

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "M&S UTILITY" AT 1-800-251-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
LOCATION: SEE VICINITY MAP IN THE TOP RIGHT CORNER OF THIS SHEET
TAX MAP: 114
ELECTION DISTRICT: 5
ZONING: MXD-3 PER ZB-95M (APPROVED ON 02-08-01), UNDERLYING ZONING IS RR-DEO AND PER THE 2/02/04 COMPREHENSIVE ZONING PLAN.
AREA OF BUILDABLE LOTS (Nos. 125-128 & 157-170) FOR THIS SITE DEVELOPMENT PLAN: 1.414 ACRES.
FOR OTHER SUBMISSIONS RELATED TO THIS SITE, SEE HOWARD COUNTY DEPT. OF PLANNING & ZONING FILE Nos.: 5-01-11, ZB-95M, ZB-1029M, PB-353, PB-370, PB-01-11, PB-03-02, PB-05-12, PB-07-04, PB-08-04, F-02-12, F-07-10, F-08-05, F-10-06, F-10-11, SDP-06-01, SDP-08-06, SDP-08-08, SDP-08-14, SDP-09-06, SDP-10-02, SDP-01-15, F-08-105, F-04-16, F-04-17, F-11-001, F-12-021, F-13-003 & F-14-015
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES COMPILED FROM F-06-161 F-08-072 & G.L.W. SURVEY DONE IN MAY/2001.
- COORDINATES ARE BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATION NUMBERS 46BC & 46BD.
- STORMWATER MANAGEMENT FOR BOTH QUALITY AND QUANTITY, FOR THE DEVELOPMENT PROPOSED BY THESE PLANS (WHICH IS PART OF A PHASED PROJECT) WILL BE SATISFIED BY EXISTING REGIONAL FACILITY CONSTRUCTED ON OPEN SPACE LOT 3 IN THE WESTSIDE DISTRICT UNDER F-08-05 AND ON OPEN SPACE LOT 3 IN THE BUSINESS DISTRICT UNDER F-05-12. THE EXISTING F-08-05 FACILITY ON OPEN SPACE LOT 3 IS PUBLICLY OWNED AND MAINTAINED. THE EXISTING F-05-12 FACILITY IS PRIVATELY OWNED AND MAINTAINED BY THE Maple Lawn Commercial Association. THE RECHARGE OBLIGATIONS FOR THESE LOTS HAVE BEEN PROVIDED IN AN EXISTING FACILITY LOCATED ON OPEN SPACE LOT 69 IN THE WESTSIDE DISTRICT-AREA 2 AND CONSTRUCTED UNDER F-12-021. STORMWATER MANAGEMENT FOR THE BACK HALF OF THE ROOF ON LOTS 125-170 IS PROVIDED BY SHEET FLOW TO DRAINAGE TRAYS AT LEAST 15 FT.
- PUBLIC WATER AND SEWER SHALL BE UTILIZED (AS PROVIDED BY M&S CONTRACT Nos. 24-4744-D & 24-4780-D) AND THE WATER METERS IN OUTSIDE VENTS.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST PITS (BY HAND) AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION. IMMEDIATELY NOTIFY THE ENGINEER OF ANY CONFLICTS.
- ALL ROADS LABELED AS "PUBLIC" ARE PUBLICLY MAINTAINED ONCE THEY ARE DEDICATED. ALL ROADS LABELED AS "PRIVATE" ARE PRIVATELY MAINTAINED BY A HOMEOWNER ASSOCIATION.
- ANY DAMAGE TO THE ADJACENT COUNTY OWNED RIGHT-OF-WAY AND PROPERTY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THERE ARE NO GRAVE SITES, CEMETERIES, WETLANDS, 100-YR FLOODPLAIN OR STREAM ON THE BUILDABLE LOTS SHOWN ON THIS SITE DEVELOPMENT PLAN. ELSEWHERE WITHIN THE WESTSIDE DISTRICT OPEN SPACE THERE ARE WETLANDS, 100-YR FLOODPLAIN AND STREAMS.
- THIS PROJECT COMPLES WITH THE REQUIREMENTS OF SECTION 16.2000 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION.
- LANDSCAPE SURETY FOR THE REQUIRED LANDSCAPING (AS SHOWN ON SHEET S-1 TO SATISFY 5-01-11 DEVELOPMENT CRITERIA AND SECTION 16.21 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL) SHALL BE POSTED AS PART OF THE GRADING PERMIT FOR EACH LOT WHERE APPLICABLE. FOR ADDITIONAL INFORMATION ON THE LANDSCAPE SURETY SEE SHEET S-1 AND THE GRADING PERMIT CHART ON SHEET L.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES FOR THE FOLLOWING MINIMUM REQUIREMENTS:
A. WIDTH - 12' 6" SERVING MORE THAN ONE RESIDENCE!
B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH AND CHIP COATING (1-1/2" MIN)
C. GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE AND MIN 45' TURNING RADIUS.
D. STRUCTURES (CURBS/RETAINING WALLS) - CAPABLE OF WITHSTANDING 25 TONS (250,000 LBS) LOADINGS
E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F. MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE.
- PUBLIC REFUSE PICKUP IS PROVIDED AT CURBSIDE FOR LOTS 157-170 AND IN THE ALLEY FOR LOTS 125-128.
- BAY WINDOWS, KITCHEN ISLANDS, CHIMNEYS, HEATING OR AIR CONDITIONING UNITS AND EXTERIOR STAIRWAYS IF NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NO MORE THAN 4 FEET INTO ANY REQUIRED SETBACK AREA IN ACCORDANCE WITH SECTION 120 A-I OF THE ZONING REGULATIONS, EXCEPT FOR THE ITEMS LISTED UNDER 4.D OF THE LOT DEVELOPMENT DATA ON THIS SHEET.
- AS A CONSEQUENCE OF THE SKETCH PLAN, 5-01-11 APPROVAL PRIOR TO IIS-01, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- THE TWO CAR GARAGES SHALL BE USED FOR PARKING PURPOSES ONLY AND ARE NOT PERMITTED TO BE CONVERTED TO OTHER USES IN ACCORDANCE WITH SECTION 153 D.2.A OF THE ZONING REGULATIONS AND THE APPROVED MLF DEVELOPMENT CRITERIA. UNLESS OTHERWISE PROHIBITED BY POSTED SIGNAGE OR CURB MARKING, ON-STREET PARALLEL PARKING ALONG THE CURB WITHIN THE PUBLIC RIGHTS-OF-WAY IS ALLOWED FOR VISITOR AND OVERFLOW PARKING. THE ON-STREET PARKING AREA WILL NOT BE STRIPPED. THE ALLEYS ARE OWNED BY THE M&A AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT FOUND AT L. 8254 F. 30843
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAMS) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENTS AND 100 YEAR FLOODPLAIN.
- MINIMUM BUILDING SETBACK RESTRICTIONS FROM PROPERTY LINES AND THE PUBLIC ROAD RIGHTS OF WAY FOR ALL SFD AND SFA RESIDENTIAL LOTS WILL BE PROVIDED IN ACCORDANCE WITH THE COMPREHENSIVE DEVELOPMENT CRITERIA APPROVED FOR THIS PROJECT UNDER 5-01-11, 5-06-16, PB-353, PB-370 AND ZB-95M.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-95M AND THE DECISION AND ORDER FOR PB CASE NO. 353 (5-01-11) AND PB CASE NO. 370 AND 5-06-16.
- BUILDABLE LOTS 125-128 & 157-170 SHOWN HEREON SHALL HAVE A PUBLIC EASEMENT ADJACENT TO THE PUBLIC ROAD RIGHT OF WAY OR ALONG THE FRONT LOT LINE, FOR THE PURPOSES OF SIDEWALK MAINTENANCE, WATER HOUSE CONNECTION AND SEWER HOUSE CONNECTION.
- BECAUSE THERE MAY BE MODIFICATIONS TO LANDSCAPING A CERTIFIED LANDSCAPE PLAN APPROVED BY MAPLE LAWN FARMS SHALL BE FORWARDED TO THE COUNTY FOR APPROVAL PRIOR TO LANDSCAPE INSPECTION. PLANT SUBSTITUTIONS CANNOT INCLUDE SPECIES PROHIBITED BY THE HOWARD COUNTY LANDSCAPE MANUAL AND ADOPTED POLICIES.

LOT DEVELOPMENT DATA

- GENERAL SITE ANALYSIS DATA:
A. PRESENT ZONING: MXD-3 PER ZB-95M
B. PROPOSED USE OF SITE: 10 SFA RESIDENTIAL DWELLINGS
C. PUBLIC WATER & SEWER TO BE UTILIZED (CONTRACT Nos. 24-4744-D & 24-4780-D)
D. PARKING PROVIDED PER 546.135 D.2.A: 2 SPACES/UNIT x 10 = 36 SPACES
PARKING PROVIDED: 36 GARAGE SPACES (all lots have at least a 2-car garage in addition to parking on the tandem driveways on lots 157-170).
SEE NOTE 21 ABOVE REGARDING PARKING.
E. RECREATION OPEN SPACE FOR THIS SDP IS ADDRESSED UNDER F-08-054 (SEE OVERALL OPEN SPACE PROVISION CHART ON THIS SHEET).
- AREA TABULATION:
A. AREA OF BUILDABLE LOTS FOR THIS SUBMISSION: 61,630.1 SF OR 1.414 AC.
B. AREA OF THIS PLAN SUBMISSION: 1,641 ACRES (L.O.D.)
C. AREA OF DISTURBANCE BY THIS SDP: 1,641 ACRES
- LOT DESIGNATION:
LOT TYPE: LOT NUMBERS: MINIMUM LOT SIZE: MIN. LOT WIDTH AT FRONT BRL: MAX. BUILDING HT.
TOWNHOME: 125-128 & 157-170: N/A: N/A: 50 FEET (MEAN HT.)
- STRUCTURE SETBACKS PER F-13-003 AND PLAT Nos. 22307-22311:
LOT TYPE: FRONT SETBACK: SIDE SETBACK: MINIMUM REAR SETBACKS:
TOWNHOME: 0': NONE: 20' TO PRINCIPAL STRUCTURE, 3' FOR REAR (DETACHED ATTACH) GARAGE OR TO ACCESSORY STRUCTURES.
HABITABLE SPACE AND/OR OPEN/CLOSED DECKS MAY BE BUILT OVER ATTACHED GARAGES. IN THOSE CASES, THE GARAGE SETBACKS SHALL GOVERN WHERE THE REAR LOT LINE IS CONTIGUOUS TO GREEN OPEN SPACE. THE REAR PRINCIPAL STRUCTURE SETBACK MAY BE REDUCED TO 3'.
OTHER DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
A. BETWEEN SFA BUILDINGS, THE MINIMUM SETBACK DISTANCES SHALL BE 30' FRONT TO FRONT, 50' BACK TO BACK (EXCEPT ACROSS AN ALLEY), 50' BACK TO FRONT AND 6' OR AS REQUIRED BY THE BUILDING CODE FOR ALL OTHER CONDITIONS.
B. OPEN DECKS MUST BE A MINIMUM OF 10' FROM REAR PROPERTY LINE, AND ARE SUBJECT TO SIDE YARD SETBACKS.
C. FACING ACCESSORY STRUCTURES AND DETACHED GARAGES (ACROSS AN ALLEY/LANE R.O.W.) SHALL BE 30' APART.
D. EXCEPTIONS TO FRONT SETBACK REQUIREMENTS. SECTION 120 A.I APPLIES, EXCEPT FOR THE FOLLOWING:
• PORCHES MAY ENCRoACH INTO THE FRONT YARD TO WITHIN 2' FROM THE FRONT PROPERTY LINE OR RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS, TO WITHIN 12' FOR ESTATES. PORCHES MAY ENCRoACH INTO THE SIDE YARD OF CORNER LOTS TO WITHIN 2' FROM THE RIGHT-OF-WAY FOR COTTAGES, MANORS, AND VILLAS, TO WITHIN 12' FOR ESTATES. WHERE A SIDE YARD ADJUTS AN OPEN SPACE OR PASSAGE, PORCHES MAY ENCRoACH TO WITHIN 1' FROM THE SIDE PROPERTY LINE FOR COTTAGES, MANORS, AND VILLAS, TO WITHIN 12' FOR ESTATES.
• STOOPS AND STEPS MAY ENCRoACH INTO THE FRONT AND SIDE YARDS TO WITHIN 1' FROM THE FRONT PROPERTY LINE.

