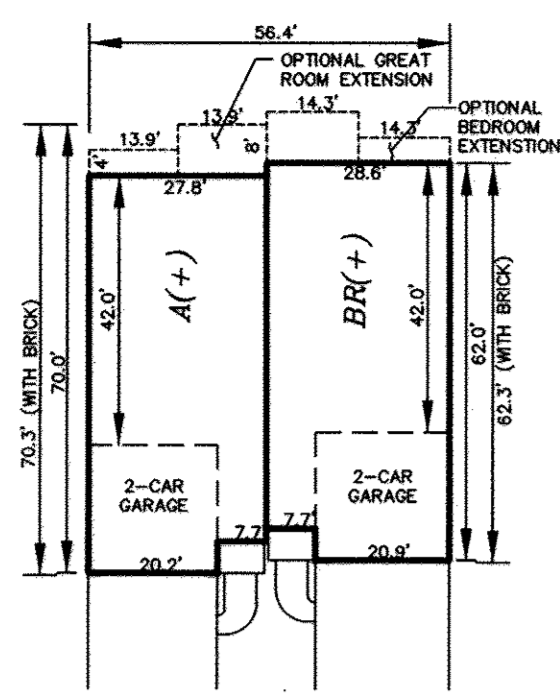
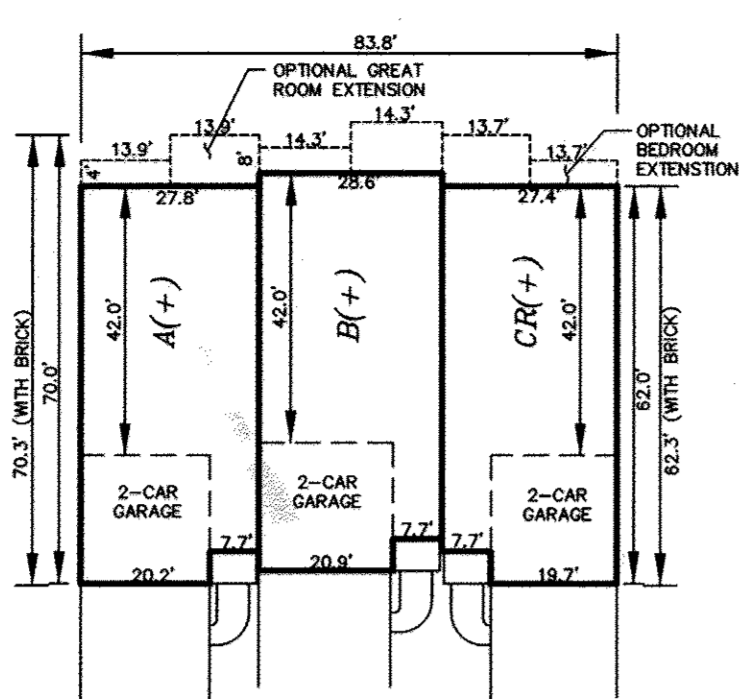


SEE CHART BELOW FOR OPTION DECK DIMENSIONS



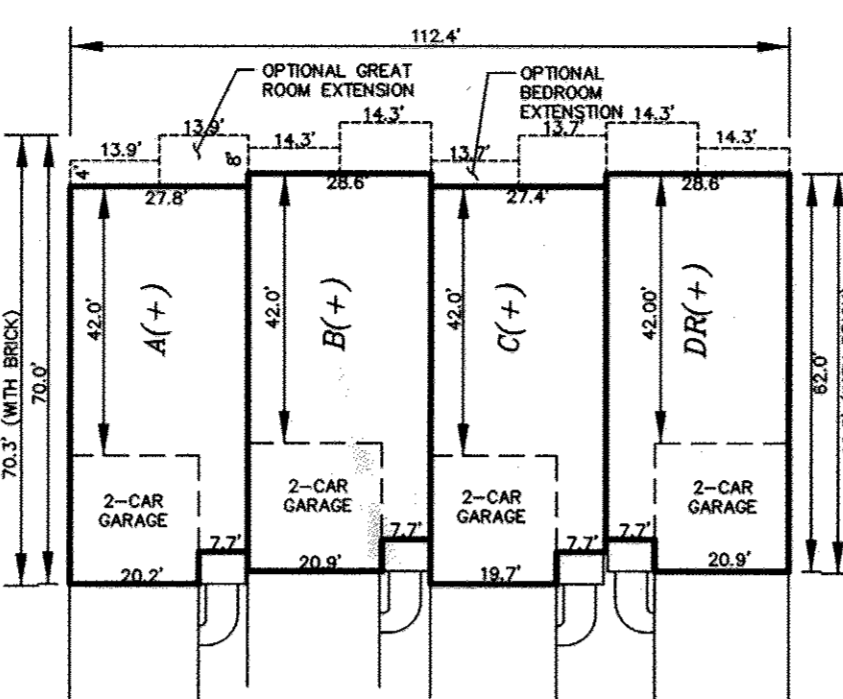
GRIFFIN HALL 2-LOT

SCALE: 1"=30'



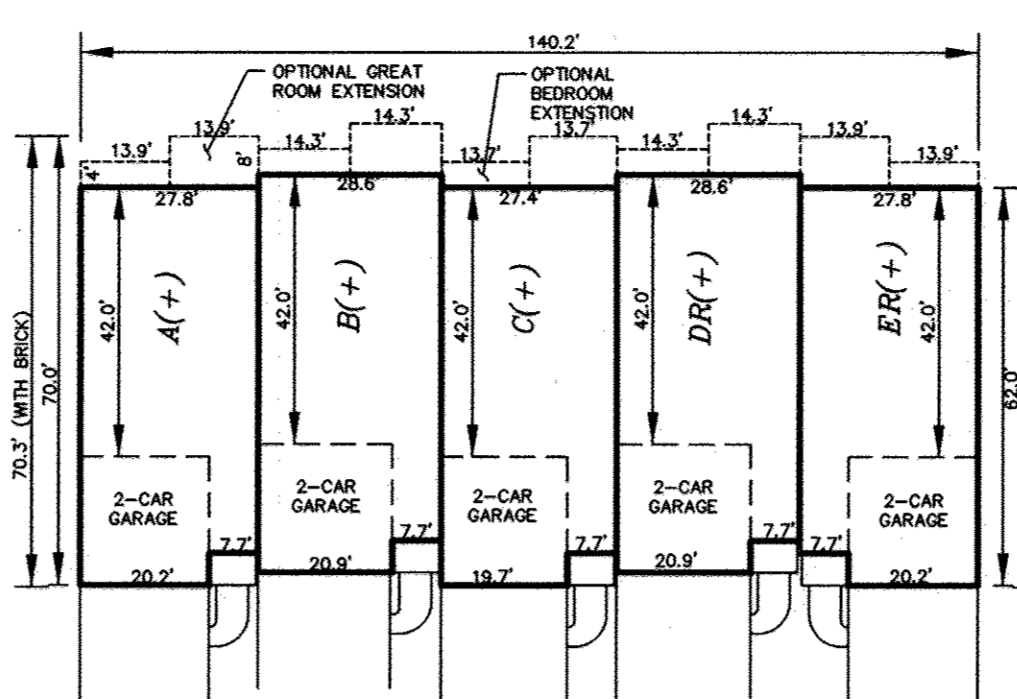
GRIFFIN HALL 3-LOT

SCALE: 1"=30'



GRIFFIN HALL 4-LOT

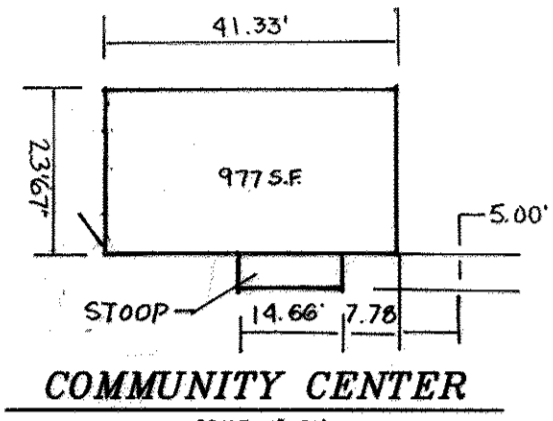
SCALE: 1"=30'



GRIFFIN HALL 5-LOT

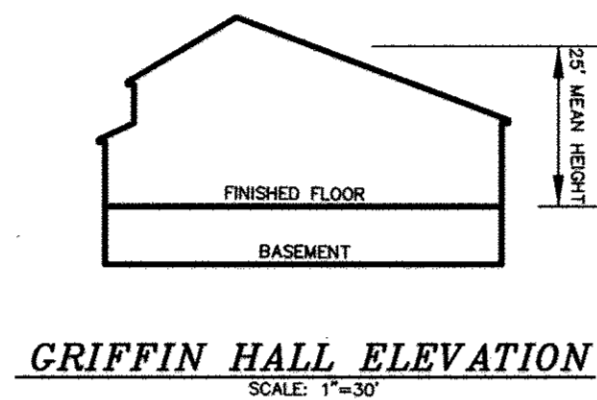
SCALE: 1"=30'

UNIT AREAS table with columns for unit type (A, B, C, D, E) and area (SF).



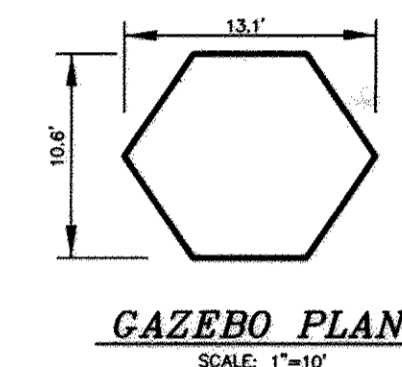
COMMUNITY CENTER

COMMUNITY CENTER ELEVATION

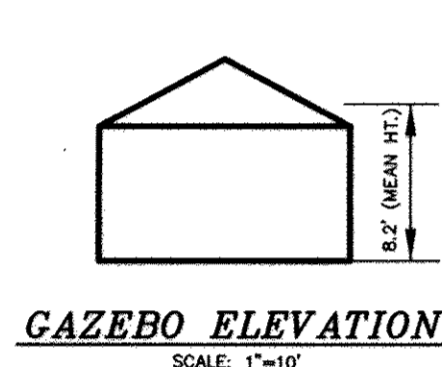


GRIFFIN HALL ELEVATION

THE LENGTH OF THE SFA LOT GROUPING WHICH EXCEEDS 120' HAS BEEN REVIEWED BY THE HEARINGS EXAMINER AND APPROVED BY DPZ. ARCHITECTURAL DESIGN IS ON FILE WHICH MITIGATES THE VISUAL IMPACT OF THE INCREASED LENGTH.



GAZEBO PLAN

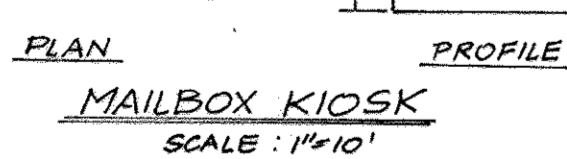
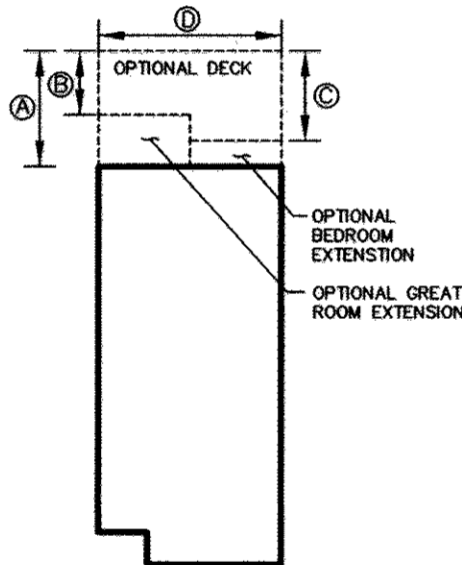


GAZEBO ELEVATION

GAZEBO TO BE DESIGNED TO HAVE HANDICAPPED ACCESSIBILITY FROM ASPHALT PATH

OPTIONAL DECK DIMENSION CHART

Table with columns for Lot #, Area (A, B, C, D, E), and Deck Dimensions (A, B, C, D, E).



MAILBOX KIOSK

SCALE: 1/4"=10'



OWNER/DEVELOPER

ROCK BURN, LLC (MARK LEVY, MANAGING MEMBER)

6800 DEERPATH ROAD SUITE 100 ELK RIDGE, MD 21075 (410) 519-2442

Chief, Development Engineering Division

DATE 11-3-14

Chief, Division of Land Development

DATE 11-12-14

Director

DATE 11-13-14



STORMWATER MANAGEMENT PRACTICES

Large table with columns for Lot #, Address, Green Roof, Permeable Pavements, Reinforced Turf, Disconnection of Roof Runoff, etc.

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.

JEFFREY L. SLOMAN, P.E. DATE 9/18/14

UNIVERSAL DESIGN GUIDELINES FOR AGE-RESTRICTED ADULT HOUSING IN HOWARD COUNTY

THE HOWARD COUNTY ZONING REGULATIONS ALLOW FOR "ACTIVE ADULT HOUSING" AS EITHER A CONDITIONAL USE IN RESIDENTIAL ZONING DISTRICTS OR AS A PERMITTED USE IN THE PLANNED SENIOR COMMUNITY, PLANNED OFFICE RESEARCH, COMMUNITY CENTER...

DESIGN STANDARDS FOR SITE ACCESSIBILITY AND USABLE COMMON AREAS HAVE BEEN ESTABLISHED FOR MULTIFAMILY HOUSING BY THE AMERICANS WITH DISABILITIES ACT AND THE FAIR HOUSING ACT OF 1988.

ACCORDINGLY, THE DEPARTMENT OF PLANNING AND ZONING MET WITH SEVERAL SENIOR HOUSING DEVELOPERS, REPRESENTATIVES OF THE HOMES FOR LIFE COALITION OF HOWARD COUNTY, AND THE DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS TO DISCUSS MINIMUM REQUIREMENTS...

THESE GUIDELINES REFLECT A MIDDLE POSITION FOCUSING ON REQUIRING THOSE FEATURES THAT ARE RELATIVELY INEXPENSIVE IF PART OF INITIAL CONSTRUCTION, BUT WOULD REQUIRE MAJOR RENOVATION TO RETROFIT IN THE FUTURE.

REQUIRED

- 1) FOR MULTI-FAMILY APARTMENT OF TOWNHOME DEVELOPMENTS, AN ACCESSIBLE PATH BETWEEN PARKING, DWELLING LOTS AND COMMON AREAS THAT MEETS ADA STANDARDS.
2) FOR SINGLE-FAMILY DETACHED AND ATTACHED DEVELOPMENTS, A "NO-STEP" ACCESS TO THE FRONT ENTRANCE TO THE COMMUNITY BUILDING AND ALL DWELLINGS.
3) 36" WIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE.
4) ALL INTERIOR DOORWAYS AT LEAST 32" WIDE (36" IS PREFERRED).
5) HALLWAYS AT LEAST 36" WIDE (40"-42" IS PREFERRED).
6) COMPLETE LIVING AREA INCLUDING MASTER BEDROOM AND BATH ON FIRST FLOOR (OR ELEVATOR ACCESS IF MULTI-STORY APARTMENTS OR TOWNHOMES).
7) LEVER HANDLES ON INTERIOR AND EXTERIOR DOORS.
8) BLOCKING FOR GRAB BARS IN WALLS IN BATHROOM NEAR TOILET AND SHOWER.

DESIRABLE

- 1) LOW-MAINTENANCE EXTERIOR MATERIALS
2) COVERED MAIN ENTRY.
3) ENTRY DOOR APPROACH WITH 18"-24" OF CLEARANCE AT SIDE ADJACENT TO HANDLE.
4) SMOOTH TRANSITIONS BETWEEN ROOMS (VERTICAL THRESHOLD OF 2" OR LESS).
5) SLIP RESISTANT FLOORING.
6) MAXIMIZE ACCESSIBLE PATH BETWEEN MAIN LIVING ROOMS (PREFERABLY 38"-42").
7) LEVER HANDLES ON KITCHEN AND BATHROOM SINKS AND SHOWER.
8) ANTI-SCALD DEVICES ON ALL PLUMBING FIXTURES.
9) 5' TURNING RADIUS OR T-TURNAROUND IN KITCHEN AND 1ST FLOOR BATHROOM.
10) PARALLEL AND FORWARD APPROACH MANEUVERING SPACE IN FRONT OF APPLIANCES AND PLUMBING FIXTURES.
11) MAIN ELECTRICAL BREAKER BOX LOCATED ON THE 1ST FLOOR.
12) SWITCHES, DOORBELLS, THERMOSTATS AND BREAKER BOXES SHOULD BE LOCATED NO MORE THAN 48" ABOVE THE FLOOR.
13) ELECTRICAL RECEPTACLES SHOULD BE AT LEAST 15" ABOVE THE FLOOR.

CUSTOM

- 1) SECURITY SYSTEM.
2) VISUAL ID OF VISITORS.
3) VISUAL SMOKE DETECTORS.
4) HANDRAILS ON BOTH SIDES OF INTERIOR AND EXTERIOR STAIRS.
5) TASK LIGHTING IN KITCHEN, BATH, AND WORK SPACES.
6) ROCKER LIGHT SWITCHES.
7) LIGHTING IN CLOSETS AND PANTRY.
8) CLOSET RODS ADJUSTABLE FROM 3' TO 5'-6".
9) SLIP-RESISTANT FLOORING IN KITCHEN AND BATH.
10) MULTI-LEVEL OR ADJUSTABLE KITCHEN COUNTERTOPS AND WORK SPACES.
11) PULLOUT SHELVES FOR KITCHEN BASE CABINETS.
12) FRONT CONTROLS ON STOVE.
13) INSTALLATION OF GRAB-BARS IN BATHROOM.
14) HAND-HELD SHOWERHEAD.
15) CURBLESS SHOWER.



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET



For Revision #2 only

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 21443, Expiration Date: 12-21-18

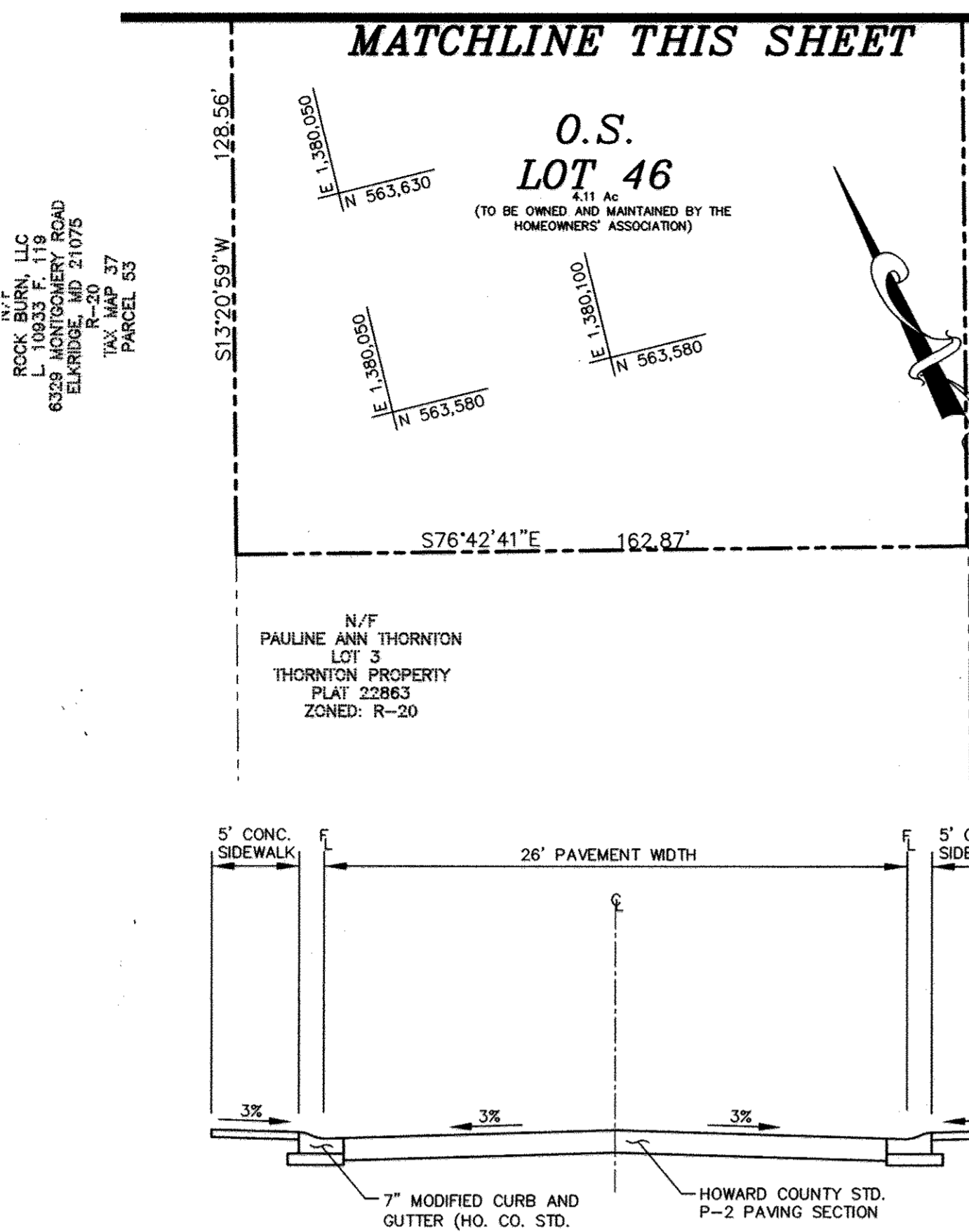
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 22390, Expiration Date: 6/30/17

Table with columns: Project, Date, Scale, Approval.

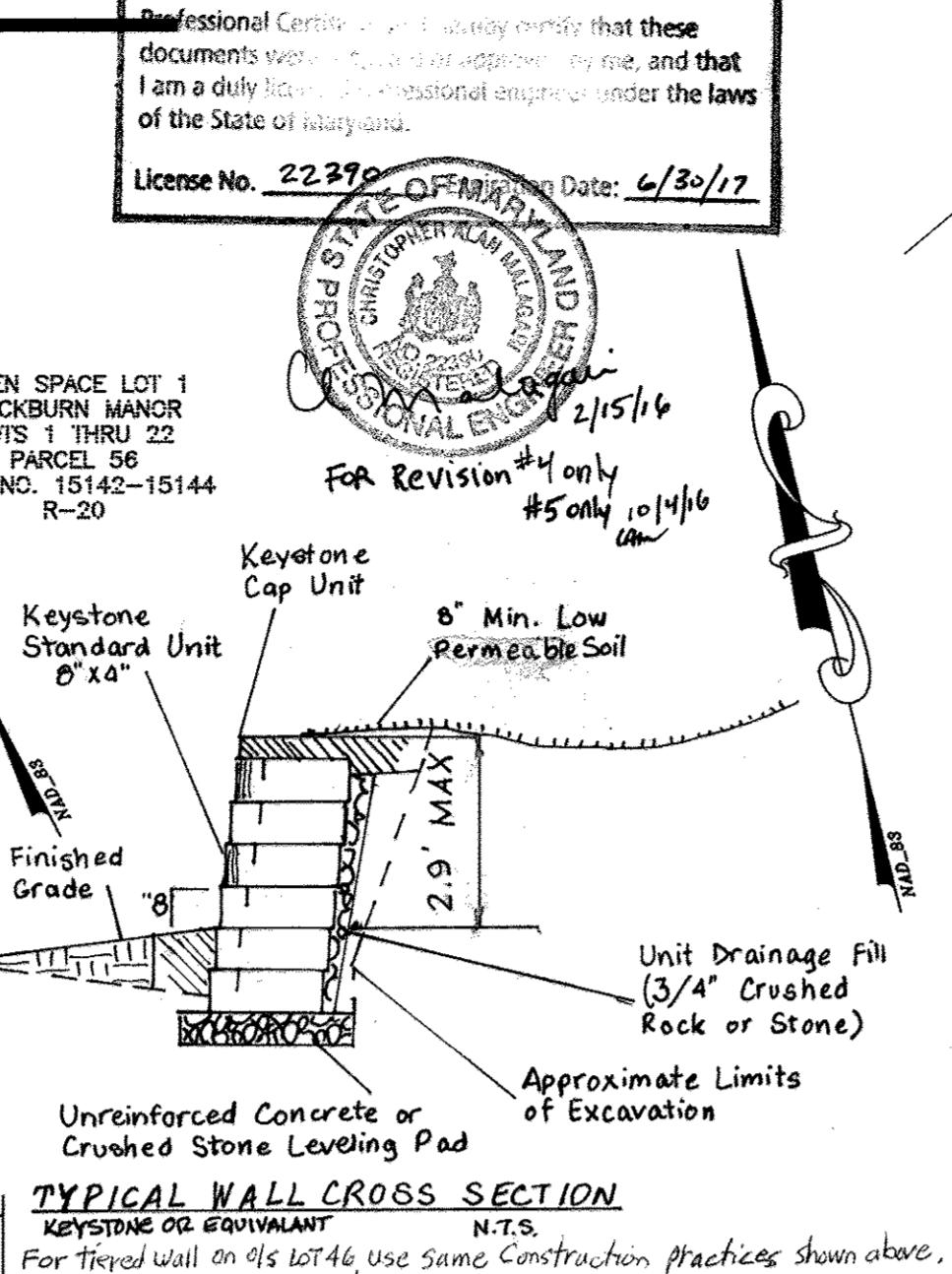
Table with columns: Revision, Description, Date.

THE ENCLAVE AT PARK FOREST AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 48-1, 49-1, 50-1, 51-1, 52-1 AND OPEN SPACE LOT 48 TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5 FIRST ELECTION DISTRICT HOWARD COUNTY

MILDENBERG, BOENDER & ASSOC., INC. Engineers, Planners, Surveyors 7350-B Grace Drive, Columbia, Maryland 21044 (410) 997-0296 Fax.



PARK FOREST CIRCLE ROADWAY SECTION NOT TO SCALE



TYPICAL WALL CROSS SECTION N.T.S. For Tired Wall on 45 lot 46, use same Construction Practices shown above.

SEE SHEET 18 FOR PARK FOREST CIRCLE ROAD PROFILE

- LEGEND**
- ① LOT NUMBER
 - A+ LOT TYPE
 - LIMITS OF WETLANDS
 - LIMITS OF 100-YEAR FLOODPLAIN
 - 100-YEAR FLOODPLAIN ELEVATION
 - EXISTING STREAM
 - RETAINING WALL (3' OR LESS IN HEIGHT)
 - FOREST CONSERVATION EASEMENT
 - PUBLIC WATER AND SEWER EASEMENT RECORDED UNDER L1864 F 11E
 - MODIFIED DRY WELL (M-5)
 - CONCRETE SIDEWALK
 - ASPHALT WALKING PATH
 - GAZEBO (SEE SHEET 2)
 - LIGHT POLE
 - ELECTRICAL TRANSFORMER
 - GAS METER

PERVIOUS CONCRETE LOCATION TABLE

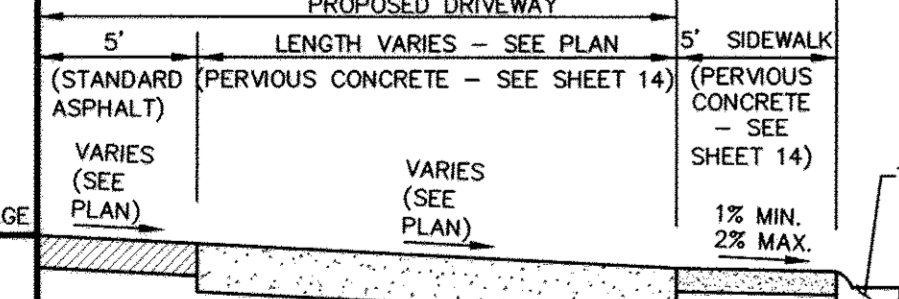
PAVEMENT TYPE	LOCATION OF PERVIOUS CONCRETE
PRIVATE ROADWAY (PARK FOREST CIRCLE)	NO PERVIOUS CONCRETE
DRIVEWAYS AND STOOPS (LOTS 1, 2)	NO PERVIOUS CONCRETE
DRIVEWAYS AND STOOPS (LOTS 3 - 42)	BACK OF SIDEWALK TO FIVE (5) FEET FROM THE FACE OF THE GARAGE
DRIVEWAYS AND STOOPS (LOTS 43 - 45)	NO PERVIOUS CONCRETE
SOUTHWEST PARKING STALLS (NEAR LOTS 7 & 8 AND ADJACENT TO LOT 20)	ENTIRE AREA OF PARKING STALLS
NORTHEAST PARKING STALLS (ADJACENT TO LOT 31 AND NEAR CLUBHOUSE)	NO PERVIOUS CONCRETE
SIDEWALK (OUTSIDE PERIMETER)	STATION 0+00.0 TO 0+95.2 STATION 4+20.9 TO 13+30.8
SIDEWALK (INSIDE PERIMETER)	STATION 0+00.0 TO 1+19.7 STATION 4+09.3 TO 13+30.8

LINE TABLE

LINE	LENGTH	BEARING
L1	16.46	N13°21'15"E
L2	195.85	N76°42'41"W
L3	295.79	S13°15'21"W
L4	195.69	S76°42'30"E
L5	279.34	N13°21'15"E

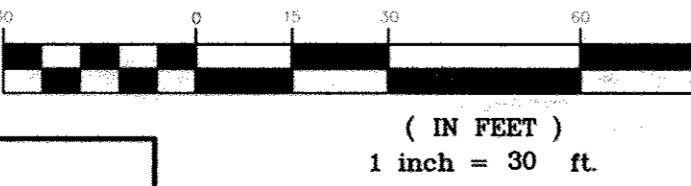
CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD LENGTH
C1	199.00	64.97	18°42'22"	32.78	N70°44'51"W	64.68
C2	45.00	70.74	90°03'56"	45.05	N31°40'43"W	63.68
C3	45.00	70.66	89°57'58"	44.97	S58°18'20"W	63.62
C4	45.00	70.71	90°01'45"	45.02	S31°41'32"E	63.66
C5	45.00	70.63	89°56'05"	44.95	N58°19'18"E	63.60



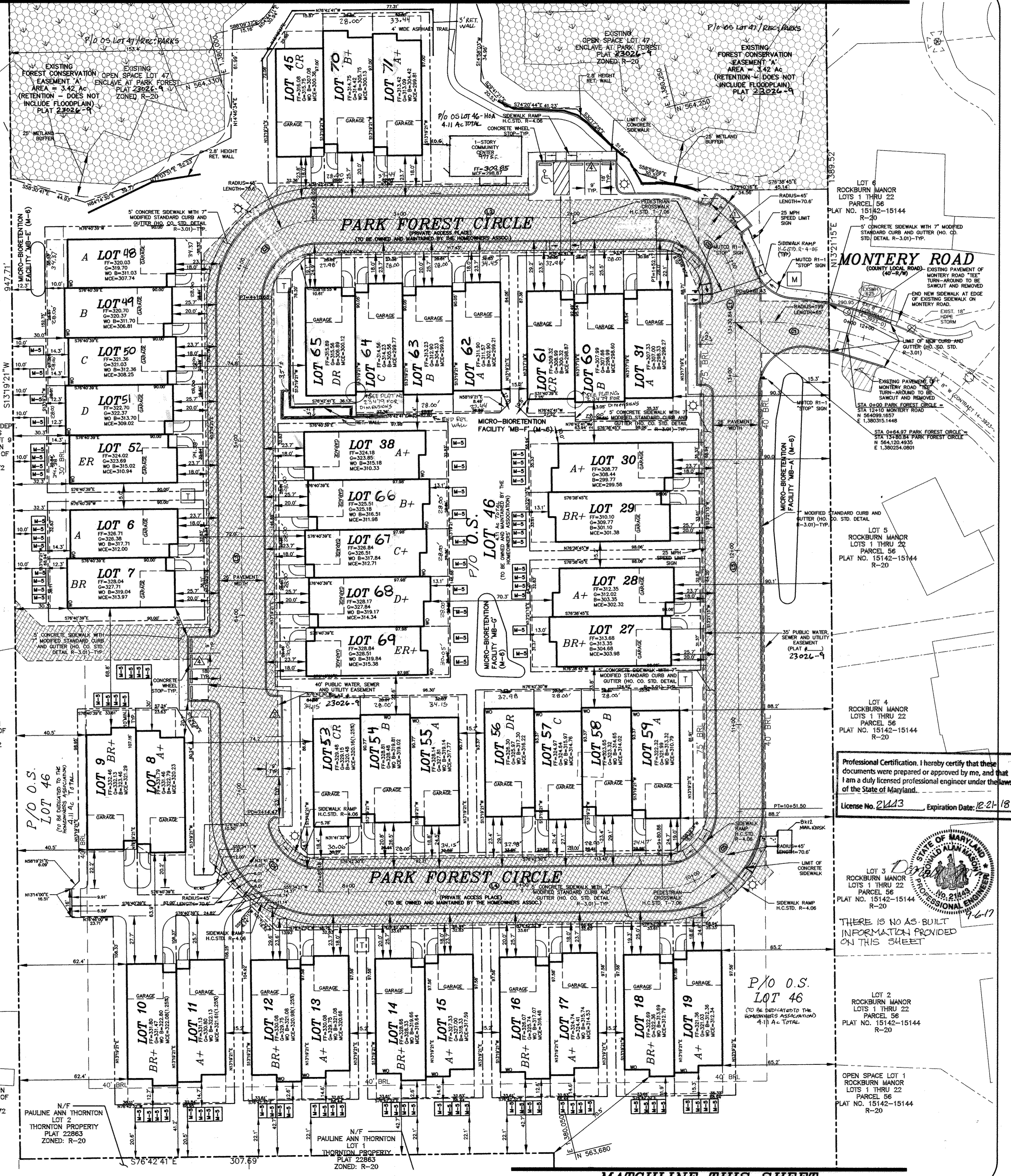
DRIVEWAY DETAIL NOT TO SCALE OWNER/DEVELOPER

GRAPHIC SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP. DATE 2/13/15.

