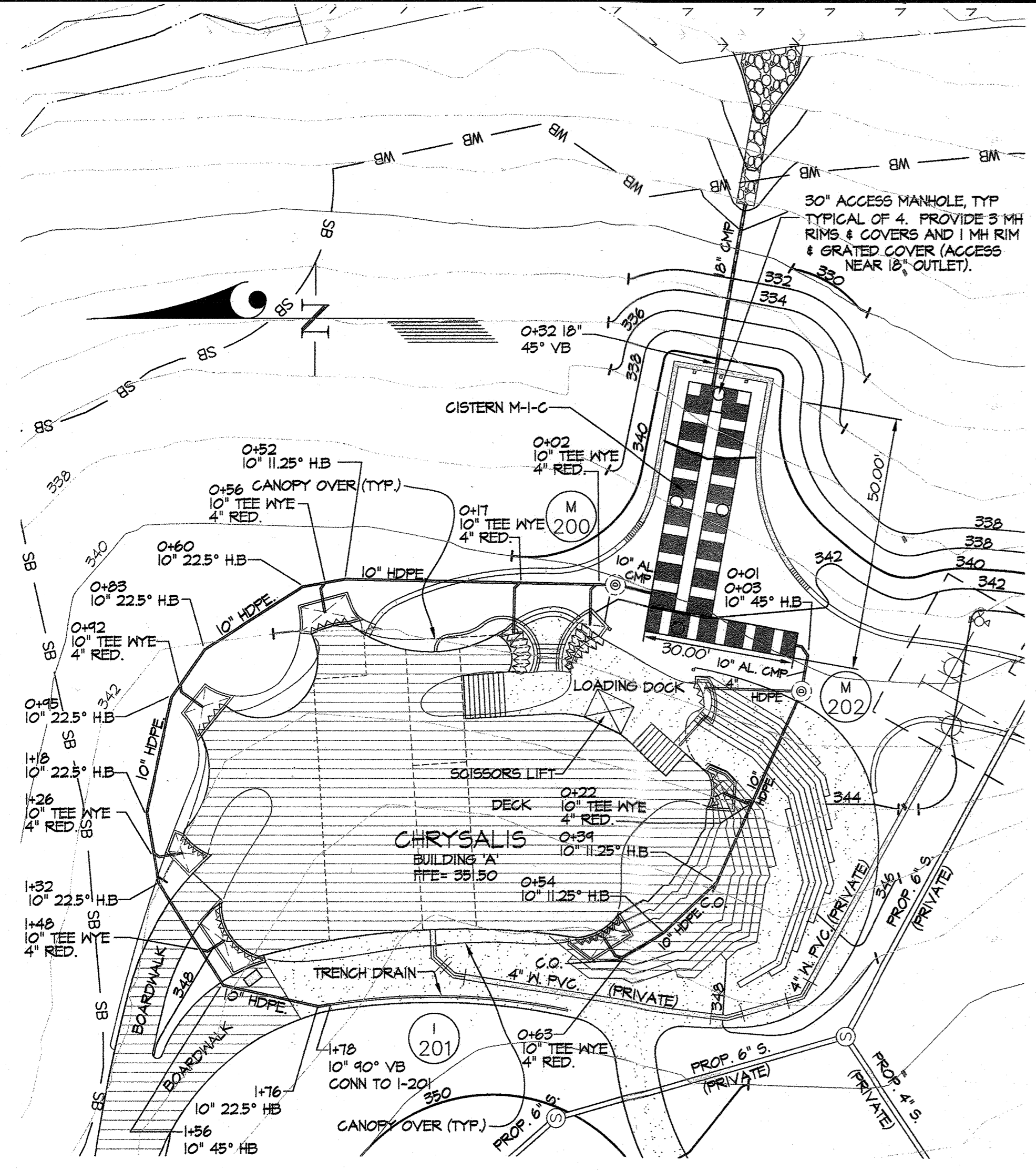
PART OF OPEN SPACE LOT 23-PLAT NO. 13353 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32

GREEN COMMERCIAL BUILDING

ELECTION DISTRICT No. 5

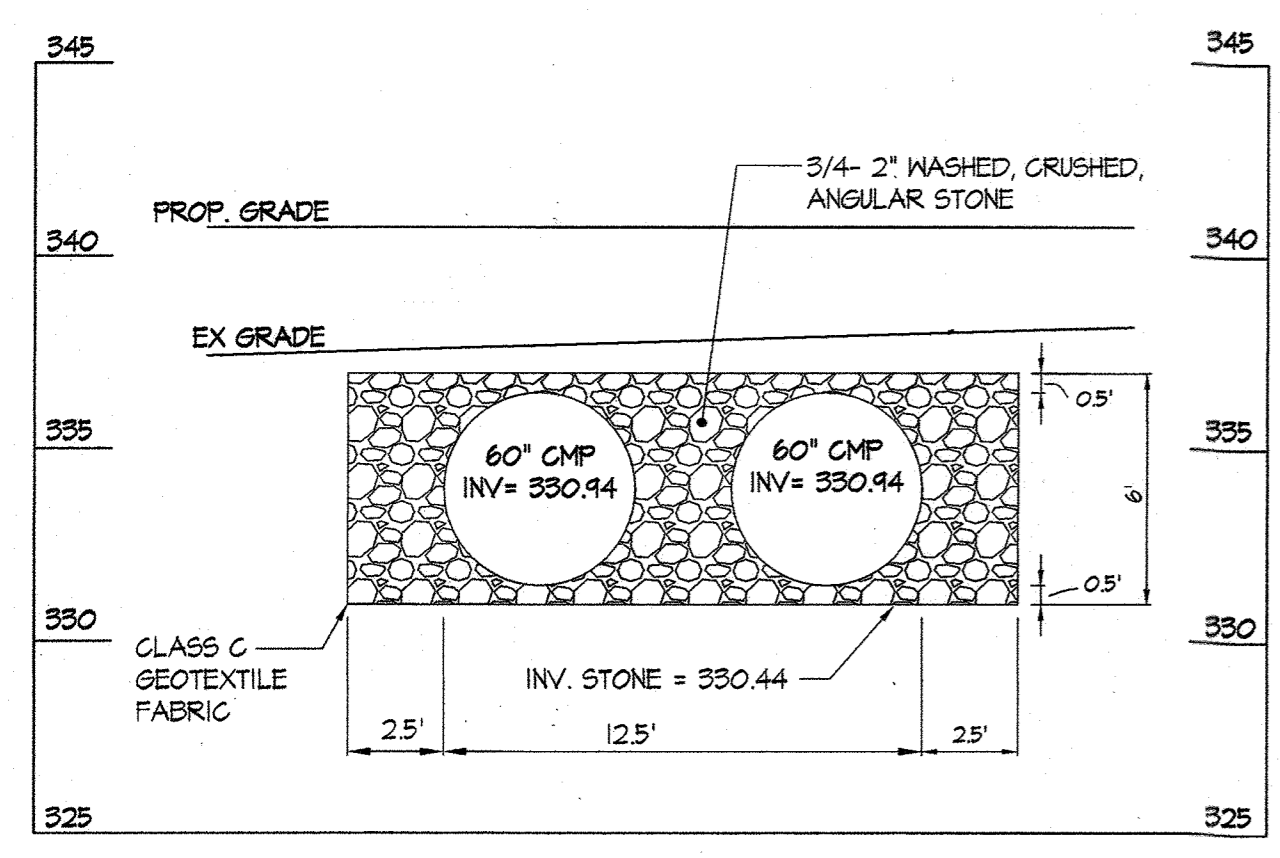
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN, 2016	36 - 01	13 OF 38

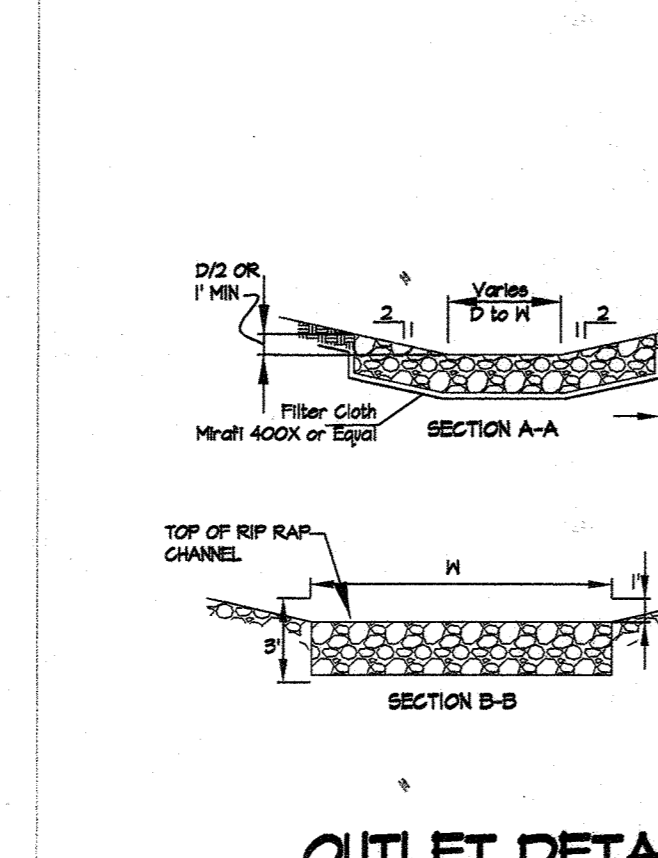


**△ PARTIAL PLAN - CISTERN M-I-C ENLARGEMENT**  
SCALE: 1"=20'

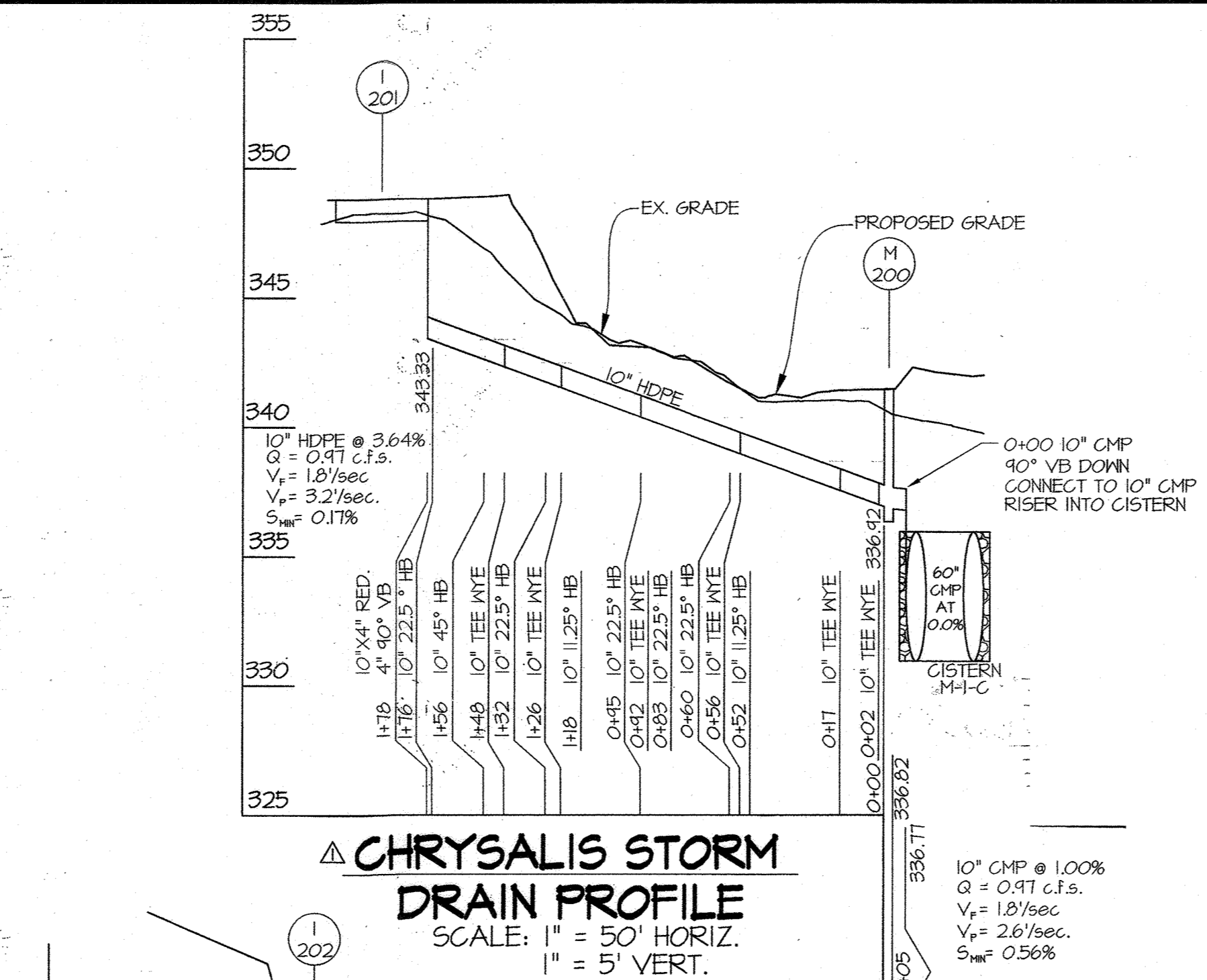
- NOTES:
- FOR MORE INFORMATION SEE ESD DRAINAGE AREA MAP, SHEET 37.
  - MINIMUM STORAGE VOLUME FOR M-I-C IS 2,485 CUBIC FEET.
  - ALL PIPE FOR M-I-C SHALL BE 12 GAUGE ALUMINIZED CORRUGATED METAL PIPE.
  - ALL PIPE CONNECTING TO M-I-C SHALL BE ALUMINIZED CORRUGATED METAL PIPE.
  - PIPE CONNECTING BASINS AT THE CHRYSALIS LEGS SHALL BE HDPE. LATERALS FROM THE ROOF DRAIN MANIFOLD TO THE BASINS SHALL BE 4" HDPE PIPE WITH A 4" 90° VERTICAL BEND UP TO A 4" X 8" INLINE DRAIN ADAPTER WITH AN 8" DOMED GRATE.
  - CISTERN RAIN WATER SHALL BE RELEASED FOR IRRIGATION OF LAWN AREAS, PLANTING BEDS, REHYDRATION OF ENVIRONMENTAL WETLAND AREAS AND SIMILAR PERVIOUS AREAS THAT WILL PROMOTE INFILTRATION INTO THE GROUND. THE CISTERN SHALL BE EMPTIED BETWEEN RAIN EVENTS AS MUCH AS PRACTICABLE. IRRIGATION SHALL BE PERFORMED BY USE OF A PORTABLE SUMP PUMP INSERTED INTO THE CISTERN THROUGH ONE OF THE ACCESS MANHOLES AND ATTACHED TO A HOSE NETWORK CONNECTING PORTABLE SPRINKLER(S) OR A SIMILAR DISTRIBUTION SYSTEM.



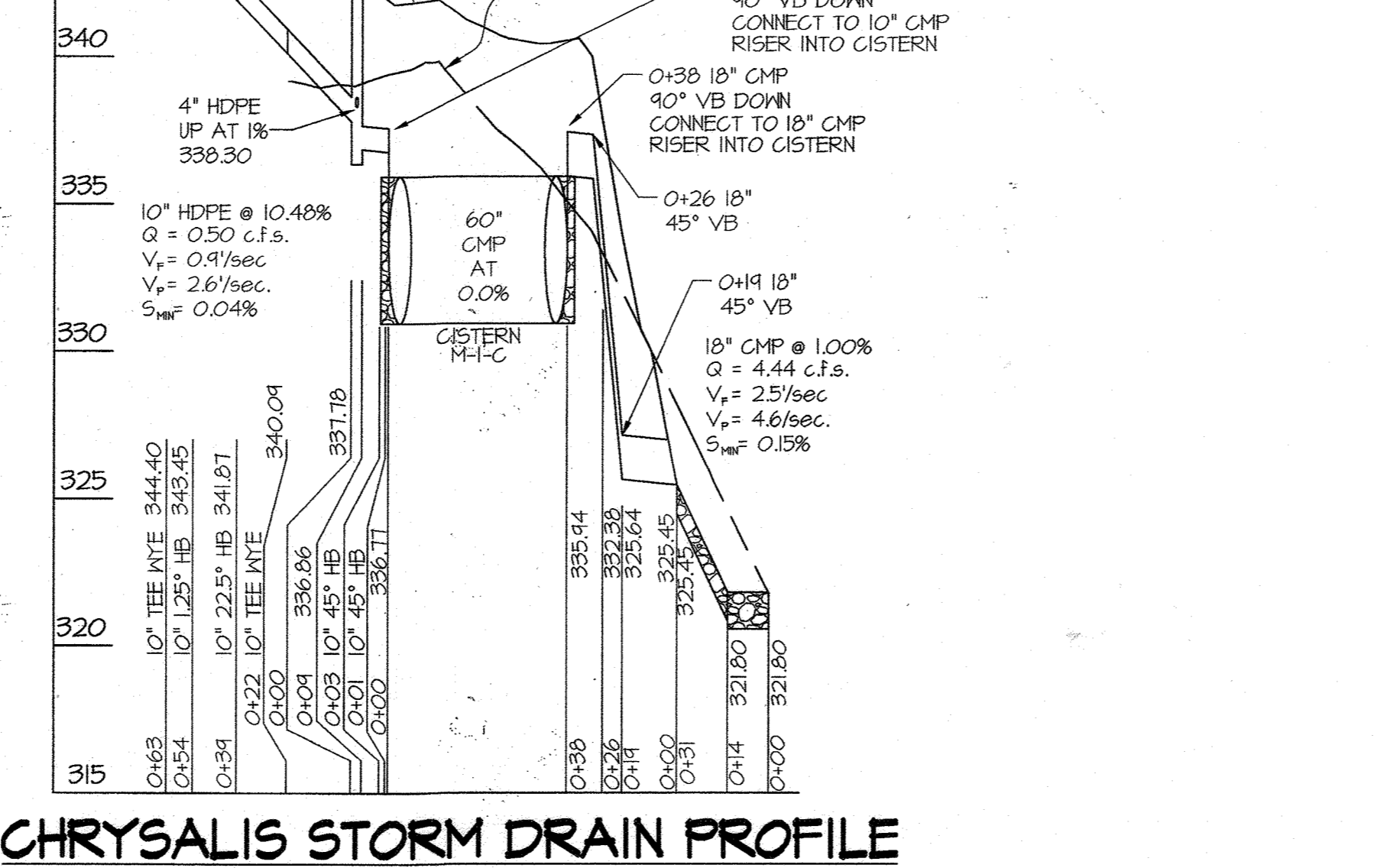
**△ SECTION THROUGH CISTERN M-I-C**  
SCALE: 1"=5'



**OUTLET DETAIL**  
SCALE: NTS



**△ CHRYSALIS STORM DRAIN PROFILE**  
SCALE: 1" = 50' HORIZ.  
1" = 5' VERT.



**CHRYSALIS STORM DRAIN PROFILE**  
SCALE: 1" = 50' HORIZ.  
1" = 5' VERT.

**△ S.D. PIPE SUMMARY TABLE**  
PRIVATELY OWNED AND MAINTAINED

SIZE (in.)	TYPE	QUANTITY (L.F.)	REMARKS
10"	HDPE	24	
10"	CMP	71	
10"	CMP	14	
10"	CMP	52	
10"	CMP	30	

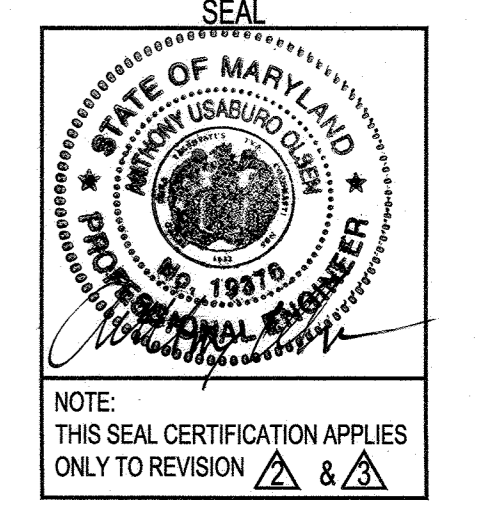
**△ S.D. STRUCTURE SCHEDULE**

NO.	TYPE	DEPTH (INCHES)	TOP ELEVATION UPPER	TOP ELEVATION LOWER	INVERT ELEVATION UPPER	INVERT ELEVATION LOWER	STANDARD DETAIL	NOTES	LOCATION	OWNERSHIP & MAINTENANCE
I-200	MANHOLE	4'-0"	341.82	---	336.42	336.82	NO. CO. 6. 512		SEE PLAN	PRIVATE
I-201	TRENCH DRAIN	---	340.80	---	340.80	341.80	NO. CO. D. 4.22	SEE PLAN	SEE PLAN	PRIVATE
I-202A	MANHOLE	4'-0"	342.60	---	336.86	338.31	NO. CO. 6. 512		SEE PLAN	PRIVATE

**△ S.D. PIPE FITTING TABLE**  
PRIVATELY OWNED AND MAINTAINED

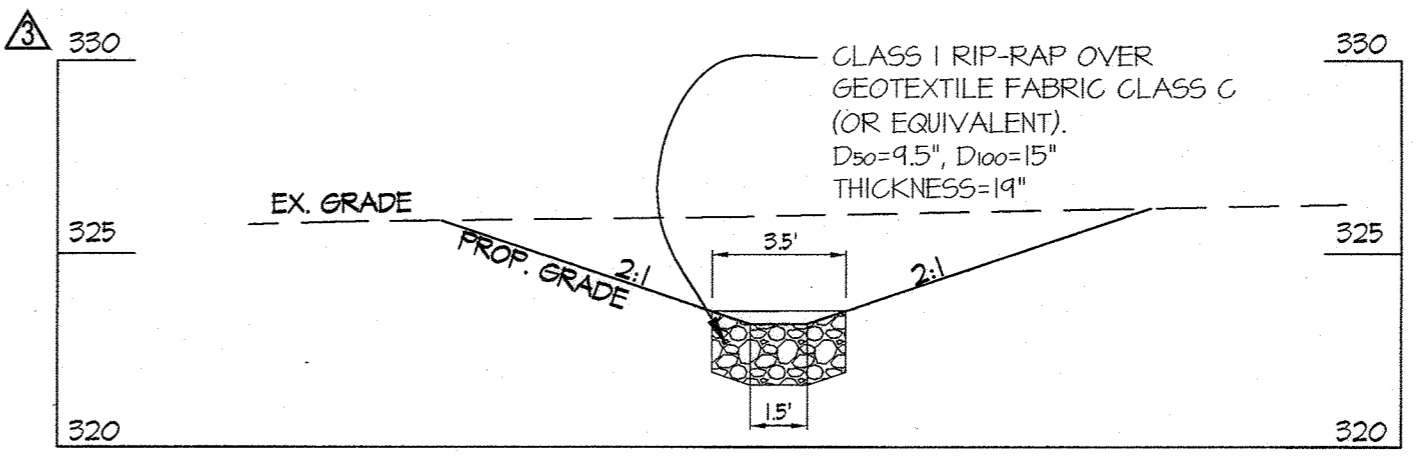
SIZE (in.)	TYPE	QUANTITY	REMARKS
4"	45° HORIZ. BEND	1	CMP
2"	45° VERT. BEND	1	CMP
10"	45° VERT. BEND	1	CMP

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION A & B

PROFESSIONAL CERTIFICATION.  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023



**M-I-C OUTFALL SECTION THROUGH RIP RAP CHANNEL**  
SCALE: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Dyn de Eusby* Date: 11/21/24  
Chief, Division of Land Development: *[Signature]* Date: 12-21-23  
Chief, Development Engineering Division: *[Signature]* Date:

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
Date: NOVEMBER 20, 2014  
\*SEE NOTES ON SHEET 2 FOR PHASING.

FOR CHRYSALIS (BUILDING A) INLET DETAILS SEE SHEET 6  
FOR RAIN GARDEN M-7-A & B SECTIONS SEE SHEET 15

GLW GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-989-2524

DATE	REVISION	BY	APPR.
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	JTD
06/20/22	REMOVE PHASES NOT BUILT		
1/8/16	DELETE TEMP ACCESS PATH DETAIL AND UPDATES VIP LOT DETAIL	MJT	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376  
EXPIRATION DATE: 09/22/2023

REVISED HANDICAP ACCESS DIAGRAM & DETAILS  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN 2016	36 - 01	14 OF 38

N:\2118-002\CADD\Sheet 33.dwg PLOTTED: 5/24/2023 1:53 PM, LAST SAVED: 2/27/2023 4:45 PM, PLOTTED BY: D. Decker, John

B.4.B Specifications for Permeable Pavements

These specifications include information on acceptable materials for typical applications and are not exclusive or limiting. The designer is responsible for developing detailed specifications for individual projects and specific conditions.

1. Pervious Concrete Specifications

Design Thickness - Pervious concrete applications shall be designed so that the thickness of the concrete slab shall support the traffic and vehicle types that will be carried. Applications may be designed using either standard pavement procedures (e.g., AASHTO, ACI 308.4R, ACI 308R) or using structural values derived from flexible pavement design procedures.

Mix & Installation - Traditional Portland cements (ASTM C 150, C 157) may be used in pervious concrete applications. Phosphorus admixtures may also be used. Materials should be tested (e.g., trial batching) prior to construction so that critical properties (e.g., setting time, rate of strength development, porosity, permeability) can be determined.

Aggregate - Pervious concrete contains a limited fine aggregate content. Commonly used gradations include ASTM C 33 No. 67 (3/4 in. to No. 4), No. 8 (3/8 in. to No. 16) and No. 89 (1/2 in. to No. 50) sieves. Single-sized aggregate (up to 1 inch) may also be used.

Water Content - Water-to-cement ratios between 0.27 and 0.30 are used routinely with proper inclusion of chemical admixtures. Water quality should meet ACI 308. As a general rule, potable water should be used although recycled concrete production water meeting ASTM C 44 or AASHTO M 157 may also be used.

Admixtures - Chemical admixtures (e.g., retarders or hydration stabilizers) are used to obtain special properties in pervious concrete. Use of admixtures should meet ASTM C 494 (chemical admixtures) and ASTM C 260 (air entraining admixtures) and closely follow manufacturer's recommendations.

Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

2. Permeable Interlocking Concrete Pavements (PICP)

Paver Blocks - Blocks should be either 3 1/2 in. or 4 in. thick, and meet ASTM C 936 or CSA A231.2 requirements. Applications should have 20% or more (40% preferred) of the surface area open. Installation should follow manufacturer's instructions, except that infill and base course materials and dimensions specified in this Appendix shall be followed.

Infill Materials and Leveling Course - Openings shall be filled with ASTM C-33 graded sand or sandy loam. PICP blocks shall be placed on a one-inch thick leveling course of ASTM C-33 sand.

Base Course - The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30). Reinforced Turf

Reinforced Grass Pavement (RGP) - Whether used with grass or gravel, the RGP thickness shall be at least 3/4" thick with a load capacity capable of supporting the traffic and vehicle types that will be carried.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT (A-2)

a. The Owner shall periodically sweep (or vacuum porous concrete pavement) the pavement surfaces to reduce sediment accumulation and ensure continued surface porosity. Sweeping should be performed at least twice annually with a commercial cleaning unit. Washing or compressed air units should not be used to perform surface cleaning.

b. The Owner shall periodically clean drainage pipes, inlets, stone edge drains and other structures within or draining to the subsurface.

c. The Owner shall use deicers in moderation. Deicers should be non-toxic and be applied either as calcium magnesium acetate or as pretreated salt.

d. The Owner shall ensure snow plowing is performed carefully with blades set one inch above the surface. Plowed snow piles and snowmelt should not be directed to permeable pavement.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

a. Maintenance of areas receiving disconnected runoff is generally no different than that required for other lawn or landscaped areas. The Owner shall ensure the areas receiving runoff are protected from future compaction or development of impervious area. In commercial areas, foot traffic should be discouraged as well.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED Rainwater Harvesting (M-1)

a. The Owner shall inspect and maintain cisterns as needed or at a minimum on a semi-annual basis. b. The Owner shall verify integrity of inlets draining to cisterns and clean and remove any debris on a monthly basis. c. The Owner shall replace damaged components as needed. d. The Owner shall reuse the rainwater to irrigate lawn and landscape areas with the use of portable pumps, hoses and sprinklers on an as needed basis.

OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDENS (M-7)

a. The Owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland Stormwater Design Manual Volume II, Table A.4.1 and 2.

b. The Owner shall perform a plant in the spring and in the fall of each year. During the inspection, the Owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material, treat diseased trees and shrubs, and replace all deficient stakes and wires.

c. The Owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.

d. The Owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.

B.4.C Specifications for Rain Gardens

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretenation practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.06.01.05.

The planting soil shall be tested and shall meet the following criteria:

Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification) Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35%-40%) or sandy loam (30%), coarse sand (30%), and compost (40%).

Clay Content - Media shall have a clay content of less than 5%. pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to restructure the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for micro-bioretenation practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, detritus, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).

Perforations - If perforated pipe is used, perforations should be 1/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.

Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain. The main collector pipe shall be at a minimum 0.5% slope.

A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.

A 4" layer of pea gravel (1/4" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

These practices may not be constructed until all contributing drainage area has been stabilized

Table B.4.1 Materials Specifications for Micro-Bioretenation, Rain Gardens & Landscape Infiltration. Columns: Material, Specification, Size, Notes.

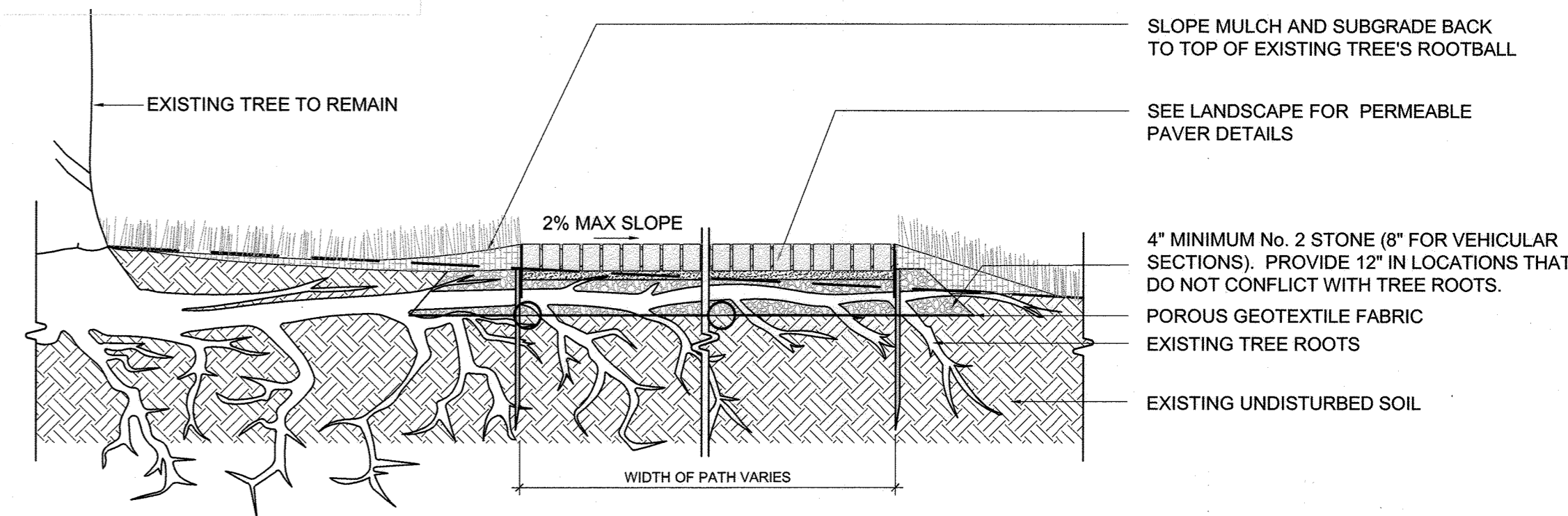
APPENDIX B.1.1 - SUPPLEMENTAL POND SPECIFICATIONS (NON-378)

SUPPLEMENTAL STORMWATER PONDS AND WETLAND SPECIFICATIONS (NON-378)

THESE NOTES AND SPECIFICATIONS ARE IN ADDITION TO THE MD-378 SPECIFICATIONS. IF THERE IS ANY QUESTIONS AS TO THE APPLICABILITY, THE MD-378 SPECIFICATIONS SUPERCEDE.

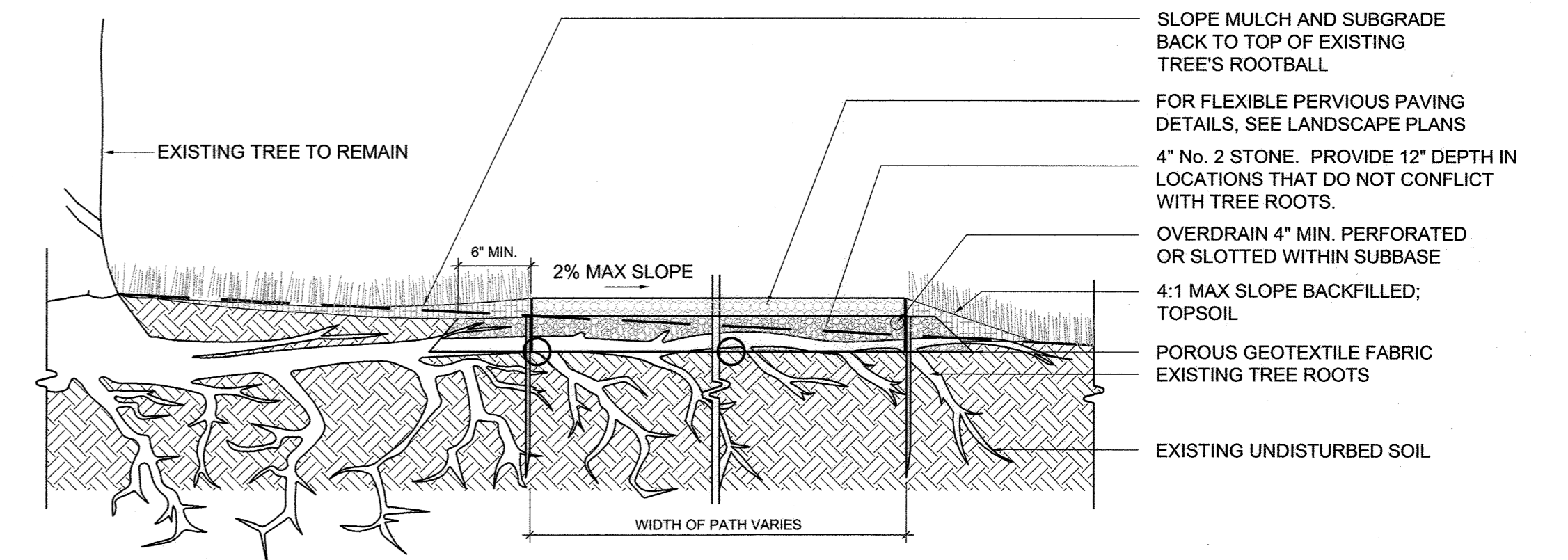
- 1. IT IS PREFERRED TO USE THE SAME MATERIAL IN THE EMBANKMENT AS IS BEING INSTALLED FOR THE CORE TRENCH... 2. IF THE COMPACTION TESTS FOR THE SITE IMPROVEMENTS IS USING MODIFIED PROCTOR (AASHTO T-180)... 3. FOR ALL STORMWATER MANAGEMENT FACILITIES, A GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE MUST BE PRESENT TO VERIFY COMPACTION... 4. A 4-INCH LAYER OF TOPSOIL SHALL BE PLACED ON ALL DISTURBED AREAS OF THE DAM EMBANKMENT... 5. GEOTEXTILE PLACED BENEATH RIP-RAP SHALL BE CLASS "C" GEOTEXTILE OR BETTER...

- 6. A RULE OF THUMB TO DETERMINE WHEN AN EXCAVATED POND MAY NEED TO BE CONSIDERED AN EMBANKMENT POND IS AS FOLLOWS... 7. THE DESIGN ENGINEER AND GEOTECHNICAL ENGINEER SHOULD MAKE THE DETERMINATION THAT THE SETTLEMENT OF THE POND WILL NOT CAUSE EXCESSIVE JOINT EXTENSION... 8. FILL PLACEMENT SHALL NOT EXCEED A MAXIMUM 8-INCH EACH LIFT SHALL BE CONTINUOUS FOR THE ENTIRE LENGTH OF THE EMBANKMENT... 9. THE EMBANKMENT FILL SHALL NOT BE PLACED HIGHER THAN THE CENTERLINE OF THE PRINCIPAL SPILLWAY UNTIL AFTER THE PRINCIPAL SPILLWAY HAS BEEN INSTALLED... 10. THE SIDE SLOPES OF A CUT TO REPAIR A DAM, INSTALL A PRINCIPAL SPILLWAY FOR AN EXCAVATED POND, OR OTHER REPAIR WORK, SHALL BE NO LESS THAN 2:1.



PERMEABLE PAVEMENT (A-2)-PAVER TYPICAL DETAIL

NT5



PERMEABLE PAVEMENT-FLEXIBLE PAVING TYPICAL DETAIL

NT5

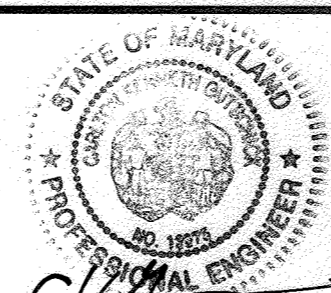
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING. Director: [Signature] Date: 11/2/24. Chief, Division of Land Development: [Signature] Date: 12/2/24. Chief, Development Engineering Division: [Signature] Date: 12/2/24.

APPROVED PLANNING BOARD OF HOWARD COUNTY. Date: NOVEMBER 20, 2014. SEE NOTES ON SHEET 2 FOR PHASING.

GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS. 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK. BURTONSVILLE, MARYLAND 20866. TEL: 301-421-4024. FAX: 301-421-4186.

PREPARED FOR & DEVELOPER: INNER ARBOR TRUST. 106.30 LITTLE PATUXENT PARKWAY. CENTURY PLAZA, SUITE 315. COLUMBIA, MD 21044. ATTN: MICHAEL MCCALL. 410-740-0029.

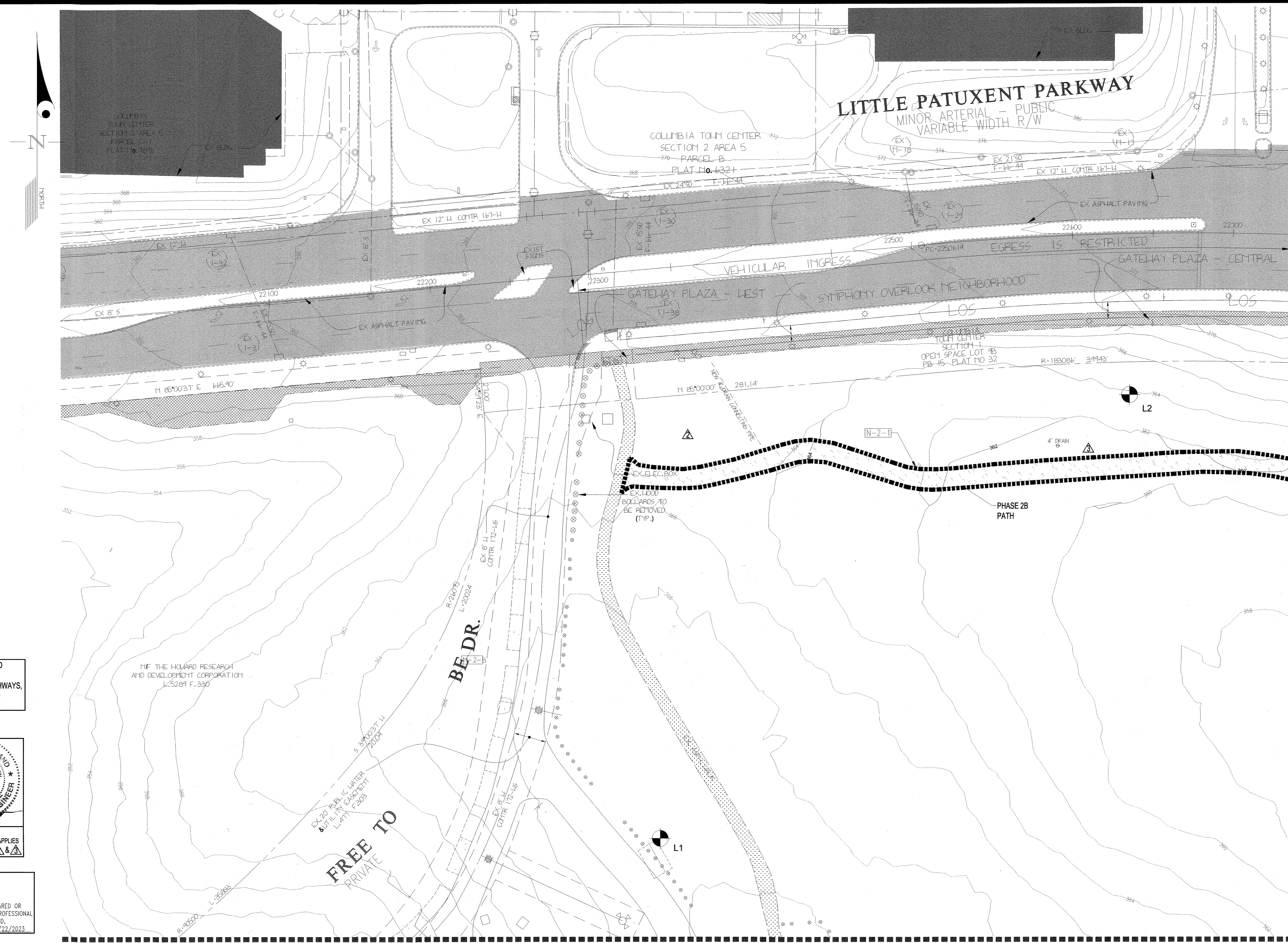
PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12975. EXPIRATION DATE: MAY 26, 2027.



REVISED ESD NOTES, MAINTENANCE SCHEDULES AND DETAILS. DOWNTOWN COLUMBIA. MERRIWEATHER SYMPHONY WOODS NEIGHBORHOOD. MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7. TOWN CENTER - SECTION 1 AREA 1. PART OF OPEN SPACE LOT 23-PLAT NO. 13335 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32. GREEN COMMERCIAL BUILDING. HOWARD COUNTY, MARYLAND.

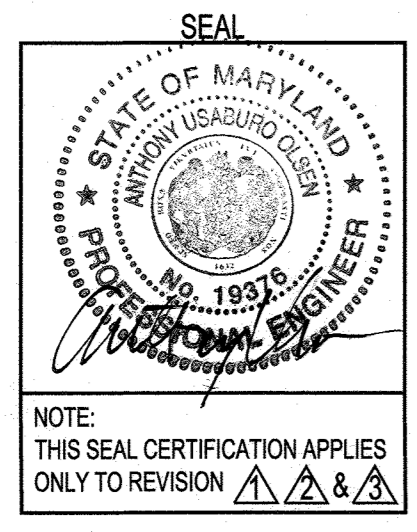
Table with columns: SCALE (AS SHOWN), ZONING (NT), G. L. W. FILE No. (13043), DATE (JAN, 2016), TAX MAP - GRID (36 - 01), SHEET (15 OF 38).

PDOX SHEET 17 OF 59



DRAINAGE AREA SUMMARY TABLE		
PRACTICE NO.	AREA (AC)	% IMPV.
N-2-1	0.124	100

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.

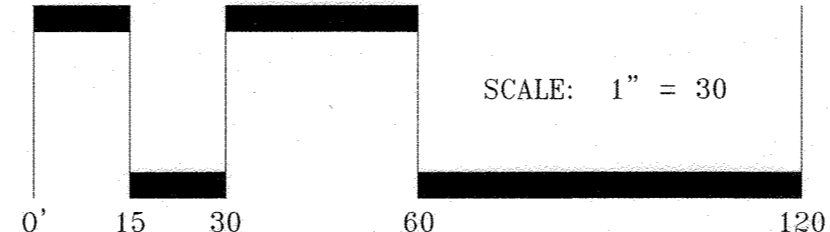


SIGNATURE

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dynde Euseby* 11/2/24  
 Chief, Land Development: *gsm* 12/24  
 Chief, Development Engineering Division: *HSJ* 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.



ADDITIONAL REVIEW IS REQUIRED PRIOR TO THE APPROVAL OF THE STORMWATER FOR PHASE 7

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	
08/05/2019	CHANGE FUTURE PATHWAY TO PROPOSED	AJO	
08/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	AJO	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12075  
 EXPIRATION DATE: 5/21/23

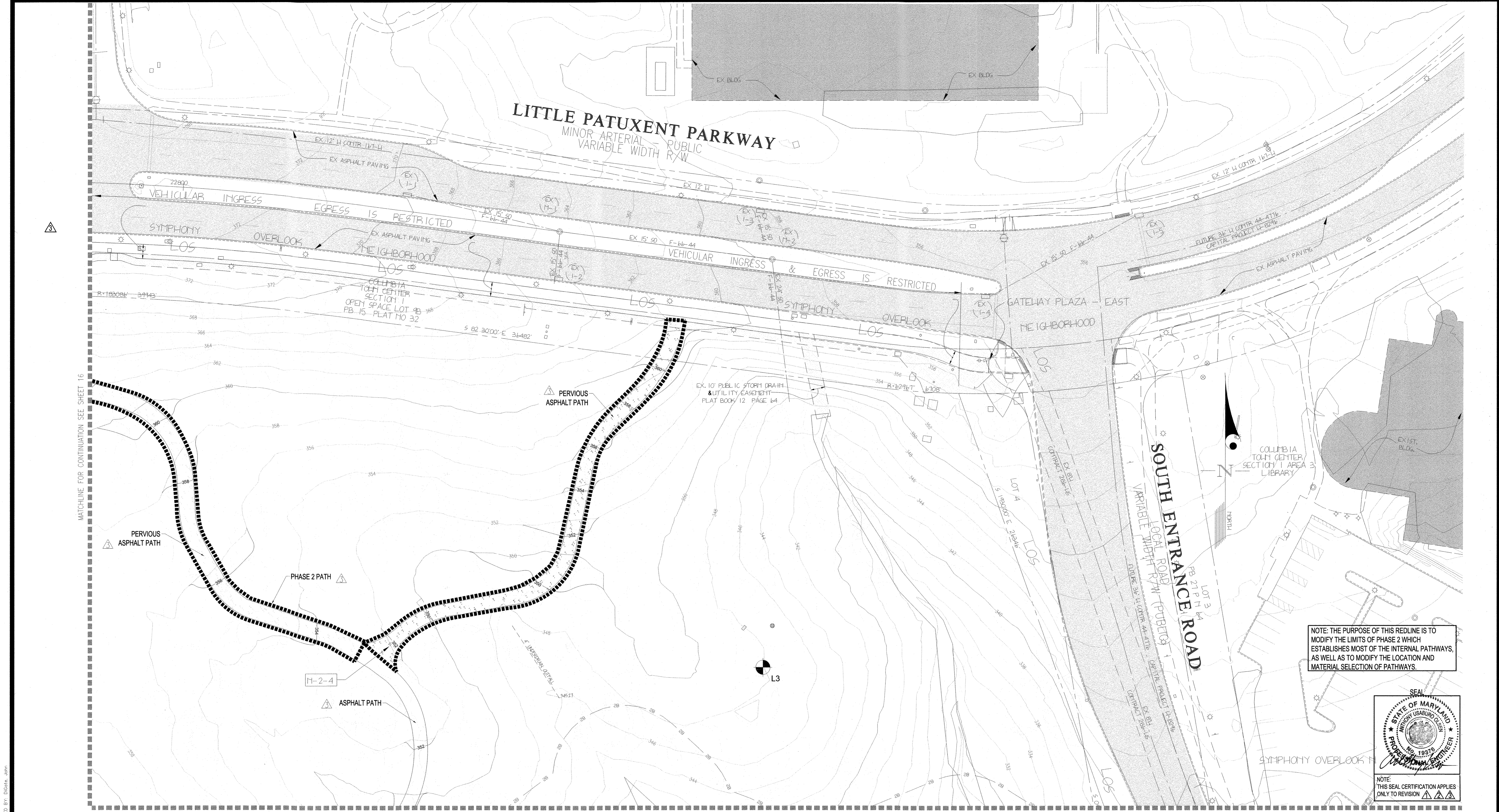
**ESD DRAINAGE AREA MAP-NORTHWEST**  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7  
 TOWN CENTER SECTION I AREA I  
 PART OF OPEN SPACE LOT 23-PLAT NO. 15535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	16 OF 38

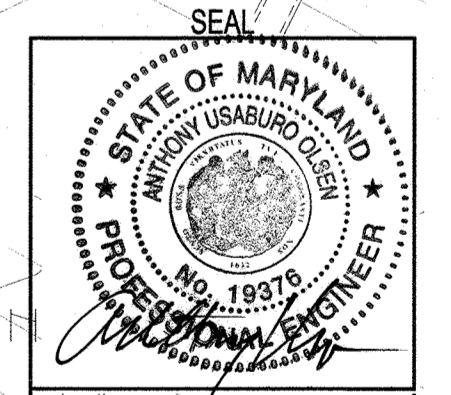
MATCHLINE FOR CONTINUATION SEE SHEET 17

N:\42118-002\CADD\Sheet 35.dwg DES: MJT DRN: Wsj CHK: MJT DATE: 12/21/23





NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISIONS.

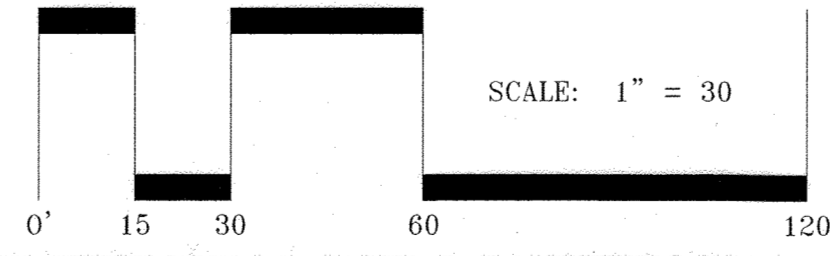
SIGNATURE

PROFESSIONAL CERTIFICATION:  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376 EXPIRATION DATE: 09/22/2023

PDOX SHEET 19 OF 59

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Howard County* 1/2/24  
 Date: 1/2/24  
 Chief of Planning & Zoning Development: *gan* 12-21-23  
 Date: 12-21-23  
 Chief, Development Engineering Division: *MS*

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

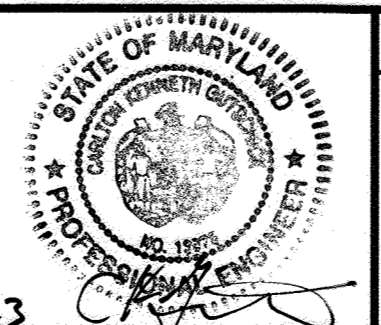


**GLWG** GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	
08-05-21	CHANGE FUTURE PATHWAY TO PROPOSED	JTD	
06/20/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JTD	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

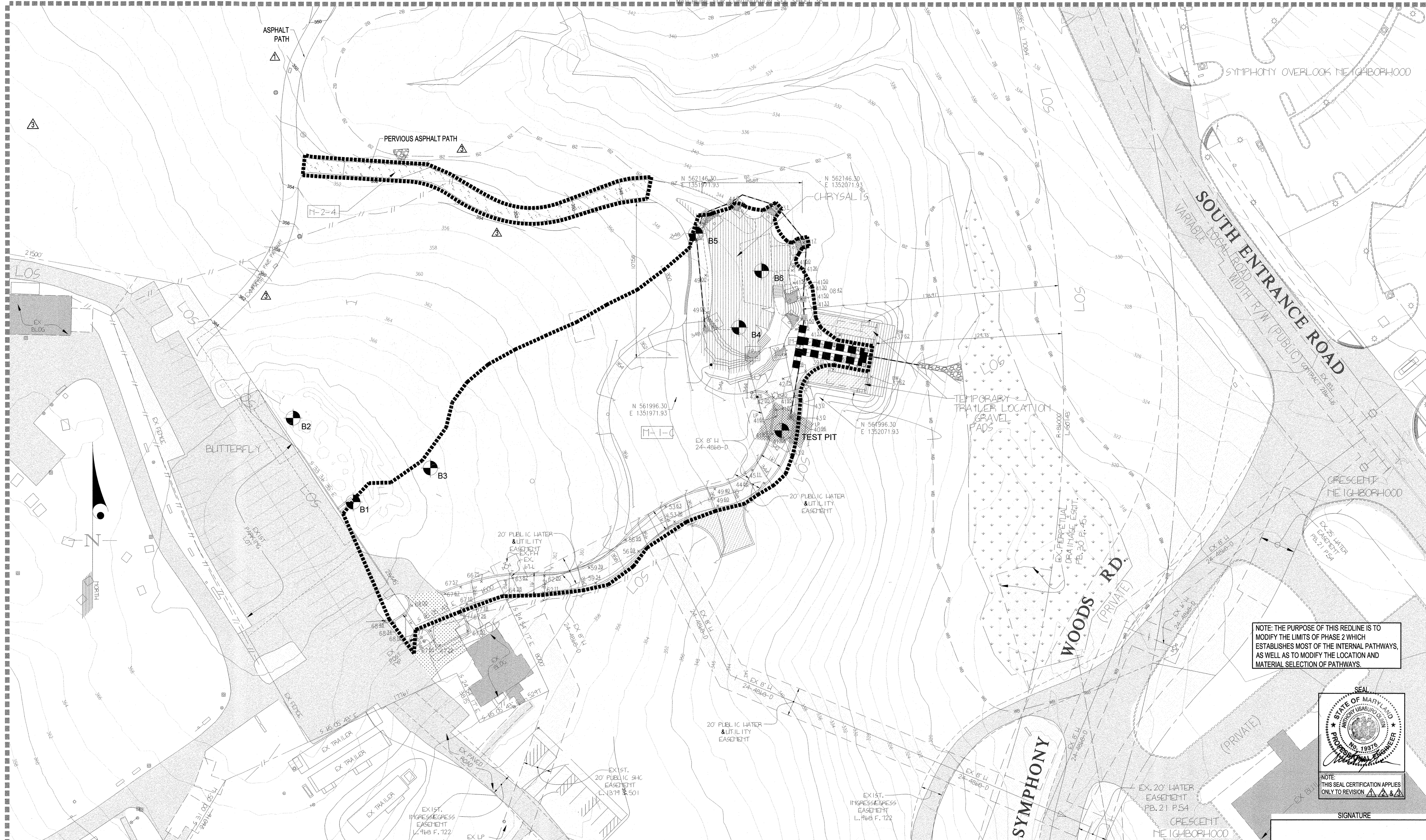
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376  
 EXPIRATION DATE: 09/22/2023



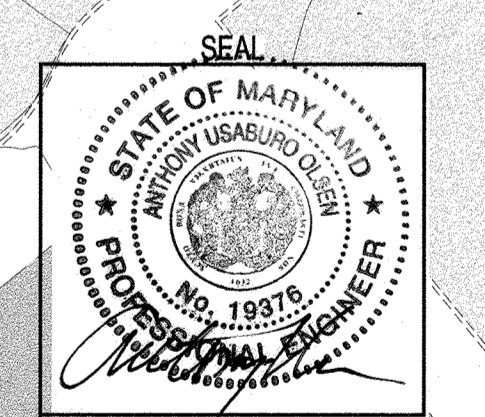
REVISED ESD DRAINAGE AREA MAP-NORTHEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 15355 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	17 OF 38

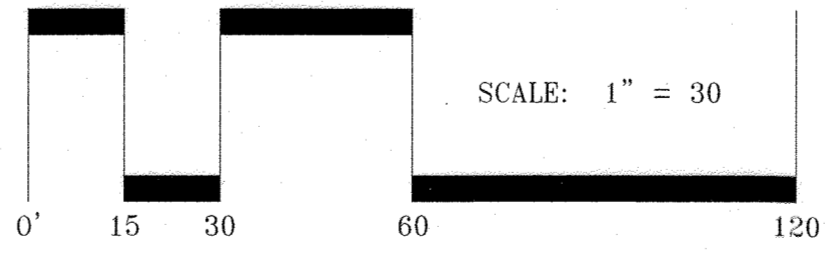
N:\2118-002\CADD\Sheets\_36-38.dwg DES: MJT DRN: Wsj CHK: MJT DATE: 12/21/23  
 PLOTTED: 2/27/2023 4:47 PM, LAST SAVED: 12/20/2022 7:33 AM, PLOTTED BY: dligate, john  
 N:\2118-002\CADD\Sheets\_36-38.dwg



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.



NOTE: THIS SEAL CERTIFICATION APPLIES ONLY TO REVISION SIGNATURE: [Signature]



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: Date: 1/2/24  
Chief, Development Engineering Division: Date: 12-21-23

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: NOVEMBER 20, 2014  
\*SEE NOTES ON SHEET 2 FOR PHASING.

NOTE: FOR DRAINAGE AREA SUMMARY TABLE SEE SHEET 16

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-980-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

REVISION	DATE	BY	APPR.
05/20/2019		AUO	
08-05-21		JTD	
06/20/2023		JTD	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 13276  
EXPIRATION DATE: MAY 26, 2024

REVISED ESD DRAINAGE AREA MAP-MIDEAST  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7  
TOWN CENTER, SECTION 1 AREA I  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

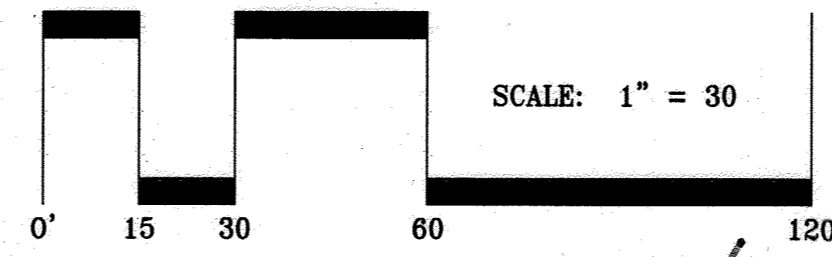
SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	18 OF 38

PDOX SHEET 21 OF 59

N:\42118-002\CADD\Sheets 36-38.dwg DES: MJT DRY: Wsj CHK: MJT DATE: 12/21/23

NOTE: THIS PLAN IS FOR CHRYSALIS STORM DRAIN INFORMATION ONLY. ALL OTHER BACKGROUND INFORMATION SHOWN IS OUT OF DATE AND HAS BEEN REMOVED FROM THIS SITE PLAN SET.

STORMDRAIN DRAINAGE AREAS		
DRAINAGE AREA NUMBER	TOTAL DRAINAGE AREA	IMPERVIOUS AREA
200	18,571	3,654
201	1,119	1,119
201A	825	825
202	204	204
203	181	181
204	436	436
205	1,025	1,025
207	912	912
208	2,670	669
209	25,025	4,857
<b>210</b>	<b>3687</b>	<b>3687</b>



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Walter J. Miller* Date: 9-8-15  
 Chief, Division of Land Development: *Chris Chiodi* Date: 8-25-15  
 Chief, Development Engineering Division: *WJR* Date:

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2015  
 \* See Sh. 2 for Phasing and add'l required approvals for Phs 3-7

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-860-1620 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
06/20/22	NOTE ADDED		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14937  
 EXPIRATION DATE: MAY 21, 2018

STORMDRAIN DRAINAGE AREA MAP-MIDEAST  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER PARK at SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13335 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	19 OF 38

PDOX SHEET 21.1 OF 59

L:\DRAWINGS\17072\17072.dwg by GJM (SP) (board) 03/27/2015 09:54:00 AM. PLOTTED BY: J. Miller  
 L:\DRAWINGS\17072\17072.dwg by GJM (SP) (board) 03/27/2015 09:54:00 AM. PLOTTED BY: J. Miller

**Jumping Disc**

**Play value**  
Round spring platforms are mounted on strong, low springs. It is not only fun to jump on them, but one can jump off the disc in any direction, as from a springboard. The momentum which is enforced by the springs propels the jumping child quite far. Jumping from one disc to the other represents a special sequence of movements and a challenge for small children.

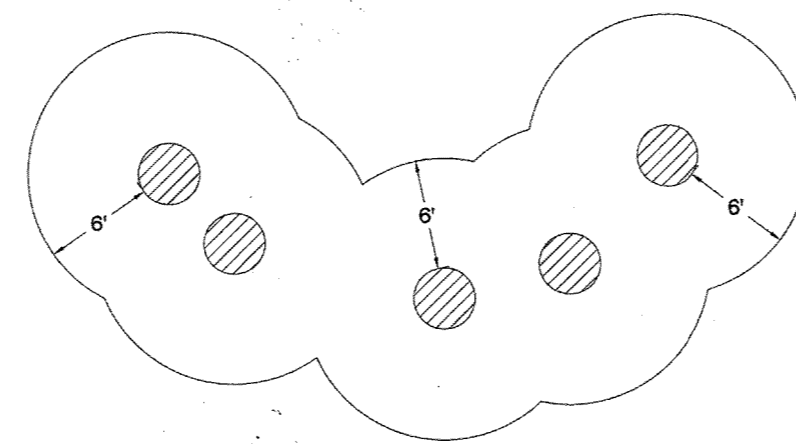
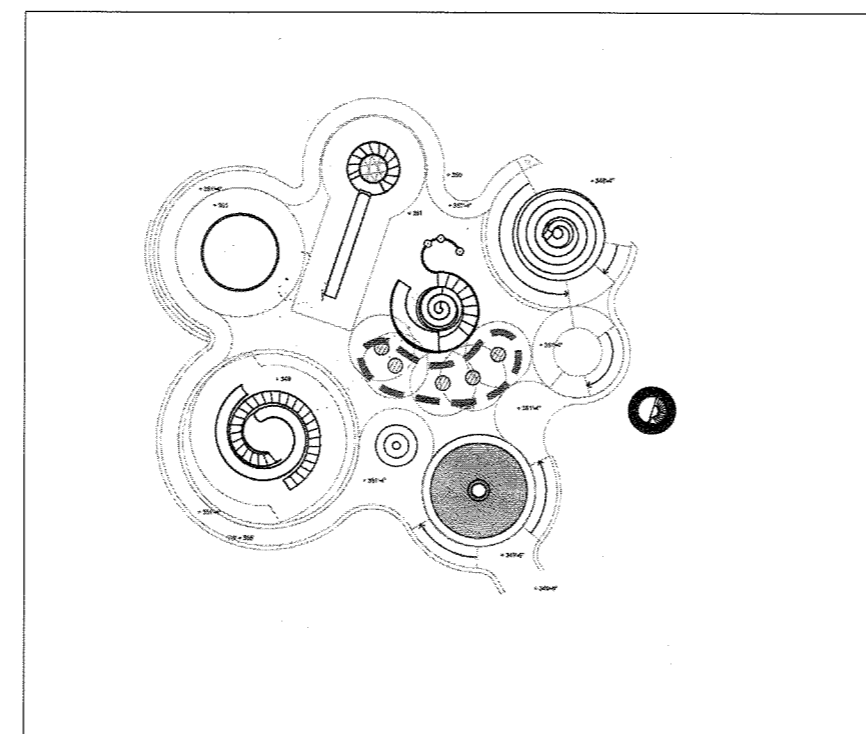
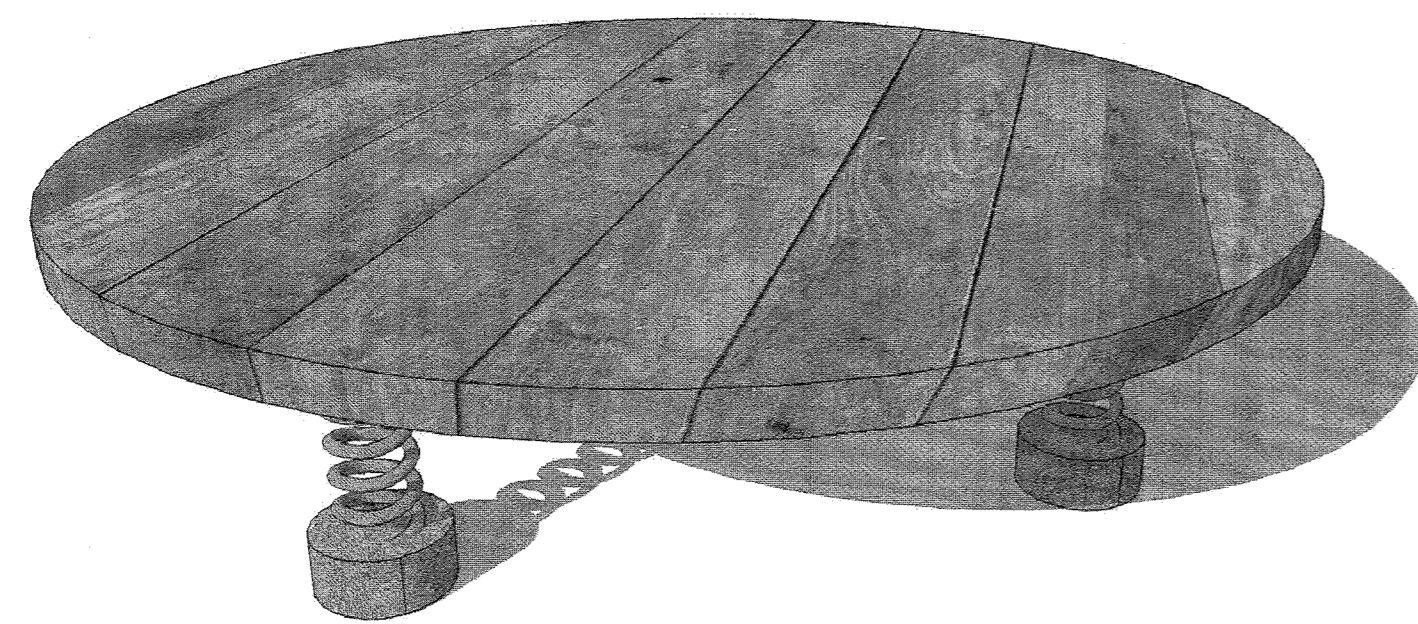
**Supplier**  
Richter Spielgeräte GmbH

**Fundamental characteristics**  
- Wooden surface with natural structure for a good grip  
- Incentive for playing: round, low wooden plate, springs  
- Movement: jumping up and down, jumping off, hopping, and balancing

**Suitable**  
- for children from 4 years

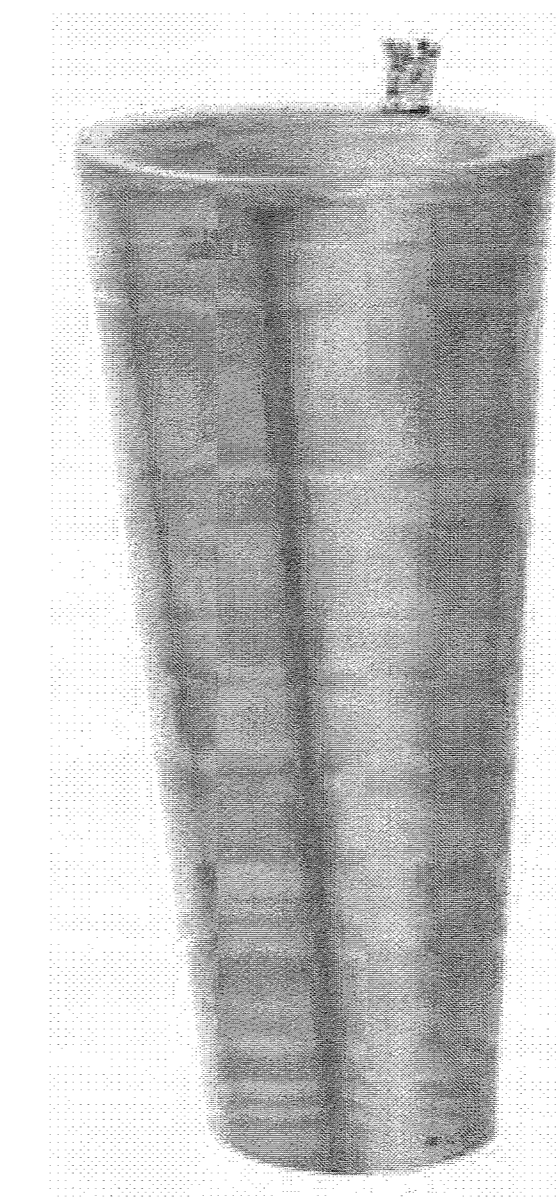
**Dimensions**  
Height: 1ft -1 25/32 in  
Diameter: 3ft - 33/8in

**Materials**  
Disc: Top disc - EPI or equivalent  
Painted Coated springs (3 Nos.), standard color yellow  
Fastening elements galvanised

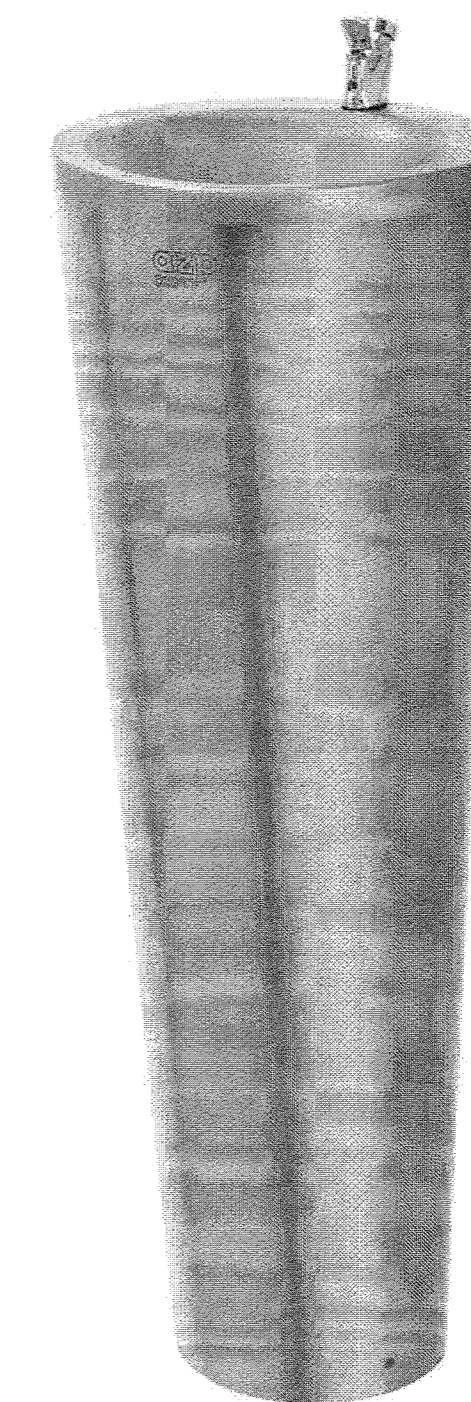


Supplier: AZP BRNO  
Product: AFO 03 D (Children's Drinking Fountain)  
Material: Stainless steel AISI 304  
Dimensions: 17.7" high  
Ø11.8" (top)  
Ø 7.9" (bottom)  
Product: AFO 03 (Adults Drinking Fountain)  
Material: Stainless steel AISI 304  
Dimensions: 2'11" high  
Ø11.8" (top)  
Ø 7.9" (bottom)

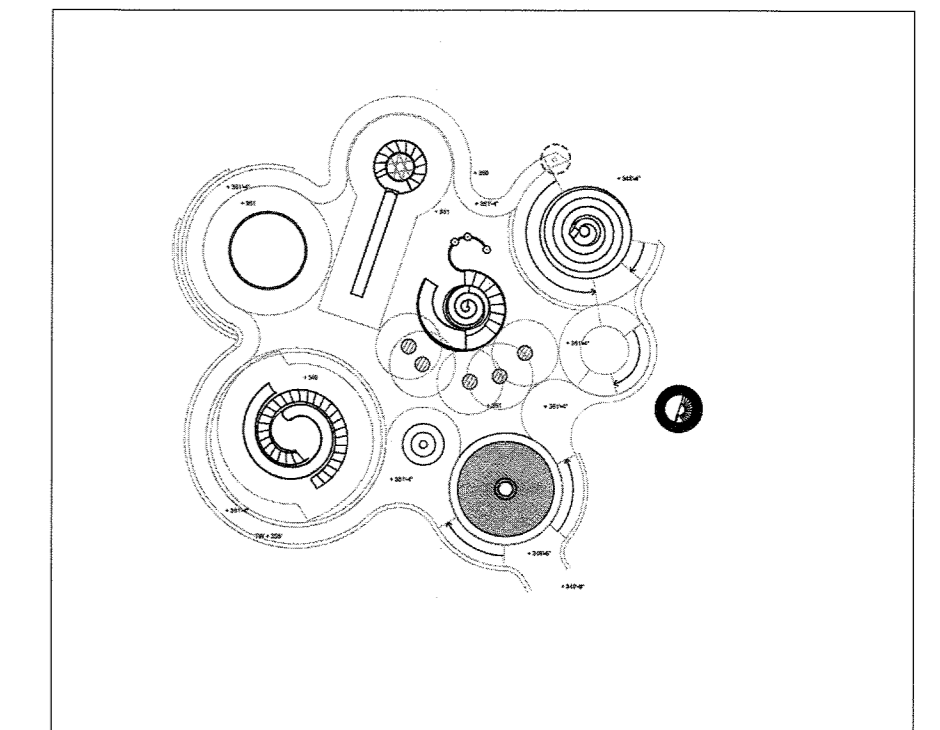
**Description**  
Conical body gives the fountain an interesting shape, with a combination of brushed and sandblasted surface finishes. The fountain is fitted with a manual press valve that allows its easy use. The water flows only when the valve is pressed and after its release there is a short adjusted time to rinse out the jet.



AFO 03D



AFO 03



**01 JUMPING DISC**  
SCALE: NTS

**02 DRINKING FOUNTAIN**  
SCALE: NTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *William J. Jiles* 9-8-15  
Date: 9-2-15  
Chief, Division of Land Development: *Paul Chubb*  
Date: 8-25-15  
Chief, Development Engineering Division: *WJL*  
Date:

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
*See Sheet 2 for Phase Information and requirements for additional approvals for Phases 2-7*

Landscape Architect  
**Martha Schwartz Partners Ltd**  
65-69 East Road, London, N1 6AH, UK  
T: +44 (0)20 7549 7497  
F: +44 (0)20 7520 0988  
www.marthaschwartz.com



DATE	REVISION	BY	APP'R.
10/22/14	Rev C - SDP DRAFT	SDC	DR
10/21/14	Rev B - SDP DRAFT	SDC	DR
03/18/14	Rev A - SDP DRAFT	NA	NK
01/31/14	Rev A - DAP	NA	NK

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029



FOR INFORMATION ONLY  
NOT FOR CONSTRUCTION

JUMPING DISC AND DRINKING FOUNTAIN DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING

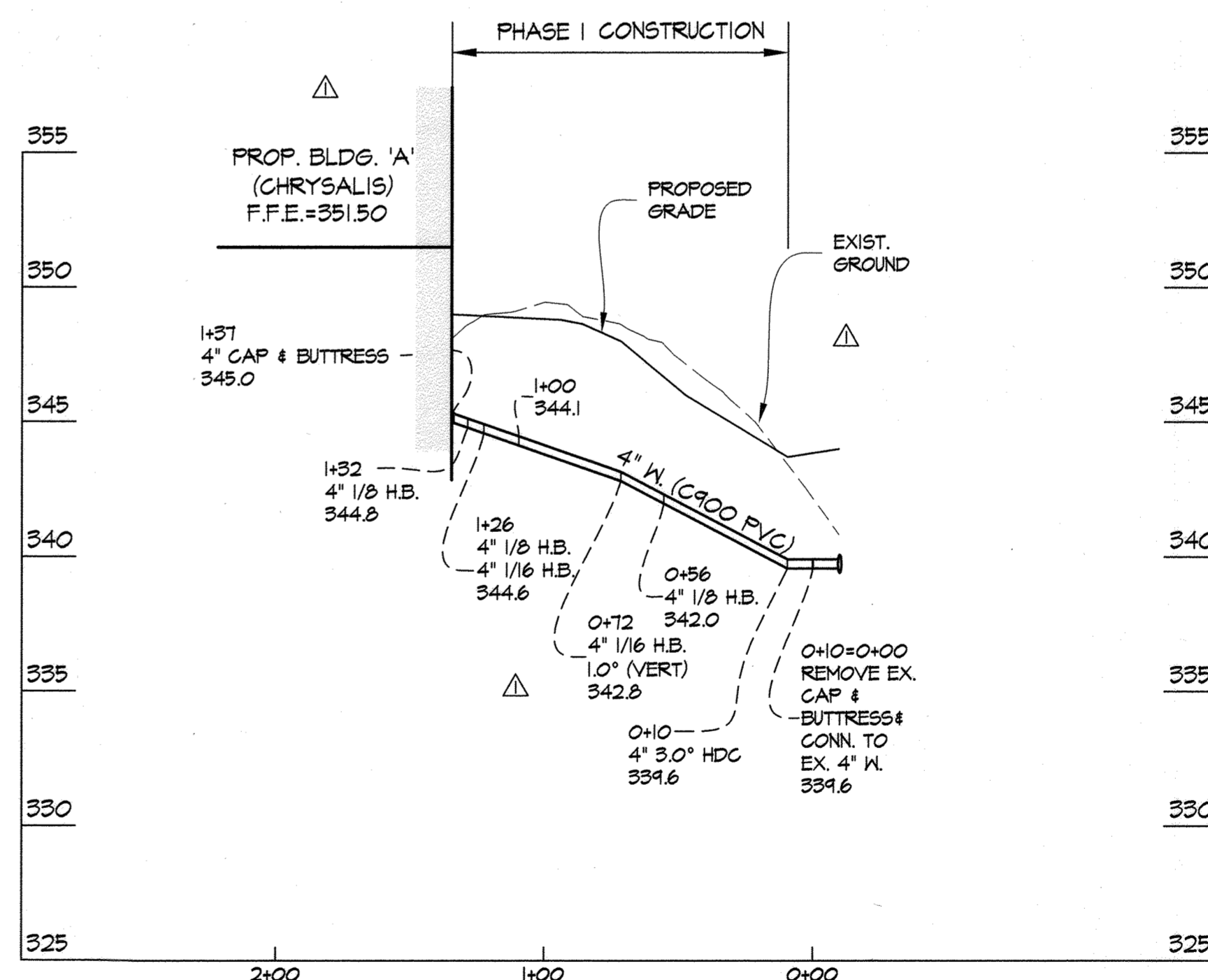
**LF357 EQUIPMENT SCHEDULE**

SCALE	ZONING	G. L. W. FILE No.
NTS	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE 2015	36 - 01	19 OF 90

© copyright Martha Schwartz Partners Ltd 2014

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



PROFILE SCALES:  
 HORZ.: 1" = 50'  
 VERT.: 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *James Esberg* Date: 1/2/24  
 Chief, Division of Land Development: *Tom* Date: 12/21/23  
 Chief, Development Engineering Division: *MS* Date:

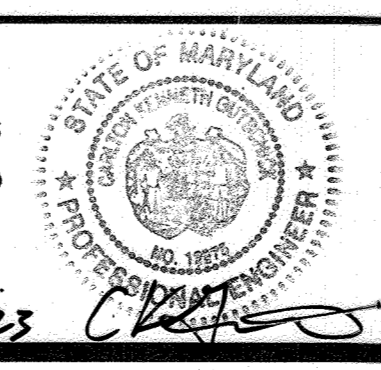
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \* SEE NOTES ON SHEET 2 FOR PHASING

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
06/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES		
1/8/16	UPDATE PROFILES FOR ADJUSTED WATER AND SEWER	mjs	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2024  
 1-4-23 *CR*

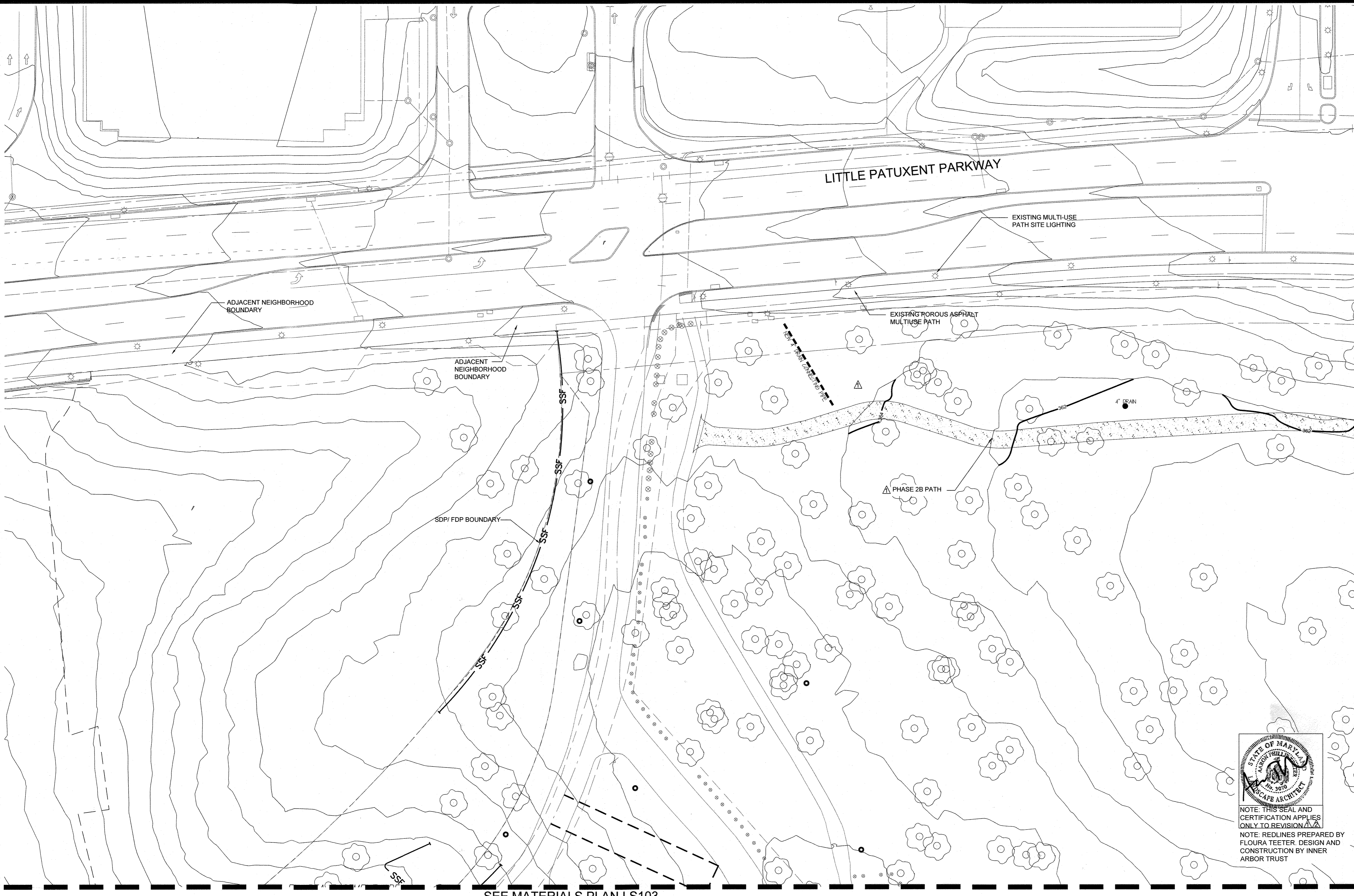


REVISED  
**SITE UTILITY PLAN**  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-PARK AT SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK AT SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	20 OF 38

PDOX SHEET 23 OF 59

L:\CADD\DRAWINGS\110721\104-1\SP4-1\SP4-1-UTILITY-PROF.dwg, Date: 1/2/24, 4:55 PM, User: MS, Plot: 1/2/24, 4:55 PM, Plotter: HP DesignJet 500, Plot Size: 36x48, Plot Style: SDP.dwt, Sheet: 20 of 38

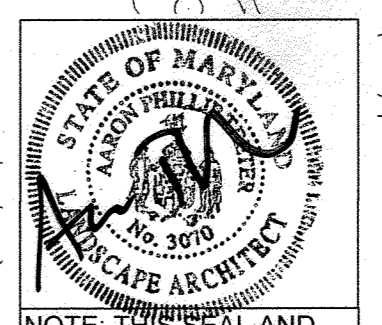


- HARDSCAPE KEY**
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P1 (7) DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY
  - P2 (2) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P4 (3) COBBLE STONE EDGE
  - P5 (4) STONE DUST
- WALLS/STAIRS**
- W1 (1) SIGN WALL
  - W5 (4) ENTRANCE ROAD SIGN WALL
- SITE AMENITIES**
- BR (4) BICYCLE RACK
  - B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B3 (1) BENCH 3 - CIRCULAR WOOD BENCH  
A - 20' DIAMETER  
B - 18' DIAMETER  
C - 12' DIAMETER
  - B5 (4) BENCH 5 - CUSTOM STUMP SEATING
  - BO (1) BOLLARD
  - LR (2) LITTER/RECYCLING RECEPTACLE

- SITE LEGEND**
- (Tree symbol) EXISTING TREE TO REMAIN
  - (Dashed line) EXISTING TOPOGRAPHY
  - (Thick dashed line) LIMIT OF SUBMISSION
  - (Thin dashed line) SDP/FDP BOUNDARY
  - (Dotted line) ADJACENT NEIGHBORHOOD BOUNDARY
  - (Shaded area) SLOPES > 15%
  - (Dark shaded area) SLOPES > 25%

- NOTES:**
- REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
  - REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  - REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
  - SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
  - SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGN LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.
  - REFER TO CIVIL FOR ROADWAY AND PARKING SPACES.

SEE MATERIALS PLAN LS102

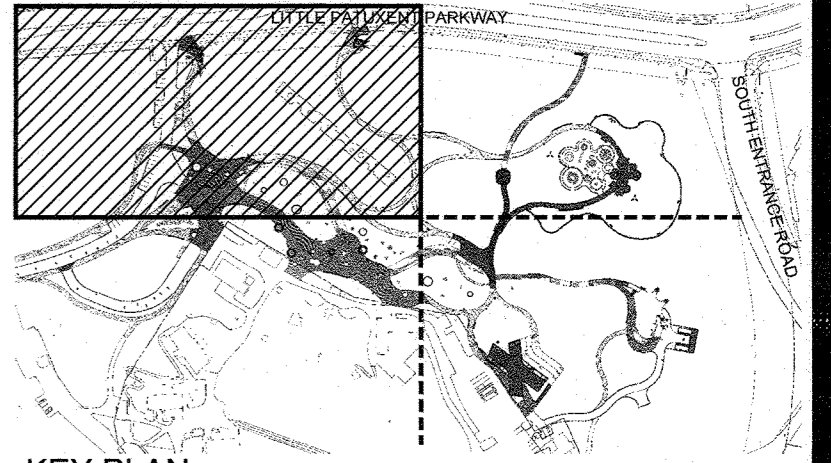
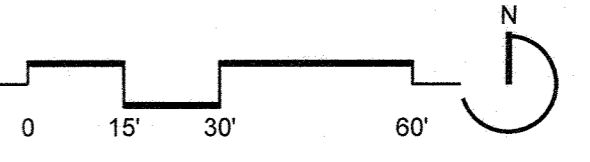


NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A/A

NOTE: REDLINES PREPARED BY FLOURA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

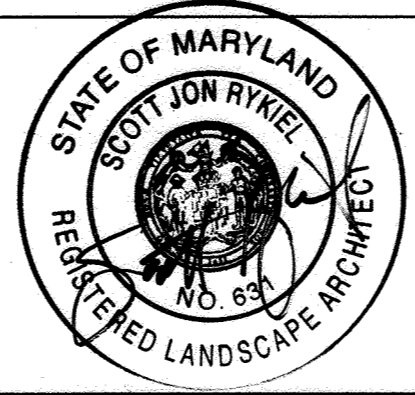
**1 SITE MATERIALS PLAN**  
1"=30'

SEE MATERIALS PLAN LS103



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 11/2/24  
 Chief of Planning & Zoning Development: *[Signature]* Date: 11/2/24  
 Chief, Development Engineering Division: *[Signature]* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

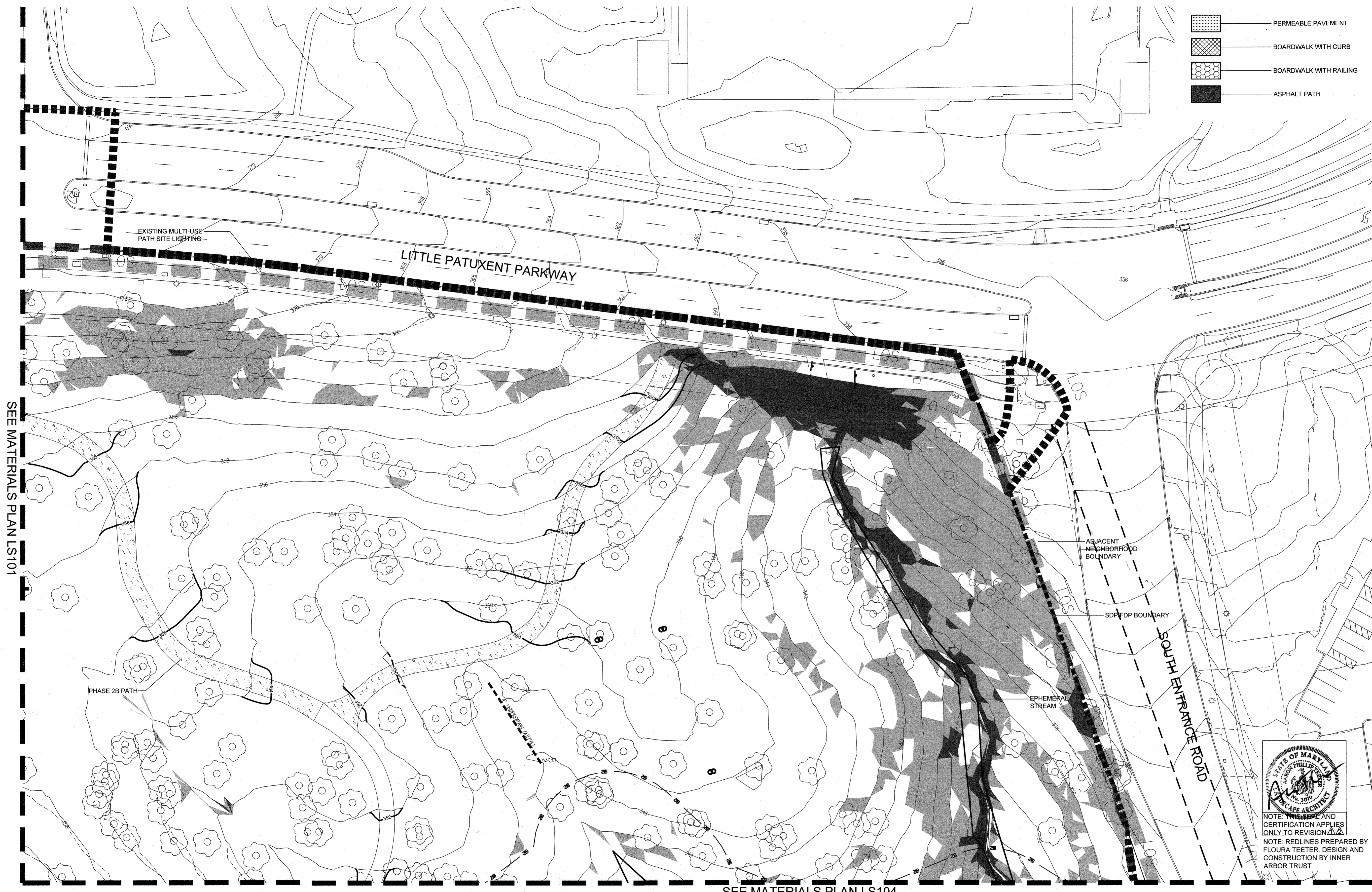
DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	JRC
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

SITE MATERIALS PLAN NORTHWEST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SITE MATERIALS PLAN		LS101
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	21 OF 38



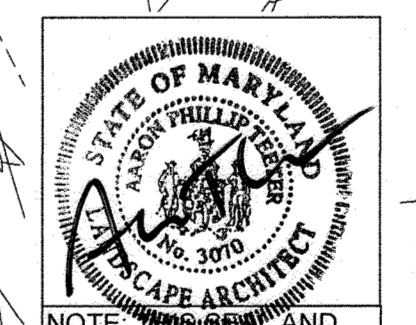
- PERMEABLE PAVEMENT
- BOARDWALK WITH CURB
- BOARDWALK WITH RAILING
- ASPHALT PATH

- ### HARDSCAPE KEY
- #### PAVING
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (7) DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY
  - P2 (2) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P3 (5.6) BOARDWALK, RECLAIMED IPE WOOD DECKING
  - P6 MULCH FOOTPATH
- #### WALLS/STAIRS
- W1 (1) SIGN WALL
  - W2 (3) RE-PURPOSED LOG TUNNEL
  - S1 (1) BOARDWALK STEP
- #### SITE AMENITIES
- B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B2 (1) BENCH 2A - 6' CUSTOM WOOD & METAL BENCH
  - B2 (2) BENCH 2B - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
  - B6 (3) PRE-FABRICATED LANDSCAPE SEATING
  - BC (1) BOARDWALK CURB
  - GR (1) GUARDRAIL AT BOARDWALK
  - LR (2) LITTER/RECYCLING RECEPTACLE

- #### SITE LEGEND
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - SB STREAM BUFFER
  - WB WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

**NOTES:**

- REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.



NOTE: THIS REDLINE AND CERTIFICATION APPLIES ONLY TO REVISION A

NOTE: REDLINES PREPARED BY FLOURA TEETER. DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

SEE MATERIALS PLAN LS101

SEE MATERIALS PLAN LS104

**1 SITE MATERIALS PLAN**  
1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dan Eubank* Date: 11/2/24  
 Chief, Planning & Development: *Chris Smith* Date: 11/2/24  
 Chief, Development Engineering Division: *HS* Date: 12-21-23

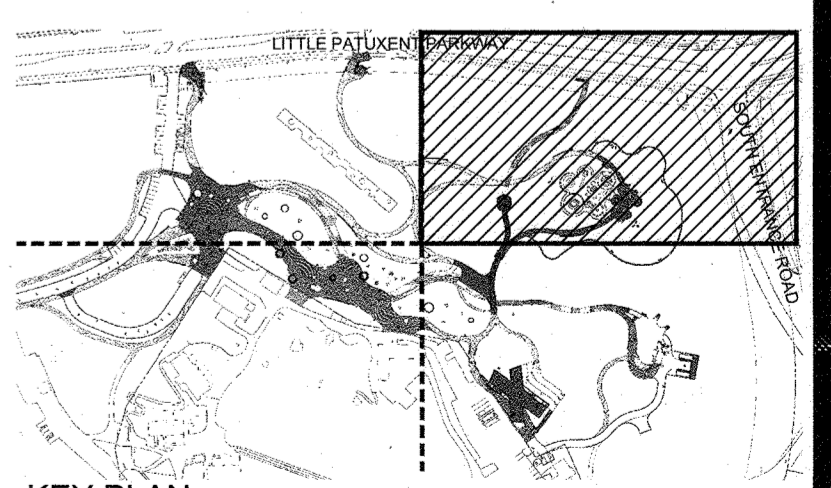
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases



PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALLY  
 410-740-0029

SITE MATERIALS PLAN NORTHEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



SITE MATERIALS PLAN		LS102
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	22 OF 38

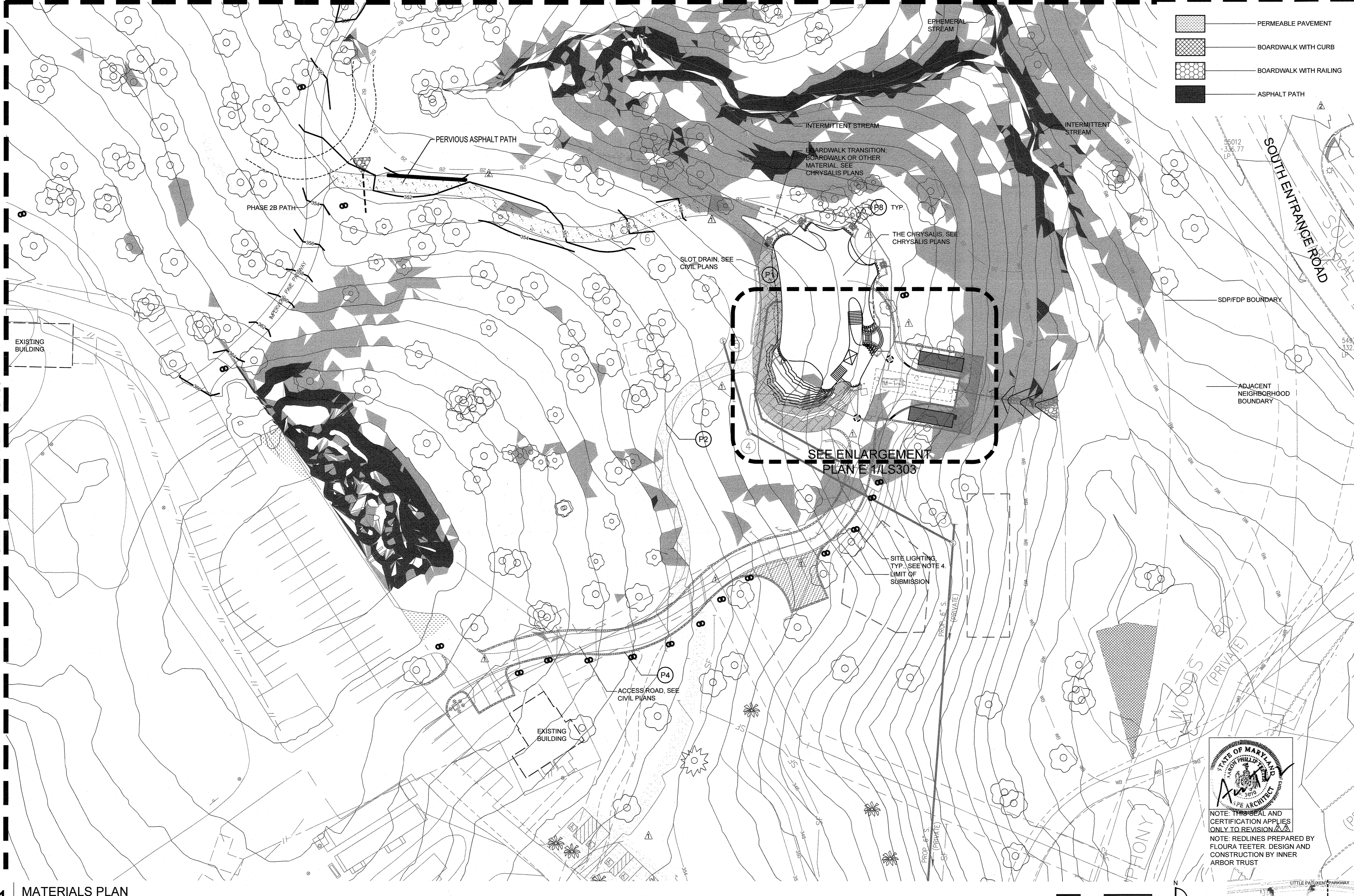
**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	ZR
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SEE MATERIALS PLAN LS102

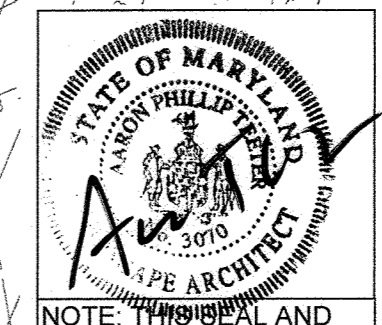
SEE MATERIALS PLAN LS103



**HARDSCAPE KEY**

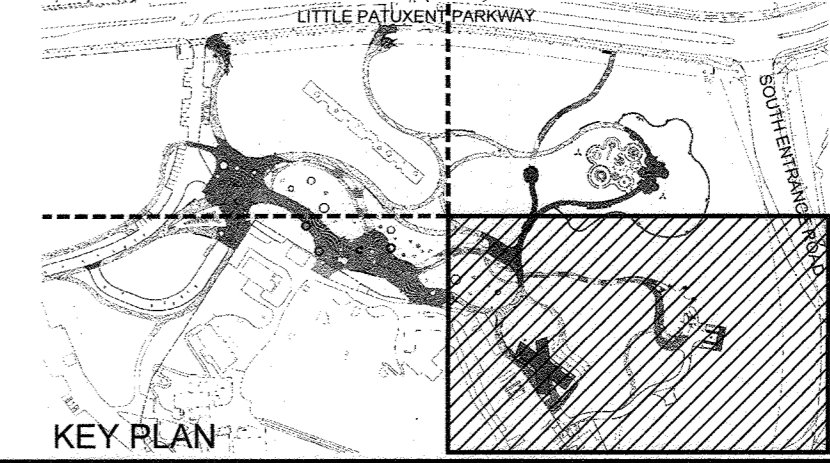
- PAVING**
- P1 1 DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 1 DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P2 2 FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P3 5.6 BOARDWALK, IPE WOOD DECKING
  - P4 3 COBBLE STONE EDGE
  - P5 4 STONE DUST
  - P6 MULCH FOOTPATH
  - P8 BEACH PEBBLES, SEE NOTE 6.
- WALLS/STAIRS**
- S2 5 GRANITE BLOCK STEPS (AT BUTTERFLY BLDG.) WITH STAINLESS STEEL HANDRAIL
- SITE AMENITIES**
- BR 4 BICYCLE RACK, SEE NOTE 8.
  - B1 3 BENCH 1 - CUSTOM SEAT WALL
  - B2 1 BENCH 2A - 6' CUSTOM WOOD & METAL BENCH
  - B2 2 BENCH 2B - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
  - B3 3 BENCH 3 - CIRCULAR WOOD BENCH
  - B4 1 BENCH 4 - CIRCULAR WOOD BENCH & TABLE A - 20' DIAMETER
  - B5 4 BENCH 5 - CUSTOM STUMP SEATING C - 12' DIAMETER
  - B7 3 BENCH 7 - BAR TABLE AND STOOLS
  - BC 1 BOARDWALK CURB
  - GR 1 GUARDRAIL AT BOARDWALK
  - HR 2 HANDRAIL AT STAIRS
  - LR 2 LITTER/RECYCLING RECEPTACLE
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - SB - STREAM BUFFER
  - WB - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

SEE ENLARGEMENT PLAN E 1/LS303



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A  
NOTE: REDLINES PREPARED BY FLOURA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

- NOTES:**
- REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
  - REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  - REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
  - SITE LIGHTING SHOWN ON PLANS COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
  - SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.
  - DRAINAGE BASINS TO BE LOCATED AT EACH CHRYSALIS CANOPY FOOTING AND COVERED WITH 2-3" DEPTH BEACH PEBBLES AT 2-3" SIZE. SEE CHRYSALIS PLANS FOR LOCATION. SEE LS105 FOR BEACH PEBBLE TYPE.
  - SEE LS106 FOR PHASE ONE TEMPORARY BICYCLE RACK LOCATIONS AT PARKING LOT.

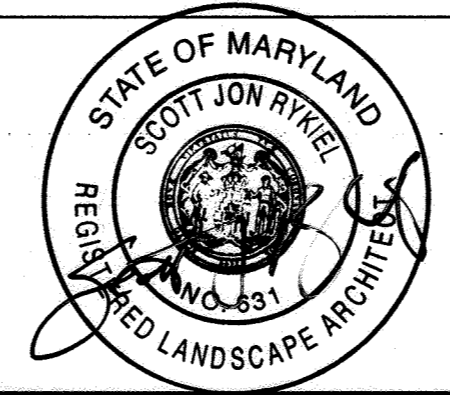


NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**1 MATERIALS PLAN**  
1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *[Signature]* Date: 11/21/24  
Chief, Planning and Development: *[Signature]* Date: 12/21/23  
Chief, Development Engineering Division: *[Signature]* Date: 12/21/23

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2017  
See Sht 2 for Phases



**MAHAN RYKIEL ASSOCIATES INC.**  
The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
06/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

REVISED SITE MATERIALS PLAN MIDEAST  
**DOWNTOWN COLUMBIA**  
MERRIWATHER SYMPHONY WOODS NEIGHBORHOOD  
MERRIWATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5

REVISED SITE MATERIALS PLAN		LS104
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	23 OF 38

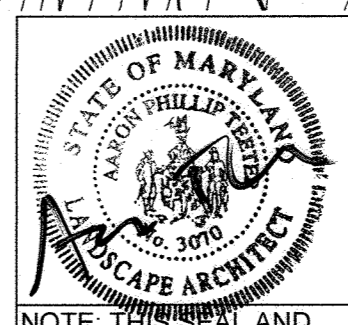




- PERMEABLE PAVEMENT
- BOARDWALK WITH CURB
- BOARDWALK WITH RAILING
- ASPHALT PATH

- ### PAVING LEGEND
- P1A: DECORATIVE PERMEABLE PAVERS; PEDESTRIAN/LIGHT DUTY SECTION SEE 1/L5501
  - P1B: DECORATIVE PERMEABLE PAVERS; VEHICULAR/HEAVY DUTY SECTION SEE 1/L5501
  - P1C: DECORATIVE PEDESTRIAN PAVERS; NON PERMEABLE LIGHT DUTY SECTION ON CONCRETE BASE, AT GATEWAY ENTRANCES ONLY. SEE 7/L5501  
 WHITACRE GREER COMPANY  
 1400 S. MAHONING AVE. ALLIANCE, OH 44601  
 P: (330) 206-7689  
 W: WWW.WGPAVER.COM  
 MODEL: PERMEABLE CLAY PAVERS  
 COLORS: A-MAJESTIC  
 B-CHEMEREAN  
 C-CHOCOLATE  
 SIZE: 2 1/2" x 9" x 3"
  - P2: CAPITOL FLEXI-PAVE  
 CAPITAL FLEXI-PAVE, LLC  
 37 RIDGEMOUNT DR. SUITE 278 STERLING, VA, 20165  
 P: 202.760.1099  
 F: 571.312.9208  
 W: HTTP://CAPITOLFLEXIPAVE.COM  
 MODEL: FLEXI-PAVE  
 COLOR: A-CAYENNE  
 B-CHESTNUT  
 C-OLIVE FOG  
 THICKNESS: 2"
  - P3: BOARDWALK, RECLAIMED IPE WOOD DECKING SEE 5.6/L5501
  - P4: COBBLE STONE EDGE  
 CHARLES LUCK  
 12202 CLARKSVILLE PIKE, CLARKSVILLE, MD 21209  
 P: (443) 535-0543  
 HTTP://WWW.CHARLESLUCK.COM/  
 MODEL: INDIAN GRAY MINI COBBLESTONE  
 SIZE: 4X4X4
  - P5: STONE DUST  
 CHARLES LUCK  
 12202 CLARKSVILLE PIKE, CLARKSVILLE, MD 21209  
 P: (443) 535-0543  
 HTTP://WWW.CHARLESLUCK.COM/  
 MODEL: GRAY #8 STONE DUST
  - P6: MULCH PATH
  - P7: GRANITE PAVERS AT CENTRAL GATEWAY STAIRS  
 COLDSRING GRANITE  
 17483 GRANITE WEST ROAD, COLDSRING, MN 56320  
 P: 320.685.5040  
 HTTP://WWW.COLDSRINGUSA.COM/  
 MODEL: IRIIDIAN GRANITE, THERMAL FINISH
  - P8: BEACH PEBBLES AT CHRYSALIS DRAINS  
 MIAMI BEACH PEBBLES, INC.  
 3214 NE 2nd Avenue, Miami, FL 33137  
 P: 305.438.1775  
 HTTP://WWW.BEACHPEBBLES.COM/  
 MODEL: 2-3" TAN BEACH PEBBLES, NATURAL FINISH

- ### SITE LEGEND
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - SB - STREAM BUFFER
  - WB - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION 2.  
 NOTE: REDLINES PREPARED BY FLOURA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

- ### NOTES:
- PAVING HATCHES SHOWN REPRESENT EXTENTS AND AREA QUANTITIES ONLY, AND ARE NOT INDICATIVE OF PATTERNING TO BE INSTALLED.
  - REFER TO MATERIALS PLANS LS101-LS104 FOR COORDINATION BETWEEN ENTRANCE GATEWAYS AND EXISTING MULTIUSE PATH.
  - SEE CIVIL PLANS FOR PAVING MATERIAL AT ENTRANCE DRIVE AND CHRYSALIS ACCESS PATH.

## 1 SITE PAVING PLAN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dynda Easley* Date: 11/2/17  
 Chief, Development: *Chris Clark* Date: 12/24  
 Chief, Development Engineering Division: *KA* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

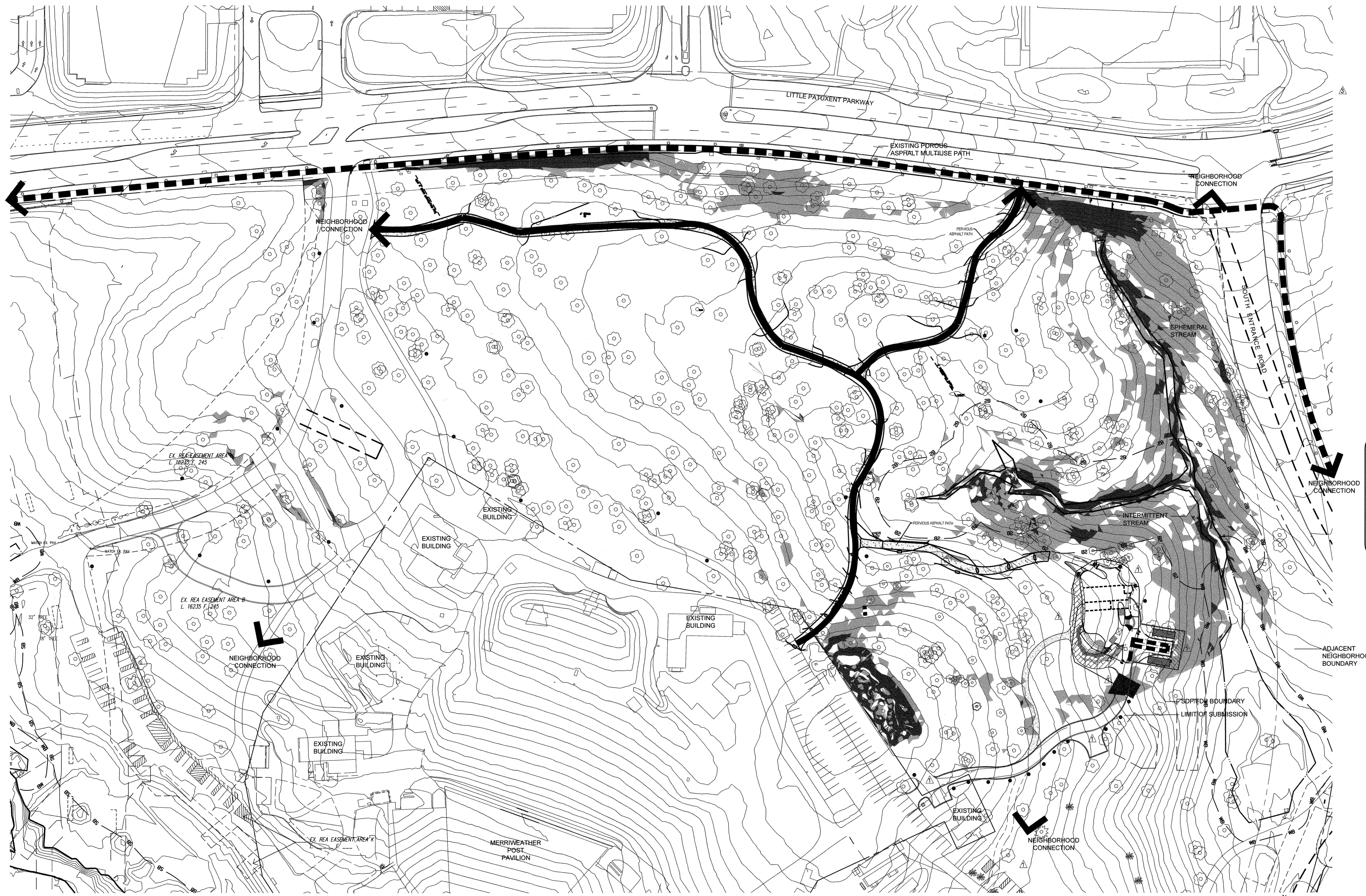
DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

REVISED SITE KEY PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

REVISED SITE PAVING PLAN		LS105
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	24 OF 38



- LEGEND**
- BIKE ACCESS PATH THROUGH PARK
  - EXISTING BIKE ROUTE
  - TEMPORARY PHASE ONE BIKE ACCESS PATH
  - BIKE RACKS
  - NEIGHBORHOOD CONNECTIONS

- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - STREAM BUFFER
  - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
1. ALL BIKE ACCESS PATHS THROUGH THE PARK AREA MINIMUM OF 10' WIDE.
  2. REFER TO MATERIALS PLANS LS101-LS104 FOR COORDINATION BETWEEN ENTRANCE GATEWAYS AND EXISTING MULTIUSE PATH.
  3. TEMPORARY PHASE ONE BIKE RACK LOCATION TO BE MOVED IN PHASE THREE TO PERMANENT PHASE THREE BIKE RACK LOCATION.
  4. INNER ARBOR TRUST WILL MONITOR BICYCLE PARKING AND PROVIDE ADDITIONAL BICYCLE PARKING AS NECESSARY.