APPROVED PLANNING BOARD OF HOWARD COUNTY
Date: April 3, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* 5-30-14
Chief, Division of Land Development: *[Signature]* 5-28-14
Chief, Development Engineering Division: *[Signature]* 5-19-14

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10175, EXPIRATION DATE: MAY 26, 2016.
4/30/14

MAPLE LAWN FARMS

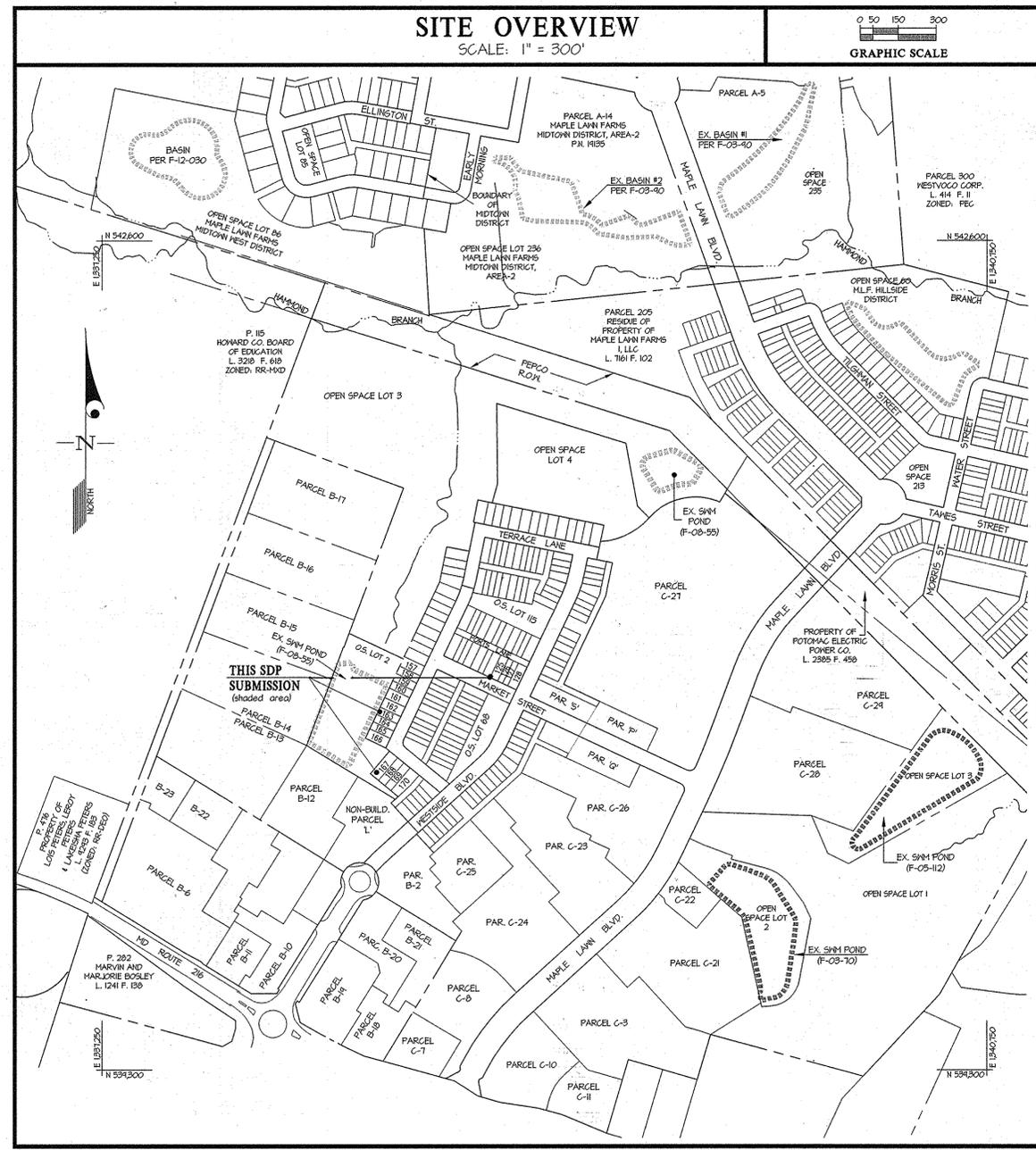
SITE DEVELOPMENT PLAN

WESTSIDE DISTRICT - AREA 4

LOT Nos. 125-128 and 157-170

FIFTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND



SITE OVERVIEW

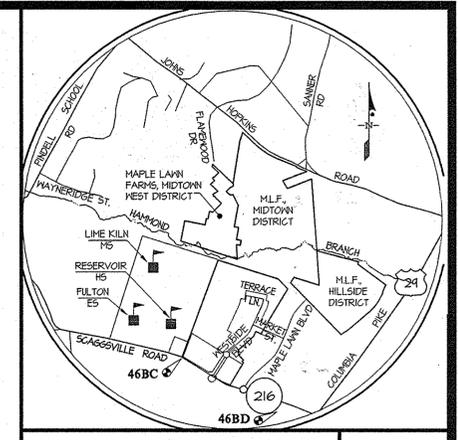
SCALE: 1" = 300'



HOWARD COUNTY CONTROL
NAD83 HORIZONTAL DATA & NVD88 VERTICAL DATA

46BC
ELEV. = 472.16
N = 584925.15 E = 1371205.77
STANDARD DISC ON CONCRETE MONUMENT

46BD
ELEV. = 491.17
N = 584956.76 E = 1374461.55
STANDARD DISC ON CONCRETE MONUMENT



VICINITY MAP
SCALE: 1" = 2000'

OVERALL OPEN SPACE PROVISION FOR MAPLE LAWN FARMS

PHASE NUMBER (AND NAME)	APPROVED DPZ FILE No.	PHASE AREA GROSS ACRES	REQUIRED OPEN SPACE (25% OF GROSS AC)	OPEN SPACE PROVIDED IN AC. (N)	REQUIRED ACTIVE OPEN SPACE IN AC. (**)	ACTIVE RECREATION O.S. PROVIDED IN AC. (N) (***)
1 (BUSINESS DISTRICT, AREA-1)	F-03-01	51.98	12.99	21.5 (40.7)	1.82	
2 (MIDTOWN DISTRICT, AREA-1)	F-03-40	37.43	9.36	15.75 (42.1)	1.31	1.52 (41.7) (1)
3 (MIDTOWN DISTRICT, AREA-2)	F-04-42	50.80	12.70	22.85 (30.4)	2.06	
4a (HILLSIDE DISTRICT, AREA-1)	F-05-01	15.41	3.85	6.70 (43.3)	0.54	0.24 (43) (2)
4b (MIDTOWN DISTRICT, AREA-3)	F-05-19A	3.12	0.78	1.23 (39.4)	0.11	
4c (BUSINESS DISTRICT, AREA-2/ HILLSIDE DISTRICT, AREA-2)	F-05-12/11B	3.00	1.01	0.00	0.00	
5a (HILLSIDE DISTRICT, AREA-1)	F-06-43	0.00	0.00	0.00	0.00	
5b (HILLSIDE DISTRICT, AREA-3)	F-06-161	33.26	8.31	18.50 (55.6)	1.16	1.61 (6.7) (3)
6a (HILLSIDE DISTRICT, AREA-4)	F-08-072	15.05	3.76	5.50 (36.5)	0.53	
N/A	F-07-103	3.05	0.76	0.00	0.10	
6b (WESTSIDE DISTRICT)	F-08-04/F-08-05	40.60	10.15	26.65 (29.4)	3.17	4.16 (17.4) (4)
7 (HILLSIDE DISTRICT, AREA-5)	F-10-61	16.60	4.15	0.94 (5.7)	0.58	
8a (HILLSIDE DISTRICT, AREA-5)	F-11-27	0.00	0.00	0.20 (0.0)	0.00	
8b (WESTSIDE DISTRICT, AREA-2)	F-12-21	0.00	0.00	0.61 (0.0)	0.00	0.61 (0.0) (5)
8c (MIDTOWN WEST DISTRICT)	F-12-20	1.65	0.41	0.04 (5.5)	0.06	
8d (MIDTOWN WEST DISTRICT)	F-12-21	30.22	7.56	13.54 (45.0)	1.06	1.24 (4.5) (6)
N/A	F-12-15	4.31	1.08	0.00 (0.0)	0.33	0.00 (0.0)
9a (WESTSIDE DISTRICT, AREA-3)	F-13-03	0.00	0.00	0.64 (0.0)	0.00	0.64 (0.0) (7)
9b (MIDTOWN WEST DISTRICT, AREA-2)	F-13-07	34.08	8.52	13.54 (34.9)	1.14	5.05 (57.2) (8)
9c	F-13-08	75.74	18.94	0.00 (0.0)	2.65	0.00 (0.0)
N/A	F-12-26	15.46	3.87	3.14 (24.2)	0.54	0.00 (0.0)
10a	F-14-15	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
10c	F-14-33	0.00	0.00	23.86 (0.0)	0.00	4.55 (40.0) (9)
11c	F-14-01	0.00	0.00	5.02 (0.0)	0.00	0.00 (0.0)
11b	F-14-06	0.00	0.00	0.00 (0.0)	0.00	0.00 (0.0)
TOTAL		444.43	113.23	180.72 (36.5)	17.32	31.43 (17.4)

* THE PERCENTAGE OF OPEN SPACE PROVIDED IS BASED ON THE GROSS SITE ACRES.
** 10% OF THE OPEN SPACE REQUIRED MUST BE AVAILABLE FOR ACTIVE RECREATION.
*** THE PERCENTAGE OF ACTIVE RECREATION O.S. PROVIDED IS BASED ON THE O.S. PROVIDED (CUMULATIVE TOTAL ACRES).
(1) 1.52 AC. = COMMUNITY CENTER (0.5, 125 - 501 AC), 0.5, 126 (0.55 AC) AND 0.5, 123 (0.46 AC)
(2) 0.24 AC. = PATHWAYS
(3) 1.61 AC. = OS LOT 215 (1.00 AC.) AND OS LOT 214 (0.61 AC.)
(4) 4.16 AC. = OS LOT 4 (4.16 AC.)
(5) 0.61 ACRES = OS LOT 88 (0.61 AC.)
(6) 1.24 ACRES = OS LOT 85 (0.63 AC.) AND OS LOT 84 (0.66 AC.)
(7) 0.64 ACRES = OS 115 (0.64 AC.)
(8) 5.05 ACRES = OS 174 (0.75 AC.), OS 180 (0.74 AC.), OS 182 (3.56)
(9) 4.55 ACRES = OS 94 (0.40 AC.), OS 101 (1.75 AC.), OS 104 (2.25) AND OS 107 (2.44 AC.)
OPEN SPACE LOTS 126 AND 123 ARE CONSIDERED RECREATIONAL SINCE RESIDENTS WILL BE ABLE TO GATHER AND CHILDREN WILL BE ABLE TO PLAY IN THESE AREAS.