JEFFREY SLOMAN, P.E. DATE 9/18/14

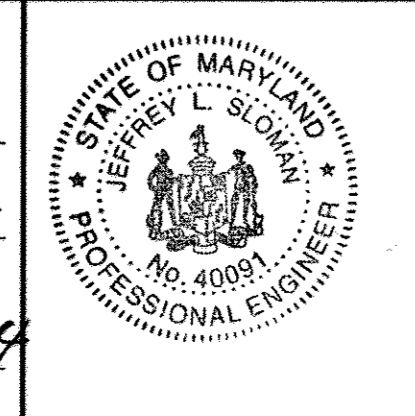


APPROVED: DEPARTMENT OF PLANNING AND ZONING

11-3-14 DATE

11-13-14 DATE

11-13-14 DATE



STATE OF MARYLAND PROFESSIONAL ENGINEER

NO. 40091

JEFFREY L. SLOMAN

Project: 07-022 Illustration

Date: 10-1-16

Scale: 1"=30'

Revisions:

No.	Description	Date
1	ADD 5' MAX. RETAINING WALL ALONG UNITS 49-56	10-1-16
2	REVISE COMMUNITY CENTER AND WALKWAY	10-1-16
3	REVISE COMMUNITY CENTER AND WALKWAY	10-1-16
4	REVISE LOT NUMBERS TO MATCH REVISION RATE 2-10-16	10-1-16
5	REVISE RETAINING WALL ON O/S LOT 46	10-1-16

THE ENCLAVE AT PARK FOREST

AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 46, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60 AND OPEN SPACE LOT 46

TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5

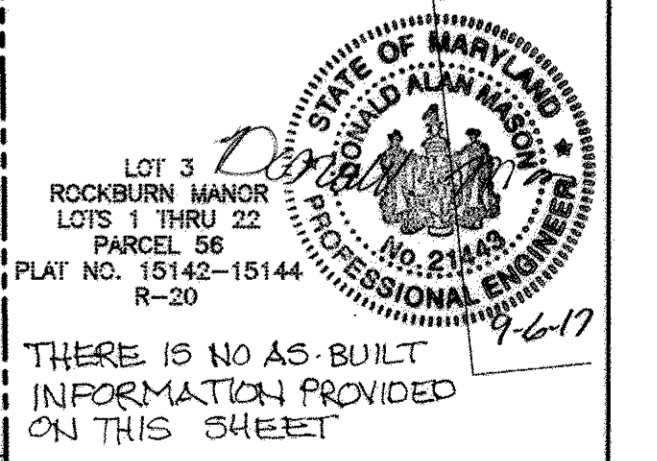
FIRST ELECTION DISTRICT

HOWARD COUNTY

LAYOUT, DIMENSION AND STRIPING PLAN

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21443 Expiration Date: 12-21-18



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

MILDENBERG, BOENDER & ASSOC., INC.

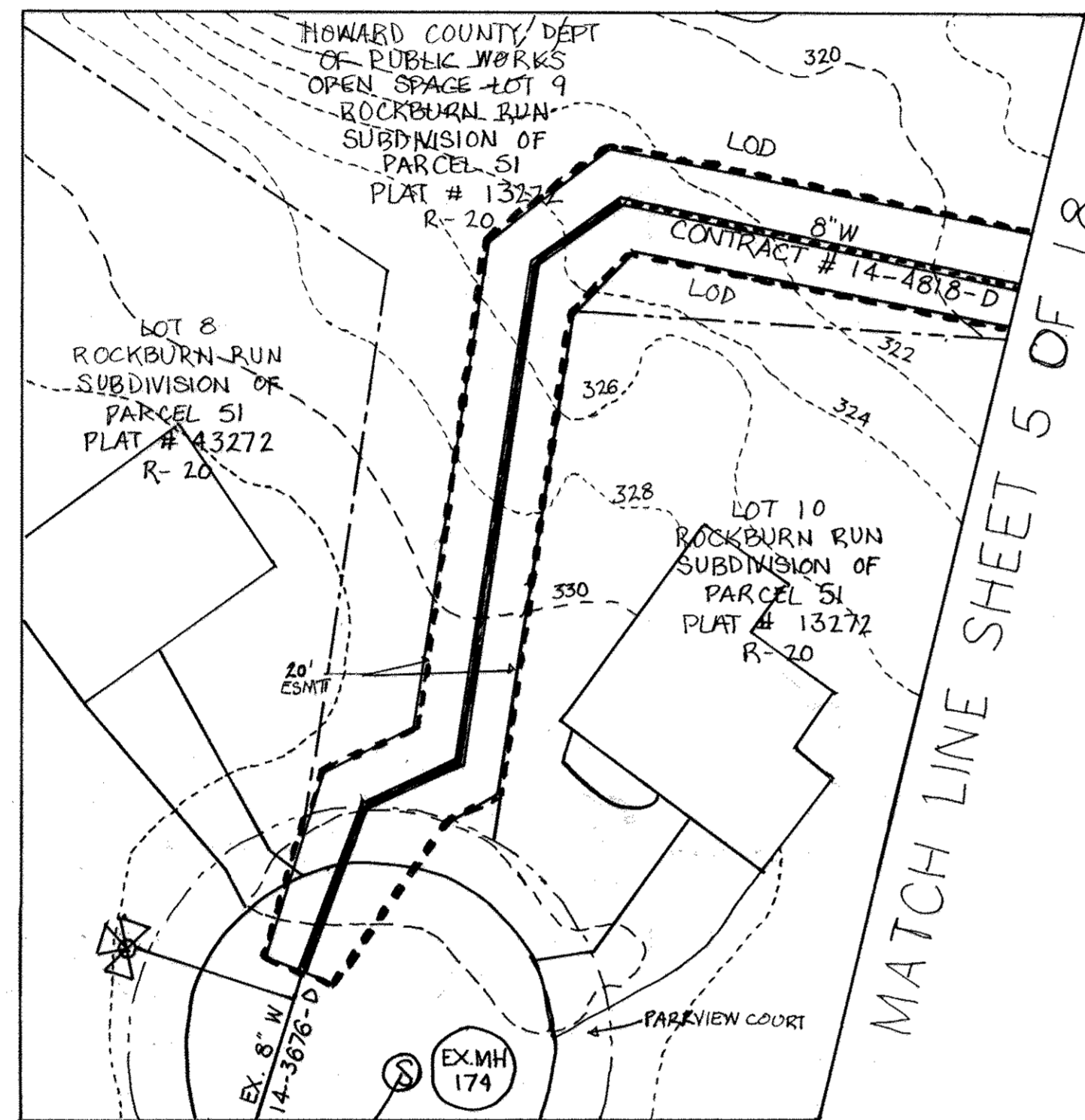
Engineers Planners Surveyors

7950-B Crags Drive, Columbia, Maryland 21044

(410) 997-0298 Fax

LEGEND

- ⑧ LOT NUMBER
- A+ LOT TYPE
- ↓ LIMITS OF WETLANDS
- ▨ LIMITS OF 100-YEAR FLOODPLAIN
- 289.20 100-YEAR FLOODPLAIN ELEVATION
- EXISTING STREAM
- RETAINING WALL (3' OR LESS IN HEIGHT)
- ▨ FOREST CONSERVATION EASEMENT
- CONCRETE SIDEWALK
- ASPHALT WALKING PATH
- ⊗ GAZEBO (SEE SHEET 2)



OFF-SITE LOD PLAN

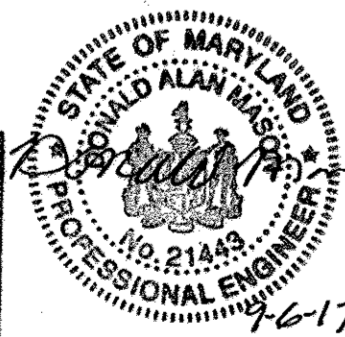
SCALE: 1" = 30'

NOTE: ROAD CONSTRUCTION DRAWINGS FOR F-98077/ROCKBURN RUN HAVE BEEN RED-LINED TO SHOW THE PROPOSED WATER UTILITY ALIGNMENT AND ABANDONMENT OF .08 AC OF FOREST CONSERVATION EASEMENT AREA ON D.S. LOT 9 AND LOT 10. AND TO REVISE THE REAR B.C.L. ON LOT 10. A FEE-IN-LIEU FOR FC ABANDONMENT WILL BE PROVIDED WITH RECORDATION OF A PLAT OF REVISION FOR ROCKBURN RUN.

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21443 Expiration Date: 12-01-18

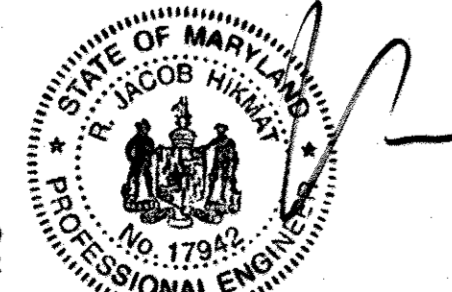


Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

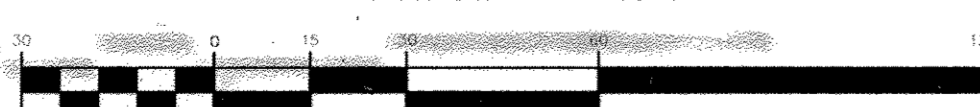
License No. 22370 Expiration Date: 6/30/17

OWNER/DEVELOPER

ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELK RIDGE, MD 21075
(410) 574-2441



GRAPHIC SCALE



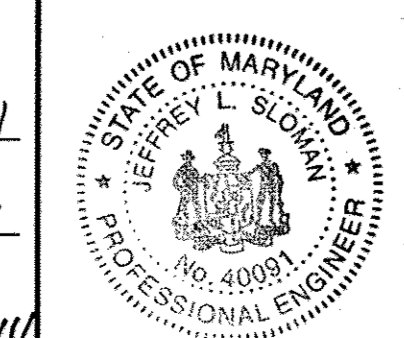
(IN FEET)
1 inch = 30 ft

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
11-3-14
DATE

Chief, Division of Land Development
11-12-14
DATE

Director
11-13-14
DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 40091, EXP DATE 2/13/15.

9/18/14
DATE

JEFFREY SLOMAN, P.E.

OPEN SPACE LOT 9
ROCKBURN RUN
A SUBDIVISION OF
PARCEL 51
PLAT NO. 13272

FOREST CONSERVATION EASEMENT 'A'
AREA = 3.42 AC.
(RETENTION - DOES NOT INCLUDE FLOODPLAIN)

EXISTING OPEN SPACE LOT 47 ENCLAVE AT PARK FOREST PLAT 23026-1 ZONED R-20 OWNED AND MAINTAINED BY THE HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS

FOREST CONSERVATION EASEMENT 'A'
AREA = 3.42 AC.
(RETENTION - DOES NOT INCLUDE FLOODPLAIN)

EXISTING OPEN SPACE LOT 47 ENCLAVE AT PARK FOREST PLAT 23026-1 ZONED R-20 OWNED AND MAINTAINED BY THE HOWARD COUNTY DEPARTMENT OF RECREATION AND PARKS

OPEN SPACE LOT 7
ROCKBURN MANOR HC
PLAT NO. 15142-1514-R-20

LOT 8
ROCKBURN MANOR LOTS 1 THRU 22
PARCEL 56
PLAT NO. 15142-1514-R-20

LOT 9
ROCKBURN MANOR LOTS 1 THRU 22
PARCEL 56
PLAT NO. 15142-1514-R-20

LOT 10
ROCKBURN MANOR LOTS 1 THRU 22
PARCEL 56
PLAT NO. 15142-1514-R-20

LOT 11
ROCKBURN MANOR LOTS 1 THRU 22
PARCEL 56
PLAT NO. 15142-1514-R-20

LOT 13
ROCKBURN MANOR LOTS 1 THRU 22
PARCEL 56
PLAT NO. 15142-1514-R-20

TAX MAP 37
PARCEL 235
HOWARD COUNTY
DEPT. OF PARKS & REC.
L. 735 F. 505
R-20

MATCHLINE SHEET 3

project	07-022	date	SEP 2014
illustration	JLS	engineering	JLS
scale	1"=90'	approval	RH

no.	description	revisions
1	REVISE LOT NUMBERS TO MATCH BOENDER & ASSOC. E-10-14	
2	REVISE LOCATION OF ASPHALT PATH AND GAZEBO	
3	ADJUST SITE LOD PLAN	

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 45, 46-7, 27-31, AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
LAYOUT, DIMENSION AND STRIPING PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850-B Cones Drive, Columbia, Maryland 21044
(410) 997-0296 Fax (410) 997-0296 Bldg.

MATCHLINE THIS SHEET

O.S. LOT 46

OPTIONAL DECKS NOT SHOWN ON THIS SHEET FOR CLARITY. SEE SHEETS 2 AND 3 FOR OPTION DECK LOCATIONS AND DIMENSIONS.

SEE SHEET 3 FOR PVIOUS CONCRETE LIMITS

SEE SHEETS 3 AND 4 FOR STRIPING, CURB AND PAVEMENT TYPES AND STATIONING.

SEE SHEET 14 FOR CURB TRANSITION DETAIL AT INLETS

STORMWATER MANAGEMENT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

SEE SHEETS 3 AND 4 FOR BEARING AND DISTANCES OF LOT LINES

Professional Certificate... License No. 22370... Expiration Date: 6/30/17



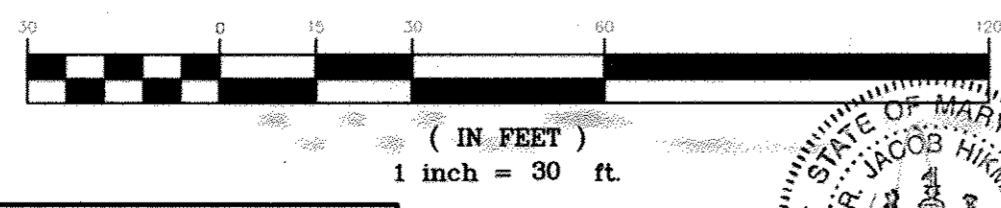
SOILS DESCRIPTION

Table with columns: DESIGNATION, HYDROLOGICAL GROUP, DESCRIPTION. Rows include CaB, CaC, Fa, Rsb, Rsc, Rub.

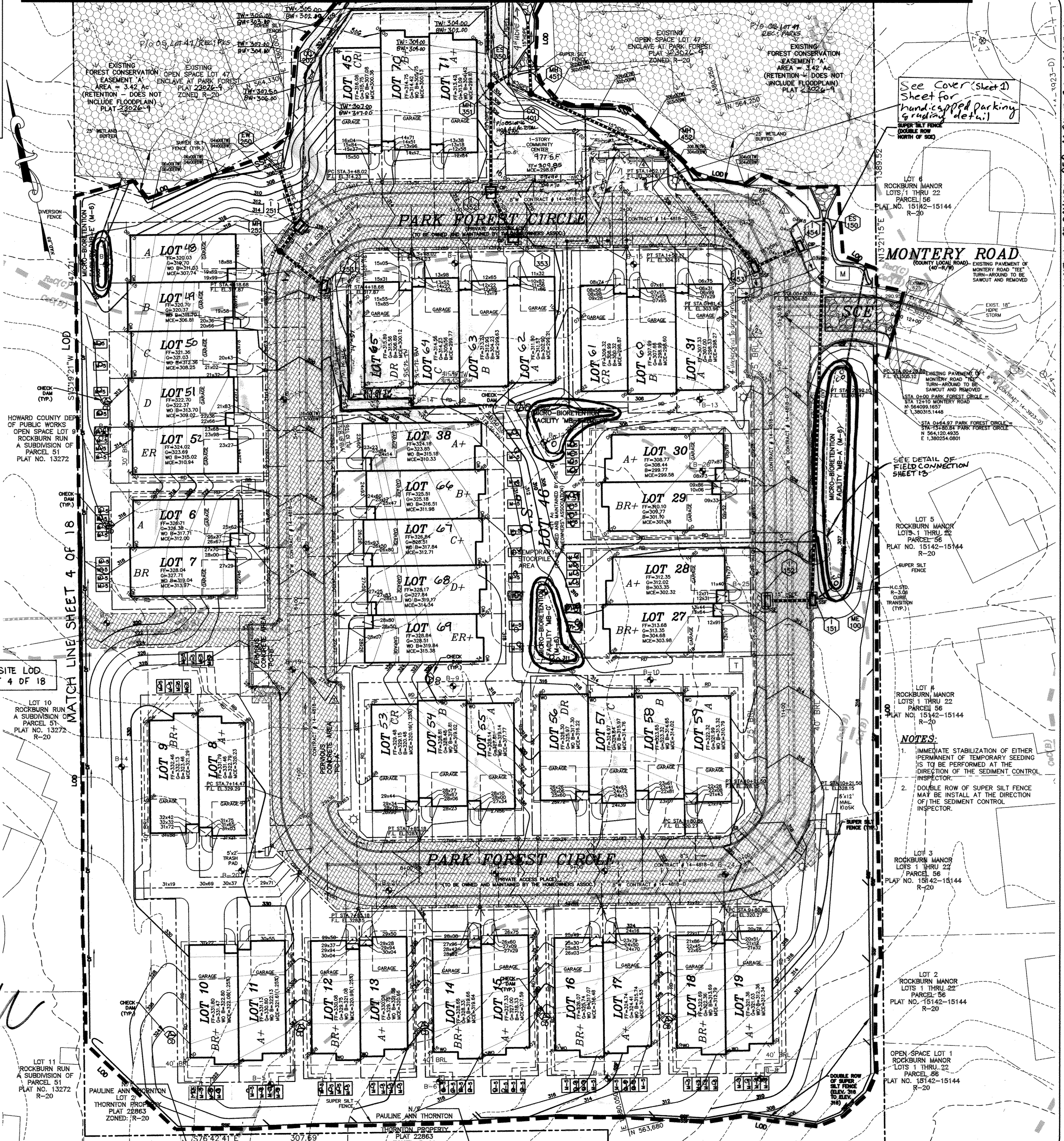
SHC INVERT AT EASEMENT

Table with columns: LOT, INVERT. Lists lot numbers 48 through 56 and their corresponding invert elevations.

GRAPHIC SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP. DATE 2/13/15.



See Cover (Sheet 1) for hand-drawn parking grading detail.

SEE DETAIL OF FIELD CONNECTION SHEET 13

NOTES: 1. IMMEDIATE STABILIZATION OF EITHER PERMANENT OR TEMPORARY SEEDING IS TO BE PERFORMED AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR. 2. DOUBLE ROW OF SUPER SILT FENCE MAY BE INSTALL AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

LEGEND

- LOT NUMBER, LOT TYPE, LIMITS OF WETLANDS, LIMITS OF 100-YEAR FLOODPLAIN, 100-YEAR FLOODPLAIN ELEVATION, EXISTING STREAM, SOIL DIVISION LINE, CONTOUR LINE, EXISTING CONTOUR LINE, SPOT ELEVATION, ELEVATION ON HIGH SIDE OF WALL, ELEVATION ON LOW SIDE OF WALL, LIMIT OF DISTURBANCE, RETAINING WALL (3' OR LESS IN HEIGHT), FOREST CONSERVATION EASEMENT, EXISTING PAVEMENT OF MONTEREY ROAD, SOIL BORING LOCATION, PUBLIC WATER AND SEWER EASEMENT, RECORD UNDER L 15154, F 110.

AS-BUILT CERTIFICATION... Donald Mason, P.E. 02/15/17

OWNER/DEVELOPER

ROCK BURR, LLC (MARK LEVY, MANAGING MEMBER) 6800 DEERPATH ROAD SUITE 100 ELKRODGE, MD 21075 (410)579-2442

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO PERIODIC ON-SITE INSPECTION.

Signature of Developer: Mark Levy, Rock Burr, LLC. Date: 9/27/14

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: Jeffrey Sloman, P.E. Date: 9/18/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Howard Soil Conservation District Director: John R. Robertson. Date: 10/28/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature of Chief, Development Division: [Signature]. Date: 11-7-14

Signature of Chief, Division of Land Development: [Signature]. Date: 11-12-14

Signature of Director: [Signature]. Date: 11-13-14

Project information table with columns: project, date, illustration, scale, approval, date.

- 1. UPDATE LOCATIONS OF DRYWELLS PER AS-BUILT C.O. LOCATIONS. 2. SHOW 5' TALLEST TALLEST LOT... 3. REVISE LOT LINES TO MATCH REVISIONS... 4. REVISE LOT LINES TO MATCH REVISIONS... 5. REVISE LOT LINES TO MATCH REVISIONS... 6. REVISE LOT LINES TO MATCH REVISIONS...

THE ENCLAVE AT PARK FOREST... TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5

GRADING AND SEDIMENT AND EROSION CONTROL PLAN

MILDENBERG, BOENDER & ASSOC., INC. Surveyors, Planners, Engineers. 7950-B Creeks Drive, Columbia, Maryland 21044 (410) 997-0296 Fax.

5 OF 18 SDP-13-085

LEGEND

- ⑧ LOT NUMBER
- A+ LOT TYPE
- ↓ LIMITS OF WETLANDS
- ▨ LIMITS OF 100-YEAR FLOODPLAIN
- 289.20 100-YEAR FLOODPLAIN ELEVATION
- EXISTING STREAM
- SoC(B) SOIL DIVISION LINE
- CeC(B) CONTOUR LINE
- EXISTING CONTOUR LINE
- 32+42 SPOT ELEVATION
- 17600(16) ELEVATION ON HIGH SIDE OF WALL
- 17600(16) ELEVATION ON LOW SIDE OF WALL
- LOD LIMIT OF DISTURBANCE
- RETAINING WALL (3' OR LESS IN HEIGHT)
- FOREST CONSERVATION EASEMENT
- B-3 SOIL BORING LOCATION
- CP CURB INLET PROTECTION
- CD CHECK DAM
- SSF SUPER SILT FENCE
- DF DIVERSION FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE

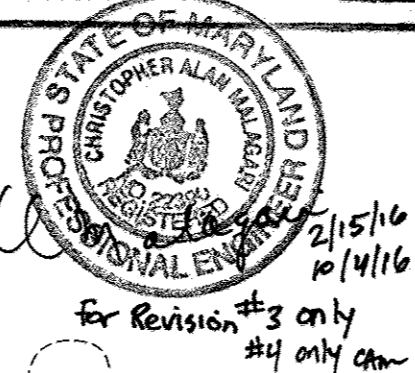
SEE SHEETS 3 AND 4 FOR STRIPING, CURB AND PAVEMENT TYPES AND STATIONING.

ALL STORMWATER MANAGEMENT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

SEE SHEET 3 FOR PERVIOUS CONCRETE LIMITS

SEE SHEETS 3 AND 4 FOR BEARING AND DISTANCES OF LOT LINES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22370 Expiration Date: 6/30/17



AS-BUILT CERTIFICATION
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications
Date: 9-6-17
Donald Mason, P.E. *Donald M*

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443 Expiration Date: 12-21-19



SOILS DESCRIPTION

DESIGNATION	HYDROLOGICAL GROUP	DESCRIPTION
CeB	B	CHILLUM LOAM, 2 TO 5% SLOPE
CeC	B	CHILLUM LOAM, 5 TO 10% SLOPE
Fa	D	FALLSINGTON SANDY LOAM, 0 TO 2% SLOPE
ReB	C	RUSSETT FINE SANDY LOAM, 2 TO 5% SLOPE
ReC	C	RUSSETT FINE SANDY LOAM, 5 TO 10% SLOPE
RuB	C	RUSSETT AND BELTSVILLE SOILS, 5 TO 10% SLOPE

B-4.4 STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREA
Definition
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.
Purpose
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.
Conditions Where Practice Applies
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.
Criteria
1. The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
2. The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Rebuilding must be provided in accordance with Section B-3 Land Grading.
3. Runoff from the stockpile area must drain to a suitable sediment control practice.
4. Access to the stockpile area from the opposite side.
5. Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provision must be made for discharging concentrated flow in a non-erosive manner.
6. Where runoff concentrates along the toe of the stockpile, an appropriate erosion/sediment control practice must be used to intercept the discharge.
7. Stockpiles must be stabilized in accordance with the 37 day stabilization requirement as well as Standard B-4.1 Incremental Stabilization and Standard B-4.4 Temporary Stabilization.
8. If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impermeable sheeting.
Maintenance
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 30 feet for the 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, bonding must be provided in accordance with Section B-3 Land Grading.

OWNER/DEVELOPER

ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELK RIDGE, MD 21075
(410)579-2442

DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO PERIODIC ON-SITE INSPECTION.

Mark Levy 9/22/14
SIGNATURE OF DEVELOPER DATE
MARK LEVY, ROCK BURN, LLC
PRINTED NAME OF DEVELOPER

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Jeffrey L. Sloman 9/18/14
SIGNATURE OF ENGINEER DATE
JEFFREY SLOMAN, P.E.
PRINTED NAME OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Roberts 10/28/14
HOWARD SOIL CONSERVATION DISTRICT DATE

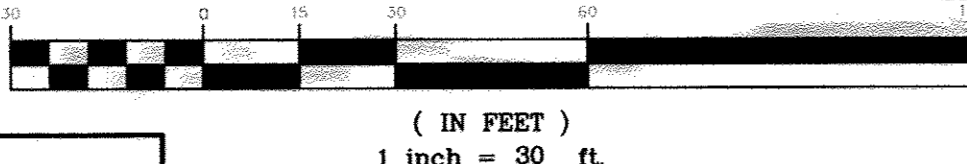
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chad Edmiston 11-3-14
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

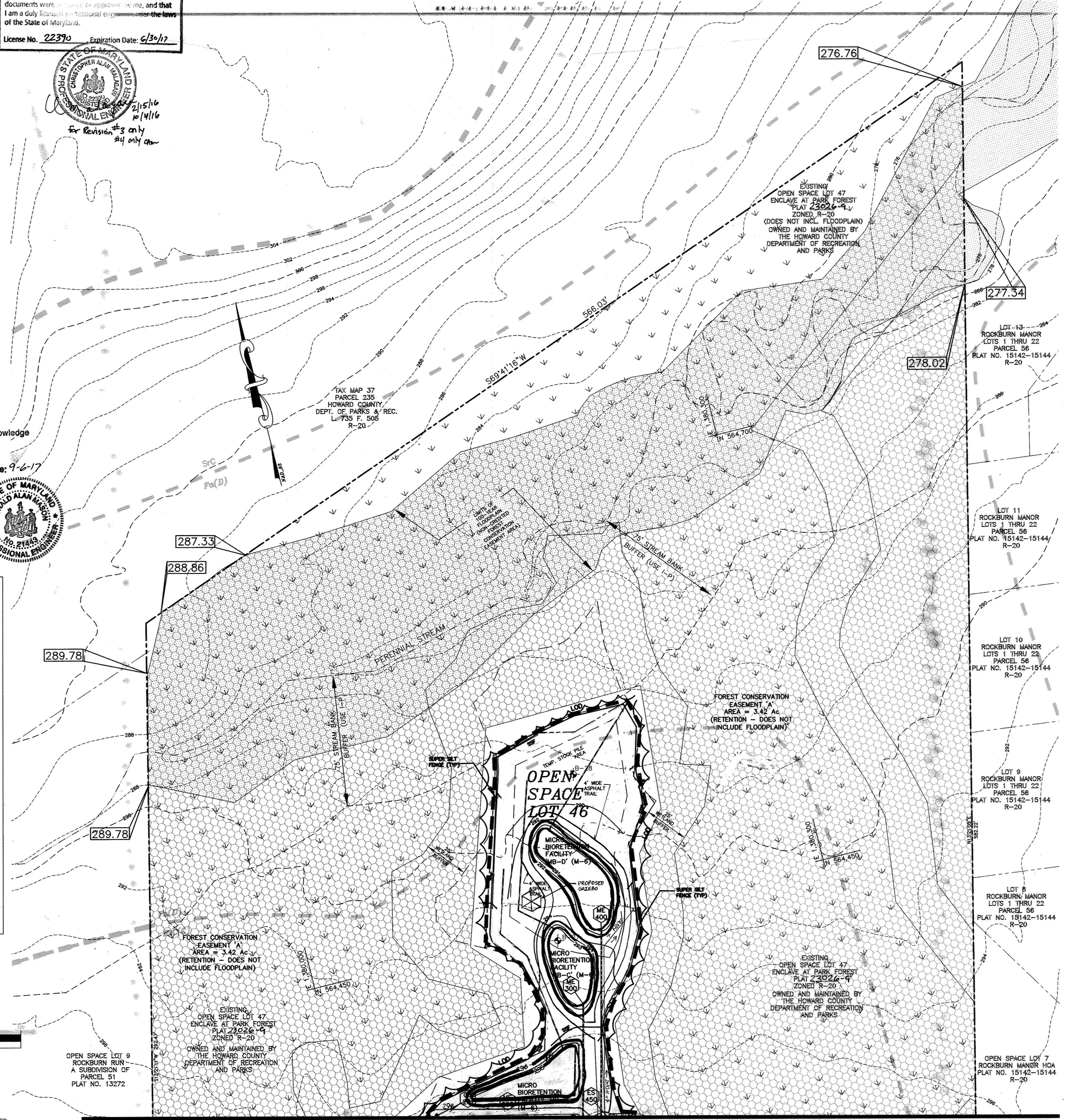
Ke O'Sullivan 11-2-14
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Quintus Lewis 11-13-14
DIRECTOR DATE

GRAPHIC SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 40091, EXP. DATE 2/13/15.
Jeffrey L. Sloman 9/18/14
JEFFREY SLOMAN, P.E. DATE



MATCHLINE SHEET 5

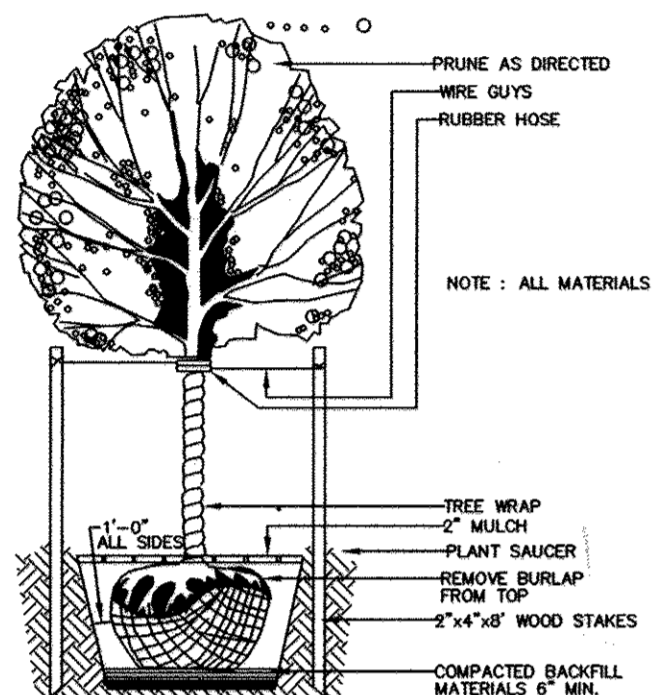
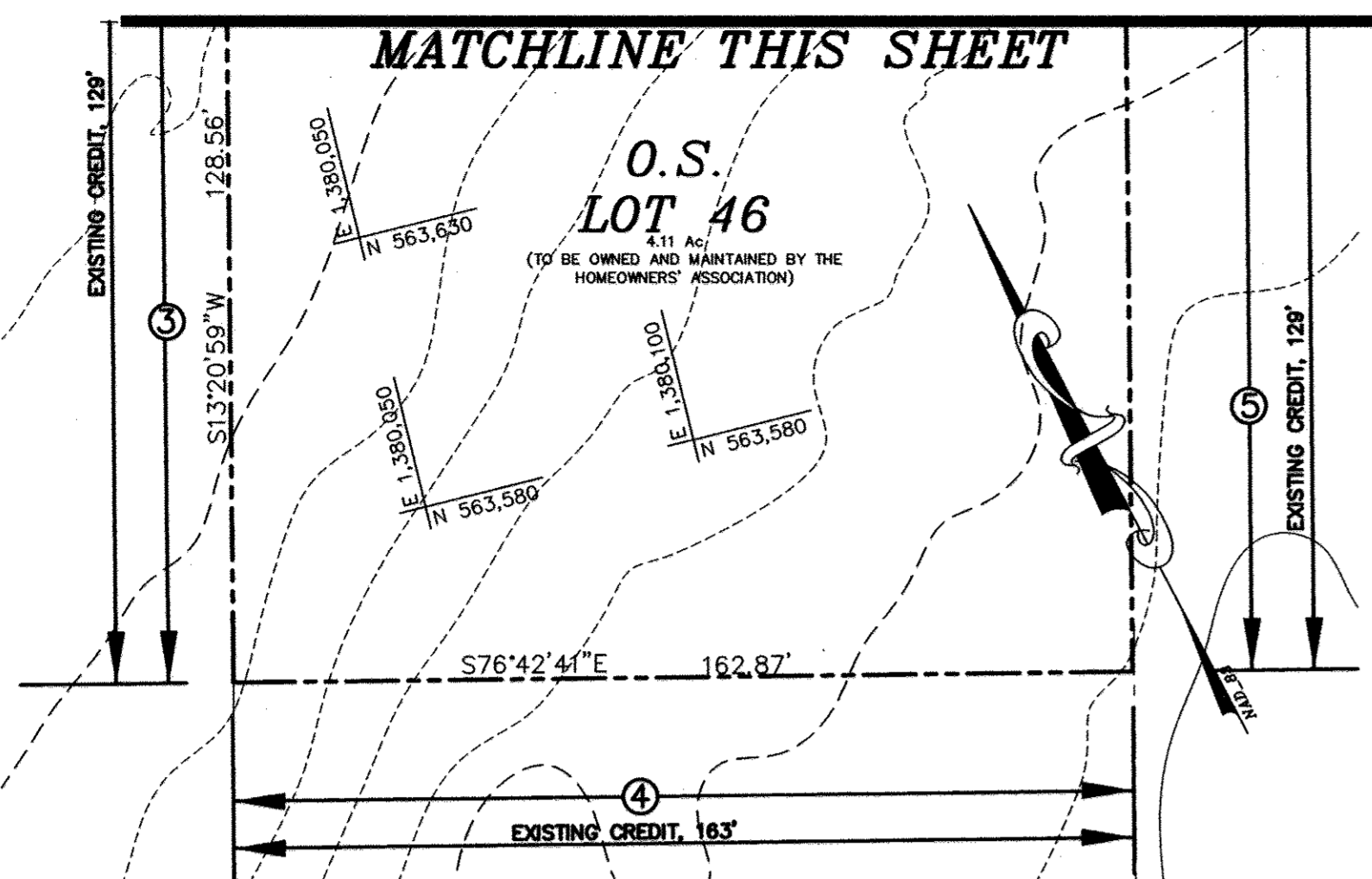
project	07-022	date	SRP 2014
illustration	10-4-16	engineering	JLS
scale	2-10-16	approval	RH
description	1/1/2015	date	1"=30'

