

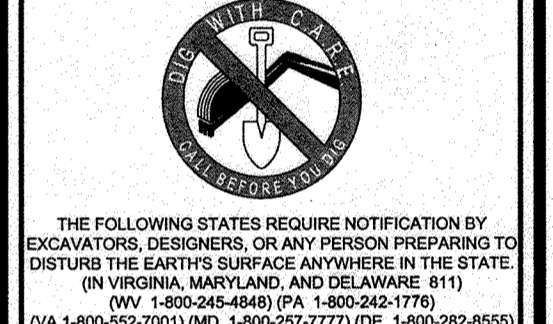
BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
 • PITTSBURGH, PA
 • ALBANY, NY
 • ROANOKE, VA
 • CENTER VALLEY, PA
 • TAMPA, FL
 • PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDG 2, 3, 4	DSH
9	2/10/21	USE AND PARKING LINES	MTG



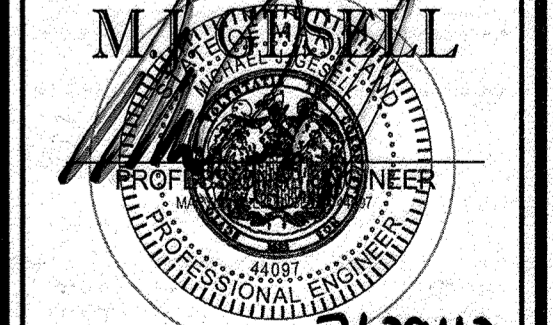
APPROVED FOR CONSTRUCTION

PROJECT No.: MD068002
 DRAWN BY: RIAS
 CHECKED BY: MJG
 DATE: 07/28/13
 SCALE: 1"=50'
 CAD I.D.: SSS

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7907
www.BohlerEngineering.com



OVERALL EXISTING CONDITIONS/DEMOLITION PLAN

SHEET NUMBER: **3** OF 91
 SDP-13-046

FOR REVISION 9 ONLY:
(NO AS-BUILT INFO)

FOR REVISION 5 ONLY:



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/21/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 9/11/13

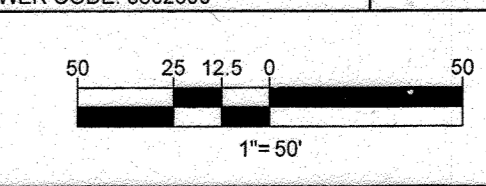
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000