THIS PLAN HAS BEEN SET UP TO ALLOW MULTIPLE GRADING PERMITS, IN ACCORDANCE WITH APPLICABLE POLICY FOR MLF.

LOT GROUPS	DISTURBED AREA	LANDSCAPE SURETY AMOUNT	LANDSCAPE INSPECTION FEES PAID
125-128	0.32 AC	\$ 1560.00	\$ 100.00
157-170	1.32 AC	\$ 3400.00	\$ 100.00
TOTAL	1.64 AC	\$ 5460.00	\$ 200.00

WITHIN 1 YEAR OF SIGNATURE APPROVAL OF THIS SDP BY THE DIRECTOR OF DPZ, THE BUILDER SHALL APPLY TO THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS FOR BUILDING PERMITS TO INITIATE THE CONSTRUCTION ON THIS SDP. THE BUILDER SHALL APPLY FOR BUILDING PERMITS FOR ALL CONSTRUCTION AUTHORIZED ON THIS SDP WITHIN 2 YEARS OF ITS APPROVAL.

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SEDIMENT CONTROL PLAN
- LANDSCAPE PLAN

ADDRESS CHART

LOT No.	STREET ADDRESS	LOT No.	STREET ADDRESS
125	11284 MARKET STREET	157	11212 TERRACE LANE
126	11291	158	11214
127	11293	159	11216
128	11295	160	11218
		161	11220
		162	11224
		163	11226
		164	11228
		165	11230
		166	11232
		167	11302
		168	11304
		169	11306
		170	11308

PERMIT INFORMATION CHART

WATER CODE:	SEWER CODE:	DEVELOPMENT NAME:	DISTRICT/AREA:	LOTS:	CENSUS TRACT:
E21	7645000	MAPLE LAWN FARMS	WESTSIDE DISTRICT/ AREA 4	125-128 & 157-170	605102
PLAT:	ZONE:	TAX MAP:	GRID:	ELEC. DIST.:	
H8701 22816-22819	MXD-3	41446	2143	5	

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE, SUITE 250 - BURTNSVILLE OFFICE PARK
BURTNSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
PROPERTY OWNER (SELLER): MAPLE LAWN FARMS L.L.C. 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-464-9400 ATTN: MARK BENNETT

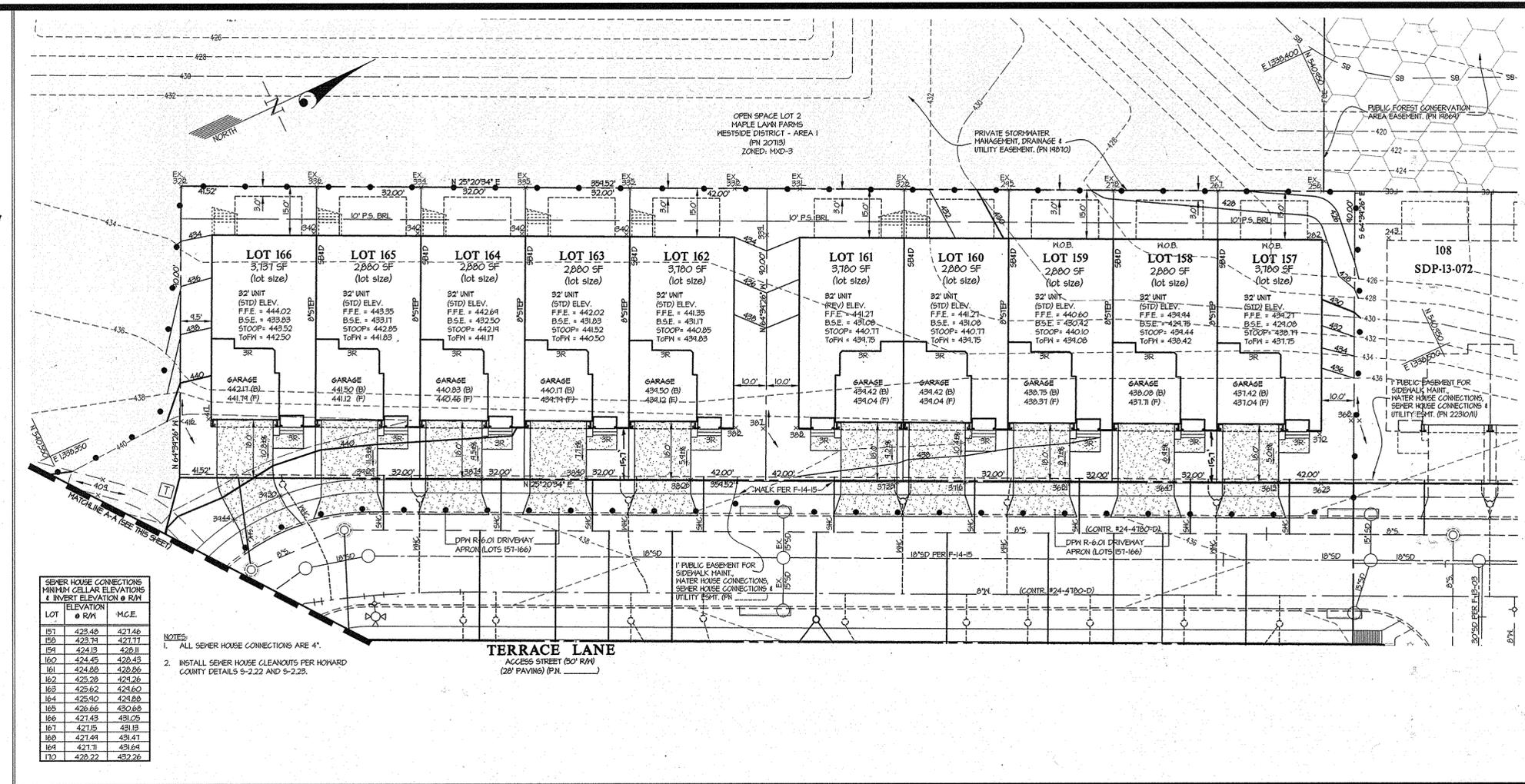
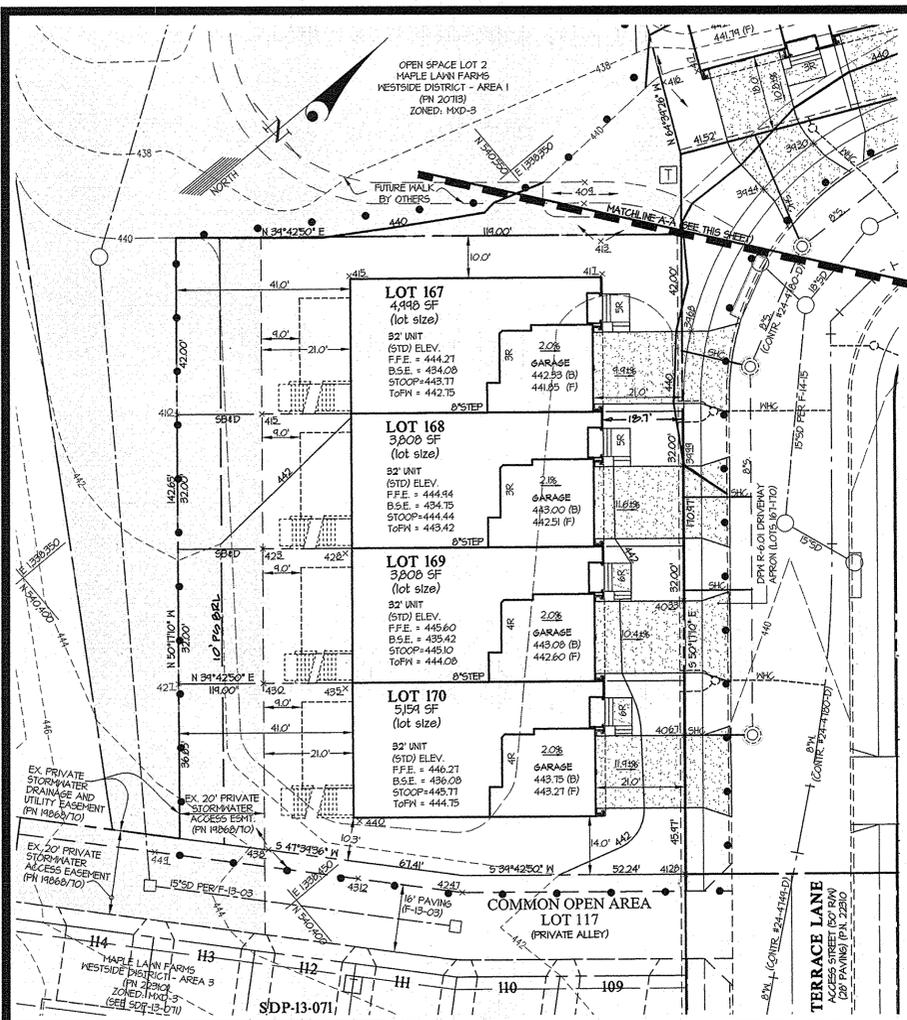
BUILDER (CONTRACT PURCHASER): WILLIAMSBURG GROUP, LLC 5485 HARRERS FARM ROAD, SUITE 200 COLUMBIA, MD 21044 PH: 410-387-8800 ATTN: BOB CORRETT

COVER SHEET
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
LOT Nos. 125-128 and 157-170
(SFA RESIDENTIAL USE)
PLAT Nos. 19870 and 22816-22819

ELECTION DISTRICT No. 5

SCALE:	ZONING:	G. L. W. FILE No.
AS SHOWN	MXD-3	12030
DATE:	TAX MAP - GRID:	SHEET:
APRIL/2014	41-21/46-3	1 OF 5

HOWARD COUNTY, MARYLAND



LOT	ELEVATION @ RM	M.C.E.
157	423.48	421.46
158	423.78	421.71
159	424.13	421.11
160	424.45	420.43
161	424.88	420.86
162	425.28	421.26
163	425.62	421.60
164	425.90	421.88
165	426.66	420.68
166	427.43	421.25
167	427.15	421.19
168	427.44	421.41
169	427.71	421.64
170	428.22	422.26

- NOTES:
1. ALL SEWER HOUSE CONNECTIONS ARE 4".
 2. INSTALL SEWER HOUSE CLEANOUTS PER HOWARD COUNTY DETAILS S-2.22 AND S-2.23.

PLAN VIEW SCALE: 1"=20'

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.