**1 BICYCLE ROUTE & NEIGHBORHOOD CONNECTIONS DIAGRAM**  
1"=60'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Director*  
 Date: 11/2/24

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.  
*Scott Rykiel*  
 SCOTT RYKIEL, RLA 061

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
*Michael McCaill*  
 DEVELOPER/SOWNER'S NAME

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

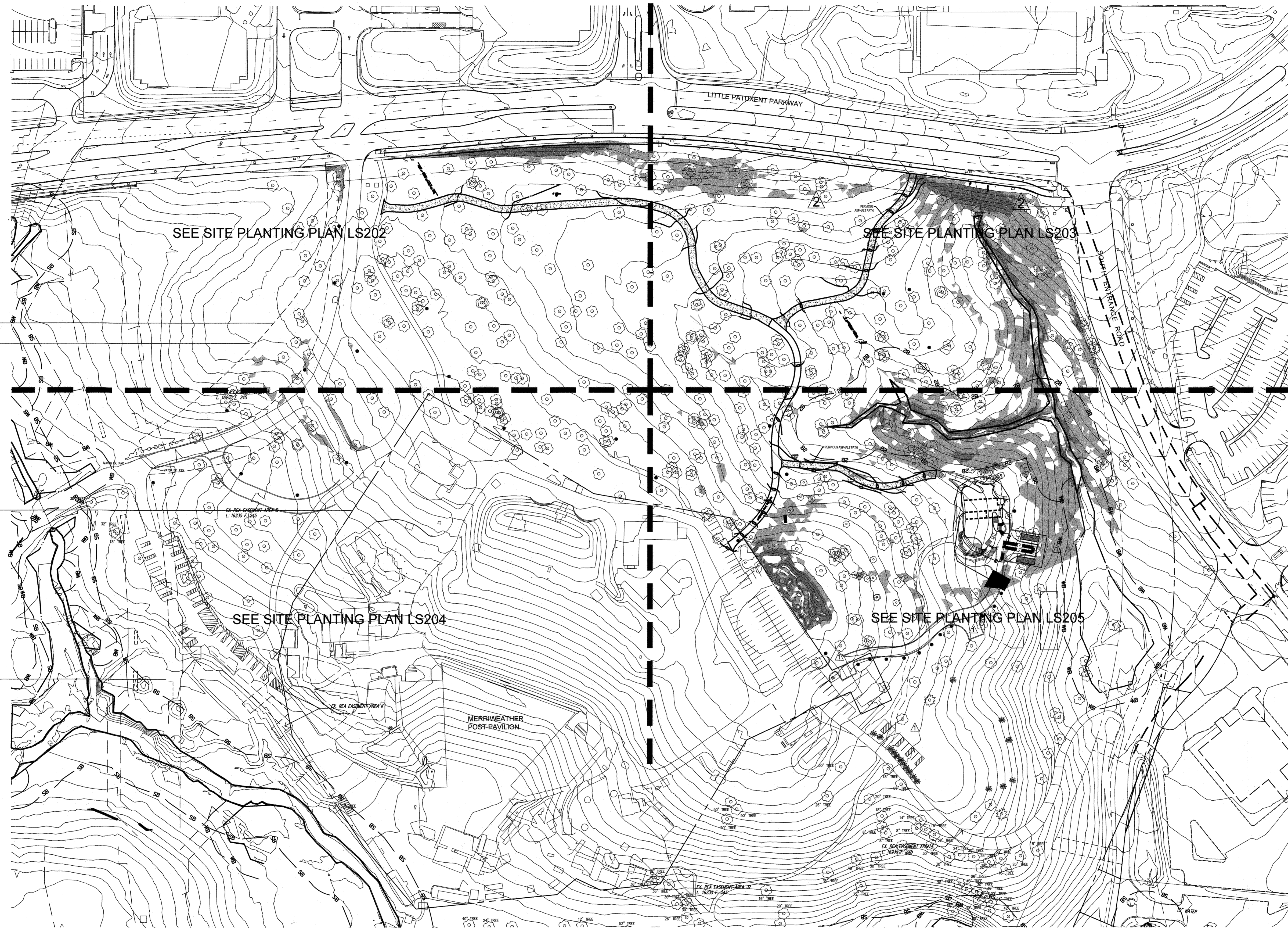
DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	ZR
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS. ADDED NEW ADA PATH TO HC PARKING. REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY, NOT FOR CONSTRUCTION

REVISED BICYCLE ACCESS & NEIGHBORHOOD CONNECTIONS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT NO. 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED BICYCLE ACCESS & NEIGHBORHOOD CONNECTIONS		LS106
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	25 OF 38



**1 SITE PLANTING KEY PLAN**  
1"=80'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Amde Swaberg* Date: 11/2/24  
 Chief, Development *John* Date: 11/2/24  
 Chief, Development Engineering Division *HEA* Date: 12.21.23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A/A

NOTE: REDLINES PREPARED BY FLOURA TEETER. DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

SCOTT RYKIEL, RLA 631 *Scott Rykiel*

DEVELOPER/SOWNER'S NAME  
 NINA CHOW INNER ARBOR TRUST INC

**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive... Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	JCI
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS. ADDED NEW ADA PATH TO HC PARKING. REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

REVISED SITE PLANTING KEY PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED SITE PLANTING KEY PLAN		LS200
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	26 OF 38

LANDSCAPE SURETY

PHASE 1  
 (1) ORNAMENTAL TREES x \$150 = \$150  
 TOTAL PHASE 1: \$150

TREE SCHEDULE

QTY	KEY	BOTANICAL/Common Name	SIZE	ROOT	COMMENTS
1	CF1	Cornus florida Flowering Dogwood	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION 1.  
 NOTE: REDLINES PREPARED BY FLORA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

TREE CALCULATIONS

EXISTING TREES TO BE REMOVED: 38  
 NEW TREES PROVIDED: 1

PROPOSED PLANTING LEGEND

- ⊙ PROPOSED EVERGREEN TREE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- ▨ RIPARIAN PLANTING/STREAM RESTORATION ZONE: SEE NOTE 3
- ⊗ EXISTING TREE TO BE REMOVED (SEE NOTE 4)

SITE LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TOPOGRAPHY
- ▬ LIMIT OF SUBMISSION
- ▬ SDP/FDP BOUNDARY
- ▬ ADJACENT NEIGHBORHOOD BOUNDARY
- STREAM
- SB — STREAM BUFFER
- WB — WETLAND BUFFER
- ▭ WETLAND
- ▨ SLOPES > 15%
- ▨ SLOPES > 25%

- NOTES:
- REFER TO SHEETS LS202-LS205 FOR ALL OTHER PROPOSED PLANTINGS.
  - FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
  - ADDITIONAL TREES MAY BE PROVIDED IN RIPARIAN PLANTING/STREAM RESTORATION ZONE AS A PART OF BIOHABITATS FUTURE STREAM RESTORATION REDLINE SUBMISSION.
  - SEE TREE CALCULATIONS ON BOTTOM LEFT SIDE OF SHEET FOR TOTAL TREE REMOVAL AND TREE PROVIDED QUANTITIES.
  - REFER TO CIVIL DRAWING FOR TREE DEMOLITION PLAN.
  - REFER TO MATERIALS PLANS (LS101-104) FOR ALL SITE FEATURE CALL OUTS.
  - REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
  - PHASING LINES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE CIVIL PLANS FOR COMPLETE PHASING DIAGRAM.

1 SITE TREE PLANTING PLAN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *David Estabrook* Date: 11/2/24  
 Chief, Land Development: *[Signature]* Date: 11/2/24  
 Chief, Development Engineering Division: *[Signature]* Date: 12.21.23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXCLUDED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Scott Rykiel*  
 SCOTT RYKIEL, P.L.A. 631

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXCLUDED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* NWA Group INNER ARBOR TRUST INC  
 DEVELOPER'S/OWNER'S NAME

**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

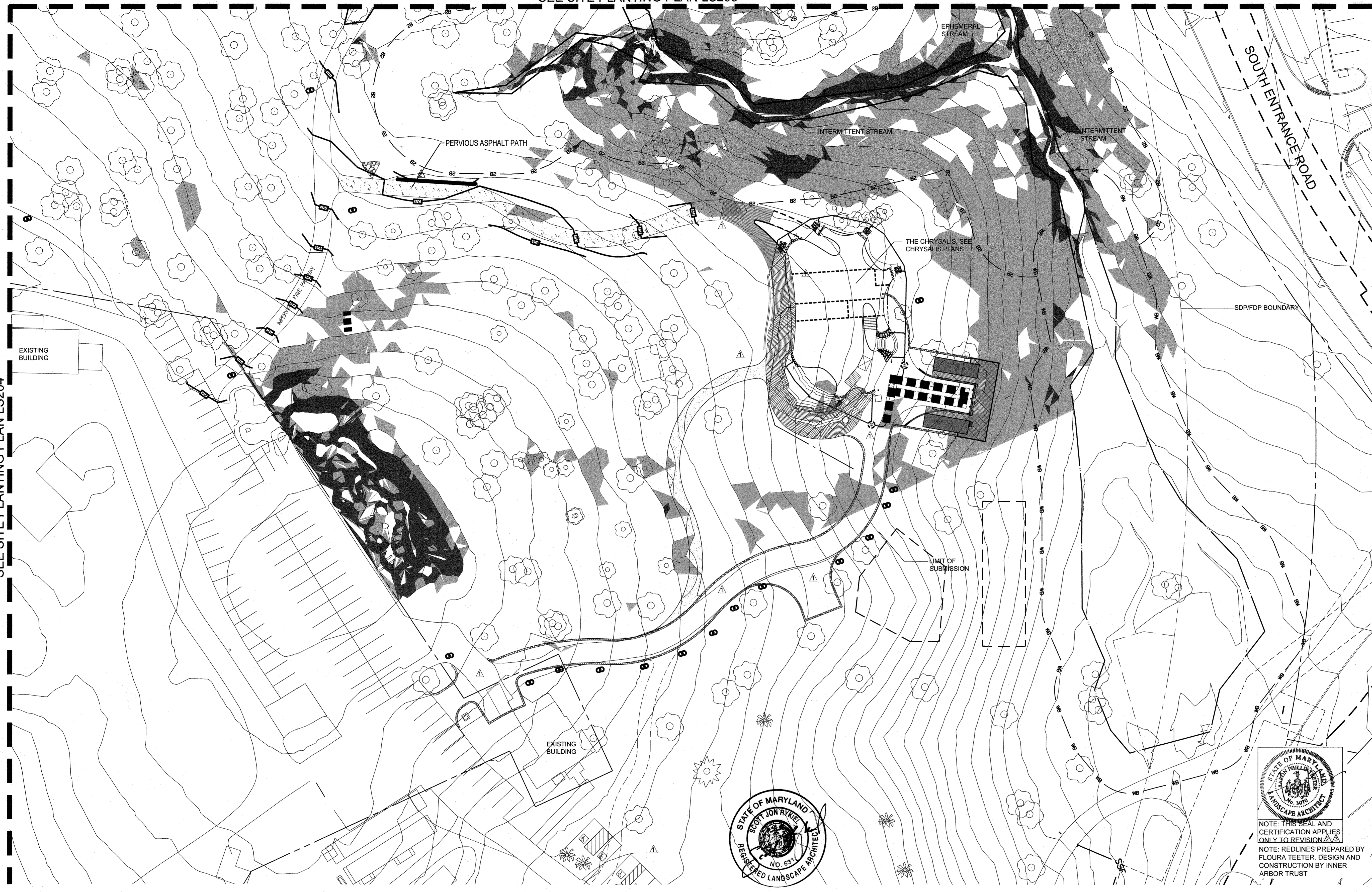
DATE	REVISION	BY	APPR
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	JCI
06/20/22	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY:  
 NOT FOR CONSTRUCTION

REVISED SITE TREE PRESERVATION, DEMOLITION AND PLANTING PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 1-98-PLAT NO. 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	27 OF 38



**PLANTING KEY**

**GENERAL PLANTING**

- SOD LAWN
- NATIVE MEADOW
- ENHANCED WOODLAND

**FEATURED PLANTING**

- FP ZONE 1
- FP ZONE 2
- FP ZONE 3
- FP ZONE 4
- FP ZONE 5
- FP ZONE 6

**PROPOSED PLANTING LEGEND**

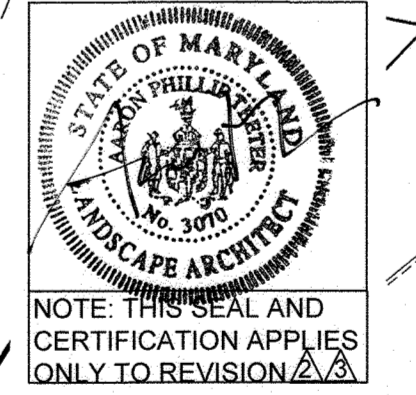
- PROPOSED EVERGREEN TREE SEE SHEET LS201 FOR SPECIES
- PROPOSED SHADE TREE SEE SHEET LS201 FOR SPECIES
- PROPOSED ORNAMENTAL TREE SEE SHEET LS201 FOR SPECIES
- RIPARIAN PLANTING/STREAM RESTORATION ZONE; SEE NOTE 8

**SITE LEGEND**

- EXISTING TREE TO REMAIN
- EXISTING TOPOGRAPHY
- LIMIT OF SUBMISSION
- SDP/FDP BOUNDARY
- ADJACENT NEIGHBORHOOD BOUNDARY
- STREAM
- STREAM BUFFER
- WETLAND BUFFER
- WETLAND
- SLOPES > 15%
- SLOPES > 25%

**NOTES:**

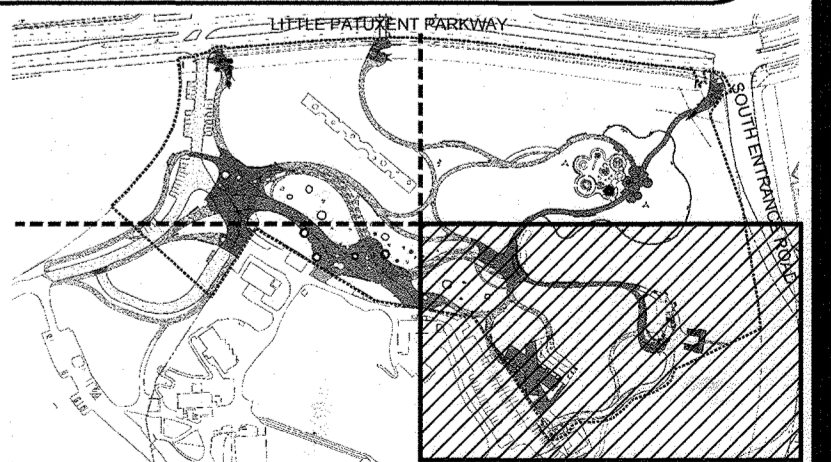
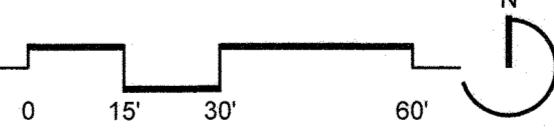
- REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
- REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
- REFER TO SHEET LS207 FOR ALL PLANTING DETAILS.
- PROVIDE PERMEABLE WEED BARRIER UNDER BOARDWALK IN AREAS WHERE AIR GAP BETWEEN BOARDWALK AND GROUND IS LESS THAN 8".
- EXTEND PLANTING UNDERNEATH BOARDWALK IN ALL AREAS WHERE AIR GAP BENEATH BOARDWALK IS GREATER THAN 3".
- STREAM RESTORATION/RIPARIAN PLANTING TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION 1.

NOTE: REDLINES PREPARED BY FLOURA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

1 SITE PLANTING PLAN  
1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 11/2/24  
 Chief, Development: *[Signature]* Date: 1/2/25  
 Chief, Development Engineering Division: *[Signature]* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2017  
 See Sht 2 for Phases

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

SCOTT RYKIEL, RLA 631

DEVELOPER/SOWNER'S NAME

DEVELOPER/SOWNER'S NAME

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	JCI
06/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HG PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

FOR INFORMATION ONLY,  
 NOT FOR CONSTRUCTION

REVISED SITE UNDERSTORY PLANTING PLAN MIDEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED SITE PLANTING PLAN		LS205
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	28 OF 38



1. Feature Planting - Zone 1 (31,965 SF / .73 AC.)

KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
<b>SHRUBS (40%)</b>				
233	Azalea 'Glacier'	#3	Cont.	21" Spd., Matched White Flower
233	Prunus laurocerasus 'Otto Luyken'	#3	Cont.	21" Spd., Matched Full Cherry Laurel
233	Rhododendron 'Purpureum Elegans'	42" Spd.	B&B	Full, Matched Purple Flower
233	Viburnum dentatum 'Blue Muffin'	#5	Cont.	30" Spd., Matched Blue Muffin Arrowwood Viburnum
<b>PERENNIALS / GROUNDCOVERS / GRASSES (60%)</b>				
12%	Actaea racemosa	#1	Cont.	18" O.C. Snakeroot
12%	Iris versicolor	#1	Cont.	18" O.C. Blue Flag Iris
12%	Matteuccia struthiopteris	#1	Cont.	18" O.C. Ostrich Fern
12%	Pachysandra procumbens	#1	Cont.	18" O.C. Allegheny Spurge
12%	Polystichum acrostichoides	#1	Cont.	18" O.C. Christmas Fern

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL SELECTION OF PATHWAYS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Dynda Eselson* Date: 11/2/24  
 Chief, Division of Land Development: *[Signature]* Date: 11/2/24  
 Chief, Development Engineering Division: *[Signature]* Date: 12-21-23

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: NOVEMBER 20, 2014  
 \*SEE NOTES ON SHEET 2 FOR PHASING.

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

SCOTT RYKIEL, RLA 631 *[Signature]*

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]* VINA BARR, JUDGE OF THE TRUST CO. DEVELOPER'S/OWNER'S NAME



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Sieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
05/20/2019	REVISIONS ASSOCIATED WITH PHASE 2 PATH CHANGES	AJO	
06/20/22	REMOVE PHASES NOT BUILT	JCI	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. \_\_\_\_\_  
 EXPIRATION DATE: \_\_\_\_\_

SITE UNDERSTORY PLANT SCHEDULE		
<b>DOWNTOWN COLUMBIA</b>		
<b>MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD</b>		
<b>MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7</b>		
TOWN CENTER- SECTION 1 AREA 1		
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32		
GREEN COMMERCIAL BUILDING		
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JUNE, 2015	TAX MAP - GRID 36 - 01	SHEET 29 OF 38

SITE PLANT SCHEDULE LS206

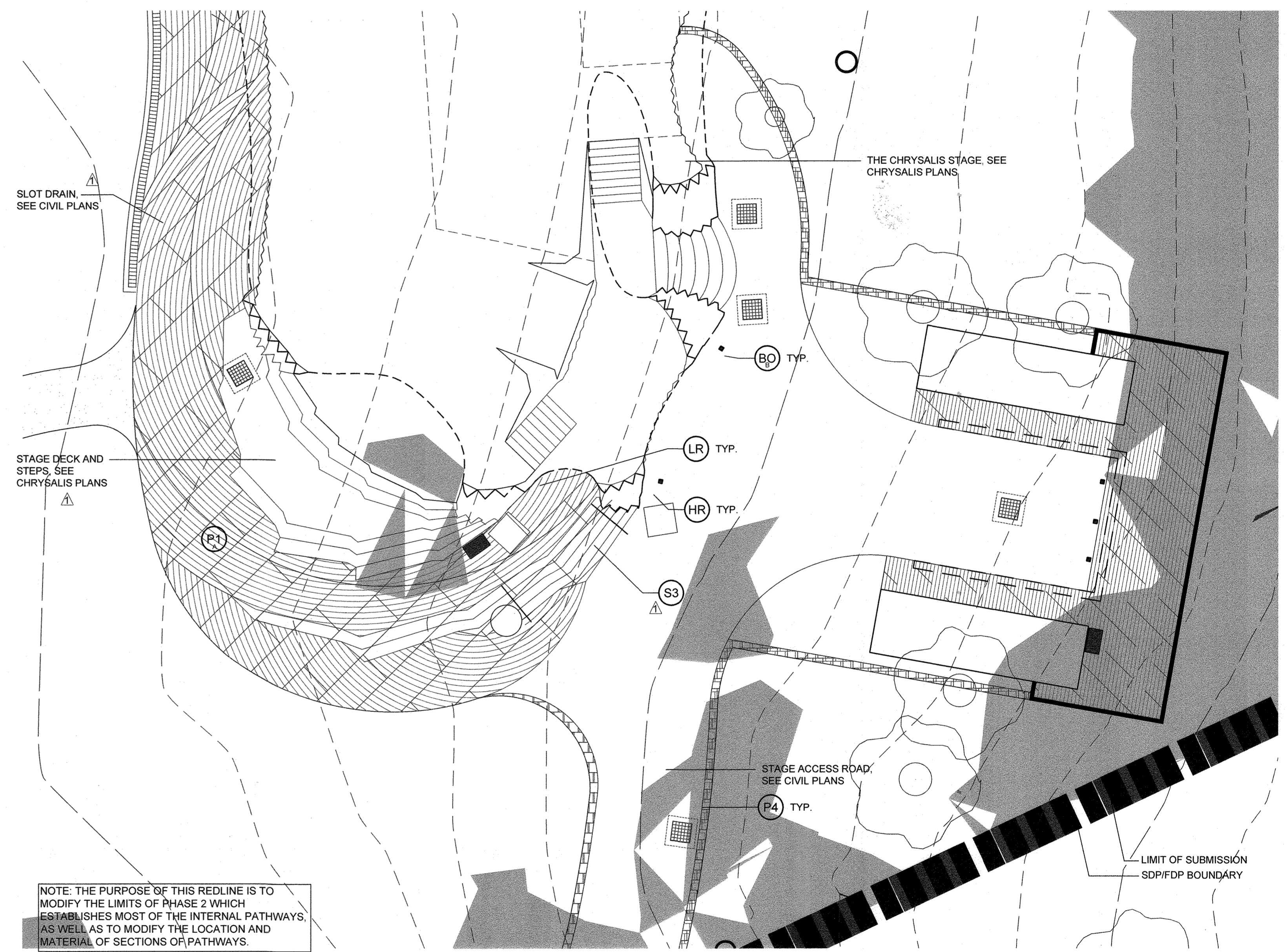
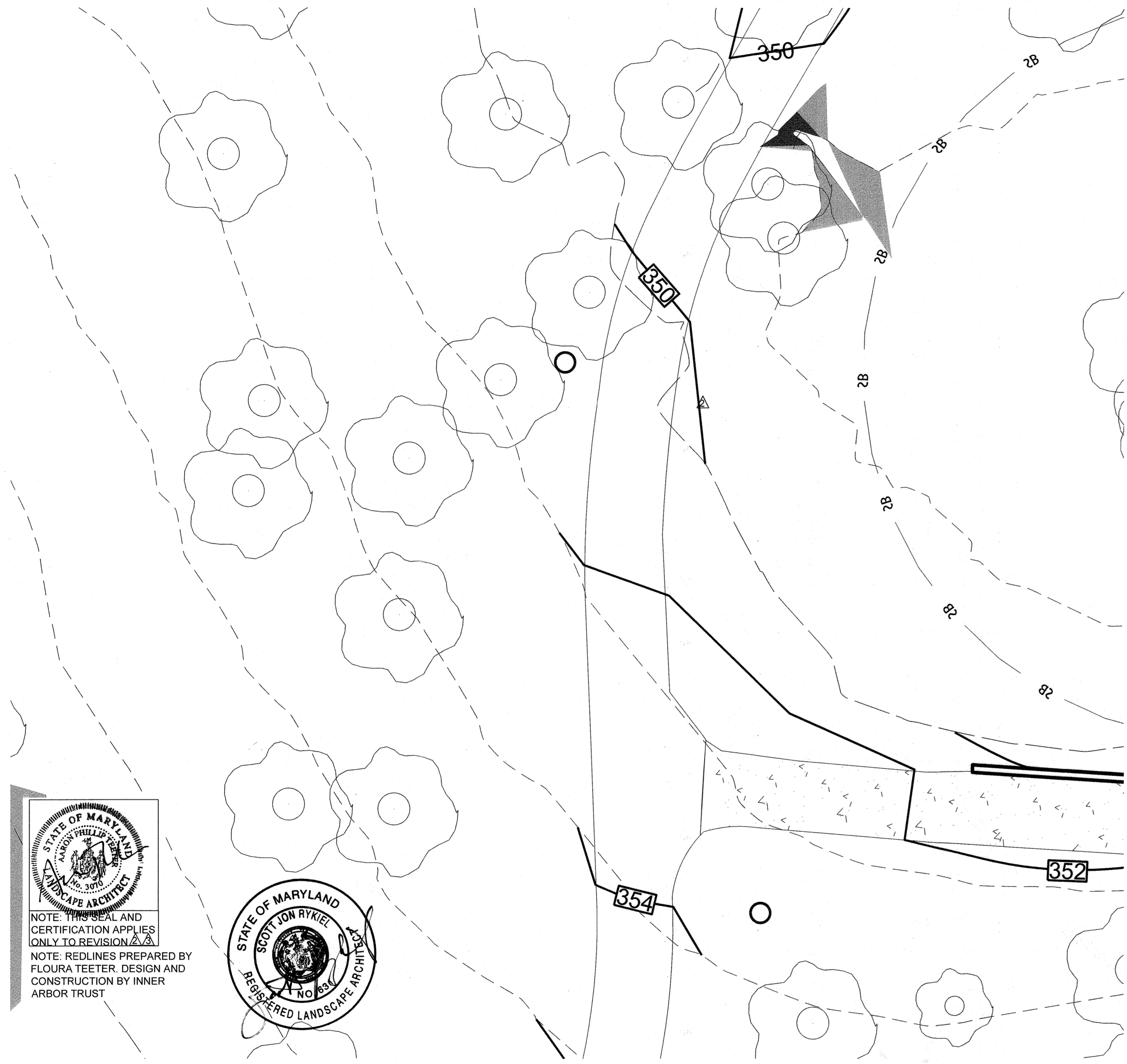
N:\42118-002\CADD\Sheet 54.dwg PLOTTED: 2/27/2023 4:58 PM, LAST SAVED: 12/26/2022 7:48 AM, PLOTTED BY: DICHIE, JOHN

SITE LEGEND			
	PERMEABLE PAVEMENT		EXISTING TREE TO REMAIN
	BOARDWALK WITH CURB		LIMIT OF SUBMISSION
	BOARDWALK WITH RAILING		SDP/FDP BOUNDARY
	ASPHALT PATH		EXISTING TOPOGRAPHY
			STREAM BUFFER
			SLOPES > 15%
			SLOPES > 25%

**NOTES:**

- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

PAVING		SITE AMENITIES	
	P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION		B1 (3) BENCH 1 - CUSTOM SEAT WALL
	P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION		B2 (2) BENCH 2A - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
	P2 (2) PERVIOUS FLEXIBLE PAVING; LIGHT DUTY SECTION		B5 (4) BENCH 5 - CUSTOM STUMP SEATING
	P3 (5/8) BOARDWALK, IPE WOOD DECKING		BOLLARD B @ CHRYSALIS
	P4 (3) COBBLE STONE EDGE		BC (1) BOARDWALK CURB
	P5 (4) STONE DUST		GR (2) GUARDRAIL AT BOARDWALK
<b>WALLS/STAIRS</b>			HR (2) HANDRAIL AT STAIRS
	S3 (1) CONCRETE STEPS (AT CHRYSALIS) WITH STAINLESS STEEL HANDRAIL		LR (2) LITTER/RECYCLING RECEPTACLE



STATE OF MARYLAND  
LANDSCAPE ARCHITECT  
No. 2010

NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A.

NOTE: REDLINES PREPARED BY FLOURA TEETER, DESIGN AND CONSTRUCTION BY INNER ARBOR TRUST

STATE OF MARYLAND  
SCOTT RYKIEL  
REGISTERED LANDSCAPE ARCHITECT  
No. 631

**1 ENLARGEMENT PLAN D**  
1"=10'

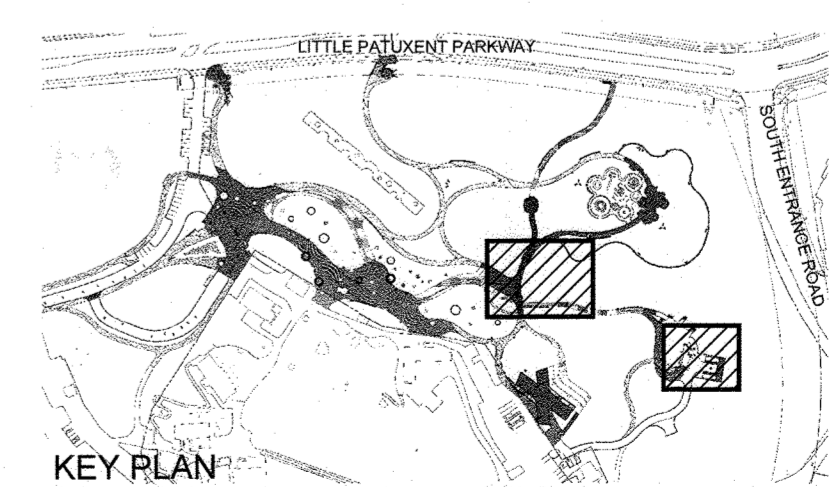
**2 ENLARGEMENT PLAN E**  
1"=10'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director  
Date: 11/2/24

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2017  
See Sht 2 for Phases

CERTIFICATION NOTE:  
THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

CERTIFICATION NOTE:  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.



**MAHAN RYKIEL ASSOCIATES INC**  
The Stief Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

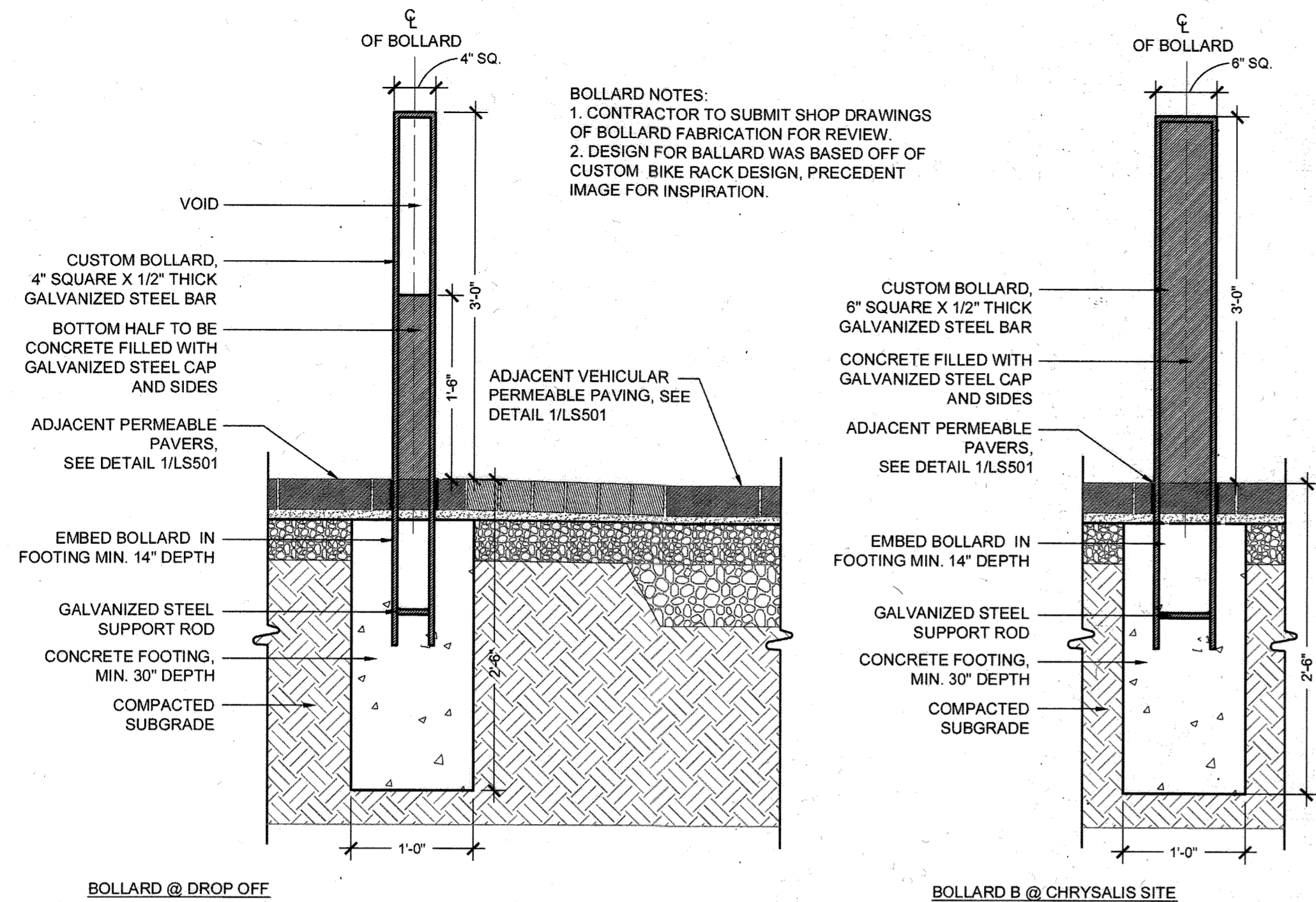
DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
08/2022	ADD AS-BUILT PATH AND DELETE FUTURE PHASES	JCI	ZR
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

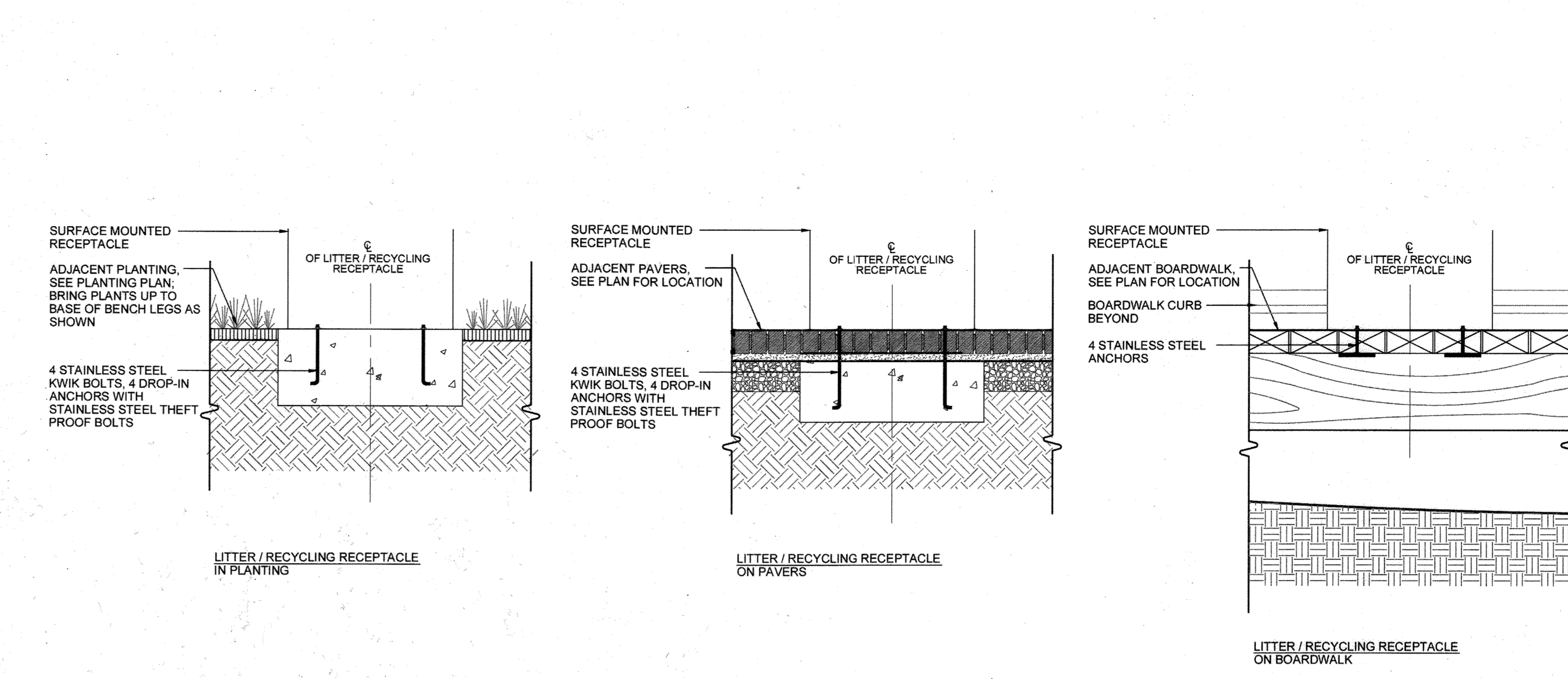
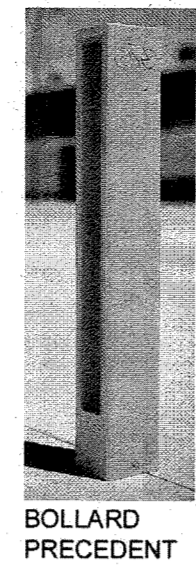
DEVELOPER/SOWNER'S NAME  
INNER ARBOR TRUST INC

REVISED SITE ENLARGEMENT PLANS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

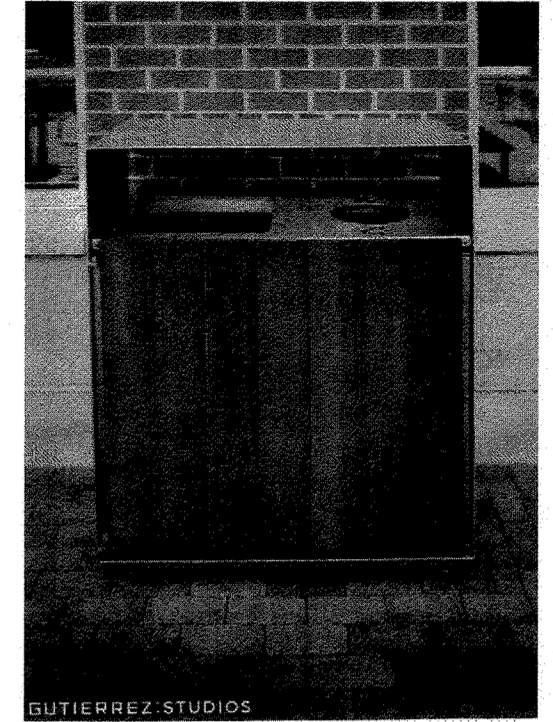
REVISED SITE ENLARGEMENT PLANS		LS303
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	30 OF 38



**BOLLARD NOTES:**  
 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF BOLLARD FABRICATION FOR REVIEW.  
 2. DESIGN FOR BALLARD WAS BASED OFF OF CUSTOM BIKE RACK DESIGN, PRECEDENT IMAGE FOR INSPIRATION.



**GUTIERREZ STUDIOS**  
 CUSTOM 30 GALLON LITTER & RECYCLING RECEPTACLE  
 1/2" GALVANIZED STEEL FRAME WITH STAINLESS STEEL INSERT & ABSTRACT RECYCLING SYMBOL CUTOUT, RECLAIMED IPE SLAT COVERING

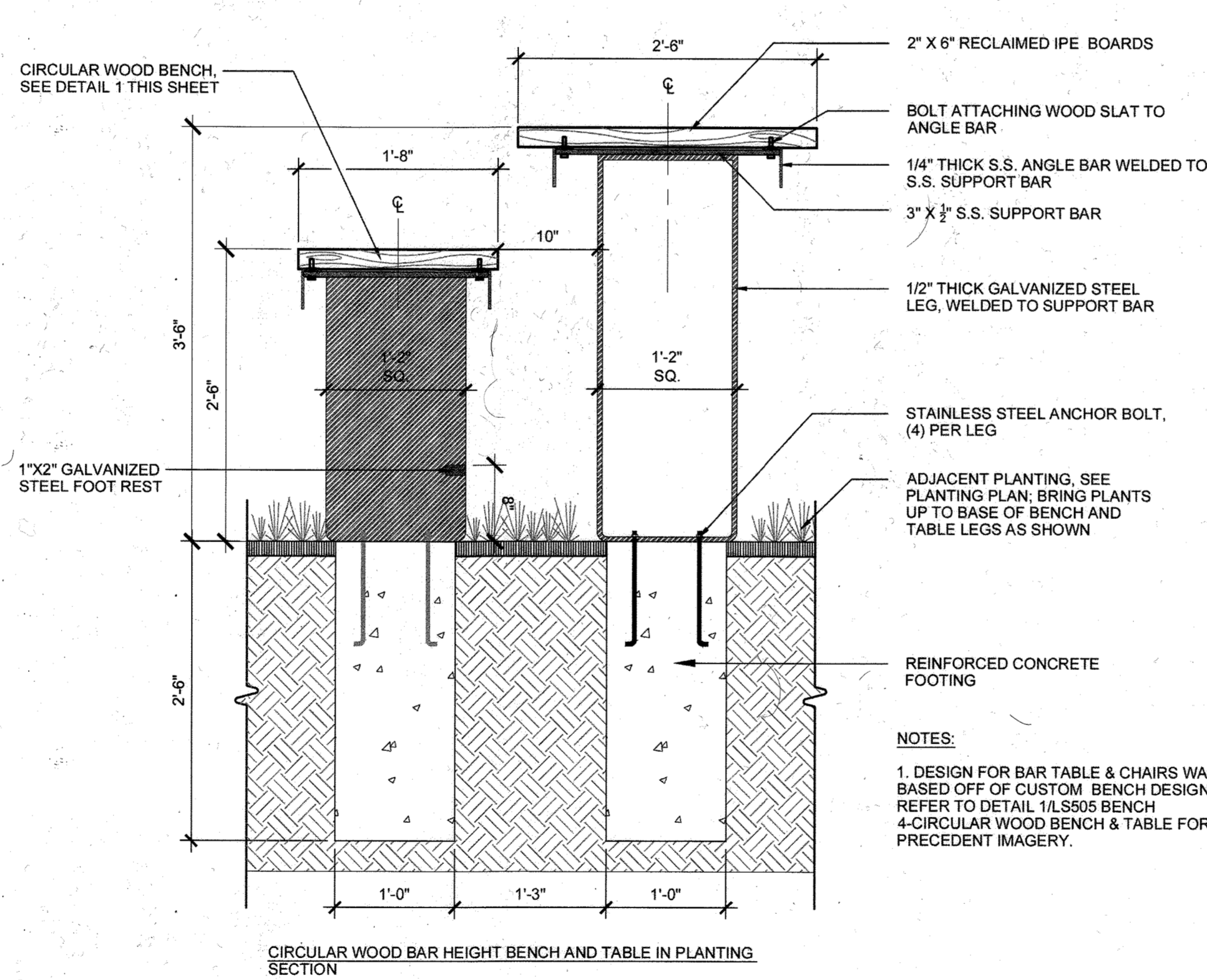
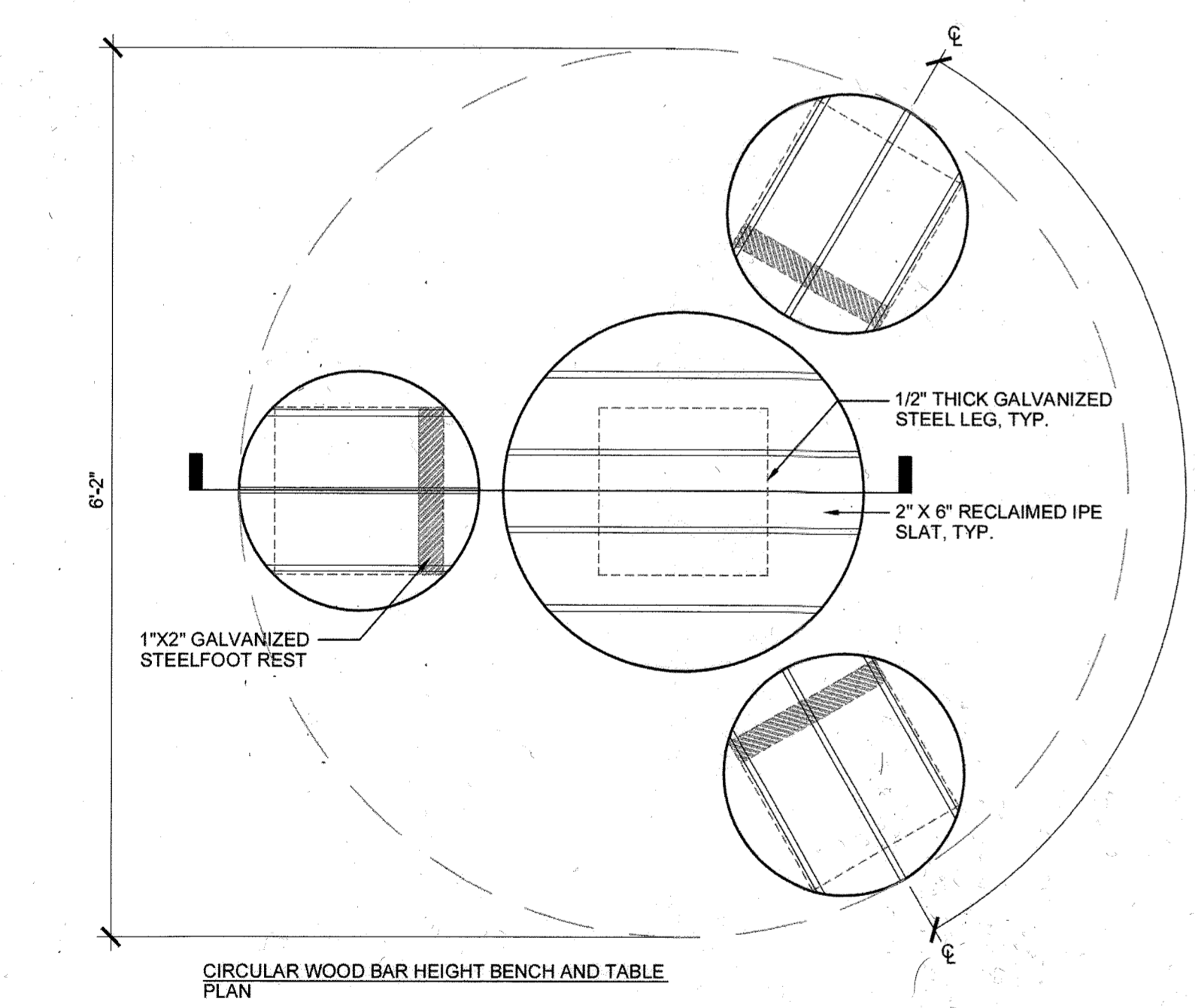


**1 BOLLARD**

**2 LITTER/RECYCLING RECEPTACLES**

1"=1'-0"

1"=1'-0"

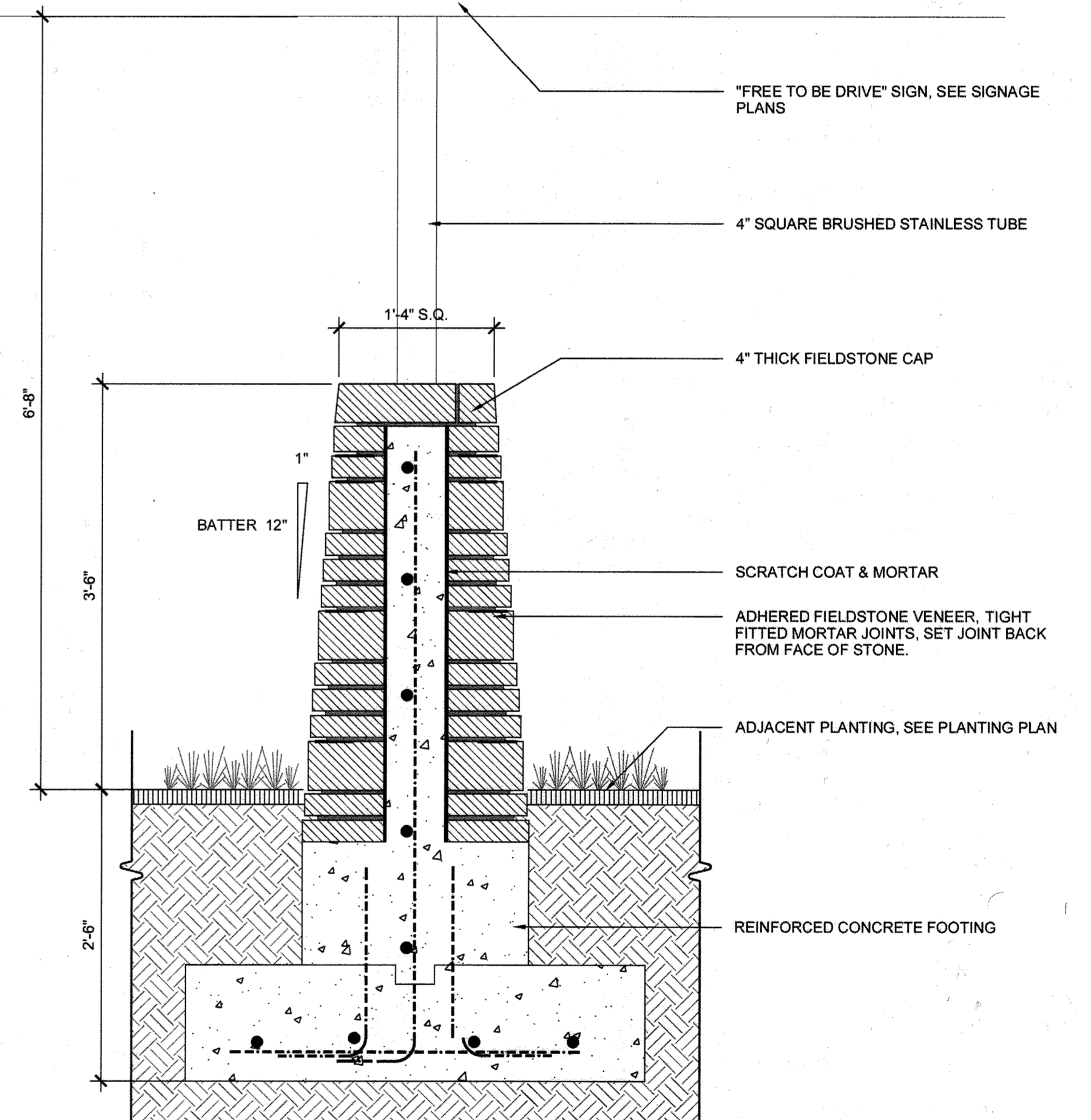


**3 BENCH 7 - BAR TABLE AND STOOLS**

**4 FREE TO BE SIGN WALL**

1"=1'-0"

1"=1'-0"

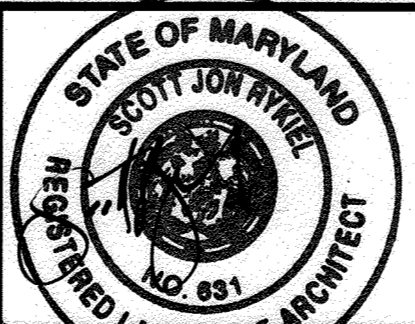


**GENERAL NOTE:**  
 ALL FURNISHINGS, WITH THE EXCEPTION OF BENCH 6 (CHAISE LOUNGE CHAIR; 3/LS505), ARE CUSTOM DESIGNED. IMAGES PROVIDED ARE FOR PRECEDENT REFERENCE ONLY AND ARE NOT IMAGES OF ACTUAL FURNISHINGS INTENDED FOR THE PROJECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING <i>Walking</i> Director Date: 9-8-15	APPROVED PLANNING BOARD OF HOWARD COUNTY Date: November 20, 2014 *See Site 2 for Processing & Adm'l *Requires Approval for Phases 2-7
Chief, Division of Land Development Date: 9-2-15	
Chief, Development Engineering Division Date: 8-25-15	

**MAHAN RYKIEL ASSOCIATES INC**  
 The Steiff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

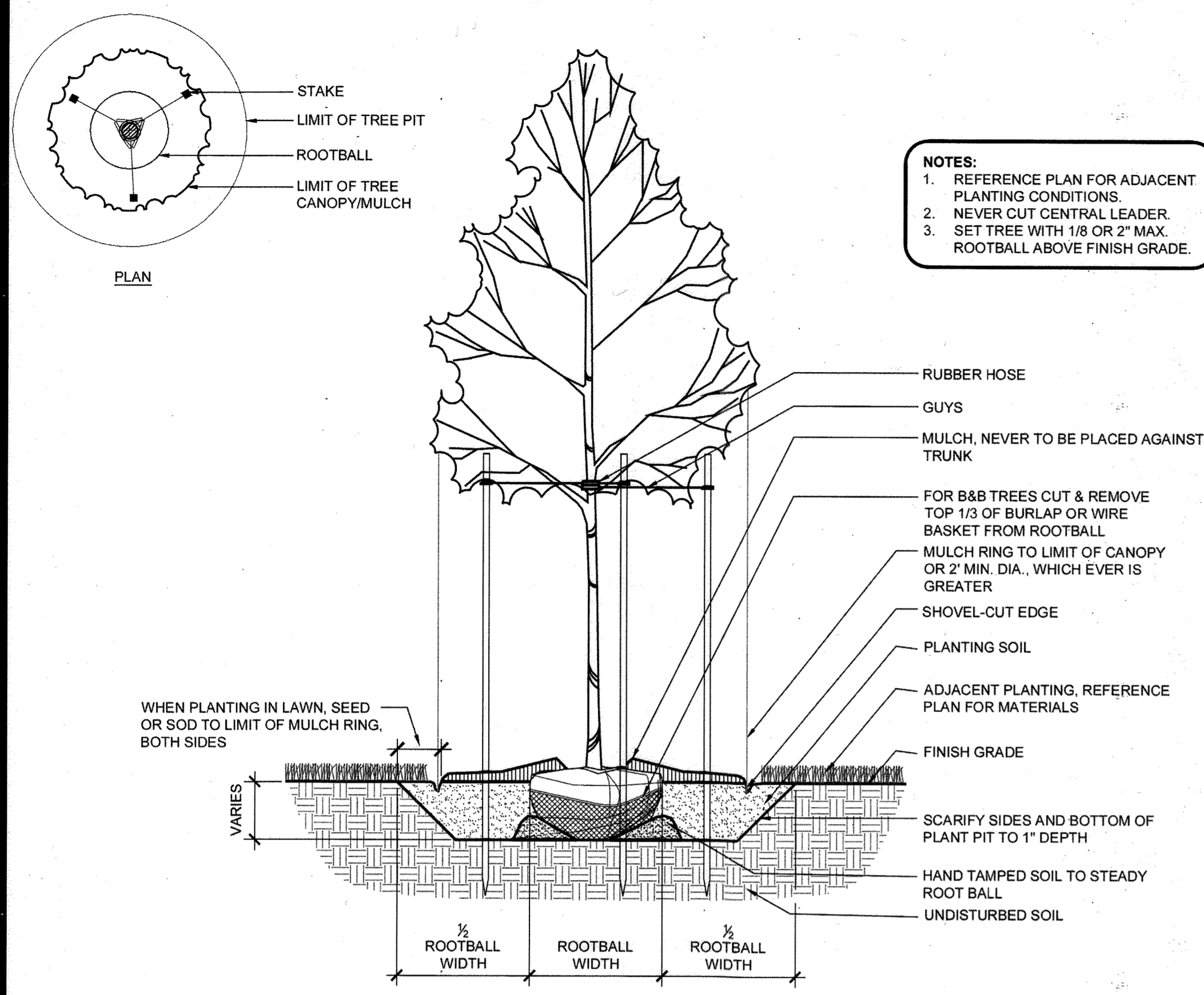


FOR INFORMATION ONLY:  
 NOT FOR CONSTRUCTION

**SITE HARDSCAPE DETAILS**  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

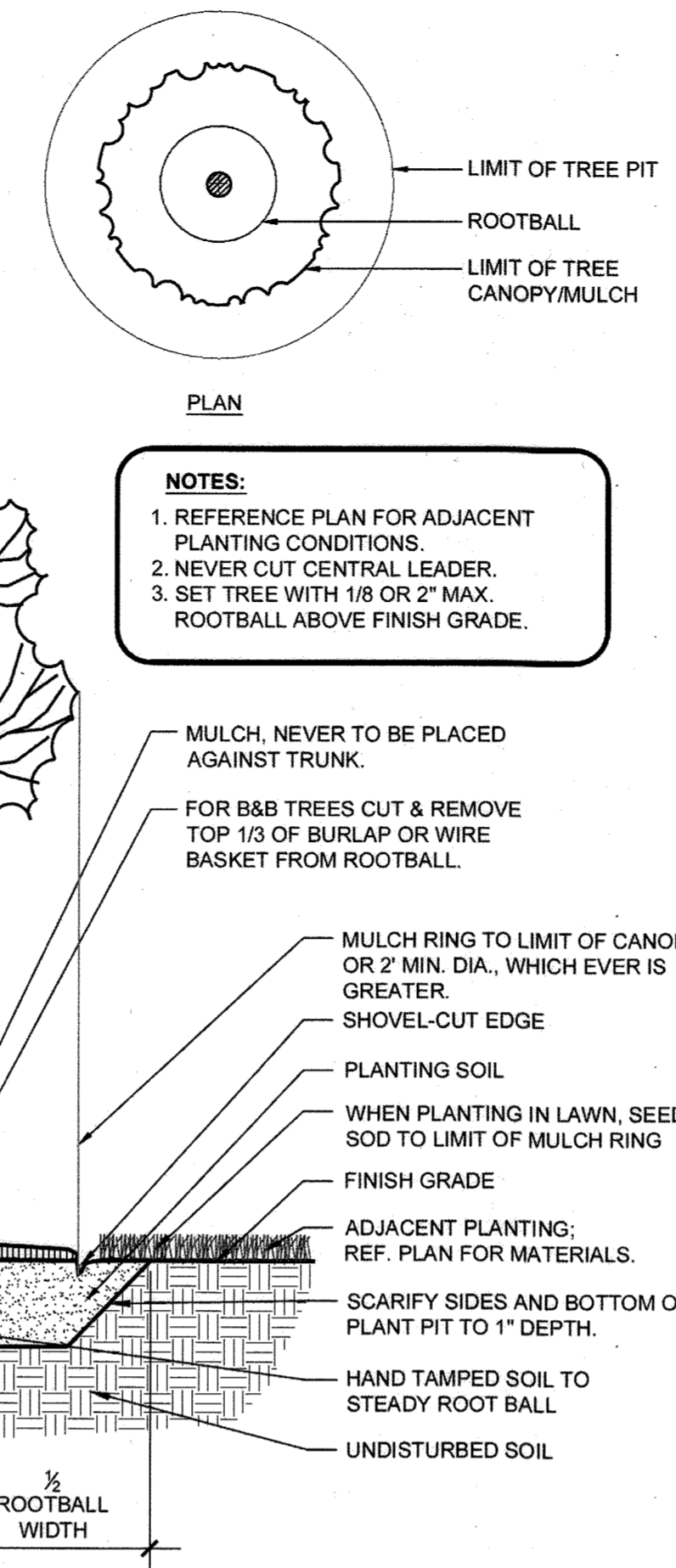
SITE HARDSCAPE DETAILS		LS506
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	31 OF 38





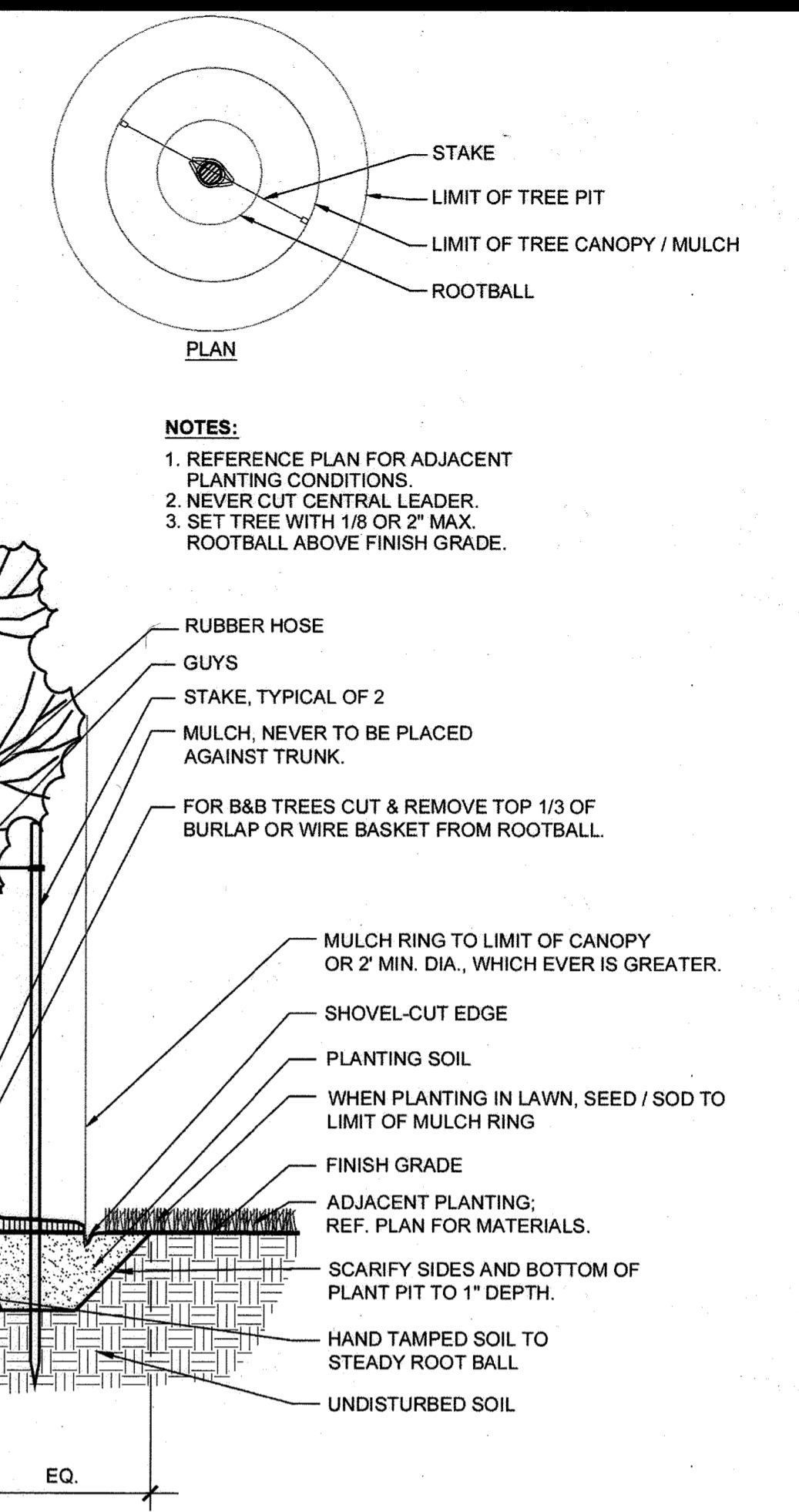
**NOTES:**  
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
 2. NEVER CUT CENTRAL LEADER.  
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

**1** Typical Tree Planting (2.5" Cal. - 4" Cal.) (Less Than 14' Ht.), Staked  
 1/2" = 1'-0"



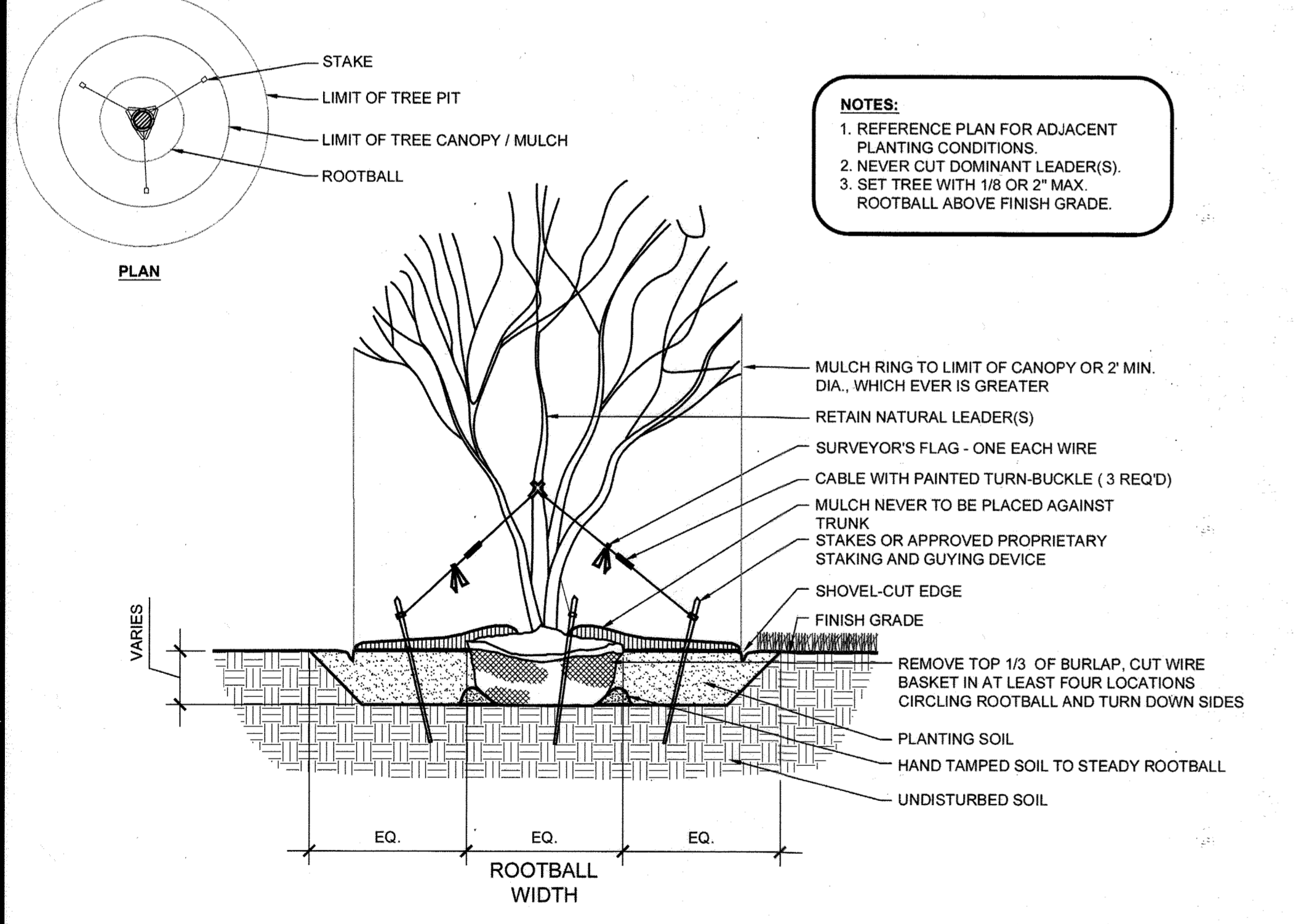
**NOTES:**  
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
 2. NEVER CUT CENTRAL LEADER.  
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

**2** Typical Tree Planting (Less than 2" Cal.), Not Staked  
 1/2" = 1'-0"



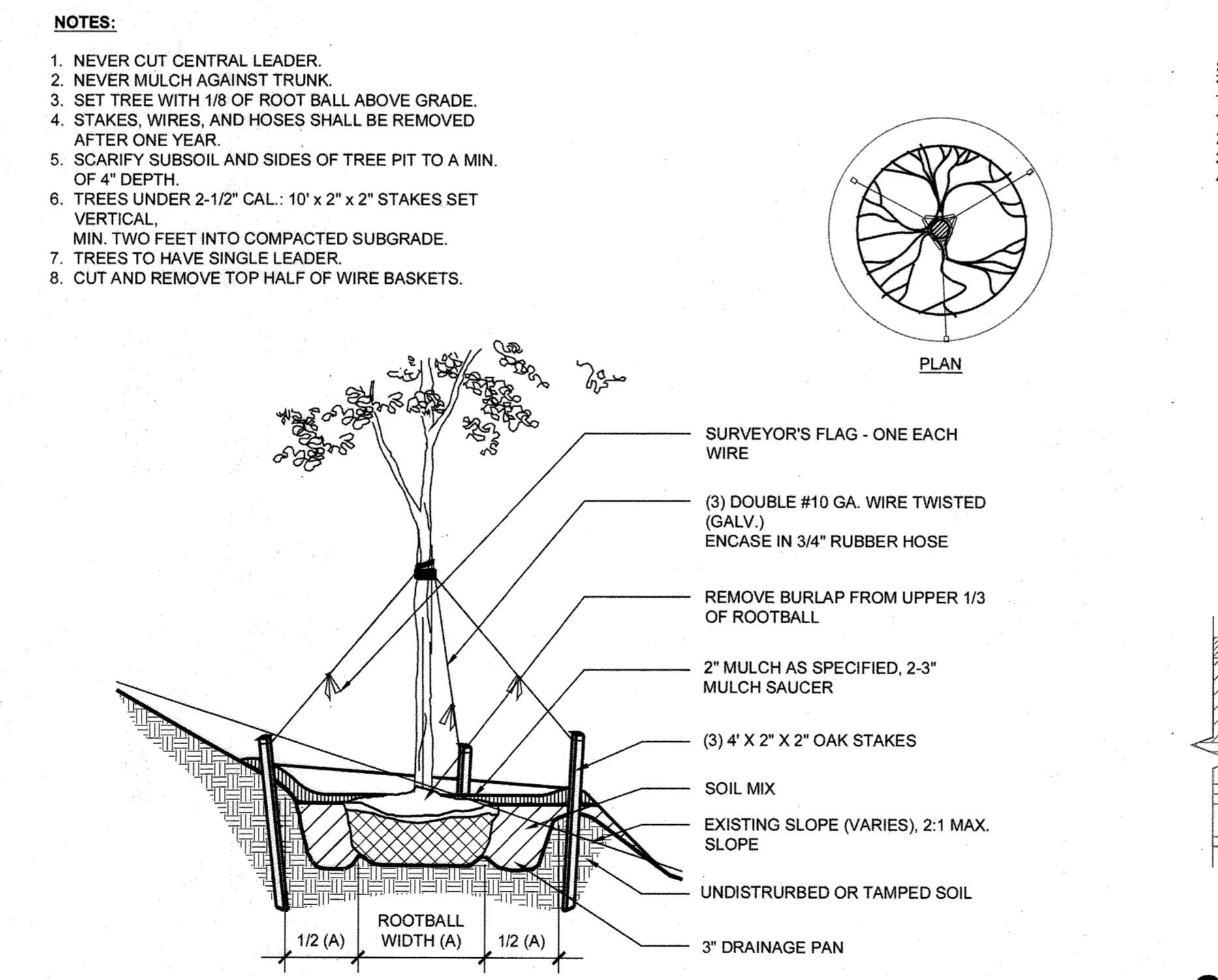
**NOTES:**  
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
 2. NEVER CUT CENTRAL LEADER.  
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

**3** Typical Tree Planting (Less than 12' Ht, 2.5" Cal.), Staked  
 1/2" = 1'-0"



**NOTES:**  
 1. REFERENCE PLAN FOR ADJACENT PLANTING CONDITIONS.  
 2. NEVER CUT DOMINANT LEADER(S).  
 3. SET TREE WITH 1/8 OR 2" MAX. ROOTBALL ABOVE FINISH GRADE.

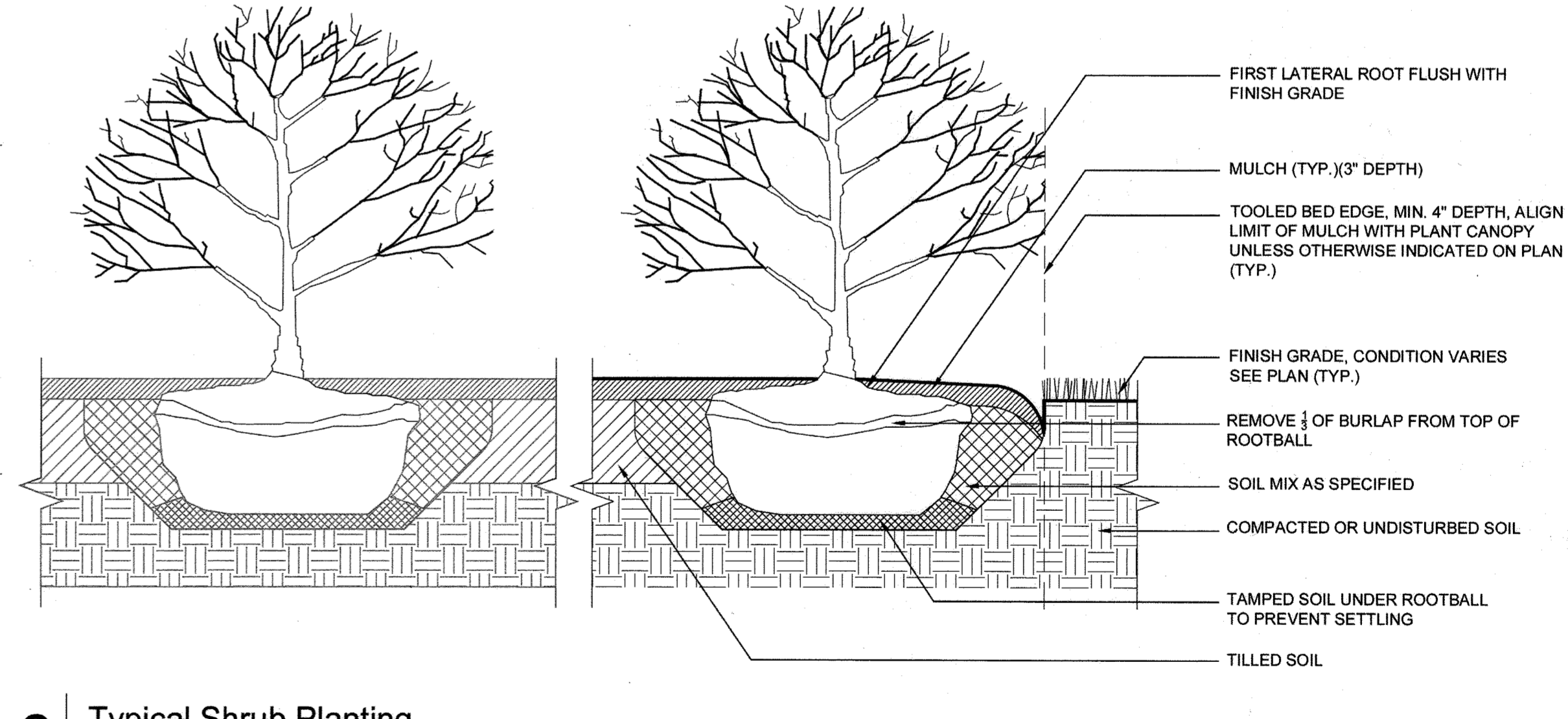
**4** Typical Tree Planting (Over 3" Cal - 14' Ht.), Staked  
 1/2" = 1'-0"



**5** Typical Tree Planting on Slope  
 1/2" = 1'-0"

**SEQUENCE OF CONSTRUCTION (GENERAL) REFER TO SPECIFICATIONS**

1. STAKE OUT PLANT/BED LOCATIONS.
2. CUT EDGE OF PLANT BED
3. TILL SOIL AND APPLY AMENDMENTS TO ENTIRE PLANTING AREA.
4. APPLY PRE-EMERGENT HERBICIDE (TWO WEEKS PRIOR TO PLANTING).
5. INSTALL PLANTS.
6. INSTALL FERTILIZER TABLETS IN EACH PLANT PIT.
7. PLACE BACKFILL.
8. WATER EACH INDIVIDUAL PLANT THOROUGHLY.
9. PLACE MULCH OVER ENTIRE PLANT BED.
10. WATER ENTIRE PLANT BED THOROUGHLY.



**6** Typical Shrub Planting  
 1" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Walter J. Jelen* Date: 9-8-15  
 Chief, Division of Long Development: *Chris O'Connell* Date: 8-25-15  
 Chief, Development Engineering Division: *WJR* Date:

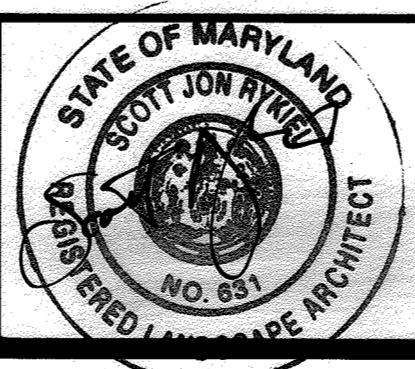
APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Ord. 2 for Provisions to Add'l Required Approvals for Pns 2-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.  
 SCOTT RYKIEL, RLA 831

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 DEVELOPER/SOWNER'S NAME: *Michael McCall* DATE: 9/4/15

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY: NOT FOR CONSTRUCTION

**SITE PLANTING DETAILS**  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER, SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SITE PLANTING DETAILS		LS507
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	32 OF 38

**TREE PRESERVATION APPROACH  
MERRIWEATHER PARK**

TREE PRESERVATION DURING CONSTRUCTION REQUIRES AN INTEGRATED APPROACH THAT RECOGNIZES BOTH THE INHERENT BIOLOGICAL LIMITATIONS OF MATURE TREES AND THE PHYSICAL DEMANDS THAT HUMAN INFRASTRUCTURE PLACES UPON THE LANDSCAPE. THE FOLLOWING DESCRIBES THE COMPREHENSIVE TREE PRESERVATION METHODOLOGY THAT WILL BE UNDERTAKEN TO ENSURE THE HIGHEST POTENTIAL FOR MAINTAINING TREE HEALTH.

THE CRITICAL ROOT ZONE (CRZ) IS THE AREA AROUND THE BASE OF THE PLANT THAT CONTAINS THE VAST MAJORITY OF SMALL, ABSORBING ROOTS. AS OPPOSED TO THE LARGE, STRUCTURAL SUPPORT ROOTS, THE ABSORBING ROOTS ARE PRIMARILY RESPONSIBLE FOR THE UPTAKE OF BOTH WATER AND ESSENTIAL ELEMENTS. THEY REQUIRE ADEQUATE OXYGEN IN ORDER TO SURVIVE. AS SUCH, THEY ARE LOCATED CLOSE TO THE SURFACE (IN THE TOP 12 TO 18" OF SOIL). THEY ARE ALSO HIGHLY VULNERABLE TO SOIL COMPACTION AND THE ACCOMPANYING REDUCTION IN OXYGEN-CONTAINING PORE SPACES BETWEEN SOIL PARTICLES. THE PRIMARY STRATEGY TO BE EMPLOYED IN PRESERVING THE VALUABLE TREES IN MERRIWEATHER PARK WILL BE TO AVOID AND MITIGATE SOIL COMPACTION WITHIN THE CRZ. CRZ WILL BE ESTIMATED BASED ON TREE DIAMETER, AN APPROPRIATE INDICATOR OF POTENTIAL ROOTING AREA. FIELD STUDIES HAVE SHOWN THAT, FOR EVERY INCH OF TREE DIAMETER AT BREST HEIGHT (DBH), A CORRESPONDING RADIUS OF 1.5 FEET (STARTING FROM THE TREE STEM) WILL CAPTURE MOST OF THE CRZ. FOR INSTANCE, A PLANT WITH A DBH OF 10 INCHES WILL HAVE A CRITICAL ROOT ZONE EDGE 15 FEET FROM THE STEM.

THE PLAN WILL INVOLVE TWO COMPLEMENTARY TECHNIQUES TO AVOID UNINTENDED TREE LOSS DURING THE CONSTRUCTION PROCESS:

- A) AVOID THE CRITICAL ROOT ZONE OF TREES SELECTED FOR PRESERVATION
- B) MODIFY CONSTRUCTION ACTIVITIES WHEN IT IS NECESSARY TO OPERATE WITHIN THE CRITICAL ROOT ZONE

**AVOIDING THE CRITICAL ROOT ZONE**

IN ORDER TO MAXIMIZE THE LEVEL OF TREE CANOPY AND FOREST INTEGRITY THAT IS PROTECTED AT THE PARK, IT IS IMPORTANT TO FIRST FIELD DETERMINE WHICH TREES ARE COMPATIBLE WITH THE PLANNED INFRASTRUCTURE EXPANSION, AND TO THEN DELINEATE THE CRITICAL ROOT ZONES FOR THESE PLANTS.

**1 - IDENTIFY TREES FOR RETENTION**

A TREE INVENTORY WAS PERFORMED IN 2010. DOMINANT, CANOPY-LEVEL TREES WITHIN THE TARGETED CONSTRUCTION ZONE WILL BE RE-EVALUATED WITHIN THE CONTEXT OF PLANNED ACTIVITIES AND CHARACTERIZED AS TO SPECIES, DBH, AND CONDITION. CHARACTERIZATION OF SPECIES AND CONDITION WILL ALLOW FOR INFORMED DETERMINATION OF WHICH PLANTS ARE COMPATIBLE WITH CONSTRUCTION. TREES IN POOR CONDITION, OR THAT ARE OF SPECIES LIKELY TO BE INTOLERANT OF DISTURBANCE AND PRONE TO HAZARD GENERATION, SHOULD BE REMOVED FROM CONSIDERATION FOR RETENTION.

**2 - CRZ LOCATIONS**

BASED ON EVALUATION, CRZ LOCATIONS WILL BE REFINED FROM PREVIOUS TREE INVENTORY.

**3 - INTEGRATE TREE DATA INTO DESIGN PROCESS**

TO DATE, THE DESIGN HAS GONE TO GREAT LENGTHS TO AVOID CRZ OF EXISTING TREES. BASED ON REFINED INFORMATION COLLECTED ABOVE, MINOR MODIFICATIONS MAY BE TAKEN TO RETAIN TREES AND TO MAXIMIZE THE OPPORTUNITY FOR PRESERVING THE TREE CANOPY AND FOREST INTEGRITY. ALL DESIGN SUBMISSIONS WILL INCLUDE A REVIEW AND COMMENTARY BY A QUALIFIED ARBORICULTURAL PROFESSIONAL EXPERIENCED IN TREE PRESERVATION TECHNIQUES.

**MODIFY CONSTRUCTION ACTIVITIES WITHIN THE CRZ**

TREE PRESERVATION TECHNIQUES WILL BE IMPLEMENTED TO REDUCE SOIL COMPACTION AND THE SUBSEQUENT LOSS OF TREE COVER. THE FOLLOWING MEASURES WILL BE CONSIDERED TO AVOID IMPACTS TO TREES DESIGNATED FOR RETENTION.

**4 - FIELD DELINEATE INDIVIDUAL CRZ LOCATIONS**

PRIOR TO CONSTRUCTION ACTIVITIES, INDIVIDUAL TREE CRZ ZONES WITHIN DISTURBANCE ZONES WILL BE MARKED WITH FLAGGING AND/OR GROUND PAINT BY AN ARBORICULTURAL PROFESSIONAL, LICENSED BY THE STATE OF MARYLAND AND QUALIFIED IN THE FIELD OF TREE PRESERVATION.

**5 - DEVELOP INDIVIDUAL TREE PROTECTION PLANS**

INDIVIDUAL TREE PROTECTION PLANS WILL BE CREATED THAT ADDRESS ARBORICULTURAL INTERVENTIONS AND CONSTRUCTION PRACTICES REQUIRED FOR THE TARGETED PLANTS. THESE MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- TREE PROTECTION FENCING
- TREE PROTECTION SIGNAGE
- MULCH SPECIFICATIONS
- CONSTRUCTION MAT SPECIFICATIONS
- SOIL MOISTURE MONITORING STANDARDS
- SUPPLEMENTAL IRRIGATION STANDARDS
- SOIL MODIFICATION (FERTILIZATION, AIR SPADING) RECOMMENDATIONS
- TRENCHING, DIRECTIONAL DRILLING RECOMMENDATIONS
- ROOT PRUNING RECOMMENDATIONS
- ACCESS PIT LOCATIONS
- TREE REMOVAL AND STUMP REMOVAL SPECIFICATIONS
- TREE HAZARD REDUCTION RECOMMENDATIONS

**6 - CONSTRUCTION MONITORING**

A TRAINED AND QUALIFIED ARBORICULTURAL PROFESSIONAL DURING CRITICAL CONSTRUCTION PHASES WILL BE PRESENT ON SITE TO ENSURE TREE PRESERVATION PLAN IS ABIDED.

**PRODUCTS**

**2.1 TREE PROTECTION FENCING**

MINIMUM SPECIFICATIONS - BLAZE ORANGE, HEAVY DUTY, PLASTIC MESH FENCE, A MINIMUM OF 4 FOOT (1.2M) HIGH, SECURELY ATTACHED TO 2 INCH (50MM) METAL POSTS 6 FEET (1.8M) HIGH, DRIVEN A MINIMUM OF 2 FEET (0.6M) INTO THE GROUND. POSTS SHALL BE SET A MAXIMUM OF 8 FEET (2.4M) ON CENTER.

**2.2 TREE PROTECTION SIGNAGE**

HEAVY-DUTY CARDBOARD OR METAL SIGNS 12 INCHES (304MM) BY 12 INCHES ATTACHED TO ¾ INCH (19MM) THICK EXTERIOR GRADE MDO PLYWOOD (OR OTHER SUBSTRATE AS RECOMMENDED BY THE SIGN SUPPLIER). SIGN SHALL HAVE A BLAZE ORANGE BACKGROUND WITH BLACK BLOCK LETTERS, 1 INCH (25MM) HIGH, WITH THE INSCRIPTION "NO CONSTRUCTION ACTIVITY - TREE PROTECTION ZONE".

SIGNAGE SHALL BE ATTACHED TO THE TREE PROTECTION FENCE AT INTERVALS NOT TO EXCEED 25 FEET (7.6M) ON CENTER.

**2.3 MULCH**

MULCH SHALL CONSIST OF HARDWOOD CHIPS, AGED A MINIMUM OF SIX MONTHS AND SHALL BE FREE OF LEAVES. CHIPS STOCKPILED FROM THE TREE REMOVAL OPERATION MAYBE USED.

IF MULCH CONSISTS OF HARDWOOD AGED LESS THAN 6 MONTHS, SPREAD NITROGEN FERTILIZER AT THE RATE OF 10 LBS. PER 1000 SQ. FT.

**2.4 CONSTRUCTION MAT**

CONSTRUCTION MATTING WILL CONSIST OF ¾ INCH PLYWOOD OR HEAVY GAUGE STEEL PLATES WITH AN UNDERLAYMENT OF A MINIMUM OF SIX INCHES OF WOOD CHIP MULCH. THE PLYWOOD OR STEEL TOP LAYER SHOULD ONLY BE APPLIED WHERE VEHICLE MOVEMENT IS ANTICIPATED AND SHOULD NOT BE KEPT IN PLACE FOR EXTENDED PERIODS OF TIME.

**2.5 SOIL TENSIO METER**

TENSIO METER SHALL BE DESIGNED TO ACCURATELY MEASURE SOIL MOISTURE TENSION THROUGH THE USE OF A POROUS MOISTURE HOLDING CUP AND A VACUUM PRESSURE GAUGE. TENSIO METER SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE TARGET TREE AND MONITORED ON A NO LESS THAN WEEKLY BASIS DURING THE PERIOD OF CONSTRUCTION. MOISTURE CUP SHALL BE REGULARLY FILLED WITH WATER AND THE POROUS CUP ROUTINELY INSPECTED FOR CLOGGING AND/OR CRACKING.

**2.6 AIR SPADE**

AIR SPADE OR EQUIVALENT EXCAVATION TOOL DELIVERING A FOCUSED, HIGH EFFICIENCY, SUPERSONIC AIR JET DESIGNED TO REMOVE SOIL PARTICLES WITHOUT DAMAGING TREE ROOT STRUCTURES. NOZZLE SHALL BE FLOW RATED AT 150 SCFM AND PRESSURE RATED AT 90 PSIG. OPERATOR SHALL BE TRAINED AND EXPERIENCED IN PROPER USE OF EQUIPMENT

**GENERAL TREE PROTECTION FENCING NOTE:**  
1. TREE PROTECTION FENCING, IN ACCORDANCE WITH THE TREE PROTECTION FENCE DETAIL ON SHEET 15, WILL BE PROVIDED FOR ALL TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE BEFORE CONSTRUCTION OF EACH PHASE.

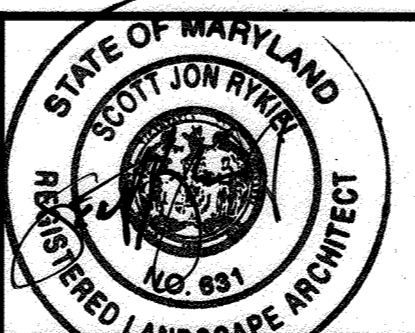
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Walter J. J...* Date: 9-8-15  
Chief, Division of Land Development: *...* Date: 9-2-15  
Chief, Development Engineering Division: *...* Date: 8-25-15

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\* See Sec. 2 for Proving & Adm'l Required Approvals for PAs 3-7

**MAHAN RYKIEL ASSOCIATES INC**  
The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SITE TREE PROTECTION & PRESERVATION  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 13, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

SITE TREE PROTECTION & PRESERVATION		LS508
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JUNE, 2015	TAX MAP - GRID .36 - 01	SHEET 33 OF 38

**GENERAL NOTES**

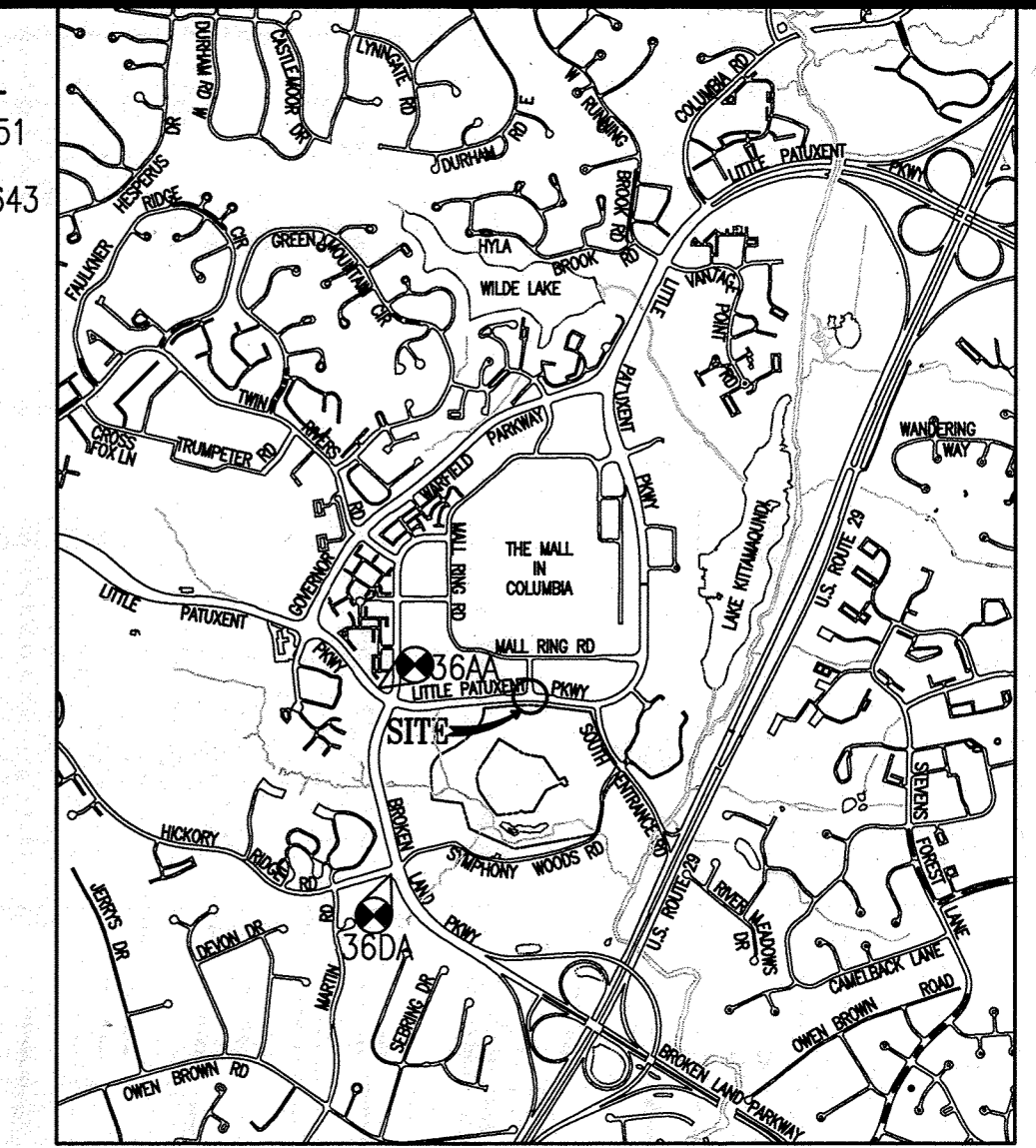
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE SUBJECT PROPERTY IS ZONED NT PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING OR NEW STRUCTURES SHALL BE PERMITTED WITHIN WETLANDS, STREAMS, WETLAND OR STREAM BUFFERS, 100-YEAR FLOODPLAIN, OR FOREST CONSERVATION EASEMENTS UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION PER SECTION 16.1202(B)(1)(V) AS IT IS WITHIN A PLANNED UNIT DEVELOPMENT WITH PRELIMINARY DEVELOPMENT PLAN APPROVAL AND 50% OR MORE OF THE LAND WAS RECORDED AND WAS SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND COORDINATE SYSTEM (NAD83/91). THE ELEVATIONS SHOWN ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).
- HOWARD COUNTY MONUMENTS USED FOR THIS PROJECT:  
36AA: N 562,804.8537, E 1,349,906.1701, ELEV. 359.151  
36DA: N 560,849.3491, E 1,350,037.4422, ELEV. 363.643
- TOPOGRAPHICAL FIELD SURVEYS OF THE SITE WERE PERFORMED BY NJR & ASSOCIATES (240-508-3200) IN JANUARY 2012. ADDITIONAL UTILITY INFORMATION WAS PROVIDED BY HOWARD COUNTY RECORDS AND MAY NOT REFLECT CURRENT CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CURRENT TOPOGRAPHIC AND UTILITY INFORMATION.
- APPROXIMATE LOCATION AND INVERTS OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN AN UNINTERRUPTED SERVICE. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BY TEST PIT OR OTHER MEANS OF INVESTIGATION APPROVED BY THE OWNER WELL IN ADVANCE OF CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF MSHA'S MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC SIGNS SHALL CONFORM TO THE LATEST VERSION OF MSHA'S STANDARD SIGN BOOK.
- LETTERS SHALL BE OBTAINED PRIOR TO GRADING PERMIT APPROVAL FROM ADJACENT PROPERTY OWNERS AUTHORIZING OFF-SITE ACTIVITIES.
- ALL COORDINATES AND ELEVATIONS ALONG THE CURB ARE AT THE BASE OF THE CURB, ALONG THE FLOW LINE.
- ALL CURB RAMPS SHALL BE FLUSH ALONG THE FLOW LINE OF THE CURB AND HAVE NO LIP.
- ALL TRENCHES CREATED FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH. TRENCH SHALL NOT BE OPENED IF IT CANNOT BE STABILIZED THE SAME DAY. IF AN AREA MUST BE LEFT UNSTABILIZED OVERNIGHT, SILT FENCE WILL BE PLACED IMMEDIATELY DOWNSTREAM OF ALL DISTURBED AREAS AND STOCKPILED, AND APPROPRIATE SAFETY MEASURES WILL BE INSTALLED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
- WHERE NEW CURB IS TO BE BUILT OVER EXISTING PAVEMENT, SAWCUT EXISTING PAVEMENT 2 FEET BEYOND PROPOSED WORK AND REMOVE. PLACE NEW HOT MIX ASPHALT PAVEMENT TO MATCH EXISTING SECTION.
- LIMIT OF DISTURBANCE IS APPROXIMATELY 3,500 SF.

**LEGEND**

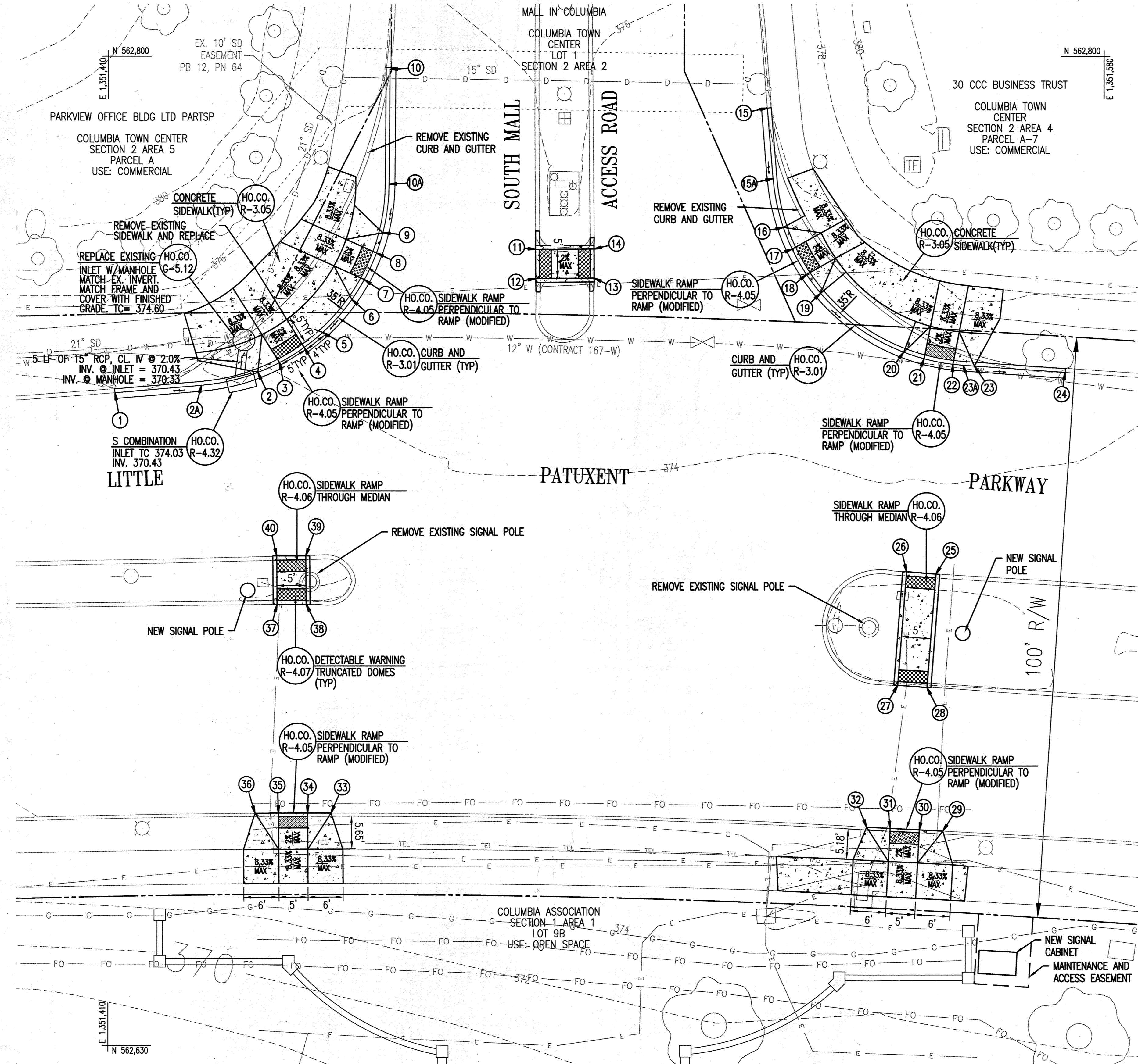
- PROPERTY LINE
- FIRE HYDRANT
- LIGHT POLE
- TELE./CABLE PEDESTAL
- ROAD SIGN
- ELECTRIC SIGNAL CONTROL BOX
- ELECTRIC SIGNAL CONTROL BOX
- CONTROL BOX/ELEC. JUNCT. BOX
- WATER LINE
- ELECTRIC LINE
- STORM DRAIN
- GAS
- FIBER OPTIC
- EXISTING CURB AND GUTTER
- CONCRETE CURB AND GUTTER
- CONCRETE PAVEMENT

**BENCHMARK DATA**

36AA: N 562,804.8537, E 1,349,906.1701 ELEV. 359.151  
36DA: N 560,849.3491, E 1,350,037.4422, ELEV. 363.643



ADC MAP: 4935  
GRID: C7  
**VICINITY MAP**  
SCALE: 1" = 2,000'

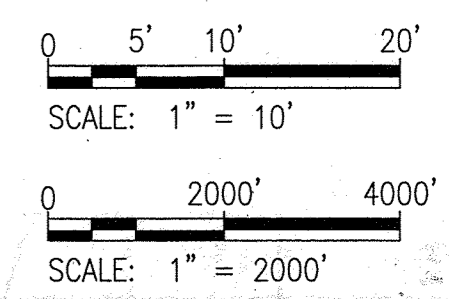


**CURB/RAMP LOCATIONS**

POINT	NORTHING	EASTING	TC ELEV.	FLOWLINE ELEV.	DESCRIPTION
1	562742.12	1351411.15	374.34	373.74	MATCH EX. CURB
2A	562743.39	1351425.98	374.56	373.96	PC
2	562745.67	1351435.58	374.72	374.12	RAMP
3	562747.32	1351439.26	374.23	374.22	FLUSH CURB
4	562749.92	1351443.53	374.36	374.35	FLUSH CURB
5	562752.50	1351446.68	375.05	374.45	RAMP
6	562758.18	1351451.66	375.28	374.68	RAMP
7	562761.61	1351453.78	374.75	374.74	FLUSH CURB
8	562766.17	1351455.84	374.86	374.85	FLUSH CURB
9	562769.66	1351456.92	375.56	374.96	RAMP
10A	562778.02	1351457.99	375.77	375.17	PT
10	562797.77	1351458.13	376.27	375.67	MATCH EX. CURB
11	562766.72	1351482.99	375.61	375.01	MATCH EX. CURB
12	562761.72	1351483.00	375.54	374.94	MATCH EX. CURB
13	562761.79	1351483.02	375.58	374.98	MATCH EX. CURB
14	562766.79	1351492.96	375.65	375.05	MATCH EX. CURB
15	562791.06	1351522.53	375.02	374.42	MATCH EX. CURB
15A	562778.90	1351523.51	375.85	375.25	PC
16	562770.49	1351525.25	375.72	375.12	RAMP
17	562766.75	1351526.76	375.10	375.09	FLUSH CURB
18	562762.42	1351529.25	375.03	375.02	FLUSH CURB
19	562759.17	1351531.64	375.57	374.97	RAMP
20	562749.07	1351545.80	375.34	374.74	RAMP
21	562747.94	1351549.28	374.70	374.69	FLUSH CURB
22	562746.98	1351554.19	374.63	374.62	FLUSH CURB
23A	562746.81	1351555.95	375.20	374.60	PT
23	562746.68	1351557.85	375.18	374.58	RAMP
24	562745.59	1351573.39	374.97	374.37	MATCH EX. CURB
25	562710.88	1351551.33	374.14	373.54	FLUSH CURB
26	562711.27	1351546.35	374.14	373.54	FLUSH CURB
27	562691.72	1351544.83	374.40	373.80	FLUSH CURB
28	562691.34	1351549.82	374.36	373.76	FLUSH CURB
29	562666.71	1351552.53	373.62	373.02	RAMP/MATCH EX. CURB
30	562666.92	1351548.53	373.06	373.05	FLUSH CURB
31	562667.18	1351543.54	373.10	373.09	FLUSH CURB
32	562667.40	1351539.55	373.72	373.12	RAMP/MATCH EX. CURB
33	562669.88	1351448.16	373.43	372.83	RAMP/MATCH EX. CURB
34	562669.90	1351444.16	372.81	372.80	FLUSH CURB
35	562669.86	1351439.16	372.72	372.71	FLUSH CURB
36	562669.84	1351435.16	372.24	372.64	RAMP/MATCH EX. CURB
37	562705.66	1351438.91	374.20	373.60	FLUSH CURB
38	562705.74	1351443.91	374.25	373.65	FLUSH CURB
39	562714.07	1351443.85	374.01	373.41	FLUSH CURB
40	562714.04	1351438.85	373.96	373.36	FLUSH CURB

**LIST OF DRAWINGS**

- SITE PLAN
- TRAFFIC SIGNAL PLAN
- GENERAL SIGNAL INFORMATION SHEET



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 9-8-15  
Chief, Planning & Land Development: [Signature] Date: 9-02-15  
Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\*See Sign for Planning Board  
\*See Sign for Planning Board  
\*See Sign for Planning Board

**SITE PLAN**  
1" = 10'

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 19376  
EXPIRATION DATE: 9/22/2015

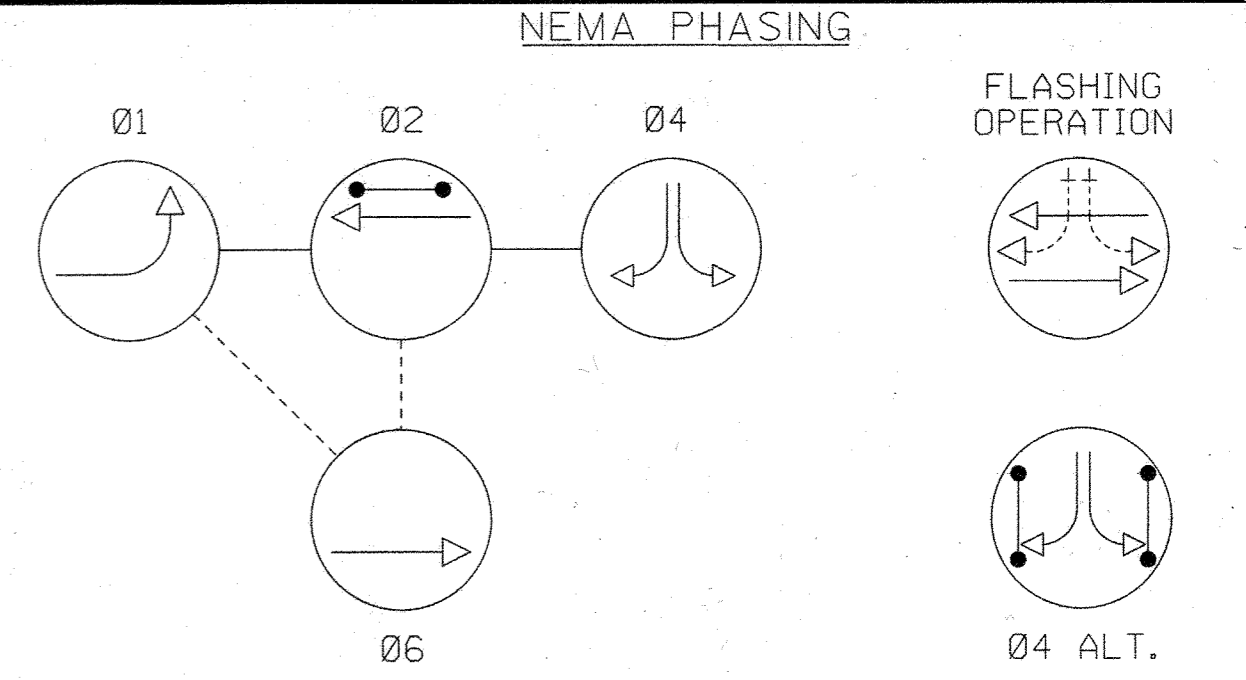
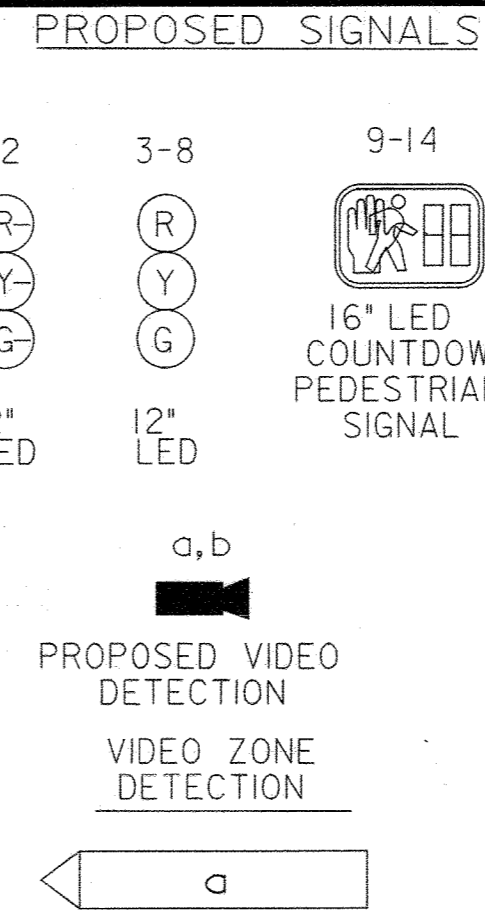
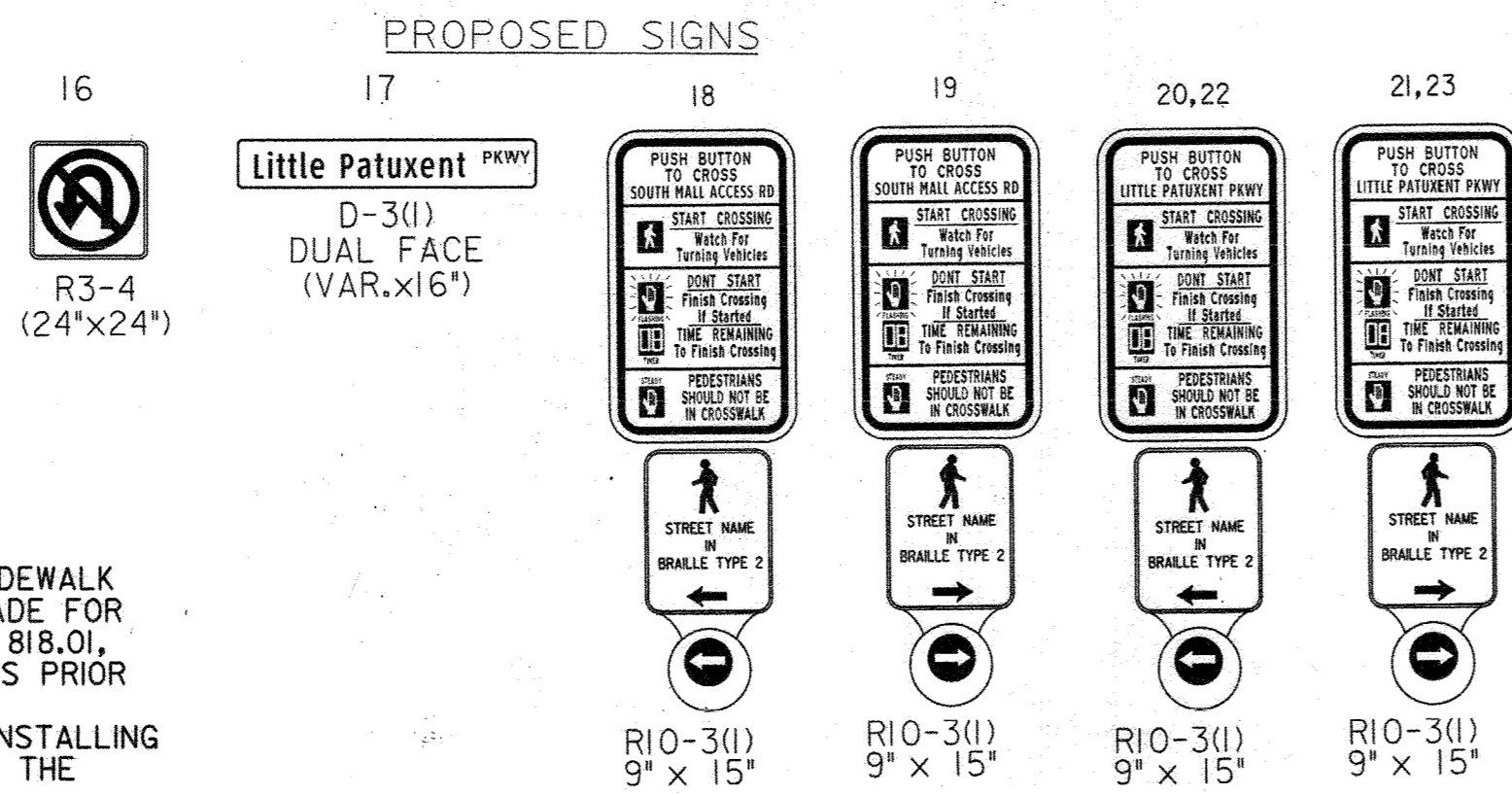


RAMP DETAILS SITE PLAN  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER PARK at SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13635 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
SCALE: AS SHOWN  
ZONING: NT  
G. L. W. FILE NO.: 13043  
DATE: JUNE, 2015  
TAX MAP - GRID: 36 - 01  
SHEET: 34 OF 38

LITTLE PATUXENT PKWY IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION

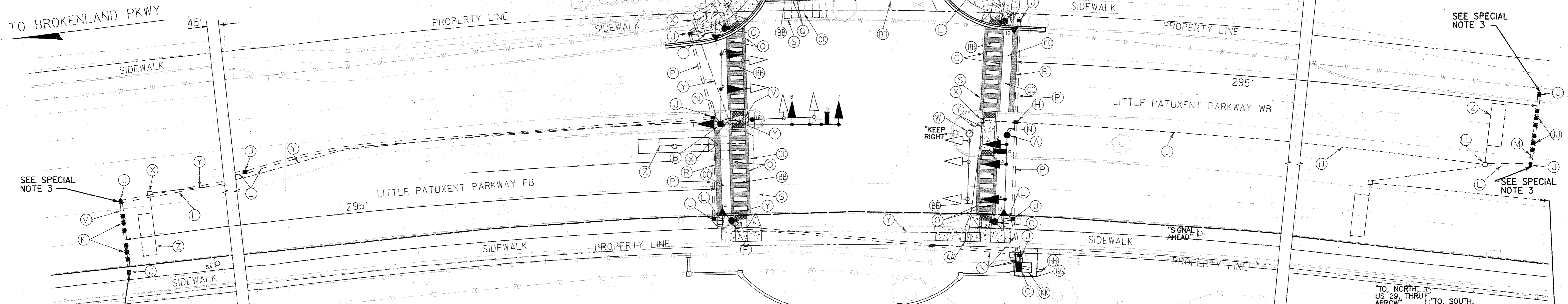
GENERAL NOTES

- ALL TRAFFIC SIGNAL FOUNDATIONS SHALL BE INSTALLED AT THE FINAL SIDEWALK OR CURB GRADE FOR CLOSED SECTIONS, HIGHEST ROADWAY PROFILE GRADE FOR OPEN SECTIONS, TO MEET CLEARANCES AS SPECIFIED IN MD 816.03, MD 818.01, MD 818.02, MD 818.04 THE CONTRACTOR SHALL VERIFY ULTIMATE GRADES PRIOR TO THE INSTALLATION OF ALL SIGNAL EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLING PROPOSED SIGNAL EQUIPMENT, IF ANY UTILITY CONFLICTS SHOULD ARISE THE CONTRACTOR SHALL CONTACT THE ENGINEER.
- VIDEO CAMERA LOCATION / ALIGNING SHALL BE COORDINATED WITH THE ENGINEER.
- ALL EXISTING TRAFFIC SIGNAL EQUIPMENT REMOVED SHALL BECOME THE PROPERTY OF THE SIGNAL CONTRACTOR UPON COMPLETION OF THE NEW SIGNAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TERMINATING ALL SIGNAL CABLES TO THE APPROPRIATE TERMINALS AND PROPERLY LABEL EACH CABLE.
- REMOVE AND DISPOSE OF ALL UNUSED SIGNAL CABLE.
- PUSHBUTTONS ARE TO BE LOCATED SO THAT THEY CAN BE ACTIVATED BY A PERSON IN A WHEELCHAIR REACHING LESS THAN 18" FROM A 60" x 60" LEVEL LANDING AREA WITH A CROSS SLOPE OF LESS THAN OR EQUAL TO 2%.
- THE 10' SEPARATION BETWEEN PUSHBUTTONS IS TO BE MEASURED FROM FACE OF PUSHBUTTON TO FACE OF PUSHBUTTON, NOT CENTER TO CENTER OF POLE.
- PUSHBUTTON ARROWS ARE TO BE PARALLEL TO THE CROSSING FOR WHICH THEY ARE INTENDED.
- LOCATION OF ACCESSIBLE PEDESTRIAN SIGNAL PUSHBUTTONS MUST MEET LOCATION REQUIREMENTS OF MUTCD SEC. 4E.09 AND FIG. 4E-2 AND THE NCHRP PUBLICATION, ACCESSIBLE PEDESTRIAN SIGNALS: GUIDE TO BEST PRACTICE, IF NOT MET, THE CONTRACTOR IS TO STOP WORK ON PUSHBUTTON LOCATIONS AND CONTACT ENGINEER.
- VERIFY PROPOSED GEOMETRICS PRIOR TO INSTALLING SIGNAL EQUIPMENT.
- ALL HANDHOLES SHALL BE INSTALLED AT FINAL GRADE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING SIDEWALKS CAUSED BY THE INSTALLATION OF SIGNAL EQUIPMENT.
- THE SIGNAL CONTRACTOR SHALL DETERMINE IF ANY WORK BY OTHER CONTRACTORS CAN NOT BE COMPLETED UNTIL INSTALLATION OF SIGNAL EQUIPMENT IS COMPLETE. THE SIGNAL CONTRACTOR SHALL NOTIFY OTHER CONTRACTORS OF THIS WORK.

