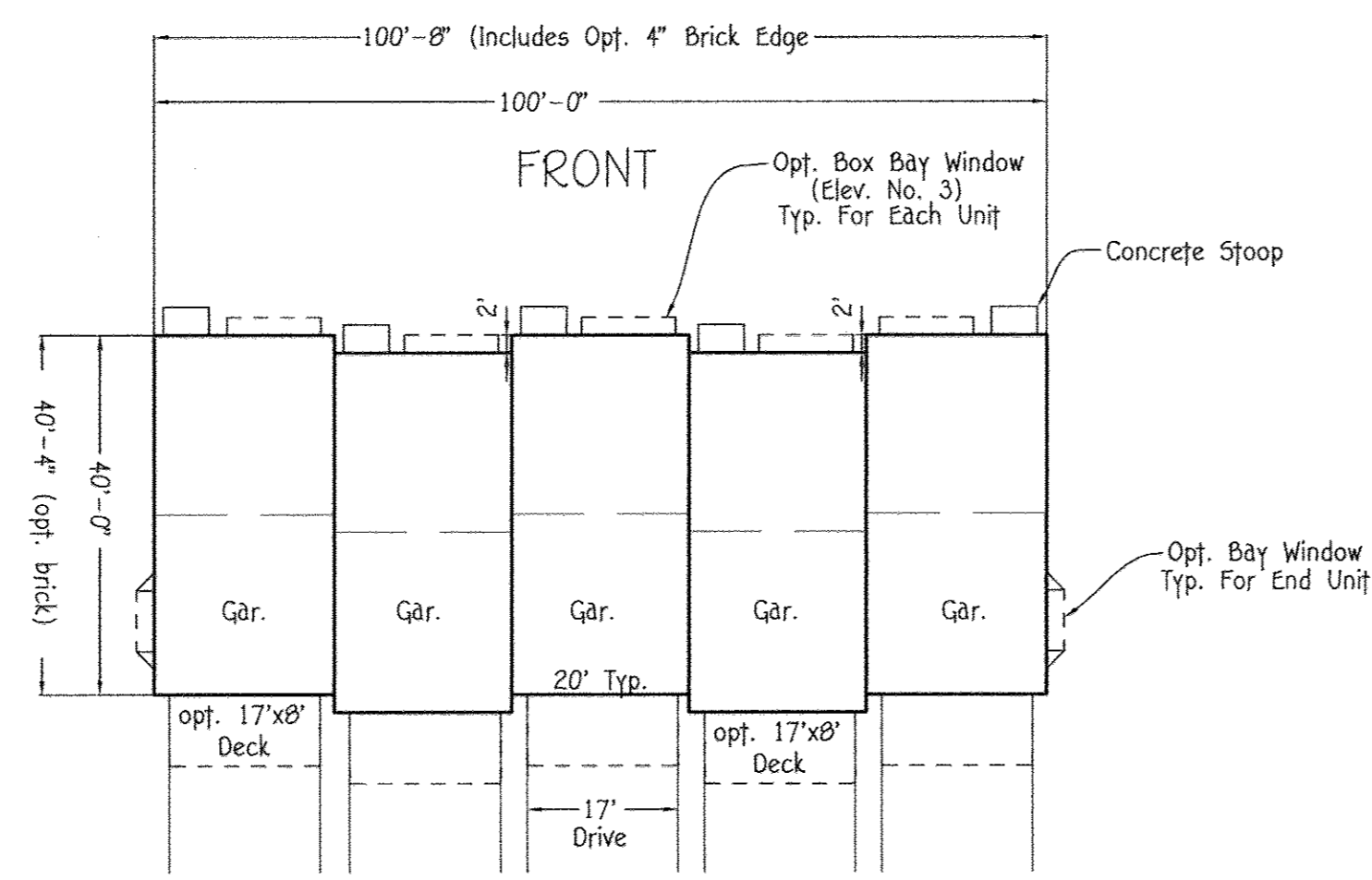
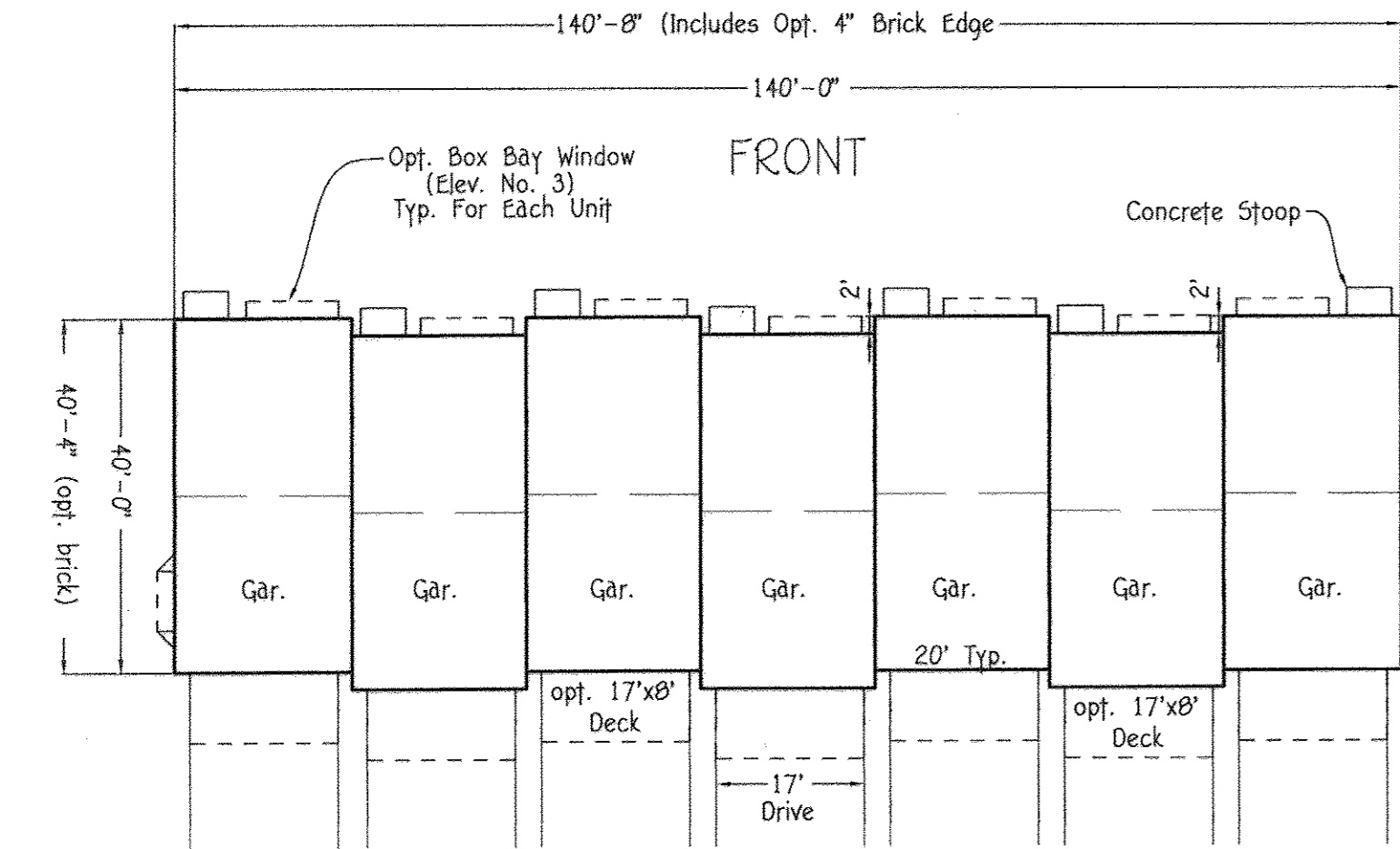


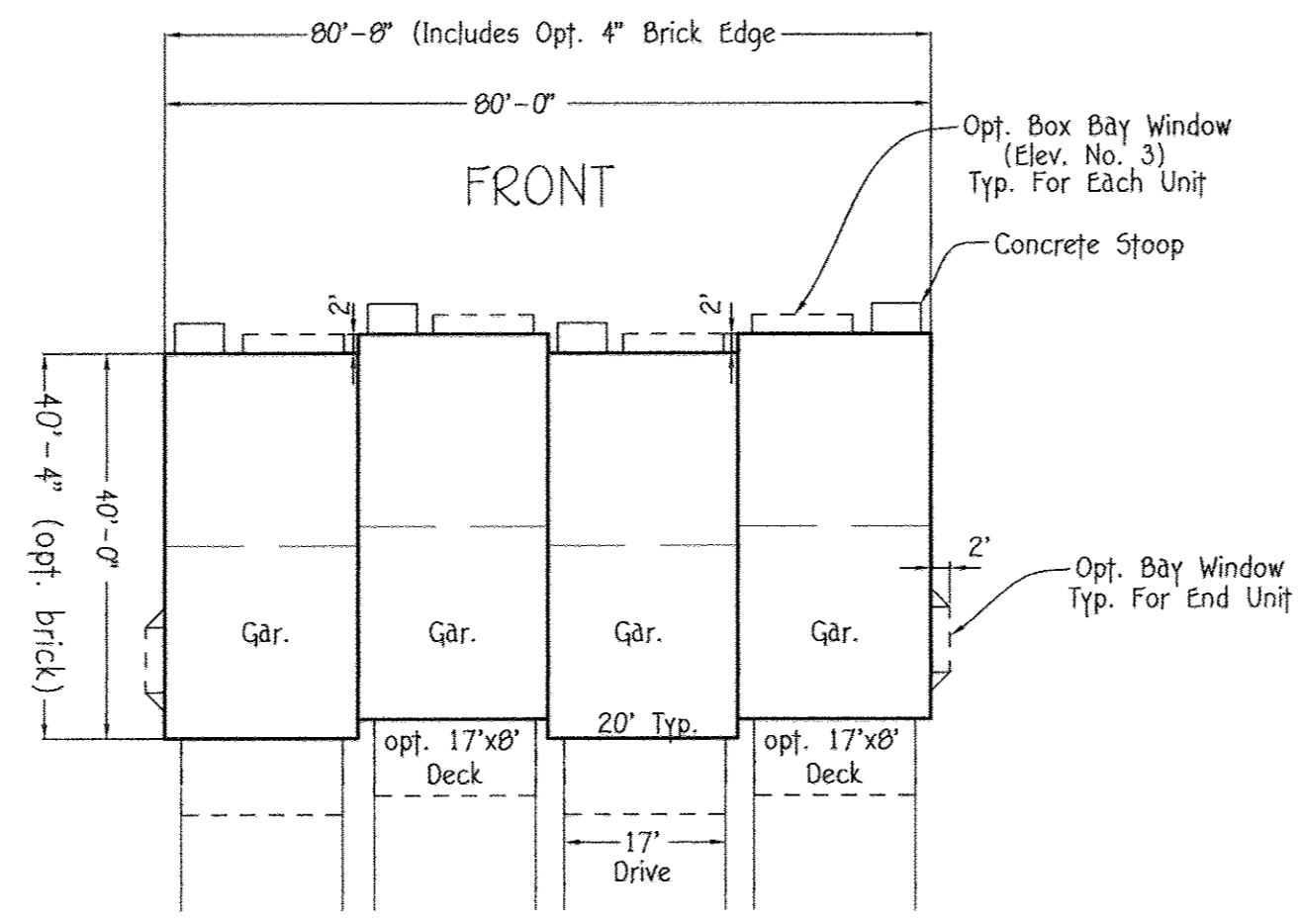
8 UNIT TOWNHOUSE
(THE CAMBRIDGE)



5 UNIT TOWNHOUSE
(THE CAMBRIDGE)



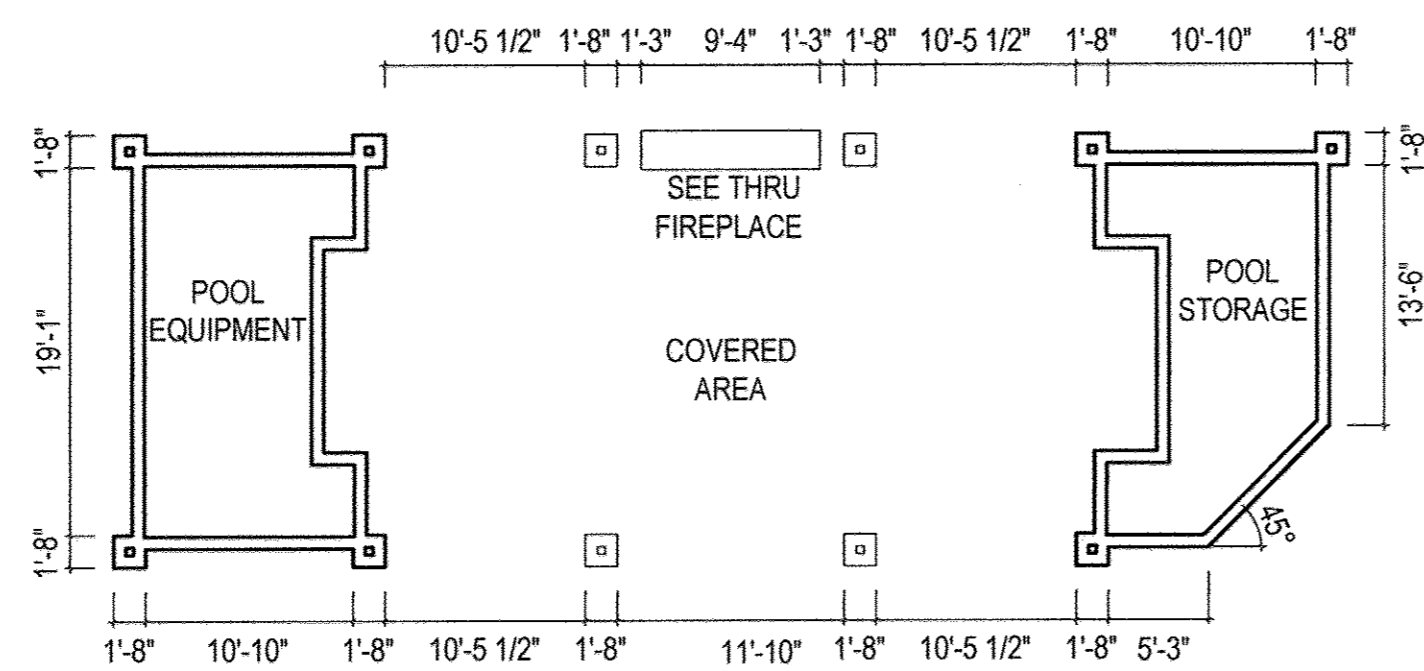
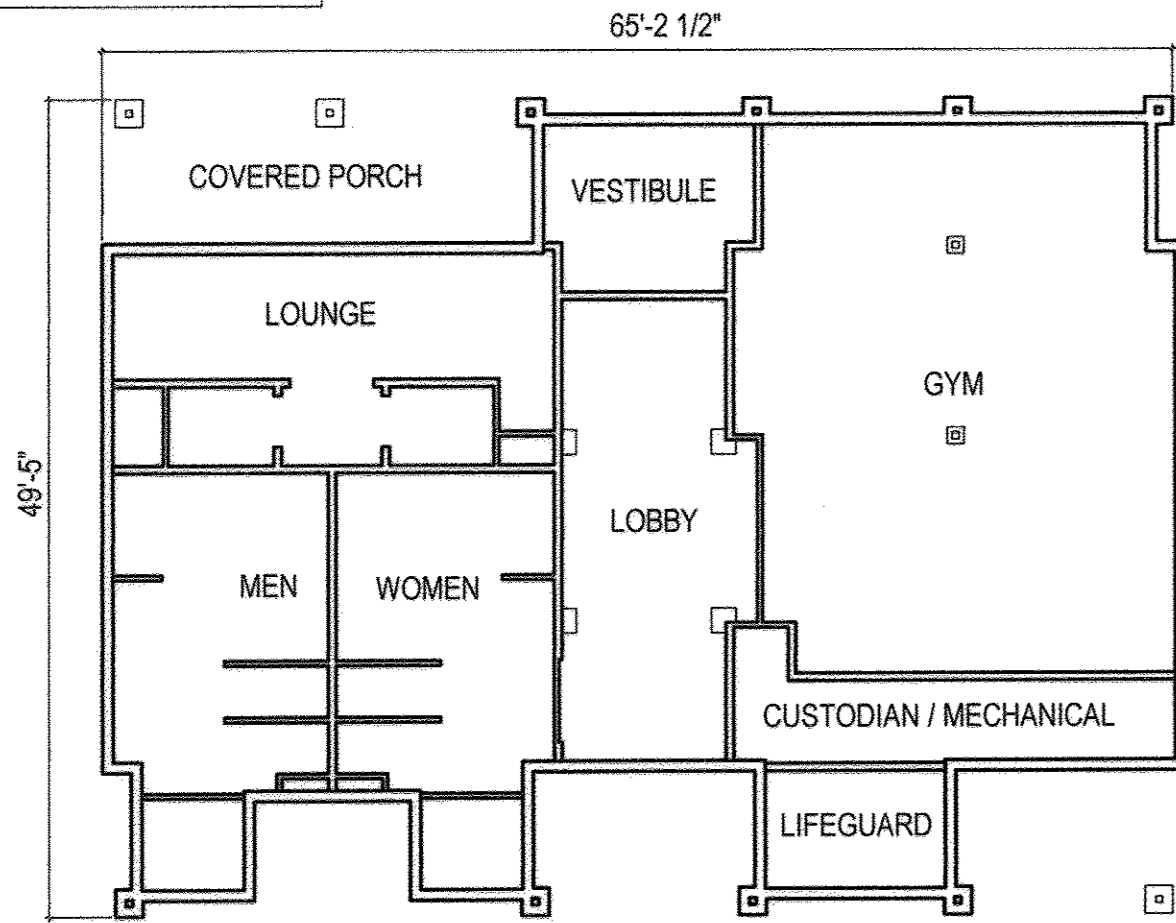
7 UNIT TOWNHOUSE
(THE CAMBRIDGE)



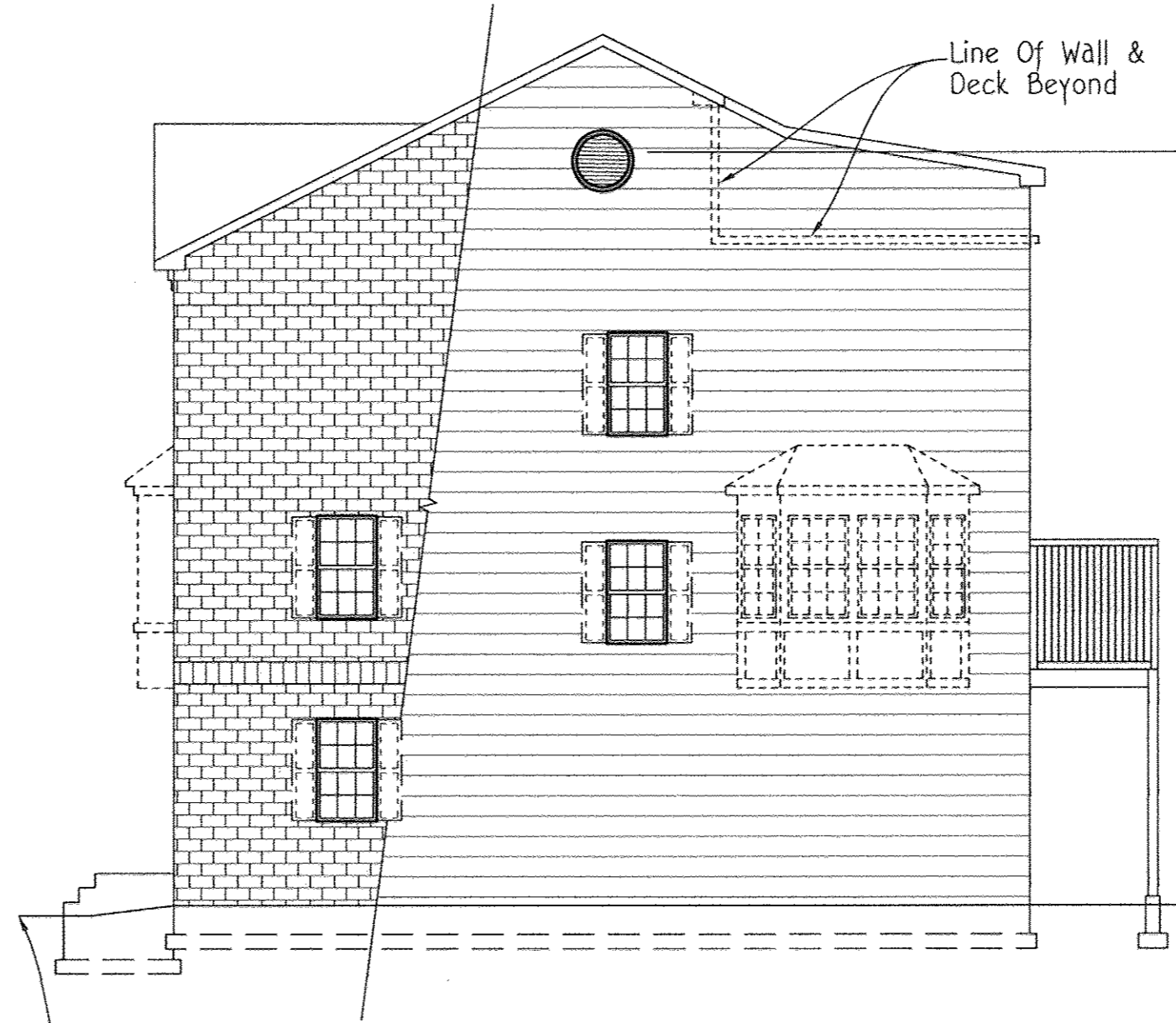
4 UNIT TOWNHOUSE
(THE CAMBRIDGE)

(Parcel 'F')
40' X 20' Units
SCALE: 1" = 20'

NOTE: SEE SHEET 38 FOR LARGE SCALE POOL AREA
DETAIL AND COMMUNITY CENTER ELEVATION.

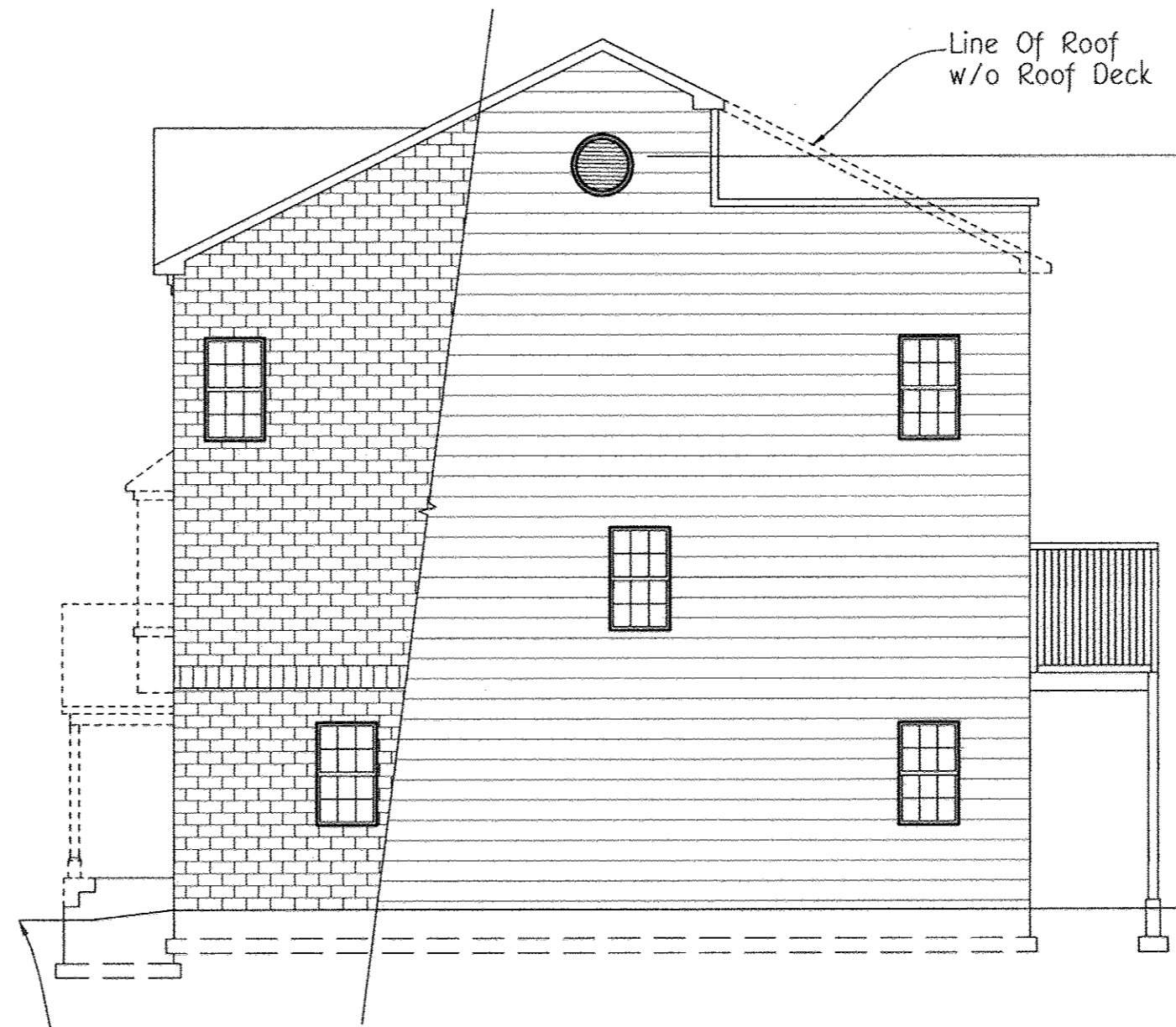


COMMUNITY CENTER & POOL BUILDINGS



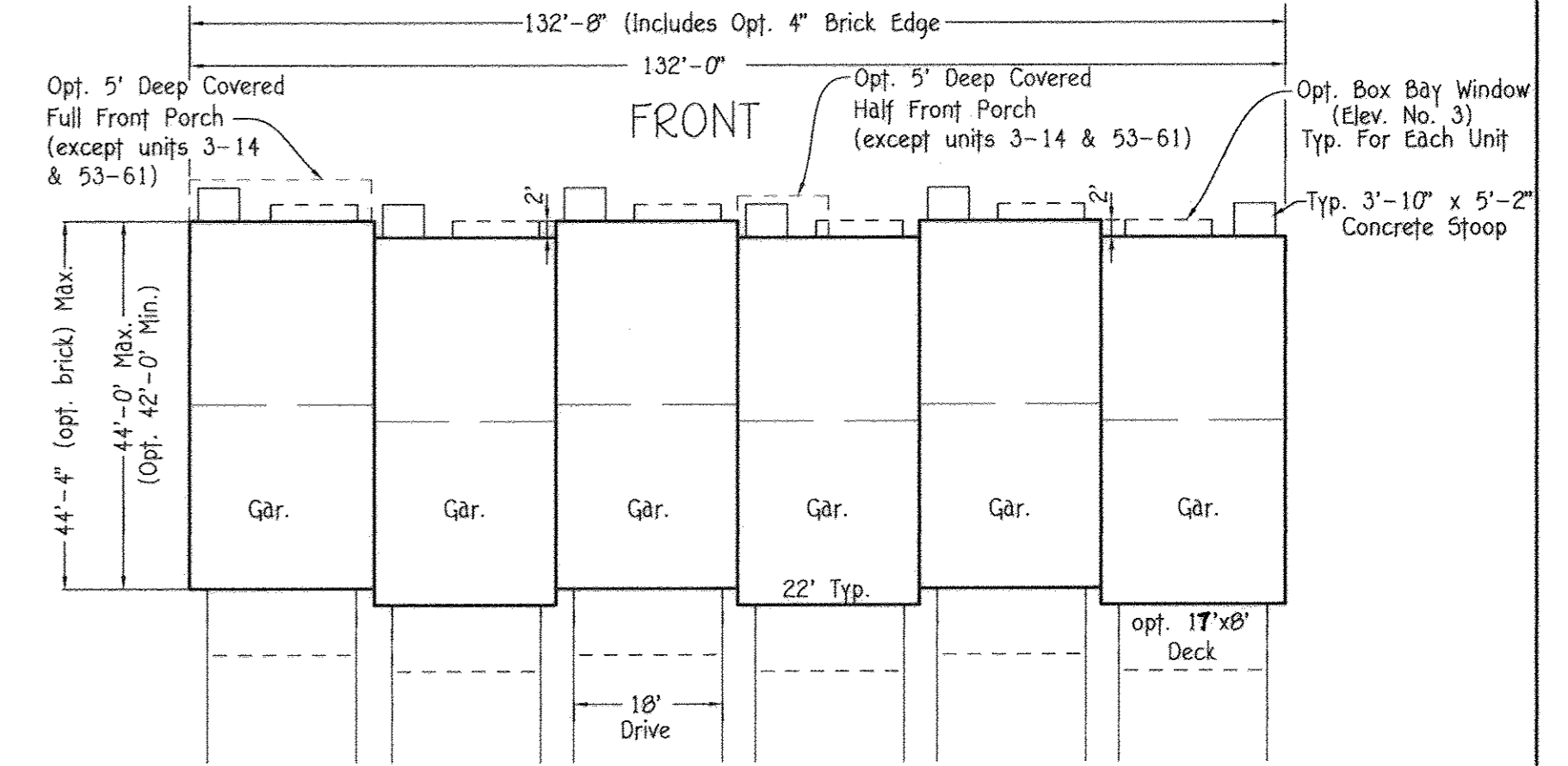
NOTE: FOR HOMES FRONTING ST. MARGARETS BLVD.,
SEE DETAILS ON SHEET 16 FOR MULTI-PURPOSE
WALL SECTION.

(THE CAMBRIDGE)
SIDE ELEVATION
NO SCALE

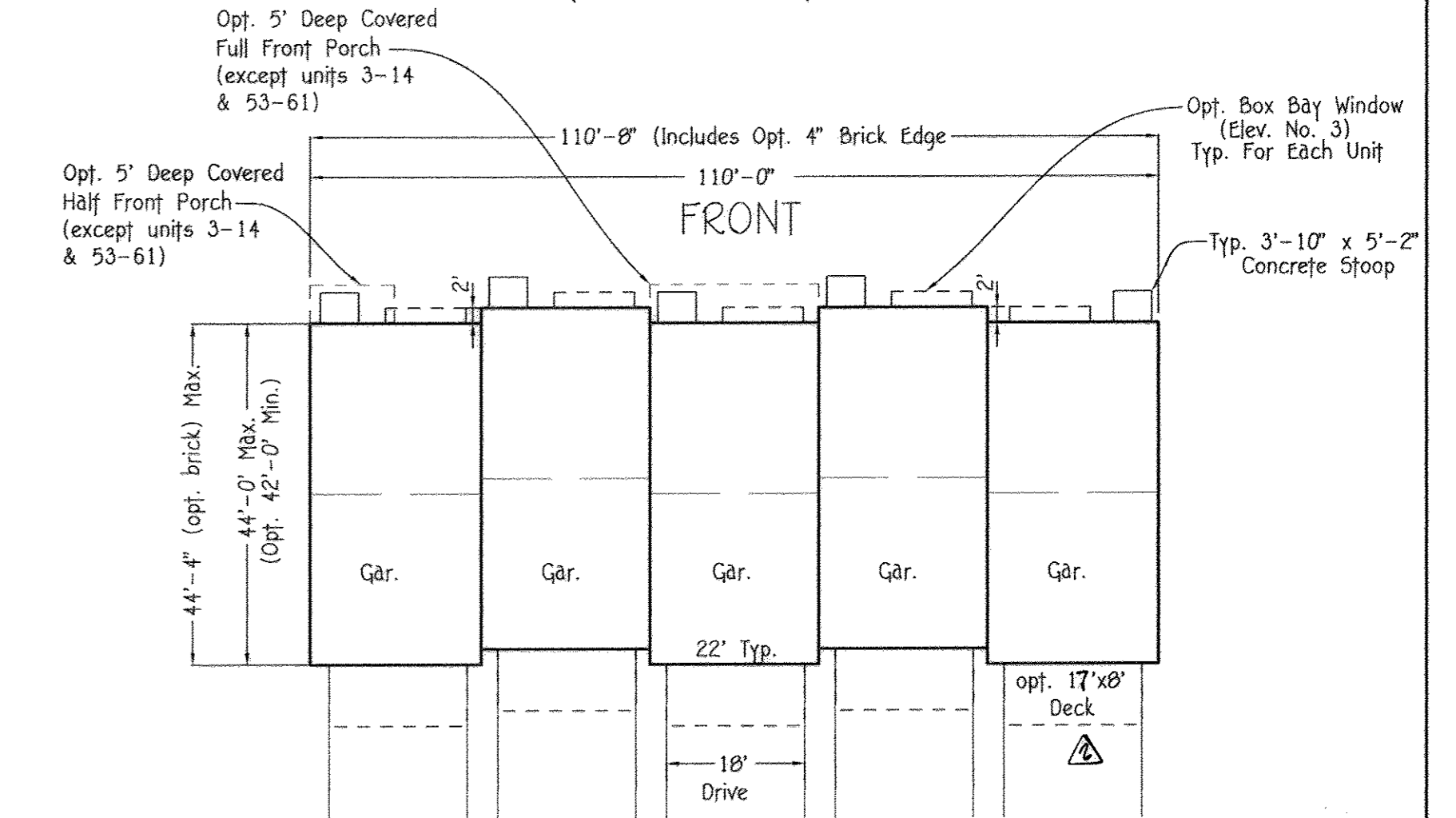


NOTE: FOR HOMES FRONTING ST. MARGARETS BLVD.,
SEE DETAILS ON SHEET 16 FOR MULTI-PURPOSE
WALL SECTION.

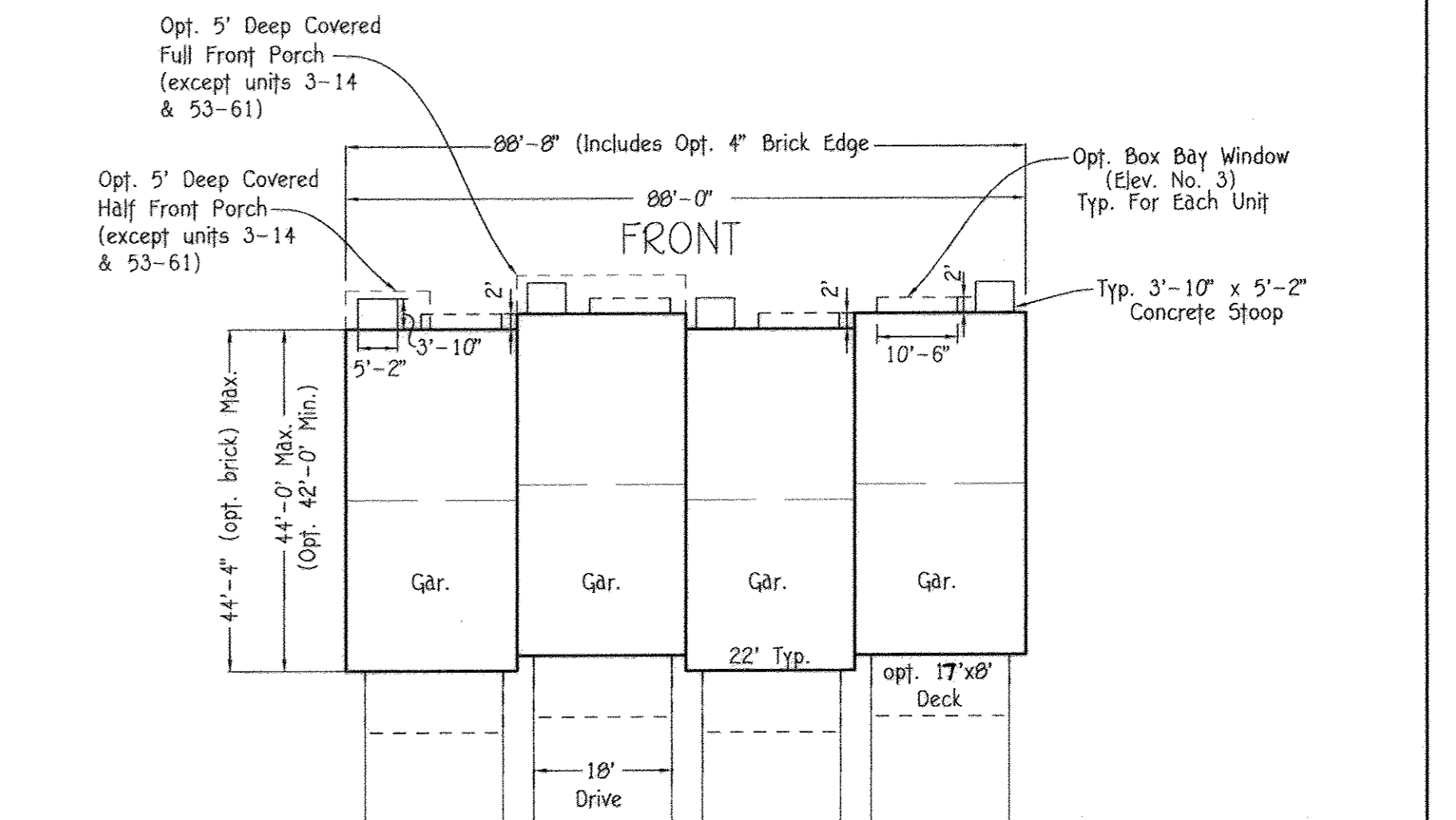
(ELLCOTT 1)
SIDE ELEVATION
NO SCALE



6 UNIT TOWNHOUSE
(ELLCOTT 1)



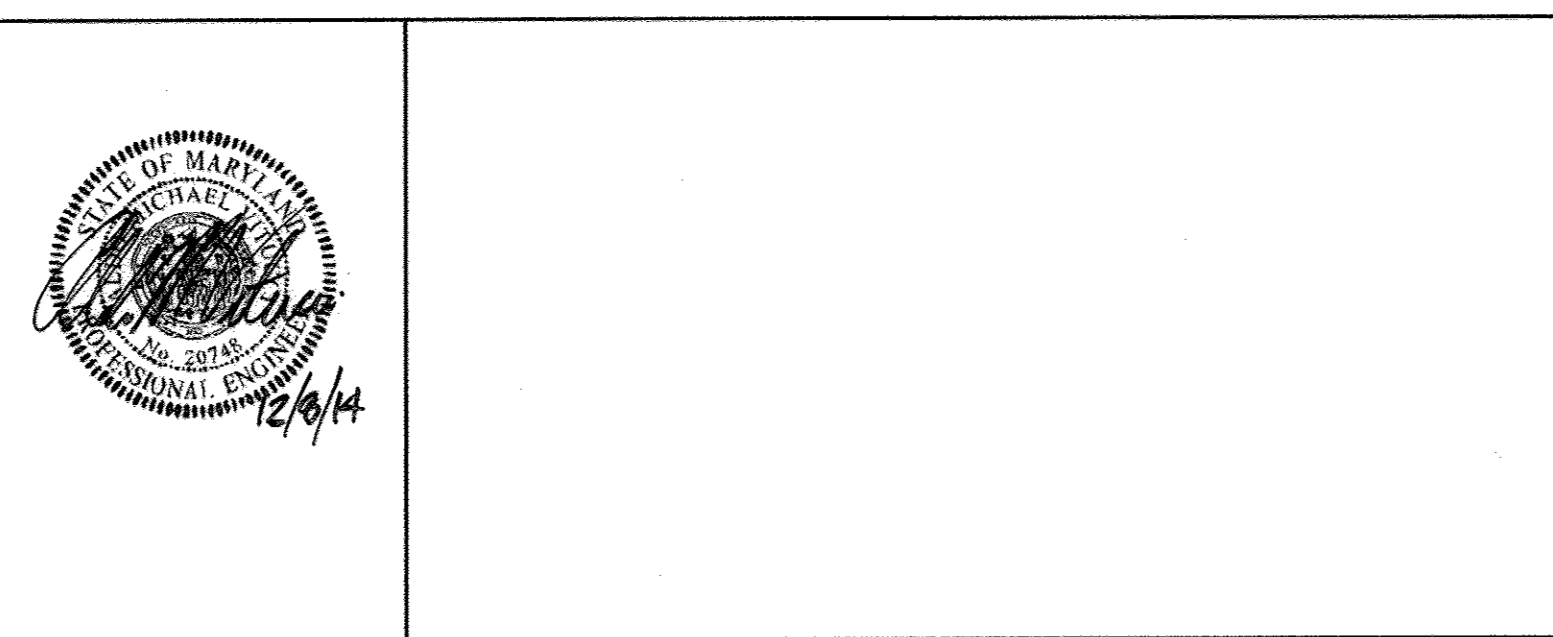
5 UNIT TOWNHOUSE
(ELLCOTT 1)



4 UNIT TOWNHOUSE
(ELLCOTT 1)

(Parcel 'J')
44' X 22' Units
SCALE: 1" = 20'

NO.	REVISION	DATE
1	ADD DECK DETAIL & WAIVER APPROVAL NOTES	10/3/14
2	REVISED COMMUNITY CENTER AND POOL AREA	10/3/14



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winopin Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston - Scheffenacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketola, David 2-3-15
Chief, Division of Land Development Date

Chapman, Andrew 1-22-15
Chief, Development Engineering Division Date

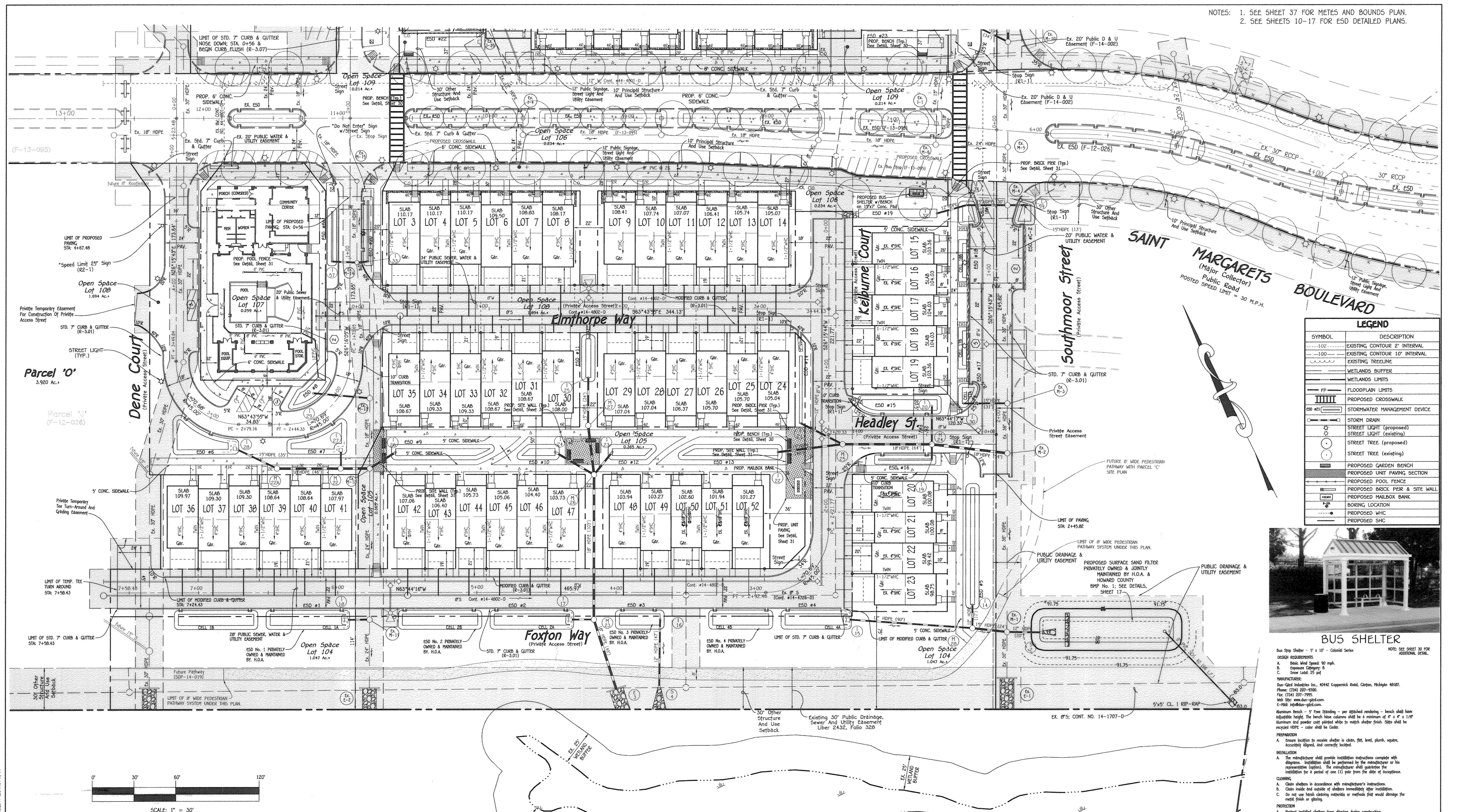
Franklin, M. C. U. 2/3/15
Director - Department of Planning and Zoning Date

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE		3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898		TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
3B	1st.	601101

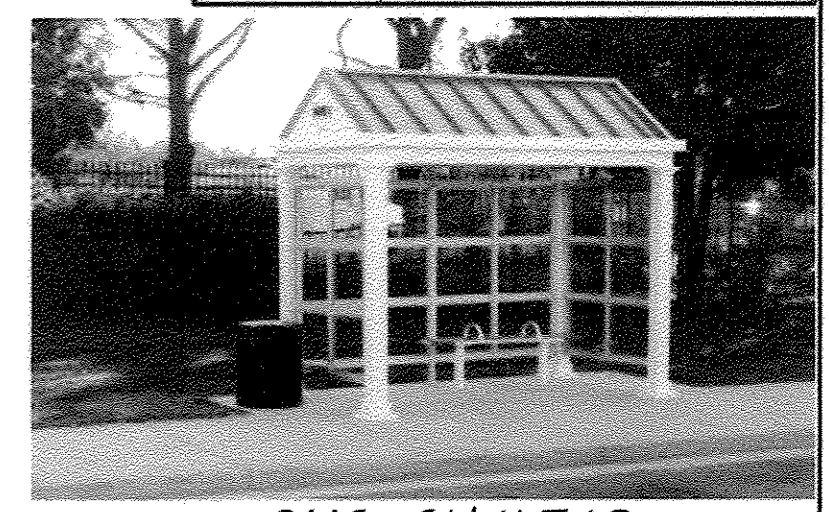
REVISED
HOUSE TYPES
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat,
Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded
Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22899)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 2 Of 3B

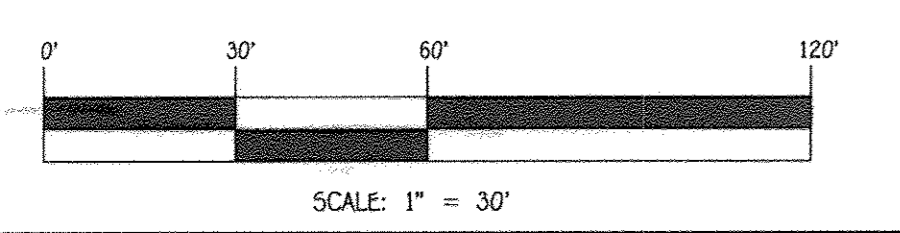
NOTES: 1. SEE SHEET 37 FOR METES AND BOUNDS PLAN.
2. SEE SHEETS 10-17 FOR ESD DETAILED PLANS.



LEGEND	
SYMBOL	DESCRIPTION
---102---	EXISTING CONTOUR 2' INTERVAL
---100---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING TREELINE
---	WETLANDS BUFFER
---	WETLANDS LIMITS
---	FLOODPLAIN LIMITS
---	PROPOSED CROSSWALK
---	STORMWATER MANAGEMENT DEVICE
---	STORM DRAIN
---	STREET LIGHT (proposed)
---	STREET LIGHT (existing)
---	STREET TREE (proposed)
---	STREET TREE (existing)
---	PROPOSED GARDEN BENCH
---	PROPOSED UNIT PAVING SECTION
---	PROPOSED POOL FENCE
---	PROPOSED PERK & SITE WALL
---	PROPOSED MAILBOX BANK
---	BORING LOCATION
---	PROPOSED WHC
---	PROPOSED SHC



BUS SHELTER
 Bus Stop Shelter - 7' x 10' - Colonial Series
 NOTE: SEE SHEET 30 FOR ADDITIONAL DETAIL.
 DESIGN REQUIREMENTS:
 A. Basic Wind Speed: 90 mph.
 B. Exposure Category: B
 C. Snow Load: 25 psf
 MANUFACTURER:
 Bus-Stop Industries Inc., 40442 Coppernick Road, Canton, Michigan 48107.
 Phone: (734) 207-9700.
 Fax: (734) 207-7995.
 Web Site: www.bus-stop.com
 E-MAIL: info@bus-stop.com
 Aluminum Bench - 5' Free Standing - per attached rendering - bench shall have adjustable height. The bench base columns shall be a minimum of 4" x 4" x 1/2" aluminum and powder coat painted white to match shelter finish. Seats shall be recycled HDPE - color shall be Cedar.
 PREPARATION
 A. Ensure location to receive shelter is clean, flat, plumb, square, accurately staked, and correctly located.
 INSTALLATION
 A. The manufacturer shall provide installation instructions complete with diagrams. Installation shall be performed by the manufacturer or his representative (option). The manufacturer shall guarantee the installation for a period of one (1) year from the date of acceptance.
 CLEANING
 A. Clean shelters in accordance with manufacturer's instructions.
 B. Clean inside and outside of shelters immediately after installation.
 C. Do not use harsh cleaning materials or methods that would damage the metal finish or glazing.
 PROTECTION
 A. Protect installed shelters from damage during construction.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

NO.	REVISION	DATE
1	ADD DECK DETAIL & WAIVER APPROVAL NOTES	4/26/16
2	REVISE COMMUNITY CENTER AND POOL AREA	10/3/14
3	REVISION	DATE

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer (print name below signature) *John R. Robertson* 12/9/14 Date
DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer (print name below signature) *Donald A. Hoff* 12/9/14 Date

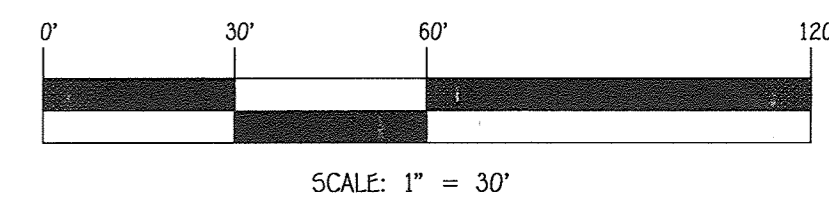
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature of District Director *John R. Robertson* 1/6/15 Date
Owner/Builder
 U.S. Home Corporation,
 c/o Joseph Fortino, Vice President
 10211 Winopin Circle
 Suite 300
 Columbia, Maryland 21044
 Phe 410-423-0460
Developer
 Preston - Scheffenacker Properties
 2330 West Joppa Road, Suite 150
 Lutherville, Maryland 21093-4614
 Phe 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development	<i>[Signature]</i>	2-3-15	Date
Chief, Development Engineering Division	<i>[Signature]</i>	2-23-15	Date
Director - Department of Planning and Zoning	<i>[Signature]</i>	2/3/16	Date

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	3B
TAX/ZONE	ELEC. DIST.	CENSUS TR.
TOD	1st	601101

REVISED GEOMETRY PLAN
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records of Howard County, Maryland As Plat Nos. 22895 Through 22899)
 Zoned: TOD
 Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 3, 2014
 Sheet 6 of 38



LEGEND	
SYMBOL	DESCRIPTION
(Dashed line)	EXISTING CONTOUR 2' INTERVAL
(Dashed line)	EXISTING CONTOUR 10' INTERVAL
(Wavy line)	EXISTING TREELINE
(Dotted line)	WETLANDS BUFFER
(Dotted line)	WETLANDS LIMITS
(Dashed line)	FLOODPLAIN LIMITS
(Hatched area)	PROPOSED CROSSWALK
(Symbol)	STORMWATER MANAGEMENT DEVICE
(Symbol)	STORM DRAIN
(Symbol)	STREET LIGHT (proposed)
(Symbol)	STREET LIGHT (existing)
(Symbol)	STREET TREE (proposed)
(Symbol)	STREET TREE (existing)
(Symbol)	PROPOSED GARDEN BENCH
(Symbol)	PROPOSED UNIT PAVING SECTION
(Symbol)	PROPOSED POOL FENCE
(Symbol)	PROPOSED BRICK PIER & SITE WALL
(Symbol)	PROPOSED MAILBOX BANK
(Symbol)	BORING LOCATION
(Symbol)	PROPOSED WHC
(Symbol)	PROPOSED SHC

NOTE:
SEE S0P PLAN, SHEET 7 FOR THE REMAINDER
OF SOUTHWOR STREET AND BEAUMONT PLACE (N).

Southmoor Street
(Private Access Street)

Danvers St.
(Private Access Street)

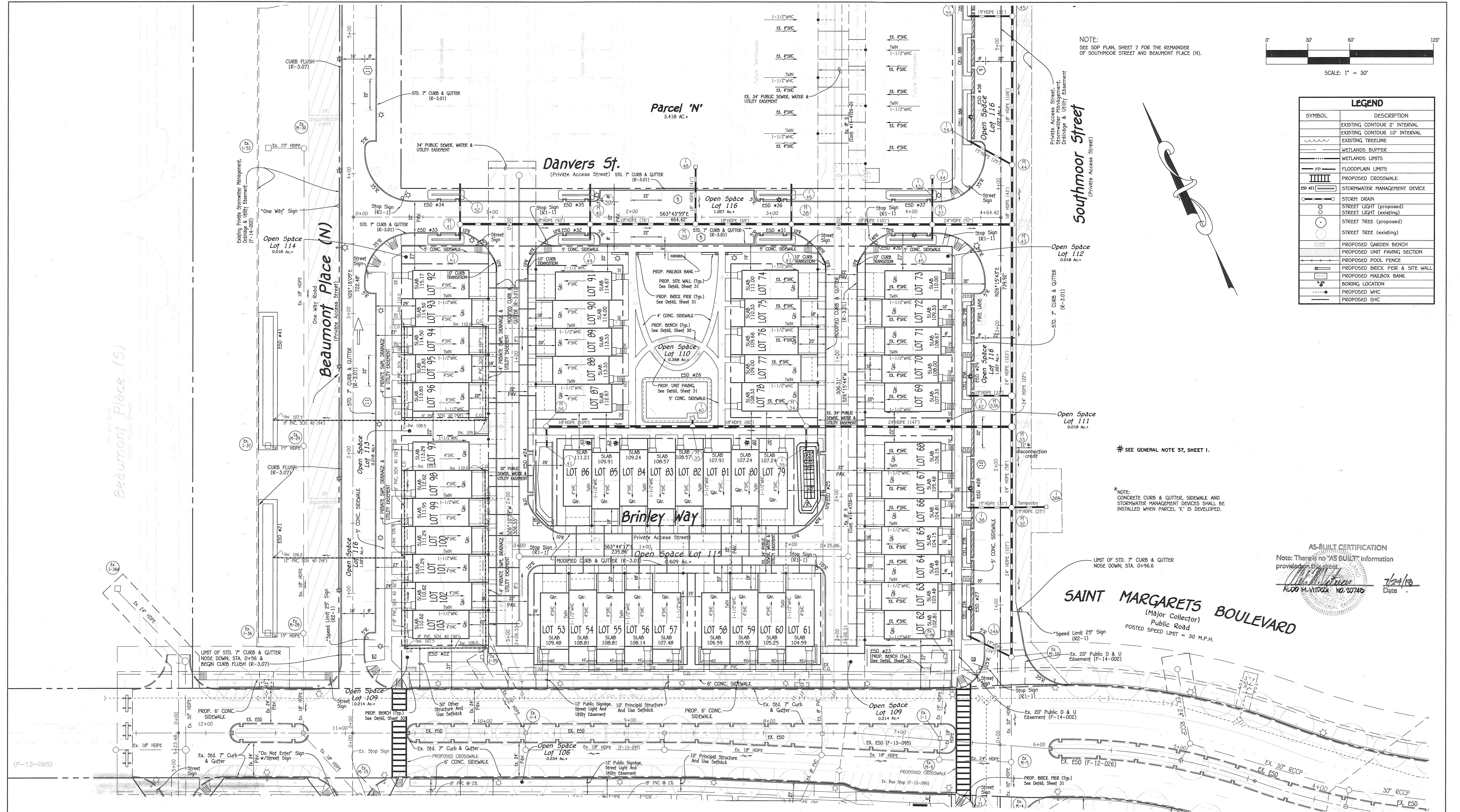
Beaumont Place (N)
(Private Access Street)

SAINT MARGARETS BOULEVARD
(Major Collector)
Public Road
POSTED SPEED LIMIT = 30 M.P.H.

SEE GENERAL NOTE 37, SHEET 1.

*NOTE:
CONCRETE CURB & GUTTER, SIDEWALK AND
STORMWATER MANAGEMENT DEVICES SHALL BE
INSTALLED WHEN PARCEL 'K' IS DEVELOPED.

AS-BUILT CERTIFICATION
Note: There is no "AS BUILT" information
provided on this sheet.
Date: 7/23/14
ALCO #1-170024 NO. 20749



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10275 BALDORNE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461 - 2295



Revised ESD No. 25	2/9/18
ADD BOX DETAIL & WALKER APPROVAL NOTES	4/25/18
NO.	DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Vetsheloh
Chief, Division of Land Development
Date: 7/23/14

Michael Fisher
Chief, Development Engineering Division
Date: 6-25-14

Randy Sawyer
Director - Department of Planning and Zoning
Date: 7-23-14

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winsopin Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston • Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	38	1st.	601101

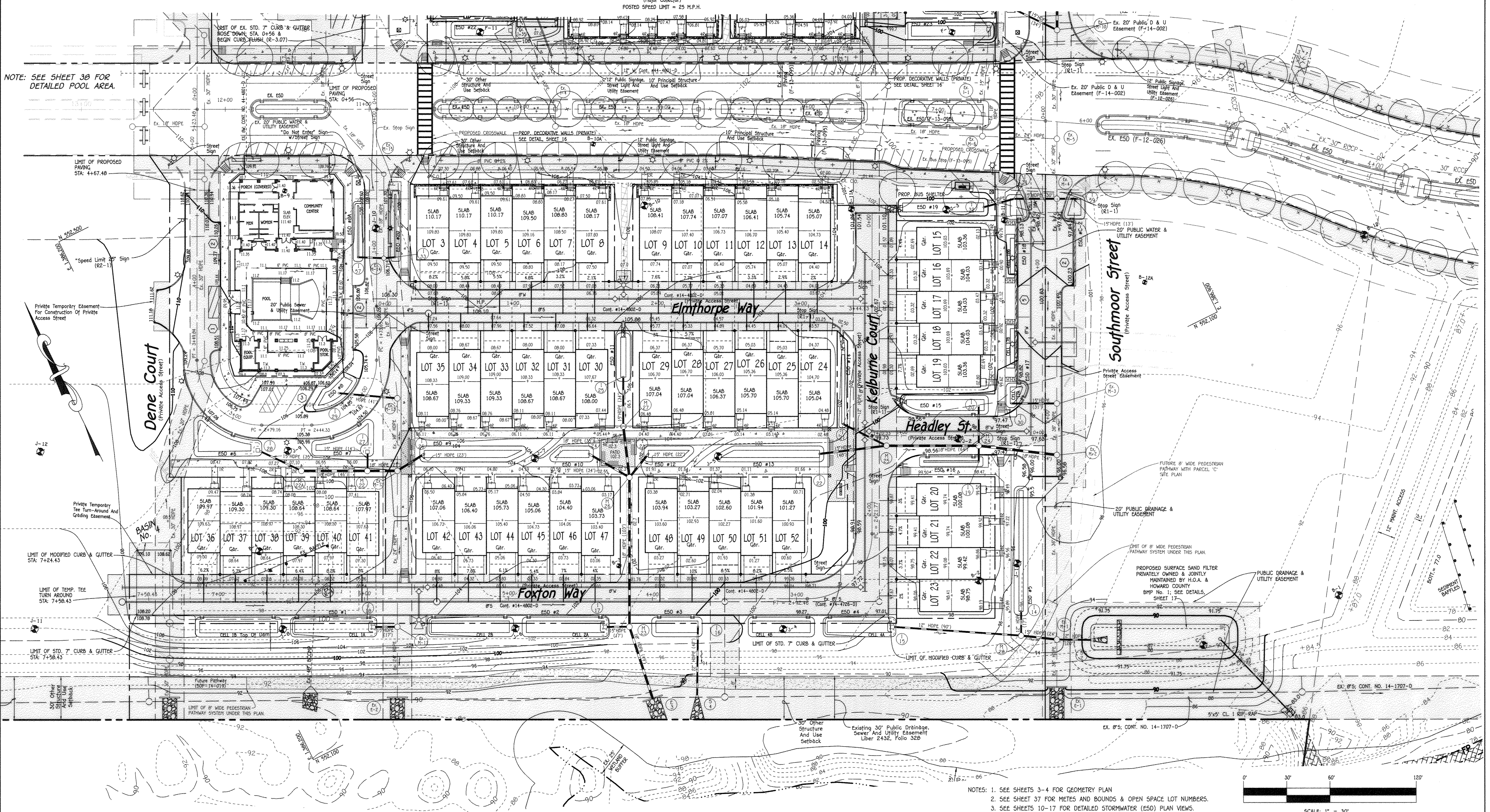
GEOMETRY PLAN

OXFORD SQUARE
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat,
Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K', 'L' And 'M' And Recorded
Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22859.)
Zone: TOD

Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 4 of 38

Public Road
SAINT MARGARETS BLVD.
(Major Collector)
POSTED SPEED LIMIT = 25 M.P.H.



NOTE: SEE SHEET 38 FOR DETAILED POOL AREA.

- NOTES:
1. SEE SHEETS 3-4 FOR GEOMETRY PLAN
 2. SEE SHEET 37 FOR METES AND BOUNDS & OPEN SPACE LOT NUMBERS.
 3. SEE SHEETS 10-17 FOR DETAILED STORMWATER (ESD) PLAN VIEWS.

SCALE: 1" = 30'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10770 BALTIMORE NATIONAL PARK
ELICOTT CITY, MARYLAND 21042
(410) 461-2895



NO.	ADD DETAIL & WARNER APPROVAL NOTES	DATE
1	REVISE COMMUNITY CENTER AND POOL AREA	10/31/14
2	REVISION	DATE

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winocoin Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Freston • Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

<i>K. J. ...</i> Chief, Division of Land Development	7-3-15 Date
<i>...</i> Chief, Development Engineering Division	7-3-15 Date
<i>...</i> Director - Department of Planning and Zoning	7/3/15 Date

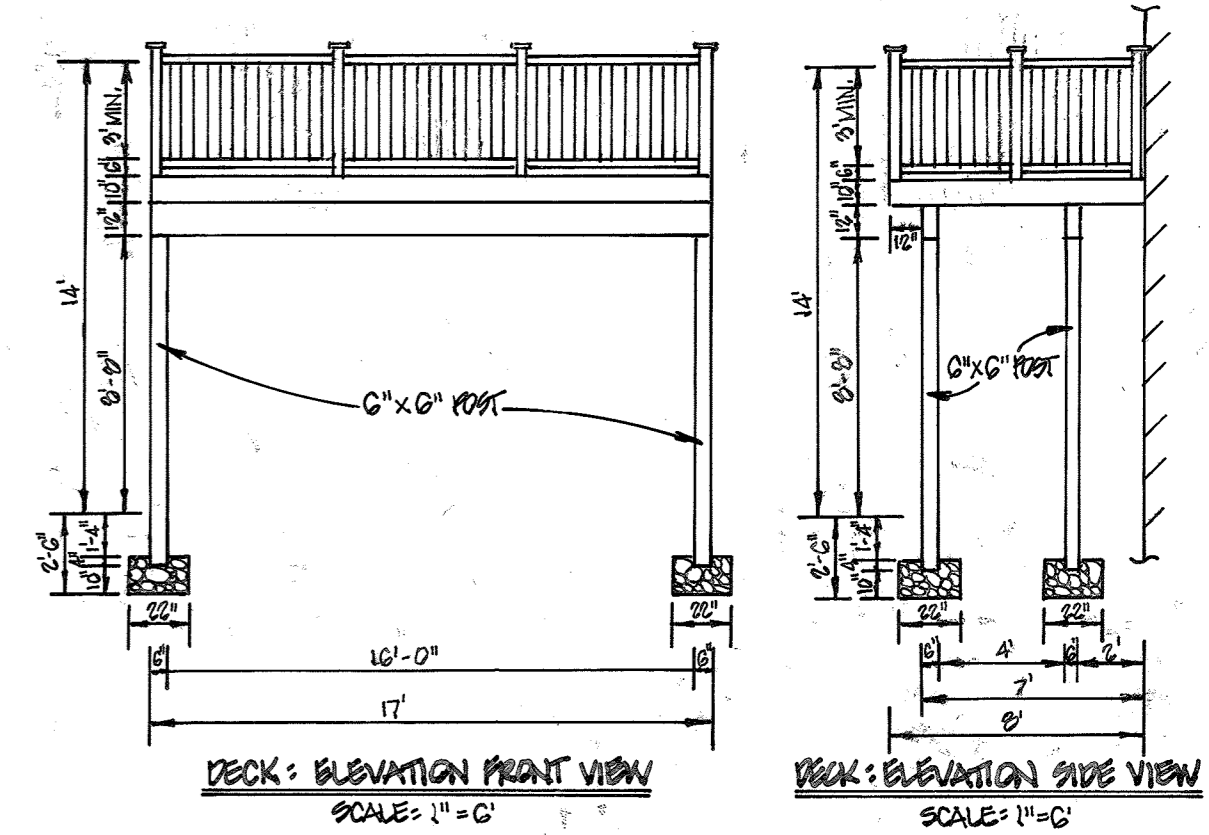
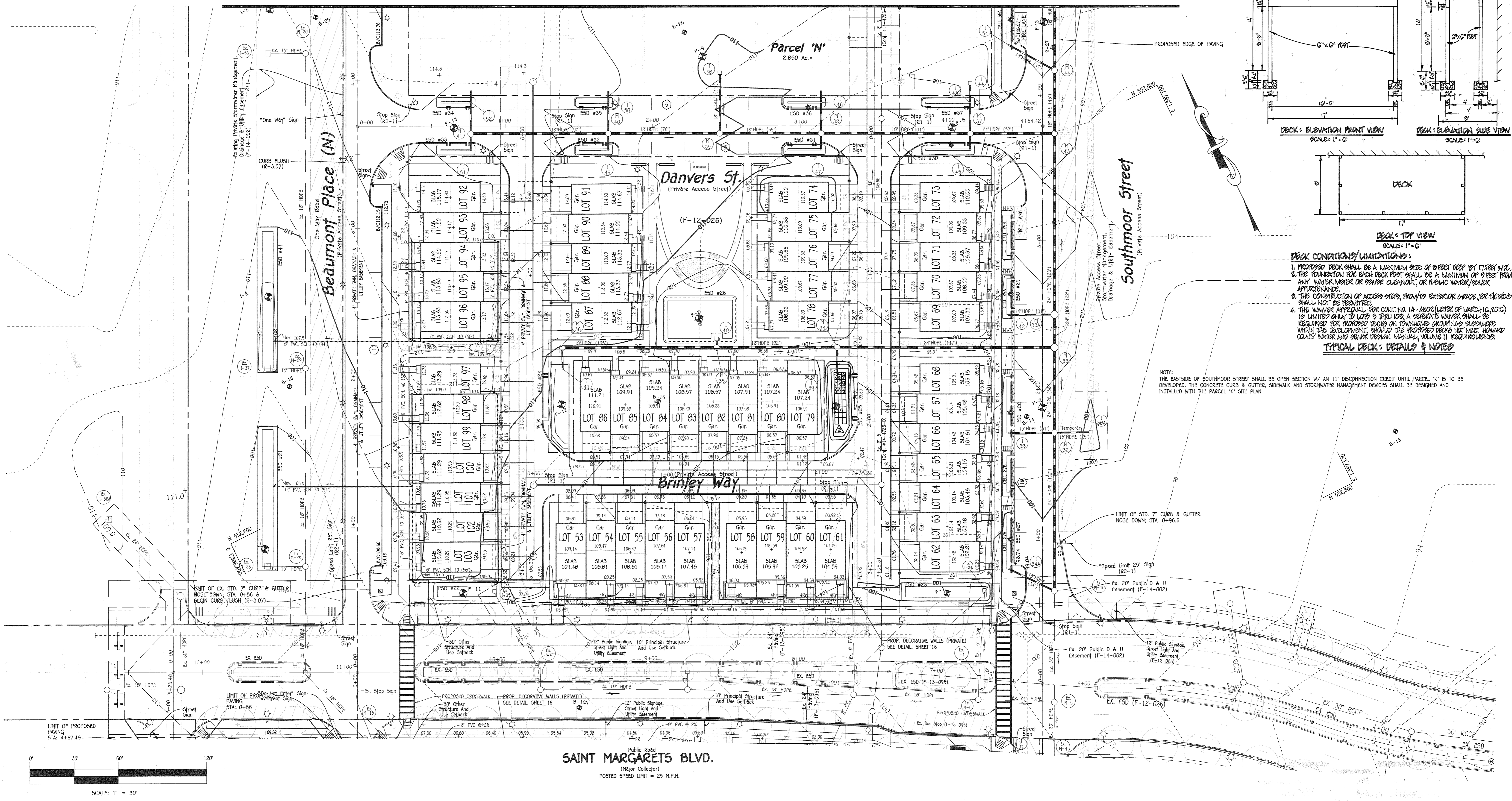
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

REVISED
SITE DEVELOPMENT PLAN
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plans Entitled "Revision Plat,
Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded
Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22859)
Zoned: TOD

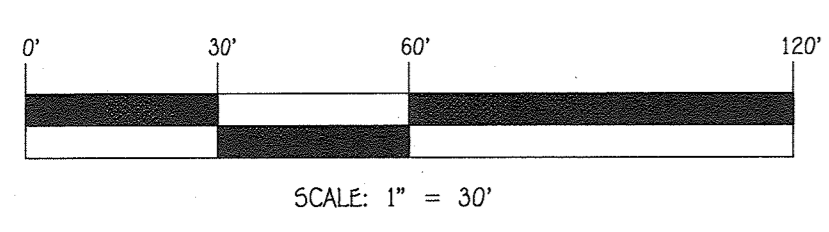
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 5 Of 38

MATCH LINE SEE SHEET 7



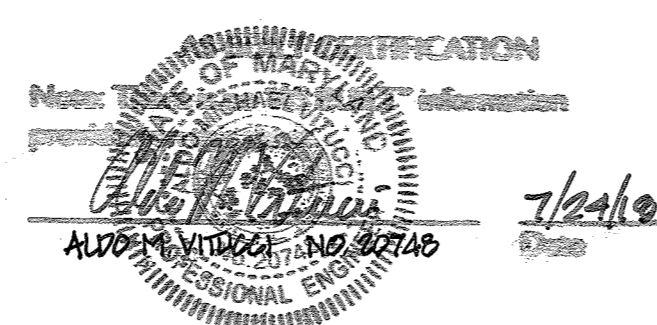
- DECK CONDITIONS/LIMITATIONS:**
1. PROPOSED DECK SHALL BE A MAXIMUM SIZE OF 8 FEET DEEP BY 17 FEET WIDE.
 2. THE FOUNDATION FOR EACH DECK FOOT SHALL BE A MINIMUM OF 9 FEET FROM ANY WATER METER OR POWER CLEANOUT, OR FLEVIC WATER/POWER APPOINTMENT.
 3. THE CONSTRUCTION OF ACCESS STAIRS FROM/TO EXTERIOR CARDS FOR DECKS SHALL NOT BE REQUIRED.
 4. THE WAIVER APPEAL FOR CONT. NO. 1A-AB00 (WATER OF MARCH 1, 2010) IS LIMITED ONLY TO LOTS 3 THRU 102. A SEPARATE WAIVER SHALL BE REQUIRED FOR PROPOSED DECKS ON TOWNHOME ACCOUNTS EXISTING WITHIN THE DEVELOPMENT. SHOULD THE PROPOSED DECKS NOT MEET HOWARD COUNTY WATER AND POWER DESIGN MANUAL, VOLUME II REQUIREMENTS.
- TYPICAL DECK: DETAILS & NOTES**

NOTE: THE EASTSIDE OF SOUTHMOOR STREET SHALL BE OPEN SECTION W/ AN 11' DISCONNECTION CREDIT UNTIL PARCEL 'K' IS TO BE DEVELOPED. THE CONCRETE CURB & GUTTER, SIDEWALK AND STORMWATER MANAGEMENT DEVICES SHALL BE DESIGNED AND INSTALLED WITH THE PARCEL 'K' SITE PLAN.