4	Add 4' Underdrain Lot 21	10-4-16	1/1/2015
3	REVISE LOT NUMBER TO MATCH DESIGN PLAN	2-10-16	1/1/2015
1	REVISE LOT NUMBER TO MATCH DESIGN PLAN	2-10-16	1/1/2015

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 6-9, 27-31 AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54, BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
GRADING AND SEDIMENT AND EROSION CONTROL PLAN

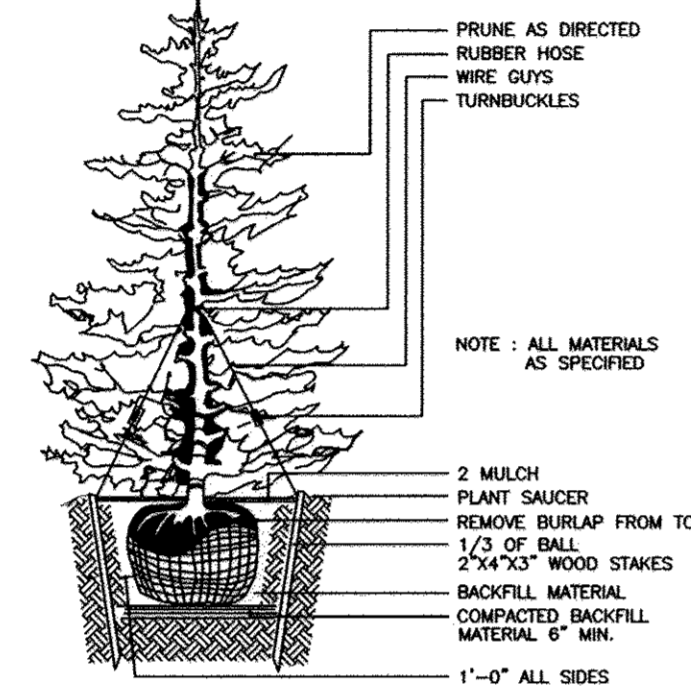
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7350-B Grace Drive, Columbia, Maryland 21044
(410) 997-0286 Fax

AS-BUILT



DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE



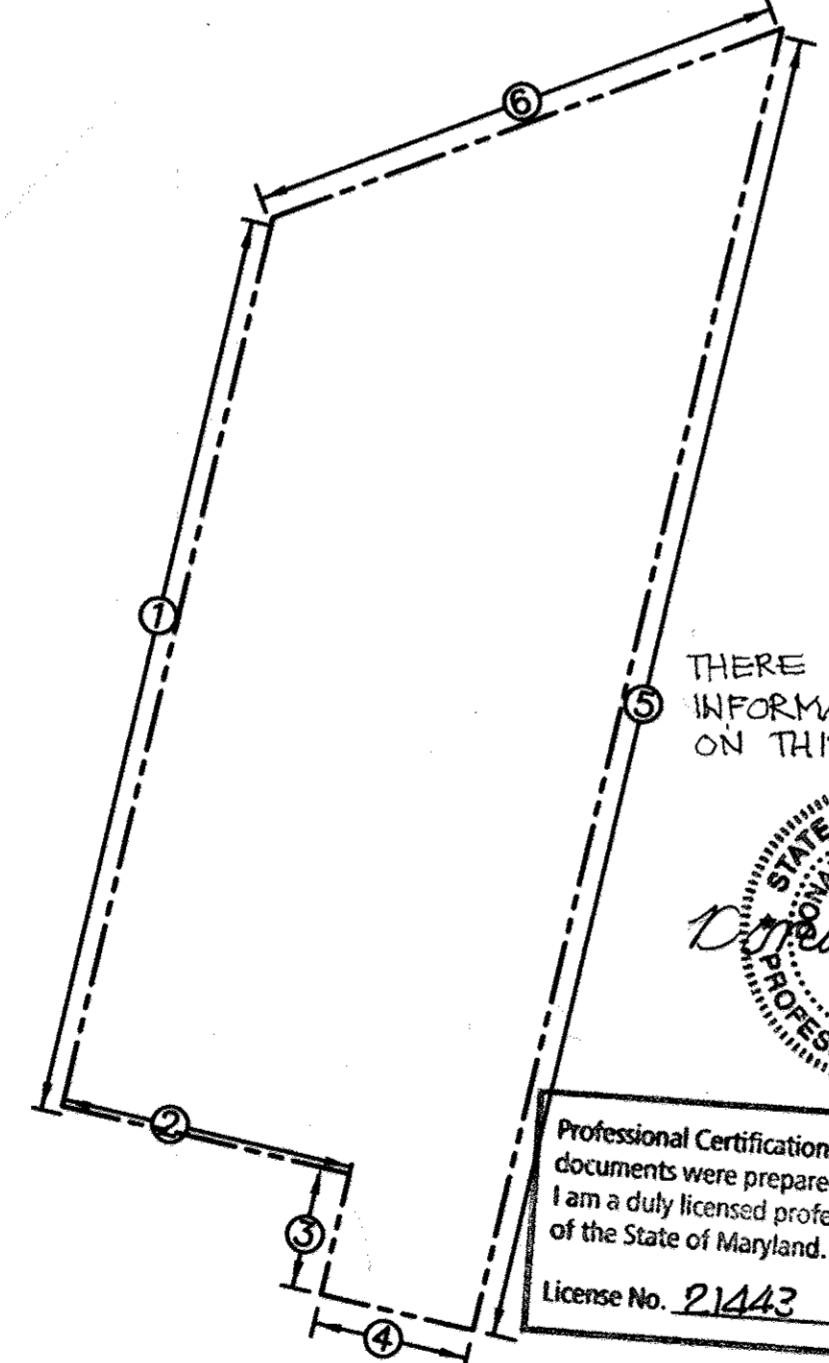
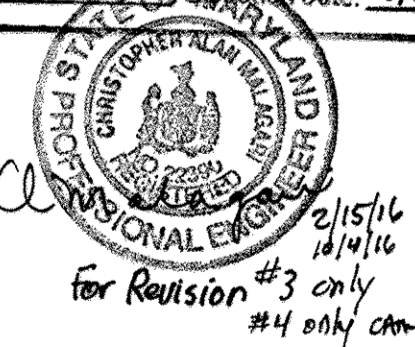
TYPICAL EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE

SEE SHEET 14 FOR MICRO-BIORETENTION FACILITY PLANTINGS

PROPOSED WATER AND SEWER NOT SHOWN ON THIS SHEET FOR CLARITY

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22370
Date: 6/30/17



LANDSCAPE PERIMETER PLAN

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

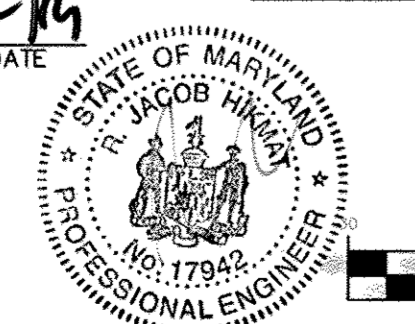
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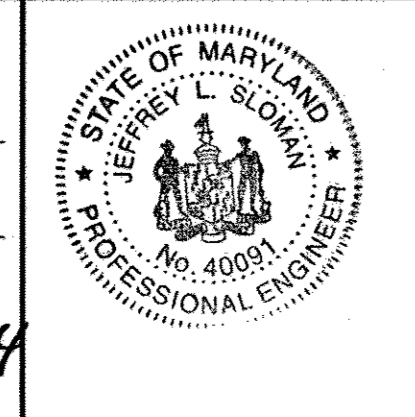
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443
Expiration Date: 12-21-19

DEVELOPER'S/OWNER'S CERTIFICATE
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

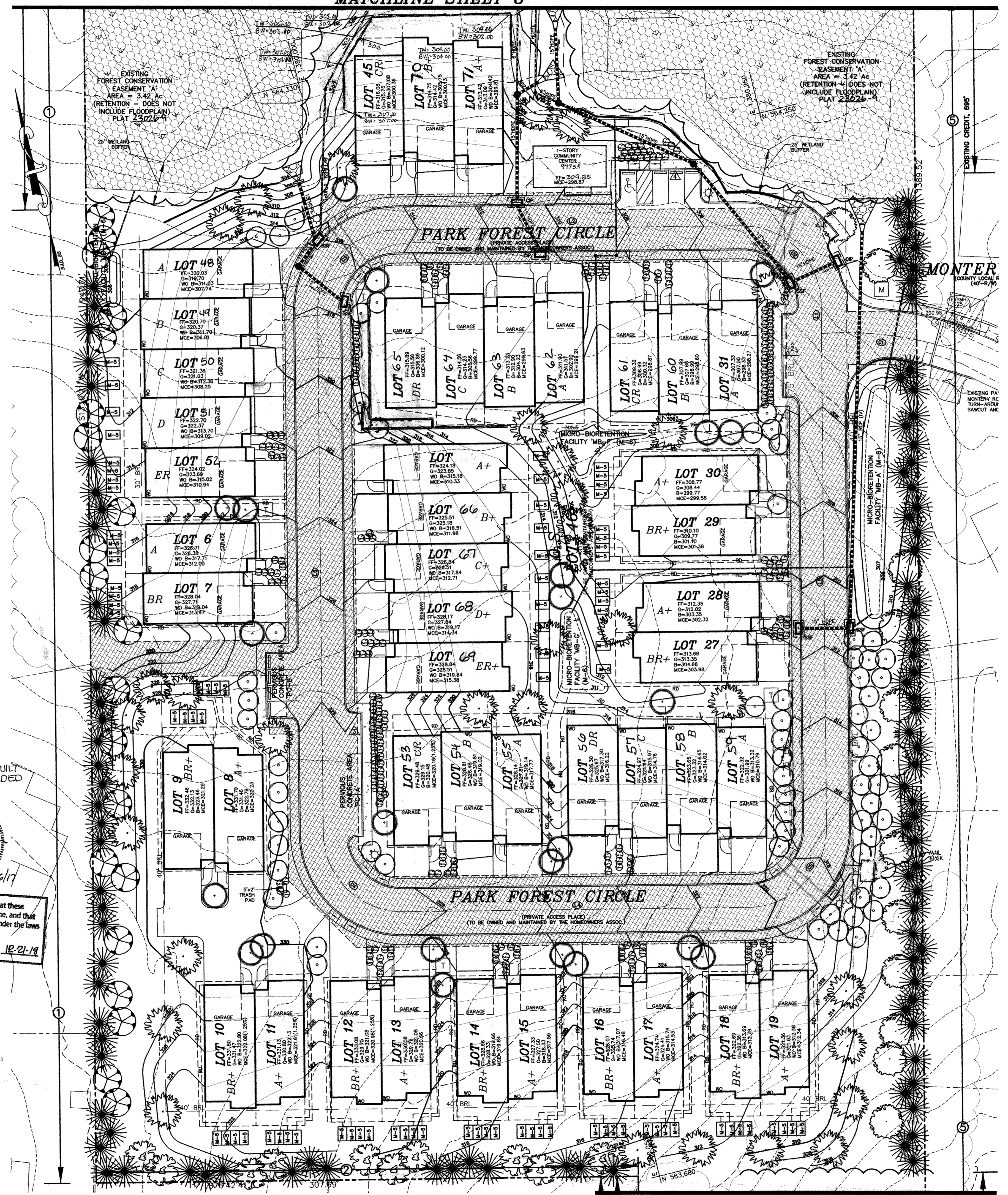
OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELKRIEDE, MD 21075
(410)579-2442



APPROVED: DEPARTMENT OF PLANNING AND ZONING
11-3-14
11-12-14
11-13-14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.
9/11/14
JEFFREY L. SLOMAN, P.E. DATE



project	date	description	revisions
07-022	SEP 2014	illustration	JLS approval
10-4-16	10-15-16	REVISE LOT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	JLS approval

no.	description	date
1	ADD 3\"/>	10-15-16
2	REVISE LOT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	10-15-16
3	REVISE LOT 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	10-15-16
4	REVISE SETBACK ON O.S. LOT 46	10-4-16

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 6-11, 27-31, AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
LANDSCAPE PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850-B Croce Drive, Columbia, Maryland 21044
(410) 997-0298 Fax

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO PERIMETER PROPERTIES						TOTAL
LANDSCAPE TYPE	C+ (PERIMETER 1)*	C+ (PERIMETER 2)*	C+ (PERIMETER 3)*	C+ (PERIMETER 4)*	D (PERIMETER 5)	C+ (PERIMETER 6)*	
LINEAR FEET OF PERIMETER	948 LF	308 LF	129 LF	163 LF	1,390 LF	566 LF	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	YES, 347 LF	N/A	YES, 129 LF	YES, 163 LF	YES, 824 LF	YES, 566 LF	N/A
NUMBER OF PLANTS REQUIRED							
SHADE TREES	21	10	0	0	10	0	41
EVERGREEN TREES	31	15	0	0	57	0	103
SHRUBS	0	0	0	0	0	0	0
CREDIT FOR EXISTING VEGETATION							
SHADE TREES	N/A	N/A	N/A	N/A	N/A	N/A	N/A
EVERGREEN TREES							
SHADE TREES	21	10	0	0	10	0	41
EVERGREEN TREES	31	15	0	0	57	0	103
SHRUBS	0	0	0	0	0	0	0

NOTE: FOR THE "C+" BUFFER THE NUMBER OF REQUIRED SHADE TREES WAS CALCULATED USING 1 SHADE TREE PER 30 FEET INSTEAD OF 1 PER 40 FEET

LANDSCAPE NOTES

- NO CLEARING OF EXISTING VEGETATION IS PERMITTED WITHIN THE LANDSCAPE EDGE FOR WHICH CREDIT IS BEING TAKEN; HOWEVER, LANDSCAPE MAINTENANCE IS AUTHORIZED.
- THE OWNER, TENANT AND / OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- SHOULD ANY TREE DESIGNATED FOR PRESERVATION, FOR WHICH CREDIT IS GIVEN, BE REMOVED OR DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT SPECIES OR WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE LANDSCAPE MANUAL.
- PERIMETER LANDSCAPING, BOARD OF APPEALS REQUIREMENTS AND LOT PLANTINGS IN ACCORDANCE WITH SECTION 16.124 OF THE LANDSCAPE MANUAL SHALL BE PROVIDED BY THE INSTALLATION OF 149 SHADE TREES, 103 EVERGREEN TREES, AND 360 SHRUBS. SURETY IN THE AMOUNT OF \$70,950.00 SHALL BE POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SITE DEVELOPMENT PLAN, SDP-13-085.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443 Expiration Date: 12-21-18



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

LANDSCAPE PLANT LIST (SCHEDULES A, B, C)

PERIMETER	QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	10	[Symbol]	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
	10	[Symbol]	QUERCUS RUBRA	RED OAK	2 1/2" - 3" CAL.
	21	[Symbol]	PRUNUS SARGENTII	SARGENT CHERRY	2 1/2" - 3" CAL.
	103	[Symbol]	ILEX OPACA	AMERICAN HOLLY	5' - 6' HT.
INTERNAL	QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	33	[Symbol]	ZELKOVA SERRATA	WILLAGE GREEN JAPANESE ZELKOVA	2 1/2" - 3" CAL.
	22	[Symbol]	CORNUS FLORIDA	WHITE FLOWERING DOGWOOD	8 - 10' HT.
STREET	QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
	53	[Symbol]	CERCIS CANADENSIS	EASTERN REDBUD	1-1.2" - 2" CAL.
	360	[Symbol]	TAXUS MEDIA 'HICKSHI' (TM)	HICKS YEW	2 1/2" - 3" HT.
TOTAL	252 TREES (149 SHADE TREES, 103 EVERGREENS), 360 SHRUBS				

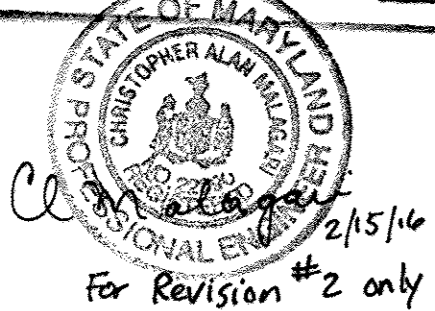
SCHEDULE B : RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

NUMBER OF DWELLING LOTS	45
DWELLING TYPE	SFA
NUMBER OF PLANTS REQUIRED	
SHADE TREES	45
EVERGREEN TREES	0
SHRUBS	0
NUMBER OF PLANTS PROVIDED	
SHADE TREES	33
EVERGREEN TREES	0
OTHER TREES (2:1 SUBSTITUTION)	24
SHRUBS (10:1 SUBSTITUTION)	0
*OTHER TREES ARE SMALL DECIDUOUS TREES	

SCHEDULE C : PRIVATE STREET TREE LANDSCAPING

LINEAR FEET OF ROADWAY	2,660
TYPE OF TREE USED (SMALL, MEDIUM, LARGE)	SMALL
REQUIRED TREE RATIO	1 TREE / 30 LF ROADWAY
NUMBER OF PLANTS REQUIRED	
SHADE TREES	89
EVERGREEN TREES	0
SHRUBS	0
NUMBER OF PLANTS PROVIDED	
SHADE TREES	53
EVERGREEN TREES	0
SHRUBS (10:1 SUBSTITUTION)	360

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22390 Expiration Date: 6/30/17



DEVELOPER'S/OWNER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
8800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
(410)579-2442

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director



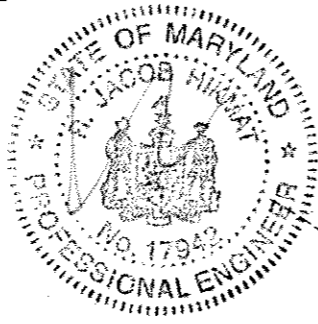
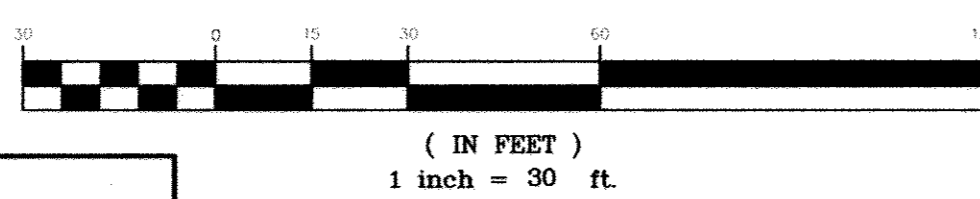
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.
JEFFREY SLOMAN, P.E.

LANDSCAPE PERIMETER PLAN

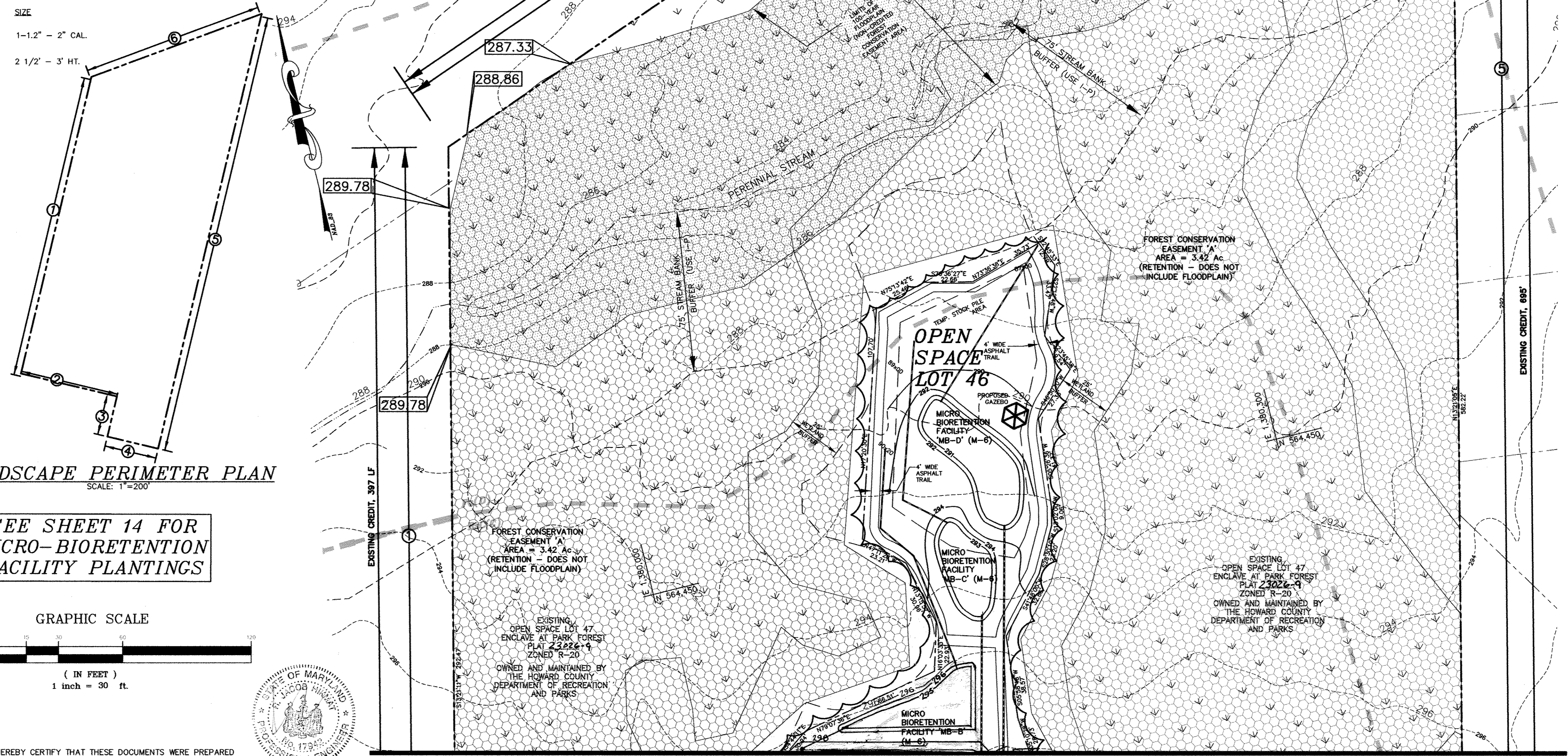
SCALE: 1"=200'