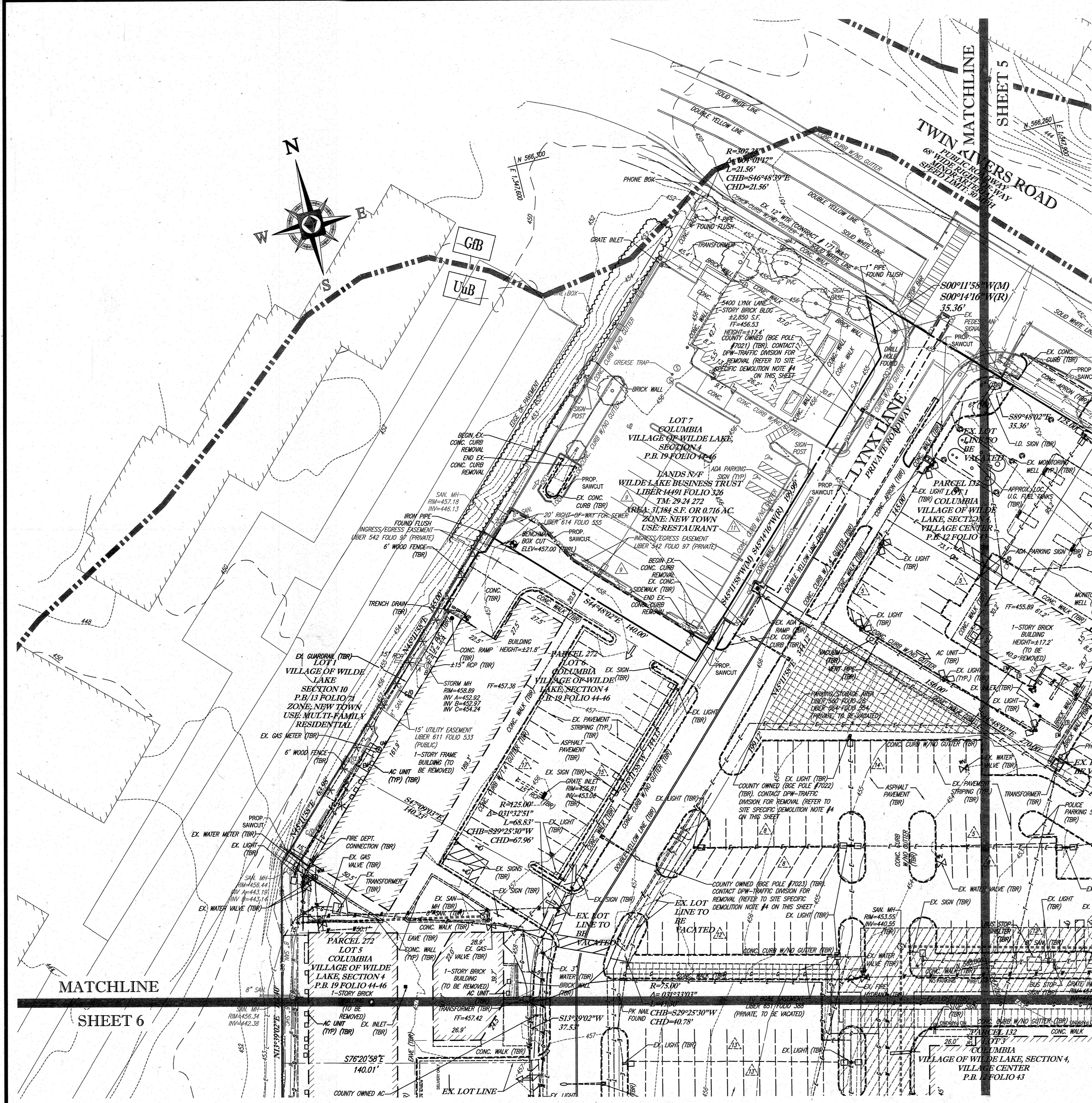
DEVELOPER: KIMCO REALTY CORPORATION
 1984 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 884-2000
 CONTACT: GREG REED

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4
 PLAN # 2-218 - 2-214
 WATER CODE: E32
 SEWER CODE: 5602500

TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1096m SITE AREA: 10.21 AC
 DPZ REF.: SDP-13-046



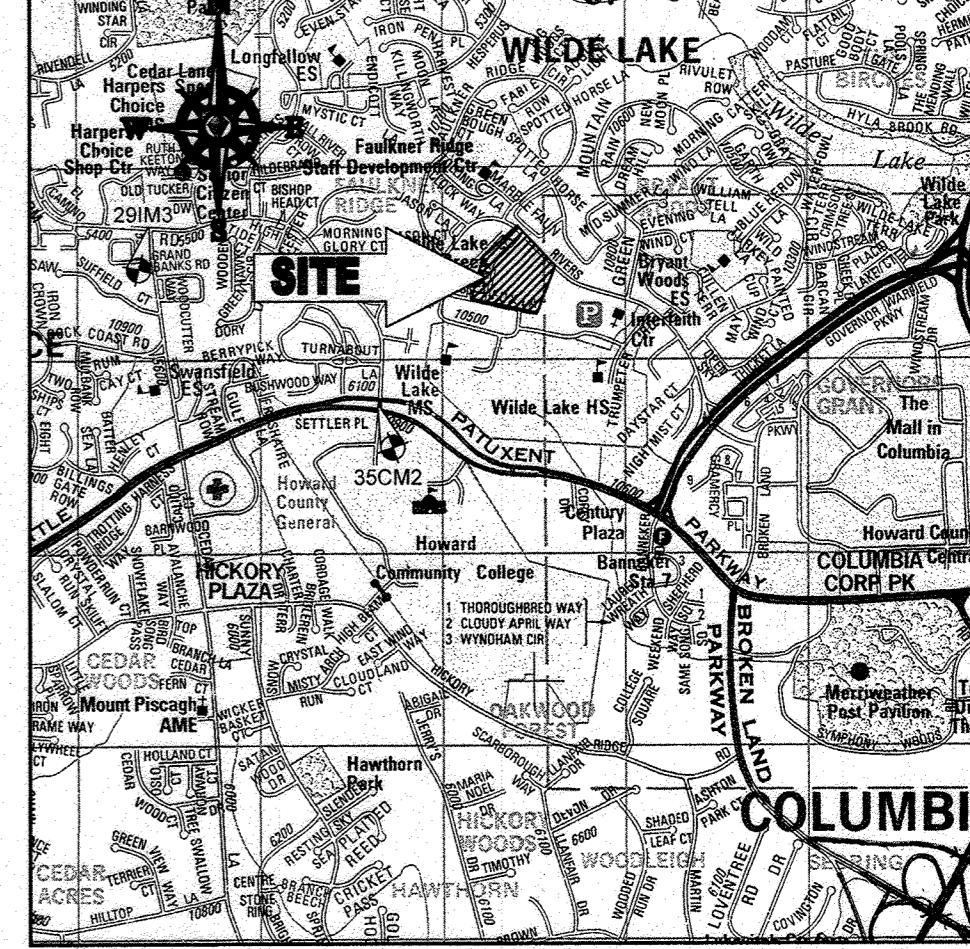
PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44087, EXPIRATION DATE: 6/30/21