4/30/14

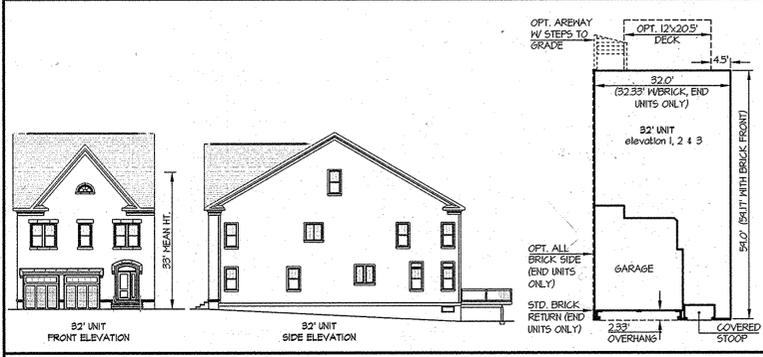
APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 3, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
5-30-14
5-28-14
5-19-14

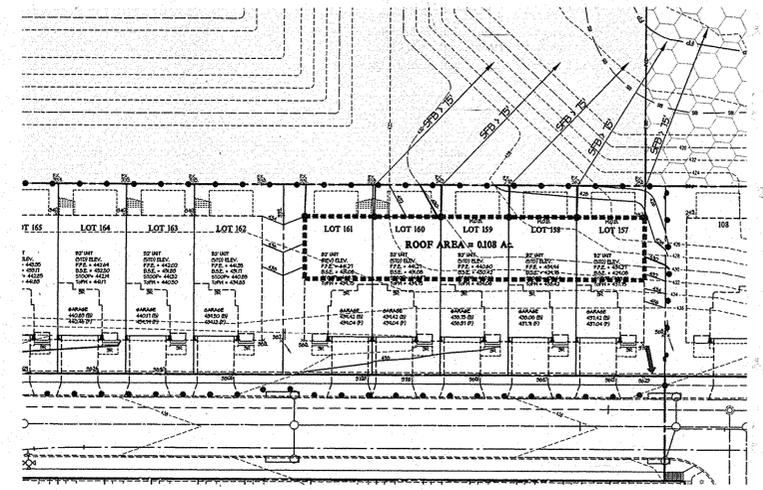
SITE DEVELOPMENT PLAN LEGEND

- 300 --- EXISTING CONTOUR
- 390 --- PROPOSED CONTOUR
- +0.00' PROPOSED SPOT ELEVATION
- LIMIT OF GRADING DISTURBANCE
- EXISTING PAVING
- EXISTING CURB & GUTTER
- METER VAULT
- 1/2" WATER HOUSE CONNECTION (DASHED LINE TYP.)
- WATER LINE (PUBLIC)
- FIRE HYDRANT
- EX. 8" EXISTING SEWER MAIN (DASHED LINE)
- SEWER HOUSE CONNECTION (SOLID LINE)
- EX. 50" EXISTING STORM DRAIN
- EXISTING LIGHT POLE
- CONCRETE SIDEWALK PER MD. CO. DET. R-3-05
- PROPOSED HOUSE
- FFE = FINISHED FLOOR ELEVATION
- ESE = BASEMENT SLAB ELEVATION
- REV = REVERSED HOUSE ORIENTATION
- GAR = GARAGE (F-FRONT, B-BACK)
- TOFN = TOP OF FOUNDATION WALL
- FOY = FOYER
- MIDRM = MID-ROOM
- M.O.B. = WALK-OUT BASEMENT
- P.S. BRLL = PRINCIPAL STRUCTURE BRLL
- SB4D = SAME BEARING & DISTANCE
- FCR = FOREST CONSERVATION EASEMENT
- BGE = BGE TRANSFORMER PAD
- VERIZON = VERIZON EQUIPMENT (HH & FP)
- CONCAST = CONCAST EQUIPMENT

- NOTES:**
1. ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE RM SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK EASEMENT.
 2. BRICK POINT ALL BUILDINGS CONSTRUCTION UNLESS NOTED OTHERWISE.
 3. ALL MHC'S TO THE LOTS COVERED BY THIS SDP ARE 1/2" PER CONTRACT NOS. 24-414-D & 24-418-D AND THE WATER METER VAULTS ARE IN THE R.O.M. OR PUBLIC WATER & UTILITY EASEMENT.
 4. SEE THE CHART ON THIS SHEET FOR S.M.C. INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
 5. ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBERTY PUBLIC RD. 282 THROUGH 366).
 6. ALL BUILDINGS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
 7. PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.
 8. THE ALLEY IS OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT FOUND AT L. 8254 F. 305430
- WASTE MANAGEMENT NOTES:**
1. ALLEY SERVICE WILL BE PROVIDED AS LONG AS THE TRASH TRUCKS CAN MANEUVER THROUGH THE TURNS WITHOUT CAUSING PROPERTY DAMAGE AND THE APPROPRIATE MANEUVERS HAVE BEEN EXECUTED.
 2. COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDER/DEVELOPER SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
 3. THE REFUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.



TYPICAL HOUSE FOOTPRINTS AND ELEVATIONS (STANDARD (STD) ORIENTATION SHOWN) SCALE: 1" = 20'



NOTE: FOR LOTS 157-161, DRAIN ALL FRONT DOWN SPOUTS TO THE STREET.

SHEET FLOW TO BUFFER ANALYSIS SCALE: 1"=40'

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTENVILLE OFFICE PARK
BURTENVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

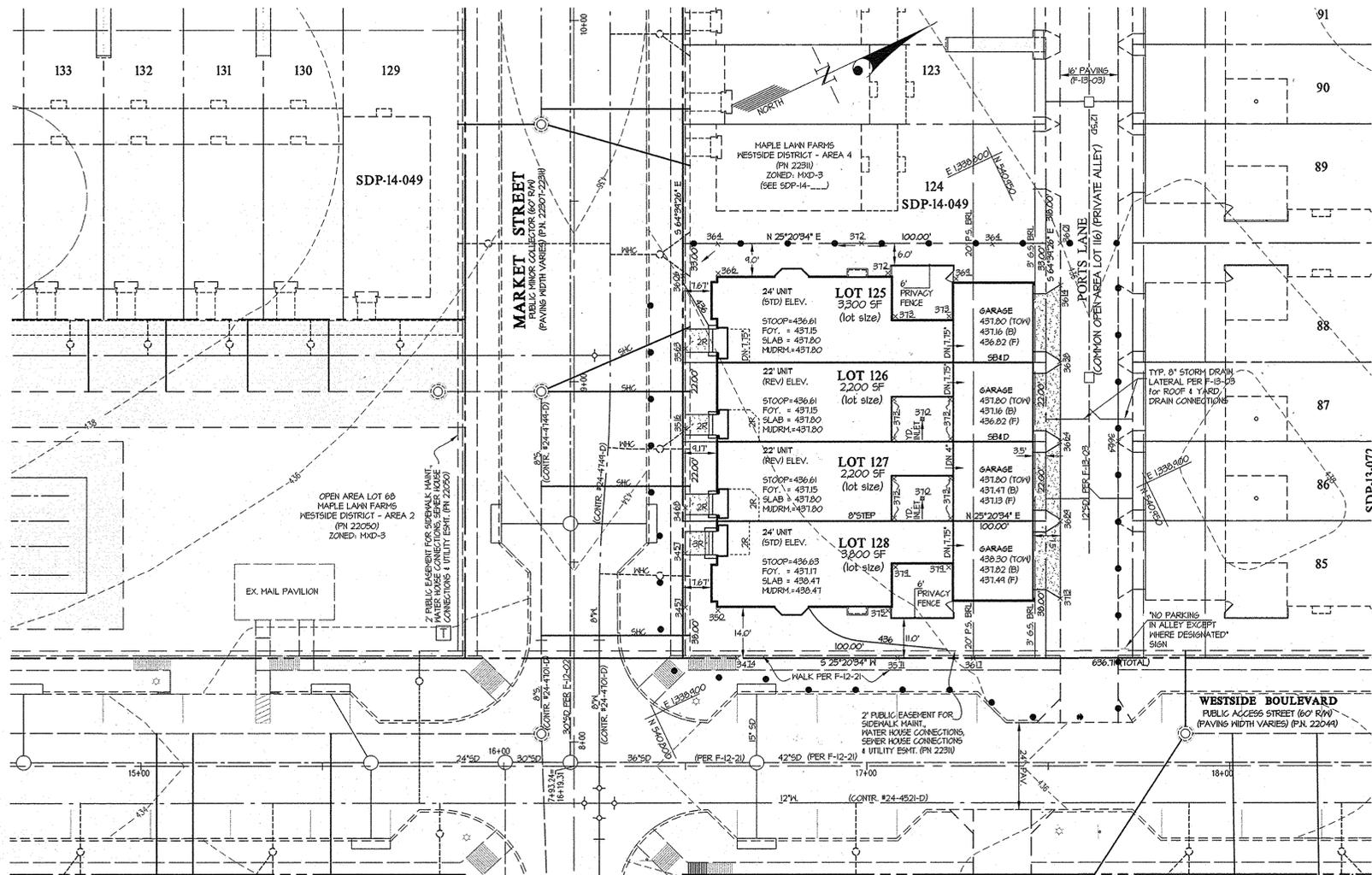
DATE	REVISION	BY	APP'R.

PROPERTY OWNER (SELLER):
MAPLE LAWN FARMS I, LLC
1829 REISTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-434-9400
ATTN: MARK BENNETT

PREPARED FOR:
BUILDER (CONTRACT PURCHASER):
WILLIAMS GROUP, LLC
5485 HARRIS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
PH: 410-997-8900
ATTN: BOB CORSETT

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
WESTSIDE DISTRICT - AREA 4
LOT Nos. 125-128 and 157-170
(SFA RESIDENTIAL USE)
PLAT Nos. 19870 and 22816-22819

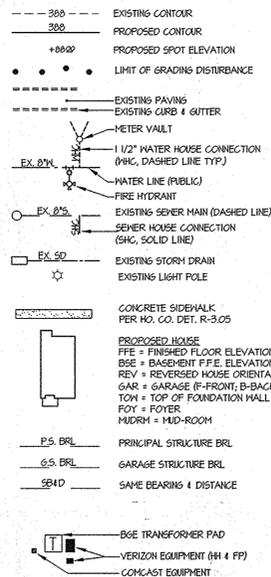
SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	12030
DATE	TAX MAP - GRID	SHEET
APRIL/2014	41-21/46-3	2 OF 5



LOT	ELEVATION @ R/W	M.C.E.
125	425.06	429.66
126	425.06	429.66
127	424.92	429.00
128	423.04	421.04

- NOTES:**
- ALL SEWER HOUSE CONNECTIONS ARE 4".
 - INSTALL SEWER HOUSE CLEANOUTS PER HOWARD COUNTY DETAILS S-2.22 AND S-2.23.