SEE SHEET 14 FOR MICRO-BIORETENTION FACILITY PLANTINGS

GRAPHIC SCALE



DATE: 9/19/14



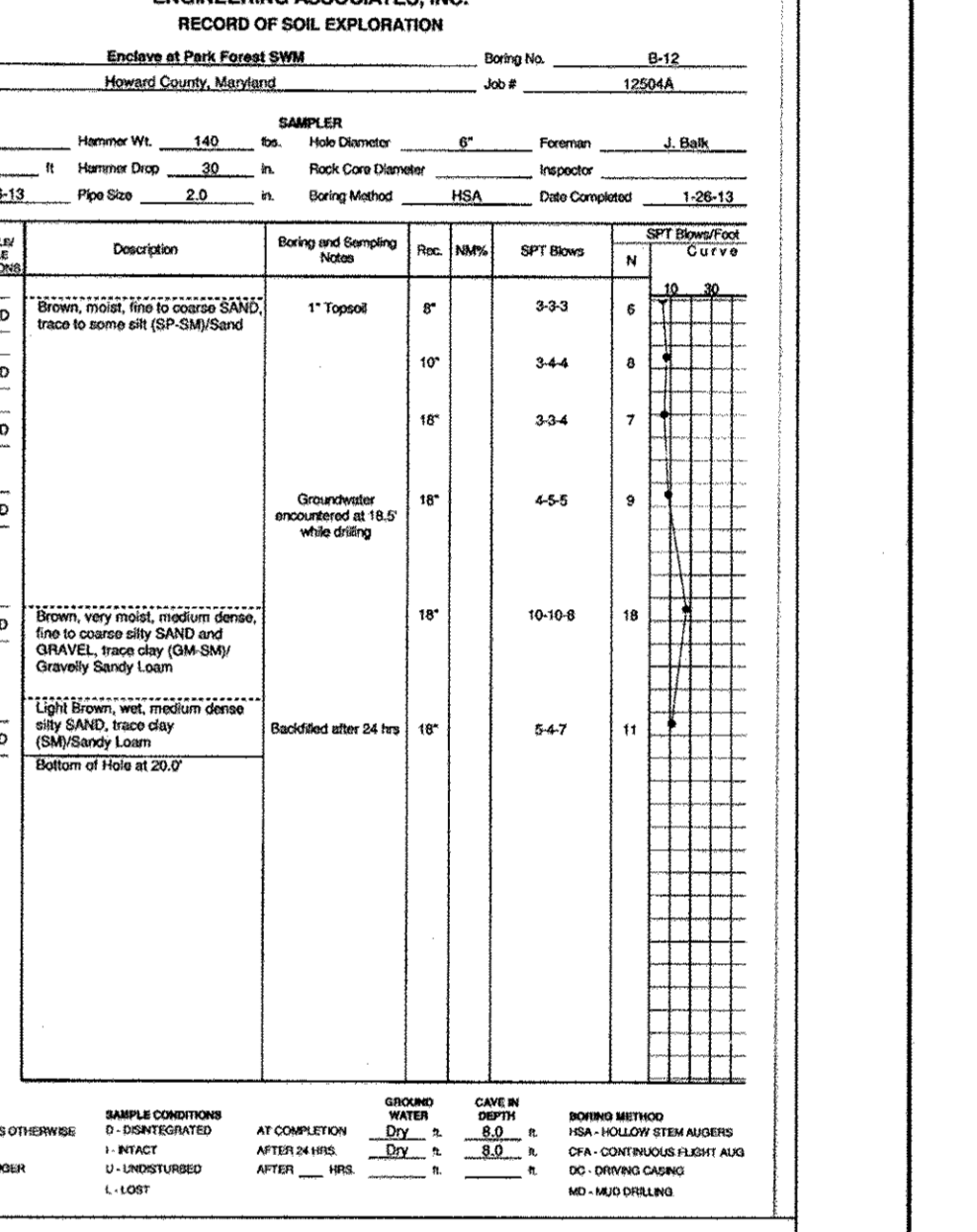
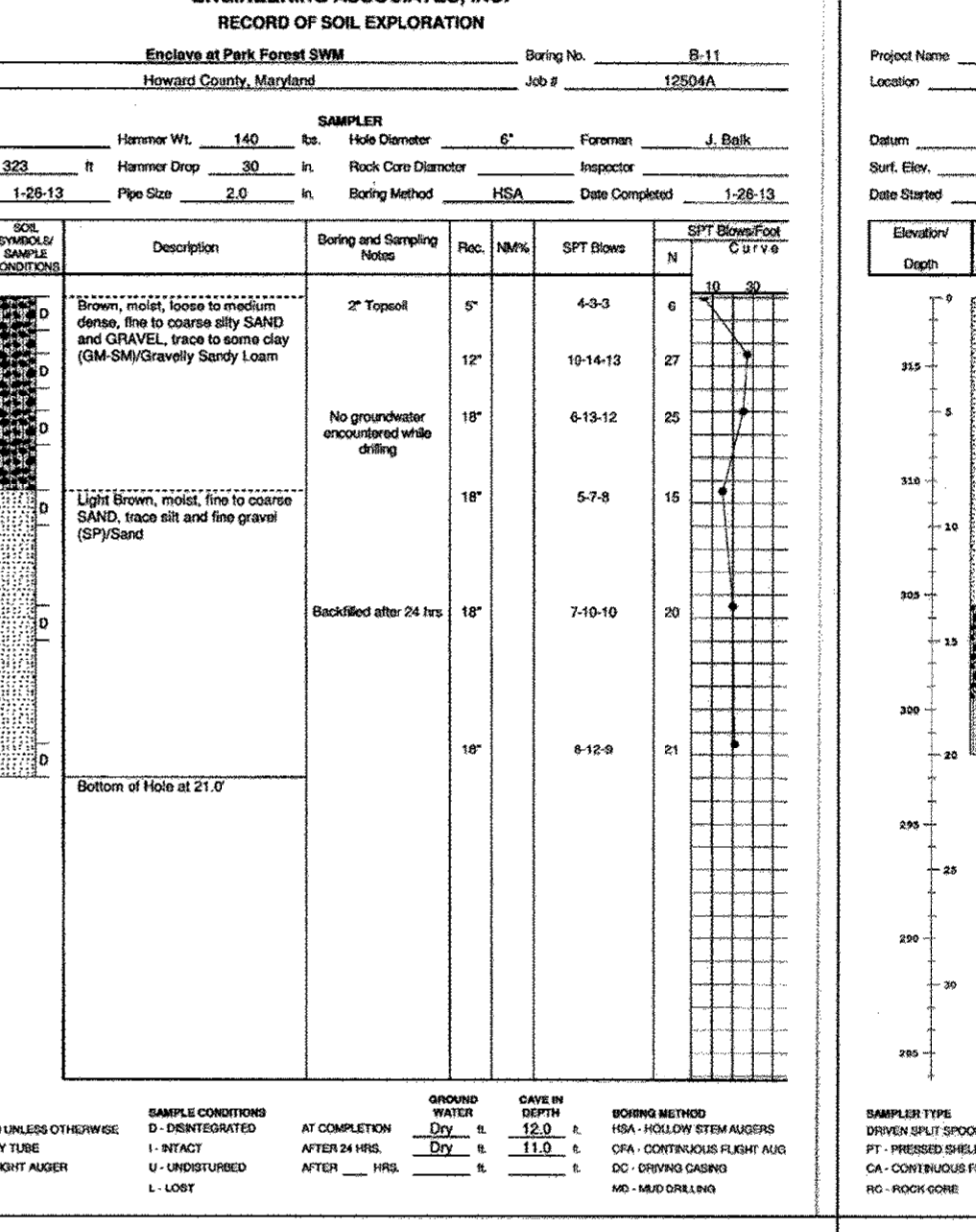
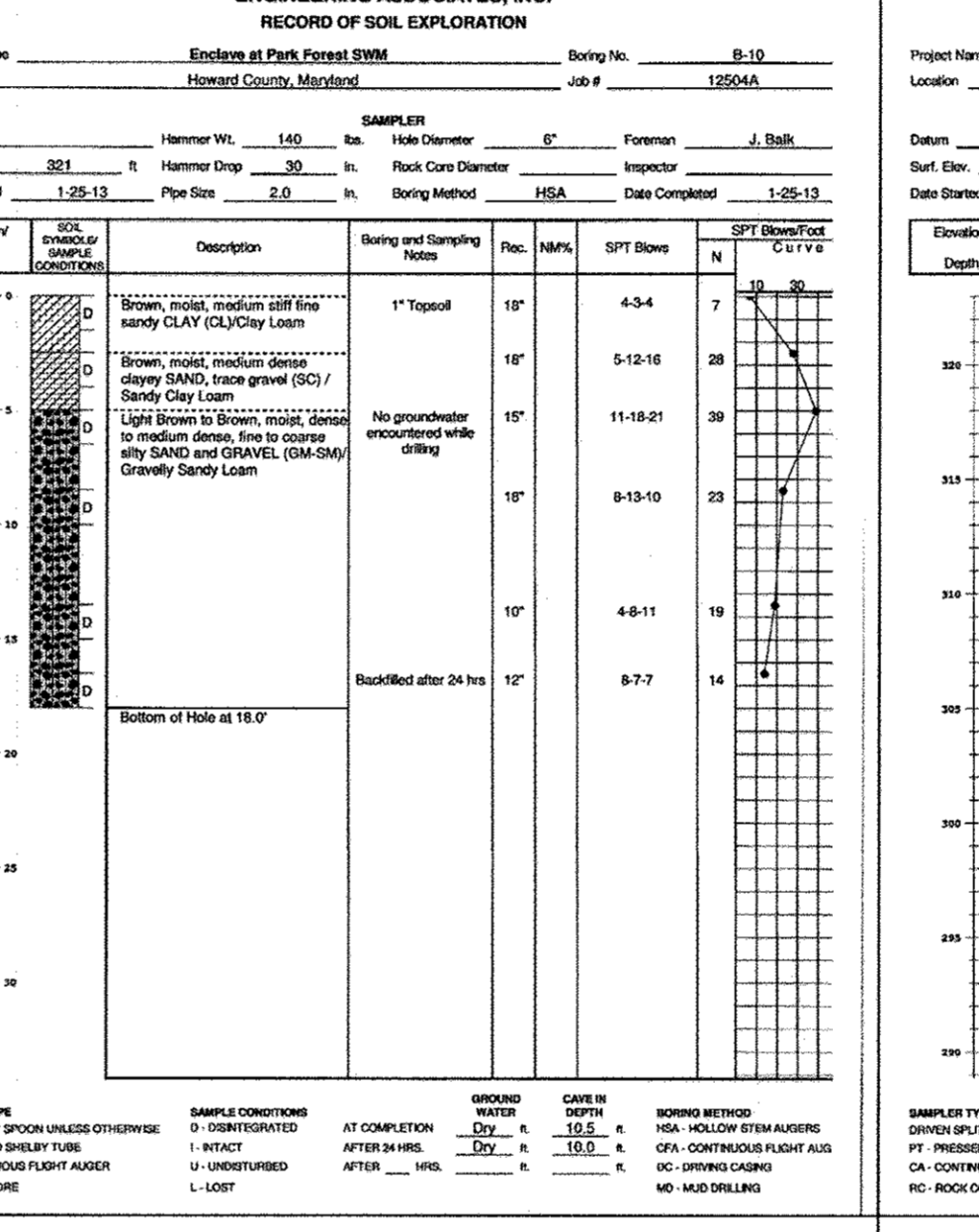
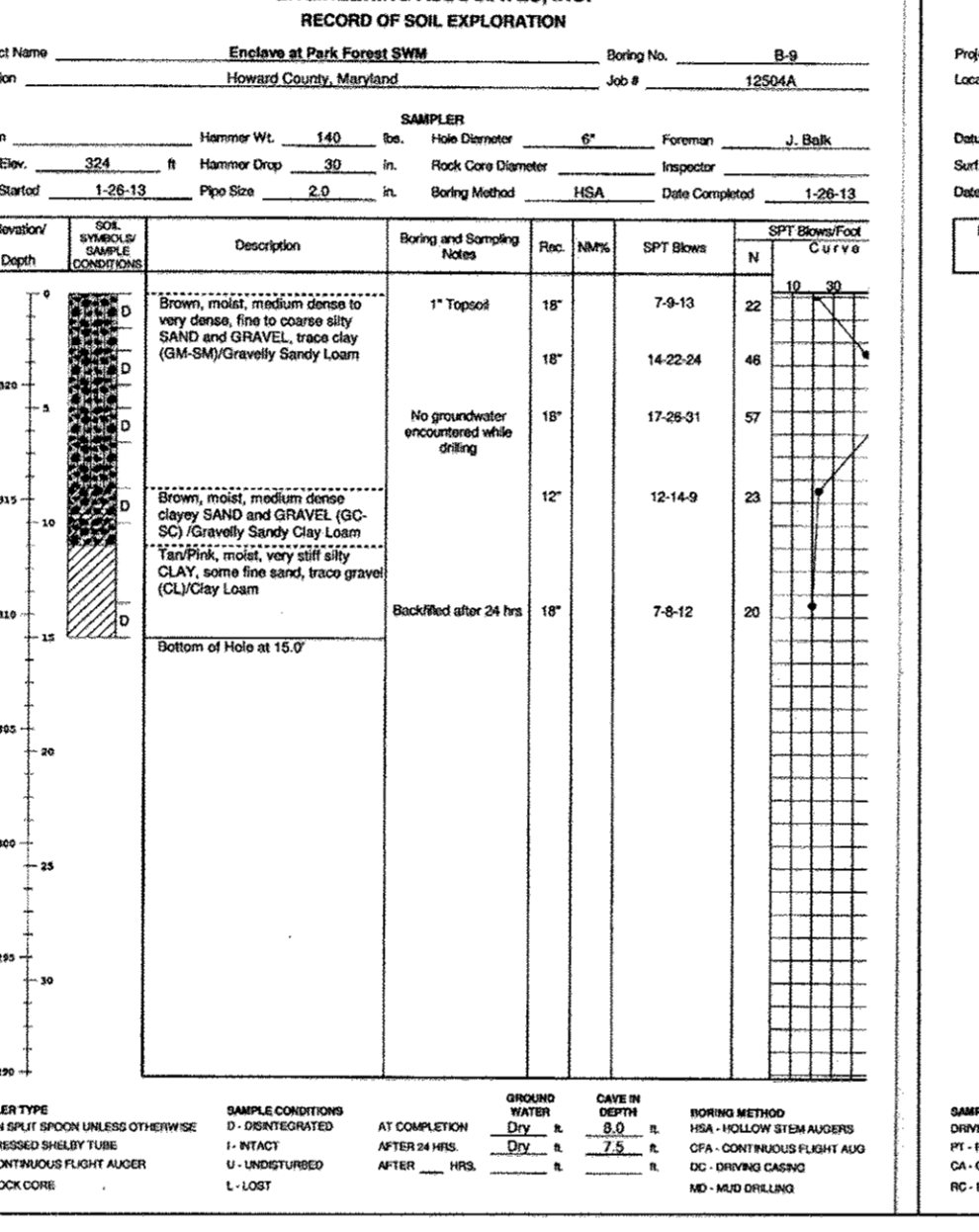
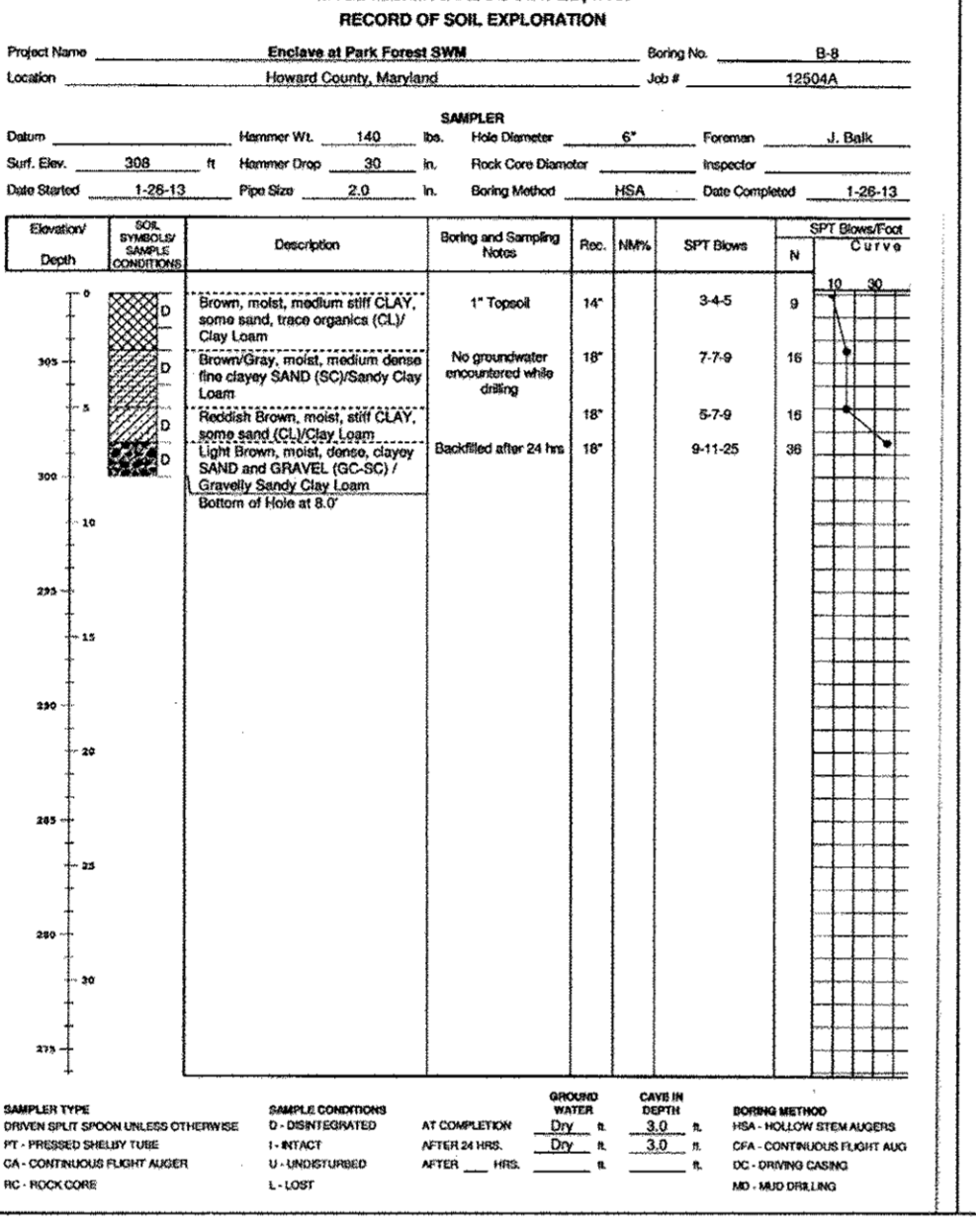
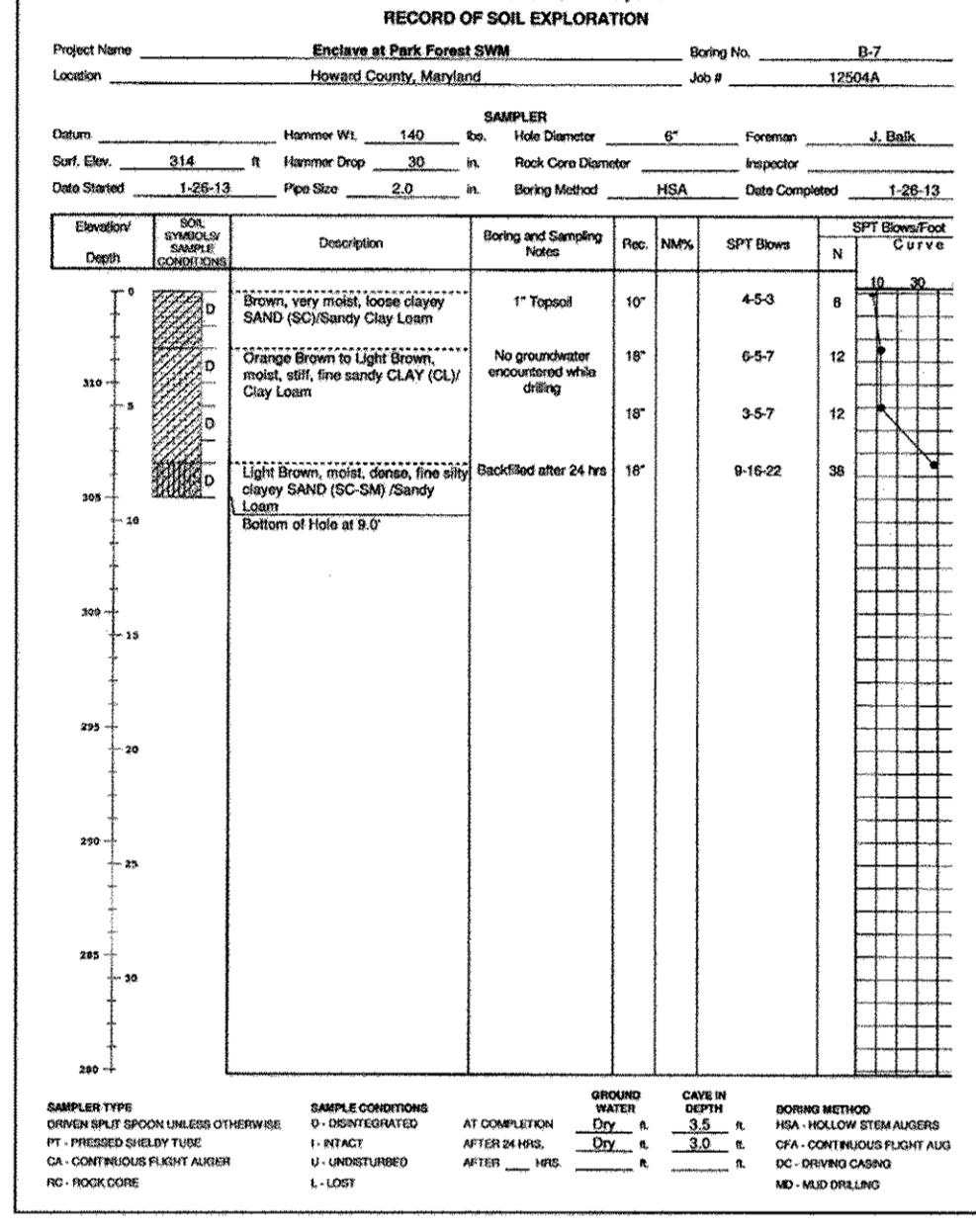
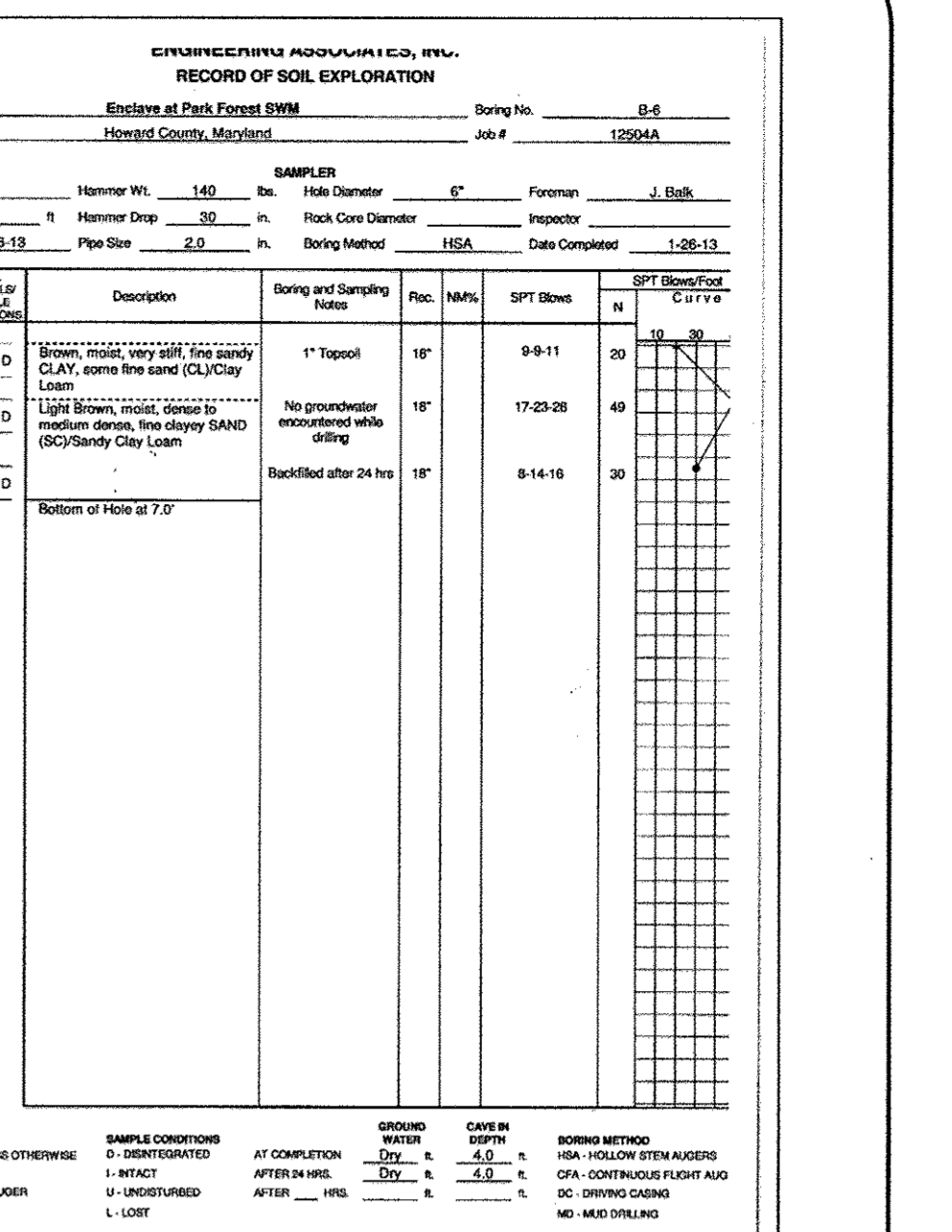
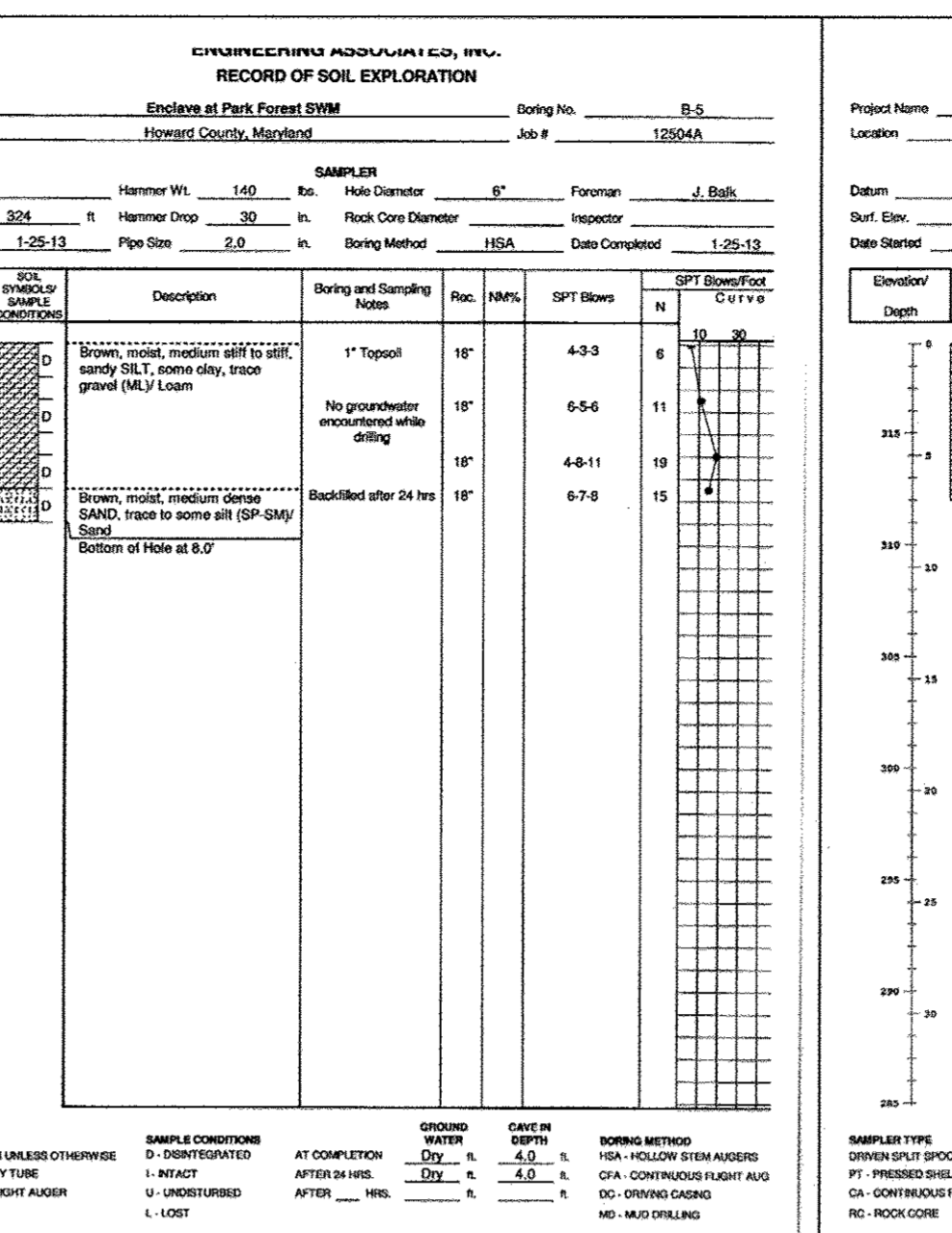
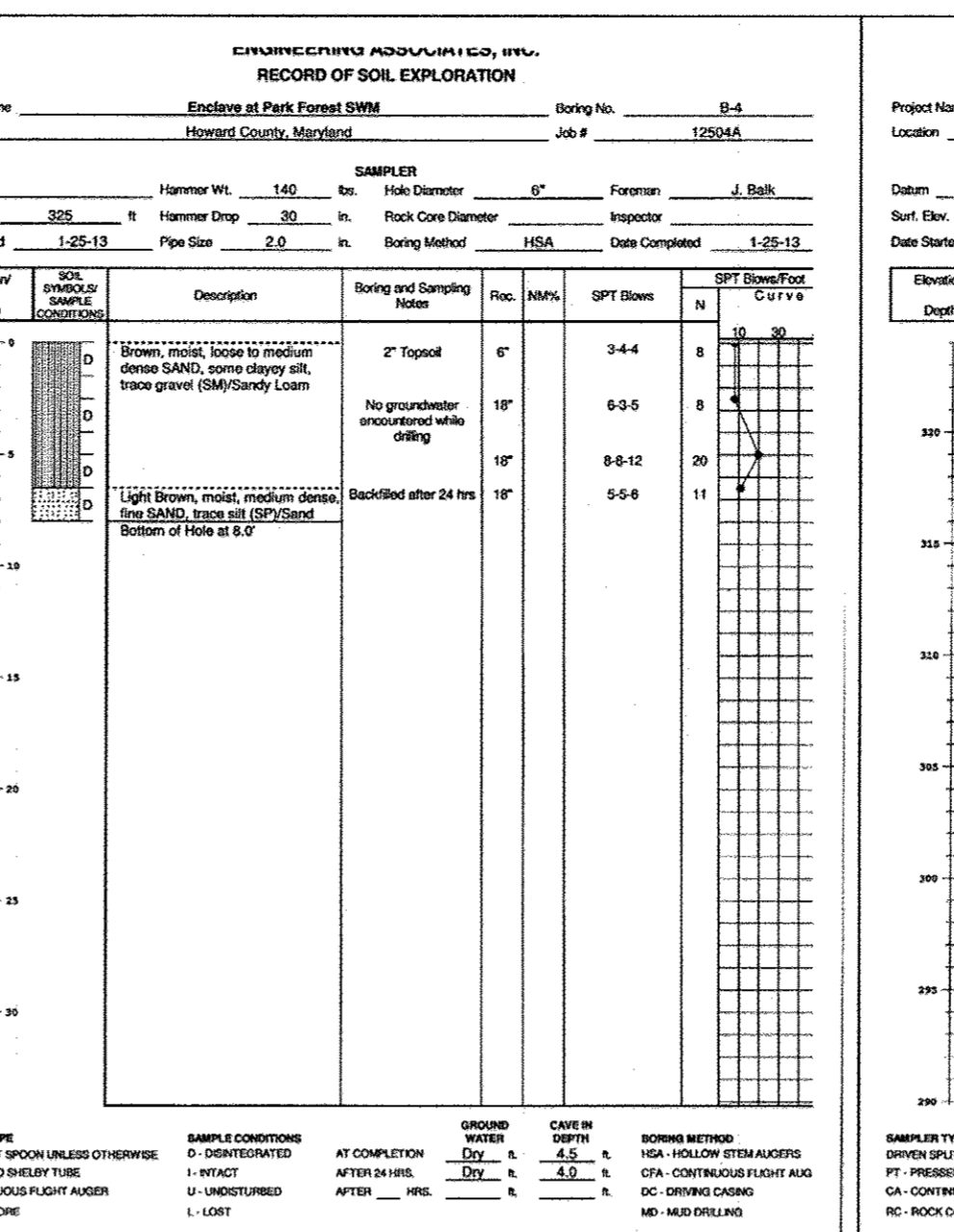
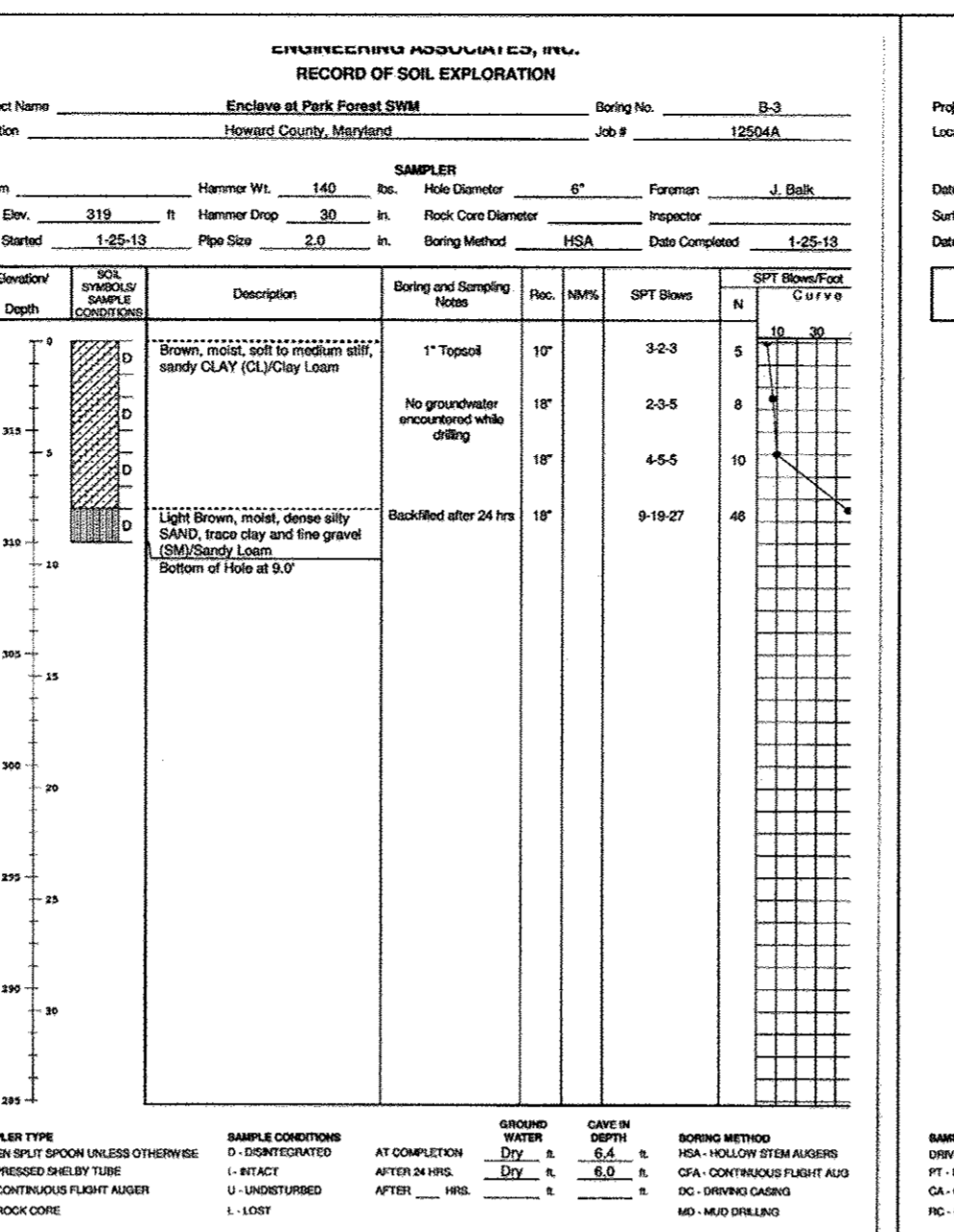
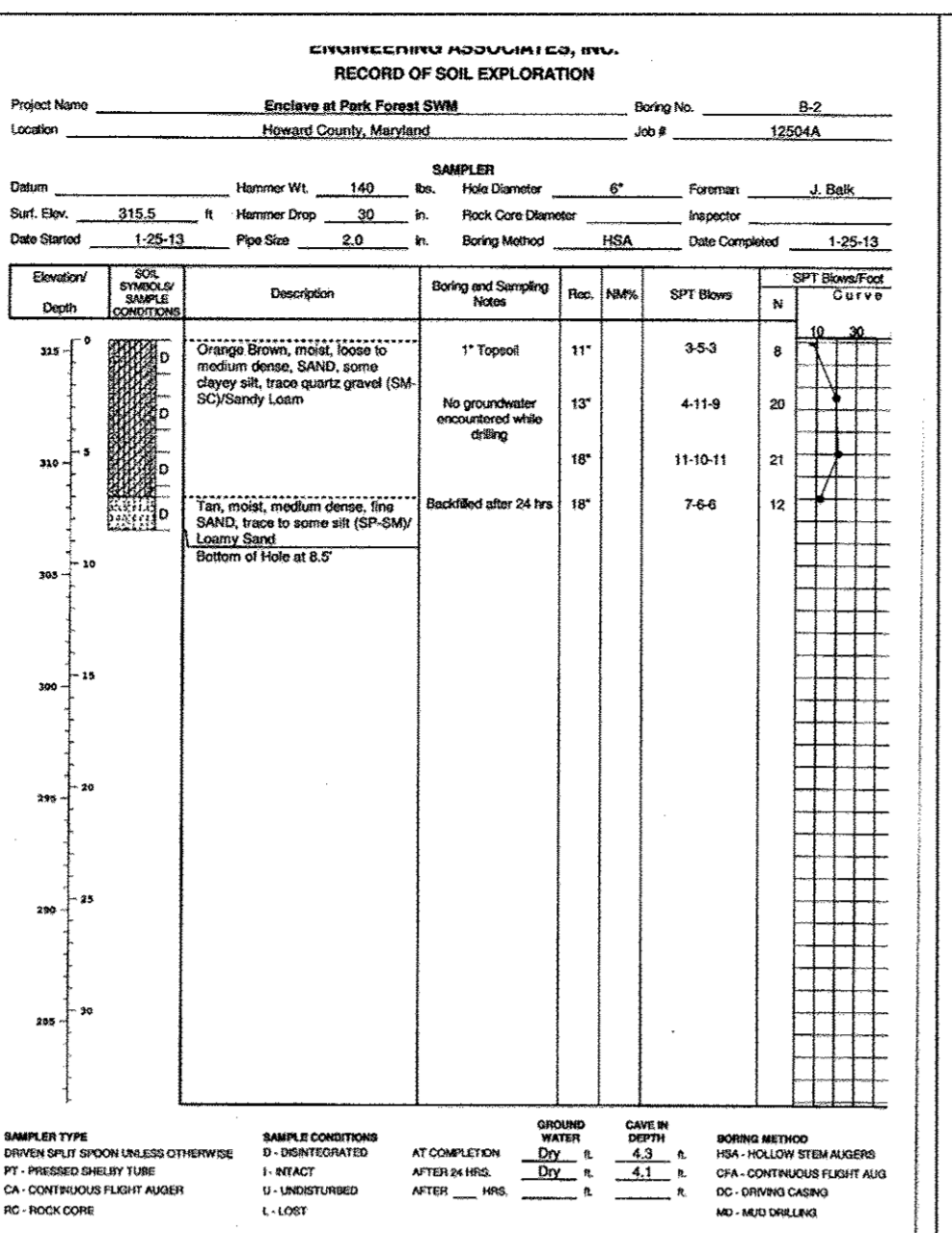
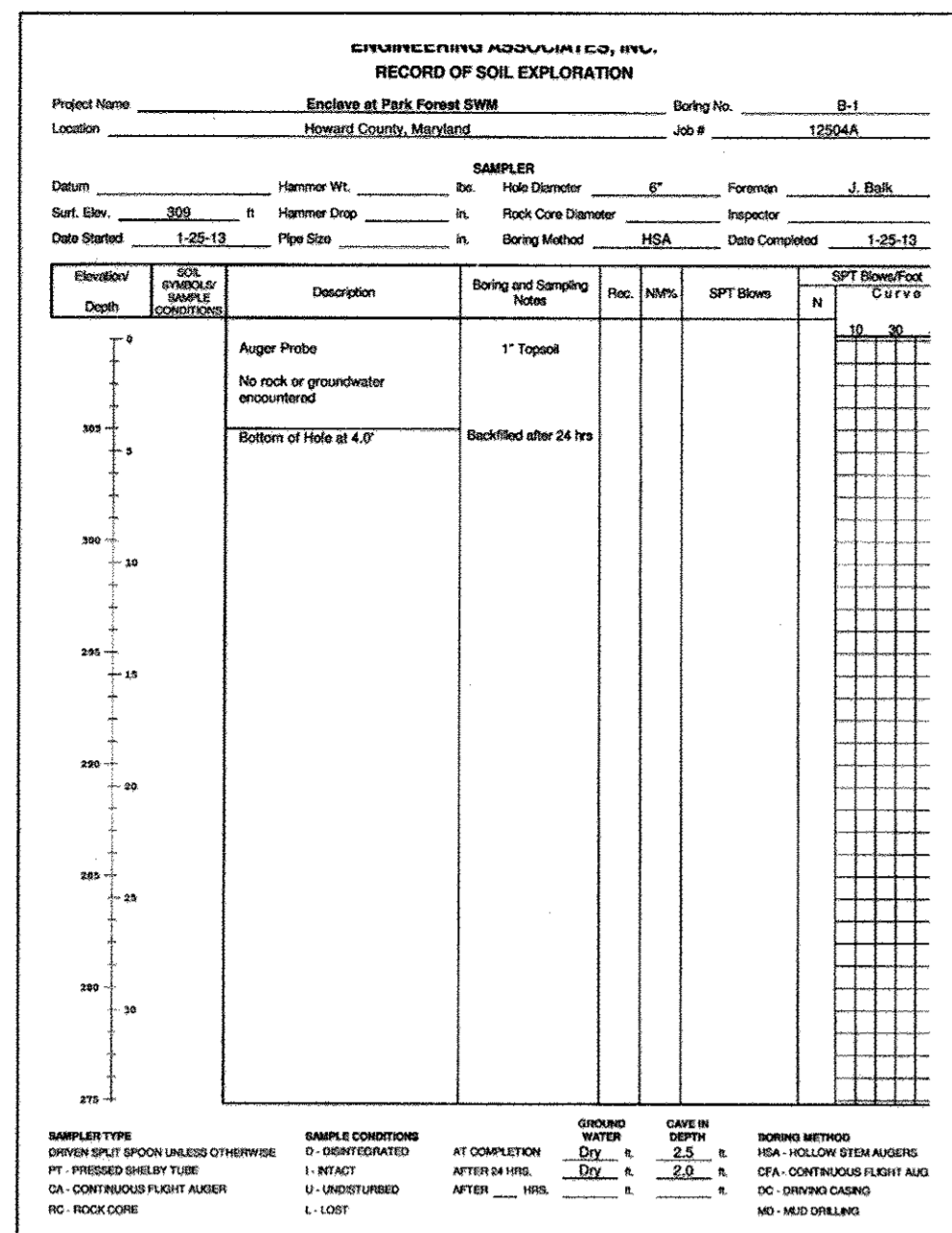
MATCHLINE SHEET 7

Project	Date	Scale	Approval
07-022	SBP 2014	1"=90'	JLS
	Illustration		JLS
			JLS

Revisions	Description	Date
2	REVISE LOT NUMBERS TO MATCH RELEASED PLAT	2-10-14
1	RELOCATE MICRO-BIORETENTION MB-P	7/27/15

LANDSCAPE PLAN
HOWARD COUNTY
FIRST ELECTION DISTRICT
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS #45, #46-#71 AND OPEN SPACE LOT 46
THE ENCLAVE AT PARK FOREST

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850-B Crues Drive, Columbia, Maryland 21044
(410) 997-0288 Fax (410) 997-0286 Ball.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 22379 Date: 6/30/12

For Revision #1 only

OWNER/DEVELOPER
 ROCK BURN, LLC
 (MARK LEVY, MANAGING MEMBER)
 6800 DERBATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
 (410) 519-2442

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

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 6800 DERBATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
 (410) 519-2442

APPROVED: DEPARTMENT OF PLANNING AND ZONING

11-3-14 DATE
 11-12-14 DATE
 11-13-14 DATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

License No. 40991 EXP DATE 12/31/15

JEFFREY SLOMAN, P.E. DATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

License No. 40991 EXP DATE 12/31/15

JEFFREY SLOMAN, P.E. DATE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21443 Expiration Date: 12-21-18