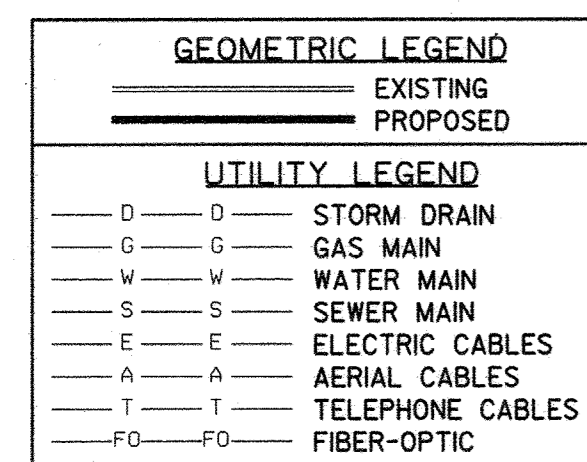


NOTE: PHASES ASSOCIATED BY A DASHED LINE WILL OPERATE CONCURRENTLY. PHASES ASSOCIATED BY A SOLID LINE WILL NOT OPERATE CONCURRENTLY.

SPECIAL NOTES:  
 1. THE CONTRACTOR SHALL NOT BLOCK VIEW OF EXISTING SIGNAL INDICATIONS DURING INSTALLATION OF PROPOSED EQUIPMENT. IF PROPOSED EQUIPMENT CANNOT BE INSTALLED DUE TO CONFLICT WITH EXISTING SIGNAL INDICATIONS OR SPAN WIRES, A SIGNAL OUTAGE SHALL OCCUR DURING NON-PEAK HOURS AS DIRECTED BY THE ENGINEER.  
 2. CONTRACTOR SHALL USE CAUTION WHEN INSTALLING SIGNAL EQUIPMENT TO AVOID DISTURBANCE OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL TEST PIT TO DETERMINE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES PRIOR TO INSTALLING SIGNAL EQUIPMENT.  
 3. INSTALL HANDHOLE WITH LONG DIMENSION PERPENDICULAR TO TRAVEL WAY FOR INSTALLATION OF NON-INVASIVE PROBES. EXTEND CONDUIT A MINIMUM OF 2 IN. AND MAXIMUM OF 3 IN. INTO HANDHOLE.  
 4. THE CONTRACTOR SHALL COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS TO CONTACT LOCAL POWER COMPANY TO SET-UP WORK WITH TO DISCONNECT THE EXISTING ELECTRICAL SERVICE AND HAVE THE NEW SERVICE ENERGIZED.



- CONSTRUCTION DETAILS
- INSTALL CONCRETE FOUNDATION WITH A 27 FT. STEEL POLE WITH A 30 FT. MAST ARM, TRAFFIC SIGNAL HEADS, AND VIDEO DETECTION CAMERA MOUNTED ON MAST ARM. (INSTALL 1-2 IN. AND 1-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN POLE BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL CONCRETE FOUNDATION WITH A 27 FT. STEEL POLE WITH TWIN 50 FT./30 FT. MAST ARMS, TRAFFIC SIGNAL HEADS, SIGNS AND VIDEO DETECTION CAMERA MOUNTED ON MAST ARM. (INSTALL 1-2 IN. AND 1-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN POLE BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING LEFT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS LITTLE PATUXENT PKWY") (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING RIGHT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS SOUTH MALL ACCESS ROAD") (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING LEFT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS SOUTH MALL ACCESS ROAD") (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING RIGHT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS LITTLE PATUXENT PKWY") (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE) (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
  - INSTALL BASE MOUNTED CABINET AND CONTROLLER WITH CONCRETE PAD, GROUND RODS AND ALL NECESSARY EQUIPMENT FOR AN ELECTRICAL SERVICE. (INSTALL 2-2 IN. AND 2-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN CABINET BASE).
  - INSTALL HANDHOLE ON TOP OF EXISTING CONDUIT HEADING EAST. CUT AND REMOVE APPROXIMATELY 3 FT. LENGTH OF EXISTING CONDUIT AND INSTALL HANDHOLE. INSTALL AND COUPLE 1 FT. +/- SECTION OF 2 IN. SCHEDULE 80, PVC ELECTRICAL CONDUIT TO EXISTING CONDUIT LEADING EAST, LEAVING 6 IN. PROTRUDING INSIDE HANDHOLE. (SEE DETAIL "LL")
  - INSTALL HANDHOLE.
  - INSTALL NON-INVASIVE MICROLOOP PROBE SET WITH 1,000 FT. LEAD-IN IN PROPOSED 3 IN. CONDUIT.
  - INSTALL 2 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-TRENCHED.
  - INSTALL 3 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-BORED.
  - INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-TRENCHED.
  - INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-BORED.
  - INSTALL 12 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR CROSSWALKS (HOWARD COUNTY DM, DETAIL T-7.03).
  - INSTALL 24 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR STOP LINE.
  - REMOVE EXISTING STOP LINE.
  - USE EXISTING HANDHOLE.
  - USE EXISTING CONDUIT.
  - REMOVE EXISTING SIGNAL POLE, MAST ARMS, SIGN, AND SIGNAL HEADS. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL.
  - REMOVE EXISTING SIGNAL POLE, MAST ARM, AND SIGNAL HEADS. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL.
  - REMOVE EXISTING HANDHOLE.
  - CAP AND ABANDON EXISTING CONDUIT.
  - ABANDON EXISTING LOOP DETECTOR. DISCONNECT AND REMOVE LOOP DETECTOR CABLES FROM CONDUITS, HANDHOLES, SIGNAL STRUCTURES AND CONTROLLER.
  - REMOVE EXISTING BASE MOUNTED CABINET AND CONTROLLER. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL. HOWARD COUNTY SIGNAL SHOP SHALL BE NOTIFIED TO REMOVE THE CONTROLLER AND ALL AUXILIARY EQUIPMENT FROM THE CABINET. (SEE DETAIL "LL")
  - INSTALL 24 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR CROSSWALK.
  - REMOVE EXISTING PAVEMENT MARKING LINE EXTENDED PAST PROPOSED STOP LINE.
  - REMOVE EXISTING PAVEMENT MARKING LINE EXTENDED PAST PROPOSED CROSSWALK (HOWARD COUNTY DM, DETAIL T-7.03).
  - REMOVE EXISTING TURN ARROW.
  - INSTALL HEAT APPLIED WHITE THERMOPLASTIC ARROWS.
  - PROPOSED EASEMENT FOR PROPOSED SIGNAL CABINET.
  - CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS AND BGE TO INSTALL CONDUIT FOR PROPOSED ELECTRICAL SERVICE.
  - INSTALL NON-INVASIVE MICROLOOP PROBE SET WITH 500 FT. LEAD-IN IN PROPOSED 3 IN. CONDUIT.
  - CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS AND VERIZON TO INSTALL PROPOSED PHONE DROP.
  - REMOVE EXISTING PAVEMENT MARKING LINE EXTENDED PAST PROPOSED STOP LINE.
  - USE EXISTING HANDHOLE. CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS TO DISCONNECT INTERCONNECT FROM EXISTING CABINET AND PULL BACK TO EXISTING HANDHOLE. AFTER PROPOSED HANDHOLES HAVE BEEN INSTALLED, RE-FEED INTERCONNECT AND CONNECT IN PROPOSED CABINET.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 9-8-15  
 Chief, Division of Land Development: [Signature] Date: 9-02-15  
 Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sh. 2 for Phasing B Add'l  
 Required: Approvals for Phs 3-7

\*A redline is required for Phase 4, at which time all SRC comments for the Pedestrian Crossing will be addressed.

WHITMAN, REQUARDT & ASSOCIATES, LLP  
 801 South Caroline Street, Baltimore, MD 21231

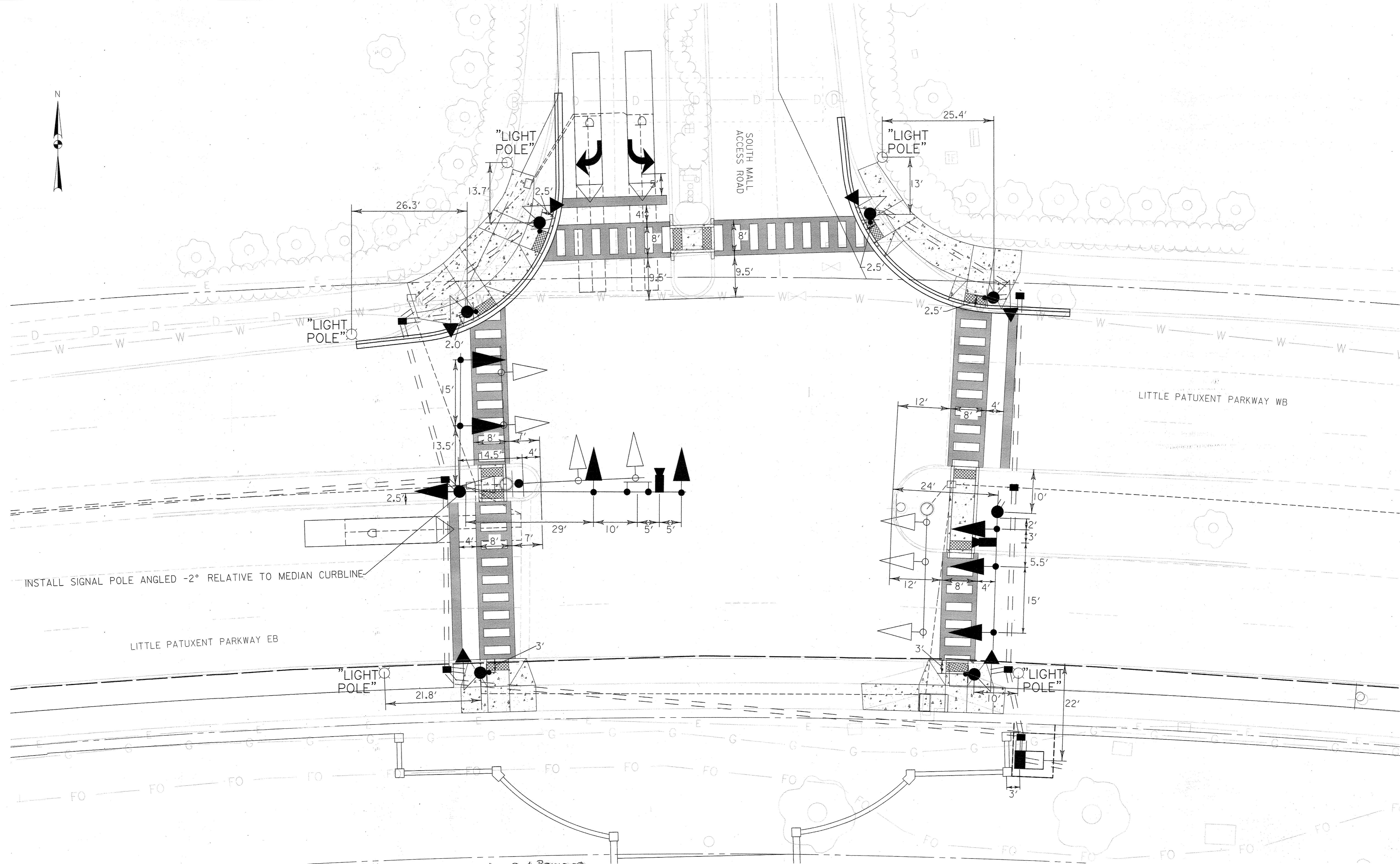
DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27049  
 EXPIRATION DATE: 2-28-2016

TRAFFIC SIGNAL PLAN  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER SYMPHONY WOODS NEIGHBORHOOD**  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	35 OF 38



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Valerie J. Smith* 9-2-15  
 Director Date  
*Vassil D. Dzhurav* 9-22-15  
 Chief, Division of Land Development Date  
*John E. Smith* 8-25-15  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: *November 20, 2014*

\*A redline is required for Pl. 4. Remaining SRC comments will be addressed at that time for the pedestrian crossing.  
 \*A redline is required for Pl. 4. Remaining SRC comments will be addressed at that time for the pedestrian crossing.

WHITMAN, REQUARDT & ASSOCIATES, LLP  
 801 South Caroline Street, Baltimore, MD 21231

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. *27046*  
 EXPIRATION DATE: *01-28-2016*



TRAFFIC SIGNAL PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 10'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	36 OF 38

**GENERAL**

**PROJECT DESCRIPTION**

THIS PROJECT INVOLVES THE RECONSTRUCTION OF THE EXISTING TRAFFIC CONTROL SIGNAL AT THE INTERSECTION OF LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD IN HOWARD COUNTY, MARYLAND. LITTLE PATUXENT PARKWAY IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION.

**INTERSECTION OPERATION**

THE INTERSECTION OPERATION WILL REMAIN THE SAME.

TYPICAL MESSAGES FOR ACCESSIBLE PED SIGNALS

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - NORTH LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS SOUTH MALL ACCESS ROAD AT LITTLE PATUXENT ROAD, WAIT."\*

WALK: RAPID TICK

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - EAST LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD, WAIT."\*

WALK: RAPID TICK

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - WEST LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD, WAIT."\*

WALK: RAPID TICK

\* MESSAGE USED IF DISTANCE FROM NEAREST PUSHBUTTON FOR PERPENDICULAR CROSSING IS < 10'

\*\* MESSAGE USED IF CROSSWALK DIVERGES FROM OR CONVERGES WITH PARALLEL TRAFFIC

NOTE: MESSAGES FOR INTERSECTION CONFIGURATIONS, VARYING FROM THE ABOVE ARE TO BE APPROVED BY THE DIRECTOR, OFFICE OF TRAFFIC AND SAFETY.

**CONTROLLER REQUIREMENTS**

AN EIGHT PHASE, FULL-TRAFFIC ACTUATED, SOLID STATE DIGITAL CONTROLLER WITH INTERSECTION MONITOR AND HARNESS, BATTERY BACK-UP, AND VIDEO DETECTION EQUIPMENT HOUSED IN A BASE MOUNTED CABINET ARE TO BE INSTALLED AT THIS LOCATION.

- NOTES:**
- GROUND MOUNT SIGN SUPPORTS SHALL BE:
    - 2 INCH GALVANIZED STEEL (PERFORATED) SQUARE TUBE POST (1/4 GAUGE) INSERTED INTO A 3 FOOT LONG - 2.5 INCH GALVANIZED STEEL (PERFORATED) SQUARE TUBE SLEEVE (1/2 GAUGE) WITH A GALVANIZED STEEL POLE CAP MOUNTED ON TOP OF THE POST.
  - POLE PAINT COLOR SHALL CONFORM TO THE FOLLOWING FEDERAL STANDARD \*595A-20040-BROWN.
    - PRIMER: SHALL BE EPOXY POLYAMIDE MEETING THE REQUIREMENTS OF SECTION 912.03.02.
    - FINISH COAT: SHALL BE AN ALIPHATIC POLYURETHANE MEETING REQUIREMENTS OF SECTION 912.04.02.

**EQUIPMENT LIST 'A'**

A. EQUIPMENT TO BE FURNISHED BY THE COUNTY

QUANTITY	DESCRIPTION
1 EACH	TRAFFIC SIGNAL CONTROLLER, BASE MOUNTED CABINET, AND VIDEO DETECTION INTERFACE
6 EACH	12 IN., ONE-WAY, THREE SECTION L.E.D. (R,Y,G) ADJUSTABLE YELLOW FACED TRAFFIC SIGNAL HEAD WITH MAST ARM MOUNTING HARDWARE AND TUNNEL VISORS
2 EACH	12 IN., ONE-WAY, THREE SECTION L.E.D. (R,Y,G) ADJUSTABLE YELLOW FACED TRAFFIC SIGNAL HEAD WITH MAST ARM MOUNTING HARDWARE AND TUNNEL VISORS
6 EACH	16 IN. ONE-WAY, ONE SECTION L.E.D. (COUNTDOWN INDICATIONS) ADJUSTABLE PEDESTRIAN SIGNAL HEAD WITH POST TOP MOUNTING HARDWARE AND CUT-AWAY VISORS
2 EACH	VIDEO DETECTION CAMERA AND CABLE (1-100 LF, 1-300 LF)
6 EACH	AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON STATION AND SIGNS

**EQUIPMENT LIST 'C'**

C. EQUIPMENT TO BE INSTALLED BY THE COUNTY SIGNAL SHOP WHEN REIMBURSED BY THE DEVELOPER OR CONTRACTOR

QUANTITY	DESCRIPTION
1 EACH	BATTERY BACK-UP SYSTEM

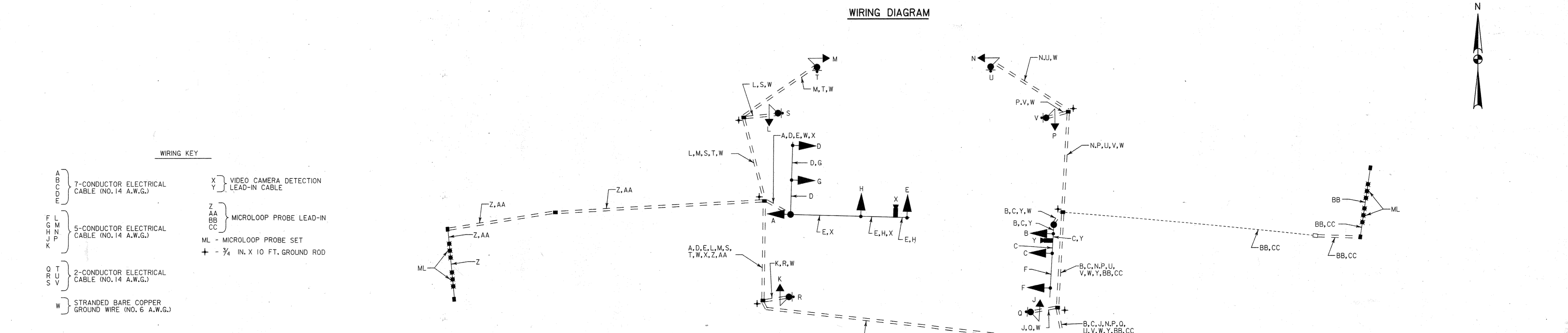
**PHASE CHART**

	1	2	3	4	5	6	7	8	9	10	11	12	13	14
PHASE 1 + 6	←G←	←G←	G	G	R	R	R	R	DW	DW	DW	DW	DW	DW
1 + 6 CHANGE	←Y←	←Y←	G	G	R	R	R	R	DW	DW	DW	DW	DW	DW
PHASE 2 + 6	←R←	←R←	G	G	G	G	R	R	FL/DW	FL/DW	DW	DW	DW	DW
2 + 6 CHANGE	←R←	←R←	Y	Y	Y	Y	R	R	FL/DW	FL/DW	DW	DW	DW	DW
PHASE 4	←R←	←R←	R	R	R	R	G	G	DW	DW	DW	DW	DW	DW
4 CHANGE	←R←	←R←	R	R	R	R	Y	Y	DW	DW	DW	DW	DW	DW
PHASE 4 ALT	←R←	←R←	R	R	R	R	G	G	DW	DW	WK	WK	WK	WK
PED CLEARANCE	←R←	←R←	R	R	R	R	G	G	DW	DW	FL/DW	FL/DW	FL/DW	FL/DW
4 ALT CHANGE	←R←	←R←	R	R	R	R	Y	Y	DW	DW	DW	DW	DW	DW
FLASHING OPERATION	+FL/R	+FL/R	FL/Y	FL/Y	FL/Y	FL/Y	FL/R	FL/R	DARK	DARK	DARK	DARK	DARK	DARK

**EQUIPMENT LIST 'B'**

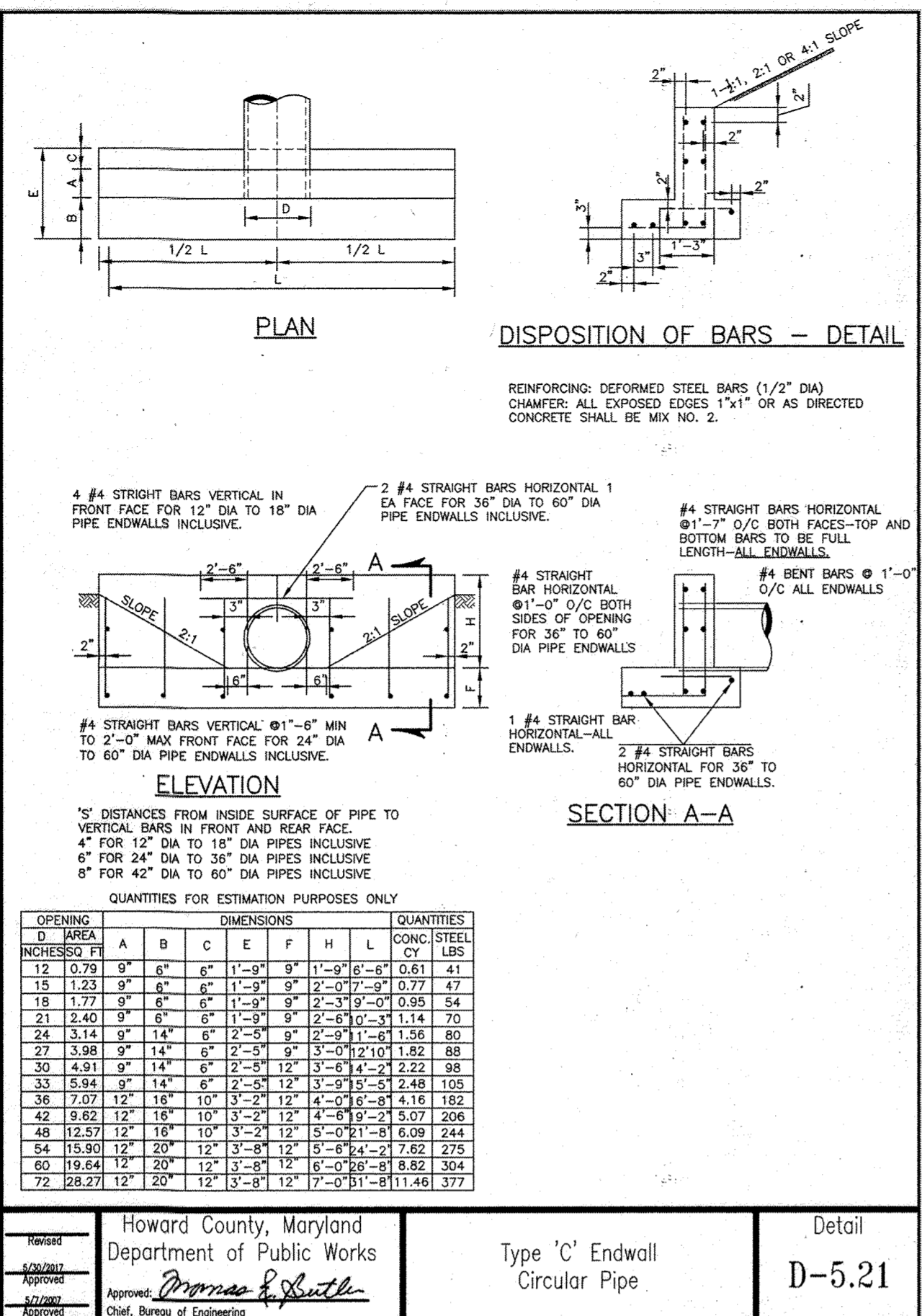
B. EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR

QUANTITY	DESCRIPTION
LUMP SUM	MAINTENANCE OF TRAFFIC
8 CY	TEST PIT EXCAVATION
1 EACH	27 FT. STEEL TWIN MAST ARM POLE WITH 50 FT. AND 30 FT. MAST ARMS (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
1 EACH	27 FT. STEEL MAST ARM POLE WITH A 30 FT. MAST ARM (POLE AND MAST ARM TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
6 EACH	8 FT. STEEL PEDESTAL POLE WITH BREAKAWAY TRANSFORMER BASE (POLE TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
1 EACH	VAR. X 16 IN. D-3(1) SIGN WITH MAST ARM MOUNT HARDWARE
1 EACH	24 IN. X 24 IN. R3-4 SIGN FOR GROUND MOUNTING
12 EACH	HANDBOX
1180 L.F.	2-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
1235 L.F.	5-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
1120 L.F.	7-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
530 L.F.	1-CONDUCTOR STRANDED THWN GREEN GROUND WIRE (NO. 6 A.W.G.)
430 L.F.	2 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - TRENCHED
65 L.F.	3 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - BORED
165 L.F.	4 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - TRENCHED
165 L.F.	4 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - BORED
11 C.Y.	CONCRETE FOUNDATION FOR TRAFFIC SIGNAL EQUIPMENT
7 EACH	GROUND ROD 3/4 IN. DIAMETER X 10 FT. LENGTH
22 L.F.	GROUND MOUNT SIGN SUPPORTS (SEE NOTE I THIS PAGE)
4 EACH	NON-INVASIVE DETECTOR (ANY LENGTH) LEAD IN CABLE UP TO 1000'
8 EACH	INSTALL SIGNAL HEAD
6 EACH	INSTALL PEDESTRIAN SIGNAL HEAD
6 EACH	INSTALL PEDESTRIAN STATION AND SIGN
2 EACH	INSTALL VIDEO CAMERA DETECTOR WITH COUNTY SUPPLIED CLAMP
1 EACH	INSTALL CONTROL CABINET - BASE MOUNTED
240 L.F.	REMOVAL OF EXISTING PERMANENT PAVEMENT MARKING LINES
400 L.F.	12 INCH WHITE PREFORMED THERMOPLASTIC PAVEMENT MARKING LINES
410 L.F.	24 INCH WHITE PREFORMED THERMOPLASTIC PAVEMENT MARKING LINES
31 S.F.	PAVEMENT MARKING PAINT LEGENDS AND SYMBOLS
1 EACH	REMOVE AND DISPOSE OF EQUIPMENT

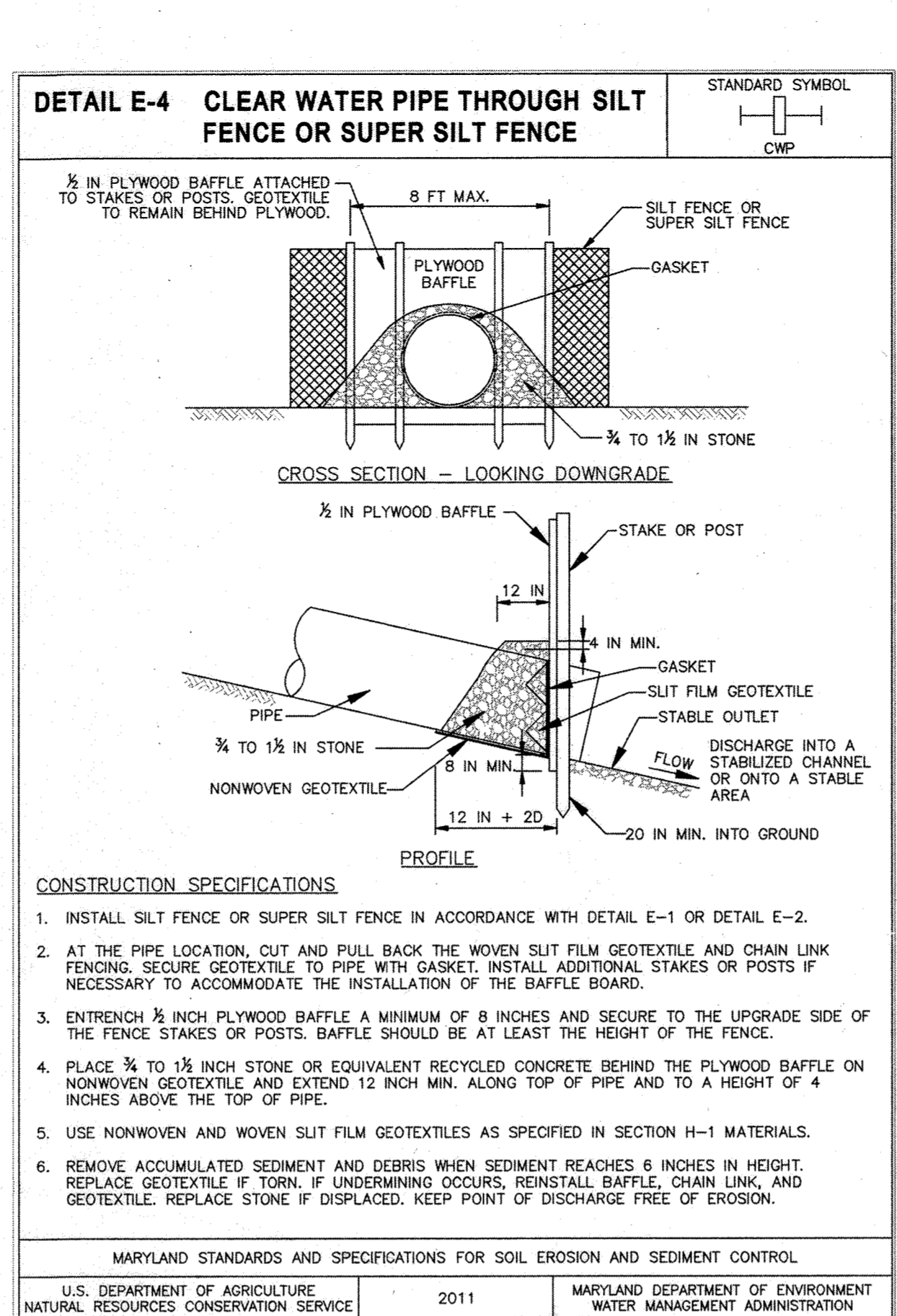


<p>APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING &amp; ZONING</p> <p><i>Michael J. [Signature]</i> 9-2-15 Director Date</p> <p><i>[Signature]</i> 9-02-15 Chief, Division of Land Development Date</p> <p><i>[Signature]</i> 8-25-15 Chief, Development Engineering Division Date</p>	<p>APPROVED: PLANNING BOARD OF HOWARD COUNTY</p> <p>Date: November 20, 2014</p> <p>* See Sl. 2 for Pricing &amp; Add'l Required Approvals for Pbs 3-7</p> <p>* A Redline is required for Ph. 4. Remaining SRC comments will be addressed at that time for the Pedestrian Crossing.</p>	<p>PREPARED FOR &amp; DEVELOPER:</p> <p>INNER ARBOR TRUST 10630 LITTLE PATUXENT PARKWAY CENTURY PLAZA, SUITE 315 COLUMBIA, MD 21044 ATTN: MICHAEL McCALL 410-740-0029</p>	<p>PROFESSIONAL CERTIFICATION</p> <p>I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21049</p> <p>EXPIRATION DATE: 01-28-2016</p>	<p><b>GENERAL SIGNAL INFORMATION SHEET</b></p> <p><b>DOWNTOWN COLUMBIA</b> MERRIWEATHER PARK AT SYMPHONY WOODS NEIGHBORHOOD MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7 TOWN CENTER - SECTION 1 AREA 1 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &amp; PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32 GREEN COMMERCIAL BUILDING</p> <p>HOWARD COUNTY, MARYLAND</p>	<p>SCALE: NONE</p> <p>ZONING: NT</p> <p>G. L. W. FILE NO.: 13043</p> <p>DATE: JUNE, 2015</p> <p>TAX MAP - GRID: 36 - 01</p> <p>SHEET: 37 OF 38</p>
--	--	---	---	--	--

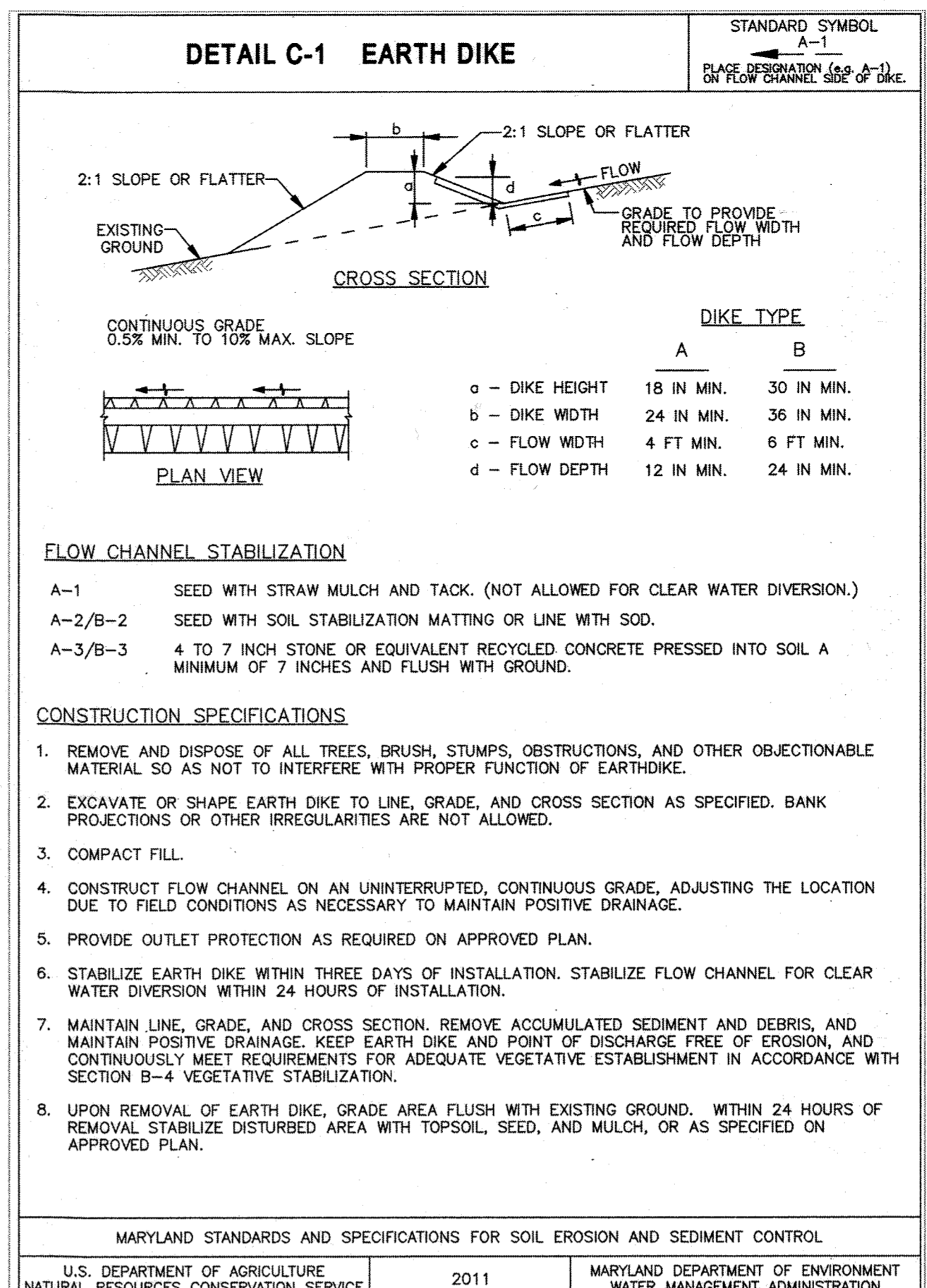
THIS SHEET ADDED



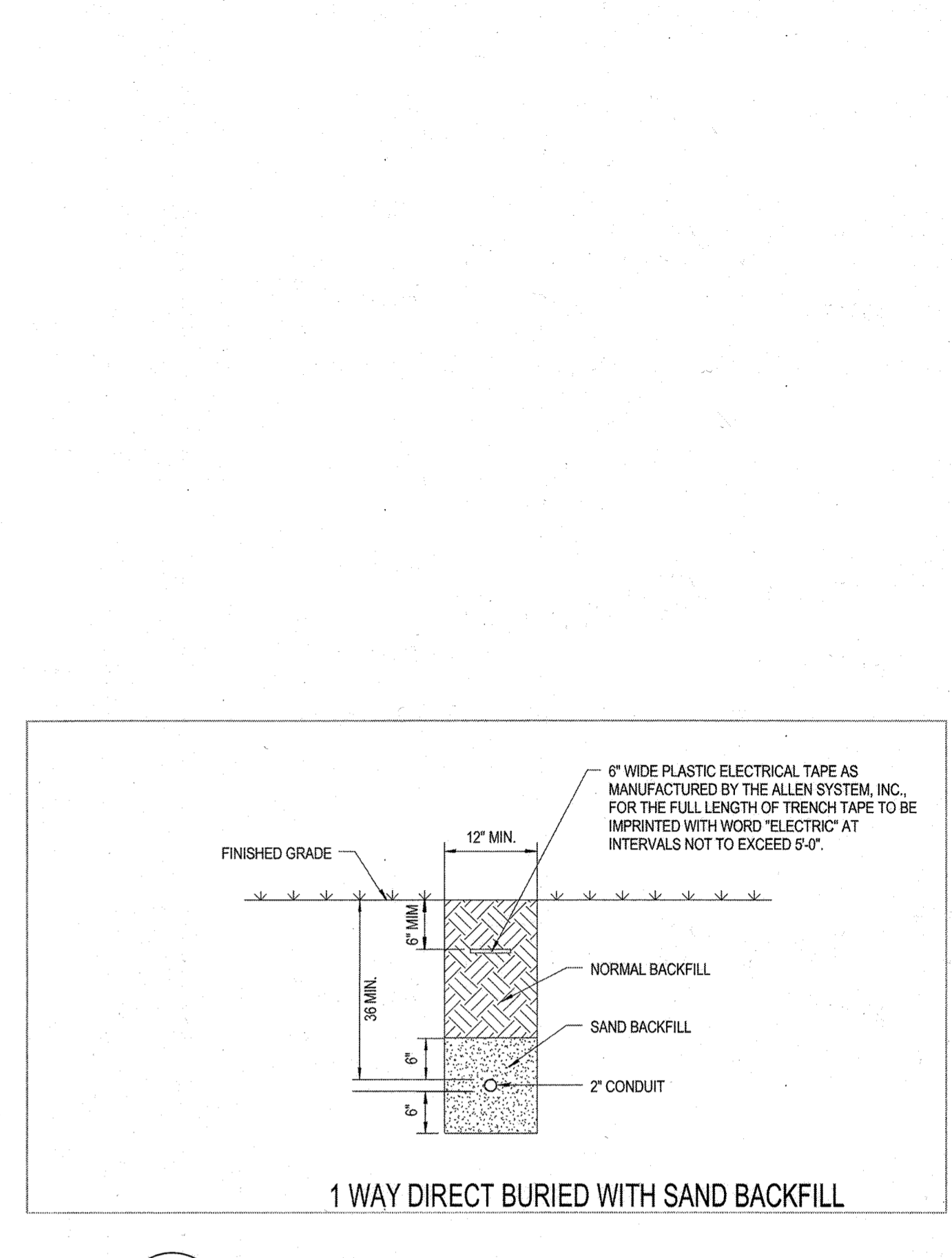
A TYPE 'C' ENDWALL DETAIL NOT TO SCALE



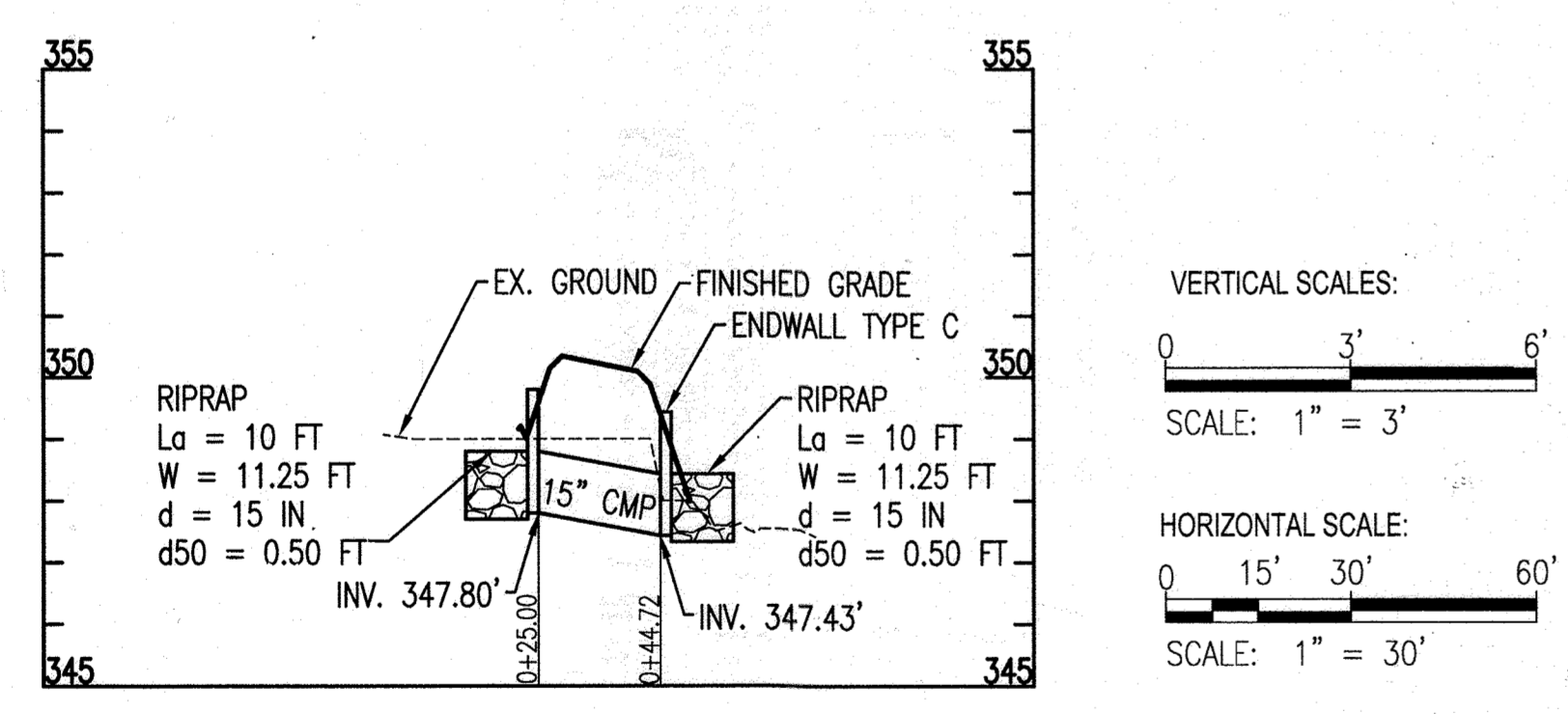
B CLEAR WATER THROUGH SSF DETAIL NOT TO SCALE



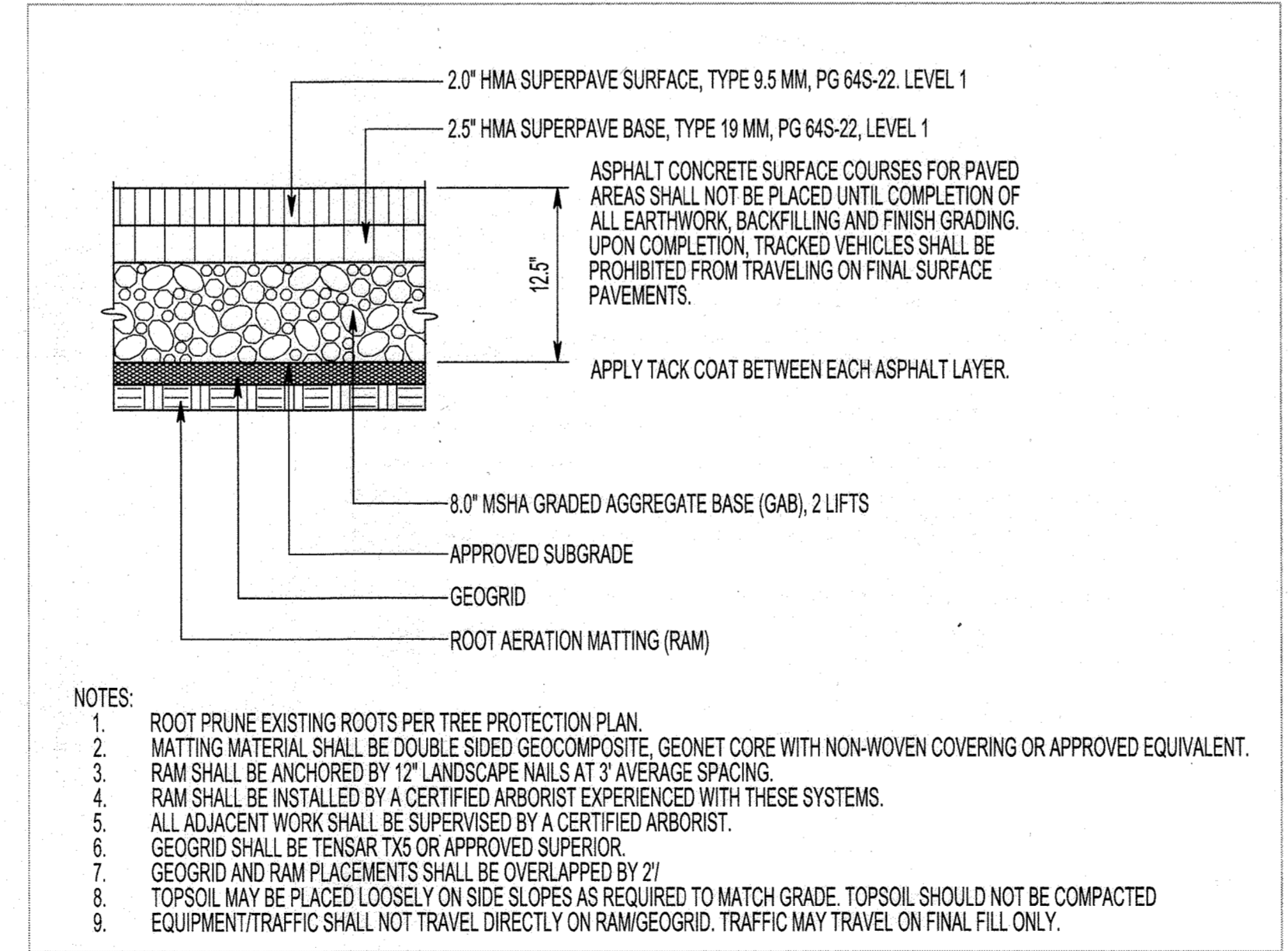
C EARTH DIKE DETAIL NOT TO SCALE



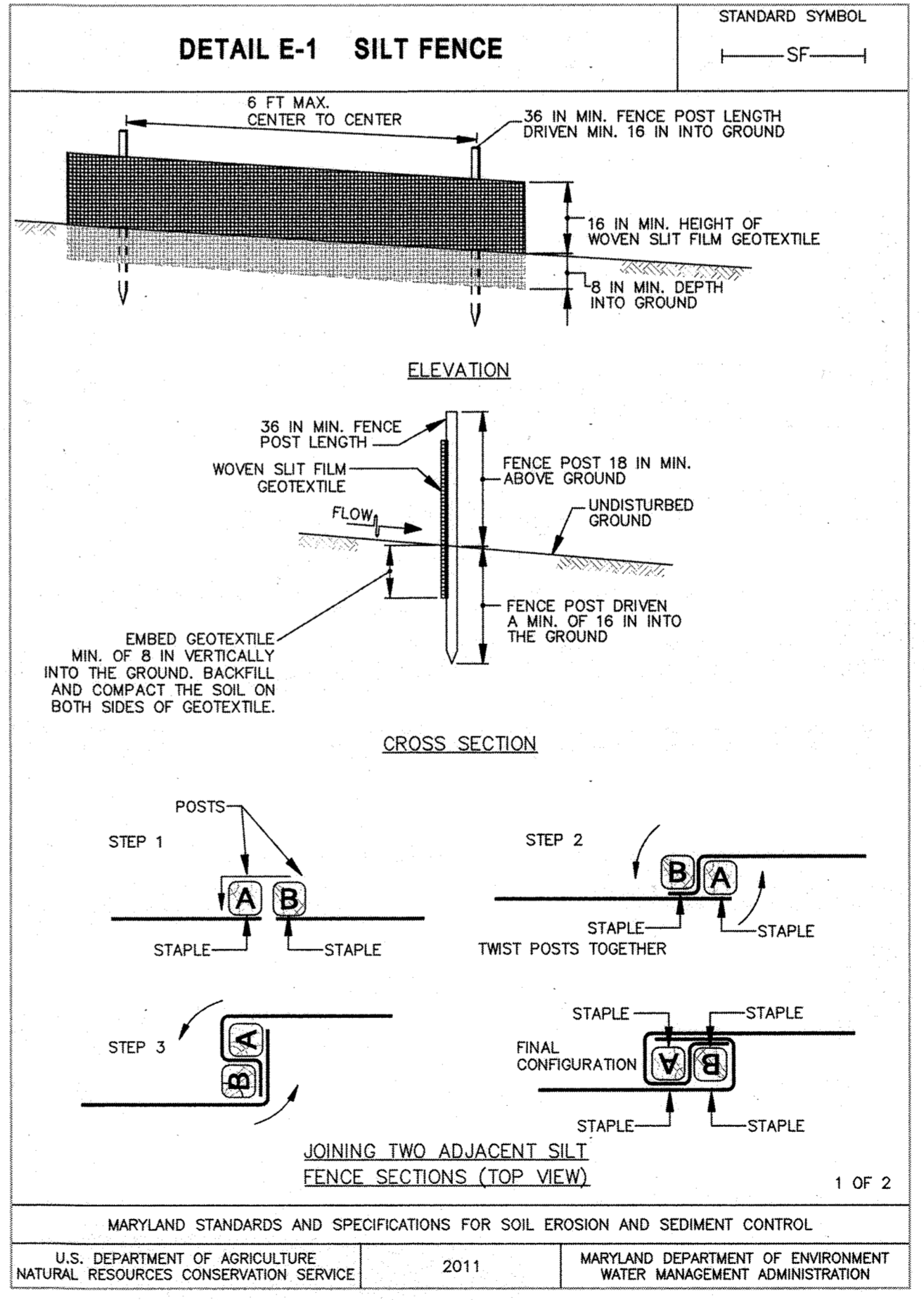
D UNDERGROUND DUCTBANK DETAIL NOT TO SCALE



EXISTING 15" CULVERT REPLACEMENT STORM DRAIN PROFILE  
SCALE: 1" = 30' HORIZ.  
3' VERT.



E BITUMINOUS ASPHALT PAVEMENT NOT TO SCALE



F SILT FENCE DETAIL NOT TO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
8-22-19  
PLANNING BOARD OF HOWARD COUNTY  
DATE: November 20, 2014  
\* See Bk 2 for phasing and add res'a necessary for th 2-7

**FLOURA TEETER**  
landscape architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

**WRA**  
Whitman, Reardon & Associates, LLP  
801 South Caroline Street, Baltimore, Maryland 21231  
Phone: 410.228.3280 Fax: 410.228.3274

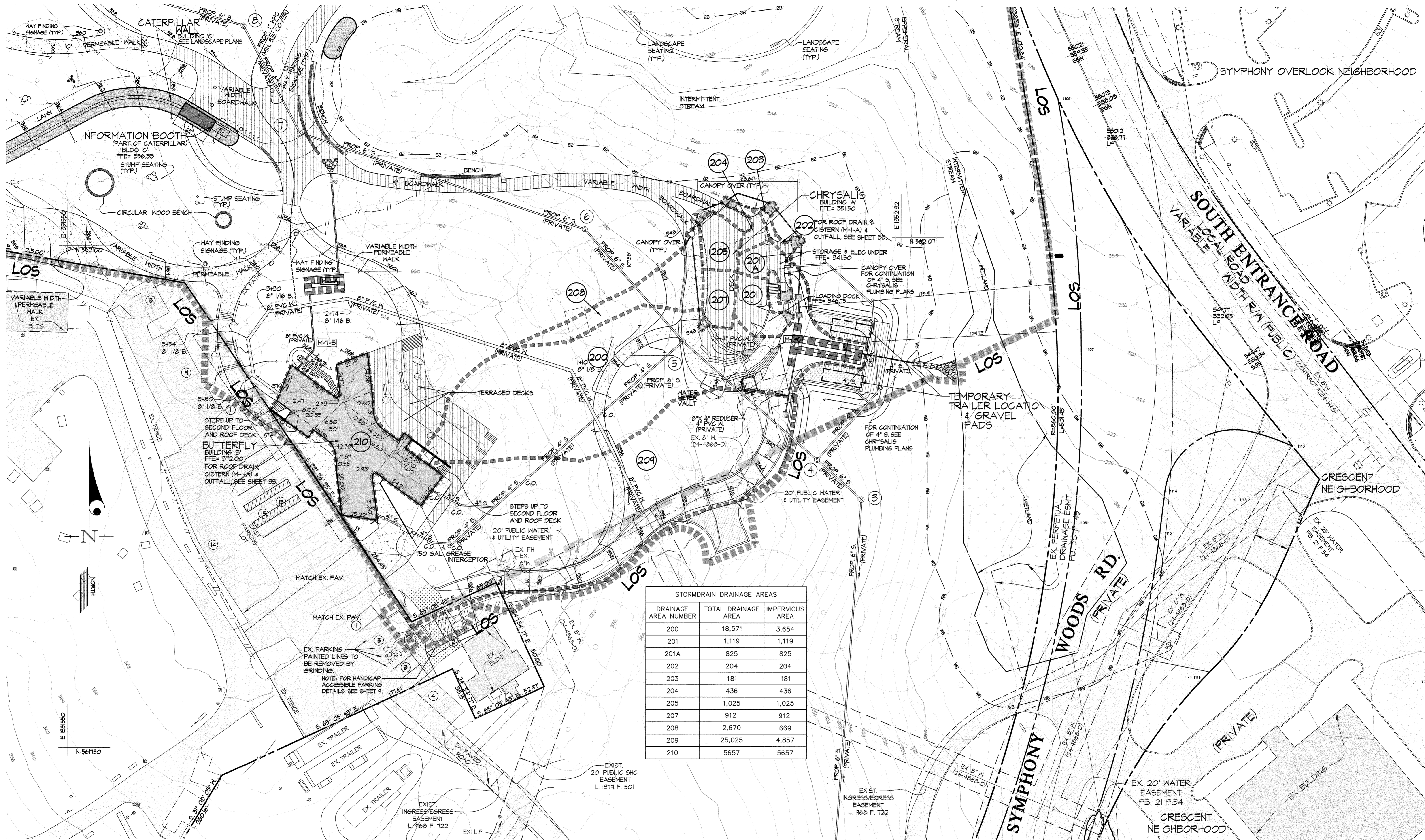
BY	DATE	REVISION
BJW	05/20/2019	
DES.	LEA	AJO
DWN.	CHK.	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
5430 VANTAGE POINT RD  
HISTORIC OAKLAND, SUITE A  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
443-832-3223

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19378  
EXPIRATION DATE: 09/22/2019

**SEDIMENT CONTROL STANDARD DETAILS**  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER - SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 2  
TOWN CENTER SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FTLA FILE NO.
NTS	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MAY 20, 2019	36 - 01	38 OF 38



STORMDRAIN DRAINAGE AREAS		
DRAINAGE AREA NUMBER	TOTAL DRAINAGE AREA	IMPERVIOUS AREA
200	18,571	3,654
201	1,119	1,119
201A	825	825
202	204	204
203	181	181
204	436	436
205	1,025	1,025
207	912	912
208	2,670	669
209	25,025	4,857
210	5657	5657

L:\CADD\DRAWINGS\10712\10712.dwg Plotted by G:\M\SP\Board\03\SP28-30-04.dwg DES. MJT DRN. WJS CHK. MJT DATE REVISION BY APPR.  
 PLOTTED 5/21/2015 10:55 AM LAST SAVED 5/21/2015 8:51 PM PLOTTED BY: MARK THOMPSON

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark Johnson* Date: 9-8-15  
 Chief, Division of Land Development: *Chris Clark* Date: 8-25-15  
 Chief, Development Engineering Division: *Mark Johnson*

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2015  
 \* See Sh. 2 for Phasing and add'l required approvals for Phs 3-7

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-880-1800 DC/VA: 301-868-2524 FAX: 301-421-4186

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
 EXPIRATION DATE: MAY 21, 2018

**STORMDRAIN DRAINAGE AREA MAP-MIDEAST**  
**DOWNTOWN COLUMBIA**  
**MERRIWETHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWETHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

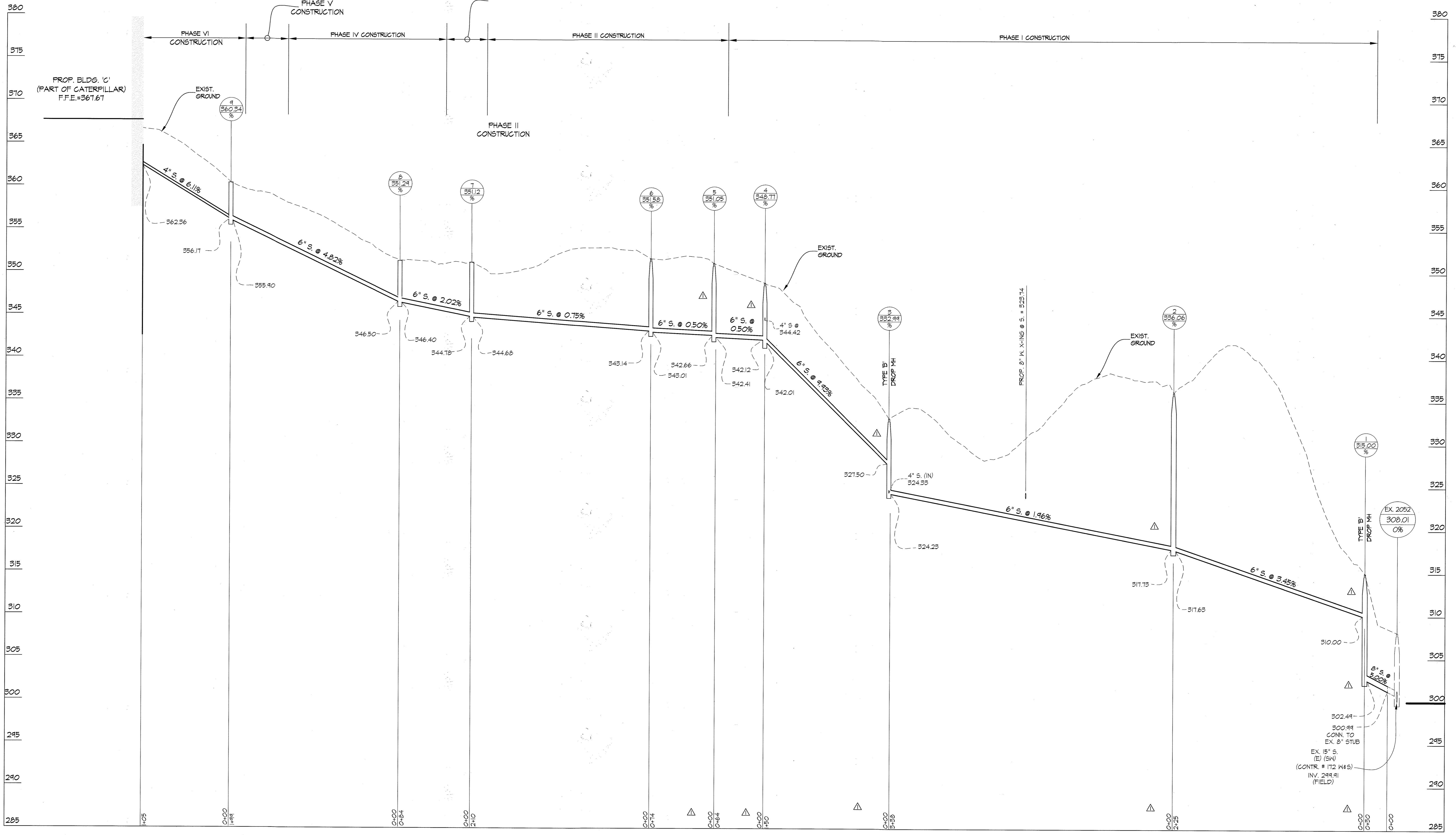
SCALE	ZONING	G. L. W. FILE No.
1"=30'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	39 OF 90

PDOX SHEET 21.1 OF 59

ELECTION DISTRICT No. 5

SDP 14-073





APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *William J. ...* Date: 2-11-16  
 Chief, Division of Land Development: *...* Date: 2-11-16  
 Chief, Development Engineering Division: *...* Date: 2-4-16

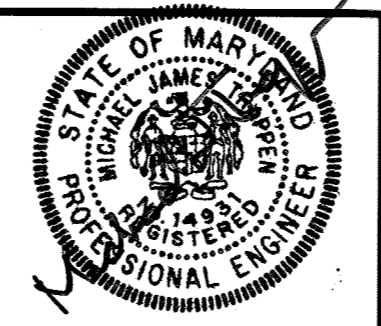
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 These Plans are for Phases 2-7 and App'l Approvals for Phases 3-7

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 FAX: 301-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
1/8/16	REVISED PROFILE FROM STRUCTURE 6 TO EX MH	mjt	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
 EXPIRATION DATE: MAY 23, 2016

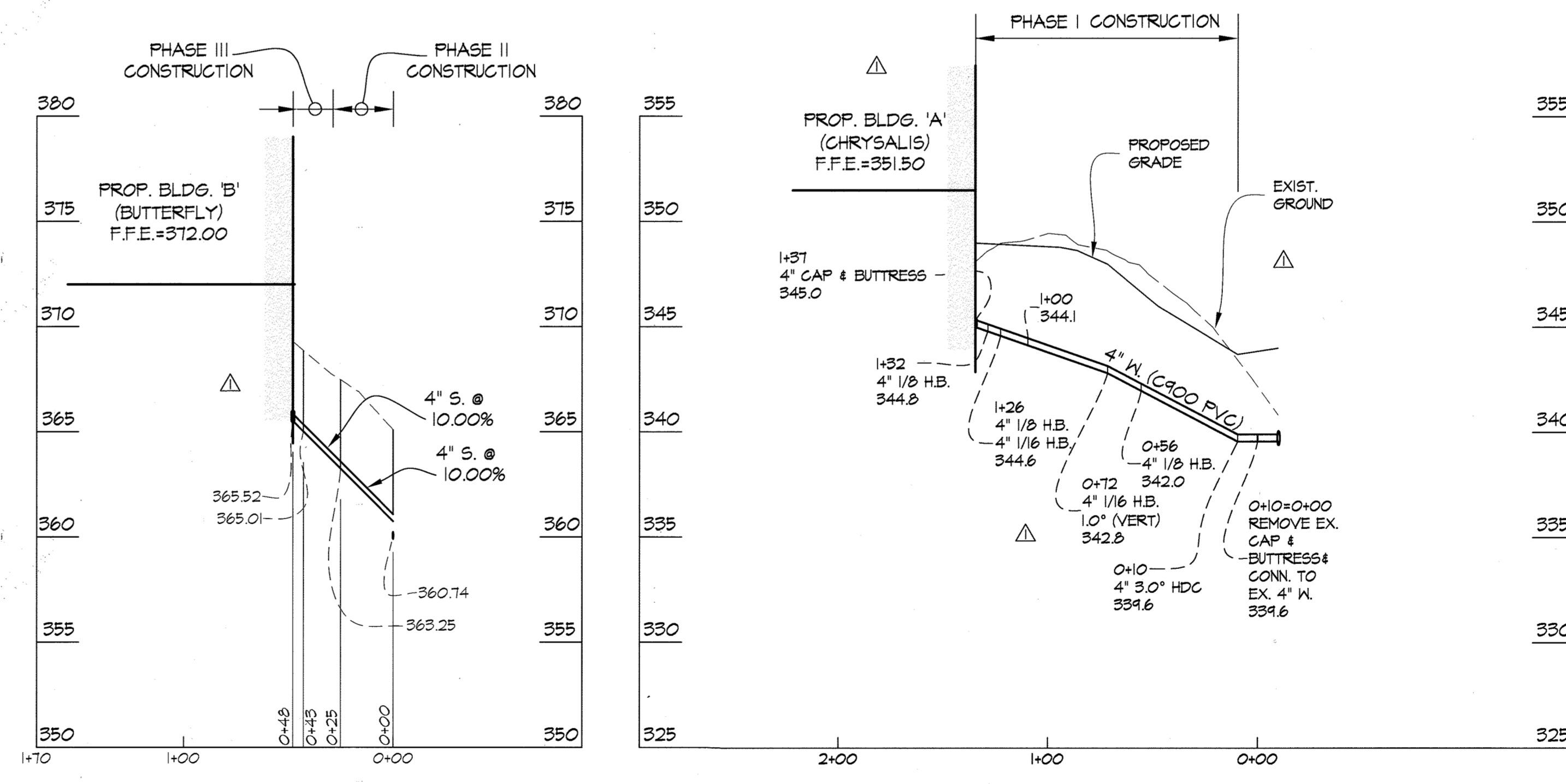
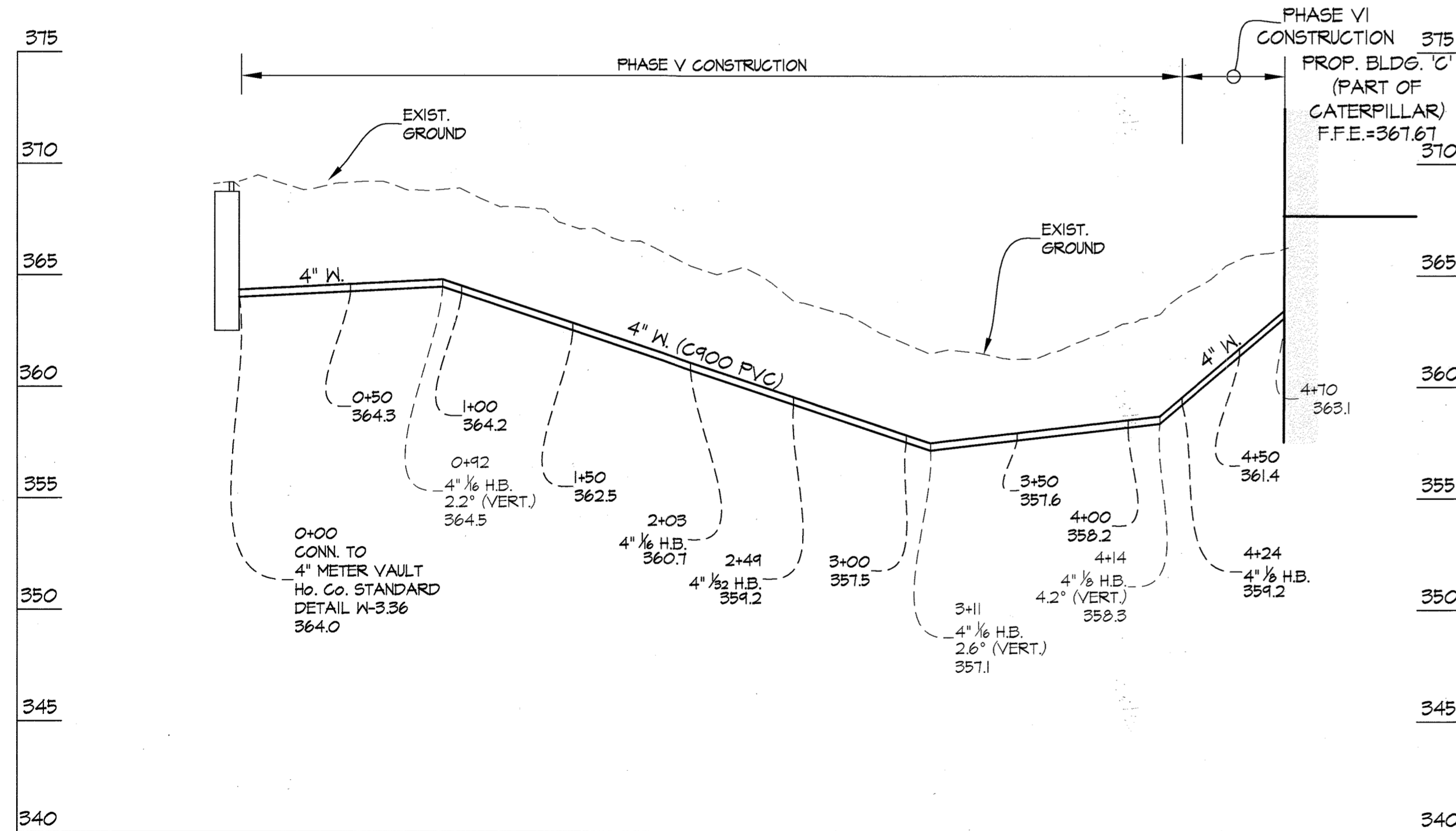
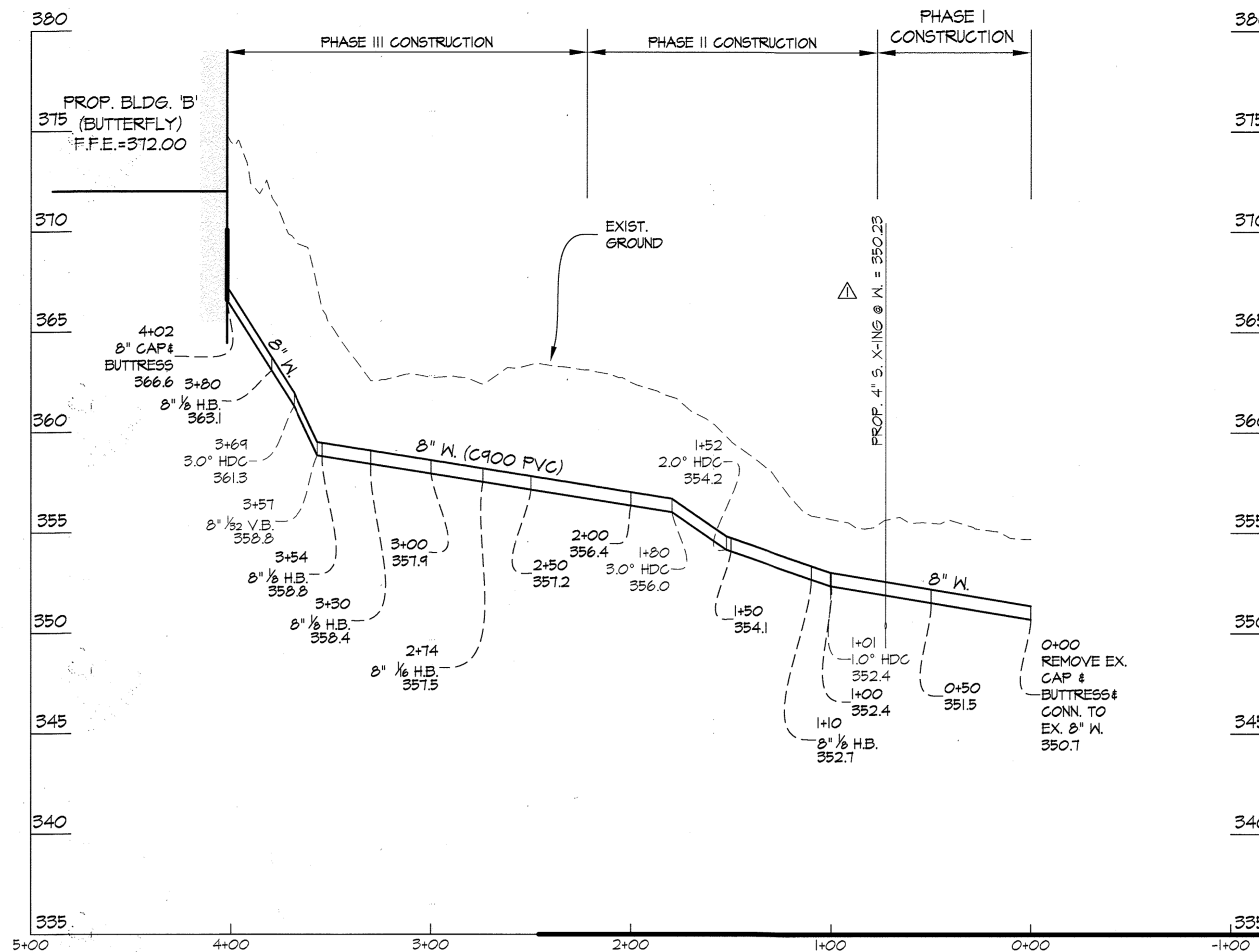
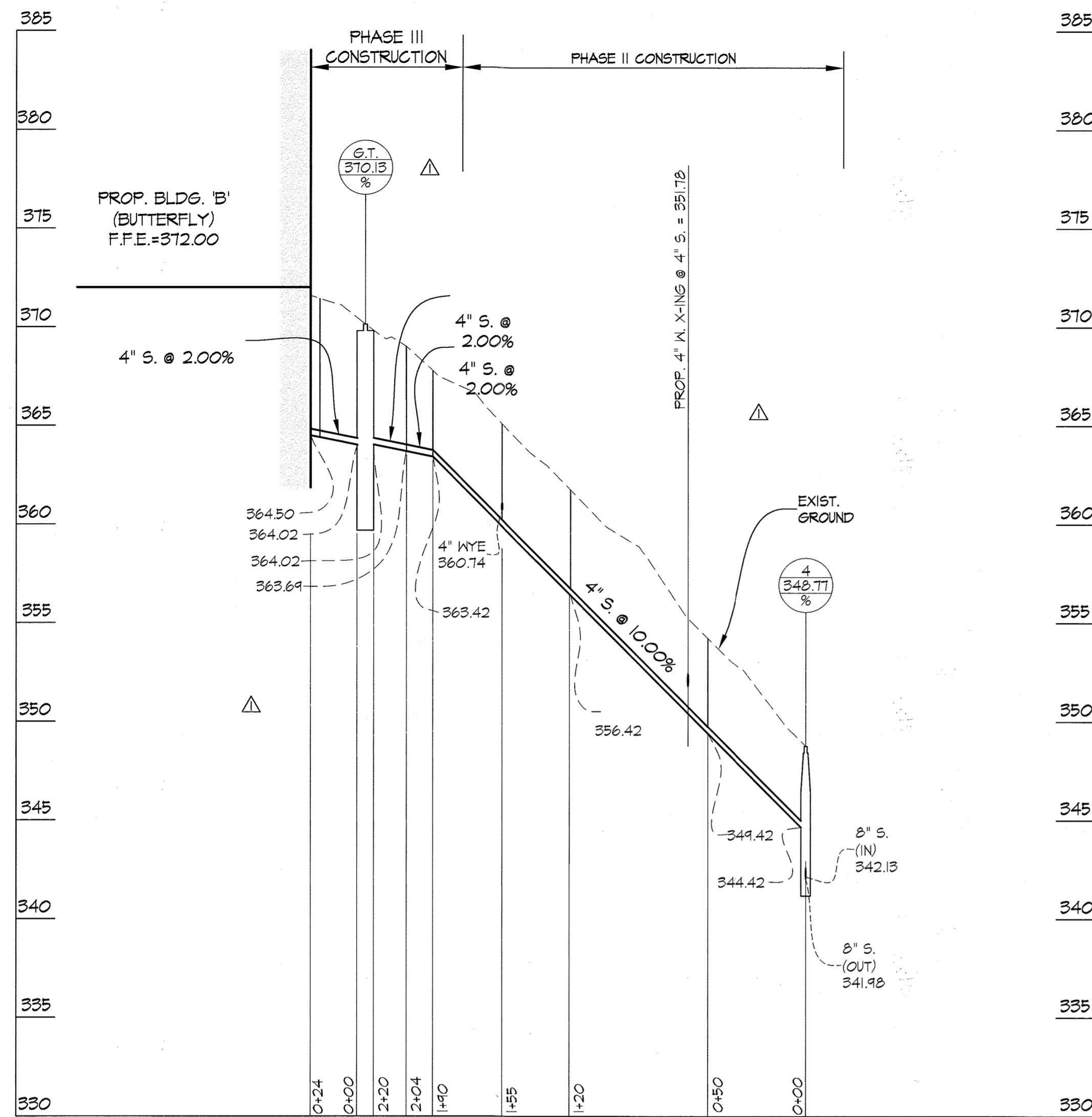


REVISED  
**SITE UTILITY PLAN**  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	40 OF 90

PDOX SHEET 22 OF 59

L:\CADD\DRAWINGS\1072\1072-13043-1-1-UTILITY PROFILES.dwg  
 PLOTTED: 1/12/2016 5:52 PM, LAST SAVED: 1/12/2016 5:52 PM, PLOTTED BY: Mike Troppan  
 © GLW 2014



PROFILE SCALES:  
 HORZ. 1" = 50'  
 VERT. 1" = 5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 2-11-16  
 Chief, Division of Land Development: [Signature] Date: 2-11-16  
 Chief, Development Engineering Division: [Signature] Date: 2-11-16

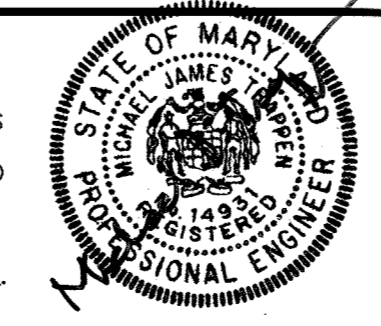
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sh. 2 for Phases and  
 add'l required approvals  
 for Phases 3-7

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	DESCRIPTION	BY	APP'R.
1/8/16	UPDATE PROFILES FOR ADJUSTED WATER AND SEWER	mjt	
	REVISION		

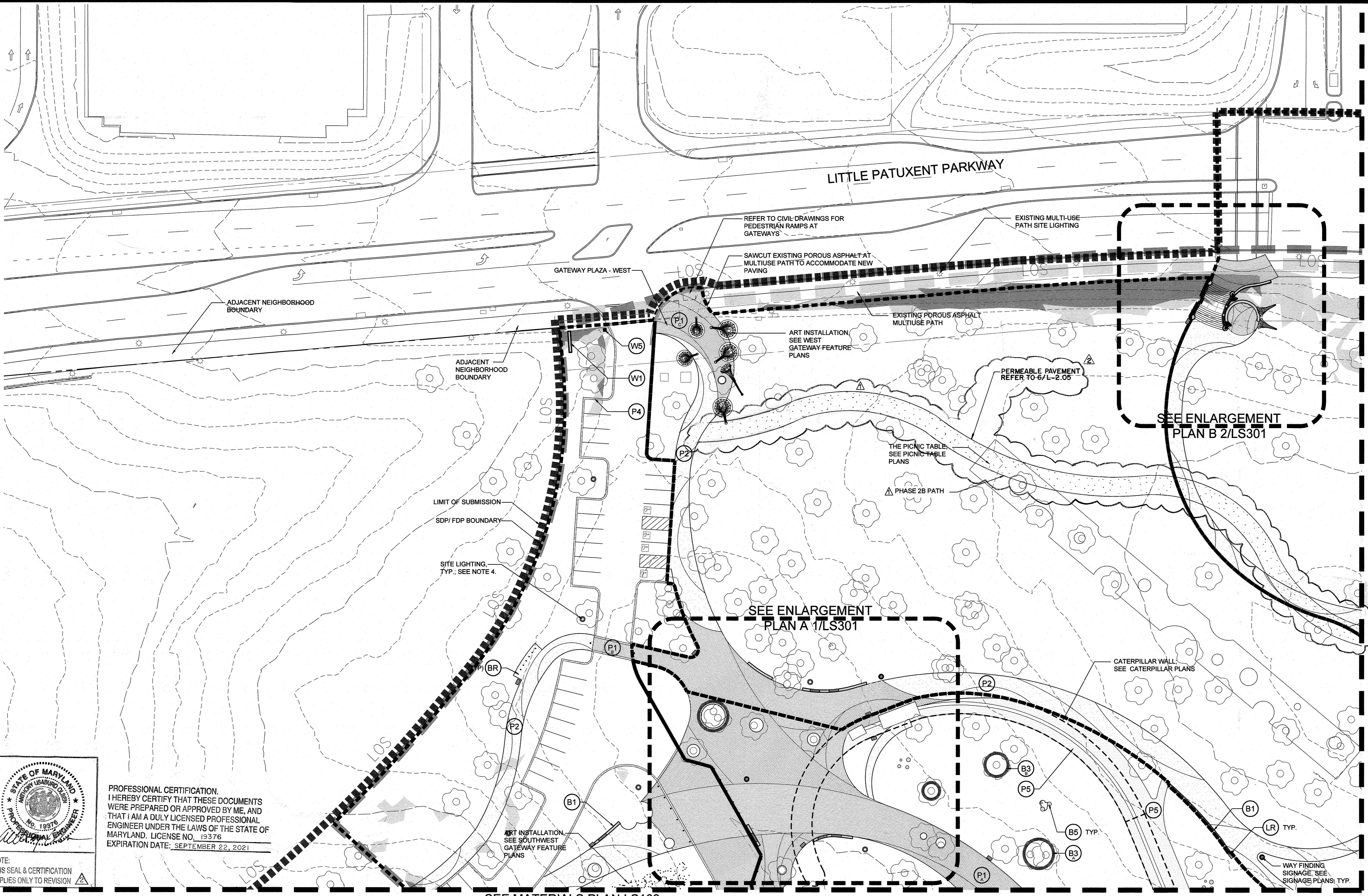
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY  
 ME, AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND,  
 LICENSE NO. 14937  
 EXPIRATION DATE: MAY 21, 2016



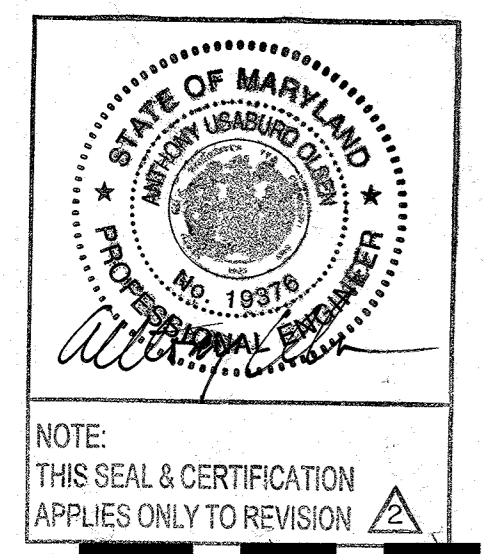
REVISD  
**SITE UTILITY PLAN**  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK at SYMPHONY WOODS PHASE I AND FUTURE PHASES 2-7**  
 TOWN CENTER - SECTION I AREA I  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

PDOX SHEET 23 OF 59		
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JAN., 2016	TAX MAP - GRID 36 - 01	SHEET 41 OF 90



- HARDSCAPE KEY**
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P1 (7) DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY
  - P2 (2) FLEXIBLE PERVIOUS PAVING, LIGHT DUTY SECTION
  - P4 (3) COBBLE STONE EDGE
  - P5 (4) STONE DUST
- WALLS/STAIRS**
- W1 (1) SIGN WALL
  - W5 (4) ENTRANCE ROAD SIGN WALL
- SITE AMENITIES**
- BR (4) BICYCLE RACK
  - B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B3 (1) BENCH 3 - CIRCULAR WOOD BENCH  
A - 20' DIAMETER  
B - 18' DIAMETER  
C - 12' DIAMETER
  - B5 (4) BENCH 5 - CUSTOM STUMP SEATING
  - B0 (1) BOLLARD
  - LR (2) LITTER/RECYCLING RECEPTACLE
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
1. REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
  2. REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  3. REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
  4. SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
  5. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.
  6. REFER TO CIVIL FOR ROADWAY AND PARKING SPACES.



**PROFESSIONAL CERTIFICATION.**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19376  
EXPIRATION DATE: SEPTEMBER 22, 2021

NOTE:  
THIS SEAL & CERTIFICATION APPLIES ONLY TO REVISION

**1 SITE MATERIALS PLAN**  
1"=30'

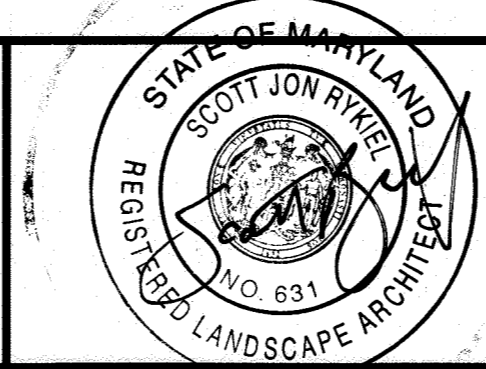
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *[Signature]* Date: 3-2-2020  
Chief, Division of Land Development: *[Signature]* Date: 3/2/2020  
Chief, Development Engineering Division: *[Signature]* Date: 9-22-19

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\* See Sh 2 for phasing and add'l approvals required for Ph 3-7

**MAHAN RYKIEL ASSOCIATES INC.**  
The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

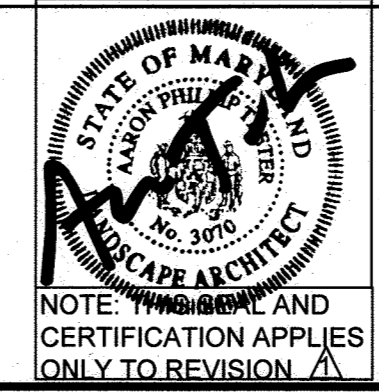
DATE	REVISION	BY	APP'R
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
08/05/21	CHANGE FUTURE PATHWAY TO PROPOSED	JTD	AUG

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

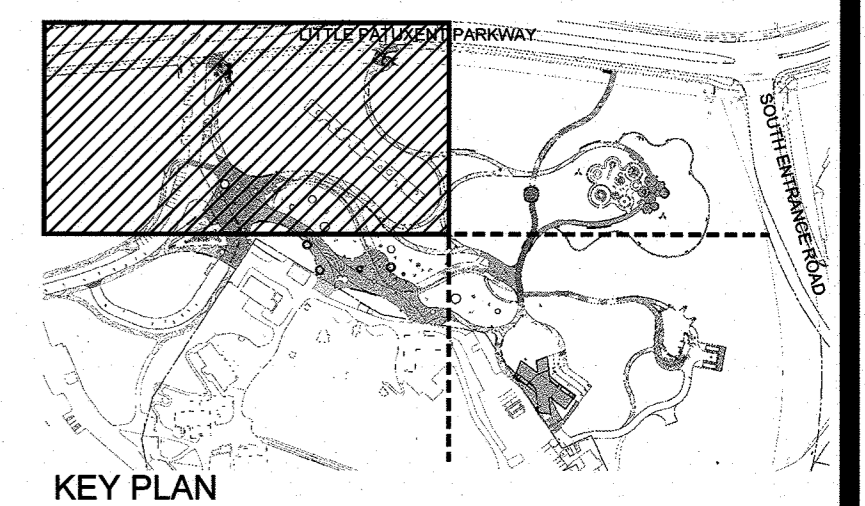


FOR INFORMATION ONLY;  
NOT FOR CONSTRUCTION

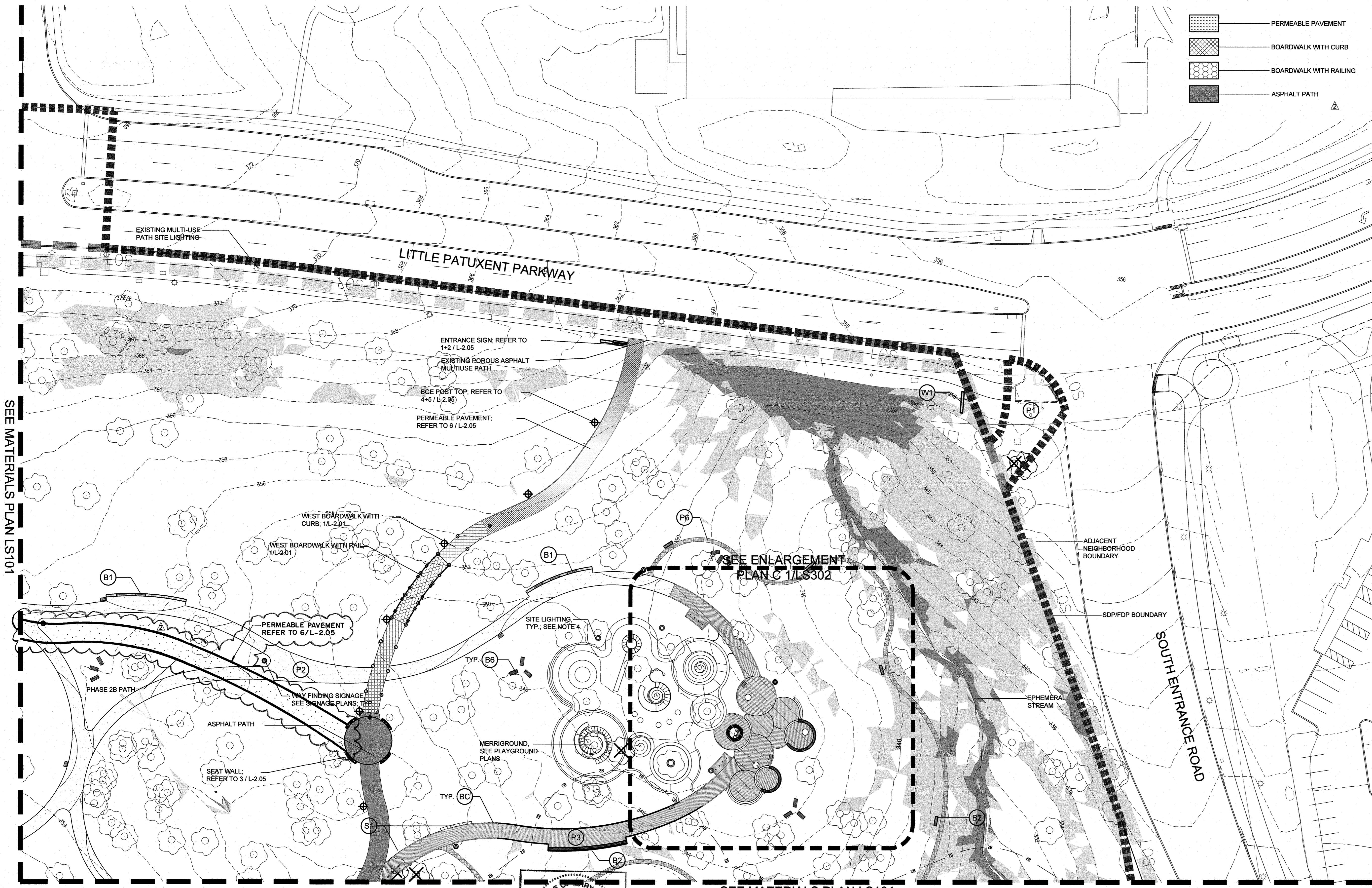
**SITE MATERIALS PLAN NORTHWEST**  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER-SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING



NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



SITE MATERIALS PLAN		LS101
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	42 OF 90



- ### HARDSCAPE KEY
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (7) DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY
  - P2 (2) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P3 (5.6) BOARDWALK, RECLAIMED IPE WOOD DECKING
  - P6 MULCH FOOTPATH
- WALLS/STAIRS**
- W1 (1) SIGN WALL
  - W2 (3) RE-PURPOSED LOG TUNNEL
  - S1 (1) BOARDWALK STEP
- SITE AMENITIES**
- B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B2 (1) BENCH 2A - 6' CUSTOM WOOD & METAL BENCH
  - B2 (2) BENCH 2B - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
  - B6 (3) PRE-FRABRICATED LANDSCAPE SEATING
  - BC (1) BOARDWALK CURB
  - GR (1) GUARDRAIL AT BOARDWALK
  - LR (2) LITTER/RECYCLING RECEPTACLE
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - STREAM BUFFER
  - WB WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

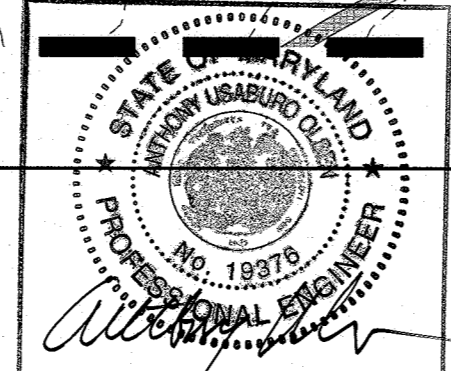
**NOTES:**

- REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: NIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

**1 SITE MATERIALS PLAN**  
1"=30'

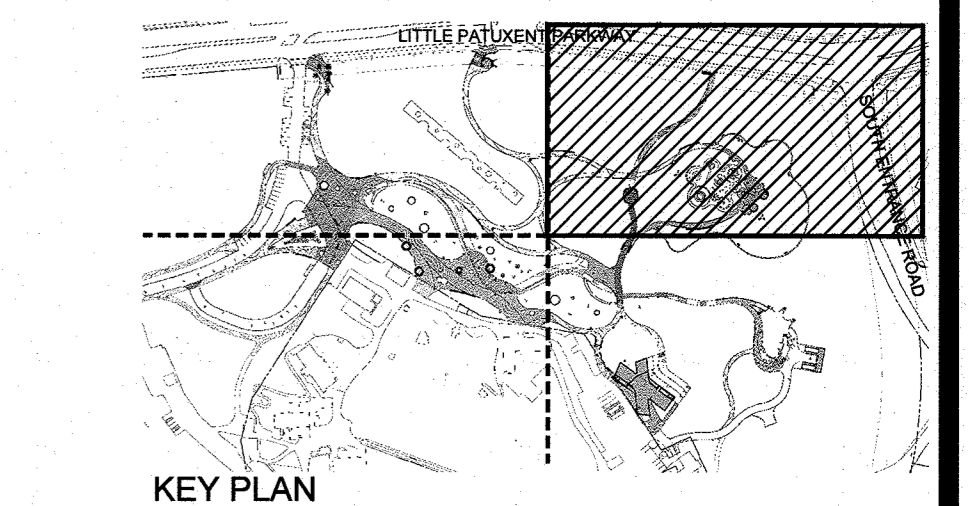
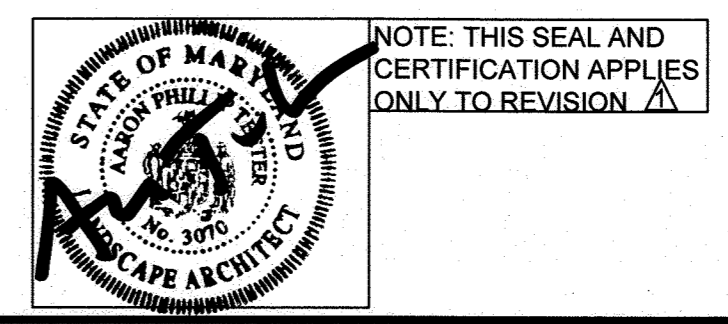
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3-2-2020  
 Chief, Planning & Zoning Development: *[Signature]* Date: 3/2/2020  
 Chief, Development Engineering Division: *[Signature]* Date: 8-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*Please see Sh. 2 for drawings & add'l approvals required for Ph 3-7



PROFESSIONAL CERTIFICATION.  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19376  
 EXPIRATION DATE: SEPTEMBER 22, 2021

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Staff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	EDL	AUO
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES		
08/05/21	CHANGE FUTURE PATHWAY TO PROPOSED		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

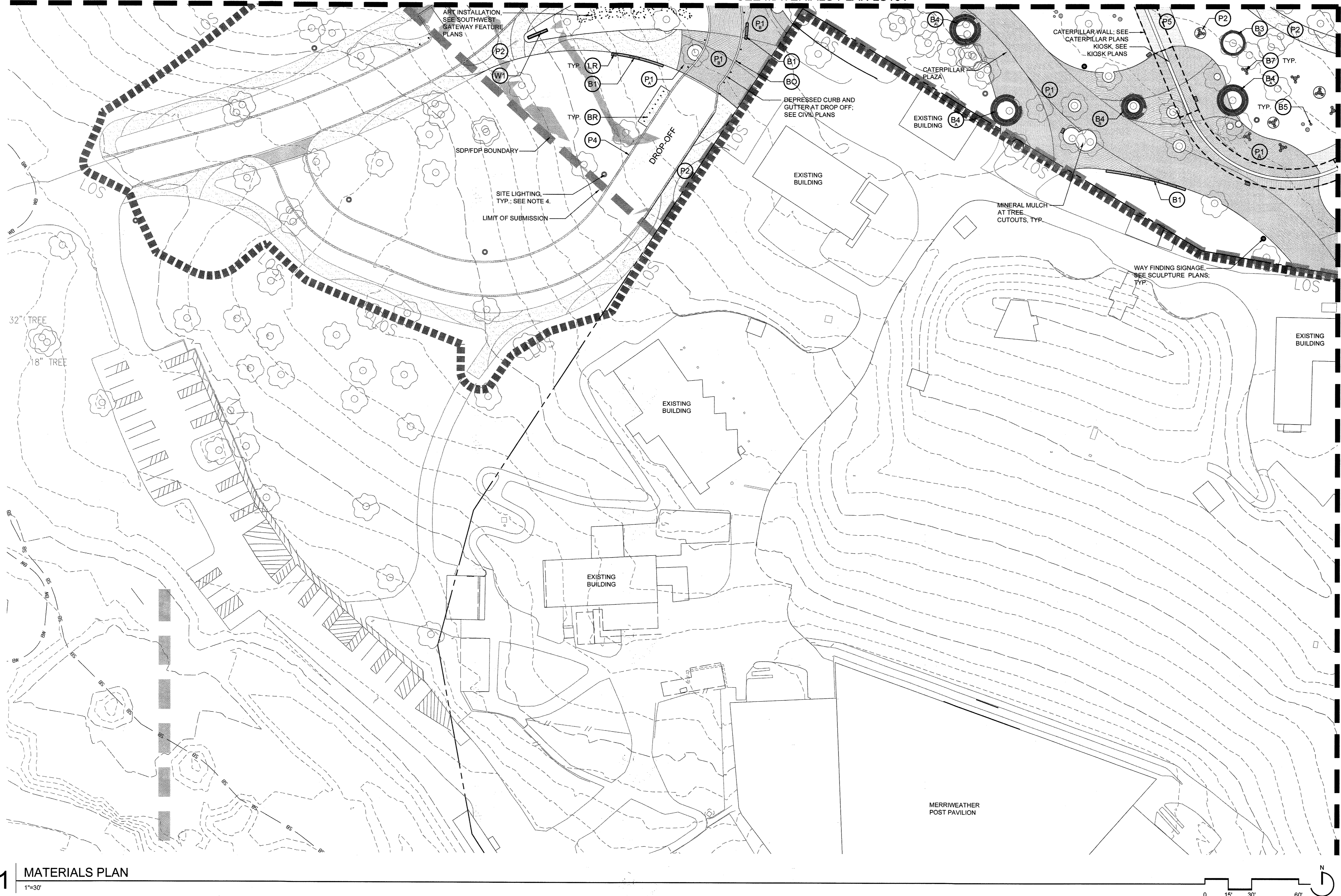


FOR INFORMATION ONLY, NOT FOR CONSTRUCTION

SITE MATERIALS PLAN NORTHEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

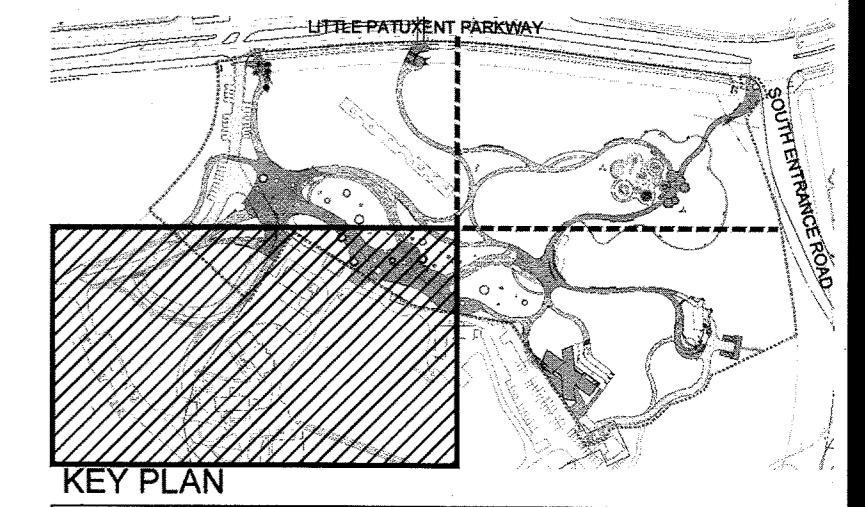
SITE MATERIALS PLAN		LS102
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	43 OF 90

SEE MATERIALS PLAN LS101

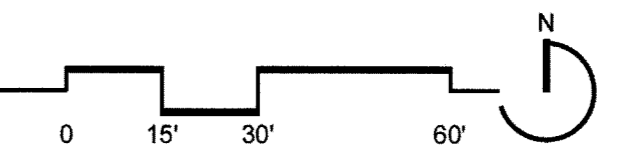


- HARDSCAPE KEY**
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P2 (2) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P4 (3) COBBLE STONE EDGE
  - P5 (4) STONE DUST
- WALLS/STAIRS**
- W1 (1) SIGN WALL
- SITE AMENITIES**
- BR (4) BICYCLE RACK
  - B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B3 (3) BENCH 3 - CIRCULAR WOOD BENCH B - 16' DIAMETER
  - B4 (1) BENCH 4 - CIRCULAR WOOD BENCH & TABLE A - 20' DIAMETER B - 16' DIAMETER
  - B5 (4) BENCH 5 - CUSTOM STUMP SEATING
  - B7 (3) BENCH 7 - BAR TABLE AND STOOLS
  - BO (1) BOLLARD
  - LR (2) LITTER/RECYCLING RECEPTACLE ASSUME 6 THIS SHEET
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
1. REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
  2. REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  3. REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
  4. SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
  5. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.



1 MATERIALS PLAN  
1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *W. J. [Signature]* Date: 9-2-15  
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15  
 Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 30, 2015  
 + See Plan 2 for Amending Add'l Required Approvals for Phs 2-7

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

REVISION	DATE	BY	APP'R.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

SITE MATERIALS PLAN MIDWEST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE MATERIALS PLAN		LS103
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	44 OF 90

SEE MATERIALS PLAN LS102

SEE ENLARGEMENT PLAN D 1/L303

SEE ENLARGEMENT PLAN E 1/L303

HARDSCAPE KEY

- PERMEABLE PAVEMENT
- BOARDWALK WITH CURB
- BOARDWALK WITH RAILING
- ASPHALT PATH

- PAVING**
- P1 DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P2 FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P3 BOARDWALK, IPE WOOD DECKING
  - P4 COBBLE STONE EDGE
  - P5 STONE DUST
  - P6 MULCH FOOTPATH
  - P8 BEACH PEBBLES, SEE NOTE 6.
- WALLS/STAIRS**
- S2 GRANITE BLOCK STEPS (AT BUTTERFLY BLDG.) WITH STAINLESS STEEL HANDRAIL
- SITE AMENITIES**
- BR BICYCLE RACK; SEE NOTE 8.
  - B1 BENCH 1 - CUSTOM SEAT WALL
  - B2 BENCH 2A - 6' CUSTOM WOOD & METAL BENCH
  - B2 BENCH 2B - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
  - B3 BENCH 3 - CIRCULAR WOOD BENCH
  - B4 BENCH 4 - CIRCULAR WOOD BENCH & TABLE A - 20" DIAMETER
  - B5 BENCH 5 - CUSTOM STUMP SEATING C - 12" DIAMETER
  - B7 BENCH 7 - BAR TABLE AND STOOLS
  - BC BOARDWALK CURB
  - GR GUARDRAIL AT BOARDWALK
  - HR HANDRAIL AT STAIRS
  - LR LITTER/RECYCLING RECEPTACLE

- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - SB STREAM BUFFER
  - WB WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
- REFER TO SHEET LS105 FOR PAVING AREAS & MATERIALS.
  - REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  - REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
  - SITE LIGHTING SHOWN ON PLANS COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
  - SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGN LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.
  - DRAINAGE BASINS TO BE LOCATED AT EACH CHRYSALIS CANOPY FOOTING AND COVERED WITH 2-3" DEPTH BEACH PEBBLES AT 2-3" SIZE. SEE CHRYSALIS PLANS FOR LOCATION. SEE LS105 FOR BEACH PEBBLE TYPE.
  - SEE LS106 FOR PHASE ONE TEMPORARY BICYCLE RACK LOCATIONS AT PARKING LOT.