SAINT MARGARETS BLVD.
(Major Collector)
POSTED SPEED LIMIT = 25 M.P.H.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-1295



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Wisconsin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketelshoven 7/23/14
Chief, Division of Land Development Date

[Signature] 6-25-14
Chief, Development Engineering Division Date

[Signature] 7-23-14
Director - Department of Planning and Zoning Date

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103
PLAT NO. 22895-22898	BLOCK NO. ---	ZONE TOD
	TAX/ZONE 3B	ELEC. DIST. 1st.
	CENSUS TR. 601101	

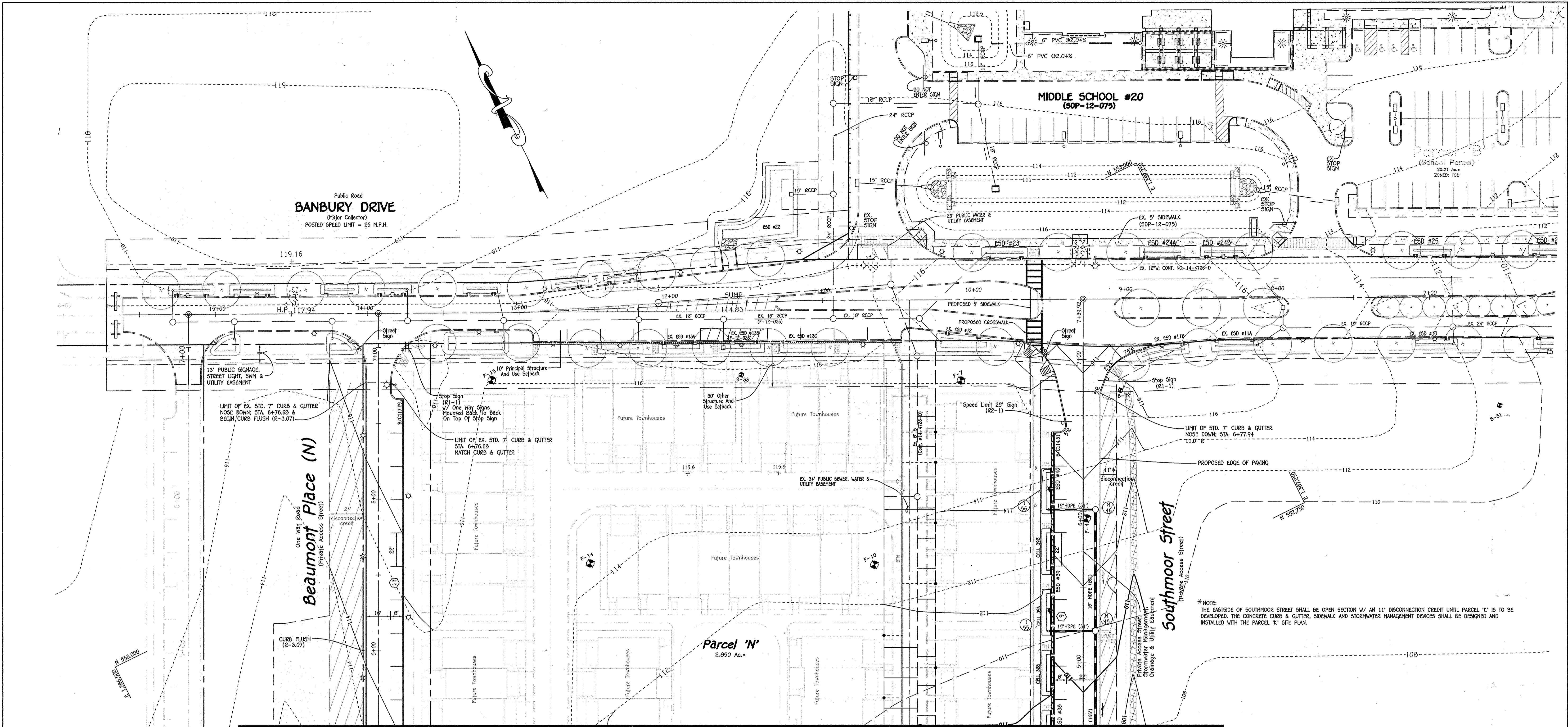
SITE DEVELOPMENT PLAN

OXFORD SQUARE

"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22858 Thru 22859.)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 6 of 3B

NO.	REVISION	DATE
1	Revised ESD No. 25	2/9/18
2	ADD DECK DETAIL & WAIVER APPROVAL NOTES	4/26/16



Public Road
BANBURY DRIVE
 (Major Collector)
 POSTED SPEED LIMIT = 25 M.P.H.

MIDDLE SCHOOL #20
 (SDP-12-075)

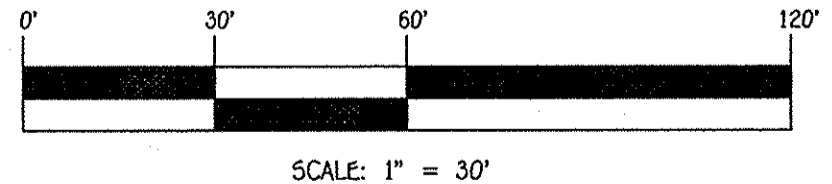
Beaumont Place (N)
 One Way Road
 (Private Access Street)

Southmoor Street
 (Private Access Street)

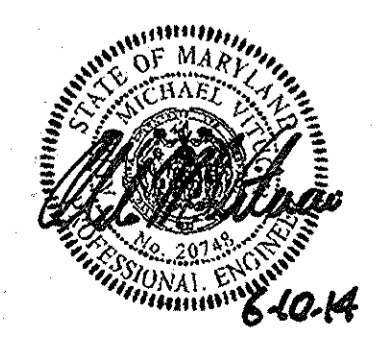
Parcel 'N'
 2.850 Ac.

MATCH LINE SEE SHEET 6

*NOTE:
 THE EASTSIDE OF SOUTHMOOR STREET SHALL BE OPEN SECTION W/ AN 11' DISCONNECTION CREDIT UNTIL PARCEL 'K' IS TO BE DEVELOPED. THE CONCRETE CURB & GUTTER, SIDEWALK AND STORMWATER MANAGEMENT DEVICES SHALL BE DESIGNED AND INSTALLED WITH THE PARCEL 'K' SITE PLAN.

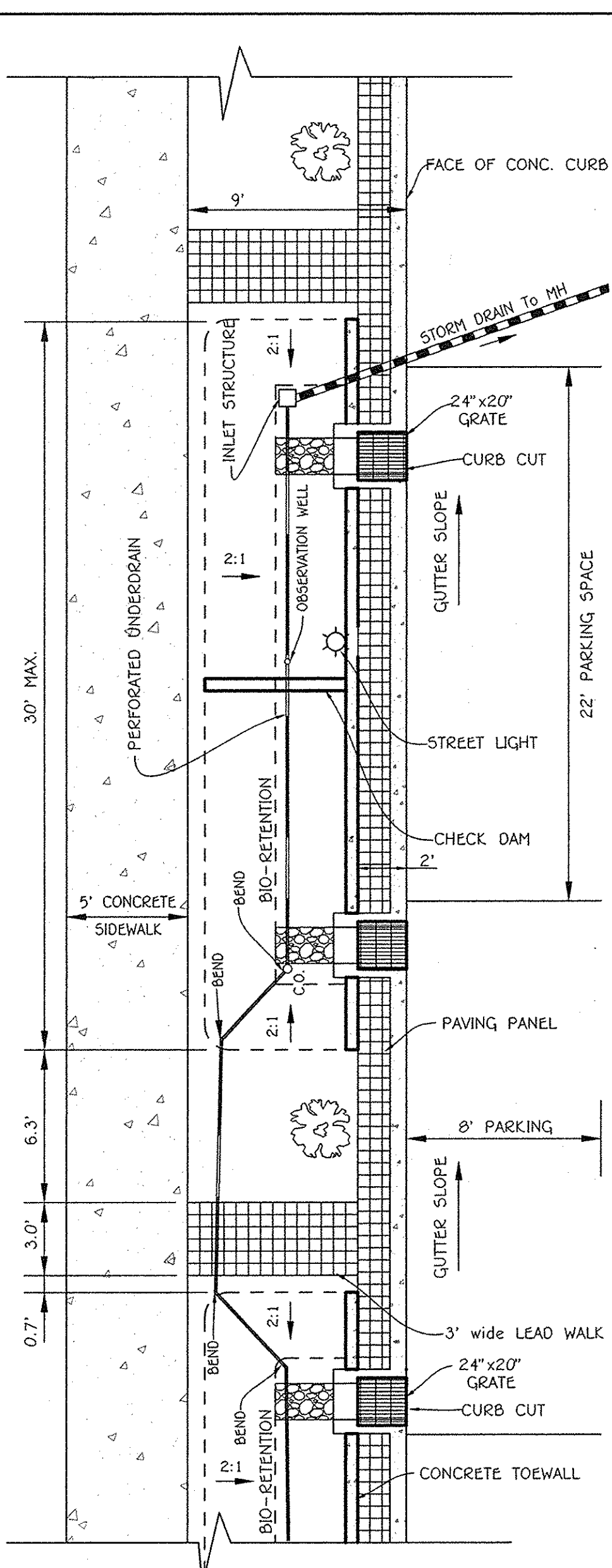


NO.	REVISION	DATE

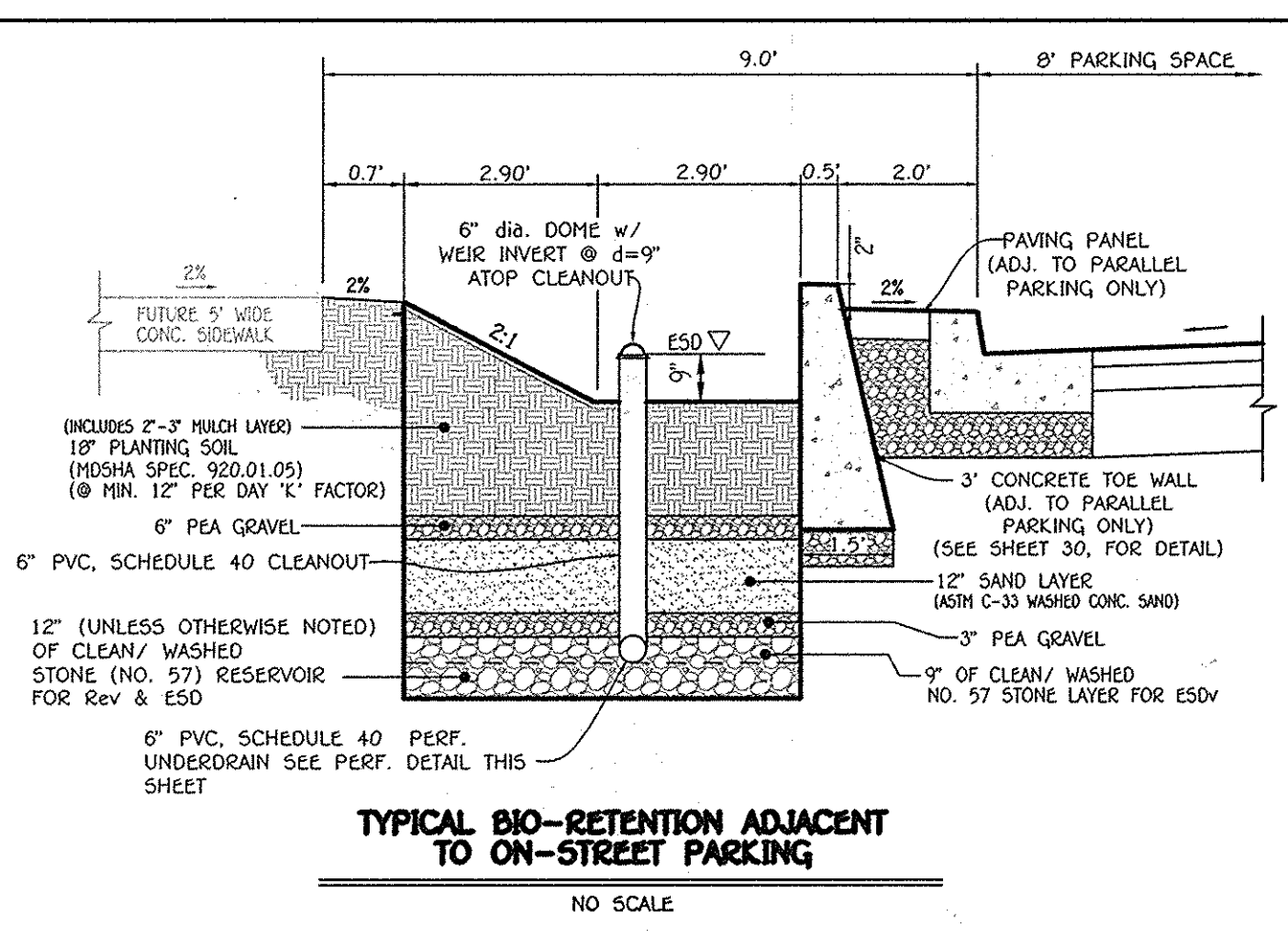


FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10722 BALTHAZOR NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-3255

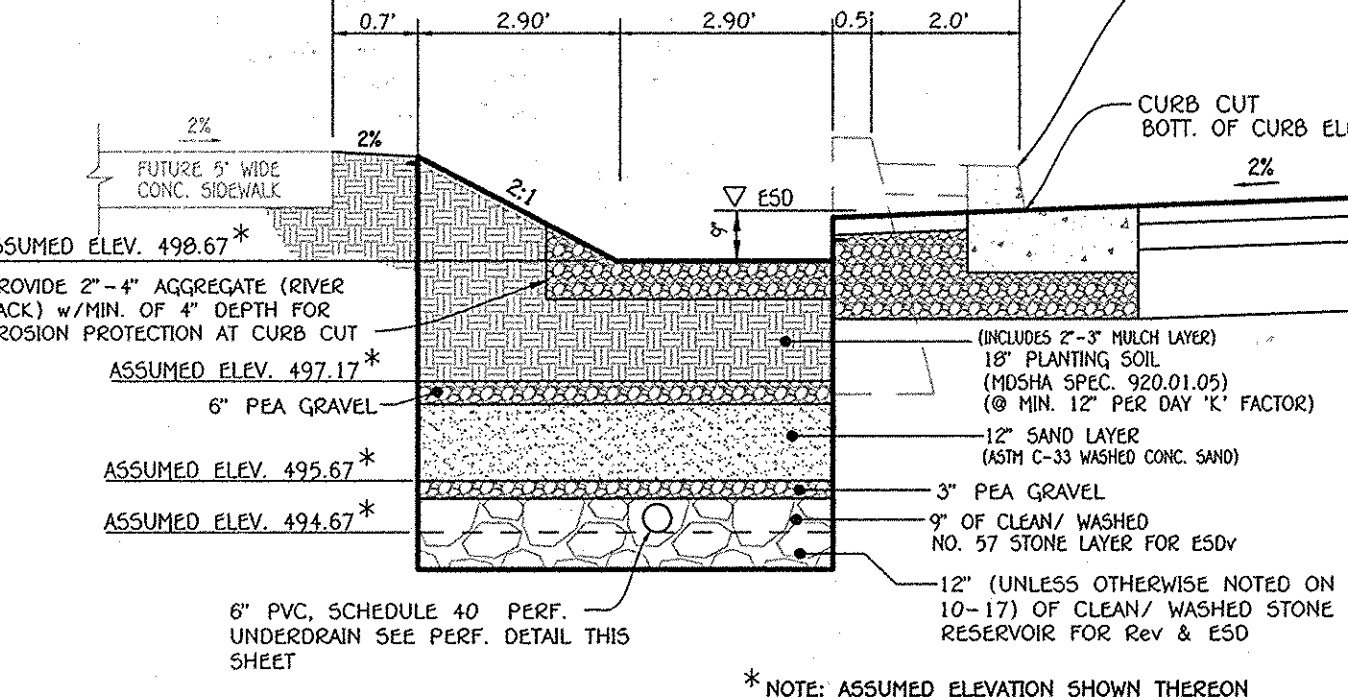
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING Date: 7-23-14			SITE DEVELOPMENT PLAN OXFORD SQUARE "A Howard County Green Neighborhood" Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O' (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22895 Thru 22899.) Zoned: TOD Tax Map No.: 3B Grid No.: 20 Parcel No.: 761 First Election District: Howārd County, Maryland Scale: As Shown Date: June 6, 2014 Sheet 7 Of 3B		
Owner/Builder U.S. Home Corporation, D/B/A Lennar c/o Joseph Fortino, Vice President 10211 Winicapin Circle Suite 300 Columbia, Maryland 21044 Ph# 410-423-0460			Developer Preston - Scheffnacker Properties 2330 West Joppa Road, Suite 160 Lutherville, Maryland 21093-4614 Ph# 410-296-3800		
SUBDIVISION OXFORD SQUARE		SECTION/AREA 3 THRU 103	LOT NOS. 3 THRU 103		CENSUS TR. 601101
PLAT NO. 22895-22898	BLOCK NO. ---	ZONE TOD	TAX/ZONE 3B	ELEC. DIST. 1st.	CENSUS TR. 601101



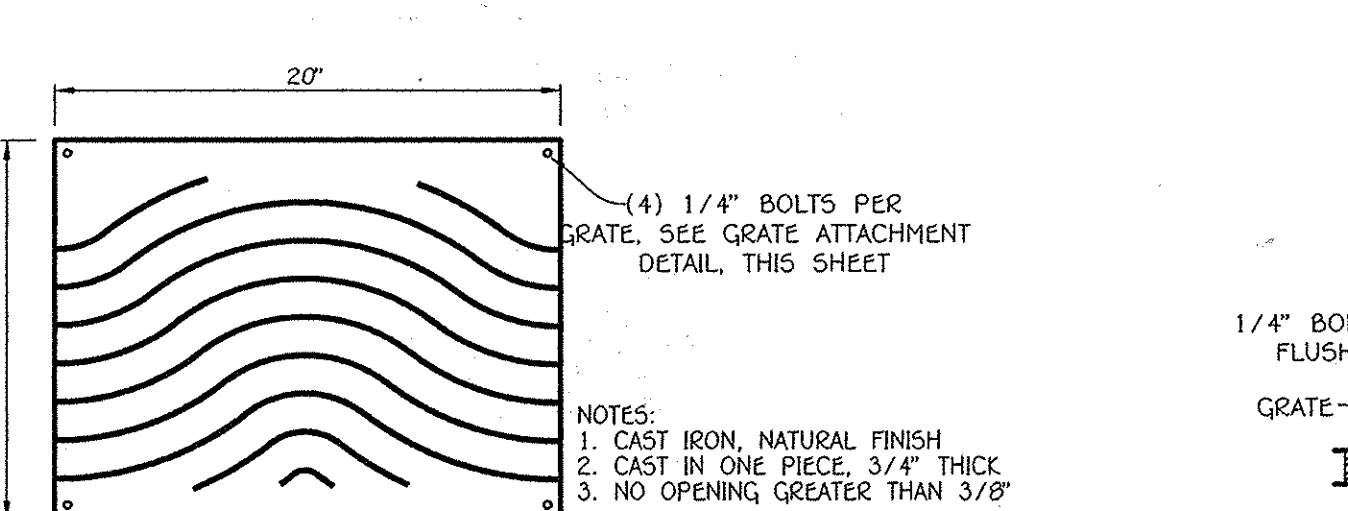
TYPICAL DOUBLE BIO-RETENTION CELL PLAN ALONG PARKING
SCALE: 1" = 5'



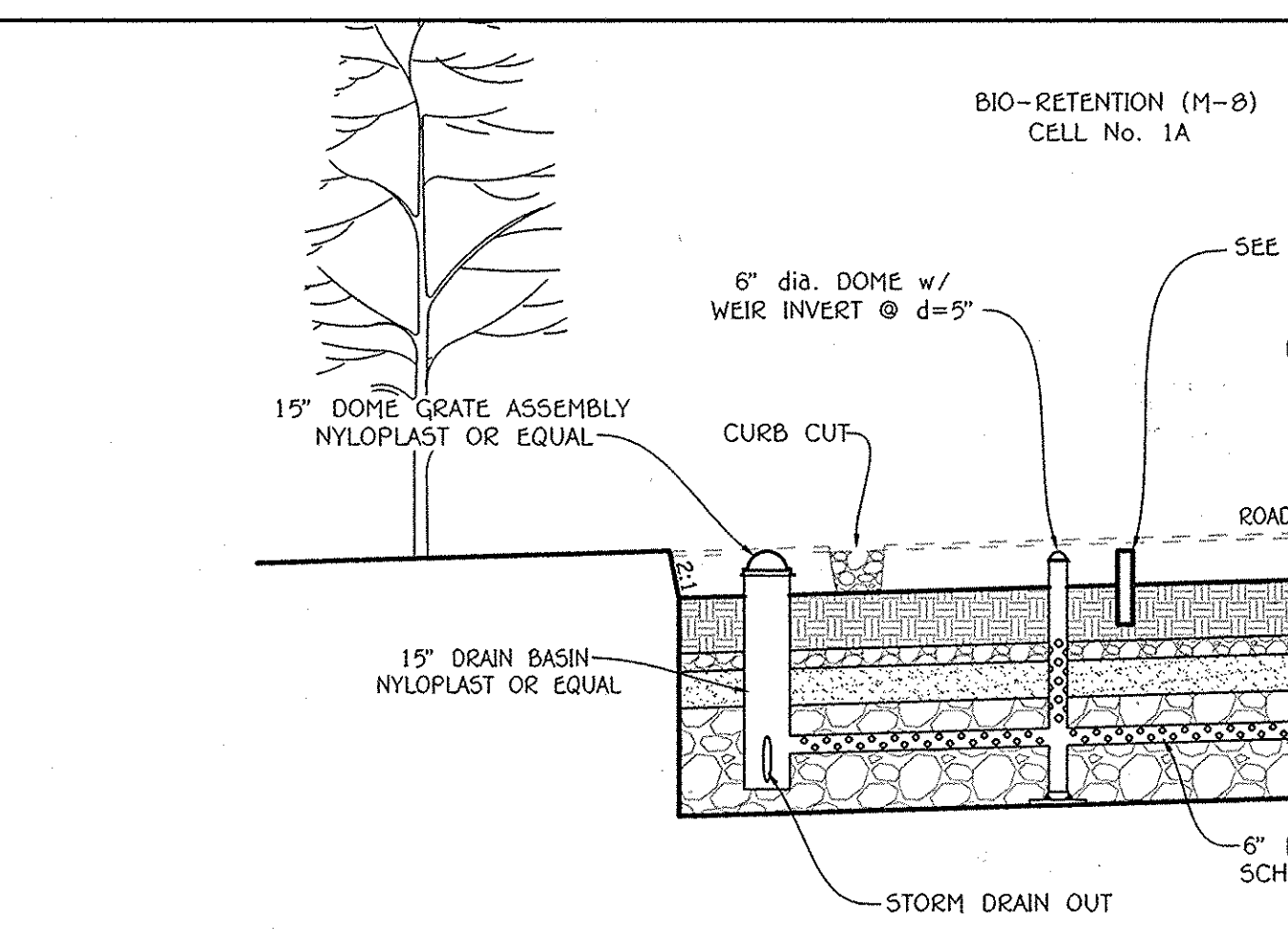
TYPICAL BIO-RETENTION ADJACENT TO ON-STREET PARKING
NO SCALE



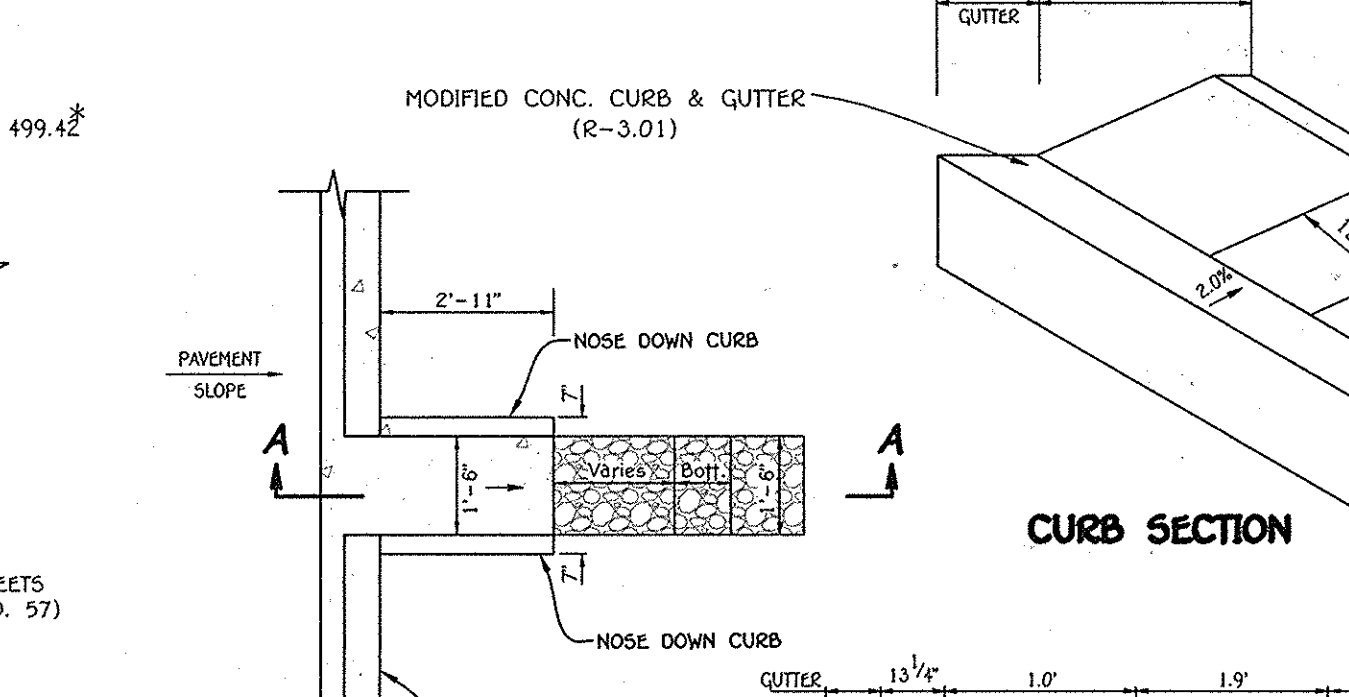
TYPICAL BIO-RETENTION (M-6) ADJACENT TO ON-STREET PARKING @ CURB CUT
NO SCALE



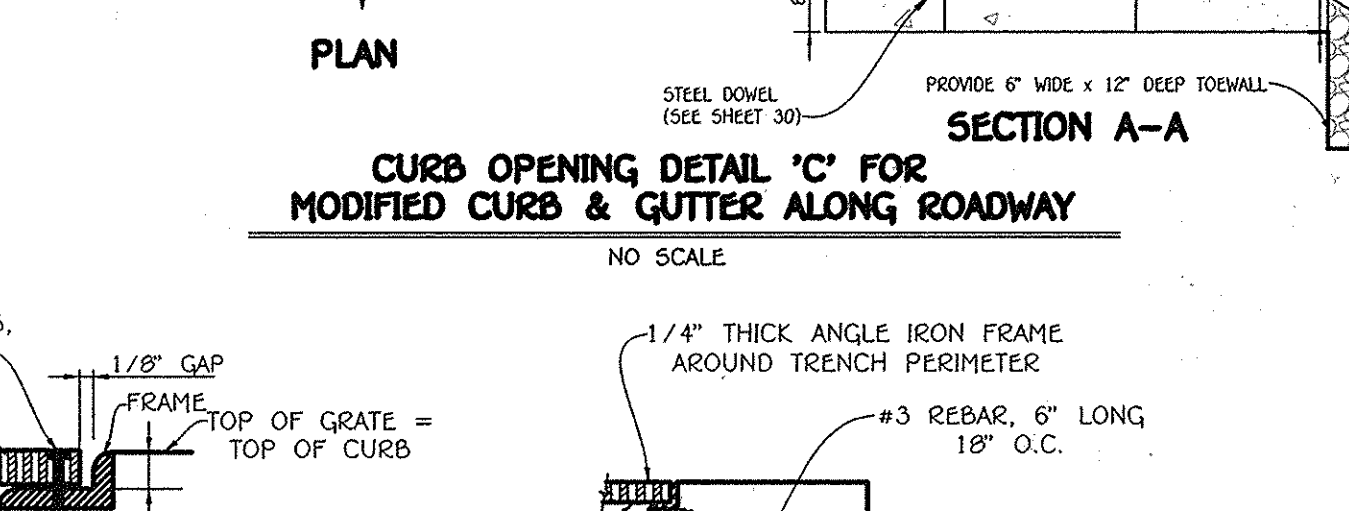
TRENCH GRATE 24x20 GRATE OVER CURB CUT
NO SCALE



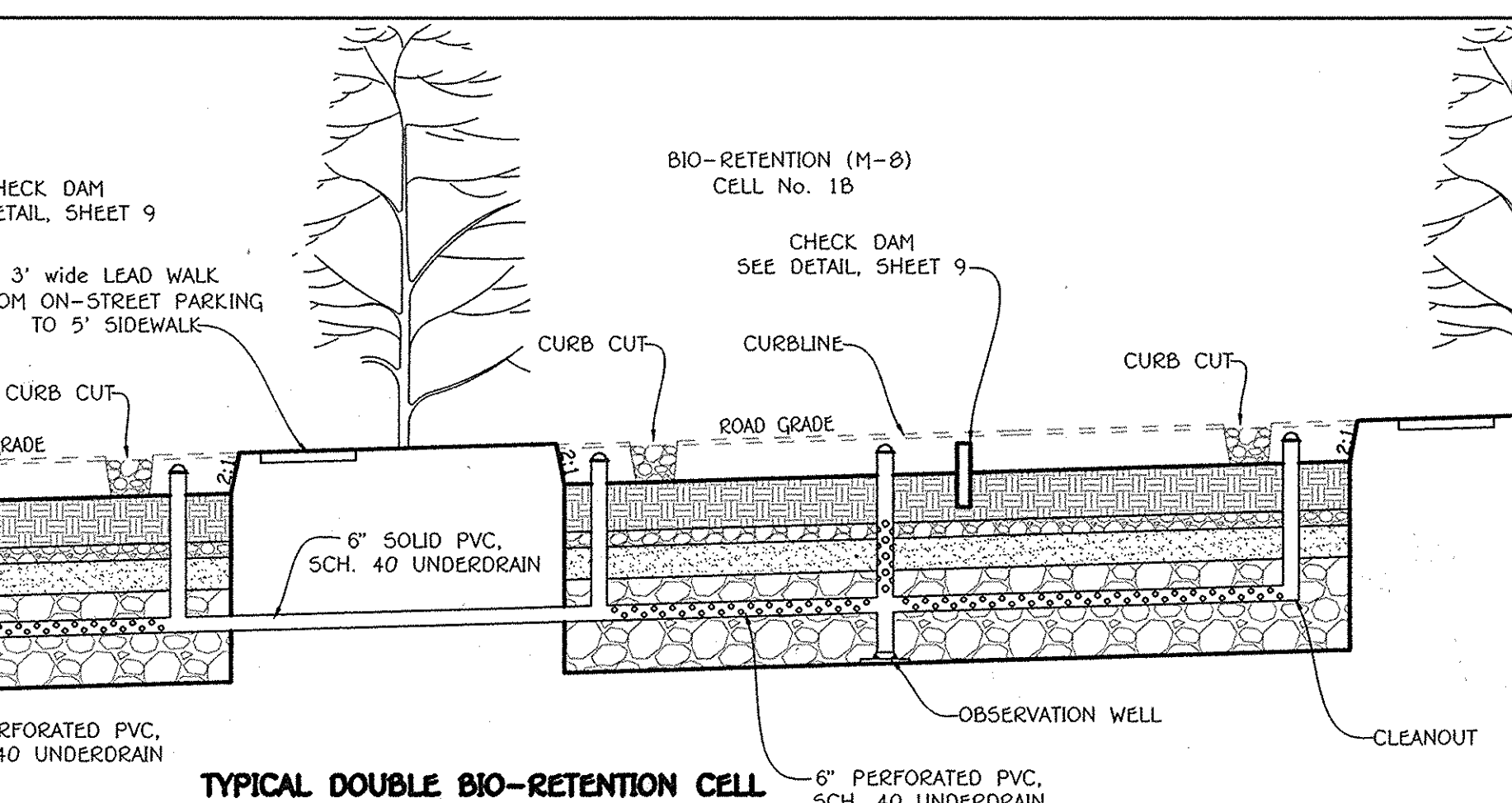
TYPICAL DOUBLE BIO-RETENTION CELL SECTION ALONG ROADWAY
SCALE: 1" = 5'



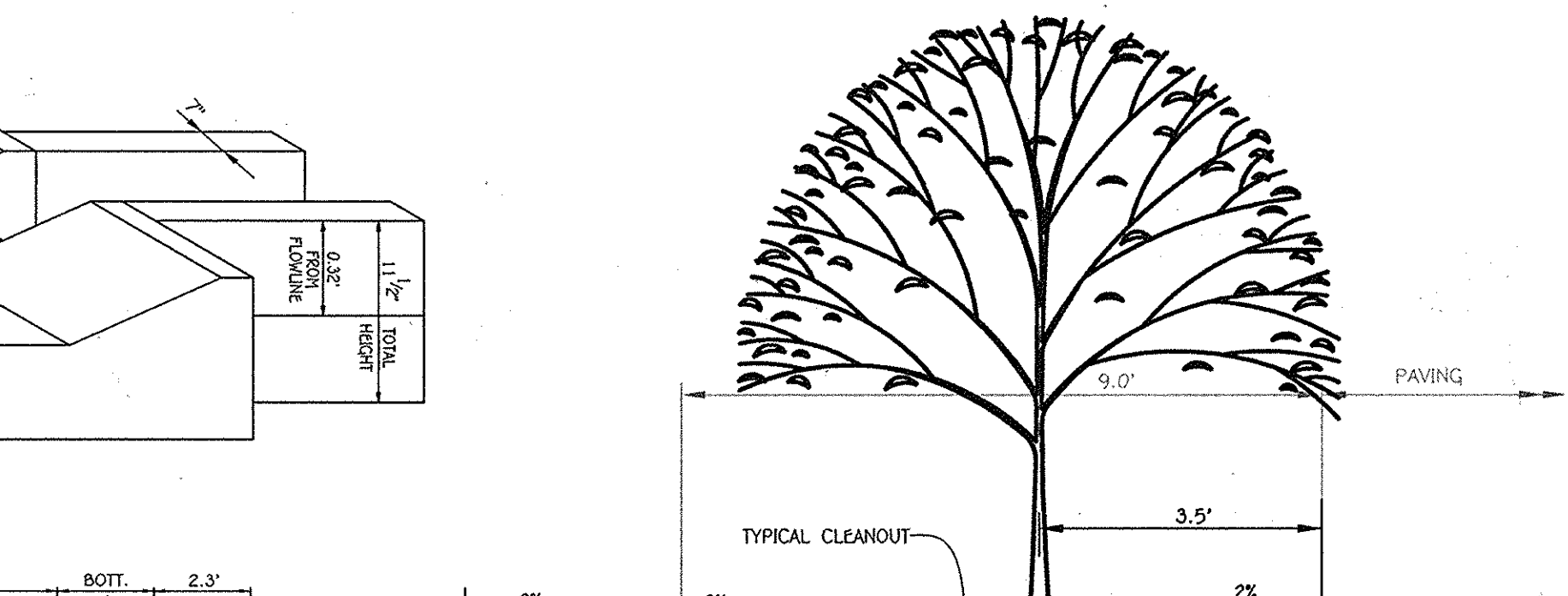
CURB SECTION



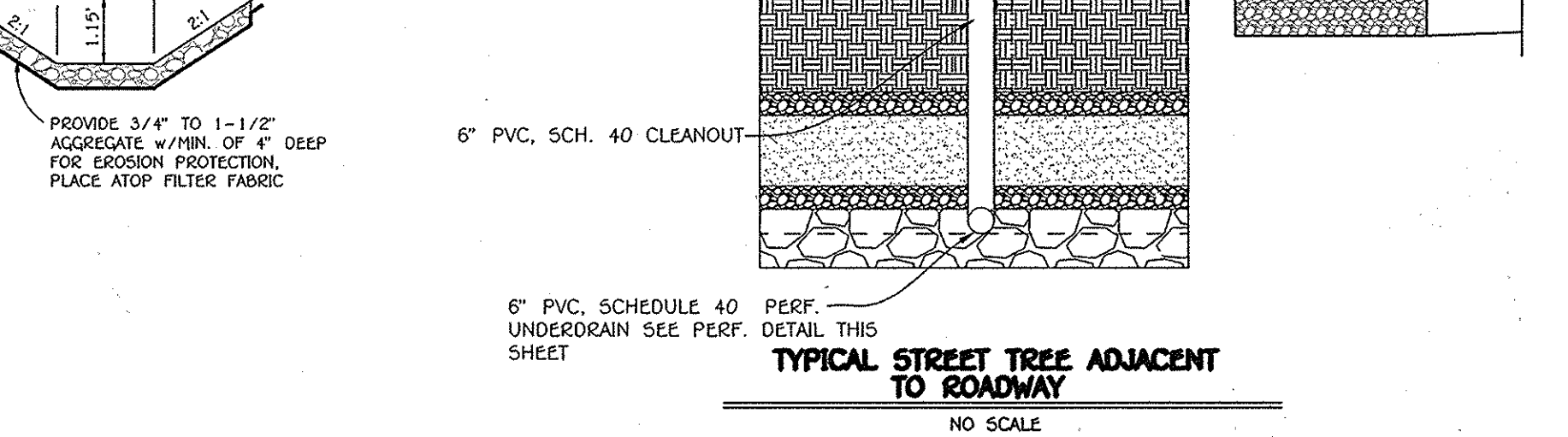
CURB OPENING DETAIL 'C' FOR MODIFIED CURB & GUTTER ALONG ROADWAY
NO SCALE



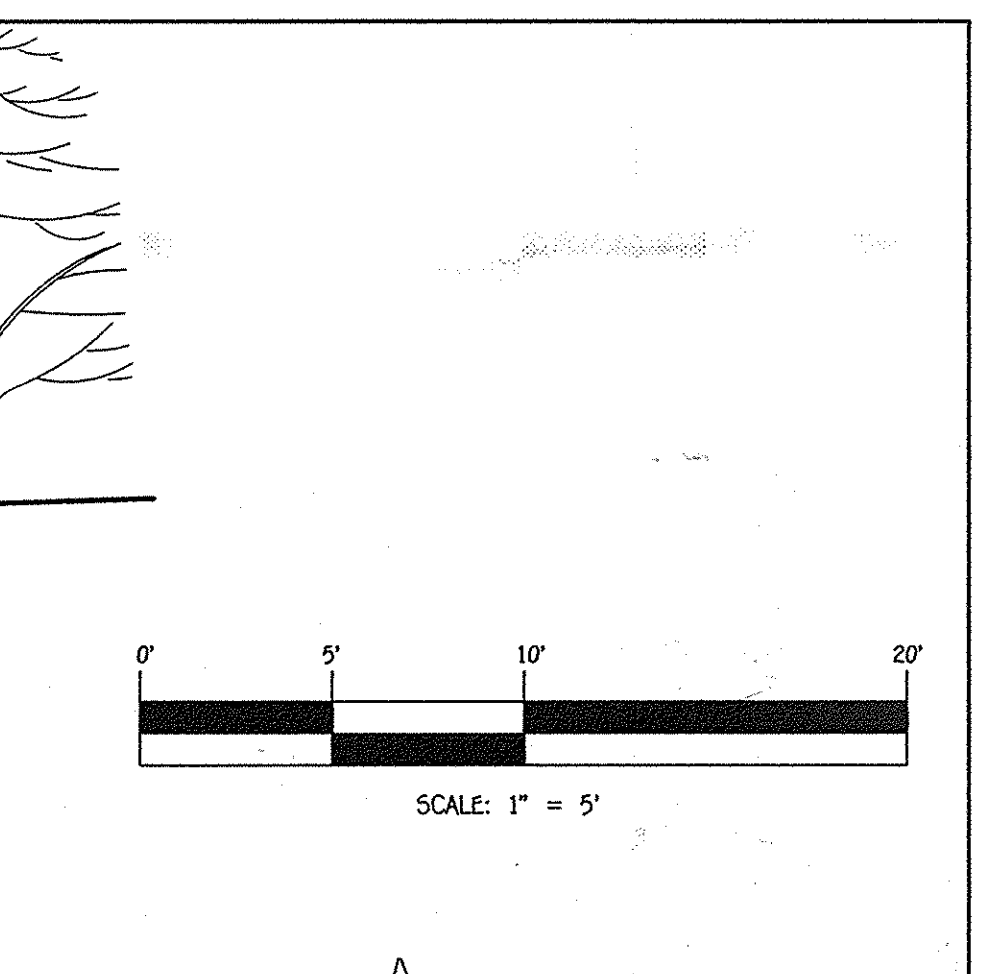
TYPICAL STREET TREE ADJACENT TO ROADWAY
NO SCALE



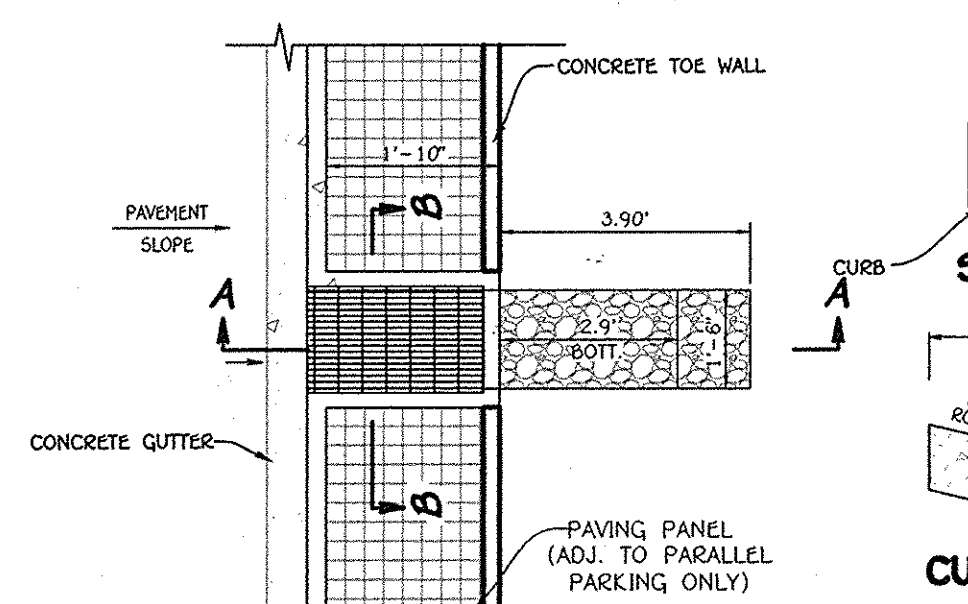
TYPICAL BIO-RETENTION (M-6) ADJACENT TO ROADWAY @ CURB CUT
NO SCALE



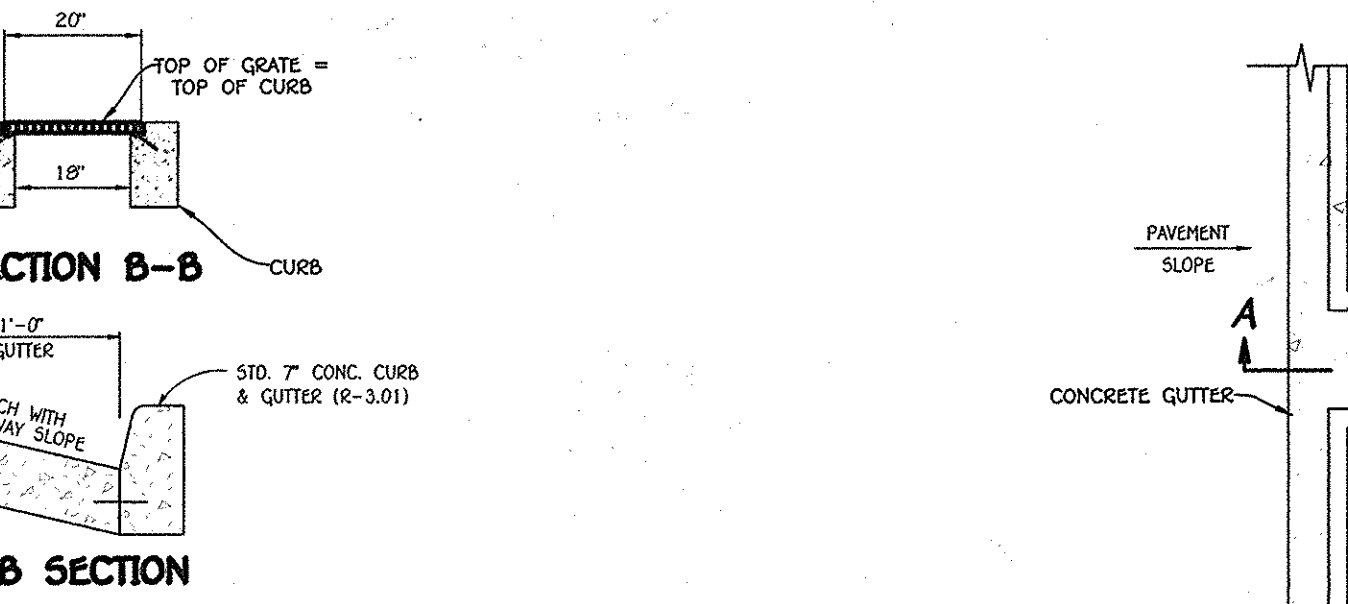
CURB OPENING DETAIL 'A' FOR STD. 7 CONCRETE CURB & GUTTER ALONG ROADWAY
NO SCALE



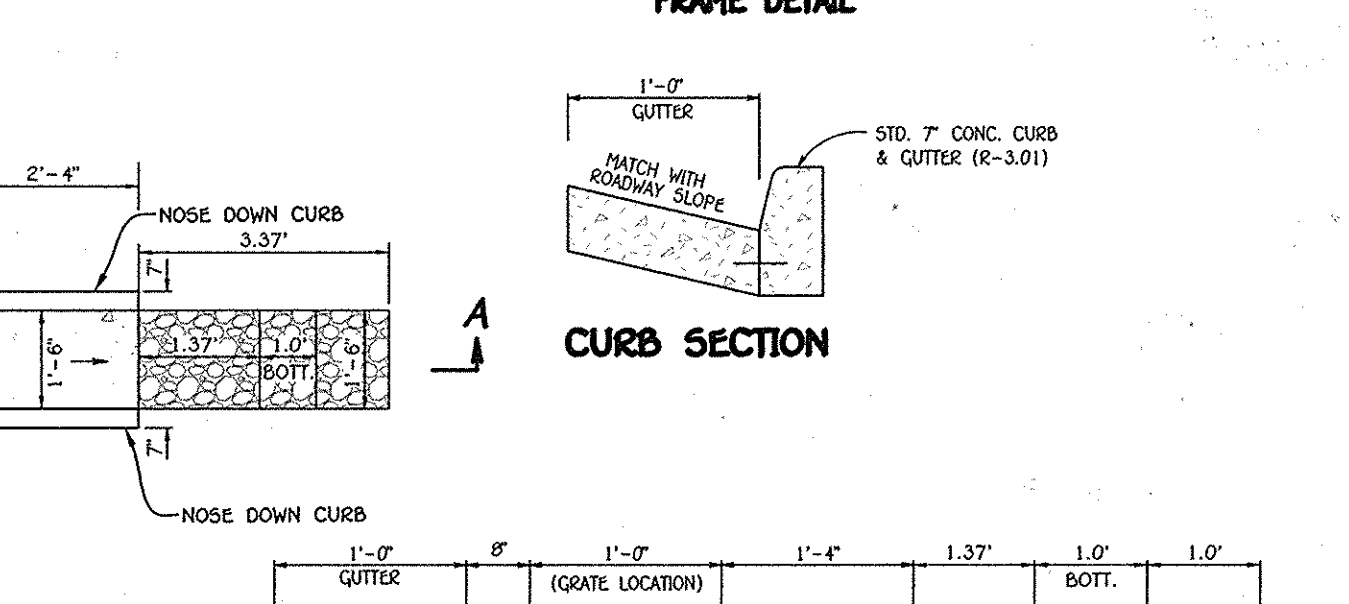
TYPICAL DOUBLE BIO-RETENTION CELL PLAN ALONG ROADWAY
SCALE: 1" = 5'



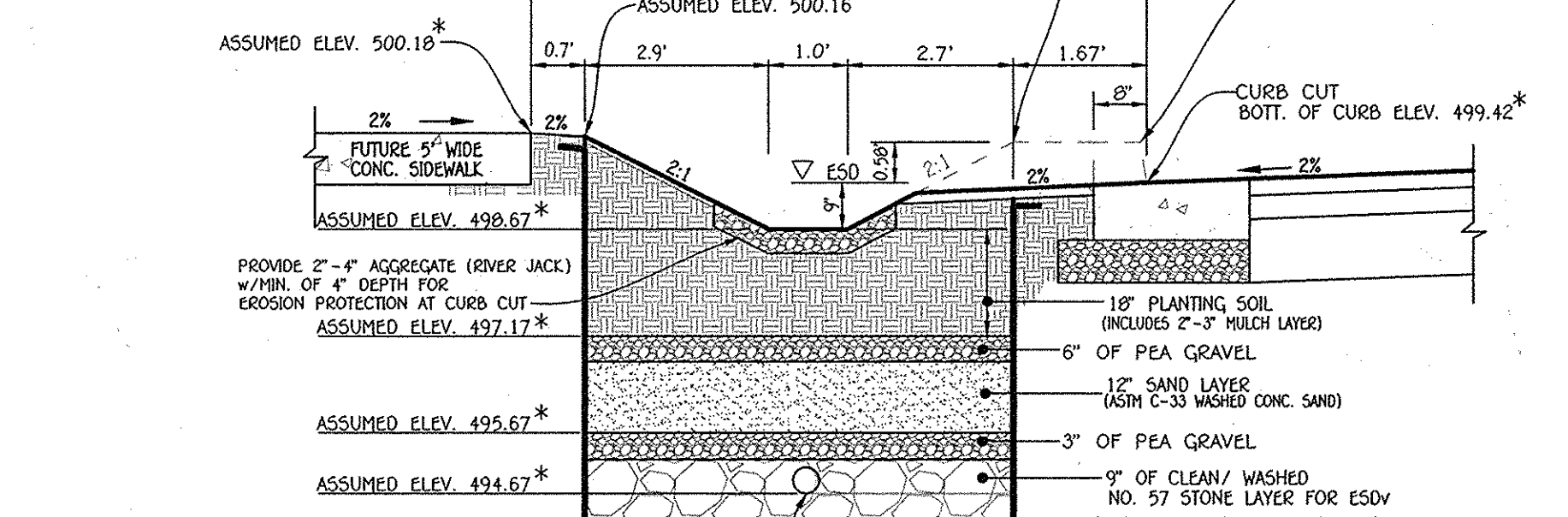
CURB OPENING DETAIL 'B' FOR STD. 7 CONCRETE CURB & GUTTER ALONG PARKING
NO SCALE



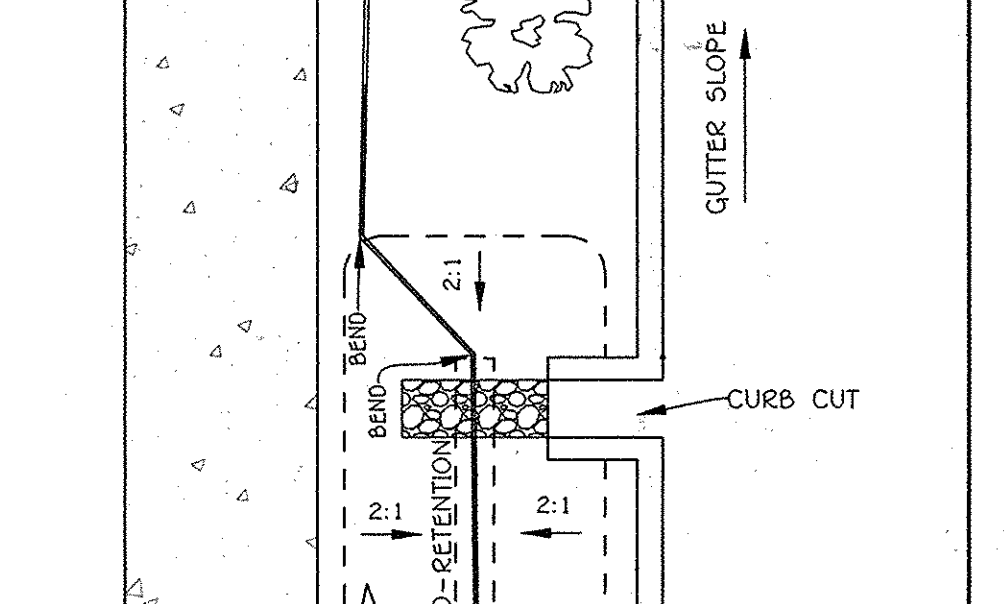
CURB SECTION



CURB OPENING DETAIL 'A' FOR STD. 7 CONCRETE CURB & GUTTER ALONG ROADWAY
NO SCALE

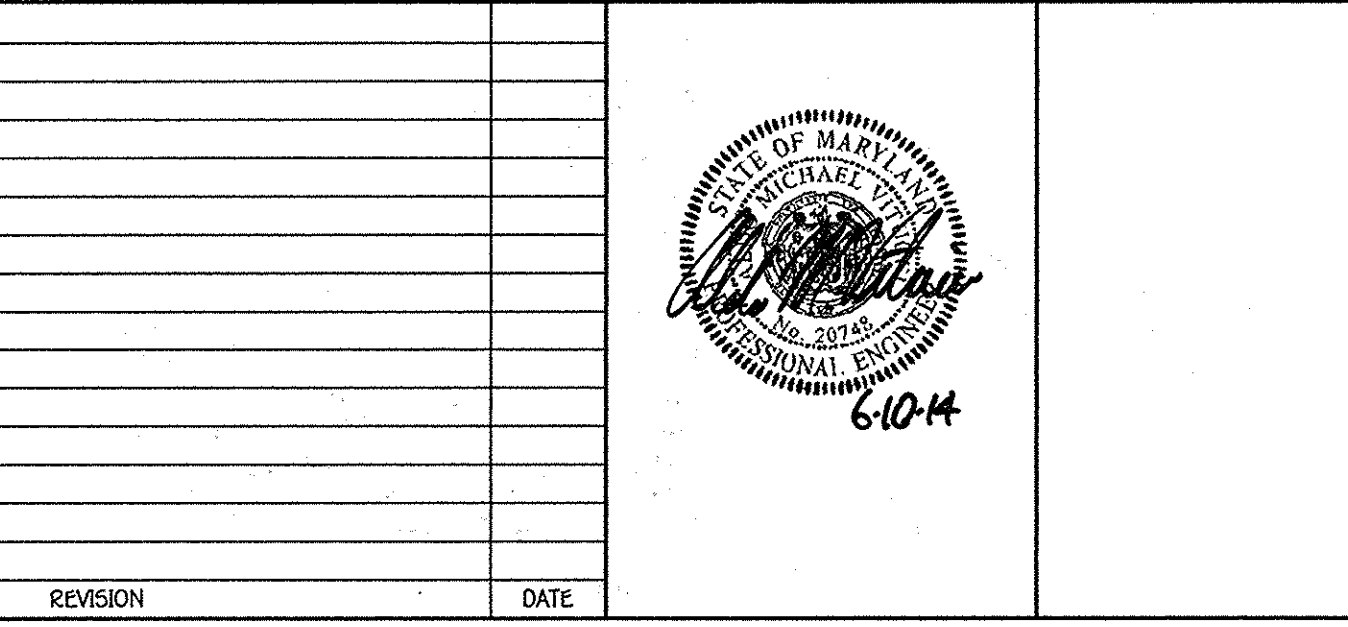


TYPICAL DOUBLE BIO-RETENTION CELL SECTION ALONG ROADWAY
SCALE: 1" = 5'



TYPICAL DOUBLE BIO-RETENTION CELL PLAN ALONG ROADWAY
SCALE: 1" = 5'

NO.	REVISION	DATE



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Wincopin Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3000

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kesteloh 7/23/14
Chief, Division of Land Development

Paul Ehrlich 6/25/14
Chief, Development Engineering Division

Joseph Fortino 7-23-14
Director - Department of Planning and Zoning

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	30	1st	601101

STORMWATER MANAGEMENT NOTES & DETAILS

OXFORD SQUARE
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Re subdivision of Parcels 'F' And 'J', As Shown On Plat Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records of Howard County, Maryland As Plat Nos. 22856 Thru 22859.)
Zoned: TOD

Tax Map No.: 30 Grid No.: 20 Parcel No.: 761
First Ejection District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 8 Of 30

Infiltration and Filter System Construction Specifications

Infiltration and filter systems either take advantage of existing permeable soils or create a permeable medium such as sand for (WC), and 66 v. In some instances where permeability is great, these facilities may be used for 4p as well. The most common systems include infiltration trenches, infiltration basins, sand filters, and organic filters.

When properly planted, vegetation will thrive and enhance the functioning of these systems. For example, pre-treatment buffers will trap sediments that often are bound with phosphorus and metals. Vegetation planted in the facility will aid in nutrient uptake and water storage. Additionally, plant roots will provide aeration for stormwater to permeate soil for groundwater recharge. Finally, successful plantings provide aesthetic value and wildlife habitat making these facilities more desirable to the public.

Design Constraints:

- Planting buffer strips of at least 20 feet will cause sediments to settle out before reaching the facility, thereby reducing the possibility of clogging.
- Determine areas that will be saturated with water and water table depth so that appropriate plants may be selected (hydrology will be similar to bioretention facilities, see Figure A.5 and Table A.4 for planting material guidelines).
- Plants known to send down deep taproots should be avoided in systems where filter fabric is used as part of facility design.
- Test soil conditions to determine if soil amendments are necessary.
- Plants should be located so that access is possible for structure maintenance.
- Stabilize heavy flow areas with erosion control mats or sod.
- Temporarily divert flows from seeded areas until vegetation is established.
- See Table A.5 for additional design considerations.

Bio-retention

Soil Bed Characteristics

The characteristics of the soil for the bioretention facility are perhaps as important as the facility location, size, and treatment volume. The soil must be permeable enough to allow runoff to filter through the media, while having characteristics suitable to promote and sustain a robust vegetative cover crop. In addition, much of the nutrient pollutant uptake (nitrogen and phosphorus) is accomplished through absorption and microbial activity within the soil profile. Therefore, soils must balance their chemical and physical properties to support biotic communities above and below ground.

The planting soil should be a sandy loam, loamy sand, loam (USDA), or a loam/sand mix (should contain a minimum 25% sand, by volume). The clay content for these soils should be less than 25% by volume (Environmental Quality Resources (EQR), 1998; Engineering Technology Inc. and Biobabette, Inc. (ETBI), 1992). Soils should fall within the SM, ML, SC classifications or Unified Soil Classification System (USCS). A permeability of at least 1.0 feet per day (0.5"/hr) is required (a conservative value of 0.5 feet per day is used for design). The soil should be free of stones, stumps, roots, or other woody material over 1" in diameter. Grass or seeds from noxious weeds (e.g., Johnson Grass, Huaywot, Nutgrass, and Canada Thistle or other noxious weeds as specified under COMAR 15.08.01.05) should not be present in the soils. Placement of the planting soil should be in 12 to 18 lifts that are loosely compacted (tamped lightly with a backhoe bucket or traversed by dozer tracks). The specific characteristics are presented in Table A.3.

Table A.3 Planting Soil Characteristics

Parameter	Value
pH range	5.2 to 7.00
Organic matter	1.5 to 4.0% (by weight)
Magnesium	35 lbs. per acre, minimum
Phosphorus (phosphate - P2O5)	75 lbs. per acre, minimum
Potassium (potash - K2O)	85 lbs. per acre, minimum
Soluble salts	500 ppm
Clay	10 to 25 %
Silt	30 to 55 %
Sand	35 to 60%

Mulch Layer

The mulch layer plays an important role in the performance of the bioretention system. The mulch layer helps maintain soil moisture and avoids surface sealing, which reduces permeability. Mulch helps prevent erosion, and provides a microenvironment suitable for soil biota at the mulch/soil interface. It also serves as a pretreatment layer, trapping the finer sediments, which remain suspended after the primary pretreatment.

The mulch layer should be standard landscape style, single or double shredded hardwood mulch or chips. The mulch layer should be well aged (stockpiled or stored for at least 12 months), uniform in color, and free of other materials, such as weed seeds, soil, roots, etc. The mulch should be applied to a maximum depth of three inches. Grass clippings should not be used as a mulch material.

Planting Guidance

Plant material selection should be based on the goal of simulating a terrestrial forested community of native species. Bioretention simulates an upland-species ecosystem. The community should be dominated by trees, but have a distinct community of understory trees, shrubs and herbaceous materials. By creating a diverse, dense plant cover, a bioretention facility will be able to treat stormwater runoff and withstand urban stresses from insects, disease, drought, temperature, wind, and exposure. The proper selection and installation of plant materials is key to a successful system. There are essentially three zones within a bioretention facility (Figure A.5). The lowest elevation supports plant species adapted to standing and fluctuating water levels. The middle elevation supports plants that like drier soil conditions, but can still tolerate occasional inundation by water. The outer edge is the highest elevation and generally supports plants adapted to drier conditions. For appropriate plant materials for bioretention facilities, refer to MVA Approved Species List. The layout of plant material should be flexible, but should follow the general principles described in Table A.5. The objective is to have a system, which resembles a random, and natural plant layout, while maintaining optimal conditions for plant establishment and growth. For a more extensive bioretention plan, consult EPA, 1993 or Claytor and Schaefer, 1997.

Operation And Maintenance Schedule For Commercial Association Owned & Maintained Bio-Retention Areas (M-6) & (M-8)

- The owner shall maintain the plant material, mulch layer and soil layer annually. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning. Acceptable replacement plant material is limited to the following: 2000 Maryland stormwater design manual volume II, table A.4.1, and 2.
- The owner shall perform a plant in the spring and in the fall each year. During the inspection, the owner shall remove dead and diseased vegetation considered beyond treatment, replace dead plant material with acceptable replacement plant material. Treat diseased trees and shrubs and replace all deficient stakes and wires.
- The owner shall inspect the mulch each spring. The mulch shall be replaced every two to three years. The previous mulch layer shall be removed before the new layer is applied.
- The owner shall correct soil erosion on an as needed basis, with a minimum of once per month and after each heavy storm.
- The owner shall maintain all observation wells, clean-outs and perforated underdrains.
- Filter material must be replaced when water remains on the surface of the filter bed for more than 24 hours following a 1 or 2 year storm event or more than 48 hours following a 10 year storm event.

B.4.C Specifications for Micro-Bioretention. Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the micro-bioretention practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

Soil Component - Loamy Sand or Sandy Loam (USDA Soil Textural Classification)

Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).

Clay Content - Media shall have a clay content of less than 5%.

pH Range - Should be between 5.5 - 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH and additional tests of organic matter, and soluble salts. A texture analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation holes to remove original soil. If practices are excavated using a loader, the contractor should use wide track or marsh track equipment, or light equipment with turf tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to replicate the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not fill deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 16". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

4. Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invertebrate and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8 th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground level cover after installation.

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plants shall be planted following the no-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers, pesticides, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:
 Pipe - Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).

Perforations - If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.

Gravel - The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.

The main collector pipe shall be at a minimum 0.5% slope.

A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter.

A 4" layer of pea gravel (1/4" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 2".

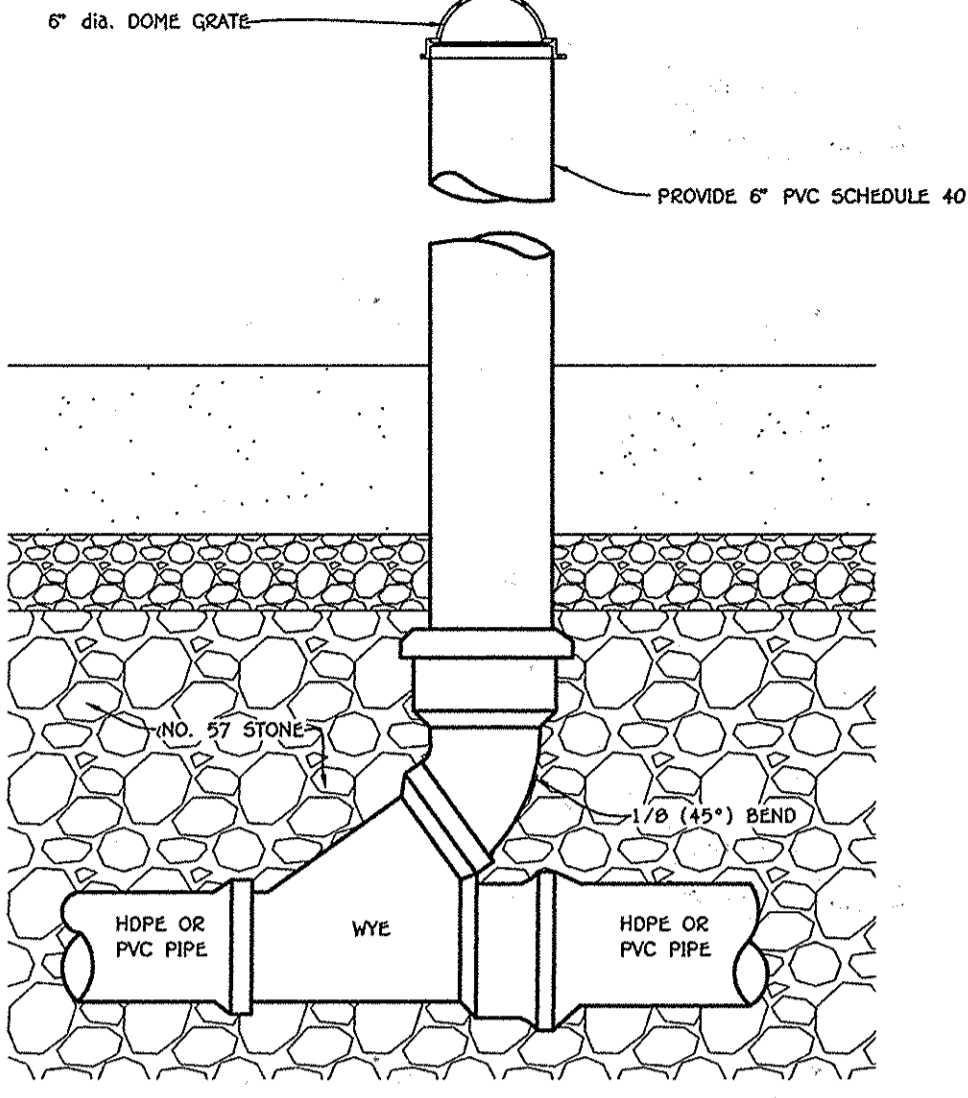
The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

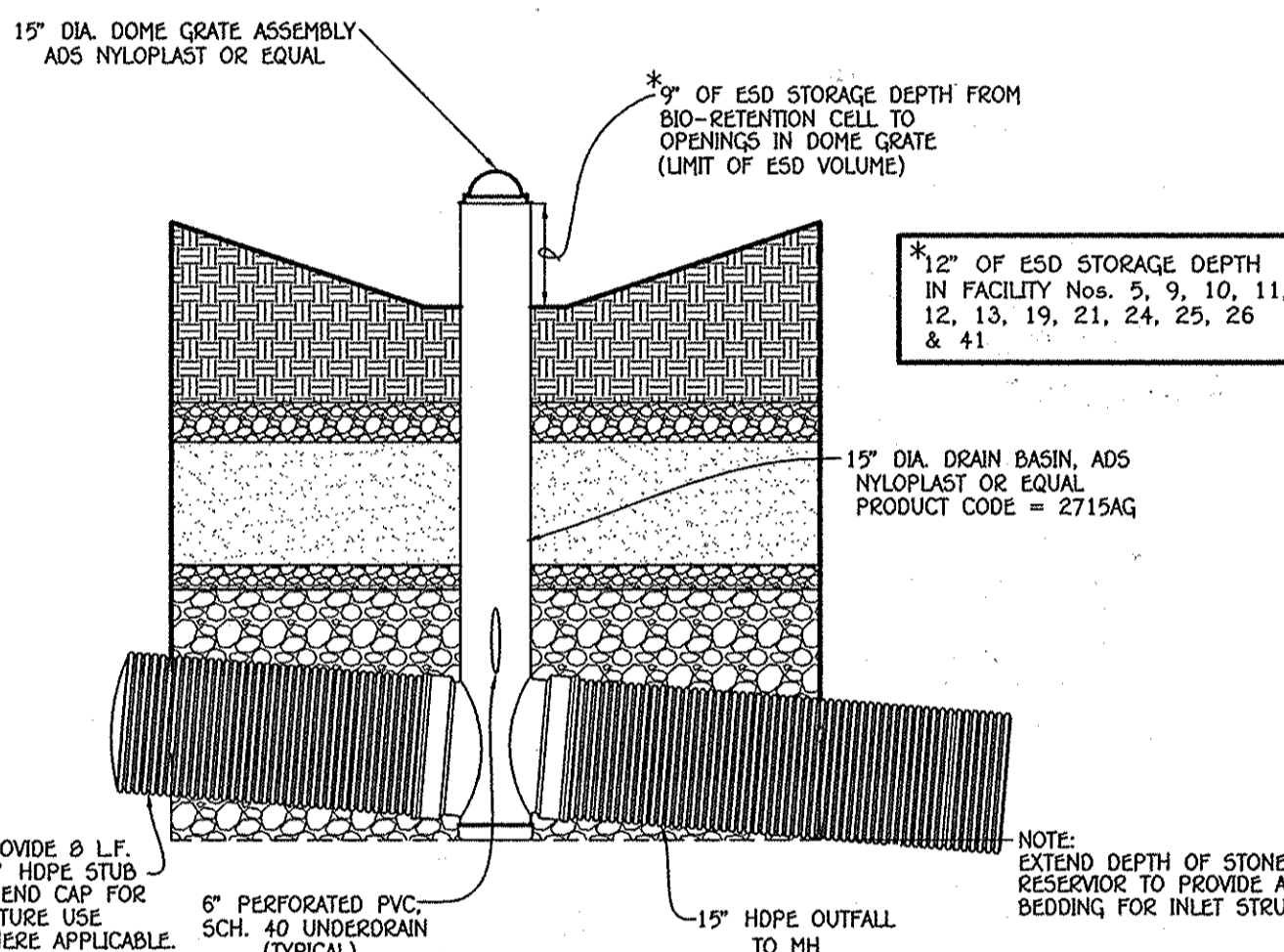
These practices may not be constructed until all contributing drainage area has been stabilized.