For Revision #1 only

OWNER/DEVELOPER
 ROCK BURN, LLC
 (MARK LEVY, MANAGING MEMBER)
 6800 DERBATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
 (410) 519-2442

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License No. 21443 Expiration Date: 12-21-18

For Revision #1 only

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 (MARK LEVY, MANAGING MEMBER)
 6800 DERBATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
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License No. 21443 Expiration Date: 12-21-18

For Revision #1 only

OWNER/DEVELOPER
 ROCK BURN, LLC
 (MARK LEVY, MANAGING MEMBER)
 6800 DERBATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
 (410) 519-2442

Project: 07-022
 Illustration: JLS
 Scale: 1"=30'
 Date: 11-13-14

THE ENCLAVE AT PARK FOREST
 ACE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 45, 46, 47, 48, 49, 50, 51, 52, 53, 54 AND OPEN SPACE LOT 46
 TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
 HOWARD COUNTY
 FIRST ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 7850-B Coops Drive, Columbia, Maryland 21044
 (410) 997-0296 Fax

9 OF 18
 AG-BUILT
 SDP-13-085

ENGINEERING ASSOCIATES, INC.
RECORD OF SOIL EXPLORATION

Project Name: Enclave at Park Forest BSM Location: Howard County, Maryland
Boring No.: B-16 Job #: 12504A

DATE: 1-25-13

Depth	SOIL SAMPLE COLLECTION	Description	Boring and Sampling Notes	Flow	NMP	SPT Blows	SPT Blows/ft
0		Auger Probe	1" Topsoil				
0-30		No groundwater or rock encountered					
30		Bottom of Hole at 30'	Backfilled after 24 hrs				

SAMPLER TYPE: OPEN END SPOON UNLESS OTHERWISE NOTED
SAMPLING METHOD: PRESSURE SHELLEY TUBE
SAMPLING DEPTH: 1" TOPSOIL
SAMPLING METHOD: CONTINUOUS FLIGHT AUGER
SAMPLING DEPTH: 30'

GROUND WATER: UNDETECTED
CASE IN SPT: 0.0
BORING METHOD: HIGH-HOLLOW STEEL AUGER
SAMPLING METHOD: CONTINUOUS FLIGHT AUGER
SAMPLING DEPTH: 30'

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22396 Expiration Date: 6/30/17

Professional Engineer
Jeffrey J. Slovan
For Revision #1 only

OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELK RIDGE, MD 21075
(410) 599-2442

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
11-3-14
DATE

Chief, Division of Land Development
11-2-14
DATE

Jeffrey J. Slovan
11-13-14
DATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 40091, EXP. DATE 2/13/15.
Jeffrey J. Slovan, P.E.
9/18/14
DATE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443 Expiration Date: 12-21-18

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

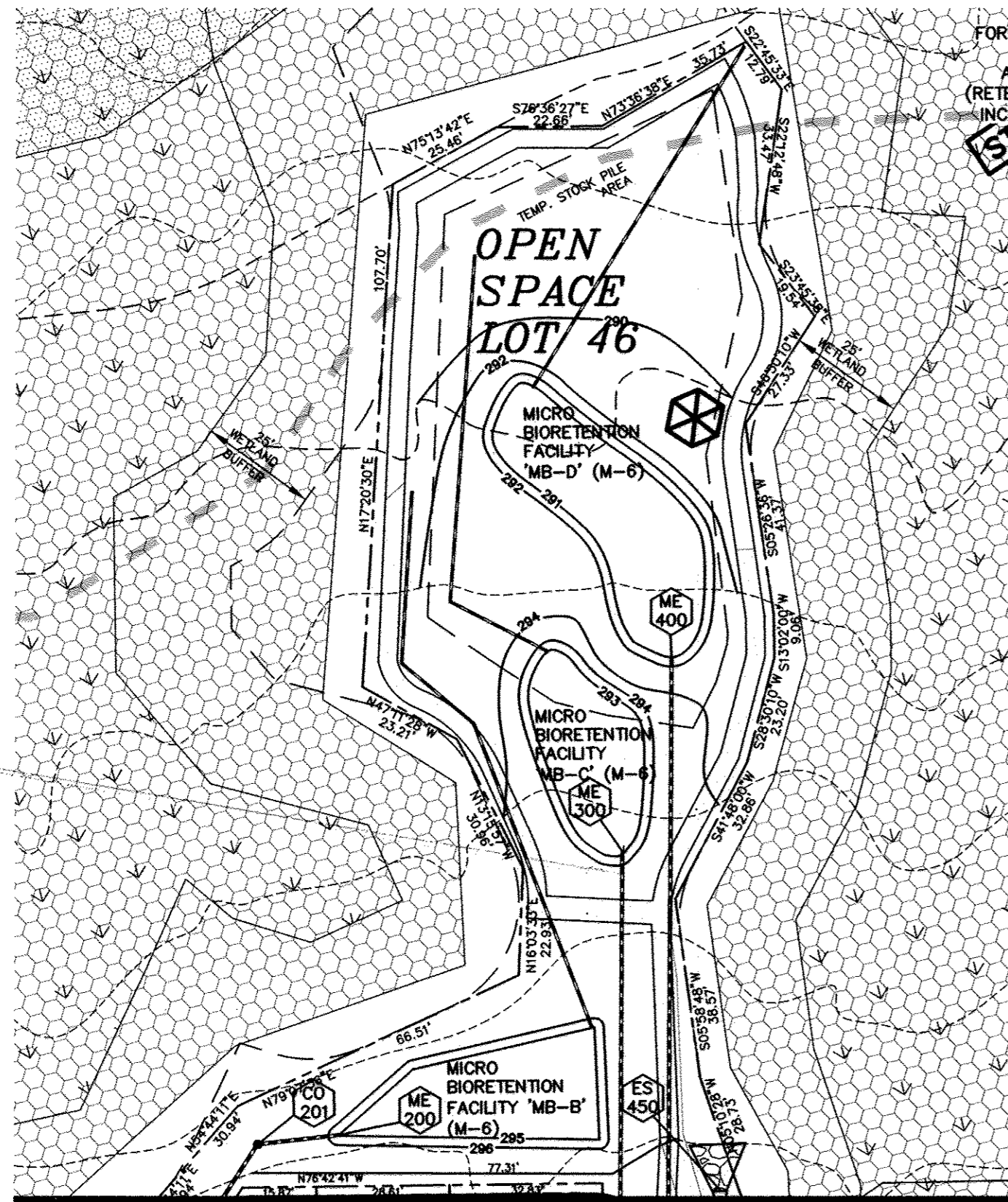
Professional Engineer
David A. Bauer
9-17

10 OF 18
SDP-13-085

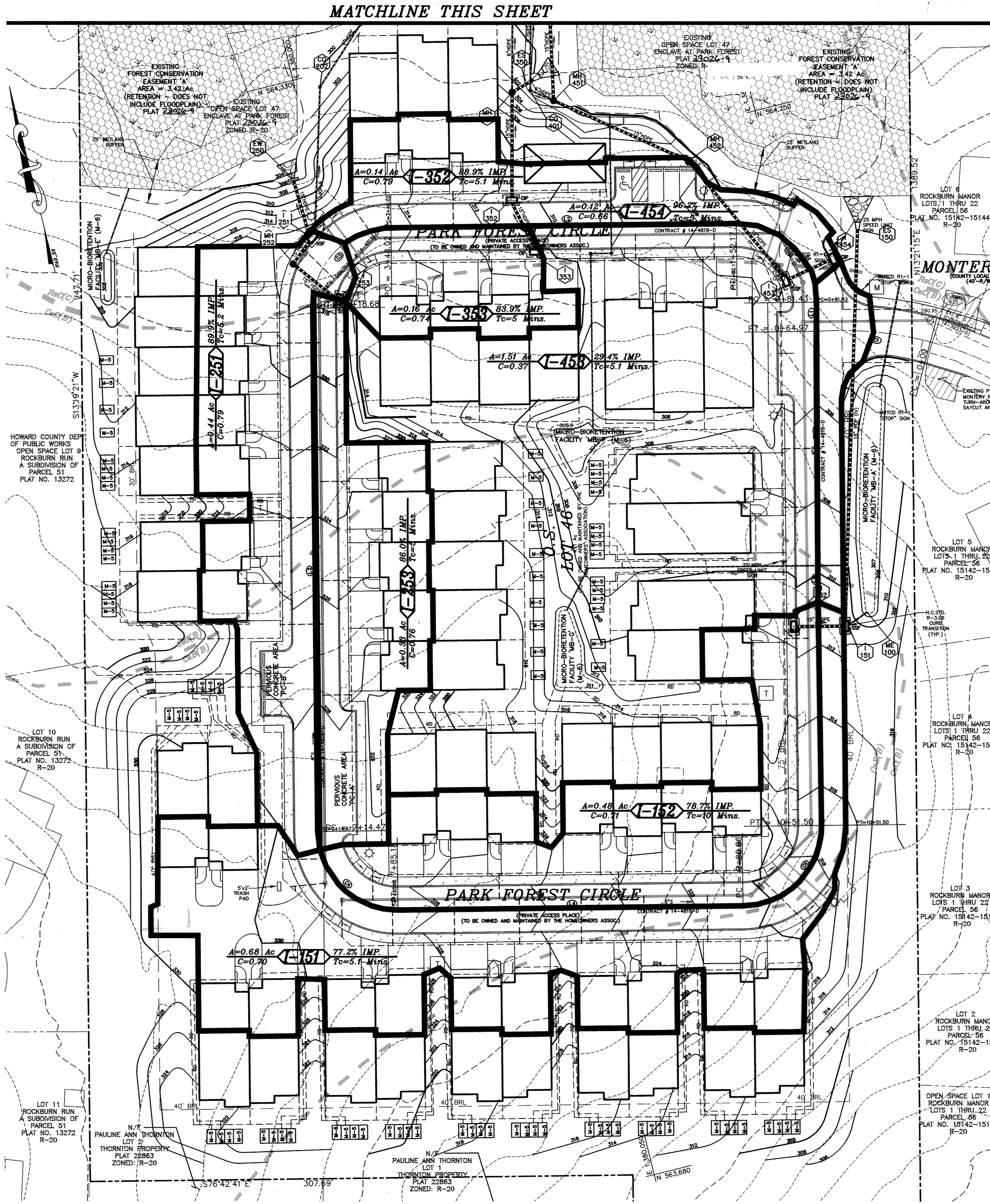
project date: 07-022
illustration: JLS
scale: 1"=30'
revision: 2-10-16
description: REUSE LOT 46 FROM BUREAU TO MATCH BOUNDARY PLAT

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 49, 27-34 AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
SOIL BORING LOGS

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7950-B Croas Drive, Columbia, Maryland 21044
(410) 997-0298 Fax

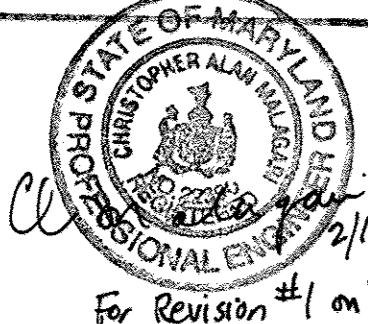


MATCHLINE THIS SHEET



MATCHLINE THIS SHEET

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 22390 Expiration Date: 6/30/17



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 21413 Expiration Date: 12-21-18

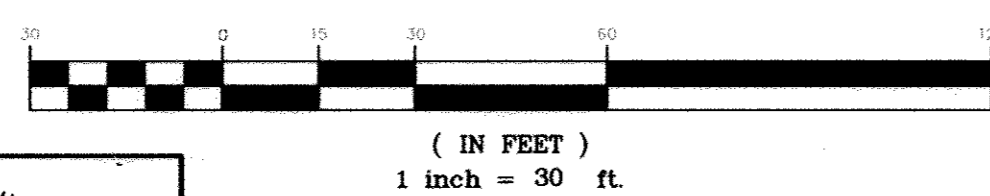


THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

OWNER/DEVELOPER

ROCK BURN, LLC
 (MARK LEVY, MANAGING MEMBER)
 6800 DEERPATH ROAD
 SUITE 100
 ELKBRIDGE, MD 21075
 (410)579-2442

GRAPHIC SCALE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
 11-3-14
 DATE
 Chief, Division of Land Development
 11-12-14
 DATE
 Director
 11-13-14
 DATE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 40091, EXP DATE 2/13/15
 9/18/14
 DATE

Project	SEP 2014	date	SEP 2014
Illustration	JLS	illustration	JLS
scale	1"=30'	scale	1"=30'
approval	RH	approval	RH

no.	2	date	10-16-14
description	REVISE LOT DIMENSIONS TO MATCH REVISION PLAN SET		
revisions			

THE ENCLAVE AT PARK FOREST
 AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 27-31, 45-49, 51, AND OPEN SPACE LOT 46
 TAX MAP 37, PARCELS 62, 53 AND 54 BLOCK 5
 FIRST ELECTION DISTRICT
 HOWARD COUNTY
 STORM DRAIN AREA MAP

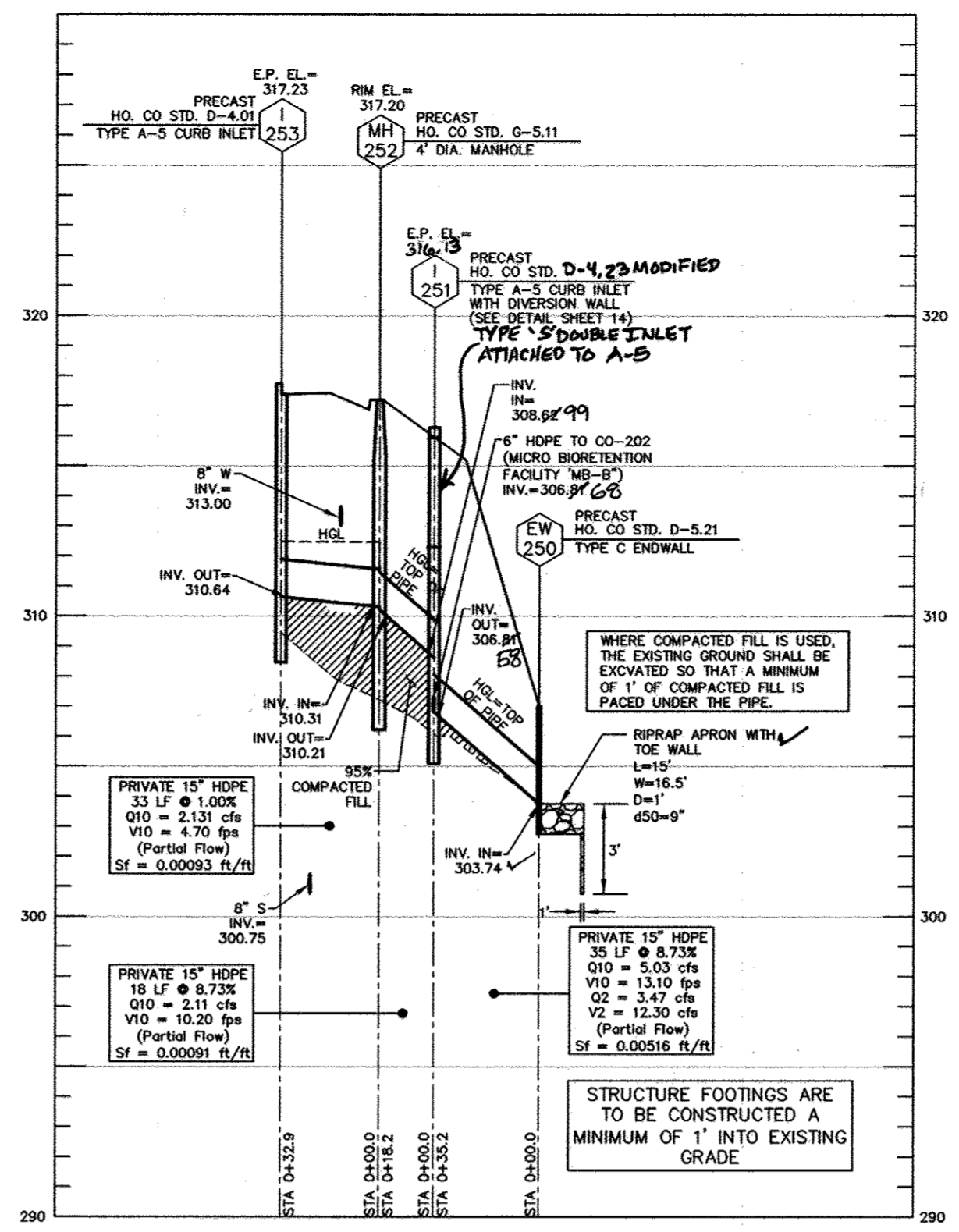
MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 7350-B Cross Drive, Columbia, Maryland 21044
 (410) 997-0296 Fax

AS-BUILT

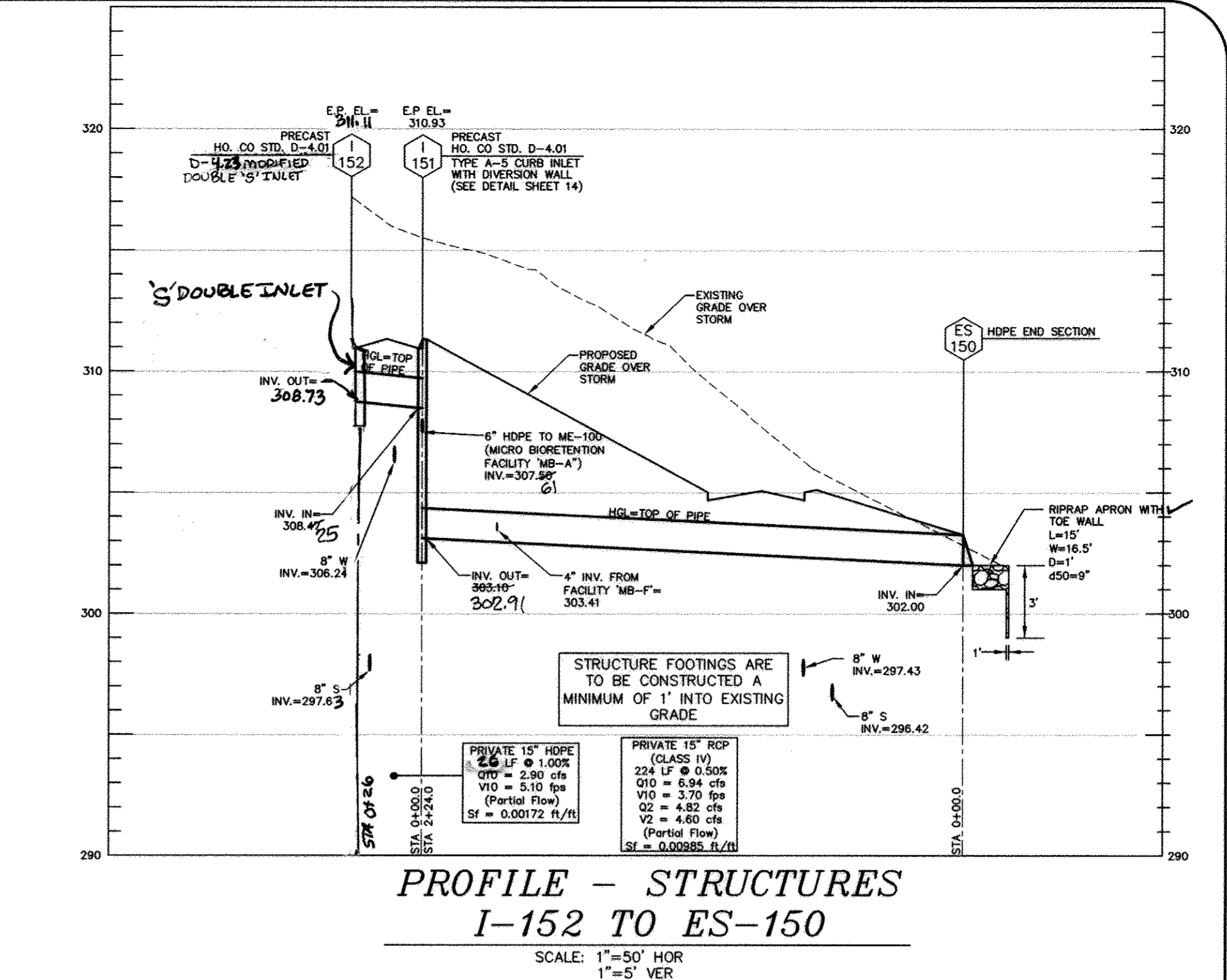
STRUCTURE SCHEDULE

STRUCTURE	TYPE	LOCATION / COORDINATES	TOP/RIM/GRATE EL.	INV. IN	INV. OUT
ME 100	PIPE END MITERED TO SLOPE	N 563,856.5251 E 1,360,238.5655	N/A	307.00 (6")	N/A
ES 150	HDPE END SECTION	N 564,170.8400 E 1,360,238.5657	N/A	302.00 (15")	N/A
I 151	PRECAST HO. CO STD. D=4.01 TYPE A-5 CURB INLET WITH DIVERSION WALL (SEE DETAIL SHEET 14)	PARK FOREST CIRCLE STA 11+64.2 OFFSET 14.7' R	E.P. EL. = 310.93	308.47 (15")	307.50 (6") 303.10 (15")
I 152	PRECAST HO. CO STD. D=4.23 MODIFIED TYPE 'S' DOUBLE	PARK FOREST CIRCLE STA 11+64.2 OFFSET 12' L	E.P. EL. = 310.93	N/A	308.76 (15")
ME 200	PIPE END MITERED TO SLOPE	N 564,359.8350 E 1,360,073.3910	N/A	295.00 (6")	N/A
CO 201	STORM CLEANOUT	N 564,361.9310 E 1,360,055.8358	TOP EL. = 301.00	295.50 (6")	295.50 (6")
CO 202	STORM CLEANOUT	N 564,322.8541 E 1,360,013.9103	TOP EL. = 301.00	298.96 (6")	298.96 (6")
EW 250	PRECAST HO. CO STD. D=5.21 TYPE C ENDWALL	N 564,275.5459 E 1,379,986.6267	N/A	303.74 (15")	N/A
251	PRECAST HO. CO STD. D=4.23 MODIFIED TYPE 'S' DOUBLE	PARK FOREST CIRCLE STA 3+85.60 OFFSET 12' L	E.P. EL. = 310.93	308.62 (15")	306.81 (15")
MH 252	PRECAST HO. CO STD. D=5.11 6" DIA. MANHOLE WITH DIVERSION WALL (SEE DETAIL SHEET 14)	PARK FOREST CIRCLE STA 3+99.6 OFFSET 16.0' R	RIM EL. = 317.20	310.31 (15")	310.21 (6") 310.21 (15")
I 253	PRECAST HO. CO STD. D=4.01 TYPE A-5 CURB INLET	PARK FOREST CIRCLE STA 4+11.5 OFFSET 14.7' L	E.P. EL. = 317.23	N/A	310.64 (15")
ME 300	PIPE END MITERED TO SLOPE	N 564,403.8028 E 1,360,146.8085	N/A	293.00 (6")	N/A
ES 350	HDPE END SECTION	N 564,295.0905 E 1,360,124.5728	N/A	N/A	301.50 (15")
MH 351	HO. CO STD. G=5.11 6" DIA. MANHOLE WITH DIVERSION WALL (SEE DETAIL SHEET 14)	N 564,293.4150 E 1,360,118.8497	RIM EL. = 304.90	301.66 (15")	301.56 (6") 301.56 (15")
352	PRECAST HO. CO STD. D=4.23 MODIFIED TYPE 'S' DOUBLE	PARK FOREST CIRCLE STA 2+79.3 OFFSET 13' R	E.P. EL. = 310.70	303.11 (15")	303.01 (15")
I 353	PRECAST HO. CO STD. D=4.23 MODIFIED TYPE 'S' DOUBLE	PARK FOREST CIRCLE STA 2+66.4 OFFSET 13' L	E.P. EL. = 310.70	N/A	303.82 (15")
ME 400	PIPE END MITERED TO SLOPE	N 564,441.4225 E 1,360,166.9979	N/A	291.00 (15")	N/A
CO 401	STORM CLEANOUT	N 564,292.0130 E 1,360,129.1507	TOP EL. = 301.80	297.85 (6")	297.85 (6")
ES 450	HDPE END SECTION	N 564,324.3082 E 1,360,148.8237	N/A	297.00 (6")	N/A
MH 451	HO. CO STD. G=5.11 6" DIA. MANHOLE WITH DIVERSION WALL (SEE DETAIL SHEET 14)	N 564,283.1470 E 1,360,140.5074	RIM EL. = 301.50	297.52 (15")	297.42 (6") 297.42 (15")
MH 452	HO. CO STD. G=5.11 4" DIA. MANHOLE	N 564,231.1448 E 1,360,206.4674	RIM EL. = 306.70	298.46 (15")	298.36 (15")
453	PRECAST HO. CO STD. D=4.01 TYPE A-5 CURB INLET	PARK FOREST CIRCLE STA 1+00.4 OFFSET 14.7' L	E.P. EL. = 303.57	299.43 (15")	299.33 (15")
I 454	PRECAST HO. CO STD. D=4.01 TYPE A-5 CURB INLET	PARK FOREST CIRCLE STA 1+00.4 OFFSET 14.7' R	E.P. EL. = 303.57	299.72 (15")	N/A

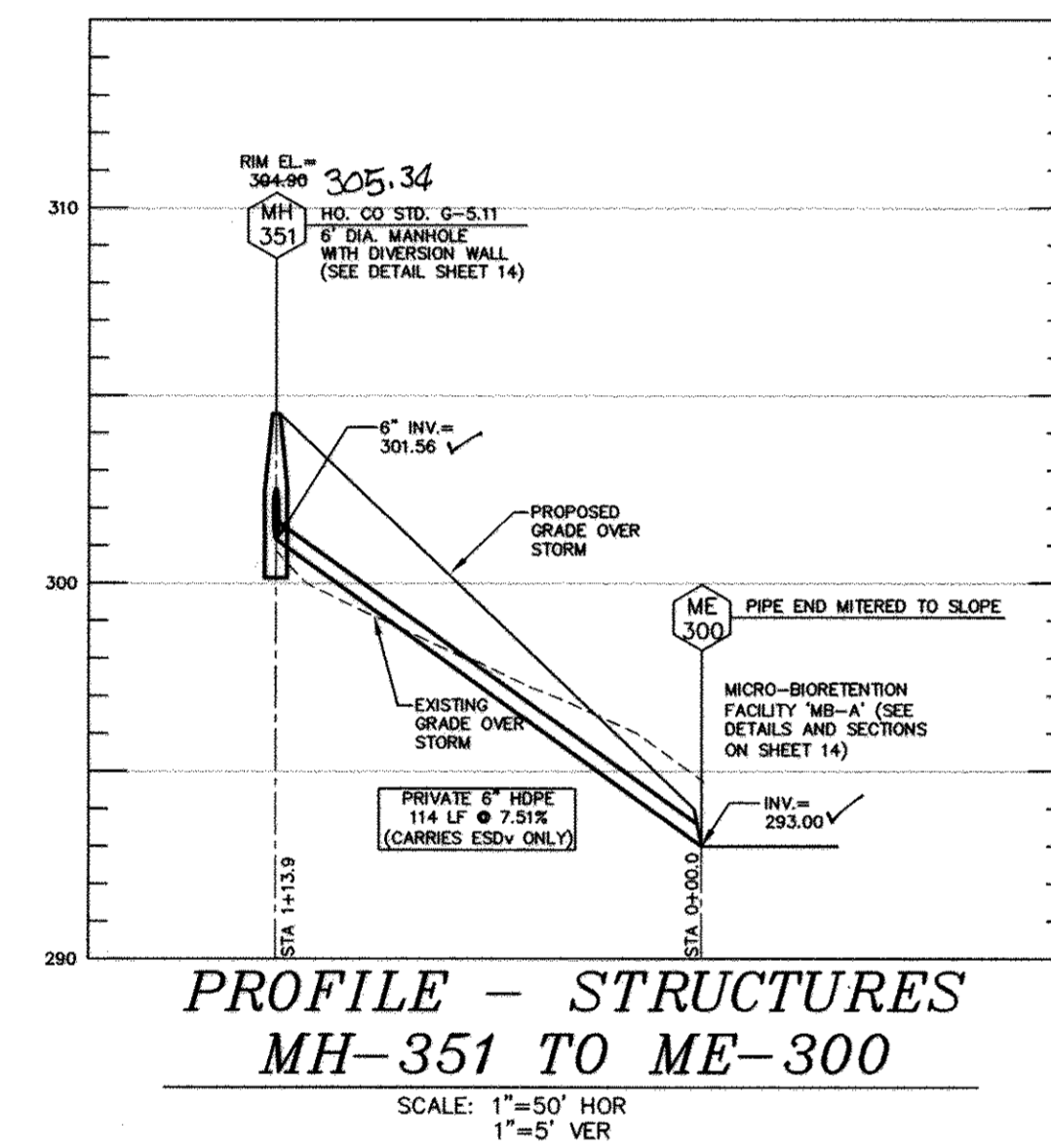
PROFILE - STRUCTURES I-151 TO ME-100
SCALE: 1"=50' HOR
1"=5' VER



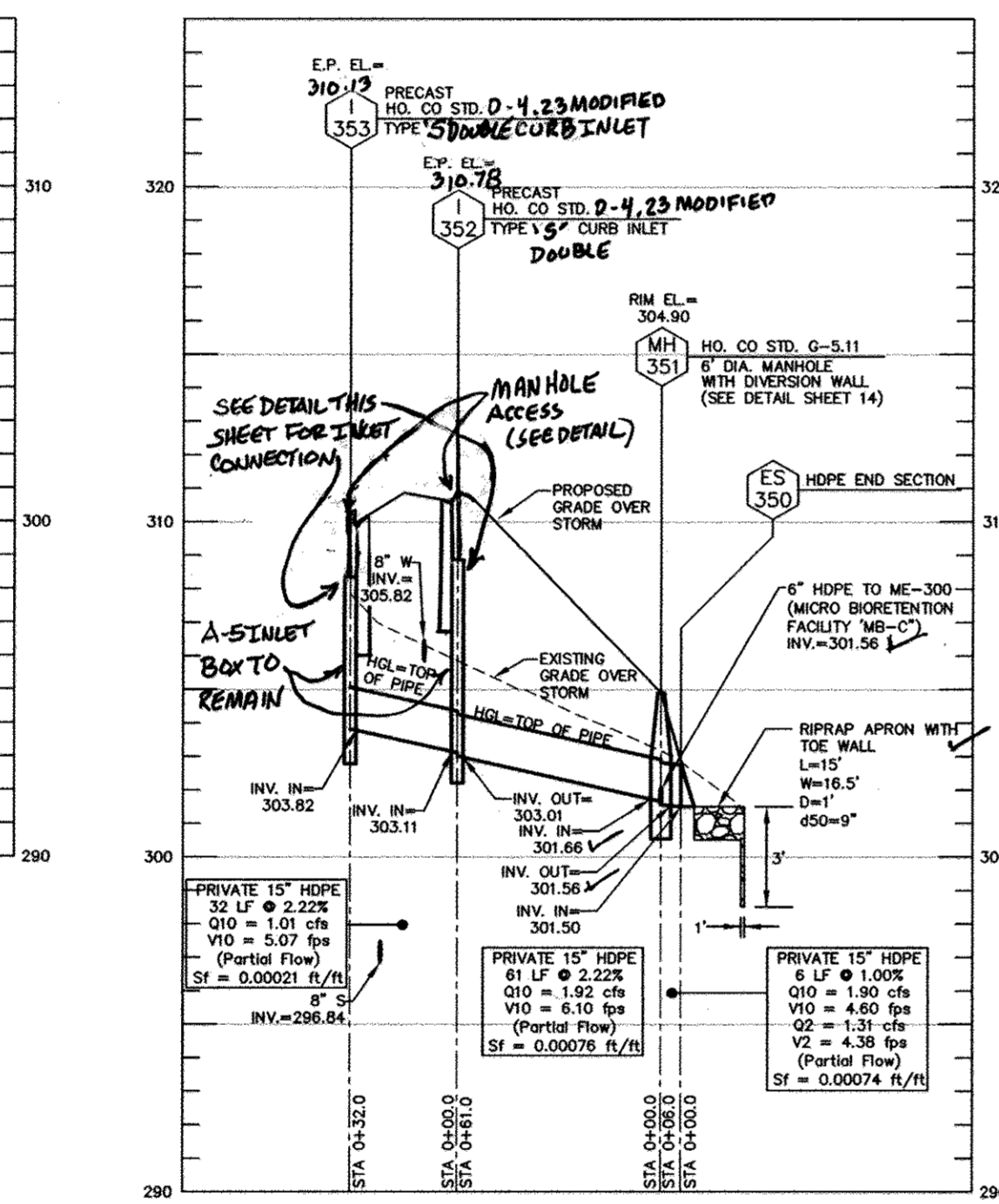
PROFILE - STRUCTURES I-253 TO EW-250
SCALE: 1"=50' HOR
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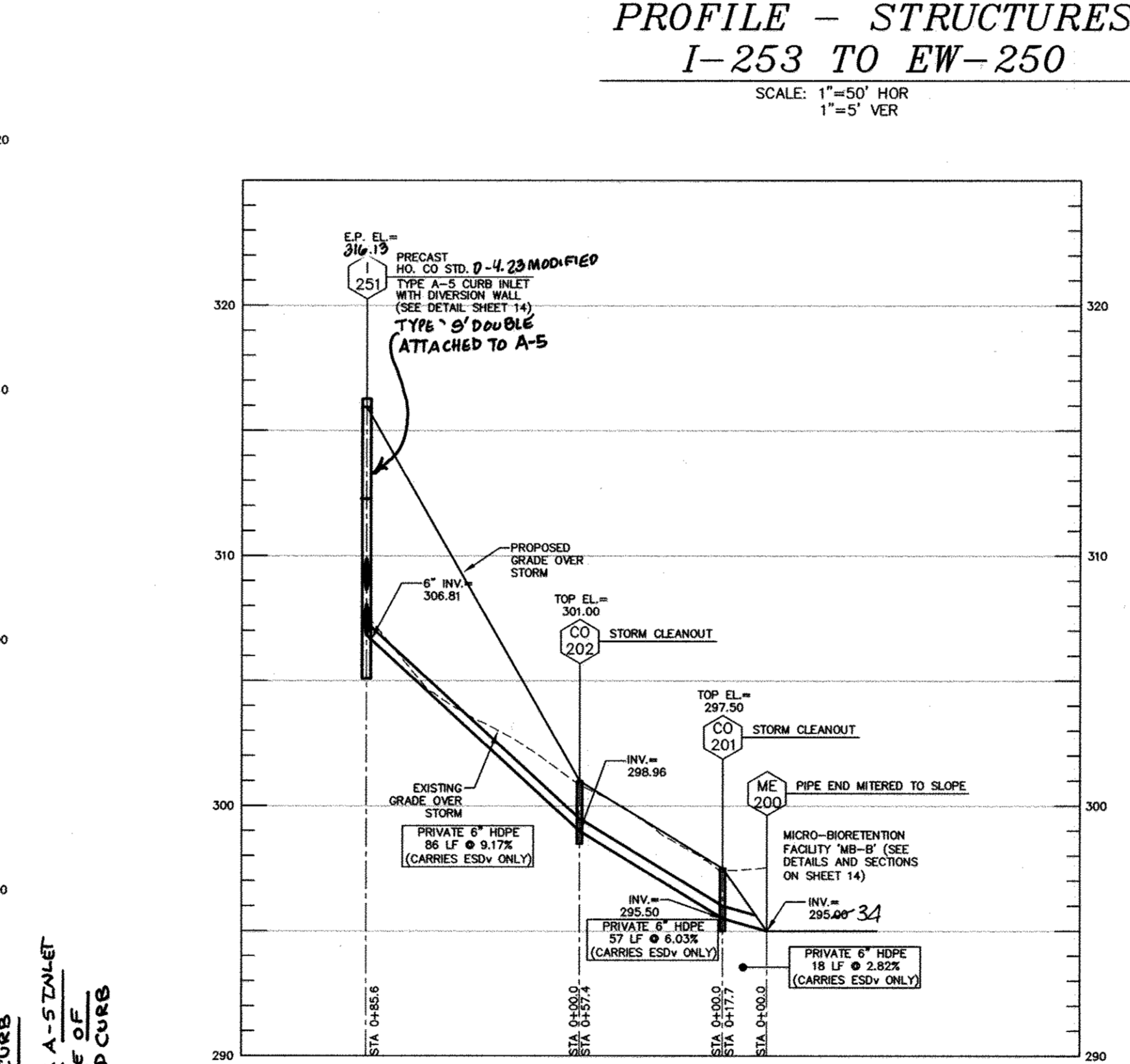
PROFILE - STRUCTURES I-152 TO ES-150
SCALE: 1"=50' HOR
1"=5' VER