SURVEY NOTES:

1. THE PROPERTY IS KNOWN AS LOTS 1, 2 & 3, COLUMBIA VILLAGE OF WILDE LAKE, SECTION 4, VILLAGE CENTER AS RECORDED IN PLAT BOOK 12 AT FOLIO 43 AND LOTS 3 TO 6, COLUMBIA VILLAGE OF WILDE LAKE, SECTION 4 AS RECORDED IN PLAT BOOK 19 AT FOLIO 44-46. ALL BEING THE LANDS OF WILDE LAKE BUSINESS TRUST AS RECORDED IN LIBER 6102 AT FOLIO 385 AND LIBER 6102 FOLIO 377, AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AND HAVING TAX MAP NOS. OF 29-24-132 & 29-24-272.
2. AREA = SQUARE FEET OR ACRES

P.B. 12 FOLIO 43		
LOT 1	25,183	0.578
LOT 2	20,084	0.461
LOT 3	275,744	6.330
P.B. 19 FOLIO 44		
LOT 3	20,687	0.475
LOT 4	22,401	0.514
LOT 6	21,299	0.489
TOTAL	385,398	8.847
3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
4. THIS PROPERTY IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BOHLER ENGINEERING VA, LLC AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
5. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
6. THE LOCATION OF UNDERGROUND TANKS IS APPROXIMATE AND IS SUBJECT TO FIELD VERIFICATION.
7. ELEVATIONS ARE BASED ON NAVD 88 DATUM PER GPS OBSERVATIONS.
8. THE PROPERTY IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN) PER PLAN REFERENCE #2.
9. ALL UNDERGROUND UTILITIES ARE SHOWN PER MARKOUT AND FIELD LOCATION PROVIDED BY INSIGHT, LLC.



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IMS WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IMS WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29IMS ELEV. = 141.153

SURVEY REFERENCES:

1. THE MARYLAND DEPARTMENT OF ASSESSMENTS AND TAXATION FOR HOWARD COUNTY, MARYLAND, MAP NUMBER 29.
2. MAP ENTITLED "FIRM, FLOOD, INSURANCE RATE MAP, HOWARD COUNTY, MARYLAND, UNINCORPORATED AREAS, PANEL 27 OF 45", COMMUNITY-PANEL NUMBER 240044 0027 C, MAP REVISED APRIL 2, 1997.