STORMWATER MANAGEMENT MAINTENANCE NOTE

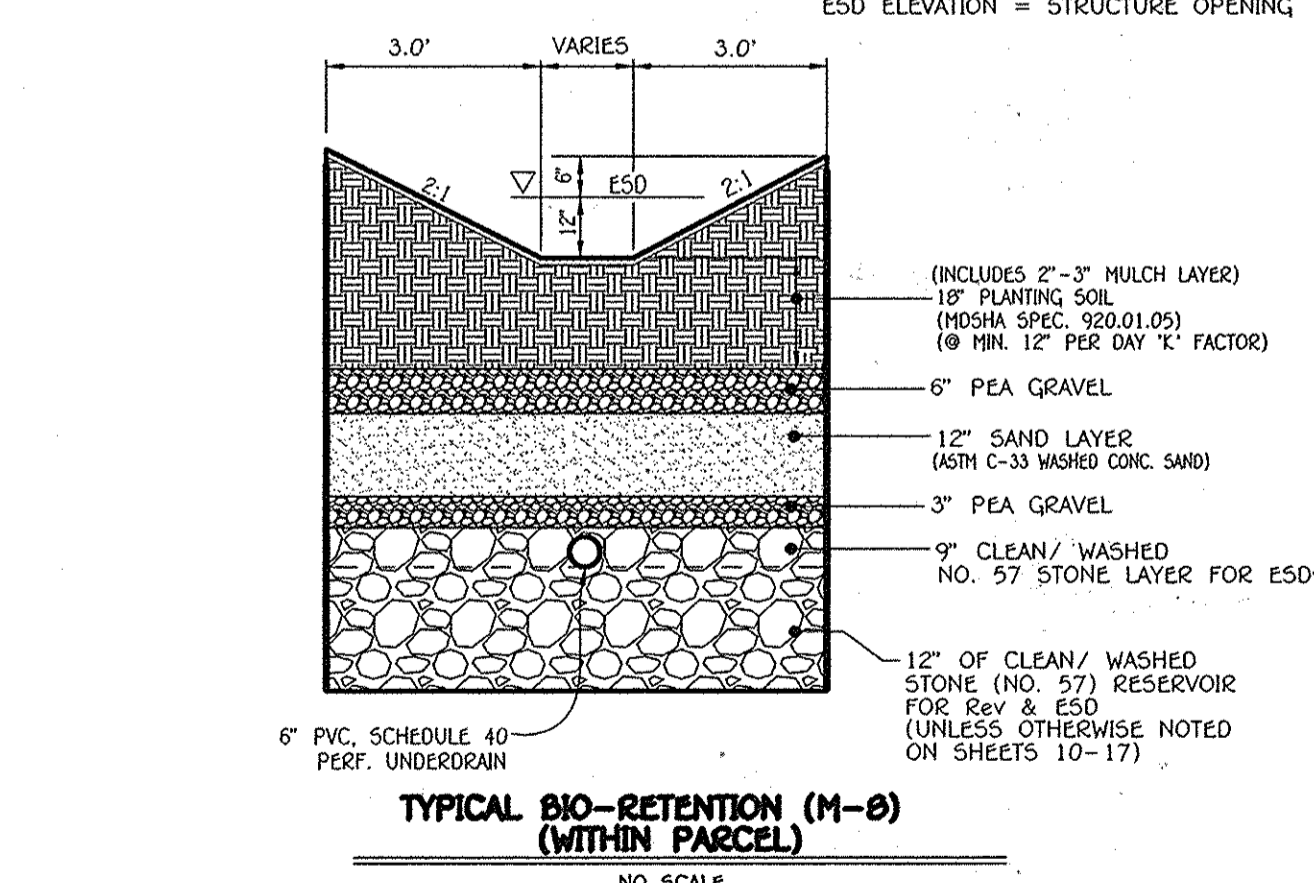
ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION, INC. THE STREET TREES, PERFORATED UNDERDRAINS, FEEDERS, PLANTINGS AND SWALES WILL ALSO BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO BIO-RETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAY.



TYPICAL CLEAN-OUT DETAIL
NO SCALE

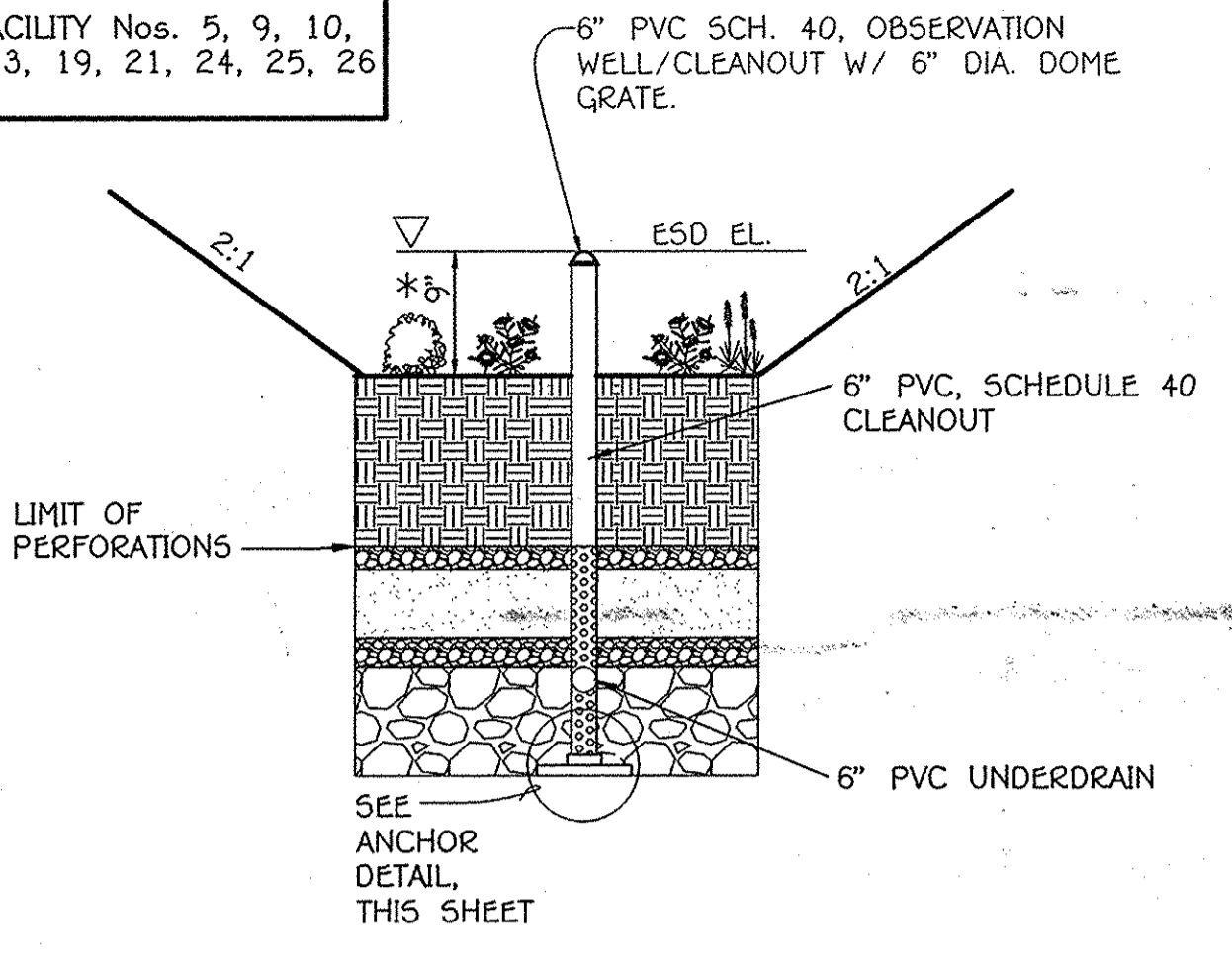


TYPICAL INLET STRUCTURE DETAIL
BIO-RETENTION
NO SCALE

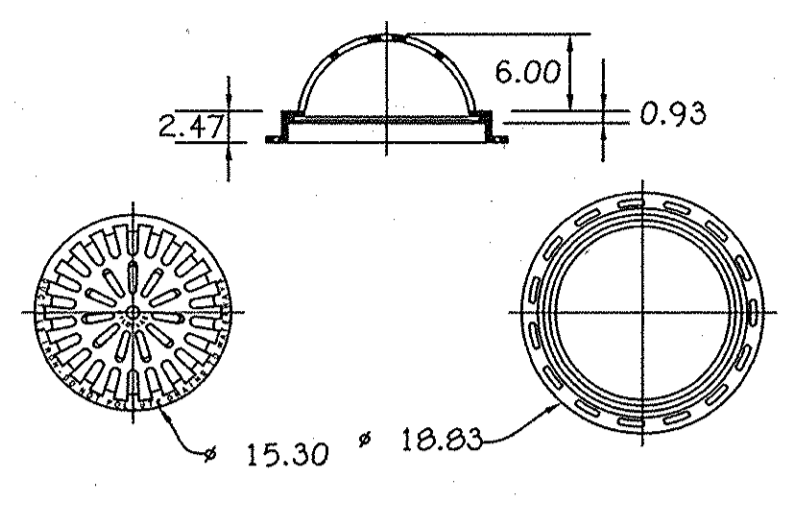


TYPICAL BIO-RETENTION (M-8)
(WITHIN PARCEL)
NO SCALE

*12" IN FACILITY Nos. 5, 9, 10, 11, 12, 13, 19, 21, 24, 25, 26 & 41



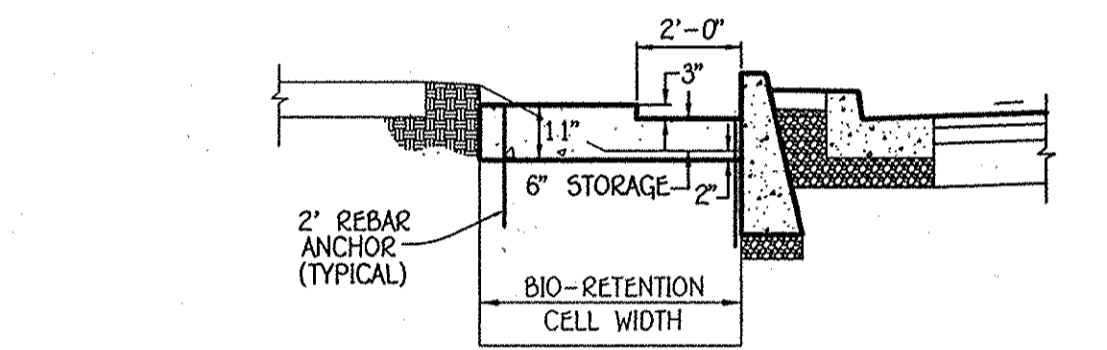
SECTION @
OBSERVATION WELL LOCATION
NOT TO SCALE



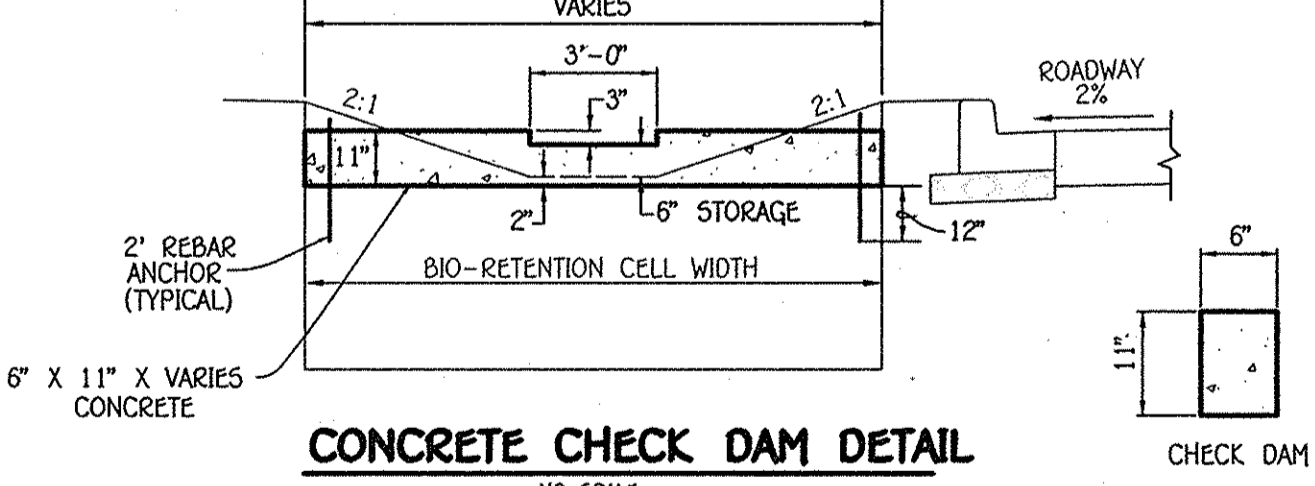
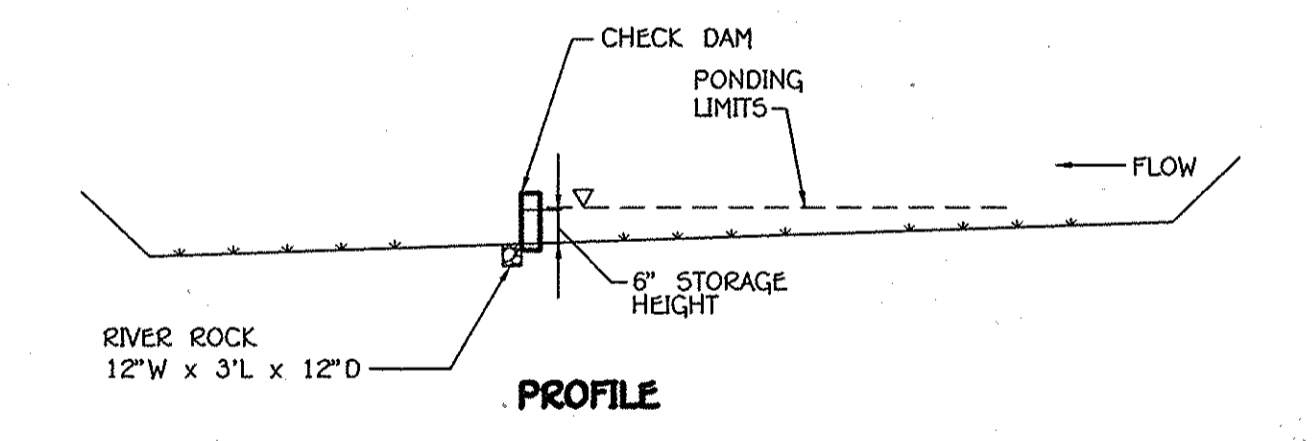
ALL DIMENSIONS IN INCHES UNLESS NOTED OTHERWISE
 QUALITY: MATERIAL SHALL CONFORM TO ASTM
 A536 GRADE 70-50-05
 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT
 LOCKING DEVICE AVAILABLE UPON REQUEST
 SEE DRAWING NO.
 7001-110-230

Nyloplast
 3130 VERONA AVE
 BUFORD, GA 30518
 PHN (770) 932-2443
 FAX (770) 932-2490
 www.nyloplast-us.com

15" DOME GRATE ASSEMBLY NYLOPLAST OR EQUAL

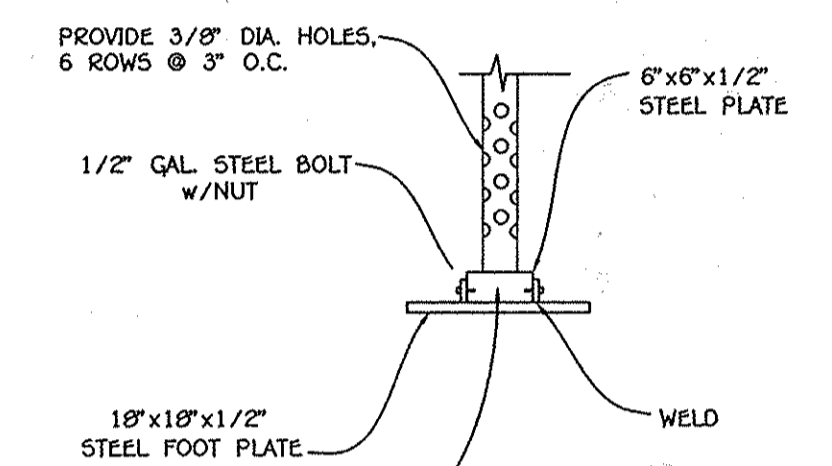


CONCRETE CHECK DAM DETAIL
ADJACENT TO ON-STREET PARKING
NO SCALE

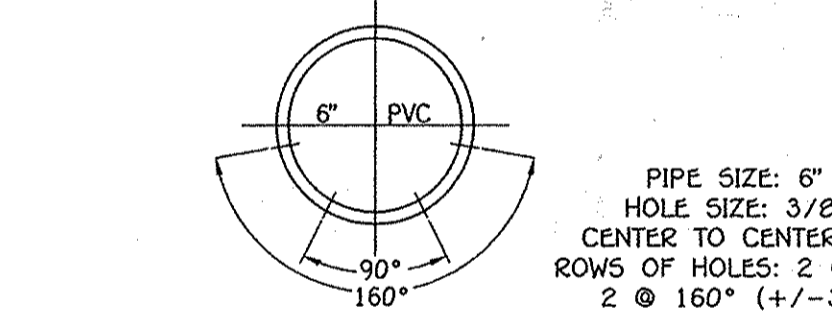


CONCRETE CHECK DAM DETAIL
NO SCALE

NOTE: SEE SHEETS 10, 11, 13, 14 & 15 FOR CHECK DAM LOCATIONS.



ANCHOR DETAIL
NO SCALE



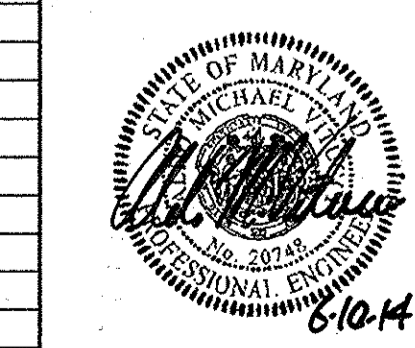
SCH 40 PVC PERFORATED UNDERDRAIN PIPE DETAIL FOR HORIZONTAL DRAIN PIPE
NO SCALE

NOTES:
 UNDERDRAIN PIPE SHALL BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F758, TYPE PS 28 OR AASHTO-M-278) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED 4" RIGID PIPE (e.g., PVC OR HOPE).
 PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (NO. 4 OR 4 X 4) GALVANIZED HARDWARE CLOTH.

GRAVEL LAYER SHALL BE (NO. 57 STONE PREFERRED) AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.

THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.
 A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT PORT AND MONITOR PERFORMANCE OF THE FILTER.
 A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 2".

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1072 BALDWIN NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2595



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *[Signature]* Date: *7/23/14*

Chief, Development Engineering Division: *[Signature]* Date: *6-25-14*

Director - Department of Planning and Zoning: *[Signature]* Date: *7-23-14*

Owner/Builder: U.S. Home Corporation, D/B/A Lennar, c/o Joseph Fortino, Vice President, Suite 300, Columbia, Maryland 21044, Ph: 410-423-0460

Developer: Preston - Schaefferacker Properties, 2530 West Joppa Road, Suite 160, Lutherville, Maryland 21093-4614, Ph: 410-296-3800

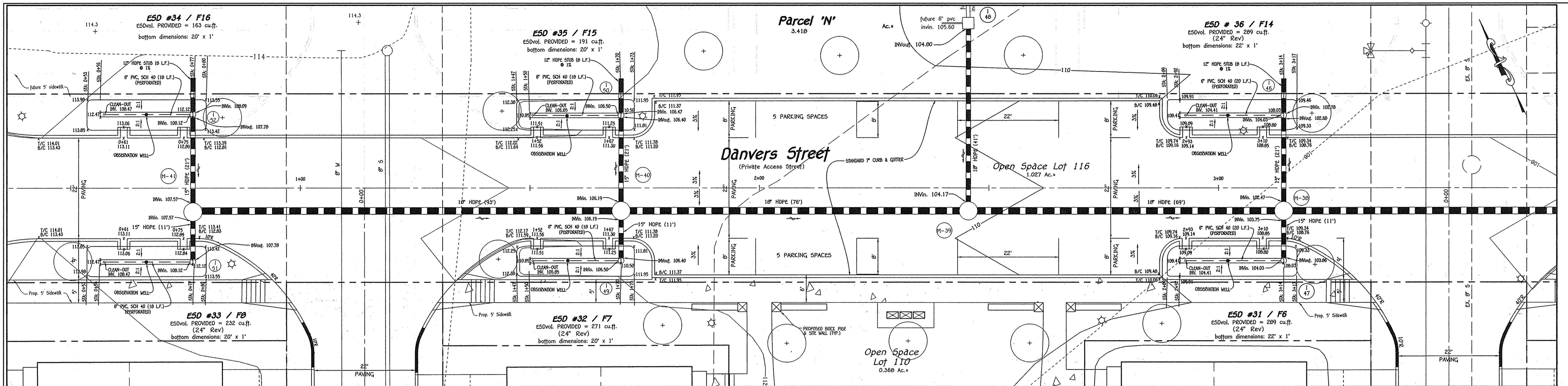
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE		3 THRU 103

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898		TOD	3B	1st	601101

STORMWATER MANAGEMENT NOTES & DETAILS
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K', 'L', 'M' And 'N' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22858 Thru 22895, Zone: TOD)

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
 First Election District: As Shown
 Scale: As Shown
 Date: Jun 6, 2014
 Sheet 9 Of 38

I:\2009\09014\dwg\SDP (Lennar)\09014 Sheet 8-9 swm details.dwg, swm sheet 9, 6/9/2014 3:04:41 PM, 1:1



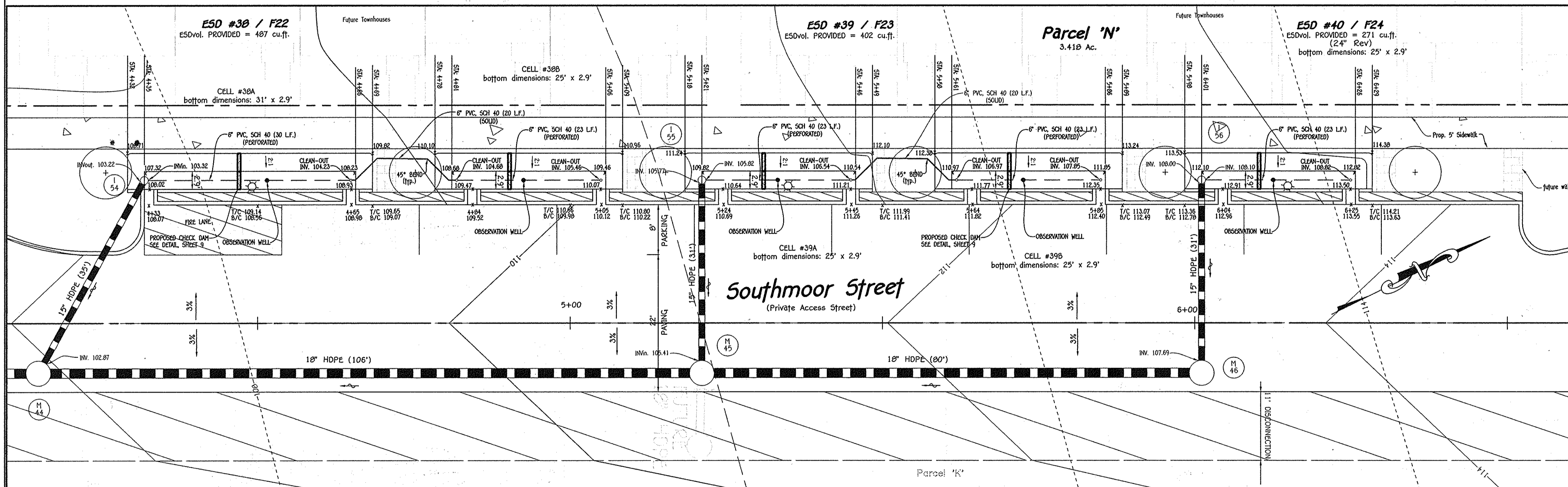
NOTE: THE F NUMBER (F34) IS THE SKETCH PLAN ESD NUMBER.

**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 31 thru 36 PLAN VIEW**

SCALE: 1" = 10'

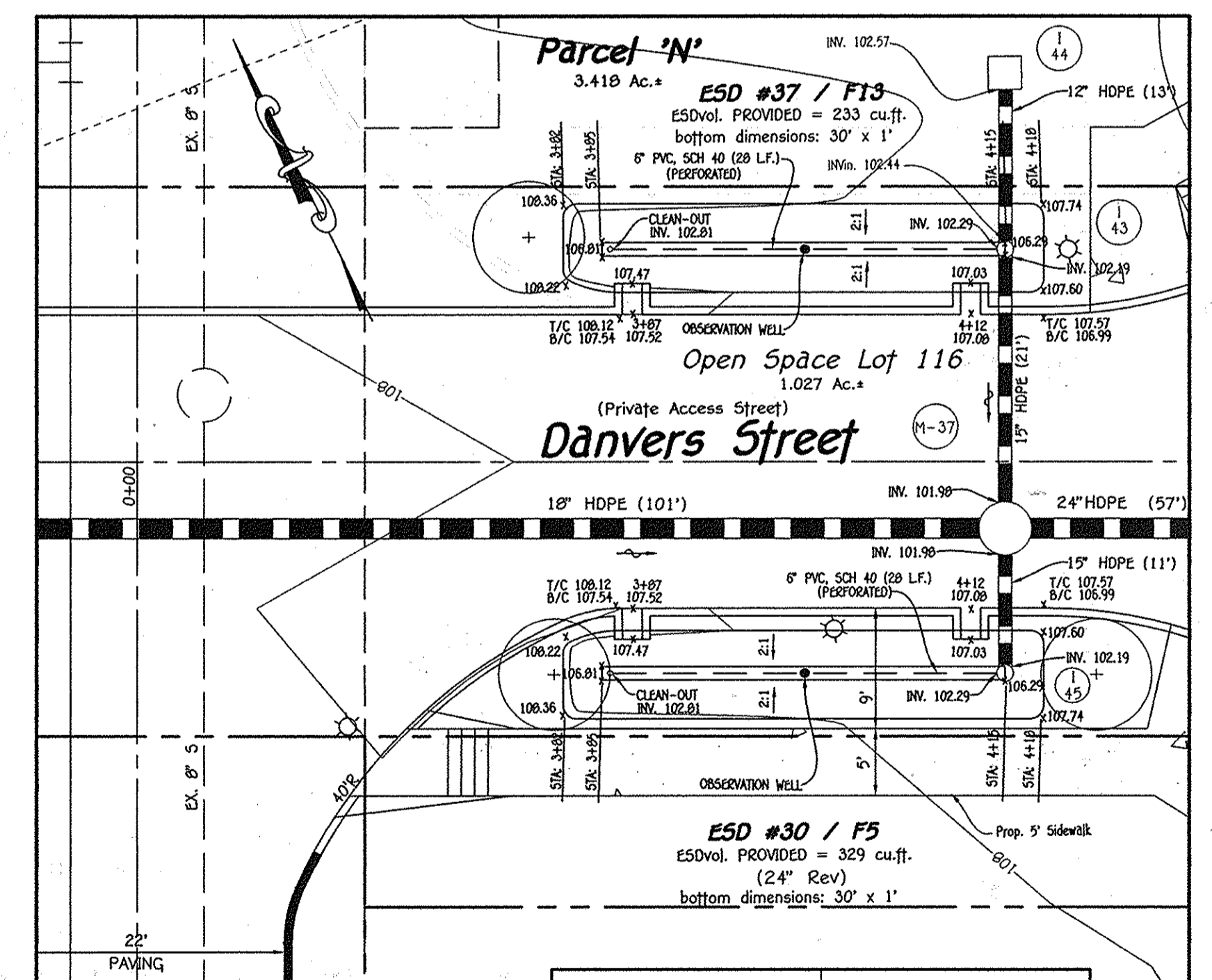
**STORMWATER MANAGEMENT
MAINTENANCE NOTE**

ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION, INC. THE STREET TREES, PERFORATED UNDERDRAINS, FEEDERS, PLANTINGS AND SWALES WILL ALSO BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO BIO-RETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAY.



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 38 thru 40 PLAN VIEW**

SCALE: 1" = 10'



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 30 & 37 PLAN VIEW**

SCALE: 1" = 10'

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
OXFORD SQUARE OFFICE: 2330 WEST JOPPA ROAD, SUITE 300, ELKORT CITY, MARYLAND 21042
(410) 461-2855



Owner/Builder

U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winthrop Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer

Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ken Shadron
Chief, Division of Land Development

7/23/14
Date

Paul Elmer
Chief, Development Engineering Division

6-25-14
Date

Justin J. Jowers
Director - Department of Planning and Zoning

7-23-14
Date

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st.	601101

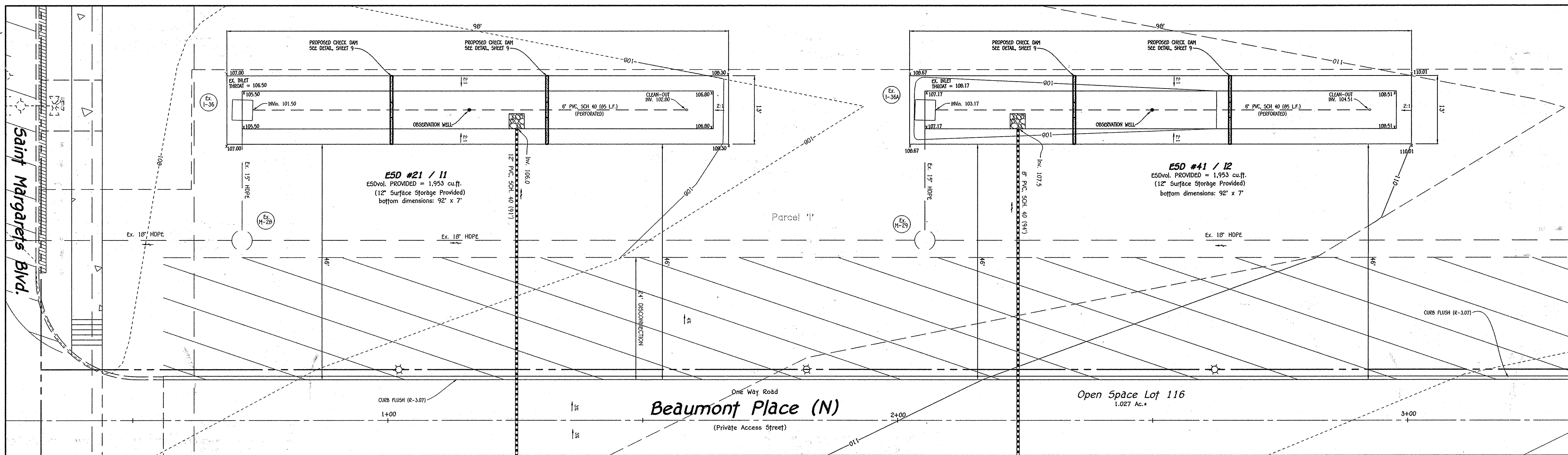
**STORMWATER MANAGEMENT
NOTES & DETAILS**

OXFORD SQUARE

"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square," Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22898, Thru 22899.)
Zoned: TOD

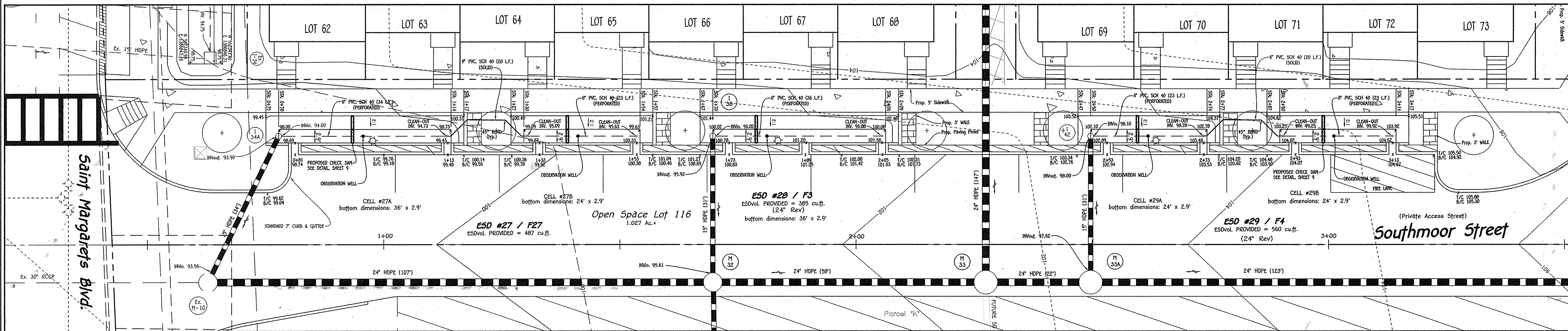
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 10 of 38



NOTE: THE I NUMBER (I2) IS THE SKETCH PLAN ESD NUMBER.

**PROPOSED BIO-RETENTION (F-3)
ESD Nos. 21 & 41 PLAN VIEW**

SCALE: 1" = 10'



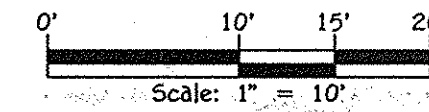
NOTE: THE F NUMBER (F34) IS THE SKETCH PLAN ESD NUMBER.

**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 27 Thru 29 PLAN VIEW**

SCALE: 1" = 10'

**STORMWATER MANAGEMENT
MAINTENANCE NOTE**

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FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELKORT CITY, MARYLAND 21042
(410) 461-2895



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Colwell
Chief, Division of Land Development

7-25-14
Date

W. J. ...
Chief, Development Engineering Division

6-25-14
Date

Director - Department of Planning and Zoning

7-23-14
Date

SUBDIVISION		SECTION/AREA		LOT NOS.	
OXFORD SQUARE		---		3 THRU 103	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

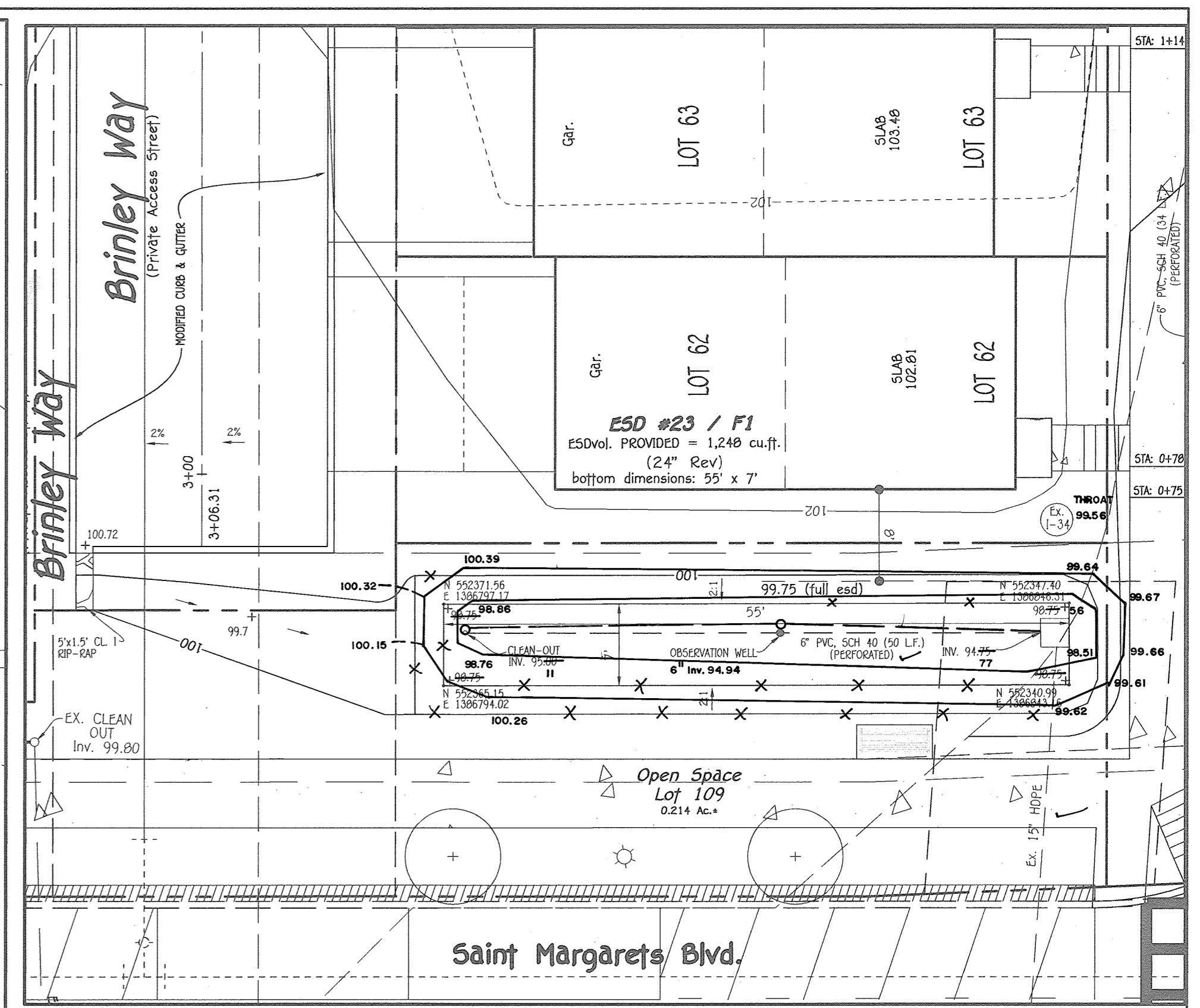
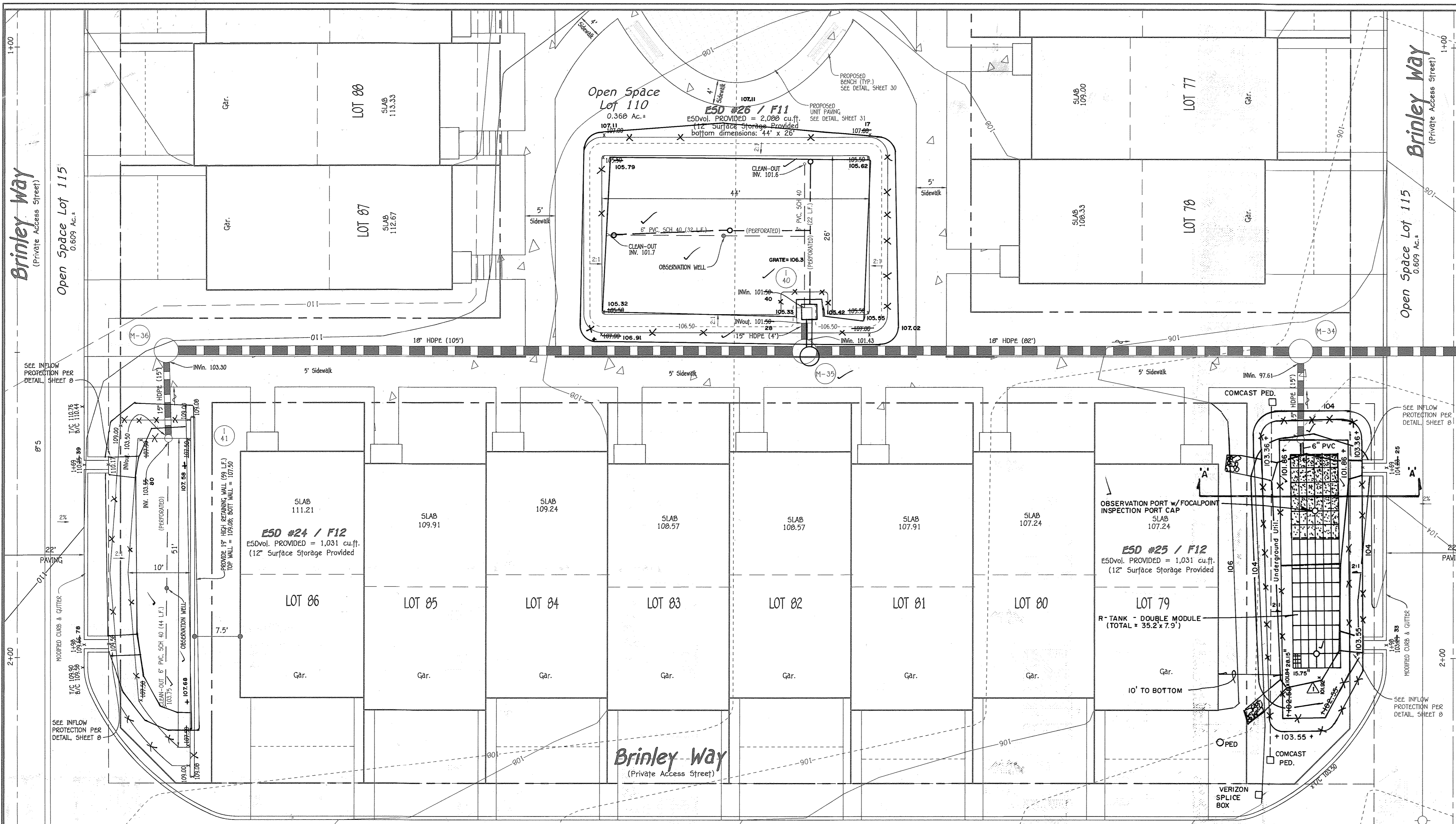
**STORMWATER MANAGEMENT
NOTES & DETAILS**

OXFORD SQUARE

"A Howard County Green Neighborhood"

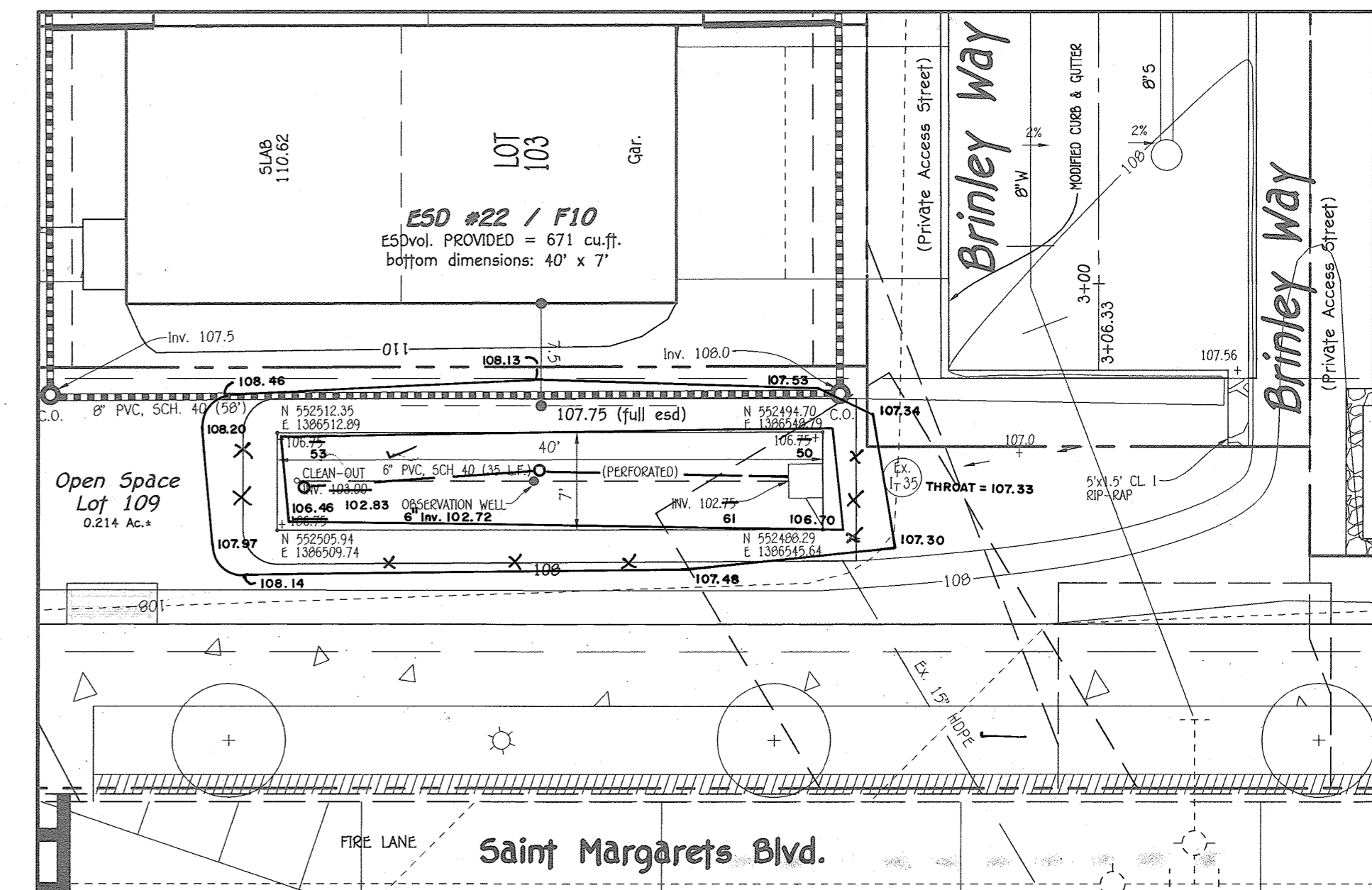
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plot Nos. 22855, Thru 22859.)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 11 of 38



**PROPOSED BIO-RETENTION (F-3)
ESD Nos. 24 THRU 26 PLAN VIEW**
SCALE: 1" = 10'

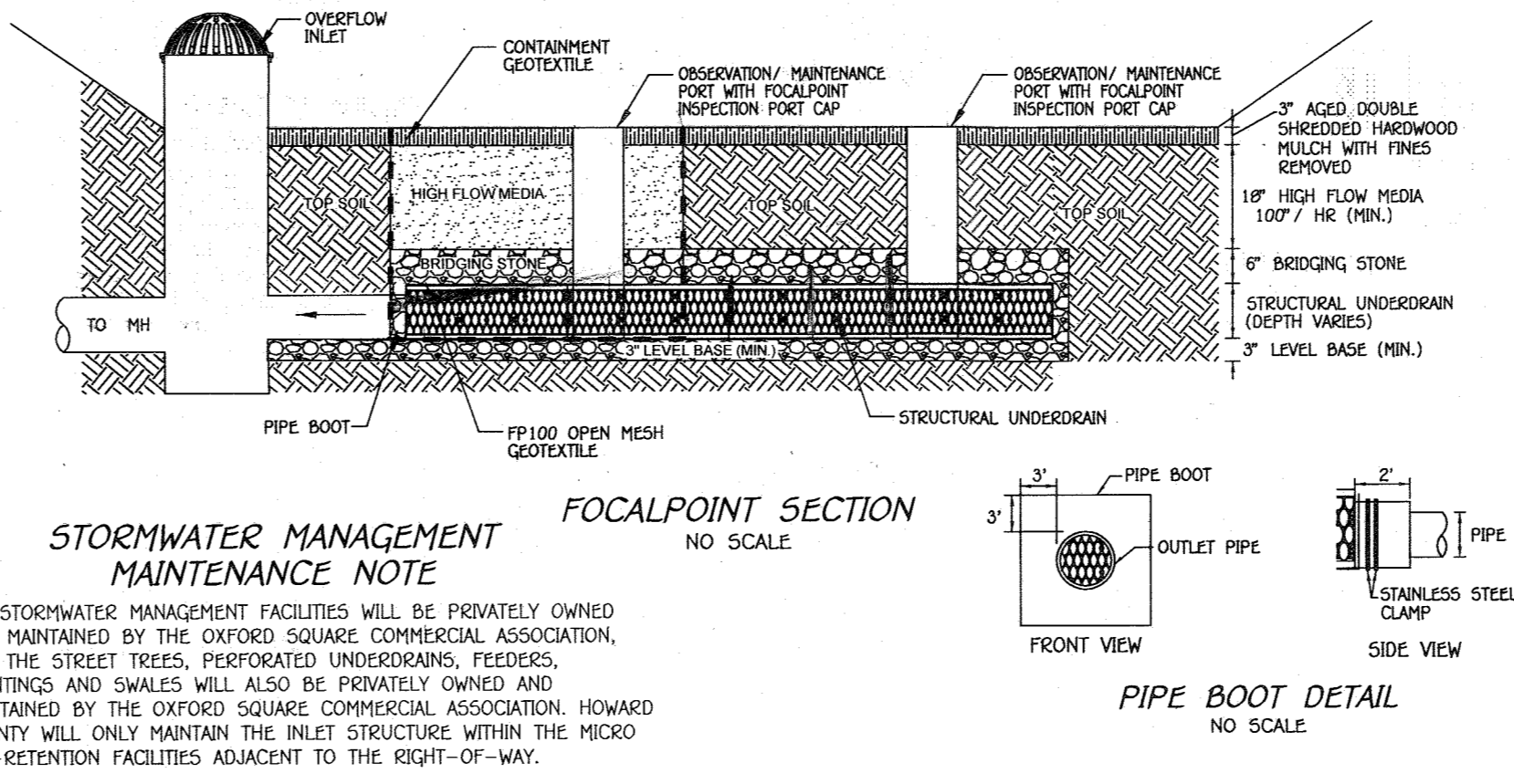
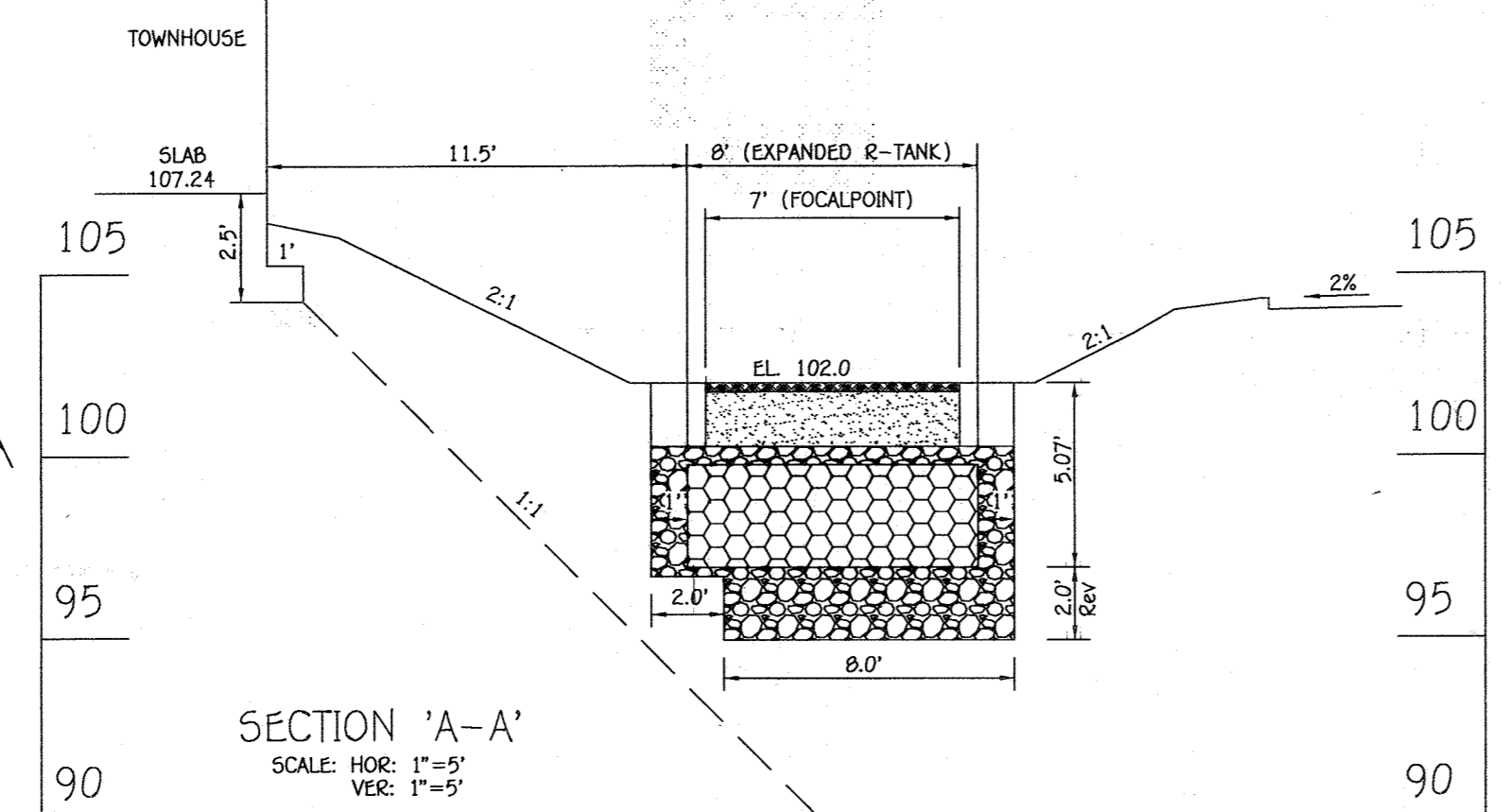
NOTE: THE F NUMBER (F34) IS THE SKETCH PLAN ESD NUMBER.



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD No. 22 PLAN VIEW**
SCALE: 1" = 10'

Maintenance Requirements for FocalPoint:

- Each correctly installed HPMS is to be maintained by the supplier for a minimum period of one year. The cost of the service is to be included in the supplier's price of the system.
- Annual maintenance consists of two (2) scheduled visits unless otherwise specified.
- Each maintenance visit consists of the following:
 - Complete system inspection
 - Removal of foreign debris, silt, plant material, trash and mulch (if needed)
 - Evaluation of biofiltration media
 - Calculation of plant health
 - Inspection of underdrain/storage system via Observation/Maintenance Port
 - Properly dispose of all maintenance refuse items (trash, mulch, etc.)
 - Take photographs documenting plant growth and general system health
 - Update and store maintenance records
- To ensure long term performance of the HPMS, continuing annual maintenance should be performed per the supplier's Operations and Maintenance Manual.
- If sediment accumulates beyond an acceptable level in the underdrain/storage system, it will be necessary to flush the underdrain. This can be done by pumping water into the Observation/Maintenance Port or adjacent overflow structure, allowing the turbulent flows through the underdrain to re-suspend the fine sediments. If multiple Observation/Maintenance Ports have been installed, water should be pumped into each port to maximize flushing efficiency. Sediment-laden water can be pumped out and either captured for disposal or filtered through a Dribbag filter bag, if permitted by the locality.



NO.	Revised ESD No. 25 To FocalPoint Design	DATE
1		2/9/18



AS-BUILT CERTIFICATION FOR PSWM
I hereby certify that the facility shown on the plan was constructed as shown on the "AS BUILT" plans and complies with the approved plans and specifications. I have verified that the contributing drainage area is sufficiently stable and free from clogging of the underdrain system.

John M. Lennar 7/24/18
Date

Owner/Builder
U.S. Home Corporation,
1218/A Lennar
c/o Joseph Fortino, Vice President
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston + Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kat Steiner 7/23/14
Chief, Division of Land Development Date

John Edler 6-25-14
Chief, Development Engineering Division Date

Rachel Cowles 7-23-14
Director - Department of Planning and Zoning Date

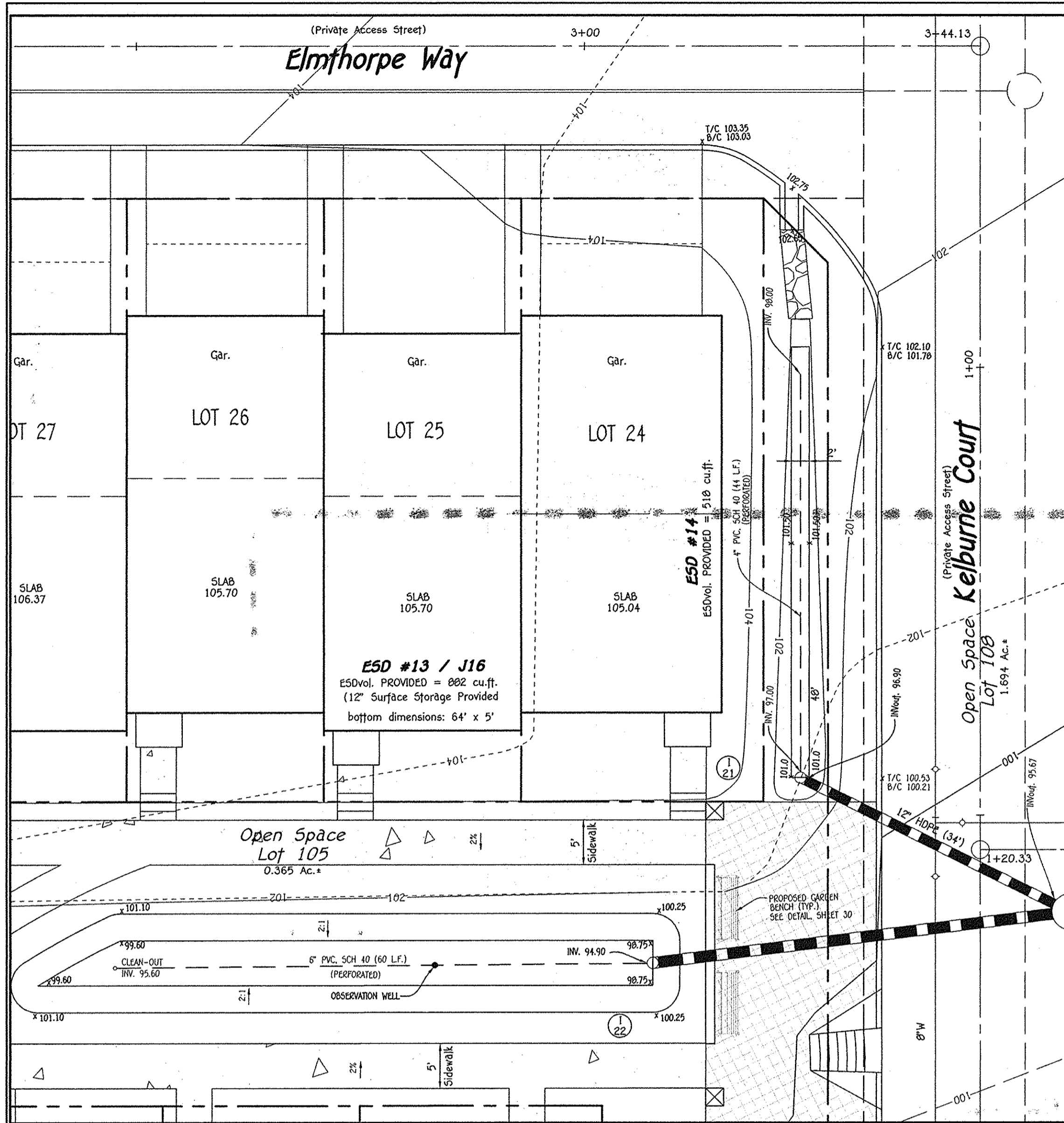
SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE		3 THRU 103

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22855-22858		TOD	3B	1st	601101

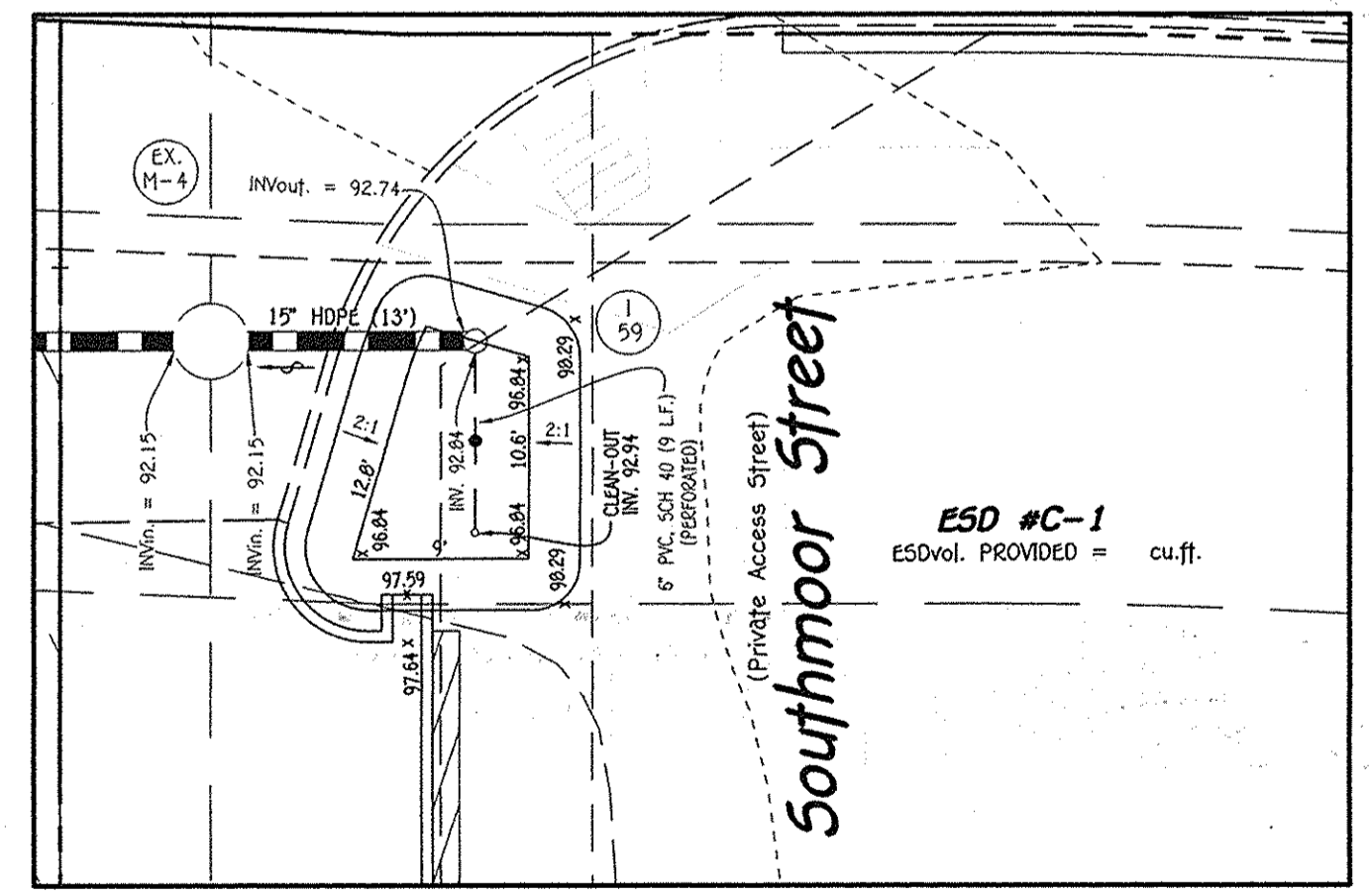
STORMWATER MANAGEMENT NOTES & DETAILS

OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22859.)
Zoned: TOD

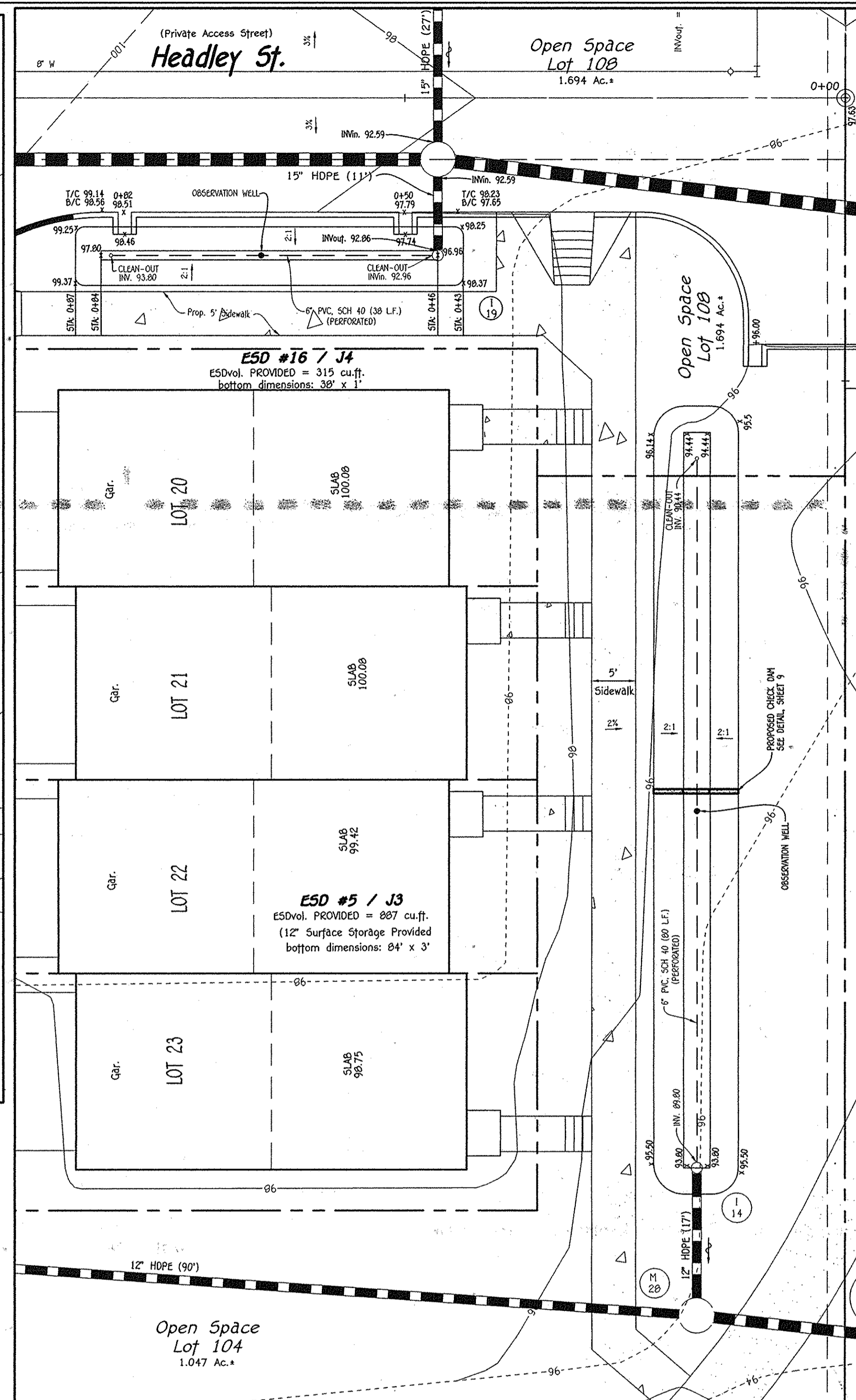
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 12 Of 38