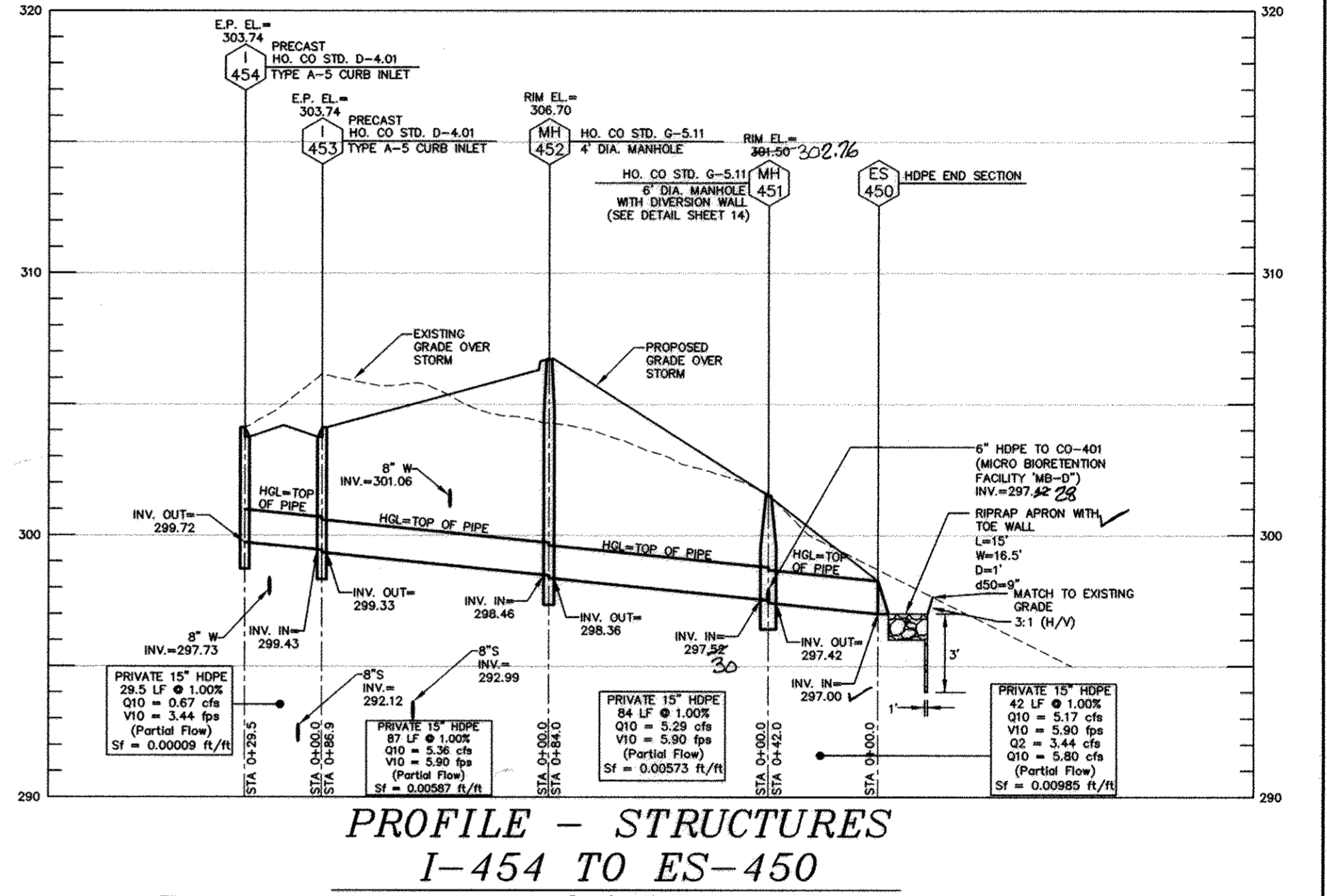
PROFILE - STRUCTURES MH-351 TO ME-300
SCALE: 1"=50' HOR
1"=5' VER



PROFILE - STRUCTURES I-353 TO ES-350
SCALE: 1"=50' HOR
1"=5' VER



PROFILE - STRUCTURES I-252 TO ME-200
SCALE: 1"=50' HOR
1"=5' VER



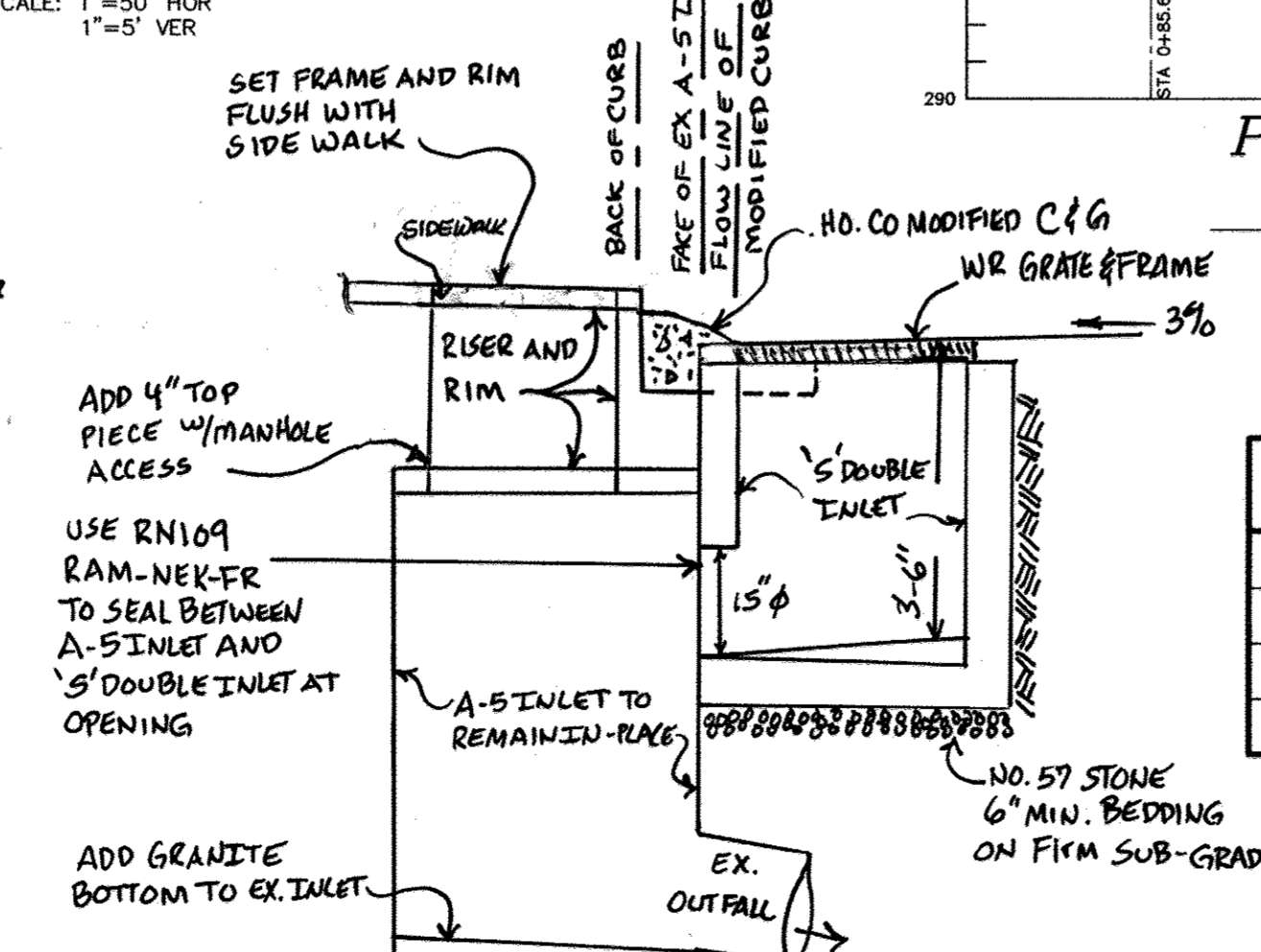
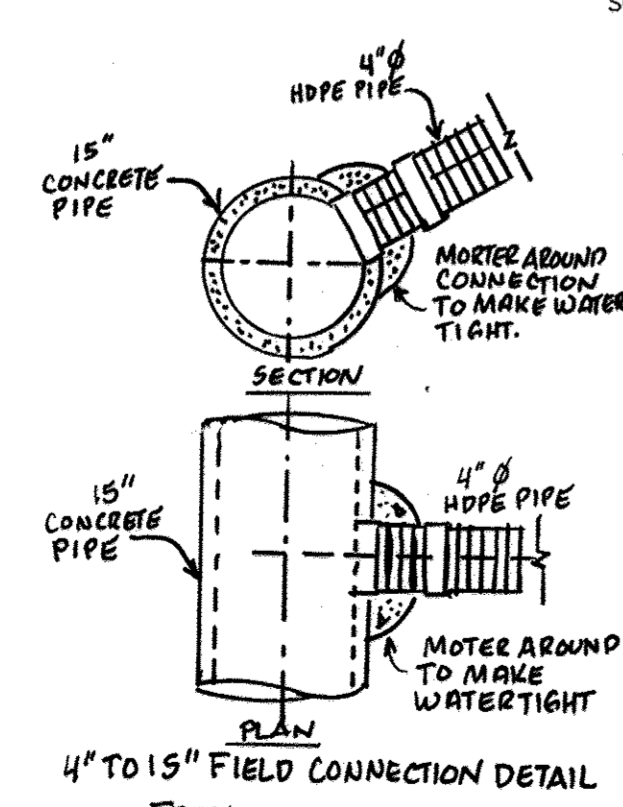
PROFILE - STRUCTURES I-454 TO ES-450
SCALE: 1"=50' HOR
1"=5' VER

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22370, Expiration Date: 6/30/17

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443, Expiration Date: 12-21-18

AS-BUILT CERTIFICATION. I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.
Donald Mason, P.E., Date: 9-6-17

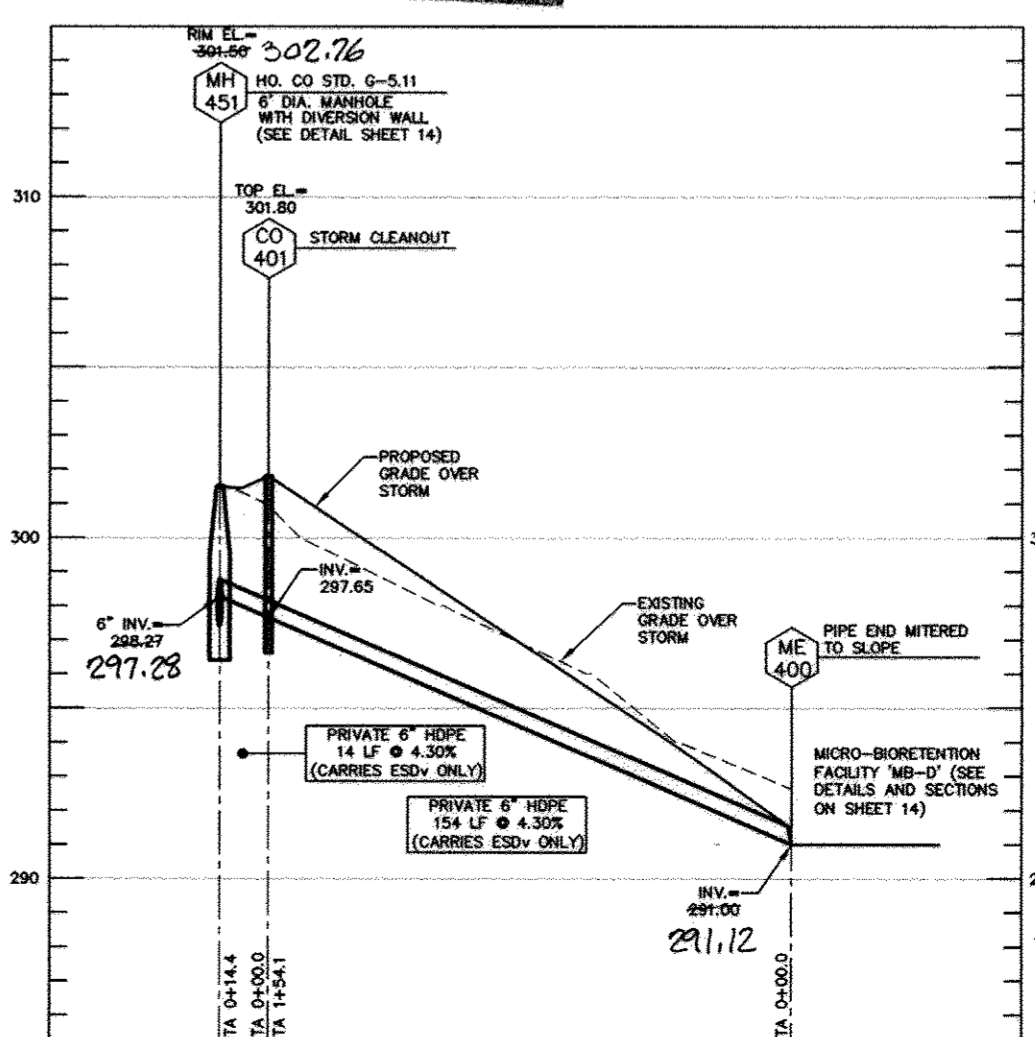
OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELKRIEGE, MD 21075
(410)579-2442



PIPE SCHEDULE

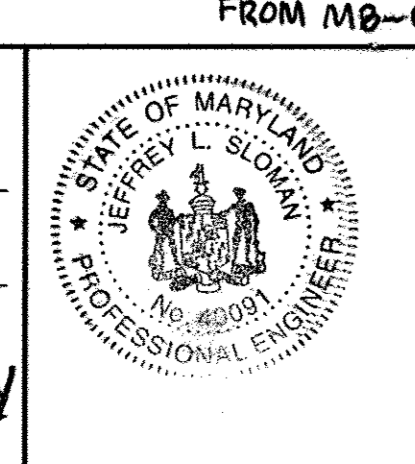
SIZE	LENGTH	TYPE / CLASS
4"	597 LF	HDPE (MICRO-BIORETENTION OUTLET)
6"	461 LF	HDPE (NON-PERFORATED)
15"	457 LF	HDPE
15"	224 LF	RCP (CLASS IV)

- DRILL 1" HOLE TO ACCEPT 3/4" ROD CONTINUOUS BETWEEN STR.
 - SEAL BETWEEN STR. AS SHOWN.
 - USE TYPICAL (4) ANCHORS PER STR. CONNECTION.
- ANCHOR DETAIL TO CONNECT STRUCTURES TOGETHER
NOT TO SCALE



PROFILE - STRUCTURES MH-451 TO ME-400
SCALE: 1"=50' HOR
1"=5' VER

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Jeffrey L. Sloman, P.E., 11-3-14
Kathleen Leach, 11-12-14
Jeffrey L. Sloman, P.E., 11-13-14



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP. DATE 2/13/15.
Jeffrey L. Sloman, P.E., 9/18/14

DETAIL OF 'S' DOUBLE INLET WITH MODIFIED C & G CONNECTED TO EXISTING A-5 INLET TO BE USED FOR INLET 251, 352 AND 353 (Privately owned and maintained)

date	SEP 2014	approval	RJH
project	07-022	illustration	JLS
scale	1"=50'	description	SHOWN
revision	2	description	CONVERT A-5 INLETS 152, 251, 352, 353 TO 'S' DOUBLE INLETS
revision	1	description	REVISE LUMEN RATES TO MATCH RAINFALL PLAN

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 6-19, 27-31, AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY

STORM DRAIN PROFILES
MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850-B Grace Drive, Columbia, Maryland 21044
(410) 997-0286 Fax

OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

OPERATION AND MAINTENANCE SCHEDULE FOR PERVIOUS CONCRETE (A-2)

- THE OWNER SHALL PERIODICALLY SWEEP (OR VACUUM POROUS CONCRETE PAVEMENT) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING LOT, WASHING OR COMPRESSED AIR LOTS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, I NLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS AND AFTER EVERY HEAVY STORM EVENT.
- THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

Appendix B.4 Construction Specifications for Environmental Site Design Practices

These Courses - The base course shall be AASHTO No. 3 or 4 course aggregate with an unbroken open pore space of 20% (n = 0.30).

3. Reinforced Turf
Reinforced Geomembrane (RGT) - Whether used with grass or gravel, the RGT thickness shall be at least 1/2" thick with a load capacity capable of supporting the traffic and vehicle types that will be used.

B.4.C Specifications for Micro-Bioretention, Rain Gardens, Landscape Infiltration & Infiltration Basins

1. Material Specifications
The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil
The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be stored or dumped within the bioretention practices that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of herbicides, pesticides, fertilizers, and other materials that may harm plants or animals. The planting soil shall be tested and shall meet the following criteria:
• Soil Component - Lumpy Sand or Sandy Loam (USDA Soil Textural Classification)
• Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of heavy and medium peat (35% to 40%) or peat moss (50% to 60%) and compost (40%).
• Clay Content - Media shall have a clay content of less than 5%.
• pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A detailed analysis shall be required from the site to be installed. If it is found that the soil is not suitable, a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction
It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation back to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chain plow, ripper, or subsoiler. These tilling operations are to improve water quality. Adding fertilizers, deicers, or a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill area fertilizer at a rate of 2 pounds per 1000 square feet.

4. Underdrains
Underdrains should meet the following criteria:
• Pipes should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
• Perforations - If perforated pipe is used, perforations should be 1/2" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/2" (No. 4 or 4x4) galvanized hardware cloth.
• Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
• The main collector pipe shall be at a minimum 0.5% slope.
• A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.
• A 4" layer of pea gravel (1/4" to 1/2" size) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells under clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous
These practices may not be constructed until all contributing drainage area has been stabilized.

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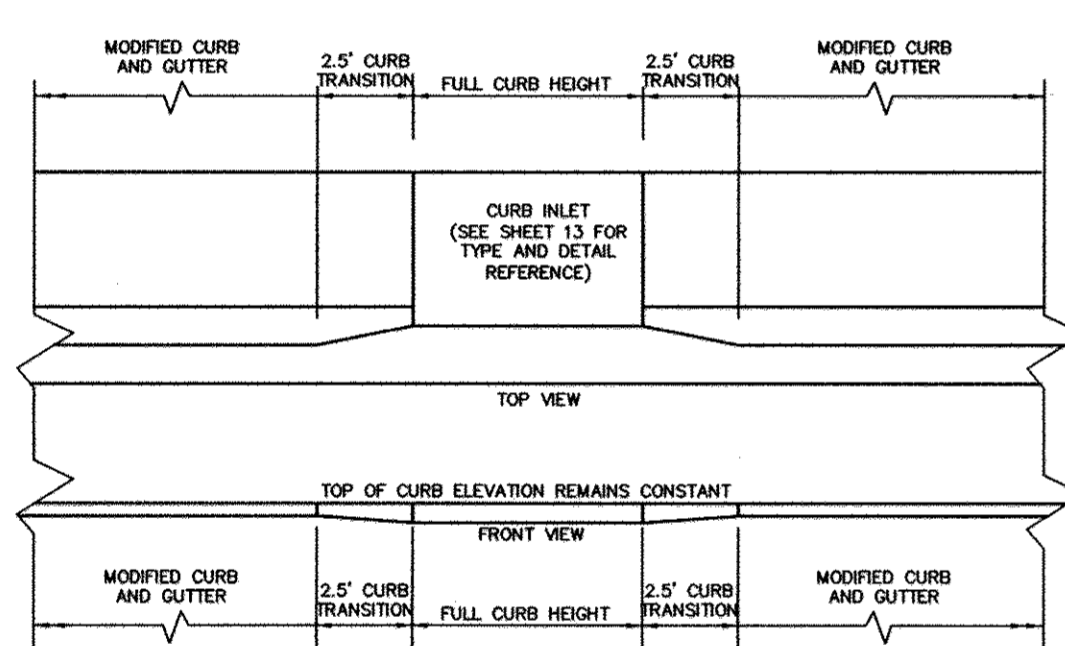
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7. Miscellaneous
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CURB TRANSITION AT INLET DETAIL
NOT TO SCALE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22379, Expiration Date: 6/30/17
CECILIA M. ALLEN
Professional Engineer
For Revision #1 only

OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELK RIDGE, MD 21075
(410)579-2442

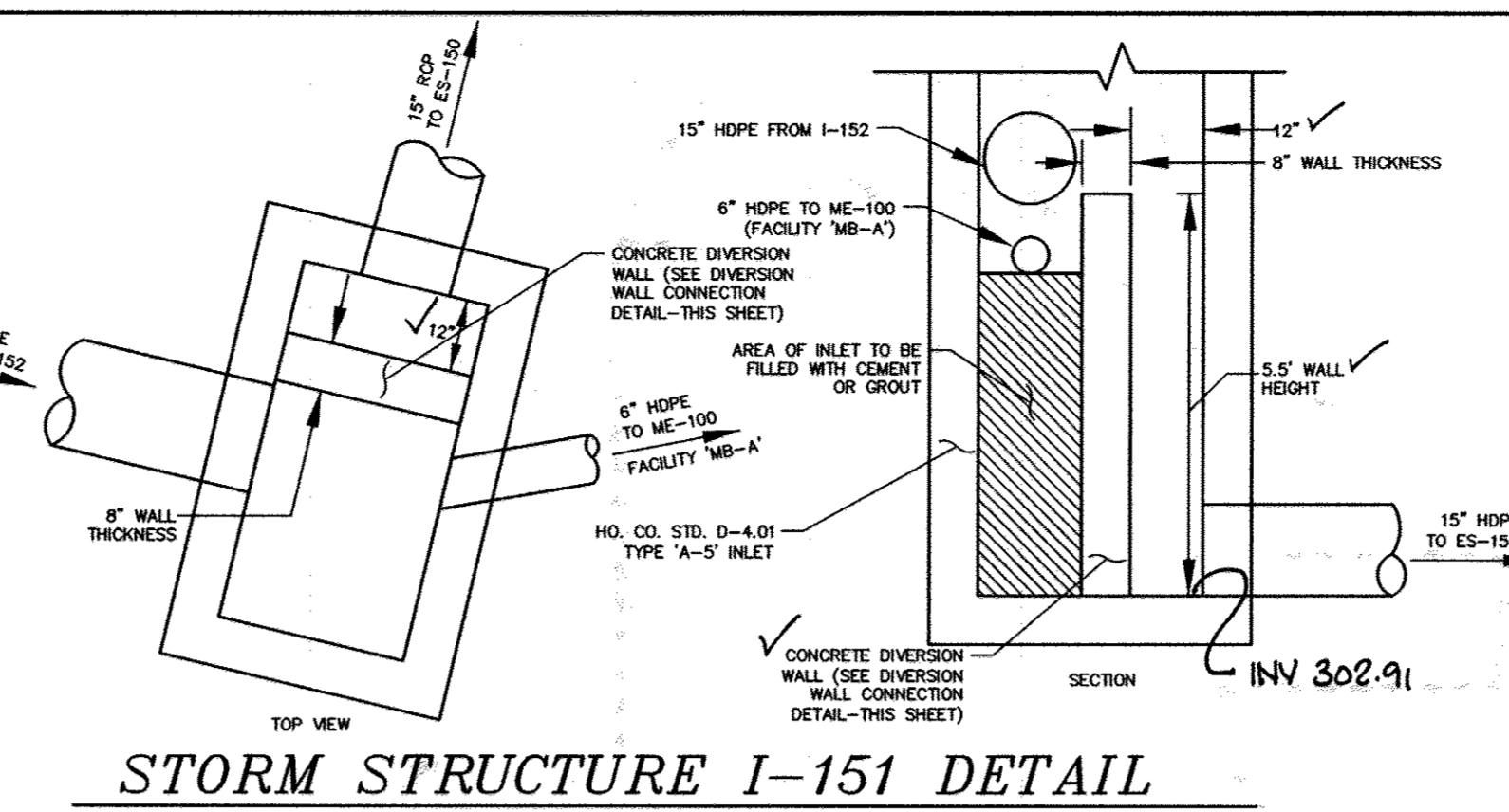
APPROVED: DEPARTMENT OF PLANNING AND ZONING
11-3-14 DATE
11-12-14 DATE
11-13-14 DATE

MICRO-BIORETENTION FACILITY (M-6) PLANT LIST

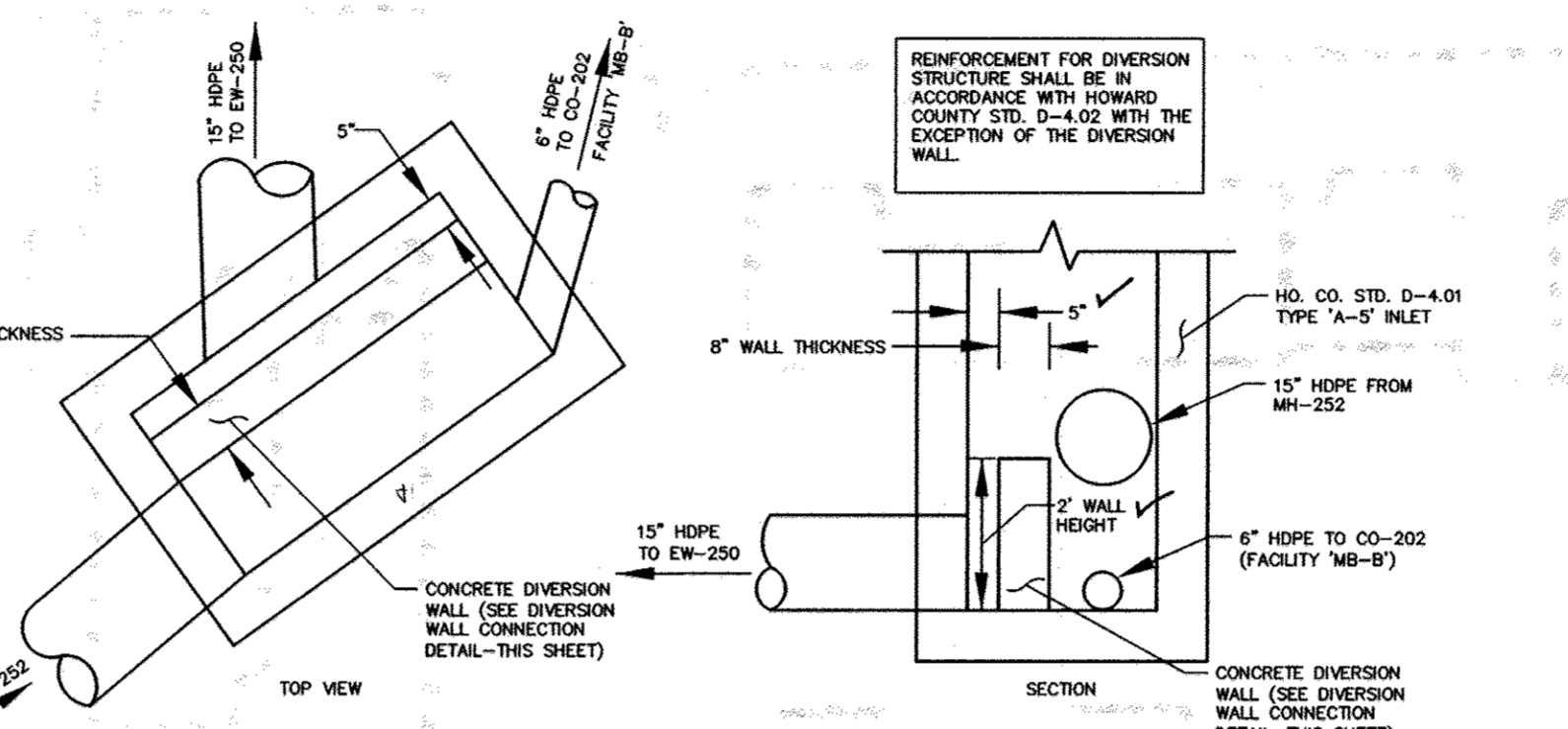
QUANTITY REQUIRED	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY REQUIRED / PROVIDED FOR EACH FACILITY
1 PER 60 SF	○	ILEX GLABRA	INK BERRY	2' - 3' HT.	MB-A: 1154 SF / 60 = 19 MB-B: 877 SF / 60 = 15 MB-C: 714 SF / 60 = 12
1 PER 20 SF	⊙	LOBELIA SIPHILITICA	GREAT BLUE LOBELIA	1 GAL. CONTAINER	MB-A: 1154 SF / 20 = 58 MB-B: 877 SF / 20 = 44 MB-C: 714 SF / 20 = 36
1 PER 30 SF	⊙	ONOCLEA SENSIBILIS	SENSITIVE FERN	1 GAL. CONTAINER	MB-A: 1154 SF / 30 = 39 MB-B: 877 SF / 30 = 29 MB-C: 714 SF / 30 = 24
1 PER 40 SF	⊙	ASTER NOVAE-ANGLIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER	MB-A: 1154 SF / 40 = 29 MB-B: 877 SF / 40 = 22 MB-C: 714 SF / 40 = 18
TOTAL:					555 PERENNIALS, 87 SHRUBS

AS-BUILT CERTIFICATION
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.
Donald Mason, P.E.
Date: 9-6-17

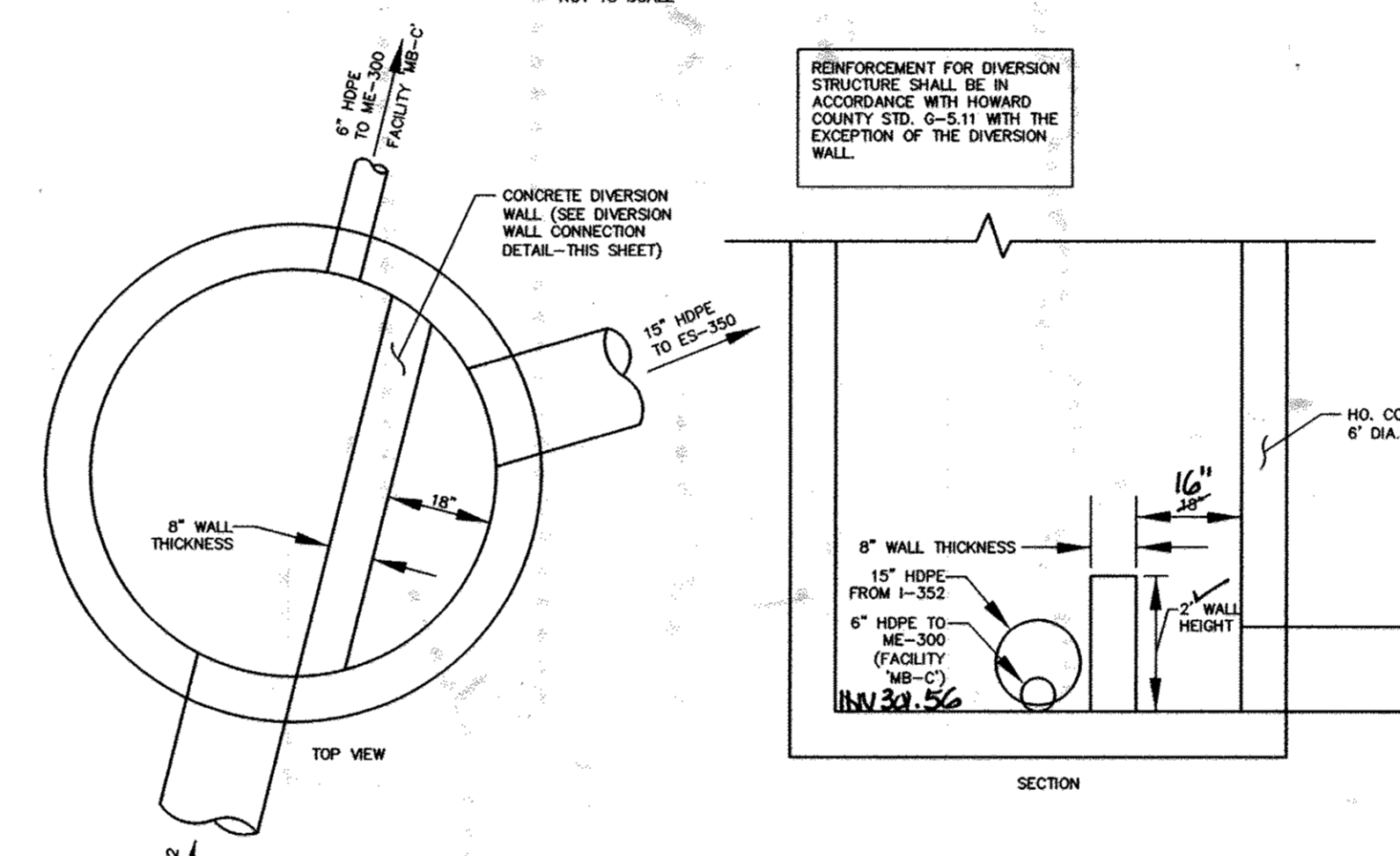
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443, Expiration Date: 12-21-19
JEFFREY S. MASON, P.E.