SITE DEVELOPMENT PLAN LEGEND

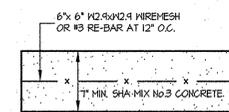


NOTES:

- ALL FENCES, GARDEN WALLS, STOOPS AND STEPS ALONG THE R/W SHALL BE LOCATED BEHIND THE 1' PUBLIC SIDEWALK ESMT.
- BRICK POINT ALL BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
- ALL HMC'S TO THE LOTS COVERED BY THIS SDP ARE 1/2" PER CONTRACT Nos. 24-4144-D & 24-4180-D AND THE WATER METER VAULTS ARE IN THE R.O.M. OR PUBLIC WATER & UTILITY EASEMENT.
- SEE THE CHART ON THIS SHEET FOR SHC INFORMATION. CONTRACTOR SHALL CHECK AND VERIFY THE SEWER HOUSE ELEVATIONS AT THE PROPERTY LINE PRIOR TO CONSTRUCTION.
- ALL GARDEN WALLS AND FENCES THAT STRADDLE PROPERTY LINES SHALL BE MAINTAINED IN ACCORDANCE WITH ARTICLE 15 OF THE MAPLE LAWN HOMEOWNERS ASSOCIATION COVENANTS (RECORDED AT LIBER 7414 FOLIO 242 THROUGH 366).
- ALL BUILDING WALLS WITHIN 10' OF A BGE TRANSFORMER SHALL BE CONSTRUCTED FOR A MINIMUM FIRE RESISTANCE RATINGS OF 3 HOURS.
- PRIVACY FENCE THAT IMPEDES SIGHT VISIBILITY FOR DRIVERS TURNING CORNERS IN THE ALLEY ARE NOT ALLOWED.
- THE ALLEY IS OWNED BY THE HOA AND THEY ENFORCE THE PARKING PROHIBITION IN THEIR ALLEY "RIGHT-OF-WAY" THATS IN THE COVENANT FOUND AT L. 8294 F. 309430

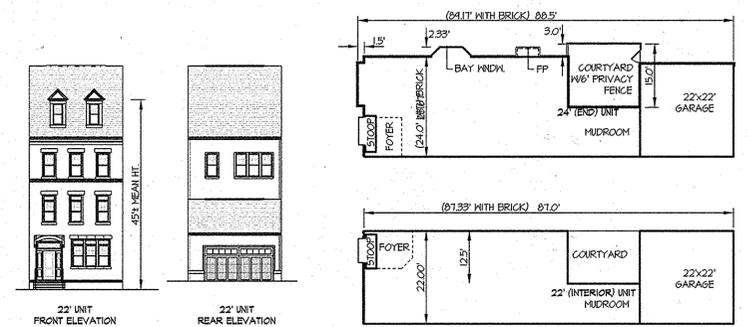
WASTE MANAGEMENT NOTES:

- ALLEY SERVICE WILL BE PROVIDED AS LONG AS THE TRASH TRUCKS CAN MANUEVER THROUGH THE TURNS WITHOUT CAUSING PROPERTY DAMAGE AND THE APPROPRIATE MAINTENERS HAVE BEEN EXECUTED.
- COUNTY SERVICES WILL NOT BEGIN UNTIL ALL CONSTRUCTION IS COMPLETED IN THE AREA AND THE TRUCKS HAVE CLEAR AND UNHINDERED ACCESS. THE BUILDER/DEVELOPER SHALL PROVIDE FOR TRASH COLLECTION UNTIL ALL CONSTRUCTION IS COMPLETED AND THE CHIEF, COLLECTIONS DIVISION APPROVES THE AREA FOR SERVICE.
- THE REUSE COLLECTION CHARGE WILL NOT APPLY UNTIL THE AREA BEGINS COUNTY SERVICE.

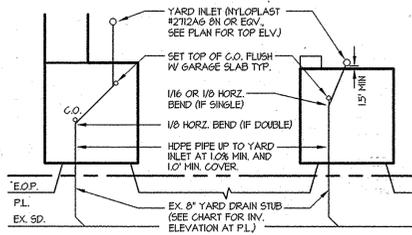


- NOTES:**
- UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C.
 - PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE THE DRIVEWAY APRON ABUTS OTHER CONCRETE STRUCTURES OR PAVEMENTS.
 - FOR REFERENCE, SEE HOWARD COUNTY STD. DETAILS R6.01-6.04.
 - FOR BITUMINOUS PAVING, SEE HOWARD COUNTY STD. DETAIL R2.01 (P-4 SECTION).

CONCRETE DRIVEWAY and APRON PAVEMENT SECTION NO SCALE



TYPICAL HOUSE FOOTPRINTS and ELEVATIONS
(STANDARD (STD) ORIENTATION SHOWN SCALE: 1" = 20')



TYPICAL YARD DRAIN INSTALLATION NO SCALE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2016.

4/30/14

APPROVED
PLANNING BOARD OF HOWARD COUNTY

Date: April 3, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

5-30-14
Date

5-28-14
Date

5-19-14
Date

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
BURTONTOWN, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:

PROPERTY OWNER (SELLER):
MAPLE LAWN FARMS I, LLC
1829 REISTERSTOWN ROAD, SUITE 300
BALTIMORE, MD 21208
PH: 410-484-8400
ATTN: MARK BENNETT

BUILDER (CONTRACT PURCHASER):
WILLIAMSBURG GROUP, LLC
5485 HARRIS FARM ROAD, SUITE 200
COLUMBIA, MD 21044
PH: 410-997-8800
ATTN: BOB CORBETT

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

WESTSIDE DISTRICT - AREA 4
LOT Nos. 125-128 and 157-170
(SFA RESIDENTIAL USE)
PLAT Nos. 19870 and 22216-22219

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	12030
DATE	TAX MAP - GRID	SHEET
APRIL/2014	41-21/46-3	3 OF 5

HOWARD COUNTY, MARYLAND

B-4-2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION:
THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

PURPOSE:
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CONDITIONS WHERE PRACTICE APPLIES:
WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA:

A. SOIL PREPARATION

- TEMPORARY STABILIZATION
 - SEEDBED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CRAWL PLOW OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENEED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE ROUGHENED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
 - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
 - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- PERMANENT STABILIZATION
 - A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
 - SOIL PH BETWEEN 6.0 AND 7.0.
 - SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
 - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 30 PERCENT SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION IS LOW GRASS; WHEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
 - SOIL CONTAINS 1.5 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
 - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
- APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
- GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENEED TO A DEPTH OF 3 TO 5 INCHES.
- APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
- MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. PACE LAWN AREAS TO SHOW THE SURFACE, REMOVE LAWN GRASS LIKE LIME STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO ROUGHEN THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDBED PREPARATION. TRACK WITH TRACKER EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL LOOSE AND FRAGILE. SEEDBED LOOSENING MAY BE UNNECESSARY ON NEW CONSTRUCTION AREAS.

B. TOPSOILING

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNDESIRABLE SOIL GRAIN SIZE DISTRIBUTION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT THE SPECIES OF GRASS IS DESIRED.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
 - TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF SANDS, STONES, SLAG, COARSE FRAGMENTS, ROCK, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1.5 INCHES IN DIAMETER.
 - TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERBERIS GRASS, QUACK GRASS, JOHNSON GRASS, NET SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - TOPSOIL APPLICATION
 - EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
 - UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

C. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)

 - SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RESIDENT PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS.
 - FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
 - LIME MATERIALS MUST BE GRASS LIMESTONE (HYDRATED OR BURNT LIME) MAY BE SUBSTITUTED EXCEPT WHEN CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GRASS TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 98 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
 - LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GRASS LIMESTONE AT THE RATE OF 4 TO 6 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

GRAPHIC SCALE

0 20 40 80 120

APPROVED
PLANNING BOARD OF HOWARD COUNTY
Date: April 3, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Date: 5-30-14
Date: 5-28-14
Date: 5-12-14

B-4-3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION:
THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER.

PURPOSE:
TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CONDITIONS WHERE PRACTICE APPLIES:
TO THE SURFACE OF ALL PERMETER CONTROLS, SLOPES, AND ANY DISTURBED AREA NOT UNDER ACTIVE GRADING.

CRITERIA:

A. SEEDING

- SPECIFICATIONS
 - ALL SEEDS MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SOWING SUCH MATERIAL ON ANY PROJECT. REFER TO TABLE B-4 RECORDED THE QUALITY OF SEED. SEED MUST BE AVAILABLE UPON REQUEST TO THE INSPECTOR TO VERIFY TYPE OF SEED AND SEEDING RATE.
 - MULCH ALONE MAY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES ONLY IF THE CROWD IS FROZEN. THE APPROPRIATE SEEDING MIXTURE MUST BE APPLIED WHEN THE GROUND THaws.
 - INOCULANTS: THE INOCULANT FOR TREATING LEGUME SEED IN THE SEED MIXTURES MUST BE A PURE CULTURE OF NITROGEN FIXING BACTERIA PREPARED SPECIALLY FOR THE SPECIES. INOCULANTS MUST NOT BE USED LATER THAN THE DATE INDICATED ON THE CONTAINER. ADDITIONAL INOCULANTS AS DIRECTED ON THE PACKAGE USE FOUR TIMES THE RECOMMENDED RATE WHEN HYDROSEEDING. NOTE: IT IS VERY IMPORTANT TO KEEP INOCULANT AS COOL AS POSSIBLE UNTIL USED. TEMPERATURES ABOVE 75 TO 80 DEGREES FAHRENHEIT CAN WEAKEN BACTERIA AND MAKE THE INOCULANT LESS EFFECTIVE.
 - SO OR SEED MUST NOT BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
- APPLICATION
 - DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS.
 - INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON THE APPROVED SEEDING TABLE B.1. PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.
 - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY WITH THE SEEDING RATE IN EACH DIRECTION. SEED THE SEEDING AREA WITH A WEIGHTED ROLLER TO PROVIDE GOOD SEED TO SOIL CONTACT.
 - DRILL OR CULPICKER SEEDING: MECHANIZED SEEDERS THAT APPLY AND COVER SEED WITH SOIL.
 - CULPICKER SEEDERS ARE REQUIRED TO BURY THE SEED IN SUCH A MANNER AS TO PROVIDE AT LEAST 1/4" OF SOIL COVERING. SEEDBED MUST BE FIRM AFTER PLANTING.
 - APPLY SEED IN TWO DIRECTIONS, PERPENDICULAR TO EACH OTHER. APPLY HALF THE SEEDING RATE IN EACH DIRECTION.
 - HYDROSEEDING: APPLY SEED UNIFORMLY WITH HYDROSEEDER (SLURRY INCLUDES SEED AND FERTILIZER).
 - IF FERTILIZER IS BEING APPLIED AT THE TIME OF SEEDING, THE APPLICATION RATES SHOULD NOT EXCEED THE FOLLOWING: NITROGEN, 100 POUNDS PER ACRE TOTAL OF SOLUBLE NITROGEN; P205 (PHOSPHORUS), 200 POUNDS PER ACRE; K2O (POTASSIUM), 200 POUNDS PER ACRE.
 - LIME: USE ONLY GRASS LIMESTONE (UP TO 3 TONS PER ACRE) MAY BE APPLIED BY HYDROSEEDING. NORMALLY, NOT MORE THAN 2 TONS ARE APPLIED BY HYDROSEEDING AT ANY ONE TIME. DO NOT USE BURNT OR HYDRATED LIME WHEN HYDROSEEDING.
 - SEED AND FERTILIZER ON SITE AND SEED IMMEDIATELY AND WITHOUT INTERRUPTION.
 - WHEN HYDROSEEDING DO NOT INCORPORATE SEED INTO THE SOIL.
- MULCHING
 - MULCH MATERIALS (IN ORDER OF PREFERENCE)
 - STRAW CONSISTING OF THOROUGHLY THRESHED WHEAT, RYE, OAT, OR BARLEY AND REASONABLY BRIGHT IN COLOR. STRAW IS TO BE FREE OF NOXIOUS WEED SEEDS AS SPECIFIED IN THE MARYLAND SEED LAW AND NOT MUSTY, MOULDY, CANKED, DECAYED, OR EXCESSIVELY DUSTY. NOTE: USE ONLY STERILE STRAW MULCH IN AREAS WHERE THE SPECIES OF GRASS IS DESIRED.
 - WOOD CELLULOSE FIBER MULCH (WCFM) CONSISTING OF SPECIALLY PREPARED WOOD CELLULOSE PROCESSED INTO A UNIFORM PHYSICAL STRUCTURE.
 - WCFM IS TO BE DRY OR CONTAIN NO FREE WATER. THE PACKAGE THAT WILL PROVIDE AN APPROPRIATE COLOR TO FACILITATE VISUAL INSPECTION OF THE UNIFORMITY SPREAD SLURRY.
 - WCFM INCLUDING DYE, MUST CONTAIN NO CERAMIZATION OR GROWTH INHIBITING FACTORS.
 - WCFM MATERIALS ARE TO BE MANUFACTURED AND PROCESSED IN SUCH A MANNER THAT THE WOOD CELLULOSE FIBER MULCH WILL REMAIN IN UNIFORM SUSPENSION IN WATER UNDER Aeration and will blend with seed, FERTILIZER AND OTHER ADDITIVES TO FORM A HOMOGENEOUS SLURRY. THE MULCH MATERIAL MUST FORM A BLOTTER-LIKE GROUND COVER. ON APPLICATION, HAVING MOISTURE ABSORPTION AND PERCOLATION PROPERTIES AND MUST COVER AND HOLD GRASS SEED IN CONTACT WITH THE SOIL WITHOUT INHIBITING THE GROWTH OF THE GRASS SEEDLINGS.
 - WCFM MATERIAL MUST NOT CONTAIN ELEMENTS OR COMPOUNDS AT CONCENTRATION LEVELS THAT WILL BE PHYTO-TOXIC.
 - WCFM MUST CONFORM TO THE FOLLOWING PHYSICAL REQUIREMENTS: FIBER LENGTH OF APPROXIMATELY 10 MILLIMETERS, DIAMETER APPROXIMATELY 1 MILLIMETER, PH RANGE OF 4.0 TO 8.5, ASH CONTENT OF 1.6 PERCENT MAXIMUM AND WATER HOLDING CAPACITY OF 90 PERCENT MINIMUM.
 - APPLICATION
 - APPLY MULCH TO ALL SEEDED AREAS IMMEDIATELY AFTER SEEDING.
 - WHEN STRAW MULCH IS USED, SPREAD IT OVER ALL SEEDED AREAS AT THE RATE OF 2 TONS PER ACRE TO A UNIFORM LAYER OF 1 TO 2 INCHES DEPTH. MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. WHEN USING A MULCH ANCHORING TOOL, INCREASE THE APPLICATION RATE TO 2.5 TONS PER ACRE.
 - WOOD CELLULOSE FIBER USED AS MULCH MUST BE APPLIED AT A NET DRY WEIGHT OF 1500 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER TO ATTAIN A MIXTURE WITH A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - ANCHORING
 - PERFORM MULCH ANCHORING IMMEDIATELY FOLLOWING APPLICATION OF MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS (LISTED BY PREFERENCE), DEPENDING UPON THE SIZE OF THE AREA AND EROSION HAZARD:
 - MULCH ANCHORING TOOL IS A TRACTOR DRIVEN IMPLEMENT DESIGNED TO PLOUGH AND ANCHOR MULCH INTO THE SOIL SURFACE A MINIMUM OF 2 INCHES. THIS PRACTICE IS MOST EFFECTIVE ON LARGE AREAS, BUT IS LIMITED TO FLATTER SLOPES WHERE EQUIPMENT CAN OPERATE SAFELY. IF USED ON SLOPING LAND, THIS PRACTICE SHOULD FOLLOW THE CONTOUR.
 - WOOD CELLULOSE FIBER IS TO BE USED FOR ANCHORING STRAW. APPLY THE FIBER BINDER AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. MIX THE WOOD CELLULOSE FIBER WITH WATER AT A MAXIMUM OF 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.
 - SYNTHETIC BINDERS SUCH AS ACRYLIC DLR (ADPRO-TACK), DCA-70, PEROXOL, TERTRA TAY II, TERTRA MANUFACTURER. APPLICATION OF LIQUID BINDERS NEEDS TO BE HEAVIER AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF BANKS. USE OF ASPHALT BINDERS IS STRONGLY DISCOURAGED.
 - LIGHTWEIGHT PLASTIC NETTING MAY BE STAPLED OVER THE MULCH ACCORDING TO MANUFACTURER RECOMMENDATIONS. NETTING IS USUALLY AVAILABLE IN ROLLS 4 TO 15 FEET WIDE AND 300 TO 3,000 FEET LONG.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (410-313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A 3 CALENDAR DATES FOR ALL PERMITS/SEDIMENT CONTROL STRUCTURES, DIKES, AND OTHER STABILIZATION PRACTICES WITH SLOPES GREATER THAN 3:1.
 - 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PERMANENT SEEDING (Sec. 6-4-3), TEMPORARY SEEDING (Sec. 6-4-4) AND MULCHING (Sec. 6-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SOIL ANALYSIS:

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
1	ANNUAL RYEGRASS	40 lb/acre	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb/acre (10 lb/1,000 sf)	2 tons/acre (80 lb/1,000 sf)
2	PEARL MILLET	20 lb/acre	May 16 to July 31	0.5 INCHES		

SEDIMENT CONTROL NOTES (CONTINUED)

- SEED MIXTURES:
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - TURFGRASS MIXTURES
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- KENTUCKY BLUEGRASS/PERENNIAL RYE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE OR IN BLUEGRASS LAWNS FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREAS. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED PERENNIAL RYE 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

NOTES:

- SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".
- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)
 - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6B)
 - SOUTHERN MD/EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER 1 1/2 INCHES IN DIAMETER. THE RESULTING SEEDBED MUST BE IN SUCH CONDITION THAT FUTURE MOVING OF GRASSES WILL NOT BE DIFFICULT.
- IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH (1/2 TO 1 INCH EVERY 3 TO 4 DAYS) UNTIL ESTABLISHED. UNTIL THE AREAS ARE ESTABLISHED, THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ABNORMALLY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue Blend (See list on page 14) - Fescue IV, Penn 1901 & Rebel Exotic and Certified Kentucky Bluegrass Blend (See list on page 14) - Kentucky, Raven & Yankee	6-8 lb/acre	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 in.	1.0 lb./1000 sq. ft. (45 lb/acre)	900 lb./1000 sq. ft.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

GENERAL SPECIFICATIONS

- CLASS OF TURFGRASS SOO MUST BE MARYLAND STATE CERTIFIED. SOO LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- SOO MUST BE MACHING CUT AT A UNIFORM SOO THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/16 INCH AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST BE TAKEN AT THE GROWTH AND THATCH. BROKEN PANS OR TORN OR UNWEN ENDS WILL NOT BE ACCEPTABLE.
- STANDARD SIZE SECTIONS OF SOO MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER END.
- SOO MUST NOT BE ADVERSELY AFFECTED BY TRANSPORTATION (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOO MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOO NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

SOO INSTALLATION

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOO.
- LAY THE FIRST ROW OF SOO IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAPLER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOO IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- WHEREVER POSSIBLE, LAY SOO WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAPLING JOINTS, ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOO TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOO ROOTS AND THE UNDERLYING SOIL SURFACE.
- WATER THE SOO IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOO PAD AND SOIL SURFACE BELOW THE SOO ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PERCE OF SOO WITHIN EIGHT HOURS.

SOO MAINTENANCE

- IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AS NECESSARY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOO DURING THE HEAT OF THE DAY TO PREVENT MILTING.
- AFTER THE FIRST WEEK, SOO WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE. WATER SOO DURING THE HEAT OF THE DAY TO PREVENT MILTING.
- DO NOT MOW UNTIL THE SOO IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.

PURPOSE:
TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS. CONDITIONS WHERE PRACTICE APPLIES EXPOSED SOILS WHICH ARE NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA:

- SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
- FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
- WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONE AS PRESCRIBED IN SECTION B-4-3.A.1.B AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-10-10)	LIME RATE
1	ANNUAL RYEGRASS	40 lb/acre	Mar. 1 to May 15, Aug. 1 to Oct. 15	0.5 INCHES	436 lb/acre (10 lb/1,000 sf)	2 tons/acre (80 lb/1,000 sf)
2	PEARL MILLET	20 lb/acre	May 16 to July 31	0.5 INCHES		

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION. (410-313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A 3 CALENDAR DATES FOR ALL PERMITS/SEDIMENT CONTROL STRUCTURES, DIKES, AND OTHER STABILIZATION PRACTICES WITH SLOPES GREATER THAN 3:1.
 - 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL PERMANENT SEEDING (Sec. 6-4-3), TEMPORARY SEEDING (Sec. 6-4-4) AND MULCHING (Sec. 6-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SOIL ANALYSIS:

NO.	SPECIES	APPLICATION RATE (lb/acre)	SEEDING DATES	SEEDING DEPTHS	FERTILIZER RATE (10-20-20)	LIME RATE
9	*Certified Tall Fescue Blend (See list on page 14) - Fescue IV, Penn 1901 & Rebel Exotic and Certified Kentucky Bluegrass Blend (See list on page 14) - Kentucky, Raven & Yankee	6-8 lb/acre	Mar. 1 to May 15, Aug. 15 to Oct. 15	1/4 - 1/2 in.	1.0 lb./1000 sq. ft. (45 lb/acre)	900 lb./1000 sq. ft.

* Other cultivars listed as "proven" in the most current UMD TT-77 may also be used

GENERAL SPECIFICATIONS

- CLASS OF TURFGRASS SOO MUST BE MARYLAND STATE CERTIFIED. SOO LABELS MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
- SOO MUST BE MACHING CUT AT A UNIFORM SOO THICKNESS OF 3/4 INCH, PLUS OR MINUS 1/16 INCH AT THE TIME OF CUTTING. MEASUREMENT FOR THICKNESS MUST BE TAKEN AT THE GROWTH AND THATCH. BROKEN PANS OR TORN OR UNWEN ENDS WILL NOT BE ACCEPTABLE.
- STANDARD SIZE SECTIONS OF SOO MUST BE STRONG ENOUGH TO SUPPORT THEIR OWN WEIGHT AND RETAIN THEIR SIZE AND SHAPE WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP ON THE UPPER END.
- SOO MUST NOT BE ADVERSELY AFFECTED BY TRANSPORTATION (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL.
- SOO MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS. SOO NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.

SOO INSTALLATION

- DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SUBSOIL, LIGHTLY IRRIGATE THE SUBSOIL IMMEDIATELY PRIOR TO LAYING THE SOO.
- LAY THE FIRST ROW OF SOO IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND TIGHTLY WEDGED AGAINST EACH OTHER. STAPLER LATERAL JOINTS TO PROMOTE MORE UNIFORM GROWTH AND STRENGTH. INSURE THAT SOO IS NOT STRETCHED OR OVERLAPPED AND THAT ALL JOINTS ARE BUTTED TIGHT IN ORDER TO PREVENT VOIDS WHICH WOULD CAUSE AIR DRYING OF THE ROOTS.
- WHEREVER POSSIBLE, LAY SOO WITH THE LONG EDGES PARALLEL TO THE CONTOUR AND WITH STAPLING JOINTS, ROLL AND TAMP, PEG OR OTHERWISE SECURE THE SOO TO PREVENT SLIPPAGE ON SLOPES. ENSURE SOLID CONTACT EXISTS BETWEEN SOO ROOTS AND THE UNDERLYING SOIL SURFACE.
- WATER THE SOO IMMEDIATELY FOLLOWING ROLLING AND TAMPING UNTIL THE UNDERSIDE OF THE NEW SOO PAD AND SOIL SURFACE BELOW THE SOO ARE THOROUGHLY WET. COMPLETE THE OPERATIONS OF LAYING, TAMPING AND IRRIGATING FOR ANY PERCE OF SOO WITHIN EIGHT HOURS.