SEE MATERIALS PLAN LS103

1 MATERIALS PLAN  
1"=30'

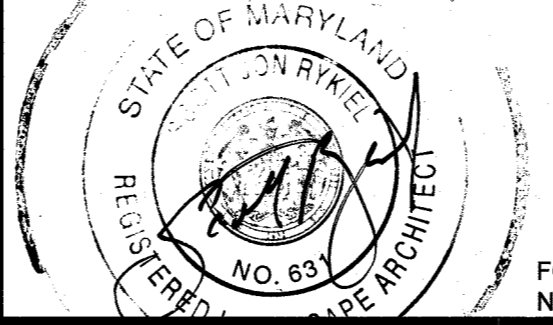
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 3-2-2020  
 Chief, Planning & Land Development: [Signature] Date: 3/2/2020  
 Chief, Development Engineering Division: [Signature] Date: 8-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*see p. 2 for phase and add 11 approvals req'd for Ph 3-7

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

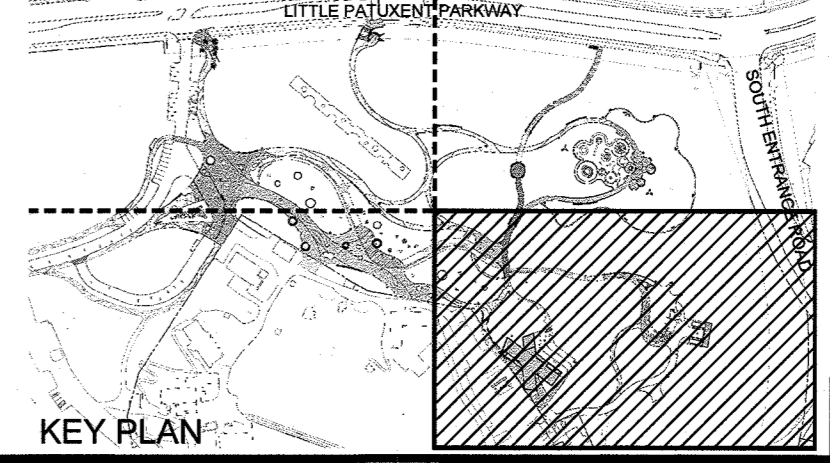
DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
1/8/18	UPDATED CHRYSALIS BUILDING AND PAVEMENT EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029



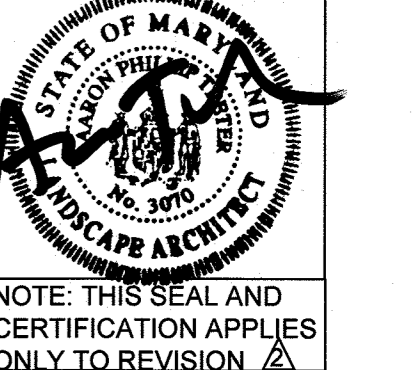
FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

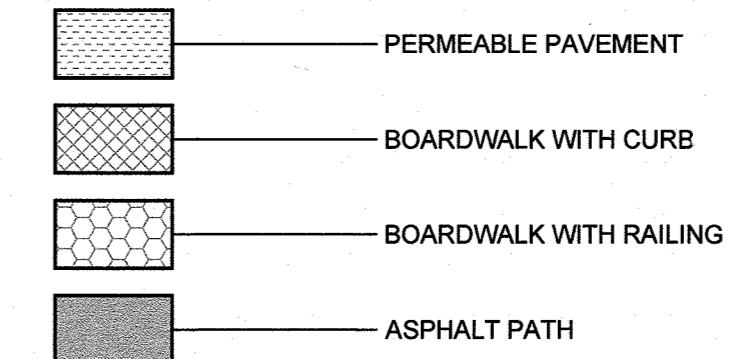


REVISED SITE MATERIALS PLAN MIDEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

REVISED SITE MATERIALS PLAN		LS104
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	45 OF 90



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A



- PAVING LEGEND**
- P1A: DECORATIVE PERMEABLE PAVERS; PEDESTRIAN/LIGHT DUTY SECTION SEE 1/L/S501
  - P1B: DECORATIVE PERMEABLE PAVERS; VEHICULAR/HEAVY DUTY SECTION SEE 1/L/S501
  - P1C: DECORATIVE PEDESTRIAN PAVERS; NON PERMEABLE LIGHT DUTY SECTION ON CONCRETE BASE; AT GATEWAY ENTRANCES ONLY. SEE 7/L/S501
  - WHITACRE GREER COMPANY  
1400 S. MAHONING AVE. ALLIANCE, OH 44801  
P: (330) 206-7889  
W: WWW.WGPAVER.COM  
MODEL: PERMEABLE CLAY PAVERS  
COLORS: A-MAJESTIC  
B-CIMMEREAN  
C-CHOCOLATE  
SIZE: 2 1/2" x 9" x 3"
  - P2: CAPITOL FLEXI-PAVE  
CAPITOL FLEXI-PAVE, LLC  
37 PIGEON HILL DR. SUITE 278 STERLING, VA, 20165  
P: 202.760.1099  
F: 571.312.8208  
W: HTTP://CAPITOLFLEXIPEAVE.COM/  
MODEL: FLEXI-PAVE  
COLOR: A-CAYENNE  
B-CHESTNUT  
C-OLIVE FOG  
THICKNESS: 2"
  - P3: BOARDWALK, RECLAIMED IPE WOOD DECKING SEE 5.6/L/S501
  - P4: COBBLE STONE EDGE  
CHARLES LUCK  
12202 CLARKSVILLE PIKE, CLARKSVILLE, MD 21209  
P: (443) 535-0543  
HTTP://WWW.CHARLESLUCK.COM/  
MODEL: INDIAN GRAY MINI COBBLESTONE  
SIZE: 4X4X4
  - P5: STONE DUST  
CHARLES LUCK  
12202 CLARKSVILLE PIKE, CLARKSVILLE, MD 21209  
P: (443) 535-0543  
HTTP://WWW.CHARLESLUCK.COM/  
MODEL: GRAY #8 STONE DUST
  - P6: MULCH PATH
  - P7: GRANITE PAVERS AT CENTRAL GATEWAY STAIRS  
COLDSPRING GRANITE  
17483 GRANITE WEST ROAD, COLDSPRING, MN 56320  
P: 320.685.5040  
HTTP://WWW.COLDSPRINGUSA.COM/  
MODEL: IRIDIAN GRANITE, THERMAL FINISH
  - P8: BEACH PEBBLES AT CHRYSALIS DRAINS  
MIAMI BEACH PEBBLES, INC.  
3214 NE 2nd Avenue, Miami, FL 33137  
P: 305.438.1775  
HTTP://WWW.BEACHPEBBLES.COM/  
MODEL: 2-3" TAN BEACH PEBBLES, NATURAL FINISH

- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - SB - STREAM BUFFER
  - WB - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

**NOTES:**

- PAVING HATCHES SHOWN REPRESENT EXTENTS AND AREA QUANTITIES ONLY, AND ARE NOT INDICATIVE OF PATTERNING TO BE INSTALLED.
- REFER TO MATERIALS PLANS LS101-LS104 FOR COORDINATION BETWEEN ENTRANCE GATEWAYS AND EXISTING MULTIUSE PATH.
- SEE CIVIL PLANS FOR PAVING MATERIAL AT ENTRANCE DRIVE AND CHRYSALIS ACCESS PATH.

**1 SITE PAVING PLAN**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 3-2-2020  
 Chief, Division of Land Development: [Signature] Date: 2/2/2020  
 Chief, Development Engineering Division: [Signature] Date: 9-23-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Sh. 2 for phasing and add'l approvals req'd for Ph. 3-7



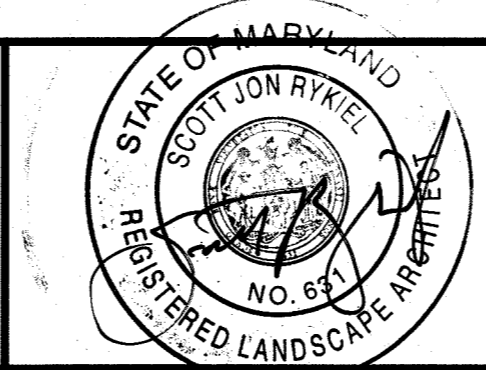
NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive, Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
1/8/18	UPDATED CHRYSALIS BUILDING AND PAVEMENT EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

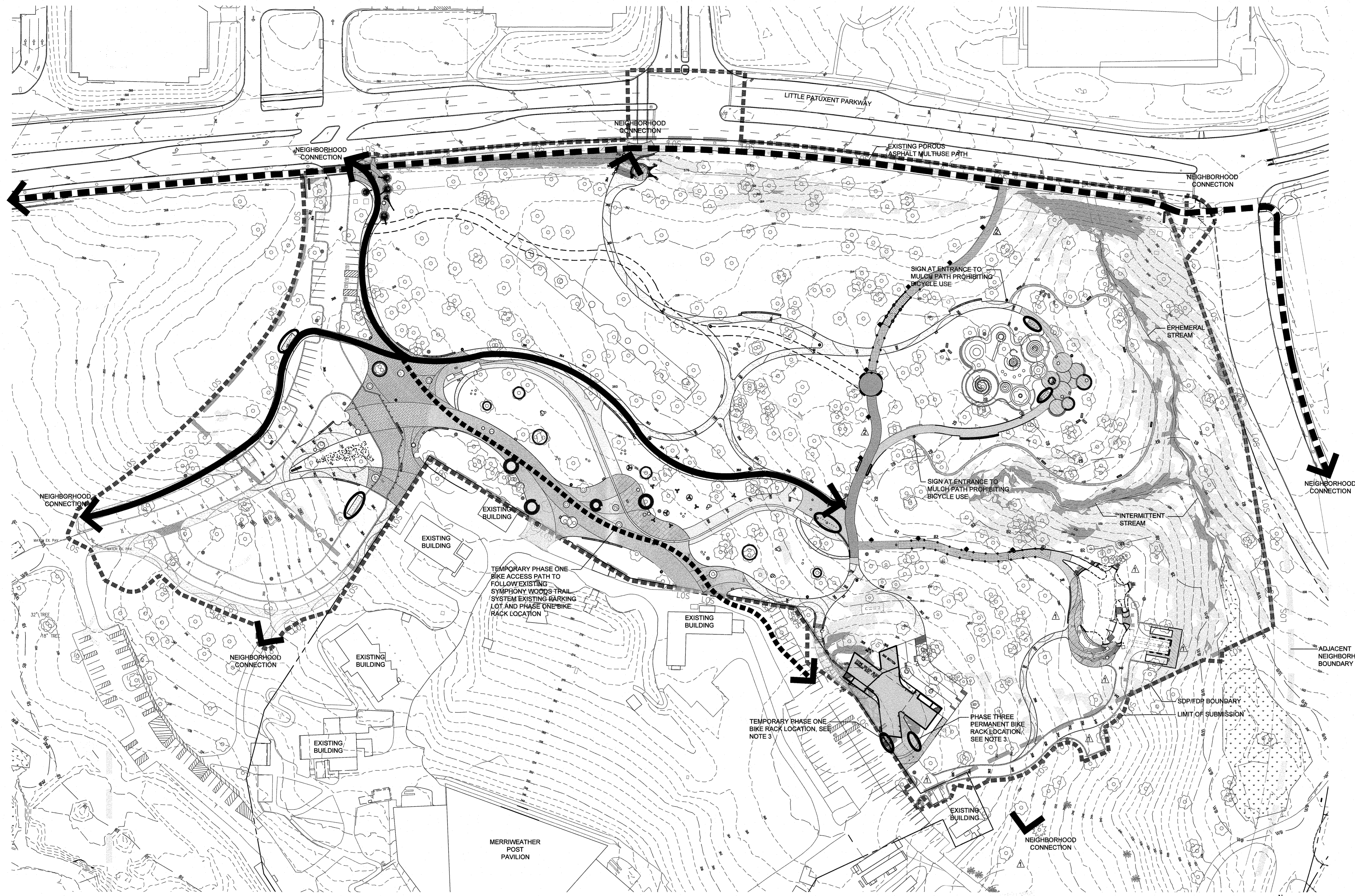
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

REVISED SITE KEY PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

REVISED SITE PAVING PLAN		LS105
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	46 OF 90



- LEGEND**
- BIKE ACCESS PATH THROUGH PARK
  - EXISTING BIKE ROUTE
  - TEMPORARY PHASE ONE BIKE ACCESS PATH
  - BIKE RACKS
  - NEIGHBORHOOD CONNECTIONS

- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - STREAM BUFFER
  - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
1. ALL BIKE ACCESS PATHS THROUGH THE PARK AREA MINIMUM OF 10' WIDE.
  2. REFER TO MATERIALS PLANS LS101-LS104 FOR COORDINATION BETWEEN ENTRANCE GATEWAYS AND EXISTING MULTIUSE PATH.
  3. TEMPORARY PHASE ONE BIKE RACK LOCATION TO BE MOVED IN PHASE THREE TO PERMANENT PHASE THREE BIKE RACK LOCATION.
  4. INNER ARBOR TRUST WILL MONITOR BICYCLE PARKING AND PROVIDE ADDITIONAL BICYCLE PARKING AS NECESSARY.

**1 BICYCLE ROUTE & NEIGHBORHOOD CONNECTIONS DIAGRAM**

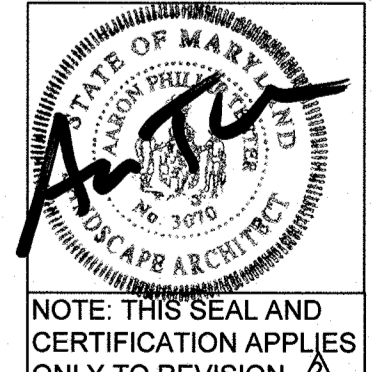
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3-2-2020  
 Chief, Division of Land Development: *[Signature]* Date: 3/2/2020  
 Chief, Development Engineering Division: *[Signature]* Date: 9-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See notes sheet 2 for phasing and add'l required approvals for Phases 3-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.  
 ZOLKA RYKIEL, P.L.A. 871  
 SCOTT RYKIEL, RLA 091  
 DEVELOPER'S/OWNER'S NAME

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124.0 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 DEVELOPER'S/OWNER'S NAME

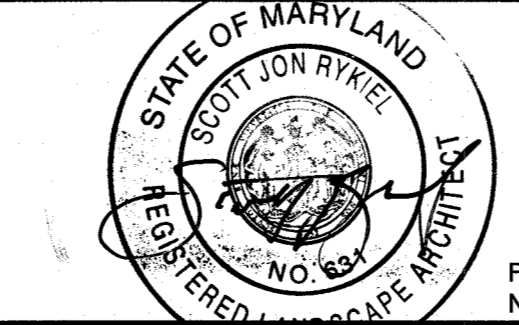
NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

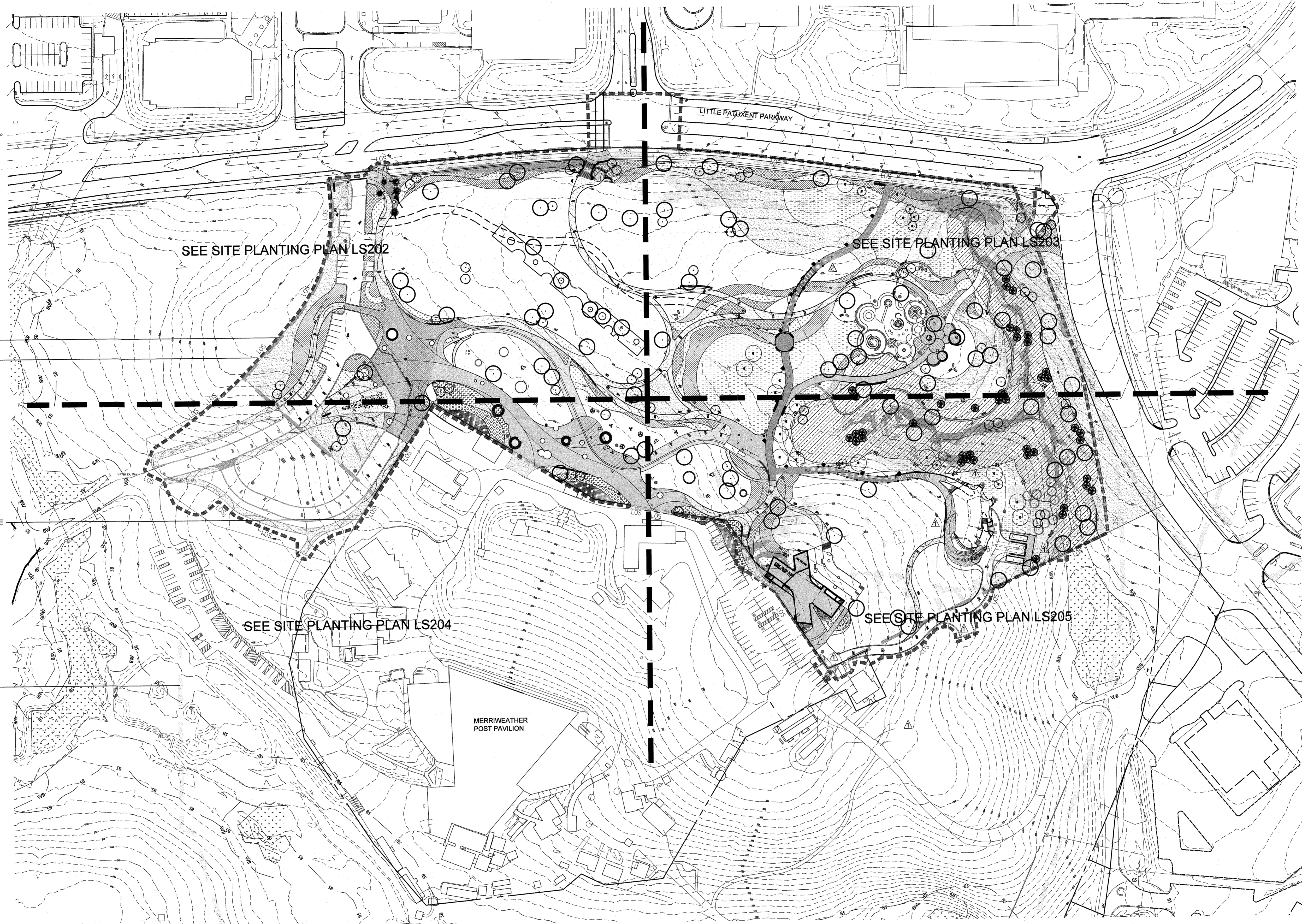


FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

REVISOR'S/OWNER'S NAME  
 REVISOR'S/OWNER'S NAME  
**REVISOR'S/OWNER'S NAME**  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED BICYCLE ACCESS & NEIGHBORHOOD CONNECTIONS		LS106
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	47 OF 90





**1 SITE PLANTING KEY PLAN**

CERTIFICATION NOTE:  
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER SYMPHONY WOODS DESIGN GUIDELINES I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

EDNA NUSSELL FLSA 071

MAHA RYKIEL, INNER ARBOR TRUST  
DEVELOPER(S) / OWNER(S) NAME

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Angie Grew* Date: 3-2-2020

Chief, Division of Land Development: *Chris Edmister* Date: 3/2/2020

Chief, Development Engineering Division: *John B. ...* Date: 6-22-19

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

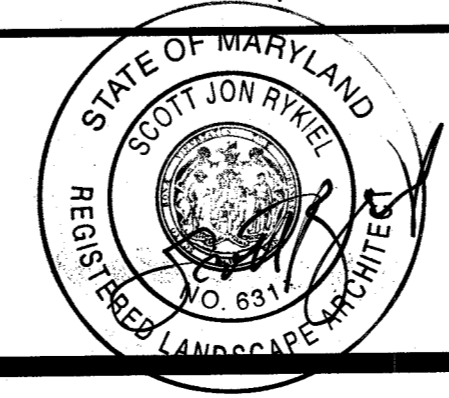
Date: November 20, 2014

\* See Sh 2 for phasing and additional approvals required for Phases 2-7

**MAHAN RYKIEL ASSOCIATES INC.**  
The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
1/8/18	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS; ADDED NEW ADA PATH TO HC PARKING; REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

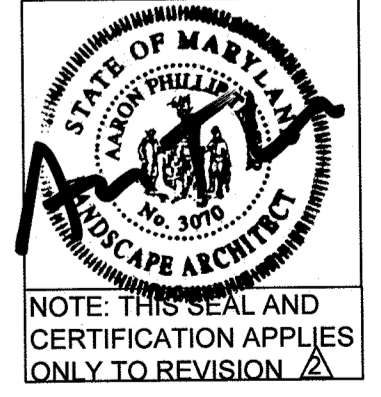


FOR INFORMATION ONLY:  
NOT FOR CONSTRUCTION

REVISED SITE PLANTING KEY PLAN  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER-SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING

HOWARD COUNTY, MARYLAND  
ELECTION DISTRICT No. 5

REVISED SITE PLANTING KEY PLAN		LS200
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	48 OF 90



NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION.

**LANDSCAPE SURETY**

- PHASE 1**  
 (1) ORNAMENTAL TREES x \$150 = \$150  
 TOTAL PHASE 1: \$150
- PHASE 2**  
 (52) SHADE TREES x \$300 = \$15,600  
 (23) ORNAMENTAL TREES x \$150 = \$3,450  
 (53) EVERGREEN TREES x \$150 = \$7,950  
 TOTAL PHASE 2: \$27,000
- PHASE 3**  
 (2) SHADE TREES x \$300 = \$600  
 TOTAL PHASE 3: \$600
- PHASE 4**  
 (17) SHADE TREES x \$300 = \$5,100  
 (10) ORNAMENTAL TREES x \$150 = \$1,500  
 TOTAL PHASE 4: \$6,600
- PHASE 5**  
 (18) SHADE TREES x \$300 = \$5,400  
 (11) ORNAMENTAL TREES x \$150 = \$1,650  
 TOTAL PHASE 5: \$7,050
- PHASE 6**  
 (10) SHADE TREES x \$300 = \$3,000  
 (6) ORNAMENTAL TREES x \$150 = \$900  
 TOTAL PHASE 6: \$3,900
- PHASE 7**  
 (2) SHADE TREES x \$300 = \$600  
 (5) ORNAMENTAL TREES x \$150 = \$750  
 TOTAL PHASE 7: \$1,350

TOTAL SURETY FOR ALL PHASES: \$44,550

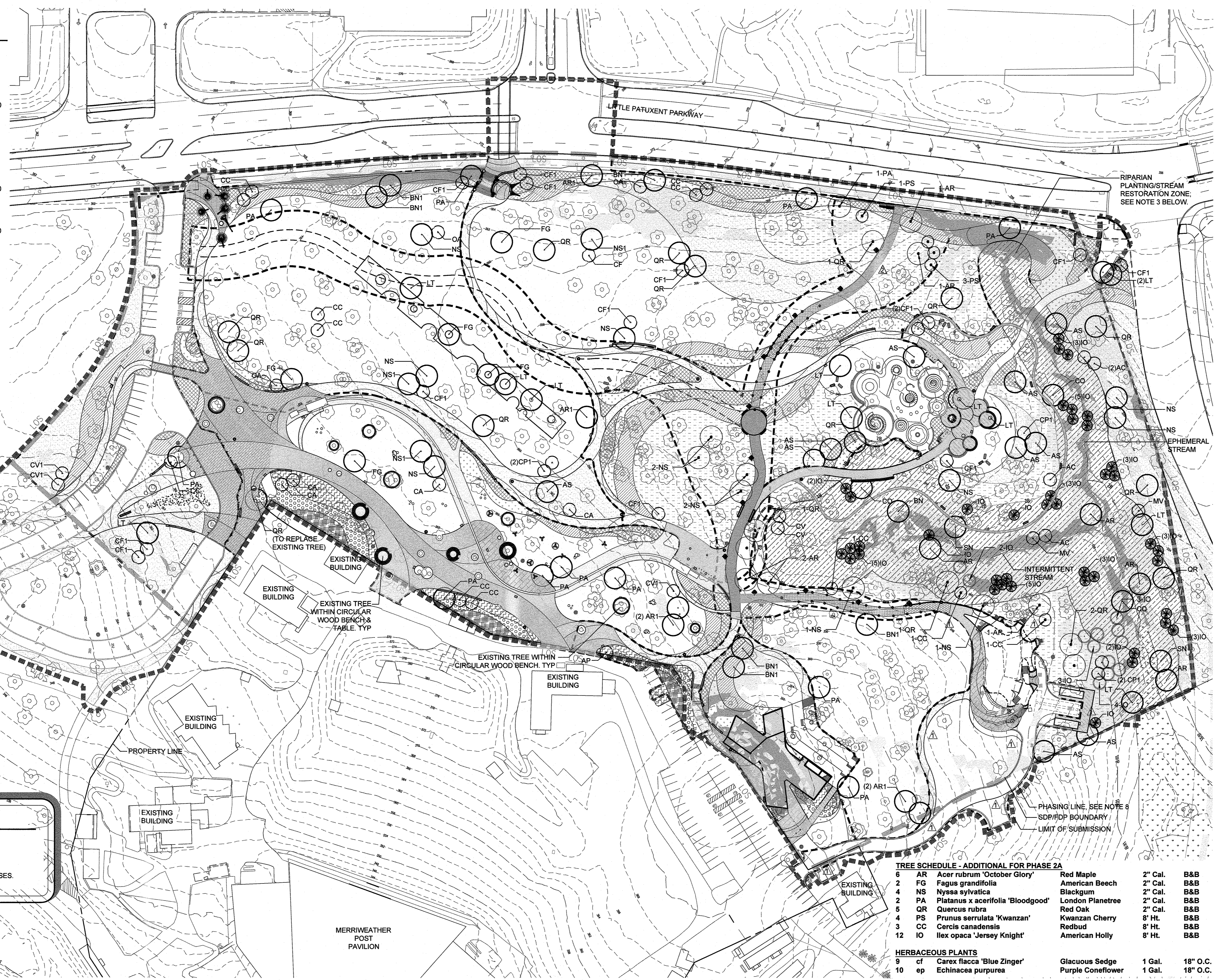
NOTE: PHASING LINES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE CIVIL PLANS FOR COMPLETE PHASING DIAGRAM.

**TREE CALCULATIONS**

EXISTING TREES TO BE REMOVED: 44
NEW TREES PROVIDED: 214
*QUANTITIES INCORPORATE ALL 7 PHASES.

**1 SITE TREE PLANTING PLAN**

1"=60'



**TREE SCHEDULE**

QTY	KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
4	AC	Amelanchier canadensis Serviceberry	2.5" Cal	Cont.	Single Stem, Matched
1	AC1	Amelanchier canadensis Serviceberry	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
1	AP	Acer palmatum 'Bloodgood' Bloodgood Japanese Maple	12' Ht.	B&B	Specimen
4	AR	Acer rubrum 'Red Sunset' Red Sunset Maple	2.5" Cal	Cont.	Single Stem, Matched
6	AR1	Acer rubrum 'Red Sunset' Red Sunset Maple	6" Cal	B&B	Central Leader Full Crown
10	AS	Acer saccharum Sugar Maple	6" Cal.	B&B	Central Leader Full Crown
2	BN	Betula nigra River Birch	10' Ht.	Cont.	Multi-Stem, Matched 3 cane min., 5 cane max.
5	BN1	Betula nigra River Birch	14' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
5	CA	Cornus alternifolia Pagoda Dogwood	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
9	CC	Cercis canadensis Eastern Redbud	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
2	CF	Cornus florida Flowering Dogwood	2.5" Cal	Cont.	Single Stem, Matched
15	CF1	Cornus florida Flowering Dogwood	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
3	CO	Celtis occidentalis Hackberry	2.5" Cal	Cont.	Single Stem, Matched
5	CP1	Carpinus caroliniana Ironwood	5" Cal.	B&B	Central Leader Full Crown
2	CV	Chionanthus virginicus White Fringetree	6' Ht.	Cont.	Multi-Stem, Matched 3 cane min., 5 cane max.
3	CV1	Chionanthus virginicus White Fringetree	8' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
5	FG	Fagus grandifolia American Beech	6" Cal.	B&B	Central Leader Matched Specimens
41	IO	Ilex opaca American Holly	8' Ht.	B&B	10% Male, Full to Ground
12	LT	Liriodendron tulipifera Tulip Poplar	6" Cal.	B&B	Central Leader Full Crown
2	MV	Magnolia virginiana Sweetbay Magnolia	12' Ht.	B&B	Multi-Stem, Matched 3 cane min., 5 cane max.
7	NS	Nyssa sylvatica Black Gum	4" Cal.	Cont.	Central Leader Full Crown
3	NS1	Nyssa sylvatica Black Gum	6" Cal.	Cont.	Central Leader Full Crown
4	OA	Oxydendrum arboreum Sourwood	8' Ht.	Cont.	Tree Form, Matched
11	PA	Platanus x acerifolia 'Bloodgood' London Planetree	6" Cal	B&B	Central Leader Full Crown
12	QR	Quercus rubra Northern Red Oak	6" Cal.	B&B	Central Leader Full Crown
2	SN	Salix nigra Black Willow	2.5" Cal	Cont.	Single Stem, Matched

**PROPOSED PLANTING LEGEND**

	PROPOSED EVERGREEN TREE		RIPARIAN PLANTING/STREAM RESTORATION ZONE. SEE NOTE 3
	PROPOSED SHADE TREE		EXISTING TREE TO TO BE REMOVED (SEE NOTE 4)
	PROPOSED ORNAMENTAL TREE		

**SITE LEGEND**

	EXISTING TREE TO REMAIN		STREAM
	EXISTING TOPOGRAPHY		STREAM BUFFER
	LIMIT OF SUBMISSION		WETLAND BUFFER
	SDP/FDP BOUNDARY		WETLAND
	ADJACENT NEIGHBORHOOD BOUNDARY		SLOPES > 15%
			SLOPES > 25%

**TREE SCHEDULE - ADDITIONAL FOR PHASE 2A**

6 AR	Acer rubrum 'October Glory'	Red Maple	2" Cal.	B&B
2 FG	Fagus grandifolia	American Beech	2" Cal.	B&B
4 NS	Nyssa sylvatica	Blackgum	2" Cal.	B&B
2 PA	Platanus x acerifolia 'Bloodgood'	London Planetree	2" Cal.	B&B
5 QR	Quercus rubra	Red Oak	2" Cal.	B&B
4 PS	Prunus serrulata 'Kwanzan'	Kwanzan Cherry	8' Ht.	B&B
3 CC	Cercis canadensis	Redbud	8' Ht.	B&B
12 IO	Ilex opaca 'Jersey Knight'	American Holly	8' Ht.	B&B

**HERBACEOUS PLANTS**

9 cf	Carex flacca 'Blue Zinger'	Glaucous Sedge	1 Gal.	18" O.C.
10 ep	Echinacea purpurea	Purple Coneflower	1 Gal.	18" O.C.

**NOTES:**

- REFER TO SHEETS LS202-LS205 FOR ALL OTHER PROPOSED PLANTINGS.
- FOR MASTER PLANT SCHEDULE. SEE SHEET LS206.
- ADDITIONAL TREES MAY BE PROVIDED IN RIPARIAN PLANTING/STREAM RESTORATION ZONE AS A PART OF BIOHABITATS FUTURE STREAM RESTORATION REDLINE SUBMISSION.
- SEE TREE CALCULATIONS ON BOTTOM LEFT SIDE OF SHEET FOR TOTAL TREE REMOVAL AND TREE PROVIDED QUANTITIES.
- REFER TO CIVIL DRAWING FOR TREE DEMOLITION PLAN.
- REFER TO MATERIALS PLANS (LS101-104) FOR ALL SITE FEATURE CALL OUTS.
- REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
- PHASING LINES SHOWN ON THIS PLAN FOR REFERENCE ONLY. SEE CIVIL PLANS FOR COMPLETE PHASING DIAGRAM.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 3-2-2020  
 Chief, Planning & Land Development: [Signature] Date: 2/2/2020  
 Chief, Development Engineering Division: [Signature] Date: 8-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Sheet 2 for phasing and add'l required approvals for Ph 3-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

CERTIFICATION NOTE:  
 I, THE LANDSCAPING ARCHITECT, CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 10.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I WILL FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSPIRATION ACCOMPANIED BY AN EXECUTED AND VERIFIED GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION A

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

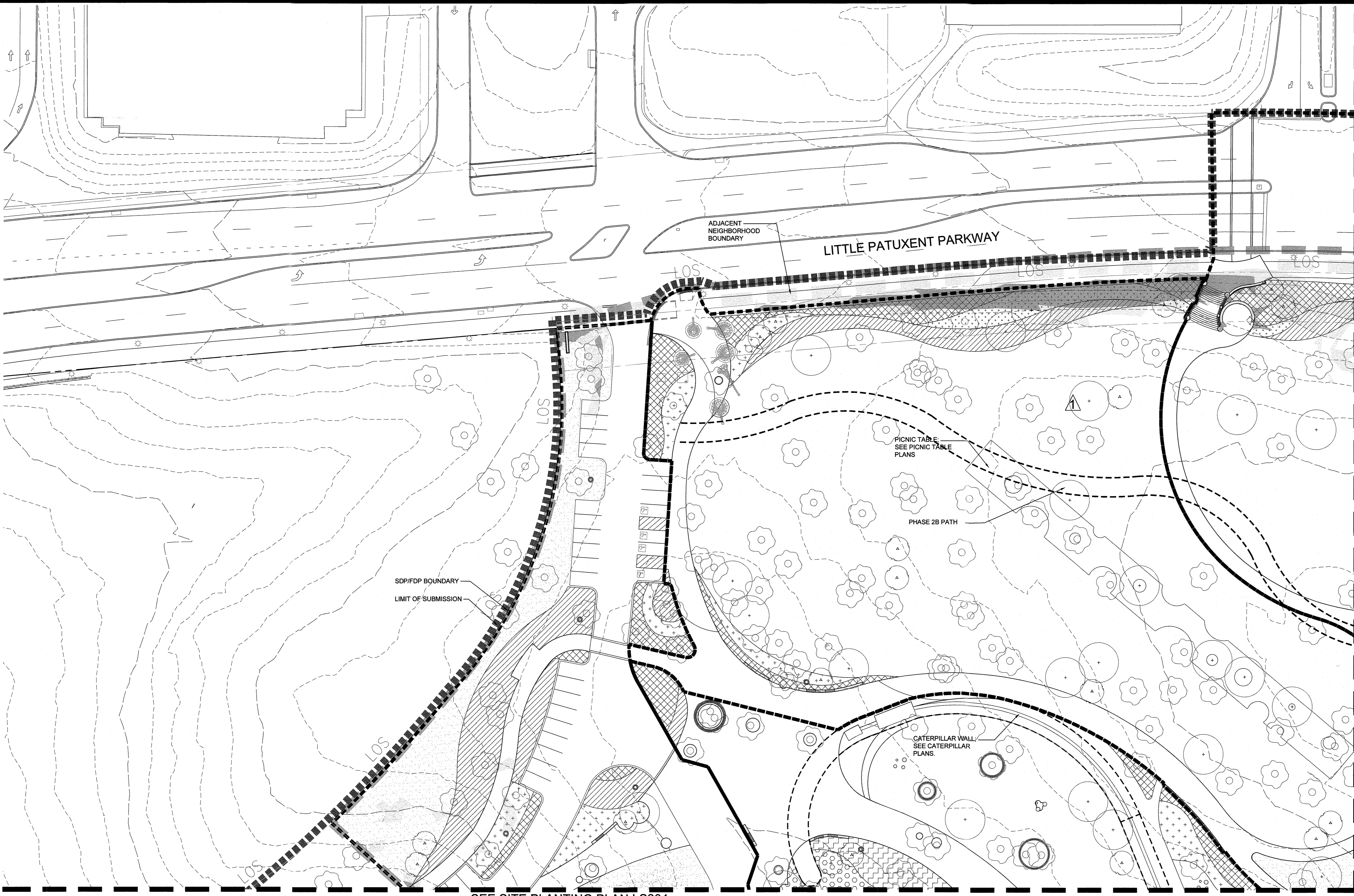
DATE	REVISION	EDL	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES			
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVEN EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS			

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

STATE OF MARYLAND  
 REGISTERED LANDSCAPE ARCHITECT  
 FOR INFORMATION ONLY, NOT FOR CONSTRUCTION

REVISED SITE TREE PRESERVATION, DEMOLITION AND PLANTING PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

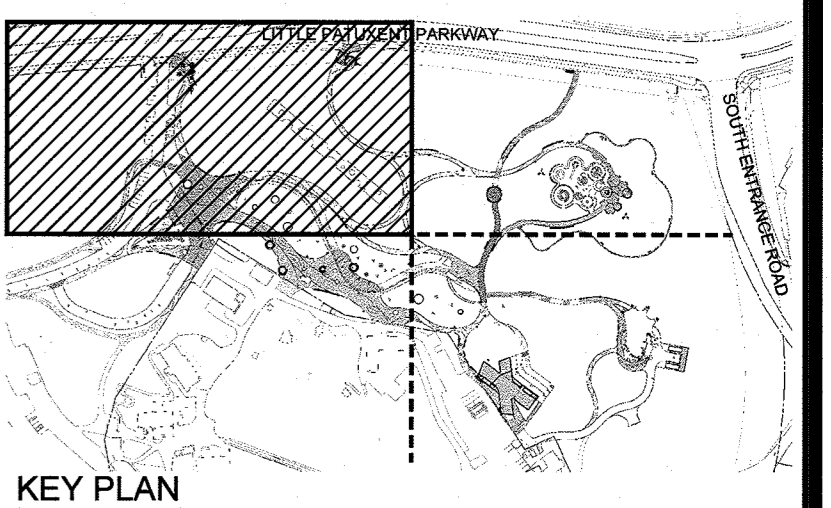
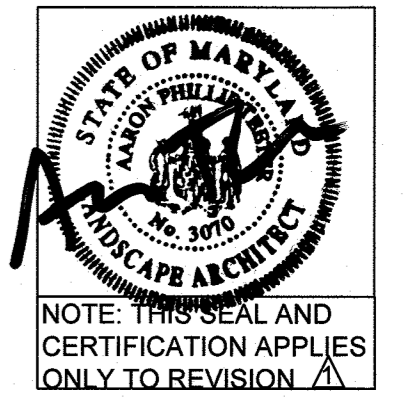
REVISED SITE TREE PLANTING PLAN		LS201
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	49 OF 90



- PLANTING KEY**
- GENERAL PLANTING**
- SOD LAWN
  - NATIVE MEADOW
- FEATURED PLANTING**
- FP ZONE 1
  - FP ZONE 2
  - FP ZONE 3
  - FP ZONE 4
  - FP ZONE 6
- PROPOSED PLANTING LEGEND**
- PROPOSED SHADE TREE SEE LS201 FOR SPECIES
  - PROPOSED ORNAMENTAL TREE SEE LS201 FOR SPECIES
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - SLOPES > 15%
  - SLOPES > 25%

**NOTES:**

- REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
- REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- FOR MASTER TREE SCHEDULE, SEE SHEET LS208.
- REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.



**1 SITE PLANTING PLAN**  
1"=30'

SEE SITE PLANTING PLAN LS204

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3-2-2020  
 Chief, Division of Land Development: *[Signature]* Date: 3/2/2020  
 Chief, Development Engineering Division: *[Signature]* Date: 9-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sn 2 for pricing and add'l required approvals as per Ph 2-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.  
 ZONA RYKIEL, P.A. 891  
 SCOTT JON RYKIEL, REGISTERED LANDSCAPE ARCHITECT

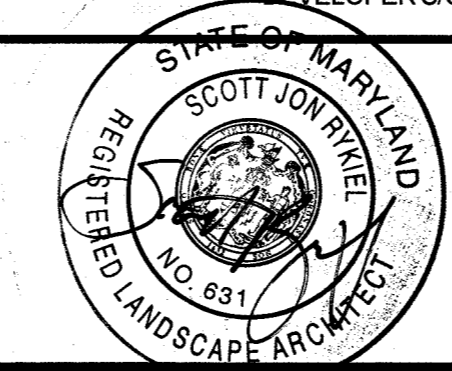
CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 DEVELOPER'S/OWNER'S NAME

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	

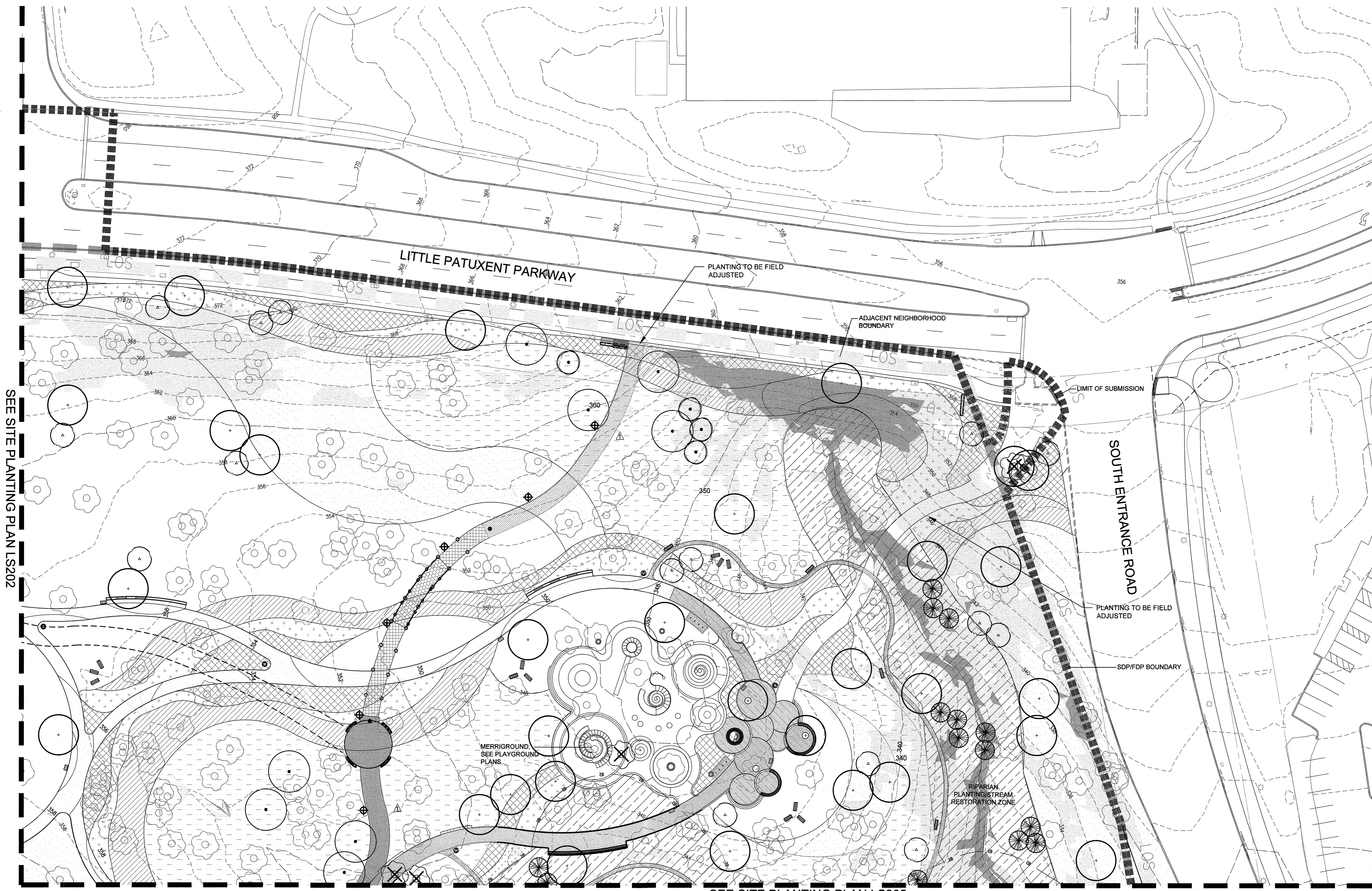
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SITE UNDERSTORY PLANTING PLAN NORTHWEST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE PLANTING PLAN		LS202
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	50 OF 90

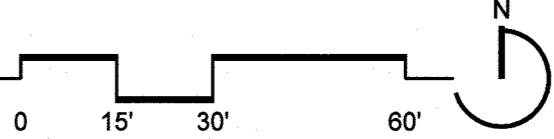


- PLANTING KEY**
- GENERAL PLANTING**
- SOD LAWN
  - NATIVE MEADOW
  - ENHANCED WOODLAND
- FEATURED PLANTING**
- FP ZONE 1
  - FP ZONE 2
  - FP ZONE 3
- PROPOSED PLANTING LEGEND**
- PROPOSED EVERGREEN TREE SEE LS201 FOR SPECIES
  - PROPOSED SHADE TREE SEE LS201 FOR SPECIES
  - PROPOSED ORNAMENTAL TREE SEE LS201 FOR SPECIES
  - RIPARIAN PLANTING/STREAM RESTORATION ZONE; SEE NOTE 8
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - STREAM
  - STREAM BUFFER
  - WETLAND BUFFER
  - WETLAND
  - SLOPES > 15%
  - SLOPES > 25%

- NOTES:**
- REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
  - REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  - FOR MASTER PLANT SCHEDULE, SEE SHEET LS208.
  - REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
  - PROVIDE PERMEABLE WEED BARRIER UNDER BOARDWALK IN AREAS WHERE AIR GAP BETWEEN BOARDWALK AND GROUND IS LESS THAN 8".
  - EXTEND PLANTING UNDERNEATH BOARDWALK IN ALL AREAS WHERE AIR GAP BENEATH BOARDWALK IS GREATER THAN 3".
  - STREAM RESTORATION/RIPARIAN PLANTING TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.

**1 SITE PLANTING PLAN**  
1"=30'

SEE SITE PLANTING PLAN LS205



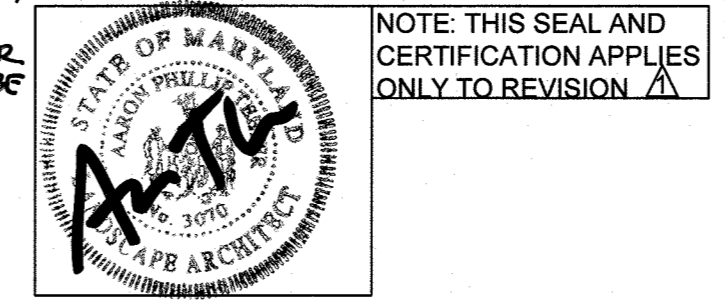
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 3-2-2020  
 Chief, Planning & Land Development: [Signature] Date: 5/12/2020  
 Chief, Development Engineering Division: [Signature] Date: 8-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*see sheet 2 for phases and add'l req for Ph 3-7

CERTIFICATION NOTE: THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDE LINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 293

CERTIFICATION NOTE: I WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN INSPECTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NINA PASH INNER ARBOR TRUST DEVELOPER'S/OWNER'S NAME  
 ZOLNA RUSSEL, P.L.A. D.P.L.

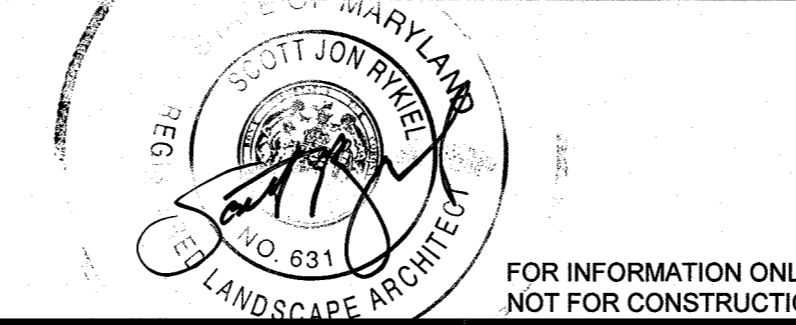


NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

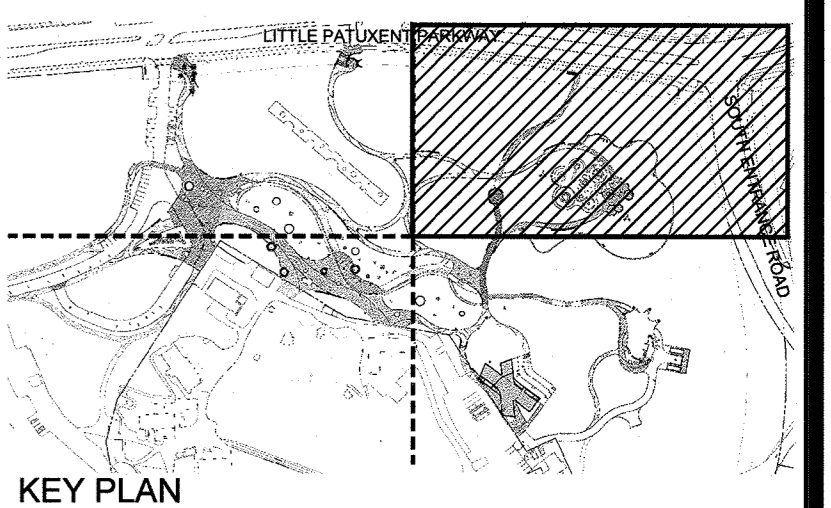


SITE UNDERSTORY PLANTING PLAN NORTHEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

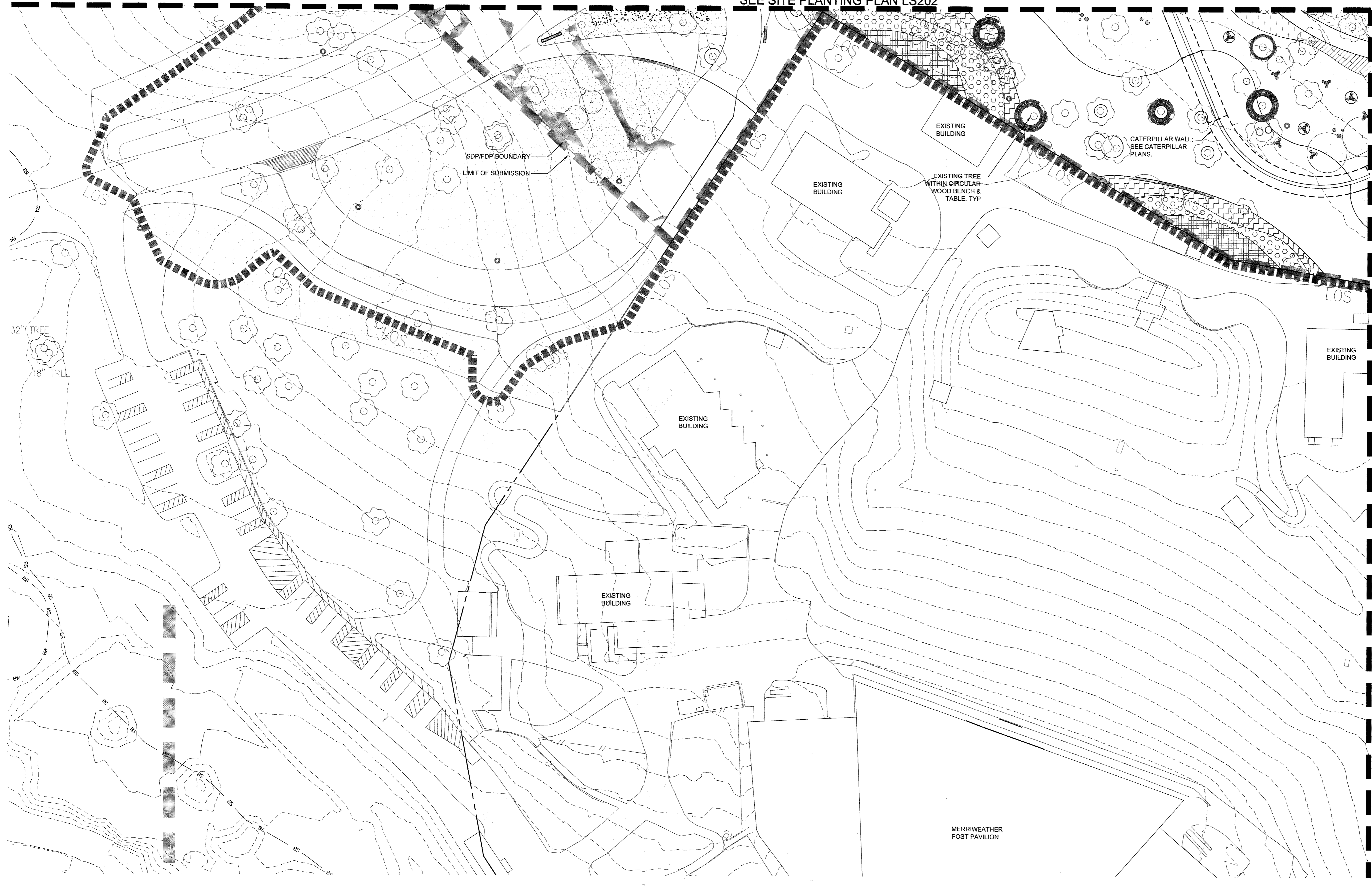
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



SITE PLANTING PLAN		LS203
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	51 OF 90

SEE SITE PLANTING PLAN LS202



- PLANTING KEY**
- GENERAL PLANTING**
- SOD LAWN
  - NATIVE MEADOW
- FEATURED PLANTING**
- FP ZONE 3
  - FP ZONE 4
  - FP ZONE 5
  - FP ZONE 6

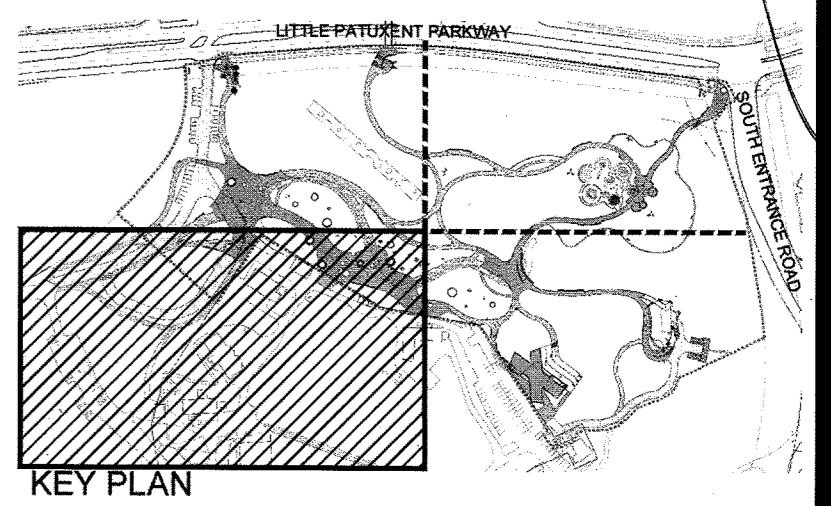
- PROPOSED PLANTING LEGEND**
- PROPOSED SHADE TREE SEE LS201 FOR SPECIES
  - PROPOSED ORNAMENTAL TREE SEE LS201 FOR SPECIES

- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - SLOPES > 15%
  - SLOPES > 25%

**NOTES:**

- REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
- REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
- REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.

1 SITE PLANTING PLAN  
1"=30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Valerie J. Joffe* 9-2-15  
 Chief, Division of Land Development: *Chad E. Clark* 8-25-15  
 Chief, Development Engineering Division: *WSP*

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 11-20-14 #  
 \*See Sh 2 for Pricing and Add'l Required Approvals for Ph 3-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

*Scott Rykiel*  
 SCOTT RYKIEL, RLA 631

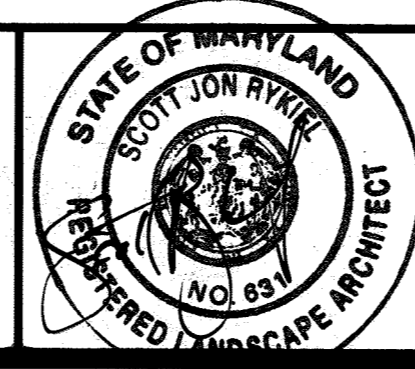
CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Michael McCall* 9/4/15  
 DEVELOPER'S/OWNER'S NAME DATE DEVELOPER'S/OWNER'S NAME

**MAHAN RYKIEL ASSOCIATES INC**  
 The Shieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

SITE UNDERSTORY PLANTING PLAN MIDWEST  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE PLANTING PLAN		LS204
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	52 OF 90

SEE SITE PLANTING PLAN LS203

SEE SITE PLANTING PLAN LS204



**PLANTING KEY**

- GENERAL PLANTING**
- SOD LAWN
  - NATIVE MEADOW
  - ENHANCED WOODLAND
- FEATURED PLANTING**
- FP ZONE 1
  - FP ZONE 2
  - FP ZONE 3
  - FP ZONE 4
  - FP ZONE 5
  - FP ZONE 6

**PROPOSED PLANTING LEGEND**

- PROPOSED EVERGREEN TREE  
SEE SHEET LS201 FOR SPECIES
- PROPOSED SHADE TREE  
SEE SHEET LS201 FOR SPECIES
- PROPOSED ORNAMENTAL TREE  
SEE SHEET LS201 FOR SPECIES
- RIPARIAN PLANTING/STREAM RESTORATION ZONE; SEE NOTE 8

**SITE LEGEND**

- EXISTING TREE TO REMAIN
- EXISTING TOPOGRAPHY
- LIMIT OF SUBMISSION
- SDP/FDP BOUNDARY
- ADJACENT NEIGHBORHOOD BOUNDARY
- STREAM
- STREAM BUFFER
- WETLAND BUFFER
- WETLAND
- SLOPES > 15%
- SLOPES > 25%

- NOTES:**
1. REFER TO MATERIALS PLANS (LS101-LS104) FOR PATHWAYS AND SITE FEATURE CALLOUTS.
  2. REFER TO SHEET LS201 (SITE TREE PLANTING SPECIES AND LOCATIONS) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
  3. FOR MASTER PLANT SCHEDULE, SEE SHEET LS206.
  4. REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
  5. PROVIDE PERMEABLE WEED BARRIER UNDER BOARDWALK IN AREAS WHERE AIR GAP BETWEEN BOARDWALK AND GROUND IS LESS THAN 6".
  7. EXTEND PLANTING UNDERNEATH BOARDWALK IN ALL AREAS WHERE AIR GAP BENEATH BOARDWALK IS GREATER THAN 3".
  8. STREAM RESTORATION/RIPARIAN PLANTING TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.

**1 SITE PLANTING PLAN**  
1"=30'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3-2-2020  
 Chief, Planning & Land Development: *[Signature]* Date: 2/12/2020  
 Chief, Development Engineering Division: *[Signature]* Date: 8-22-19

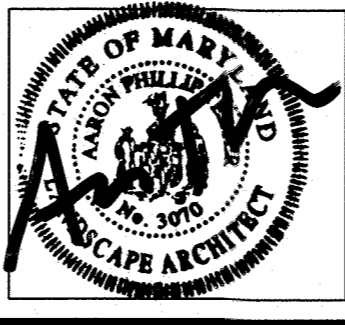
APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sheet 2 for shading and actual requirements approved for Ph3-7

**CERTIFICATION NOTE**  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 1460/ FOLIO 223

**CERTIFICATION NOTE**  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 10-124, OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT, UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR WARRANTY OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*[Signature]*  
 NINA BASU, INNER ARBOR TRUST DEVELOPERS/OWNERS NAME

*[Signature]*  
 ZOLUKA RUSSELL, P.L.A. 091



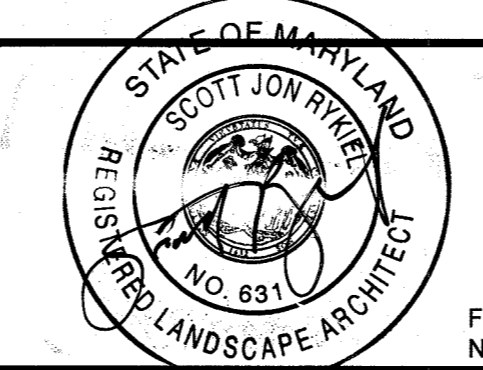
NOTE: THIS SEAL AND CERTIFICATION APPLIES ONLY TO REVISION.

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Staff Silver Building, 800 Wynan Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	EDL	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES			
1/8/16	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS			

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

REVISED SITE UNDERSTORY PLANTING PLAN MIDEAST  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

**KEY PLAN**

REVISED SITE PLANTING PLAN	LS205	
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	53 OF 90

1. Feature Planting - Zone 1 (31,965 SF / .73 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS (40%)				
233	Azalea 'Glacier'	#3	Cont.	21" Spd., Matched White Flower
233	Prunus laurocerasus 'Otto Luyken'	#3	Cont.	21" Spd., Matched Full
233	Rhododendron 'Purpleum Elegans'	42" Spd.	B&B	Full, Matched Purple Flower
233	Viburnum dentatum 'Blue Muffin'	#5	Cont.	30" Spd., Matched
PERENNIALS / GROUNDCOVERS / GRASSES (60%)				
12%	Actaea racemosa	#1	Cont.	18" O.C.
12%	Iris versicolor	#1	Cont.	18" O.C.
12%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
12%	Pachysandra procumbens	#1	Cont.	18" O.C.
12%	Polystichum acrostichoides	#1	Cont.	18" O.C.

2. Feature Planting - Zone 2 (22,380 SF / .51 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS (40%)				
229	Azalea 'Tradition'	#3	Cont.	21" Spd., Matched Light Pink Flower
229	Fothergilla gardenii	#3	Cont.	24" Ht., Matched White Flower
229	Ita virginica 'Sprich'	#3	Cont.	36" O.C.
229	Leucothoe fontanesiana	#5	Cont.	24" Spd., 36" O.C.
229	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched 36" O.C.
PERENNIALS / GROUNDCOVERS / GRASSES (60%)				
7%	Astilbe 'Deutschland'	#1	Cont.	18" O.C.
8%	Athyrium felix-femina	#1	Cont.	18" O.C.
7%	Brunnera macrophylla	#1	Cont.	18" O.C.
7%	Epimedium versicolor	#1	Cont.	12" O.C.
7%	Euphorbia amygdaloides	#1	Cont.	18" O.C.
8%	Geranium 'Brookside'	#1	Cont.	18" O.C.
7%	Galium odoratum	#1	Cont.	12" O.C.
8%	Tiarella cordifolia	#1	Cont.	18" O.C.

3. Feature Planting - Zone 3 (21,863 SF / .5 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
PERENNIALS / GROUNDCOVERS / GRASSES (100%)				
9%	Allium 'Purple Sensation'	DN1	Bulb	6" O.C.
9%	Brunnera macrophylla	#1	Cont.	18" O.C.
9%	Epimedium versicolor	#1	Cont.	12" O.C.
9%	Geranium 'Brookside'	#1	Cont.	18" O.C.
9%	Galium odoratum	#1	Cont.	12" O.C.
9%	Heuchera x 'Silver Scrolls'	#1	Cont.	18" O.C.
9%	Narcissus 'Carlton'	DN1	Bulb	6" O.C.
9%	Narcissus 'Geranium'	DN1	Bulb	6" O.C., White Flower
9%	Pachysandra procumbens	#1	Cont.	12" O.C.
9%	Tiarella cordifolia	#1	Cont.	18" O.C.

7. Enhanced Woodland (71,259 SF / 1.63 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS (60%)				
346	Azalea 'Ruth May'	#3	Cont.	18" Spd., Matched Pink Flower
346	Ceanothus americanus	#3	Cont.	18" Spd., Matched New Jersey Tea
346	Clethra alnifolia 'Sixteen Candles'	18" Ht.	#3	24" Spd., Matched Summersweet
346	Hamamelis virginiana	5' Ht.	B&B	Matched
346	Ita virginica 'Sprich'	#3	Cont.	36" O.C.
346	Illex verticillata 'Red Sprite'	18" Ht.	#3	18" Spd., Matched 10% Male
346	Rhododendron 'Catswilde Album'	42" Spd.	B&B	Full, White Flower
346	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched 36" O.C.
PERENNIALS / GROUNDCOVERS / GRASSES (40%)				
2%	Asarum canadense	#SP4	Cont.	12" O.C.
2%	Aster cordifolius	#SP4	Cont.	18" O.C.
5%	Athyrium felix-femina	#1	Cont.	18" O.C.
3%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
3%	Mertensia virginica	#SP4	Cont.	18" O.C.
4%	Osmonda cinnamomeum	#1	Cont.	18" O.C.
2%	Phlox stolonifera	#1	Cont.	18" O.C.
7%	Pachysandra procumbens	#1	Cont.	18" O.C.
4%	Podophyllum peltatum	#SP4	Cont.	18" O.C.
5%	Polystichum acrostichoides	#1	Cont.	18" O.C.
3%	Tiarella cordifolia	#1	Cont.	18" O.C.

4. Feature Planting - Zone 4 (4,891 SF / .11 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS (40%)				
44	Prunus laurocerasus 'Otto Luyken'	#5	Cont.	24" Spd., Matched 36" O.C.
44	Rhododendron 'PJM Elite'	#7	Cont.	30" Ht., Matched Lavender Flower, 54" O.C.
25	Aesculus parviflora	42" Spd.	B&B	72" O.C., Matched
PERENNIALS / GROUNDCOVERS / GRASSES (60%)				
10%	Matteuccia struthiopteris	#1	Cont.	18" O.C.
20%	Osmunda cinnamomeum	#1	Cont.	18" O.C.
30%	Pachysandra procumbens	#1	Cont.	12" O.C.

5. Feature Planting - Zone 5 (2,416 SF / .05 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
SHRUBS (40%)				
29	Fothergilla gardenii	#3	Cont.	24" Ht., Matched White Flower
29	Hydrangea quercifolia 'Sike's Dwarf'	#3	Cont.	18" Spd., Matched 36" O.C.
29	Ita virginica 'Sprich'	#3	Cont.	36" O.C.
29	Leucothoe fontanesiana	#5	Cont.	24" Spd., 36" O.C.
29	Rhus aromatica 'Gro Low'	#3	Cont.	18" Spd., Matched 36" O.C.
29	Skimmia japonica	#5	Cont.	24" Spd., Matched 36" O.C.
PERENNIALS / GROUNDCOVERS / GRASSES (60%)				
9%	Anemone x hybrida	#1	Cont.	18" O.C.
8%	Astilbe	#1	Cont.	18" O.C.
9%	Epimedium versicolor	#1	Cont.	12" O.C.
8%	Euphorbia amygdaloides	#1	Cont.	18" O.C.
9%	Geranium 'Brookside'	#1	Cont.	18" O.C.
8%	Iris versicolor	#1	Cont.	18" O.C.
9%	Polystichum acrostichoides	#1	Cont.	18" O.C.

6. Feature Planting - Zone 6 (4,720 SF / .1 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
PERENNIALS / GROUNDCOVERS / GRASSES (100%)				
12%	Brunnera macrophylla	#1	Cont.	18" O.C.
13%	Athyrium felix-femina	#1	Cont.	18" O.C.
12%	Carex oshimensis	#1	Cont.	18" O.C.
13%	Galanthus nivalis	DN1	BULB	6" O.C.
12%	Helleborus 'Brandywine'	#1	Cont.	18" O.C.
13%	Heuchera x 'Silver Scrolls'	#1	Cont.	18" O.C.
12%	Pachysandra procumbens	#1	Cont.	18" O.C.
13%	Pulmonaria longifolia	#1	Cont.	18" O.C.

8. Native Meadow (56,451 SF / 1.29 AC.)				
KEY	BOTANICAL/COMMON NAME	SIZE	ROOT	COMMENTS
PERENNIALS / GROUNDCOVERS / GRASSES (100%)				
30.0	Agrostis perennans		SEED	APB
20.0	Chasmanthium laxum		SEED	MD or NC
15.0	Elymus virginicus		SEED	PA preferred
30.0	Panicum anceps		SEED	MD or VA
1.0	Aster cordifolius		SEED	PA
1.0	Aster divaricatus		SEED	PA
1.0	Liatris graminifolia		SEED	NC
1.0	Liatris squarrosa		SEED	VA
0.3	Pycnanthemum incanum		SEED	MD
0.7	Solidago odora		SEED	PA

**LANDSCAPE NOTES:**

1. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.125 OF HOWARD COUNTY CODE, THE ALTERNATIVE COMPLIANCE PROVISIONS OF THE LANDSCAPE MANUAL, AND THE LANDSCAPE GUIDELINES FOUND WITHIN THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES.

2. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE FINAL RELEASE OF THE LANDSCAPE PLAN UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

3. THE OWNER, TENANTS, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

Apply at 20 lbs. / acre with a cover crop of grain rye at 30 lbs. / acre.

**GENERAL NOTES:**

- REFER TO SHEET LS201 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS507 FOR ALL PLANTING DETAILS.
- STREAM RESTORATION/RIPARIAN PLANTING TO BE PROVIDED BY BIOHABITATS IN FUTURE REDLINE SUBMISSION, WITH THE EXCEPTION OF TREES SHOWN ON LS201.
- PLANT QUANTITIES ARE ESTIMATES ONLY. FINAL PLANT QUANTITIES MAY SHIFT BASED ON FINAL PLANTING DESIGN.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 9-8-15  
 Chief, Division of Land Development: [Signature] Date: 9-2-15  
 Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: 11-20-14  
 \* See Sh 2 for Phasing & Add'l Required Approval for Ph 3-7

CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.

[Signature] SCOTT RYKIEL, RLA 831

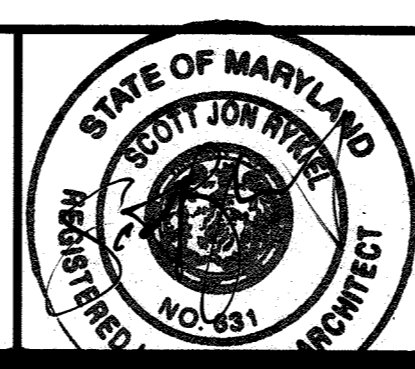
CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] DATE: 9/4/15 DEVELOPER'S/OWNER'S NAME

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY  
 NOT FOR CONSTRUCTION

SITE UNDERSTORY PLANT SCHEDULE  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

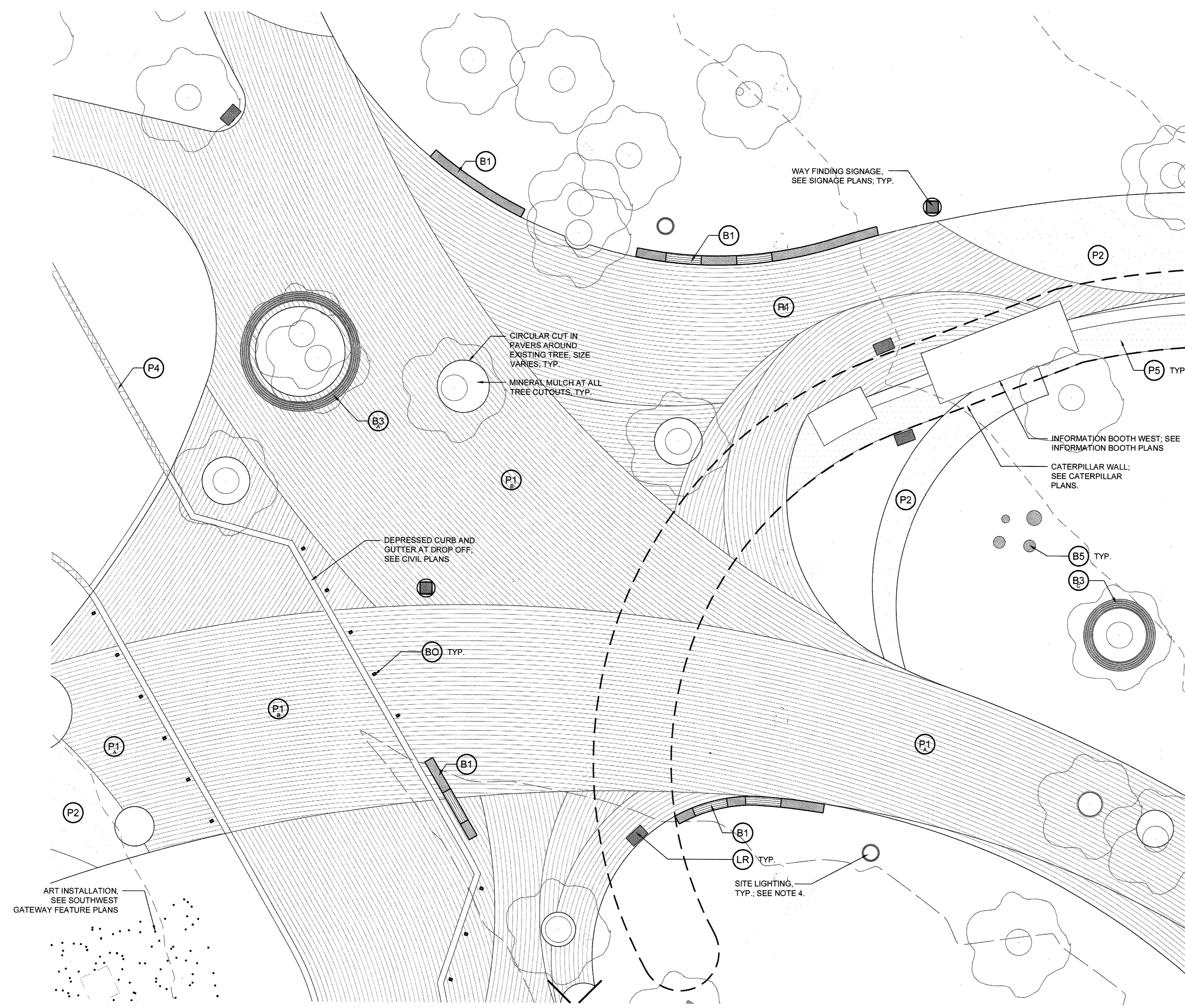
SITE PLANT SCHEDULE		LS206
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	54 OF 90

**NOTES:**

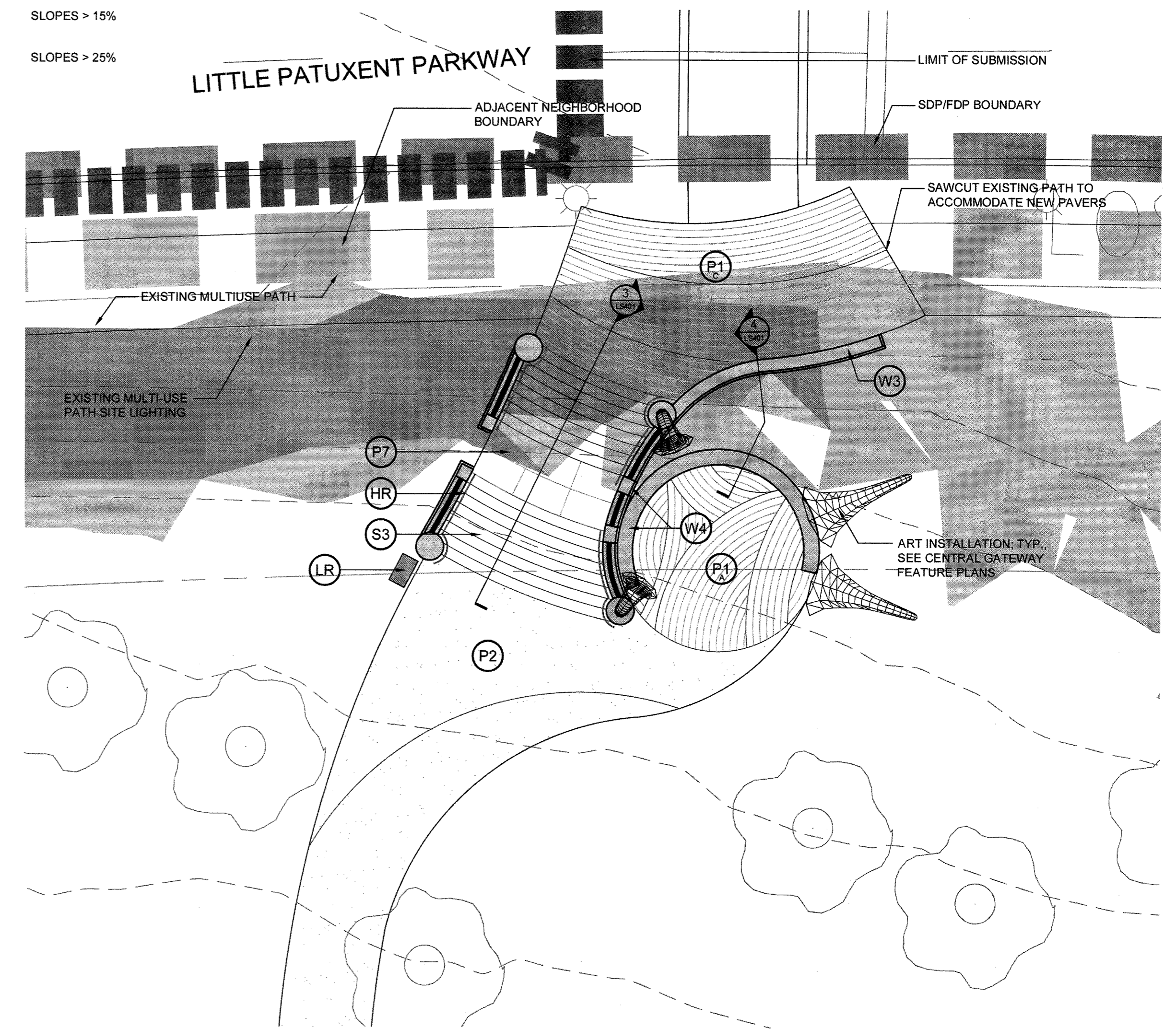
- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

- HARDSCAPE KEY**
- PAVING**
- P1 (1) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 (1) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P1 (7) DECORATIVE PEDESTRIAN PAVERS; LIGHT DUTY SECTION ON CONCRETE BASE AT GATEWAY ENTRANCES ONLY
  - P2 (2) FLEXIBLE PERVIOUS PAVING; LIGHT DUTY SECTION
  - P4 (3) COBBLE STONE EDGE
  - P5 (4) STONE DUST
  - P7 (3) GRANITE PAVERS
- WALLS/STAIRS**
- W3 (4) STONE VENEER RETAINING WALL (AT CENTRAL GATEWAY)
  - W4 (2) STONE VENEER RETAINING AND SEAT WALL W/ STONE CAP AT CENTRAL GATEWAY LANDING
  - S3 (3) GRANITE BLOCK STEPS (AT CENTRAL GATEWAY)
- SITE AMENITIES**
- B1 (3) BENCH 1 - CUSTOM SEAT WALL
  - B3 (3) BENCH 3 - CIRCULAR WOOD BENCH A - 20' DIAMETER C - 12' DIAMETER
  - B5 (4) BENCH 5 - CUSTOM STUMP SEATING
  - BO (1) BOLLARD
  - HR (3) HANDRAIL AT STAIRS
  - LR (2) LITTER/RECYCLING RECEPTACLE

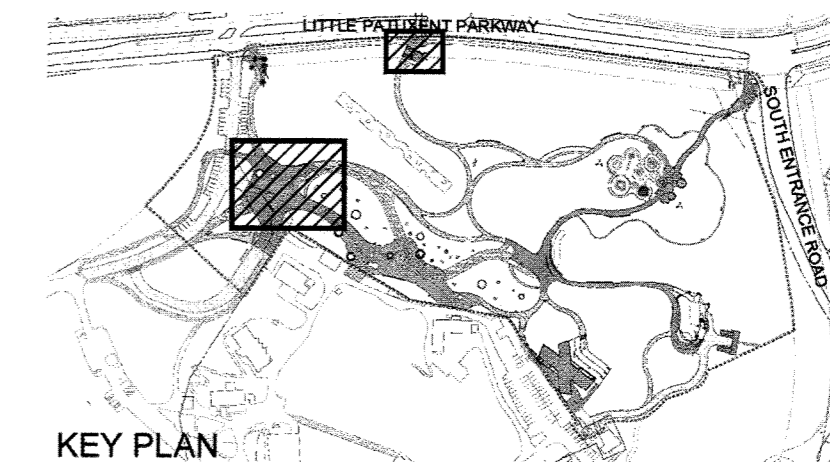
- SITE LEGEND**
- EXISTING TREE TO REMAIN
  - EXISTING TOPOGRAPHY
  - LIMIT OF SUBMISSION
  - SDP/FDP BOUNDARY
  - ADJACENT NEIGHBORHOOD BOUNDARY
  - SLOPES > 15%
  - SLOPES > 25%



**1 ENLARGEMENT PLAN A**  
1"=10'



**2 ENLARGEMENT PLAN B**  
1"=10'

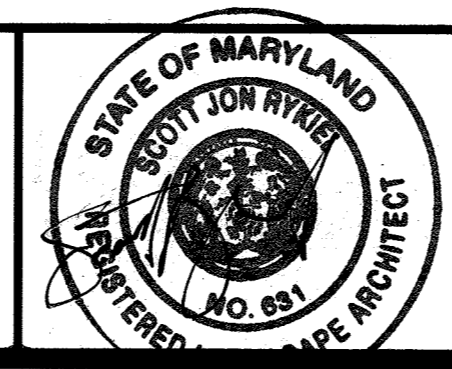


APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *William Miller* Date: 4-8-15  
 Chief, Division of Land Development: *Kevin P. Smith* Date: 9-2-15  
 Chief, Development Engineering Division: *John P. Smith* Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 30, 2014  
 \* See Sheet 2 for Paving and Add'l Required Approvals for Phases 3-7.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

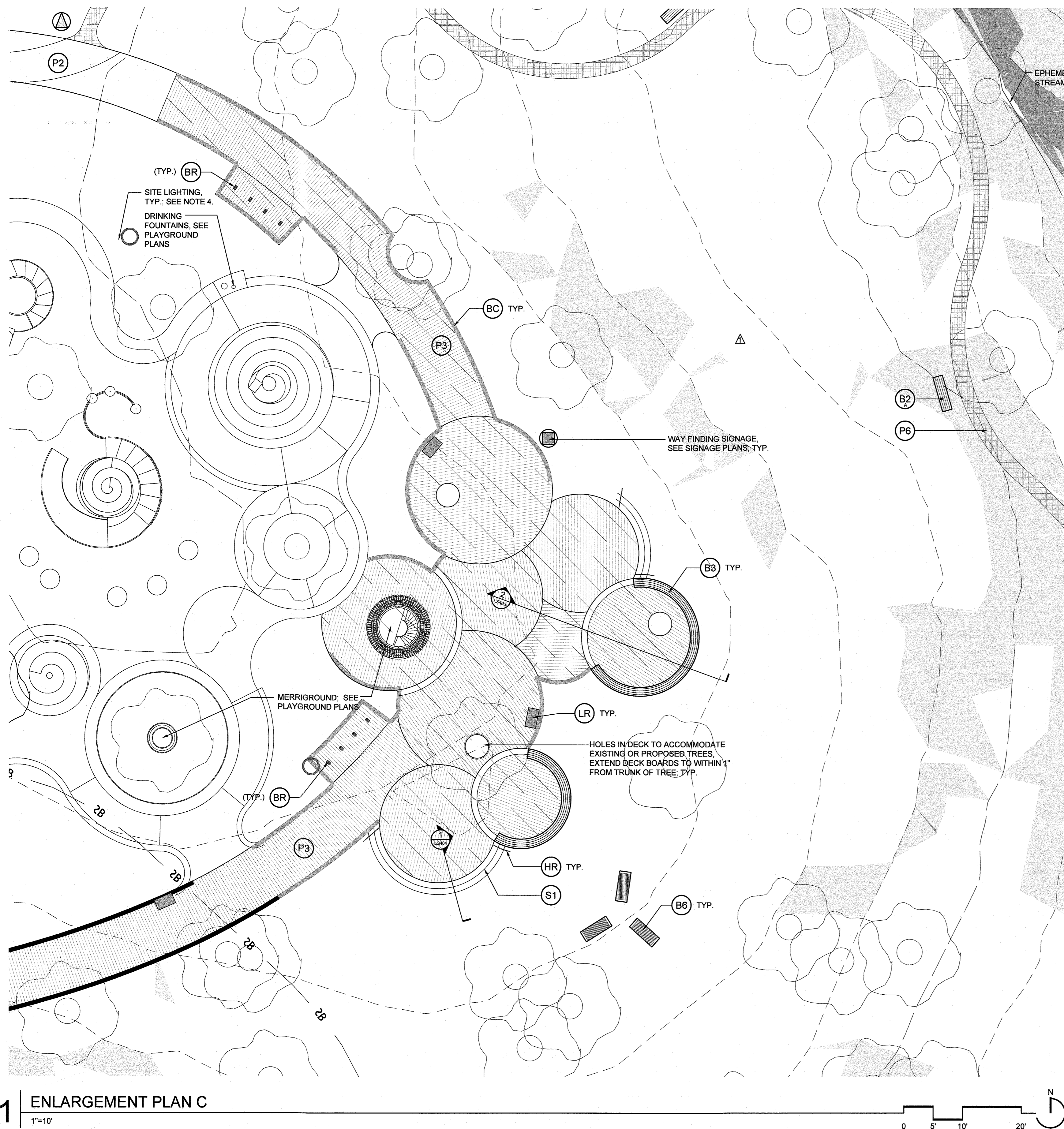


FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

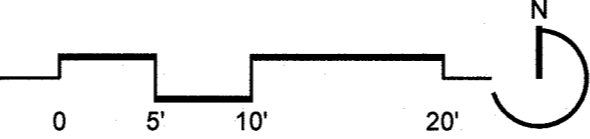
**SITE ENLARGEMENT PLANS**  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE ENLARGEMENT PLANS		LS301
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	55 OF 90



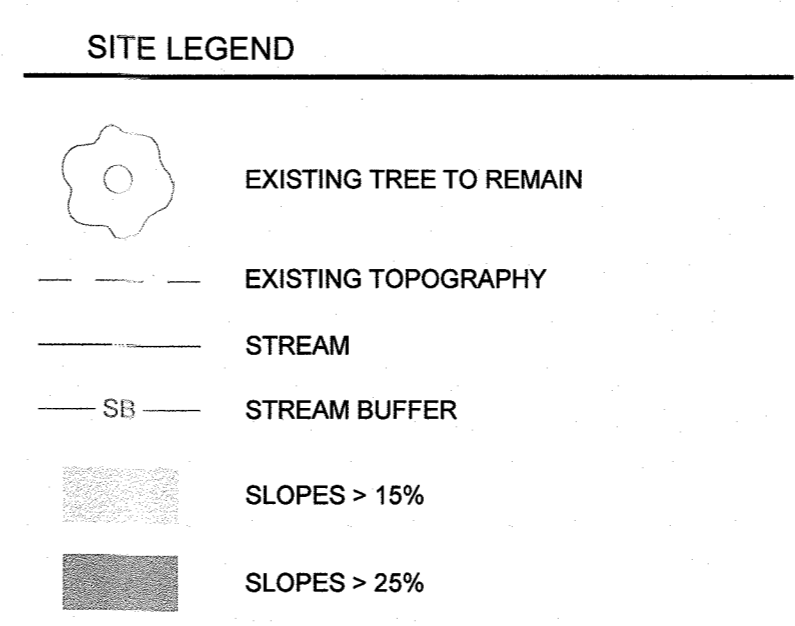


1 ENLARGEMENT PLAN C  
1"=10'



**NOTES:**

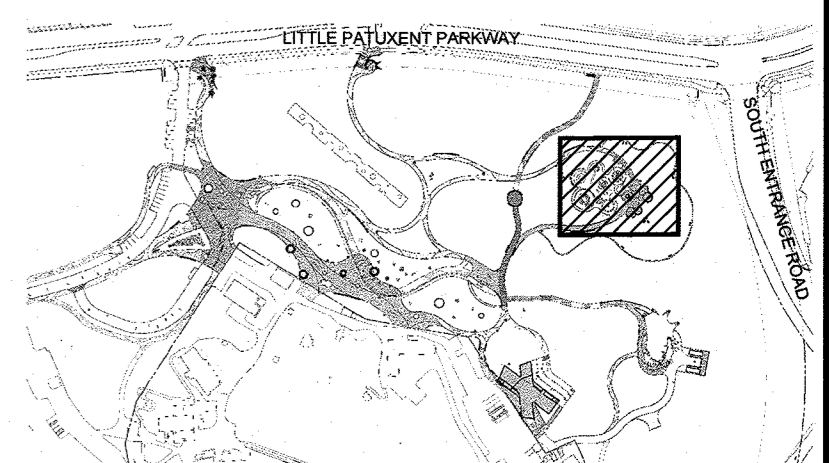
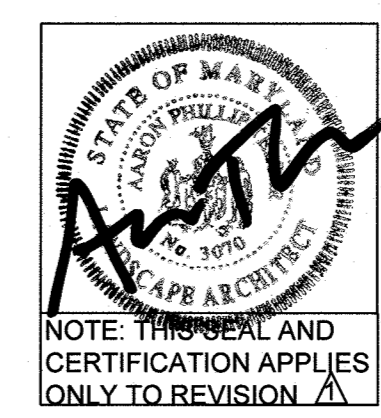
- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS FOR COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC. SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.



**HARDSCAPE KEY**

PAVING		SITE AMENITIES	
P2	2 (LS301)	BR	4 (LS306)
P3	5,6 (LS301)	B2	2 (LS304)
P6		B3	3 (LS304)
WALLS/STAIRS		B6	3 (LS306)
S1	1 (LS304)	BC	1 (LS302)
		GR	1 (LS302)
		HR	2 (LS303)
		LR	2 (LS306)

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



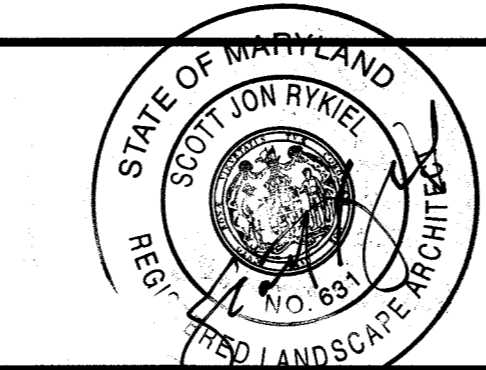
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 3-2-2020  
 Chief, Division of Land Development: *[Signature]* Date: 3/2/2020  
 Chief, Development Engineering Division: *[Signature]* Date: 8-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sheet 2 for phasing and info on appl. Approvals req'd for Ph 2-7

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APP'R.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES		EDL

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY:  
 NOT FOR CONSTRUCTION

SITE ENLARGEMENT PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE ENLARGEMENT PLANS		LS302
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	56 OF 90

**SITE LEGEND**

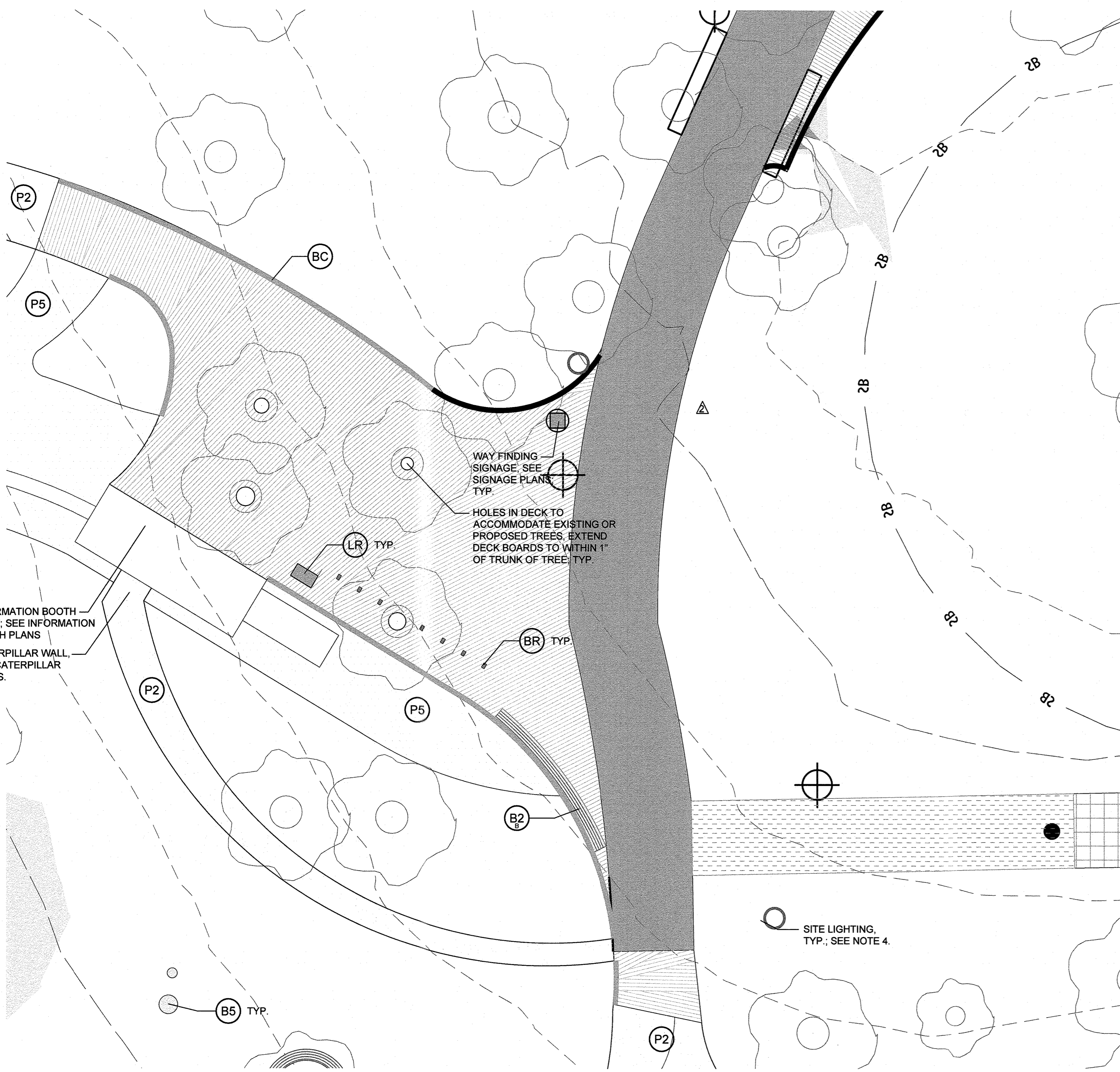
- PERMEABLE PAVEMENT
- BOARDWALK WITH CURB
- BOARDWALK WITH RAILING
- ASPHALT PATH
- EXISTING TREE TO REMAIN
- LIMIT OF SUBMISSION
- SDP/FDP BOUNDARY
- EXISTING TOPOGRAPHY
- SB STREAM BUFFER
- SLOPES > 15%
- SLOPES > 25%

**NOTES:**

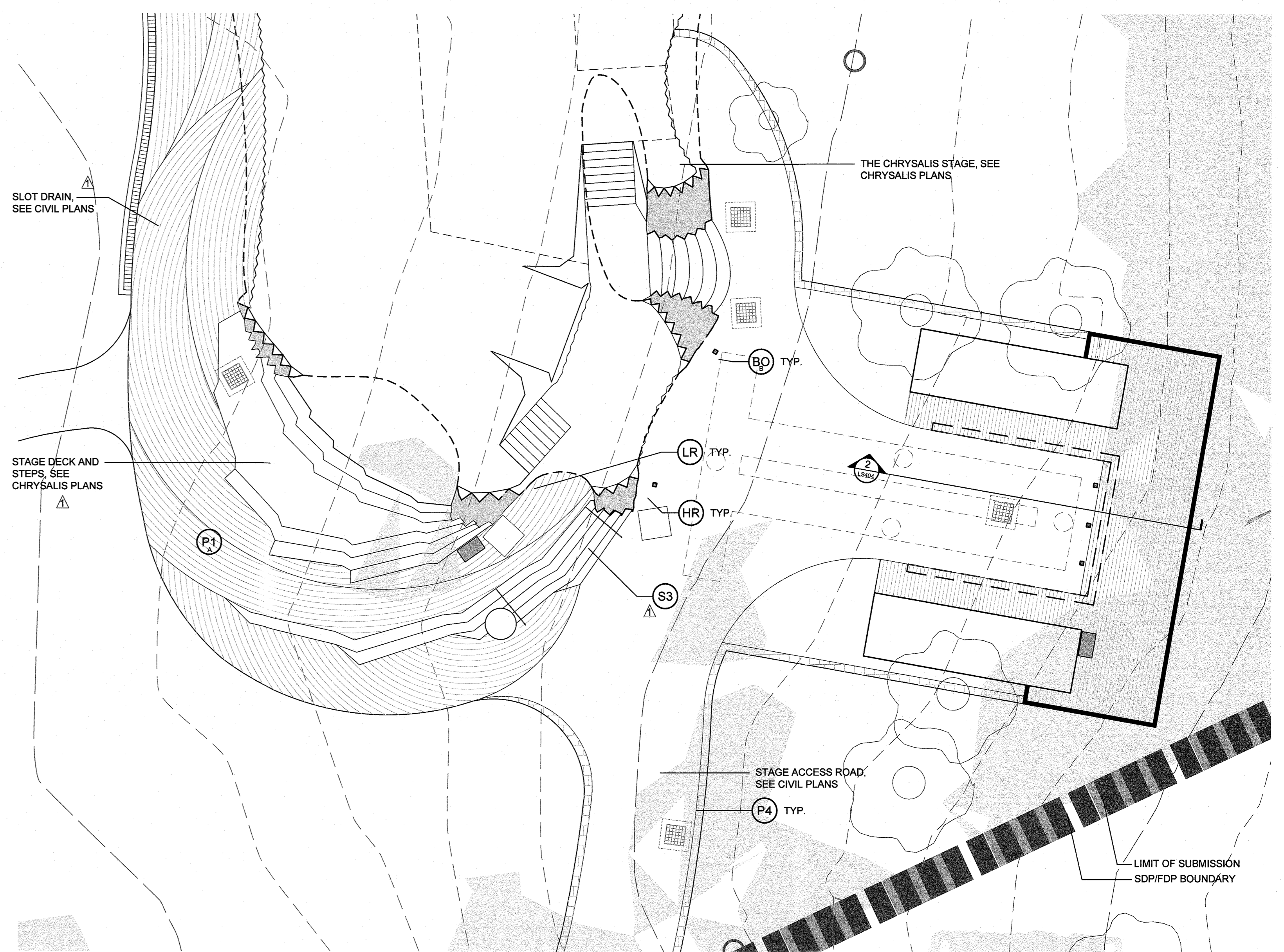
- REFER TO SHEET LS105 FOR PAVING AREAS AND MATERIALS.
- REFER TO SHEET LS200 (SITE TREE PLANTING PLAN) FOR PROPOSED TREE PLANTING SPECIES AND LOCATIONS.
- REFER TO SHEET LS202-LS205 FOR ALL OTHER PROPOSED PLANTING.
- SITE LIGHTING SHOWN ON PLANS COORDINATION ONLY. REFER TO LIGHTING PLANS FOR FINAL LOCATION, FIXTURE SELECTION, MEP REQUIREMENTS, ETC.
- SEE LIGHTING PLANS FOR ALL LIGHTING INCLUDING: SIGHT LIGHTING, PATH LIGHTING, LIGHTING ASSOCIATED WITH CATERPILLAR, ART FEATURES, SITE SEATING AMENITIES, BUILDINGS, SIGNAGE, AND ALL OTHER STRUCTURES.

**HARDSCAPE KEY**

- PAVING**
- P1 1 (LS300) DECORATIVE PERMEABLE PAVERS; PEDESTRIAN LIGHT DUTY SECTION
  - P1 1 (LS300) DECORATIVE PERMEABLE PAVERS; VEHICULAR HEAVY DUTY SECTION
  - P2 2 (LS300) PERVIOUS FLEXIBLE PAVING; LIGHT DUTY SECTION
  - P3 5.6 (LS300) BOARDWALK, IPE WOOD DECKING
  - P4 3 (LS300) COBBLE STONE EDGE
  - P5 4 (LS300) STONE DUST
- WALLS/STAIRS**
- S3 1 (LS300) CONCRETE STEPS (AT CHRYSALIS) WITH STAINLESS STEEL HANDRAIL
- SITE AMENITIES**
- B1 3 (LS300) BENCH 1 - CUSTOM SEAT WALL
  - B2 2 (LS300) BENCH 2A - LONG CUSTOM WOOD & METAL BENCH (LENGTH VARIES)
  - B5 4 (LS300) BENCH 5 - CUSTOM STUMP SEATING
  - B0 1 (LS300) BOLLARD B @ CHRYSALIS
  - BC 1 (LS300) BOARDWALK CURB
  - GR 2 (LS300) GUARDRAIL AT BOARDWALK
  - HR 2 (LS300) HANDRAIL AT STAIRS
  - LR 2 (LS300) LITTER/RECYCLING RECEPTACLE



**1 ENLARGEMENT PLAN D**  
1"=10'

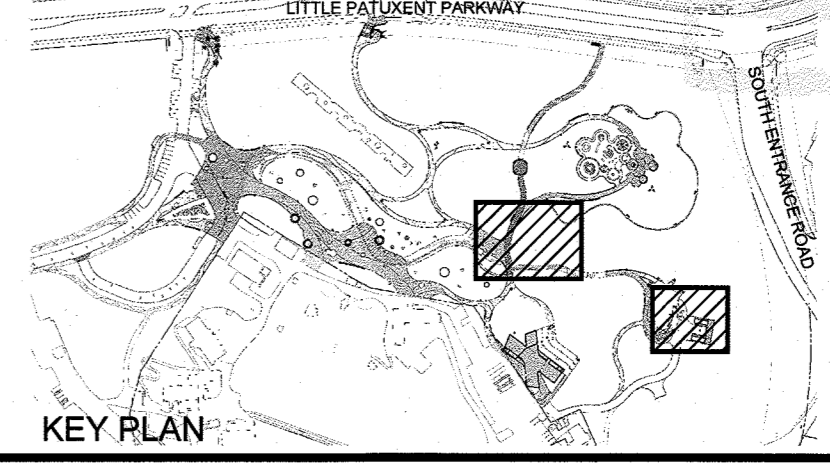
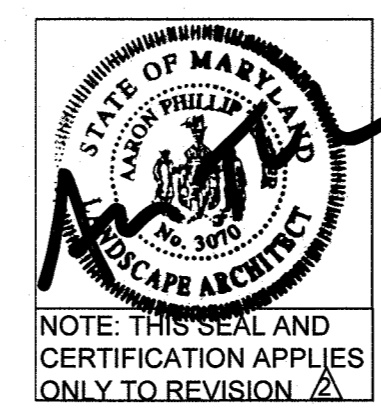


**2 ENLARGEMENT PLAN E**  
1"=10'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Ang Gao* Date: 3-2-2020  
 Chief Professional Land Development Engineer: *Michael McColl* Date: 3/2/2020  
 Chief, Development Engineering Division: *Michael McColl* Date: 3-22-19

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: Nov. 20, 2014  
 See Sh. 2 for phasing and add req'd approvals for Ph 3-7

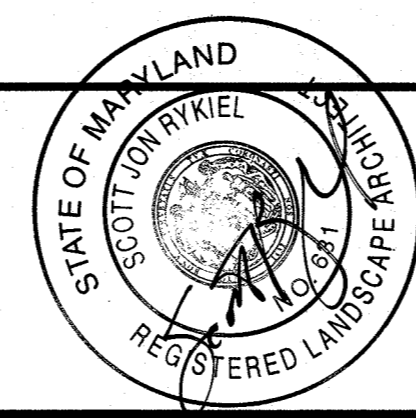
NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.