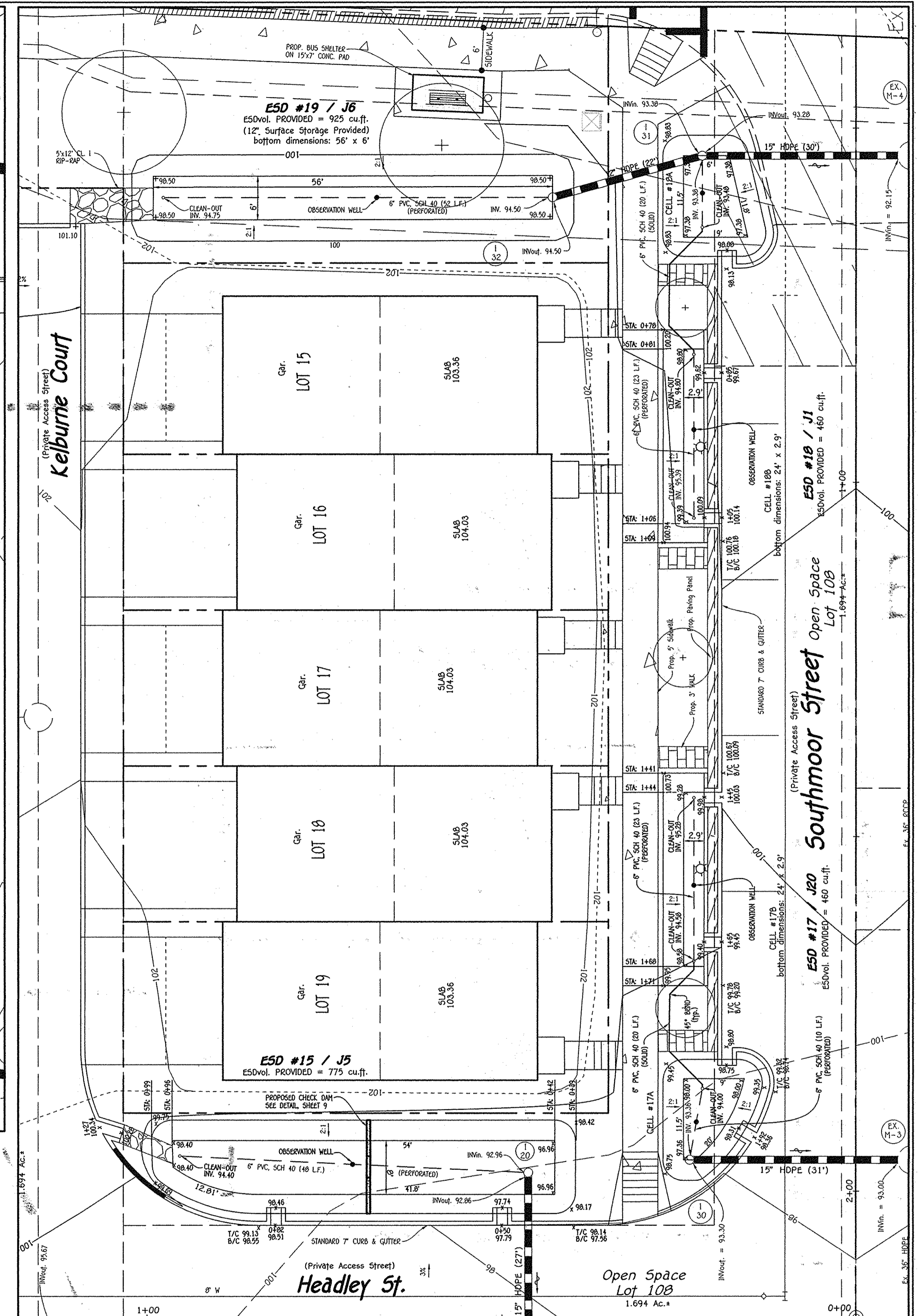
PROPOSED MICRO BIO-RETENTION (M-6) & BIO-SWALE (M-8) ESD Nos. 13 & 14 PLAN VIEW
SCALE: 1" = 10'



PROPOSED MICRO BIO-RETENTION (M-6) ESD No. C-1 PLAN VIEW
SCALE: 1" = 10'



PROPOSED MICRO BIO-RETENTION (M-6) ESD Nos. 5 & 16 PLAN VIEW
SCALE: 1" = 10'

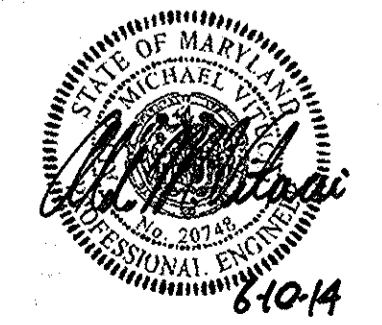


PROPOSED MICRO BIO-RETENTION (M-6) ESD Nos. 15, 17 THRU 19 PLAN VIEW
SCALE: 1" = 10'

STORMWATER MAINTENANCE NOTE
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NOTE: THE J NUMBER (J20) IS THE SKETCH PLAN ESD NUMBER.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
OXFORD SQUARE OFFICE: 10212 BALTIMORE NATIONAL PLACE, ELKLOTT CITY, MARYLAND 21042
(410) 461-2899



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar,
c/o Joseph Forjino, Vice President
10211 Winocoin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston • Scheffenaeker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Ketshulene
Chief, Division of Land Development
7/23/14
Date

David J. Jones
Chief, Development/Engineering Division
7-23-14
Date

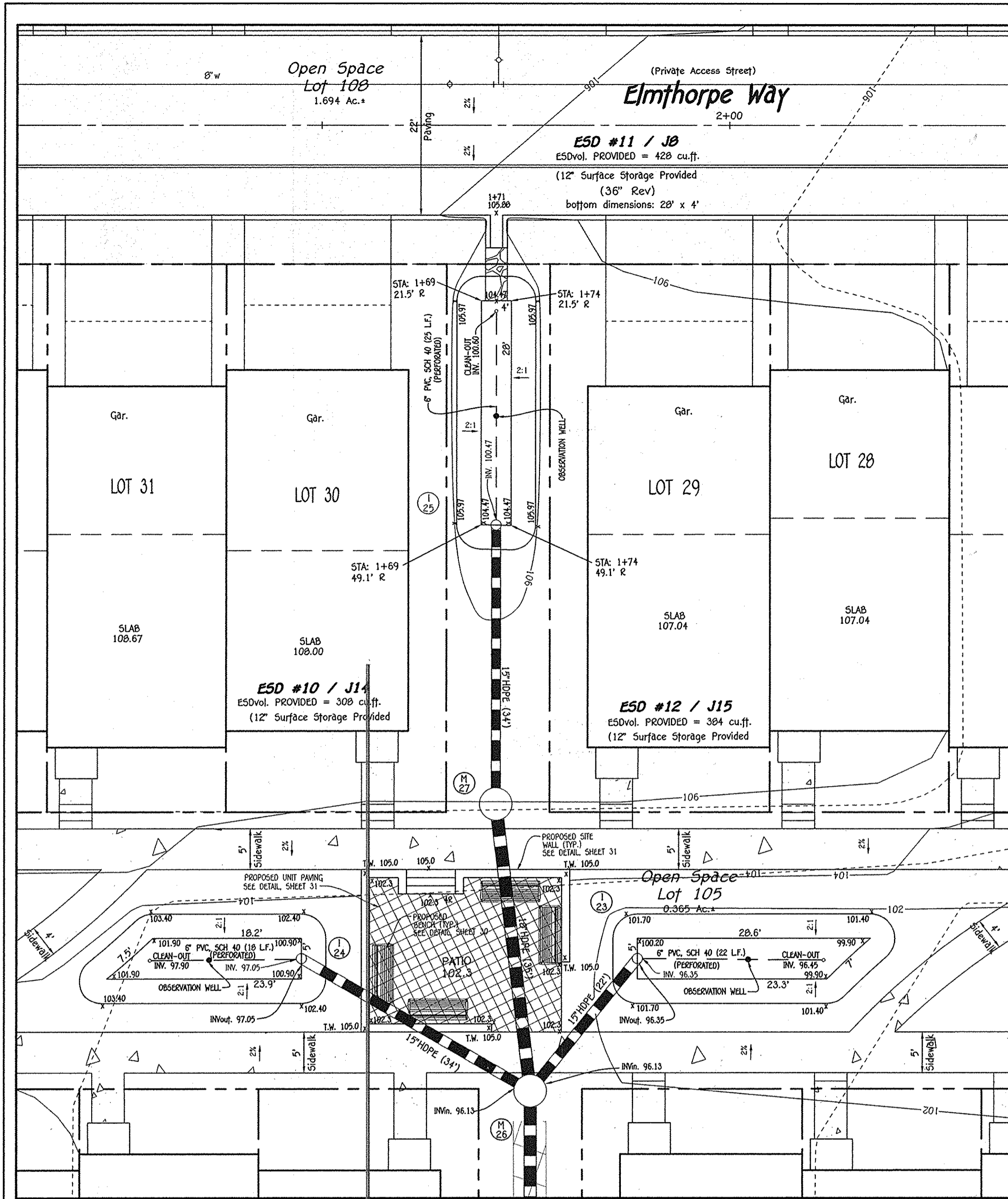
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	T00
TAX/ZONE	ELEC. DIST.	CENSUS TR.
3B	1st.	601101

STORMWATER MANAGEMENT NOTES & DETAILS

OXFORD SQUARE
"A Howard County Green Neighborhood"

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(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22895) Zone: T00

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: As Shown
Scale: As Shown
Date: June 6, 2014
Sheet 13 Of 38



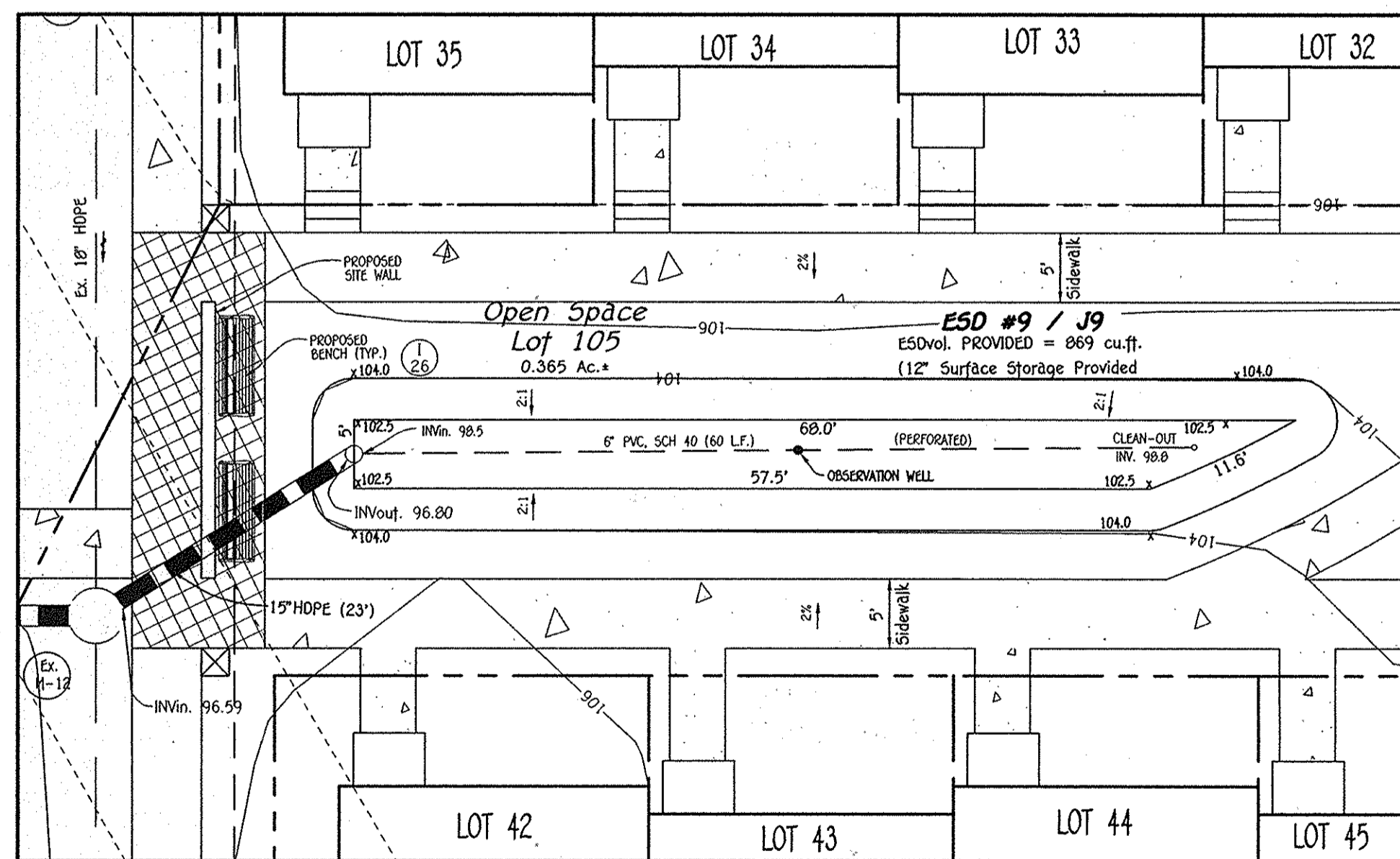
**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 10 THRU 12 PLAN VIEW**

SCALE: 1" = 10'

**STORMWATER MANAGEMENT
MAINTENANCE NOTE**

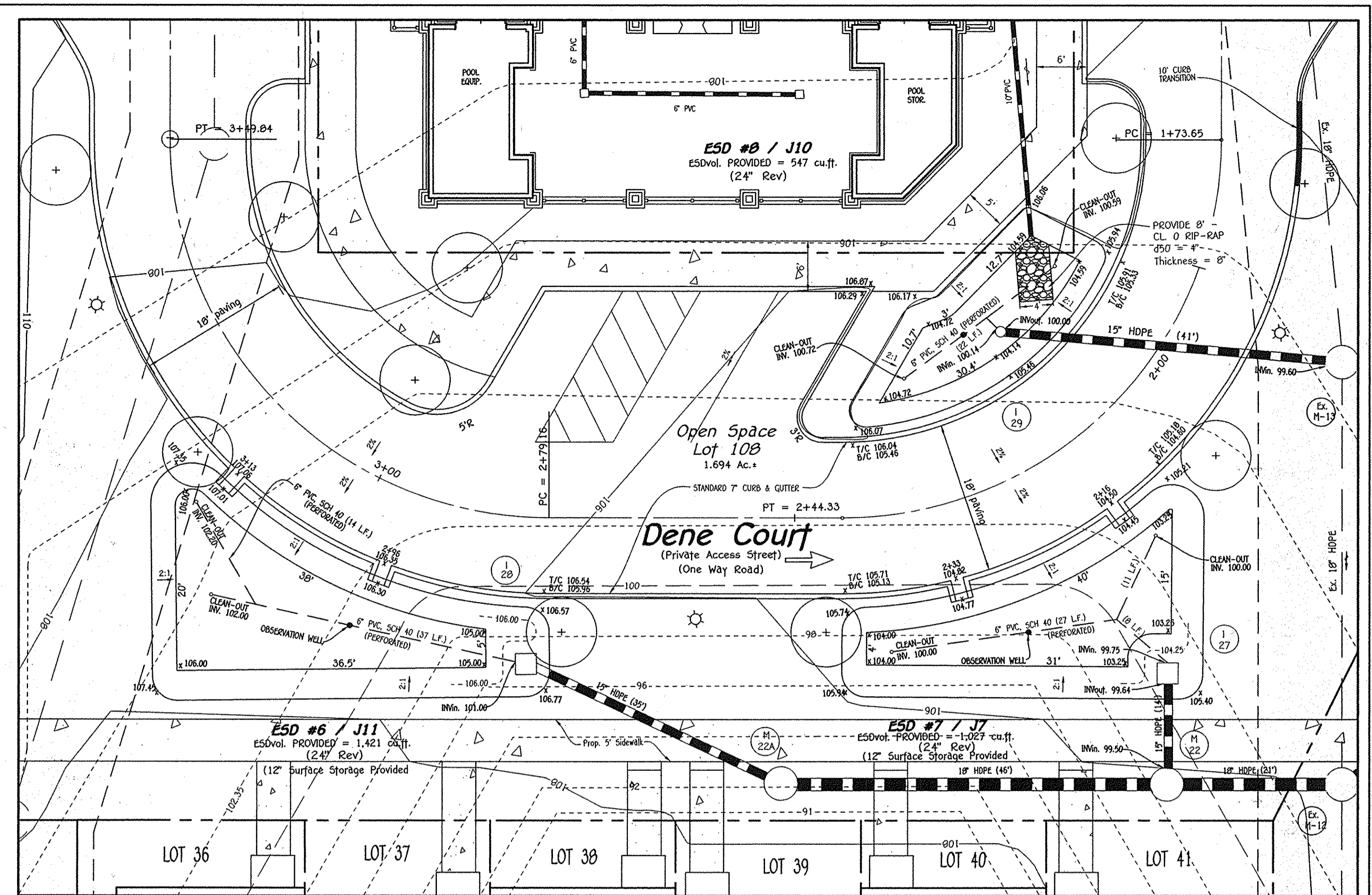
ALL STORMWATER MANAGEMENT FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION, INC. THE STREET TREES, PERFORATED UNDERDRAINS, FEEDERS, PLANTINGS AND SWALES WILL ALSO BE PRIVATELY OWNED AND MAINTAINED BY THE OXFORD SQUARE COMMERCIAL ASSOCIATION. HOWARD COUNTY WILL ONLY MAINTAIN THE INLET STRUCTURE WITHIN THE MICRO BIO-RETENTION FACILITIES ADJACENT TO THE RIGHT-OF-WAY.

NOTE: THE J NUMBER (J20) IS THE SKETCH PLAN ESD NUMBER.



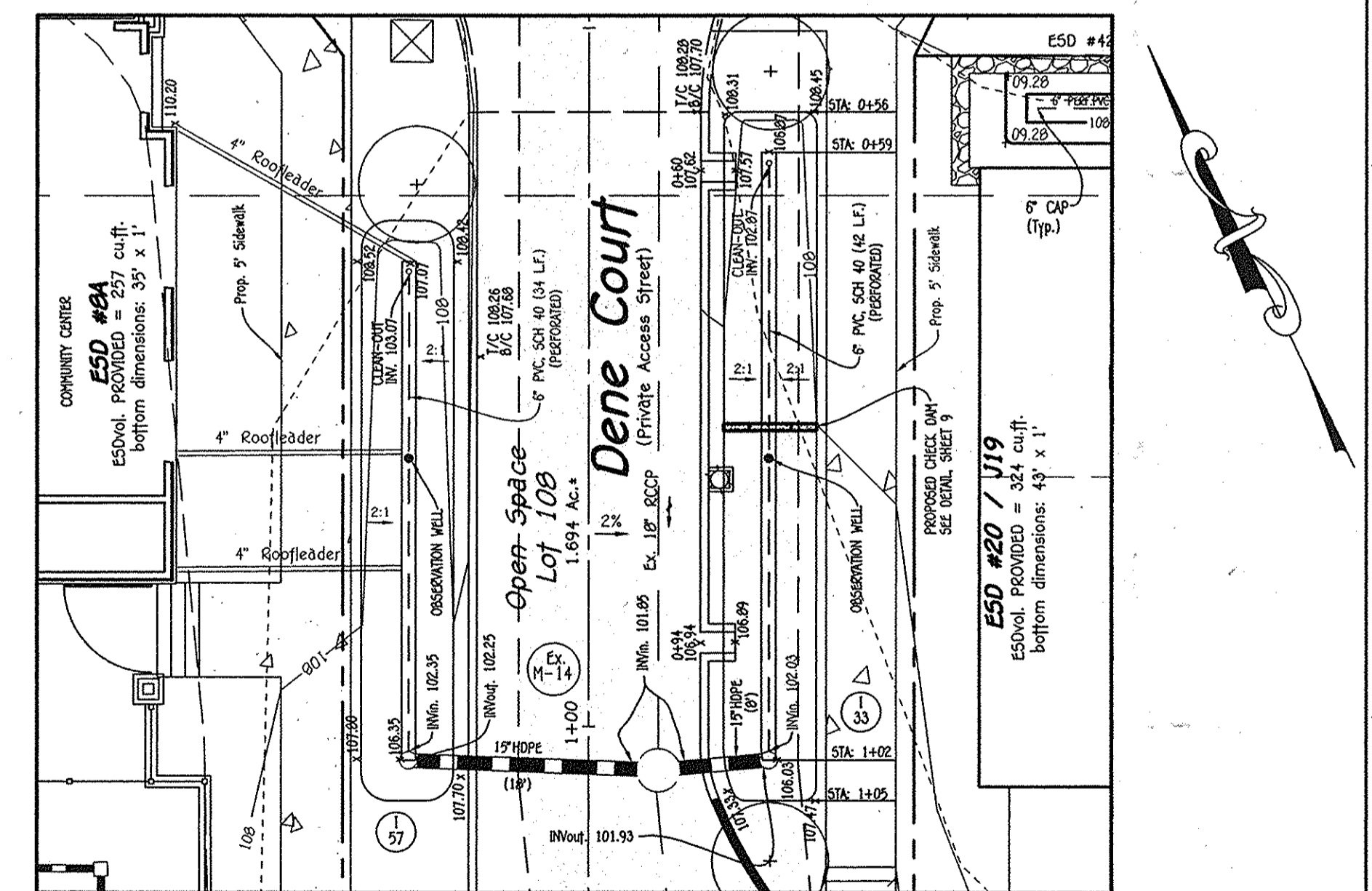
**PROPOSED MICRO BIO-RETENTION (M-6)
ESD No. 9 PLAN VIEW**

SCALE: 1" = 10'



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD No. 8 AND
PROPOSED BIO-RETENTION (F-3)
ESD Nos. 6 & 7 PLAN VIEW**

SCALE: 1" = 10'



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 19A & 20 PLAN VIEW**

SCALE: 1" = 10'

NO.	REVISION	DATE
1	REVISE COMMUNITY CENTER AND POOL AREA	10/3/14



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
OXFORD SQUARE OFFICE: 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2995

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winnopin Circle
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Ph: 410-423-0460

Developer
Preston + Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kurt Schaefer
Chief, Division of Land Development
Date: 2-3-15

John ...
Chief, Development Engineering Division
Date: 1-22-15

Mark ...
Director - Department of Planning and Zoning
Date: 2/3/15

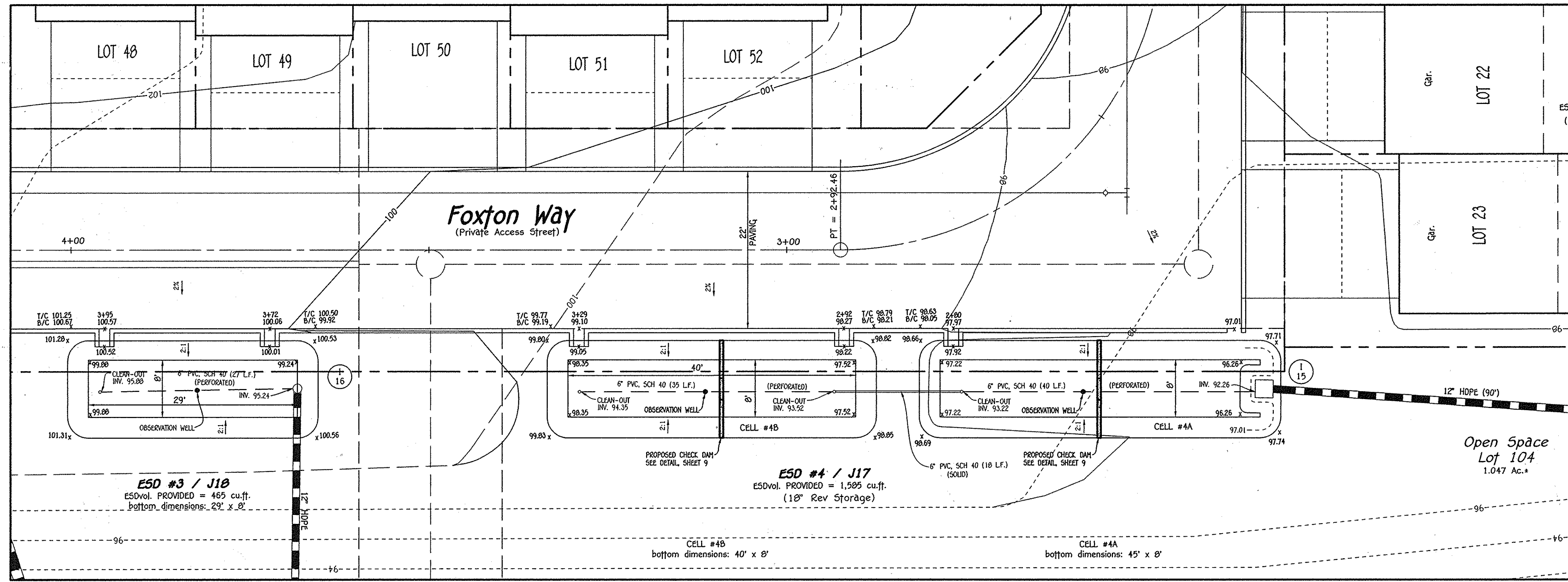
SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
3B	1st.	601101

**REVISED
STORMWATER MANAGEMENT NOTES & DETAILS**

OXFORD SQUARE

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Among The Land Records Of Howard County, Maryland As Plat Nos. 22896 Thru 22899)
Zoned: TOD

Tax Map No.: 3B
First Election District: As Shown
Grid No.: 20
Parcel No.: 761
Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 14 Of 38

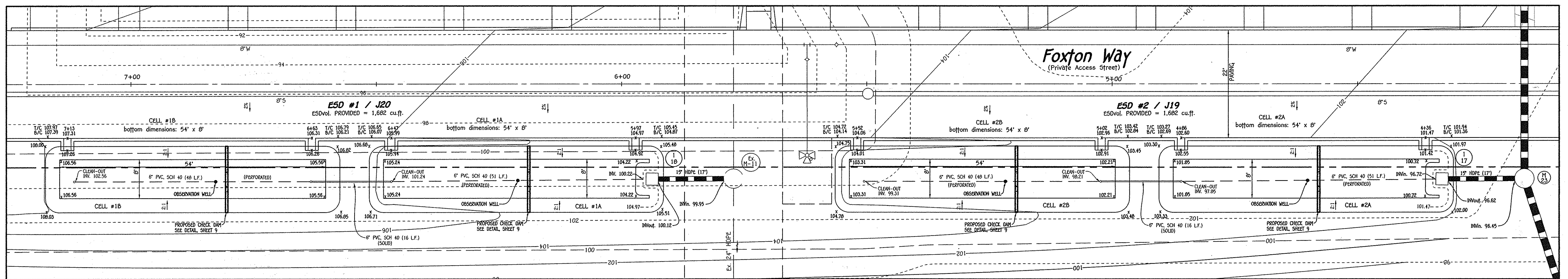


**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 3 & 4 PLAN VIEW**
SCALE: 1" = 10'

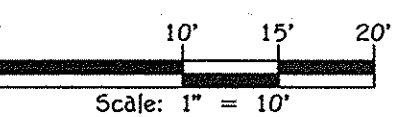
**STORMWATER MANAGEMENT
MAINTENANCE NOTE**

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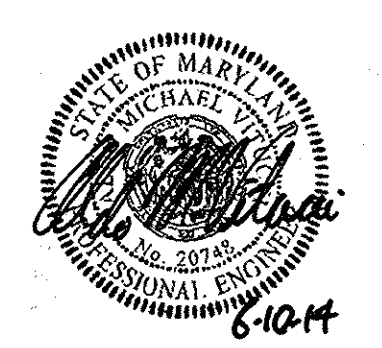
NOTE: THE J NUMBER (J20) IS THE SKETCH PLAN ESD NUMBER.



**PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 1 & 2 PLAN VIEW**
SCALE: 1" = 10'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10212 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899



Owner/Builder
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D/B/A Lennar
c/o Joseph Fortino, Vice President
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffenacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Redmond
Chief, Division of Land Development
Date: 7/23/14

John J. Govey
Chief, Development Engineering Division
Date: 6-25-14

John J. Govey
Director - Department of Planning and Zoning
Date: 7-23-14

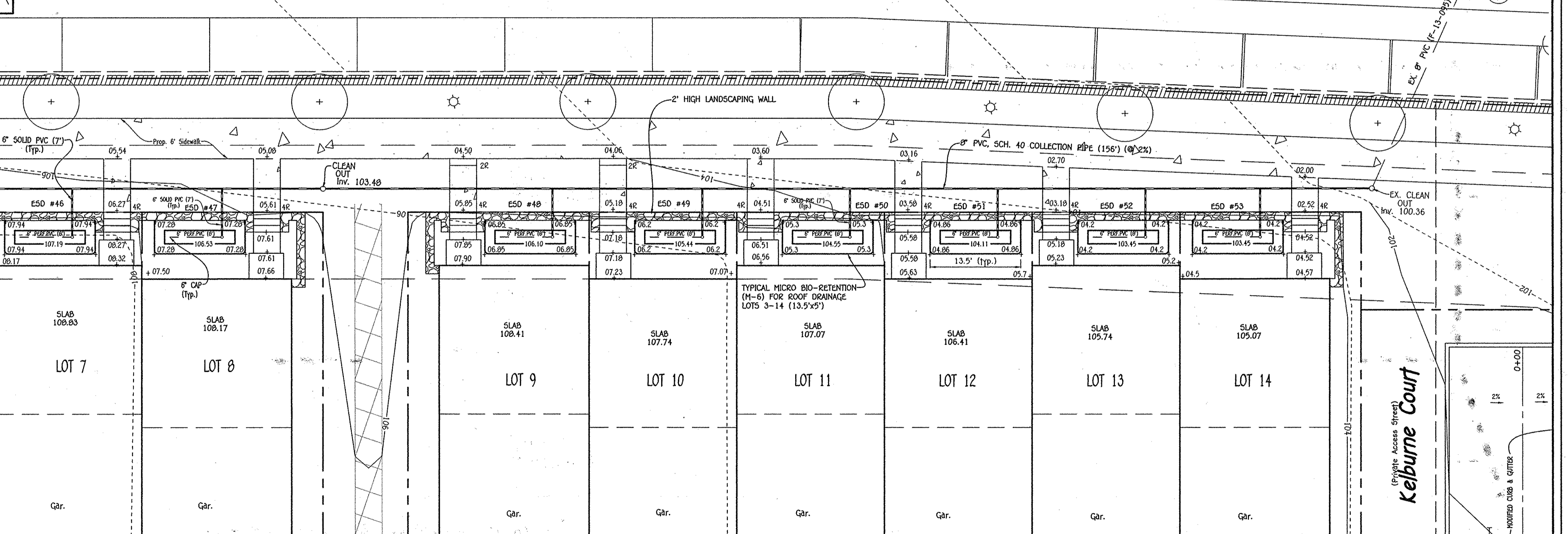
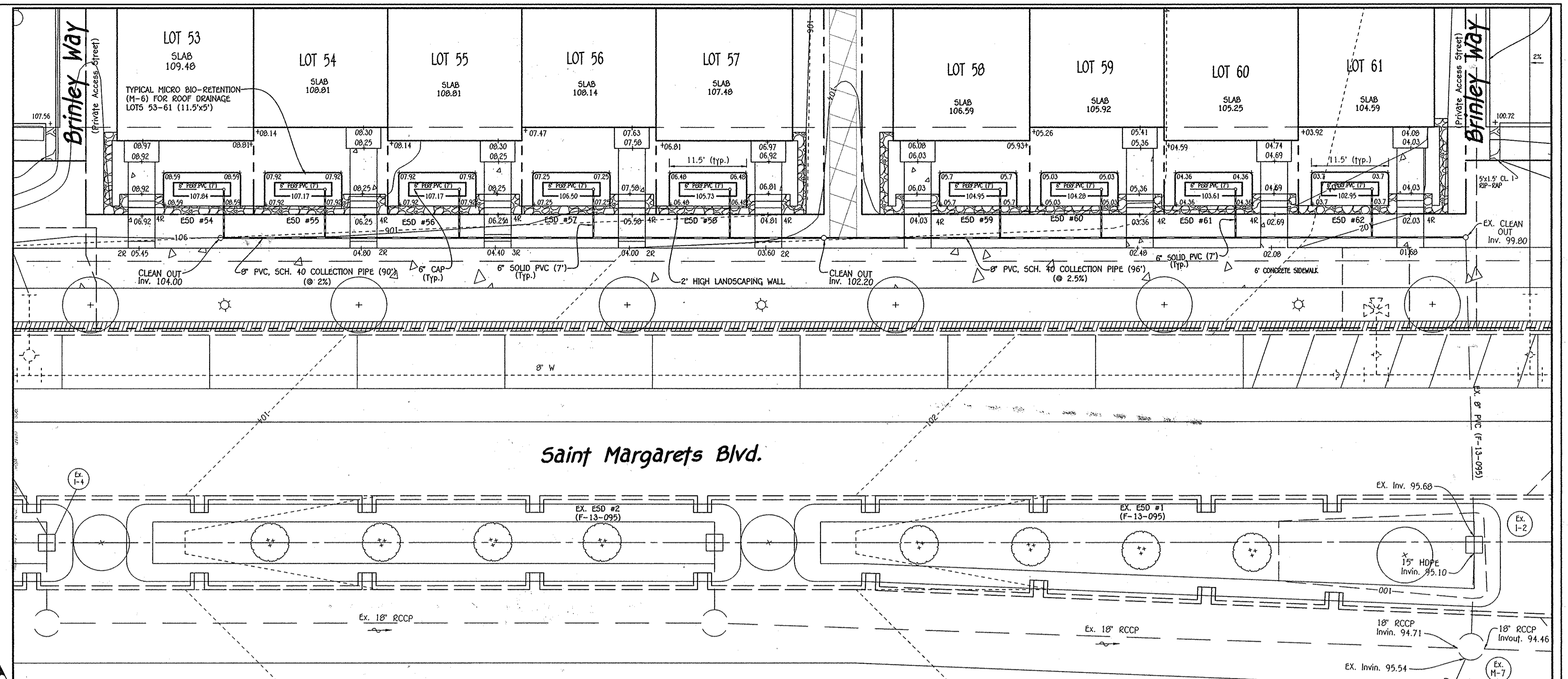
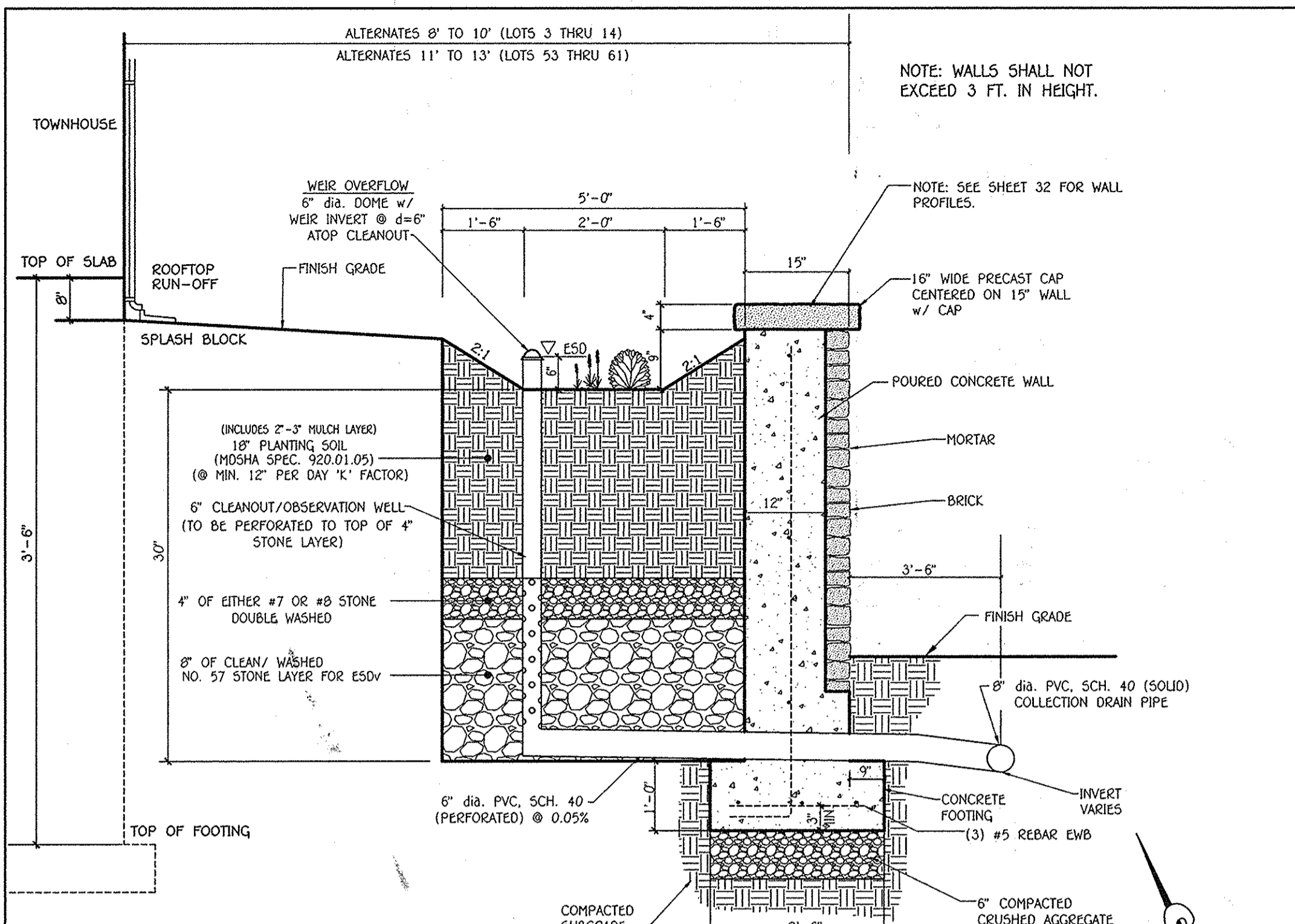
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	LOT NOS.
22895-22898	---	TOD	3B	1st.	3 THRU 103

**STORMWATER MANAGEMENT
NOTES & DETAILS**

OXFORD SQUARE
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22855 Thru 22899)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: As Shown
Scale: As Shown
Date: June 6, 2014
Sheet 15 Of 3B



Supplemental ESD to Ex. ESD #1 & #2 on F-13-095
PROPOSED MICRO BIO-RETENTION (M-6)
ESD Nos. 42 THRU 62 PLAN VIEW
 SCALE: 1" = 10'

NOTE:
 SEE SHEET 32 FOR 2' HIGH LANDSCAPING WALL PROFILES

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10222 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21044
 (410) 461-2995

Professional Engineer Seal for Michael J. Fisher, License No. 20196, State of Maryland, dated 6-10-14.

NO.	REVISION	DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: *Kathleen Egan*, Date: 7/23/14

Chief, Development Engineering Division: *John Egan*, Date: 6-25-14

Director - Department of Planning and Zoning: *Quynh T. T. T. T. T.*, Date: 7-23-14

Owner/Builder: U.S. Home Corporation, D/B/A Lennar, c/o Joseph Fortino, Vice President, 10211 Winocoin Circle, Suite 500, Columbia, Maryland 21044, Ph# 410-423-0460

Developer: Preston - Scheffner Properties, 2330 West Joppa Road, Suite 160, Lutherville, Maryland 21093-4614, Ph# 410-296-3800

SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

STORMWATER MANAGEMENT NOTES & DETAILS

OXFORD SQUARE

"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'

(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22859.)

Zone: TOD

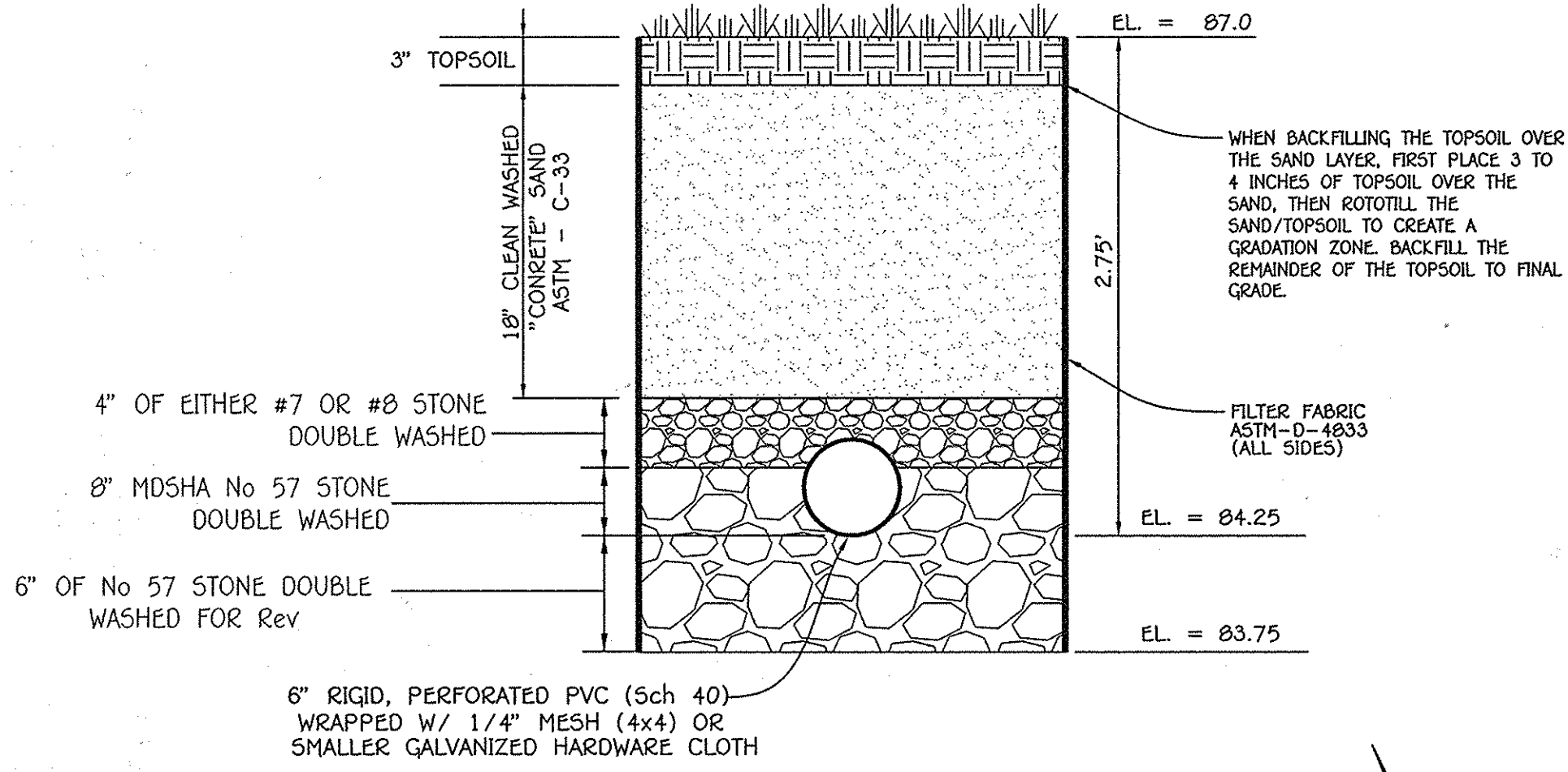
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 16 Of 38

SDP-13-068

I:\2009\09014\dwg\SDP (Lennar)\09014 Sheet 10-17 swm plans.dwg, swm sheet 16, 6/9/2014 1:45:36 PM, 11

Sand Filter Specifications

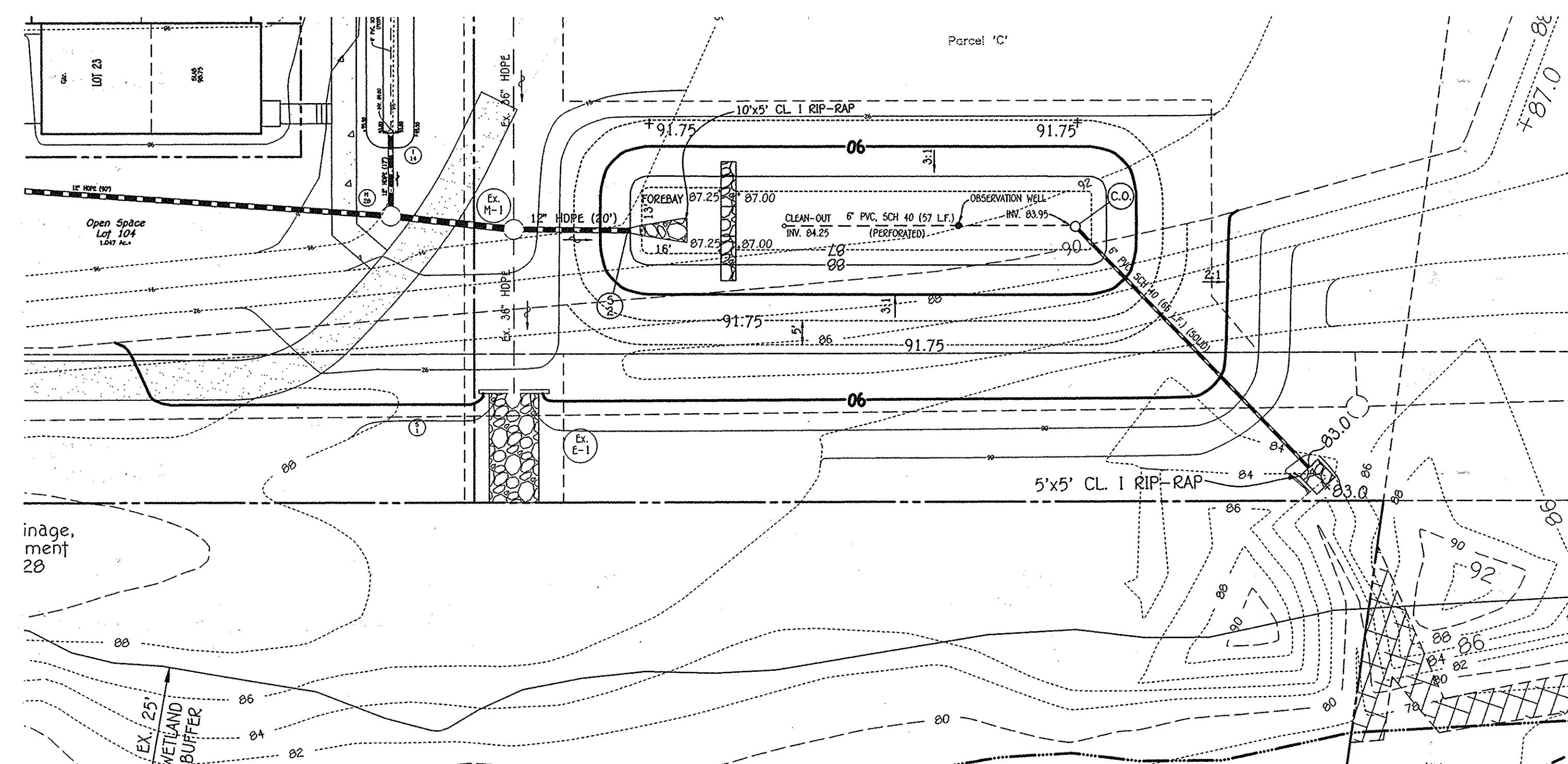
- Material Specifications for Sand Filters
The allowable materials for sand filter construction are detailed in Table B.3.1.
- Sand Filter Testing Specifications
Underground sand filters, facilities within sensitive groundwater aquifers, and filters designed to serve urban hot spots are to be tested for water tightness prior to placement of filter media. Entrances and exits should be plugged and the system completely filled with water to demonstrate water tightness. Water tightness means no leakage for a period of 8 hours.
All overflow weirs, multiple orifices and flow distribution slots are to be field-tested to verify adequate distribution of flows.
- Sand Filter Construction Specifications
Provide sufficient maintenance access (i.e., 12-foot-wide road with legally recorded easement). Vegetated access slopes are to be a maximum of 10%; gravel slopes to 15%; paved slopes to 25%.
Absolutely no runoff is to enter the filter until all contributing drainage areas have been stabilized. Surface of filter bed is to be level.
All underground sand filters should be clearly delineated with signs so that they may be located when maintenance is due.
Surface sand filters may be planted with appropriate grasses; see MAA Approved Species List.
"Pocket" sandfilters (and residential bio-retention facilities treating areas larger than an acre) shall be sized with a "window" that covers approximately 10% of the filter area. This "window" shall be filled pea gravel (3/4 inch stone).



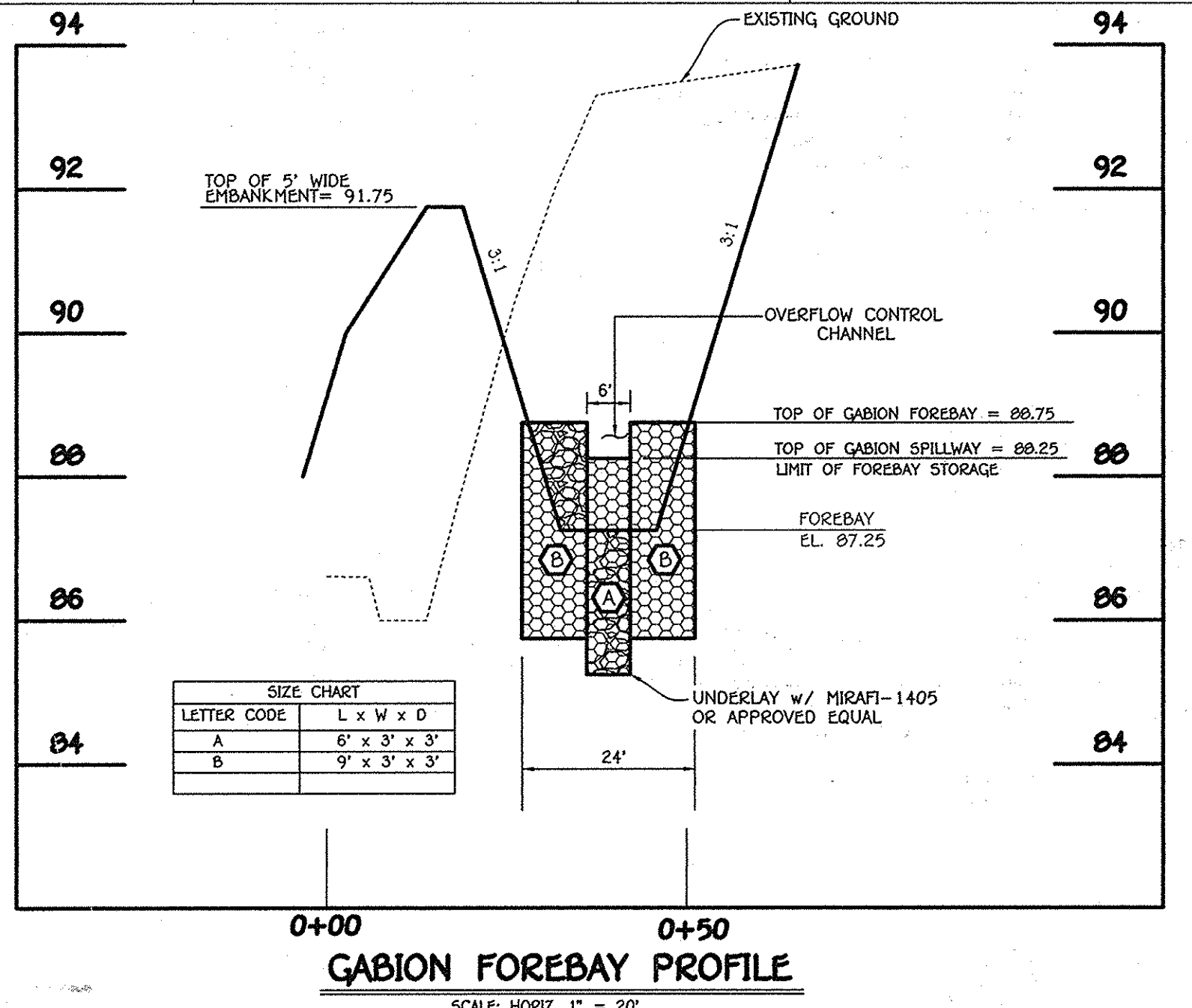
TYPICAL SECTION - SURFACE SAND FILTER

Table B.3.1 Material Specifications for Sand filters

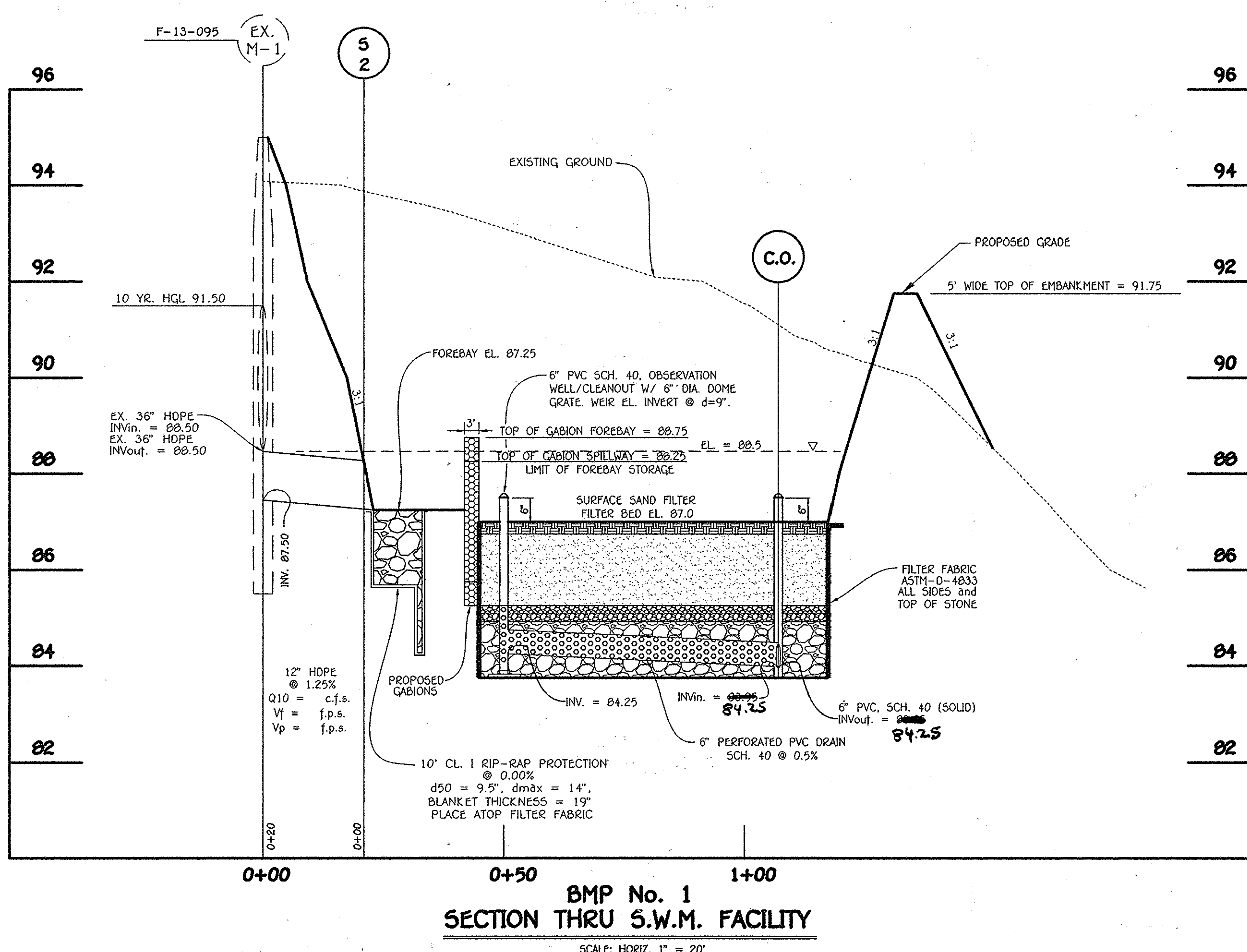
Material	Specifications/Test Method	Size	Notes
sand	clean AASHTO-M-6 of ASTM-C-concrete sand	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone #10 are note acceptable. No calcium carbonate or dolomitic sand substitutions are: acceptable. No "rock dust" can be used for sand.
peat	ash content: < 15% pH range: 5.2 to 4.9 loose bulk density 0.12 to 0.15 g/cc	N/A	The material must be reed-sedge hemic peat, shredded, uncompacted, uniform, and clean.
leaf compost		N/A	
underdrain gravel	AASHTO-M-43	0.375" to 0.75"	
geotextile fabric (if required)	ASTM-D-4833 (puncture strength lb.) ASTM-D-4632 (Tensile Strength lb.)	0.08" thick, equivalent opening size of #80 sieve	Must maintain 125 gpm per sq. ft. flow rate. Note: a 4" pea gravel layer may be substituted for geotextiles meant to "separate" sand filter layers.
impermeable liner (if required)	ASTM-D-4833 (thickness) ASTM-D-412 (tensile strength 1,100 lb., elongation 200%) ASTM-D-624 (Tear resistance - 150 lb./in.) ASTM-D-471 (water adsorption: +8 to -2% mass)	30 mil thickness	Liner to be ultraviolet resistant. A geotextile fabric should be used to protect the liner from puncture.
underdrain piping	F 750, Type PS 28 or AASHTO-M-278	4" - 6" rigid schedule 40 PVC or SDR35	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes
concrete (cast-in-place)	MSHA Standards and Specs. Section 902, Mix No. 3, f'c = 3500 psi, normal weight, air-entrained; reinforcing to meet ASTM-615-60	N/A	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or precast) not using previously approved 5/8" or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland
concrete (pre-cast)	per pre-cast manufacturer	N/A	SEE ABOVE NOTE
non-rebar steel	ASTM A-36	N/A	structural steel to be hot-dipped galvanized ASTM-A-123



PROPOSED SURFACE SAND FILTER (OFF-LINE DESIGN) BMP No. 1 PLAN VIEW
SCALE: 1" = 20'



GABION FOREBAY PROFILE
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'



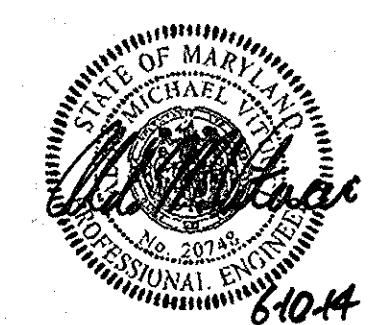
SECTION THRU S.W.M. FACILITY
SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

(TYPE F-1 SURFACE SAND FILTER) OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED SURFACE STORMWATER FILTRATION SYSTEMS

- THE STORMWATER WETLAND FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHALL BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
- THE TOP AND SIDE SLOPES OF THE EMBANKMENT SHALL BE MOWED A MINIMUM OF ONCE PER YEAR, WHEN VEGETATION REACHES 18" IN HEIGHT OR AS NEEDED.
- FILTERS THAT HAVE A GRASS COVER SHALL BE MOWED A MINIMUM OF THREE (3) TIMES PER GROWING SEASON TO MAINTAIN A MAXIMUM GRASS HEIGHT OF LESS THAN 12 INCHES.
- DEBRIS AND LITTER SHALL BE REMOVED DURING REGULAR MOWING OPERATIONS AND AS NEEDED.
- VISIBLE SIGNS OF EROSION IN THE FACILITY SHALL BE REPAIRED AS SOON AS IT IS NOTICED.
- REMOVE SILT WHEN IT EXCEEDS FOUR (4) INCHES DEEP IN THE FOREBAY.
- FILTER MATERIAL MUST BE REPLACED WHEN WATER REMAINS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 24 HOURS FOLLOWING A 1 OR 2 YEAR STORM EVENT OR MORE THAN 48 HOURS AFTER A 10 YEAR STORM EVENT.
- A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
- THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION SYSTEM HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

NO.	REVISION	DATE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10072 BALTIMORE NATIONAL PLACE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Minocogin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kurt G. ...
Chief, Division of Land Development
Date: 7/23/14

...
Chief, Development Engineering Division
Date: 6/25/14

...
Director - Department of Planning and Zoning
Date: 7-23-14

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

STORMWATER MANAGEMENT NOTES & DETAILS
(BMP No. 1 - SURFACE SAND FILTER)

OXFORD SQUARE
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat", Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22859.)
Zone: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 17 Of 38

SEDIMENT CONTROL LEGEND

- SSF—SSF—SSF— SUPER-SILT FENCE
- SF—SF—SF— SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE w/ MOUNTABLE BERM
- TYPE A-2 EARTH DIKE
- — — — — LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- R.P.S. REMOVEABLE PUMPING STATION
- F.B. FILTER BAG

NOTE: SEE SHEET 34 FOR TYPICAL BIO-RETENTION CELL DURING INITIAL CONSTRUCTION PHASE DETAIL.

EXISTING TEMPORARY SEDIMENT BASIN No. 4 (F-12-026) AS MODIFIED UNDER F-13-095

FINAL D.A. = 5.70 Ac.
 STORAGE REQUIRED
 WET = 1800 x 5.70 = 10260 CUFT.
 DRY = 1800 x 5.70 = 10260 CUFT.
 STORAGE PROVIDED
 WET = 10260 CUFT. @ ELEV. 93.79
 DRY = 20520 CUFT. @ ELEV. 95.85
 BOTTOM ELEV. = 91.00
 STORAGE DEPTH = 9.40'
 TOP OF EMBANKMENT (6' wide) = 102.35 CONSTRUCTED
 CLEAN OUT ELEV. = 92.60
 RISER CREST ELEV. = 96.50
 1 YR. ORIFICE INV. = 93.60
 Q1 exist. = 1.5 c.f.s.
 Q1 prop. = 0.80 c.f.s. @ EL. = 97.25

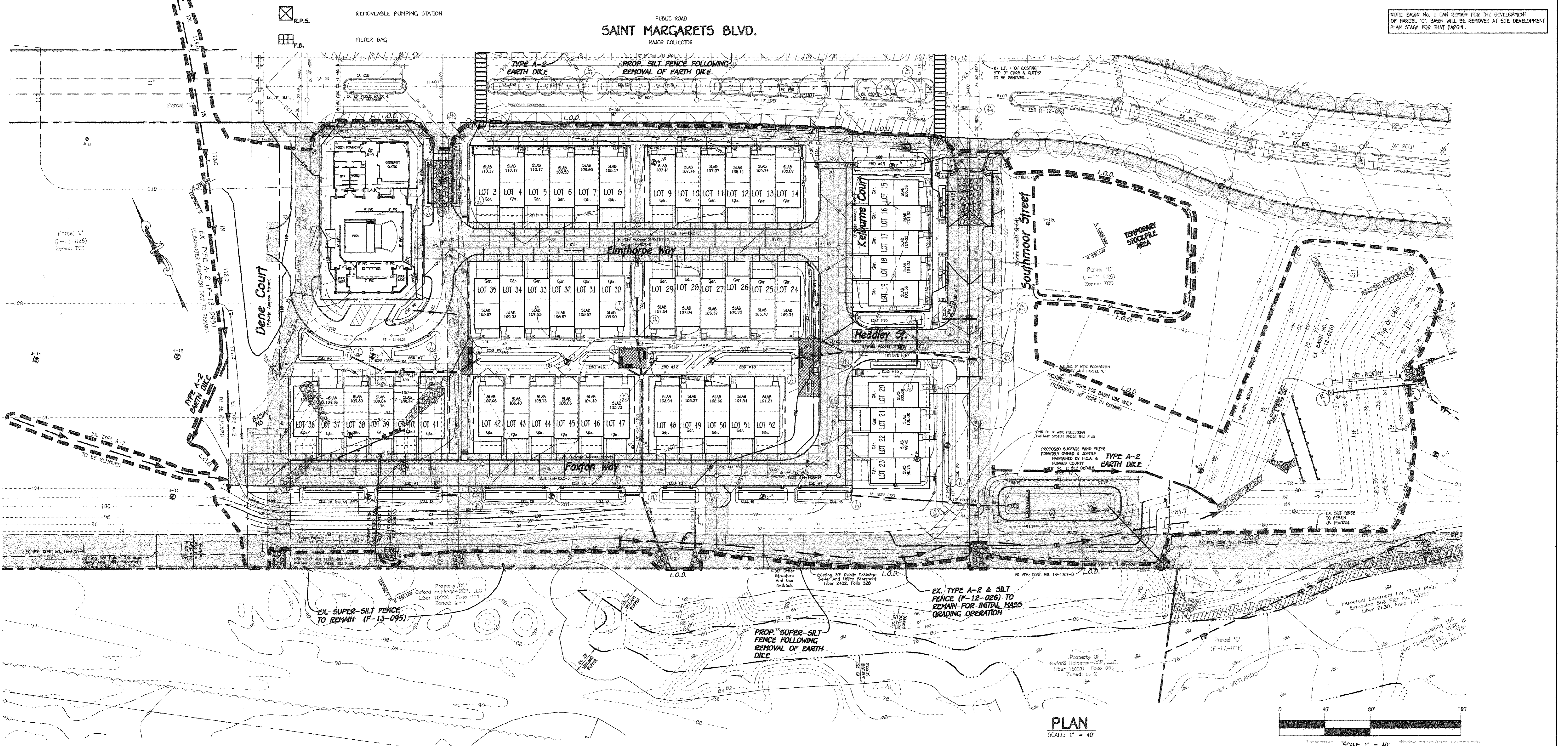
CONTRACTOR NOTES:

- CONTRACTOR SHALL PUMP THE SEDIMENT TRAPS/ BASINS COMPLETELY DRY THROUGH A FILTERING DEVICE TO A CLEAN WATER OUTFALL WITHIN 24 HOURS FOLLOWING ANY RAINFALL EVENT.
- CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, STREAMS, WETLANDS & THEIR BUFFERS.

EXISTING TEMPORARY SEDIMENT BASIN No. 1 (F-12-026)

INITIAL D.A. = 10.00 Ac.
 FINAL D.A. = 10.00 Ac.
 STORAGE REQUIRED
 WET = 1800 x 10.00 = 18000 CUFT.
 DRY = 1800 x 10.00 = 18000 CUFT.
 STORAGE PROVIDED
 WET = 18954 CUFT. @ ELEV. 79.28
 DRY = 37908 CUFT. @ ELEV. 81.00
 BOTTOM ELEV. = 77.00
 STORAGE DEPTH = 9.0'
 TOP OF EMBANKMENT (7' wide) = 86.85 CONSTRUCTED
 CLEAN OUT ELEV. = 78.20
 RISER CREST ELEV. = 82.50
 1 YR. ORIFICE INV. = 79.30
 Q1 exist. = 6.3 c.f.s.
 Q1 prop. = 5.5 c.f.s. @ EL. = 81.45

NOTE: BASIN No. 1 CAN REMAIN FOR THE DEVELOPMENT OF PARCEL 'C'. BASIN WILL BE REMOVED AT SITE DEVELOPMENT PLAN STAGE FOR THAT PARCEL.

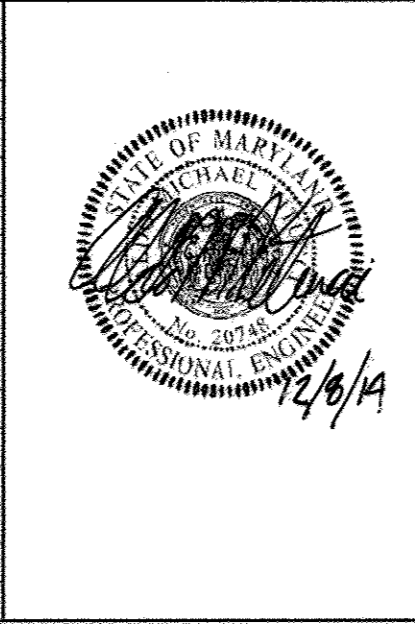


PLAN
SCALE: 1" = 40'

SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 GAITHERSBURG, MARYLAND 20878
 (410) 481-2855

NO.	REVISION	DATE
1	ADD DECK DETAIL & WAIVER APPROVAL NOTES	4/26/16
2	REVISE COMMUNITY CENTER AND POOL AREA	10/3/14



ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer (print name below signature) *David M. Vancu* 12/8/14 Date

DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer (print name below signature) *David M. Schaff* 12/9/14 Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature of District Director *John R. Robinson* 1/6/15 Date

Owner/Builder
 U.S. Home Corporation,
 c/o Joseph Fortino, Vice President
 Suite 300
 Columbia, Maryland 21044
 Ph: 410-296-0460

Developer
 Preston - Scheffnacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature of Chief, Division of Land Development *K. D. ...* 2-3-15 Date

Signature of Chief, Development Engineering Division *...* 1-22-15 Date

Signature of Director - Department of Planning and Zoning *...* 2/10/15 Date

SUBDIVISION	OXFORD SQUARE	SECTION/AREA	---	LOT Nos.	3 THRU 103
PLAT NO.	22895-22898	BLOCK NO.	---	ZONE	TOD
TAX/ZONE	38	ELEC. DIST.	1st.	CENSUS TR.	601101

REVISED
SEDIMENT AND EROSION CONTROL PLAN
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22859) Zoned: TOD

Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 18 Of 38

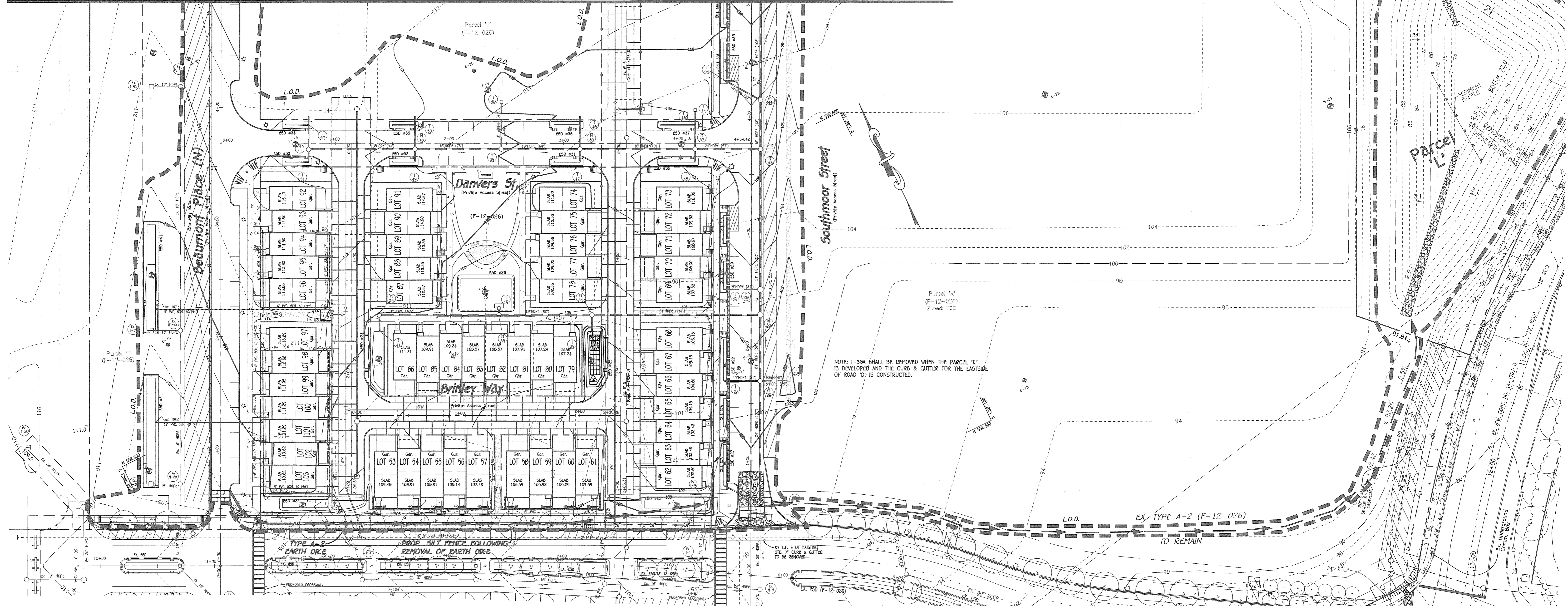
SEDIMENT CONTROL LEGEND

- SSF — SSF — SSF — SUPER-SILT FENCE
- SF — SF — SF — SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE w/ MOUNTABLE BERM
- TYPE A-2** → EARTH DIKE
- L.O.D. --- LIMIT OF DISTURBANCE
- EROSION CONTROL MATTING
- REMOVEABLE PUMPING STATION
- FILTER BAG

EXISTING TEMPORARY SEDIMENT BASIN No. 2 (F-12-026)
 INITIAL D.A. = 13.45 Ac.
 FINAL D.A. = 13.45 Ac.
 STORAGE REQUIRED
 WET = 1,800 x 13.45 = 24,210 CuFt.
 DRY = 1,800 x 13.45 = 24,210 CuFt.
 STORAGE PROVIDED
 WET = 24,210 CuFt. @ ELEV. 80.60
 DRY = 48,420 CuFt. @ ELEV. 83.90
 STORAGE DEPTH = 17.25'
 TOP OF EMBANKMENT (8' wide) = 91.64 CONSTRUCTED
 CLEAN OUT ELEV. = 77.60
 RISER CREST ELEV. = 85.50
 1 YR. ORIFICE INV. = 82.60
 Q1 exist. = 12.7 c.f.s.
 Q1 prop. = 3.8 c.f.s. @ EL. = 83.70

CONTRACTOR NOTES:
 1. CONTRACTOR SHALL PUMP THE SEDIMENT TRAPS/BASINS COMPLETELY DRY THROUGH A FILTERING DEVICE TO A CLEAN WATER OUTFALL WITHIN 24 HOURS FOLLOWING ANY RAINFALL EVENT.
 2. CONTRACTOR SHALL REMOVE ANY AND ALL JUNK, DEBRIS AND TRASH FROM WITHIN THE FLOODPLAIN, STREAMS, WETLANDS & THEIR BUFFERS.