SOO MAINTENANCE

- IN THE ABSENCE OF ADEQUATE RAINFALL, WATER DAILY DURING THE FIRST WEEK OR AS OFTEN AS NECESSARY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOO DURING THE HEAT OF THE DAY TO PREVENT MILTING.
- AFTER THE FIRST WEEK, SOO WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE. WATER SOO DURING THE HEAT OF THE DAY TO PREVENT MILTING.
- DO NOT MOW UNTIL THE SOO IS FIRMLY ROOTED. NO MORE THAN 1/3 OF THE GRASS LEAF MUST BE REMOVED BY THE INITIAL CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 3 INCHES UNLESS OTHERWISE SPECIFIED.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION:
TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.

PURPOSE:
TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

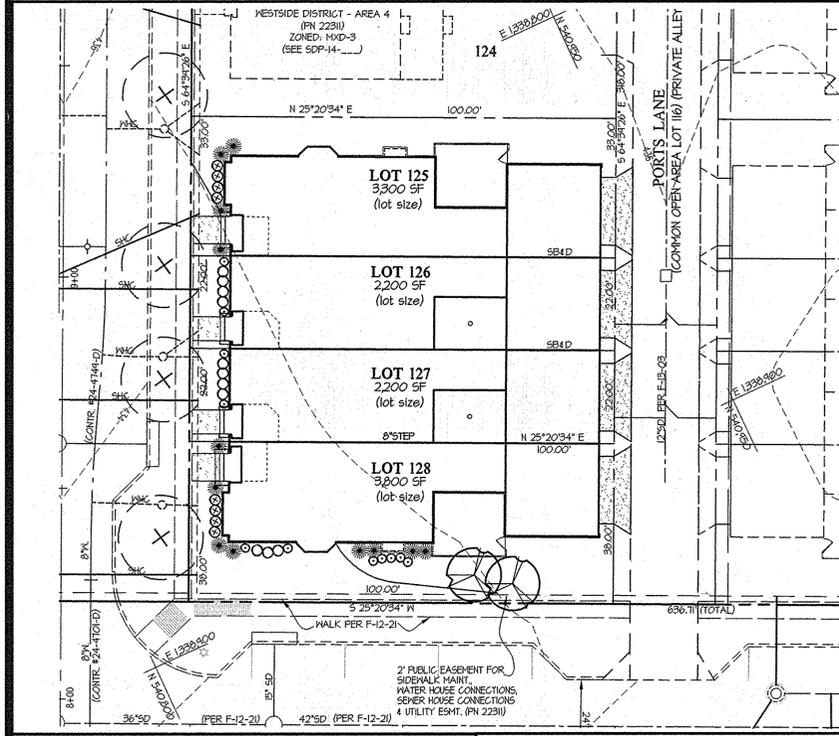
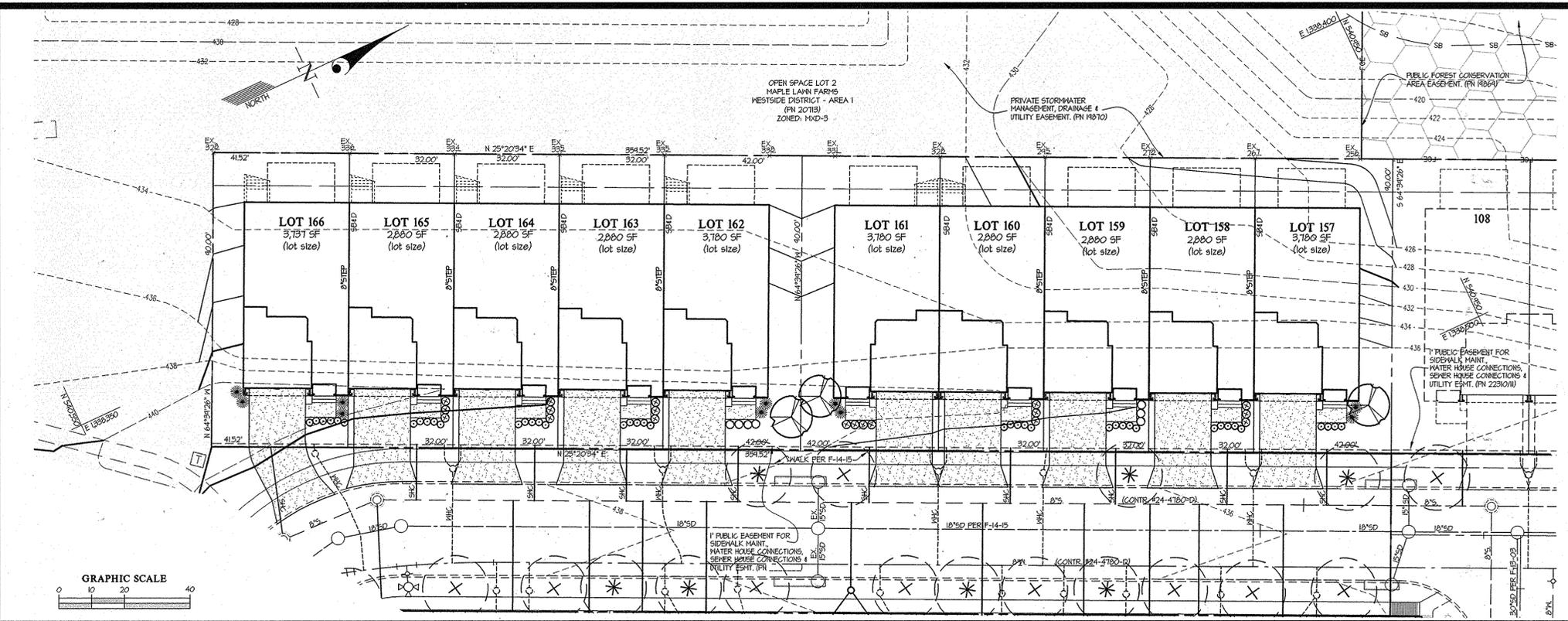
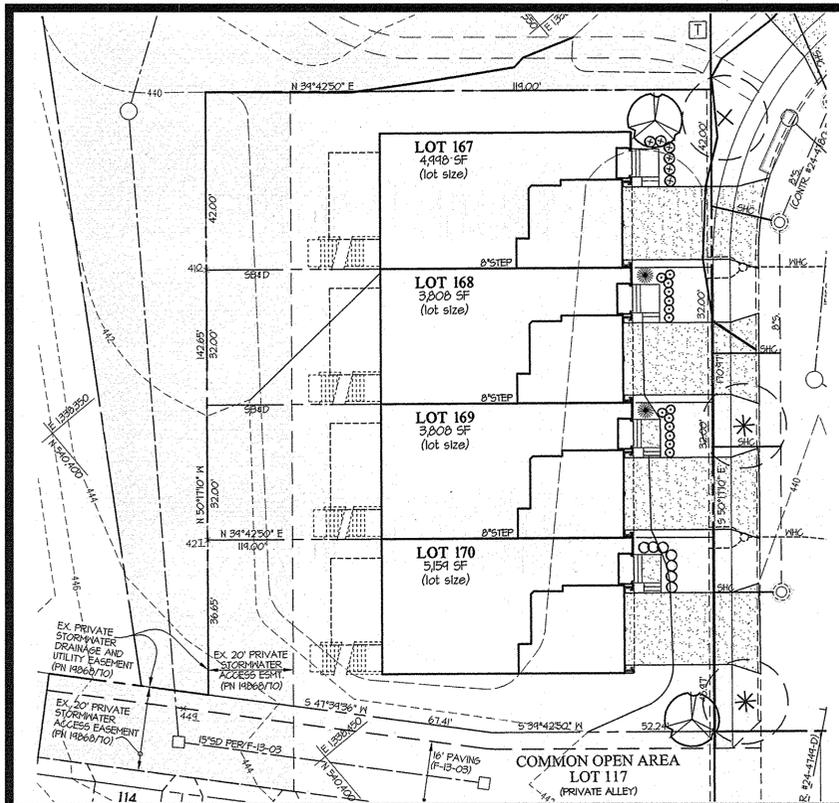
CONDITIONS WHERE PRACTICE APPLIES:
EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA:

- SEED MIXTURES
 - GENERAL USE
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITION OR PURPOSE FOUND ON TABLE B.2. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - ADDITIONAL PLANTING SPECIFICATIONS FOR EXCEPTIONAL SITES SUCH AS SHORELINES, STREAM BANKS, OR DUNES OR FOR SPECIAL PURPOSES SUCH AS WILDLIFE OR AESTHETIC TREATMENT MAY BE FOUND IN USDA-NRCS TECHNICAL FIELD GUIDE, SECTION 342 - CRITICAL AREA PLANTING.
 - FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - FOR AREAS RECEIVING LOW MAINTENANCE, APPLY UREA FORM FERTILIZER (46-0-0) AT 3 1/2 POUNDS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
 - TURFGRASS MIXTURES
 - AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE.
 - SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
- KENTUCKY BLUEGRASS/PERENNIAL RYE: FULL SUN MIXTURE: FOR USE IN FULL SUN AREAS WHERE RAPID ESTABLISHMENT IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIUM TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL RYEGRASS CULTIVARS/CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 2 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT.
- TALL FESCUE/KENTUCKY BLUEGRASS: FULL SUN MIXTURE: FOR USE IN DROUGHT PRONE AREAS AND/OR FOR AREAS RECEIVING LOW TO MEDIUM MANAGEMENT IN FULL SUN TO MEDIUM SHADE. CHOOSE A MINIMUM OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL MIXTURE BY WEIGHT. RECOMMENDED MIXTURE INCLUDES: CERTIFIED TALL FESCUE CULTIVARS 95 TO 100 PERCENT, CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 0 TO 5 PERCENT. SEEDING RATE: 5 TO 8 POUNDS PER 1000 SQUARE FEET. ONE OR MORE CULTIVARS MAY BE BLENDED.
- KENTUCKY BLUEGRASS/PERENNIAL RYE: SHADE MIXTURE: FOR USE IN AREAS WITH SHADE OR IN BLUEGRASS LAWNS FOR ESTABLISHMENT IN HIGH QUALITY, INTENSIVELY MANAGED TURF AREAS. MIXTURE INCLUDES: CERTIFIED KENTUCKY BLUEGRASS CULTIVARS 30 TO 40 PERCENT AND CERTIFIED PERENNIAL RYE 60 TO 70 PERCENT. SEEDING RATE: 1 1/2 TO 3 POUNDS PER 1000 SQUARE FEET.