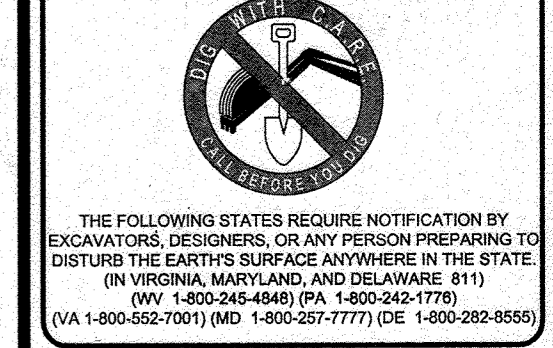
SITE SPECIFIC DEMOLITION NOTES

1. ALL EXISTING PAVEMENT WITHIN THE WILDE LAKE VILLAGE CENTER LIMIT OF DISTURBANCE WILL BE REMOVED UNLESS OTHERWISE NOTED.
2. REFER TO APPROVED PLANS FROM BGE FOR REMOVAL OF EXISTING ELECTRIC AND GAS SERVICES LOCATED WITHIN THE VILLAGE CENTER.
3. REFER TO THE APPROVED PUBLIC WATER AND SEWER PLANS (CONTRACT # 24-4769-D) FOR REMOVAL AND ABANDONMENT OF ALL EXISTING WATER AND SEWER LINES.
4. REMOVAL OF COUNTY OWNED STREET LIGHTS SHALL BE COORDINATED WITH DPW-TRAFFIC DIVISION (410-313-5752). CONTACT TRAFFIC DIVISION 14 DAYS PRIOR TO REMOVAL DATE.
5. REMOVAL OF COUNTY OWNED AC POWERED SCHOOL FLASHER SHALL BE COORDINATED WITH DPW-TRAFFIC DIVISION (410-313-5752). CONTACT TRAFFIC DIVISION 21 DAYS PRIOR TO REMOVAL DATE.
6. CONTRACTOR TO INSTALL TREE PROTECTION AS SHOWN AROUND THE EXISTING TREES THAT ARE TO REMAIN. CONTRACTOR TO USE CAUTION WHEN WORKING IN THE VICINITY OF THE EXISTING TREES TO MINIMIZE DAMAGE TO THE TREE AND TREE ROOTS.

SOILS TABLE			
SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UoB	URBAN LAND - UDORNTENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING
 CONSULTING OFFICE:
 WARRREN, NY
 OFFICES:
 BOWLING GREEN, OH
 CHICAGO, IL
 CHILMARK, MA
 CHILMARK, NY
 CHILMARK, PA
 CHILMARK, VA
 CHILMARK, WA
 CHILMARK, WI
 TAMPA, FL
 PHILADELPHIA, PA
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS

REVISIONS				
REV	DATE	COMMENT	BY	
5	02/11/16	REVISED BLDGS 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	AS-BUILT	
9	2/16/21	AS-BUILT		



APPROVED FOR CONSTRUCTION

PROJECT NO: MD098002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: SS2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MA GESSALL
 PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 LICENSE NO. 44087
 EXPIRATION DATE 6/30/21

EXISTING CONDITIONS / DEMOLITION PLAN
 SHEET TITLE:
 SHEET NUMBER:
 4 OF 91
 SDP-13-046

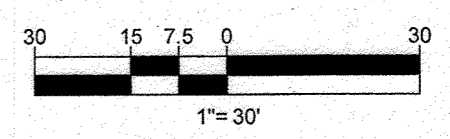
FOR REVISION 9 ONLY:
 (NO AS-BUILT INFO)



FOR REVISION 5 ONLY:

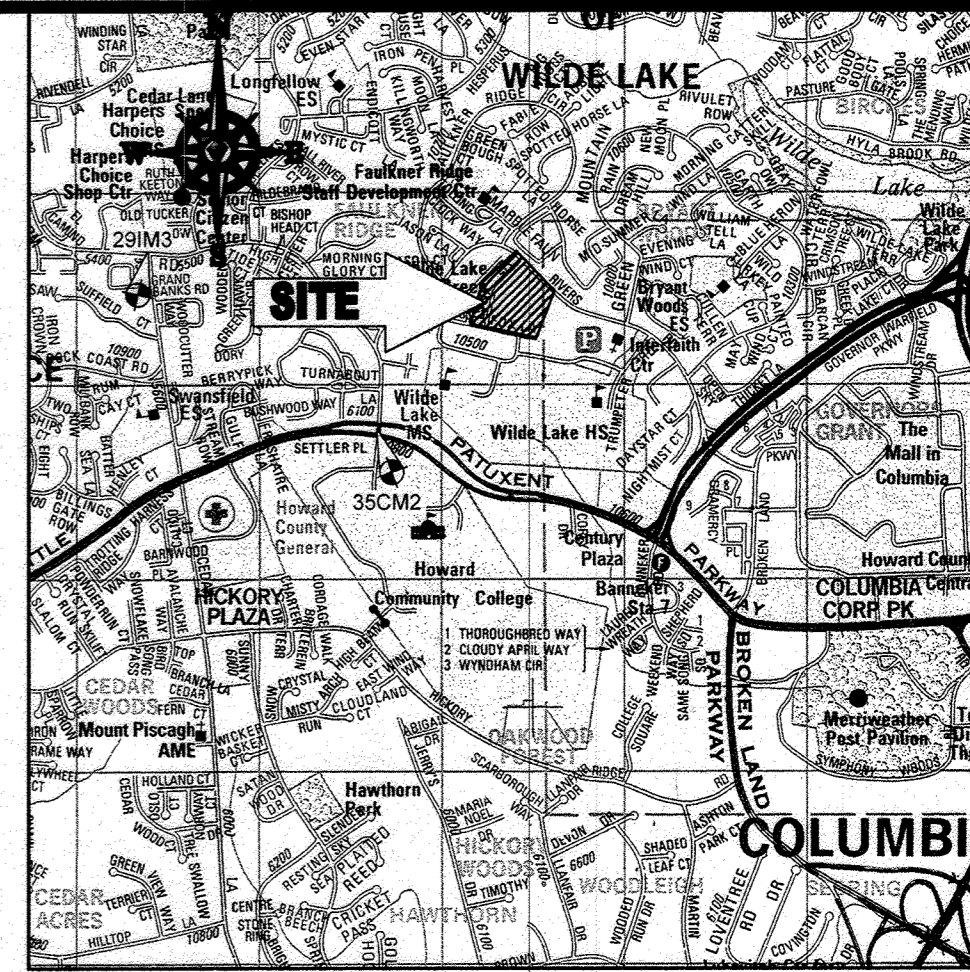
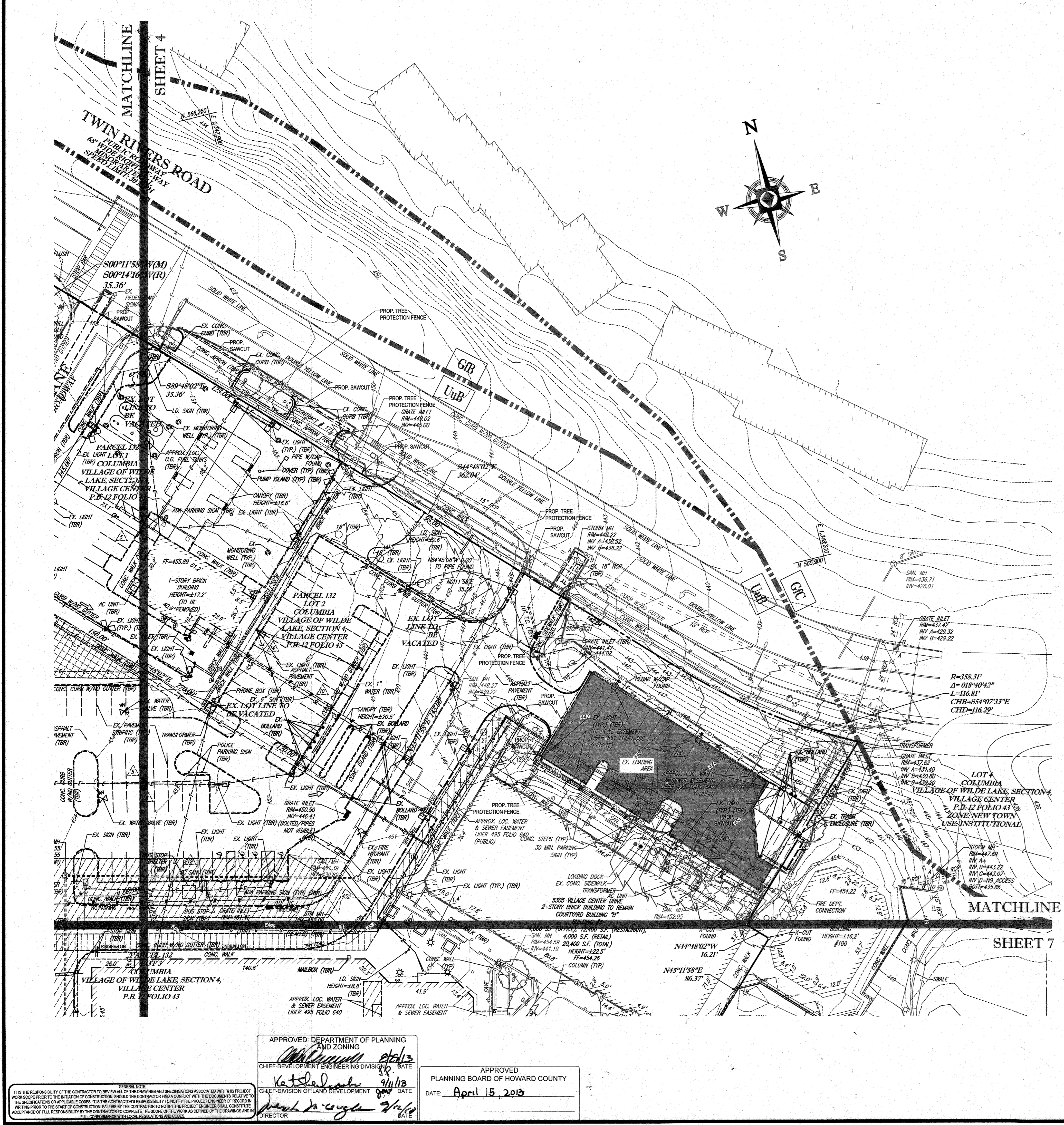


OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 884-2000
 CONTACT: GREG REED
 SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4
 PLAT # 24-4769-D-225-11
 WATER CODE: 53
 SEWER CODE: 5602500
 TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 SECTION: 4
 ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 ZB REF: 1096M SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 2/11/18
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 2/11/18
 DIRECTOR

APPROVED PLANNING BOARD OF HOWARD COUNTY
 DATE: April 16, 2013



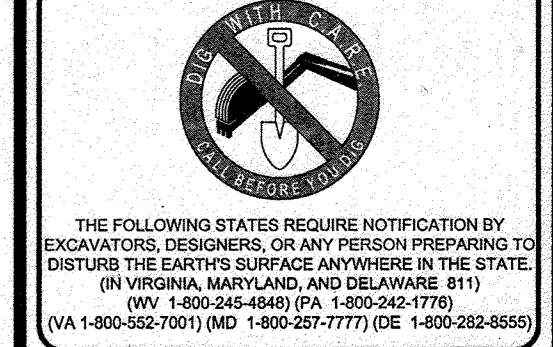
LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / X5

BENCHMARK NOTE:
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTE:
 REFER TO SHEET 4 FOR SURVEY NOTES, SURVEY REFERENCES, SOILS INFORMATION, AND SITE SPECIFIC DEMOLITION NOTES.

BOHLER ENGINEERING
 CONSULTING OFFICE:
 WARREN, NY
 OFFICES:
 BOWLE, MD
 TOWSON, MD
 HAWTHORN, NY
 CHILFORD, PA
 TAMPA, FL
 PHILADELPHIA, PA
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS
 CIVIL & CONSULTING ENGINEERS
 SUBVEYORS

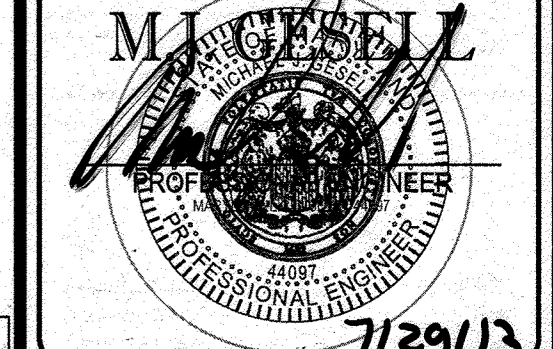
REV	DATE	COMMENT	BY
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9	2/27/21	AS-BUILT	ADC



APPROVED FOR CONSTRUCTION
 PROJECT NO.: MD069002
 DRAWN BY: M/JG
 CHECKED BY: M/JG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: SSS

KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



EXISTING CONDITIONS / DEMOLITION PLAN
 SHEET TITLE:
 SHEET NUMBER:
 5 OF 91
 SDP-13-046

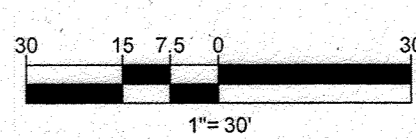
FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