**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 900 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.
04/08/2019	REVISIONS ASSOCIATED WITH PHASE 2A PATH CHANGES	EDL	
1/8/18	UPDATED CHRYSALIS BUILDING AND PAVER EXTENTS, ADDED NEW ADA PATH TO HC PARKING, REPLACED GRANITE BLOCK STEPS WITH CONCRETE STEPS		

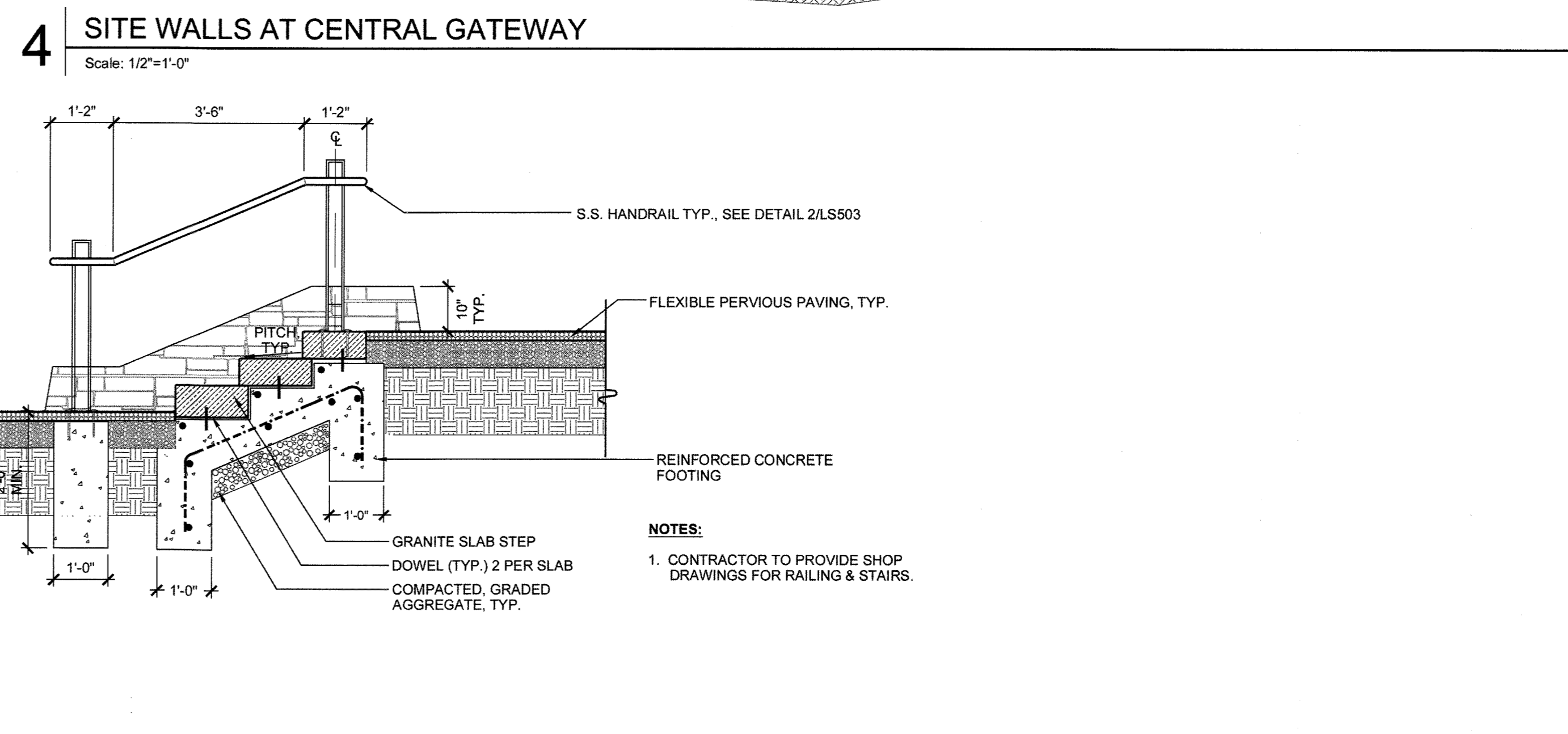
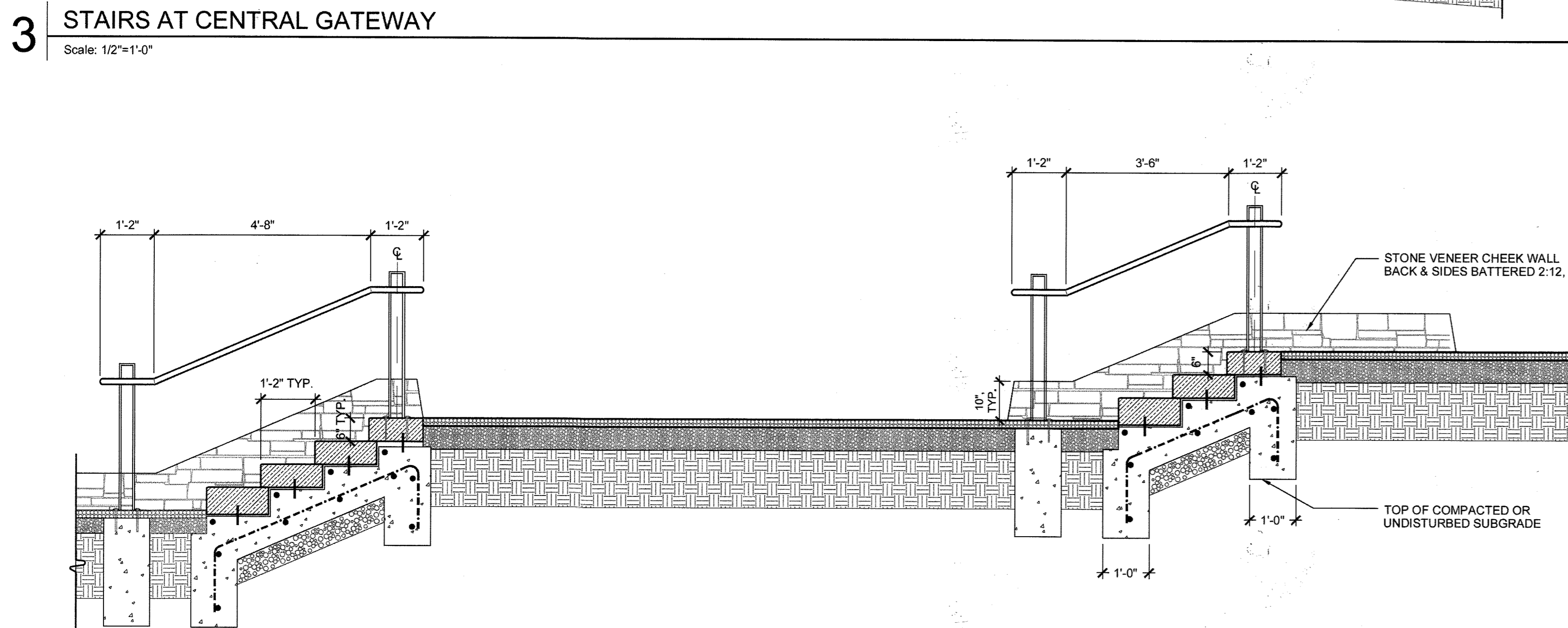
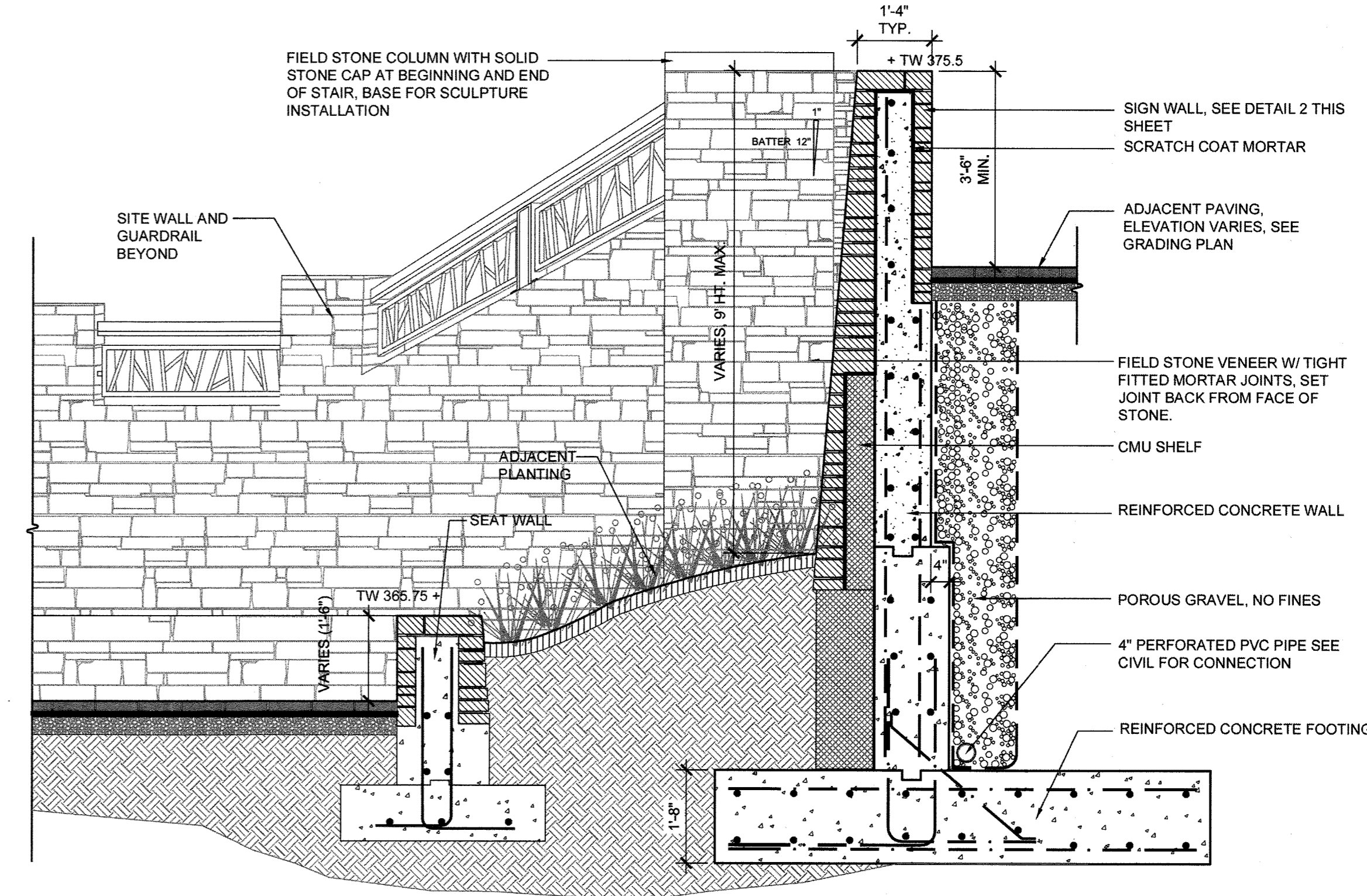
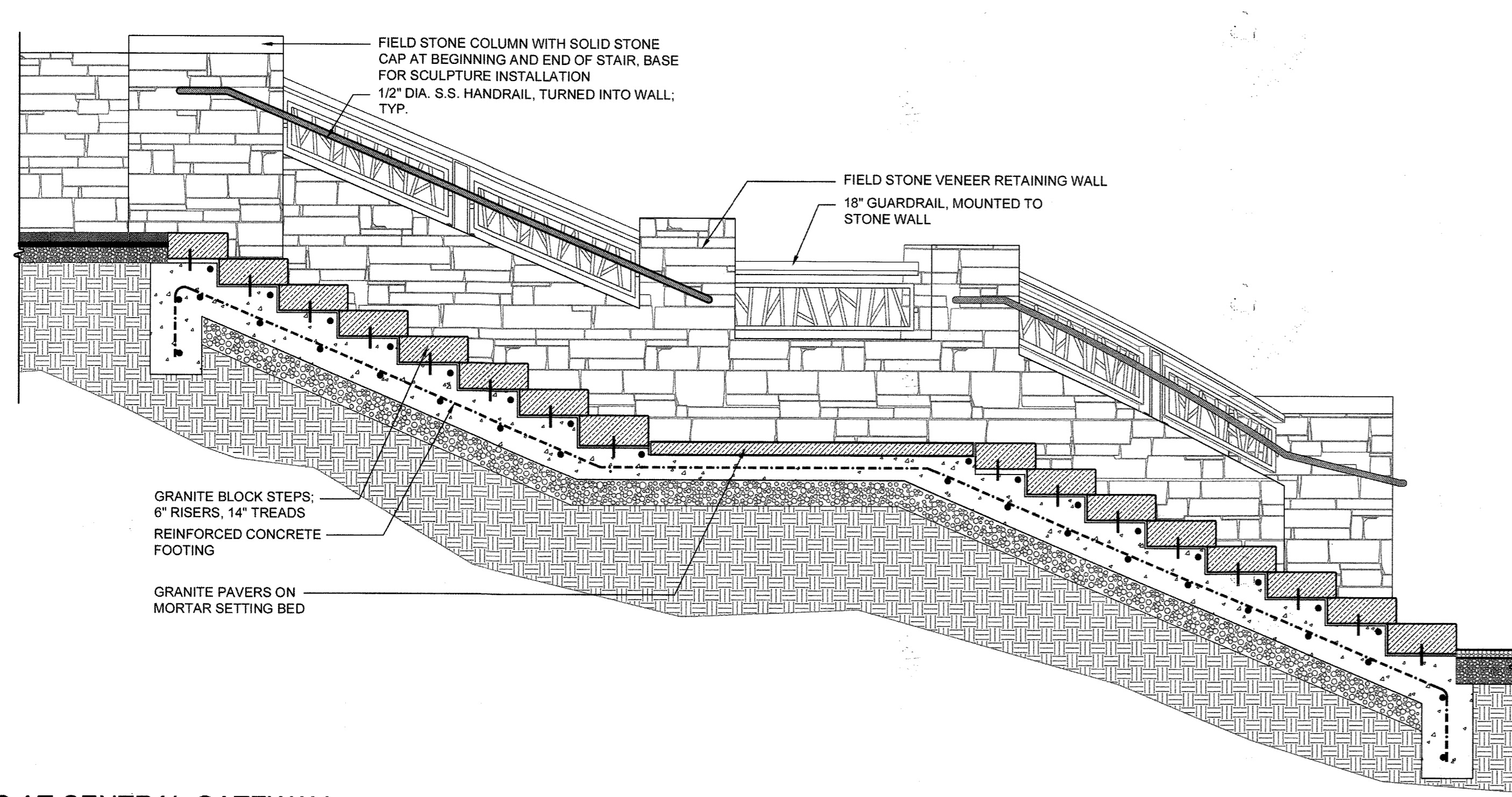
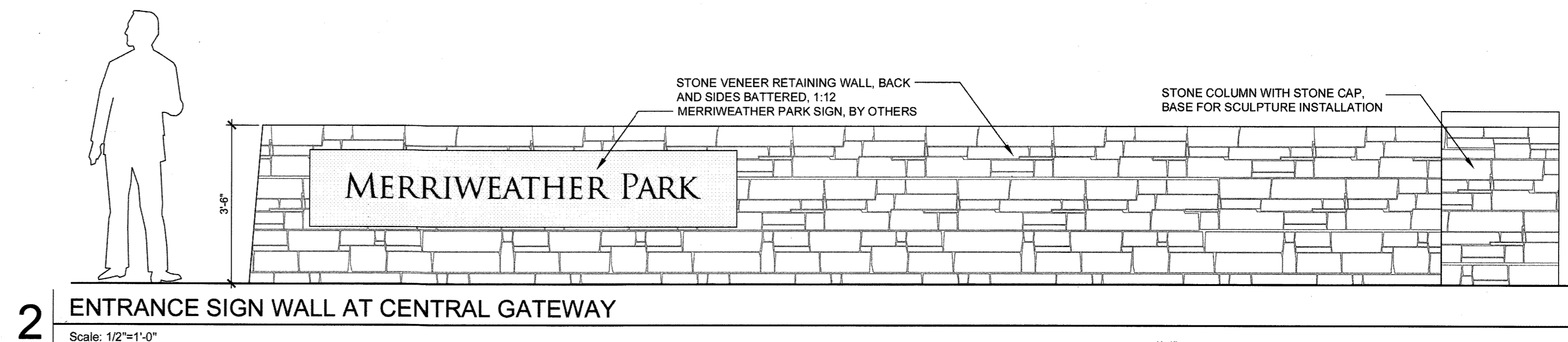
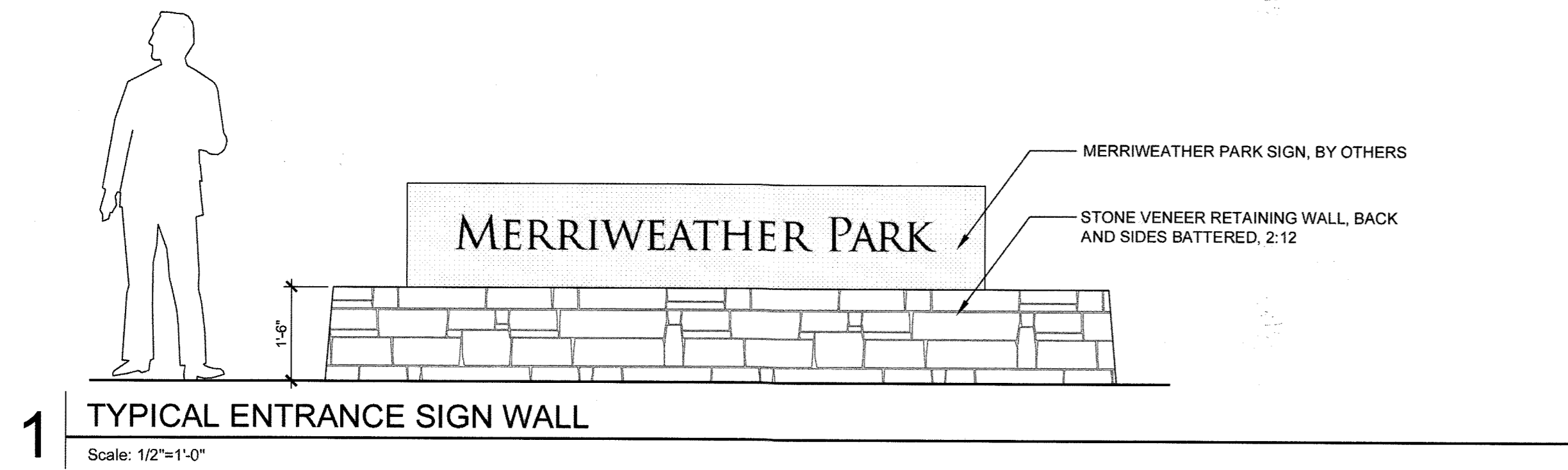
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

REVISED SITE ENLARGEMENT PLANS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

REVISED SITE ENLARGEMENT PLANS		LS303
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	57 OF 90



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *[Signature]* Date: 9-2-15  
Chief, Division of Land Development: *[Signature]* Date: 8-25-15  
Chief, Development Engineering Division: *[Signature]* Date:

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014\*  
\*See Sit 2 for Phasing and Add'l Required Approvals for Phases 3-7

**MAHAN RYKIEL ASSOCIATES INC**  
The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

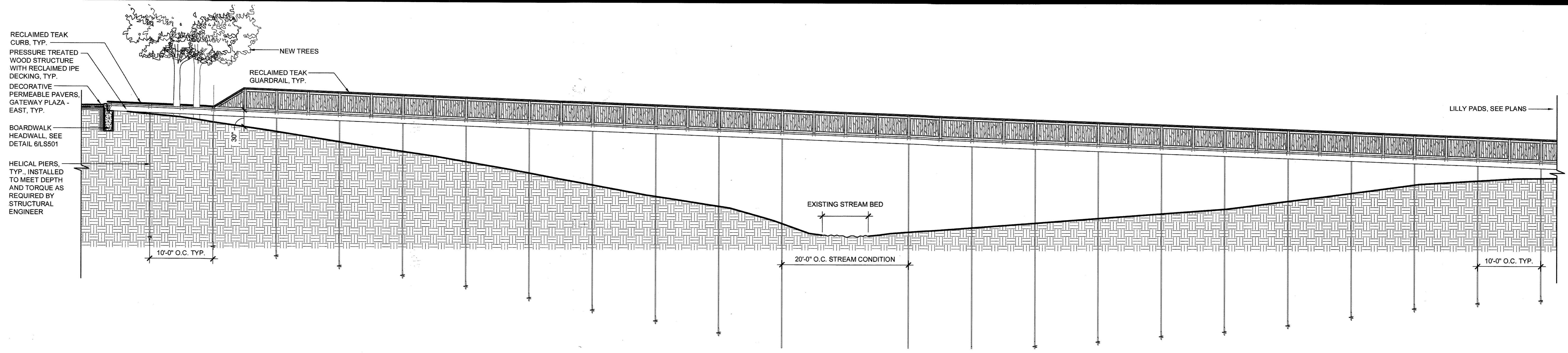
PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029



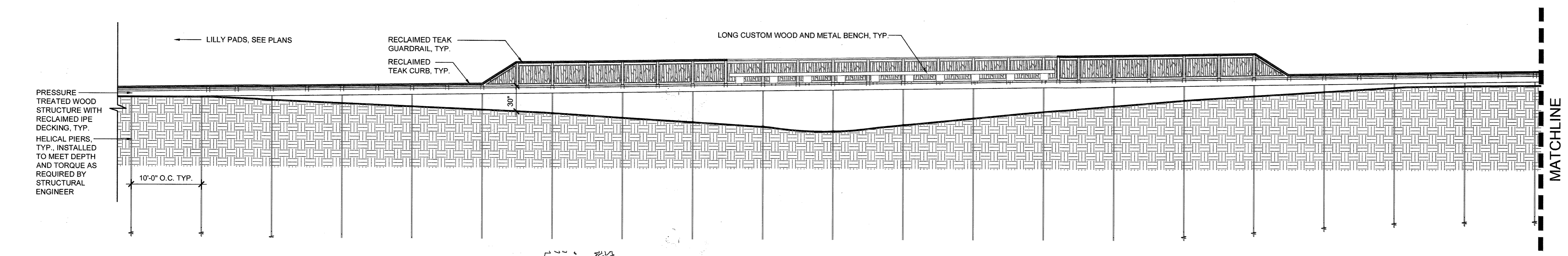
FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SITE SECTION-ELEVATIONS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

SITE SECTION-ELEVATIONS		LS401
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	58 OF 90



**1 BOARDWALK SECTION/ELEVATION - GATEWAY TO LILY PADS**  
SCALE: 1/8"=1'-0"



**2 BOARDWALK SECTION/ELEVATION - LILY PADS TO TICKET BOOTH**  
SCALE: 1/8"=1'-0"

APPROVED, HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-2-15  
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15  
 Chief, Development Engineering Division: *[Signature]* Date: 9-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sh 2 for Phasing & Add'l Required Approvals for Ph 3-7

**MAHAN RYKIEL ASSOCIATES INC**  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

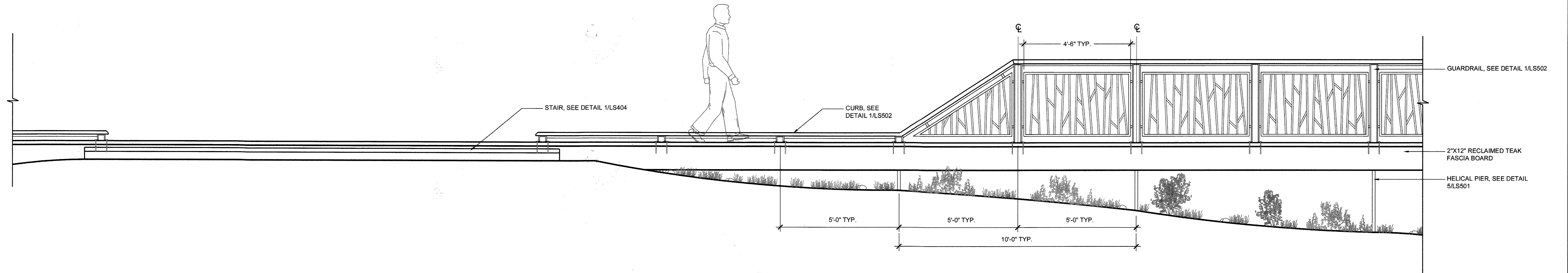
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



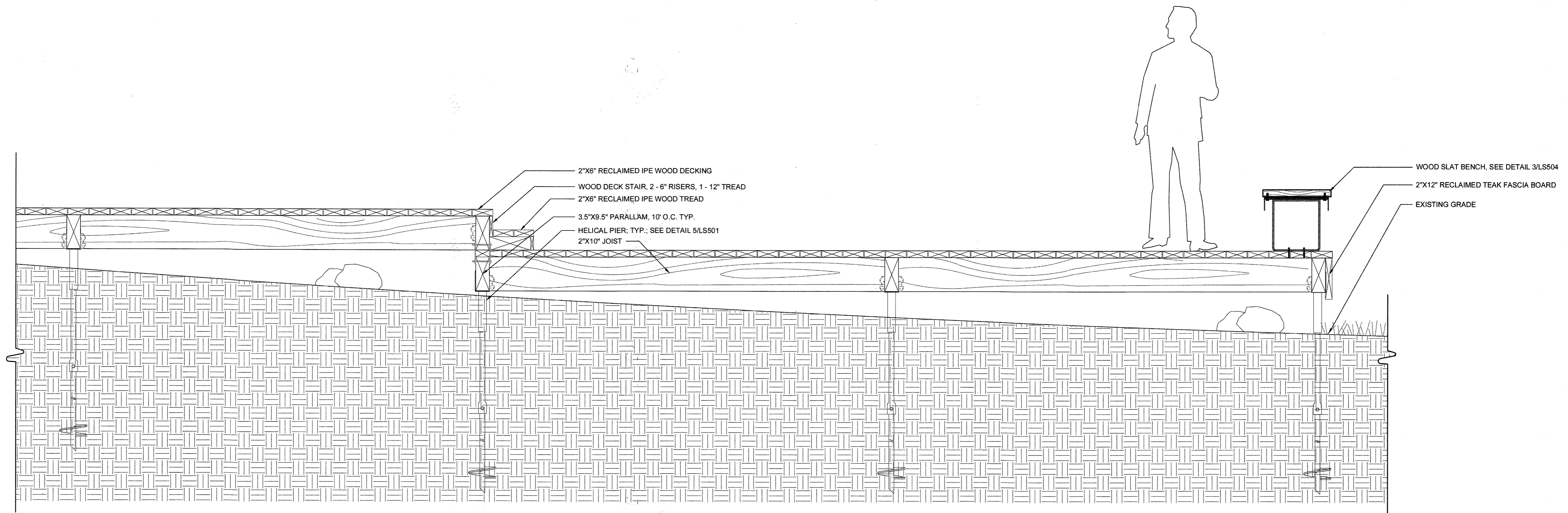
FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

SITE SECTION-ELEVATIONS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SITE SECTION-ELEVATIONS		LS402
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	59 OF 90



**1** TYPICAL BOARDWALK ELEVATION  
SCALE: 1/2"=1'-0"



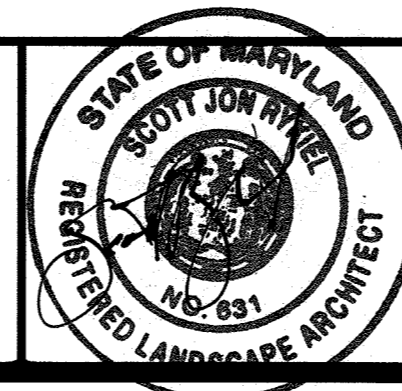
**2** LILYPAD SECTION A  
SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Michael McCall* 9-25-15  
 Director Date  
*Christina* 9-25-15  
 Chief, Division of Land Development Date  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Site 2 for Phasing & Add'l Required Approvals for Phases 3-7

**MAHAN RYKIEL**  
 ASSOCIATES INC  
 The Stieff Silver Building, 800 Wyman Park Drive.,  
 Suite 100, Baltimore, MD 21211 410.235.6001

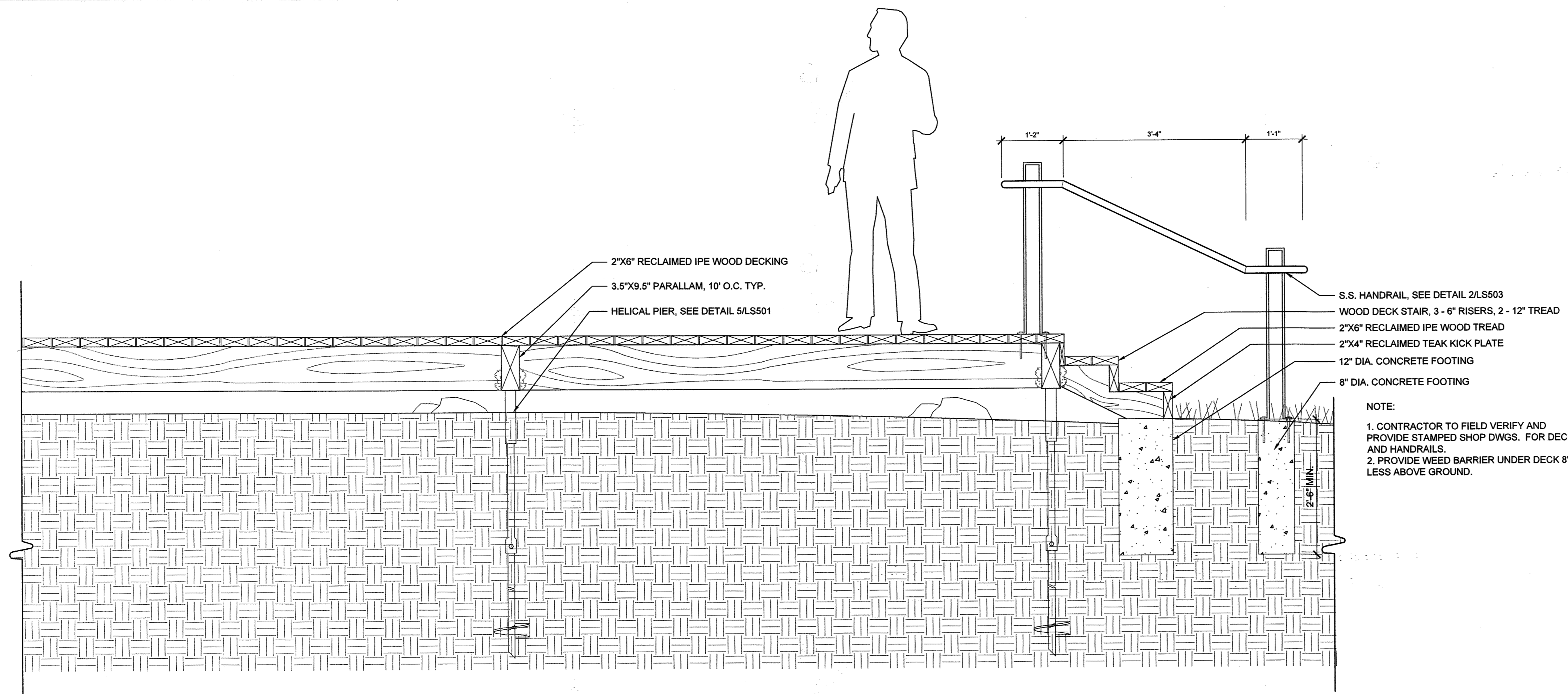
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

SITE SECTION-ELEVATIONS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE SECTION-ELEVATIONS		LS403
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	60 OF 90



NOTE:  
 1. CONTRACTOR TO FIELD VERIFY AND PROVIDE STAMPED SHOP DWGS. FOR DECK AND HANDRAILS.  
 2. PROVIDE WEED BARRIER UNDER DECK 8" OR LESS ABOVE GROUND.

**1** LILY PAD SECTION B  
 SCALE: 3/4"=1'-0"

DELETED

**2** DECK AT CHRYSALIS LOADING DOCK  
 SCALE: 1/2"=1'-0"

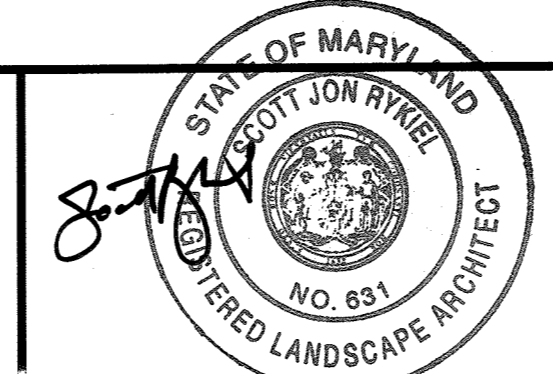
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Walter J. Jee* 2-11-16  
 Chief, Division of Land Development: *Ketela D. ...* 2-11-16  
 Chief, Development Engineering Division: *...* 2-4-16

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Sheet 2 for Phasing and add'l required approvals for Phs 3-7

**MAHAN RYKIEL**  
 ASSOCIATES INC  
 The Stieff Silver Building, 900 Wyman Park Drive.,  
 Suite 100, Baltimore, MD 21211 410.235.6001

1/8/16	DATE	DELETED DECK	REVISION	DV	ADD'D

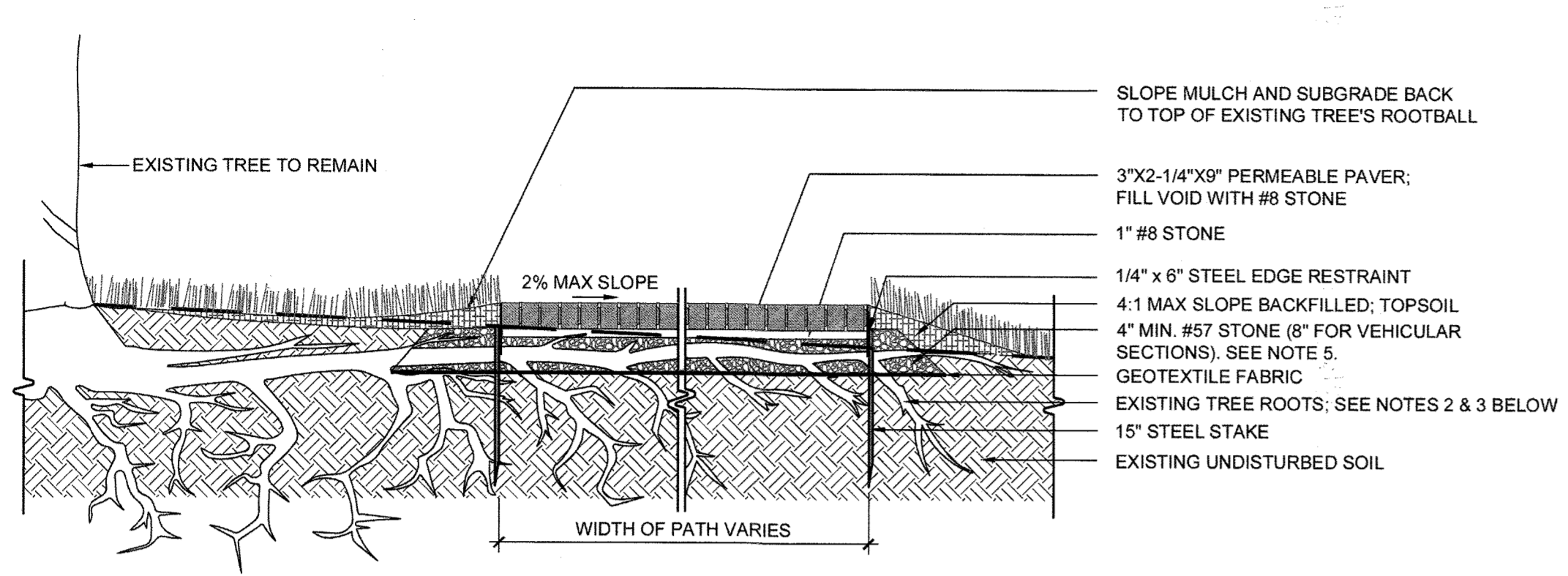
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

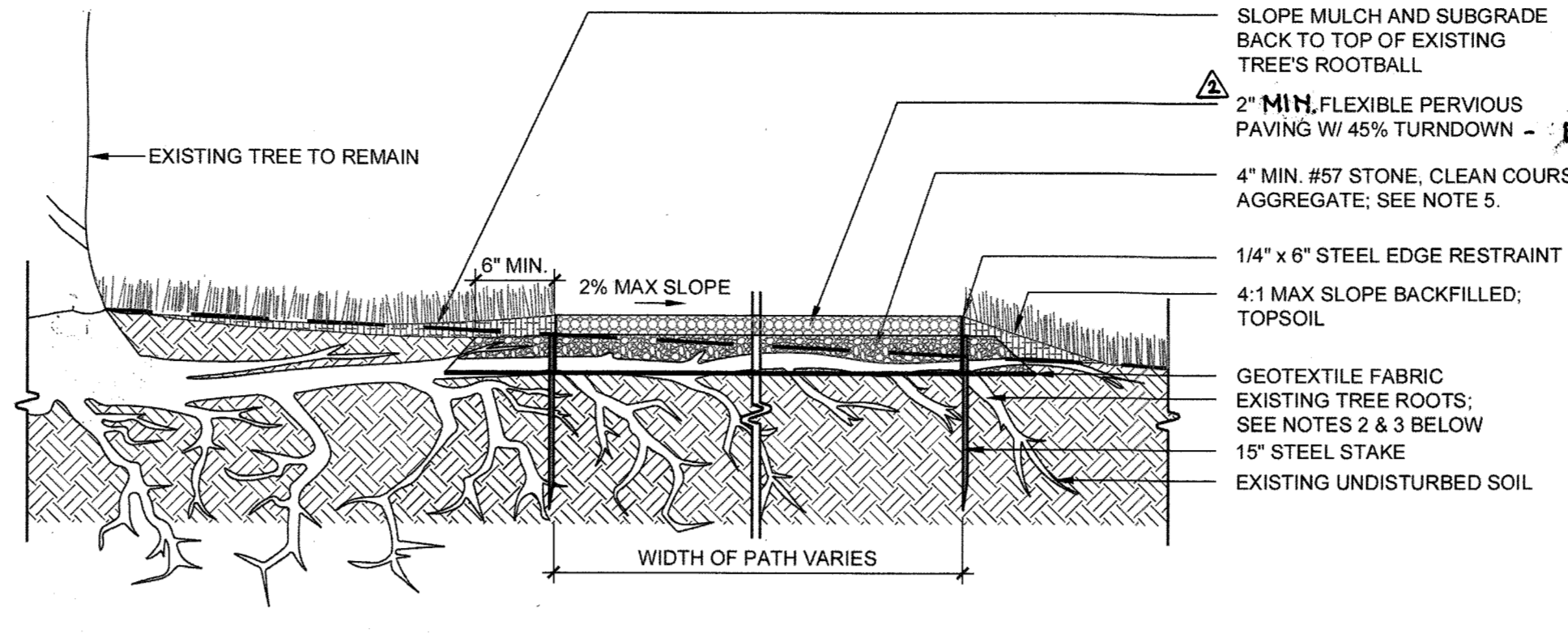
REVISED SITE SECTION-ELEVATIONS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED SITE SECTION-ELEVATIONS		LS404
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP -- GRID	SHEET
JAN., 2016	36 - 01	61 OF 90



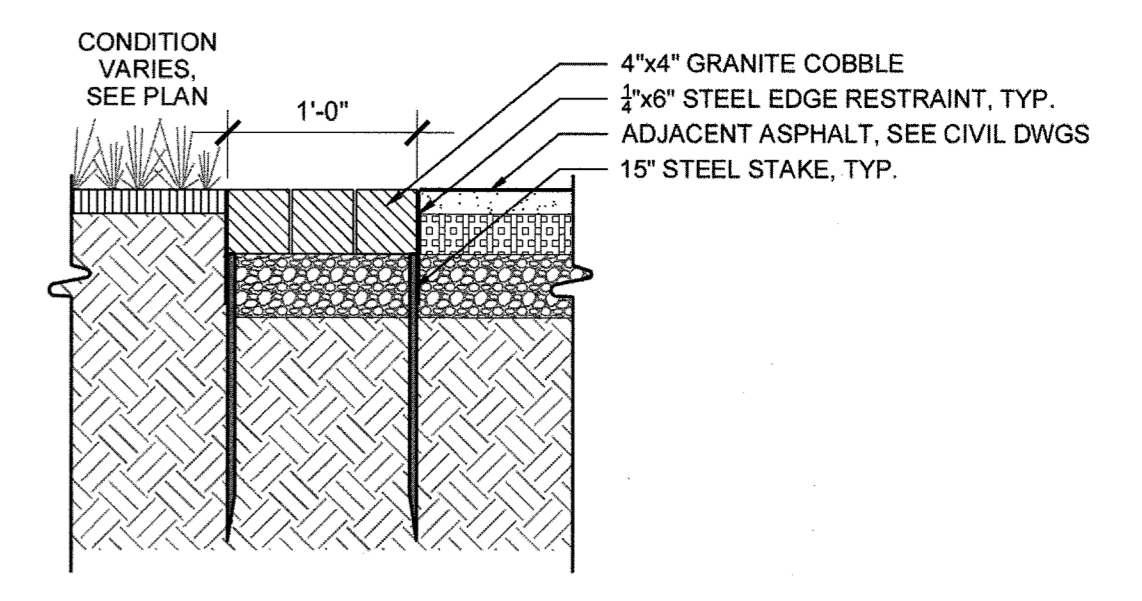
- NOTES:**
1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
  2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
  3. FIELD VERIFY STAKE LOCATIONS TO AVOID MAJOR ROOTS.
  4. REFER TO SHEET LS105 FOR PAVEMENT SELECTION.
  5. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
  6. THE PERMEABLE PAVING USED AT SYMPHONY WOODS IS PLACED MAINLY ABOVE THE EXISTING TREE ROOTS ON A MINIMUM 4" (UP TO 12") AGGREGATE BASE. THE PAVING SURFACE, JOINT TREATMENT, AND AGGREGATE BASE ARE DESIGNED TO FILTER RAIN WATER THROUGH THEM INTO THE EXISTING SOIL LIMITING OR ELIMINATING ROOT INTRUSION INTO THE PAVING SURFACE. ALL PAVING SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
  7. AN IMPERMEABLE LINING WILL BE INCORPORATED INTO THE PAVING SECTION OF ANY IMPERMEABLE PAVEMENT WITHIN 10' OF THE BUILDING FOUNDATION. THIS LINING WILL BE INSTALLED BETWEEN THE GRAVEL SUBBASE AND THE EXISTING SUBGRADE AND WILL WRAP UP ALONG THE BUILDING EDGE.

**1 PERMEABLE PAVERS**  
SCALE: 3/4"=1'-0"

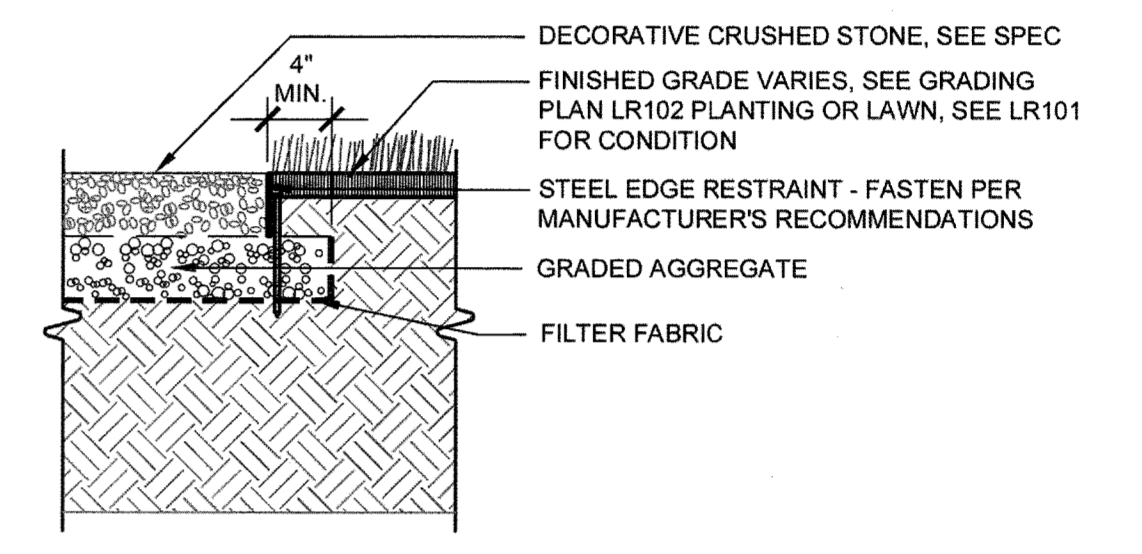


- NOTES:**
1. INSTALL EDGE RESTRAINT PER MANUFACTURER'S GUIDELINES.
  2. USE AIR SPADE TO REMOVE SOIL BETWEEN TREE ROOTS.
  3. FIELD VERIFY STAKE LOCATIONS TO AVOID MAJOR ROOTS.
  4. REFER TO SHEET LS105 FOR PAVING MATERIAL SELECTION (SHEET 4G).
  5. GRAVEL SUBBASE TO BE INCREASED TO 12" WHERE TREE ROOTS ARE NOT LOCATED.
  6. SINCE FLEXI-PROCESS PRODUCTS ARE NON-CRACKING, TRIP AND FALL LIABILITIES THAT ARE NORMALLY CAUSED BY SHEERING OR ROOT INTRUSION ARE VASTLY REDUCED, IF NOT COMPLETELY ELIMINATED, FLEXI-PAVE SURFACES ARE ERGONOMIC AND EXCEED ADA GUIDELINES.
  7. AN IMPERMEABLE LINING WILL BE INCORPORATED INTO THE PAVING SECTION OF ANY IMPERMEABLE PAVEMENT WITHIN 10' OF THE BUILDING FOUNDATION. THIS LINING WILL BE INSTALLED BETWEEN THE GRAVEL SUBBASE AND THE EXISTING SUBGRADE AND WILL WRAP UP ALONG THE BUILDING EDGE.
- 3. PAVING THICKNESS TO BE INCREASED TO 4" WHERE TREE ROOTS ARE NOT LOCATED. FOR P1A AREAS ONLY.**
- 9. FOR SITE MATERIALS PLAN REFER TO SHEET LS104 (SHEET 4D).**

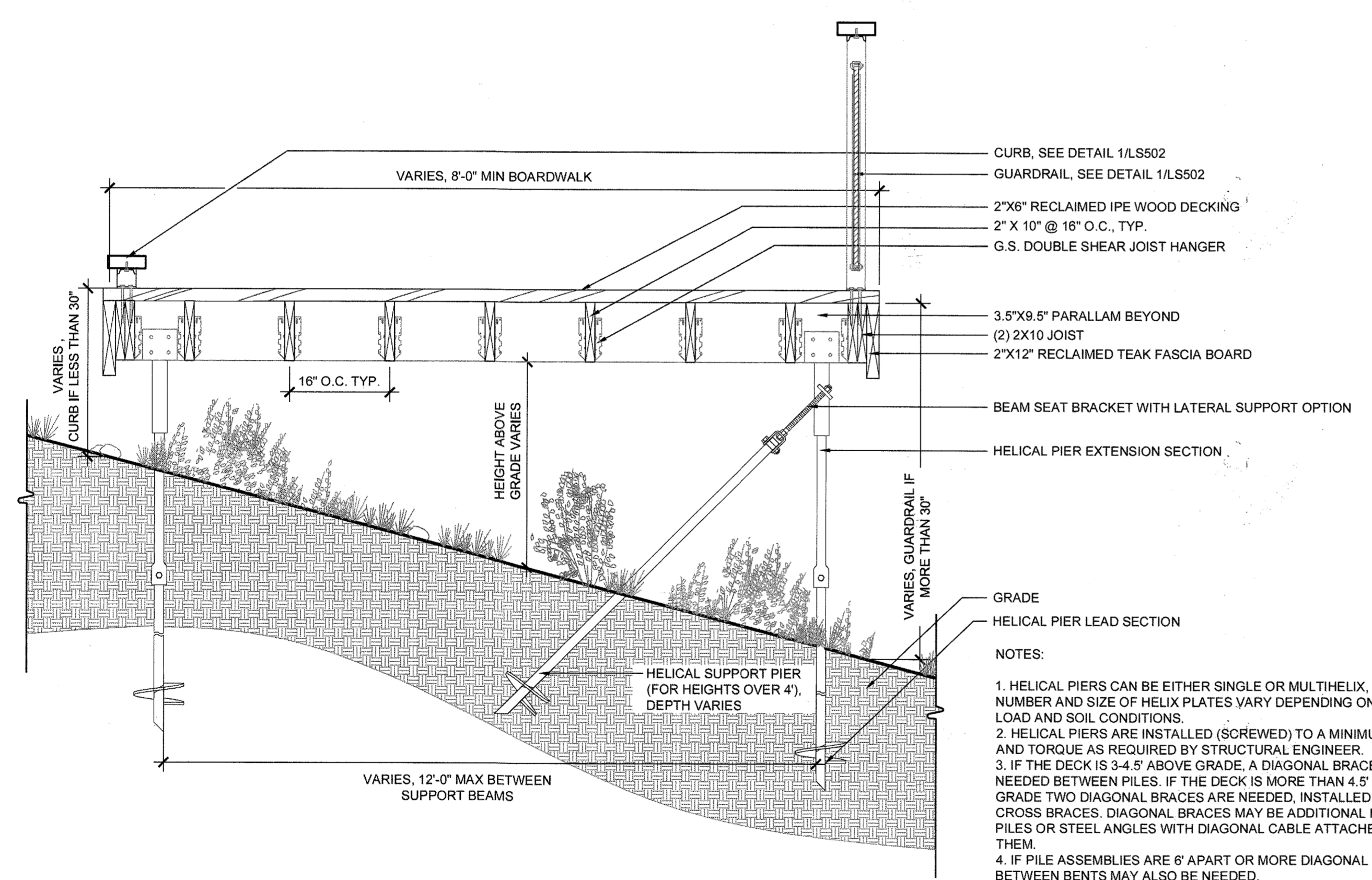
**2 FLEXIBLE PERVIOUS PAVEMENT**  
SCALE: 3/4"=1'-0"



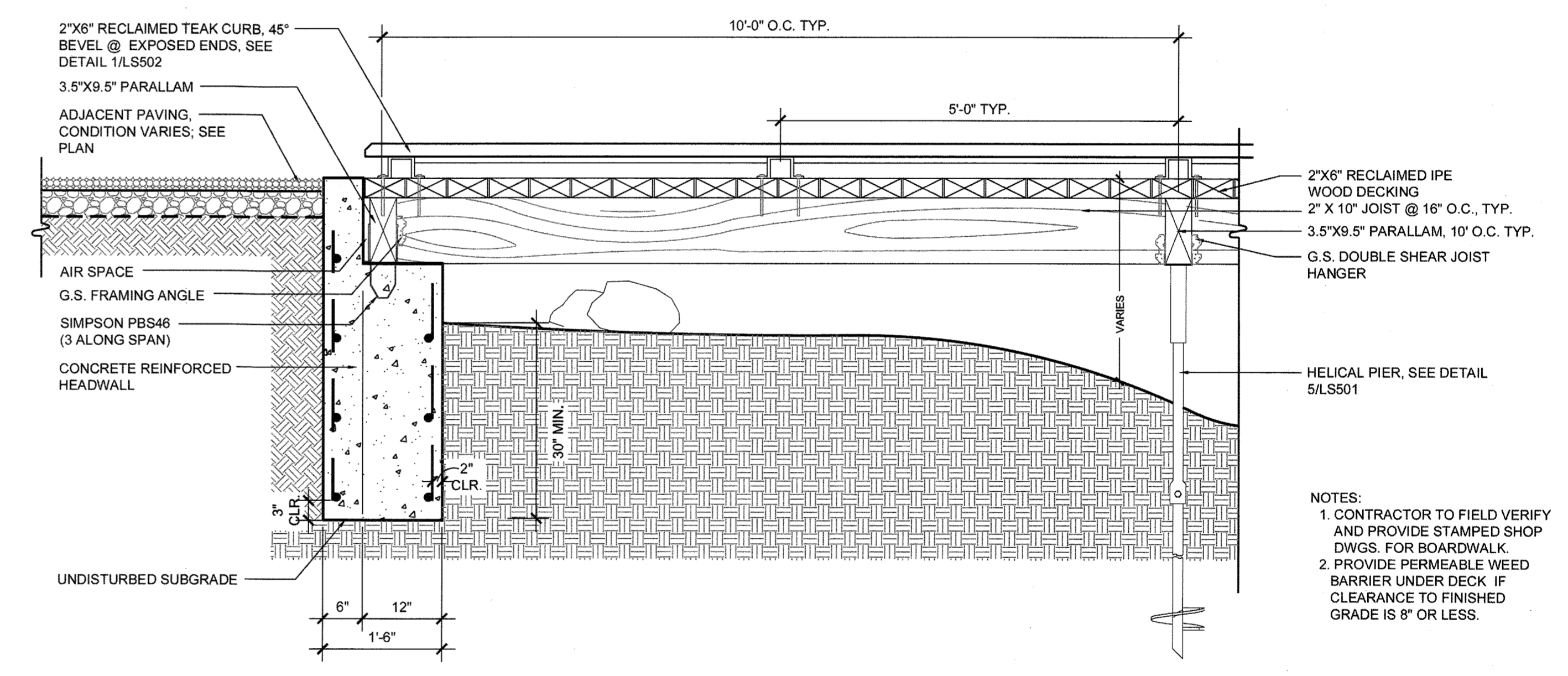
**3 COBBLE BAND @ ASPHALT**  
SCALE: 1"=1'-0"



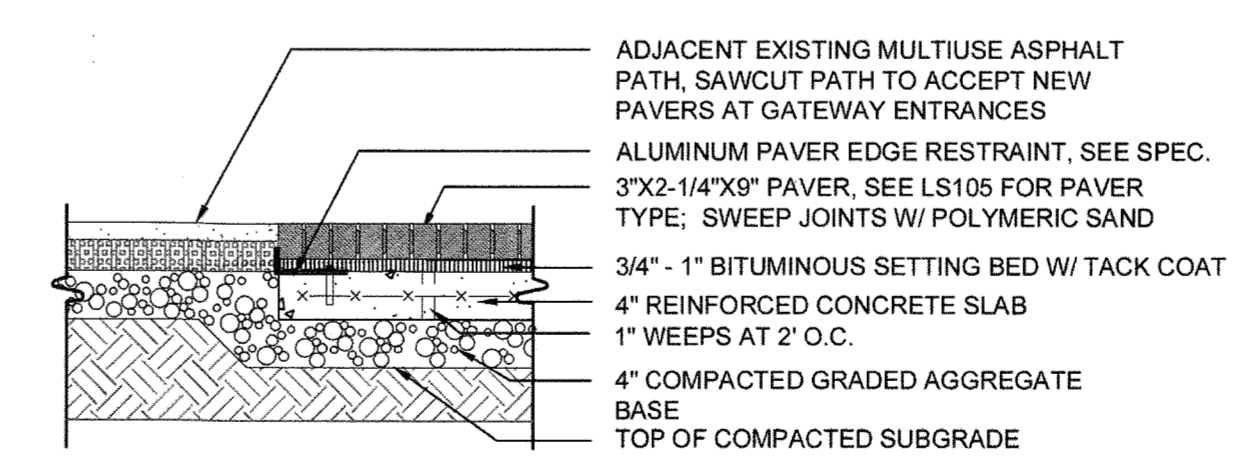
**4 STONE DUST**  
SCALE: 1"=1'-0"



**5 TYPICAL BOARDWALK SECTION WITH TYPICAL HELICAL PIER**  
SCALE: 3/4"=1'-0"



**6 BOARDWALK AT PAVING**  
SCALE: 3/4"=1'-0"



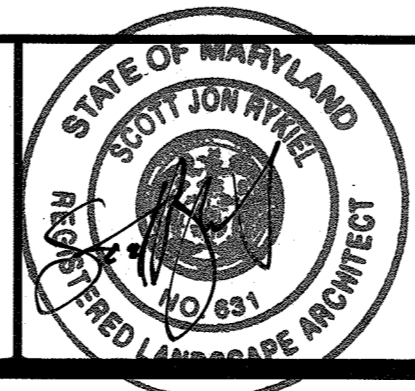
**7 UNIT PAVERS ON CONCRETE PAD - AT GATEWAY ENTRANCES**  
SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-9-15  
 Chief, Division of Land Development: *[Signature]* Date: 9-2-15  
 Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2015  
 \*See Sheet 2 for Planning and Zoning Required Approvals for P1a-P1f.

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

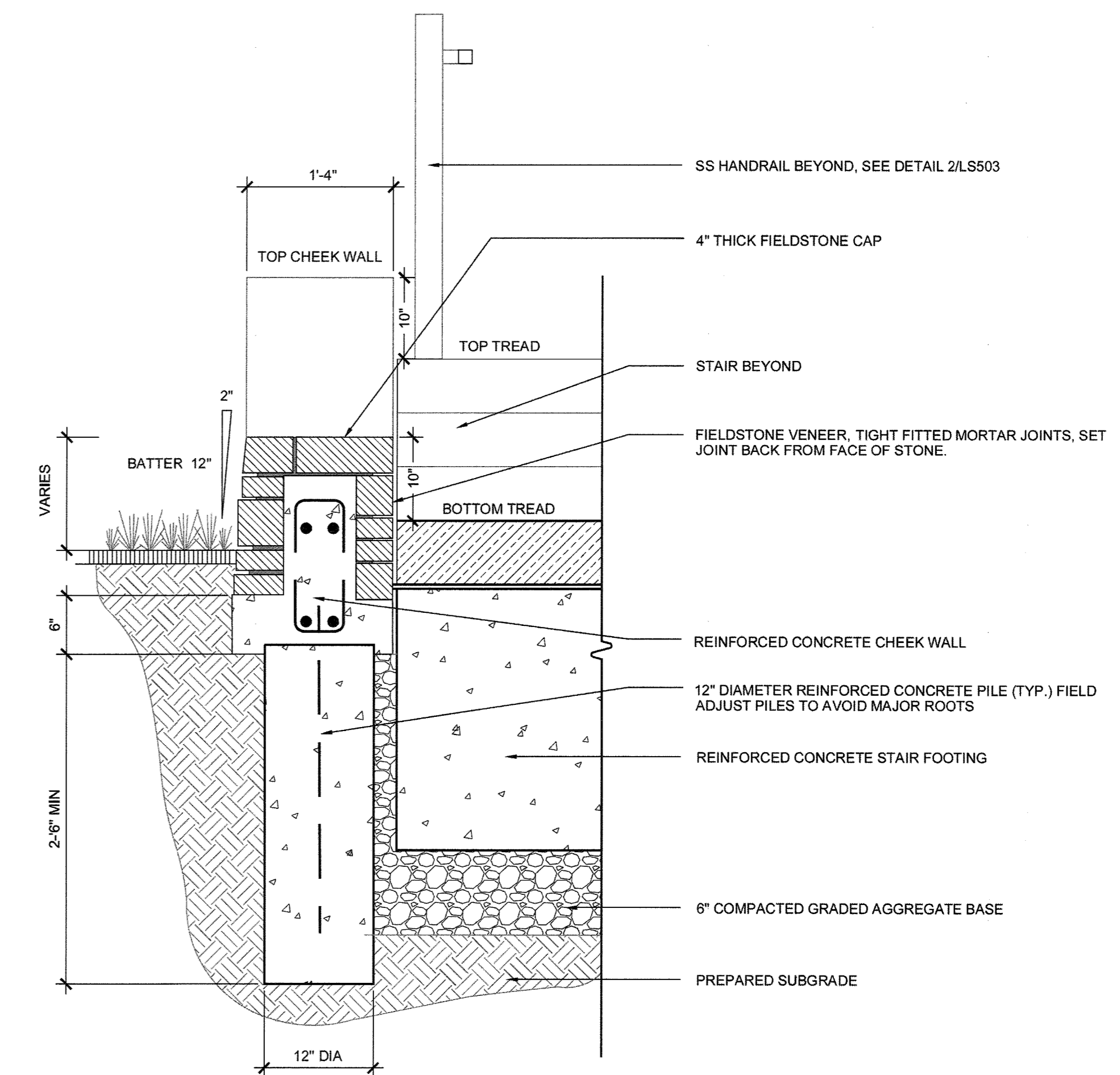
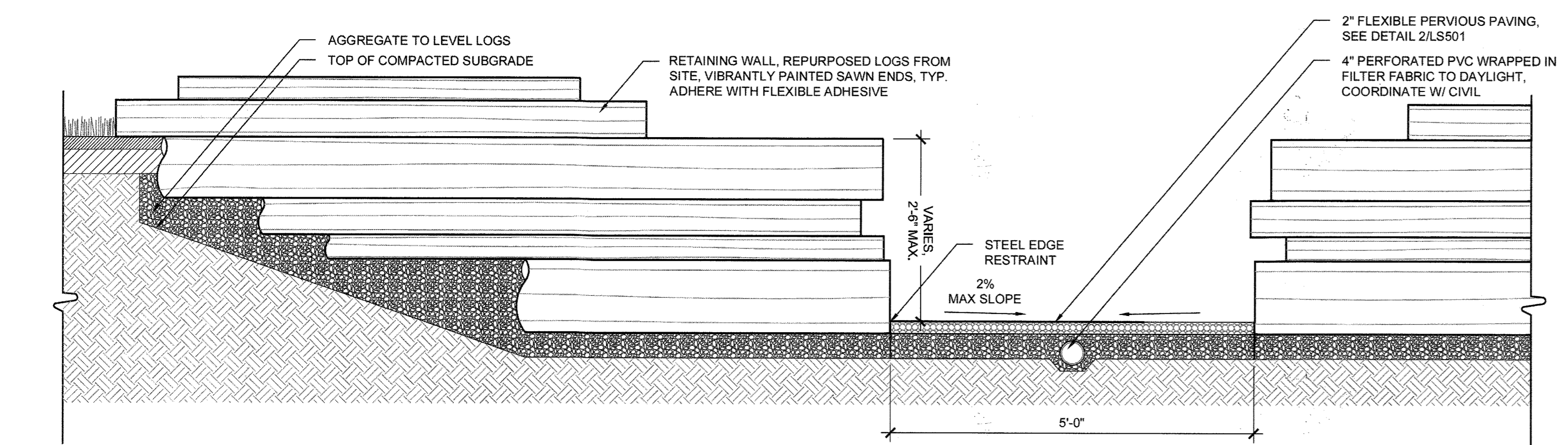
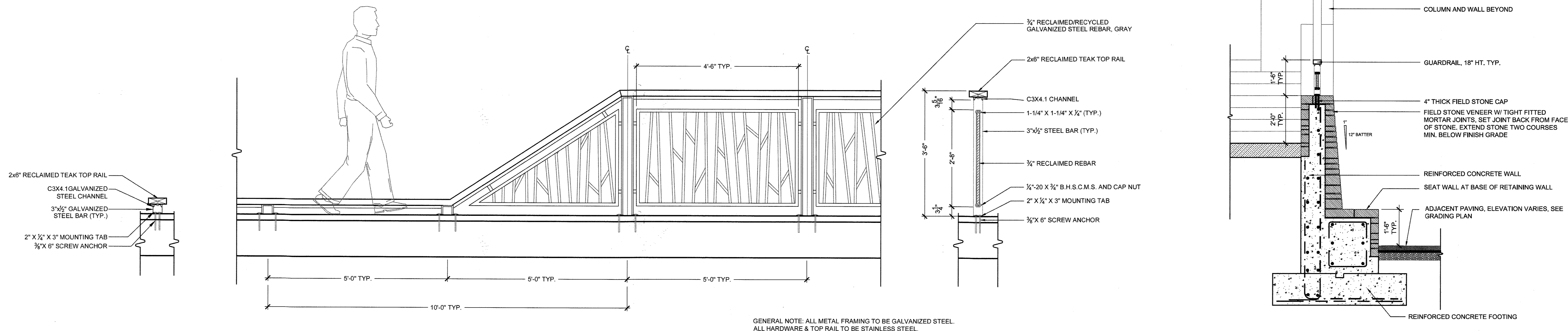
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SITE HARDSCAPE DETAILS		LS501
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	62 OF 90



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Valerie J. Miller* Date: 9-2-15  
 Chief, Division of Land Development: *Valerie J. Miller* Date: 9-2-15  
 Chief, Development Engineering Division: *Valerie J. Miller* Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Sheet 2 for Phasing and Add'l Required Approvals for Pgs 2-7

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

NO.	REVISION	DATE	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

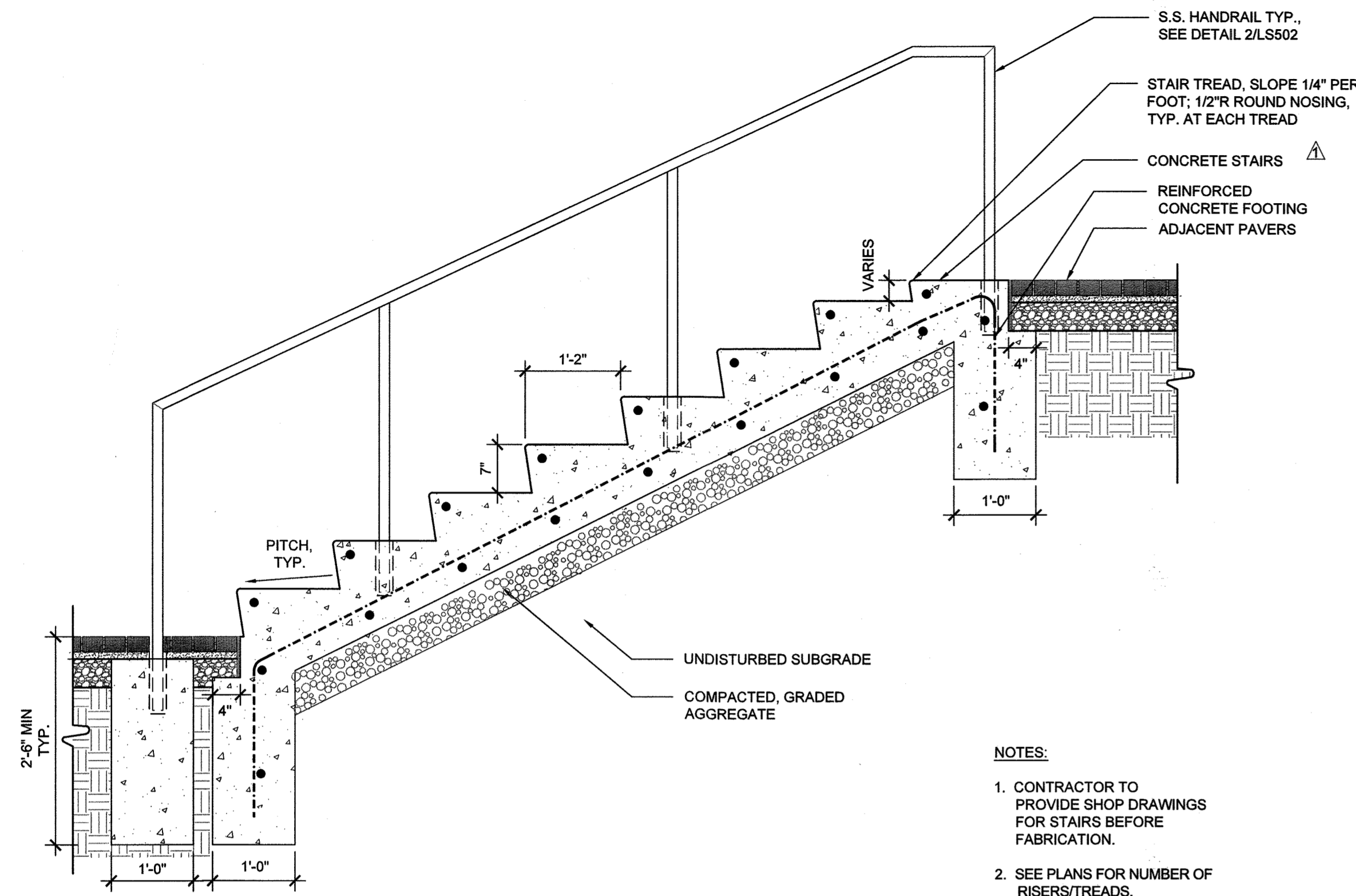


FOR INFORMATION ONLY:  
 NOT FOR CONSTRUCTION

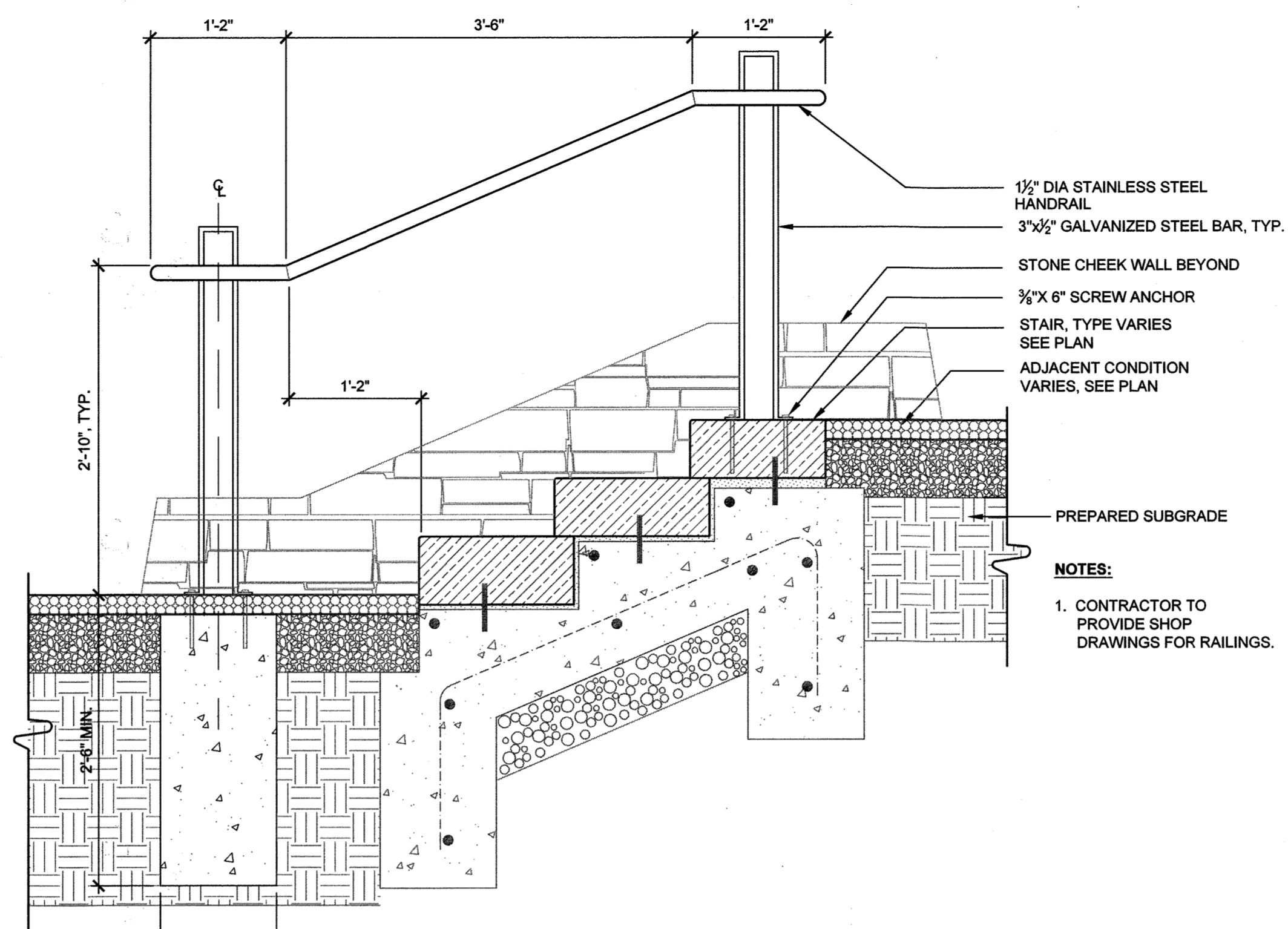
SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SITE HARDSCAPE DETAILS		LS502
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	63 OF 90

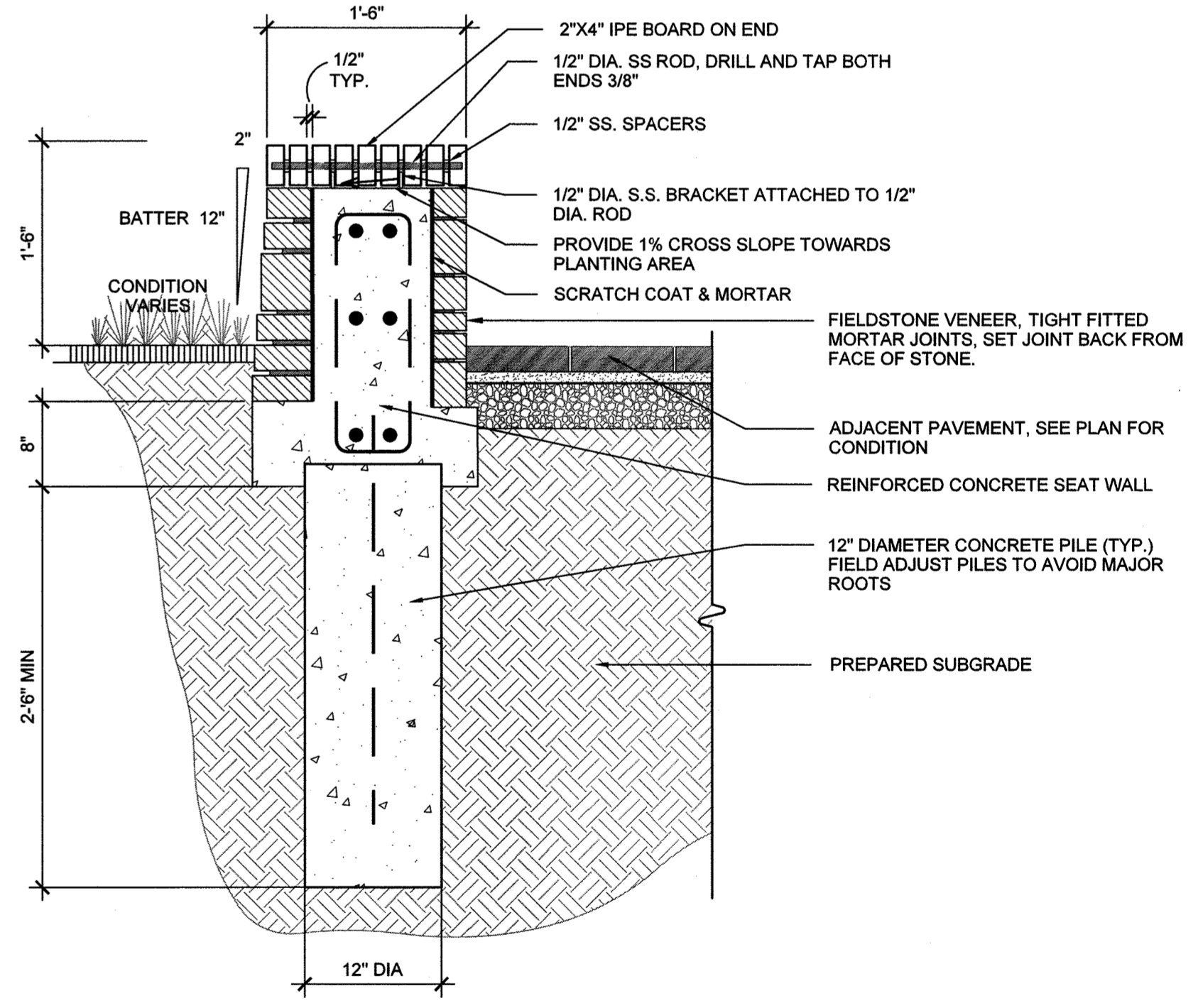
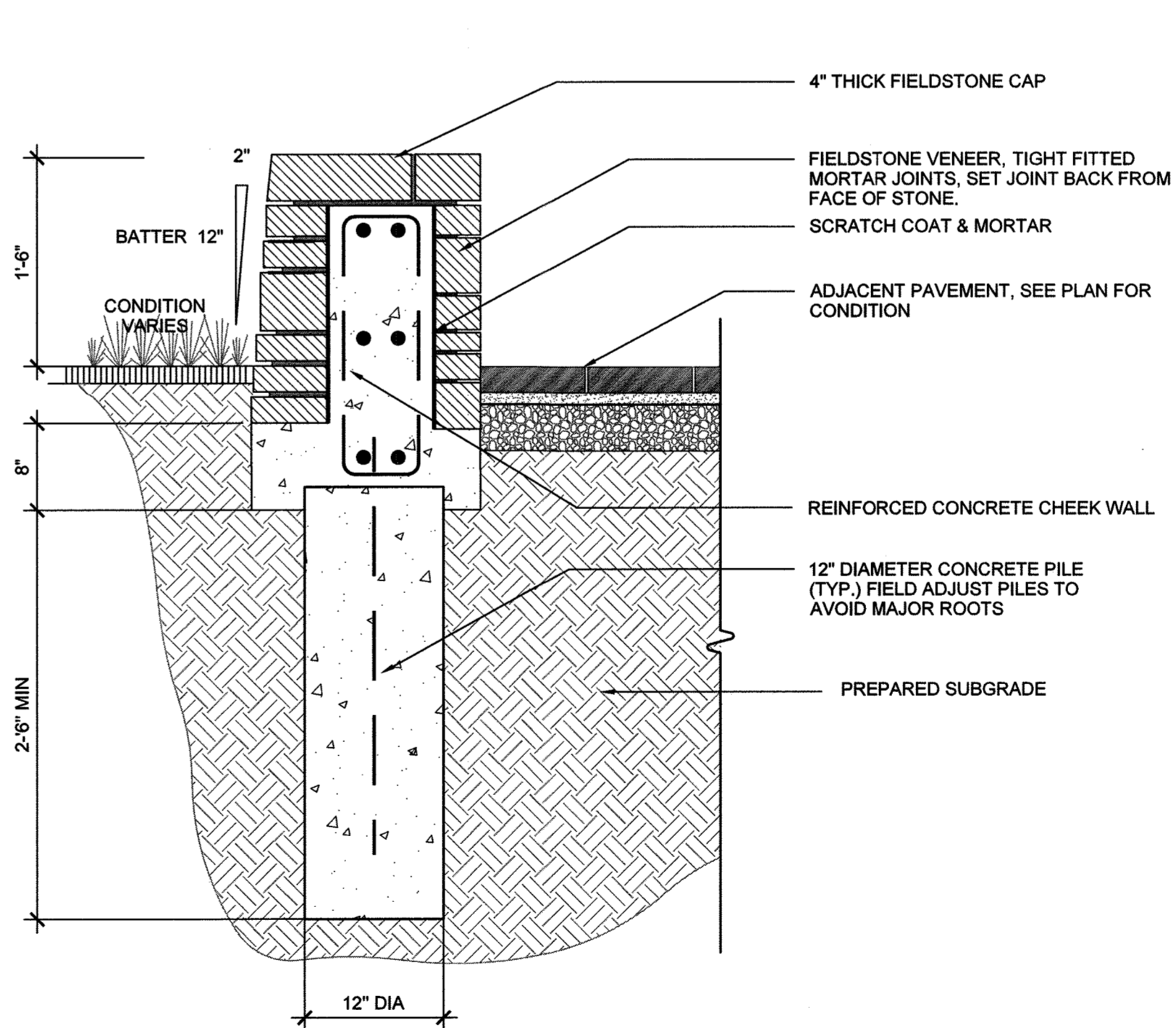
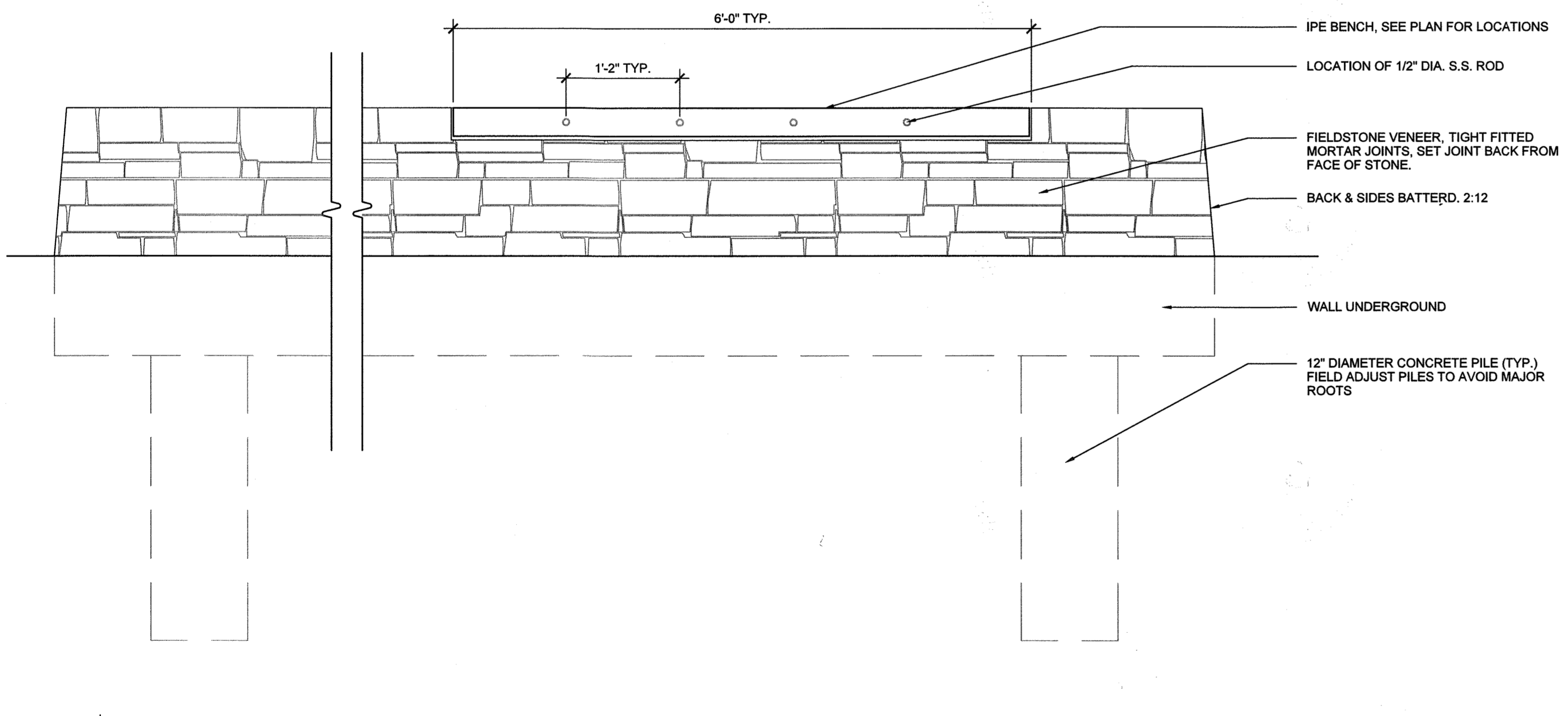
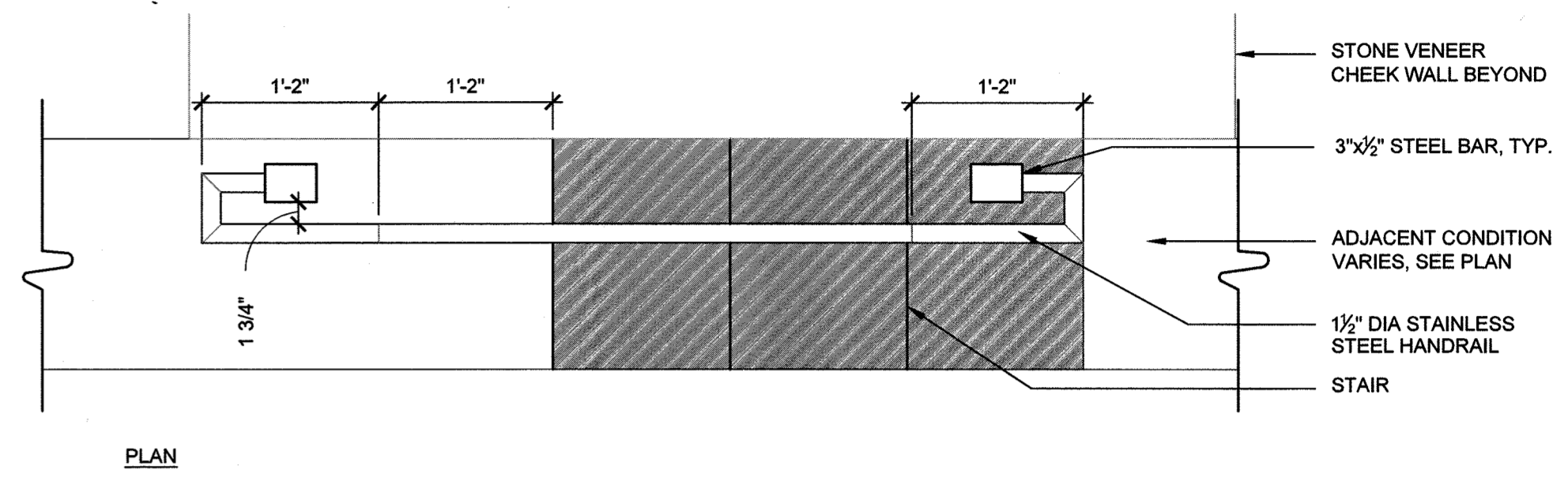




**1** STAIR AT CHRYSALIS  
 SCALE: 3/4"=1'-0"



**2** TYPICAL HANDRAIL  
 SCALE: 1"=1'-0"



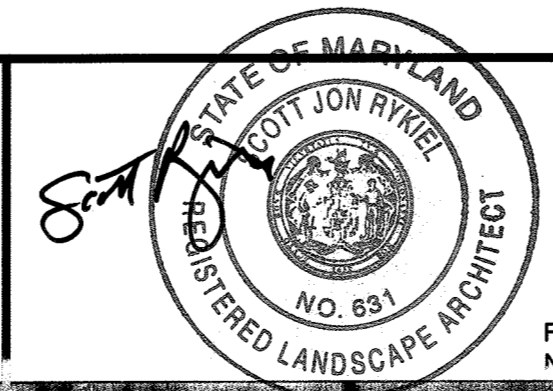
**3** BENCH 1 - FIELD STONE SEAT WALL  
 SCALE: 1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Valerie J. Miller* 2-11-16  
 Chief, Division of Land Development: *Keith Schaefer* 2-11-16  
 Chief, Development Engineering Division: *Chad Edinger* 2-4-16

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*for Phs 1 & 2. See Sheet 2 for Planning and Add'l Res. Approvals for Ph 3-7

**MAHAN RYKIEL ASSOCIATES INC**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

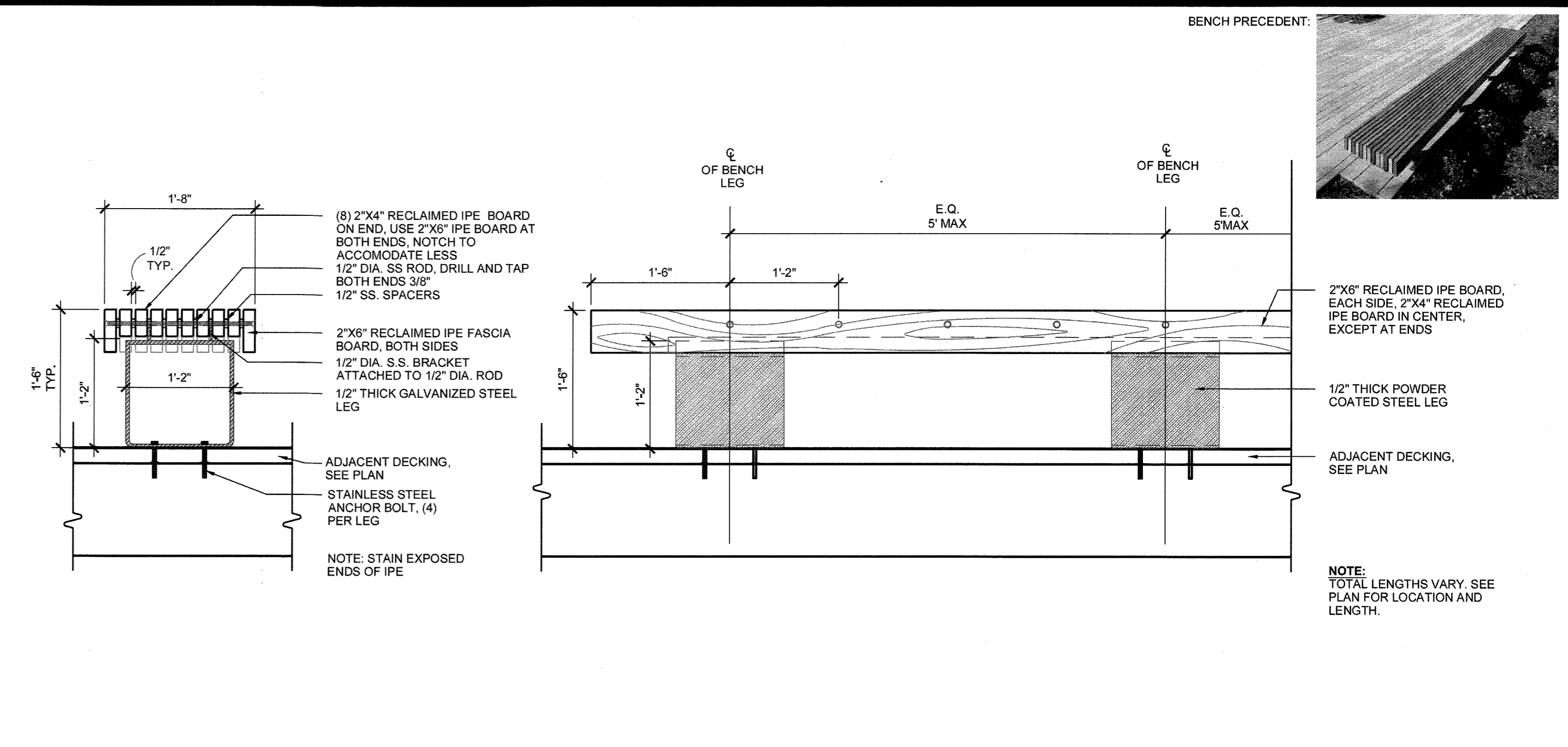
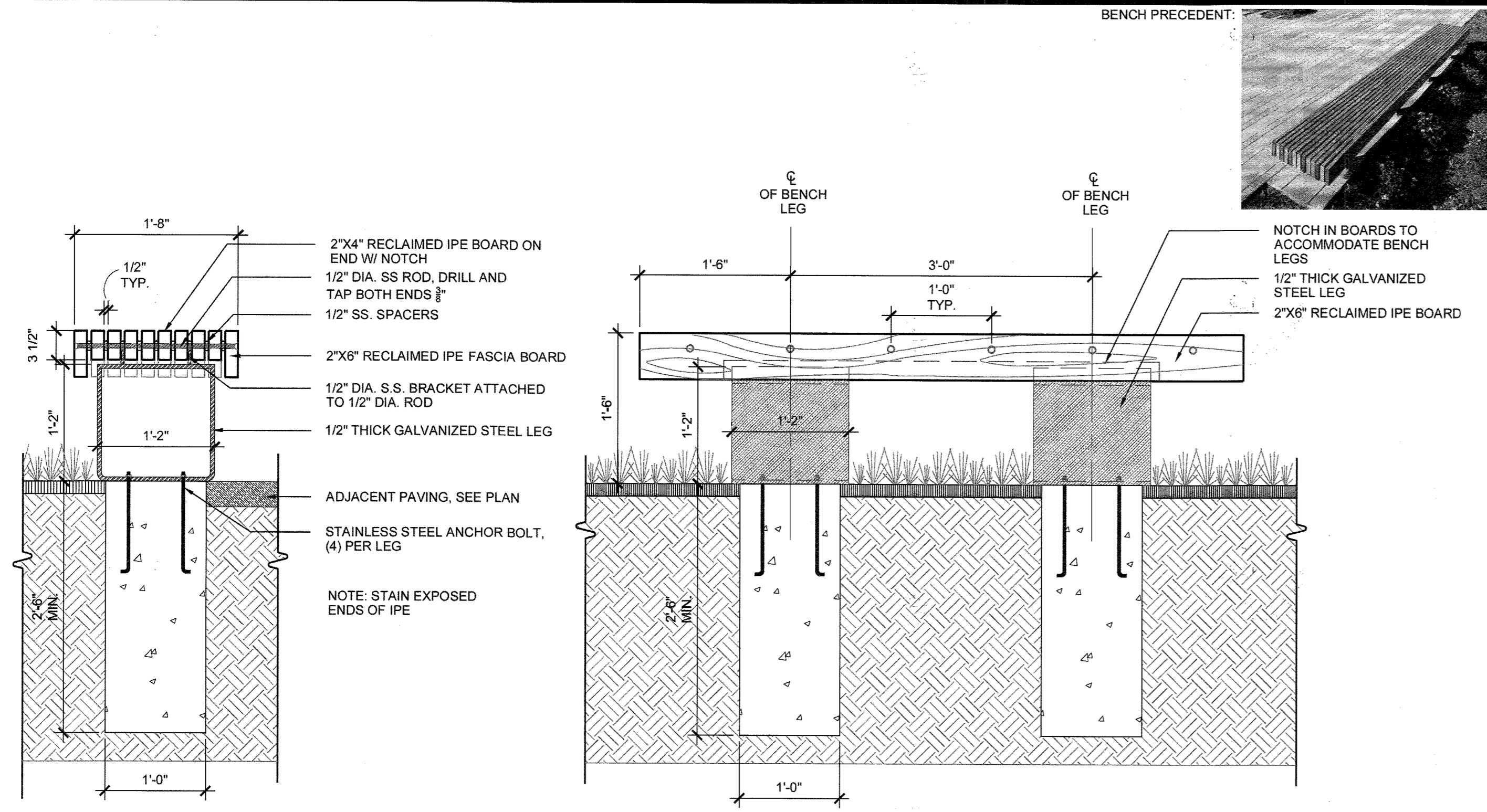
PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY; NOT FOR CONSTRUCTION

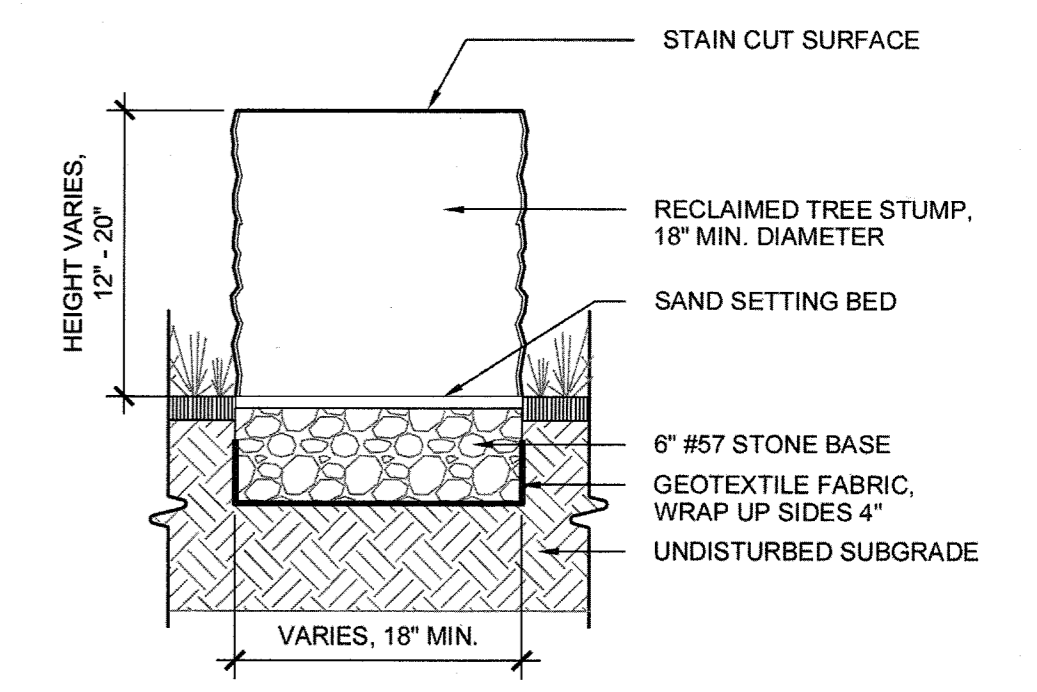
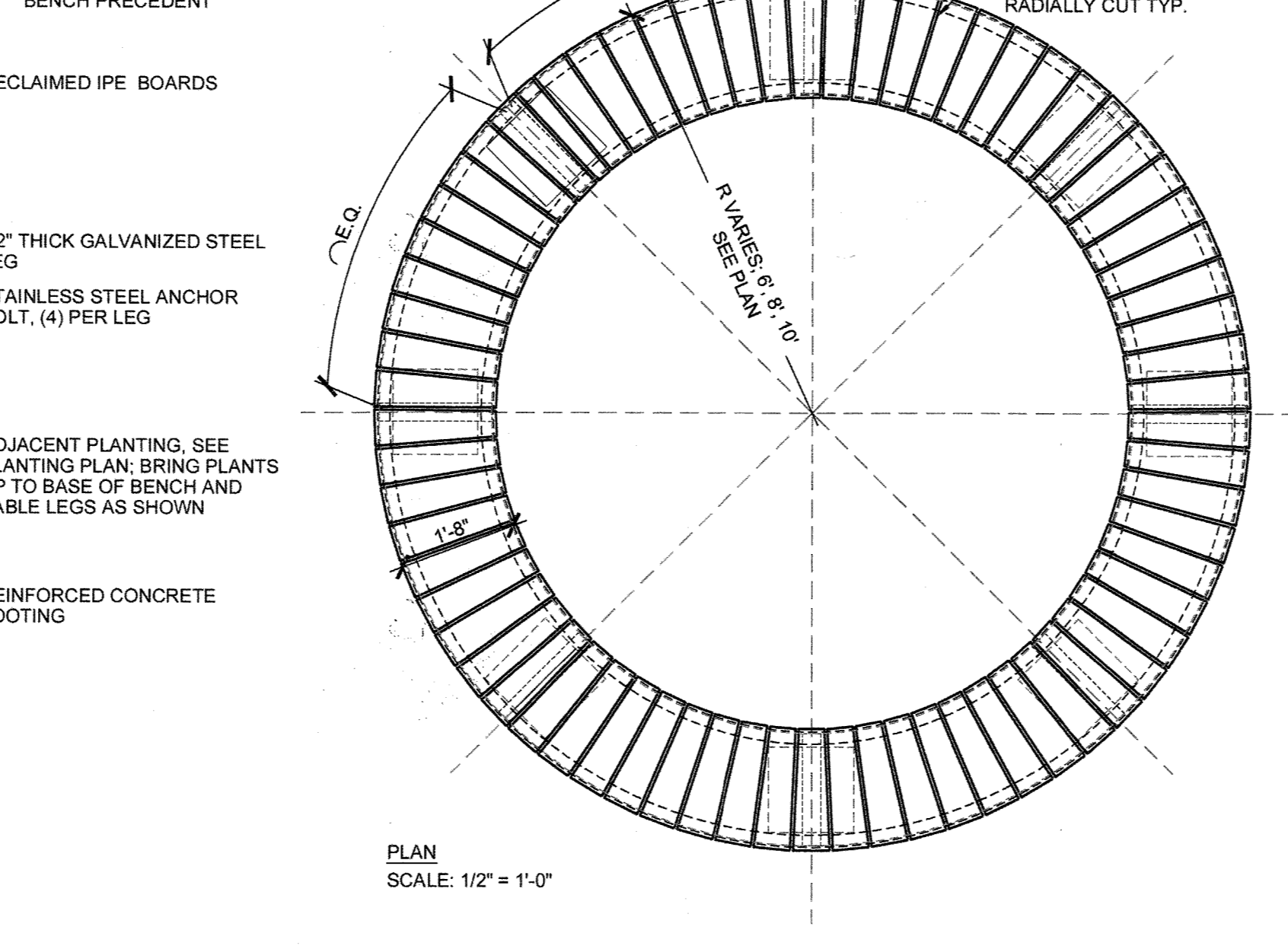
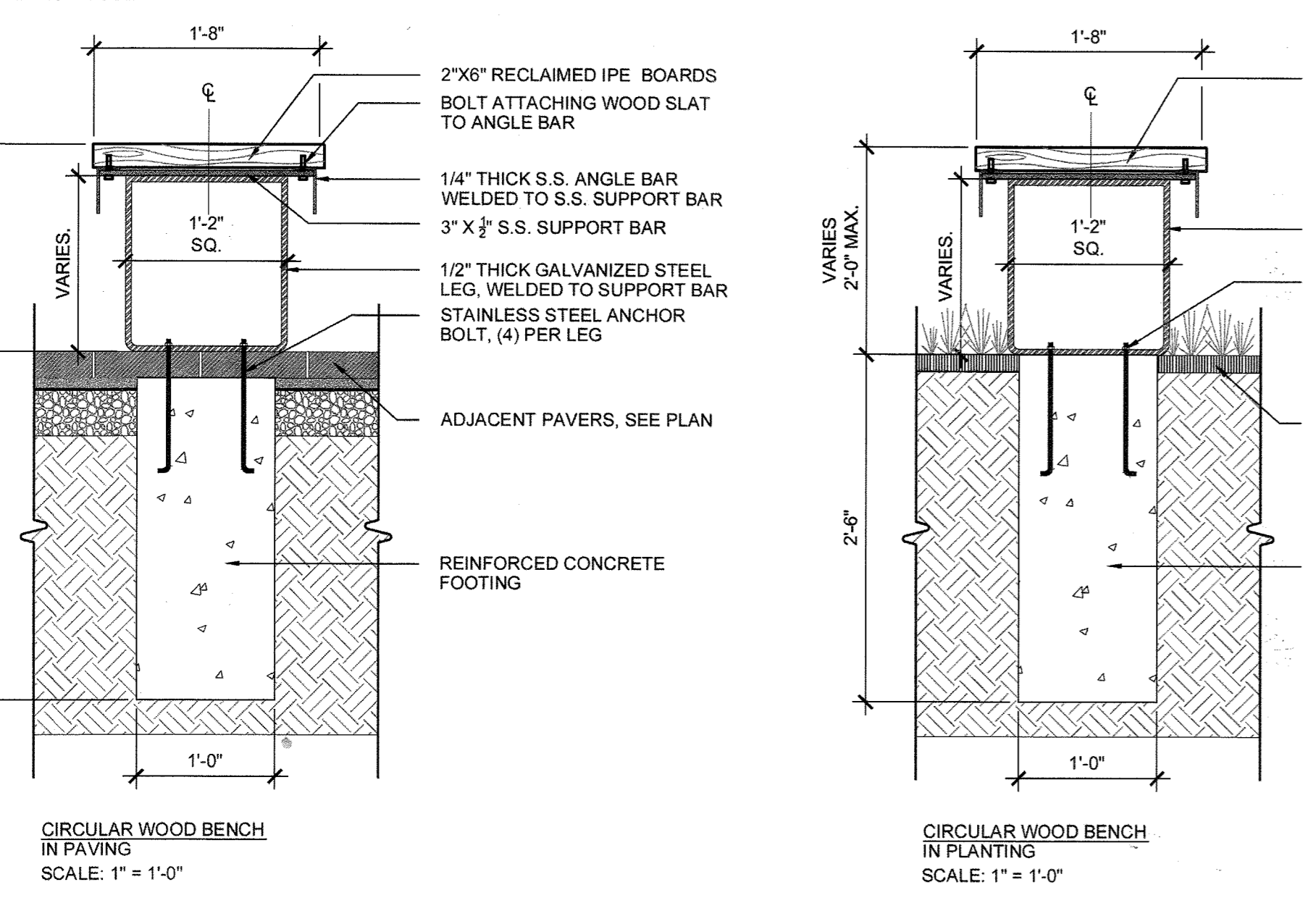
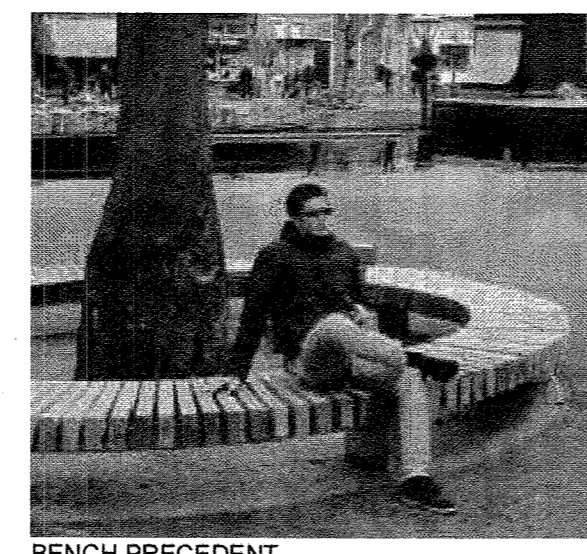
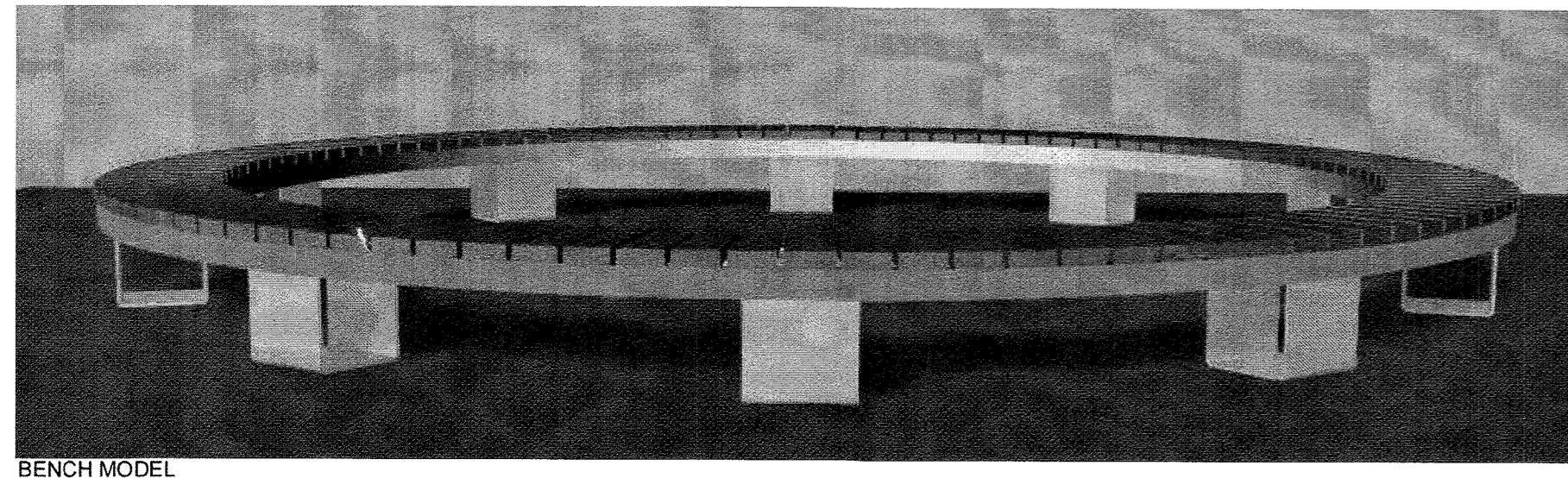
REVISED SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

REVISED SITE HARDSCAPE DETAILS		LS503
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JAN., 2016	36 - 01	64 OF 90



**1** BENCH 2A - 6' CUSTOM WOOD AND METAL BENCHES  
1"=1'-0"

**2** BENCH 2B - LONG CUSTOM WOOD AND METAL BENCHES  
1"=1'-0"



**3** BENCH 3 - CIRCULAR WOOD BENCH  
AS SHOWN

**4** BENCH 5 - STUMP SEATING  
1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *William J. ...* Date: 9-2-15  
Chief, Division of Land Development: *...* Date: 8-25-15  
Chief, Development Engineering Division: *...* Date: *...*

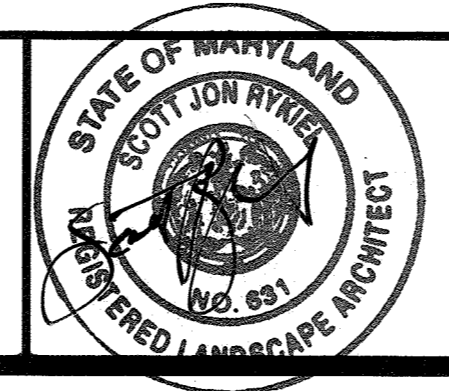
APPROVED: PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\* See Sec. 2 for Pricing and Add'l Required Approvals for Phases 2-7

GENERAL NOTE:  
ALL FURNISHINGS, WITH THE EXCEPTION OF BENCH 6 (CHAISE LOUNGE CHAIR; 3/L505), ARE CUSTOM DESIGNED. IMAGES PROVIDED ARE FOR PRECEDENT REFERENCE ONLY AND ARE NOT IMAGES OF ACTUAL FURNISHINGS INTENDED FOR THE PROJECT.

**MAHAN RYKIEL ASSOCIATES INC.**  
The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DATE	REVISION	BY	APPR.

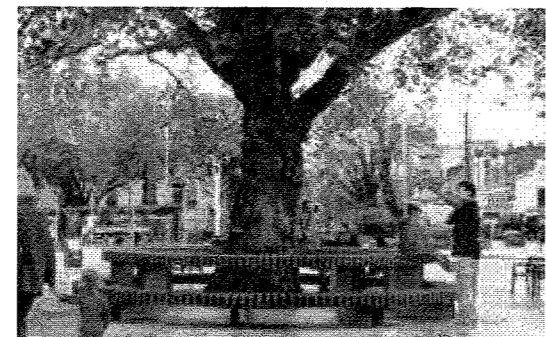
PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029



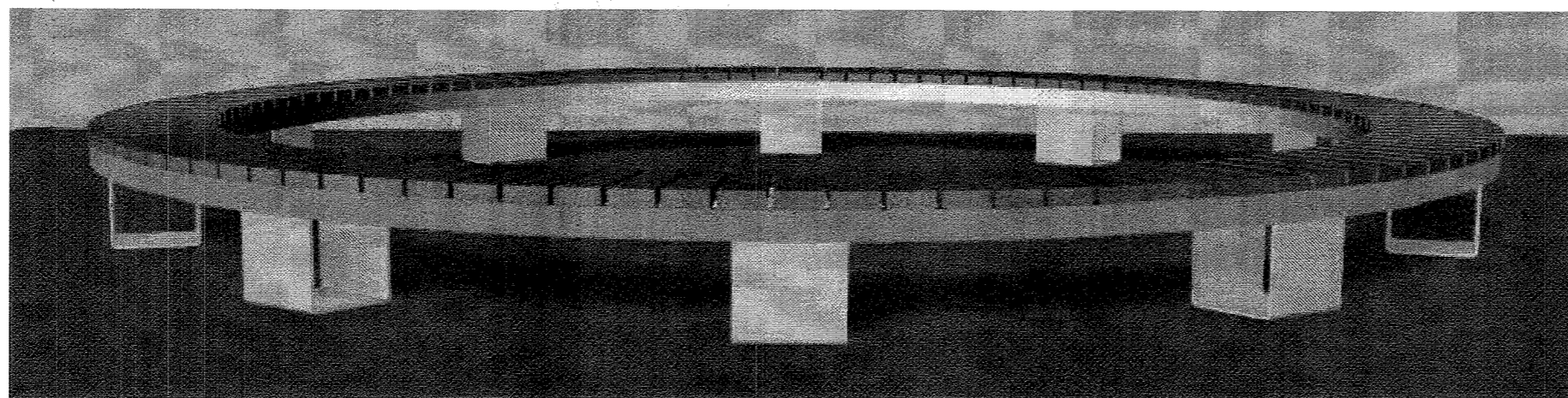
FOR INFORMATION ONLY:  
NOT FOR CONSTRUCTION

SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

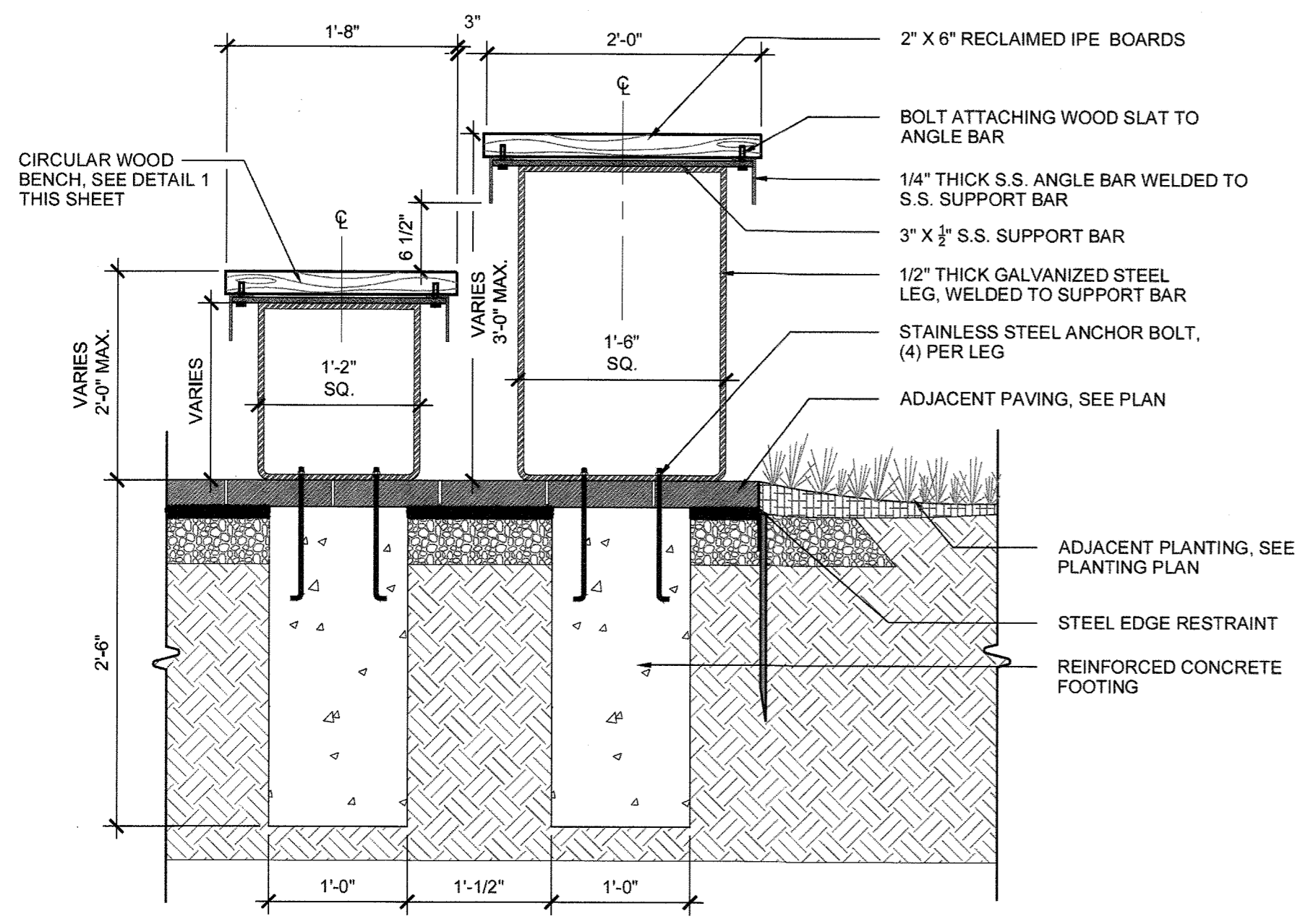
SITE HARDSCAPE DETAILS		LS504
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	65 OF 90



BENCH PRECEDENT

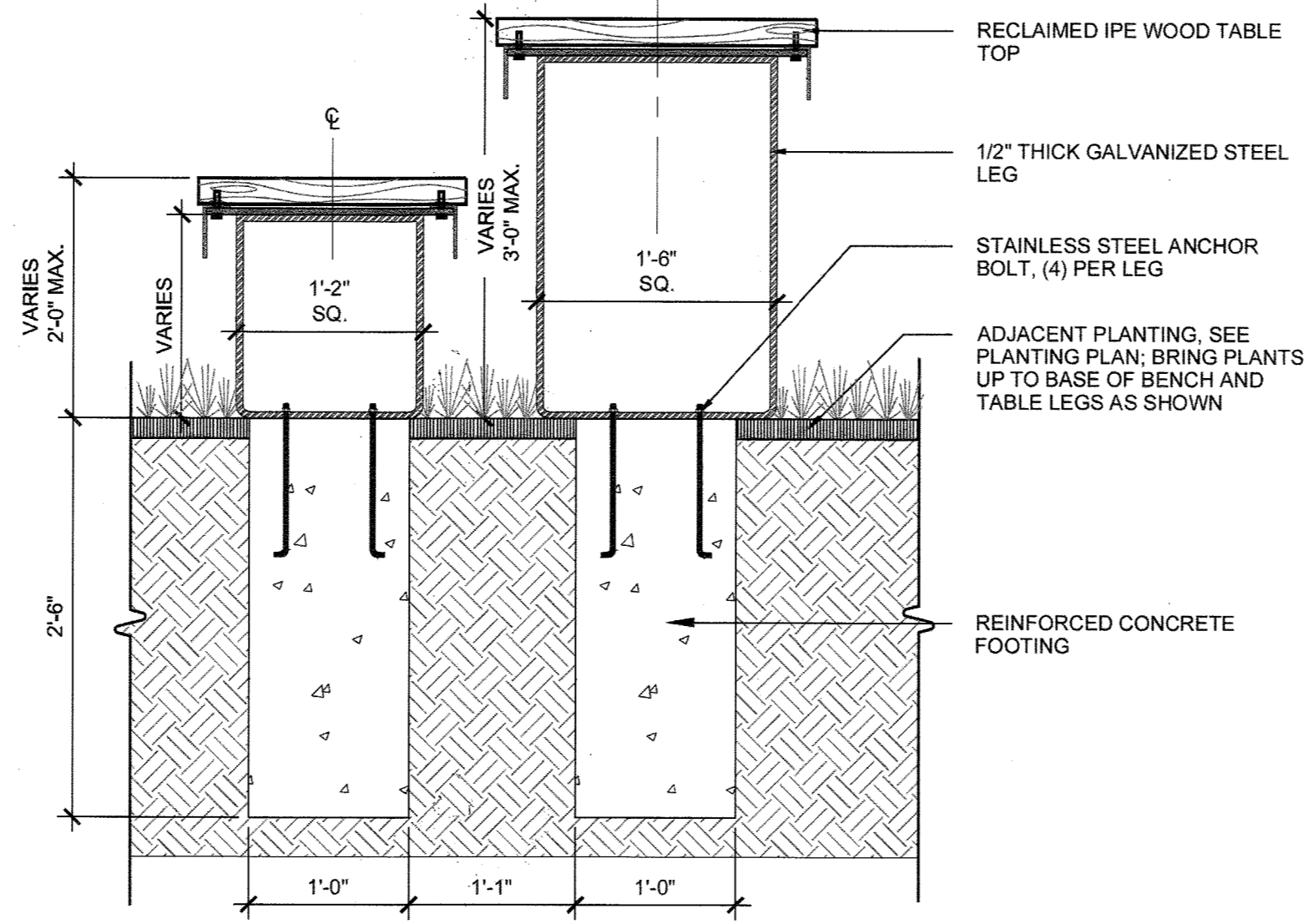


BENCH MODEL

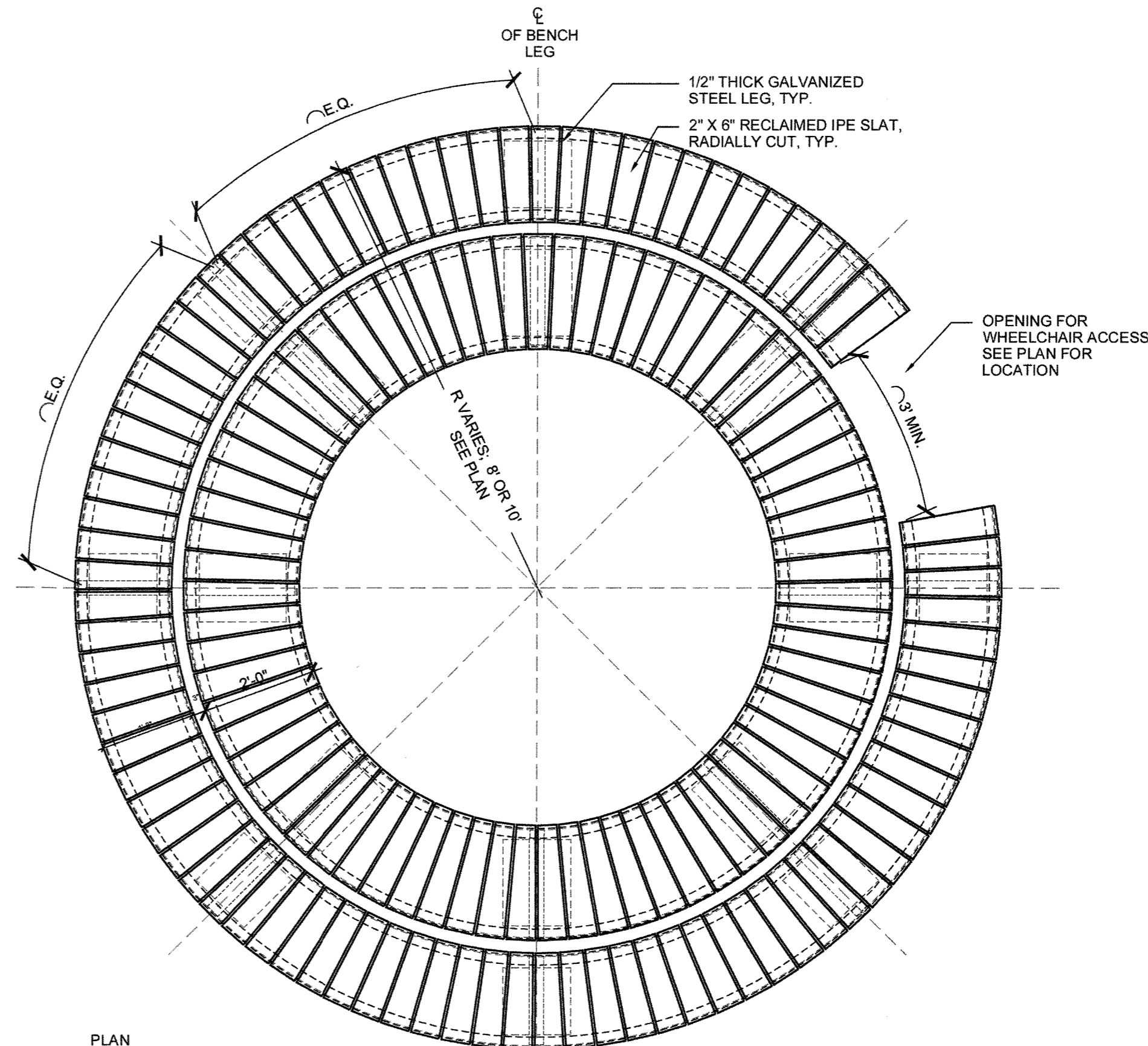


CIRCULAR WOOD BENCH AND TABLE IN PAVING

SCALE: 1" = 1'-0"

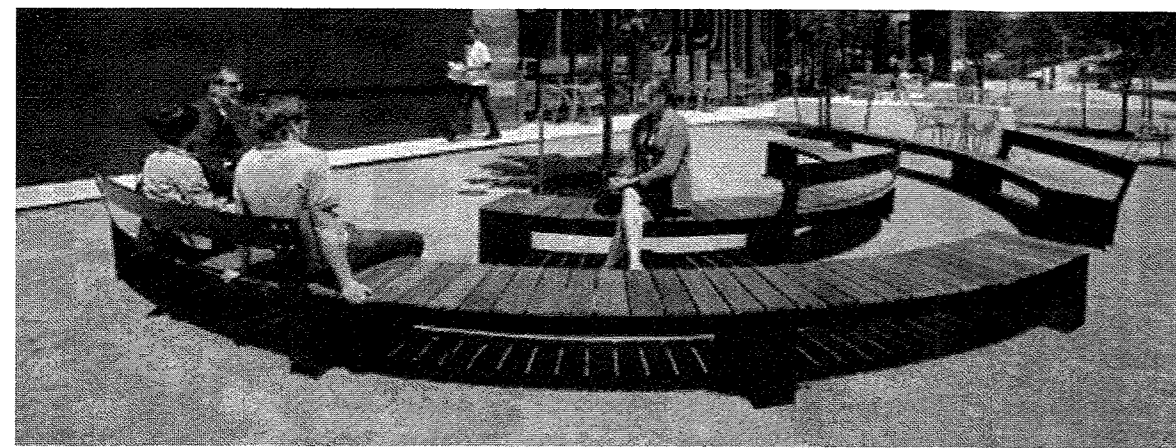


CIRCULAR WOOD BENCH AND TABLE IN PLANTING

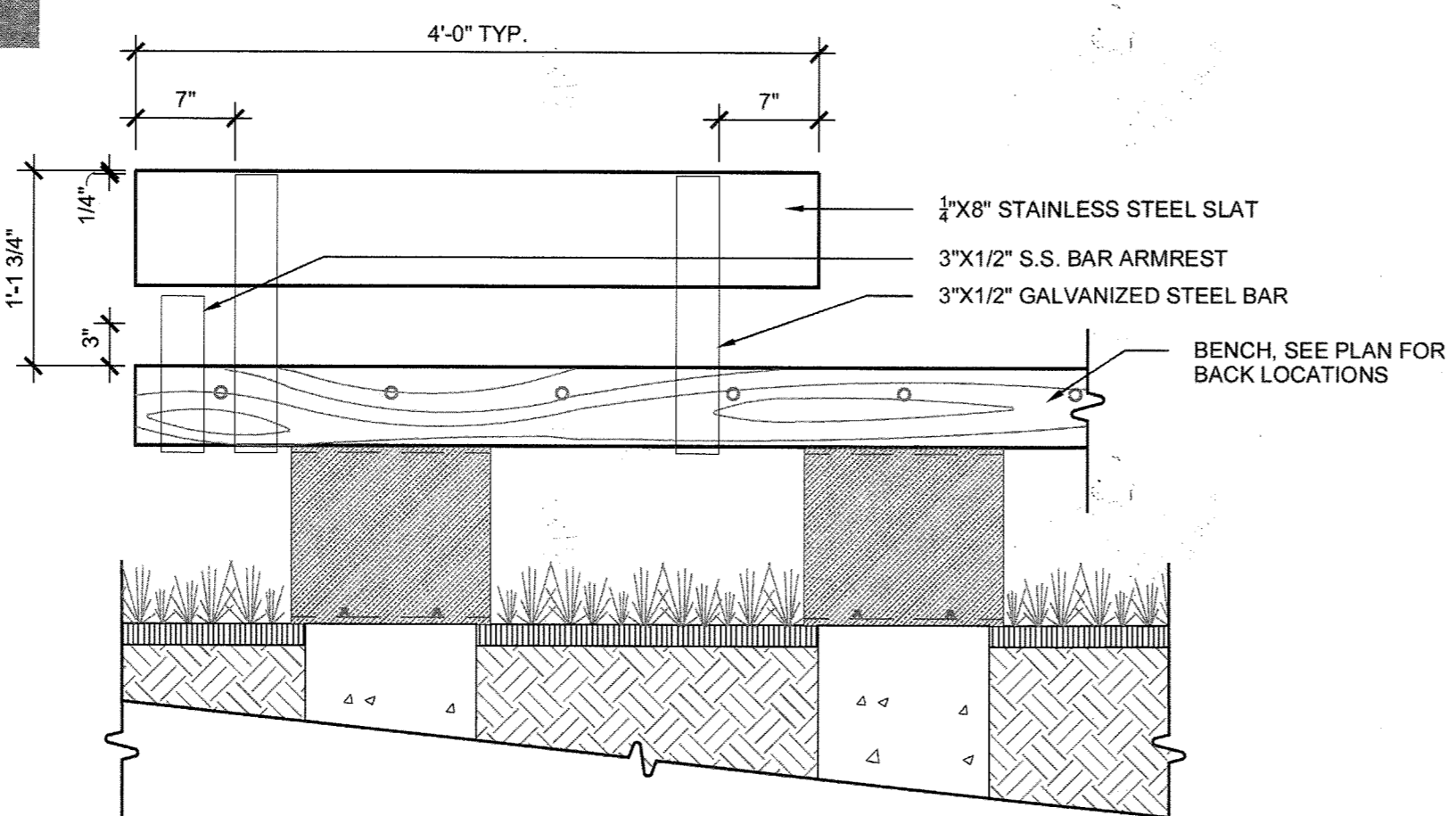
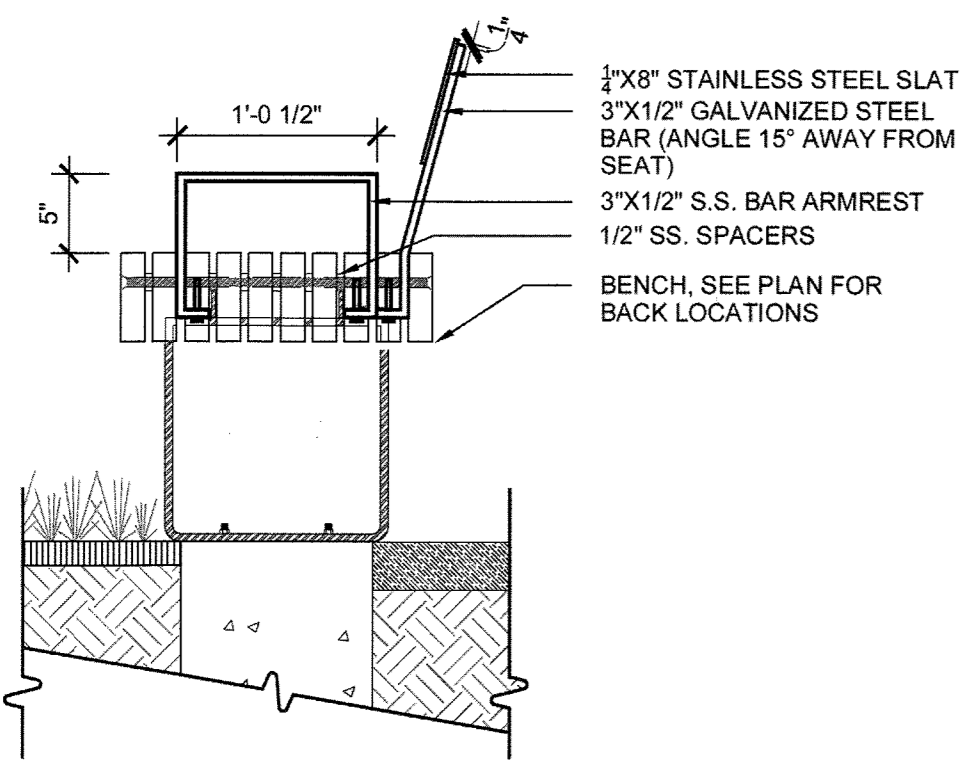


PLAN SCALE: 1/2" = 1'-0"

**1 BENCH 4 - CIRCULAR WOOD BENCH AND TABLE**  
AS SHOWN



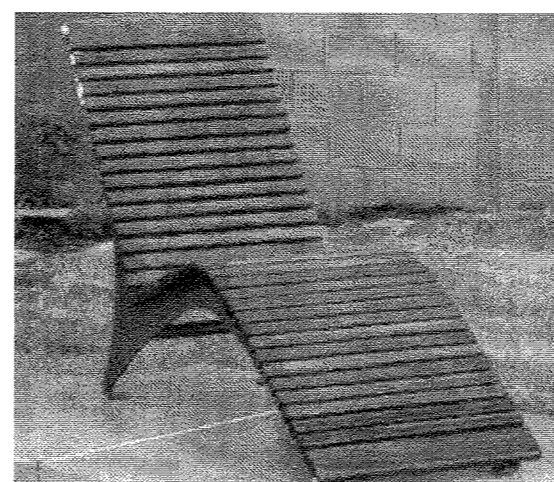
BENCH & BENCH BACK PRECEDENT



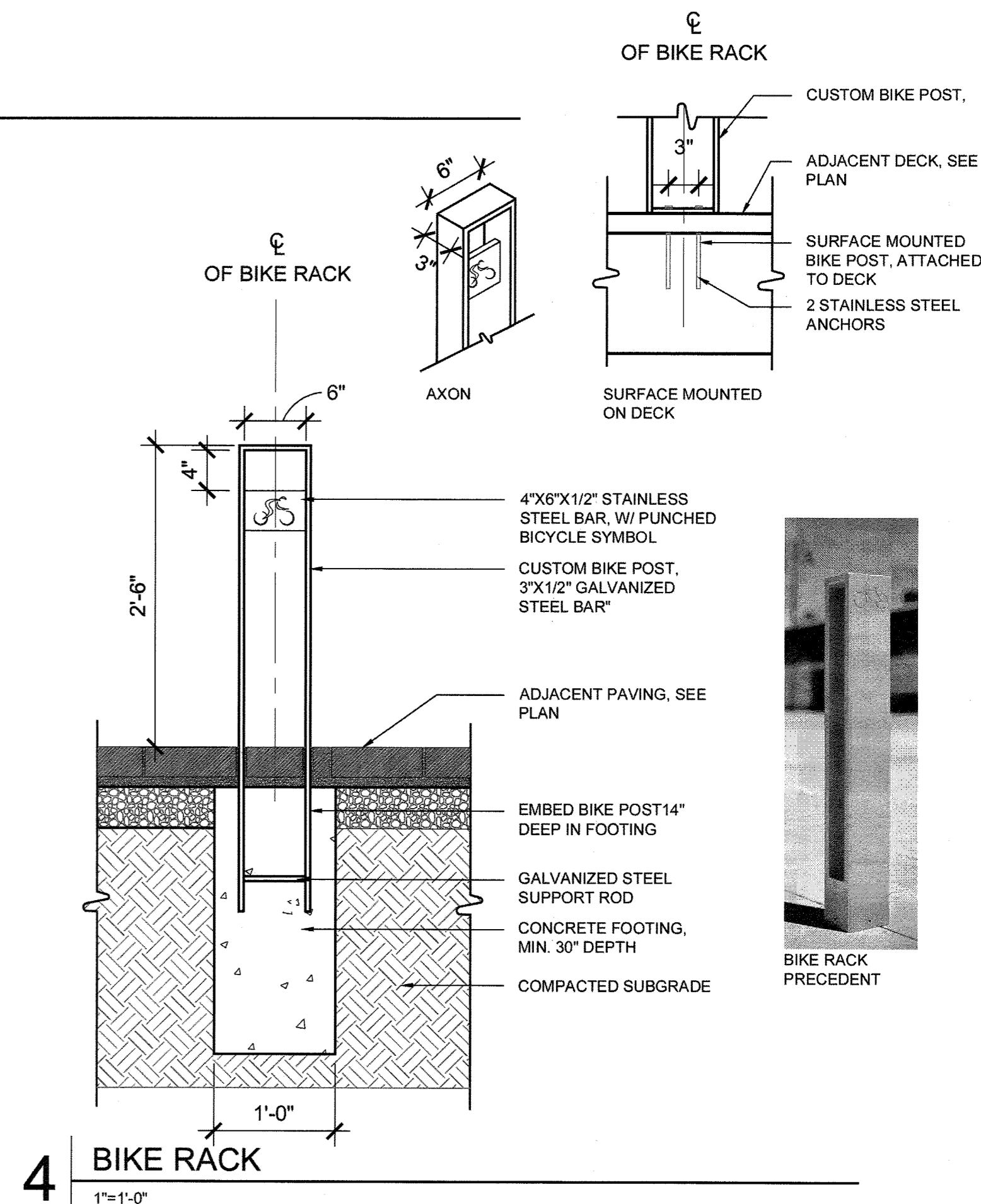
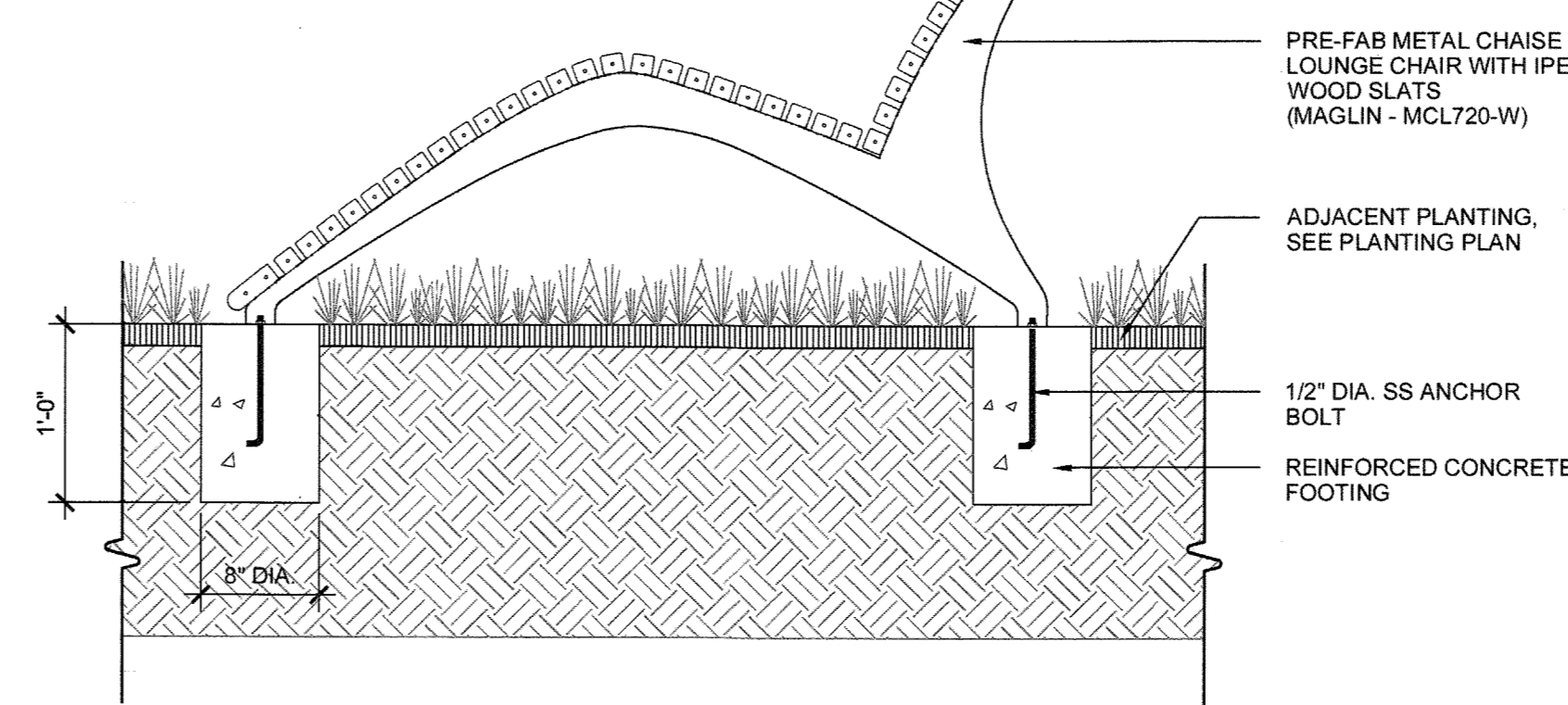
NOTES:  
1. REFER TO PLANS FOR BACK AND ARM REST LOCATIONS.