MATCH LINE SEE SHEET 20



NOTE: 1-30A SHALL BE REMOVED WHEN THE PARCEL 'K' IS DEVELOPED AND THE CURB & GUTTER FOR THE EASTSIDE OF ROAD 'D' IS CONSTRUCTED.

AS-BUILT CERTIFICATION
 Note: This is not to be used for information purposes only.

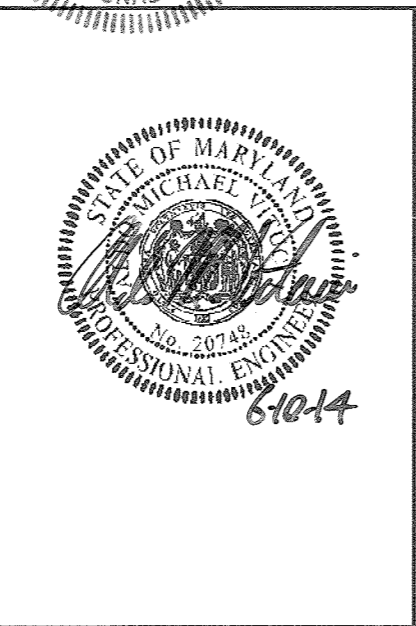
 ALDO M. MURPHY, P.E. NO. 10718
 Date: 7/24/16

SAINT MARGARETS BLVD.
 MAJOR COLLECTOR

PLAN
 SCALE: 1" = 40'

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-0295

NO.	REVISION	DATE
1	Revised E.O.D. No. 25	2/7/16
2	ADD CHECK DETAIL & WAIVER APPROVAL NOTES	4/16/16



ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer (print name below signature) *Aldo M. Murphy*
 Date: 6-10-14

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer (print name below signature) *Daniel M. Lerner*
 Date: 6/10/14

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature of District Director *John P. Roberts*
 Date: 6/17/14

Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Wingspin Circle
 Suite 300
 Columbia, Maryland 21044
 Ph# 410-423-0460

Developer
 Preston • Scheffenacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen... 7/23/14
 Chief, Division of Land Development

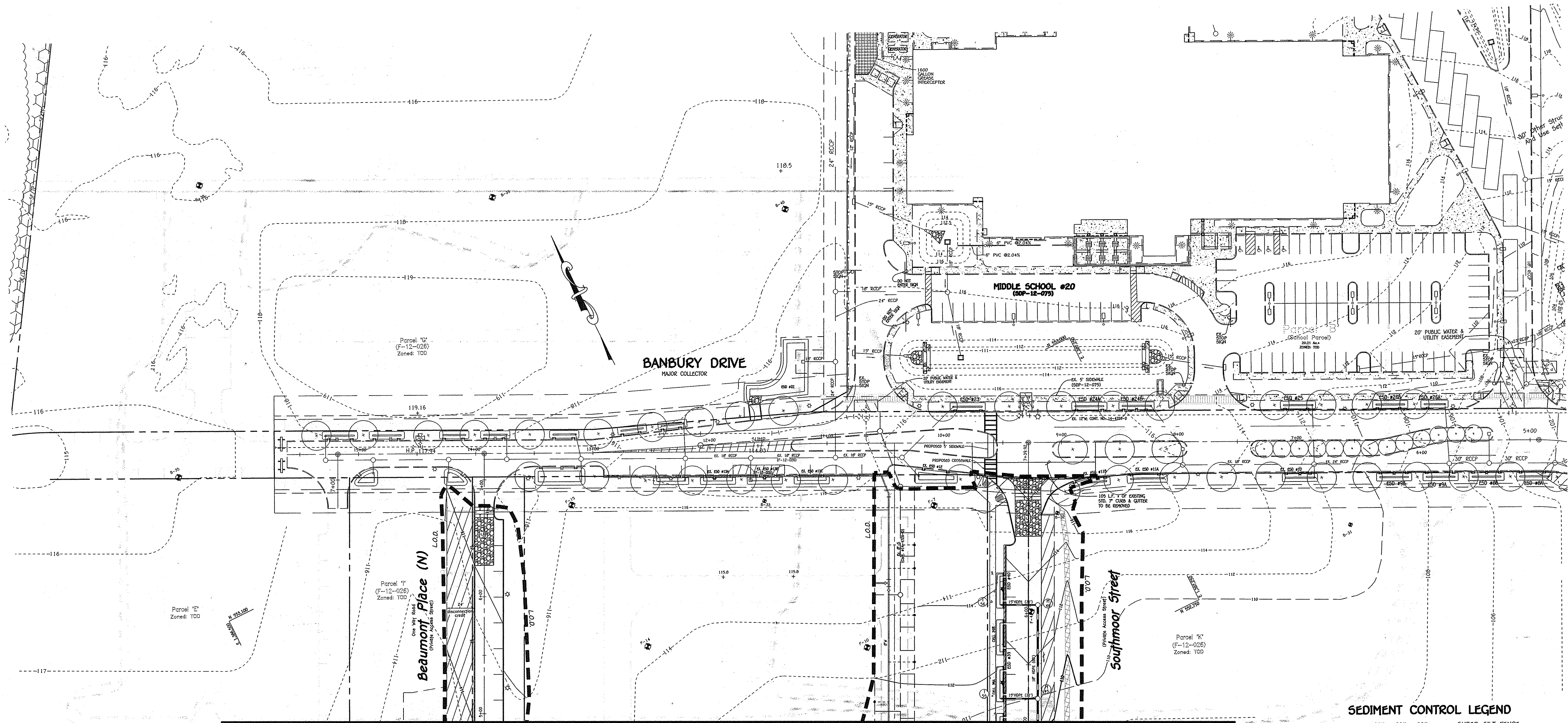
[Signature] 6-25-14
 Chief, Development Engineering Division

[Signature] 7-23-14
 Director - Department of Planning and Zoning

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st.	601101

SEDIMENT AND EROSION CONTROL PLAN
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plate Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22859.)
 Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 19 of 3B



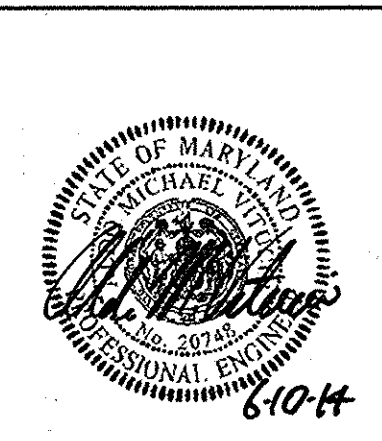
MATCH LINE SEE SHEET 19

PLAN
SCALE: 1" = 40'

- SEDIMENT CONTROL LEGEND**
- S—S—S— SUPER-SILT FENCE
 - S—S—S— SILT FENCE
 - [Cross-hatched box] STABILIZED CONSTRUCTION ENTRANCE W/ MOUNTABLE BERM
 - A—A—A— TYPE A-2 EARTH DIKE
 - L.O.D. --- LIMIT OF DISTURBANCE
 - [Cross-hatched box] E.C.M. EROSION CONTROL MATTING
 - [Box with 'R.P.S.'] REMOVABLE PUMPING STATION
 - [Box with 'F.B.'] FILTER BAG

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899

NO.	REVISION	DATE



ENGINEER'S CERTIFICATE
 "I certify that the sediment and erosion control represents a practical and workable plan based on a professional judgment of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Michael J. DeLoe*
 Date: 6-10-14

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *Joseph Fortino*
 Date: 6/10/14

This development plan is approved for soil erosion and sediment control by the HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Signature: *John R. Keltner*
 Date: 6/17/14

Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Winopine Circle
 Suite 300
 Columbia, Maryland 21044
 Ph# 410-423-0460

Developer
 Preston • Scheffnacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *Keith Schuler*
 Date: 7-23-14

Chief, Development Engineering Division: *Michael J. DeLoe*
 Date: 6-25-14

Director - Department of Planning and Zoning: *Christina Lawrence*
 Date: 7-23-14

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
38	1st.	601101

SEDIMENT AND EROSION CONTROL PLAN
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22855 Thru 22859.)
 Zoned: TOD

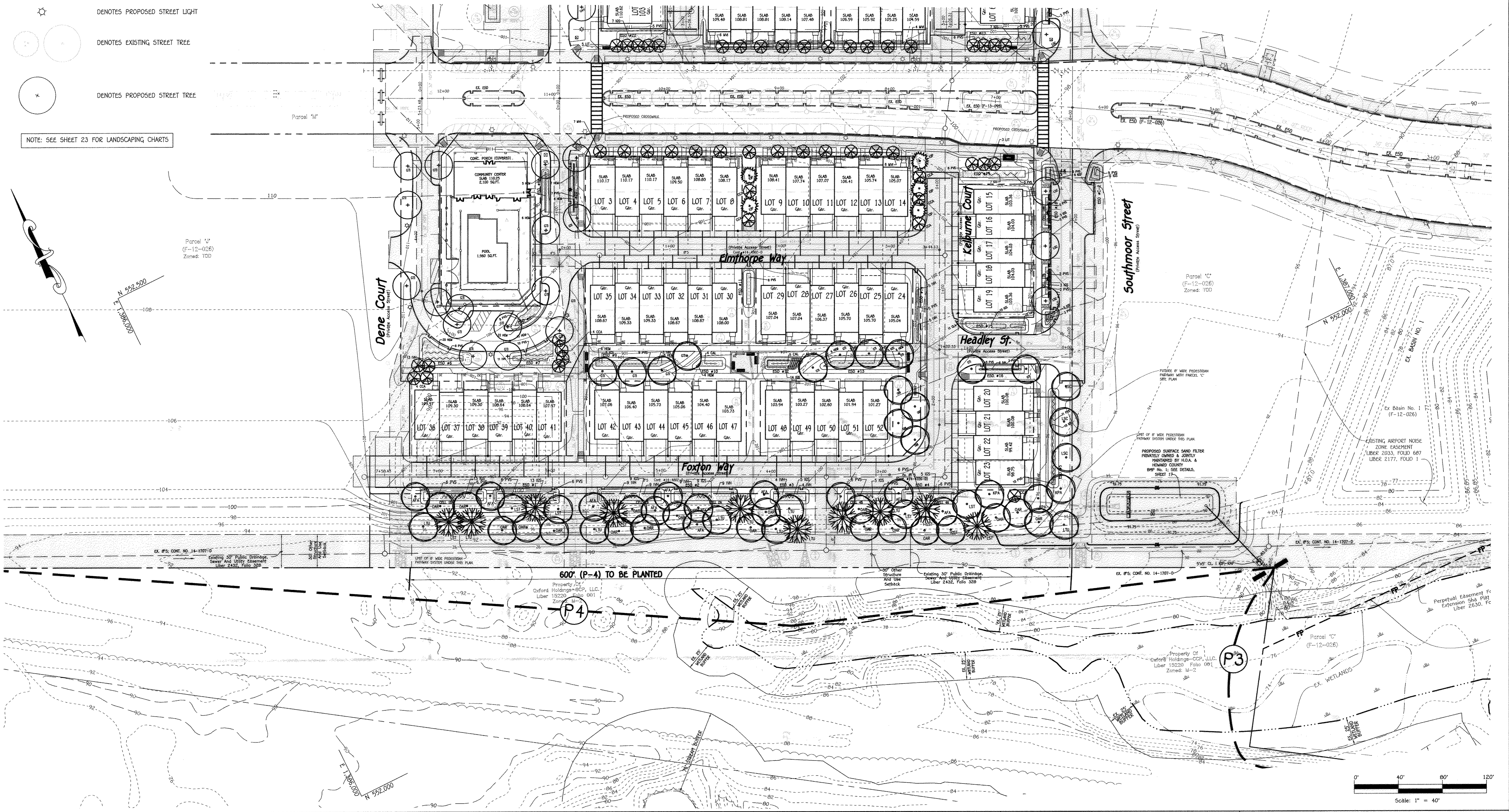
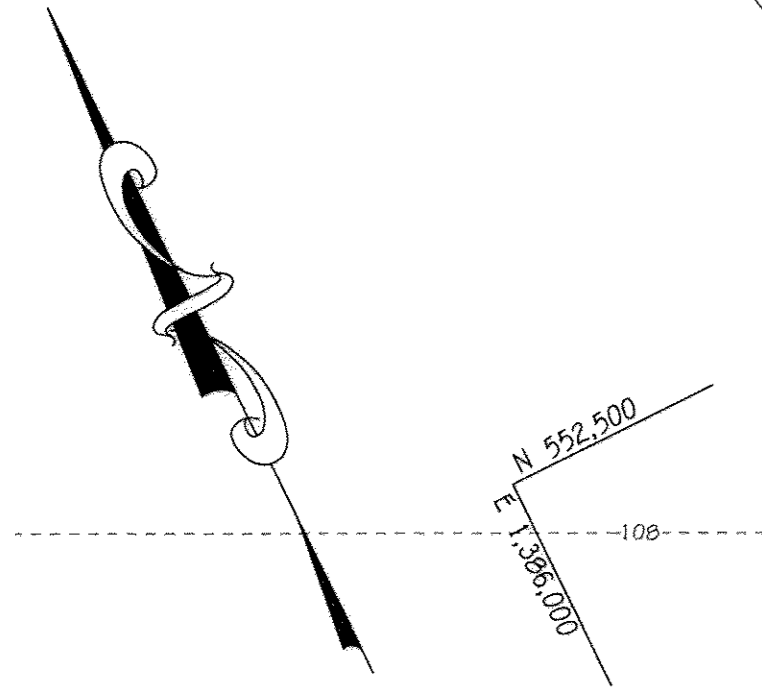
Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 20 Of 38

NOTE: SEE SHEET 22 FOR CONTINUATION

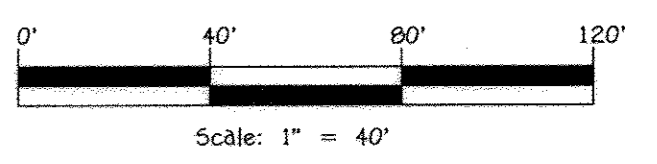
Public Road
SAINT MARGARETS BLVD.
(Major Collector)
POSTED SPEED LIMIT = 25 M.P.H.

- ⊙ DENOTES EXISTING STREET LIGHT
- ⊙ DENOTES PROPOSED STREET LIGHT
- ⊙ DENOTES EXISTING STREET TREE
- ⊙ DENOTES PROPOSED STREET TREE

NOTE: SEE SHEET 23 FOR LANDSCAPING CHARTS



600' (P-4) TO BE PLANTED



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461 - 2895

NO.	REVISION	DATE
	ADD DECK DETAIL & WALKER APPROVAL NOTES	4/22/16



LANDSCAPE DEVELOPER'S CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

David M. Adell
Name _____ Date 6/10/14

Owner/Builder
U.S. Home Corporation,
c/o Joseph Fortino, Vice President
10211 Wincopin Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston - Scheffenaeker Properties
c/o P/A Lemnar
Lutherville, Maryland 21093-4614
Ph: 410-296-3600

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

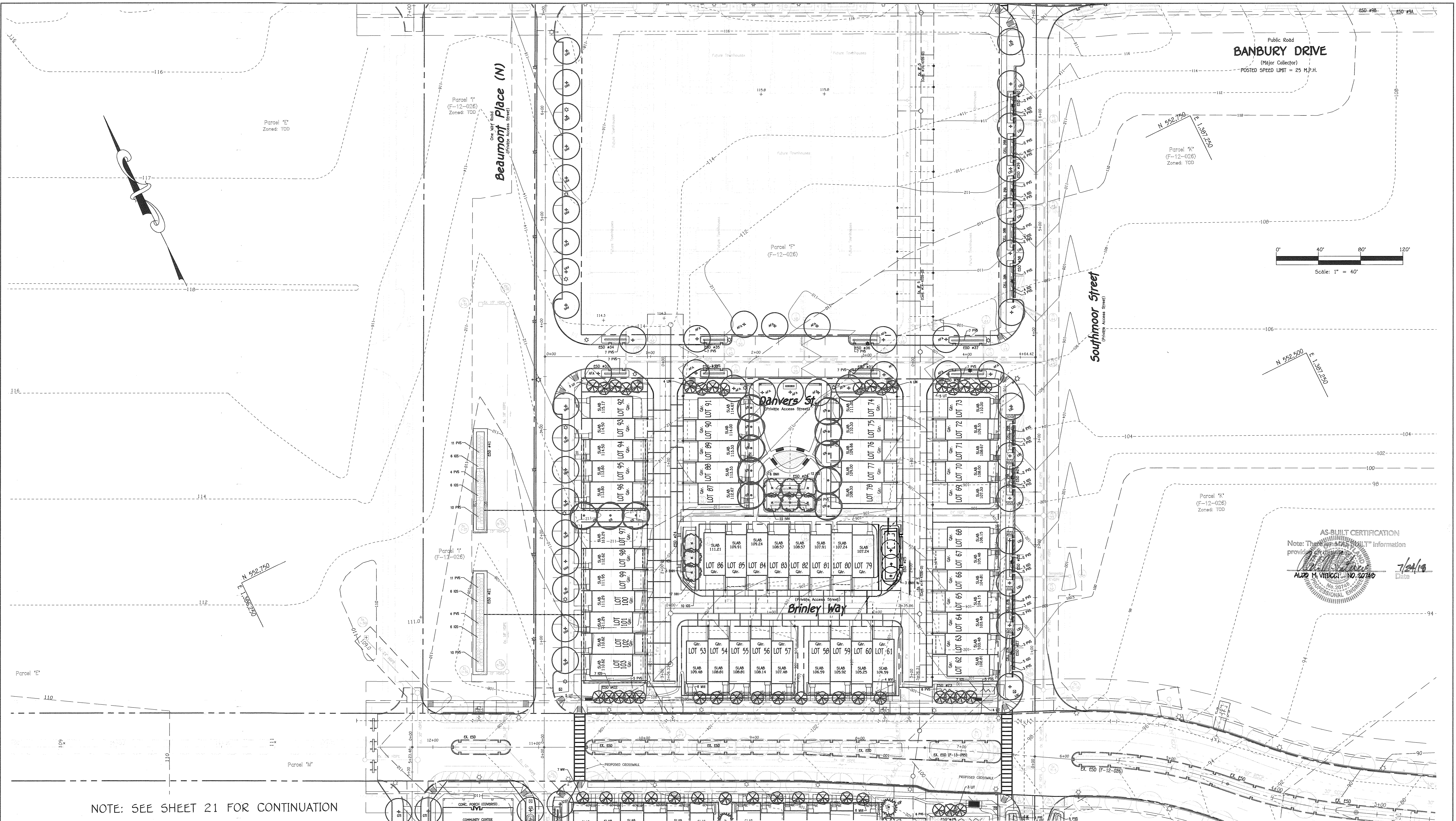
Michael J. Walker
Chief, Division of Land Development
David M. Adell
Chief, Development Engineering Division
Michael J. Walker
Director - Department of Planning and Zoning

Date: 7-23-14
Date: 6-25-14
Date: 7-23-14

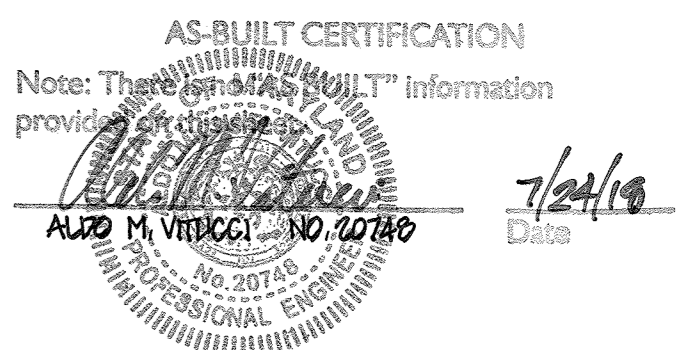
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE		3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898		TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
3B	1st	601101

STREET TREE AND LANDSCAPE PLAN
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plat Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856 Thru 22859.)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 21 Of 38



NOTE: SEE SHEET 21 FOR CONTINUATION



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10275 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2095

NO.	REVISION	DATE
1	Revised ESD No. 25	2/7/18
2	ADD DECK DETAIL & WALKER APPROVAL NOTES	4/16/16



LANDSCAPE DEVELOPER'S CERTIFICATE
 I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/we further certify that upon completion a letter of landscape installation accompanied by an executed one year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

Christa Schreffler
 Name: _____ Date: 6/10/14

Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Winconsin Circle
 Suite 300
 Columbia, Maryland 21044
 Phe 410-423-0460

Developer
 Preston • Scheffacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Phe 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael J. Vitozzi
 Chief, Division of Land Development Date: 7-23-14

David J. Lerner
 Chief, Development Engineering Division Date: 6-25-14

Director - Department of Planning and Zoning Date: 7-23-14

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
	TAX/ZONE	ELEC. DIST.
	3B	1st
	CENSUS TR.	
	601101	

STREET TREE AND LANDSCAPE PLAN

OXFORD SQUARE
 "A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22852.)
 Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 22 Of 38

Grid of tables for Plant Material Bio-Retention ESD No. 1A through 38A, listing quantity, name, and maximum spacing for various plants.

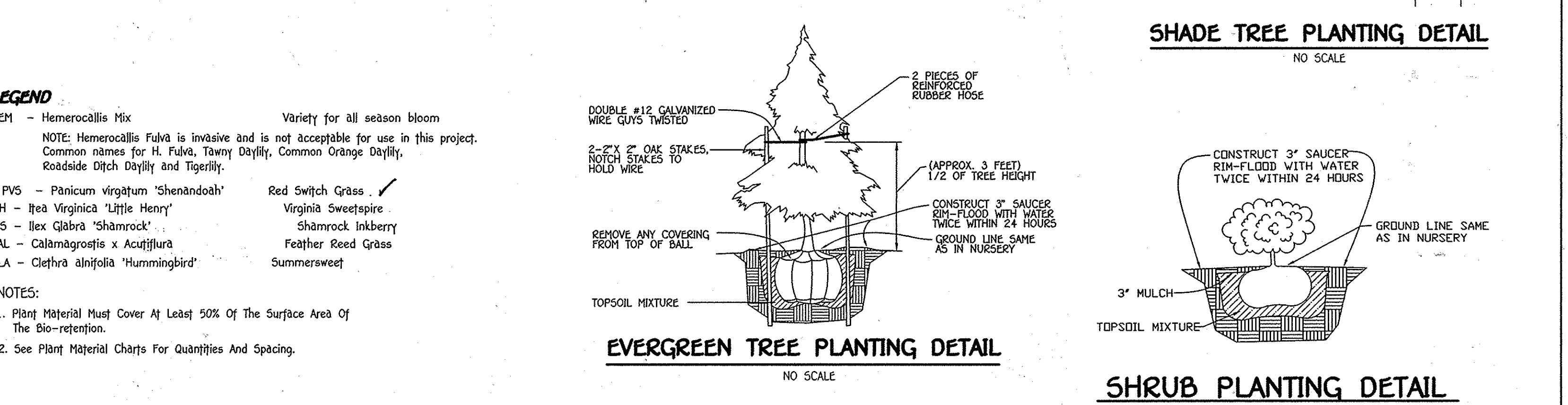
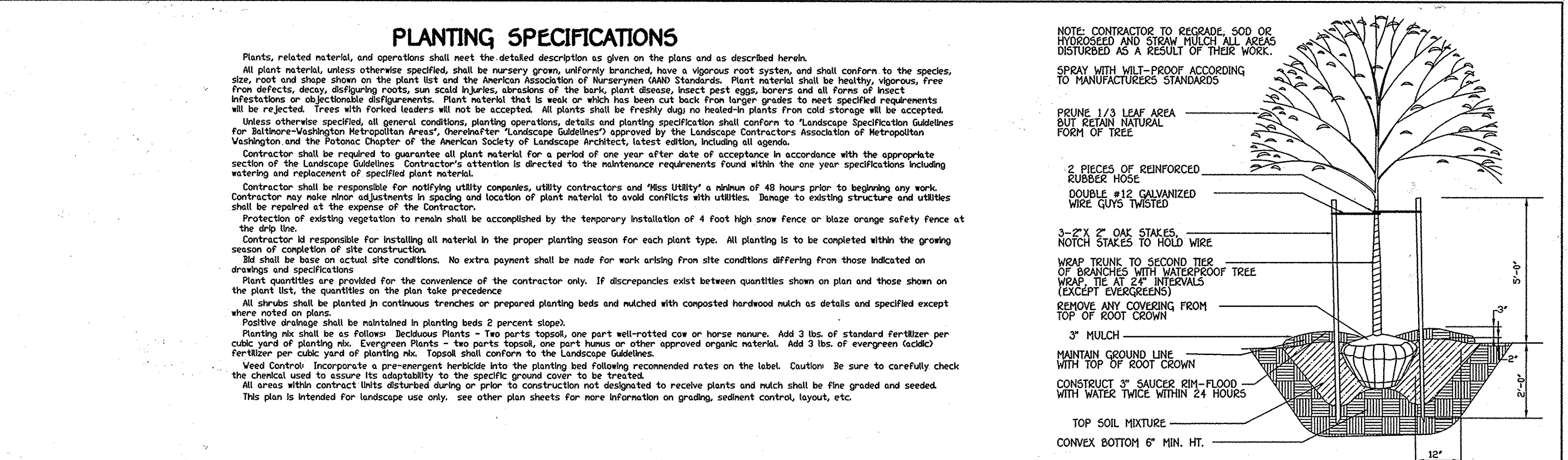


Table with 3 columns: NO., REVISION, DATE. Includes project name and date.

- LEGEND: HEM - Hemerocallis Mix, PVS - Panicum virgatum 'Shenandoah', etc.

SCHEDULE A - PERIMETER LANDSCAPING table with columns for perimeter, category, landscape type, and credit for existing vegetation.

SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING table with columns for number of dwelling units and shade trees provided.

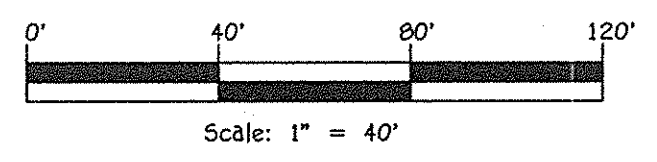
LANDSCAPE PLANT LIST (SCHEDULE 'A' & 'C') table listing botanical names, sizes, and quantities for various trees and shrubs.

STREET TREE SCHEDULE table listing symbols, quantities, botanical names, sizes, and comments for street trees.

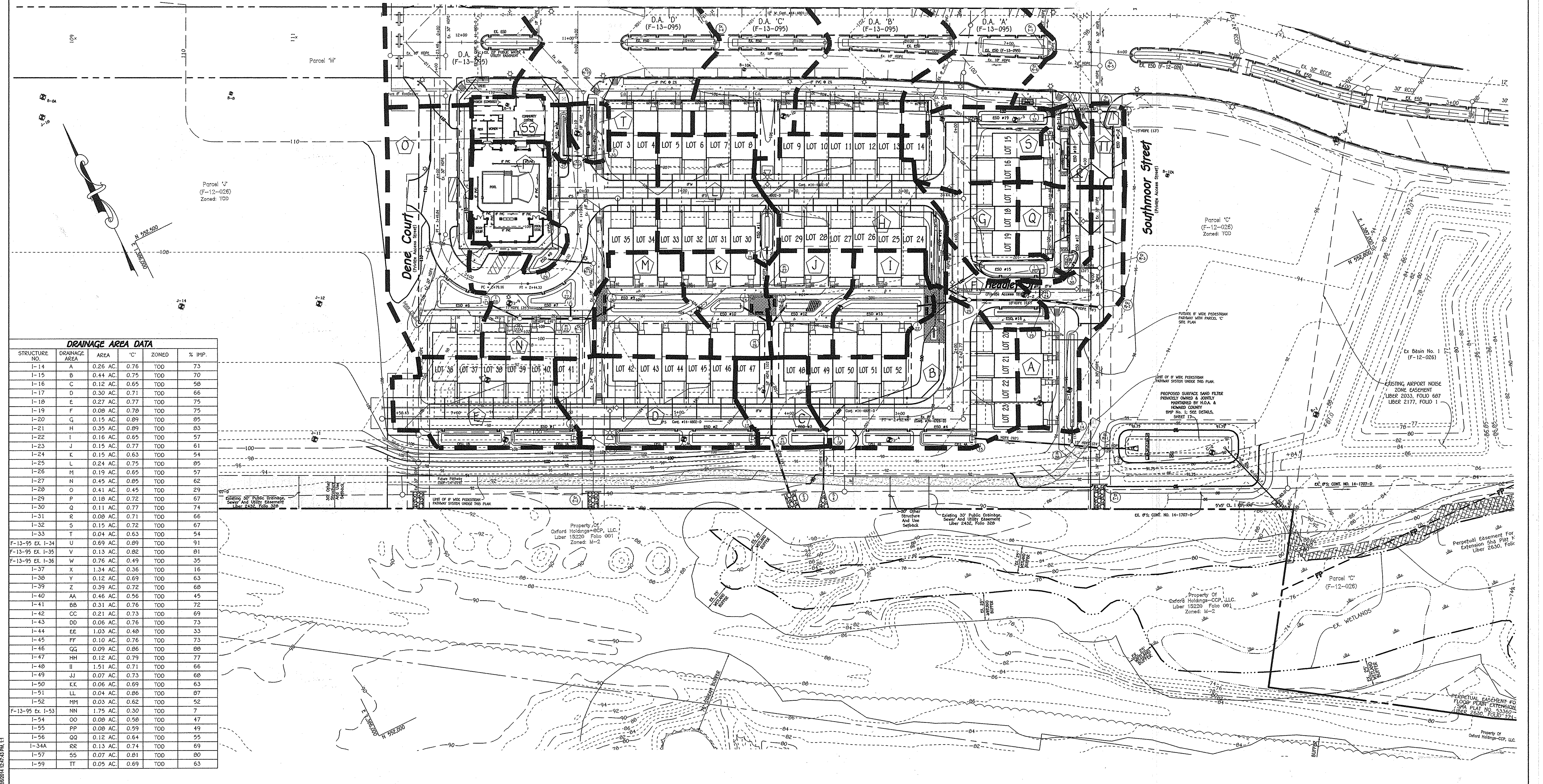
NOTES: 1. FINAL PLACEMENT OF STREET TREES WILL OCCUR IN THE FIELD... 2. FINANCIAL SURETY FOR THE 63 STREET TREES...

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING TREES (75 shade, 67 ornamental & 5 evergreen) SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT...

LANDSCAPE DEVELOPER'S CERTIFICATE, Owner/Builder information, Developer information, and LANDSCAPE NOTES AND DETAILS for OXFORD SQUARE.



Public Road
SAINT MARGARETS BLVD.
 (Major Collector)
 POSTED SPEED LIMIT = 25 M.P.H.



DRAINAGE AREA DATA					
STRUCTURE NO.	DRAINAGE AREA	AREA	'C'	ZONED	% IMP.
I-14	A	0.26 AC.	0.76	TOD	73
I-15	B	0.44 AC.	0.75	TOD	70
I-16	C	0.12 AC.	0.65	TOD	58
I-17	D	0.30 AC.	0.71	TOD	66
I-18	E	0.27 AC.	0.77	TOD	75
I-19	F	0.08 AC.	0.78	TOD	75
I-20	G	0.15 AC.	0.89	TOD	85
I-21	H	0.35 AC.	0.89	TOD	83
I-22	I	0.16 AC.	0.65	TOD	57
I-23	J	0.15 AC.	0.77	TOD	61
I-24	K	0.15 AC.	0.63	TOD	54
I-25	L	0.24 AC.	0.75	TOD	65
I-26	M	0.19 AC.	0.65	TOD	57
I-27	N	0.45 AC.	0.85	TOD	62
I-28	O	0.41 AC.	0.45	TOD	29
I-29	P	0.18 AC.	0.72	TOD	67
I-30	Q	0.11 AC.	0.77	TOD	74
I-31	R	0.08 AC.	0.71	TOD	66
I-32	S	0.15 AC.	0.72	TOD	67
I-33	T	0.04 AC.	0.63	TOD	54
F-13-95 EX. I-34	U	0.69 AC.	0.89	TOD	91
F-13-95 EX. I-35	V	0.13 AC.	0.82	TOD	81
F-13-95 EX. I-36	W	0.76 AC.	0.49	TOD	35
I-37	X	1.34 AC.	0.36	TOD	16
I-38	Y	0.12 AC.	0.69	TOD	63
I-39	Z	0.39 AC.	0.72	TOD	68
I-40	AA	0.46 AC.	0.56	TOD	45
I-41	BB	0.31 AC.	0.76	TOD	72
I-42	CC	0.21 AC.	0.73	TOD	69
I-43	DD	0.06 AC.	0.76	TOD	73
I-44	EE	1.03 AC.	0.48	TOD	33
I-45	FF	0.10 AC.	0.76	TOD	73
I-46	GG	0.09 AC.	0.86	TOD	88
I-47	HH	0.12 AC.	0.79	TOD	77
I-48	II	1.51 AC.	0.71	TOD	66
I-49	JJ	0.07 AC.	0.73	TOD	68
I-50	KK	0.06 AC.	0.69	TOD	63
I-51	LL	0.04 AC.	0.86	TOD	87
I-52	MM	0.03 AC.	0.62	TOD	52
F-13-95 EX. I-53	NN	1.75 AC.	0.30	TOD	7
I-54	OO	0.08 AC.	0.58	TOD	47
I-55	PP	0.08 AC.	0.59	TOD	49
I-56	QQ	0.12 AC.	0.64	TOD	55
I-34A	RR	0.13 AC.	0.74	TOD	69
I-57	SS	0.07 AC.	0.81	TOD	80
I-59	TT	0.05 AC.	0.69	TOD	63

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE BUILDING - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2295



NO.	REVISION	DATE
1	REVISE COMMUNITY CENTER AND POOL AREA	10/3/14
2	REVISION	DATE

Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Wincon Circle
 Suite 300
 Columbia, Maryland 21044
 Ph# 410-423-0460

Developer
 Preston • Scheffacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen 2-3-15
 Chief, Division of Land Development Date

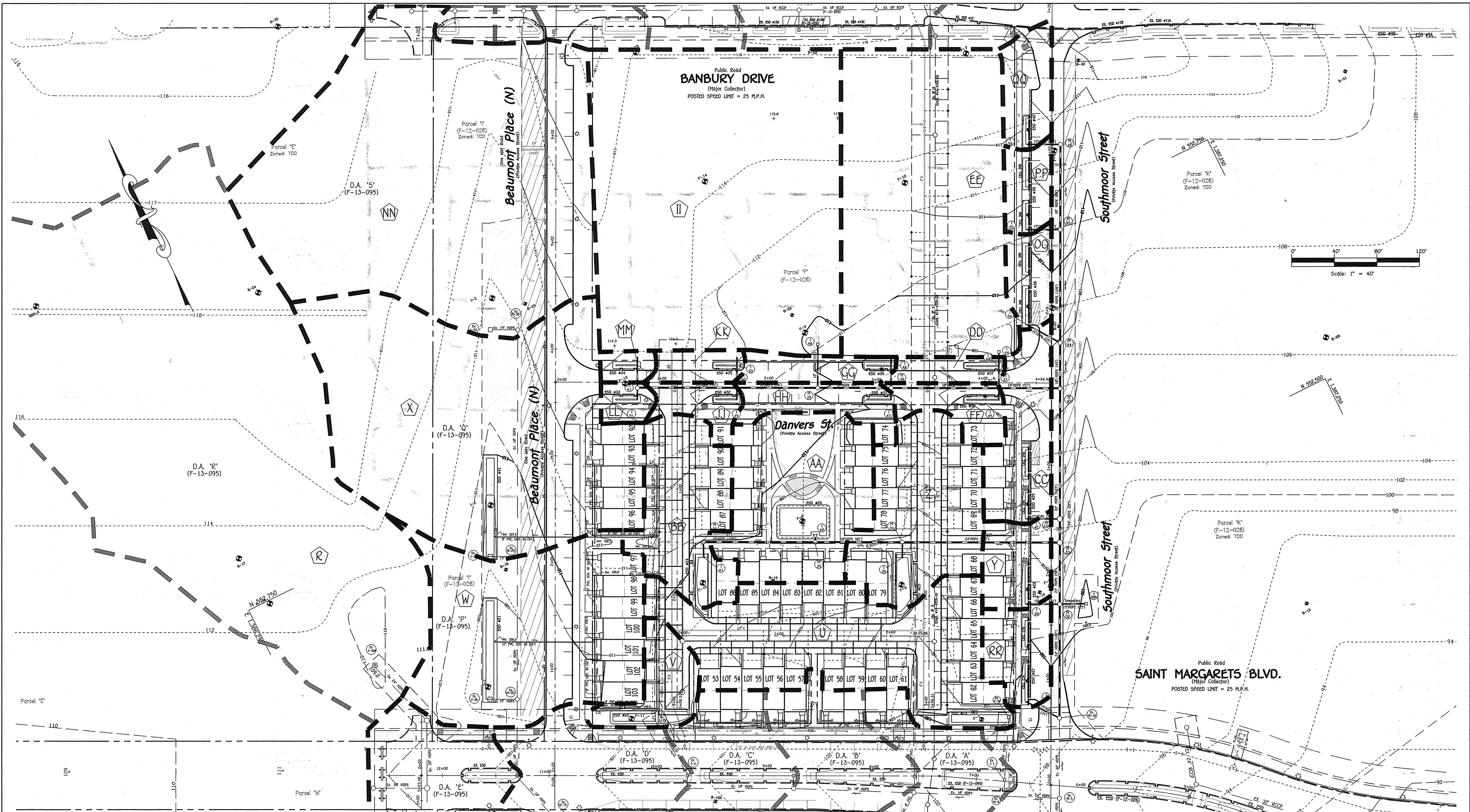
John 1-22-15
 Chief, Development Engineering Division Date

Maria M. Leyle 2/5/15
 Director - Department of Planning and Zoning Date

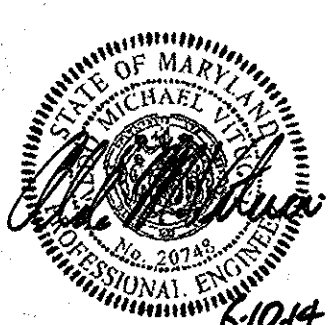
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103
PLAT NO. 22895-22898	ZONE TOD	TAX/ZONE 38
	ELEC. DIST. 1st	CENSUS TR. 601101

REVISED
STORM DRAIN DRAINAGE AREA MAP
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plate Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22895 Thru 22899)
 Zoned: TOD

Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
 First Election District Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 24 Of 38



NO.	REVISION	DATE



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Vinconin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston • Scheffnacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Vatselaval
Chief, Division of Land Development 7/23/14 Date

W. E. ...
Chief, Development Engineering Division 6/25/14 Date

Dorely Lewis
Director - Department of Planning and Zoning 7-23-14 Date

SUBDIVISION		SECTION/AREA	LOT NOS.		
OXFORD SQUARE			3 THRU 103		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

STORM DRAIN DRAINAGE AREA MAP

OXFORD SQUARE
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K' And 'H' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22888 Thru 22889.)
Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 25 Of 38

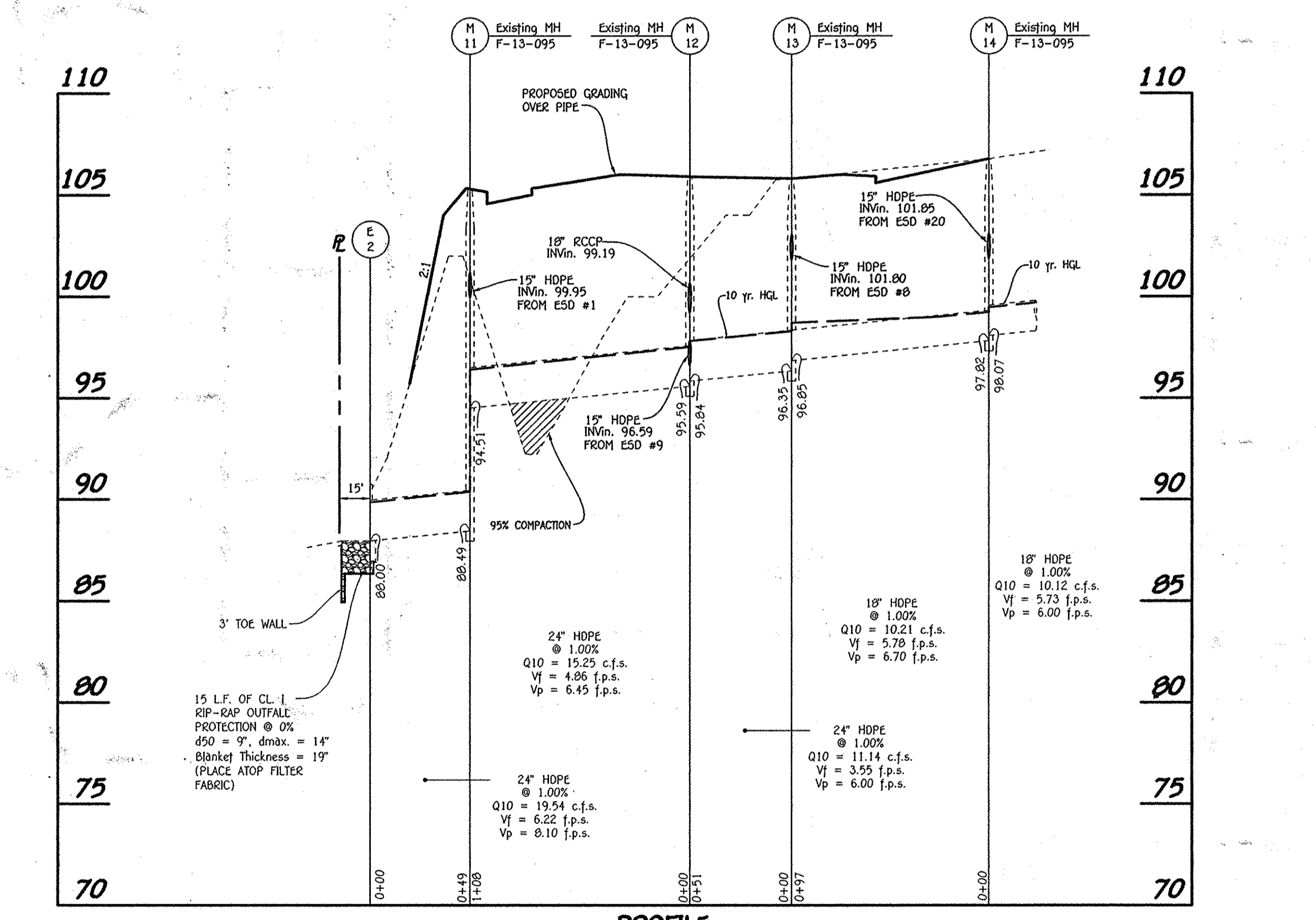
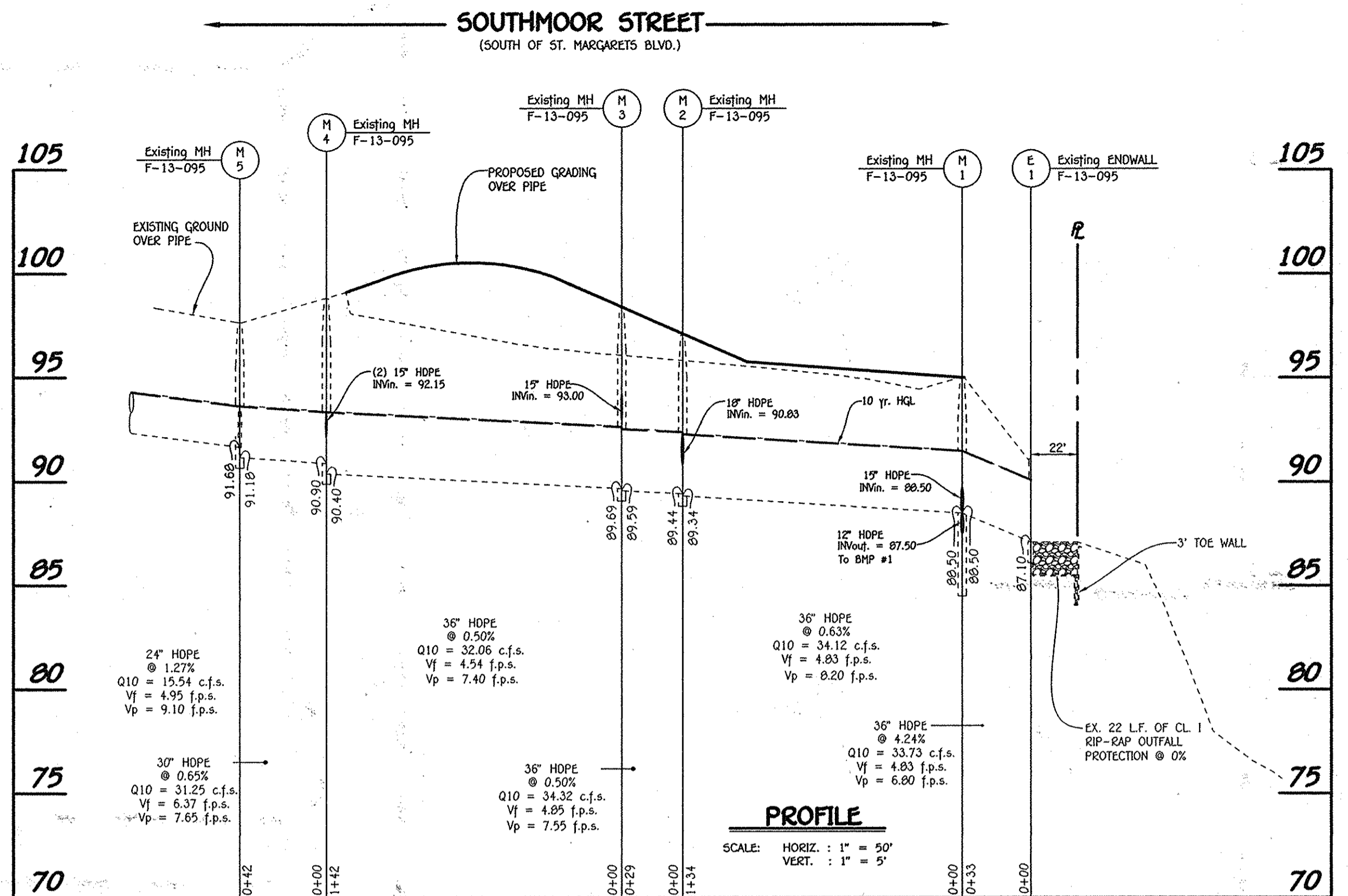
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELKLOFF CITY, MARYLAND 21042
(410) 461-2995

STRUCTURE SCHEDULE table with columns: STRUCTURE NO., TOP ELEVATION, INV.IN, INV.OUT, LOCATION, ROAD STA., OFFSET, TYPE AND WIDTH, REMARKS. Includes entries for NYLOPLAST OR EQUAL, NYLOPLAST OR EQUAL, NYLOPLAST OR EQUAL, etc.

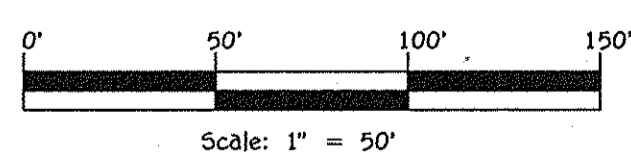
PIPE SCHEDULE table with columns: SIZE, CLASS, LENGTH. Includes entries for 6" PVC SCH. 40 (PERFORATED), 8" PVC SCH. 40 (SOLID), etc.

NOTE: HOPE PIPE MAY BE SUBSTITUTED WITH RCP, CL. IV PIPE.

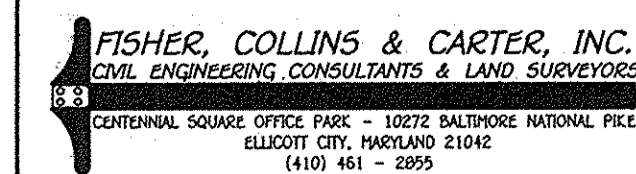
NOTE: SEE SHEETS 10-17 FOR 10 SCALE PLAN VIEWS OF STORM DRAIN INVERT ELEVATIONS FROM THE PROPOSED ESD DEVICES TO THE MAIN STORM DRAIN PROFILE.



*- DENOTES GRATE ELEVATION ('S' INLET) OR BASIN TOP (BEFORE DOME GRATE IS INSTALLED)
** SOUTH OF SAINT MARGARETS BLVD.



Revision table with columns: NO., REVISION, DATE. Includes one revision entry.



Owner/Builder: U.S. Home Corporation, D/B/A Lennar, c/o Joseph Fortino, Vice President, 10211 Winnopin Circle, Suite 300, Columbia, Maryland 21044, Ph: 410-423-0460.

Developer: Preston - Scheffenacker Properties, 2330 West Joppa Road, Suite 160, Lutherville, Maryland 21093-4614, Ph: 410-296-3800.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Division of Land Development: [Signature] 7/23/14

Chief, Development Engineering Division: [Signature] 6/25/14

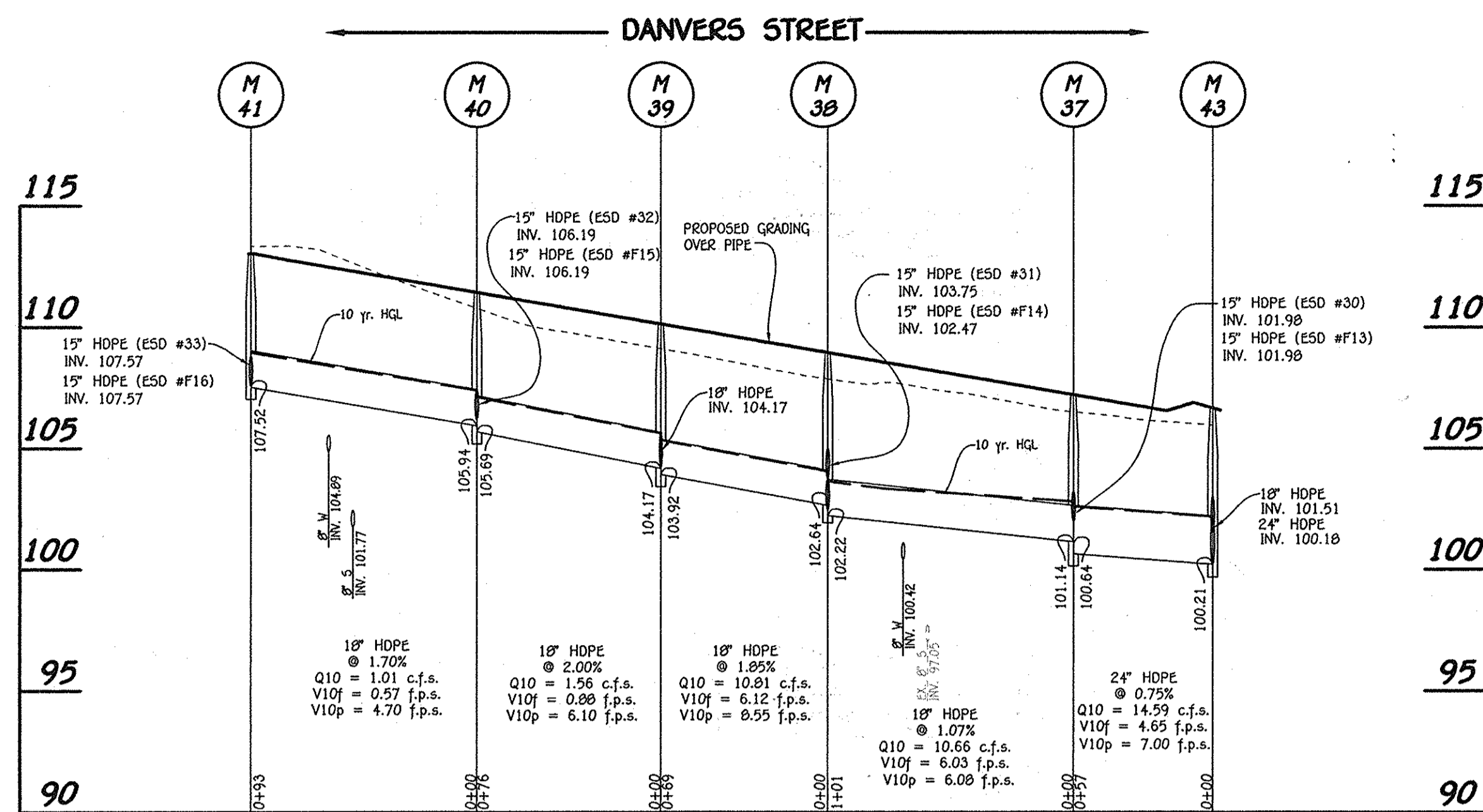
Director - Department of Planning and Zoning: [Signature] 7-23-14

Table with columns: PLAT NO., BLOCK NO., ZONE, TAX/ZONE, ELEC. DIST., CENSUS TR. Includes data for 22895-22898.

STORM DRAIN PROFILES

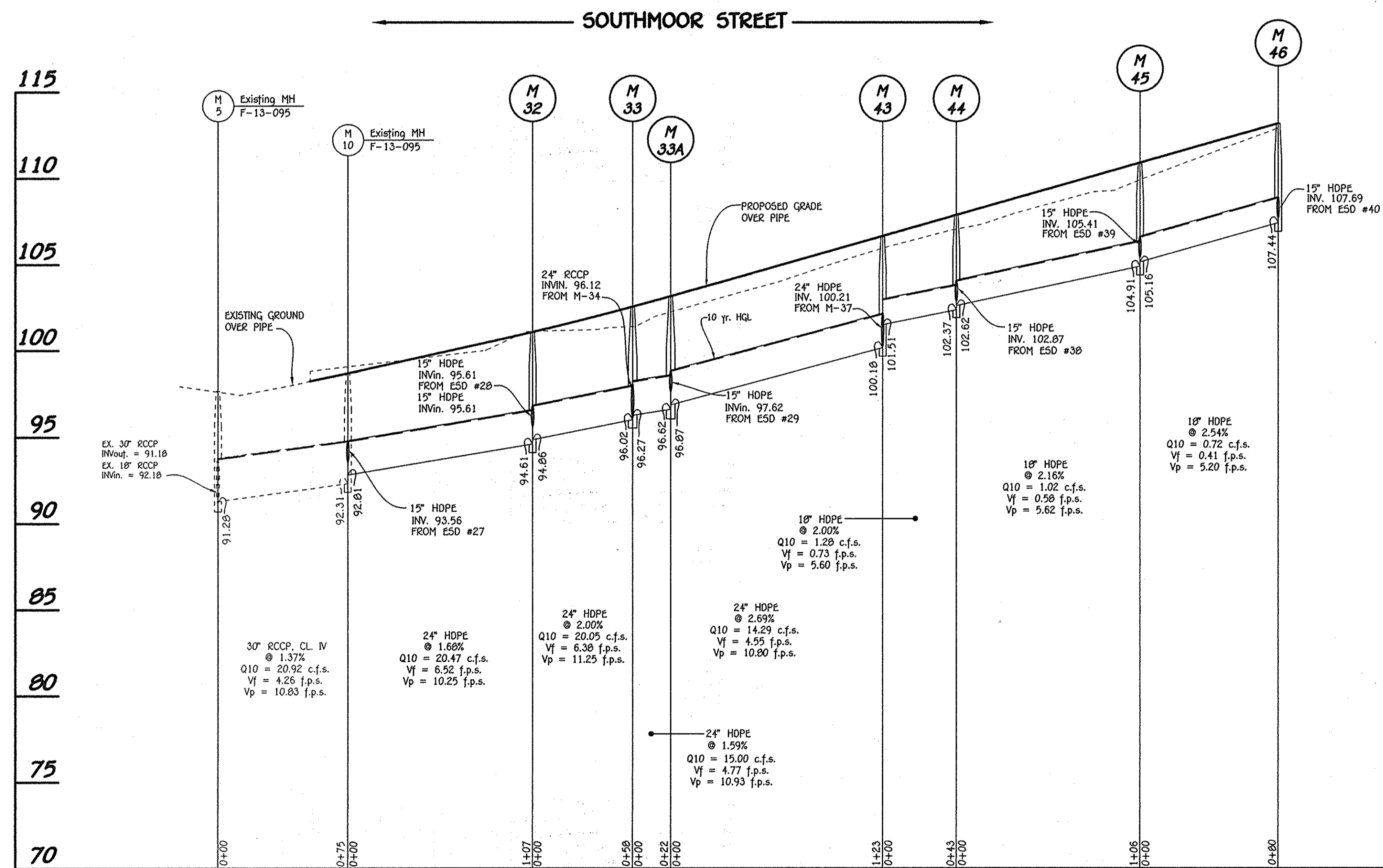
OXFORD SQUARE

'A Howard County Green Neighborhood' Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'. Tax Map No.: 3B, Grid No.: 20, Parcel No.: 761, First Election District: Howard County, Maryland, Scale: As Shown, Date: June 6, 2014, Sheet 26 Of 30.



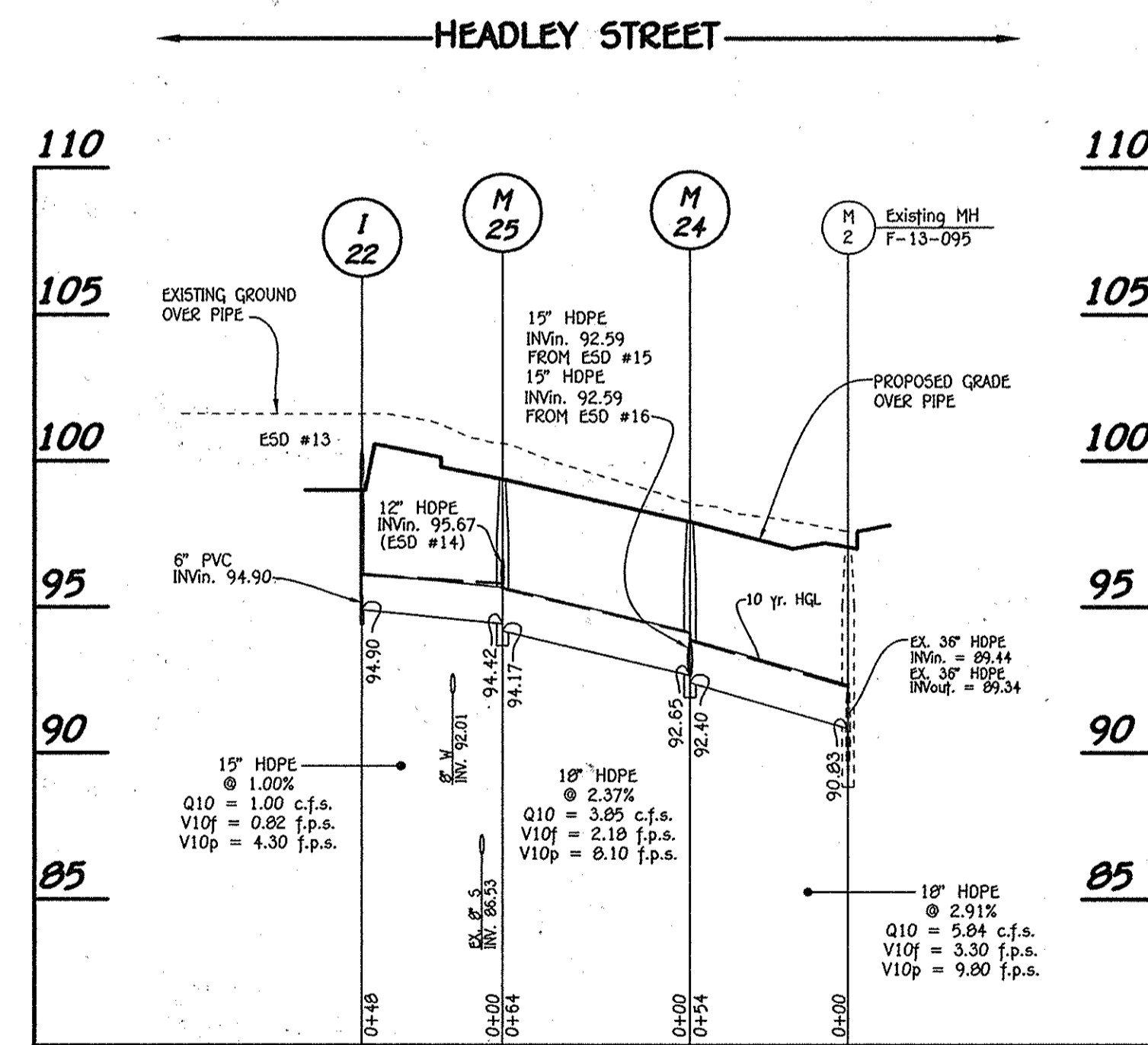
PROFILE

SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



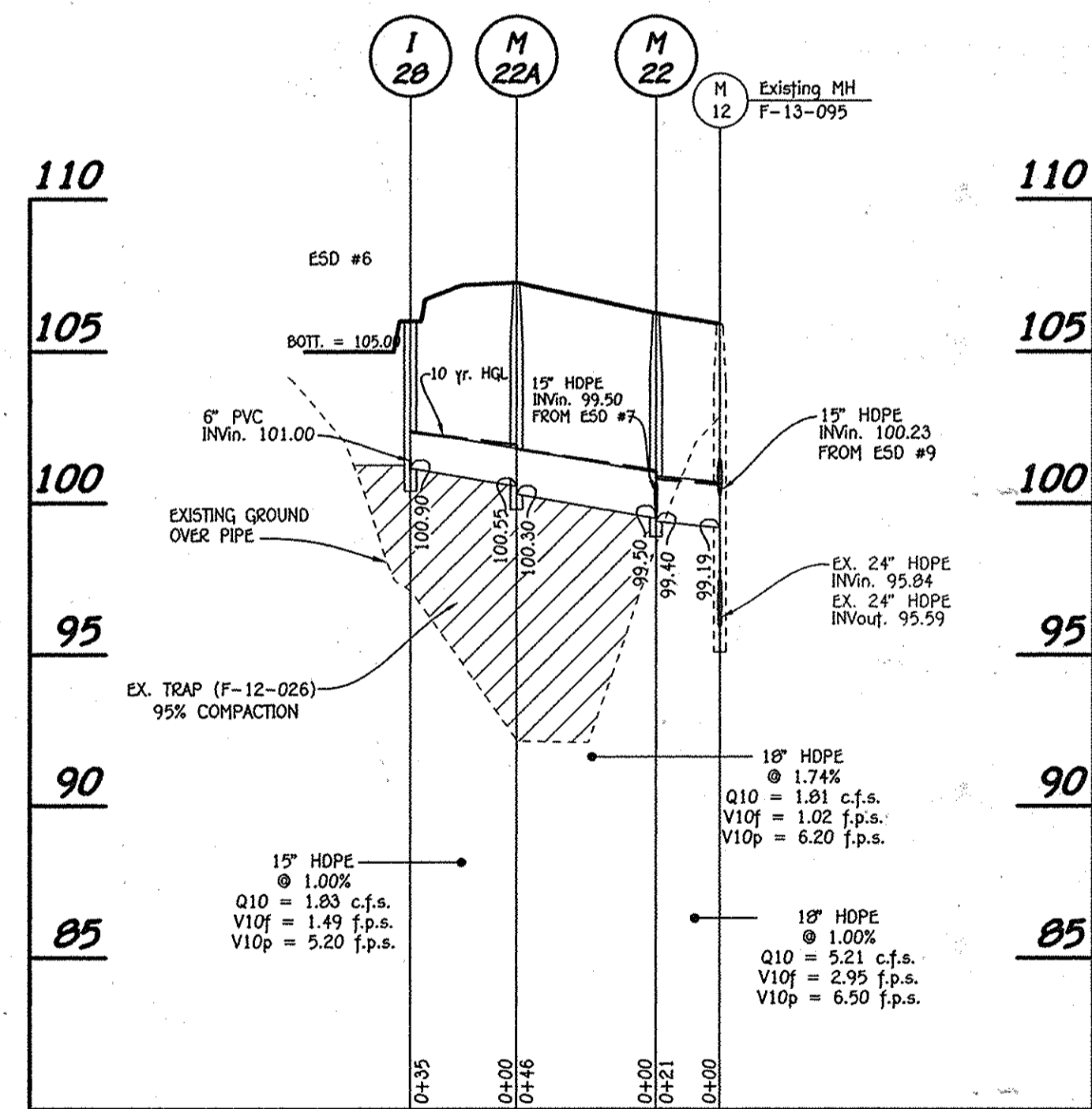
PROFILE

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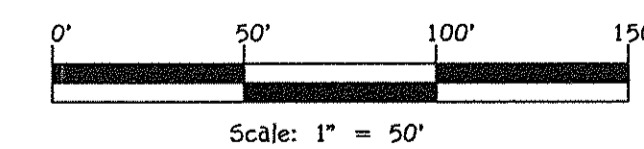
PROFILE

SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



PROFILE

SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE: 10272 BALDWIN NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2955



Owner/Builder

U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winopole Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer

Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Katrina L...
Chief, Division of Land Development