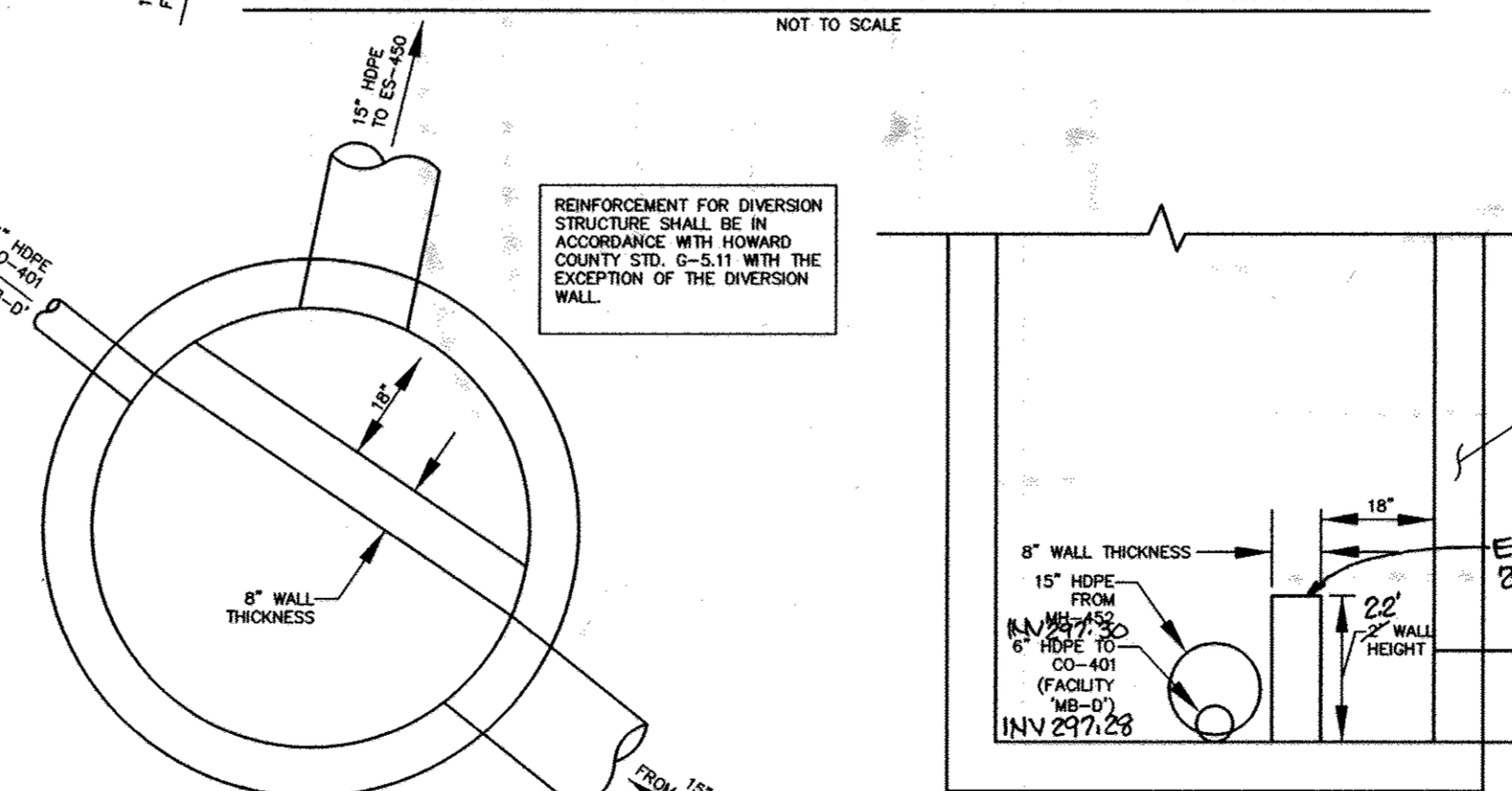
STORM STRUCTURE I-151 DETAIL
NOT TO SCALE



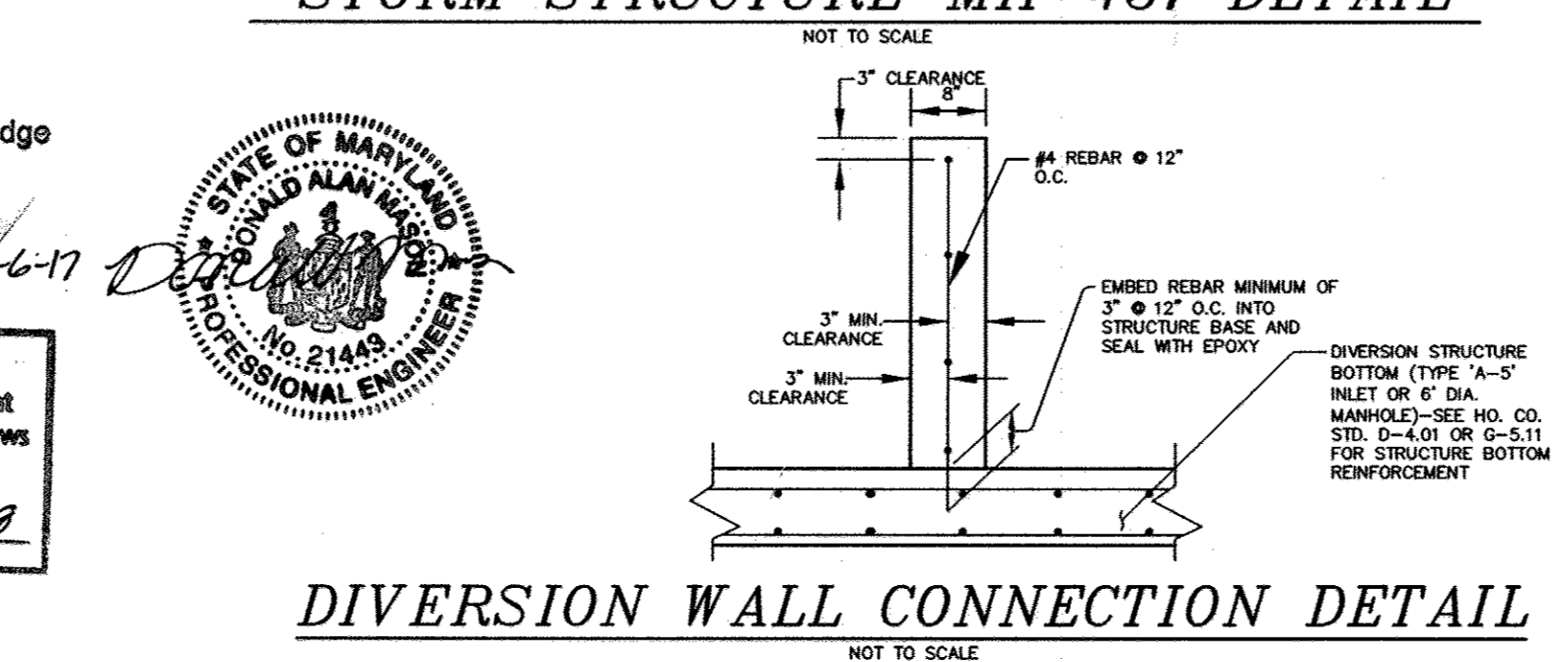
STORM STRUCTURE I-251 DETAIL
NOT TO SCALE



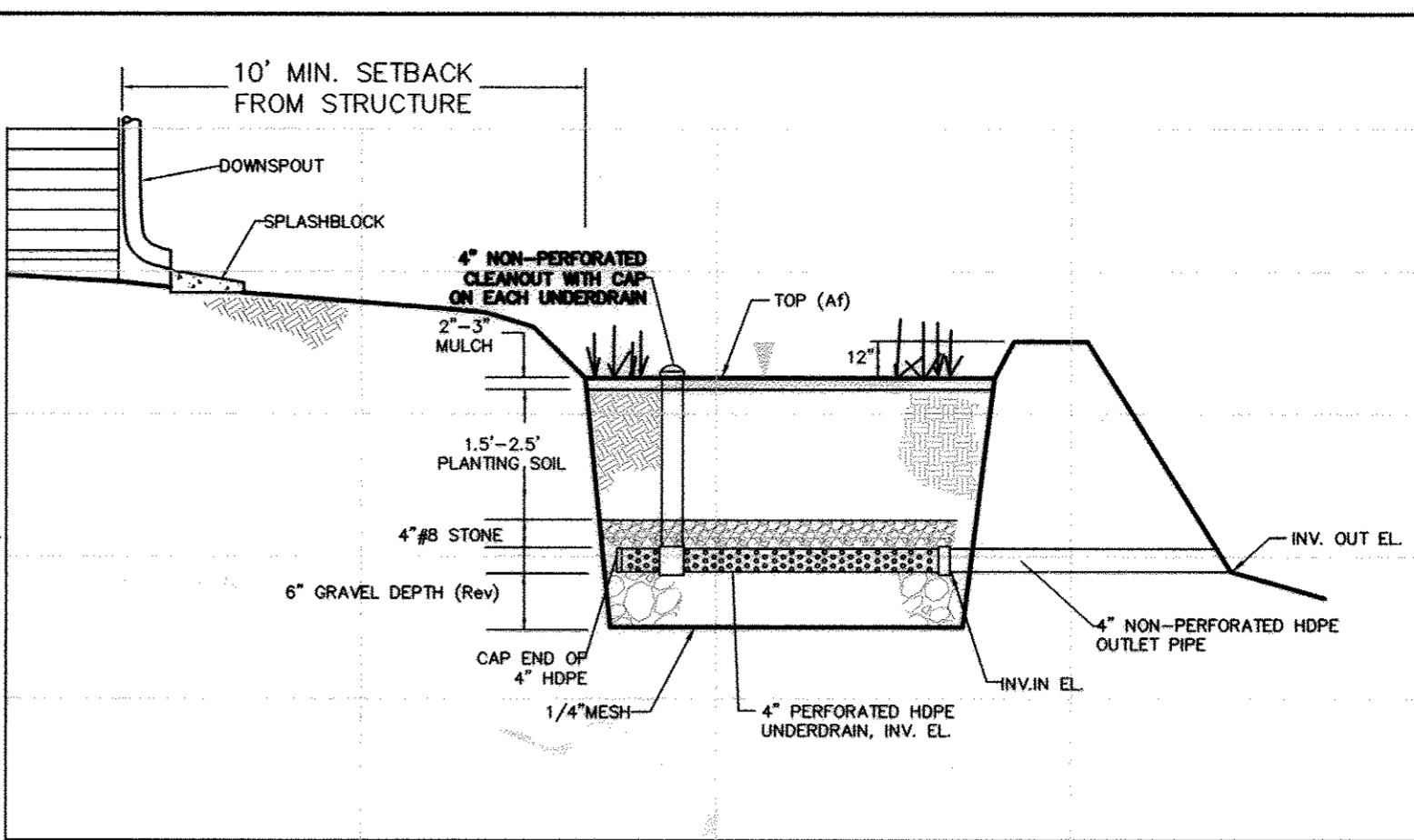
STORM STRUCTURE MH-351 DETAIL
NOT TO SCALE



STORM STRUCTURE MH-451 DETAIL
NOT TO SCALE



DIVERSION WALL CONNECTION DETAIL
NOT TO SCALE

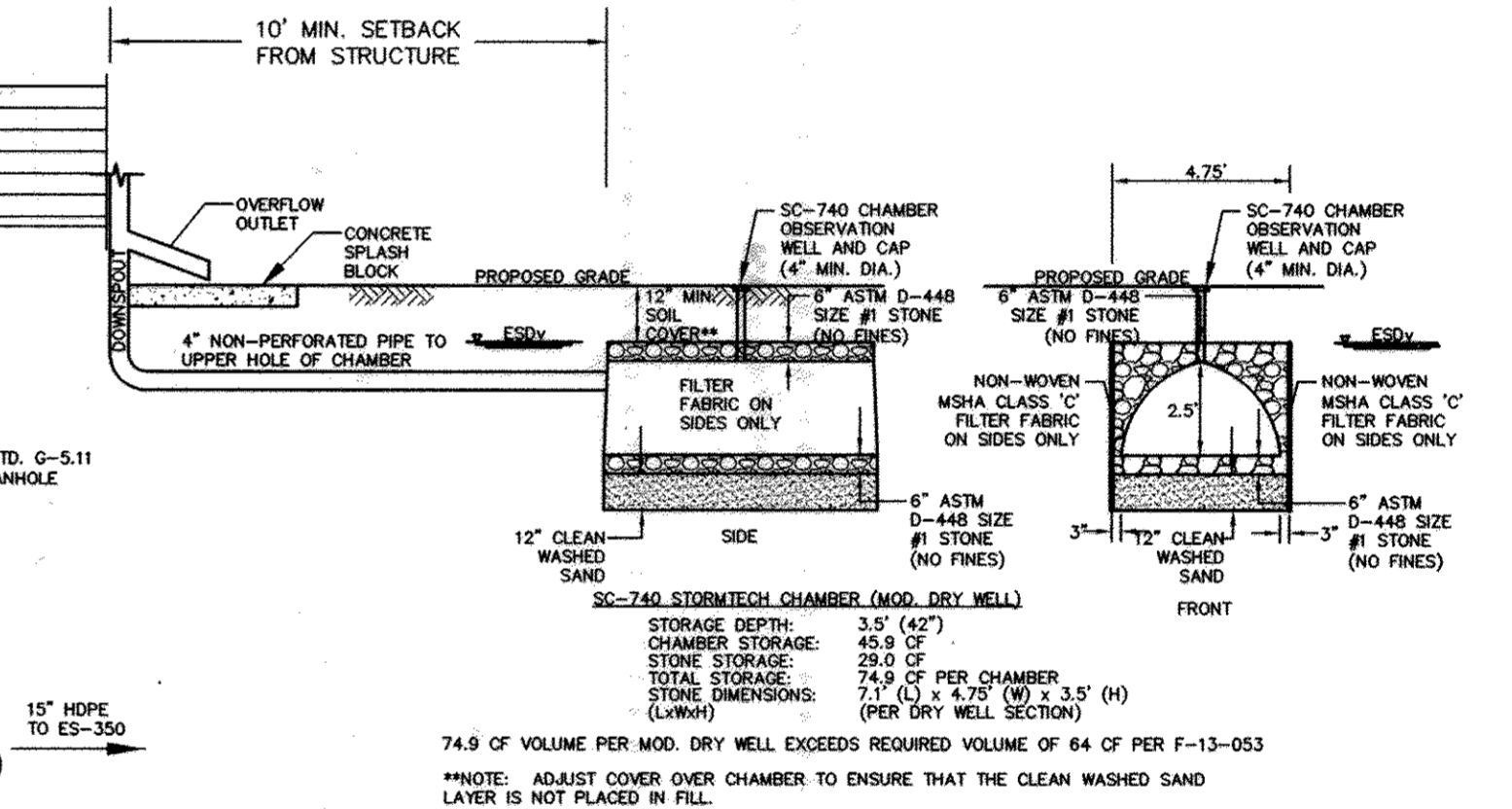


MICRO-BIORETENTION (M-6) DETAIL
NOT TO SCALE

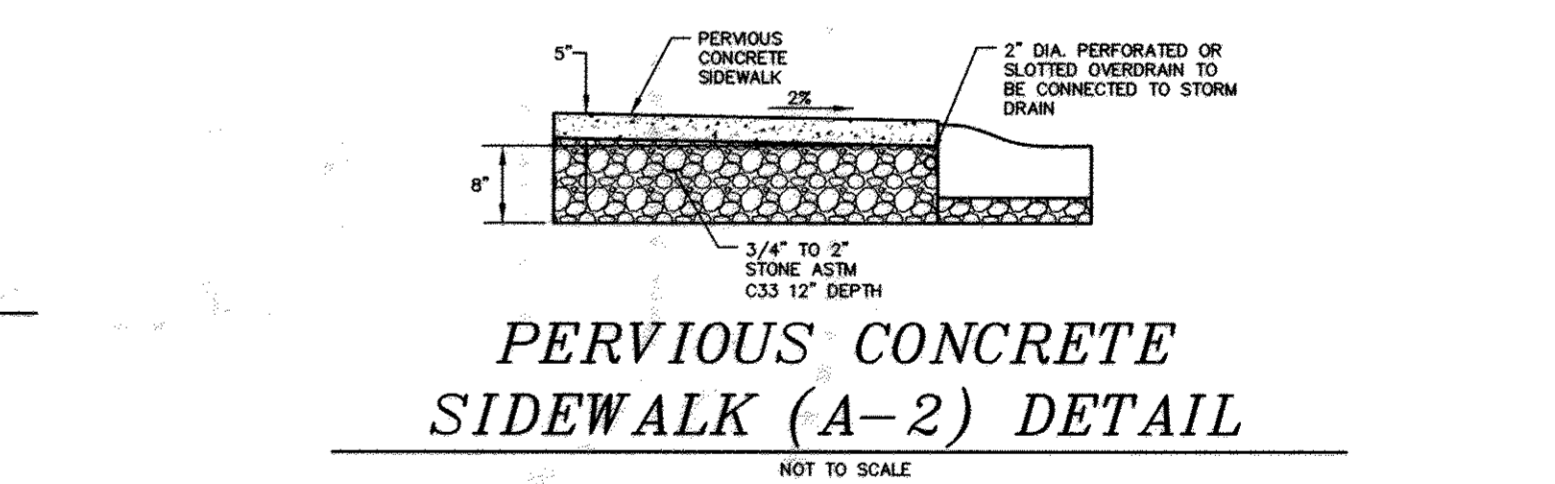
MICRO-BIORETENTION SCHEDULE

FACILITY	TOP EL. AT (A)	TOP OF DEEM (D)	INV. IN (O)	INV. OUT (O)	AREA AT TOP EL. AT (A)
MB-A	367.00	268.00	303.54	303.00	1,140 SF
MB-B	295.00	297.00	291.50	291.00	1,877 SF
MB-C	293.00	294.00	289.50	289.00	1,714 SF
MB-D	291.00	292.00	287.50	287.00	1,154 SF
MB-E	308.00	309.00	304.50	304.00	1,005 SF
MB-F	304.50	305.50	302.00	302.00	489 SF
MB-G	311.00	312.00	307.50	307.50	641 SF

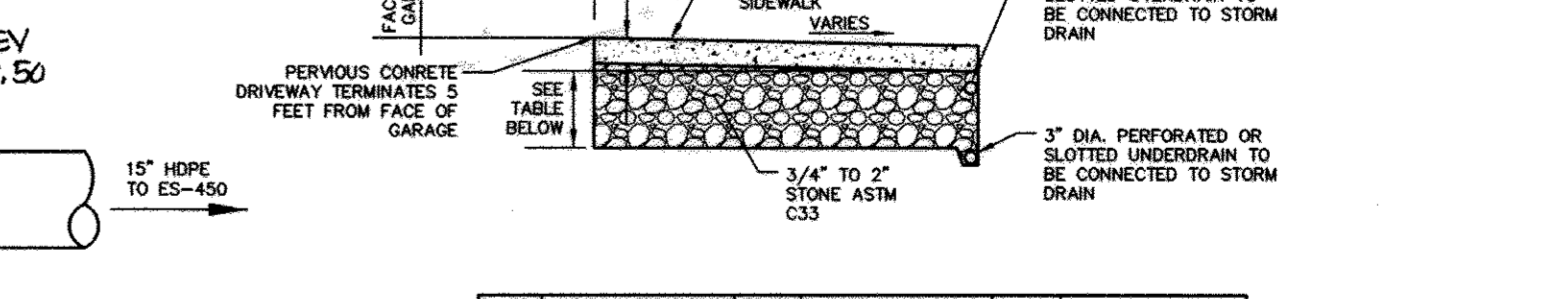
DIMENSIONS OF THE PROPOSED MICRO-BIORETENTION FACILITIES MAY BE REVISED IN THE FIELD SO LONG AS THE TOP OF FACILITY AREAS ARE MAINTAINED AND ALL REQUIRED SETBACKS ARE OBSERVED.



MODIFIED DRY WELL (M-5) DETAIL
NOT TO SCALE



PERVIOUS CONCRETE SIDEWALK (A-2) DETAIL
NOT TO SCALE



PERVIOUS CONCRETE DRIVEWAY (A-2) DETAIL
NOT TO SCALE

LOT	STONE DEPTH (IN)	LOT	STONE DEPTH (IN)	LOT	STONE DEPTH (IN)
48	N/A	16	24	31	24
49	N/A	17	24	60	24
50	24	18	24	61	24
61	24	19	24	62	24
52	24	53	24	63	24
6	24	54	24	64	24
7	24	55	24	65	24
8	24	56	24	38	24
9	24	57	24	66	24
10	24	58	24	67	24
11	24	59	24	68	24
12	24	27	24	69	24
13	24	28	24	70	N/A
14	24	29	24	71	N/A
15	24	30	24	45	N/A

PERVIOUS CONCRETE DRIVEWAY (A-2) DETAIL
NOT TO SCALE

date	SBP 2014
project	07-022
illustration	JLS
scale	JLS
approval	JLS
revision	JLS

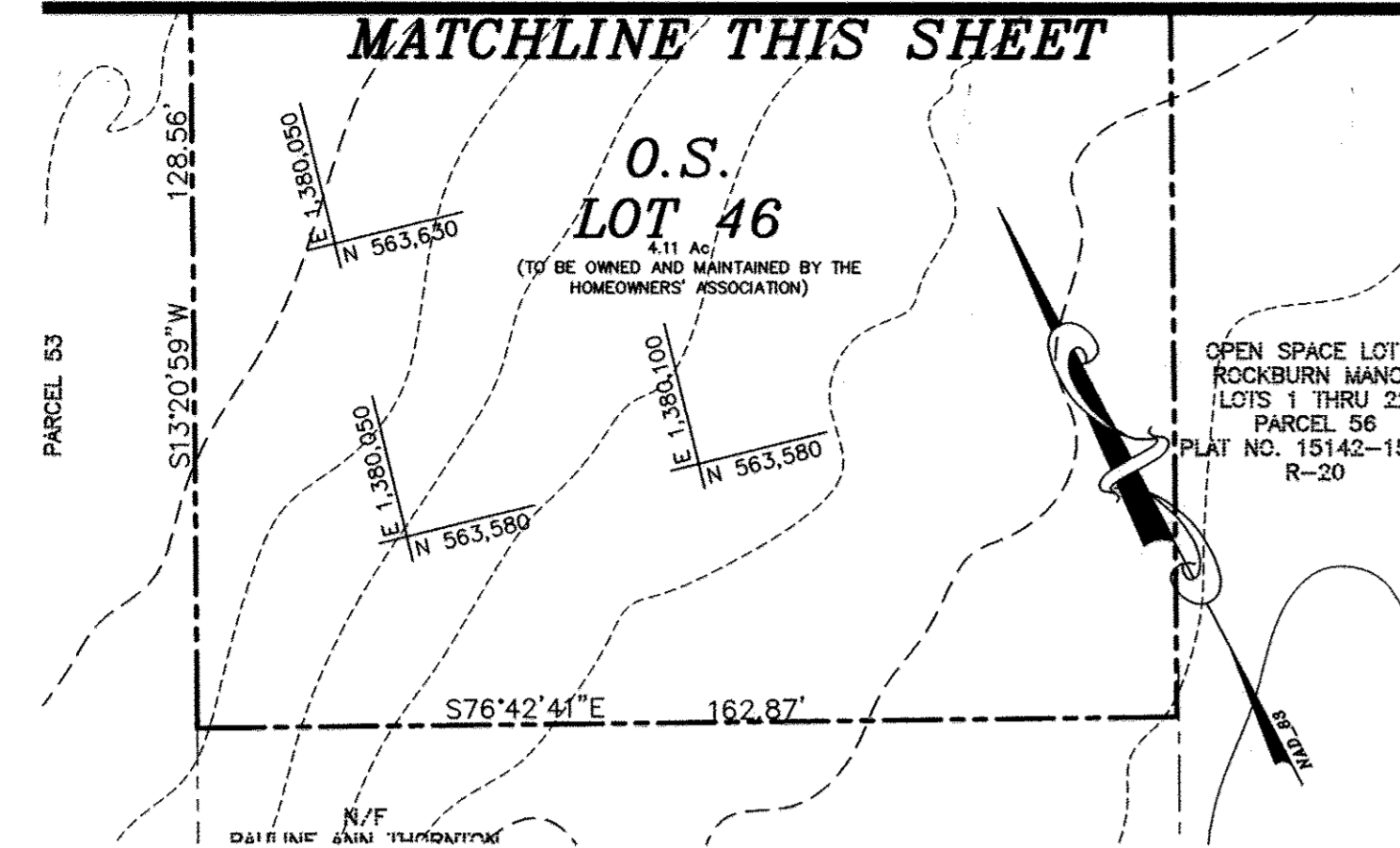
REUSE LOG NUMBER TO MATCH EXISTING PLAN SET.
DATE: 8-10-16
DESCRIPTION: STORM DRAIN AND STORMWATER MANAGEMENT DETAILS

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 45, 46, 47, 48 AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
STORM DRAIN AND STORMWATER MANAGEMENT DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
Surveyors
Engineers
Planners
7850-B Cones Drive, Columbia, Maryland 21044
(410) 987-0298 Fax

H:\07-022\DWG\07-022.DWG (17-022-SDP.DWG)

MATCHLINE THIS SHEET



REFER TO SHEETS 3 THROUGH 6 FOR WATER AND SEWER LAYOUT

SEE SHEET 3 FOR PERVIOUS CONCRETE LIMITS

SEE SHEETS 9 AND 10 FOR SOIL BORING LOGS

SEE SHEET 16 FOR CONTRIBUTING AREAS TO MICRO-BIORETENTION FACILITIES (M-6).

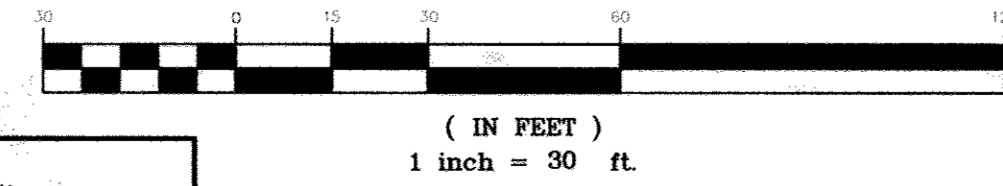
SEE SHEETS 3 AND 4 FOR LIMITS OF PERVIOUS CONCRETE SIDEWALK AND PAVING (A-2).

ALL STORMWATER MANAGEMENT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

SEE SHEET 14 FOR MICRO-BIORETENTION FACILITY (M-6) AND DRY WELL (M-5) DETAILS.

PERVIOUS CONCRETE (A-2) IS TO TERMINATE FIVE (5) FEET FROM THE FACE OF THE STRUCTURE. STANDARD ASPHALT PAVING IS TO BE USED FROM THIS POINT TO THE FACE OF THE GARAGE. SEE SHEET 14 FOR PERVIOUS CONCRETE PAVING SECTION.

GRAPHIC SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP. DATE 2/13/15



LEGEND table with 4 columns: Symbol, Description, and Notes. Includes symbols for pervious pavement, micro-bioretentment, modified dry wells, and drainage areas.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.



SOILS DESCRIPTION table with 3 columns: Designation, Hydrological Group, and Description. Lists soil types like Chillum loam and Russett fine sandy loam.

AS-BUILT CERTIFICATION. I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications.

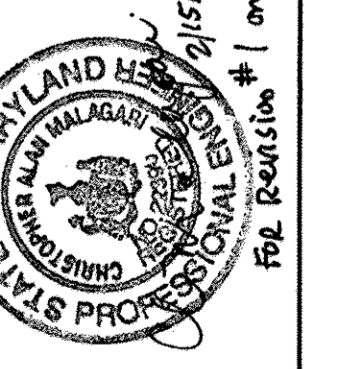
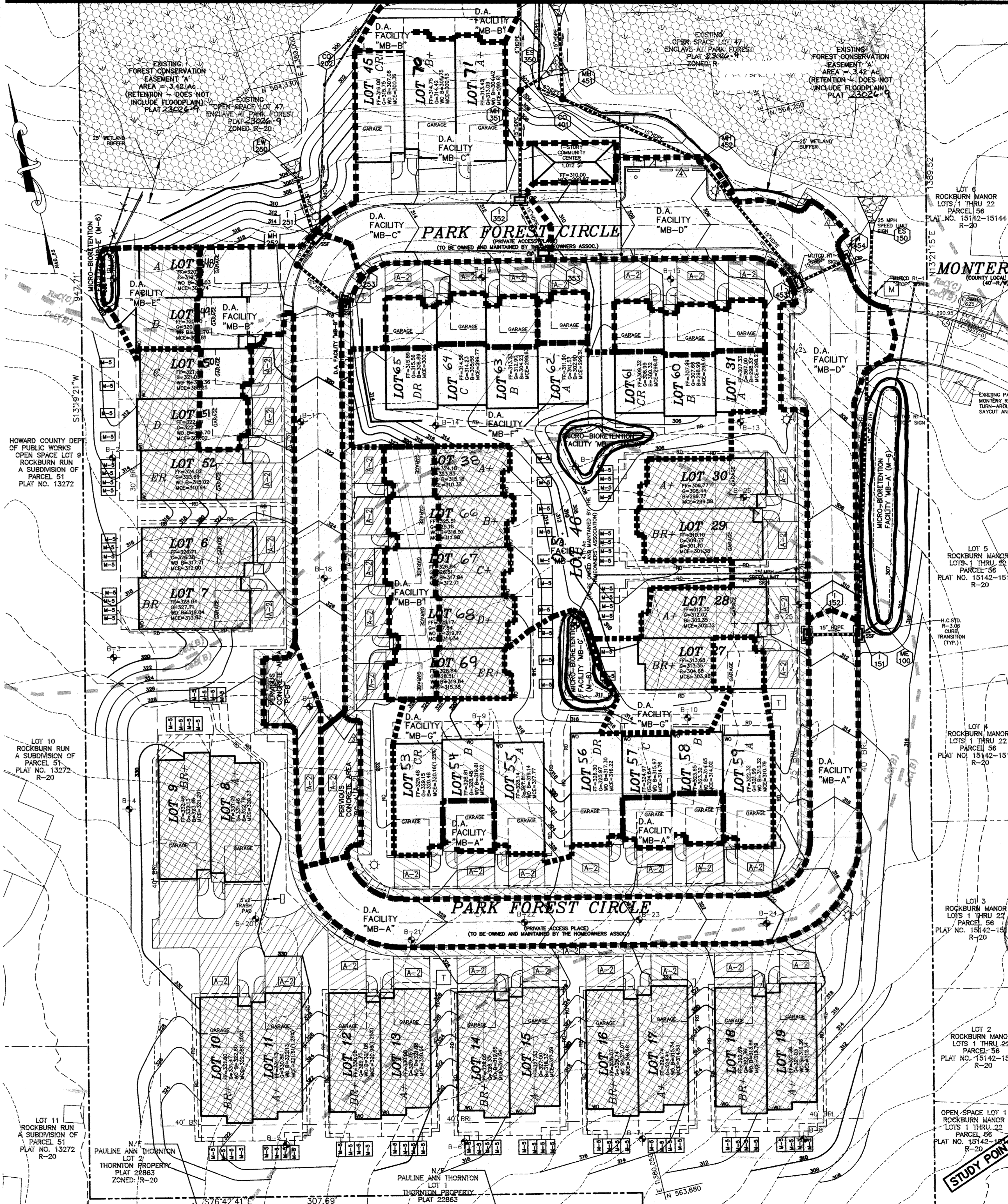
OWNER/DEVELOPER: ROCK BURN, LLC (MARK LEVY, MANAGING MEMBER)

DEVELOPERS CERTIFICATE. I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINNING THE PROJECT.

ENGINEER'S CERTIFICATE. I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Approval signatures and dates for Jeffrey S. Sloman (11-3-14), Jeffrey S. Sloman (11-12-14), and Jeffrey S. Sloman (11-13-14).



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

Project information table with columns: date, illustration, scale, and approval.

Revision table with columns: description, date, and revision number.

THE ENCLAVE AT PARK FOREST. AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 46, 48, 49, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.

MILDENBERG, BOENDER & ASSOC., INC. Engineers Planners Surveyors. 7860-B Prince Drive, Columbia, Maryland 21044. (410) 397-0236 Fax.