**2 BENCH BACKS AND ARM REST, TYP.**  
1" = 1'-0"

**MAGLIN SITE FURNITURE**  
27 BYSHAM PARK DRIVE  
WOODSTOCK, ON  
P: 800 716 5506  
W: WWW.MAGLIN.COM  
  
MODEL: MCL720 - W  
MATERIALS: STEEL FRAME, IPE SLATS  
ADD INFO: SURFACE MOUNTED



**3 BENCH 6 - PRE-FABRICATED LANDSCAPE SEATING**  
1" = 1'-0"



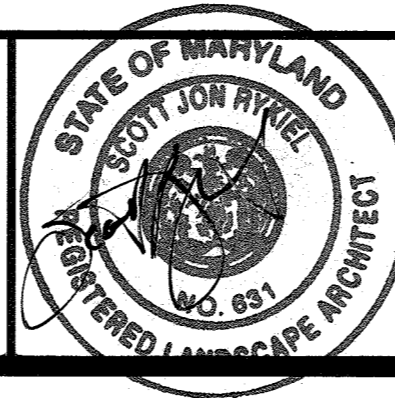
**4 BIKE RACK**  
1" = 1'-0"

GENERAL NOTE:  
ALL FURNISHINGS, WITH THE EXCEPTION OF BENCH 6 (CHAISE LOUNGE CHAIR; 3/L5505), ARE CUSTOM DESIGNED. IMAGES PROVIDED ARE FOR PRECEDENT REFERENCE ONLY AND ARE NOT IMAGES OF ACTUAL FURNISHINGS INTENDED FOR THE PROJECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Walter Cooper* Date: 9-2-15  
Chief of Planning and Development: *Chad Edwards* Date: 8-25-15  
Chief, Development Engineering Division: *WV*

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\*See Sheet 2 for Phasing & Add'l Required Approvals for Phases 2-7

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029



FOR INFORMATION ONLY;  
NOT FOR CONSTRUCTION

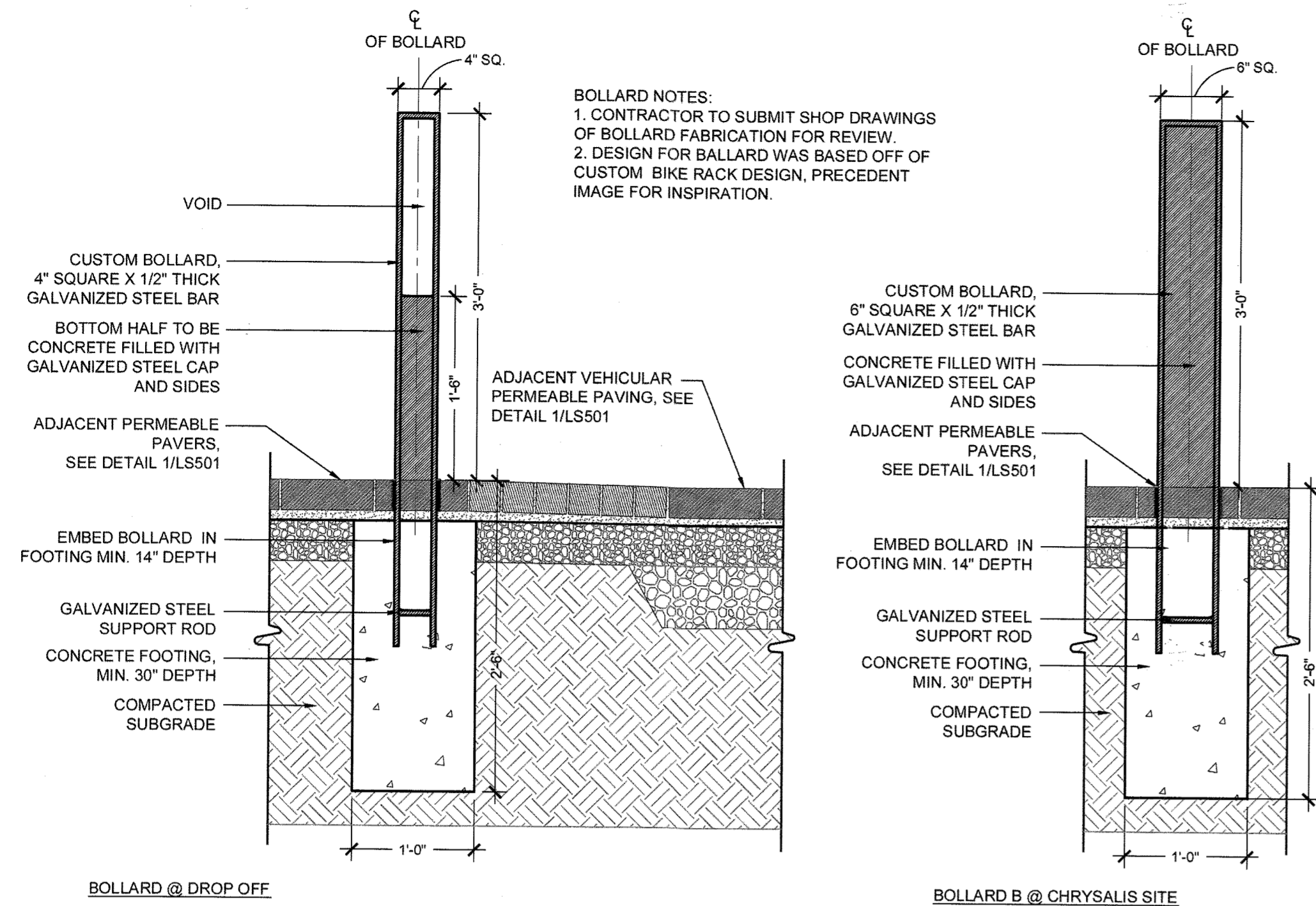
SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING

SITE HARDSCAPE DETAILS		LS505
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - CRD	SHEET
JUNE, 2015	36 - 01	66 OF 90

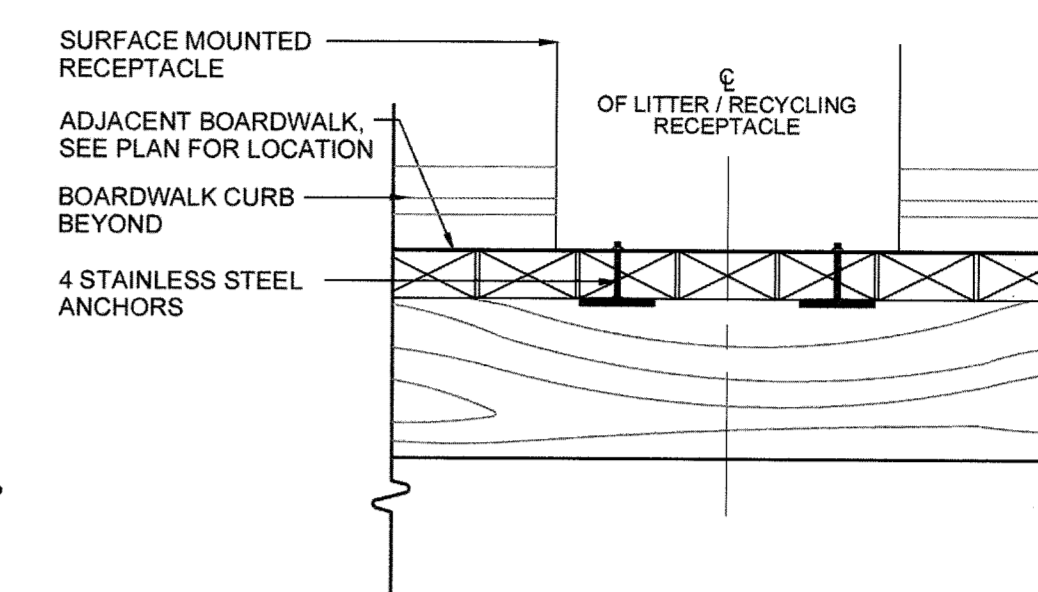
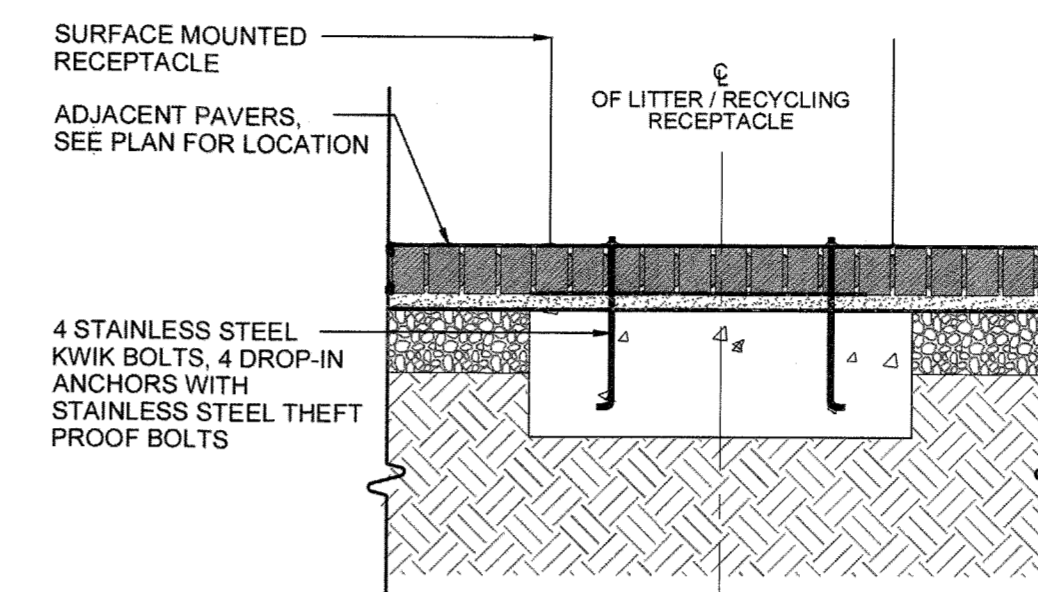
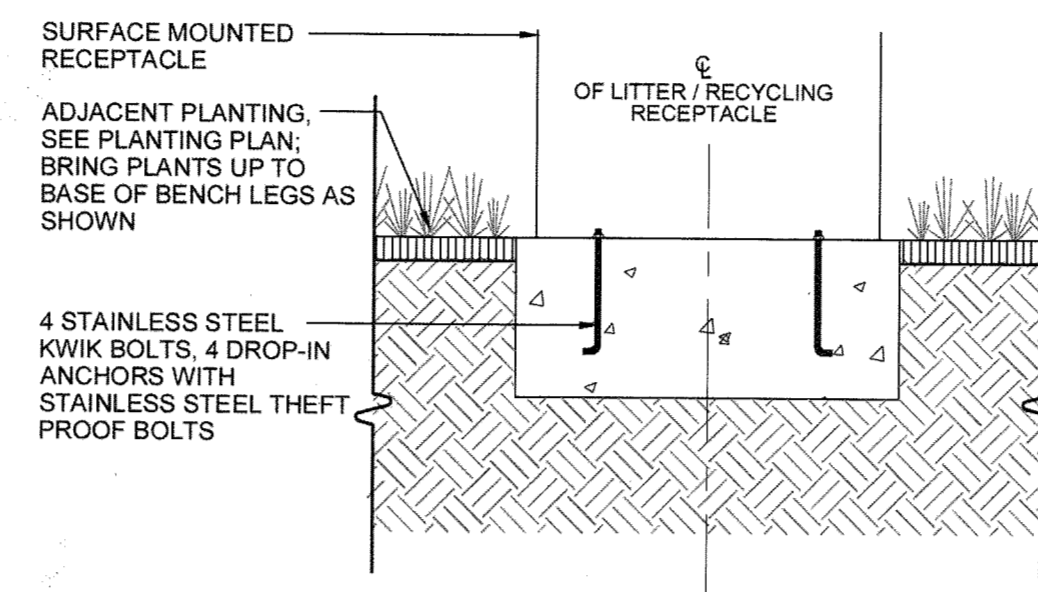
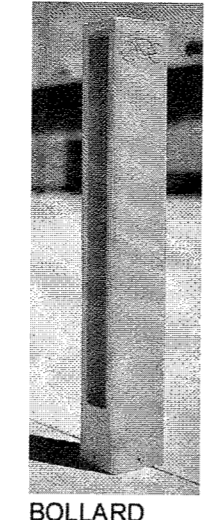
**MAHAN RYKIEL ASSOCIATES INC**  
The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

HOWARD COUNTY, MARYLAND

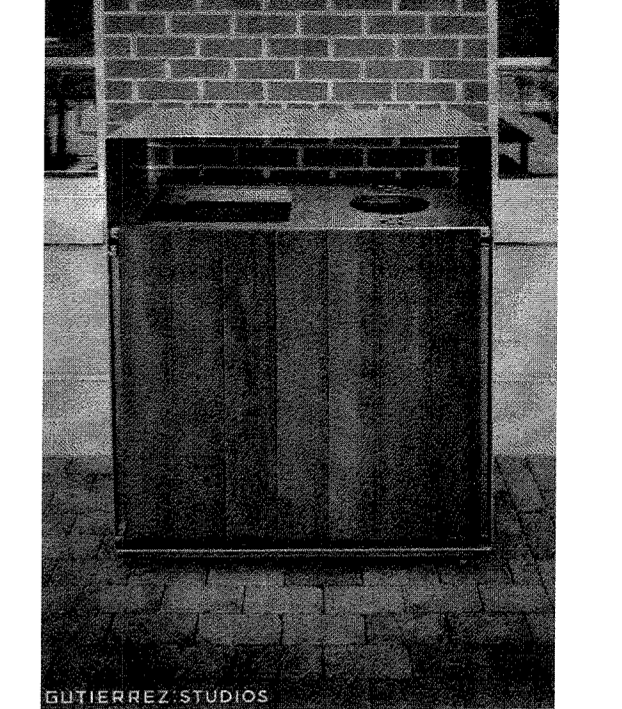


**BOLLARD NOTES:**  
 1. CONTRACTOR TO SUBMIT SHOP DRAWINGS OF BOLLARD FABRICATION FOR REVIEW.  
 2. DESIGN FOR BOLLARD WAS BASED OFF OF CUSTOM BIKE RACK DESIGN. PRECEDENT IMAGE FOR INSPIRATION.



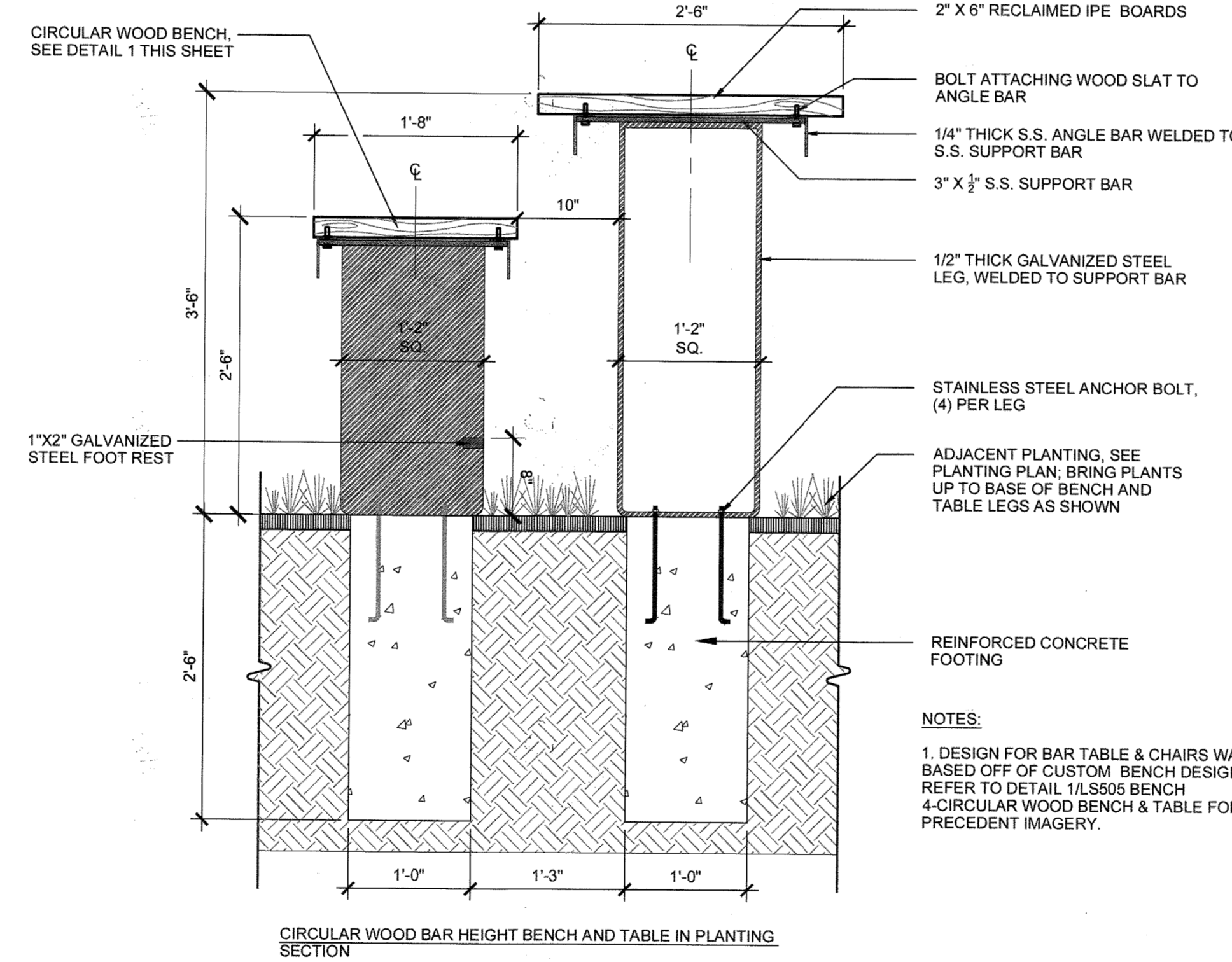
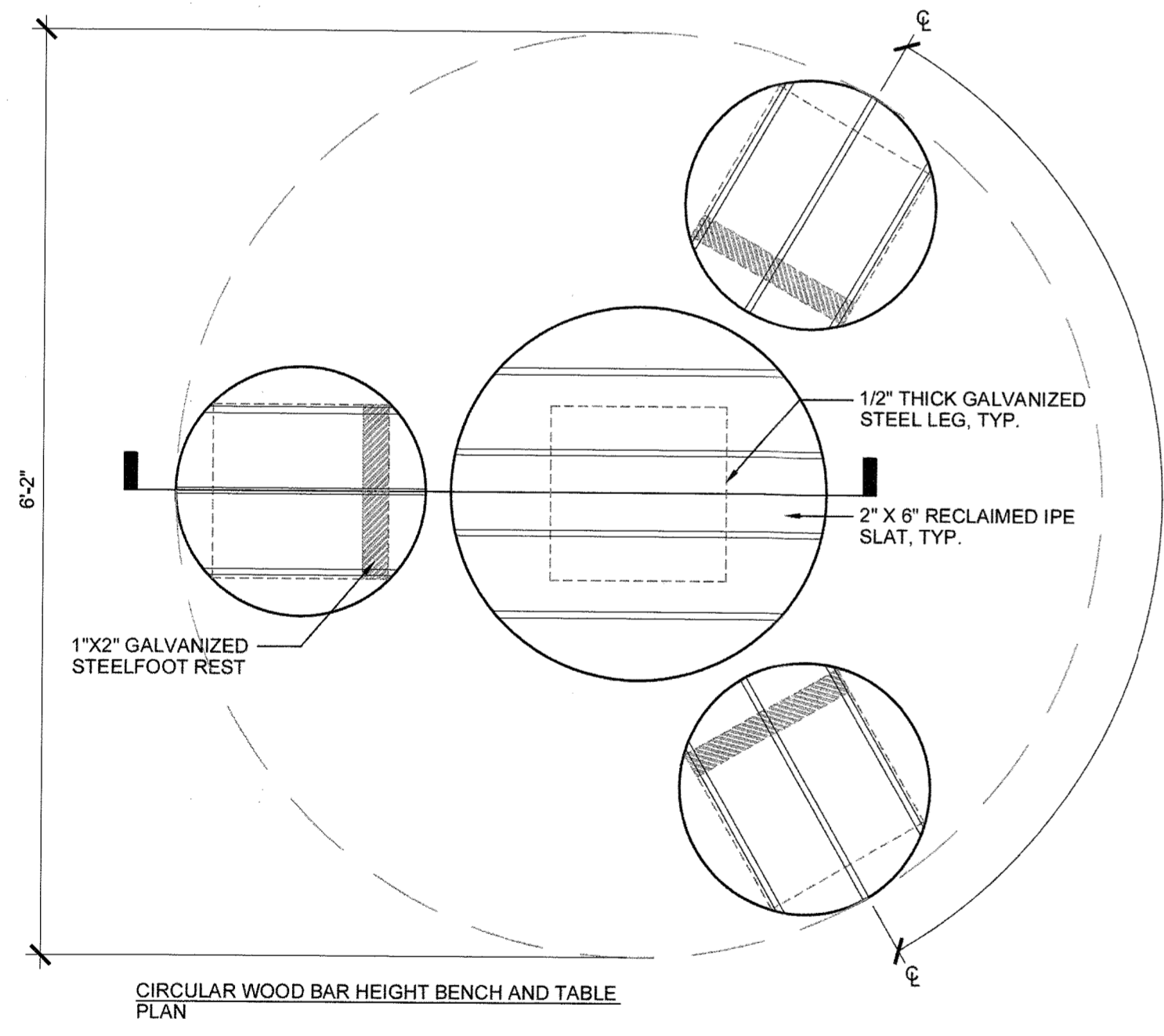
**GUTIERREZ STUDIOS**  
 CUSTOM 30 GALLON LITTER & RECYCLING RECEPTACLE

3/4 GALVANIZED STEEL FRAME WITH STAINLESS STEEL INSERT & ABSTRACT RECYCLING SYMBOL CUTOUT, RECLAIMED IPE SLAT COVERING



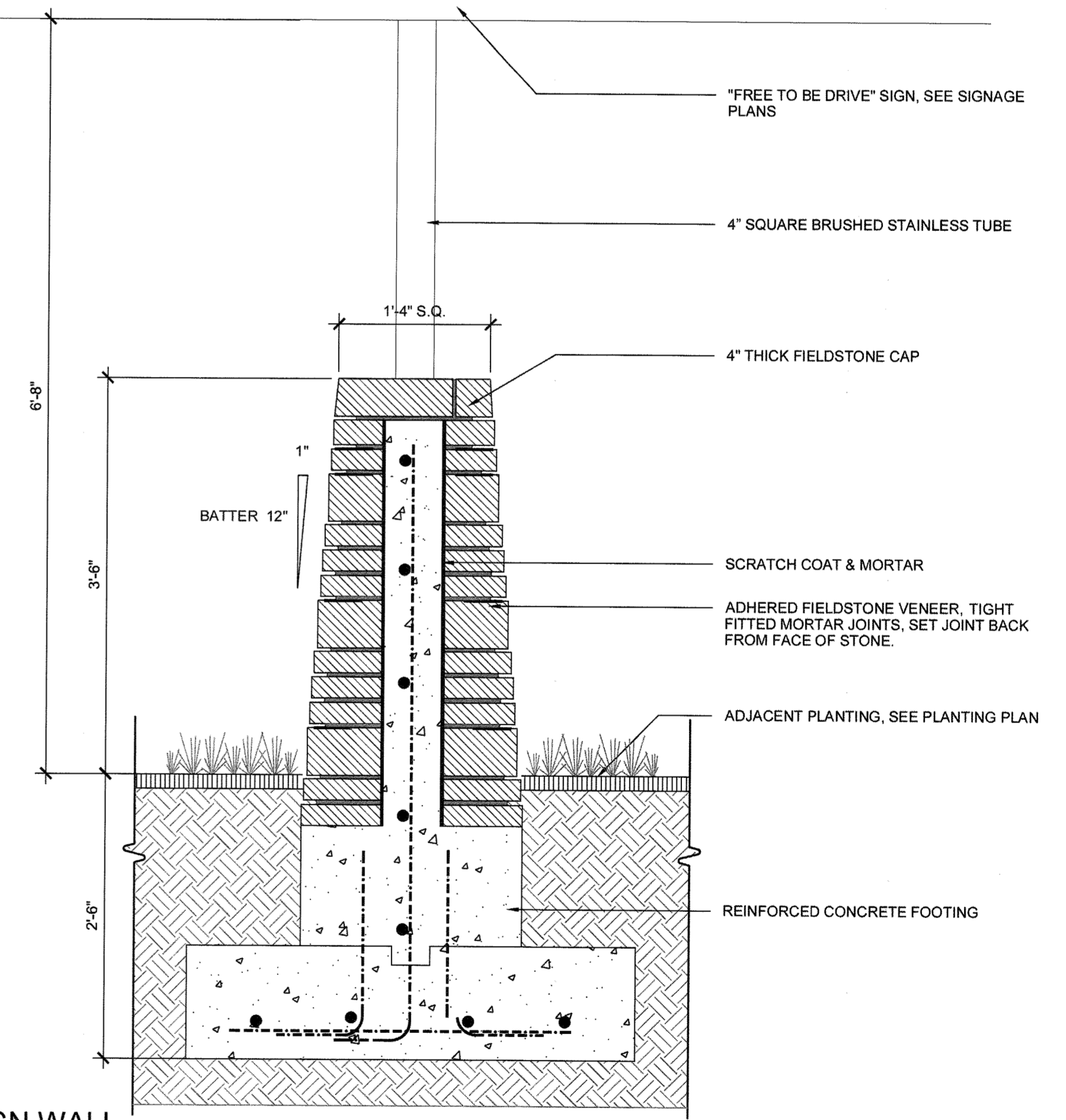
**1 BOLLARD**  
 1"=1'-0"

**2 LITTER/RECYCLING RECEPTACLES**  
 1"=1'-0"



**3 BENCH 7 - BAR TABLE AND STOOLS**  
 1"=1'-0"

**4 FREE TO BE SIGN WALL**  
 1"=1'-0"



**GENERAL NOTE:**  
 ALL FURNISHINGS, WITH THE EXCEPTION OF BENCH 6 (CHAISE LOUNGE CHAIR; 3/LS505), ARE CUSTOM DESIGNED. IMAGES PROVIDED ARE FOR PRECEDENT REFERENCE ONLY AND ARE NOT IMAGES OF ACTUAL FURNISHINGS INTENDED FOR THE PROJECT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-8-15  
 Chief, Division of Land and Development: *[Signature]* Date: 9-23-15  
 Chief, Development Engineering Division: *[Signature]* Date: 9-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See Site 2 for Phasing & Adj'l Resigned Approvals for Phases 2-7

**MAHAN RYKIEL ASSOCIATES INC**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

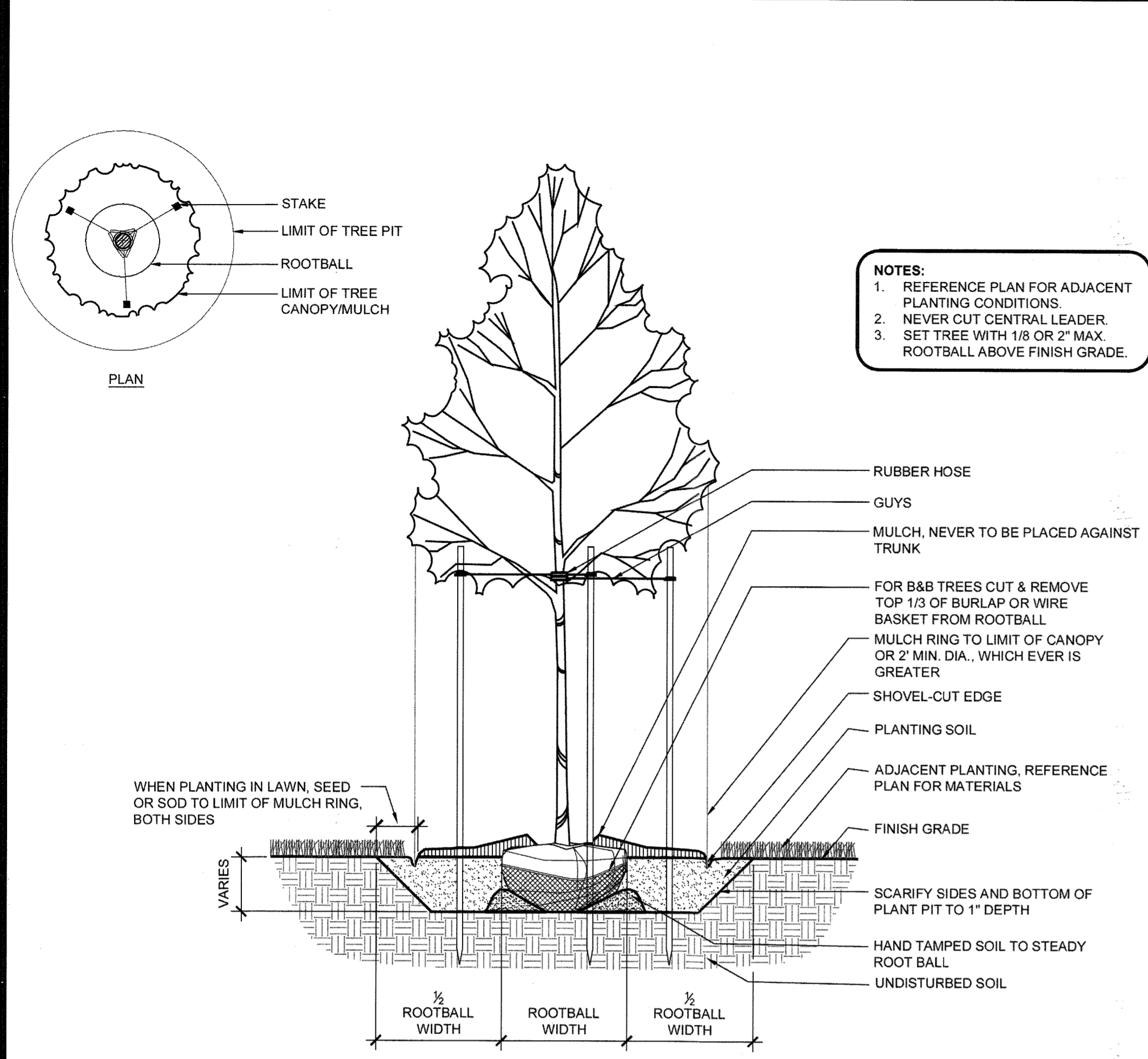
REVISION	DATE	BY	APP'R

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

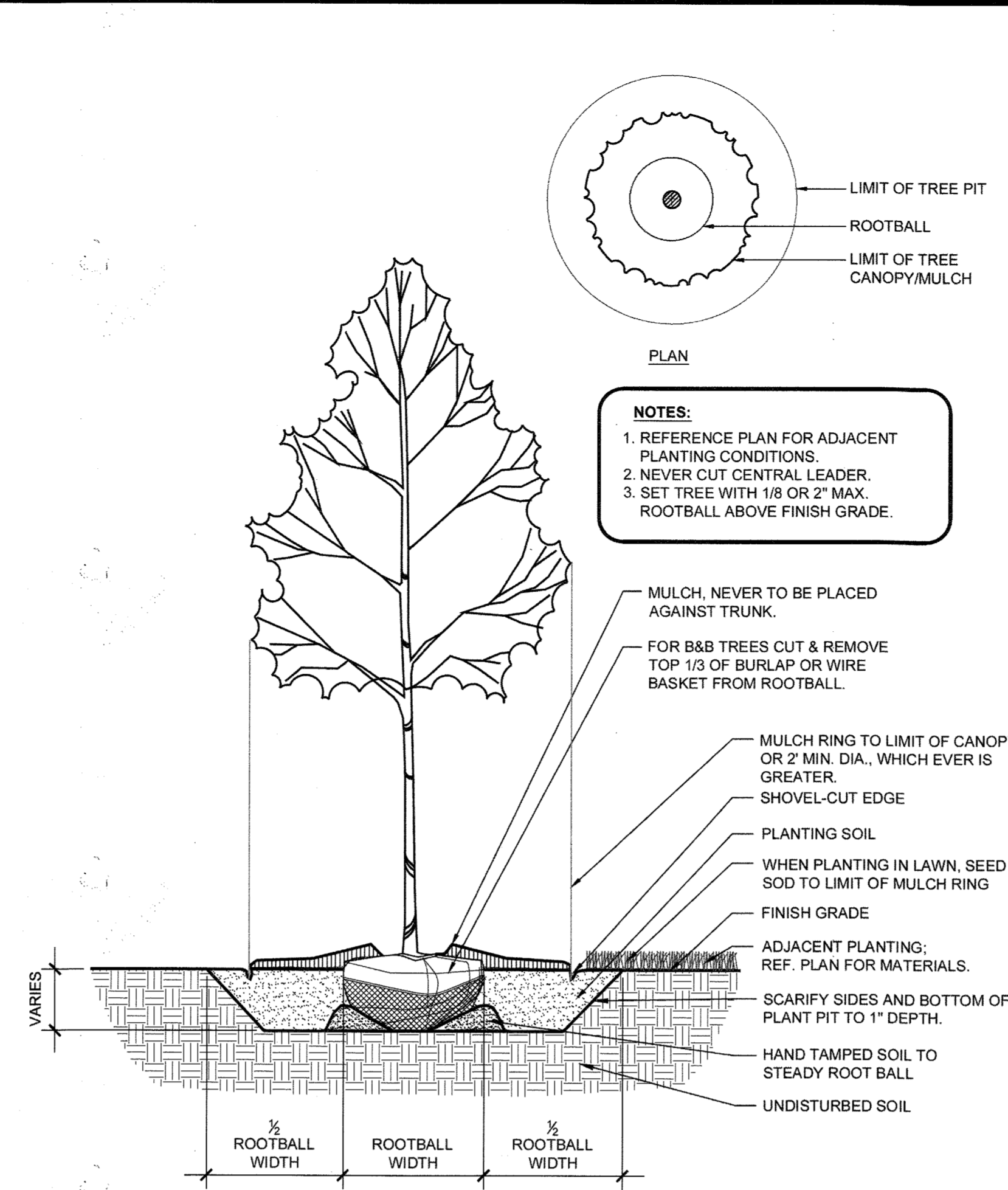


**SITE HARDSCAPE DETAILS**  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

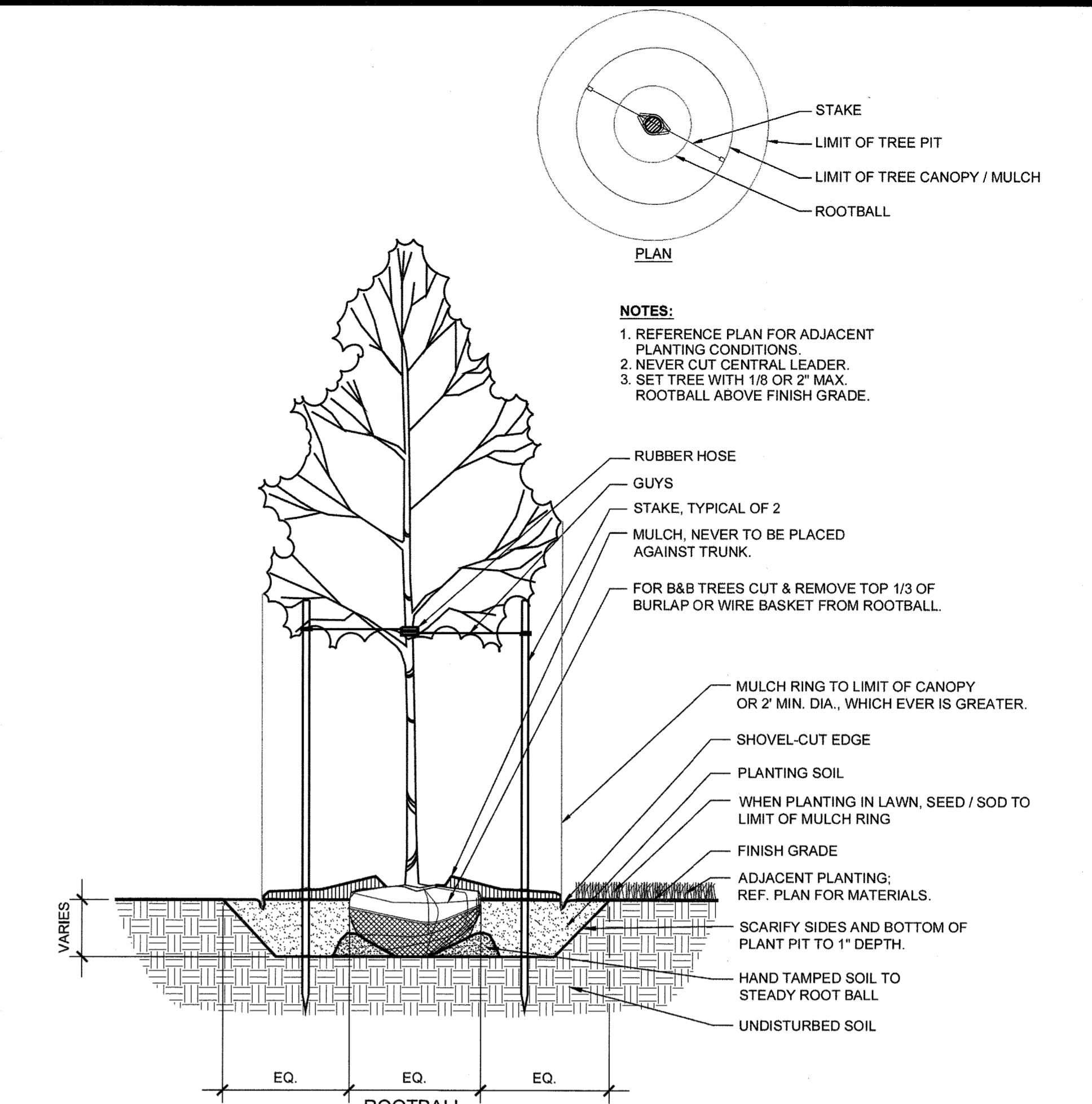
SCALE		ZONING	G. L. W. FILE No.
AS SHOWN		NT	13043
DATE	TAX MAP - GRID	SHEET	
JUNE, 2015	36 - 01	67 OF 90	



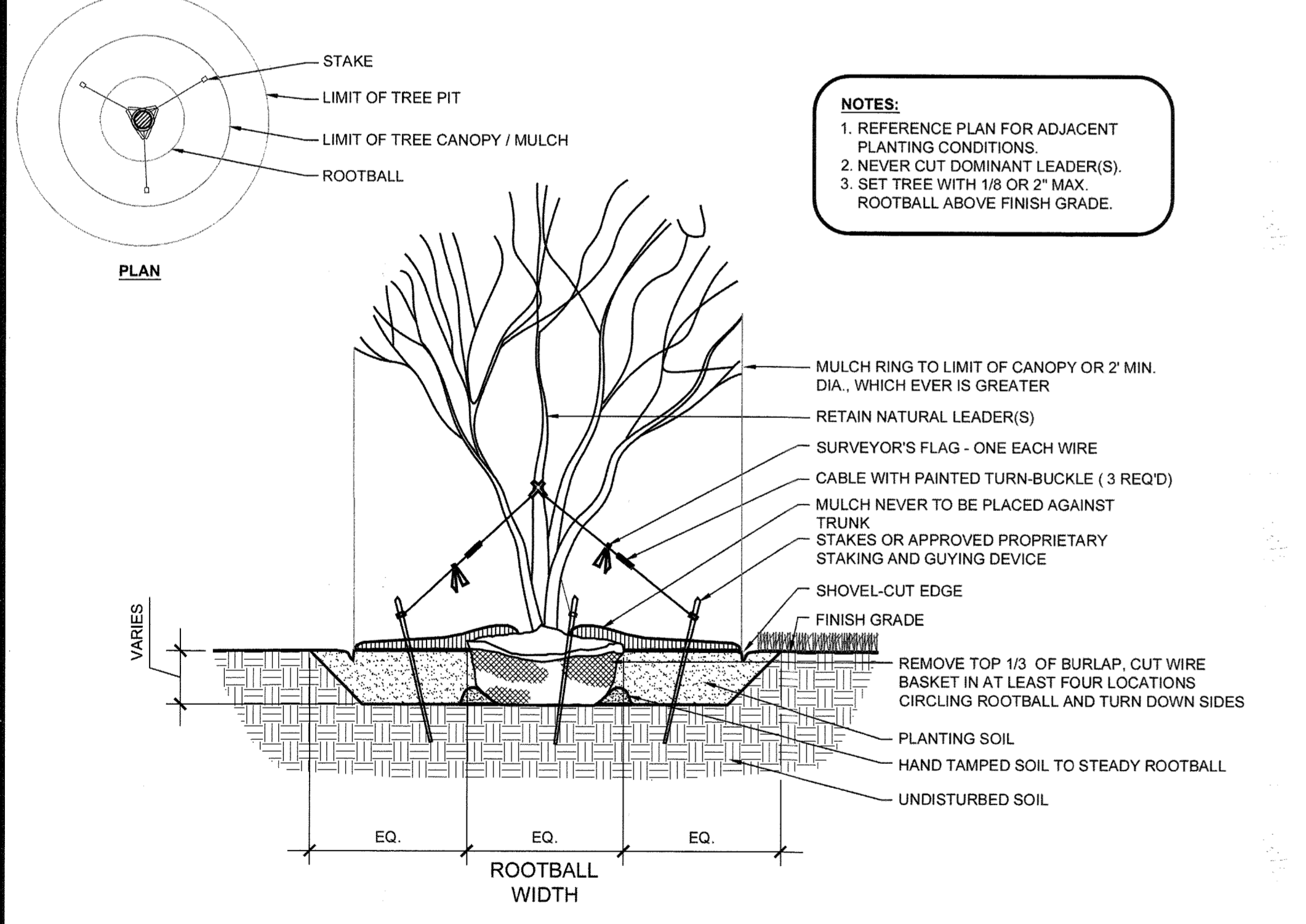
**1** Typical Tree Planting (2.5" Cal. - 4" Cal.) (Less Than 14' Ht.), Staked  
1/2" = 1'-0"



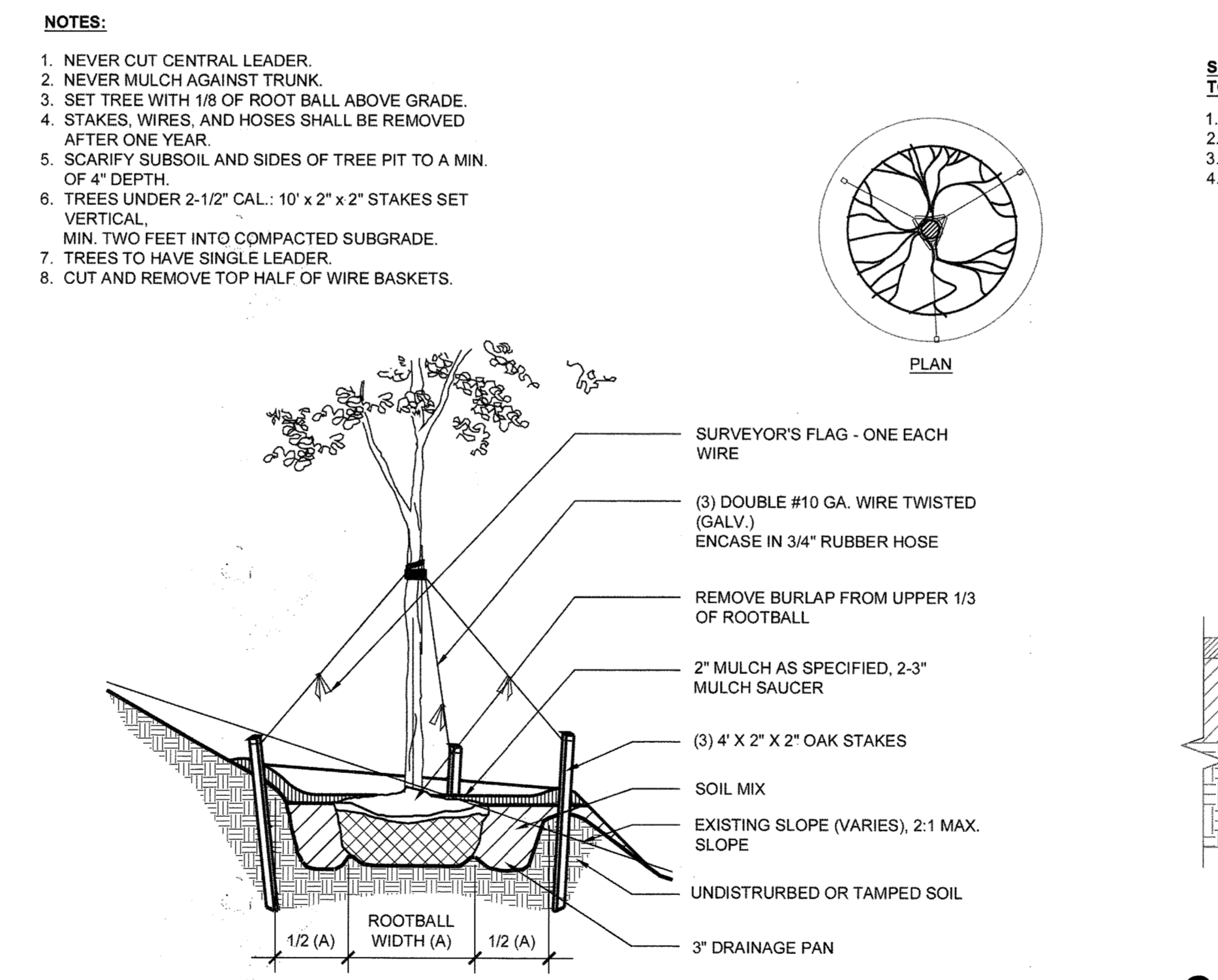
**2** Typical Tree Planting (Less than 2" Cal.), Not Staked  
1/2" = 1'-0"



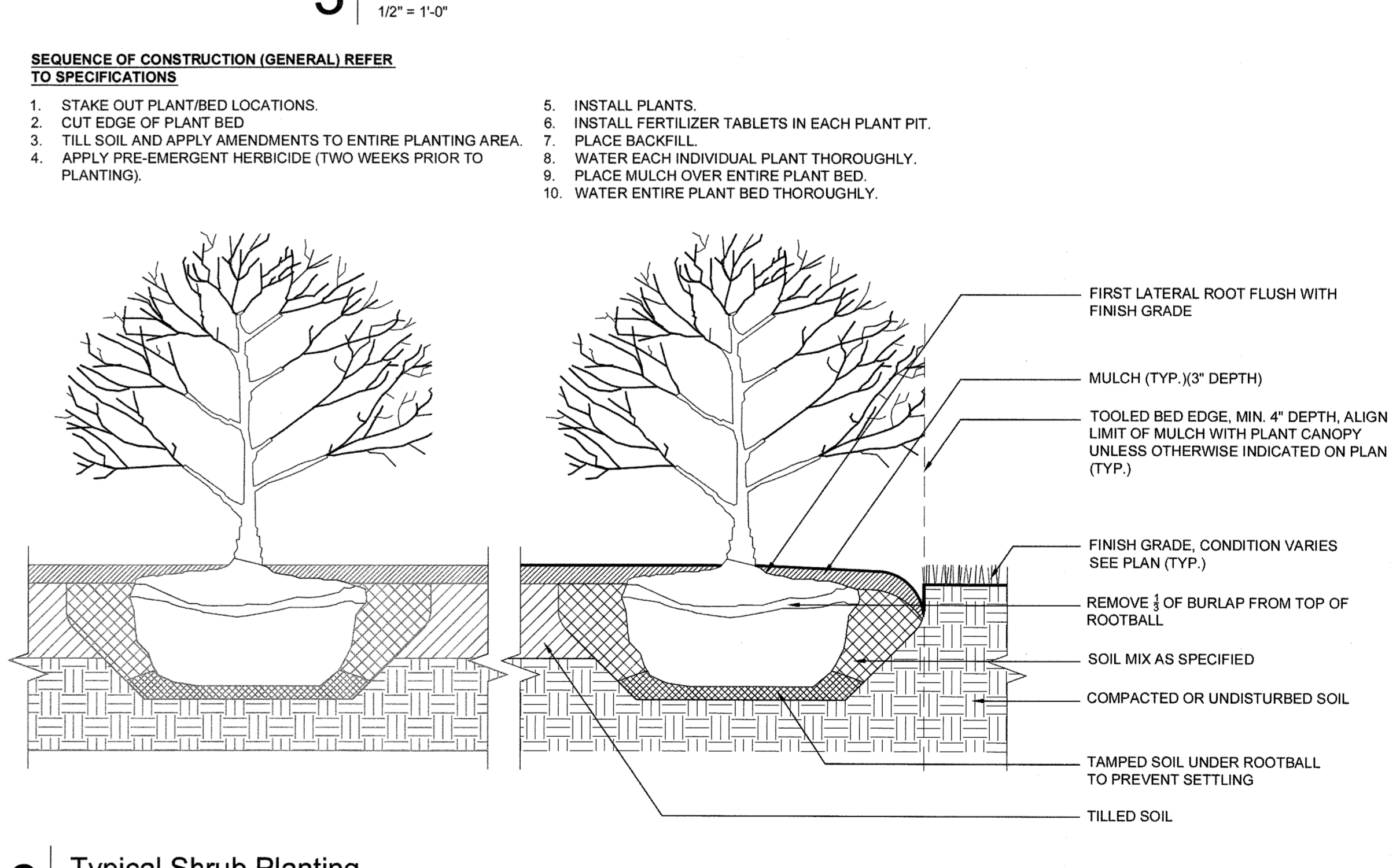
**3** Typical Tree Planting (Less than 12' Ht, 2.5" Cal.), Staked  
1/2" = 1'-0"



**4** Typical Tree Planting (Over 3" Cal - 14' Ht.), Staked  
1/2" = 1'-0"



**5** Typical Tree Planting on Slope  
1/2" = 1'-0"



**6** Typical Shrub Planting  
1" = 1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* 9-8-15  
 Chief, Division of Land Development: *[Signature]* 9-2-15  
 Chief, Development Engineering Division: *[Signature]* 9-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Ch. 2 for Provisions for Additional Required Approvals for Pns 5-7

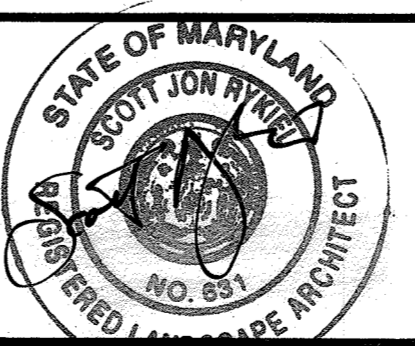
CERTIFICATION NOTE:  
 THE LANDSCAPE PLAN PROVIDED WITHIN IS CERTIFIED TO MEET ALL REQUIREMENTS AND THE DESIGN INTENT OF THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN LIBER 14407 FOLIO 233.  
 SCOTT RYKIEL, RLA 631

CERTIFICATION NOTE:  
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL FOR ALTERNATIVE COMPLIANCE AND THE MERRIWEATHER-SYMPHONY WOODS DESIGN GUIDELINES. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.  
 DEVELOPER'S/OWNER'S NAME: *[Signature]*  
 DATE: 9/4/15

**MAHAN RYKIEL ASSOCIATES INC.**  
 The Steiff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.8001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY, NOT FOR CONSTRUCTION

SITE PLANTING DETAILS  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SITE PLANTING DETAILS		LS507
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	68 OF 90

**TREE PRESERVATION APPROACH  
MERRIWEATHER PARK**

TREE PRESERVATION DURING CONSTRUCTION REQUIRES AN INTEGRATED APPROACH THAT RECOGNIZES BOTH THE INHERENT BIOLOGICAL LIMITATIONS OF MATURE TREES AND THE PHYSICAL DEMANDS THAT HUMAN INFRASTRUCTURE PLACES UPON THE LANDSCAPE. THE FOLLOWING DESCRIBES THE COMPREHENSIVE TREE PRESERVATION METHODOLOGY THAT WILL BE UNDERTAKEN TO ENSURE THE HIGHEST POTENTIAL FOR MAINTAINING TREE HEALTH.

THE CRITICAL ROOT ZONE (CRZ) IS THE AREA AROUND THE BASE OF THE PLANT THAT CONTAINS THE VAST MAJORITY OF SMALL, ABSORBING ROOTS. AS OPPOSED TO THE LARGE, STRUCTURAL SUPPORT ROOTS, THE ABSORBING ROOTS ARE PRIMARILY RESPONSIBLE FOR THE UPTAKE OF BOTH WATER AND ESSENTIAL ELEMENTS. THEY REQUIRE ADEQUATE OXYGEN IN ORDER TO SURVIVE. AS SUCH, THEY ARE LOCATED CLOSE TO THE SURFACE (IN THE TOP 12 TO 18" OF SOIL). THEY ARE ALSO HIGHLY VULNERABLE TO SOIL COMPACTION AND THE ACCOMPANYING REDUCTION IN OXYGEN-CONTAINING PORE SPACES BETWEEN SOIL PARTICLES. THE PRIMARY STRATEGY TO BE EMPLOYED IN PRESERVING THE VALUABLE TREES IN MERRIWEATHER PARK WILL BE TO AVOID AND MITIGATE SOIL COMPACTION WITHIN THE CRZ. CRZ WILL BE ESTIMATED BASED ON TREE DIAMETER, AN APPROPRIATE INDICATOR OF POTENTIAL ROOTING AREA. FIELD STUDIES HAVE SHOWN THAT, FOR EVERY INCH OF TREE DIAMETER AT BREST HEIGHT (DBH), A CORRESPONDING RADIUS OF 1.5 FEET (STARTING FROM THE TREE STEM) WILL CAPTURE MOST OF THE CRZ. FOR INSTANCE, A PLANT WITH A DBH OF 10 INCHES WILL HAVE A CRITICAL ROOT ZONE EDGE 15 FEET FROM THE STEM.

THE PLAN WILL INVOLVE TWO COMPLEMENTARY TECHNIQUES TO AVOID UNINTENDED TREE LOSS DURING THE CONSTRUCTION PROCESS:

- A) AVOID THE CRITICAL ROOT ZONE OF TREES SELECTED FOR PRESERVATION
- B) MODIFY CONSTRUCTION ACTIVITIES WHEN IT IS NECESSARY TO OPERATE WITHIN THE CRITICAL ROOT ZONE

**AVOIDING THE CRITICAL ROOT ZONE**

IN ORDER TO MAXIMIZE THE LEVEL OF TREE CANOPY AND FOREST INTEGRITY THAT IS PROTECTED AT THE PARK, IT IS IMPORTANT TO FIRST FIELD DETERMINE WHICH TREES ARE COMPATIBLE WITH THE PLANNED INFRASTRUCTURE EXPANSION, AND TO THEN DELINEATE THE CRITICAL ROOT ZONES FOR THESE PLANTS.

**1 - IDENTIFY TREES FOR RETENTION**

A TREE INVENTORY WAS PERFORMED IN 2010. DOMINANT, CANOPY-LEVEL TREES WITHIN THE TARGETED CONSTRUCTION ZONE WILL BE RE-EVALUATED WITHIN THE CONTEXT OF PLANNED ACTIVITIES AND CHARACTERIZED AS TO SPECIES, DBH, AND CONDITION. CHARACTERIZATION OF SPECIES AND CONDITION WILL ALLOW FOR INFORMED DETERMINATION OF WHICH PLANTS ARE COMPATIBLE WITH CONSTRUCTION. TREES IN POOR CONDITION, OR THAT ARE OF SPECIES LIKELY TO BE INTOLERANT OF DISTURBANCE AND PRONE TO HAZARD GENERATION, SHOULD BE REMOVED FROM CONSIDERATION FOR RETENTION.

**2 - CRZ LOCATIONS**

BASED ON EVALUATION, CRZ LOCATIONS WILL BE REFINED FROM PREVIOUS TREE INVENTORY.

**3 - INTEGRATE TREE DATA INTO DESIGN PROCESS**

TO DATE, THE DESIGN HAS GONE TO GREAT LENGTHS TO AVOID CRZ OF EXISTING TREES. BASED ON REFINED INFORMATION COLLECTED ABOVE, MINOR MODIFICATIONS MAY BE TAKEN TO RETAIN TREES AND TO MAXIMIZE THE OPPORTUNITY FOR PRESERVING THE TREE CANOPY AND FOREST INTEGRITY. ALL DESIGN SUBMISSIONS WILL INCLUDE A REVIEW AND COMMENTARY BY A QUALIFIED ARBORICULTURAL PROFESSIONAL EXPERIENCED IN TREE PRESERVATION TECHNIQUES.

**MODIFY CONSTRUCTION ACTIVITIES WITHIN THE CRZ**

TREE PRESERVATION TECHNIQUES WILL BE IMPLEMENTED TO REDUCE SOIL COMPACTION AND THE SUBSEQUENT LOSS OF TREE COVER. THE FOLLOWING MEASURES WILL BE CONSIDERED TO AVOID IMPACTS TO TREES DESIGNATED FOR RETENTION.

**4 - FIELD DELINEATE INDIVIDUAL CRZ LOCATIONS**

PRIOR TO CONSTRUCTION ACTIVITIES, INDIVIDUAL TREE CRZ ZONES WITHIN DISTURBANCE ZONES WILL BE MARKED WITH FLAGGING AND/OR GROUND PAINT BY AN ARBORICULTURAL PROFESSIONAL, LICENSED BY THE STATE OF MARYLAND AND QUALIFIED IN THE FIELD OF TREE PRESERVATION.

**5 - DEVELOP INDIVIDUAL TREE PROTECTION PLANS**

INDIVIDUAL TREE PROTECTION PLANS WILL BE CREATED THAT ADDRESS ARBORICULTURAL INTERVENTIONS AND CONSTRUCTION PRACTICES REQUIRED FOR THE TARGETED PLANTS. THESE MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:

- TREE PROTECTION FENCING
- TREE PROTECTION SIGNAGE
- MULCH SPECIFICATIONS
- CONSTRUCTION MAT SPECIFICATIONS
- SOIL MOISTURE MONITORING STANDARDS
- SUPPLEMENTAL IRRIGATION STANDARDS
- SOIL MODIFICATION (FERTILIZATION, AIR SPADING) RECOMMENDATIONS
- TRENCHING, DIRECTIONAL DRILLING RECOMMENDATIONS
- ROOT PRUNING RECOMMENDATIONS
- ACCESS PIT LOCATIONS
- TREE REMOVAL AND STUMP REMOVAL SPECIFICATIONS
- TREE HAZARD REDUCTION RECOMMENDATIONS

**6 - CONSTRUCTION MONITORING**

A TRAINED AND QUALIFIED ARBORICULTURAL PROFESSIONAL DURING CRITICAL CONSTRUCTION PHASES WILL BE PRESENT ON SITE TO ENSURE TREE PRESERVATION PLAN IS ABIDED.

**PRODUCTS**

**2.1 TREE PROTECTION FENCING**

MINIMUM SPECIFICATIONS - BLAZE ORANGE, HEAVY DUTY, PLASTIC MESH FENCE, A MINIMUM OF 4 FOOT (1.2M) HIGH, SECURELY ATTACHED TO 2 INCH (50MM) METAL POSTS 6 FEET (1.8M) HIGH, DRIVEN A MINIMUM OF 2 FEET (0.6M) INTO THE GROUND. POSTS SHALL BE SET A MAXIMUM OF 8 FEET (2.4M) ON CENTER.

**2.2 TREE PROTECTION SIGNAGE**

HEAVY-DUTY CARDBOARD OR METAL SIGNS 12 INCHES (304MM) BY 12 INCHES ATTACHED TO ¾ INCH (19MM) THICK EXTERIOR GRADE MDO PLYWOOD (OR OTHER SUBSTRATE AS RECOMMENDED BY THE SIGN SUPPLIER). SIGN SHALL HAVE A BLAZE ORANGE BACKGROUND WITH BLACK BLOCK LETTERS, 1 INCH (25MM) HIGH, WITH THE INSCRIPTION "NO CONSTRUCTION ACTIVITY - TREE PROTECTION ZONE".

SIGNAGE SHALL BE ATTACHED TO THE TREE PROTECTION FENCE AT INTERVALS NOT TO EXCEED 25 FEET (7.6M) ON CENTER.

**2.3 MULCH**

MULCH SHALL CONSIST OF HARDWOOD CHIPS, AGED A MINIMUM OF SIX MONTHS AND SHALL BE FREE OF LEAVES. CHIPS STOCKPILED FROM THE TREE REMOVAL OPERATION MAYBE USED.

IF MULCH CONSISTS OF HARDWOOD AGED LESS THAN 6 MONTHS, SPREAD NITROGEN FERTILIZER AT THE RATE OF 10 LBS. PER 1000 SQ. FT.

**2.4 CONSTRUCTION MAT**

CONSTRUCTION MATTING WILL CONSIST OF ¾ INCH PLYWOOD OR HEAVY GAUGE STEEL PLATES WITH AN UNDERLAYMENT OF A MINIMUM OF SIX INCHES OF WOOD CHIP MULCH. THE PLYWOOD OR STEEL TOP LAYER SHOULD ONLY BE APPLIED WHERE VEHICLE MOVEMENT IS ANTICIPATED AND SHOULD NOT BE KEPT IN PLACE FOR EXTENDED PERIODS OF TIME.

**2.5 SOIL TENSIO METER**

TENSIO METER SHALL BE DESIGNED TO ACCURATELY MEASURE SOIL MOISTURE TENSION THROUGH THE USE OF A POROUS MOISTURE HOLDING CUP AND A VACUUM PRESSURE GAUGE. TENSIO METER SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF THE TARGET TREE AND MONITORED ON A NO LESS THAN WEEKLY BASIS DURING THE PERIOD OF CONSTRUCTION. MOISTURE CUP SHALL BE REGULARLY FILLED WITH WATER AND THE POROUS CUP ROUTINELY INSPECTED FOR CLOGGING AND/OR CRACKING.

**2.6 AIR SPADE**

AIR SPADE OR EQUIVALENT EXCAVATION TOOL DELIVERING A FOCUSED, HIGH EFFICIENCY, SUPERSONIC AIR JET DESIGNED TO REMOVE SOIL PARTICLES WITHOUT DAMAGING TREE ROOT STRUCTURES. NOZZLE SHALL BE FLOW RATED AT 150 SCFM AND PRESSURE RATED AT 90 PSIG. OPERATOR SHALL BE TRAINED AND EXPERIENCED IN PROPER USE OF EQUIPMENT

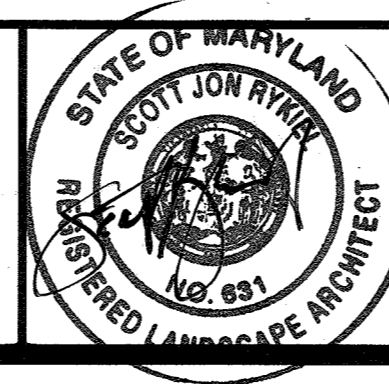
**GENERAL TREE PROTECTION FENCING NOTE:**

- 1. TREE PROTECTION FENCING, IN ACCORDANCE WITH THE TREE PROTECTION FENCE DETAIL ON SHEET 15, WILL BE PROVIDED FOR ALL TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE BEFORE CONSTRUCTION OF EACH PHASE.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-2-15  
 Chief, Division of Planning & Development: *[Signature]* Date: 8-25-15  
 Chief, Development Engineering Division: *[Signature]* Date:

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \* See Sh. 2 for Phasing & Add'l Required Approvals for Phs 3-7

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029



FOR INFORMATION ONLY;  
 NOT FOR CONSTRUCTION

ELECTION DISTRICT No. 5

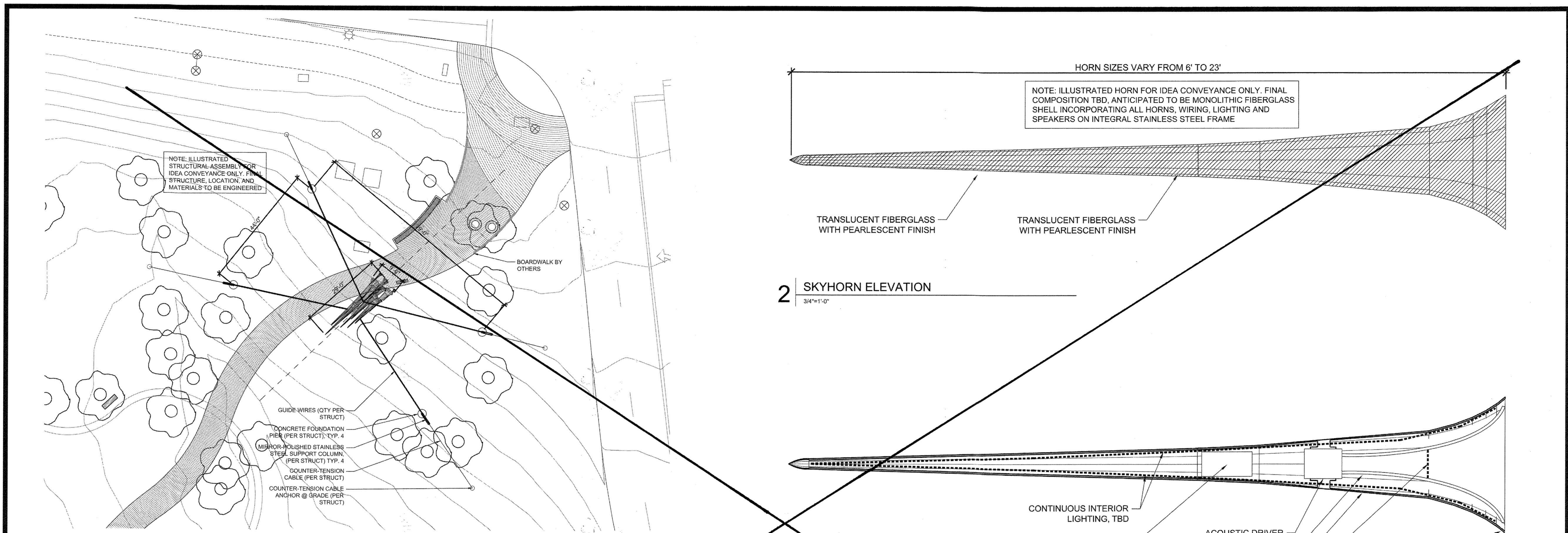
SITE TREE PROTECTION & PRESERVATION  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

SITE TREE PROTECTION & PRESERVATION		LS508
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	69 OF 90

MAHAN RYKIEL ASSOCIATES INC  
 The Stieff Silver Building, 800 Wyman Park Drive., Suite 100, Baltimore, MD 21211 410.235.6001

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

HOWARD COUNTY, MARYLAND



1 SITE PLAN  
1"=16'

2 SKYHORN ELEVATION  
3/4"=1'-0"

3 SKYHORN SECTION  
3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: \_\_\_\_\_ Date: \_\_\_\_\_  
Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: \_\_\_\_\_

**Cochran Studio**  
Catalytic Public Art for American Downtowns  
7792 Meadowbrook Drive | Frederick, MD 21702 | 301-696-2639 | williamcochran.com

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

EAST GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

EAST GATEWAY FEATURE		LF401
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	70 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Valerie Jaffer* Date: *9-8-15*  
Chief, Division of Land Development: *Gregory M. P.* Date: *9-2-15*  
Chief, Development Engineering Division: *W.D.* Date: *8-25-15*

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: *November 30, 2014*  
*See Sn 2, for Phasing and Add'l Required Approvals for Phs 3-7*

THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION. THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY COCHRAN STUDIO FOR REVIEW AND APPROVAL AT THE BUILDING PERMIT STAGE BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

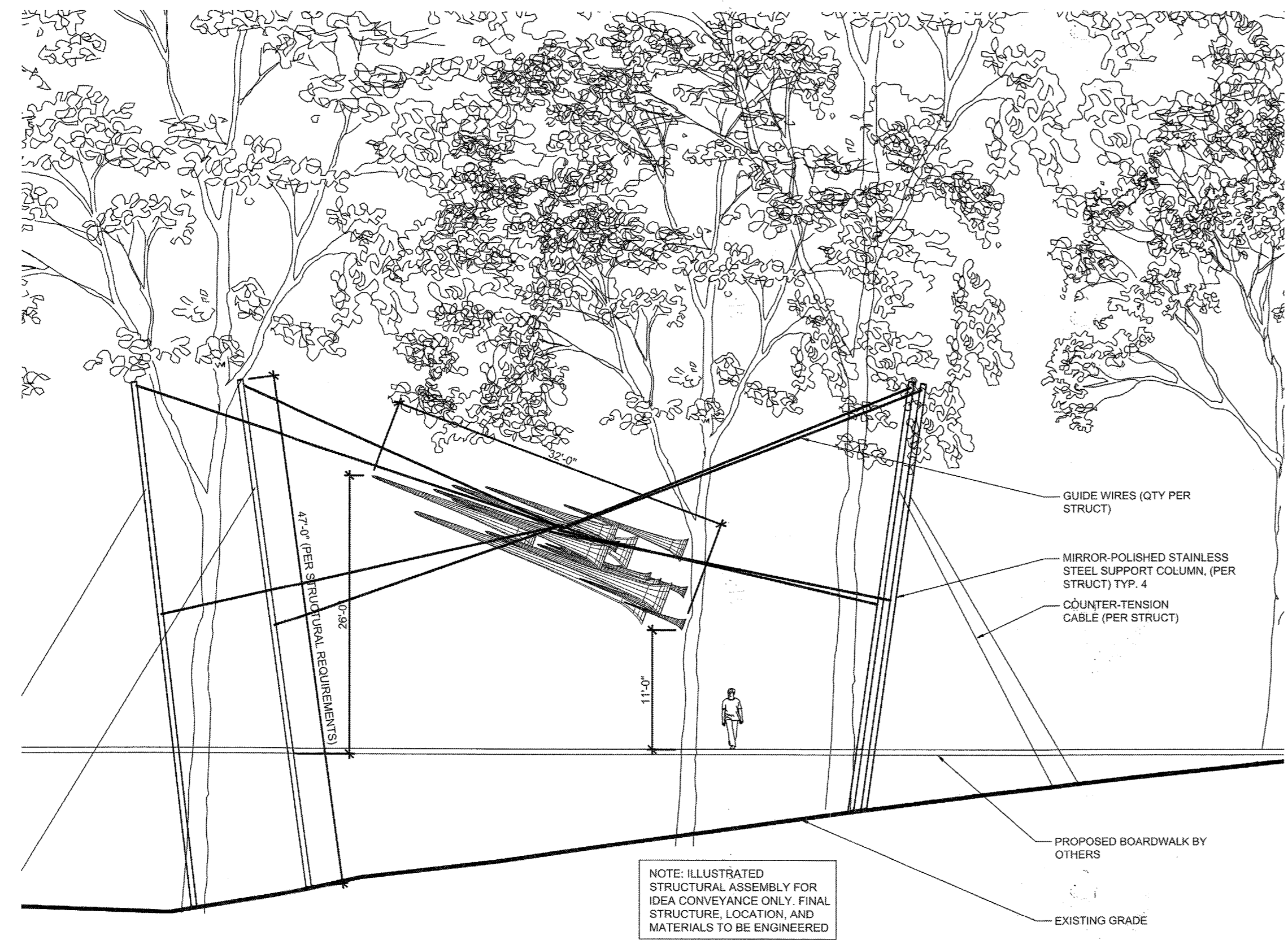
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14631  
EXPIRATION DATE: MAY 21, 2018



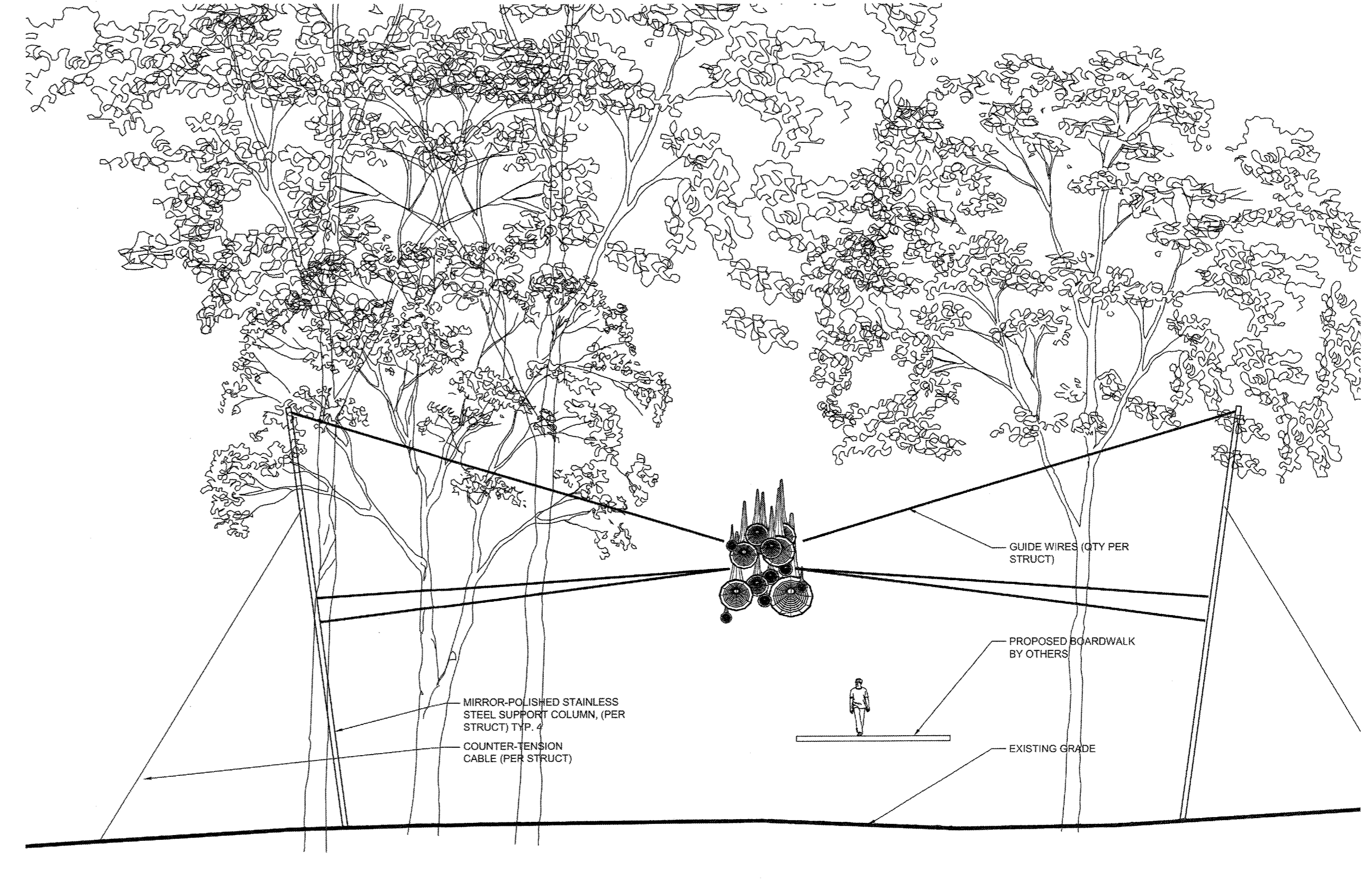
EAST GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13335 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

EAST GATEWAY FEATURE		PDOX SHEET 50.1 OF 59
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	70 OF 90

SDP 14-073



1 SITE ELEVATION  
3/4"=1'-0"



2 SITE ELEVATION - FROM STREET APPROACH  
3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING		APPROVED: PLANNING BOARD OF HOWARD COUNTY	
Director	Date	Director	Date
Chief, Division of Land Development	Date		
Chief, Development Engineering Division	Date		

**Cochran Studio**  
Catalytic Public Art for American Downtowns  
7192 Meadowbrook Drive | Frederick, MD 21702 | 301-696-2839 | www.cochranstudio.com

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
EXPIRATION DATE: MAY 21, 2016

EAST GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

EAST GATEWAY FEATURE		LF402
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	71 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING		APPROVED: PLANNING BOARD OF HOWARD COUNTY	
Director	Date	Director	Date
Chief, Division of Land Development	Date		
Chief, Development Engineering Division	Date		

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
EXPIRATION DATE: MAY 21, 2016

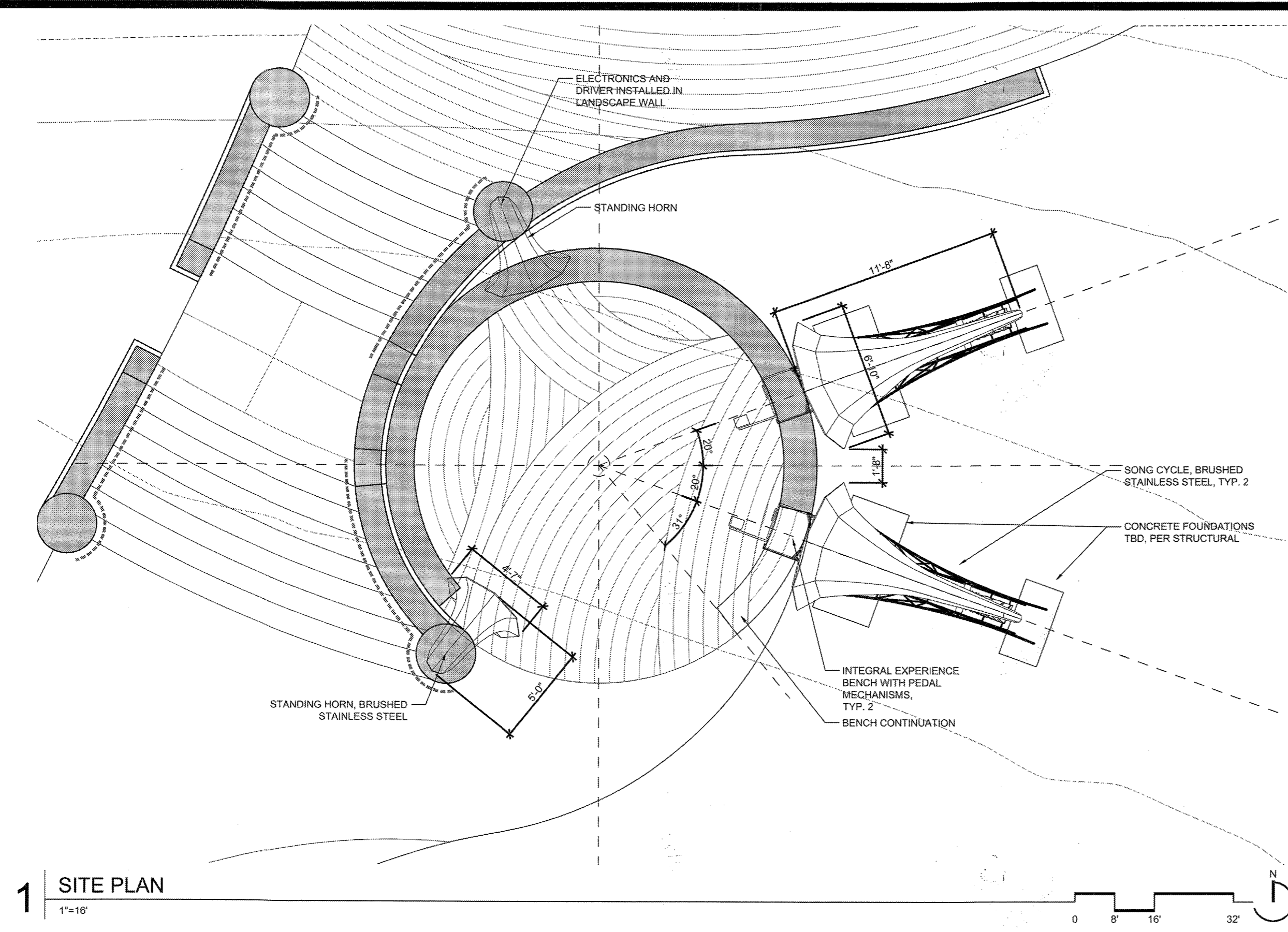
EAST GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER - SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13335 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

EAST GATEWAY FEATURE		PDOX SHEET 50.2 OF 59
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	71 OF 90

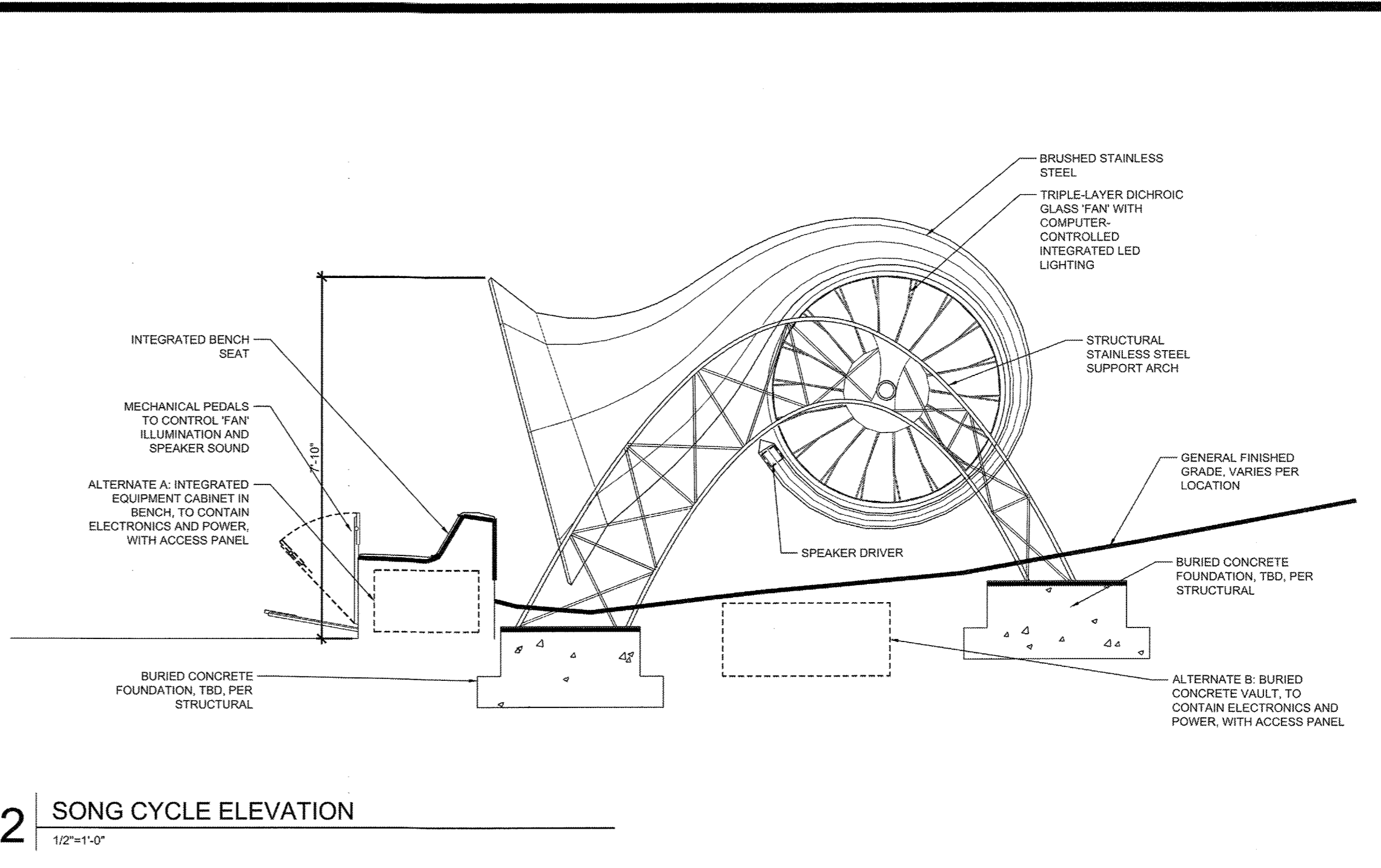
SDP 14-073

I:\ARCH\PROJECTS\2015\201506\SDP\14-073\14-073-01.dwg  
 PLOTTED 6/25/2015 4:15 PM, LAST SAVED 6/24/2015 10:47 AM, PLOTTED BY: Mike Thompson

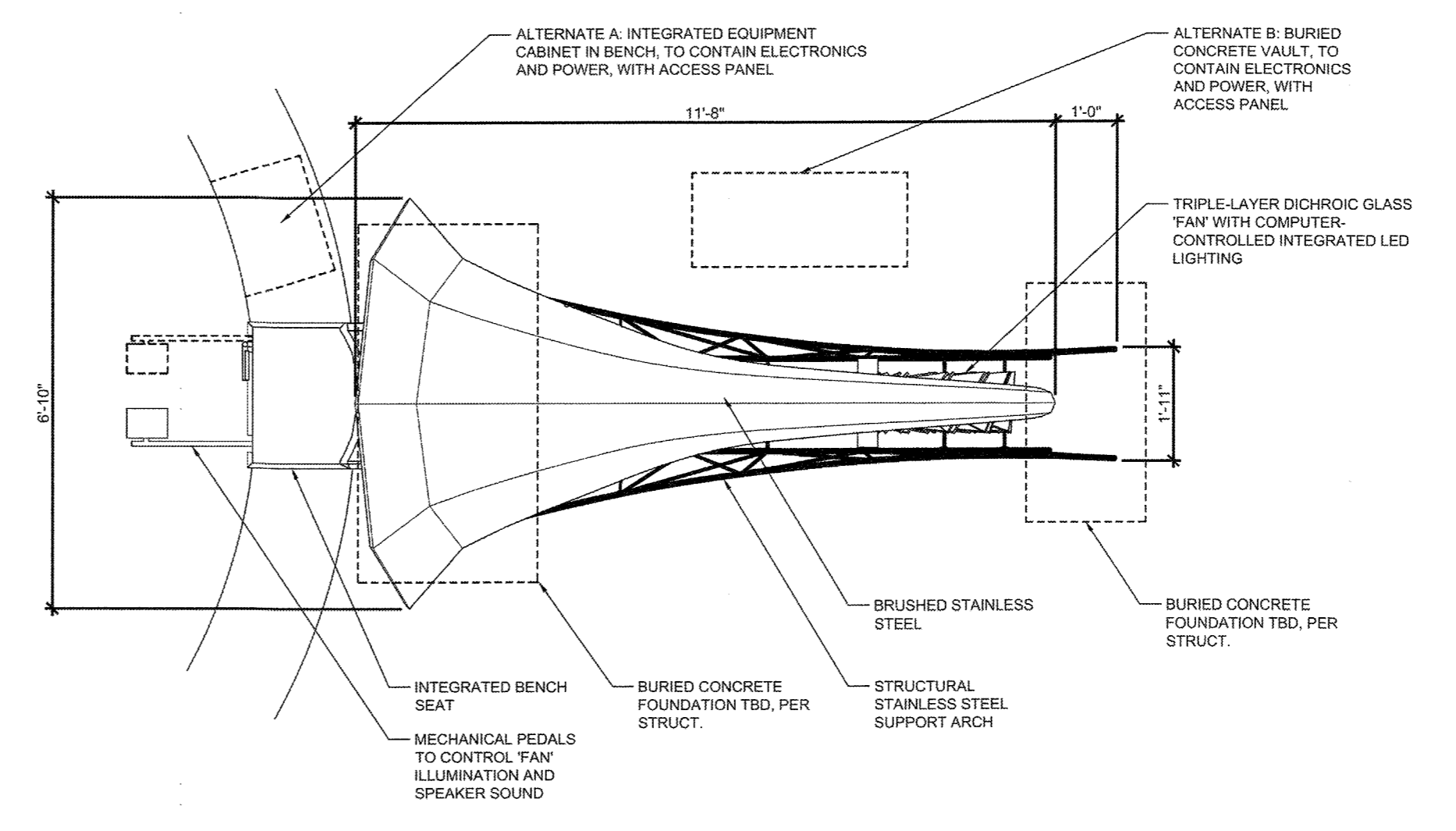




1 | SITE PLAN  
1"=16'



2 | SONG CYCLE ELEVATION  
1/2"=1'-0"



3 | SONG CYCLE PLAN  
1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: \_\_\_\_\_ Date: \_\_\_\_\_  
Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: \_\_\_\_\_

**Cochran Studio**  
Catalytic Public Art for American Downtowns  
7192 Meadowbrook Drive | Frederick, MD 21702 | 301-696-2839 | www.cochranstudio.com

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

CENTRAL GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	72 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Walter J. ...* Date: *9-8-15*  
Chief, Division of Land Development: *...* Date: *9-2-15*  
Chief, Development Engineering Division: *...* Date: *8-25-15*

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: *November 20, 2014*  
*\*See SDP 14-073 for Phases 2-7  
Reg. Approvals for Phases 3-7*

THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION. THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY COCHRAN STUDIO FOR REVIEW AND APPROVAL AT THE BUILDING PERMIT STAGE BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14531  
EXPIRATION DATE: MAY 21, 2016

CENTRAL GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

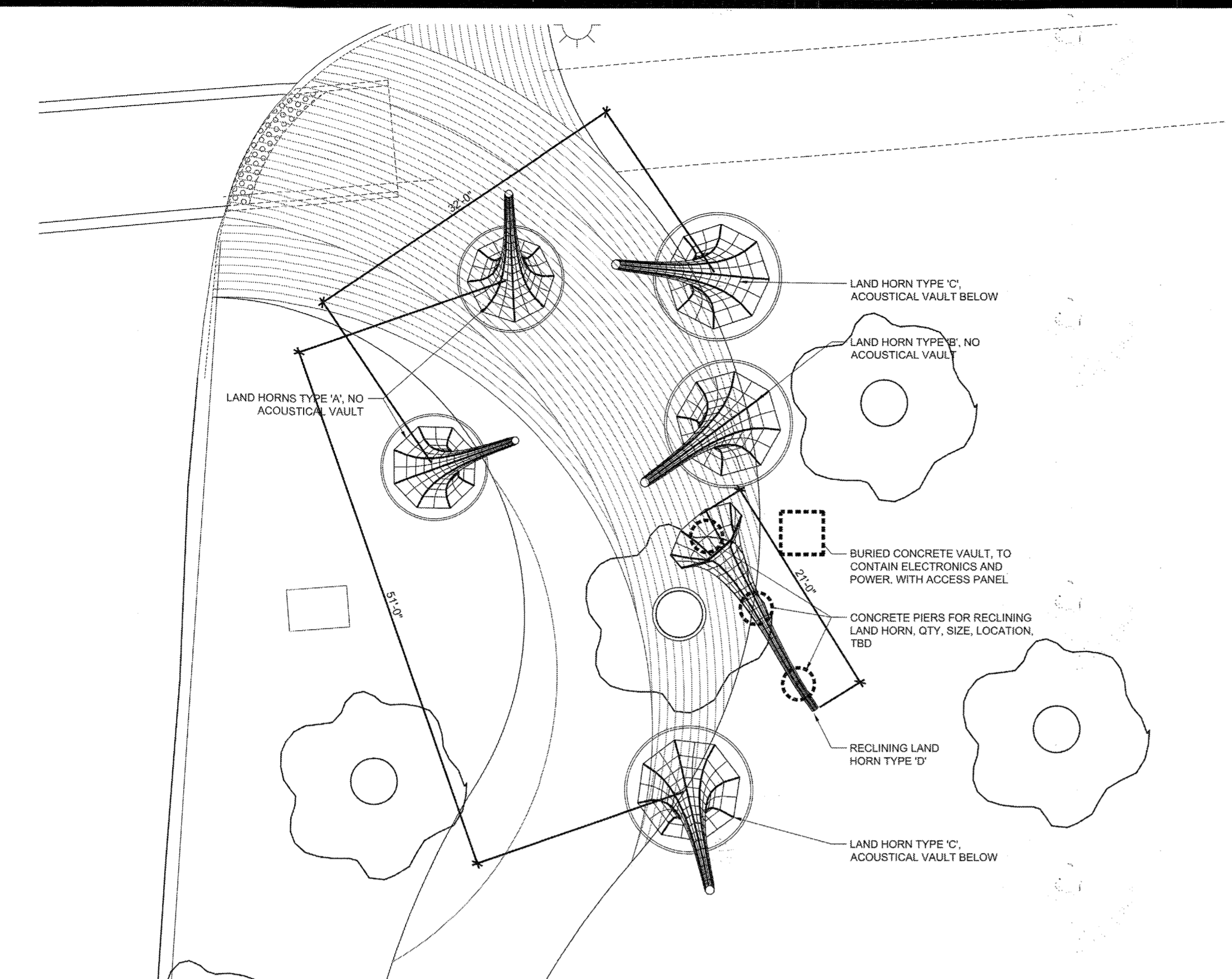
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	72 OF 90

PDOX SHEET 50.3 OF 59

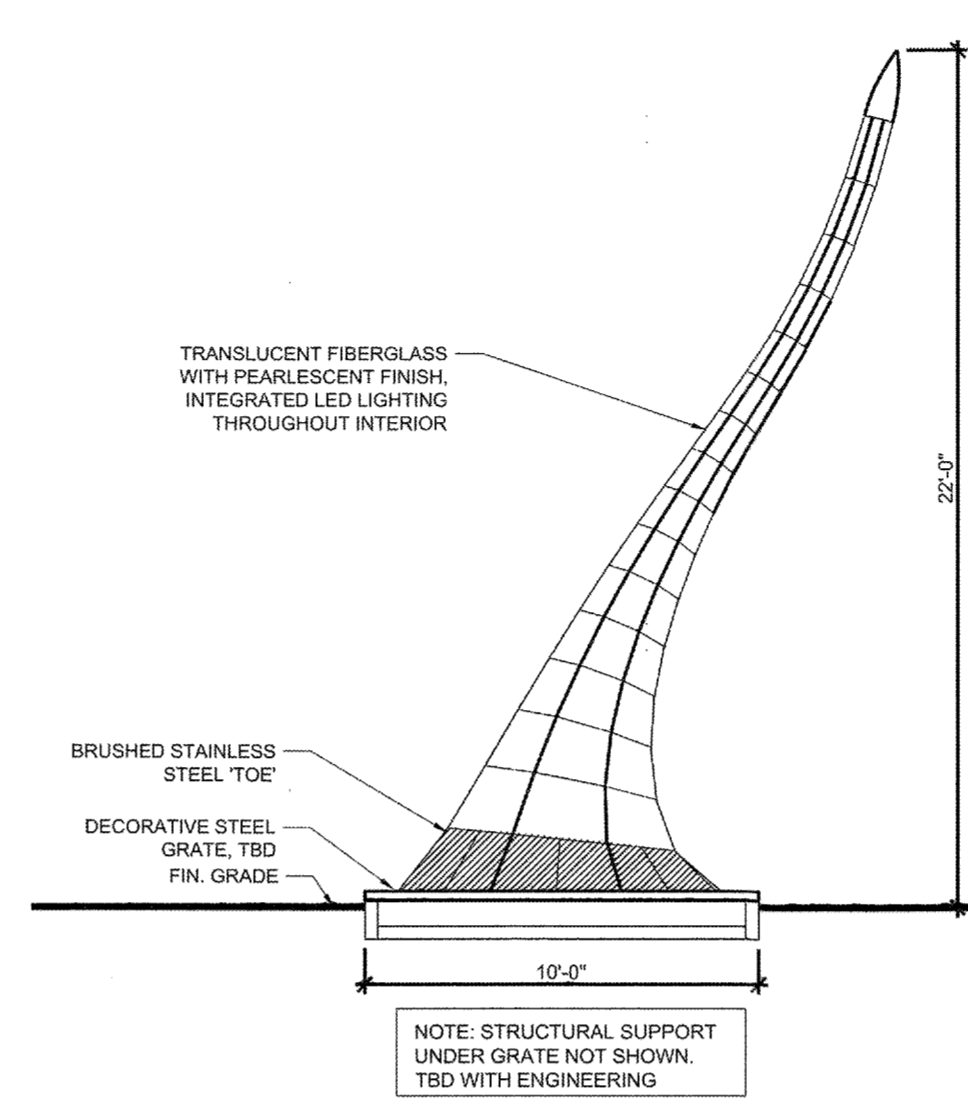
SDP 14-073

COCHRAN STUDIO: 7192 MEADOWBROOK DRIVE, FREDERICK, MD 21702-1000  
 TEL: 301-696-2839 FAX: 301-696-2840  
 WWW.COCHRANSTUDIO.COM  
 DATE PLOTTED: 6/2/2015 4:15 PM PLOT SCALE: 1/2"=1'-0"