7/23/14
Date

M. J. ...
Chief, Development Engineering Division

6-25-14
Date

...
Director - Department of Planning and Zoning

7-23-14
Date

SUBDIVISION: OXFORD SQUARE SECTION/AREA: --- LOT Nos. 3 THRU 103

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st.	601101

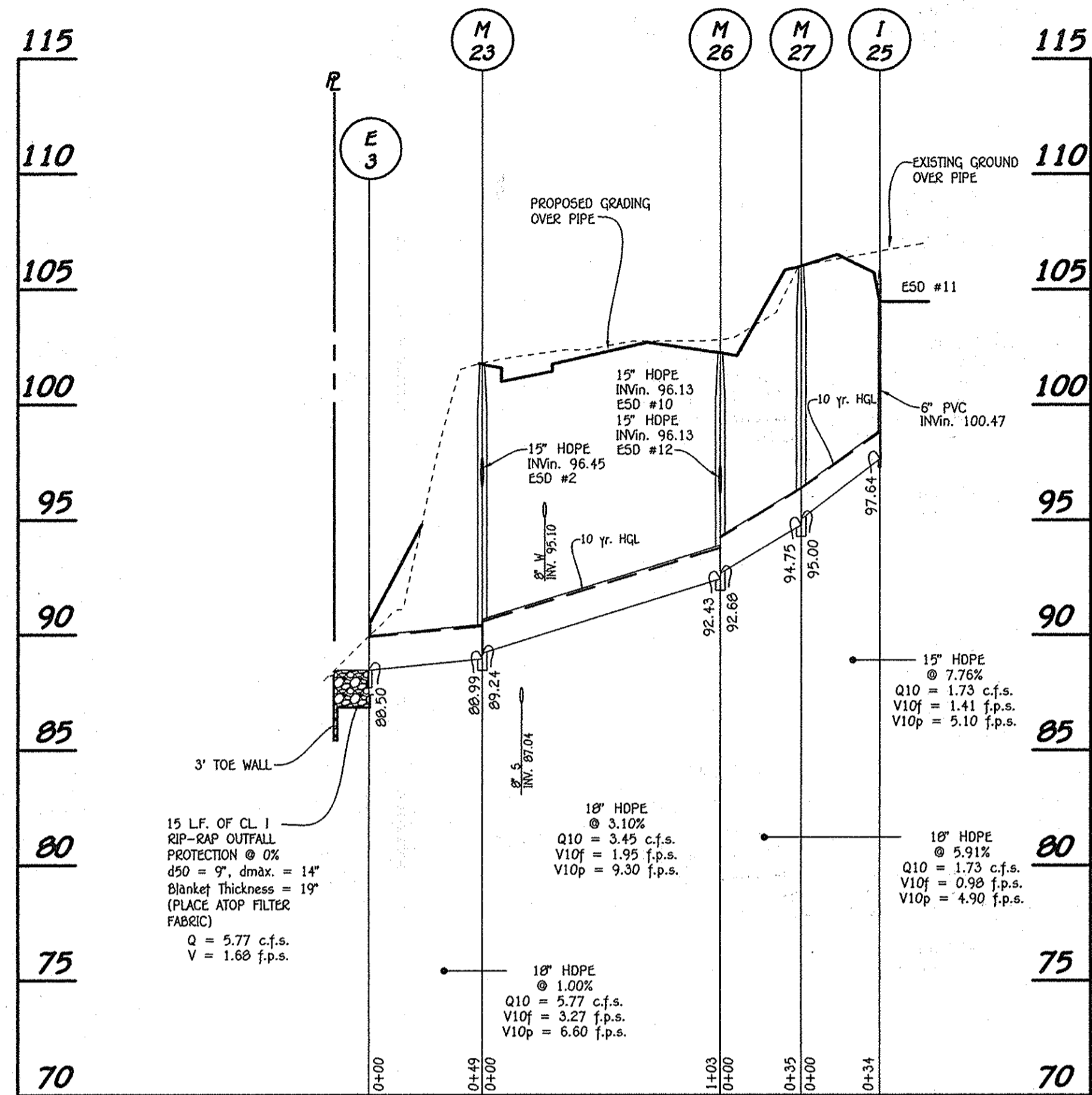
STORM DRAIN PROFILES

OXFORD SQUARE

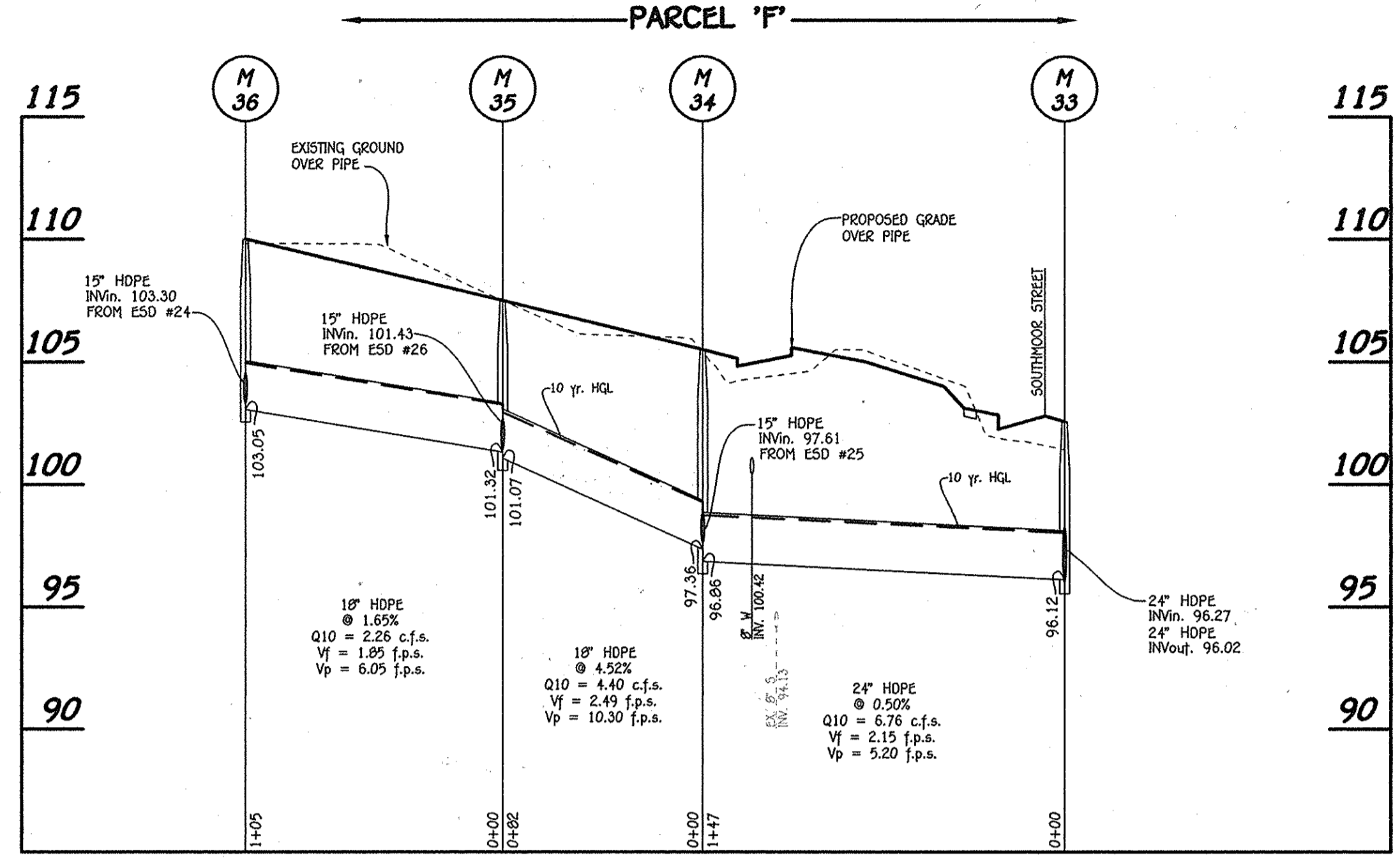
"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'I' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'L' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22855 Thru 22859.)
Zoned: TOD

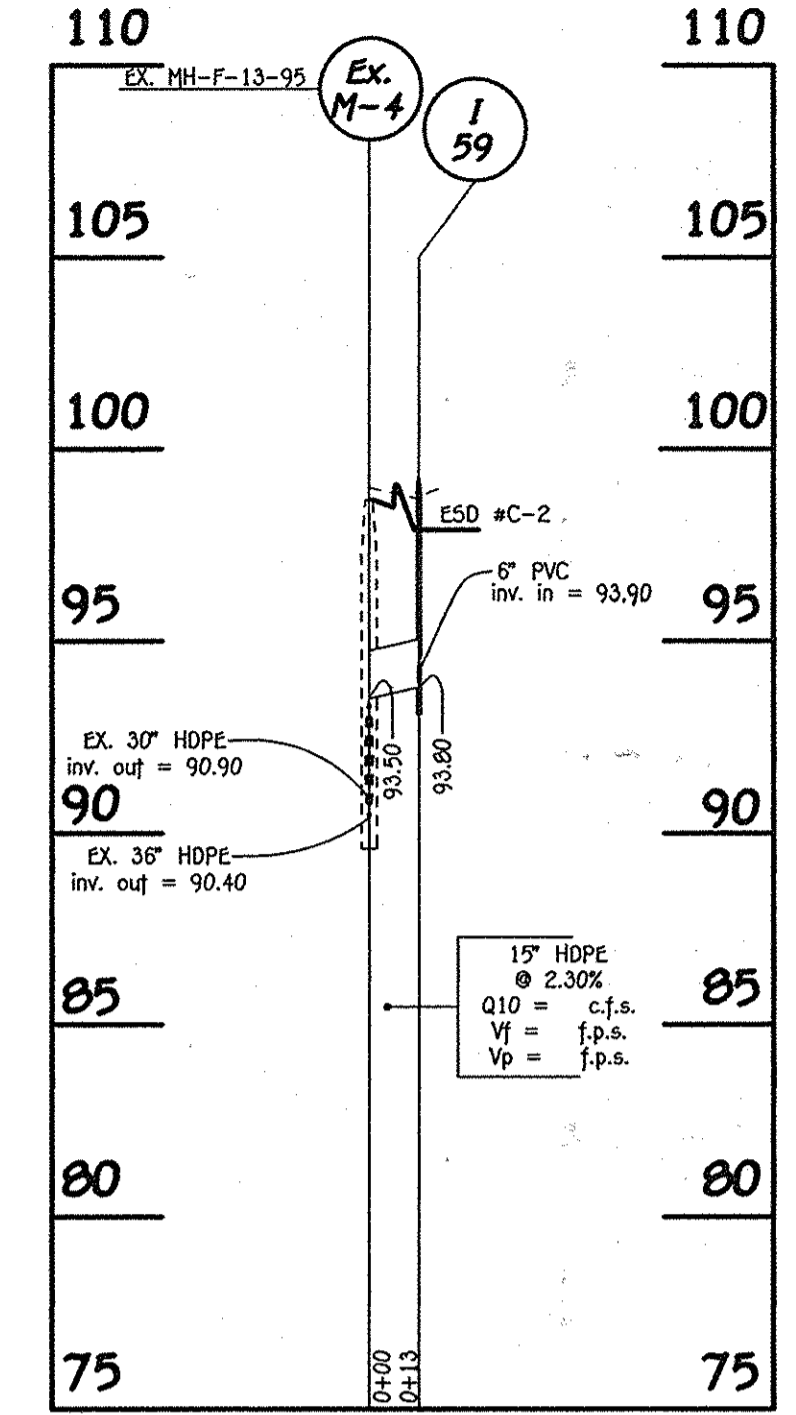
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 27 Of 38



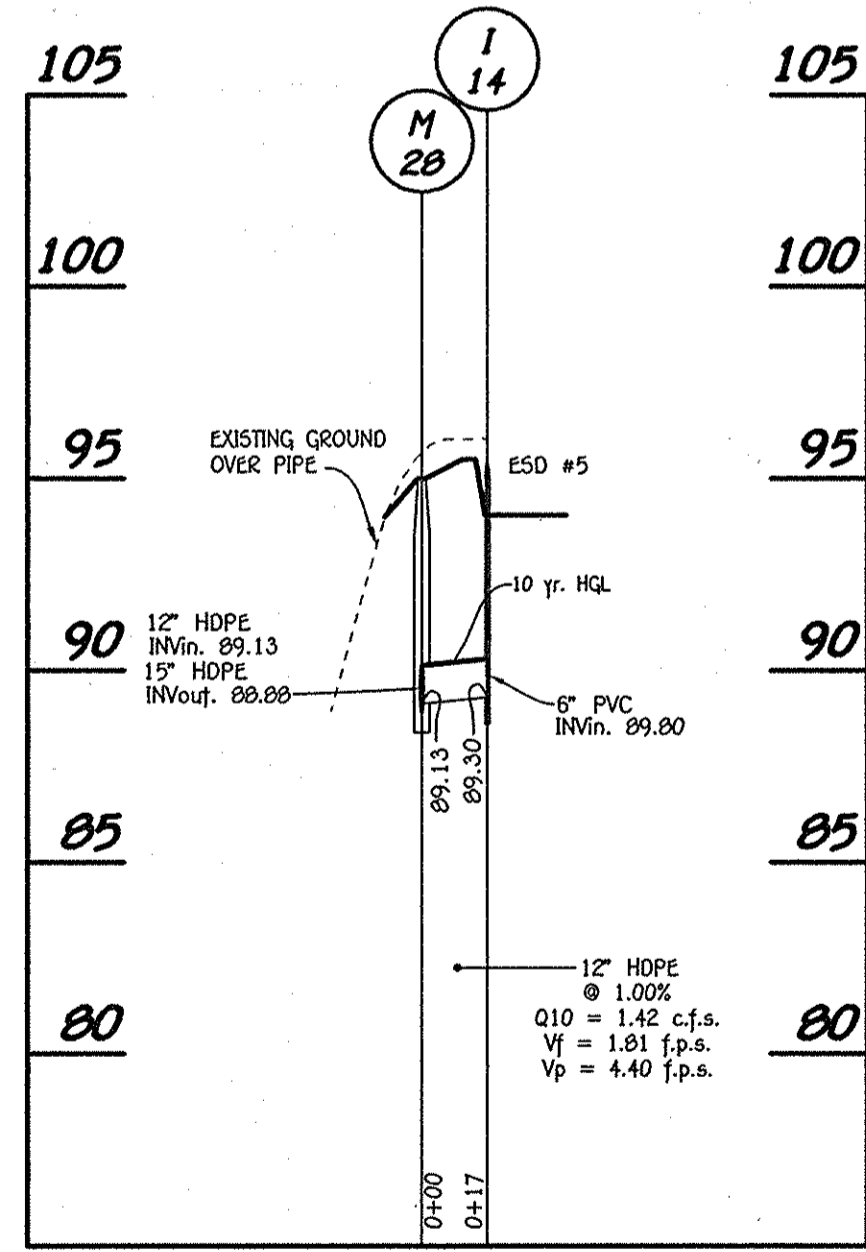
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VERT. : 1" = 5'



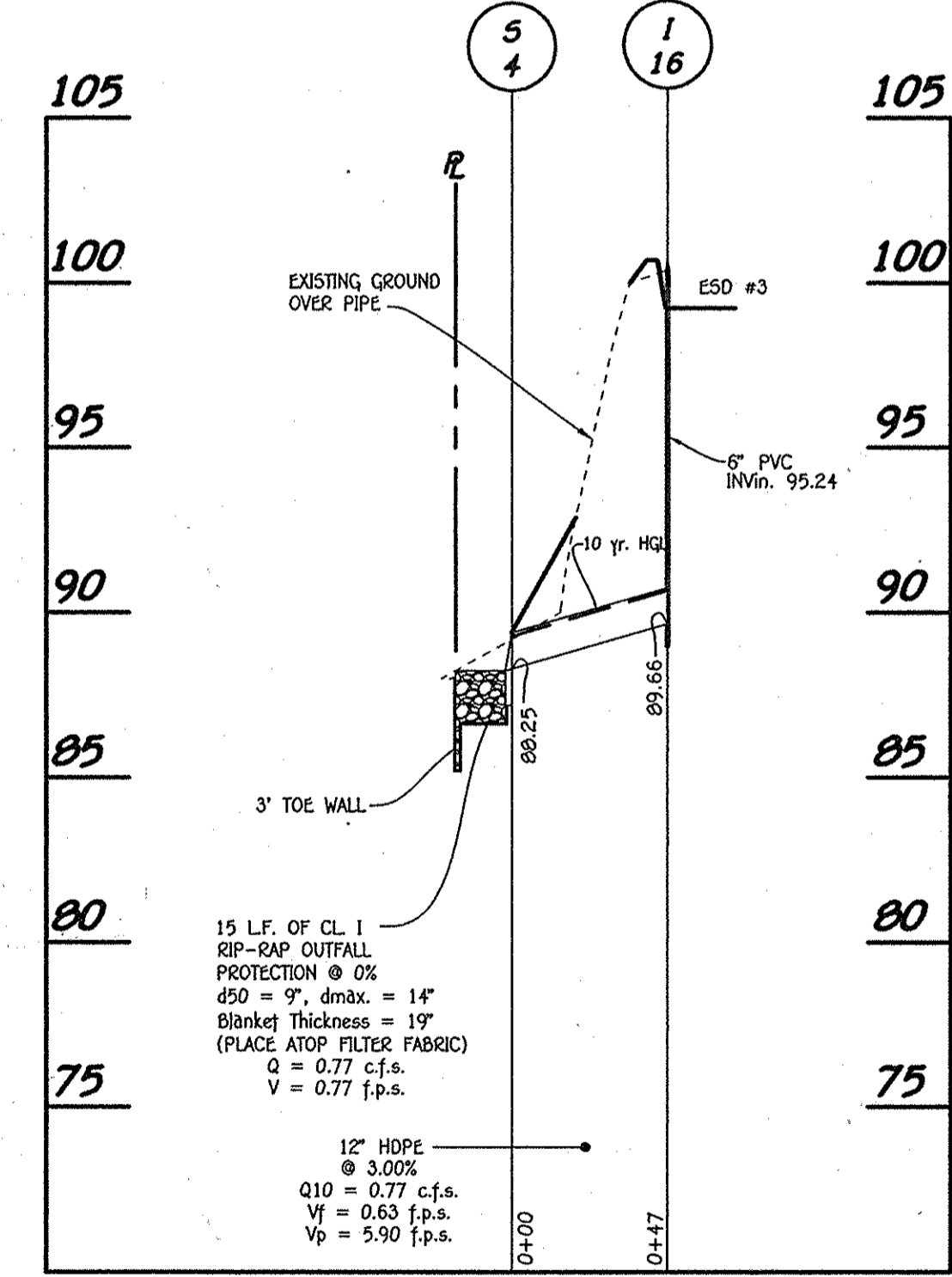
PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



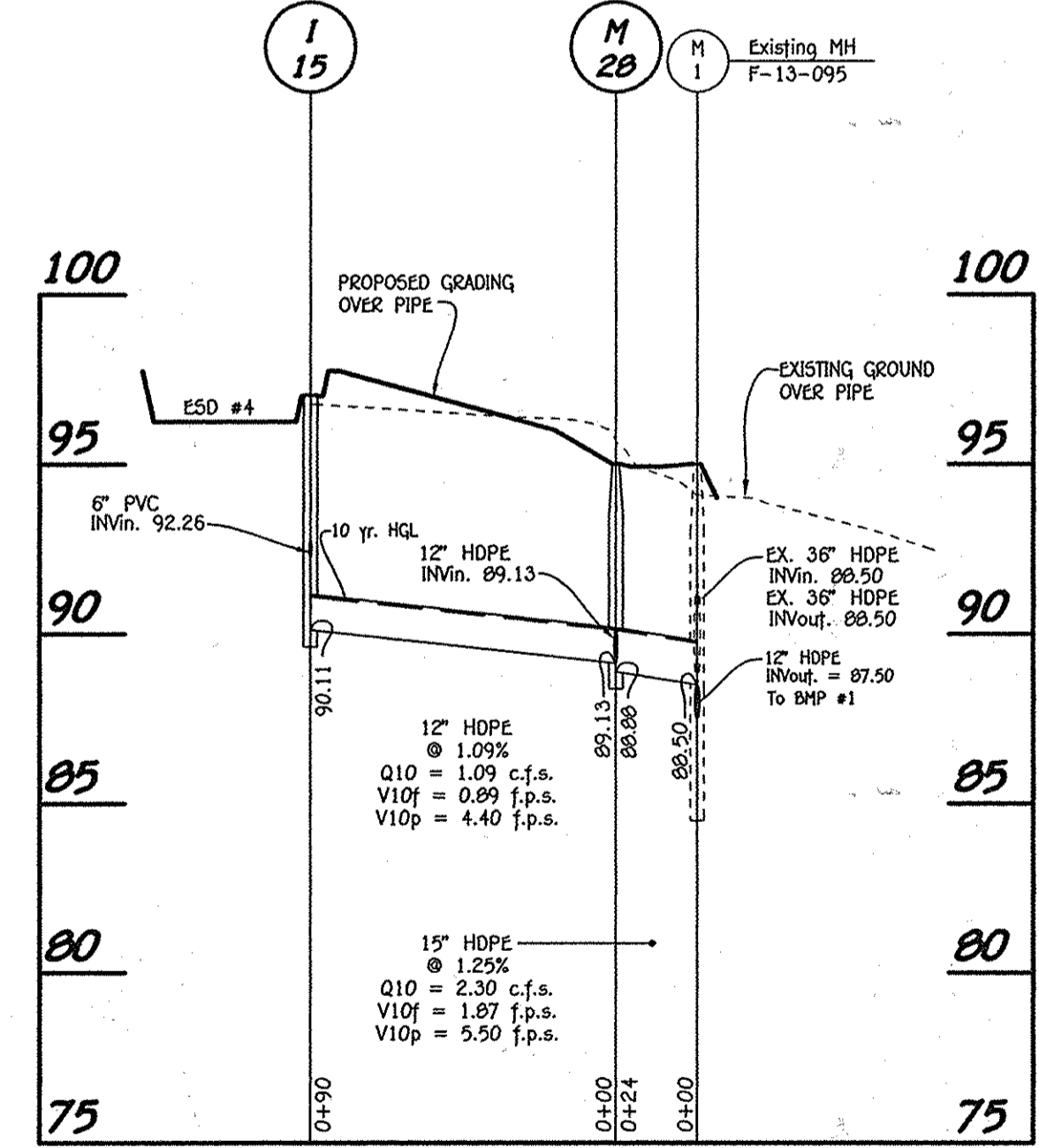
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VERT. : 1" = 5'



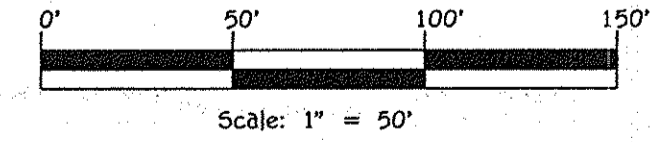
PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



PROFILE
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORONAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2995



Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winopin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffenacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Vo. J. She... 7-23-14
Chief, Division of Land Development Date

... 6-25-14
Chief, Development Engineering Division Date

... 7-23-14
Director - Department of Planning and Zoning Date

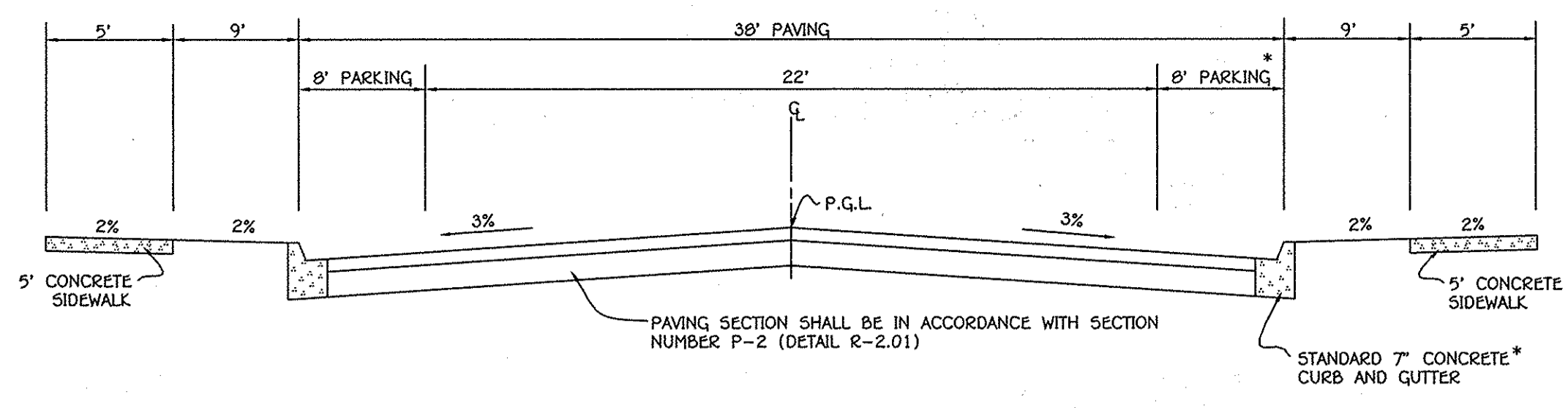
SUBDIVISION	SECTION/AREA	LOT NOS.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
3B	1st	601101

STORM DRAIN PROFILES

OXFORD SQUARE
"A Howard County Green Neighborhood"

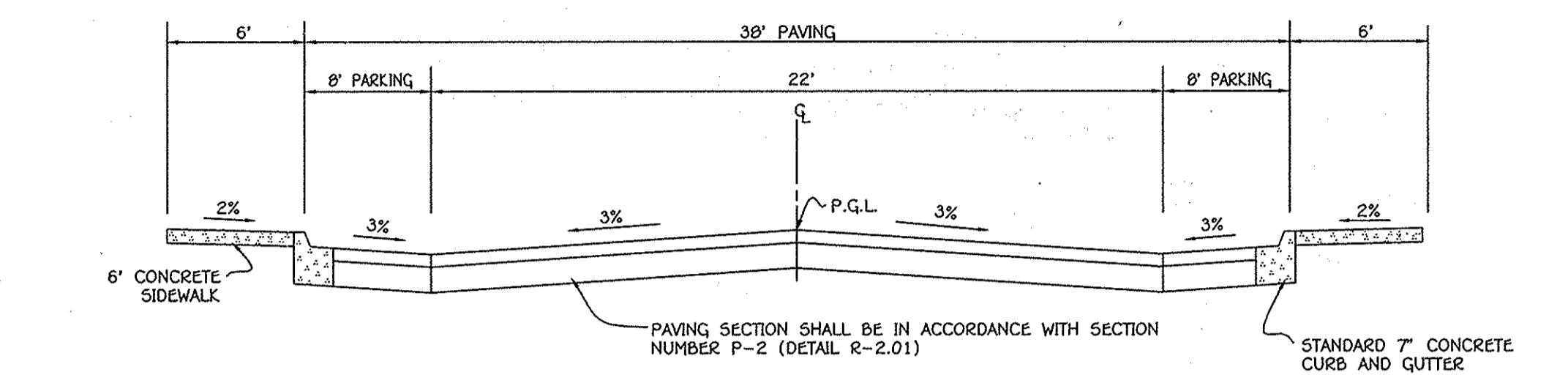
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22895 Thru 22899.)
Zone: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 5, 2014
Sheet 28 Of 38



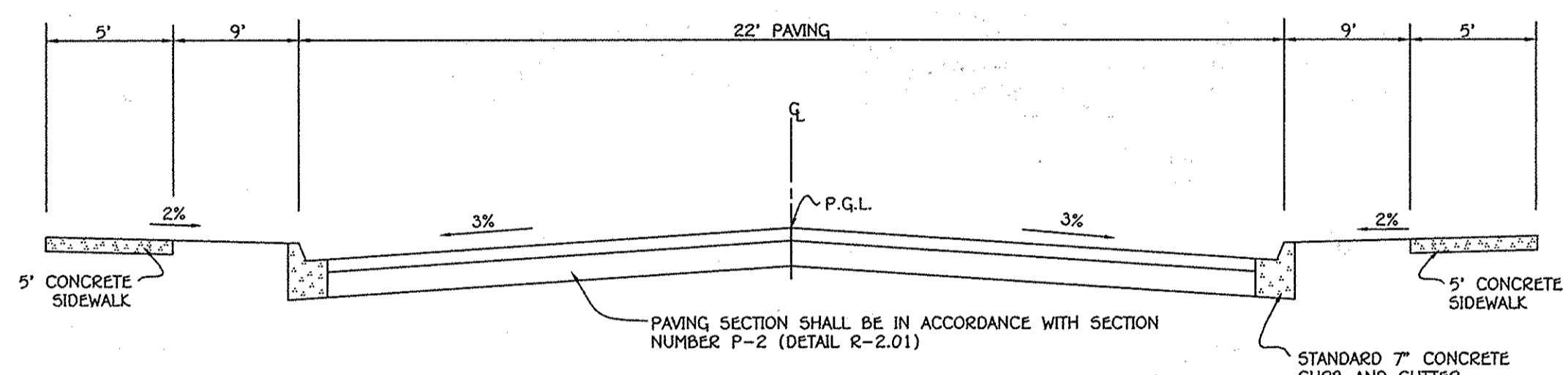
TYPICAL ROADWAY SECTION (SOUTHMOOR STREET)
NO SCALE

*STANDARD 7" CONCRETE CURB AND GUTTER & 8' PARKING IS FUTURE FOR ROAD 'D'



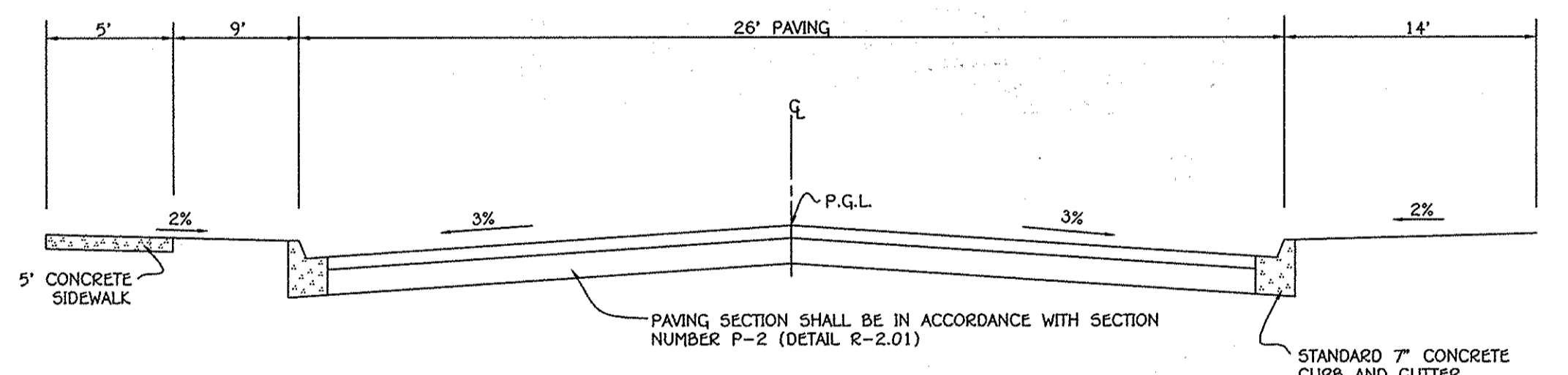
TYPICAL ROADWAY SECTION (DANVERS STREET)
NO SCALE

STANDARD 7" CONCRETE CURB AND GUTTER (REVERSE GUTTER SLOPE)



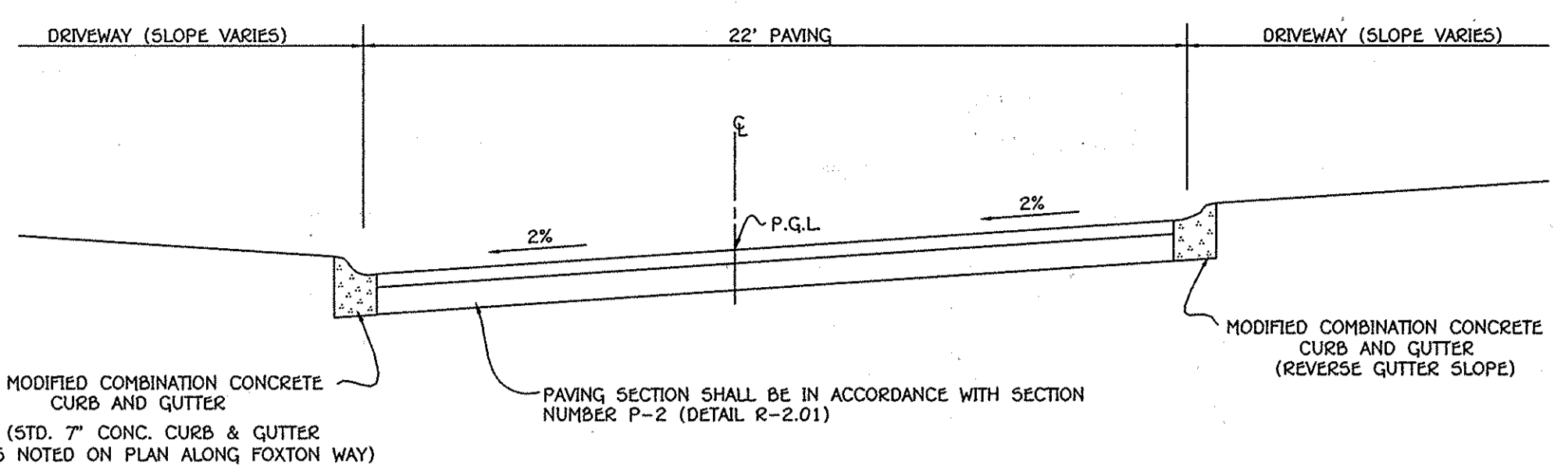
TYPICAL ROADWAY SECTION (DANVERS STREET)
NO SCALE

STANDARD 7" CONCRETE CURB AND GUTTER



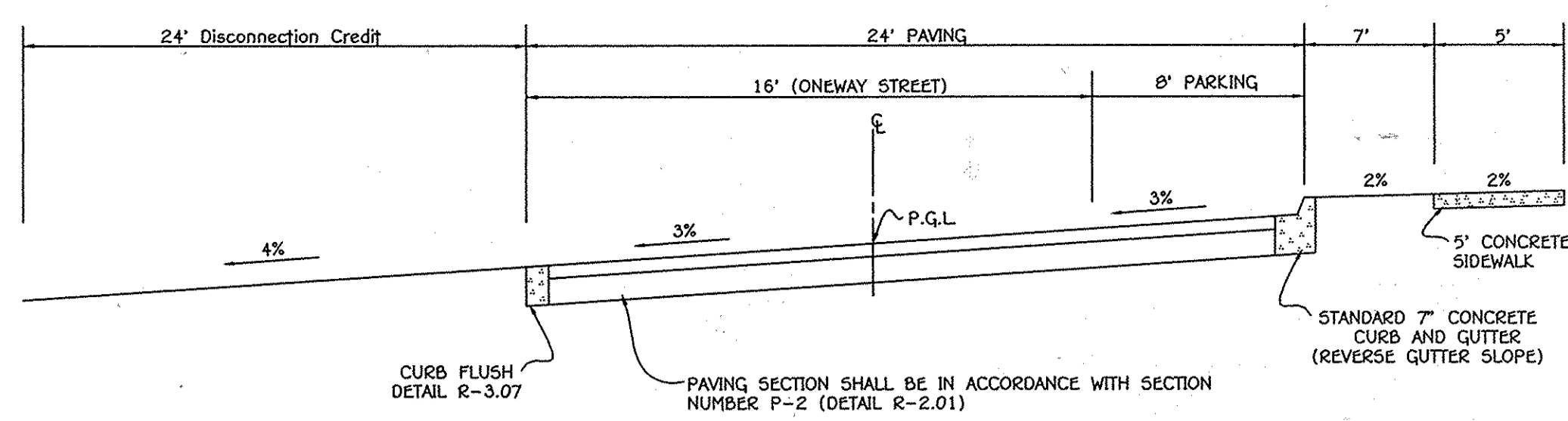
TYPICAL ROADWAY SECTION (HEADLEY STREET)
NO SCALE

STANDARD 7" CONCRETE CURB AND GUTTER



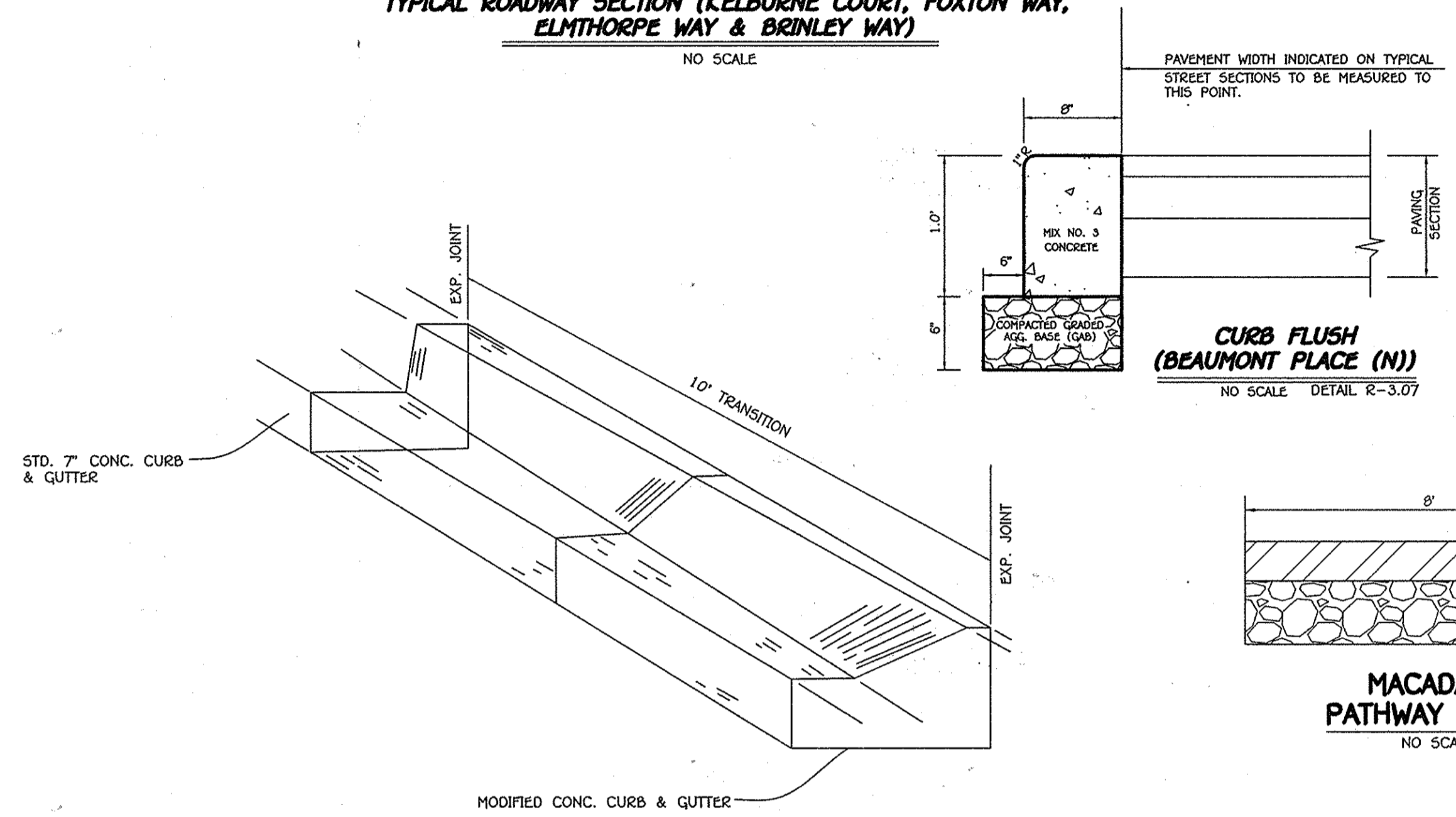
TYPICAL ROADWAY SECTION (KELBURNE COURT, FOXTON WAY, ELMTHORPE WAY & BRINLEY WAY)
NO SCALE

MODIFIED COMBINATION CONCRETE CURB AND GUTTER (STD. 7" CONC. CURB & GUTTER AS NOTED ON PLAN ALONG FOXTON WAY)

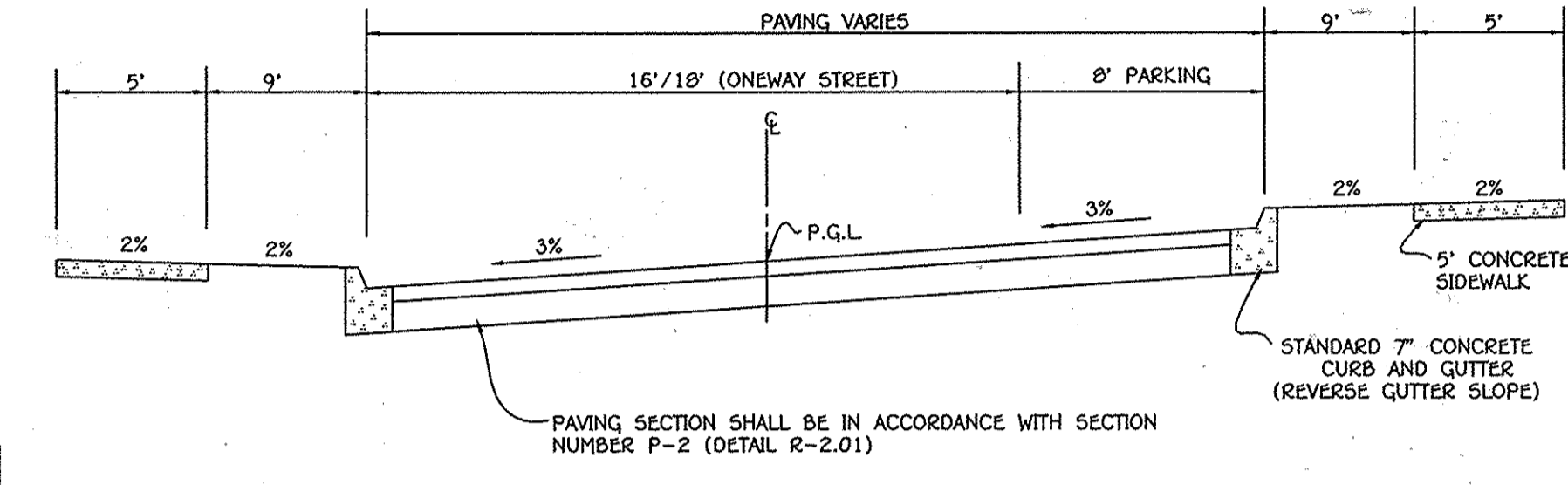


TYPICAL ROADWAY SECTION (BEAUMONT PLACE (N)) @ CENTRAL LAWN AREA (PARCEL T)
NO SCALE

CURB FLUSH (DETAIL R-3.07)

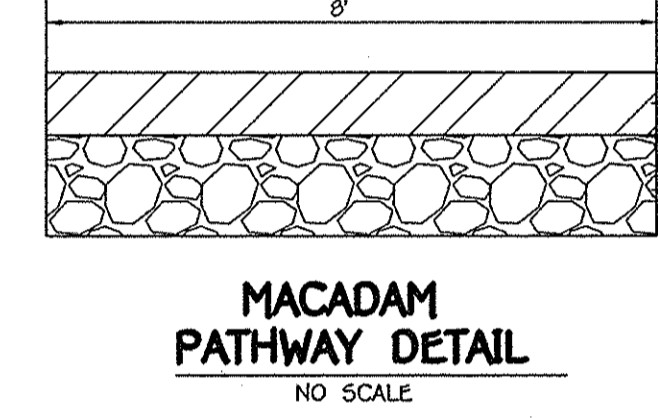


CURB FLUSH (BEAUMONT PLACE (N))
NO SCALE DETAIL R-3.07

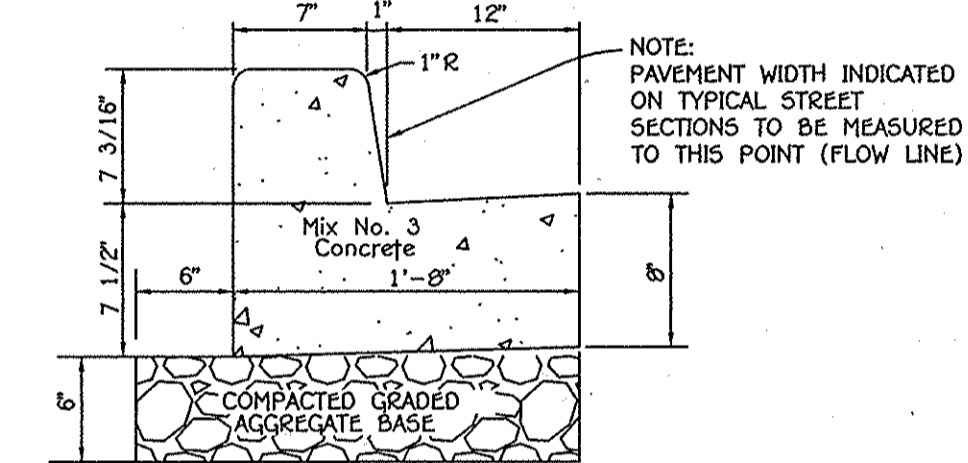


TYPICAL ROADWAY SECTION (DZINE COURT)
NO SCALE

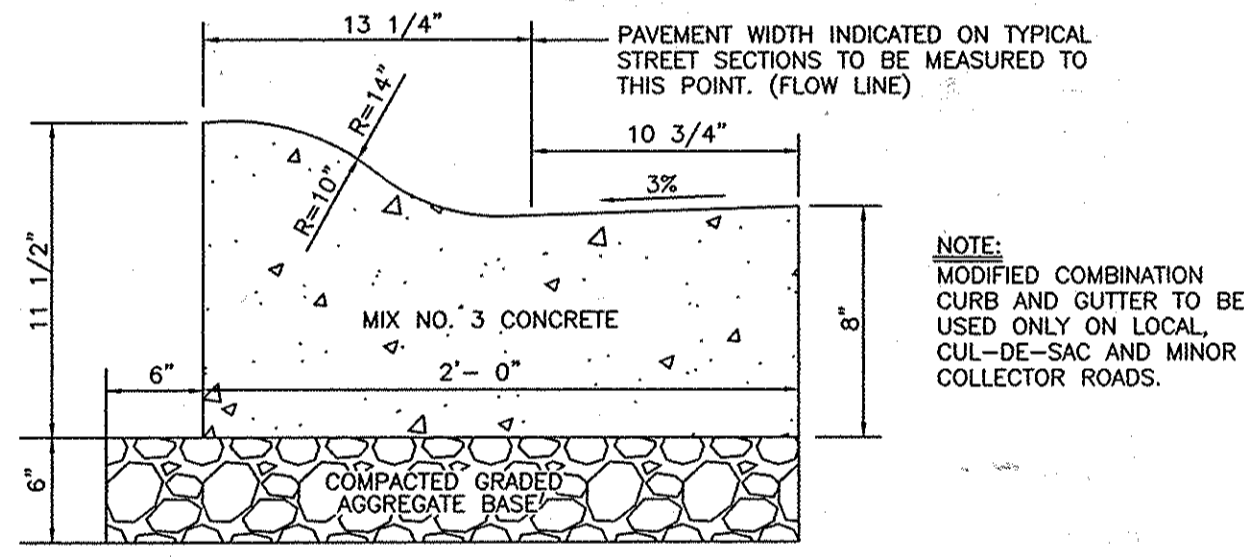
STANDARD 7" CONCRETE CURB AND GUTTER (REVERSE GUTTER SLOPE)



MACADAM PATHWAY DETAIL
NO SCALE



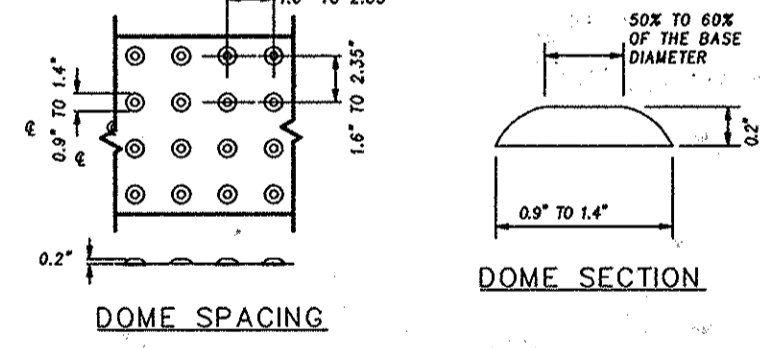
STD. 7" CONCRETE CURB AND GUTTER
NO SCALE DETAIL R-3.01



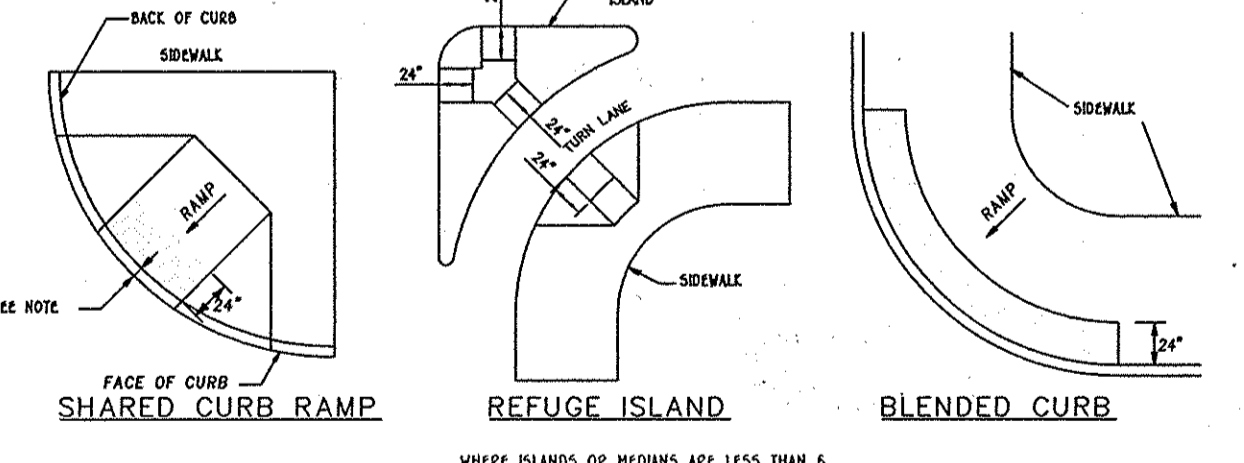
MODIFIED COMBINATION CURB AND GUTTER
NO SCALE DETAIL R-3.01

NOTE: MODIFIED COMBINATION CURB AND GUTTER TO BE USED ONLY ON LOCAL, CUL-DE-SAC AND MINOR COLLECTOR ROADS.

(MATT DETAILS OR OPTIONAL 12"x12" TILE TECH PAVERS(RED))



PLACEMENT GUIDELINES



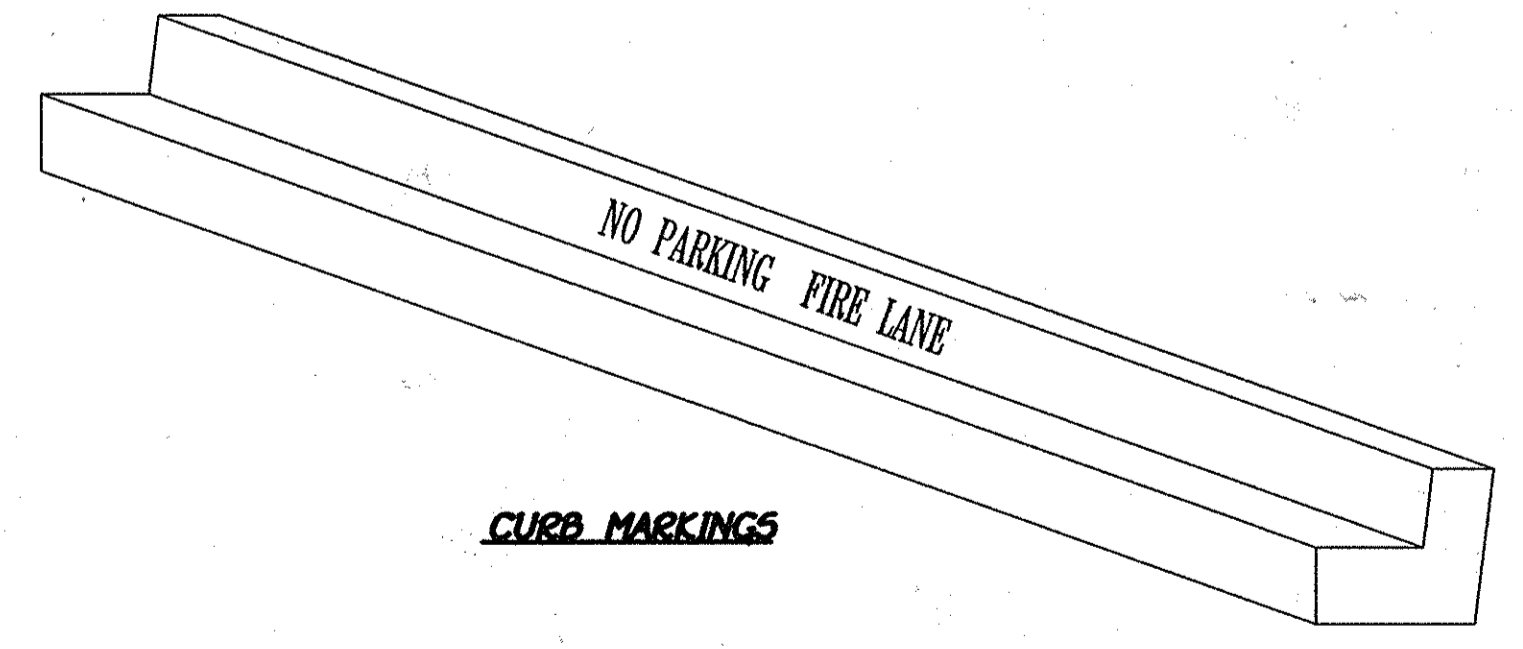
NOTES

1. THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 TO 8 INCHES FROM THE FACE OF CURBS.
2. FOR SKEWED APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOMES CLOSEST TO THE BACK OF CURBS ARE NO LESS THAN 0.5' AND NO MORE THAN 3.0' FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
3. DETECTABLE WARNING SURFACE SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
4. DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSINGS & SIGNALIZED INTERSECTIONS.

DETECTABLE WARNING SURFACE GUIDELINES
STD. DETAIL NO. 695-40



NO PARKING FIRE LANE SIGN



CURB MARKINGS

NOTE: FIRE LANE CURB MARKINGS ARE FOR PRIVATE ROADS ONLY.

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)						
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7	
P-1	PARKING BAYS: RESIDENTIAL AND NON-RESIDENTIAL PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 2 HEAVY TRUCKS PER DAY	PAVEMENT MATERIAL (INCHES)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE N/A	N/A	N/A	N/A	N/A	N/A	N/A
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL) * GRADED AGGREGATE BASE (GAB)	2.0	2.0	2.0	3.5	3.0	2.5
P-2	PARKING DRIVE ASILES: RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY LOCAL ROADS: ACCESS PLACE, ACCESS STREET CUL-DE-SACS: RESIDENTIAL	PAVEMENT MATERIAL (INCHES)		MIN HMA WITH GAB		HMA WITH CONSTANT GAB		
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL) * GRADED AGGREGATE BASE (GAB)	2.0	2.0	2.0	3.5	2.0	2.0
		8.0	4.0	3.0	4.0	4.0	4.0	

*GAB NOTE: IN ACCORDANCE WITH THIS PROJECTS GREEN NEIGHBORHOOD SITE PROGRAM, THE GRADED AGGREGATE BASE CAN INCLUDE RECYCLED CONCRETE STONE (RCS) THAT MEETS HOWARD COUNTY CRITERIA.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2899

NO.	REVISION	DATE

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winocapin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston • Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael J. Fisher
Chief, Division of Land Development 7/23/14 Date

Joseph Fortino
Chief, Development Engineering Division 6-25-14 Date

Michael J. Fisher
Director - Department of Planning and Zoning 7-23-14 Date

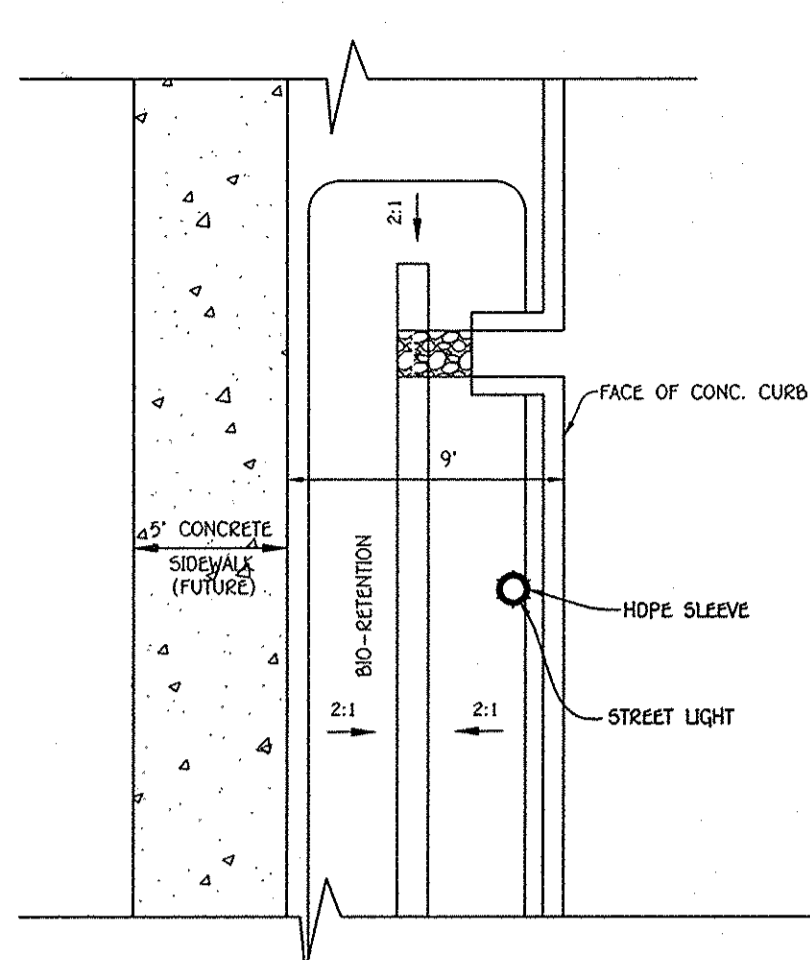
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	38	1st.	601101

ROADWAY DETAILS

OXFORD SQUARE
"A Howard County Green Neighborhood"

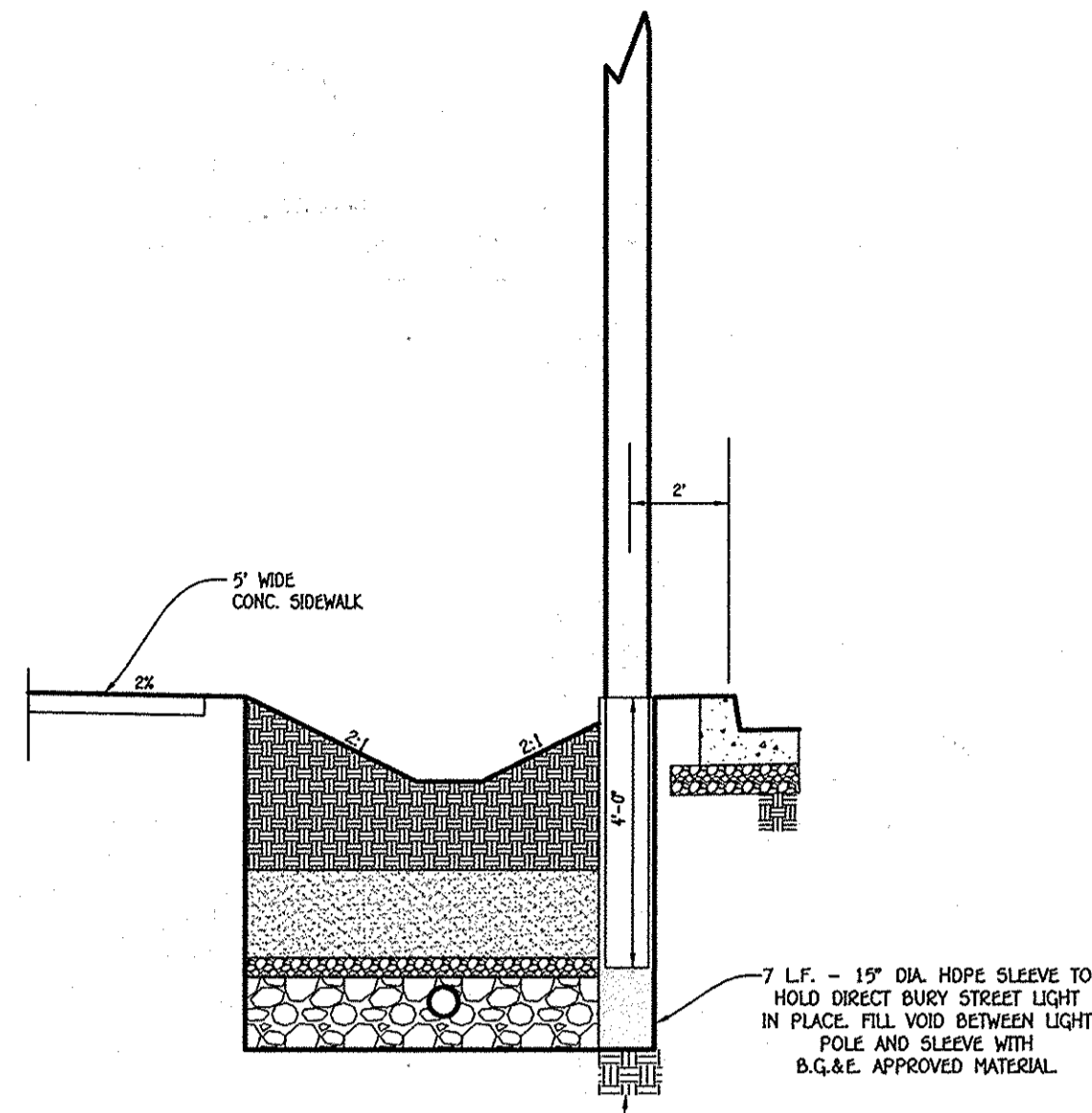
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22858 Thru 22889.)
Zoned: TOD

Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 29 Of 38



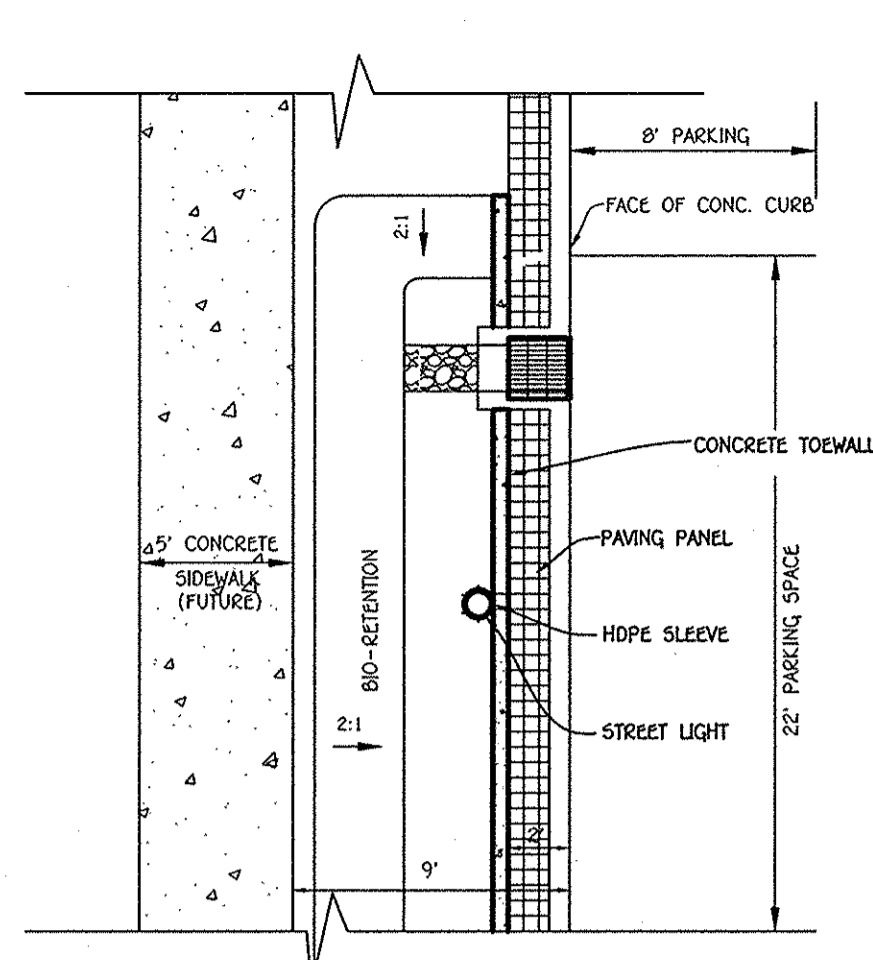
TYPICAL STREET LIGHT LOCATION WITHIN BIO-RETENTION CELL ALONG ROADWAY (NO PARKING)

NO SCALE



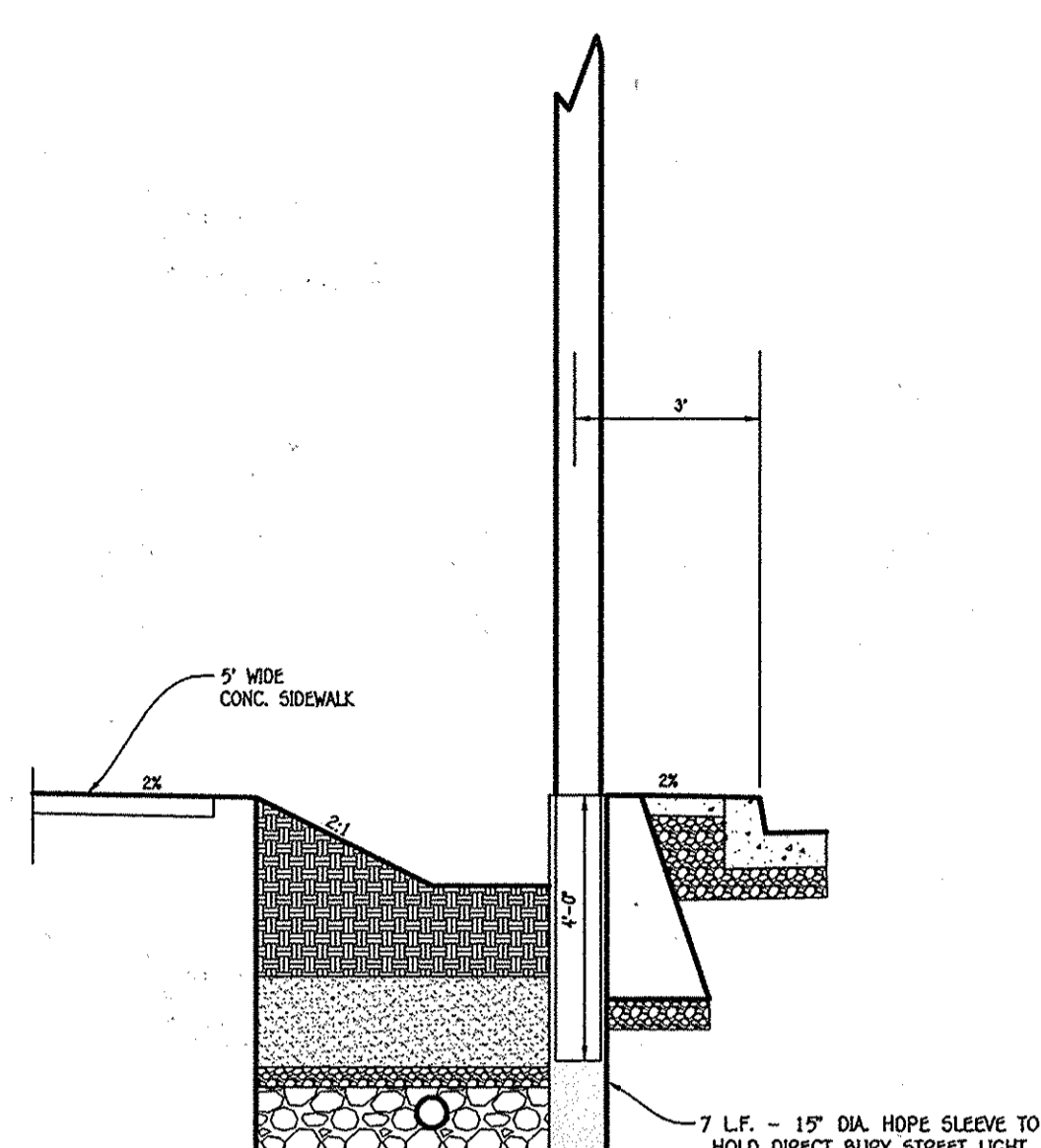
TYPICAL STREET LIGHT LOCATION WITHIN BIO-RETENTION CELL ALONG ROADWAY (NO PARKING)

NO SCALE



TYPICAL STREET LIGHT LOCATION WITHIN BIO-RETENTION CELL ALONG PARKING

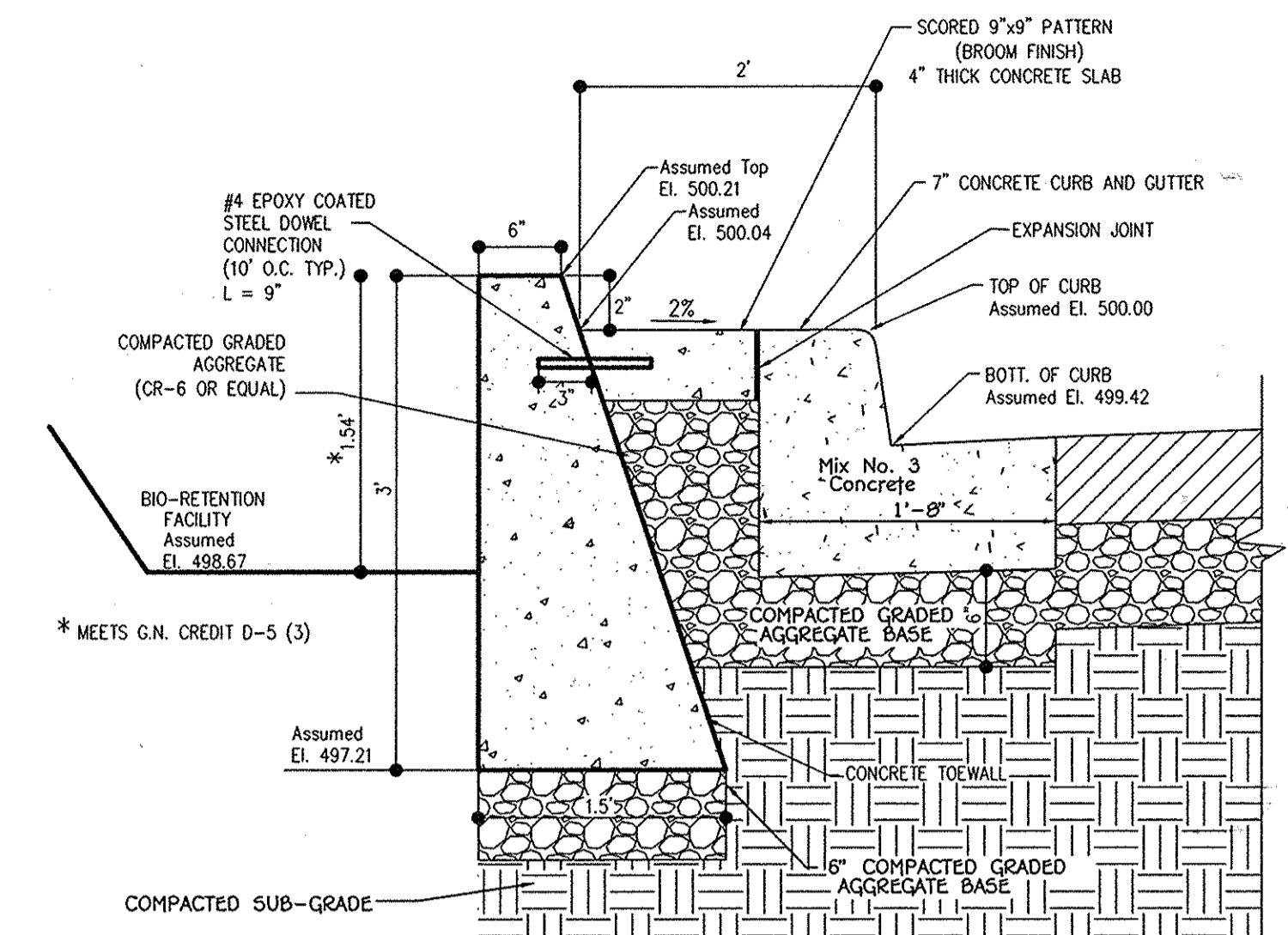
NO SCALE



TYPICAL STREET LIGHT LOCATION WITHIN BIO-RETENTION CELL ALONG PARKING

NO SCALE

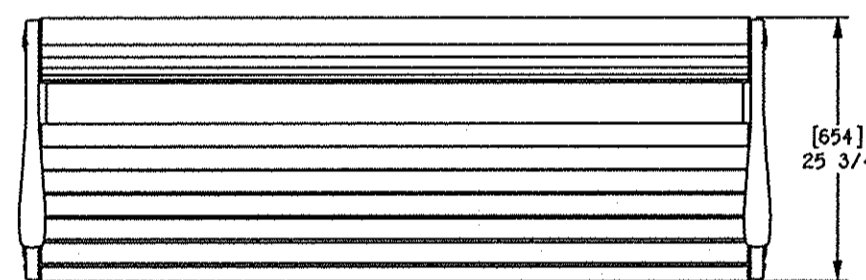
- NOTES:
1. CONCRETE SHALL BE SHA MIX. NO. 6.
 2. CHAMFER EDGES 1/2" x 1/2".
 3. REINFORCING SHALL BE NO. 4 BARS @ 6" O.C. IN CENTER.