LEGEND

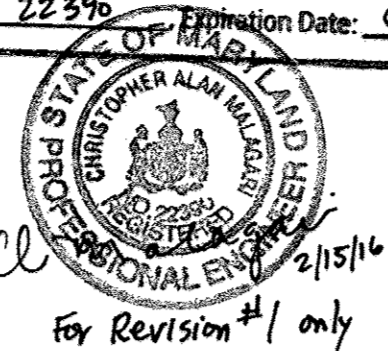
- IMPERIOUS AREA TREATED BY A-2 PERVIOUS PAVEMENT (ALSO INCLUDES AREAS OF PERVIOUS PAVEMENT). THIS SHADING ALSO DELINEATES THE DRAINAGE AREAS TO THE PERVIOUS PAVEMENT.
- IMPERIOUS AREA TREATED BY M-6, MICRO-BIORETENTION
- IMPERIOUS AREA TREATED BY M-5, MODIFIED DRY WELLS (STORMTECH SC-740 CHAMBERS).
- DRAINAGE AREA TO MODIFIED DRY WELLS (M-5)
- DRAINAGE AREA TO MICRO-BIORETENTION (M-6)
- SOIL BORING LOCATION

DRAINAGE AREAS TO MICRO-BIORETENTION FACILITIES (M-6)

DESIGNATION	CONTRIBUTING DRAINAGE AREA
MB-A	14,371 SF
MB-B	14,610 SF
MB-C	15,876 SF
MB-D	19,608 SF
MB-E	2,775 SF
MB-F	19,989 SF
MB-G	18,558 SF

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 22390 Expiration Date: 6/30/17



for Revision #1 only

SWM PRACTICES SCHEDULE (STUDY POINT 1)

PROPOSED PRACTICES	TREATED AREA TYPE	REQUIRED ESDv	PROVIDED ESDv	REQUIRED Pe	PROVIDED Pe
M-5, MODIFIED DRY WELLS (SC-740 CHAMBERS)	BUILDINGS (LOTS 10-19 FRONT & REAR)		2,996 CF		
TOTAL		2,653 CF	2,996 CF	1.60"	1.81"

SWM PRACTICES SCHEDULE (STUDY POINT 2)

PROPOSED PRACTICES	TREATED AREA TYPE	REQUIRED ESDv	PROVIDED ESDv	REQUIRED Pe	PROVIDED Pe
A-2, PERVIOUS PAVEMENT	DRIVEWAYS (PERVIOUS CONC.) DRIVEWAYS (5' IMPERVIOUS ASPHALT 'STRIP') SIDEWALK (PERVIOUS CONC.) SOUTHWEST PARKING AREAS 'PC-A, PC-B' (PERVIOUS) ROADWAY ADJACENT TO PARKING (IMPERVIOUS)		9,116 CF		
M-5, MODIFIED DRY WELLS (SC-740 CHAMBERS)	BUILDINGS (LOTS 50, 51 - REAR) (LOTS 49, 52 FRONT & REAR) (LOT 27, REAR) (LOTS 28-30, FRONT & REAR)		3,595 CF		
M-6, MICRO-BIORETENTION (MB-A)	ROADWAY (IMP.), BUILDING (LOTS 54, 57, 58 - REAR)		1,924 CF		
M-6, MICRO-BIORETENTION (MB-B)	ROADWAY (IMP.), BUILDINGS (LOTS 30, 40, 51, 60, 61 FRONT) DRIVEWAYS (IMPERVIOUS - LOTS 1, 2)		1,367 CF		
M-6, MICRO-BIORETENTION (MB-C)	ROADWAY (IMP.), BUILDINGS (LOTS 63-68 - FRONT) BUILDINGS (LOTS 45, 70, 71 - FRONT & REAR) DRIVEWAYS (IMPERVIOUS - LOTS 45, 70, 71)		1,111 CF		
M-6, MICRO-BIORETENTION (MB-D)	ROADWAY (IMP.), BUILDINGS (LOTS 31, 60, 62 FRONT) NORTHEAST PARKING AREAS (IMPERVIOUS)		1,763 CF		
M-6, MICRO-BIORETENTION (MB-E)	BUILDINGS (LOTS 48, 49 - REAR)		228 CF		
M-6, MICRO-BIORETENTION (MB-F)	BUILDINGS (LOTS 31, 60, 65 - REAR)		817 CF		
M-6, MICRO-BIORETENTION (MB-G)	BUILDINGS (LOTS 54, 57, 58 - REAR) BUILDINGS (LOTS 53, 56, 59 - FRONT & REAR)		967 CF		
TOTAL		20,627 CF	20,888 CF	1.80"	1.82"

* BY DESIGNING ESD MEASURES FOR "WOODS IN GOOD CONDITION", Cp REQUIREMENTS ARE MET
** STORMWATER MANAGEMENT QUANTITY CONTROL FOR THE 10- AND 100-YEAR STORM EVENTS IN NOT REQUIRED.

AS-BUILT CERTIFICATION
I hereby certify, by my seal, that to the best of my knowledge and belief the facilities shown on this "AS-BUILT" Plan meet the Approved Plans and Specifications

Donald Mason, P.E. Date: 9-6-17

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.

License No. 21443 Expiration Date: 12-21-18



OWNER/DEVELOPER
ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELKRIDGE, MD 21075
(410) 579-2442

SOILS DESCRIPTION

DESIGNATION	HYDROLOGICAL GROUP	DESCRIPTION
CeB	B	CHILLUM LOAM, 2 TO 5% SLOPE
CeC	B	CHILLUM LOAM, 5 TO 10% SLOPE
Fo	D	FALLSINGTON SANDY LOAM, 0 TO 2% SLOPE
RaB	C	RUSSETT FINE SANDY LOAM, 2 TO 5% SLOPE
RaC	C	RUSSETT FINE SANDY LOAM, 5 TO 10% SLOPE
RuB	C	RUSSETT AND BELTSVILLE SOILS, 5 TO 10% SLOPE

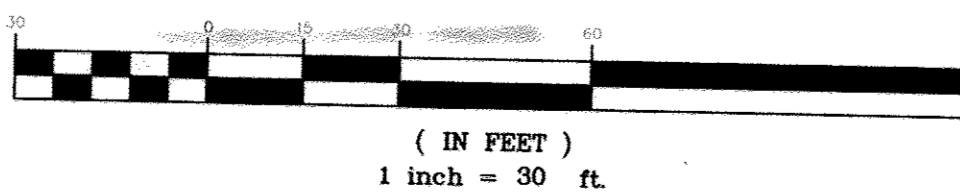
SEE SHEET 3 FOR PERVIOUS CONCRETE LIMITS

ALL STORMWATER MANAGEMENT PRACTICES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION

PERVIOUS CONCRETE (A-2) IS TO TERMINATE FIVE (5) FEET FROM THE FACE OF THE STRUCTURE. STANDARD ASPHALT PAVING IS TO BE USED FROM THIS POINT TO THE FACE OF THE GARAGE. SEE SHEET 14 FOR PERVIOUS CONCRETE PAVING SECTION.

SEE SHEETS 9 AND 10 FOR SOIL BORING LOGS

GRAPHIC SCALE



I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.

Jeffrey S. Sloman, P.E. Date: 9/18/14



DEVELOPERS CERTIFICATE

I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO PERIODIC ON-SITE INSPECTION.

Signature of Developer: Mark Levy Date: 9/22/14

Mark Levy, Rock Burn, LLC

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.

Signature of Engineer: Jeffrey S. Sloman Date: 9/18/14

Jeffrey S. Sloman, P.E.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of District Director: John R. Robertson Date: 10/23/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING

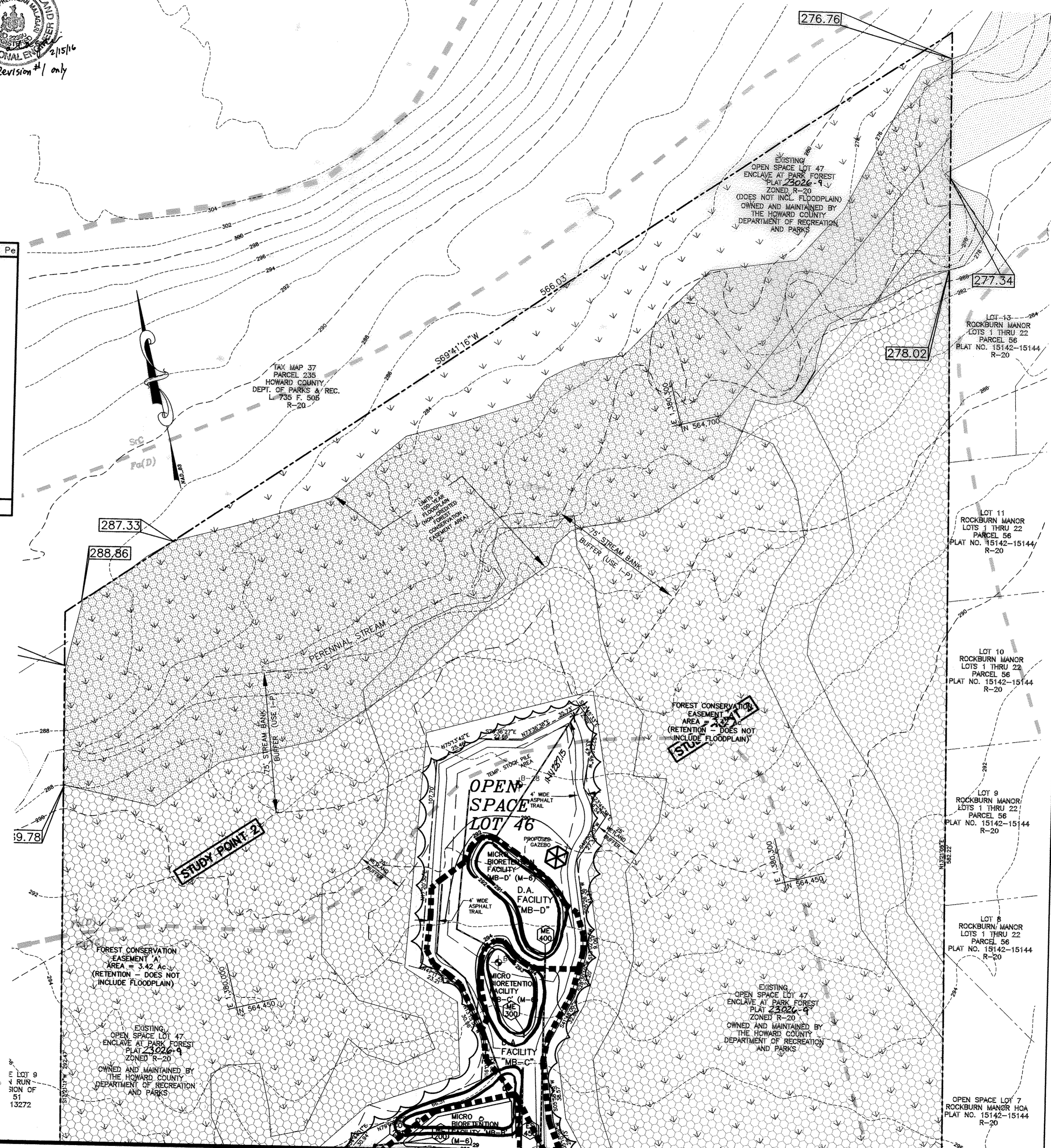
Signature of Chief: Chris E. Smith Date: 11-3-14

Chief, Development Engineering Division

Signature of Chief: K. S. Johnson Date: 11-12-14

Chief, Division of Land Development

Signature of Director: [Signature] Date: 11-13-14



MATCHLINE SHEET 15

Project	07-092	Date	SEP 2014
Illustration	JLS	Engineering	JLS
Scale	1"=30'	Approval	JLS
Revisions			

Revisions		Date	
1	Route 101 Umbrella To meet Revision #1	2-10-16	

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 45, 46, 47 AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
STORMWATER MANAGEMENT PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850 R. Crane Drive, Columbia, Maryland 21044
(410) 997-0286 Fax: (410) 997-0286

THIS PLAN IS TO BE USED FOR FOREST CONSERVATION PURPOSES ONLY

PLANTING SPECIFICATIONS AND NOTES

- SITE PREPARATION AND SOILS**
- PROTECTION FENCING AND SILT FENCES FOR SEDIMENT AND EROSION CONTROL ARE TO BE INSTALLED AS A FIRST ORDER OF BUSINESS. SEE PLAN FOR LOCATIONS.
 - DISTURBANCE OF SOILS SHOULD BE LIMITED TO THE PLANTING FIELD FOR EACH PLANT. AS SHOWN ON THE DETAIL VIEW, A PLANTING FIELD OF RADIUS = 5 X DIAMETER OF THE ROOT BALL OR CONTAINER IS RECOMMENDED.
 - SOIL MIX FOR ALL PLANTS EXCEPT ERICACEOUS MATERIAL. SOIL MIX SHALL CONSIST OF EXISTING NATIVE TOPSOIL MIXTURE AT EACH PLANTING FIELD LOCATION INTO WHICH THE CONTRACTOR SHALL THOROUGHLY INCORPORATE 25% BY VOLUME OF COMPOSTED SLUDGE.
 - SOIL MIX FOR ERICACEOUS MATERIAL. SOIL MIX SHALL CONSIST OF EXISTING NATIVE TOPSOIL MIXTURE AT EACH PLANTING FIELD LOCATION INTO WHICH THE CONTRACTOR SHALL THOROUGHLY INCORPORATE 25% BY VOLUME FEAT MOSS.
 - ALL MIXING IN 3 AND 4 SHALL BE LIMITED TO CONTAINER GROWN OR BALL AND BURLAP STOCK ONLY AND CONFINED TO THE PLANTING FIELD AND IMMEDIATE ADJACENT SOIL SURFACE AREA AND SHALL BE DONE TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.
- PLANT STOCKING AND INSPECTION**
- FOR CONTAINER GROWN NURSERY STOCK, PLANTING SHOULD OCCUR WITHIN 2 WEEKS AFTER DELIVERY TO THE SITE.
 - FOR BALL AND BURLAP NURSERY STOCK, PLANTING SHOULD OCCUR WITHIN THREE DAYS AFTER DELIVERY TO THE SITE.
 - PLANTING STOCK SHOULD BE INSPECTED PRIOR TO PLANTING. PLANTS NOT CONFORMING TO STANDARD NURSERYMAN SPECIFICATIONS FOR SIZE, FORM, VIGOR, ROOTS, TRUNK WOUNDS, INSECTS AND DISEASE SHOULD BE REPLACED.
 - UNTIL PLANTED, ALL PLANT STOCK SHALL BE KEPT IN A SHADED, COOL, AND MOISTENED ENVIRONMENT.
- PLANT INSTALLATION**
- THE PLANTING FIELD SHOULD BE PREPARED AS SPECIFIED (SEE DETAIL). NATIVE STOCKED SOILS SHOULD BE USED FOR SOIL MIX AND BACKFILL FOR PLANTING FIELD. AFTER PLANT INSTALLATION, BACK SOILS EVENLY OVER THE PLANTING FIELD AND COVER WITH AT LEAST 4 INCHES OF MULCH. WATER, GENEROUSLY, TO SETTLE SOIL BACKFILLED AROUND TREES.
 - PLANTING FIELD DIAMETERS SHOULD BE REDUCED OR PLANTING FIELD MOVED IF IT APPEARS THAT EXCESSIVE EXISTING ROOT DAMAGE MAY OCCUR DURING DIGGING OPERATION NEAR EXISTING FOREST.
 - CARE SHALL BE TAKEN WHEN DIGGING PLANTING FIELDS NOT TO CHOP THROUGH LARGER EXISTING ROOTS FROM EXISTING MATURE TREES. IF ROOTS GREATER THAN 1/2 INCH ARE ENCOUNTERED PLEASE TRY TO DIG AROUND THEM AS MUCH AS POSSIBLE TO MINIMIZE IMPACT TO EXISTING TREES. IF THEY WERE HERE FIRST.
 - CONTAINER GROWN STOCK SHOULD BE REMOVED FROM THE CONTAINER AND ROOTS GENTLY LOOSENED FROM THE SOIL. IF THE ROOTS ENIRCLE THE ROOT BALL, SUBSTITUTION IS STRONGLY RECOMMENDED. J-SHAPED OR KINKED ROOT SYSTEMS SHOULD ALSO BE NOTED. ROOTS MAY NOT BE TRIMMED ON SITE, DUE TO THE INCREASED CHANCES OF SOIL BORNE DISEASES.
 - FOR BALL AND BURLAP STOCK, PLACE TREE IN PREPARED PLANTING FIELD AND REMOVE WIRE AND/OR STRING FROM ROOT BALL. THEN FEEL BACK BURLAP TO BASE OF ROOT BALL AND COVER ENTIRE ROOT BALL WITH TOPSOIL MIXTURE INDICATED ABOVE AND WATER GENEROUSLY.
 - FOR TREES PLANTED IN THE AFFORESTATION AREA, CONTRACTOR SHALL EVENLY DISPERSE SPECIES IN GROUPS OF TWO (2) TO FOUR (4), PER SPECIES, OVER THE ENTIRE DESIGNATED AREA TO BE PLANTED WHILE MAINTAINING AN AVERAGE RANDOM SPACING OF INDIVIDUAL TREES AT PROPER SPACING INDICATED ON PLANT LIST.
- POST CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT PROGRAM**
- ANNUAL MAINTENANCE DURING THE GROWING SEASON, FOR A THREE YEAR PERIOD.
 - ASSESS TREE MORTALITY OF PLANTING STOCK, REMOVE AND REPLACE ANY DEAD OR DISEASED PLANTINGS.
 - VOLUNTEER SEEDING OF NATIVE, LOCAL AND ENDEMIC VEGETATION IS TO BE EXPECTED. DO NOT DISCOURAGE THIS EFFORT UNLESS IT IS NEGATIVELY EFFECTING THE PLANTED STOCK.
 - REMOVE THROUGH MANUAL MEANS (GRUBBING, PULLING, CUTTING) AGGRESSIVE, NOXIOUS, INVASIVE SPECIES AND ALL HERBACEOUS VEGETATION WITHIN A 3-FOOT RADIUS SURROUNDING THE PLANTED WOODY NURSERY STOCK.
 - REMOVE AND DISPOSE OF MAN-MADE TRASH, INCLUDING ITEMS CONTAINED WITHIN ENTIRE PLANTING AREA. DO NOT REMOVE DOWN AND DEAD MATERIAL, NATURALLY OCCURRING OR ACCUMULATING, UNLESS IT IS SMOTHERING PLANTING STOCK.
 - A 75 PERCENT SURVIVAL OF PLANTED STOCK MUST BE ACHIEVED AT THE END OF THE 24 MONTH PLANTING PERIOD. IF NOT, ADDITIONAL PLANTINGS MAY BE REQUIRED TO ACHIEVE THIS GOAL.
- SUPERVISION**
- ALL FOREST CONSERVATION ACTIVITIES SHALL BE DONE UNDER THE DIRECT SUPERVISION OF SOMEONE FROM THE DESIGN TEAM OR OTHER QUALIFIED PROFESSIONAL AS DETERMINED BY THE REQUIREMENTS OF COMAR 08.19.06.01 AND THE MARYLAND DEPARTMENT OF NATURAL RESOURCES, PUBLIC LANDS AND FORESTRY DIVISION.
- STANDARD SPECIMEN TREE NON-DISTURBANCE NOTE:**
- THERE SHALL BE NO CLEARING, GRADING, CONSTRUCTION, SOIL COMPACTION OR EXCAVATION, INTRODUCTION OF TOXIC CHEMICALS OR OTHER DISTURBANCES DETRIMENTAL TO THE LINE SPECIMEN TREES OR CRITICAL ROOT ZONES FOR THESE TREES EXCEPT AS PERMITTED BY HOWARD COUNTY.
- CONSTRUCTION PERIOD PROTECTION AND MANAGEMENT PROGRAM**
- ALL FOREST RETENTION AREAS AND ISOLATED POTENTIAL SPECIMEN TREES SHALL BE TEMPORARILY PROTECTED BY WELL ANCHORED BLAZE ORANGE PLASTIC MESH FENCING AND SIGNAGE AS INDICATED ON THE PLANS. THE DEVICES SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY AND AROUND ISOLATED POTENTIAL SPECIMEN TREES PRIOR TO ANY LAND CLEARING, GRUBBING, OR GRADING ACTIVITIES.
 - SUPER SILT FENCE SHALL BE INSTALLED AS SHOWN ON THE PLAN. BLAZE ORANGE PLASTIC MESH FENCING SHALL BE INSTALLED ALONG THE FOREST RETENTION BOUNDARY WHERE THERE IS NO SUPER SILT FENCE PROPOSED, AFTER THE PLANTING OF THE EASEMENT.
 - THE FOREST PROTECTION DEVICES SHALL BE INSTALLED SUCH THAT THE CRITICAL ROOT ZONES OF ALL TREES WITHIN THE RETENTION AREA NOT OTHERWISE PROTECTED WILL BE WITHIN FOREST PROTECTION DEVICES. IT IS UNDERSTOOD THAT THE INSTALLATION OF THE FENCING IN THIS MANNER WILL CREATE AN IRREGULAR EDGE.
 - ALL PROTECTION DEVICES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE ATTACHMENT OF SOILS, OR ANY OTHER OBJECTS TO TREES IS PROHIBITED. NO EQUIPMENT, MACHINERY, VEHICLES, MATERIALS OR EXCESSIVE PEDESTRIAN TRAFFIC SHALL BE ALLOWED WITHIN THE PROTECTED AREAS.
 - INSTALLATION AND MAINTENANCE OF PROTECTIVE FENCING AND SIGNAGE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL TAKE THE UTMOST CARE TO PROTECT TREE ROOT SYSTEMS DURING ALL CONSTRUCTION ACTIVITIES. TREE ROOT SYSTEMS SHALL BE PROTECTED FROM SMOTHERING, FLOODING, EXCESSIVE WETTING FROM DE-WATERING OPERATIONS, OFF-SITE RUN OFF, SPILLAGE AND DRAINING OF MATERIALS THAT MAY BE HARMFUL TO TREES.
 - GENERAL CONTRACTOR SHALL PREVENT PARKING OF CONSTRUCTION VEHICLES AND EQUIPMENT, AND THE STORING OF BUILDING SUPPLIES OR STOCKPILING OF EARTH WITHIN FOREST CONSERVATION EASEMENTS.
 - REMOVAL OF TOPSOIL OR ROOT MAT WITHIN THE TREE PRESERVATION AREA SHALL BE PROHIBITED.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY TREES DAMAGED OR DESTROYED WITHIN THE FOREST CONSERVATION EASEMENTS.
 - ROOT PRUNING SHALL BE USED AT THE LIMIT OF DISTURBANCE OR LIMIT GRADING WITHIN AND ADJACENT TO ALL FORESTED AREAS. PLEASE REFER TO ROOT PRUNING DETAIL THIS SHEET.
- PRE-CONSTRUCTION MEETING:**
- AFTER THE BOUNDARIES OF THE FOREST RETENTION AREAS HAVE BEEN FIELD LOCATED AND MARKED, AND AFTER THE FOREST PROTECTION DEVICES HAVE BEEN INSTALLED, BUT BEFORE ANY OTHER DISTURBANCE HAS TAKEN PLACE ON SITE, A PRE-CONSTRUCTION MEETING SHALL TAKE PLACE ON SITE. THE DEVELOPER, CONTRACTOR OR PROJECT MANAGER, AND HOWARD COUNTY INSPECTORS SHALL ATTEND. THE PURPOSE OF THIS MEETING WILL BE:
 - TO IDENTIFY THE LOCATIONS OF THE FOREST RETENTION AREAS, SPECIMEN TREES WITHIN 50 FEET OF THE LIMIT OF DISTURBANCE, LIMITS OF CONSTRUCTION, PROTECTION PARKING AREAS AND EQUIPMENT STAGING AREAS.
 - INSPECT ALL FLAGGED BOUNDARIES AND PROTECTION DEVICES; MAKE ALL NECESSARY ADJUSTMENTS.
 - ASSIGN RESPONSIBILITIES AS APPROPRIATE AND DISCUSS PENALTIES.
 - CONSTRUCTION MONITORING
 - THE SITE SHALL BE INSPECTED PERIODICALLY DURING THE CONSTRUCTION PHASE OF THE PROJECT. A QUALIFIED PROFESSIONAL SHALL BE RESPONSIBLE FOR IDENTIFYING DAMAGE TO PROTECTED FOREST AREAS OR INDIVIDUAL TREES WHICH MAY HAVE BEEN CAUSED BY CONSTRUCTION ACTIVITIES, SUCH AS SOIL COMPACTION, ROOT INJURY, TRUNK WOUNDS, LIMB INJURY, OR STRESS CAUSED BY FLOODING OR DROUGHT CONDITIONS.
 - ANY SUCH DAMAGE THAT MAY OCCUR SHALL BE REMEDIATED IMMEDIATELY USING APPROPRIATE MEASURES. SEVERE PROBLEMS MAY REQUIRE CONSULTATION WITH A PROFESSIONAL ARBORIST.
- THE CONSTRUCTION PROCEDURE SHALL NOT DAMAGE AREAS OUTSIDE OF THE LIMITS OF DISTURBANCE AS DESIGNATED ON THE PLANS. ANY DAMAGE SHALL BE RESTORED BY THE CONTRACTOR AT HIS EXPENSE AND TO THE SATISFACTION OF THE DESIGN TEAM OR ENGINEER.

GENERAL NOTES:

- FOREST CONSERVATION OBLIGATIONS IN ACCORDANCE WITH SECTION 18.1200 OF THE HOWARD COUNTY CODE AND FOREST CONSERVATION ACT FOR THIS SUBDIVISION WILL BE FULFILLED BY ONSITE RETENTION OF 3.42 AC (148,975.20 SF) WHICH IS SUFFICIENT TO MEET THE BREAK EVEN POINT OF 3.19 ACRES OF RETENTION. NO SURETY IS REQUIRED FOR RETENTION.
- FOREST CONSERVATION SIGNAGE SHALL BE PLACED FOR PERPETUITY.

THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

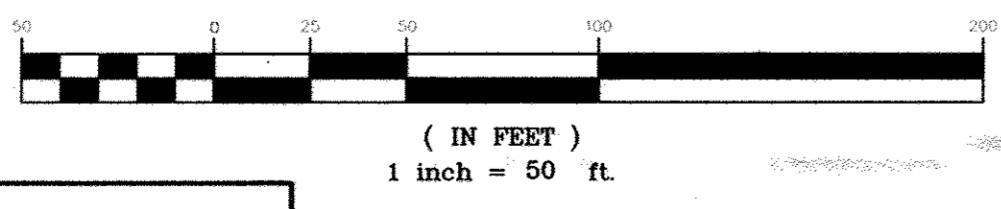
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 22379, Expiration Date: 6/30/17

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 21443, Expiration Date: 12-21-16

OWNER/DEVELOPER

ROCK BURN, LLC
(MARK LEVY, MANAGING MEMBER)
6800 DEERPATH ROAD
SUITE 100
ELKRIEDEL, MD 21075
(410) 578-2442

GRAPHIC SCALE



APPROVED: DEPARTMENT OF PLANNING AND ZONING
11-3-14
16-12-14
11-13-14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
11-3-14
16-12-14
11-13-14

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 40091, EXP DATE 2/13/15.
JEFFREY SLOMAN, P.E. 9/18/14 DATE

MASHID TRINGA
DNR QUALIFIED PROFESSIONAL
AG-BUILT

LEGEND

- FLOODPLAIN
- WETLANDS
- FOREST CONSERVATION EASEMENT (RETENTION)
- EXISTING TREE LINE
- LIMIT OF DISTURBANCE
- ▲ DENOTES FOREST CONSERVATION SIGNAGE

FOREST RETENTION AREA
MACHINERY, DUMPING OR STORAGE OF ANY MATERIALS IS PROHIBITED
VEHICLES ARE SUBJECT TO THE MARYLAND FOREST CONSERVATION ACT OF 1991

SIGNAGE DETAILS
NOT TO SCALE

FOREST CONSERVATION WORKSHEET

NET TRACT AREA:
A. Total tract area = 12.42
B. Area within 100 year floodplain = 1.14
C. Area to remain in agricultural production = 0.00
D. Net tract area = 11.28

LAND USE CATEGORY:
Input the number "1" under the appropriate land use zoning, and limit to only one entry.
AREA MORE DETAILED FROM DCA:
0 0 0 1 0 0
15% x D = 1.69
20% x D = 2.25

EXISTING FOREST COVER:
G. Existing forest cover (excluding floodplain) = 6.93
H. Area of forest above afforestation threshold = 5.24
I. Area of forest above conservation threshold = 4.67
BREAK EVEN POINT:
J. Forest retention above threshold with no mitigation = 3.19
K. Clearing permitted without mitigation = 3.74

PROPOSED FOREST CLEARING:
L. Total area of forest to be cleared = 3.51
M. Total area of forest to be retained = 3.42

PLANTING REQUIREMENTS:
N. Reforestation for clearing above conservation threshold = 0.88
O. Reforestation for clearing below conservation threshold = 0.00
P. Credit for retention above conservation threshold = 1.16
R. Total reforestation required = 0.00
S. Total afforestation required = 0.00
T. Total reforestation and afforestation required = 0.00

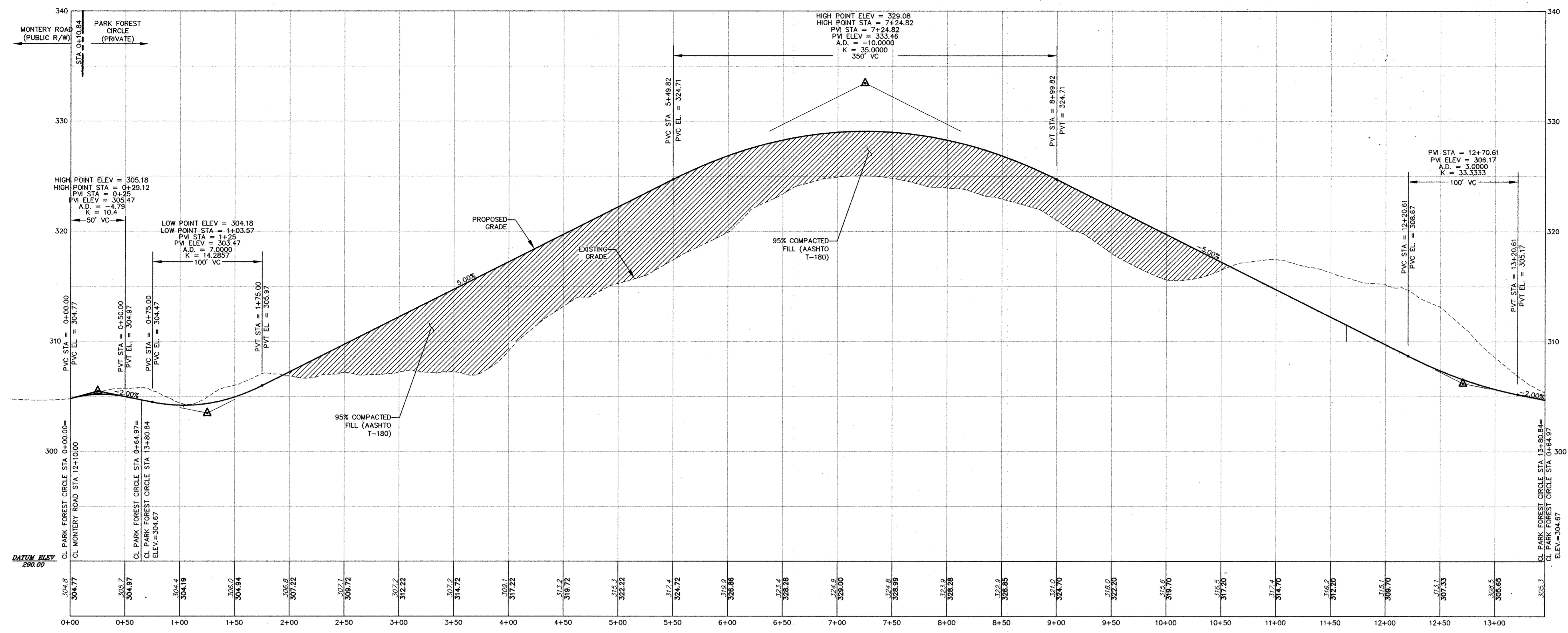
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project: SBP 2014
date: 07-022
illustration: JLS
scale: 1"=60'
approval: JLS
RH

REVISE LIST NUMBERS TO MATCH REVISION PLAN
no. description revisions

THE ENCLAVE AT PARK FOREST
AGE-RESTRICTED SINGLE-FAMILY ATTACHED AND SEMI-DETACHED LOTS 45-48-71 AND OPEN SPACE LOT 46
TAX MAP 37, PARCELS 52, 53 AND 54 BLOCK 5
FIRST ELECTION DISTRICT
HOWARD COUNTY
FOREST CONSERVATION PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7850-B Crues Drive, Columbia, Maryland 21044
(410) 997-0298 Fax



PARK FOREST CIRCLE (PRIVATE) ROAD PROFILE

SCALE: 1"=50' HOR
 1"=5' VER

OWNER/DEVELOPER

ROCK BURN, LLC
 (MARK LEVY, MANAGING MEMBER)
 6800 DEERPATH ROAD
 SUITE 100
 ELK RIDGE, MD 21075
 (410) 579-2442

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>Jeffrey L. Sloman</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	11-3-14
<i>Kat Skulsvold</i> CHIEF, DIVISION OF LAND DEVELOPMENT	11-12-14
<i>Timothy Powers</i> DIRECTOR	11-13-14

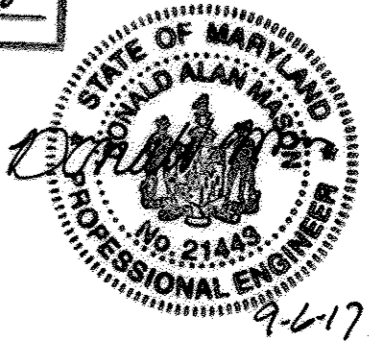


GRAPHIC SCALE
 (IN FEET)
 1 inch = 50 ft.

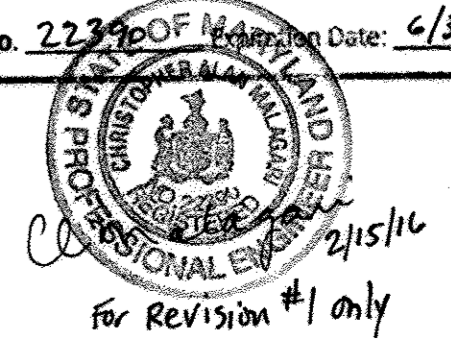
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Jeffrey L. Sloman
 JEFFREY SLOMAN, P.E.
 DATE: 9/18/14

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 License No. 21423, Expiration Date: 12-21-16



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
 License No. 22320, Expiration Date: 6/30/17



THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET

AS-BUILT