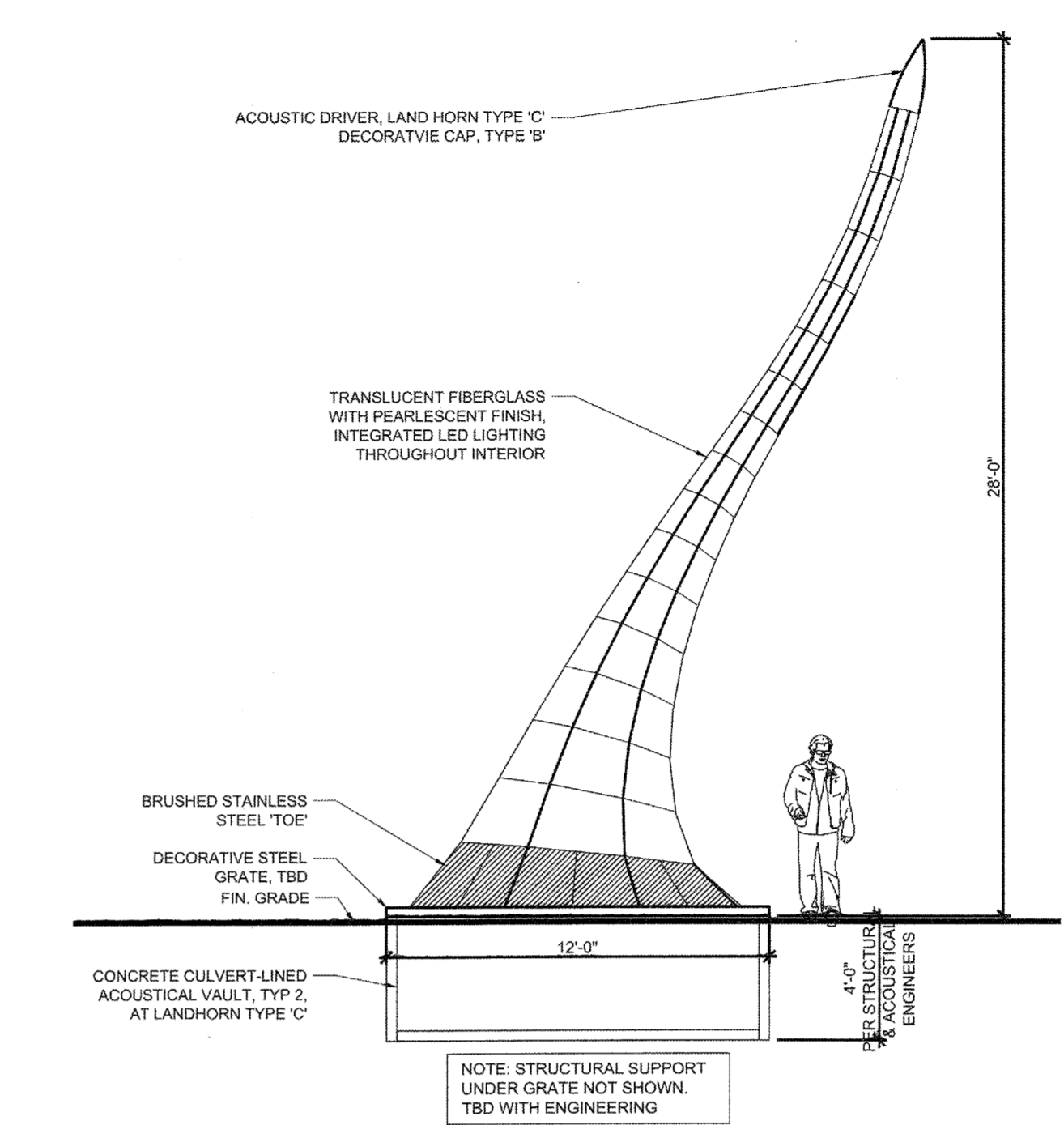




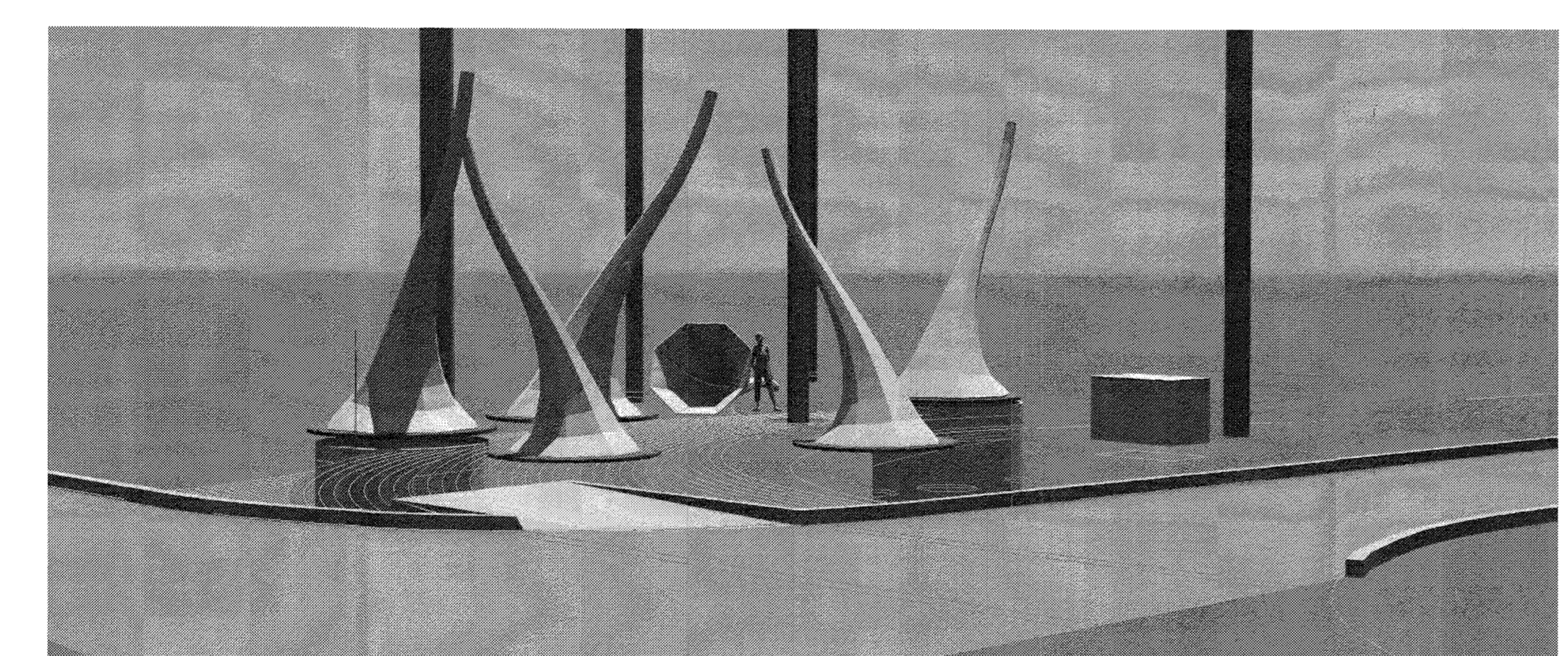
**1 SITE PLAN**  
1"=8'  
0 2' 4' 8' N



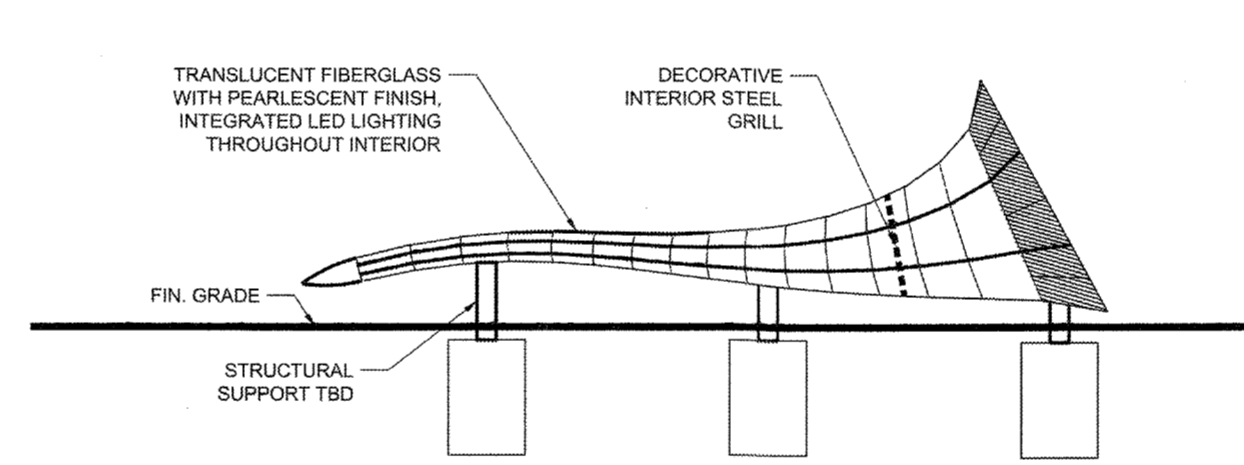
**2 SKYHORN ELEVATION, TYPE 'A'**  
1/4"=1'-0"



**3 SKYHORN ELEVATION, TYPES 'B' & 'C'**  
1/4"=1'-0"



**5 INSTALLATION VIEW**



**4 SKYHORN ELEVATION, TYPE 'D'**  
1/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING		APPROVED PLANNING BOARD OF HOWARD COUNTY	
Director	Date	Date	Date
Chief, Division of Land Development	Date		
Chief, Development Engineering Division	Date		

**Cochran Studio**  
Catalytic Public Art for American Downtowns  
7122 Meadowbrook Drive | Frederick, MD 21702 | 301-696-2839 | www.cochranstudio.com

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER: INNER ARBOR TRUST 10630 LITTLE PATUXENT PARKWAY CENTURY PLAZA, SUITE 315 COLUMBIA, MD 21044 ATTN: MICHAEL McCALL 410-740-0029	WEST GATEWAY FEATURE DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7 TOWN CENTER- SECTION 1 AREA 1 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32 GREEN COMMERCIAL BUILDING ELECTION DISTRICT No. 5	SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043	DATE JUNE, 2015	TAX MAP - GRID 36 - 01	SHEET 74 OF 85
---	--	-------------------	--------------	----------------------------	--------------------	---------------------------	-------------------

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *William J. ...* Date: 9-8-15  
Chief, Division of Land Development: *...* Date: 9-2-15  
Chief, Development Engineering Division: *...* Date: 8-25-15

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: November 20, 2014  
\*See Sh. 2 for Phasing to Add'l Required Approvals for Phases 2-7

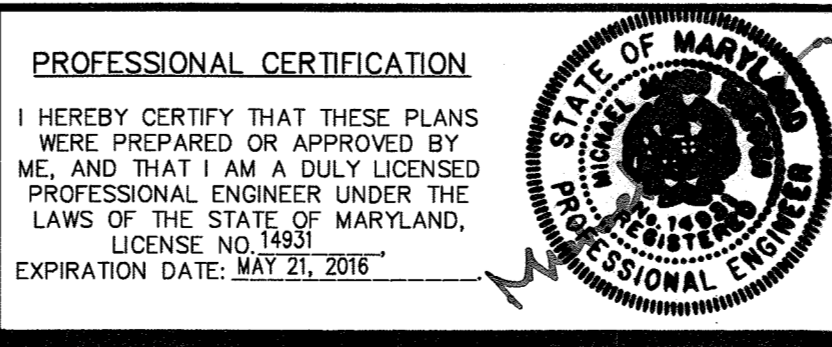
THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION. THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY COCHRAN STUDIO FOR REVIEW AND APPROVAL AT THE BUILDING PERMIT STAGE BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
EXPIRATION DATE: MAY 21, 2018

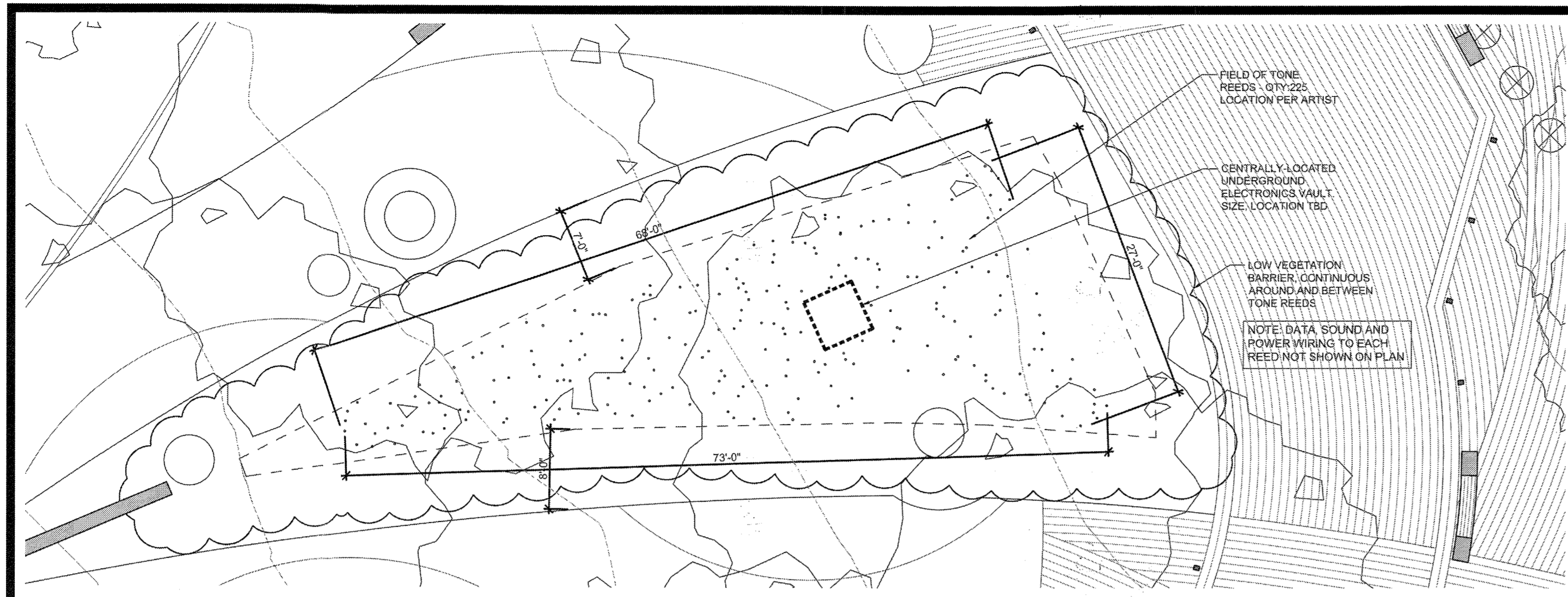


WEST GATEWAY FEATURE  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5

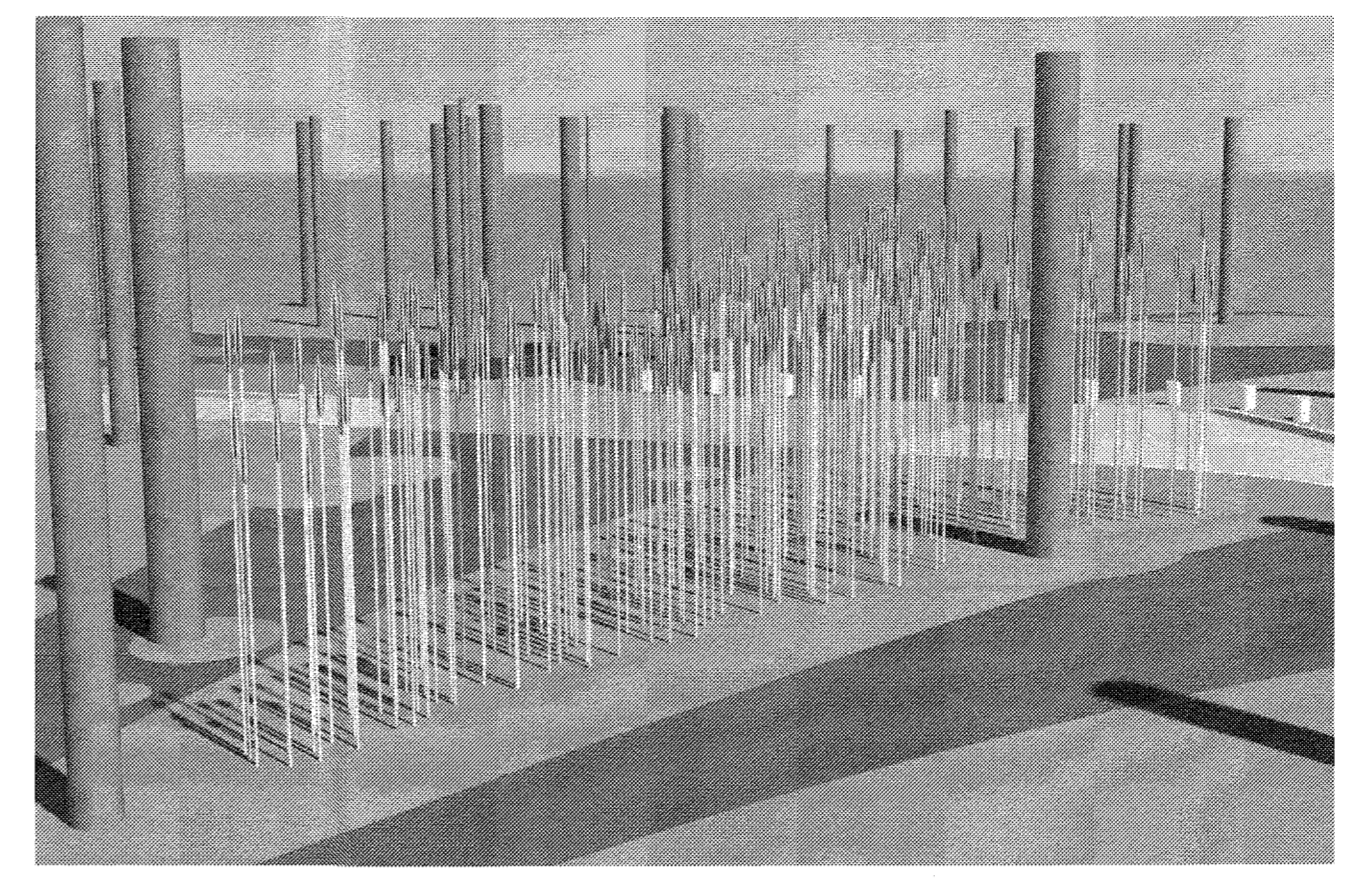
SCALE AS SHOWN	ZONING NT	G. L. W. FILE No. 13043
DATE JUNE, 2015	TAX MAP - GRID 36 - 01	SHEET 74 OF 90

PDOX SHEET 50.5 OF 59

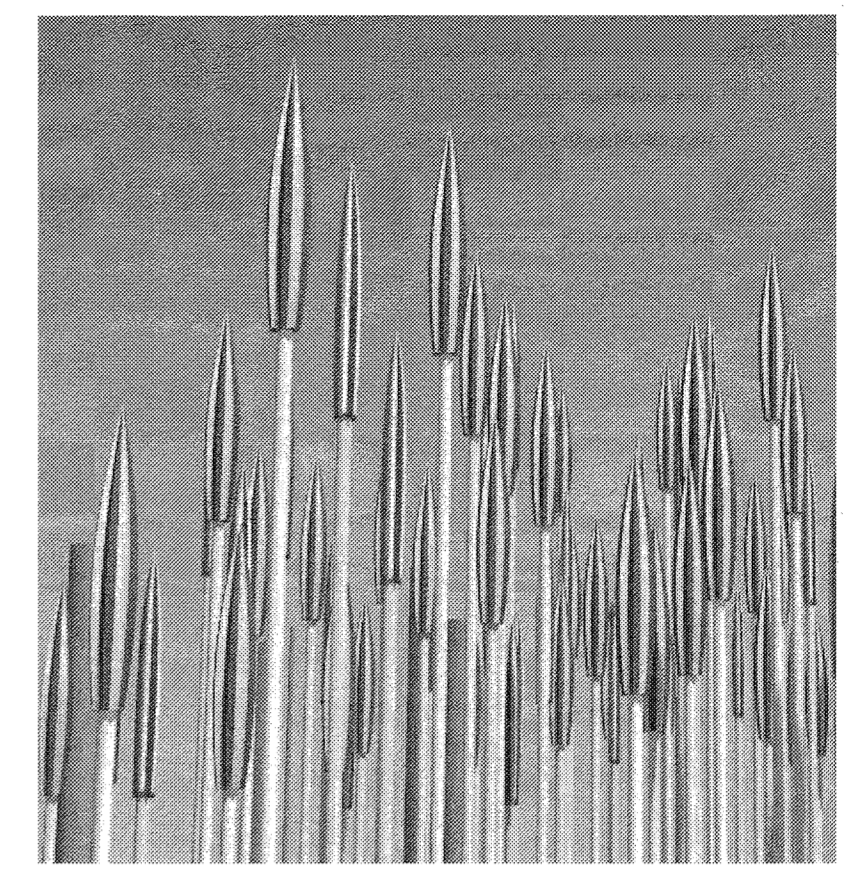
SDP 14-073



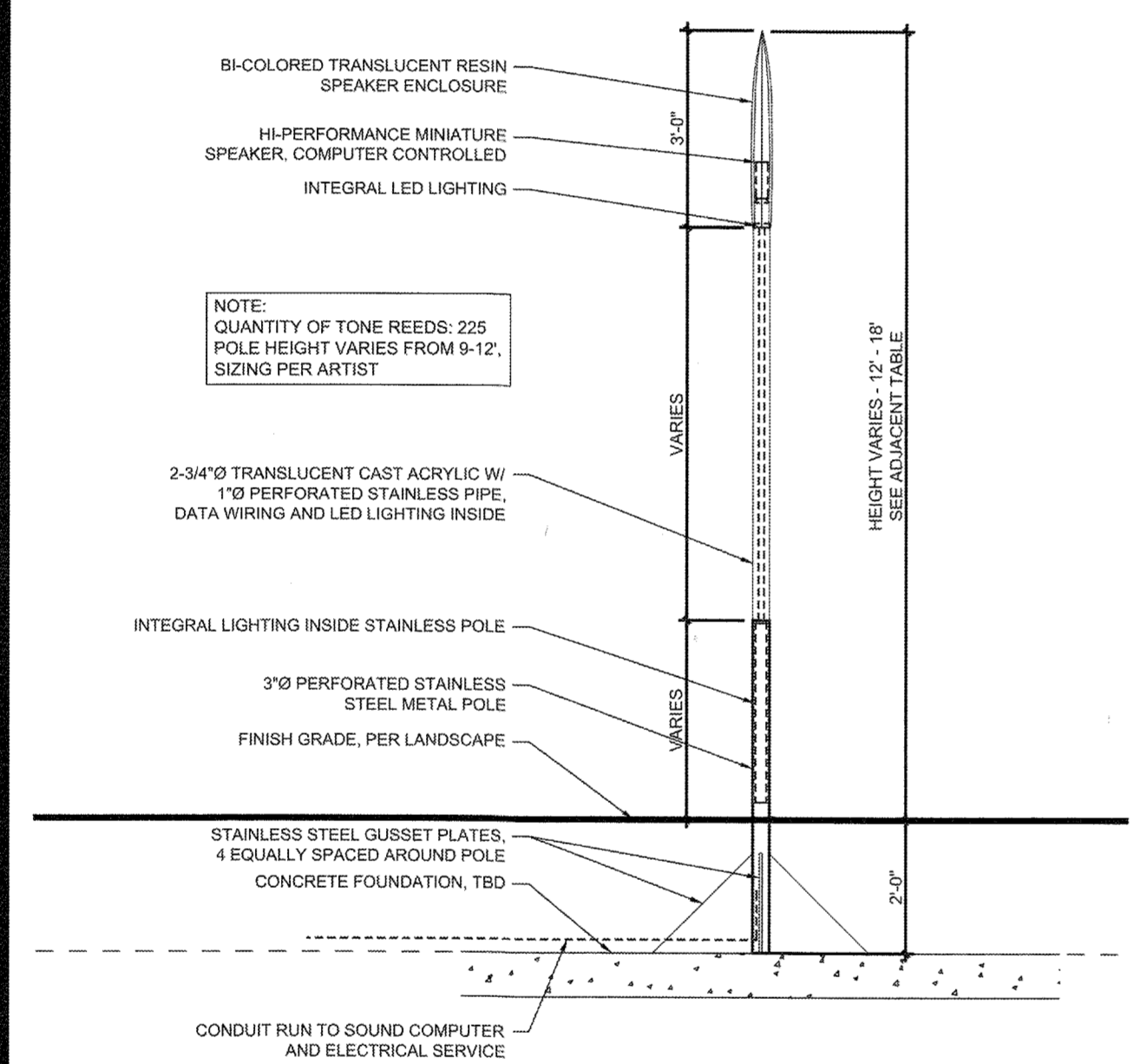
**1 SITE PLAN**  
1"=8'



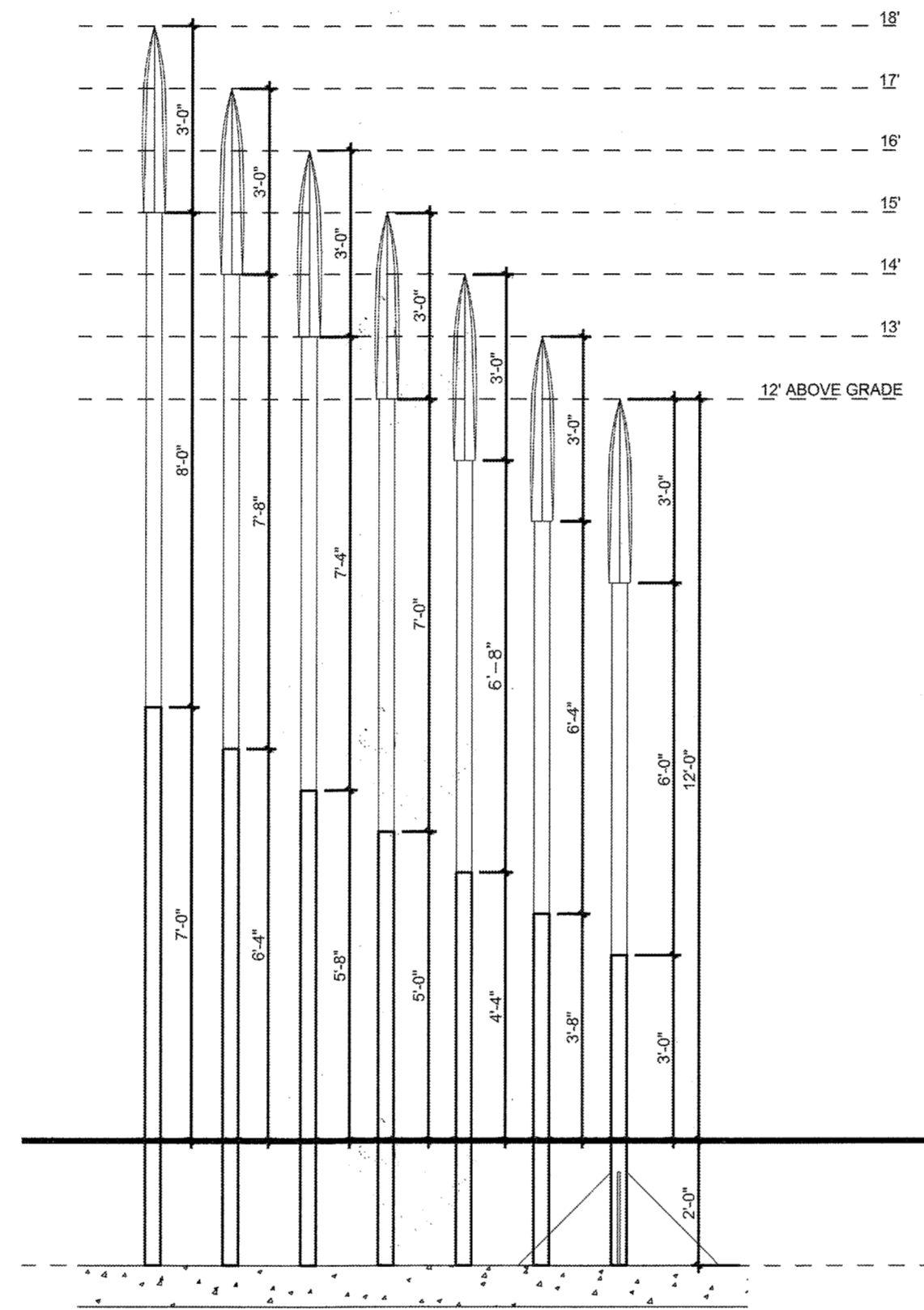
**5 INSTALLATION VIEW**



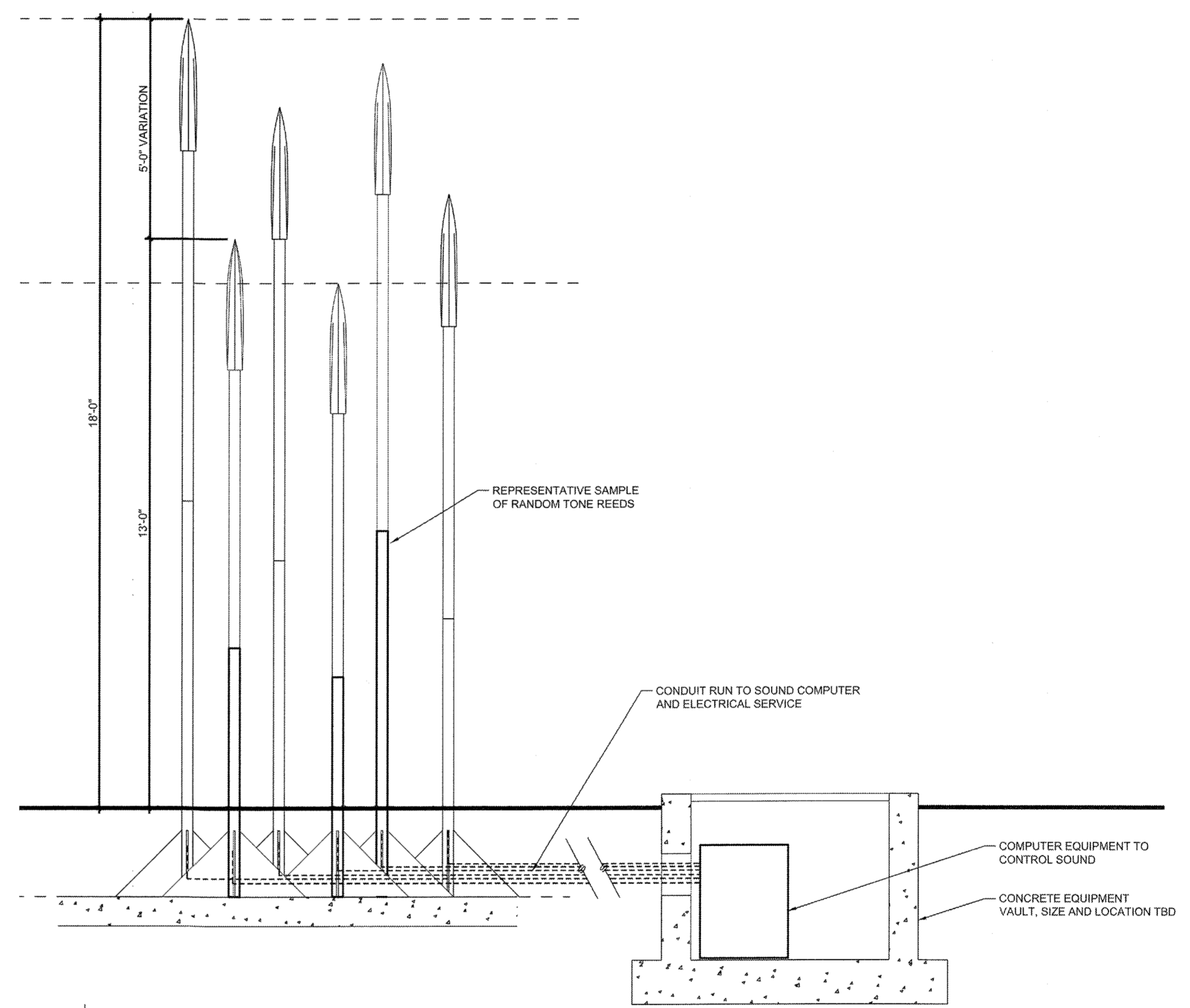
**6 PEDESTRIAN VIEW**



**2 TONE REED ELEVATION**  
1/2"=1'-0"



**3 HEIGHT TABLE**  
1/2"=1'-0"



**4 INSTALLATION ELEVATION**  
1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: \_\_\_\_\_

**Cochran Studio**  
 Catalytic Public Art for American Downtowns  
 7192 Meadowbrook Drive | Frederick, MD 21702 | 301-696-2839 | www.cochran.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

SOUTH WEST GATEWAY FEATURE  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SOUTH WEST GATEWAY FEATURE	LF406	
SCALE	ZONING	
AS SHOWN	NT	
G. L. W. FILE No.	13043	
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	75 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Michael McCally* Date: **9-8-15**  
 Chief, Division of Land Development: *Michael McCally* Date: **9-2-15**  
 Chief, Development Engineering Division: *Michael McCally* Date: **8-25-15**

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: **November 20, 2014**  
 \* See Sheet 2 for Phasing and  
 Add'l Required Approvals for Ph. B-7

THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION. THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY COCHRAN STUDIO FOR REVIEW AND APPROVAL AT THE BUILDING PERMIT STAGE BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 200 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1831  
 EXPIRATION DATE: MAY 21, 2016

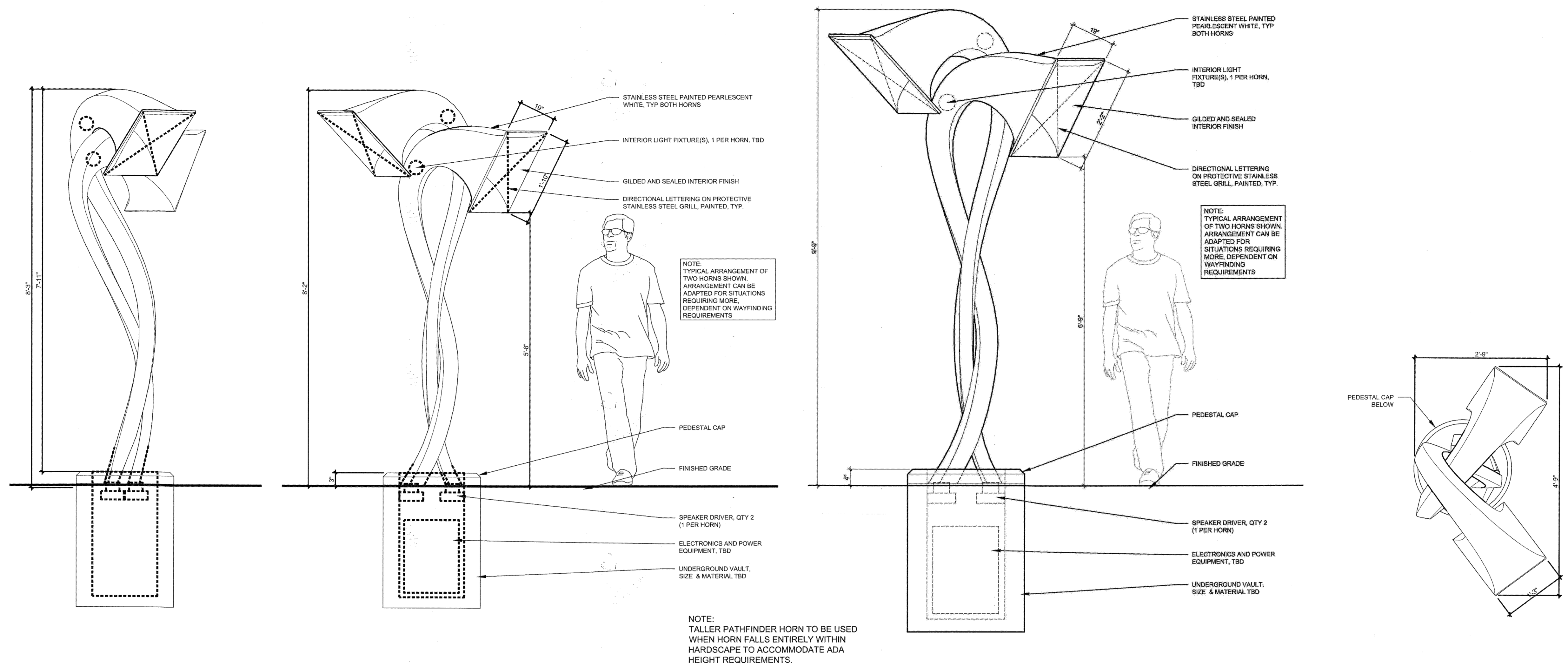


SOUTHWEST GATEWAY FEATURE  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	75 OF 90

PDOX SHEET 50.6 OF 59

SDP 14-073



1 PATHFINDERS ELEVATIONS  
1"=1'-0"

2 PATHFINDERS PLAN  
1"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Division of Land Development \_\_\_\_\_ Date \_\_\_\_\_  
Chief, Development Engineering Division \_\_\_\_\_ Date \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: \_\_\_\_\_

**Cochran Studio**  
Catalytic Public Art for American Downtowns  
7192 Meadowbrook Drive | Frederick, MD 21702 | 301-696-3839 | will@cochrans.com

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

WAYFINDING FEATURES  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

WAYFINDING FEATURES		LF407
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	76 OF 85

SDP 14-073

L:\CADD\PROJECTS\10723\10723.dwg  
 PLOTTED: 6/2/2015 4:18 PM  
 LAST SAVED: 6/2/2015 10:34 AM  
 PLOTTED BY: Mike Trigg

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director *William J. Kelly* Date *9-8-15*  
Chief, Division of Land Development *Chris G. Smith* Date *8-25-15*  
Chief, Development Engineering Division *Mike Trigg* Date \_\_\_\_\_

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: *November 20, 2014*  
*\*See Sp. 2 for Phasing & Add'l Reg. Approvals for Phs 2-7*

THIS PLAN IS FOR INFORMATIONAL PURPOSES ONLY AND NOT FOR CONSTRUCTION. THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY COCHRAN STUDIO FOR REVIEW AND APPROVAL AT THE BUILDING PERMIT STAGE BY THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931  
EXPIRATION DATE: MAY 21, 2016

WAYFINDING FEATURES  
DOWNTOWN COLUMBIA  
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
TOWN CENTER- SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	76 OF 90

PDOX SHEET 50.7 OF 59



**SITE LIGHTING**

ILLUMINATION THROUGHOUT THE PARK WILL VARY BY PROGRAM, IN ACCORDANCE WITH THE RECOMMENDED LIGHT LEVELS SET FOR THE BY THE ILLUMINATION ENGINEERING SOCIETY OF NORTH AMERICA.

HIGH EFFICIENCY SOURCES WILL BE USED IN COMPLIANCE WITH THE ENERGY REQUIREMENTS.

**ILLUMINATION CRITERIA (IES RECOMMENDED LEVELS)**

MERRIWEATHER PARK	HORIZONTAL ILLUMINANCE (LUX)	VERTICAL ILLUMINANCE (LUX)
SOFTSCAPE		
PARK AREAS	0-5	0-2
PATHS	1-10	0-3
STEPS OR RAMPS	10	3
HIGHLIGHTED GARDENS	20	10
TREES OR SHRUBBERY, EMPHASIZED	50	10
SIGNAGE ALONG PATHWAYS	50	10
PLAYGROUNDS	50	10
SCULPTURAL ELEMENTS, EMPHASIZED	50	10
DROP OFF/DRIVING AREAS		
ROADWAYS, GENERAL	10	3
ROADWAYS, INTERSECTIONS	20	6
BIKEWAYS	10	5
BUILDINGS		
ENTRANCES (ACTIVE)	50	20
ENTRANCES (INACTIVE)	5	1
TERRACES, ROOF AREAS	10-50	1-5
FACADES	VARIABLE	VARIABLE

Merrriweather Park Luminaire Specifications Page 1 of 26

Manufacturer: TBD Lamp: TBD  
 Catalog Number: TBD Ballast/Driver: TBD  
 Accessories: TBD Fixture Rating: UL - Wet Location

Notes:  
1. Provide adequate allowance for illumination and accent lighting of all art work pieces in the park.

Type: **ALA1**

Merrriweather Park Luminaire Specifications Page 2 of 26

Type: **ALA1**

Merrriweather Park Luminaire Specifications Page 3 of 26

Notes:  
1. Provide adequate allowance for illumination and accent lighting of all art way-finding pieces in the park.

Type: **ALA2**

Merrriweather Park Luminaire Specifications Page 4 of 26

Manufacturer: Design Plan Lamp: (1) Max. 2W LED(3000K, 80+ CRI)  
 Catalog Number: CB1512-5-a-1 Ballast/Driver: 1  
 Accessories: Fixture Rating: IP68

**BRIGHT 1.5**

Notes:  
Application: Pathway lighting  
 Installation: Outdoor or indoor recessed spotlight  
 Mounting: With color coded (RED) or (GREEN) for 1/8" rotation to park, playground or other use in a recessed hole (HOLE), with nut and washer in place (see note 1).  
 Material: Die cast aluminum  
 Finish available: Powder coat  
 IP and Type of LED: 1 power LED  
 LED power consumption: 1.5W  
 Power supply: 120VAC/50/60Hz  
 Power supply unit: 120VAC/50/60Hz  
 Connections: 1/2" x 1/4" with 4-02 recessed cable  
 Total Delivered Lumens: 100 lm  
 LED color: Warm White (3000K) White (4000K) Cool White (5000K) Blue  
 IP: IP68  
 UL: E8

© Copyright 2013 Designplan Lighting Inc. 79 Trenton Ave. Frenchtown, NJ 08825 Tel: 908-996-7710 Fax: 908-996-7042

Type: **ALG1**

Merrriweather Park Luminaire Specifications Page 5 of 26

Manufacturer: LED Linear Lamp: Max. 3 1/4" LED (3000K, 80+ CRI)  
 Catalog Number: Varied LED Flex Venus W83DA TV IP67 Ballast/Driver: 277V Digitally Addressable Dimmable  
 Accessories: Fixture Rating: UL

**Varied LED Flex VENUS W TV IP67**

Notes:  
Application: Pathway lighting  
 Installation: Outdoor or indoor recessed spotlight  
 Mounting: With color coded (RED) or (GREEN) for 1/8" rotation to park, playground or other use in a recessed hole (HOLE), with nut and washer in place (see note 1).  
 Material: Die cast aluminum  
 Finish available: Powder coat  
 IP and Type of LED: 1 power LED  
 LED power consumption: 1.5W  
 Power supply: 120VAC/50/60Hz  
 Power supply unit: 120VAC/50/60Hz  
 Connections: 1/2" x 1/4" with 4-02 recessed cable  
 Total Delivered Lumens: 100 lm  
 LED color: Warm White (3000K) White (4000K) Cool White (5000K) Blue  
 IP: IP68  
 UL: E8

© Copyright 2013 Designplan Lighting Inc. 79 Trenton Ave. Frenchtown, NJ 08825 Tel: 908-996-7710 Fax: 908-996-7042

Type: **ALG2**

Merrriweather Park Luminaire Specifications Page 6 of 26

Manufacturer: LED Linear Lamp: Max. 3 1/4" LED (3000K, 80+ CRI)  
 Catalog Number: Varied LED Flex Venus W83DA TV IP67 Ballast/Driver: 277V Digitally Addressable Dimmable  
 Accessories: Fixture Rating: UL

**Varied LED Flex VENUS W84D/244 TV IP67**

Notes:  
Application: Pathway lighting  
 Installation: Outdoor or indoor recessed spotlight  
 Mounting: With color coded (RED) or (GREEN) for 1/8" rotation to park, playground or other use in a recessed hole (HOLE), with nut and washer in place (see note 1).  
 Material: Die cast aluminum  
 Finish available: Powder coat  
 IP and Type of LED: 1 power LED  
 LED power consumption: 1.5W  
 Power supply: 120VAC/50/60Hz  
 Power supply unit: 120VAC/50/60Hz  
 Connections: 1/2" x 1/4" with 4-02 recessed cable  
 Total Delivered Lumens: 100 lm  
 LED color: Warm White (3000K) White (4000K) Cool White (5000K) Blue  
 IP: IP68  
 UL: E8

© Copyright 2013 Designplan Lighting Inc. 79 Trenton Ave. Frenchtown, NJ 08825 Tel: 908-996-7710 Fax: 908-996-7042

Type: **ALG2**

Merrriweather Park Luminaire Specifications Page 7 of 26

Manufacturer: Design Plan Lamp: (1) Max. 2W LED(3000K, 80+ CRI)  
 Catalog Number: CB1512-5-a-1 Ballast/Driver: 1  
 Accessories: Fixture Rating: IP68

**BRIGHT 1.5**

Notes:  
Application: Pathway lighting  
 Installation: Outdoor or indoor recessed spotlight  
 Mounting: With color coded (RED) or (GREEN) for 1/8" rotation to park, playground or other use in a recessed hole (HOLE), with nut and washer in place (see note 1).  
 Material: Die cast aluminum  
 Finish available: Powder coat  
 IP and Type of LED: 1 power LED  
 LED power consumption: 1.5W  
 Power supply: 120VAC/50/60Hz  
 Power supply unit: 120VAC/50/60Hz  
 Connections: 1/2" x 1/4" with 4-02 recessed cable  
 Total Delivered Lumens: 100 lm  
 LED color: Warm White (3000K) White (4000K) Cool White (5000K) Blue  
 IP: IP68  
 UL: E8

© Copyright 2013 Designplan Lighting Inc. 79 Trenton Ave. Frenchtown, NJ 08825 Tel: 908-996-7710 Fax: 908-996-7042

Type: **ALG3**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_

Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**ARUP**

77 Water Street  
 New York, New York 10005  
 TEL: 212-904-3000 www.arup.com

DESIGN	DRN	CHK	SD	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

SITE LIGHTING SPECIFICATIONS		
DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7 TOWN CENTER-SECTION 1 AREA 1 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32 GREEN COMMERCIAL BUILDING		
SCALE	ZONING	G. L. W. FILE No.
NTS	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	78 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: **9-8-15**

Chief, Division of Land Development: \_\_\_\_\_ Date: **9-22-15**

Chief, Development Engineering Division: \_\_\_\_\_ Date: **9-25-15**

APPROVED PLANNING BOARD OF HOWARD COUNTY

Date: **November 20, 2014**

*\*See in 2 for Printing & Add'l Approvals Required for Phs 2-7*

THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY ARUP FOR REVIEW AND APPROVAL BY DPZ. ONCE APPROVED, ARUP WILL SIGN AND SEAL THE ORIGINAL CONSTRUCTION DOCUMENTS TO REPLACE THIS SHEET IN THE SET OF SITE DEVELOPMENT PLANS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

DESIGN	DRN	CHK	SD	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931

EXPIRATION DATE: **MAY 21, 2016**

SITE LIGHTING SPECIFICATIONS		
DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7 TOWN CENTER-SECTION 1 AREA 1 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32 GREEN COMMERCIAL BUILDING		
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	78 OF 90

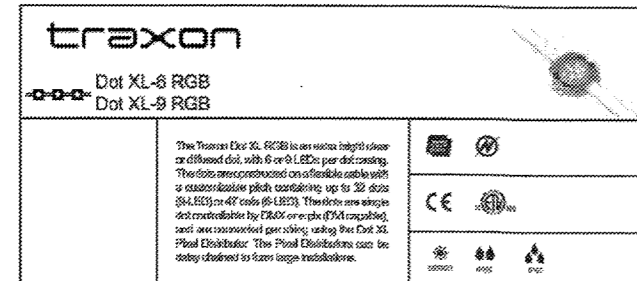
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	78 OF 90

PDOX SHEET 52 OF 59

SDP 14-073

U:\CADD\PROJECTS\10721\10721.dwg - 10/21/15 10:31 AM - PLOTTED BY: Mike Trostman

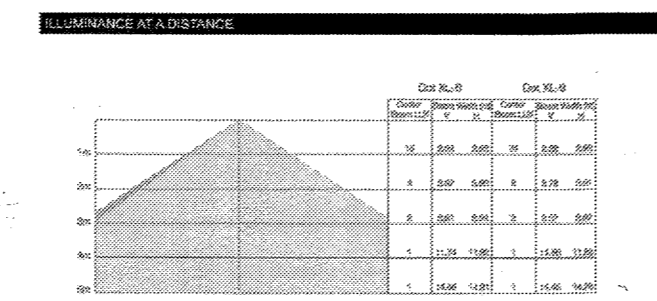
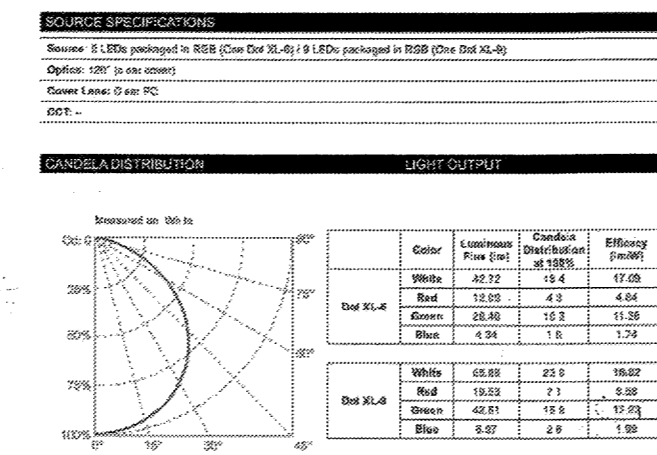
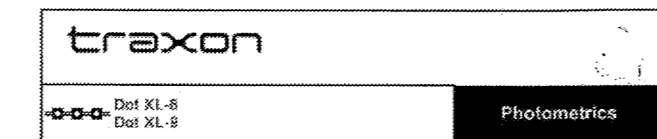
Manufacturer: Traxon Lamp: Max 3.5W LED (RGB)
Catalog Number: DOT XL-9 RGB Ballast/Driver: DMX
Accessories: Diffuser Dome Fixture Rating: UL



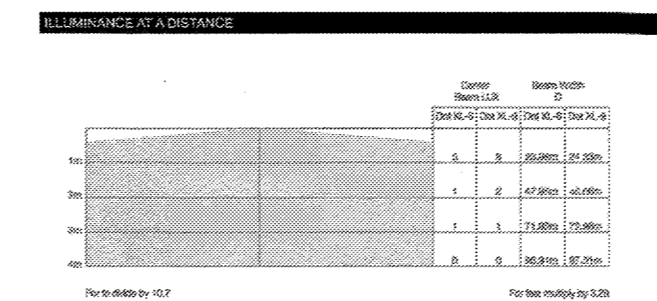
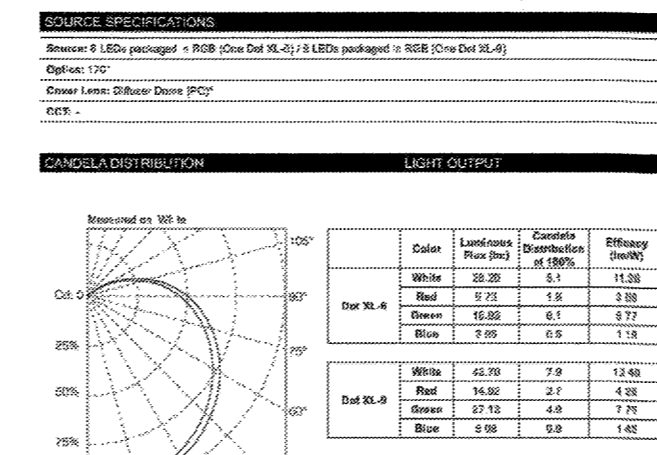
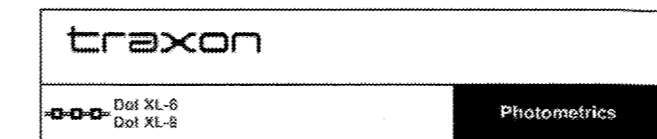
PRODUCT SPECIFICATIONS
• Model: DOT XL-9 RGB, 300mm dia.
• Max. Power: 3.5W, 3000mA
• Max. Voltage: 120V AC, 60Hz

Notes:

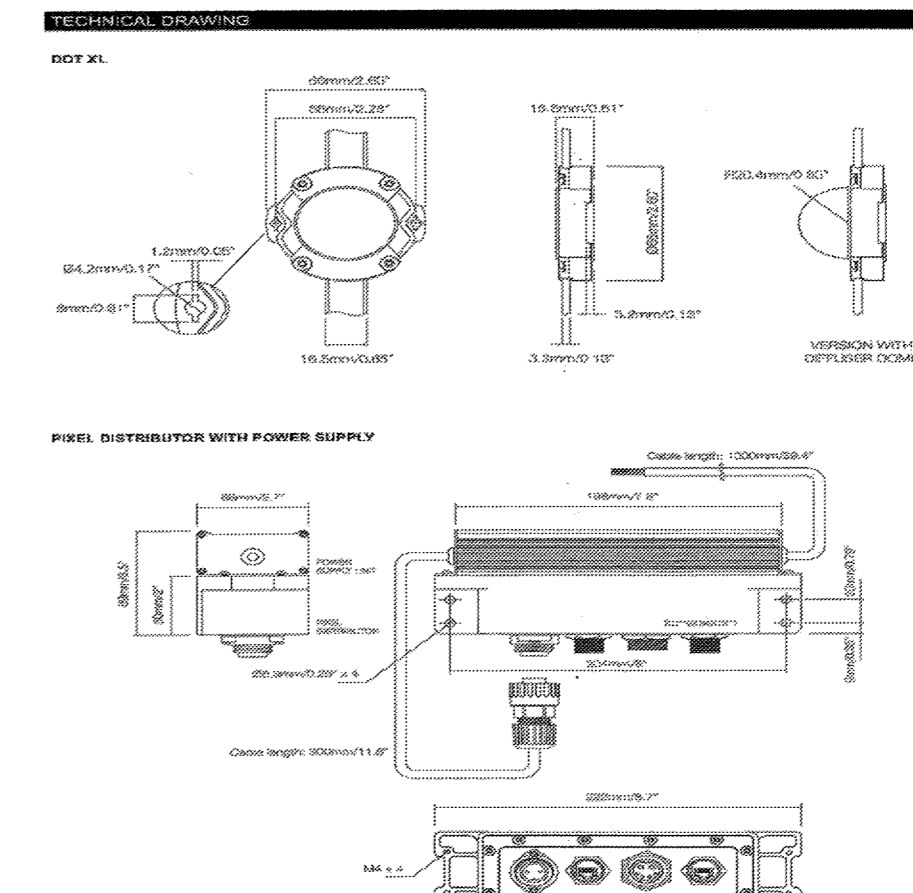
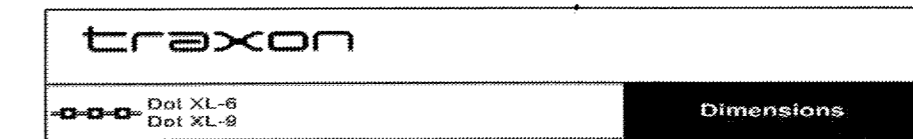
Type: ALG4 1 of 4



Type: ALG4 2 of 4



Type: ALG4 3 of 4



Type: ALG4 4 of 4

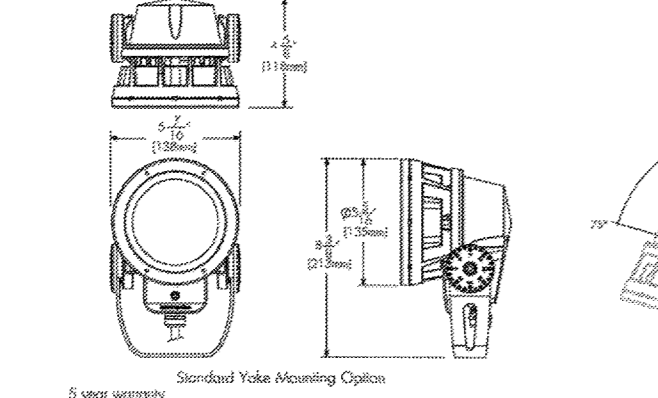
Manufacturer: Lumen Pulse Lamp: Max 14W LED (RGB)
Catalog Number: LBS-A-RGB-FL-A-CC-SK-CRC Ballast/Driver: DMX
Accessories: Diffuser Dome Fixture Rating: IP66

SPECIFICATION SHEET
Client:
Project name:
Order #:
Type: City:

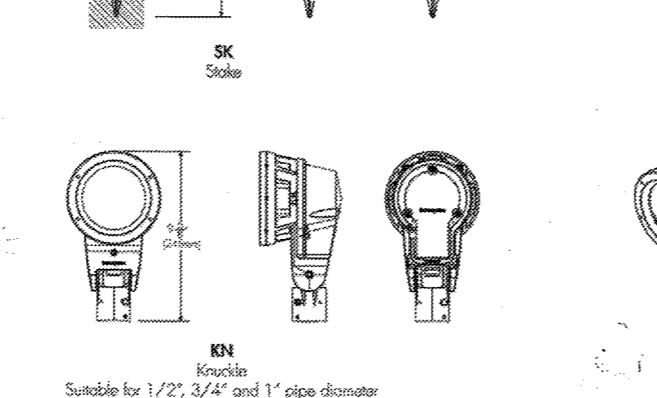
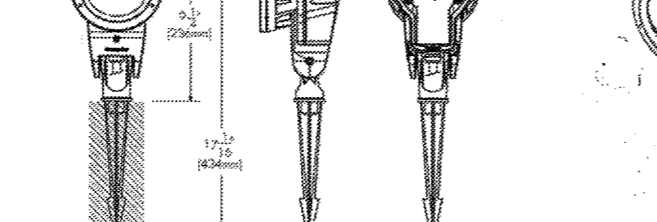
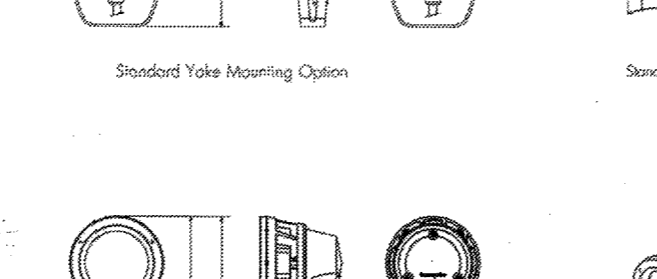
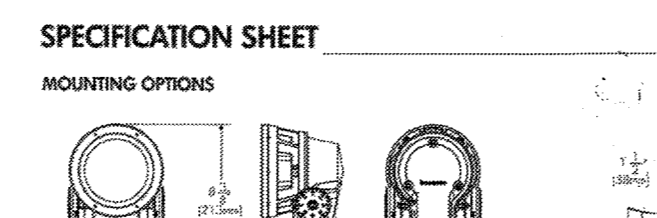
FEATURES AND BENEFITS
Physical:
• High output, compact high pressure sodium discharge lighting
• Heavy aluminum formed pole
• Includes steel bracket
• Clear tempered glass
• Full aluminum design for heat management and ease of installation

Performance:
• RGB Color mixing system (3 channels)
• 40,000, 200, 400, 800, 1600, 3200 lumens @ 10° and 40° optics
• Mean maintenance 120,000 hrs @ 25°C

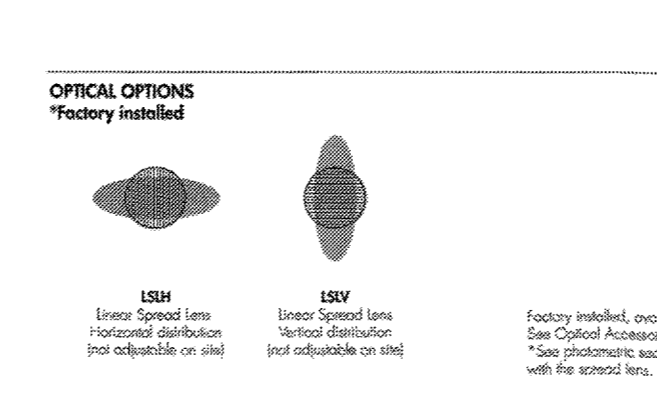
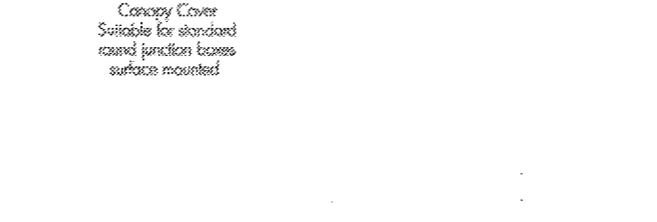
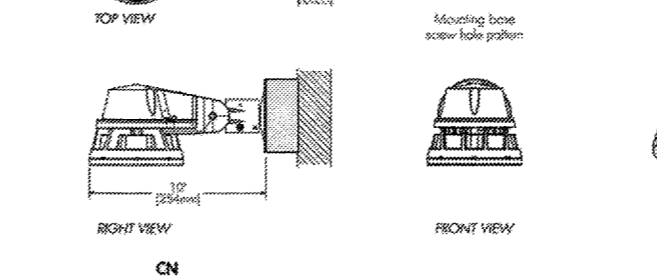
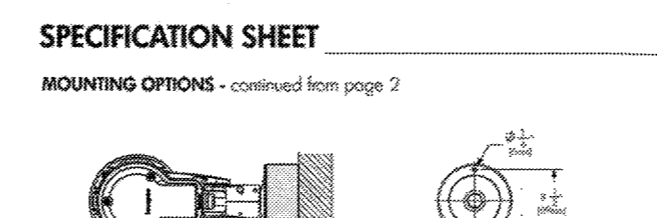
Electrical:
• 14-watt LED drivers for 120V to 277V
• Power not dissipated in cables, 90° fan-out of LEDs
• 14-watt LED drivers for 120V to 277V
• 14-watt LED drivers for 120V to 277V



Type: ALG5 1 of 8



Type: ALG5 2 of 8



Type: ALG5 3 of 8

SPECIFICATION SHEET
ACCESSORIES
Order separately
Optical Accessories:

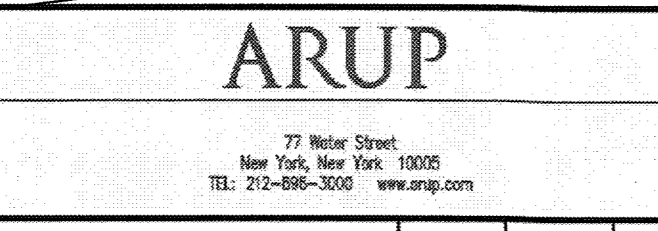
IBS-DR-... Diffuser
IBS-DR-... Diffuser
IBS-DR-... Diffuser
IBS-DR-... Diffuser
IBS-DR-... Diffuser

Accessory combinations:
Accessory combinations must be ordered together on a single line.
Ex: A 1000 + Wire Guard combination order code is IBS-DA-WG-60-60.

Type: ALG5 4 of 8

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director:
Date:
Chief, Division of Land Development:
Date:
Chief, Development Engineering Division:
Date:

APPROVED: PLANNING BOARD OF HOWARD COUNTY
Date:



Subcontract architectural LED lighting systems

Subcontract architectural LED lighting systems

PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029

SITE LIGHTING SPECIFICATIONS
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
TOWN CENTER-SECTION 1 AREA 1
PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: NTS, NT, 13043, JUNE, 2015, 36 - 01, 79 OF 85.

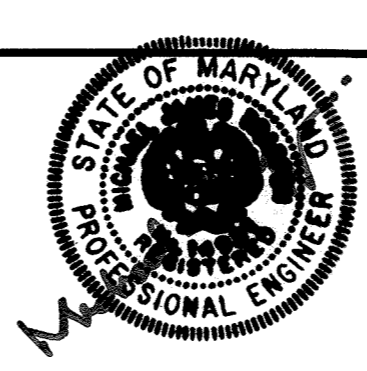
SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director:
Date:
Chief, Division of Land Development:
Date:
Chief, Development Engineering Division:
Date:

APPROVED: PLANNING BOARD OF HOWARD COUNTY
Date:
\* See Sheet 2 for Provisions for Add'l Required Approvals for Phases 3-7

PREPARED FOR & DEVELOPER:
INNER ARBOR TRUST
10630 LITTLE PATUXENT PARKWAY
CENTURY PLAZA, SUITE 315
COLUMBIA, MD 21044
ATTN: MICHAEL McCALL
410-740-0029

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931
EXPIRATION DATE: MAY 21, 2016



SITE LIGHTING SPECIFICATIONS
DOWNTOWN COLUMBIA
MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7
TOWN CENTER-SECTION 1 AREA 1
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32
GREEN COMMERCIAL BUILDING
HOWARD COUNTY, MARYLAND

Table with columns: SCALE, ZONING, G. L. W. FILE No., DATE, TAX MAP - GRID, SHEET. Values: AS SHOWN, NT, 13043, JUNE, 2015, 36 - 01, 79 OF 90.

SDP 14-073



**SPECIFICATION SHEET**  
**ACCESSORIES** continued from page 4  
 Order separately

**Control Systems:**

- DD** Lumenbeam is a wall mount DMX 512 controller
- DD** Lumenbeam is a USB / mini SD DMX 512 controller
- DD** Lumenbeam is a Bluetooth and radio DMX 512 controller. It must be specified on all DMX applications. Refer to DD specification sheet for details.
- DD** Lumenbeam is a simple pre-programmed DMX 512 controller with a push button easy dial and the feedback.

**CBOX:**

**CBOX\_W\_** Lumenbeam DMX 512 case box. Clear front and sides, ABS precision holes with plug. Voltage input and output, ABS precision holes with plug. Up to 100 LEDs in series, ABS precision holes with plug. Please specify desired spot voltage and finish. Refer to CBOX specification sheet for details.

**CBOX\_W\_** DMX 512 case box. Clear front and sides, ABS precision holes with plug. Voltage input and output, ABS precision holes with plug. Up to 100 LEDs in series, ABS precision holes with plug. Please specify desired spot voltage and finish. Refer to CBOX specification sheet for details.

**SPECIFICATION SHEET**

**HOW TO ORDER**

LEB	Select:	RGB	Select:	Select:	Select:	Select:
Housing	Voltage	Category and temperature	Optic	Optical Option	Finish	Mounting Option
1	2	3	4	5	6	7

**Optical Option:**  
 LSH - Linear Spread lens Horizontal distribution  
 LSV - Linear Spread lens Vertical distribution  
 \*Factory installed, available for 6" to 40" optics. See Color Accessories for best adjustable spread lens.

**Finish:**  
 B - Silver SandFlux  
 BK - Black SandFlux  
 WH - White  
 CC - Custom (please specify RAL color)

**Mounting Option:**  
 BK - Back Mounting  
 CK - Canopy Mounting  
 CN - Canopy Cover Mounting

**Options:**  
 CEC - Condensation Coating

**Technilum**  
 Multi Projector Support Brackets Model

**Technilum**  
 Multi Projector Support Brackets Model

**Notes:**

1. The brackets are made of aluminum and are designed to support projectors of various sizes and weights. They are easy to install and adjust.

2. The brackets are compatible with most standard projectors. For specific compatibility information, please refer to the user manual of the projector.

3. The brackets are designed to be used in a variety of settings, including classrooms, meeting rooms, and home theaters.

**lumenpulse**  
 Type: **ALG5**  
 5 of 6

**lumenpulse**  
 Type: **ALG5**  
 6 of 6

**lumenpulse**  
 Type: **ALP1**  
 1 of 6

**lumenpulse**  
 Type: **ALP1**  
 2 of 6

**SPECIFICATION SHEET**  
**MOUNTING OPTIONS** - continued from page 2

**ON** Canopy Cover. Suitable for standard canopy junction boxes, surface mounted.

**ON-C** Canopy Cover. Suitable for standard canopy junction boxes, surface mounted.

**ON-L** Canopy Cover. Suitable for standard canopy junction boxes, surface mounted.

**Optical Options:**  
 LSH - Linear Spread lens. Horizontal distribution. Not adjustable on dial.  
 LSV - Linear Spread lens. Vertical distribution. Not adjustable on dial.  
 \*Factory installed, available for 6" to 40" optics. See Color Accessories for best adjustable spread lens. \*See photometric section for optical performance data with the spread lens.

**SPECIFICATION SHEET**

**Client:** \_\_\_\_\_  
**Project name:** \_\_\_\_\_  
**Order #:** \_\_\_\_\_  
**Type:** \_\_\_\_\_ City: \_\_\_\_\_

**FEATURES AND BENEFITS**

**Physical:**

- Non-impact resistant high pressure diecast aluminum housing
- Steel formed yoke (standard yoke included)
- Adjustable end bracket
- Clear anodized finish
- Steel channel design for heat management and ease of maintenance
- Electrolytically applied protective powder coat finish
- 100% dry weight 30 lbs.
- 100% weight 15.75 kg, 11.0 26 kg, m. Side = 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.

**Performance:**

- Minimum 16 (12.7) up to 358 lum (1.6m) distance (4000K, 60° optic)
- 2000 lumens/lumen and 2000 lumens/lumen available at each (4000K, 60° optic)
- 60, 100, 200, 400 or 600° optics available
- 2000 lumens/lumen and 2000 lumens/lumen available at each (4000K, 60° optic)
- 100% weight 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.
- 100% weight 1.17 kg, 11.0 2.4 kg, m.

**Electrical:**

- Low voltage luminaires for 120 to 277V
- Power and data in 1 cable, 24" in total (1.5m)
- 140 watts
- Dimming options: 0-10 V, DALI, DMX, Lumenra, or Lumenra EcoSystem® enabled

**Wiring detail:**

WIRE COLOR / USE

Blue	LINE	RED	LINE
Green	GROUND	White	LINE
Black	LINE	Blue	LINE
Red	LINE	Green	LINE
White	LINE	Black	LINE

**SPECIFICATION SHEET**

**ACCESSORIES**  
 Order separately

**Optical Accessories:**

- LEB-SL-CK** Spot accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)
- LEB-SL-WK** Spot Wide accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)
- LEB-SL-CK** Spot accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)
- LEB-SL-WK** Spot Wide accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)
- LEB-SL-CK** Spot accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)
- LEB-SL-WK** Spot Wide accessory. Please specify desired selectivity level: "selectivity" level: BK - Matte black, BK - Matte black, WH - White, CC - Custom (please specify RAL color)

**Accessory combinations:**

Spot	Spot Wide	Spot Wide	Spot Wide
Spot	Spot Wide	Spot Wide	Spot Wide
Spot	Spot Wide	Spot Wide	Spot Wide
Spot	Spot Wide	Spot Wide	Spot Wide

Accessory combinations may be called together on a single line. Ex: A Spot + Wide Glass combination order code is LEB-SL-WG-BL-CK.

**SPECIFICATION SHEET**

**HOW TO ORDER**

LEB	Select:	RGB	Select:	Select:	Select:	Select:
Housing	Voltage	Category and temperature	Optic	Optical Option	Finish	Mounting Option
1	2	3	4	5	6	7

**Optical Option:**  
 LSH - Linear Spread lens Horizontal distribution  
 LSV - Linear Spread lens Vertical distribution  
 \*Factory installed, available for 6" to 40" optics. See Color Accessories for best adjustable spread lens.

**Finish:**  
 B - Silver SandFlux  
 BK - Black SandFlux  
 WH - White  
 CC - Custom (please specify RAL color)

**Options:**  
 CEC - Condensation Coating

**lumenpulse**  
 Type: **ALP1**  
 3 of 6

**lumenpulse**  
 Type: **ALP1**  
 4 of 6

APPROVED - HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Director: _____ Date: _____ Chief, Division of Land Development: _____ Date: _____ Chief, Development Engineering Division: _____ Date: _____	APPROVED PLANNING BOARD OF HOWARD COUNTY Date: _____	PREPARED FOR & DEVELOPER: INNER ARBOR TRUST 10630 LITTLE PATUXENT PARKWAY CENTURY PLAZA, SUITE 315 COLUMBIA, MD 21044 ATTN: MICHAEL McCALL 410-740-0029	SITE LIGHTING SPECIFICATIONS DOWNTOWN COLUMBIA MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7 TOWN CENTER-SECTION 1 AREA 1 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 & PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32 GREEN COMMERCIAL BUILDING ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND	SCALE: NTS ZONING: NT G. L. W. FILE No.: 13043 DATE: JUNE, 2015 TAX MAP - GRD: 36 - 01 SHEET: 80 OF 85
---	--	---	--	---

SDP 14-073

APPROVED - HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Walter J. Lee* Date: *9-8-15*  
Chief, Division of Land Development: *John J. Lee* Date: *9-2-15*  
Chief, Development Engineering Division: *John J. Lee* Date: *8-25-15*

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
Date: *November 20, 2014*  
\*See P. 2 for Phasing & Add'l Required Approvals for Phs 3-7

THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY ARUP FOR REVIEW AND APPROVAL BY DPZ. ONCE APPROVED, ARUP WILL SIGN AND SEAL THE ORIGINAL CONSTRUCTION DOCUMENTS TO REPLACE THIS SHEET IN THE SET OF SITE DEVELOPMENT PLANS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLWGUTSCHICK LITTLE & WEBER, PA.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14831  
 EXPIRATION DATE: MAY 21, 2016

SITE LIGHTING SPECIFICATIONS  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
**MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7**  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE: AS SHOWN  
 ZONING: NT  
 G. L. W. FILE No.: 13043  
 DATE: JUNE, 2015  
 TAX MAP - GRD: 36 - 01  
 SHEET: 80 OF 90

Merrriweather Park Luminaire Specifications Page 24 of 26

Manufacturer: BK Lighting Lamp: 8.4W LED (3000K, 80+ CRI)  
 Catalog Number: RM-LED-22-WFL-A9-RAL-12-11-E Ballast/Driver: IP66  
 Accessories: Soft Focus Lens + Honeycomb baffle Fixture Rating:

**RING MOUNT DELTA STAR™**

Notes:

**CATALOG NUMBER LOGIC**

Example: RM - LED - 22 - WFL - A9 - RAL - 12 - 11 - E

Material: RM - Ring Mount Delta Star™  
 LED: 8.4W LED with Integrated Constant Current Driver (CCD) with Soft Focus Lens and Honeycomb Baffle  
 LED Type: 8.4W LED  
 Optic: 12" x 12" LED  
 Finish: White  
 Lens Type: 12" Honeycomb Lens  
 Shipping: 11 Honeycomb Baffle  
 Cap Size: 1/2" - 13/16"

**DRIVER DATA**

Model	Input Voltage	Output Voltage	Output Current	Power	Efficiency	Operating Temperature
RM-LED-22-WFL-A9-RAL-12-11-E	120V AC	22V DC	375mA	8.4W	85%	-20°C to 50°C

**L70 DATA**

Model	Input Voltage	Output Voltage	Output Current	Power	Efficiency	Operating Temperature
RM-LED-22-WFL-A9-RAL-12-11-E	120V AC	22V DC	375mA	8.4W	85%	-20°C to 50°C

**OPTICAL DATA**

Model	Input Voltage	Output Voltage	Output Current	Power	Efficiency	Operating Temperature
RM-LED-22-WFL-A9-RAL-12-11-E	120V AC	22V DC	375mA	8.4W	85%	-20°C to 50°C

**B-K LIGHTING**

Type: **ALT1**  
1 of 2

Merrriweather Park Luminaire Specifications Page 25 of 26

**RING MOUNT DELTA STAR™**

Mounting Options: Endmount, Side Mount, Pole Mount

**SPECIFICATIONS**

Material: Aluminum  
 Finish: White  
 Lens Type: 12" Honeycomb Lens  
 Cap Size: 1/2" - 13/16"

**B-K LIGHTING**

Type: **ALT1**  
2 of 2

Merrriweather Park Luminaire Specifications Page 26 of 26

END OF SECTION

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Division of Land Development: \_\_\_\_\_ Date: \_\_\_\_\_  
 Chief, Development Engineering Division: \_\_\_\_\_ Date: \_\_\_\_\_

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: \_\_\_\_\_

**ARUP**

77 Water Street  
 New York, New York 10038  
 TEL: 212-904-4000 www.arup.com

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:

INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

SITE LIGHTING SPECIFICATIONS

DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 22123 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
NTS	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	81 OF 85

SDP 14-073

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: \_\_\_\_\_ Date: 9-9-15  
 Chief, Division of Land Development: \_\_\_\_\_ Date: 9-02-15  
 Chief, Development Engineering Division: \_\_\_\_\_ Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY

Date: November 20, 2014

\* See Sheet 2 for Phasing & Add'l Required Approvals per Pls 3-7

THIS PLAN WILL BE SUPERCEDED BY CONSTRUCTION DOCUMENTS PREPARED BY ARUP FOR REVIEW AND APPROVAL BY DPZ. ONCE APPROVED, ARUP WILL SIGN AND SEAL THE ORIGINAL CONSTRUCTION DOCUMENTS TO REPLACE THIS SHEET IN THE SET OF SITE DEVELOPMENT PLANS. THE SEAL AND SIGNATURE BELOW IS FOR THE PURPOSES OF INCLUDING THIS PLAN IN THE SET OF SITE DEVELOPMENT PLANS.

**GLW GUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES.	DRN.	CHK.	DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:

INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL MCCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14931

EXPIRATION DATE: MAY 21, 2016

MICHAEL MCCALL  
 PROFESSIONAL ENGINEER

SITE LIGHTING SPECIFICATIONS

DOWNTOWN COLUMBIA  
 MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER-SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	81 OF 90

SDP 14-073

L:\CADD\DRAWINGS\1077\1077-SDP\1077-SDP.dwg, PLOT: 6/25/2015 4:22 PM, LAST SAVED: 6/24/2015 10:28 AM, PLOTTED BY: MJC, TITAN

**GENERAL NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY SPECIFICATIONS AND DETAILS FOR CONSTRUCTION PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE OWNER AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- THE SUBJECT PROPERTY IS ZONED NT PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/28/06.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING OR NEW STRUCTURES SHALL BE PERMITTED WITHIN WETLANDS, STREAMS, WETLAND OR STREAM BUFFERS, 100-YEAR FLOODPLAIN, OR FOREST CONSERVATION EASEMENTS UNLESS APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING.
- THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION PER SECTION 16.1202(B)(1)(IV) AS IT IS WITHIN A PLANNED UNIT DEVELOPMENT WITH PRELIMINARY DEVELOPMENT PLAN APPROVAL AND 50% OR MORE OF THE LAND WAS RECORDED AND WAS SUBSTANTIALLY DEVELOPED BEFORE DECEMBER 31, 1992.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE MARYLAND COORDINATE SYSTEM (NAD83/91). THE ELEVATIONS SHOWN ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).  
HOWARD COUNTY MONUMENTS USED FOR THIS PROJECT:  
36AA: N 562,804.8537, E 1,349,906.1701, ELEV. 359.151  
36DA: N 560,849.3491, E 1,350,037.4422, ELEV. 363.643
- TOPOGRAPHICAL FIELD SURVEYS OF THE SITE WERE PERFORMED BY NJR & ASSOCIATES (240-508-3200) IN JANUARY 2012. ADDITIONAL UTILITY INFORMATION WAS PROVIDED BY HOWARD COUNTY RECORDS AND MAY NOT REFLECT CURRENT CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY CURRENT TOPOGRAPHIC AND UTILITY INFORMATION.
- APPROXIMATE LOCATION AND INVERTS OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN AN UNINTERRUPTED SERVICE. THE CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES BY TEST PIT OR OTHER MEANS OF INVESTIGATION APPROVED BY THE OWNER WELL IN ADVANCE OF CONSTRUCTION. ANY DAMAGE BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL TRAFFIC SIGNS AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF MSHA'S MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL TRAFFIC SIGNS SHALL CONFORM TO THE LATEST VERSION OF MSHA'S STANDARD SIGN BOOK.
- LETTERS SHALL BE OBTAINED PRIOR TO GRADING PERMIT APPROVAL FROM ADJACENT PROPERTY OWNERS AUTHORIZING OFF-SITE ACTIVITIES.
- ALL COORDINATES AND ELEVATIONS ALONG THE CURB ARE AT THE BASE OF THE CURB, ALONG THE FLOW LINE.
- ALL CURB RAMPS SHALL BE FLUSH ALONG THE FLOW LINE OF THE CURB AND HAVE NO LIP.
- ALL TRENCHES CREATED FOR UTILITY INSTALLATION SHALL BE BACKFILLED, COMPACTED AND STABILIZED AT THE END OF EACH WORKING DAY. EXCAVATED TRENCH MATERIAL SHALL BE PLACED ON THE HIGH SIDE OF THE TRENCH. TRENCH SHALL NOT BE OPENED IF IT CANNOT BE STABILIZED THE SAME DAY. IF AN AREA MUST BE LEFT UNSTABILIZED OVERNIGHT, SILT FENCE WILL BE PLACED IMMEDIATELY DOWNSTREAM OF ALL DISTURBED AREAS AND STOCKPILED, AND APPROPRIATE SAFETY MEASURES WILL BE INSTALLED AS REQUIRED.
- STABILIZE ALL DISTURBED AREAS WITH PERMANENT SEED MIX AND MULCH.
- WHERE NEW CURB IS TO BE BUILT OVER EXISTING PAVEMENT, SAWCUT EXISTING PAVEMENT 2 FEET BEYOND PROPOSED WORK AND REMOVE. PLACE NEW HOT MIX ASPHALT PAVEMENT TO MATCH EXISTING SECTION.
- LIMIT OF DISTURBANCE IS APPROXIMATELY 3,500 SF.

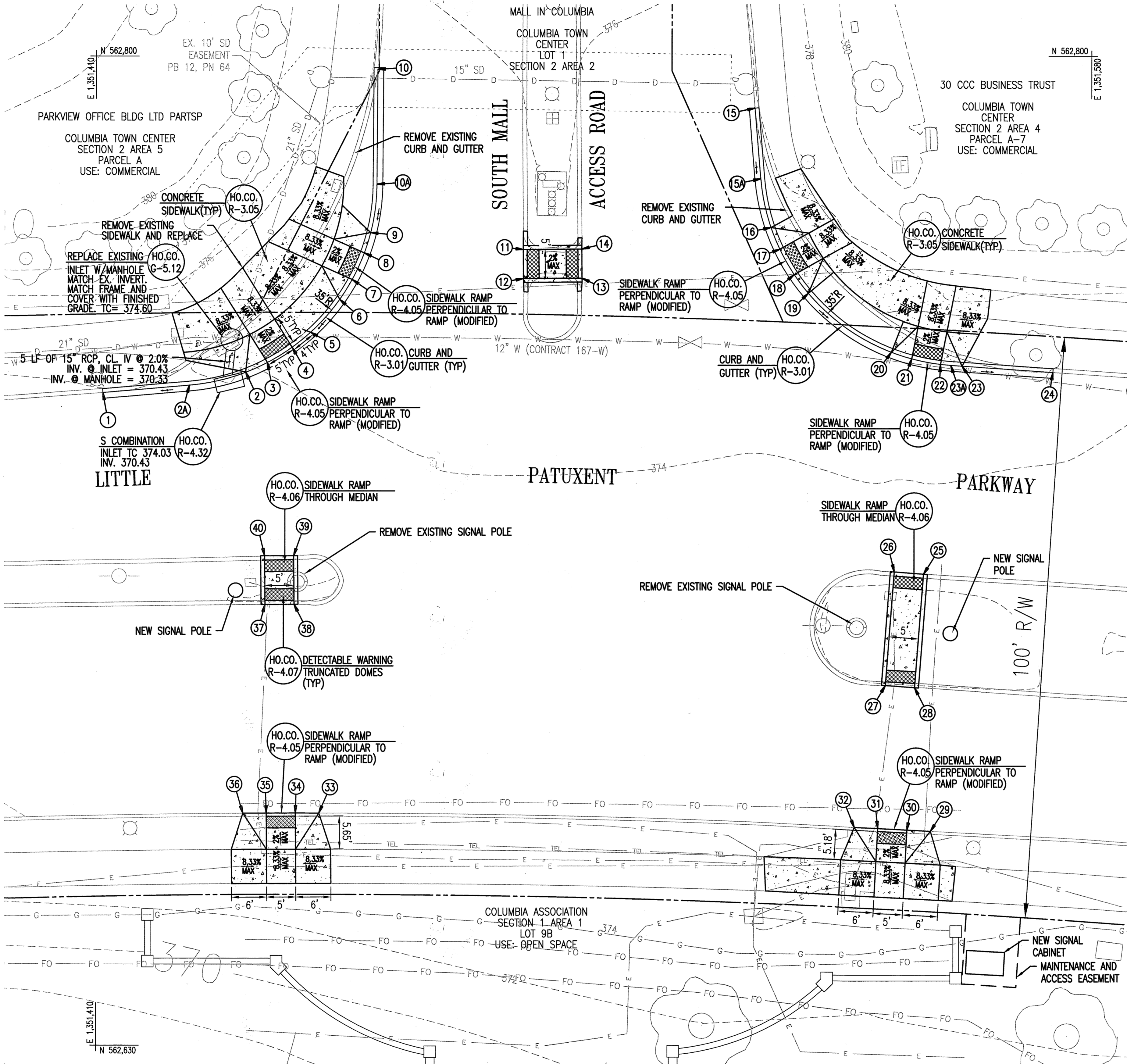
**LEGEND**

- PROPERTY LINE
- FIRE HYDRANT
- LIGHT POLE
- TELE./CABLE PEDESTAL
- ROAD SIGN
- ELECTRIC TRANSFORMER
- ELECTRIC SIGNAL CONTROL BOX
- CONTROL BOX/ELEC. JUNCT. BOX
- WATER LINE
- ELECTRIC LINE
- STORM DRAIN
- GAS
- FIBER OPTIC
- EXISTING CURB AND GUTTER
- CONCRETE CURB AND GUTTER
- CONCRETE PAVEMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *[Signature]* Date: 9-8-15  
 Chief, Planning & Zoning: *[Signature]* Date: 9-02-15  
 Chief, Development Engineering Division: *[Signature]* Date: 8-25-15

PREPARED BY:  
**WHITMAN, REQUARDT & ASSOCIATES, LLP**  
 801 South Caroline Street, Baltimore, MD 21201  
**WR&A**

N: \42059-000\CADD\F-420590000-01.dwg DES. XXX DRN. XXX CHK. XXX DATE REVISION BY APPR.



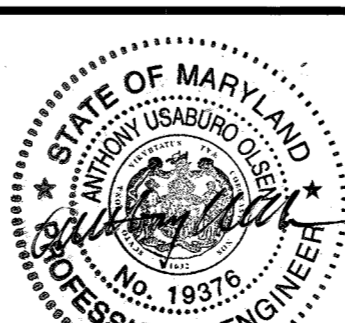
**SITE PLAN**

1" = 10'

\*A Redline is Required for Phase 4  
 at which time all remaining comments from SRC Agencies must be addressed.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19376  
 EXPIRATION DATE: 9/22/2015

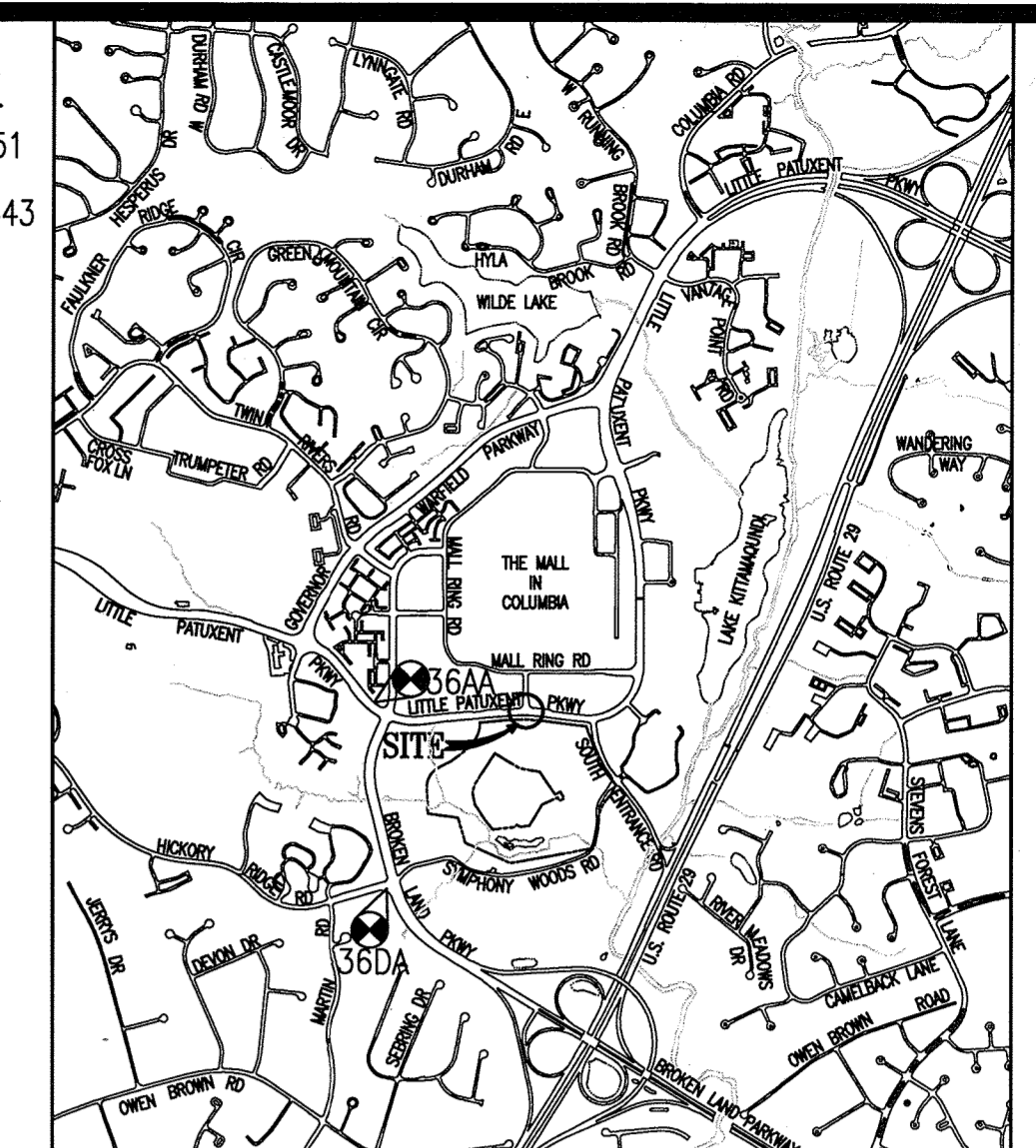


RAMP DETAILS SITE PLAN  
**DOWNTOWN COLUMBIA**  
 MERRIWEATHER PARK at SYMPHONY WOODS NEIGHBORHOOD  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 & PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	82 OF 90

**BENCHMARK DATA**

36AA: N 562,804.8537, E 1,349,906.1701 ELEV. 359.151  
 36DA: N 560,849.3491, E 1,350,037.4422, ELEV. 363.643



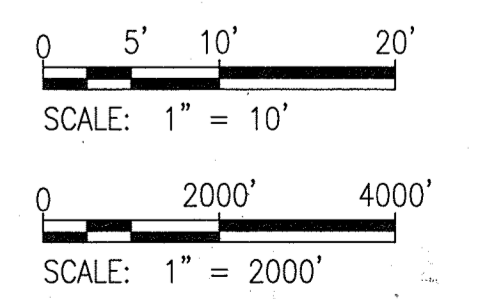
ADC MAP: 4935  
 GRID: C7  
**VICINITY MAP**  
 SCALE: 1" = 2,000'

**CURB/RAMP LOCATIONS**

POINT	NORTHING	EASTING	TC ELEV.	FLOWLINE ELEV.	DESCRIPTION
1	562742.12	1351411.15	374.34	373.74	MATCH EX. CURB
2A	562743.39	1351425.98	374.56	373.96	PC
2	562745.67	1351435.58	374.72	374.12	RAMP
3	562747.32	1351439.26	374.23	374.22	FLUSH CURB
4	562749.92	1351443.53	374.36	374.35	FLUSH CURB
5	562752.50	1351446.68	375.05	374.45	RAMP
6	562758.18	1351451.66	375.28	374.68	RAMP
7	562761.61	1351453.78	374.75	374.74	FLUSH CURB
8	562766.17	1351455.84	374.86	374.85	FLUSH CURB
9	562769.66	1351456.92	375.56	374.96	RAMP
10A	562778.02	1351457.99	375.77	375.17	PT
10	562797.77	1351458.13	376.27	375.67	MATCH EX. CURB
11	562766.72	1351482.99	375.61	375.01	MATCH EX. CURB
12	562761.72	1351483.00	375.54	374.94	MATCH EX. CURB
13	562761.79	1351493.02	375.58	374.98	MATCH EX. CURB
14	562766.79	1351492.96	375.65	375.05	MATCH EX. CURB
15	562791.06	1351522.53	375.02	374.42	MATCH EX. CURB
15A	562778.90	1351523.51	375.85	375.25	PC
16	562770.49	1351525.25	375.72	375.12	RAMP
17	562766.75	1351526.76	375.10	375.09	FLUSH CURB
18	562762.42	1351529.25	375.03	375.02	FLUSH CURB
19	562759.17	1351531.64	375.57	374.97	RAMP
20	562749.07	1351545.80	375.34	374.74	RAMP
21	562747.94	1351549.28	374.70	374.69	FLUSH CURB
22	562746.98	1351554.19	374.63	374.62	FLUSH CURB
23A	562746.81	1351555.95	375.20	374.60	PT
23	562746.68	1351557.85	375.18	374.58	RAMP
24	562745.59	1351573.39	374.97	374.37	MATCH EX. CURB
25	562710.88	1351551.33	374.14	373.54	FLUSH CURB
26	562711.27	1351546.35	374.14	373.54	FLUSH CURB
27	562691.72	1351544.83	374.40	373.80	FLUSH CURB
28	562691.34	1351549.82	374.36	373.76	FLUSH CURB
29	562666.71	1351552.53	373.62	373.02	RAMP/MATCH EX. CURB
30	562666.92	1351548.53	373.06	373.05	FLUSH CURB
31	562667.18	1351543.54	373.10	373.09	FLUSH CURB
32	562667.40	1351539.55	373.72	373.12	RAMP/MATCH EX. CURB
33	562669.88	1351448.16	373.43	372.83	RAMP/MATCH EX. CURB
34	562669.90	1351444.16	372.81	372.80	FLUSH CURB
35	562669.86	1351439.16	372.72	372.71	FLUSH CURB
36	562669.84	1351435.16	373.24	372.64	RAMP/MATCH EX. CURB
37	562705.66	1351438.91	374.20	373.60	FLUSH CURB
38	562705.74	1351443.91	374.25	373.65	FLUSH CURB
39	562714.07	1351443.85	374.01	373.41	FLUSH CURB
40	562714.04	1351438.85	373.96	373.36	FLUSH CURB

**LIST OF DRAWINGS**

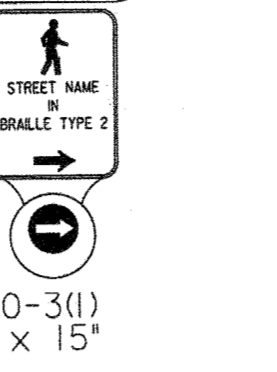
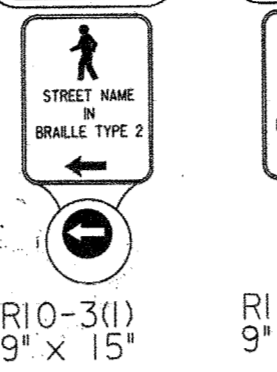
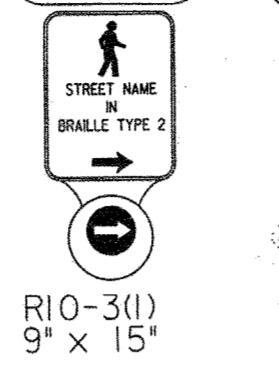
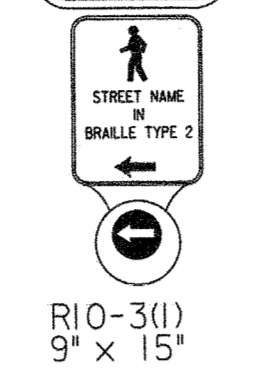
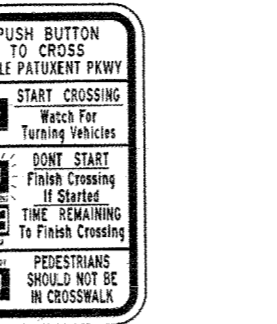
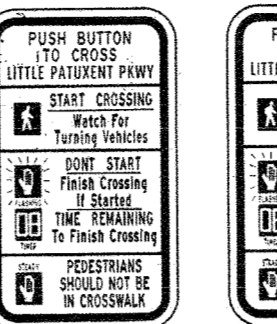
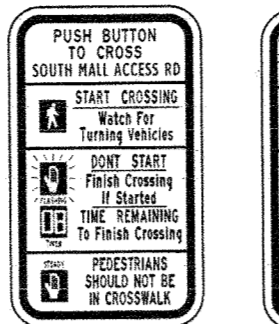
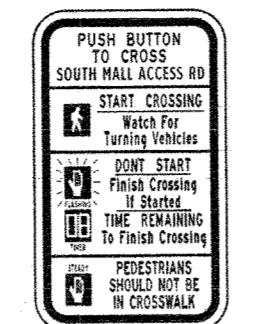
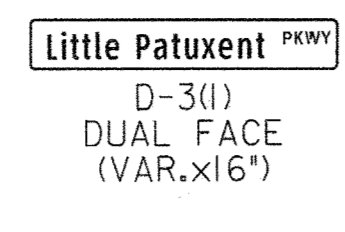
- SITE PLAN
- TRAFFIC SIGNAL PLAN
- GENERAL SIGNAL INFORMATION SHEET



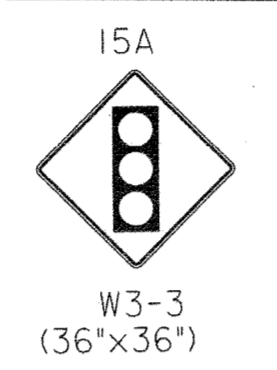
LITTLE PATUXENT PKWY IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION

**GENERAL NOTES**

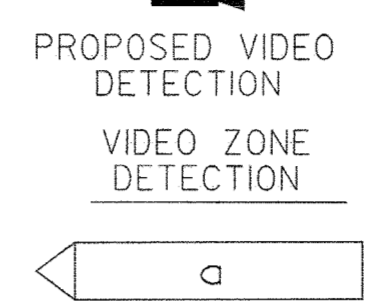
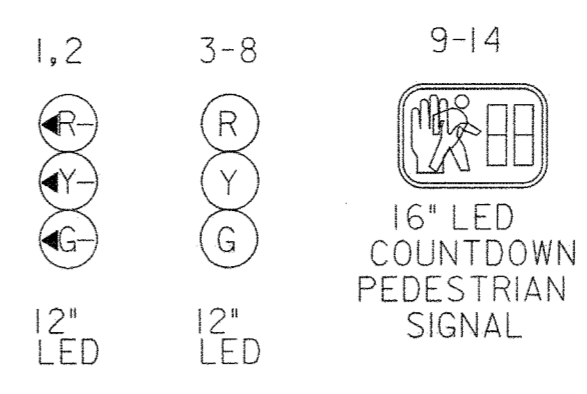
- ALL TRAFFIC SIGNAL FOUNDATIONS SHALL BE INSTALLED AT THE FINAL SIDEWALK OR CURB GRADE FOR CLOSED SECTIONS, HIGHEST ROADWAY PROFILE GRADE FOR OPEN SECTIONS, TO MEET CLEARANCES AS SPECIFIED IN MD 816.03, MD 818.01, MD 818.02, MD 818.04 THE CONTRACTOR SHALL VERIFY ULTIMATE GRADES PRIOR TO THE INSTALLATION OF ALL SIGNAL EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO INSTALLING PROPOSED SIGNAL EQUIPMENT. IF ANY UTILITY CONFLICTS SHOULD ARISE THE CONTRACTOR SHALL CONTACT THE ENGINEER.
- VIDEO CAMERA LOCATION / ALIGNING SHALL BE COORDINATED WITH THE ENGINEER.
- ALL EXISTING TRAFFIC SIGNAL EQUIPMENT REMOVED SHALL BECOME THE PROPERTY OF THE SIGNAL CONTRACTOR UPON COMPLETION OF THE NEW SIGNAL.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR TERMINATING ALL SIGNAL CABLES TO THE APPROPRIATE TERMINALS AND PROPERLY LABEL EACH CABLE.
- REMOVE AND DISPOSE OF ALL UNUSED SIGNAL CABLE.
- PUSHBUTTONS ARE TO BE LOCATED SO THAT THEY CAN BE ACTIVATED BY A PERSON IN A WHEELCHAIR REACHING LESS THAN 18" FROM A 60" x 60" LEVEL LANDING AREA WITH A CROSS SLOPE OF LESS THAN OR EQUAL TO 2%.
- THE 10' SEPARATION BETWEEN PUSHBUTTONS IS TO BE MEASURED FROM FACE OF PUSHBUTTON TO FACE OF PUSHBUTTON, NOT CENTER TO CENTER OF POLE.
- PUSHBUTTON ARROWS ARE TO BE PARALLEL TO THE CROSSING FOR WHICH THEY ARE INTENDED.
- LOCATION OF ACCESSIBLE PEDESTRIAN SIGNAL PUSHBUTTONS MUST MEET LOCATION REQUIREMENTS OF MUTCD SEC. 4E.09 AND FIG. 4E-2 AND THE NCHRP PUBLICATION, ACCESSIBLE PEDESTRIAN SIGNALS: GUIDE TO BEST PRACTICE. IF NOT MET, THE CONTRACTOR IS TO STOP WORK ON PUSHBUTTON LOCATIONS AND CONTACT ENGINEER.
- VERIFY PROPOSED GEOMETRICS PRIOR TO INSTALLING SIGNAL EQUIPMENT.
- ALL HANDHOLES SHALL BE INSTALLED AT FINAL GRADE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING SIDEWALKS CAUSED BY THE INSTALLATION OF SIGNAL EQUIPMENT.
- THE SIGNAL CONTRACTOR SHALL DETERMINE IF ANY WORK BY OTHER CONTRACTORS CAN NOT BE COMPLETED UNTIL INSTALLATION OF SIGNAL EQUIPMENT IS COMPLETE. THE SIGNAL CONTRACTOR SHALL NOTIFY OTHER CONTRACTORS OF THIS WORK.



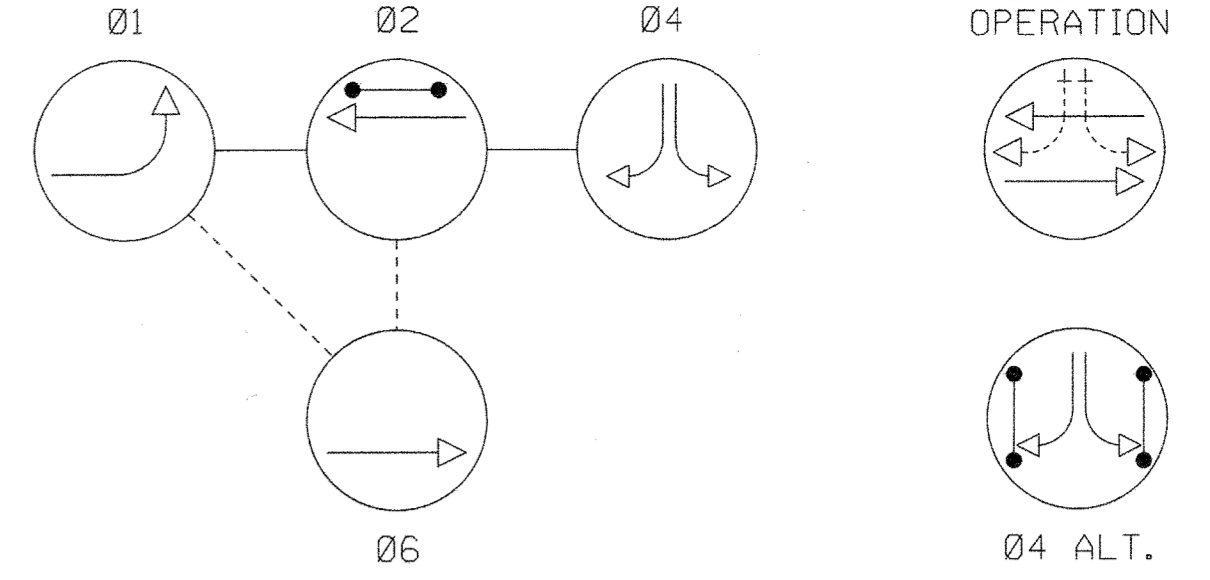
**EXISTING SIGN TO BE REMOVED**



**PROPOSED SIGNALS**



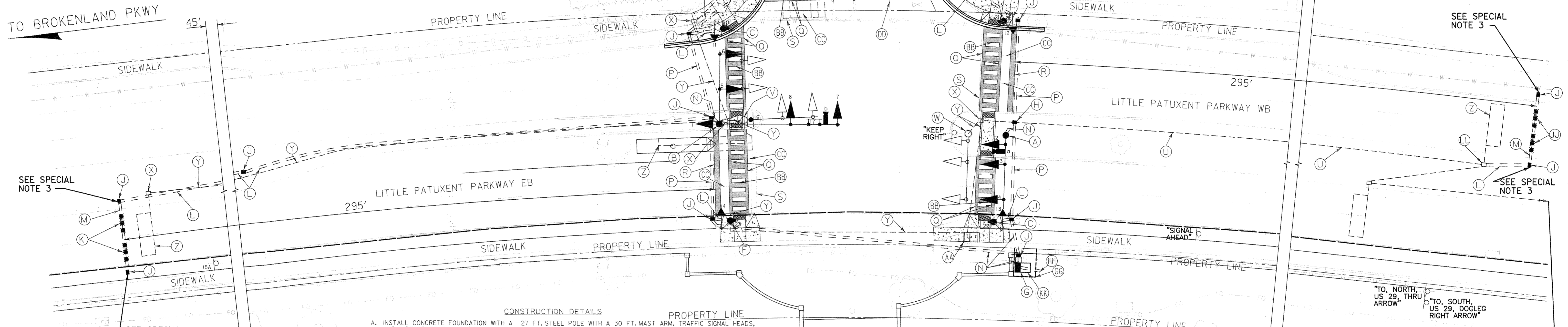
**NEMA PHASING**



NOTE: PHASES ASSOCIATED BY A DASHED LINE WILL OPERATE CONCURRENTLY. PHASES ASSOCIATED BY A SOLID LINE WILL NOT OPERATE CONCURRENTLY.

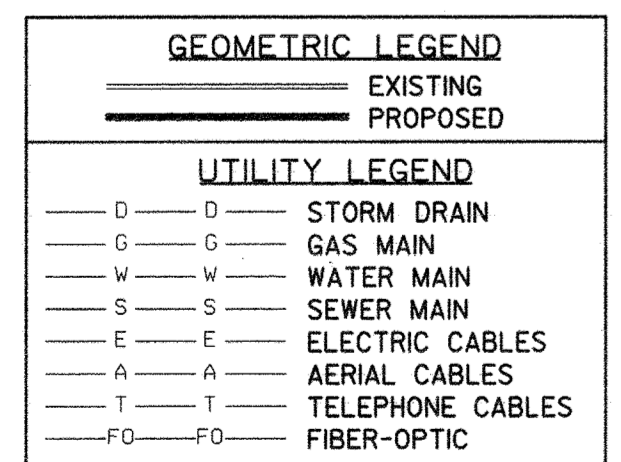
**SPECIAL NOTES:**

- THE CONTRACTOR SHALL NOT BLOCK VIEW OF EXISTING SIGNAL INDICATIONS DURING INSTALLATION OF PROPOSED EQUIPMENT. IF PROPOSED EQUIPMENT CANNOT BE INSTALLED DUE TO CONFLICT WITH EXISTING SIGNAL INDICATIONS OR SPAN WIRES, A SIGNAL OUTAGE SHALL OCCUR DURING NON-PEAK HOURS AS DIRECTED BY THE ENGINEER.
- CONTRACTOR SHALL USE CAUTION WHEN INSTALLING SIGNAL EQUIPMENT TO AVOID DISTURBANCE OF EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL TEST PIT TO DETERMINE EXACT LOCATION AND DEPTH OF UNDERGROUND UTILITIES PRIOR TO INSTALLING SIGNAL EQUIPMENT.
- INSTALL HANDHOLE WITH LONG DIMENSION PERPENDICULAR TO TRAVEL WAY FOR INSTALLATION OF NON-INVASIVE PROBES. EXTEND CONDUIT A MINIMUM OF 2 IN. AND MAXIMUM OF 3 IN. INTO HANDHOLE.
- THE CONTRACTOR SHALL COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS TO CONTACT LOCAL POWER COMPANY TO SET-UP WORK WITH TO DISCONNECT THE EXISTING ELECTRICAL SERVICE AND HAVE THE NEW SERVICE ENERGIZED.



**CONSTRUCTION DETAILS**

- INSTALL CONCRETE FOUNDATION WITH A 27 FT. STEEL POLE WITH A 30 FT. MAST ARM, TRAFFIC SIGNAL HEADS, AND VIDEO DETECTION CAMERA MOUNTED ON MAST ARM. (INSTALL 1-2 IN. AND 1-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN POLE BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL CONCRETE FOUNDATION WITH A 27 FT. STEEL POLE WITH TWIN 50 FT./30 FT. MAST ARMS, TRAFFIC SIGNAL HEADS, SIGNS AND VIDEO DETECTION CAMERA MOUNTED ON MAST ARM. (INSTALL 1-2 IN. AND 1-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN POLE BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801.01-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING LEFT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS LITTLE PATUXENT PKWY") (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801.01-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING RIGHT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS SOUTH MALL ACCESS ROAD"). (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801.01-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING RIGHT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS LITTLE PATUXENT PKWY"). (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL CONCRETE FOUNDATION WITH 8 FT. STEEL PEDESTAL POLE WITH MODIFIED BREAKAWAY BASE STANDARD NO. MD 801.01-01, COUNTDOWN PEDESTRIAN SIGNAL HEAD, AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON INSTALLED WITH VIBRATING ARROW POINTING RIGHT AND R10-3(1) SIGN. (SIGN TO READ "PUSH BUTTON TO CROSS LITTLE PATUXENT PKWY"). (INSTALL 1-3 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BEND IN PEDESTAL BASE/POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS).
- INSTALL BASE MOUNTED CABINET AND CONTROLLER WITH CONCRETE PAD, GROUND RODS AND ALL NECESSARY EQUIPMENT FOR AN ELECTRICAL SERVICE. (INSTALL 2-2 IN. AND 2-4 IN. SCHEDULE 80, 90 DEGREE PVC ELECTRICAL CONDUIT BENDS IN CABINET BASE.)
- INSTALL HANDHOLE ON TOP OF EXISTING CONDUIT HEADING EAST. CUT AND REMOVE APPROXIMATELY 3 FT. LENGTH OF EXISTING CONDUIT AND INSTALL HANDHOLE. INSTALL AND COUPLE 1 FT. +/- CONDUIT TO EXISTING CONDUIT LEAVING EAST. LEAVING 6 IN. PROTRUDING INSIDE HANDHOLE. (SEE DETAIL "LL")
- INSTALL HANDHOLE.
- INSTALL NON-INVASIVE MICROLOOP PROBE SET WITH 1,000 FT. LEAD-IN IN PROPOSED 3 IN. CONDUIT.
- INSTALL 2 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-TRENCHED.
- INSTALL 3 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-BORED.
- INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-TRENCHED.
- INSTALL 4 IN. PVC SCHEDULE 80 ELECTRICAL CONDUIT-BORED.
- INSTALL 12 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR CROSSWALKS (HOWARD COUNTY DM, DETAIL T-7.03).
- INSTALL 24 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR STOP LINE.
- REMOVE EXISTING STOP LINE.
- USE EXISTING HANDHOLE.
- USE EXISTING CONDUIT.
- REMOVE EXISTING SIGNAL POLE, MAST ARMS, SIGN, AND SIGNAL HEADS. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL.
- REMOVE EXISTING SIGNAL POLE, MAST ARM, AND SIGNAL HEADS. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL.
- REMOVE EXISTING HANDHOLE.
- CAP AND ABANDON EXISTING CONDUIT.
- ABANDON EXISTING LOOP DETECTOR. DISCONNECT AND REMOVE LOOP DETECTOR CABLES FROM CONDUITS, HANDHOLES, SIGNAL STRUCTURES AND CONTROLLER.
- REMOVE EXISTING BASE MOUNTED CABINET AND CONTROLLER. REMOVE FOUNDATION 12 IN. BELOW GRADE AND BACKFILL. HOWARD COUNTY SIGNAL SHOP SHALL BE NOTIFIED TO REMOVE THE CONTROLLER AND ALL AUXILIARY EQUIPMENT FROM THE CABINET. (SEE DETAIL "LL")
- INSTALL 24 IN. HEAT APPLIED, WHITE PERMANENT PREFORMED THERMOPLASTIC PAVEMENT MARKING FOR CROSSWALK.
- REMOVE EXISTING PAVEMENT MARKING LINE EXTENDED PAST PROPOSED STOP LINE.
- REMOVE EXISTING PAVEMENT MARKING LINE EXTENDED PAST PROPOSED CROSSWALK (HOWARD COUNTY DM, DETAIL T-7.03).
- REMOVE EXISTING TURN ARROW.
- INSTALL HEAT APPLIED WHITE THERMOPLASTIC ARROWS.
- PROPOSED EASEMENT FOR PROPOSED SIGNAL CABINET.
- CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS AND BGE TO INSTALL CONDUIT FOR PROPOSED ELECTRICAL SERVICE.
- INSTALL NON-INVASIVE MICROLOOP PROBE SET WITH 500 FT. LEAD-IN IN PROPOSED 3 IN. CONDUIT.
- CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS AND VERIZON TO INSTALL PROPOSED PHONE DROP.
- REMOVE EXISTING HANDHOLE. CONTRACTOR TO COORDINATE WITH HOWARD COUNTY DPW/BUREAU OF HIGHWAYS TO DISCONNECT INTERCONNECT FROM EXISTING CABINET AND PULL BACK TO EXISTING HANDHOLE. AFTER PROPOSED HANDHOLES HAVE BEEN INSTALLED, RE-FEED INTERCONNECT AND CONNECT IN PROPOSED CABINET.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 9-2-15  
 Chief, Division of Land Development: [Signature] Date: 9-2-15  
 Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 09, 2014  
 \*See Ch. 2 for Phasing & Add'l Required Approvals for Phs 3-7\*

\*A redline is required for Phases 4, at which time all SRC comments for the Pedestrian Crossing will be addressed.