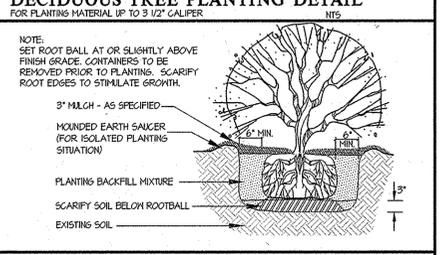
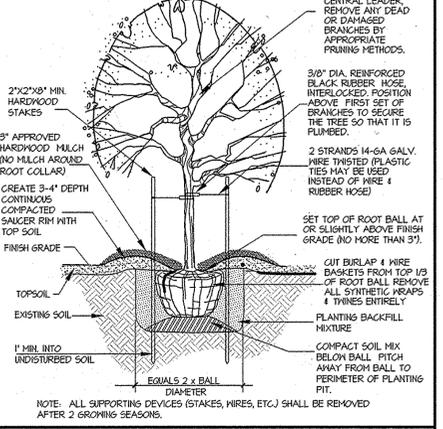
NOTES:

- SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY MEMO #77, "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND".
- CHOOSE CERTIFIED MATERIAL. CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTIVAR PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.
- IDEAL TIMES OF SEEDING FOR TURF GRASS MIXTURES
 - WESTERN MD: MARCH 15 TO JUNE 1, AUGUST 1 TO OCTOBER 1 (HARDNESS ZONES: 5B, 6A)
 - CENTRAL MD: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 6B)
 - SOUTHERN MD/EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDNESS ZONES: 7A, 7B)
- TILL AREAS TO RECEIVE SEED BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES, LEVEL AND RAKE THE AREAS TO PREPARE A PROPER SEEDBED. REMOVE STONES AND DEBRIS OVER



LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-02-16 AND PB CASE NO. 378.
 - CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO. SHALL APPLY.
 - FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
 - PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
 - ALL PLANT MATERIAL SHALL BE FULL, HEALTHY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
 - NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DEPT. OF PLANNING & ZONING AND THE OWNER OR HIS REPRESENTATIVE.
 - ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 4).
 - THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
 - DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
 - ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
 - NO PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
 - "SCHEDULE-C" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT FOR HOUSE CONSTRUCTION IN THE AMOUNT OF \$ 5,460.00 FOR THE LOTS PER THIS SDP AS FOLLOWS:
 102 SHRUBS AT \$30/SHRUB = \$ 5,460.00
- FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2250. SEE THE CHART BELOW THIS SHEET FOR THE BREAK DOWN OF THE SURETY ON A PER LOT BASIS.



RESIDENTIAL LOT INTERNAL LANDSCAPING REQUIREMENTS (SCHEDULE-C)

LOT	TYPE	NO.	LOT WIDTH	REQUIRED FRONT YARD PLANTINGS: SHRUBS AT 1/4 OF LOT WIDTH AT BRL (NO SHADE TREES ARE REQUIRED)		REQUIRED PLANTINGS: ON SIDE OF SFA BUILDINGS ORIENTED TO PUBLIC ROADWAYS, PROVIDE 1/4 OF SIDE BLDG. LENGTH		PLANTINGS PROVIDED	COMMENTS
				SHRUBS	SHRUBS	SHD. TREE	SHRUBS		
125	townhome	125	33.0'	8	n/a	n/a	n/a	8	
126	townhome	126	22.0'	6	n/a	n/a	n/a	6	
127	townhome	127	22.0'	6	n/a	n/a	n/a	6	
128	townhome	128	38.0'	10	88.83'	22	n/a	12	2 ORNAMENTAL FOR 10 SHRUBS
157	townhome	157	42.0'	11	n/a	n/a	n/a	6	1 ORNAMENTAL FOR 5 SHRUBS
158	townhome	158	32.0'	8	n/a	n/a	n/a	8	
159	townhome	159	32.0'	8	n/a	n/a	n/a	8	
160	townhome	160	32.0'	8	n/a	n/a	n/a	8	
161	townhome	161	42.0'	11	n/a	n/a	n/a	6	1 ORNAMENTAL FOR 5 SHRUBS
162	townhome	162	42.0'	11	n/a	n/a	n/a	6	1 ORNAMENTAL FOR 5 SHRUBS
163	townhome	163	32.0'	8	n/a	n/a	n/a	8	
164	townhome	164	32.0'	8	n/a	n/a	n/a	8	
165	townhome	165	32.0'	8	n/a	n/a	n/a	8	
166	townhome	166	41.52'	10	n/a	n/a	n/a	10	
167	townhome	167	42.0'	11	n/a	n/a	n/a	6	1 ORNAMENTAL FOR 5 SHRUBS
168	townhome	168	32.0'	8	n/a	n/a	n/a	8	
169	townhome	169	32.0'	8	n/a	n/a	n/a	8	
170	townhome	170	45.87'	12	n/a	n/a	n/a	7	1 ORNAMENTAL FOR 5 SHRUBS

COMMENTS:
 A. SUBSTITUTION FOR DIFFERENT TYPE OF PLANT MATERIALS ARE AS FOLLOWS:
 1 SHADE TREE = 2 ORNAMENTALS OR EVERGREEN TREES = 10 SHRUBS, 5 SHRUBS = 1 ORNAMENTAL OR EVERGREEN TREE

LANDSCAPE SURETY PER LOT

BUILDER	LOT No.	PLANT QUANTITY	SURETY AMOUNT
		SHRUBS	
MS of MAPLE LAWN L.L.C.	125	8	\$ 240.00
	126	6	\$ 180.00
	127	6	\$ 180.00
	128	32	\$ 960.00
	157	11	\$ 330.00
	158	8	\$ 240.00
	159	8	\$ 240.00
	160	8	\$ 240.00
	161	11	\$ 330.00
	162	11	\$ 330.00
	163	8	\$ 240.00
164	8	\$ 240.00	
165	8	\$ 240.00	
166	10	\$ 300.00	
167	11	\$ 330.00	
168	8	\$ 240.00	
169	8	\$ 240.00	
170	12	\$ 360.00	
TOTAL	192		\$ 5,460.00

PLANT LIST

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
⊗	1	ALL ORNAMENTAL FLOWERING TREES SHALL BE 15'-24" CAL AND 8'-10" HT.	AMELANCHIER CANADENSIS / SHAGBARK SERVICEBERRY CERCIS CANADENSIS / EASTERN REDBUD MAGNOLIA SOULANGIANA / SAUCEUR MAGNOLIA MAGNOLIA STELLATA / STAR MAGNOLIA BETULA NIGRA / RIVER BIRCH LAGERSTROEMIA INDICA / GARDEN HYDRANGEA 'TOTO'	ALL B&B. SERVICEBERRY SHALL BE TREE FORM
⊙	65	ALL 18" - 24" SPREAD	AZALEA VAR. 'SIMPLO PINK' / 'SIMPLO WHITE' / 'YAEIRO' COTONEASTER DAMMERLI / CORAL BEAUTY / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS / TOM THUMB / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BAR HARBOUR' / 'NORFOLK' / 'MILTON BLUE RIS' JUNIPERUS PROCUMBENS 'NANA' / DWARF JAPANESE GARDEN JUNIPER LOMICERA NITIDA 'BROWN' / 'EDMEE GOLD' (TM) HONEYBUCKLE PPS1234	ALL CONTAINERIZED
⊗	33	ALL 24" - 30" SPREAD	AZALEA VAR. 'DELICATE VALLEY WHITE' / 'HERSEY RED' / 'NINO CRIMSON' DEUTZIA GRACILIS / SLENDER DEUTZIA LEX CRENATA 'HELLE' / DWARF JAPANESE HOLLY LEX GLABRA 'CONTRACTA' / DWARF INCHBERY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / 'SNOWMOUND SPIREA' BUXUS SEMPERVIRENS 'SIFFRUTICOSA' / DWARF ENGLISH BOXWOOD	ALL CONTAINERIZED
⊙	25	ALL 24" - 30" SPREAD & 25" - 3" HT.	BIGNONIA KIANTSCHOWICZUS / MANHATTAN / MANHATTAN BIGNONIA MAHONIA BEALEI / LEATHERLEAF MAHONIA OSMANTHUS HETEROPHYLLUS 'GATFIDE' / 'SWEET HOLLY' RHODODENDRON HYBRID VAR. (CAT. ALBUM CAT. GRANDIFLORA, ENGLISH ROSEAE, ROSEUM ELEGANS) RHODODENDRON 'P.M.' / P.M. RHODODENDRON TAXUS CUSPIDATA 'NANA' / DWARF JAPANESE YEW VIBURNUM CALLES / KOREAN SPICE VIBURNUM	ALL CONTAINERIZED
⊗	24	ALL 3" - 4" HT.	AZALEA VAR. 'DELICATE VALLEY WHITE' / 'HERSEY RED' / 'NINO CRIMSON' LEX VERTICILLATA VAR. / WINTERBERRY HOLLY VAR. ('CARDINAL', 'JIM DANDY', 'RED SPRITE', 'WINTER RED' or 'SPARKLEBERRY') JUNIPERUS CHINENSIS 'BLUE POINT' / 'BLUE POINT JUNIPER' TAXUS MEDIA 'TRICKS' / 'TRICKS YEW' TAXUS CUSPIDATA 'FLUSHING' / 'FLUSHING YEW' TAXUS MEDIA 'VIRIDIS' / 'VIRIDIS YEW' TRILIA OCCIDENTALIS 'EMERALD GREEN' / EMERALD GREEN ARBOREVIATA BUXUS MICROPHYLLA / WINTERGREEN BOXWOOD	ALL CONTAINERIZED

NOTES:

- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REGULATIONS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BENCHES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIAL TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.

PLANTING LEGEND

⊗ STREET TREES PER F-18-003 AND PROPOSED ORNAMENTAL FLOWERING TREE

⊙ PROPOSED SHRUBS

APPROVED PLANNING BOARD OF HOWARD COUNTY
 Date: April 3, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 5-30-14
 Chief, Division of Land Development: *[Signature]* Date: 6-28-14
 Chief, Development Engineering Division: *[Signature]* Date: 5-15-14

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20886
 TEL: 301-421-4024 BAL: 410-880-1820 DC: 301-989-2524 FAX: 301-421-4188

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE L&L LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

NAME: *[Signature]* DATE: 4-30-14

STATE OF MARYLAND
 Michael B. Tran
 REGISTERED ARCHITECT
 833
 DATE: 5/10/14

PREPARED FOR:
 PROPERTY OWNER (SELLER): MAPLE LAWN FARMS I, LLC 1829 REISTERSTOWN ROAD, SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATRN: MARK BENNETT
 BUILDER (CONTRACT PURCHASER): WILLIAMSURG GROUP, LLC 5485 HARRIS FARM ROAD, SUITE 200 COLUMBIA, MD 21044 PH: 410-997-8800 ATRN: BOB CORRETT

THIS PLAN IS FOR PLANTING PURPOSES ONLY

SITE DEVELOPMENT PLAN
MAPLE LAWN FARMS
 WESTSIDE DISTRICT - AREA 4
 LOT Nos. 125-128 and 157-170
 (SFA RESIDENTIAL USE)
 PLAT Nos. 19870 and 22810-22819

ELECTION DISTRICT No. 5

SCALE: 1" = 20'
 ZONING: MXD-3
 DATE: APRIL/2014
 TAX MAP - GRID: 41-21/46-3
 SHEET: 5 OF 5

G. L. W. FILE No. 12030

HOWARD COUNTY, MARYLAND