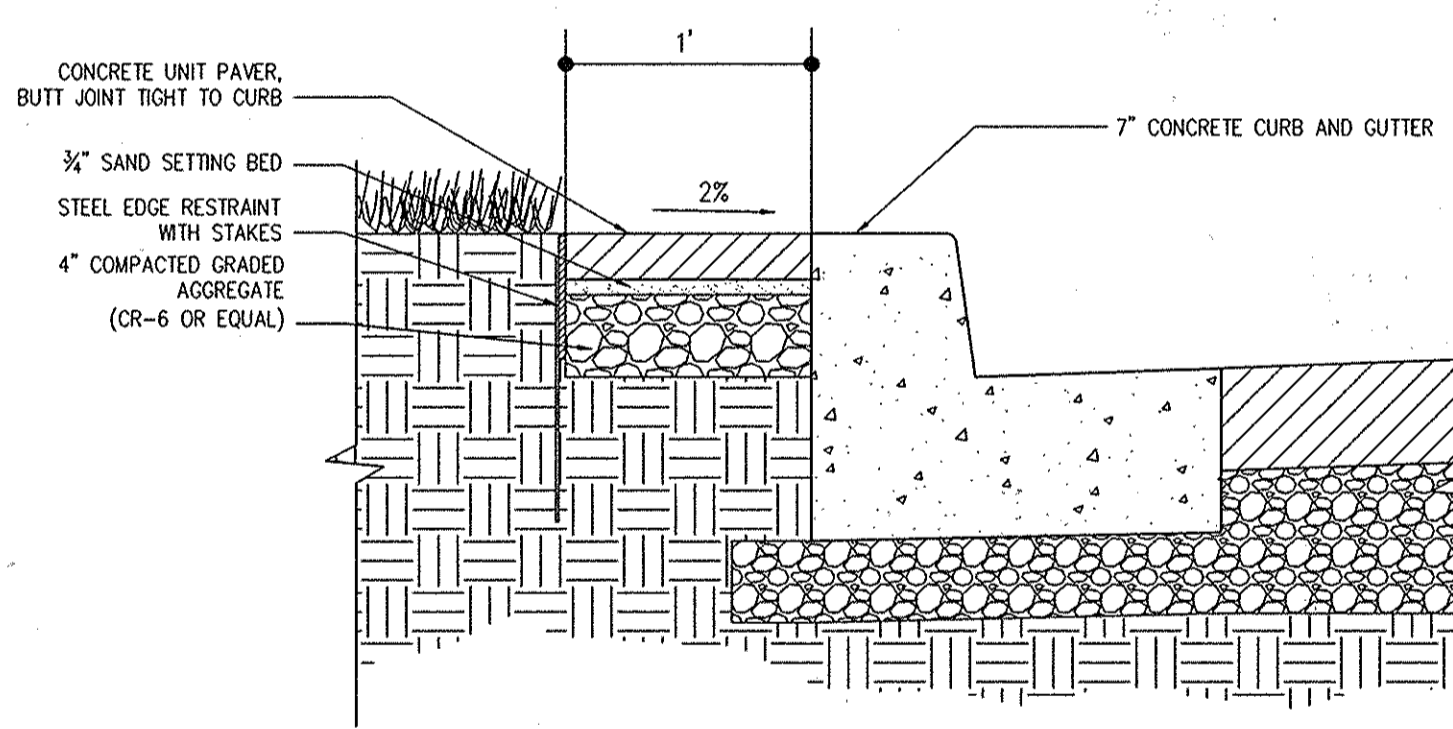
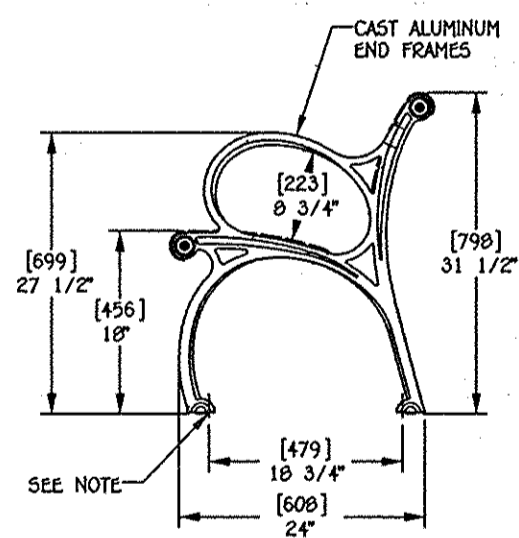
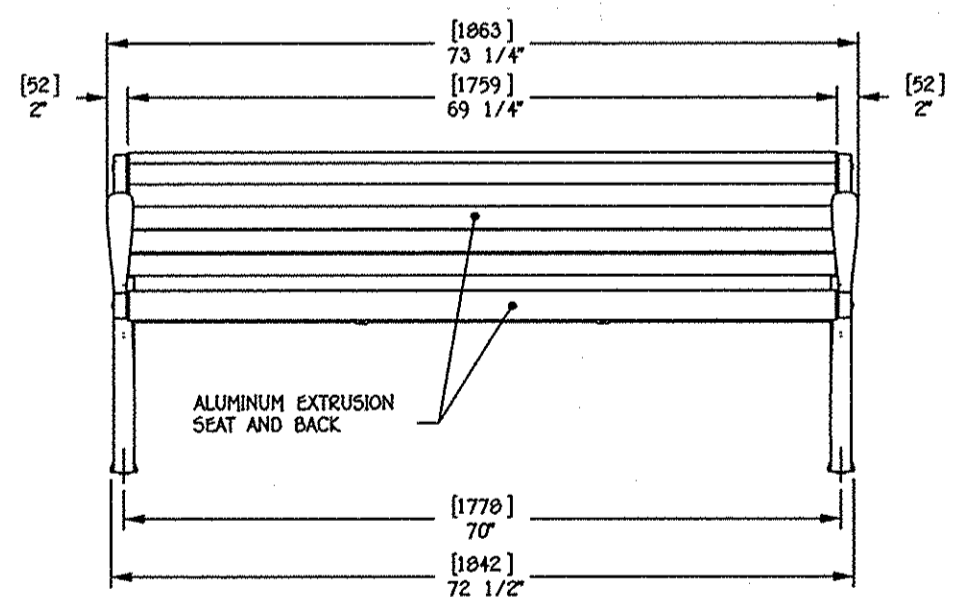
18\"/>

NOT TO SCALE

Plainwell™ Product Drawing **landscapeforms®**
 Bench, 72" Length, with Aluminum Seat, Freestanding / Surface Mount www.landscapeforms.com Ph: 800.521.2546



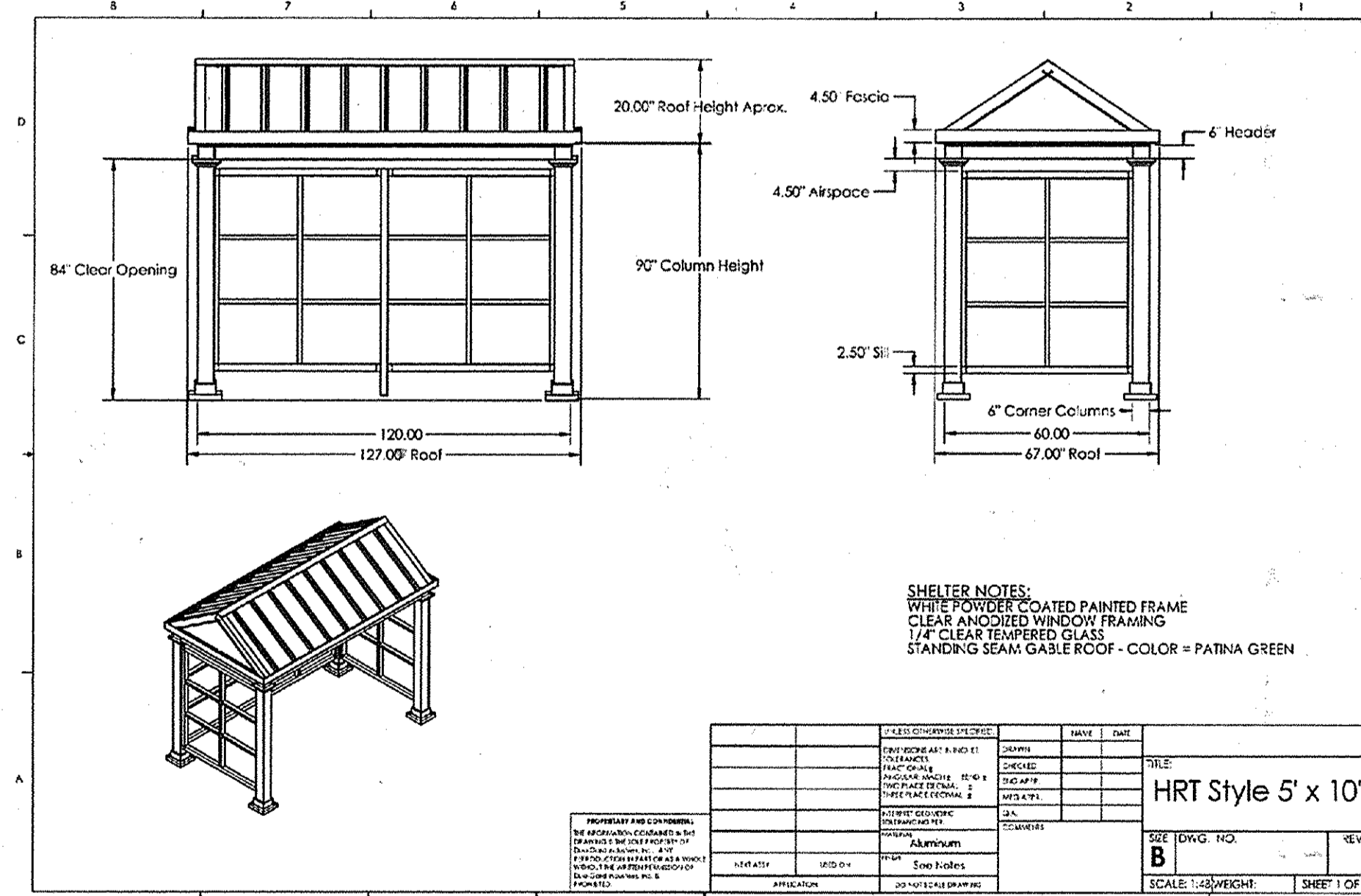
NOTE:
 FREESTANDING OR SURFACE MOUNT
 OPTIONS. CORROSION-RESISTANT
 ANCHORING HARDWARE SUPPLIED BY
 OTHERS. Ø13/32" HOLES WITH COUNTERBORE
 PROVIDED FOR SOCKET HEAD CAP SCREWS.



1' PAVER STRIP AT SAINT MARGARETS BOULEVARD

NOT TO SCALE

(IN ACCORDANCE WITH THE ROUTE 1 DESIGN MANUAL CRITERIA)



SHELTER NOTES:
 WHEN POSITIVE LOCATED PAINTED FRAME
 CLEAR ANCHORED WINDOW FRAMING
 1/4\"/>

DATE	BY	CHKD	DATE

SCALE: 1/8\"/>

Drawing: PL271-01
 Date: 4/9/2010
 Dimensions are in Inches (mm)
 U.S. Patent No. 0419,341

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BENCH DETAIL
 NO SCALE

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2022



Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Winconsin Circle
 Suite 300
 Columbia, Maryland 21044
 Ph# 410-423-0460

Developer
 Preston • Scheffacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Keith Schaefer
 Chief, Division of Land Development
 Date: 7-23-14

David E. ...
 Chief, Development Engineering Division
 Date: 6-25-14

Richard ...
 Director - Department of Planning and Zoning
 Date: 7-23-14

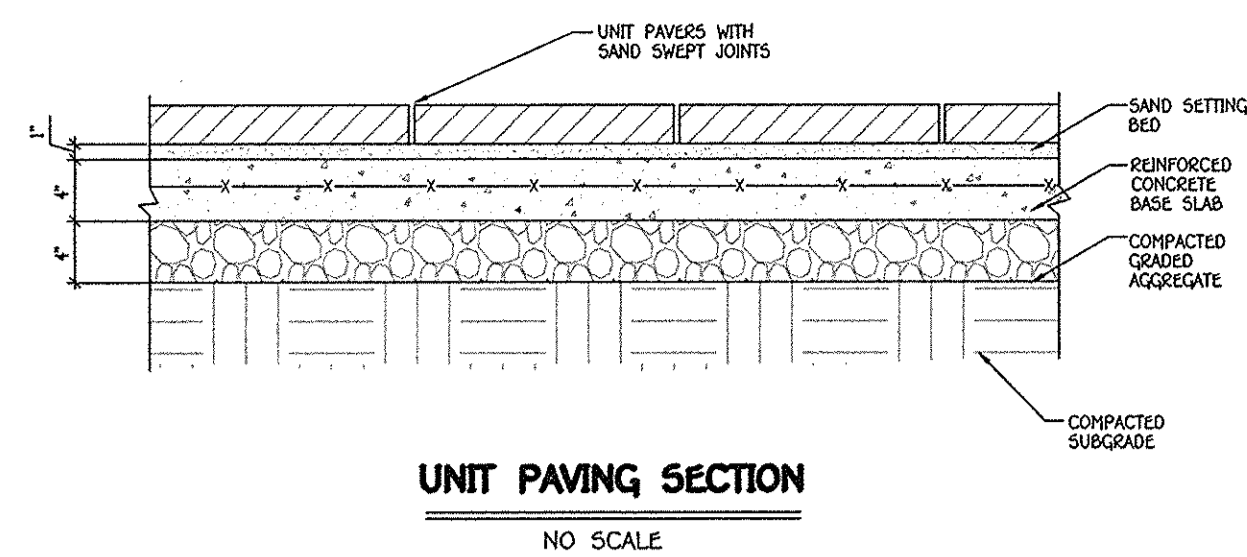
SUBDIVISION	SECTION/AREA	LOT Nos.			
OXFORD SQUARE	---	3 THRU 103			
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22898-22898	---	TOD	30	1st.	601101

ROADWAY DETAILS

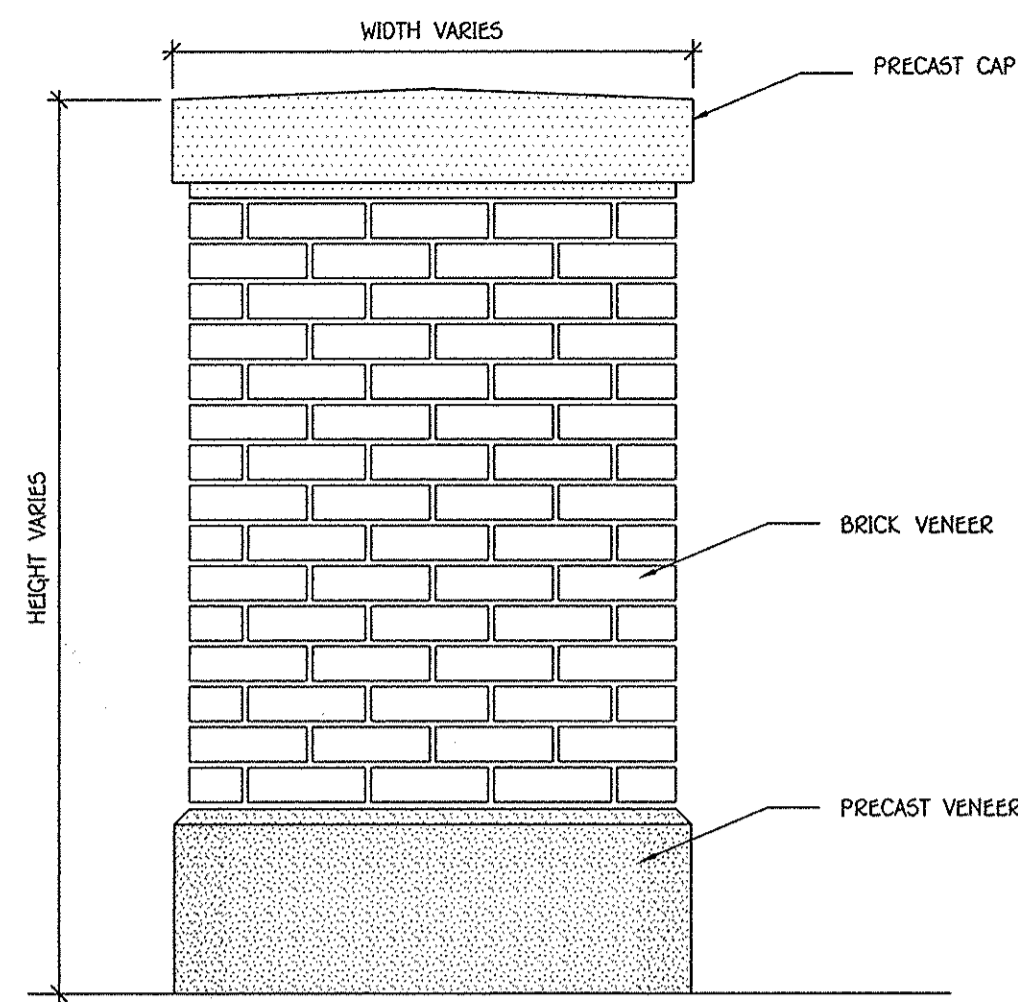
OXFORD SQUARE

"A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'P' And 'J', As Shown On Plats Entitled "Revision Plat,
 Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded
 Among The Land Records Of Howard County, Maryland As Plat Nos. 22855, Thru 22859.)
 Zoned: TOD

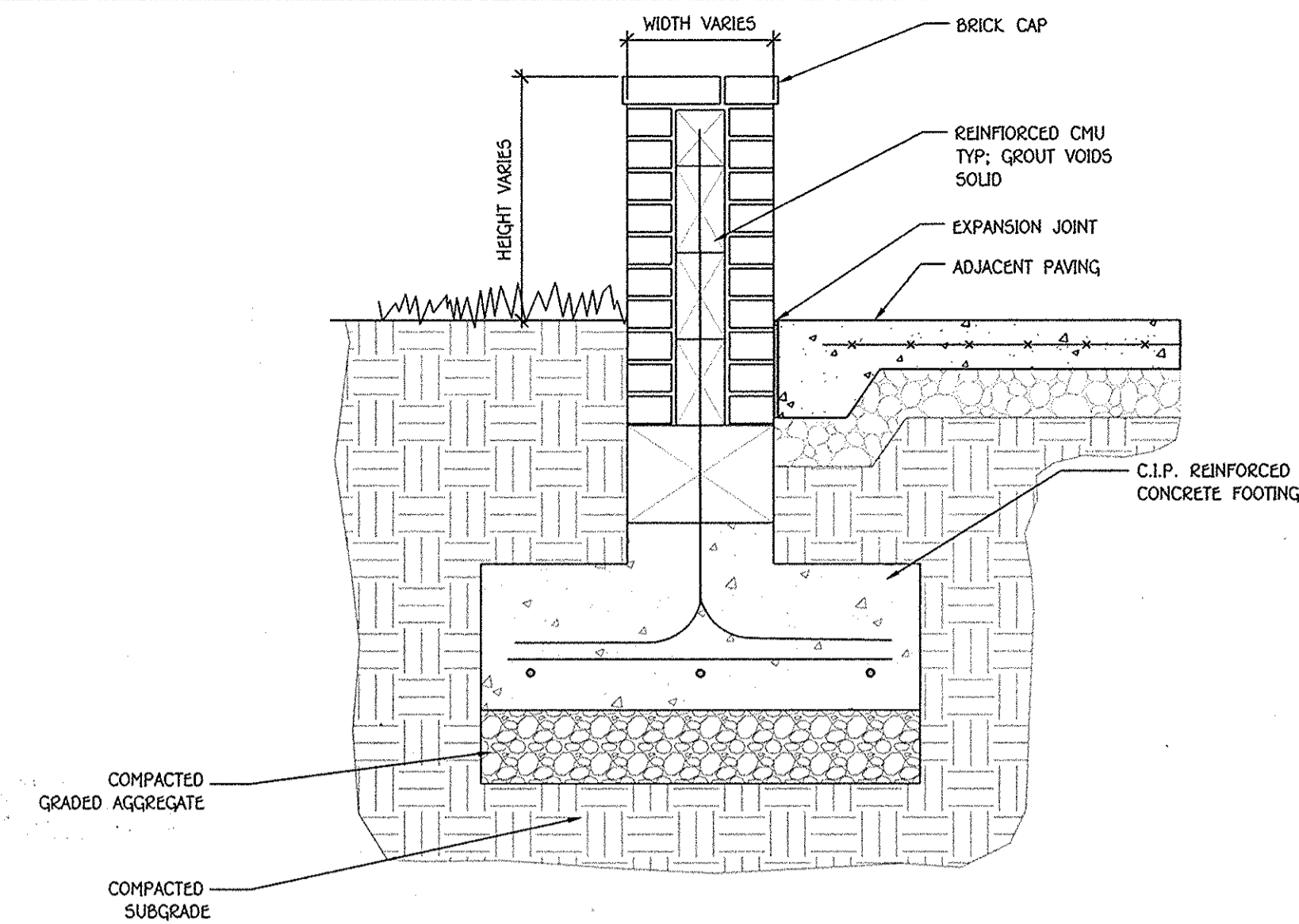
Tax Map No.: 30 Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 30 Of 30



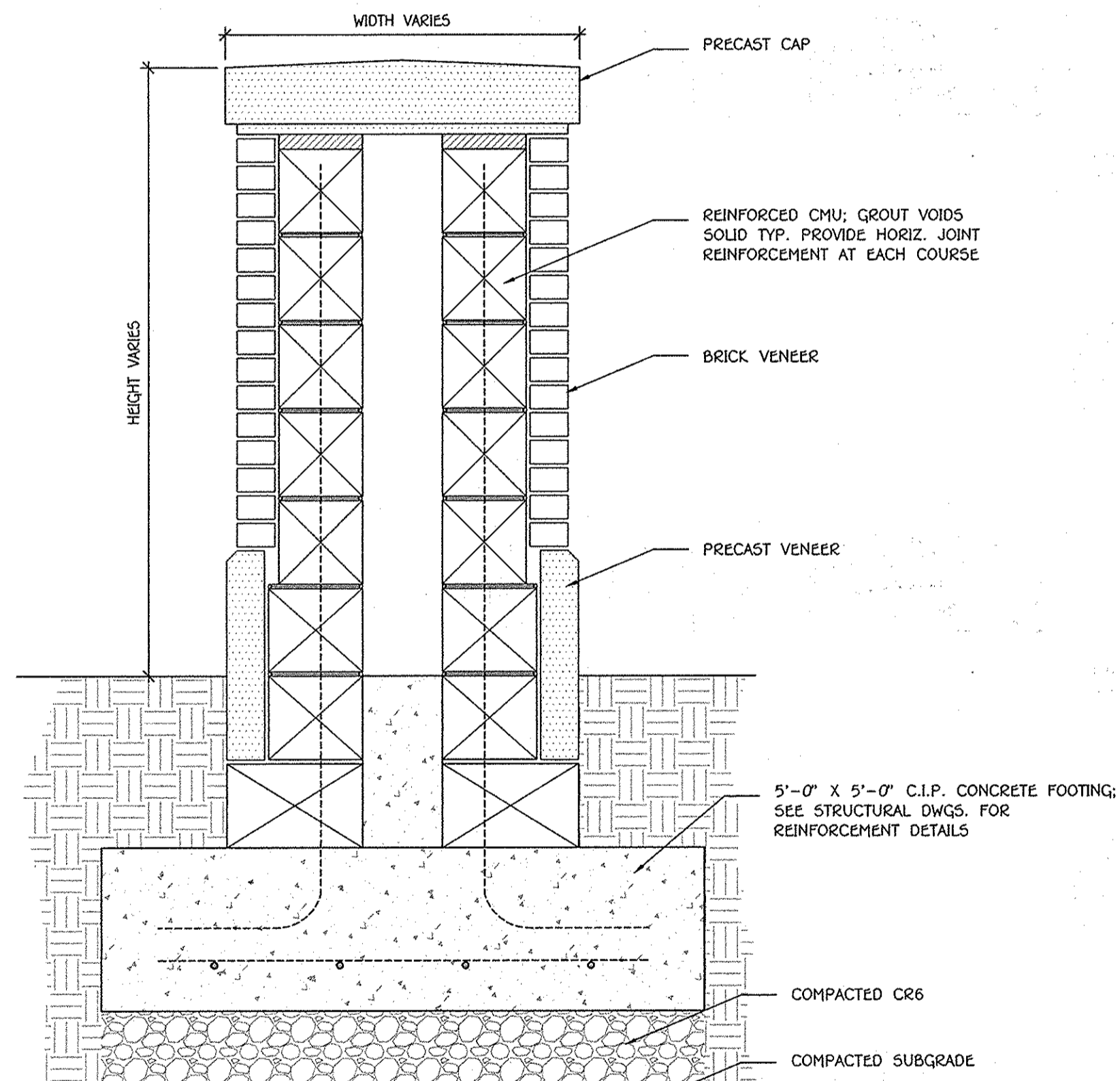
UNIT PAVING SECTION
NO SCALE



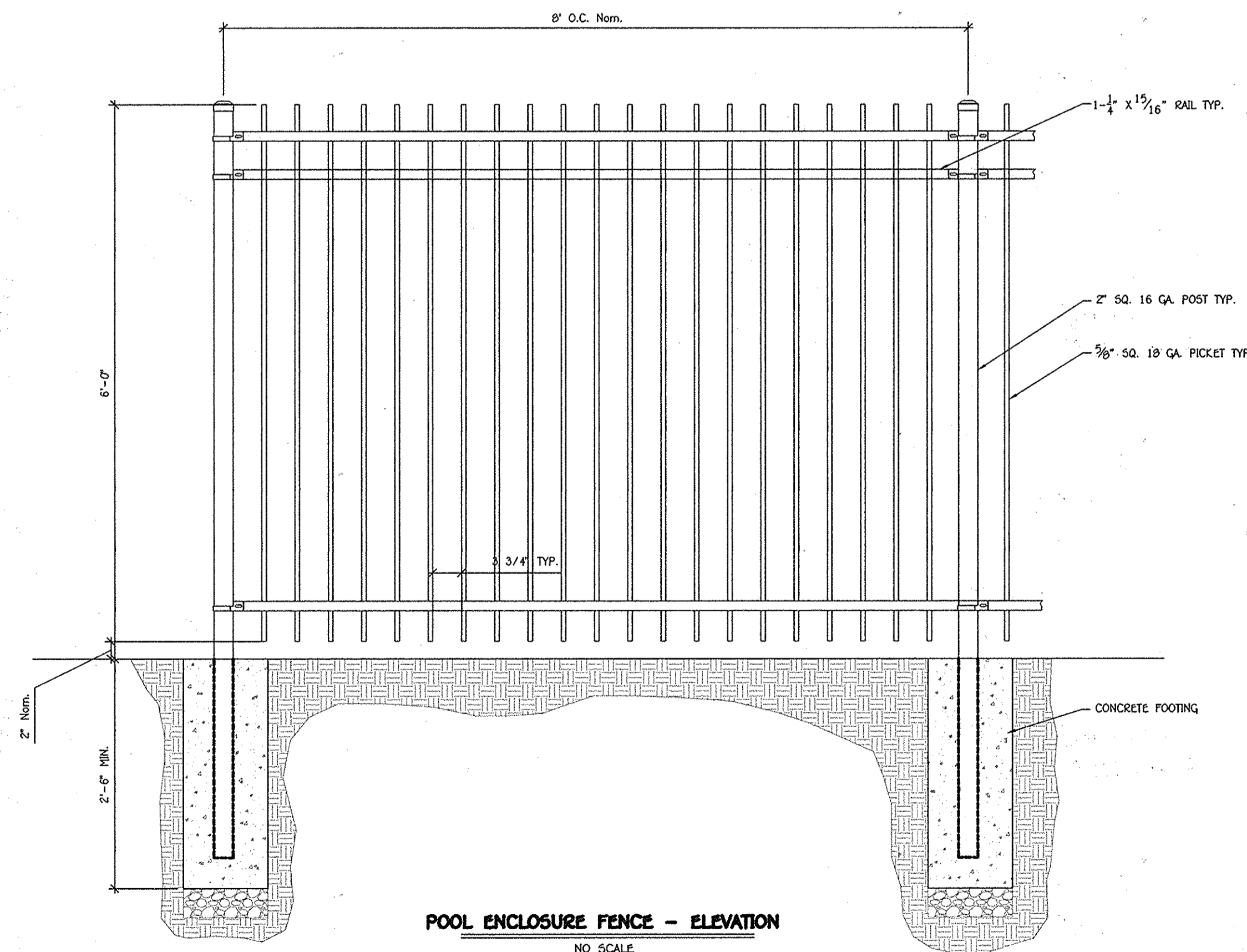
BRICK PIER - TYPICAL SECTION
NO SCALE



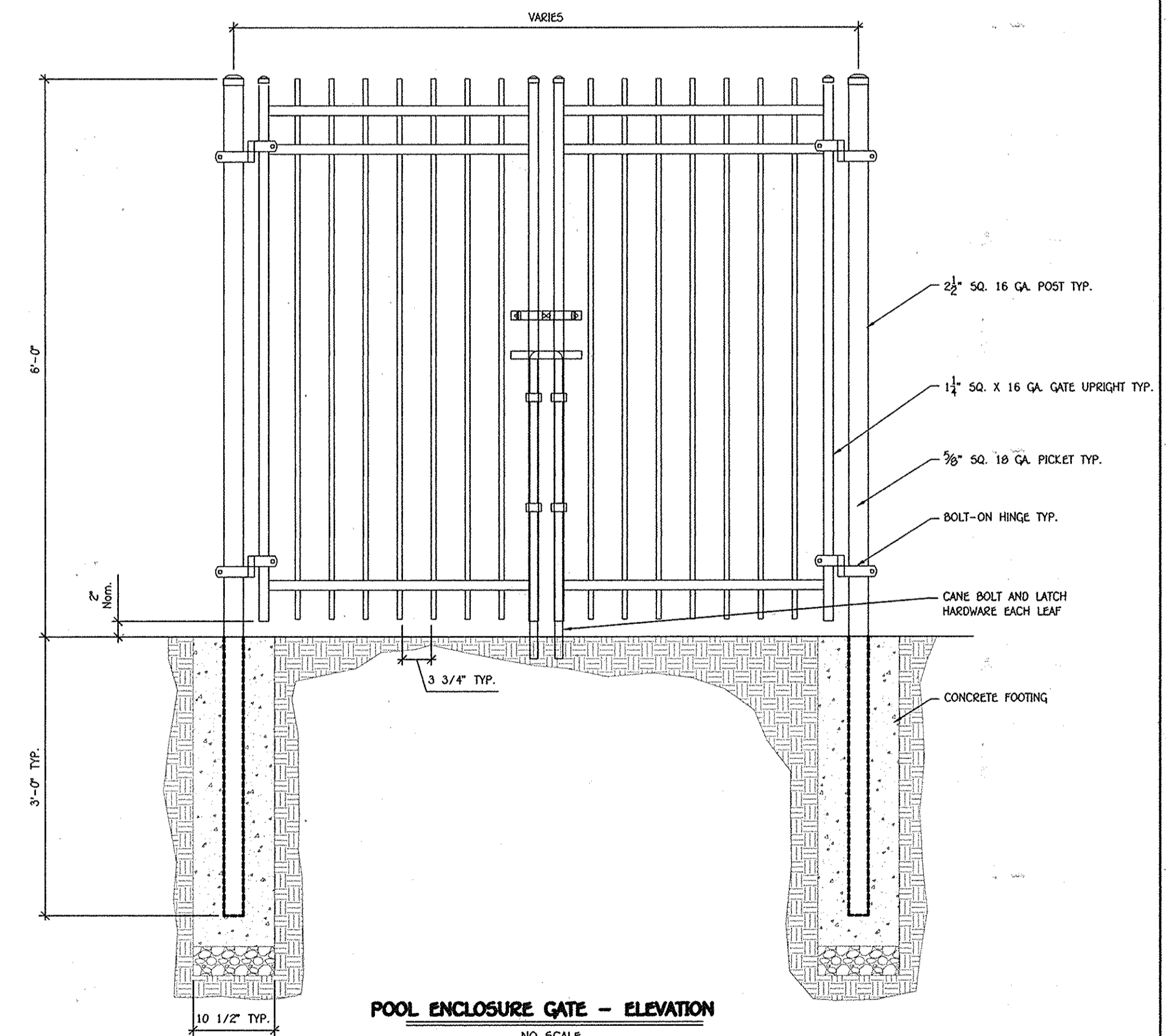
SITE WALL - TYPICAL SECTION
NO SCALE



BRICK PIER - TYPICAL SECTION
NO SCALE



POOL ENCLOSURE FENCE - ELEVATION
NO SCALE



POOL ENCLOSURE GATE - ELEVATION
NO SCALE

DETAILS ARE CLEANED UP VERSIONS OF MONTAGE RAIL AND GATE DETAILS OBTAINED FROM AMERISTAR FENCE'S WEBSITE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2000



Owner/Builder
U.S. Home Corporation,
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Ph: 410-423-0460

Developer
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Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

West Blaine
Chief, Division of Land Development

7/23/14
Date

Michael Land
Chief, Development Engineering Division

6-25-14
Date

Joseph Forlino
Director - Department of Planning and Zoning

7-23-14
Date

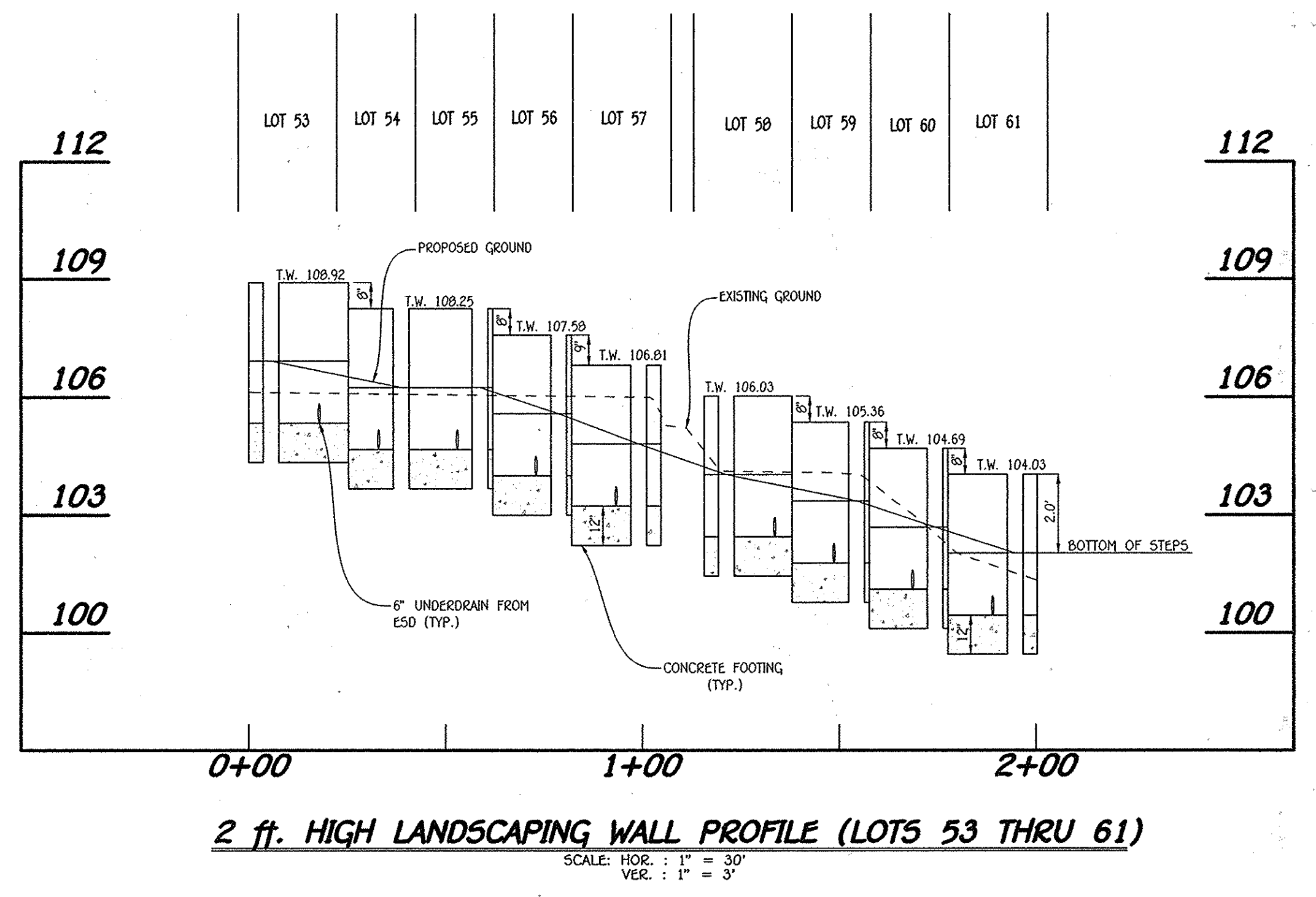
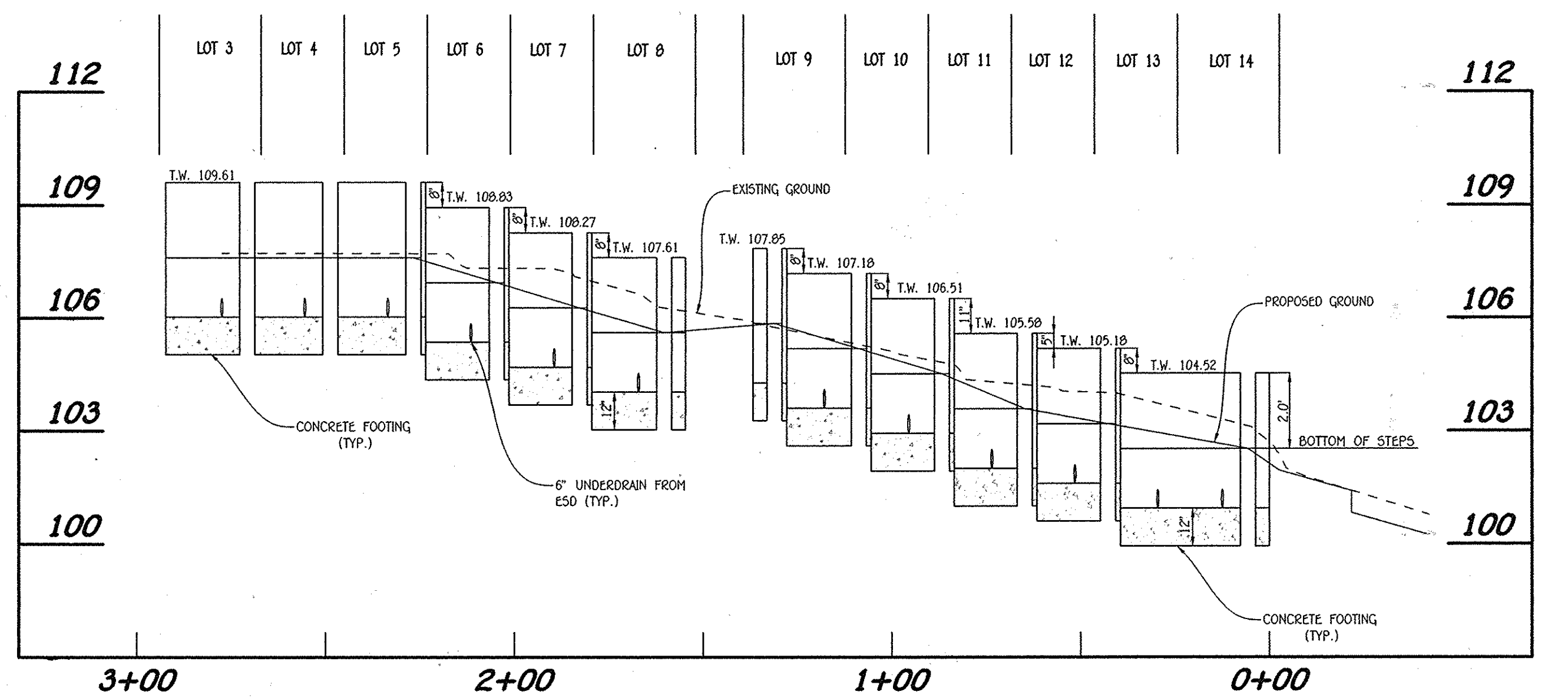
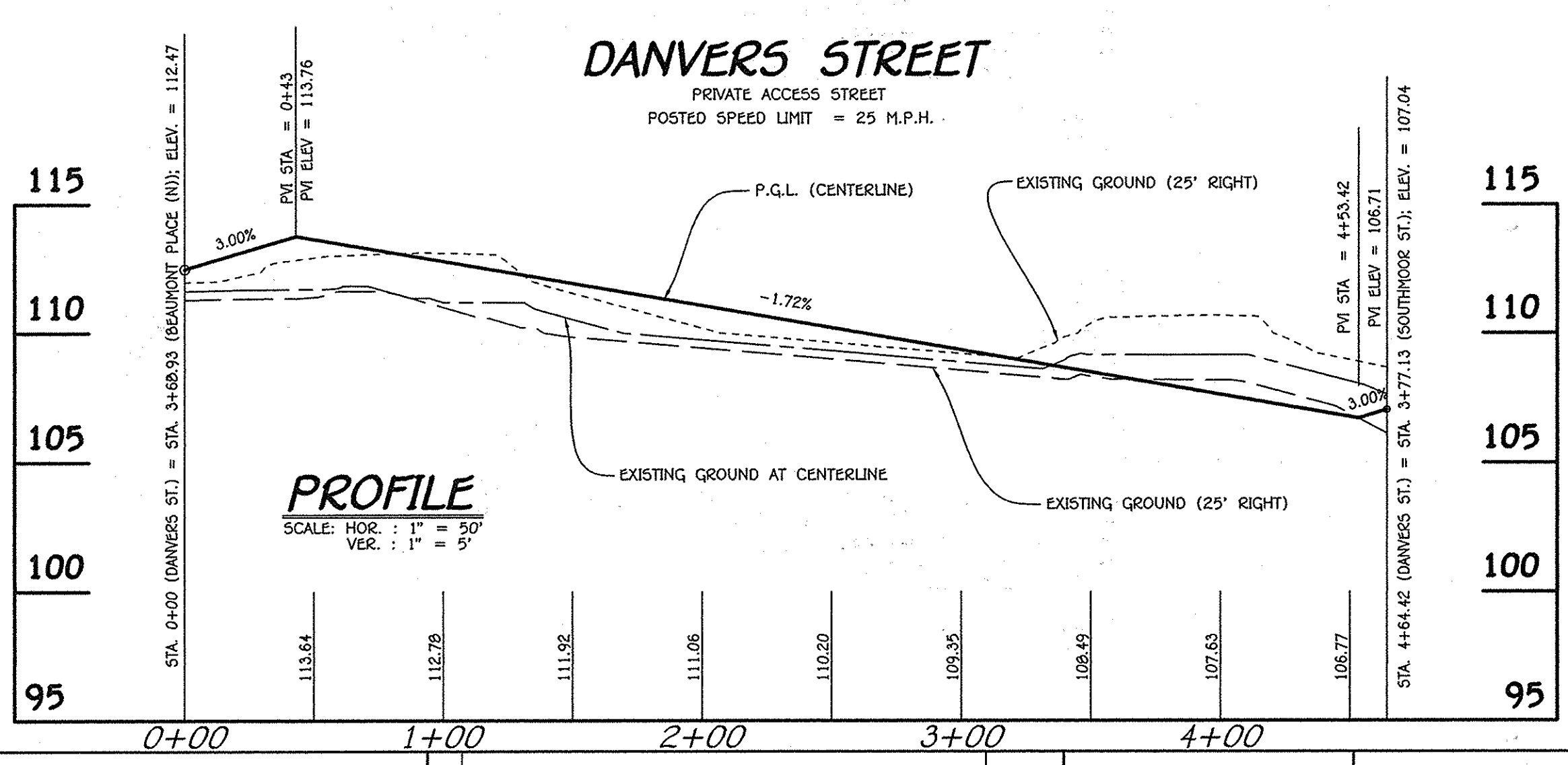
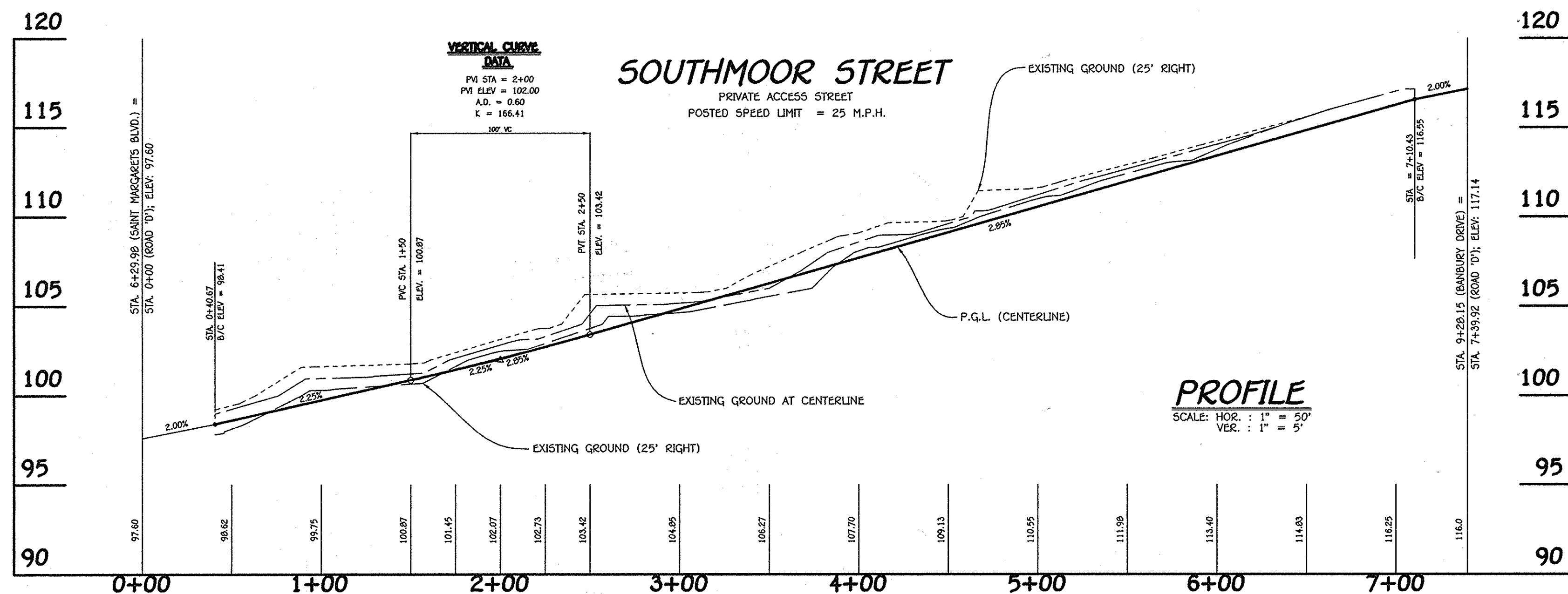
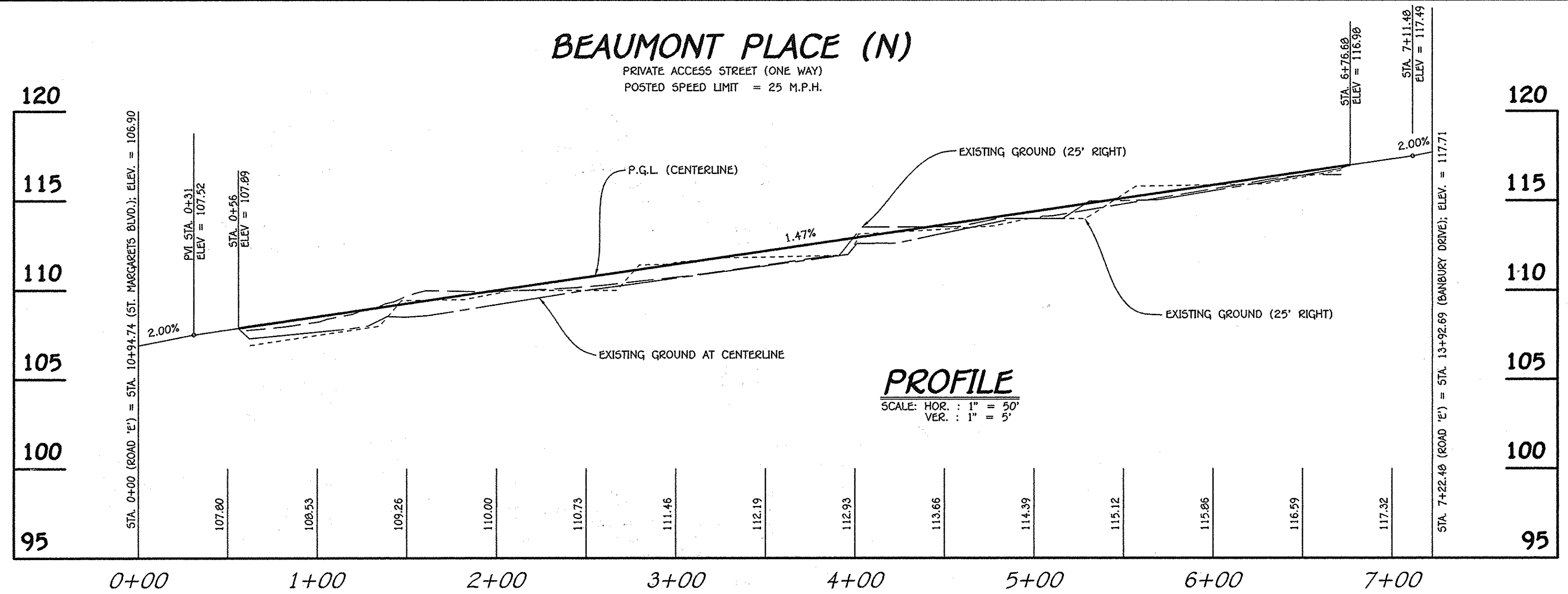
SUBDIVISION		SECTION/AREA		LOT Nos.	
OXFORD SQUARE		---		3 THRU 103	
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

SITE DETAILS

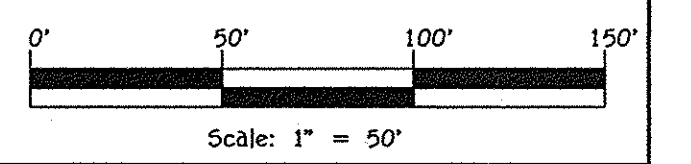
OXFORD SQUARE

"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22855, Thru 22859.)
Zone: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 31 Of 38



NOTE: SEE SHEET 16 FOR WALL PLAN VIEWS.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELLSWORTH CITY, MARYLAND 21042
(410) 461-2292

6-10-14

NO.	REVISION	DATE

<p>Owner/Builder</p> <p>U.S. Home Corporation, D/B/A Lennar c/o Joseph Fortino, Vice President 10211 Winconin Circle Suite 300 Columbia, Maryland 21044 Ph# 410-423-0460</p>	<p>Developer</p> <p>Preston - Scheffenacker Properties 2330 West Joppa Road, Suite 160 Lutherville, Maryland 21093-4614 Ph# 410-296-8800</p>
---	---

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 Chief, Division of Land Development Date: 7-23-14	 Chief, Development Engineering Division Date: 6-25-14
 Director - Department of Planning and Zoning Date: 7-23-14	

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
30	1st	601101

ROAD & WALL PROFILES

OXFORD SQUARE

"A Howard County Green Neighborhood"

Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'

(Being A Resubdivision Of Parcels 'N' And 'O', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22858, Thru 22859.)

Zoned: TOD

Tax Map No.: 30 Grid No.: 20 Parcel No.: 761
First Election District Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 32 Of 30

SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

- A. Soil Preparation**
1. Temporary Stabilization
a. Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment...
b. Apply fertilizer and lime as prescribed on the plans.
c. Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disk or other suitable means.
2. Permanent Stabilization
a. A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
i. Soil pH between 6.0 and 7.0.
ii. Soluble salts less than 500 parts per million (ppm).
iii. Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture...
b. Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
c. Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
d. Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
e. Mix soil amendments into the top 3 to 5 inches of soil by disk or other suitable means.
f. To smooth the surface, remove large objects like stones and branches, and ready the area for seed application.
g. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seeded preparation.
B. Topsoiling
1. Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation.
2. Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications.
3. Topsoiling is limited to areas having 2:1 or flatter slopes where:
a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
b. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
c. The original soil to be vegetated contains material toxic to plant growth.
d. The soil is so acidic that treatment with limestone is not feasible.
e. Areas having slopes steeper than 2:1 require special consideration and design.
5. Topsoil Specifications: Soil to be used as topsoil must meet the following criteria:
a. Topsoil must be a loam, sandy loam, clay loam, silt loam, silty loam, silty clay loam, or loamy sand.
b. Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
c. Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
6. Topsoil Application
a. Erosion and sediment control practices must be maintained when applying topsoil.
b. Uniformly distribute topsoil in a 5 to 6 inch layer and lightly compact to a minimum thickness of 4 inches.
c. Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition.

- C. Soil Amendments (Fertilizer and Lime Specifications)**
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more.
2. Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment.
3. Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 90 percent total oxides (calcium oxide plus magnesium oxide).
4. Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disk or other suitable means.
5. Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

TEMPORARY SEEDING NOTES (B-4-4)
Definition: To stabilize disturbed soils with vegetation for up to 6 months.
Purpose: To use fast growing vegetation that provides cover on disturbed soils.
Conditions Where Practice Applies: Exposed soils where ground cover is needed for a period of 6 months or less.
Criteria:
1. Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths.
2. For sites having soil tests performed, use and show the recommended rates by the testing agency.
3. When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3A.1.b and maintain until the next seeding season.
Table B.1: Temporary Seeding Summary
Hardness Zone (from Figure B.3): 6b
Seed Mixture (from Table B.1):
Species Application Rate (lb./ac) Seeding Dates Seeding Depth Lime Rate
BARLEY 96 3/1 - 5/15, 8/15 - 10/15 1" 436 lb./ac (2 lb./1000 sf) 2 tons/acre
OATS 72 3/1 - 5/15, 8/15 - 10/15 1" 1010 lb./acre (10 lb./1000 sf) 2 tons/acre
RYE 112 3/1 - 5/15, 8/15 - 10/15 1" 1010 lb./acre (10 lb./1000 sf) 2 tons/acre

PERMANENT SEEDING NOTES (B-4-5)
A. Seed Mixtures
1. General Use
a. Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2, enter selected mixtures, application rates, and seeding dates in the Permanent Seeding Summary.
b. Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
c. For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency.
d. For areas receiving low maintenance, apply urea form fertilizer (46-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
2. Turfgrass Mixtures
a. Areas where turfgrass may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
b. Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary.
i. Kentucky Bluegrass: Full Sun Mixture: For use in areas that receive intensive management.
ii. Kentucky Bluegrass/Perennial Rye: Full Sun Mixture: For use in full sun areas where rapid establishment is necessary.
iii. Tall Fescue/Kentucky Bluegrass: Full Sun Mixture: For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade.
iv. Kentucky Bluegrass/Fine Fescue: Shade Mixture: For use in areas with shade in Bluegrass lawns.
Notes: Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland."
Choose certified material. Certified material is the best guarantee of cultivar purity.
c. Ideal Times of Seeding for Turf Grass Mixtures Western MD: March 15 to June 1, August 1 to October 1; Eastern MD: March 1 to May 15, August 15 to October 15; Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15.
d. Till areas to receive seed by disk or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed.
e. If soil moisture is deficient, supply new seedlings with adequate water for plant growth.
Permanent Seeding Summary Table:
Hardness Zone (from Figure B.3): 6b
Fertilizer Rate (10-20-20): N, P2O5, K2O
Lime Rate
No. Species Application Rate (lb./ac) Seeding Dates Seeding Depth
1 TALL FESCUE 100 Mar. 1 - May 15, Aug. 1 - Oct. 15 1 1/4 - 1 1/2 in. 45 lb. per acre (10 lb./1000 sf) 90 lb./ac (2 lb./1000 sf) 90 lb./ac (2 lb./1000 sf) 2 tons/acre

ENGINEER'S CERTIFICATE
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: John R. Robertson, Director SCD, 6/17/14
Date: 6-10-14
DEVELOPER'S CERTIFICATE
I/we certify that all development and construction will be done according to this plan for sediment and erosion control...
Signature: David H. Johnson, Date: 6/10/14
FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 KATHOLEN NATIONAL PARK ELLIOTT CITY, MARYLAND 21042 (410) 461-2055

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMITS. (2 WEEKS)
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION DIVISION AT 410-313-1870 AT LEAST 24 HOURS BEFORE STARTING ANY WORK. IN ADDITION, NOTIFY AT&T PRIOR TO ANY ACTIVITY WITHIN THESE AREAS.
- INSTALL STABILIZED CONSTRUCTION ENTRANCE, SILT/SUPER-SILT FENCE AND TREE PROTECTION WHERE SHOWN ON THE PLANS. CLEAR AND GRUB WHERE NECESSARY FOR ROADWAY CONSTRUCTION. (1 WEEK)
- THE MAIN PERIMETER SEDIMENT CONTROL MEASURES ARE TO BE PROVIDED BY EXISTING SEDIMENT BASIN NO. 1, 2 AND 4 (OXFORD SQUARE, PHASE ONE, F-12-026 AND F-13-95)
- UTILIZE THE CLEAN WATER DIVERSION DICE AND TEMPORARY CLEAN WATER STORM DRAIN PIPE FROM I-37 TO 5-3. INSTALL REMAINING PERIMETER SEDIMENT CONTROL MEASURE AS SHOWN AND INSECT/KEEPER EXISTING EARTH DIKES (F-12-26 AND F-13-95) AS NECESSARY. (1 WEEK)
- UTILIZE EXISTING EARTH DICE ALONG SOUTHERN BOUNDARY THAT SERVES EX. BASIN NO. 1 (F-12-026) UNTIL AREA IS BROUGHT UP TO GRADE AND STABILIZED.
- STABILIZE ALL DISTURBED AREAS WITH TEMPORARY SEEDING. CONTACT THE COUNTY SEDIMENT EROSION CONTROL INSPECTOR BEFORE PROCEEDING. (2 DAYS)
- GRADE SITE TO MASS GRADING CONTOURS AND GRADE ALL PRIVATE ROADWAYS TO SUB BASE.
- STABILIZE ALL DISTURBANCE WITH TEMPORARY SEEDING. RECEIVE PERMISSION TO CONTINUE FROM THE EROSION AND SEDIMENT CONTROL INSPECTOR. (2 DAYS)
- INSTALL PROPOSED STORM DRAIN INCLUDING CONNECTIONS TO EACH OF THE SWM FACILITIES, WATER LINE AND SEWER LINE CONSTRUCTION FOR ALL PRIVATE ROADWAYS. (4 WEEKS)
- ONCE STORM DRAINS ARE INSTALLED, PLACE ROADWAY SUB-BASE WITHIN ALL PRIVATE ROADWAYS. PAVE ROADWAYS UP TO THE INTERMEDIATE SURFACE LAYER WITHIN THE P-2 PAVING SECTION. SEE R-2.01 OF THE HOWARD COUNTY DESIGN MANUAL VOLUME IV. THE CONSTRUCTION OF THE FILTER MEDIA, UNDERDRAIN AND PLANTING FOR EACH BIO-RETENTION CELL SHALL BE DELAYED UNTIL THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED. (15 DAYS)
- INSTALL ANY REMAINING STORM DRAIN EDO INLETS, WATER LINE AND SEWER LINE PER PLAN FOR TOWNHOUSES LOCATED NORTH OF SAINT MARGARETS BLVD. AND SOUTH OF BANBURY DRIVE. THE CONSTRUCTION OF THE FILTER MEDIA, UNDERDRAIN AND PLANTING FOR EACH BIO-RETENTION CELL SHALL BE DELAYED UNTIL THE CONTRIBUTING DRAINAGE AREA IS PERMANENTLY STABILIZED. (6 WEEKS)
- BEGIN TOWNHOUSE ON LOTS 3 THRU 103 WITH THE EXCEPTION OF LOTS 36-41. (8 MONTHS)
- FOLLOWING TOWNHOUSE CONSTRUCTION, INSTALL SURFACE COURSE OF PAVING FOR ALL PRIVATE ROADWAYS. (7 DAYS)
- ONCE ALL THE AREAS AROUND THE OUTSIDE OF THE TOWNHOUSES IS STABILIZED, INSTALL THE PROPOSED SWM EDO DEVICES WITHIN THE PROPOSED TOWNHOUSE AREAS. REMOVE ANY ASSOCIATED SILT FENCE, ONCE ALL AREAS ARE STABILIZED. (3 WEEKS)
- STABILIZE ALL REMAINING DISTURBED AREAS THAT ARE LOCATED ONSITE WITH PERMANENT SEEDING. INSTALL THE PROPOSED MICRO BIO-RETENTION FACILITIES INCLUDING THE FILTER MEDIA AND UNDERDRAINS LOCATED OUTSIDE THE PROPOSED PRIVATE ROADWAY AREAS. (3 WEEKS)
- PROVIDE PERMANENT SEEDING TO ANY DISTURBED AREAS ONSITE AND STABILIZE THE ENTIRE SITE. (3 DAYS)
- WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR START REMOVING ANY SEDIMENT CONTROL FEATURES NOT REQUIRED TO REMAIN FOR FUTURE SITE PLAN PHASES AND STABILIZE THE AREAS WITH PERMANENT SEEDING. (1 WEEK)
- NOTE: CONTRACTOR SHALL PUMP THE SEDIMENT TRAPS/BASINS COMPLETELY DRY THROUGH A FILTERING DEVICE TO A CLEAN WATER OUTFALL WITHIN 24 HOURS FOLLOWING ANY RAINFALL EVENT. HOWEVER, THE CONTRACTOR SHALL REPLACE ANY TREES IMPACTED BY THE BREACHING AND WETLAND/STREAM RESTORATION EFFORTS.
- THE CONTRACTOR SHALL COORDINATE WITH THE INSPECTOR IN REGARDS TO THE REQUIREMENT THAT NO MORE THAN 20-ACRES OF "OPEN" GROUND SHALL BE DISTURBED AT ANY GIVEN TIME. THIS MAY BE ACCOMPLISHED BY GRADING ONE PARCEL AT A TIME, IF REQUIRED.
- NOTE: CONTRACTOR SHALL CLEAN AND RESTORE THE RECEIVING PONDS OF ANY AND ALL SEDIMENT, TO THEIR ORIGINALLY DESIGNED GRADE.