WHITMAN, REQUARDT & ASSOCIATES, LLP  
 801 South Caroline Street, Baltimore, MD 21231

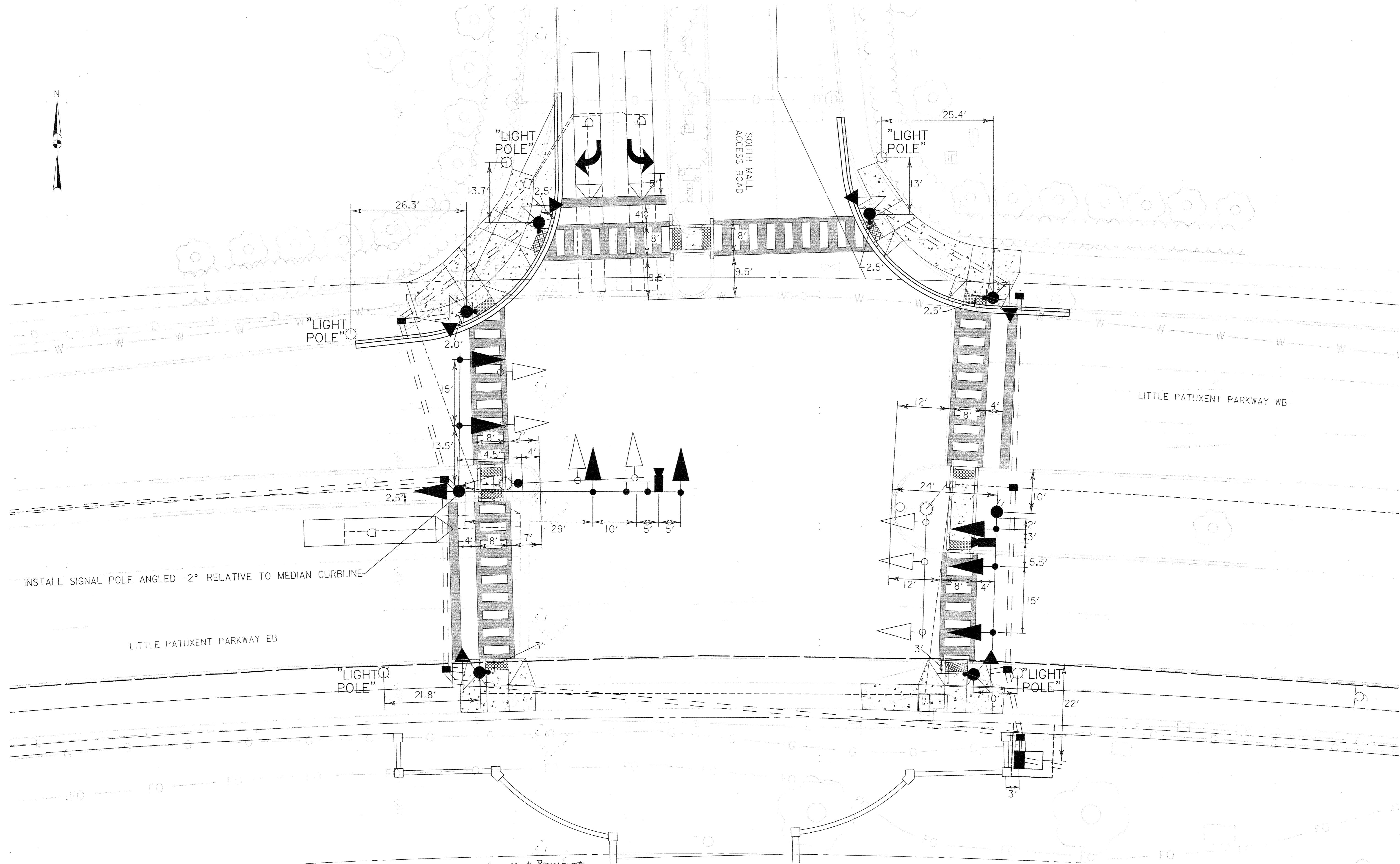
DATE	REVISION	BY	APPR.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 27049  
 EXPIRATION DATE: 21-28-2016

TRAFFIC SIGNAL PLAN  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13335 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	83 OF 90



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*N. Williams* 9-9-15  
 Director Date  
*V. Smith* 9-02-15  
 Chief, Division of Land Development Date  
*D. Smith* 8-25-15  
 Chief, Development Engineering Division Date

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See SRC # 18-11-Prasing for  
 \*Add'l. Reg. Approvals for Phs 2-7

\*A redline is required for Ph. 4. Remaining SRC comments will be addressed at that time for the pedestrian crossing.  
 \*A redline is required for the remaining SRC comments and will be addressed at that time for the pedestrian crossing.

WHITMAN, REQUARDT & ASSOCIATES, LLP  
 801 South Caroline Street, Baltimore, MD 21231

DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21044  
 EXPIRATION DATE: 01-28-2016

TRAFFIC SIGNAL PLAN  
**DOWNTOWN COLUMBIA**  
**MERRIWEATHER-SYMPHONY WOODS NEIGHBORHOOD**  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER- SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 10'	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	84 OF 90

**GENERAL**

**PROJECT DESCRIPTION**

THIS PROJECT INVOLVES THE RECONSTRUCTION OF THE EXISTING TRAFFIC CONTROL SIGNAL AT THE INTERSECTION OF LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD IN HOWARD COUNTY, MARYLAND. LITTLE PATUXENT PARKWAY IS ASSUMED TO RUN IN AN EAST-WEST DIRECTION.

**INTERSECTION OPERATION**

THE INTERSECTION OPERATION WILL REMAIN THE SAME.

**TYPICAL MESSAGES FOR ACCESSIBLE PED SIGNALS**

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - NORTH LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS SOUTH MALL ACCESS ROAD AT LITTLE PATUXENT ROAD, WAIT."\*

WALK: RAPID TICK

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - EAST LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD, WAIT."\*

WALK: RAPID TICK

LITTLE PATUXENT PARKWAY AND SOUTH MALL ACCESS ROAD - WEST LEG

**STREETS AT 90 DEGREES**

WAIT: "WAIT TO CROSS LITTLE PATUXENT PARKWAY AT MALL ACCESS ROAD, WAIT."\*

WALK: RAPID TICK

\* MESSAGE USED IF DISTANCE FROM NEAREST PUSHBUTTON FOR PERPENDICULAR CROSSING IS < 10'

\*\* MESSAGE USED IF CROSSWALK DIVERGES FROM OR CONVERGES WITH PARALLEL TRAFFIC

NOTE: MESSAGES FOR INTERSECTION CONFIGURATIONS, VARYING FROM THE ABOVE ARE TO BE APPROVED BY THE DIRECTOR, OFFICE OF TRAFFIC AND SAFETY.

**CONTROLLER REQUIREMENTS**

AN EIGHT PHASE, FULL-TRAFFIC ACTUATED, SOLID STATE DIGITAL CONTROLLER WITH INTERSECTION MONITOR AND HARNESS, BATTERY BACK-UP, AND VIDEO DETECTION EQUIPMENT HOUSED IN A BASE MOUNTED CABINET ARE TO BE INSTALLED AT THIS LOCATION.

- NOTES:**
- GROUND MOUNT SIGN SUPPORTS SHALL BE:
    - 2 INCH GALVANIZED STEEL (PERFORATED) SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 3 FOOT LONG - 2.5 INCH GALVANIZED STEEL (PERFORATED) SQUARE TUBE SLEEVE (12 GAUGE) WITH A GALVANIZED STEEL POLE CAP MOUNTED ON TOP OF THE POST.
  - POLE PAINT COLOR SHALL CONFORM TO THE FOLLOWING FEDERAL STANDARD '595A-20040-BROWN.
    - A) PRIMER; SHALL BE EPOXY POLYAMIDE MEETING THE REQUIREMENTS OF SECTION 912.03.02.
    - B) FINISH COAT; SHALL BE AN ALIPHATIC POLYURETHANE MEETING REQUIREMENTS OF SECTION 912.04.02.

**EQUIPMENT LIST 'A'**

A. EQUIPMENT TO BE FURNISHED BY THE COUNTY

QUANTITY	DESCRIPTION
1 EACH	TRAFFIC SIGNAL CONTROLLER, BASE MOUNTED CABINET, AND VIDEO DETECTION INTERFACE
6 EACH	12 IN., ONE-WAY, THREE SECTION L.E.D. (R,Y,G) ADJUSTABLE YELLOW FACED TRAFFIC SIGNAL HEAD WITH MAST ARM MOUNTING HARDWARE AND TUNNEL VISORS
2 EACH	12 IN., ONE-WAY, THREE SECTION L.E.D. (R,Y,G) ADJUSTABLE YELLOW FACED TRAFFIC SIGNAL HEAD WITH MAST ARM MOUNTING HARDWARE AND TUNNEL VISORS
6 EACH	16 IN. ONE-WAY, ONE SECTION L.E.D. (COUNTDOWN INDICATIONS) ADJUSTABLE PEDESTRIAN SIGNAL HEAD WITH POST TOP MOUNTING HARDWARE AND CUT-AWAY VISORS
2 EACH	VIDEO DETECTION CAMERA AND CABLE (1-100 LF, 1-300 LF)
6 EACH	AUDIBLE/TACTILE PEDESTRIAN PUSHBUTTON STATION AND SIGNS

**EQUIPMENT LIST 'C'**

C. EQUIPMENT TO BE INSTALLED BY THE COUNTY SIGNAL SHOP WHEN REIMBURSED BY THE DEVELOPER OR CONTRACTOR

QUANTITY	DESCRIPTION
1 EACH	BATTERY BACK-UP SYSTEM

**PHASE CHART**

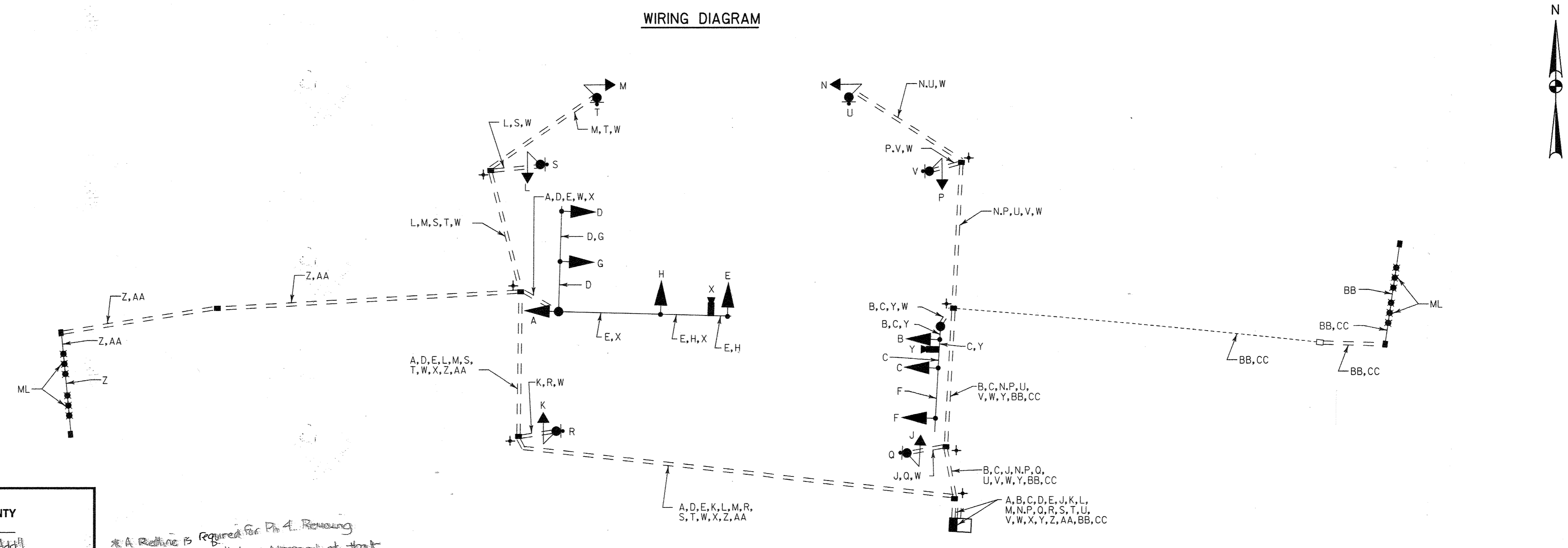
	1	2	3	4	5	6	7	8	9	10	11	12	13	14
PHASE 1 + 6	←G	←G	G	G	R	R	R	R	DW	DW	DW	DW	DW	DW
1 + 6 CHANGE	←Y	←Y	G	G	R	R	R	R	DW	DW	DW	DW	DW	DW
PHASE 2 + 6	←R	←R	G	G	G	G	R	R	FL/DW	FL/DW	DW	DW	DW	DW
2 + 6 CHANGE	←R	←R	Y	Y	Y	Y	R	R	FL/DW	FL/DW	DW	DW	DW	DW
PHASE 4	←R	←R	R	R	R	R	G	G	DW	DW	DW	DW	DW	DW
4 CHANGE	←R	←R	R	R	R	R	Y	Y	DW	DW	DW	DW	DW	DW
PHASE 4 ALT	←R	←R	R	R	R	R	G	G	DW	DW	WK	WK	WK	WK
PED CLEARANCE	←R	←R	R	R	R	R	G	G	DW	DW	FL/DW	FL/DW	FL/DW	FL/DW
4 ALT CHANGE	←R	←R	R	R	R	R	Y	Y	DW	DW	DW	DW	DW	DW
FLASHING OPERATION	←FL/R	←FL/R	FL/Y	FL/Y	FL/Y	FL/Y	FL/R	FL/R	DARK	DARK	DARK	DARK	DARK	DARK

**EQUIPMENT LIST 'B'**

B. EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR

QUANTITY	DESCRIPTION
LUMP SUM	MAINTENANCE OF TRAFFIC
8 CY	TEST PIT EXCAVATION
1 EACH	27 FT. STEEL TWIN MAST ARM POLE WITH 50 FT. AND 30 FT. MAST ARMS (POLE AND MAST ARMS TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
1 EACH	27 FT. STEEL MAST ARM POLE WITH A 30 FT. MAST ARM (POLE AND MAST ARM TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
6 EACH	8 FT. STEEL PEDESTAL POLE WITH BREAKAWAY TRANSFORMER BASE (POLE TO BE PAINTED BROWN IN ACCORDANCE WITH TNEMAC STANDARDS AND SPECIFICATIONS)
1 EACH	VAR. X 16 IN. D-3(1) SIGN WITH MAST ARM MOUNT HARDWARE
1 EACH	24 IN. X 24 IN. R3-4 SIGN FOR GROUND MOUNTING
12 EACH	HANDBOX
1180 L.F.	2-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
1235 L.F.	5-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
1120 L.F.	7-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)
530 L.F.	1-CONDUCTOR STRANDED THWN GREEN GROUND WIRE (NO. 6 A.W.G.)
430 L.F.	2 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - TRENCHED
65 L.F.	3 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - BORED
165 L.F.	4 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - TRENCHED
165 L.F.	4 IN. POLYVINYL CHLORIDE (SCHEDULE 80) ELECTRICAL CONDUIT - BORED
11 C.Y.	CONCRETE FOUNDATION FOR TRAFFIC SIGNAL EQUIPMENT
7 EACH	GROUND ROD 3/4 IN. DIAMETER X 10 FT. LENGTH
22 L.F.	GROUND MOUNT SIGN SUPPORTS (SEE NOTE I THIS PAGE)
4 EACH	NON-INVASIVE DETECTOR (ANY LENGTH) LEAD IN CABLE UP TO 1000'
8 EACH	INSTALL SIGNAL HEAD
6 EACH	INSTALL PEDESTRIAN SIGNAL HEAD
6 EACH	INSTALL PEDESTRIAN STATION AND SIGN
2 EACH	INSTALL VIDEO CAMERA DETECTOR WITH COUNTY SUPPLIED CLAMP
1 EACH	INSTALL CONTROL CABINET - BASE MOUNTED
240 L.F.	REMOVAL OF EXISTING PERMANENT PAVEMENT MARKING LINES
400 L.F.	12 INCH WHITE PREFORMED THERMOPLASTIC PAVEMENT MARKING LINES
410 L.F.	24 INCH WHITE PREFORMED THERMOPLASTIC PAVEMENT MARKING LINES
31 S.F.	PAVEMENT MARKING PAINT LEGENDS AND SYMBOLS
1 EACH	REMOVE AND DISPOSE OF EQUIPMENT

**WIRING DIAGRAM**



**WIRING KEY**

A, B, C, D, E	7-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)	X	VIDEO CAMERA DETECTION LEAD-IN CABLE
F, G, H, I, J, K	5-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)	Z, AA, BB, CC	MICROLOOP PROBE LEAD-IN
Q, R, U, S, V	2-CONDUCTOR ELECTRICAL CABLE (NO. 14 A.W.G.)	ML	MICROLOOP PROBE SET
W	STRANDED BARE COPPER GROUND WIRE (NO. 6 A.W.G.)	+	3/4 IN. X 10 FT. GROUND ROD

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 9-2-15  
 Chief, Division of Land Development: [Signature] Date: 9-02-15  
 Chief, Development Engineering Division: [Signature] Date: 8-25-15

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
 Date: November 20, 2014  
 \*See SR 2 for Phasing & Admitt  
 Required Approvals for Phases 3-7

\*A Redline is required for Ph 4. Remaining SRC comments will be addressed at that time for the Redline Crossing.

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY	APP'R.

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21049  
 EXPIRATION DATE: 01-28-2016

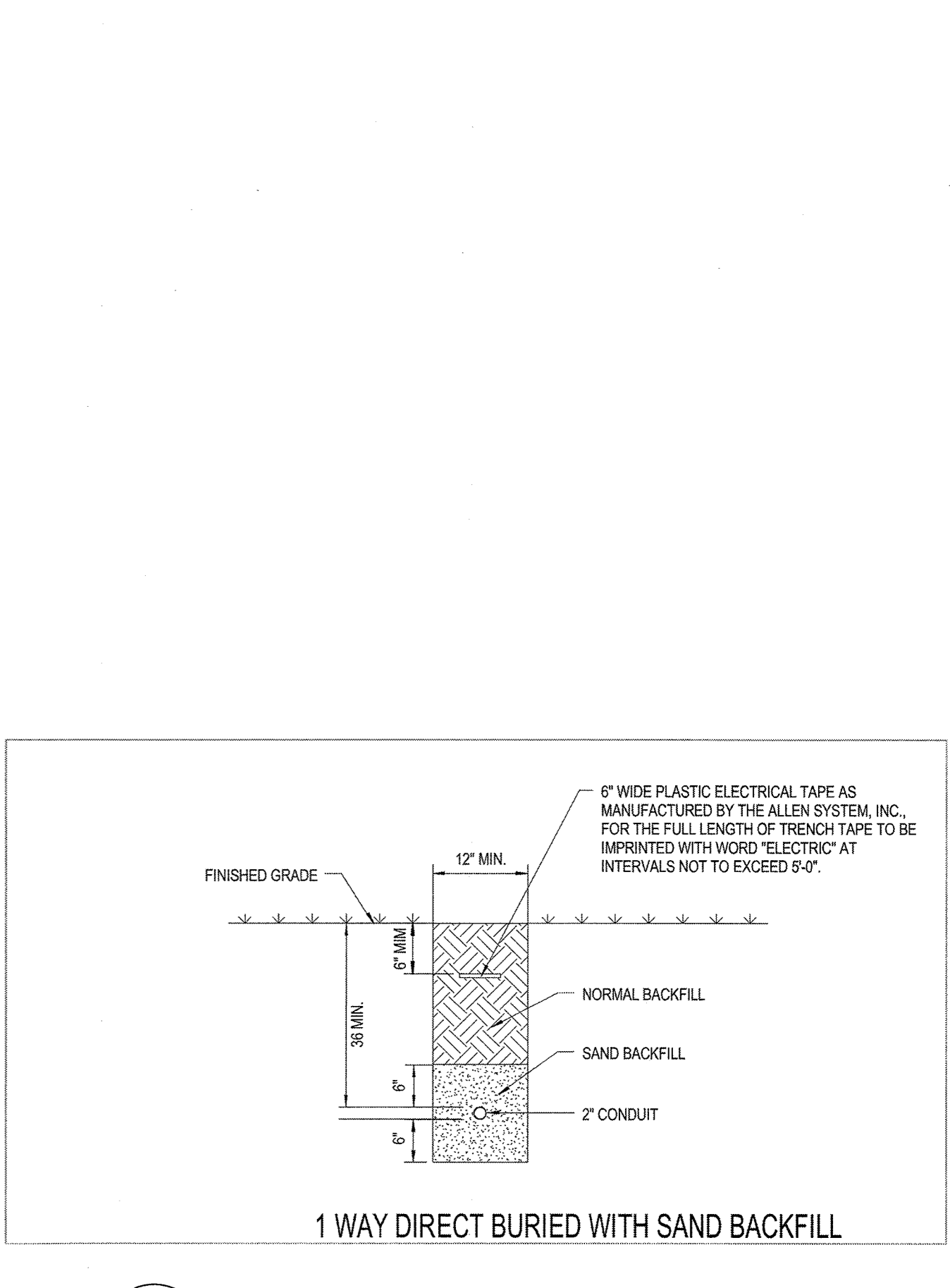
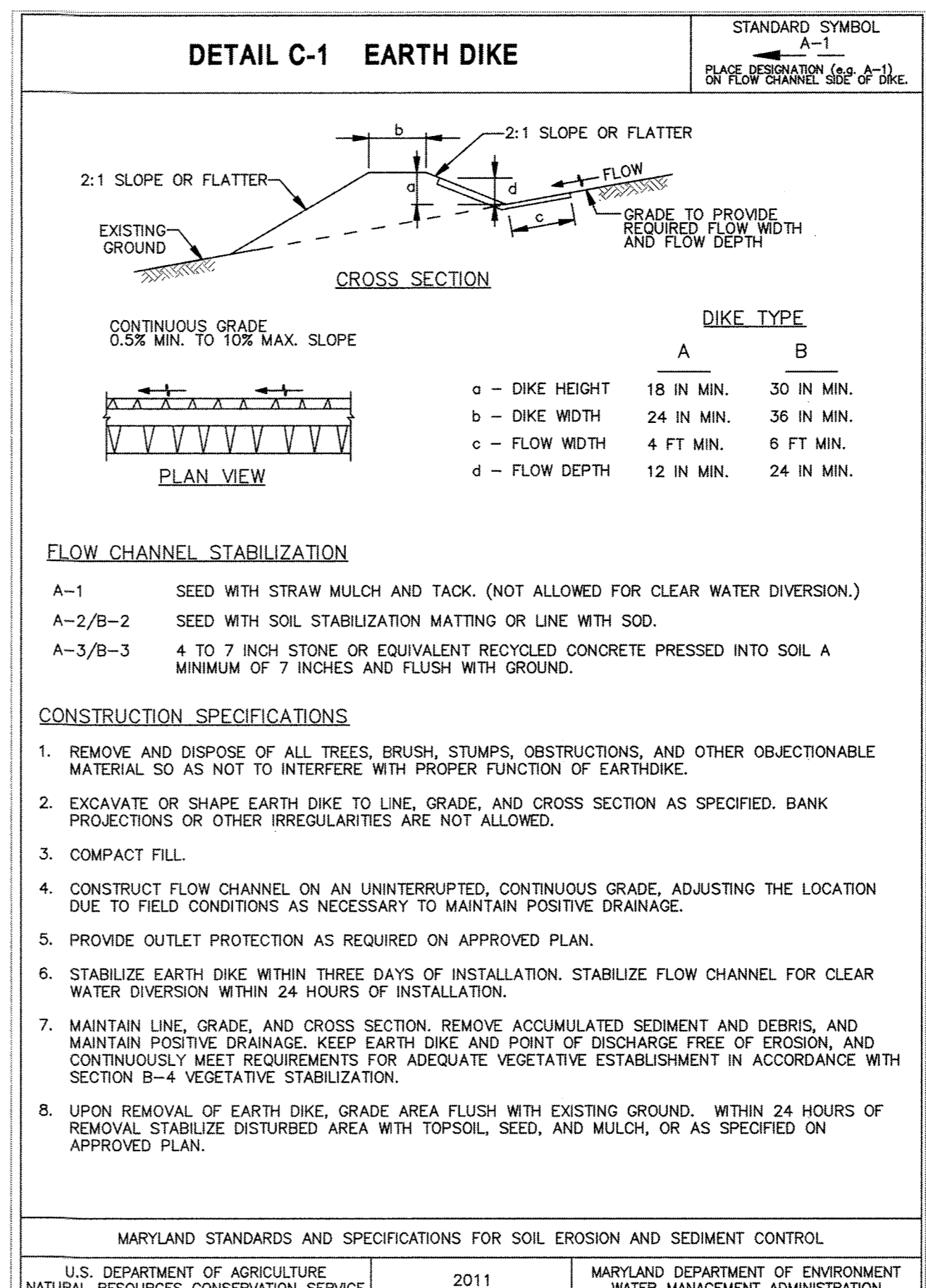
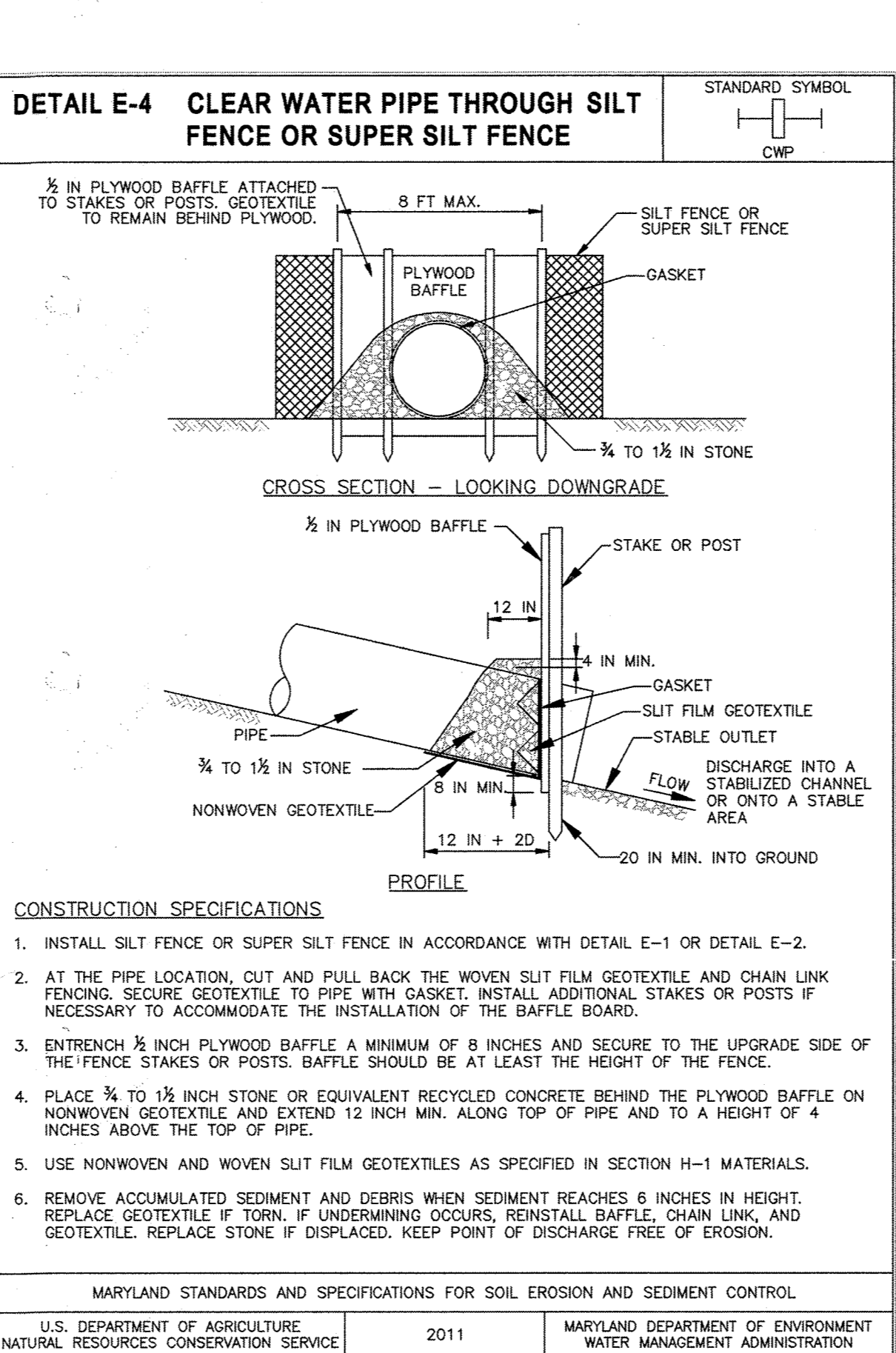
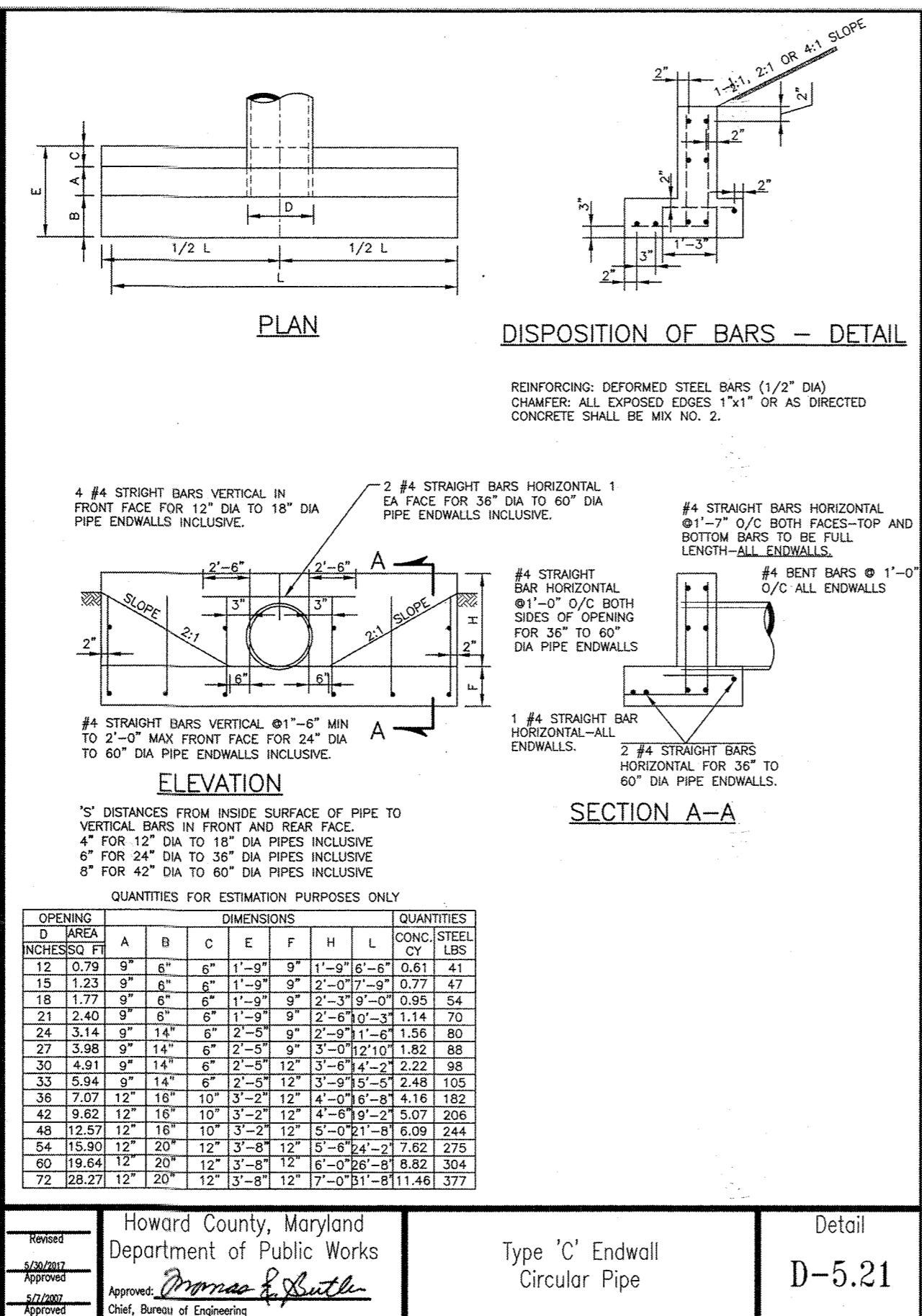
**GENERAL SIGNAL INFORMATION SHEET**

**DOWNTOWN COLUMBIA**  
**MERRIWEATHER PARK AT SYMPHONY WOODS NEIGHBORHOOD**  
 MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 1 AND FUTURE PHASES 2-7  
 TOWN CENTER - SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13335 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
NONE	NT	13043
DATE	TAX MAP - GRID	SHEET
JUNE, 2015	36 - 01	85 OF 90

**THIS SHEET ADDED**

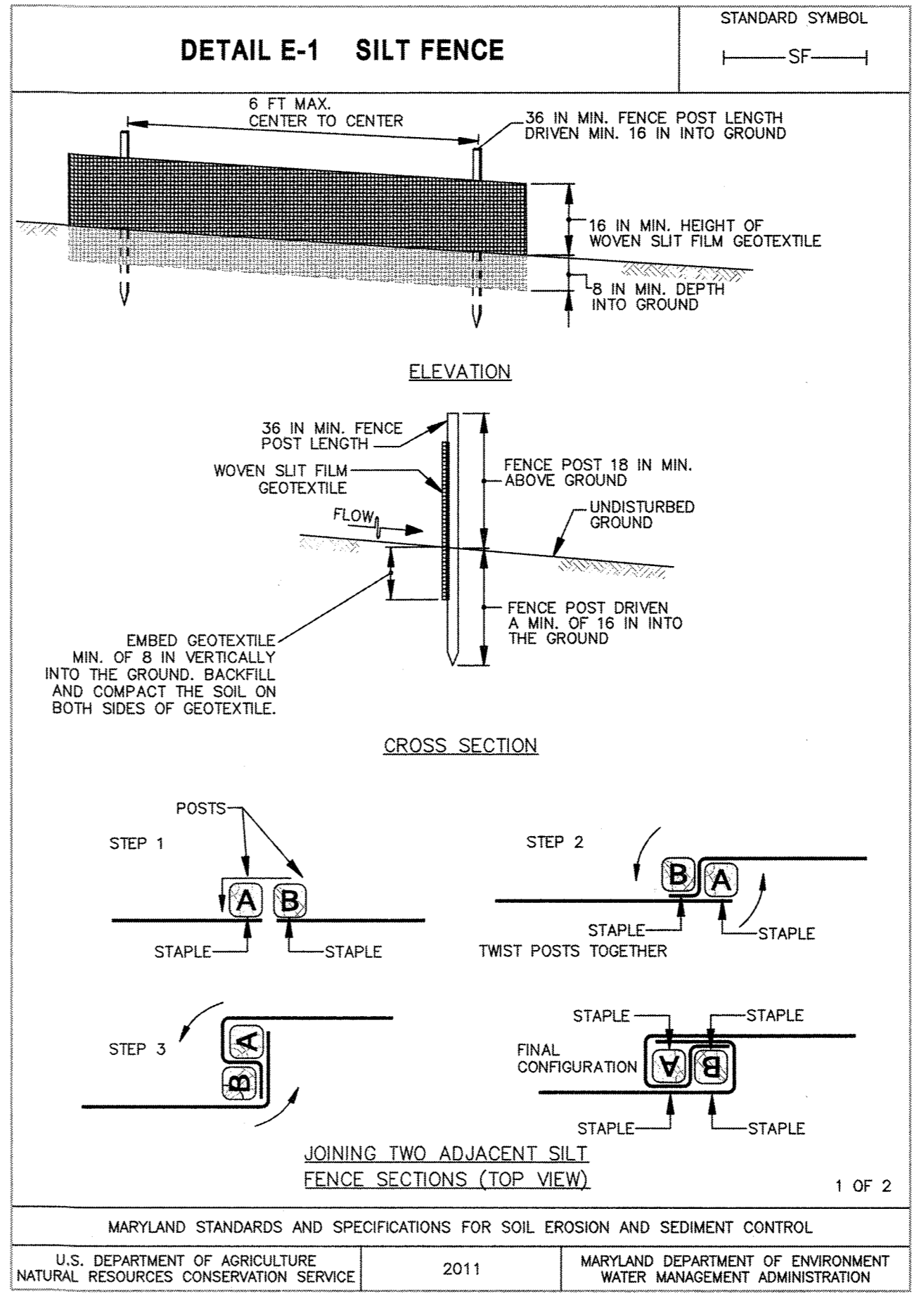
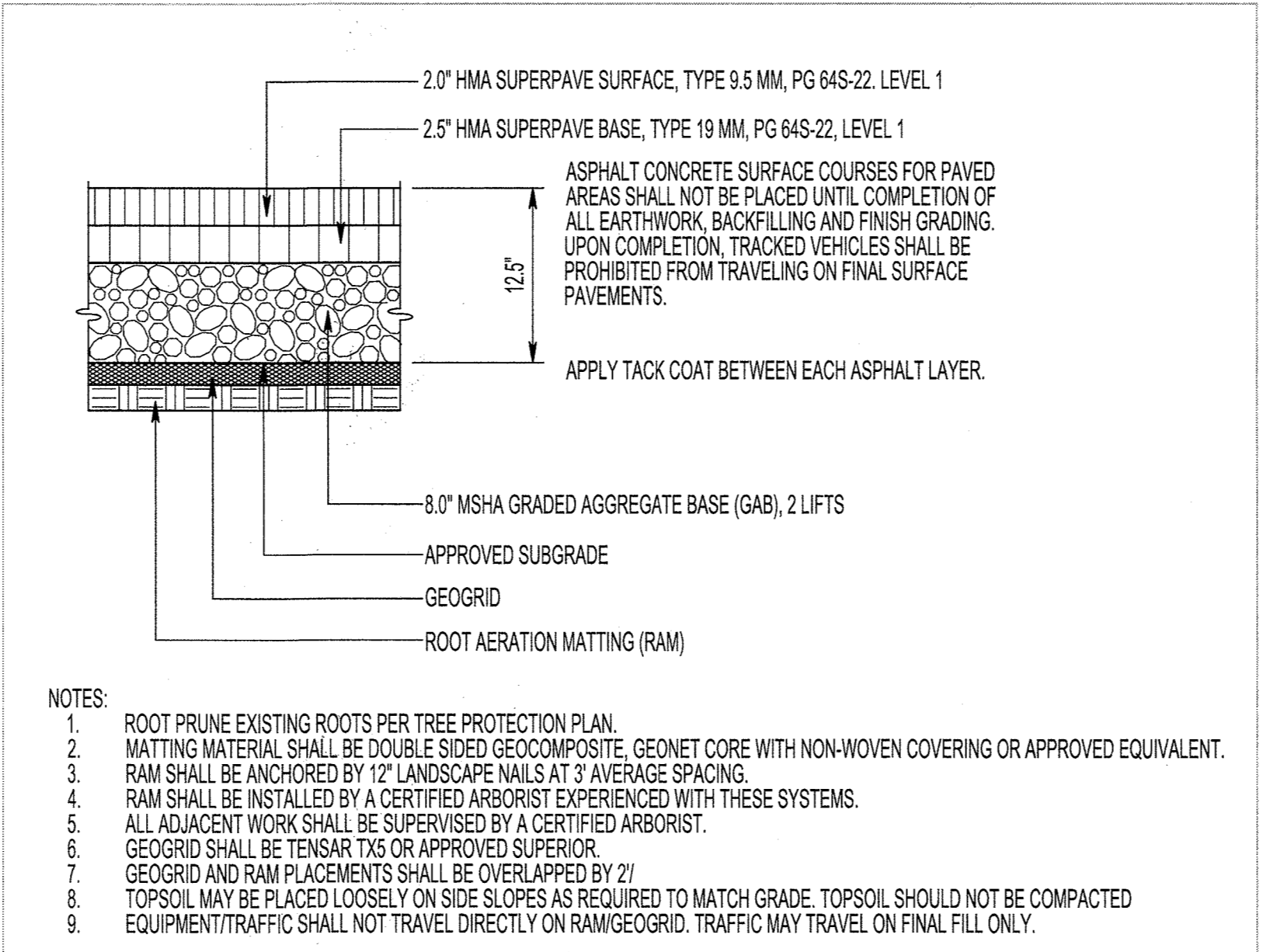
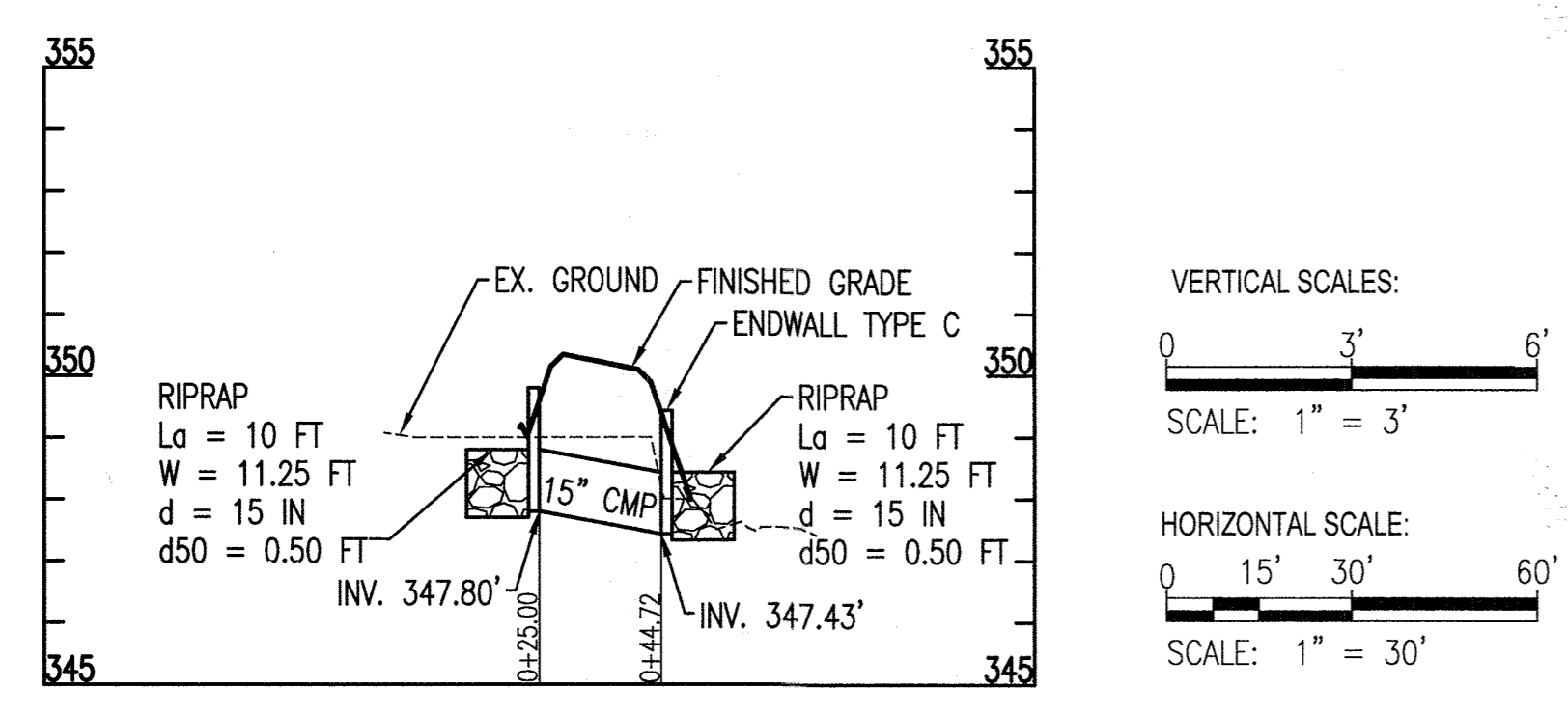


**A TYPE 'C' ENDWALL DETAIL**  
NOT TO SCALE

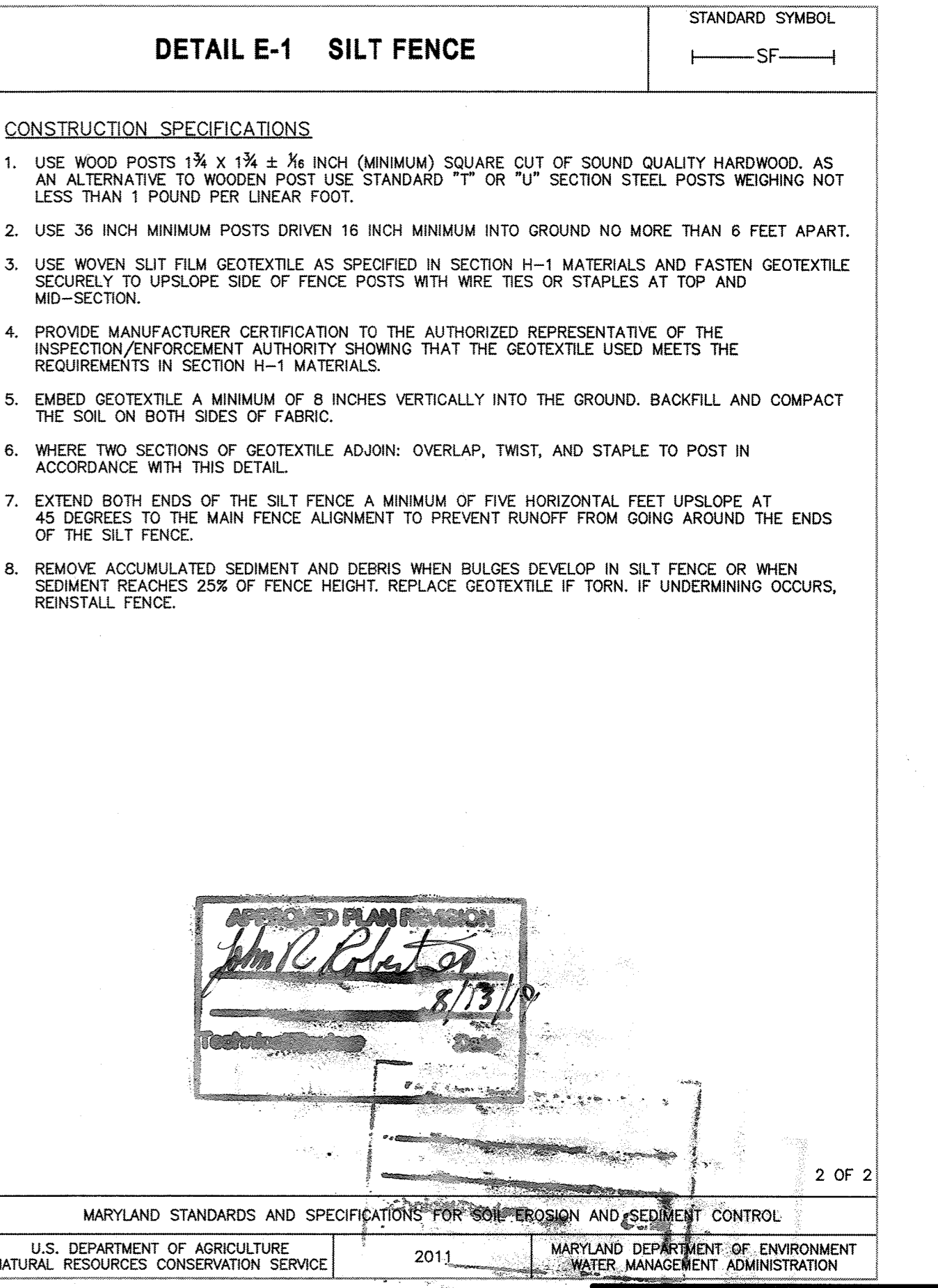
**B CLEAR WATER THROUGH SSF DETAIL**  
NOT TO SCALE

**C EARTH DIKE DETAIL**  
NOT TO SCALE

**D UNDERGROUND DUCTBANK DETAIL**  
NOT TO SCALE



**F SILT FENCE DETAIL**  
NOT TO SCALE



APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Chief, Development Engineering Division  
Date: 8-22-19

APPROVED: PLANNING BOARD OF HOWARD COUNTY  
DATE: November 20, 2014

Director: [Signature]  
Date: 3-2-2020

\* See Sh 2 for planning and add req's necessary for this.

**FLOURA TEETER**  
landscape architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

**WRA**  
Whitman, Reardon & Associates, LLP  
801 South Caroline Street, Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

REVISED: LEM, AJO, DES, DWN, CHK, DATE: 05/20/2019

NO.	BY	DATE	REVISION

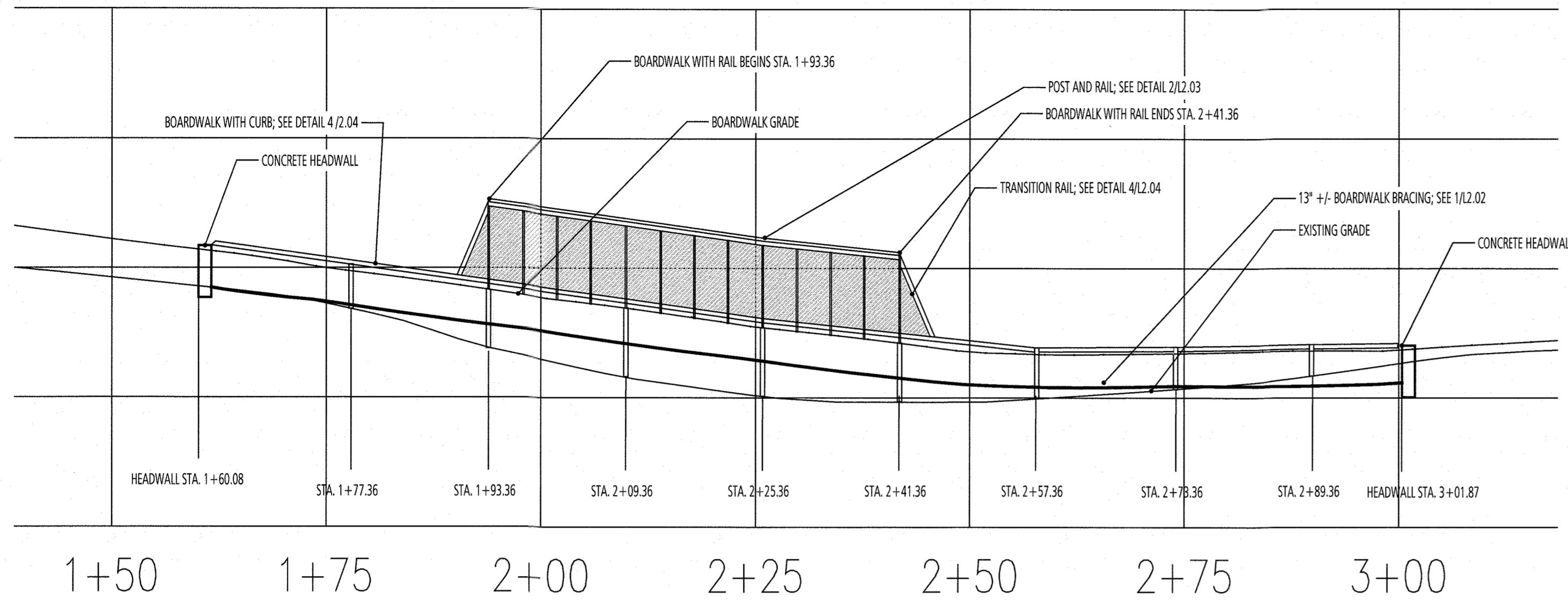
PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
5430 VANTAGE POINT RD  
HISTORIC OAKLAND, SUITE A  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
443-832-3223

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 19378  
EXPIRATION DATE: 09/22/2019

STATE OF MARYLAND  
ENGINEER  
No. 19378  
EXPIRES 09/22/2019

SEDIMENT CONTROL STANDARD DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER- SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 2  
TOWN CENTER SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FTLA FILE NO.
NTS	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MAY 20, 2019	36-01	86 OF 90

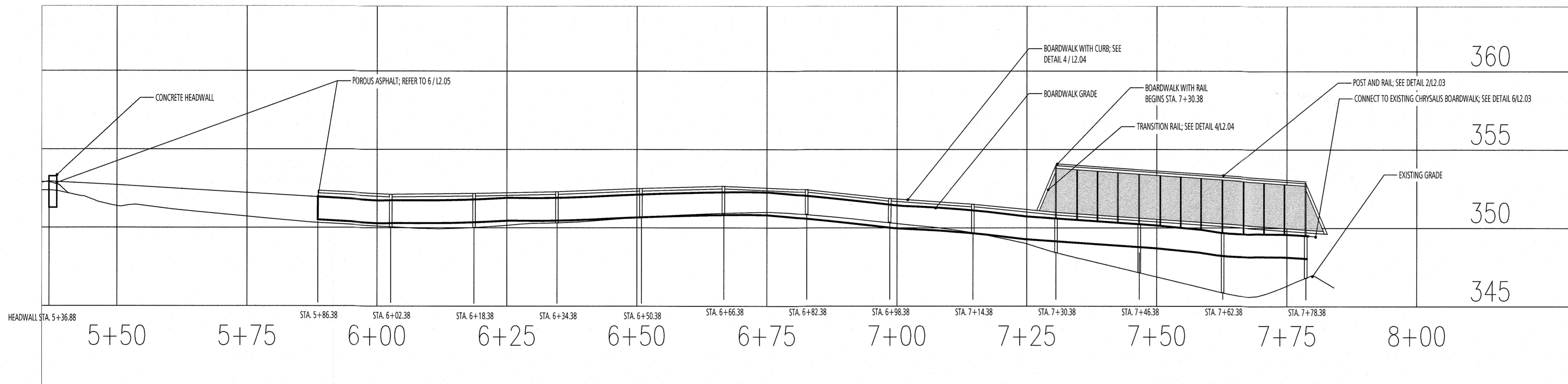


NOTE:  
1. STAKE OUT IN FIELD PRIOR TO CONSTRUCTION FOR VERIFICATION.

1 WEST BOARDWALK  
ELEVATION

d-profile.dwg

SCALE: 1" = 10'-0" VERTICAL ; 1" = 30' HORIZONTAL



NOTE:  
1. STAKE OUT IN FIELD PRIOR TO CONSTRUCTION FOR VERIFICATION.

2 EAST BOARDWALK  
ELEVATION

d-profile.dwg

SCALE: 1" = 10'-0" VERTICAL ; 1" = 30' HORIZONTAL

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Chief, Department of Planning and Zoning: *[Signature]* 6-22-19  
 Date: 3/2/20  
 Chief, Division of Land Development: *[Signature]*  
 Director: *[Signature]* 3-2-2020

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE: November 20, 2014  
 See Sh. 2 about phasing  
 and add'l req. for Ph 2-7

THIS SHEET ADDED.

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

L-2.01

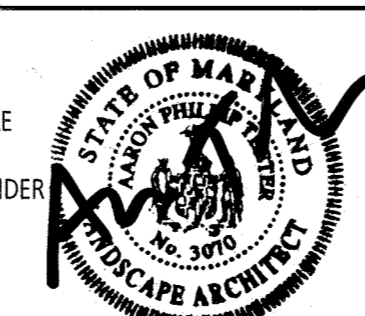
**FLOURA TEETER**  
 landscape architects  
 800 North Charles St. Ste. 300  
 Baltimore, Maryland 21201  
 Phone: 410.528.8395  
 Fax: 410.528.8425

**WRA**  
 Whitman, Reardon & Associates, LLP  
 801 South Caroline Street, Baltimore, Maryland 21231  
 Phone: 410.239.3650 Fax: 410.241.5710

NO.	DATE	DESCRIPTION	BY	APPR.
03/28/19		SUBSTITUTION SHEET	JCI	EDL
		REVISION		

PREPARED FOR & DEVELOPER:  
 INNER ARBOR TRUST  
 10630 LITTLE PATUXENT PARKWAY  
 CENTURY PLAZA, SUITE 315  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 410-740-0029

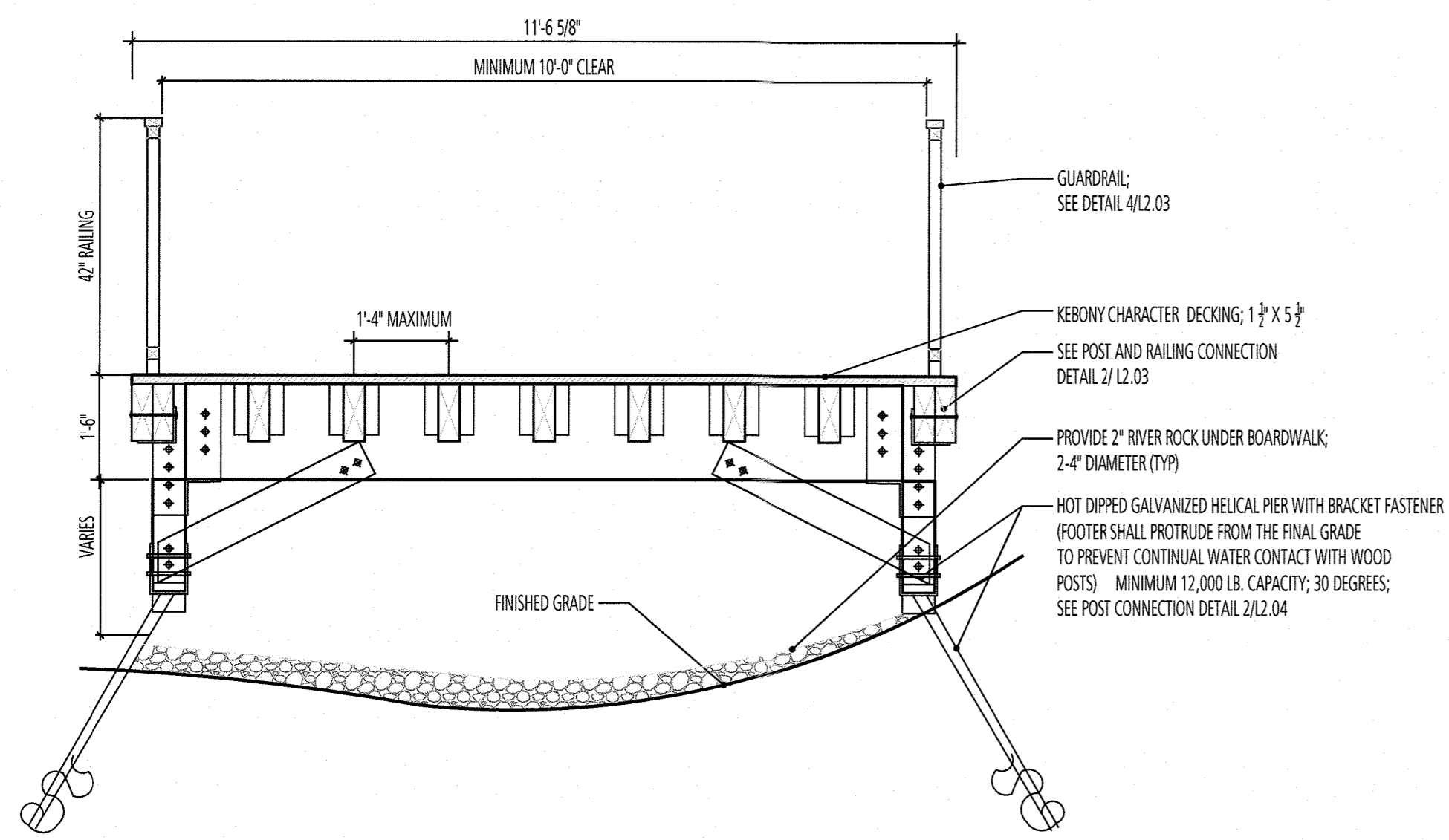
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 3070  
 EXPIRATION DATE: 09-25-2020



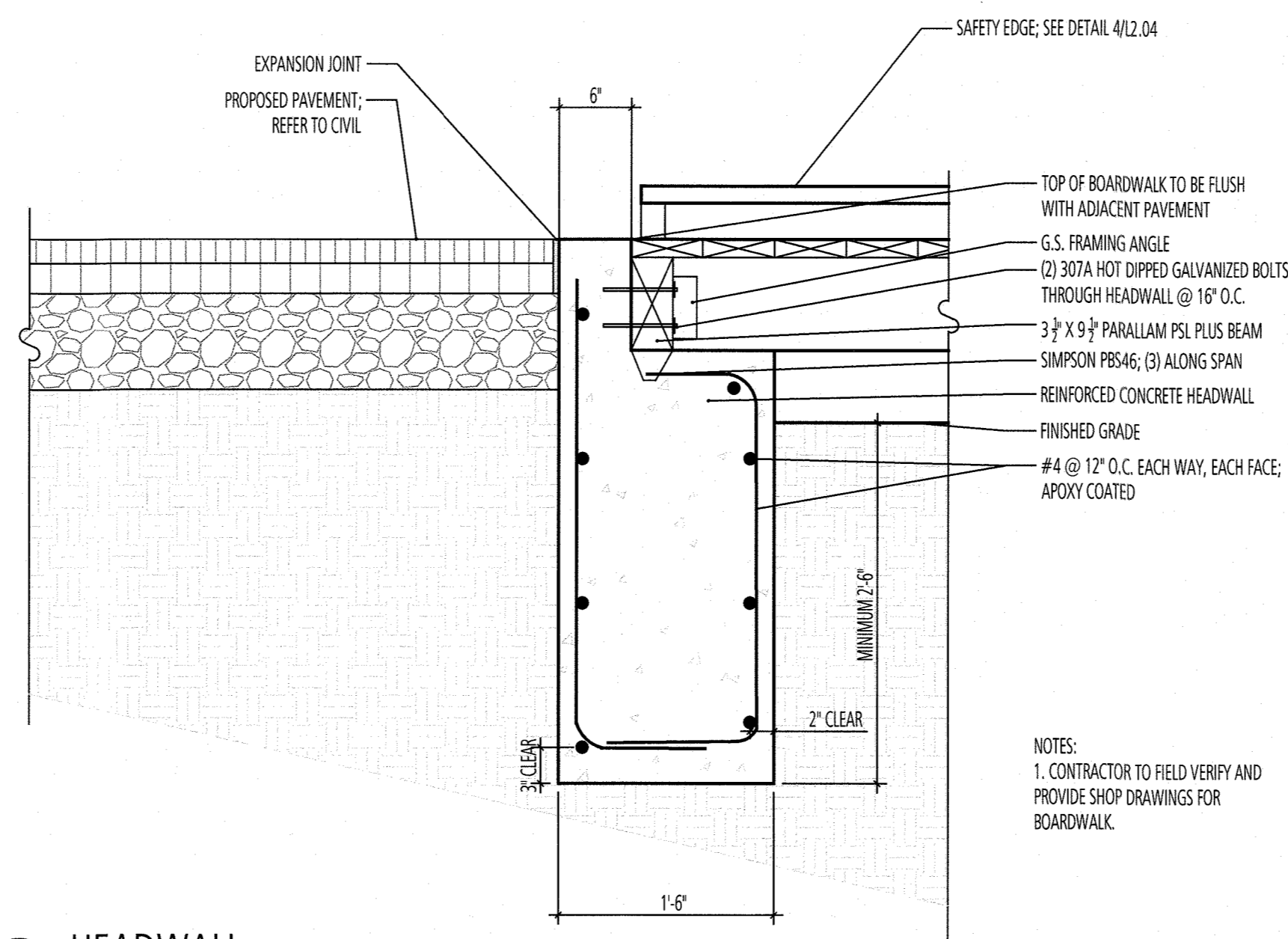
BOARDWALK ELEVATION FOR PHASE 1 PATH  
 DOWNTOWN COLUMBIA  
 MERRIWEATHER- SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 2  
 TOWN CENTER SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING  
 HOWARD COUNTY, MARYLAND  
 ELECTION DISTRICT No. 5

SCALE	ZONING	FTLA FILE NO.
AS SHOWN	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MARCH 28, 2019	36 - 01	87 OF 90

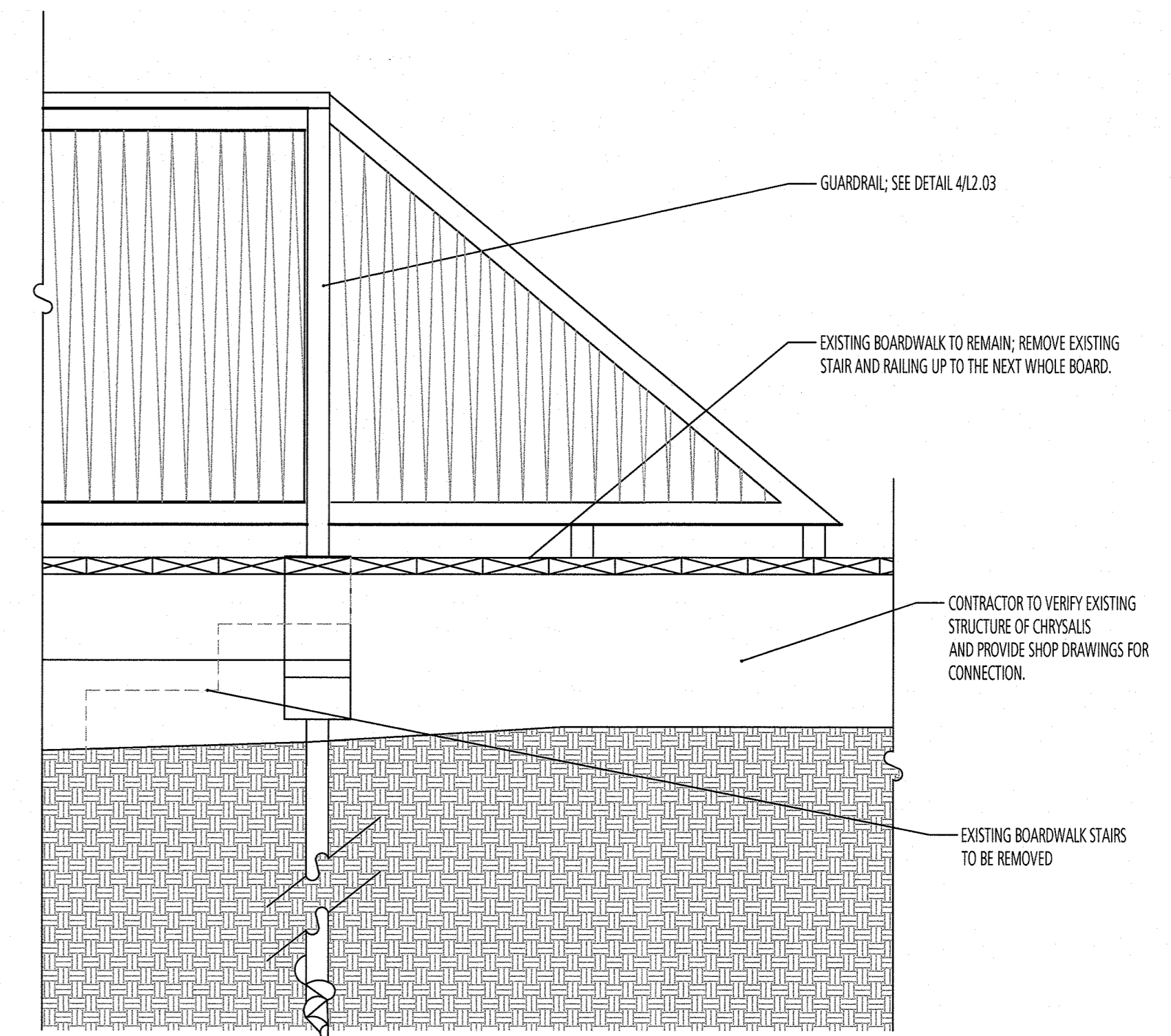




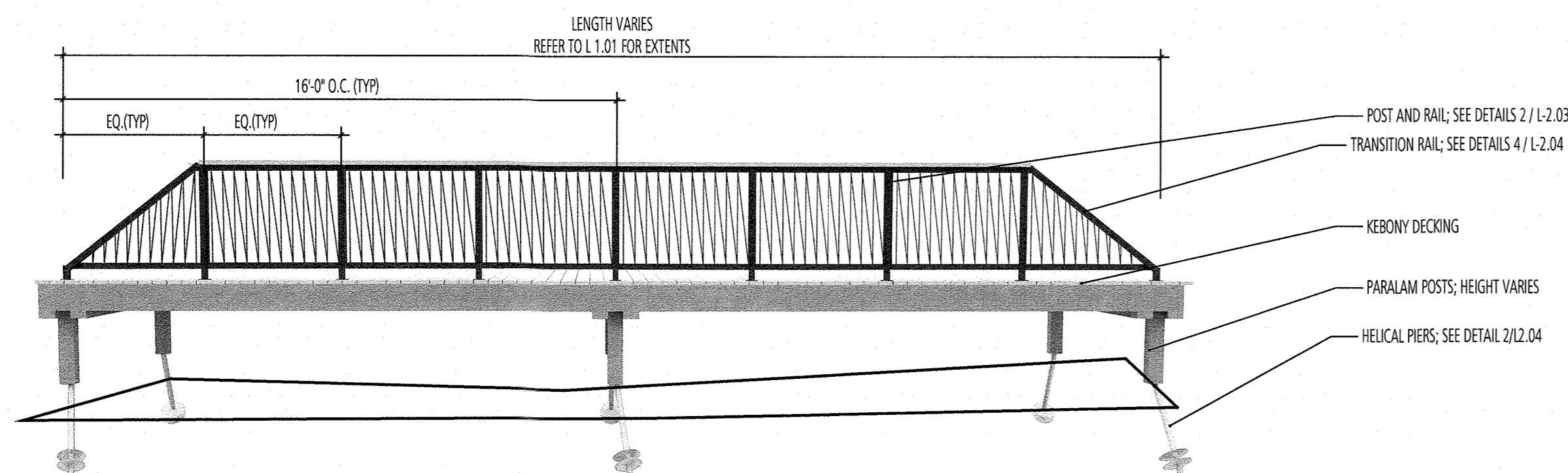
1 TYPICAL BOARDWALK SECTION  
d-elevated boardwalk section.dwg  
SCALE: 1/2" = 1'-0"



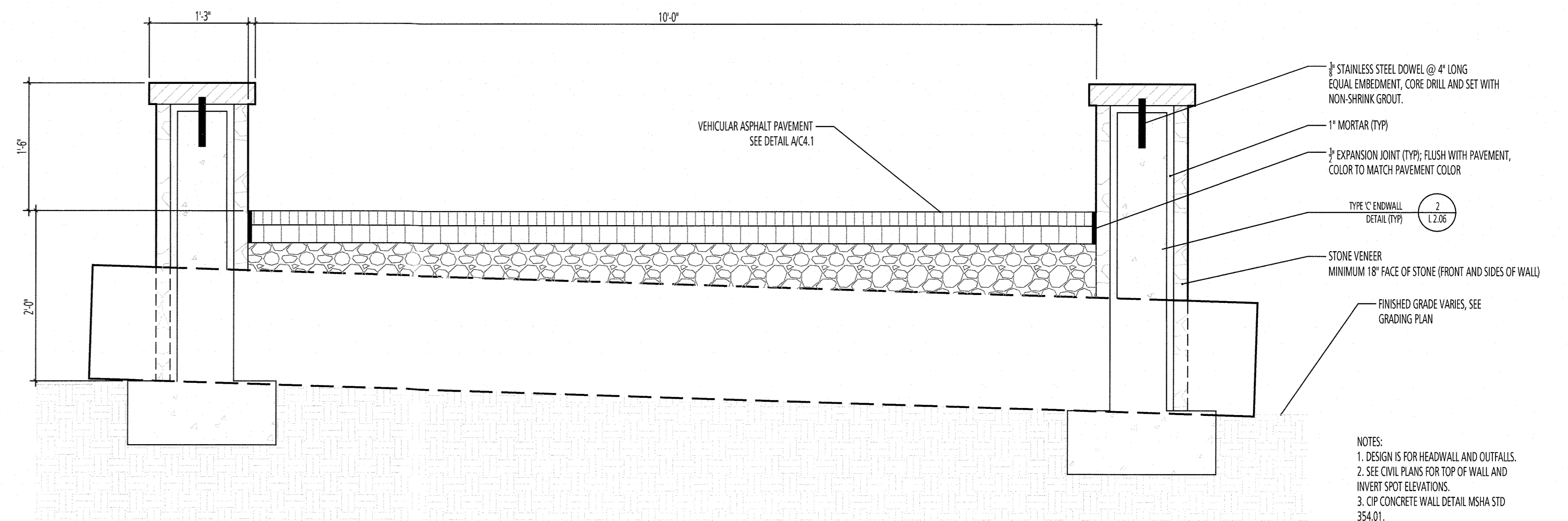
2 HEADWALL SECTION  
d-headwall.dwg  
SCALE: 1" = 1'-0"



3 BOARDWALK CONNECTION TO CHRYSALIS BOARDWALK SECTION  
d-boardwalk to chrysalis.dwg  
SCALE: 1" = 1'-0"



4 BOARDWALK ELEVATION  
d-boardwalk elevation.dwg  
SCALE: NTS



5 CULVERT ENDWALLS SECTION  
d-culvert section.dwg  
SCALE: 1" = 1'-0"

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Date: 6-22-19  
Chief, Development Engineering Division: [Signature]  
Date: 3/4/2020  
Chief, Division of Land Development: [Signature]  
Date: 3-2-2020  
Director: [Signature]

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE: November 20, 2014  
Sec. 5h.2 for phasing and add'l approvals req'd  
Per Ph 3-7

NOTE: THE PURPOSE OF THIS REDLINE IS TO MODIFY THE LIMITS OF PHASE 2 WHICH ESTABLISHES MOST OF THE INTERNAL PATHWAYS, AS WELL AS TO MODIFY THE LOCATION AND MATERIAL OF SECTIONS OF PATHWAYS.

THIS SHEET ADDED.

L-2.03

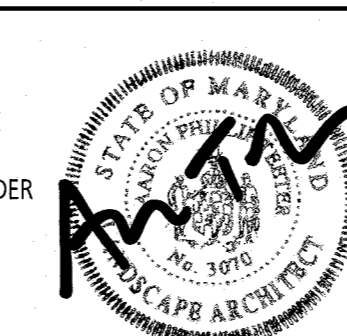
**FLOURA TEETER**  
landscape architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

**WRA**  
Whitman, Requardt & Associates, LLP  
801 South Caroline Street, Baltimore, Maryland 21231  
Phone: 410-238-9600 Fax: 410-243-5719

DATE	BY	CHK	DESCRIPTION
03/28/19	JCI	EDL	SUBSTITUTION SHEET
	JCI	EDL	
	BY	APPR	

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

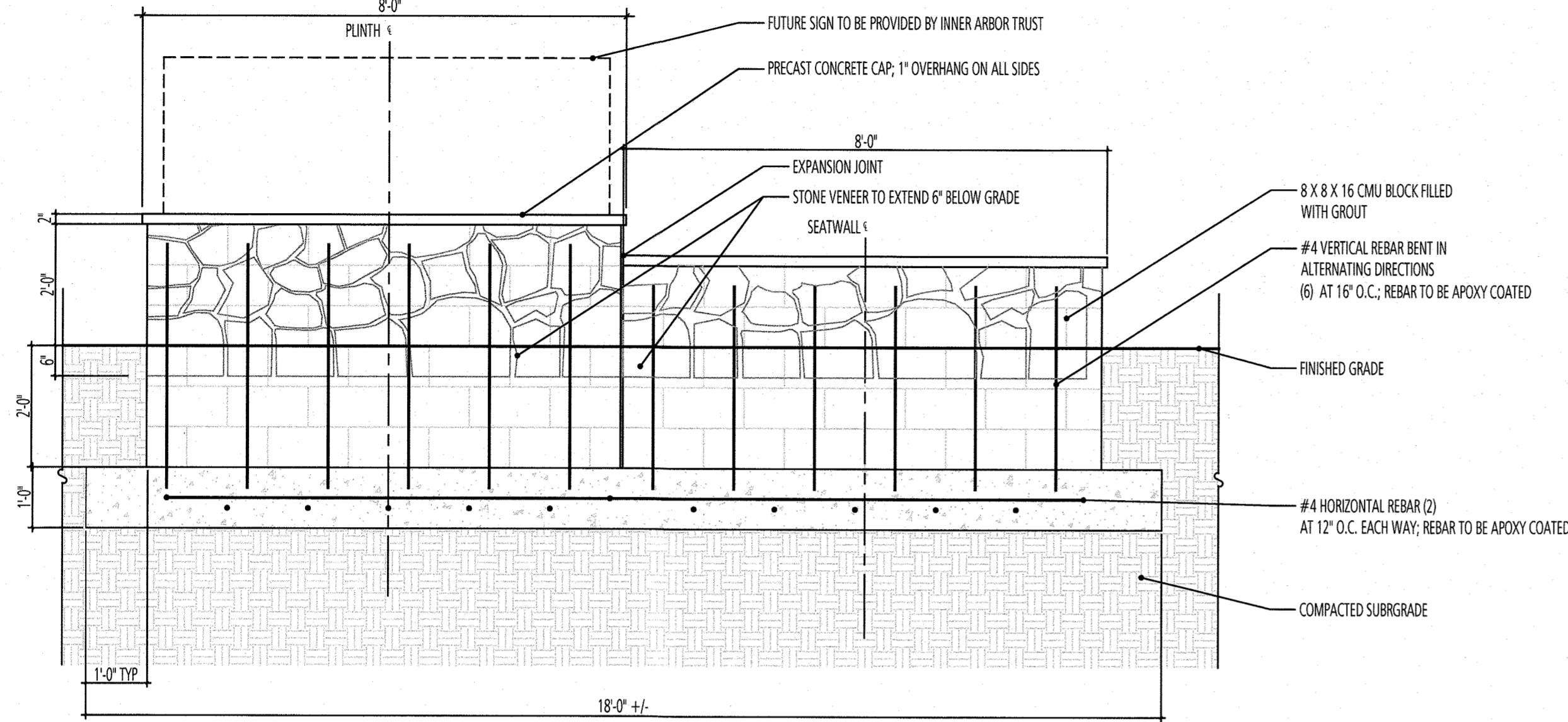
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3070, EXPIRATION DATE: 09-23-2020



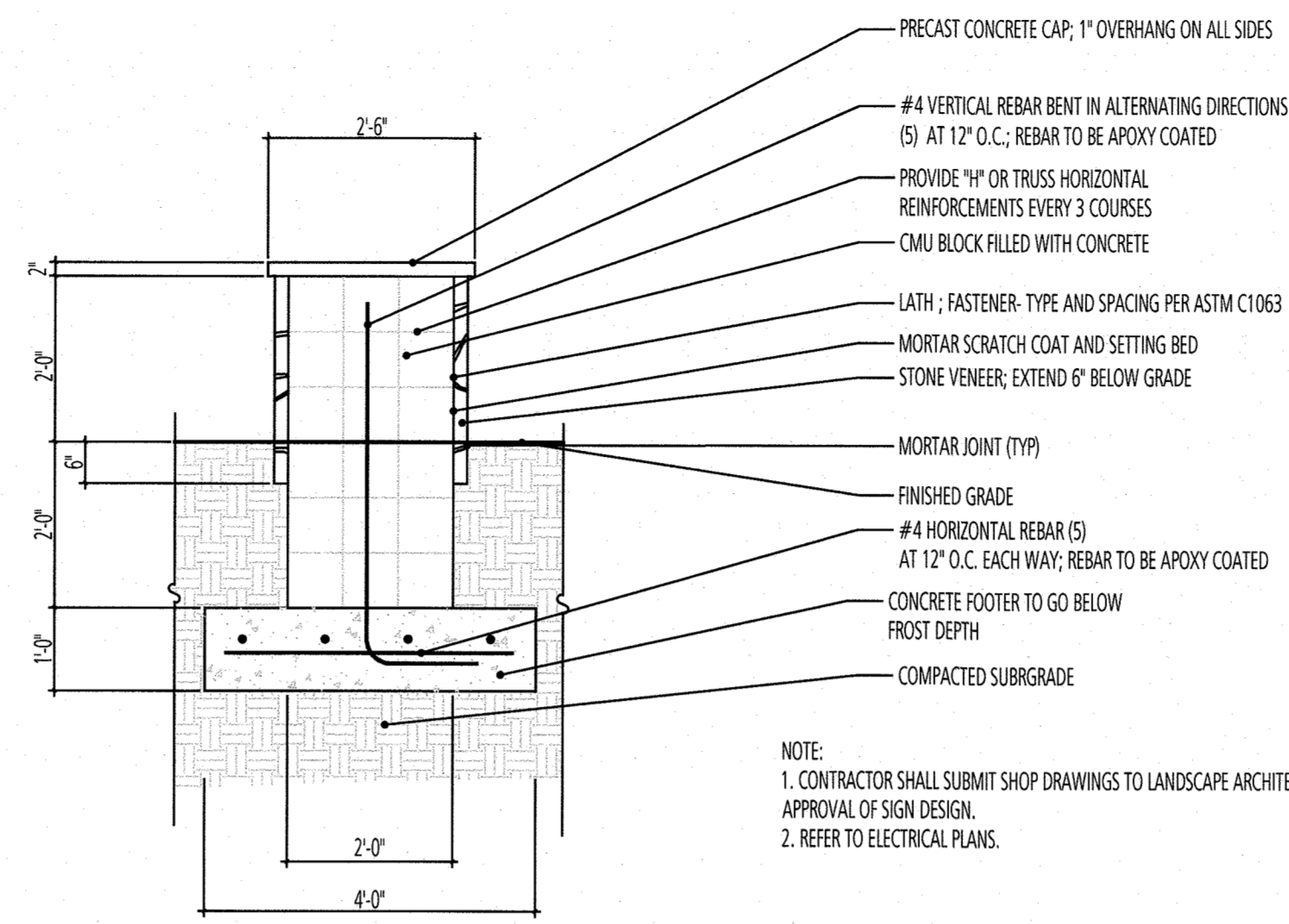
SITE HARDSCAPE DETAILS  
DOWNTOWN COLUMBIA  
MERRIWEATHER- SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 2  
TOWN CENTER SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 9B-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FTLA FILE NO.
AS SHOWN	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MARCH 28, 2019	36 - 01	88 OF 90

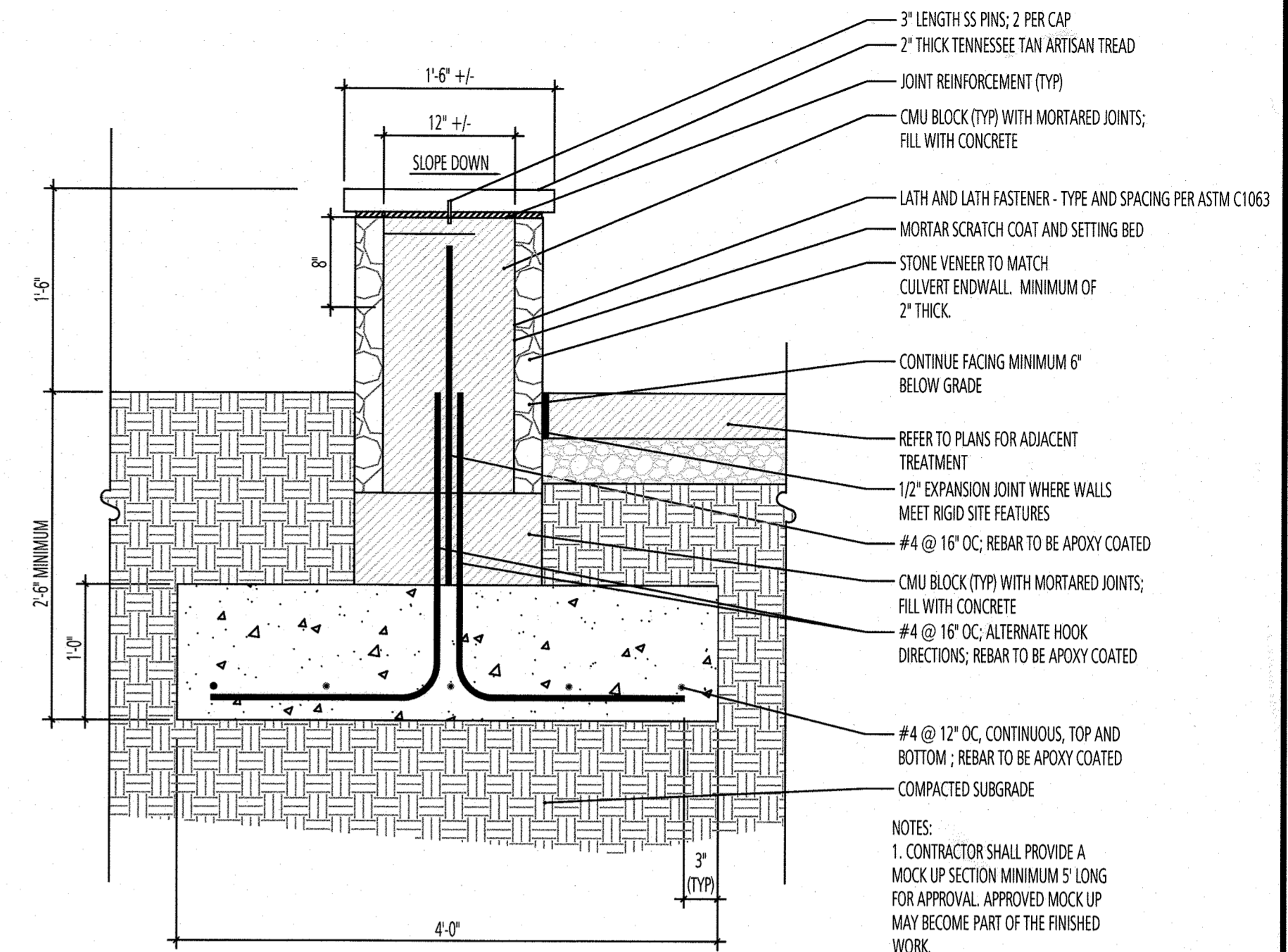
P:\FTLA Projects\1841 - Chrysalis Connector Trail\3 Drawings\FTLA\Sheets\Redline Sheets\Clean Copy\88\_L-2.03\_BOARDWALK.dwg



1 PLINTH FOR FUTURE ENTRANCE SIGN ELEVATION d-entrance sign.dwg SCALE: 1/2" = 1'-0"



2 PLINTH FOR FUTURE ENTRANCE SIGN SECTION d-entrance sign.dwg SCALE: 1/2" = 1'-0"



3 SEATWALL SECTION d-seat wall.dwg SCALE: 1" = 1'-0"



S-SERIES

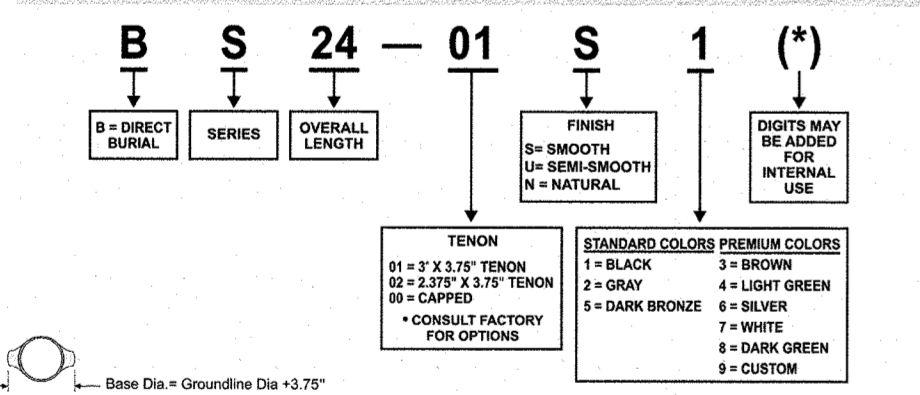
ROUND TAPERED COMPOSITE LIGHT POLE DIRECT BURIAL INSTALLATION

SHAKESPEARE S-SERIES DIRECT BURIAL POLES

OVERALL LENGTH	HEIGHT	BURIAL DEPTH	TOP DIAMETER	BASE DIAMETER	WEIGHT
13	10	3	2.0	4.0	25
14	11	3	2.2	4.2	27
15	12	3	2.4	4.4	29
16	13	3	2.6	4.6	31
17	14	4	2.8	4.8	33
18	15	4	3.0	5.0	35
19	16	4	3.2	5.2	37
20	17	4	3.4	5.4	39
21	18	4	3.6	5.6	41
22	19	4	3.8	5.8	43
23	20	4	4.0	6.0	45
24	21	4	4.2	6.2	47
25	22	4	4.4	6.4	49
26	23	4	4.6	6.6	51
27	24	4	4.8	6.8	53
28	25	4	5.0	7.0	55
29	26	4	5.2	7.2	57
30	27	4	5.4	7.4	59
31	28	4	5.6	7.6	61
32	29	4	5.8	7.8	63
33	30	4	6.0	8.0	65
34	31	4	6.2	8.2	67
35	32	4	6.4	8.4	69

- Mounting heights to 30 feet
- Smooth, semi-smooth or natural finish
- 3 standard and 5 special architectural colors available
- High performance UV and weather-resistant pigmented resin system with an additional pigmented polyurethane coating
- Tenon top
- Standard 2-1/2" x 6" handhole located 18" above grade
- Standard 2 EA - 2-1/2" x 6" wire access hole 24" below grade
- Anti-vibration flange structurally integrated into the pole base during manufacture
- Poles are individually identified with a permanent embossed tag located 5" from top
- Sleeved individually for shipment
- Lightweight, easy to install, saves money

ORDERING INFORMATION



NOTES:  
1. USE MOUNTING HEIGHT OF 14' POLE. TYPICAL FOR ALL BGE LIGHTS.  
NOTE: BGE LIGHT FIXTURE IS IN ADDITION TO OTHER PARK LIGHTING INDICATED ON PLANS.

4 BGE LIGHT POLE IMAGE d-BGE light fixture.dwg SCALE: NTS

Streetworks

DESCRIPTION	Category #	Type
The Woodbridge LED integrates energy saving LED technology with a proven post-top design.		
	Project	
	Comments	
	Approved by	

**DESCRIPTION**  
The Woodbridge LED integrates energy saving LED technology with a proven post-top design.

**SPECIFICATION FEATURES**  
**Construction**  
Housing - TOP: Die cast aluminum housing with silver and stamped aluminum top. Divergence: 120° for relamping and heat power module access. Top is completely removable without the use of tools. Standard color is grey. Other finish colors available. Consult your Streetworks representative. AHSI available source label.

**Electrical**  
120-270V single operation, 100W (700k common and differential mode surge protection standard). Thermal management: efficient heat rapidly away from the LED source for optimal efficiency and light output. Ambient operating temperature from -40°C to 60°C. Standard three-position turret type compression terminal block. 90% lumen maintenance expected at 60,000 hours. Light output is 100lm/watt.

**Mounting**  
Post top mount fits 3" O.D. tenons. Secured by square head 3/8" stainless steel mounting bolts.

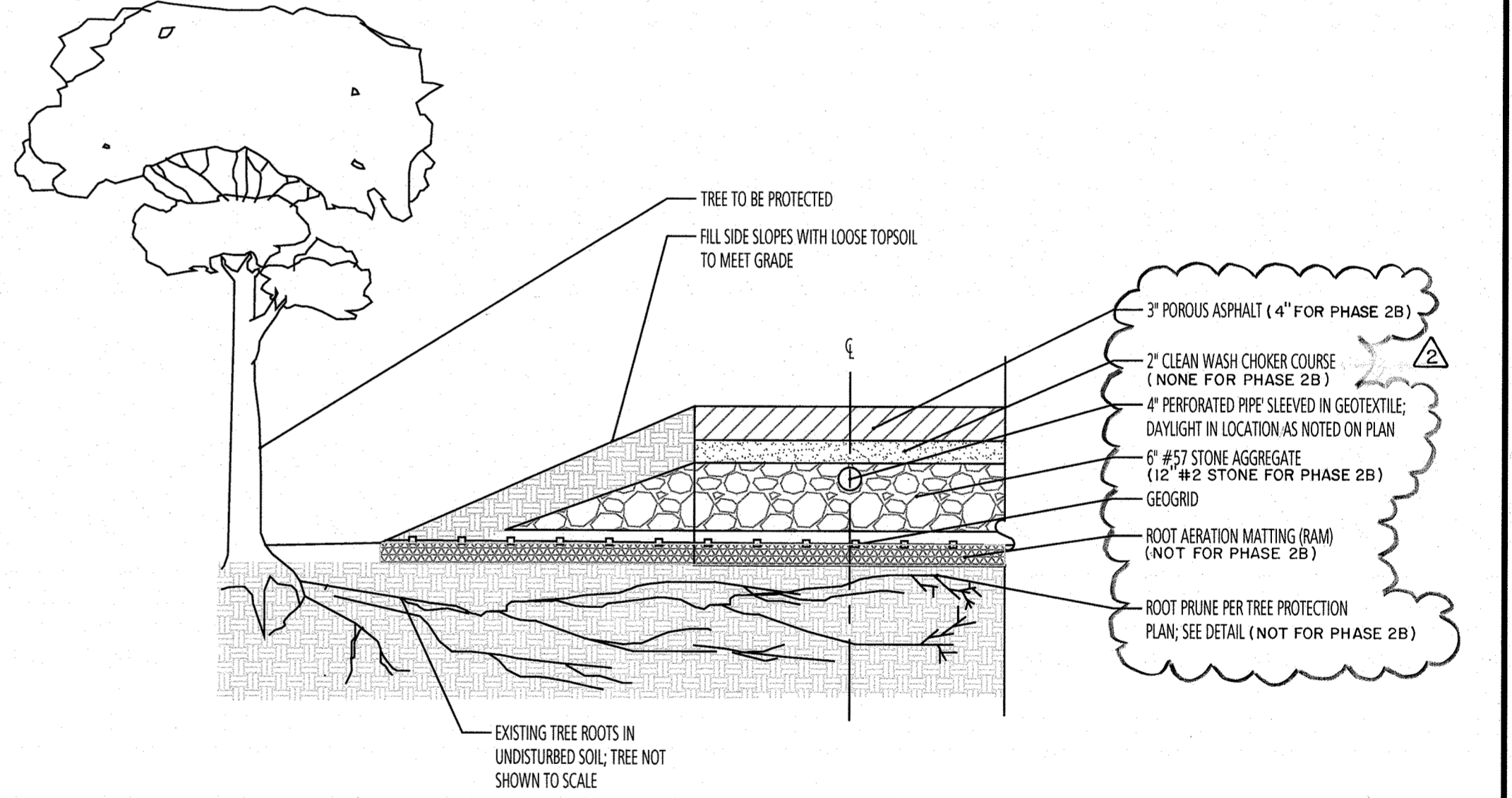
**Warranty**  
Five-year warranty.

**Optical**  
Injection molded acrylic refractor available in symmetric or asymmetric distributions. 4000K (+/- 270K) CCT. Minimum 70 CRI standard.

DIMENSIONS		LUMEN MAINTENANCE	
Height	23.1" (586mm)	Ambient Temperature	TM-31
Base Diameter	3.1" (78mm)	Light Maintenance	90,000 Hours
Top Diameter	3.1" (78mm)	Color	4000K (+/- 270K)
		Efficiency	>100lm/watt

ORDERING INFORMATION		LUMENS AND LUMENS	
Product Family	MPW-Woodbridge	Luminaire	3,533
Light Engine	AC-LED-AC Light Square	Beam Spread	3.533
Driver	Ball-Bus Drawing On Drawing 1	Beam Spread	3.533
Voltage	120-277V	Beam Spread	3.533
Distribution	U-Distribution	Beam Spread	3.533
Options (Add to Suffix)	MPW-120-277V	Beam Spread	3.533
	MPW-120-277V	Beam Spread	3.533
	MPW-120-277V	Beam Spread	3.533
	MPW-120-277V	Beam Spread	3.533
	MPW-120-277V	Beam Spread	3.533

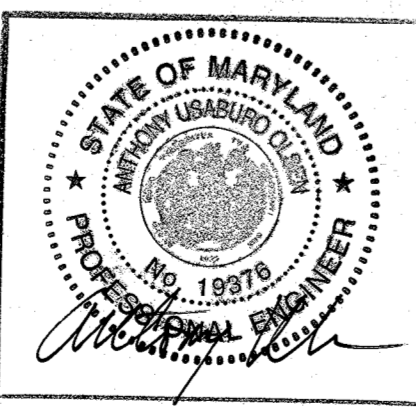
5 BGE LIGHT POST TOP IMAGE d-BGE light top.dwg SCALE: NTS



NOTES:  
1. BGE LIGHT FIXTURES ARE SHOWN FOR INFORMATION ONLY. ALL FIXTURES AND INSTALLATION WILL BE PROVIDED BY BGE.  
2. COLOR TO BE DETERMINED BY INNER ARBOR TRUST.

NOTES:  
1. MATTING MATERIAL SHALL BE DOUBLE SIDED GEOCOMPOSITE, GEONET CORE WITH NON-WOVEN COVERING OR APPROVED EQUIVALENT.  
2. RAM SHALL BE ANCHORED BY 12" LANDSCAPE NAILS AT 3' AVERAGE SPACING.  
3. RAM SHALL BE INSTALLED BY A CERTIFIED ARBORIST EXPERIENCED WITH THESE SYSTEMS.  
4. ALL ADJACENT WORK SHALL BE SUPERVISED BY CERTIFIED ARBORIST.  
5. GEONET SHALL BE TENSAR TXS OR APPROVED SUPERIOR.  
6. GEONET AND RAM PLACEMENTS SHALL BE OVERLAPPED BY 2'.  
7. TOPSOIL MAY BE PLACED LOOSELY ON SIDE SLOPES AS REQUIRED TO MATCH GRADE. TOPSOIL SHALL NOT BE COMPACTED.  
8. EQUIPMENT / TRAFFIC SHALL NOT TRAVEL DIRECTLY ON RAM / GEONET. TRAFFIC MAY TRAVEL ON FINAL FILL ONLY.

6 PERMEABLE PAVEMENT SECTION d-permeable pavement.dwg SCALE: 1" = 1'-0"



PROFESSIONAL CERTIFICATION.  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 19376  
EXPIRATION DATE: SEPTEMBER 22, 2021

**FLORA TEETER**  
landscape architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

**WRA**  
Whitman, Requardt & Associates, LLP  
801 South Carolina Street, Baltimore, Maryland 21231  
Phone: 410.256.5900 Fax: 410.256.5710

DATE	BY	DESCRIPTION	APPR.
08/05/21	JTD	CHANGE FUTURE PATHWAY TO PROPOSED	AJO
03/28/19	JCI	SUBSTITUTION SHEET	EDL
	BY		APPR.

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
10630 LITTLE PATUXENT PARKWAY  
CENTURY PLAZA, SUITE 315  
COLUMBIA, MD 21044  
ATTN: MICHAEL MCCALL  
410-740-0029

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 3070  
EXPIRATION DATE: 09-25-2020

SITE HARDSCAPE DETAILS  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER - SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK AT SYMPHONY WOODS PHASE 2  
TOWN CENTER SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING

SCALE: AS SHOWN  
DATE: MARCH 28, 2019  
ELECTION DISTRICT No. 5

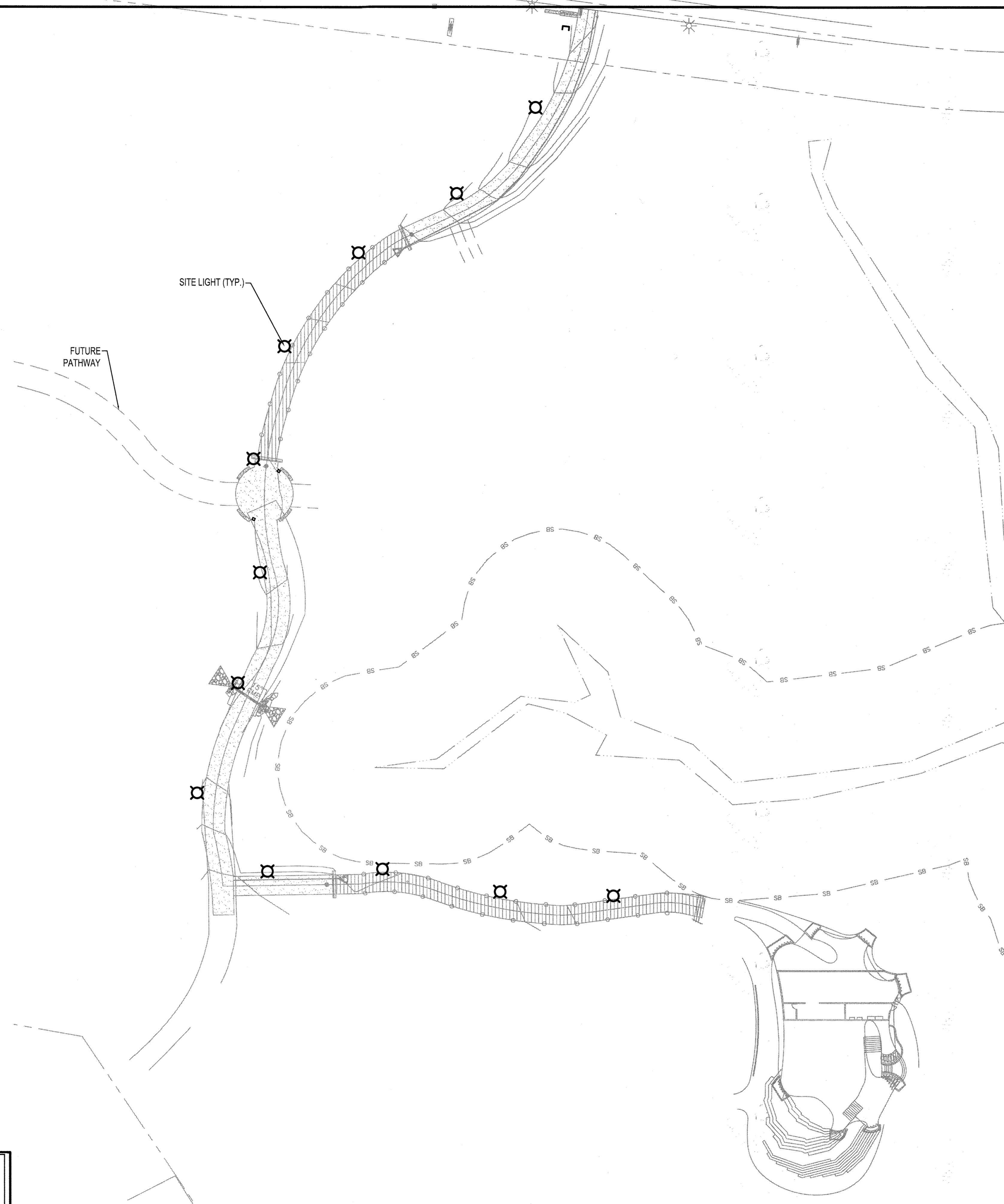
SCALE	ZONING	FTLA FILE NO.
AS SHOWN	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MARCH 28, 2019	36 - 01	89 OF 90

L-2.05

THIS SHEET ADDED

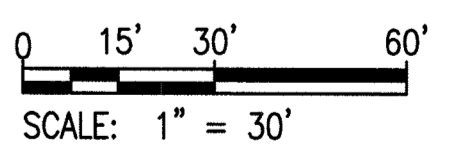
LEGEND

☐ BGE LIGHT. SEE SITE HARDSCAPE DETAILS SHEET L-2.05



NOTE:

1. CONTRACTOR TO COORDINATE ROUTINGS OF THE UNDERGROUND CONDUITS WITH OBSTRUCTIONS AND AVOID ALL ROOT ZONES SHOWN ON DRAWING. PROVIDE ROUTING OFF-SETS AS REQUIRED AND SUBMIT ALL NECESSARY ROUTING DEVIATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
2. SITE LIGHTING FOR PHASE 2B TO BE SHOWN ON FUTURE SUBMISSION.



APPROVED DEPARTMENT OF PLANNING AND ZONING Chief, Development Engineering Division <i>[Signature]</i> Date: 8-22-19	APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: November 20, 2019 * See sh 2 for phasing and add'l legal approvals for Ph 2-7
--	--

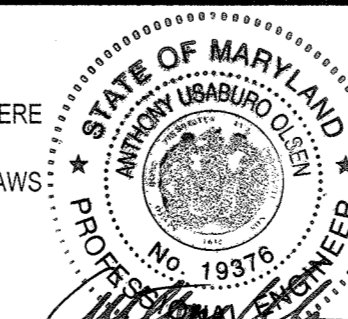
<b>FLOURA TEETER</b> landscape architects 800 North Charles St. Ste. 300 Baltimore, Maryland 21201 Phone: 410.528.8395 Fax: 410.528.8425	<b>Whitman, Requardt &amp; Associates, LLP</b> 801 South Caroline Street, Baltimore, Maryland 21231 Phone: 410.333.3339 Fax: 410.333.3340	MSM	EJB	IHK	05/20/2019	MSM	IHK
		DES	DWN	CHK	DATE	BY	APPR.

PREPARED FOR & DEVELOPER:

INNER ARBOR TRUST  
 5430 VANTAGE POINT RD  
 HISTORIC OAKLAND, SUITE A  
 COLUMBIA, MD 21044  
 ATTN: MICHAEL McCALL  
 443-832-3223

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 19336  
 EXPIRATION DATE: 9/22/19



PHASE 2A DETAILED SITE LIGHTING LAYOUT

**DOWNTOWN COLUMBIA**  
 MERRIWEATHER- SYMPHONY WOODS NEIGHBORHOOD  
 MERRIWEATHER PARK at SYMPHONY WOODS PHASE 2  
 TOWN CENTER SECTION 1 AREA 1  
 PART OF OPEN SPACE LOT 23-PLAT NO. 13535 &  
 PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
 GREEN COMMERCIAL BUILDING

ELECTION DISTRICT No. 5

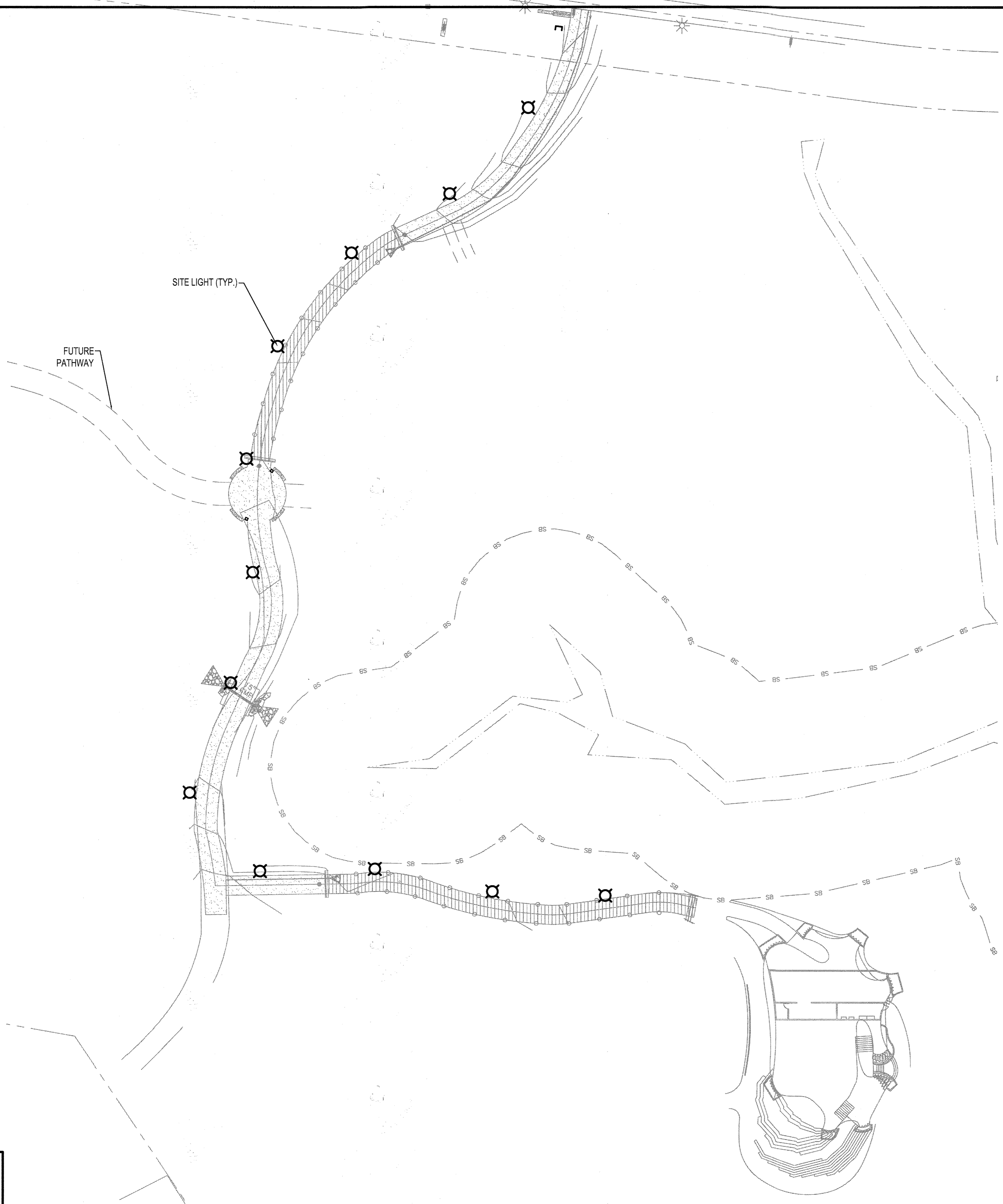
HOWARD COUNTY, MARYLAND

SCALE	ZONING	FTLA FILE NO.
1" = 30'	NT	1841
DATE	TAX MAP - GRID	SHEET NO.
MAY 20, 2019	36-01	90 OF 90

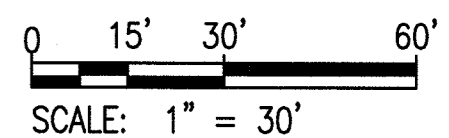
THIS SHEET ADDED

LEGEND

☐ BGE LIGHT. SEE SITE HARDSCAPE DETAILS SHEET L-2.05



- NOTE:
- CONTRACTOR TO COORDINATE ROUTINGS OF THE UNDERGROUND CONDUITS WITH OBSTRUCTIONS AND AVOID ALL ROOT ZONES SHOWN ON DRAWING. PROVIDE ROUTING OFF-SETS AS REQUIRED AND SUBMIT ALL NECESSARY ROUTING DEVIATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO INSTALLATION.
  - SITE LIGHTING FOR PHASE 2B TO BE SHOWN ON FUTURE SUBMISSION.



APPROVED <i>[Signature]</i> Chief, Development Engineering Division Date: <b>8-22-19</b>	APPROVED PLANNING BOARD OF HOWARD COUNTY DATE: <b>November 20, 2019</b> <i>* See sh 2 for phasing and additional approvals for Ph 2-*</i>
Chief, Division of Land Development <i>[Signature]</i> Director Date: <b>8-2-2020</b>	

**FLOURA TEETER**  
landscape architects  
800 North Charles St. Ste. 300  
Baltimore, Maryland 21201  
Phone: 410.528.8395  
Fax: 410.528.8425

**WRA**  
Whitman, Requardt & Associates, LLP  
801 South Caroline Street, Baltimore, Maryland 21231  
Phone: 410.528.3300 Fax: 410.528.3316

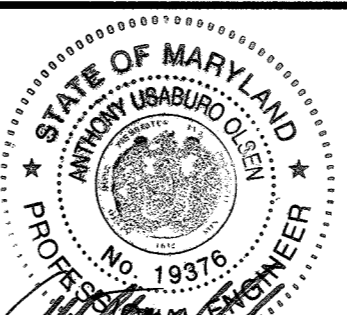
N:\42118-000\CADD\GLW Redline Sheets\Redline-42118000-Sheet 90.dwg

MSM	EJB	IHK	05/20/2019	MSM	IHK
DES.	DWN.	CHK.	DATE	BY	APPR.

REVISION	DATE	BY	APPR.
----------	------	----	-------

PREPARED FOR & DEVELOPER:  
INNER ARBOR TRUST  
5430 VANTAGE POINT RD  
HISTORIC OAKLAND, SUITE A  
COLUMBIA, MD 21044  
ATTN: MICHAEL McCALL  
443-832-3223

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. **19376**  
EXPIRATION DATE: **9/22/19**



**PHASE 2A DETAILED SITE LIGHTING LAYOUT**  
**DOWNTOWN COLUMBIA**  
MERRIWEATHER- SYMPHONY WOODS NEIGHBORHOOD  
MERRIWEATHER PARK at SYMPHONY WOODS PHASE 2  
TOWN CENTER SECTION 1 AREA 1  
PART OF OPEN SPACE LOT 23-PLAT NO. 13635 & PART OF OPEN SPACE LOT 98-PLAT BOOK 15, PAGE 32  
GREEN COMMERCIAL BUILDING  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE 1" = 30'	ZONING NT	FTLA FILE NO. 1841
DATE MAY 20, 2019	TAX MAP - GRID 36-01	SHEET NO. 90 OF 90