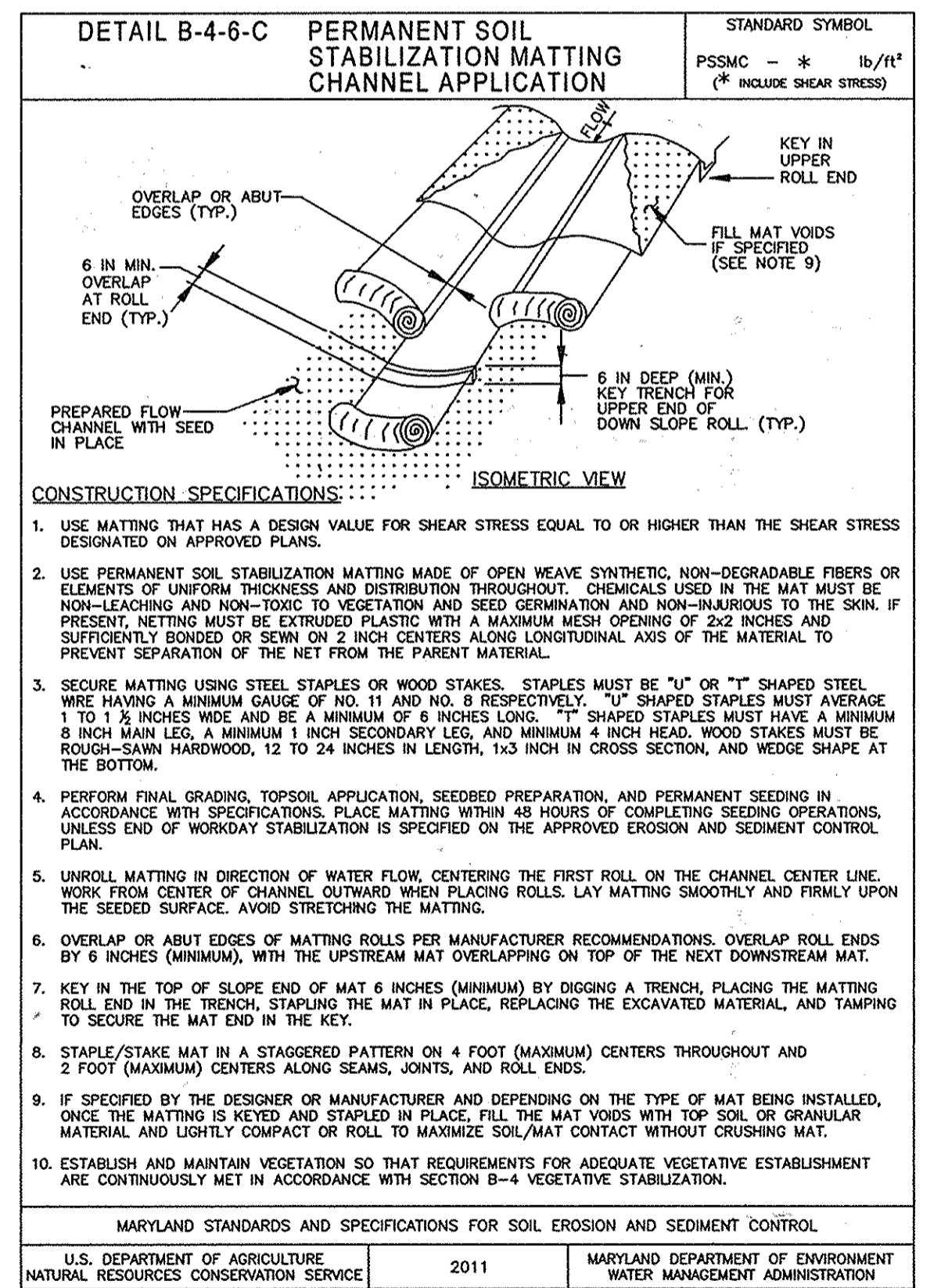
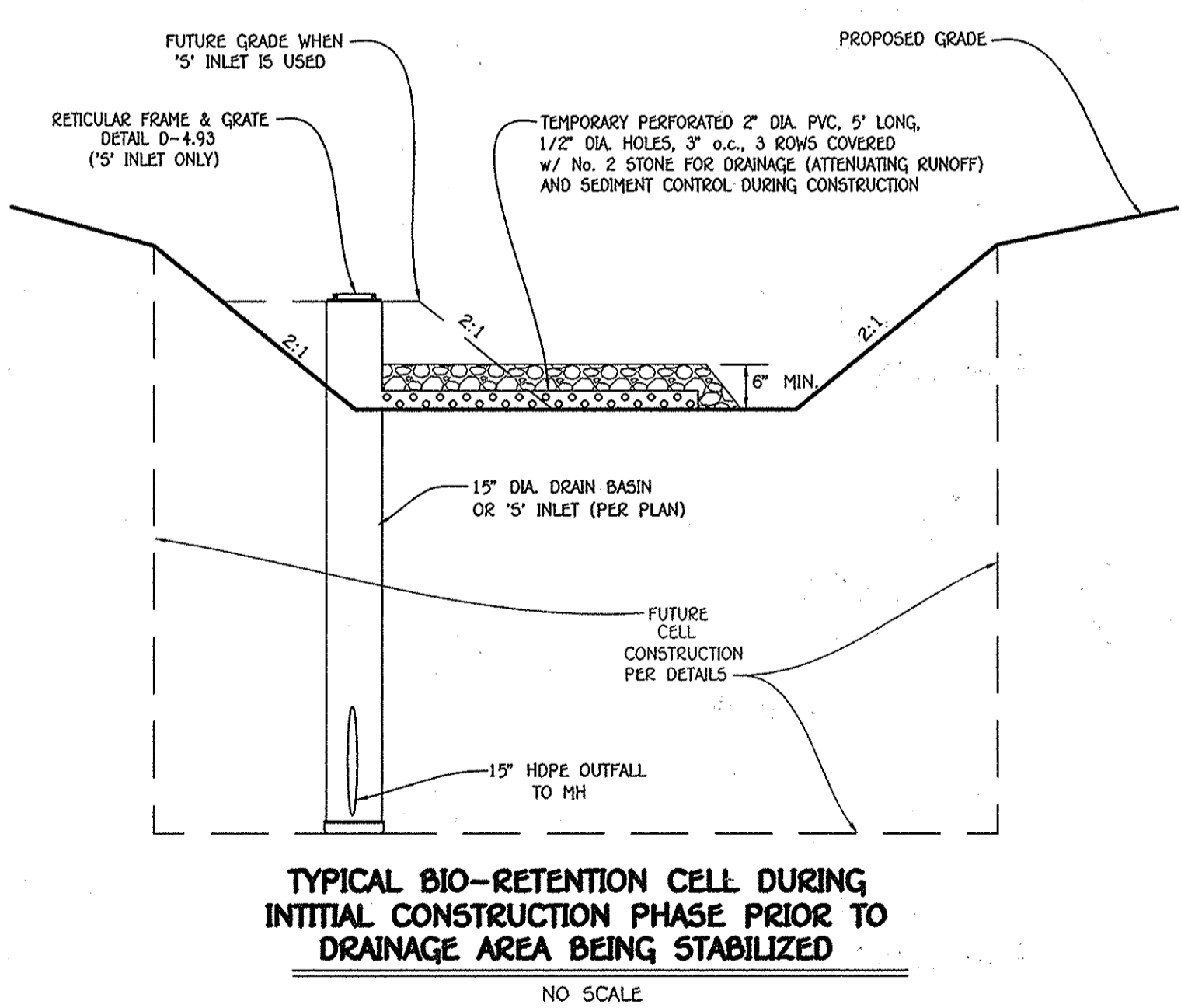
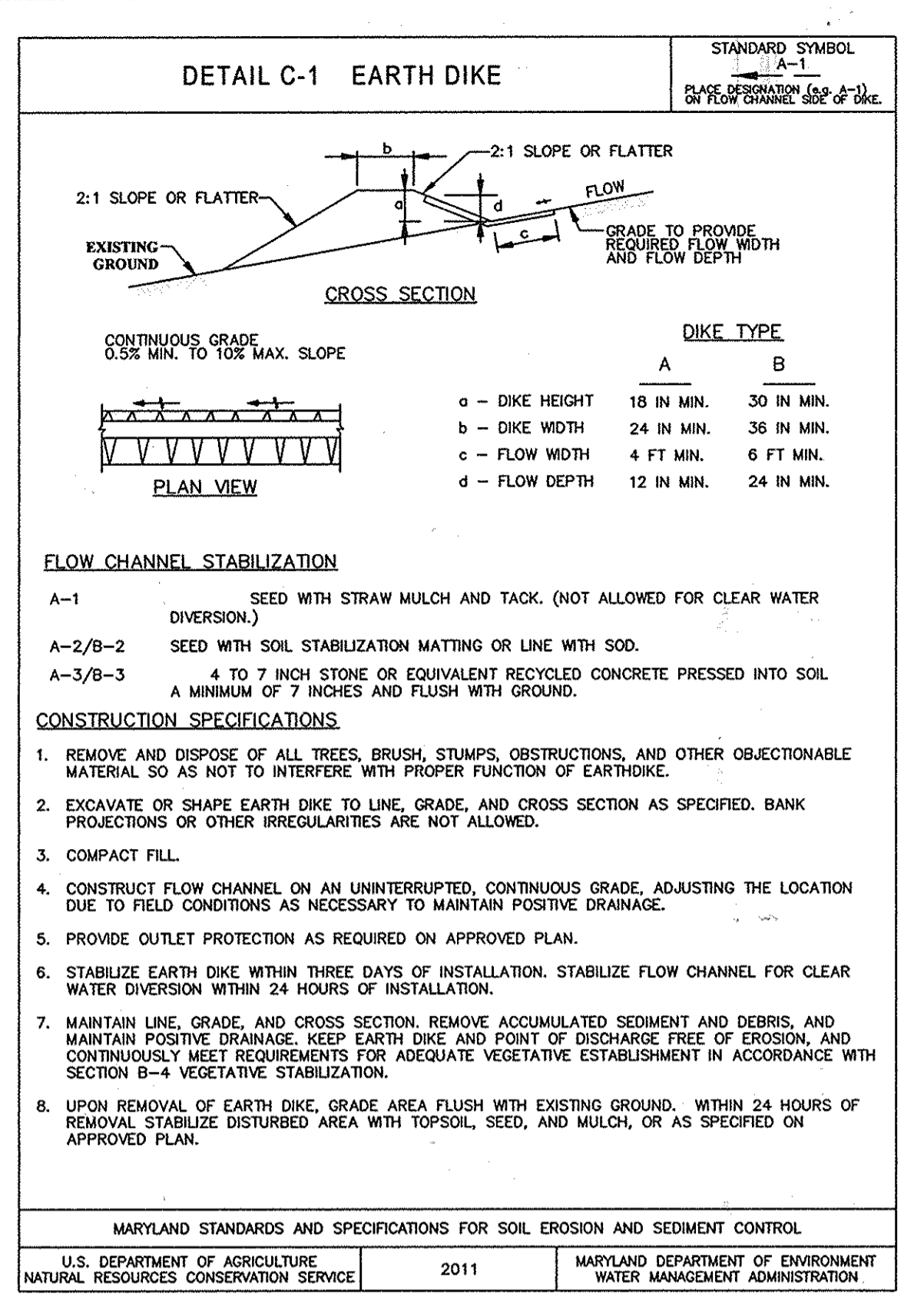
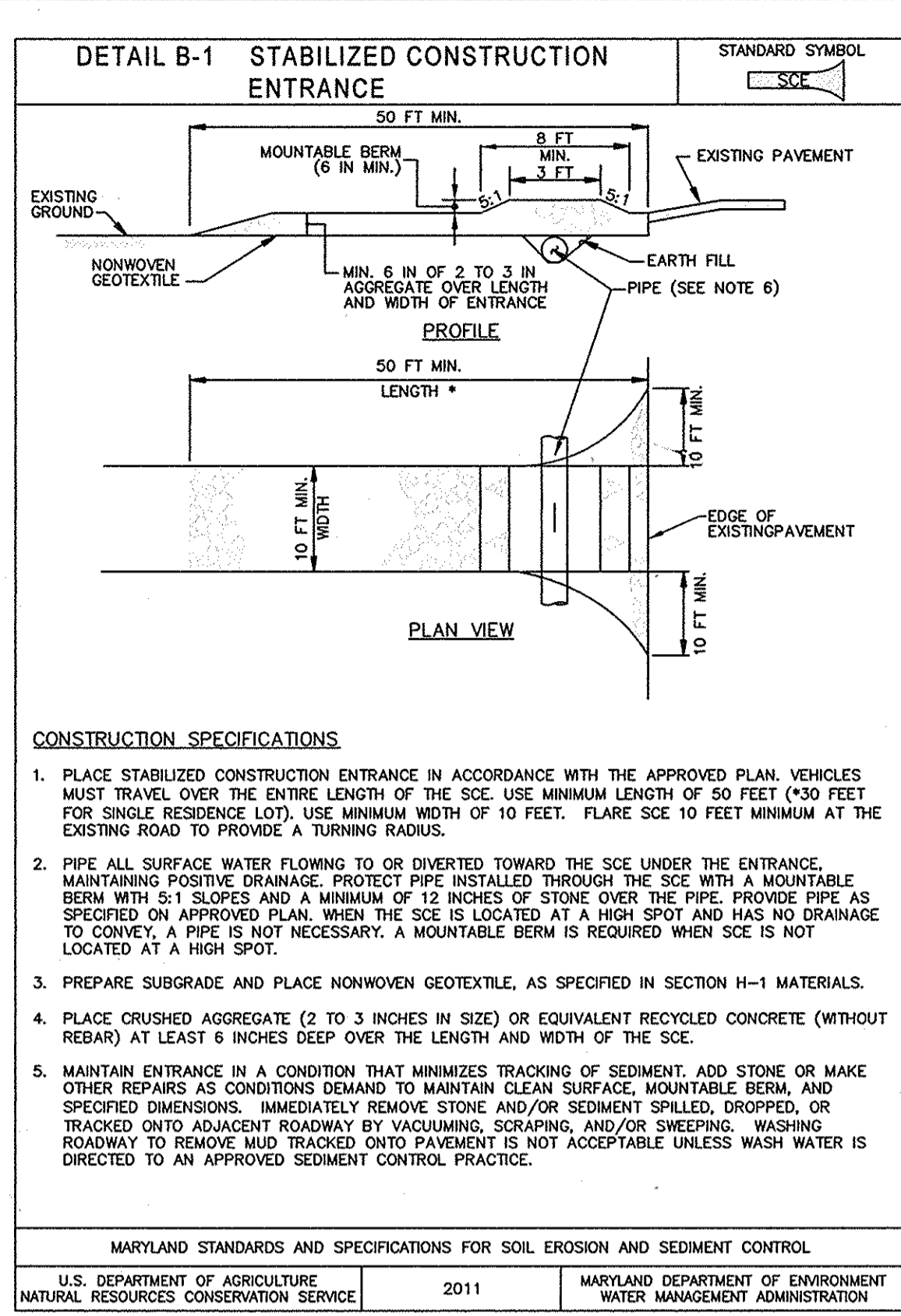
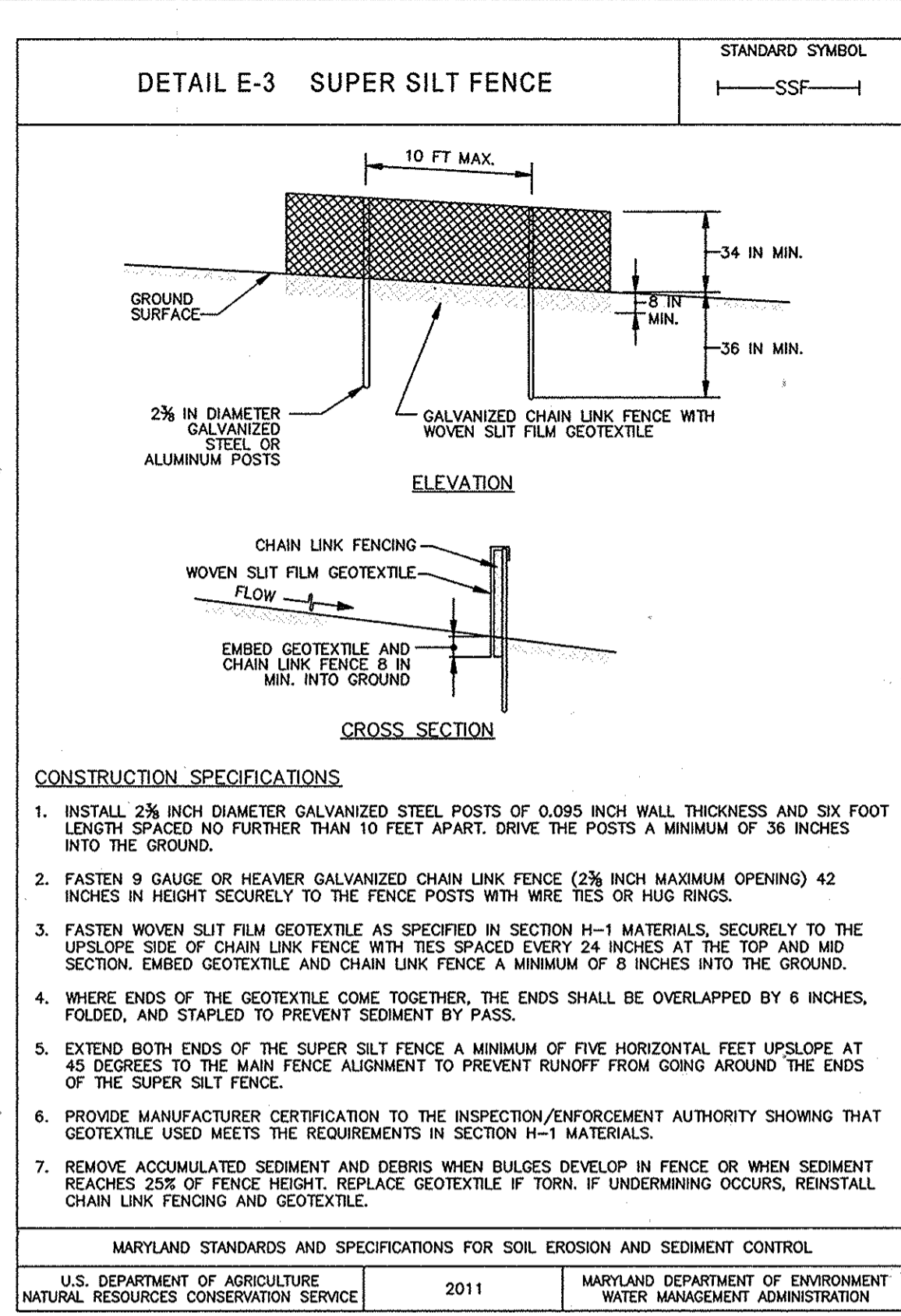
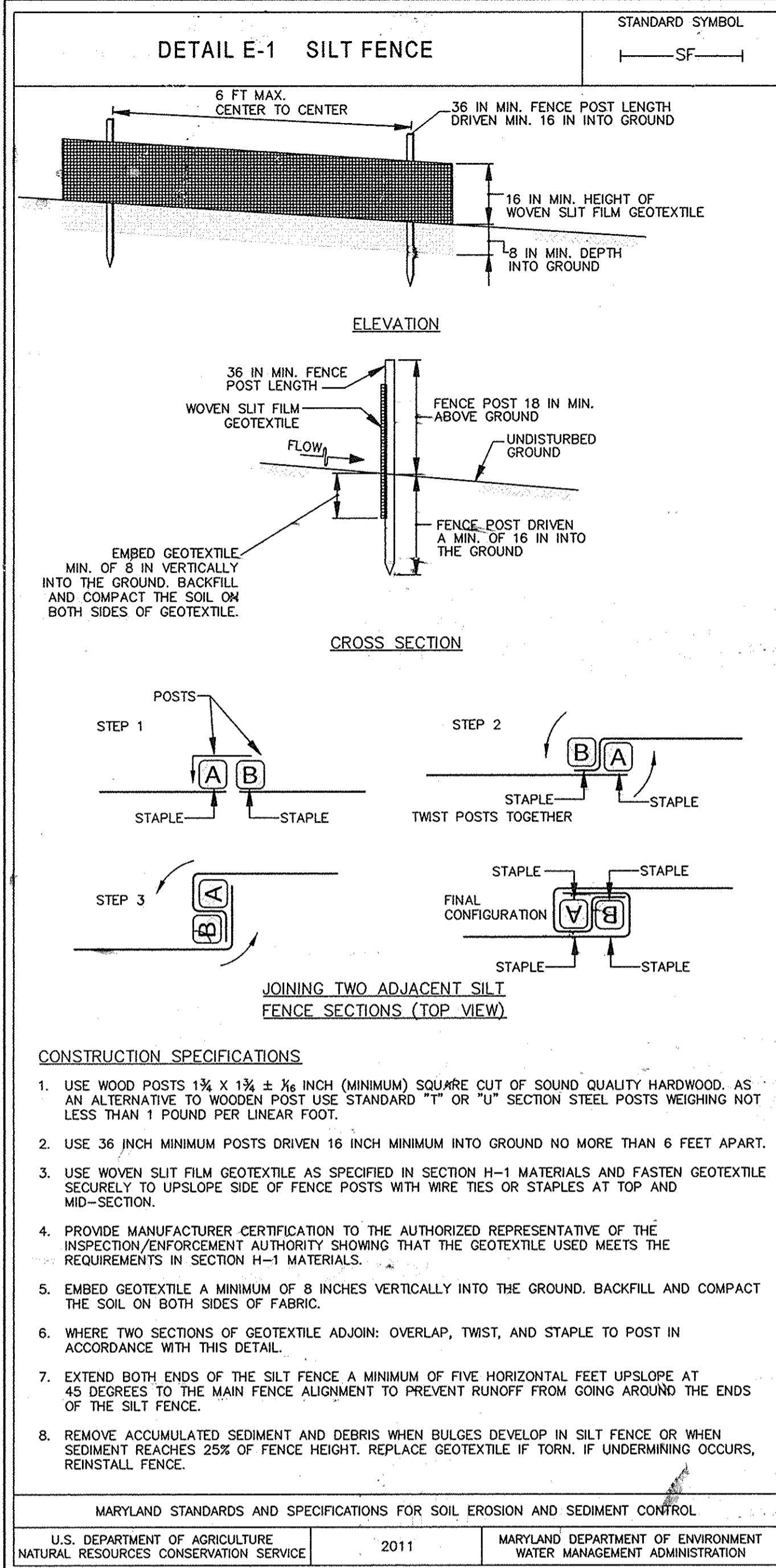
NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL AND ON A DAILY BASIS. REMOVE SEDIMENT FROM ANY SEDIMENT BASIN NO'S 1 & 2 ALONG WITH STONE OUTLET SEDIMENT TRAP #1 WHEN CLEANOUT ELEVATIONS ARE REACHED. ALL SEDIMENT MUST BE PLACED UPSTREAM OF AN APPROVED BASIN DEVICE.

NOTE: ALL CONSTRUCTION WASTE MUST BE MANAGED IN ACCORDANCE WITH THE CONSTRUCTION WASTE MANAGEMENT PLAN PER GREEN NEIGHBORHOOD CREDIT H-3.

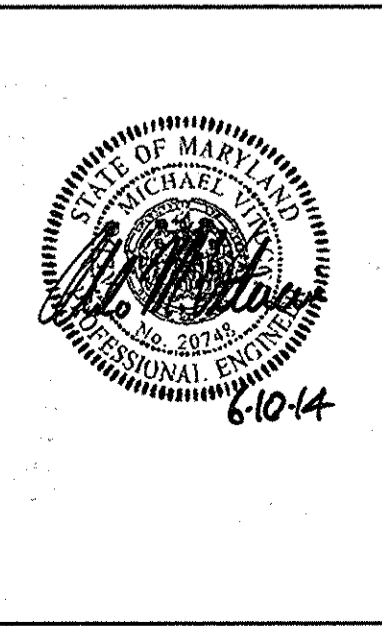
HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES
1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1890).
2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (a) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1; (b) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4) ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE PERIOD SPECIFIED ABOVE. IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3), TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
5) ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
6) SITE ANALYSIS:
TOTAL AREA OF SITE (THIS SUBMISSION) 41,541 ACRES
AREA DISTURBED 12,411 ACRES
AREA TO BE SCOOPED OR PAVED 5,800 ACRES
AREA TO BE VEGETATIVELY STABILIZED 6,611 ACRES
TOTAL CUT 4,925 CUBYD.
TOTAL FILL 15,466 CUBYD.
OFFSITE WASTE/BORROW AREA LOCATION N/A
7) ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAID ON THE SAME DAY OF DISTURBANCE.
8) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
9) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
10) TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
11) ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
12) A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 ACRES PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PROCEEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

SEDIMENT AND EROSION CONTROL NOTES & DETAILS
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'M' And 'J', As Shown On Plans Entitled "Revision Plat", Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 28858, Thru 28859, Zone: 200

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 33 Of 38



NO.	REVISION	DATE



ENGINEER'S CERTIFICATE
"I certify that the plan and erosion control represents a practical and workable plan based on the knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature: *Michael J. Lennar* Date: 6-10-14

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature: *Joseph Fortino* Date: 6/10/14

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: *John C. Roberts* Date: 6/17/14
Howard SCD

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winocap Circle
Suite 300
Columbia, Maryland 21044
Ph: 410-423-0460

Developer
Preston • Scheffnacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph: 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Signature: *Kate Schuch* Date: 7-23-14
Chief, Division of Land Development

Signature: *John J. Lawler* Date: 7-23-14
Chief, Development Engineering Division

Signature: *Richard Lawler* Date: 7-23-14
Director - Department of Planning and Zoning

SUBDIVISION	SECTION/AREA	LOT Nos.
OXFORD SQUARE	---	3 THRU 103
PLAT NO.	BLOCK NO.	ZONE
22895-22898	---	TOD
TAX/ZONE	ELEC. DIST.	CENSUS TR.
30	1st.	601101

SEDIMENT AND EROSION CONTROL NOTES & DETAILS
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels "N" And "O"
(Being A Resubdivision Of Parcels "F" And "J", As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels "C", "E", "F", "G", "H", "I", "K" And "M" And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22858, Thru 22859.)
Zoned: TOD

Tax Map No.: 30 Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 34 Of 30

GREEN NEIGHBORHOOD COMPLIANCE CHECKLIST

APPROVED
HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
GREEN NEIGHBORHOOD PLAN FOR SITES

Bill Bryan
CHIEF, RESOURCE CONSERVATION DIVISION
DATE: 7-22-14

LEED ACCREDITED PROFESSIONAL CERTIFICATE
GREEN NEIGHBORHOOD PLAN FOR SITES

I hereby certify that this plan represents a practical and workable plan for achieving the targeted credits and point total shown on the Green Neighborhood for Sites Compliance Checklist.

Matthew J. Friesmoms
MATTHEW J. FRIESMOMS, LEED AP
10007912
6/10/14
LEED ACCREDITATION NUMBER DATE

Credit No.	Credit	Champion (Name, Role)	Requirement	Sketch Plan (SDP-13-068) GN Strategies	Documentation Location	Points	Allocations
A Innovative / Integrated Design Process							
A-1	Green Development Plan	HCM/Planners	Show how plans meet criteria, includes checklist, natural resource inventory and energy analysis	Provide documentation	GN Plan GN Report	RECD	4 4
A-2	Interdisciplinary Project Team	HCM/Planners	Includes U.S. Green Building Council Leadership in Energy and Environmental Design (LEED) Accredited professional, ecologist / environmental professional / landscape architect, and engineer	The design team includes a LEED AP professional, an ecologist, a civil engineer, an architect and landscape architect.	GN Plan GN Report	RECD	4 4
A-3	Third Party Certification	HCM/Planners	Certification of credits by independent LEED accredited professional	Alexander Design Studio	GN Plan GN Report	RECD	1 1
A-4a	Innovative Design A	HCM/Planners	Green Streets	Green Streets	GN Report SDP (SDP-13-068) Sheet 22, 30 Reference: Sketch Plan (S-14-001)	1 1	1 1
A-4b	Innovative Design B	HCM/Planners	Priority Parking for Fuel Efficient Cars	Reserve 5% for Priority Parking for Fuel Efficient Cars	Future SDP Reference: Sketch Plan (S-14-001)	1 1	1 1
A-4c	Innovative Design C	HCM/Planners	Compact Development	Residential Development w/ exceed 20 DU/AC	GN Plan GN Report Reference: Sketch Plan (S-14-001)	1 1	1 1
A-4d	Innovative Design D	HCM/Planners	Walkable Streets	More than 60% building frontage oriented low auto public spaces; Less than 20% service and garage openings to public spaces.	GN Plan GN Report Reference: Sketch Plan (S-14-001)	1 1	1 1
B Location, Linkages & Community Context							
B-1a	Redevelopment Site	HCM/Planners FOC/Planners	Reuse of previously developed site (minimum 25% existing impervious, with sliding scale for credits based on amount or % impervious)	More than 25% area previously developed (former sand and gravel operation).	GN Plan GN Report Reference: Sketch Plan (S-14-001)	4 2	4 2
B-1b	Redevelopment Site (Brown Field)	N/A	Show field cleanup of redevelopment site	N/A	N/A	8 0	8 0
B-2	Historic Buildings	N/A	Preserve, restore or rehabilitate historic properties.	N/A	N/A	4 0	4 0
B-3a	Transit Access & Amenities for Reduced Auto Dependence (Stop)	HCM/Planners	Site is served by transit stop within 1/2 mile (1 point) or 1/4 mile (2 points) walk from property	Private Shuttle Service with 2 stops (100% DU within 1/4 mile walking distance)	GN Plan GN Report Reference: Sketch Plan (S-14-001) and F Plan (F-13-000)	2 2	2 2
B-3b	Transit Access & Amenities for Reduced Auto Dependence (Shelter)	HCM/Planners	Provide county-specified transit shelter with benches and lighting at transit stop within 1/2 mile of property and provided pedestrian link to stop if credit for 1/2 mile proximity to existing or proposed community resources such as schools, parks, library, post office, etc.	Private HOV transit approved shelter for private shuttle service	Future SDP Reference: Sketch Plan (S-14-001)	4 4	4 4
B-4	Proximity to Community Resources	N/A	Credit for 1/2 mile proximity to existing or proposed community resources such as schools, parks, library, post office, etc.	N/A	N/A	5 0	5 0
C Compact, Complete & Connected Development							
C-1	Diversity of Uses	HCM/Planners	1 point per different landuse; minimum 100 of for each non-residential per DU. Minimum of 149,200 SF each of office, institutional and civic use, per 1,492 DU	Provide 3 Uses: Institutional, Civic and Office	GN Plan Reference: Sketch Plan (S-14-001) SDP (SDP-12-075)	3 3	3 3
C-2	Planned Service Area	HCM/Planners	Locate the project within the Planned Service Area	The project is within the Planned Service Area	GN Plan	5 5	5 5
C-3a	Pedestrian System (Path)	HCM/Planners	Provide an off-site path system with 2 connections to internal or external sidewalk, with minimal environmental impacts, long-term maintenance	Provide a shared use path system	GN Plan GN Report SDP (SDP-13-068) Sheet 3, 20 Reference: Sketch Plan (S-14-001) SDP (SDP-12-075)	2 2	2 2
C-3b	Pedestrian System (Connections)	N/A	Provide an off-site path system with 2 connections to internal or external sidewalk, with minimal environmental impacts, long-term maintenance	N/A	N/A	2 0	2 0
C-3c	Pedestrian System (Amenities)	HCM/Planners	Provide at least 6 different pedestrian experience features	Provide pedestrian amenities at trailheads, the law n and school site	GN Plan SDP (SDP-13-068) Sheet 4 Reference: Sketch Plan (S-14-001) SDP (SDP-12-075)	2 2	2 2
C-4	Connected On-site Street Network	HCM/Planners	Provide a gridded street network	More than 75% connected streets	GN Plan GN Report Reference: Sketch Plan (S-14-001)	2 2	2 2
C-5	Parking does not exceed Required Minimum	HCM/Planners	Surface parking lots do not exceed required parking ratios (1 point); plan takes advantage of shared parking provisions parking structure provided (in deck or beneath building; does not include garages within individual units) (4 points)	Provide common parking structures (4 points)	GN Plan Reference: Sketch Plan (S-14-001)	4 4	4 4
C-6	Exceed Minimum Open Space Requirements	HCM/Planners	1 point for every 5% above required minimum open space for the TOD zone; 1 point for every 10% of non-buildable HCA parcels above 50% of the site (up to 3 points).	Provide more than 25% increase in amenity space above the required minimum amenity space (TOD zoning regulations)	GN Plan GN Report SDP (SDP-13-068) Sheets 1, 3 and 4 Reference: Sketch Plan (S-14-001)	5 5	5 5
C-7	Green Spaces and Amenity Areas	HCM/Planners	Open space along public/private roads available for public use	Publicly accessible open space w/ be provided at the clubhouse and pool and the nature trail.	GN Plan SDP (SDP-13-068) Sheets 1 and 3 Reference: Sketch Plan (S-14-001)	2 2	2 2

D Environmental Preservation		E Site Landscape Improvements	
D-1	Stream Restoration or Wetland Creation or Restoration	EcoScience	Restoration of degraded on-site stream channel, on-site restoration of degraded wetland or creation of additional wetlands (sliding scale based on % or length of stream restored and % of acres of wetland created or restored)
D-2	Habitat Management Plan	EcoScience	Prepare and implement plan that identifies, conserves and enhances natural resources and ecological communities (may include clean up of debris, removal of invasives, etc.)
D-3	25% Steep Slope	N/A	Protect all existing steep slopes as defined by County regulations; provide 25' minimum buffer at top of 25% slope (2 points)
D-4	15% Slope	FOC/Planners HCM/Planners	Protect existing 15%+ slopes (protect minimum 1/2 acre, with sliding scale based on area or % protected)
D-5	Minimize Grading and Site Disturbance	FOC/Planners HCM/Planners	Minimize limit of disturbance; leave at least 20% of site undisturbed (1 point), 30% (2 points), 40% (3 points); balance cut and fill on site (2 points); retaining walls 3-5' (deduct 1 point) retaining walls 6-9' (deduct 2 points), walls 10' and higher (deduct 3 points), no new steep slopes over 25% (1 point)
D-6	Exceed Minimum Forest Conservation Requirements	EcoScience FOC/Planners HCM/Planners	1 point for every 10% of existing forest retained above break even point; 1 point for every 10% of on-site forest planted in excess of afforestation obligation
D-7	Save Trees above 12" Minimum Caliper	N/A	1 point for protecting each 25% of all specimen trees (does not include specimen trees within forest conservation area or within forests that are being cleared)
D-8a	Exceed Minimum Stream Buffer Requirements	FOC/Planners HCM/Planners	75' buffer required for perennial and intermittent streams inside PSA, 100' buffer required for perennial and intermittent streams outside PSA
D-8b	Exceed Minimum Wetland Buffer Requirements	EcoScience FOC/Planners HCM/Planners	2 points for each additional 25' of buffer provided in excess of requirements in D-8a outside wetland buffer or floodplain
D-9	Exceed Minimum Wetland Buffer Requirements	EcoScience FOC/Planners HCM/Planners	2 points for each additional 25' of wetland buffer buffer outside stream buffer or floodplain
D-10	Floodplain Buffer	N/A	1 point for each 25' of buffer to floodplain outside required or provided wetland or stream buffer
E Site Landscape Improvements			
E-1	Landscape	N/A	1 point for each 10% increase in number of plants (must be native plants) provided above total minimum required in Landscape Manual; retain or plant trees on south and west sides of buildings and increase trees within parking areas and along sidewalks and paths
E-2	Native Plants	N/A	1 point for 85%, 2 points for 90%, 3 points for 100% of all plants native to within 200 miles of site
E-3	No Invasive Plants	HCM/Planners	No plants that are on DNR, USDA or Cooperative Extension Service lists of invasive plants
E-4	Limit Turf	HCM/Planners	Turf does not exceed 50% of ungrazed site (1 point); no turf on new created steep slopes 25% or in densely shaded areas (1 point); non turf areas must be planted in native vegetation

F Water Conservation / Efficiency / Management		G Energy Efficiency	
F-1	Runwater Harvesting System	Straighten	Collect and make use of water runoff from minimum 50% of roof area; provide storage system and monitoring device and maintenance / management program
F-2	Water-Permeable Walkways	N/A	Use water permeable materials on 50% or more of pathways; provide maintenance program
F-3a	Low Impact Development (LID) Stormwater Treatment	FOC/Planners	Meet minimum design Manual requirements; no dry ponds allowed
F-3b	Low Impact Development (LID) Stormwater Treatment	FOC/Planners	Exceeds Design Manual requirements; maintain use of bioretention (esp. for parking lots), rain gardens, rain barrels, stormwater wetlands, green roof, etc.
G Energy Efficiency			
G-1	Light Pollution Reduction	FOC/Planners HCM/Planners	Shield all site lighting fixtures to reduce light and glare below county code requirements; install sensors or timers on all exterior site lighting fixtures
G-2	Solar Orientation	N/A	Orient 50% (1 point) or 75% (2 points) or 100% (3 points) of buildings to make available for solar gain
G-3	Infrastructure Energy Efficiency	N/A	Select high efficiency features for parking lot and other site features
H Materials Beneficial to the Environment / Waste Management			
H-1	Environmentally Preferable Site Products	Straighten FOC/Planners HCM/Planners	Select products from a list including recycled materials (concrete, asphalt, trees, plastic, etc.), materials with recycled content, salvaged or engineered materials.
H-2	Reduce Heat Island Effect of Paving	N/A	Use light-colored or high albedo materials and/or porous paving with a minimum Solar Reflective Index of 0.6 or over for at least 50% of the site hardscape
H-3	Site Construction Waste Management	Straighten	Develop and implement a construction waste management plan to divert, reuse, recycle or reduce the amount of site material sent to the landfill by 25% (2 points) or 50% (3 points) or 75% (4 points)
H-4	Regionally Produced Materials	Straighten FOC/Planners HCM/Planners	20% of common and public infrastructure materials from within 200 miles
I Operations and Maintenance Education			
I-1	HCA Documents	Straighten	Include information about green site features and maintenance requirements in HCA documents
I-2	Maintenance Manual for Owner / HCA I Manager	Straighten	Provide a manual that includes information on how to maintain the green features of the site, including paving materials, landscaping and stormwater management and encourages additional green activities such as recycling, gardening, etc.
I-3	Public Awareness of Sustainable Community	Straighten, HCM	Develop a program to advertise the environmental benefits of the community

TOTAL GREEN NEIGHBORHOOD SITE POINTS
Number of points required to obtain Green Neighborhood Allocations: 167 97

Third Party Certification
By affixing signature below, the undersigned do hereby declare and affirm to Howard County that the targeted Green Neighborhood Site credits and point total are provided in the Green Neighborhood Site Compliance Checklist, are reasonable and achievable

Signature: *Charles Alexander* No. 10439208 Date: 6-11-14
Name: CHARLES ALEXANDER Title: PRINCIPAL ORGANIZATION: ALEXANDER DESIGN STUDIO
Submission (mark "X" where applicable): SDP (SDP-13-068)

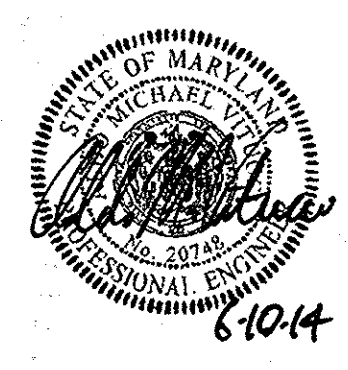
hord | coplan | macth
750 E. Pratt Street, Suite 1100 Baltimore, MD 21202
410.837.7311 | www.hcm2.com
Hord Coplan Macth, Inc. 2014

GREEN NEIGHBORHOOD PLAN
OXFORD SQUARE
"A Howard County Green Neighborhood"
Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22859.)
Zone: TOD
Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 35 Of 38

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Keith Blalock 7/23/14
Chief, Division of Land Development Date
Del Edwards 6-25-14
Chief, Development Engineering Division Date
Timothy Lawless 7-23-14
Director - Department of Planning and Zoning Date
SUBDIVISION: OXFORD SQUARE SECTION/AREA: --- LOT Nos. 3 THRU 103
PLAT NO. BLOCK NO. ZONE TAX/ZONE ELEC. DIST. CENSUS TR.
22895-22898 --- TOD 3B 1st. 601101

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Winocipin Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffacker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
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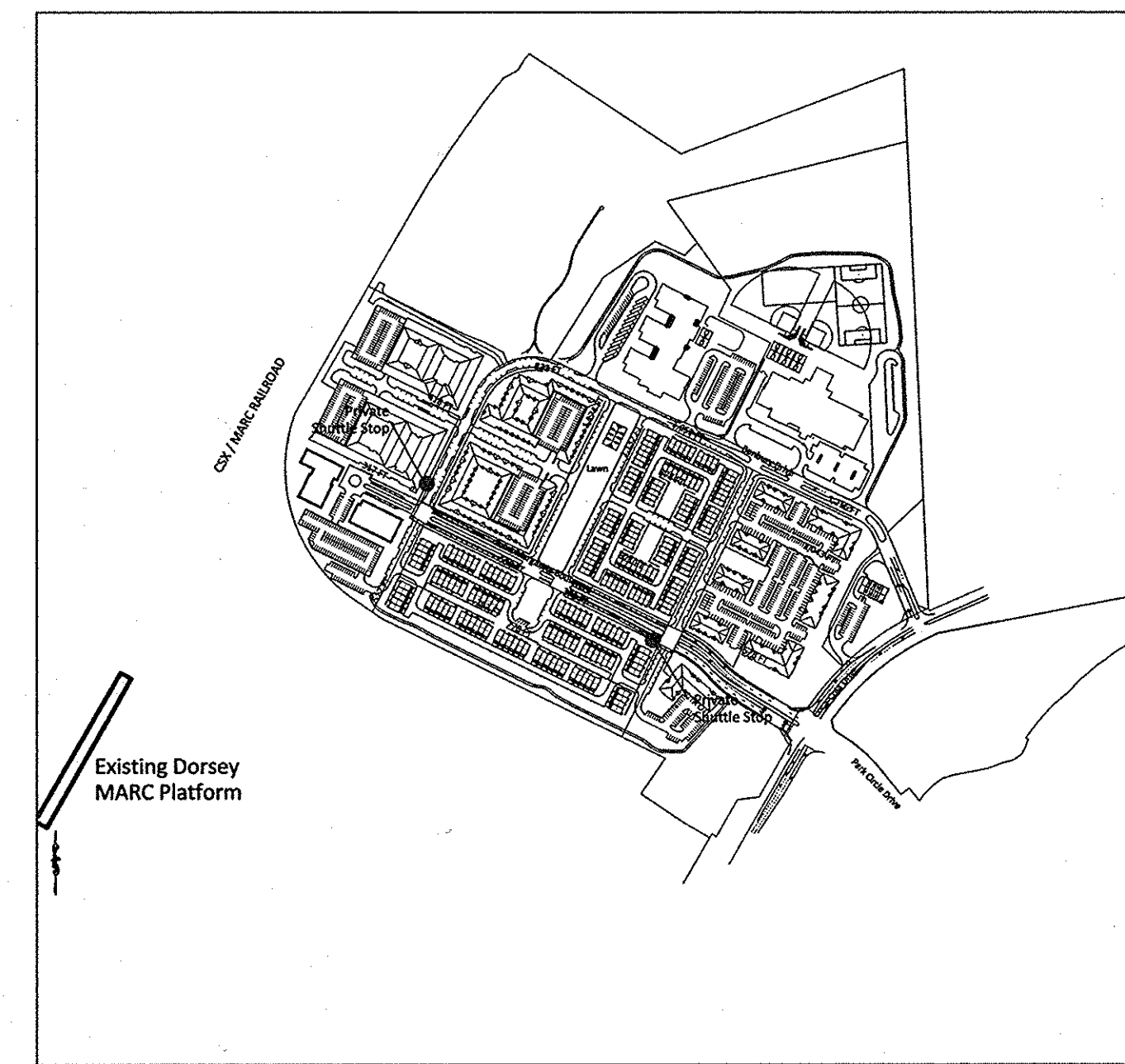
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE FLOOR - 10732 BATHORSE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461 - 2995

NO.	REVISION	DATE

GREEN NEIGHBORHOOD NOTES:

- A-2 THE DESIGN AND DEVELOPMENT TEAM INCLUDES A LEED AP (MATTHEW FITZSIMMONS- HORD COPLAN MACTH), ENVIRONMENTAL PROFESSIONAL (JOHN CANOLES- ECO-SCIENCE PROFESSIONALS, INC.), LANDSCAPE ARCHITECT (JOSH KILRAIN- HORD COPLAN MACTH) AND AN ENGINEER (ALDO VITUCCI- FISHER, COLLINS & CARTER INC.)
- A-3 THE THIRD PARTY CERTIFICATION IS PROVIDED BY CHARLES ALEXANDER, LEED-AP OF ALEXANDER DESIGN STUDIOS.
- B-1a THE 111.1 ACRE DEVELOPMENT CONSISTS OF 28.4 ACRES OF PREVIOUSLY DEVELOPED LAND (25.6% OF THE OXFORD SQUARE DEVELOPMENT).
- B-3a OXFORD SQUARE WILL PROVIDE TWO TRANSIT STOPS FOR THE PROPOSED PRIVATE SHUTTLE SERVICE CONNECTING OXFORD SQUARE TO THE DORSEY MARC COMMUTER RAIL STATION. THE STOPS WILL BE WITHIN 1/4 WALKING DISTANCE TO ALL DWELLING UNITS.
- B-3b OXFORD SQUARE WILL PROVIDE ONE SHELTER AT ONE OF THE PRIVATE SHUTTLE STOPS. THE SHELTER WILL COMPLY WITH COUNTY -APPROVED CRITERIA INCLUDING BENCHES AND LIGHTING.
- C-1 OXFORD SQUARE WILL PROVIDE THREE DIVERSE USES OTHER THAN RESIDENTIAL: INSTITUTIONAL (MIDDLE SCHOOL BUILDING AND OUTDOOR CLASSROOM SPACE, ELEMENTARY SCHOOL), CIVIC (SCHOOL'S RECREATIONAL PLAYING FIELDS AND SHARED-USE PATH) AND OFFICE.
- C-2 OXFORD SQUARE IS LOCATED WITHIN THE EXISTING PLANNED WATER AND SEWER SERVICE AREA.
- C-3c OXFORD SQUARE WILL PROVIDE A MINIMUM OF TWO PEDESTRIAN SYSTEM AMENITY EXPERIENCES: 1) SHARED USE PATH AND NATURE TRAIL (TRAIL SIGNS AND MARKERS, BENCHES, LITTER RECEPTACLES, INFORMATIONAL SIGNS, BIKE RACKS), 2) THE LAWN (BENCHES, EXTERIOR LIGHTING, SHADE TREES, INFORMATIONAL SIGNS), 3) RESIDENTIAL COURTYARDS AND MEWS (BENCHES), AND 4) SCHOOL SITES (PLAYING FIELDS, BENCHES, BIKE RACKS)
- D-8b OXFORD SQUARE WILL PROVIDE A MINIMUM 75 FT ENHANCED STREAM BUFFER.
- E-3 OXFORD SQUARE WILL NOT PLANT INVASIVE PLANTS.
- E-4 OXFORD SQUARE WILL NOT PLANT TURF IN DENSELY SHADED AREAS.
- F-3b OXFORD SQUARE WILL PROVIDE AT LEAST 51% WATER QUALITY VOLUME STORED AND INFILTRATED/RE-USED ON-SITE.

B-3a & B-3b VICINITY MAP (Scale: 1"= 600')



APPROVED
HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
GREEN NEIGHBORHOOD PLAN FOR SITES

Beth Bury
CHIEF, RESOURCE CONSERVATION DIVISION **7-22-14**
DATE

LEED ACCREDITED PROFESSIONAL CERTIFICATE
GREEN NEIGHBORHOOD PLAN FOR SITES

Matthew J. Fitzsimmons **10007912** **6/10/14**
MATTHEW J. FITZSIMMONS, LEED AP LEED ACCREDITATION NUMBER DATE

I hereby certify that this plan represents a practical and workable plan for achieving the targeted credits and point total shown on the Green Neighborhood for Sites Compliance Checklist.

GREEN NEIGHBORHOOD CALCULATIONS & TABLES:

A-4b Priority Parking for Low-Emitting and Fuel Efficient Vehicles

	Complete Build Out	SDP
Total Number of Off-Street Parking Spaces:	3,459 Spaces	0 Spaces
Total Number of Proposed Preferred Parking Spaces:	173 Spaces	0 Spaces
Percent of Preferred Parking Spaces:	5.0%	

A-4c Compact Development

	Complete Build Out	SDP
Total Dwelling Units:	1,492 DU	101 DU
Total Residential Land Area:	41.0 AC	8.38 AC
Residential Density:	36.39 DU/AC	12.05 DU/AC

A-4d Walkable Streets

	Complete Build Out	SDP
Length of Buildings Frontage Oriented Towards the Public Space:	10,135 FT	2,186 FT
Total Length of Building Frontage:	11,426 FT	2,186 FT
% of Building Frontage Oriented Towards the Public Spaces:	88.7%	100.0%

Length of Building Frontage with Service or Garage Openings:	754 FT	0 FT
Length of Building Frontage Oriented Towards Public Spaces (Including Service and Garage openings):	10,889 FT	2,186 FT
% of Building Frontage with Service or Garage Openings:	6.9%	0.0%

B-1a Redevelopment Site

Gross Site Area (Parcel Q):	111.1 Acres
Area of Existing Development (Acres):	28.4 Acres
Percent of Previously Developed:	25.6%

B-3a Transit Access & Amenities for Reduced Auto Dependence (Stop)

Building Number for Units within 1/4 Mile	Total Number of Qualifying Units	Percent of all Units
All Residential Buildings	1,492 DU	100%

C-1 Diversity of Uses

Residential Uses	Number of Units	Percent of Total Units
Dwelling Units	1,492 DU	100%
Nonresidential Uses		
Office	154,000 SF	103 SF/DU
Institutional:		
Middle School ¹	95,747 SF	
Middle School Outdoor Classroom Space ¹	2,500 SF	
Elementary School	101,014 SF	
Institutional Subtotal:	199,261 SF	134 SF/DU
Civic:		
Recreational Playing Fields (School Site) ²	236,139 SF	
Northern Loop Shared-Use Path (8 FT wide) ³	19,504 SF	
Southern Loop Shared-Use Path (8 FT wide) ³	9,240 SF	
Civic Subtotal:	264,883 SF	178 SF/DU

- Notes: ¹ Revised per the approved Middle School SDP (SDP-12-075).
- ² 12,801 SF of Shared-Use Path will be constructed on Middle School site (SDP-12-075).
- ³ 4,848 SF of Southern Loop Shared-Use Path will be constructed with this SDP.

C-3a Pedestrian System (Paths and Trails)

Northern Shared Use Path:	Width of Path: 8 FT Length: 2,438 FT (0.46 Miles)
Southern Shared Use Path:	Width of Path: 8 FT Length: 1,155 FT (0.22 Miles)
Mulch Nature Trail	Width of Path: 5 FT Length: 595 FT

Notes: ¹ Approximately 606 linear feet of Southern Shared Use Path will be constructed with this SDP.

C-4 Street Connections

Street Name / ID (names per Sketch Plan names)	Street Length	Qualifying Street
Saint Margarets Boulevard	1,684 FT	Yes
Banbury Drive	2,589 FT	Yes
Road A	220 FT	No
Road B	514 FT	No
Road C (Banbury Drive, south of St. Margaret)	228 FT	No
Road D	740 FT	Yes
Road E (North and South)	1,450 FT	Yes
Road F	1,016 FT	Partial
Road G	120 FT	No
Road H	120 FT	No
Road J	465 FT	Yes
Road I	245 FT	No
Summary		
Total Street Length:	9,391 FT	
Total Connected Street Length:	7,393 FT	
Percent Connected Streets:	78.7%	

C-5 Parking Does Not Exceed Required Minimum

	Complete Build Out	SDP
Number of Off-Street Parking Required:	3,647 spaces	202 spaces
Number of Spaces Provided:	4,592 spaces	470 spaces
Number of Shared Spaces (Public On-Street):	99 spaces	0 spaces
Number of Shared Spaces (Private On-Street):	170 spaces	66 spaces
Number of Spaces within a Common Parking Structure:	2,759 spaces	0 spaces
Number of Spaces within Private / Integral Garages:	470 spaces	202 spaces
Number of Spaces in Surface Parking Lots:	700 spaces	0 spaces
Number of Driveway Spaces:	394 spaces	202 spaces

Note: Complete Build Out Calculations are based on the submitted Sketch Plan (S-14-001).

C-6 Exceed Minimum Open Space

	Complete Build-Out	SDP
Net Acreage:	101.6 AC	8.4 AC
Required Amenity Space (TOD: 10% of Net Acreage):	10.2 AC	0.8 AC
Provided Amenity Space:	15.7 AC	1.6 AC
Percent Increase above the Minimum Required:	53.9 %	100.0 %

Note: ¹ 6.6 Acres of amenity space contributed by the Middle School SDP (SDP-12-075).

C-7 Green Spaces and Amenity Areas

Parcel	Road Frontage	Amenity Type	Amenity Area
Open Space 1: The Nature Trail	160 FT	Nature Trail, Benches, Trail Signage, Educational Signage	31,266 SF (0.72 AC)
Open Space 2: Pool House and Pool	4'-138 FT (length along Private Road 'B')	Pool house, Pool, Fitness Room, and Warming Kitchen	11,282 SF (0.26 AC)

D-4 15% Slope Preservation

	Complete Development
Total Area of Slopes 15-24.9%:	504,072 SF
Area of Undisturbed Slopes 15-24.9%:	289,178 SF
Percent of Undisturbed Slopes:	57.4 %

Note: The area of undisturbed slopes is the summation of slopes impacted by the greatest extent of LODs within the GN for Site Boundary from Sketch Plan (S-14-001) and future environmental restoration work.

D-5 Minimize Grading and Site Disturbance

	Complete Build Out	SDP ¹
Gross Area of Site (GN Boundary)	111.1 AC	AC
Existing Impervious Cover	28.4 AC	- AC
Area of Site	82.7 AC	- AC
Area of Site to Remain Undisturbed	28.4 AC	- AC
Percent of Site to Remain Undisturbed:	34.3 %	%
Ratio of Cut to Fill:	1.18 Ratio	3.00 Ratio
Retaining Walls:	0 FT	0 FT

Note: Complete Build Out Calculations are based on the aggregate greatest extent of LOD's from the submitted Sketch Plan (S-14-001), Approved Final Plan (F-12-026) and Approved Middle School SDP (SDP-12-075).

¹ SDP submission land area is located within the Complete Build Out LOD therefore there are no impacts to undisturbed areas.

D-6 Exceed Minimum Forest Conservation Requirements

Afforestation Obligation:	3.50 AC
Afforestation Provided in Excess of Obligation:	1.75 AC
Percentage of Provided in Excess of Obligation:	50.00 %

D-8b Exceed Minimum Stream Buffer Requirements

Total Stream Buffer Width:	150 FT
Width of Buffer Exceeding Requirements:	75 FT
Total Length of Stream Buffer:	1,984.2 FT
Length of Stream Buffer Outside Other Buffers:	1,352.3 FT
Percent of Stream Buffer Outside Other Buffers:	68.2 %

E-1 Landscaping

Plants Required	Shade Trees	Evergreen	Shrubs	Total	Percent
Plants	174	0	0	174	
Plants	35	0	0	35	20%
of Plants	209	0	0	209	

Plants Provided	Shade Trees	Shade Tree (Substitute)	Evergreen	Evergreen (Substitute)	Other Trees	Shrub (Sub)	Total
Number of Plants Provided to Meet Landscape Manual	138	36	0	0	0	0	174
Number of Plants Provided to Meet GN Credits	25	0	0	0	0	0	25
Total Number of Plants Provided	163	36	0	0	0	0	199

- Note: 1. Required shade tree substitute: (5 Evergreen /2)= 2.5 Shade Trees
- 2. Required Shade Tree Substitute: (67 ornamentals/2)= 33.5 Shade Trees
- 3. Excess Native Shade Trees: (3 OAR, 12 BNH, 10 LST)= 25 Excess Native Shade Trees
- 4. Native Shade Trees used to satisfy Required Shade Tree (18 URV, 15 OAR)

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750 E. Pratt Street, Suite 1100 Baltimore MD 21202
410.837.7311 | www.hcm2.com
Hord Coplan Macht, Inc. 2014

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: 10732 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461 - 2895

STATE OF MARYLAND
Professional Seal
6.10.14

NO.	REVISION	DATE

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
10211 Wincoop Circle
Suite 300
Columbia, Maryland 21044
Ph# 410-423-0460

Developer
Preston - Scheffenaeker Properties
2330 West Joppa Road, Suite 160
Lutherville, Maryland 21093-4614
Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kathleen **7/23/14**
Chief, Division of Land Development Date

[Signature] **6-25-14**
Chief, Development Engineering Division Date

[Signature] **7-23-14**
Director - Department of Planning and Zoning Date

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895-22898	---	TOD	3B	1st	601101

GREEN NEIGHBORHOOD PLAN

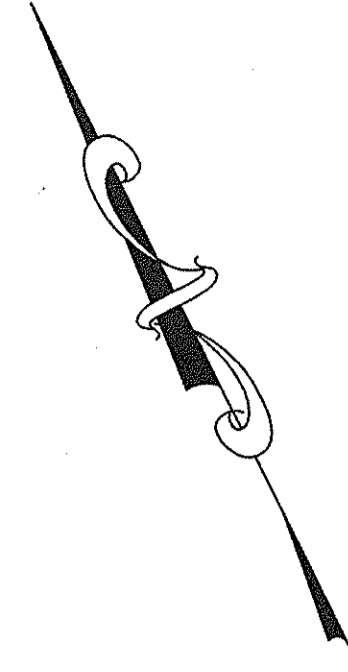
OXFORD SQUARE
"A Howard County Green Neighborhood"

Lois 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
(Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plats Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'I', 'J', 'K', 'L' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22856, Thru 22899.)
Zone: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland
Scale: As Shown
Date: June 6, 2014
Sheet 36 Of 38

SDP-13-068

I:\2009\09014\dwg\SDP (Lennar)\09014 SHEET 36 FOR WYLA.dwg, sheet 36, 6/9/2014 11:01:34 AM, 11



Parcel 'E'
(F-12-026)

Parcel 'F'
(F-12-026)

Parcel 'N'
2.850 Ac.

Parcel 'K'
(F-12-026)

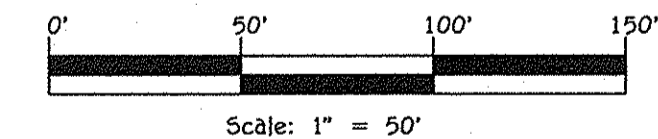
Parcel 'M'
(F-13-095)

Parcel 'O'
3.938 Ac.

Parcel 'J'
(F-12-026)

Parcel 'C'
(F-12-026)

PLAN



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORONAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461 - 2959



NO.	REVISION	DATE

Owner/Builder
U.S. Home Corporation,
D/B/A Lennar
c/o Joseph Fortino, Vice President
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Suite 300
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Kate Schindler
Chief, Division of Land Development
Date: 6-25-14

Michael J. Fisher
Chief, Development Engineering Division
Date: 7-23-14

Shirley A. Lawrence
Director - Department of Planning and Zoning
Date: 7-23-14

PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22895 - 22898	---	TOD	3B	1st	601101

METES & BOUNDS PLAN

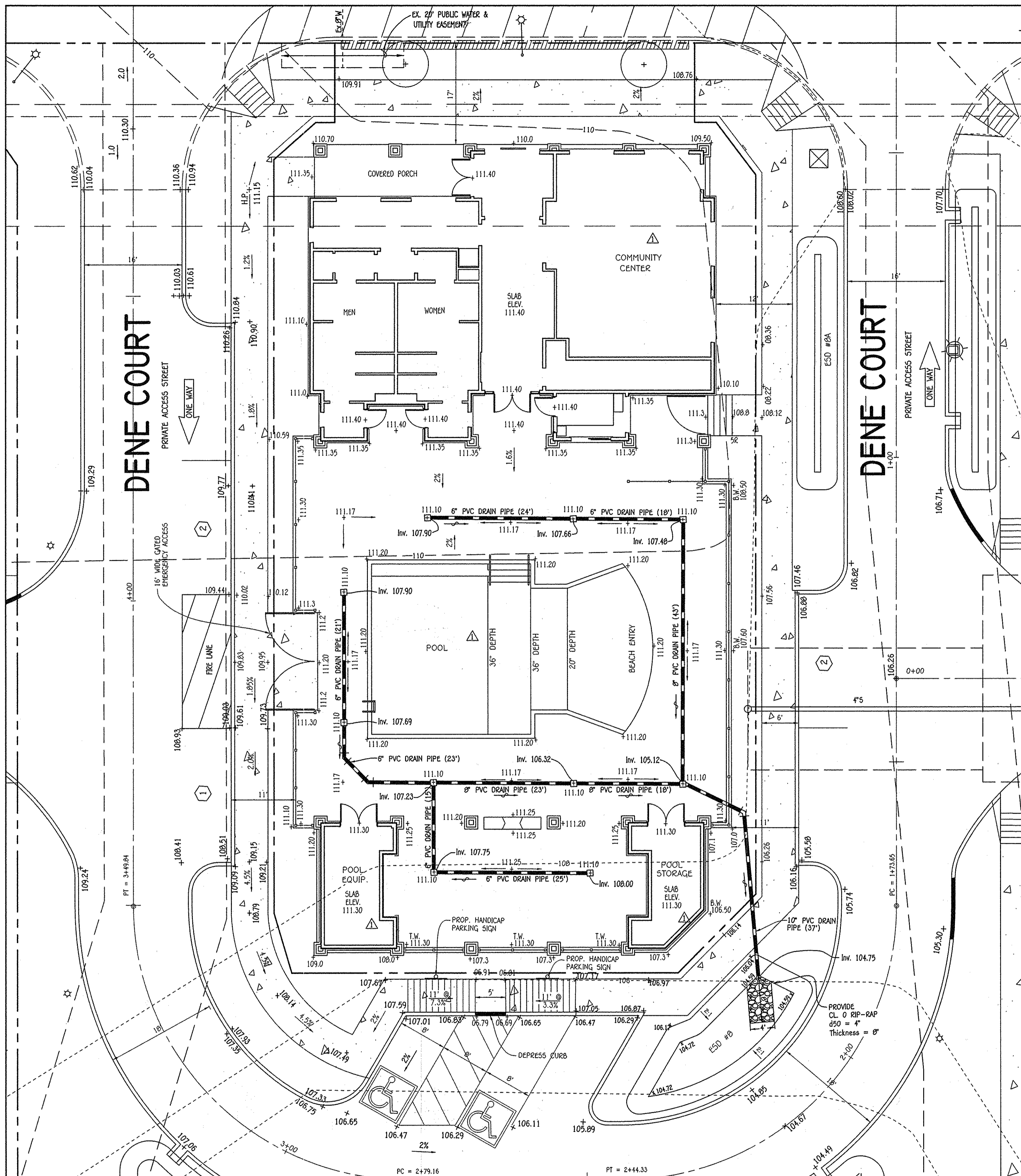
OXFORD SQUARE

"A Howard County Green Neighborhood"

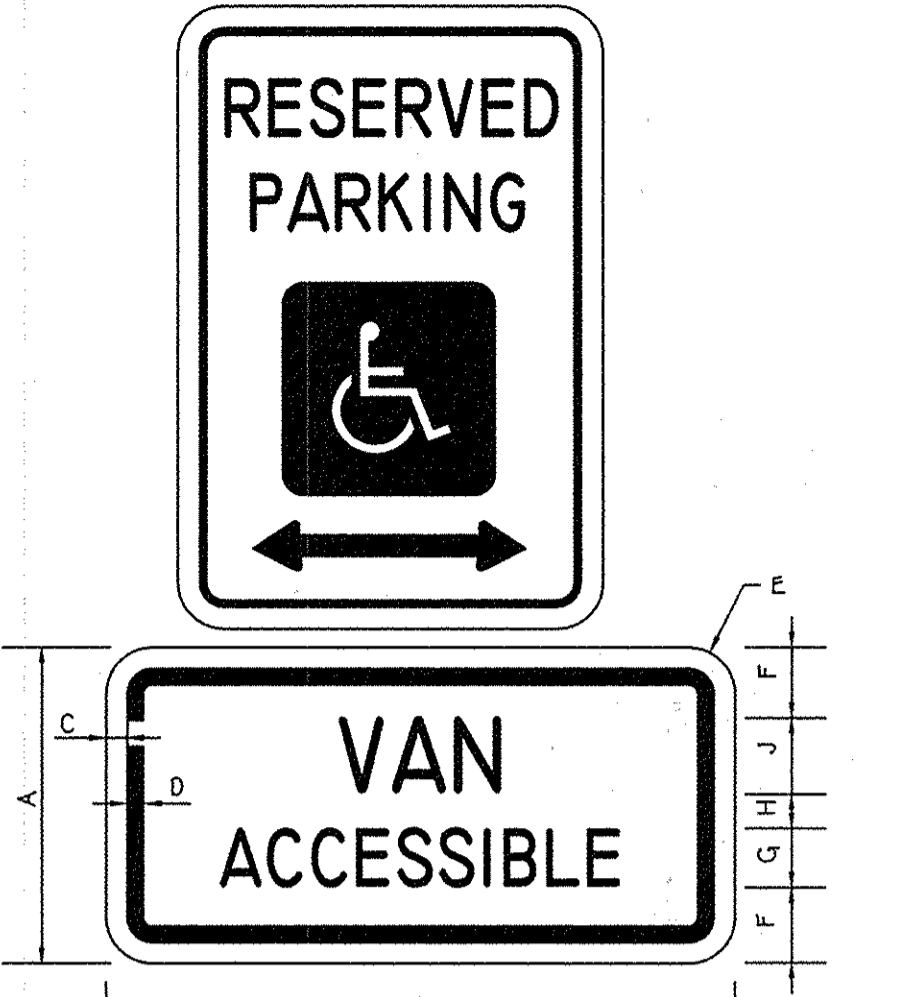
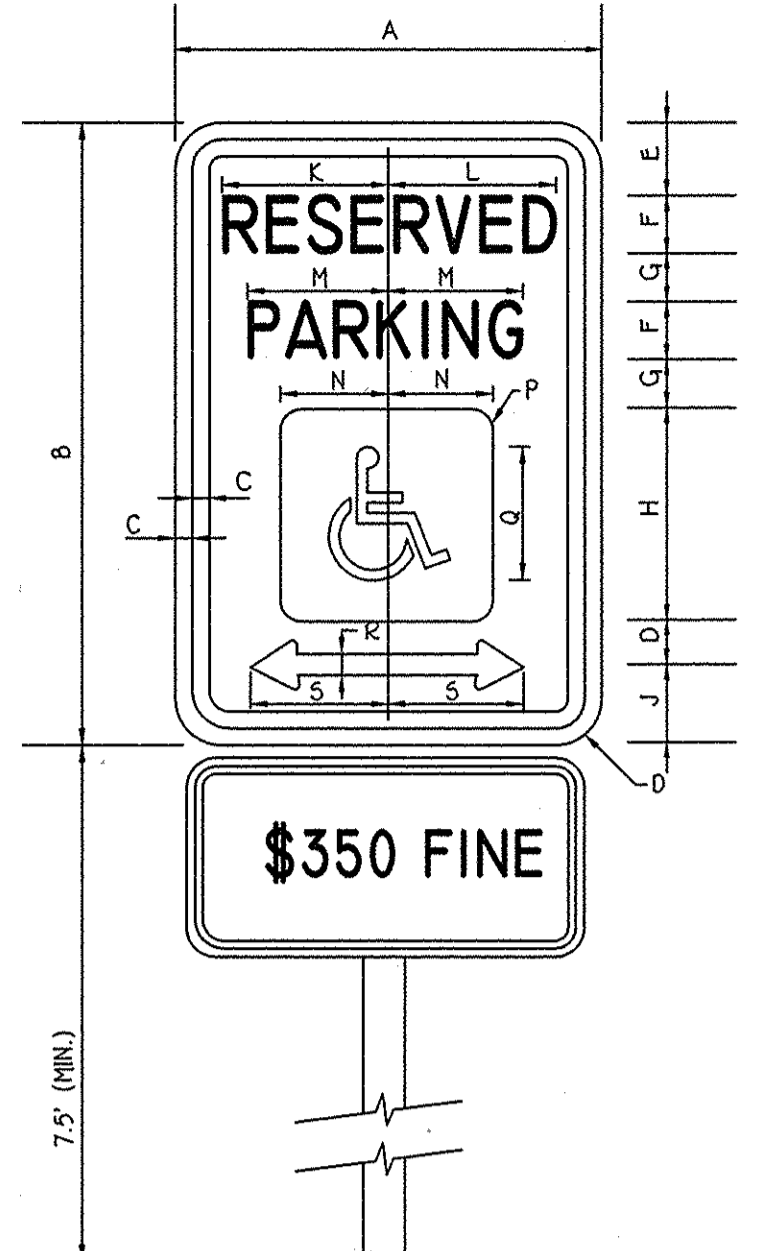
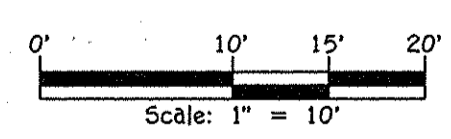
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Zoned: TOD

Tax Map No.: 3B Grid No.: 20 Parcel No.: 761
First Election District: Howard County, Maryland

Scale: As Shown
Date: June 5, 2014
Sheet 37 Of 38



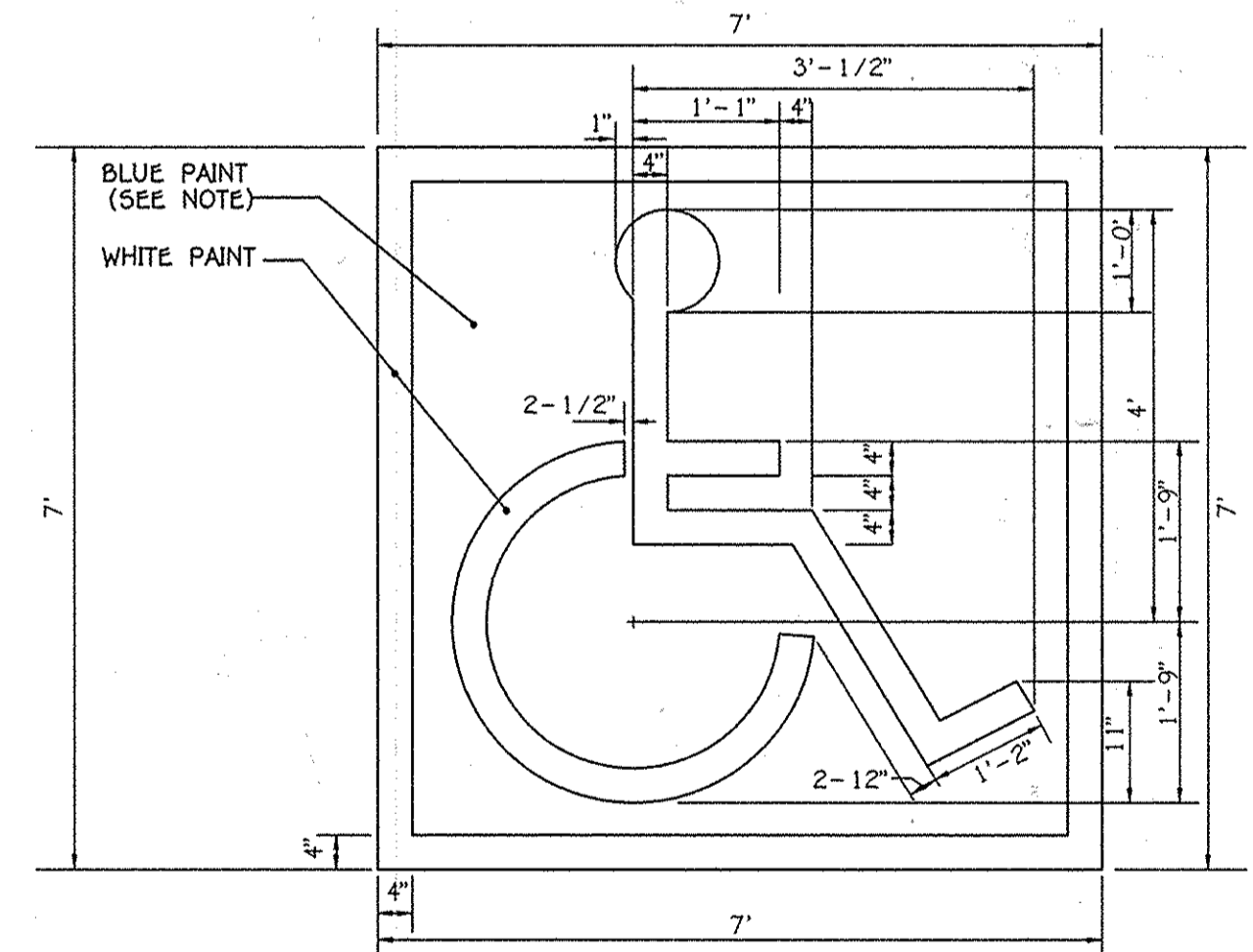
COMMUNITY CENTER
FRONT ELEVATION
NO SCALE



SIGN SIZE	DIMENSIONS (INCHES)									
	A	B	C	D	E	F	G	H	J	
MIN.	6	12	3/8	3/8	1-1/2	1-1/2	10	1/2	1-1/20	
STD.	9	18	3/8	3/8	1-1/2	2-1/4	1-1/20	1	20	

SIGN SIZE	DIMENSIONS (INCHES)																	
	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	
STD.	12	18	1/2	1-1/2	2	2	C	1	6	2-1/2	4-7/8	5	4-1/4	3	1/2	4	3/4	3-7/8

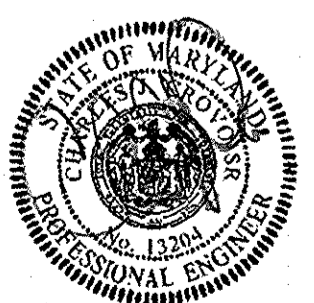
COLORS
 DIRECTIONAL
 LEGEND - WHITE
 BACKGROUND - BLUE
 REGULATORY
 LEGEND - GREEN OR BLACK
 BACKGROUND - WHITE



NOTE: SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND (WHITE ON BLUE: COLOR NO. 105090 IN FED. STANDARD 592-DOUBLE COAT TYP.)

HANDICAP SPACE STENCIL LAYOUT
NO SCALE

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 CLUETON CITY, MARYLAND 21042
 (410) 481-2295



NO.	REVISION	DATE
1	REVISE COMMUNITY CENTER AND POOL AREA	10/3/14

Owner/Builder
 U.S. Home Corporation,
 D/B/A Lennar
 c/o Joseph Fortino, Vice President
 10211 Winopin Circle
 Suite 300
 Columbia, Maryland 21044
 Ph# 410-423-0460

Developer
 Preston - Scheffenacker Properties
 2330 West Joppa Road, Suite 160
 Lutherville, Maryland 21093-4614
 Ph# 410-296-3800

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Kathleen 2-3-15
 Chief, Division of Land Development
DM
Shelley 2-3-15
 Chief, Development Engineering Division
Nash M. Leung 2/3/15
 Director - Department of Planning and Zoning
 SUBDIVISION: OXFORD SQUARE SECTION/AREA: --- LOT Nos. 3 THRU 103
 PLAT NO. 22895-22898 BLOCK NO. --- ZONE TOD TAX/ZONE 38 ELEC. DIST. 1st. CENSUS TR. 601101

REVISED
POOL AREA & HANDICAP PARKING PLAN
OXFORD SQUARE
 "A Howard County Green Neighborhood"
 Lots 3 Thru 103, Open Space Lots 104 Thru 116 And Parcels 'N' And 'O'
 (Being A Resubdivision Of Parcels 'F' And 'J', As Shown On Plans Entitled "Revision Plat, Oxford Square, "Green Neighborhood", Parcels 'C', 'E', 'F', 'G', 'H', 'I', 'J', 'K' And 'M' And Recorded Among The Land Records Of Howard County, Maryland As Plat Nos. 22895 Thru 22899)
 Zoned: T00
 Tax Map No.: 38 Grid No.: 20 Parcel No.: 761
 First Election District: Howard County, Maryland
 Scale: As Shown
 Date: June 6, 2014
 Sheet 38 Of 38

L:\2009\5014\5014.dwg (Lennar)\Pool Area Redline\5014 Redline Sheet 38.mxd for Feb 2 2015.dwg 2/2/2015 9:02:22 AM 11