FOR REVISION 5 ONLY:



SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4 VILLAGE CENTER P.B. 12 FOLIO 43
 TAX MAP: 29 PARCELS 272, PARCELS A-C ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096M SITE AREA: 10.21 AC DFZ REF: SDP-13-046
 OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 884-2000
 CONTACT: GREG REED



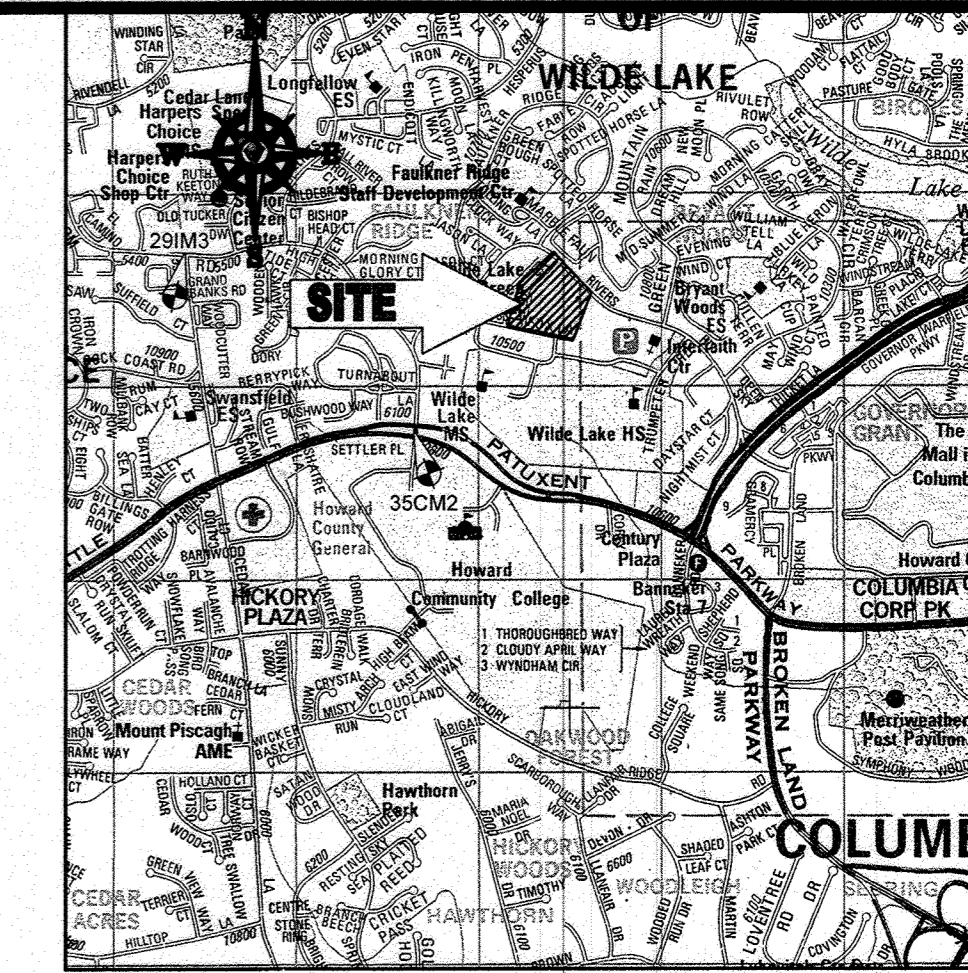
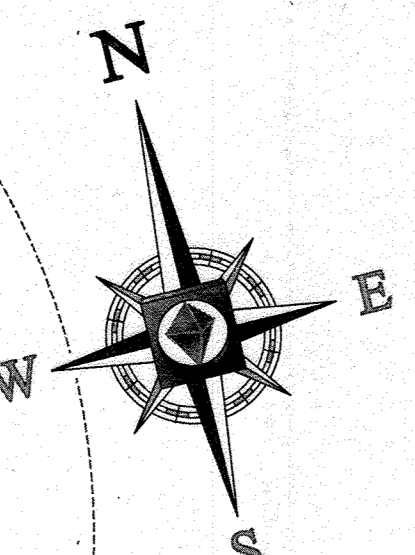
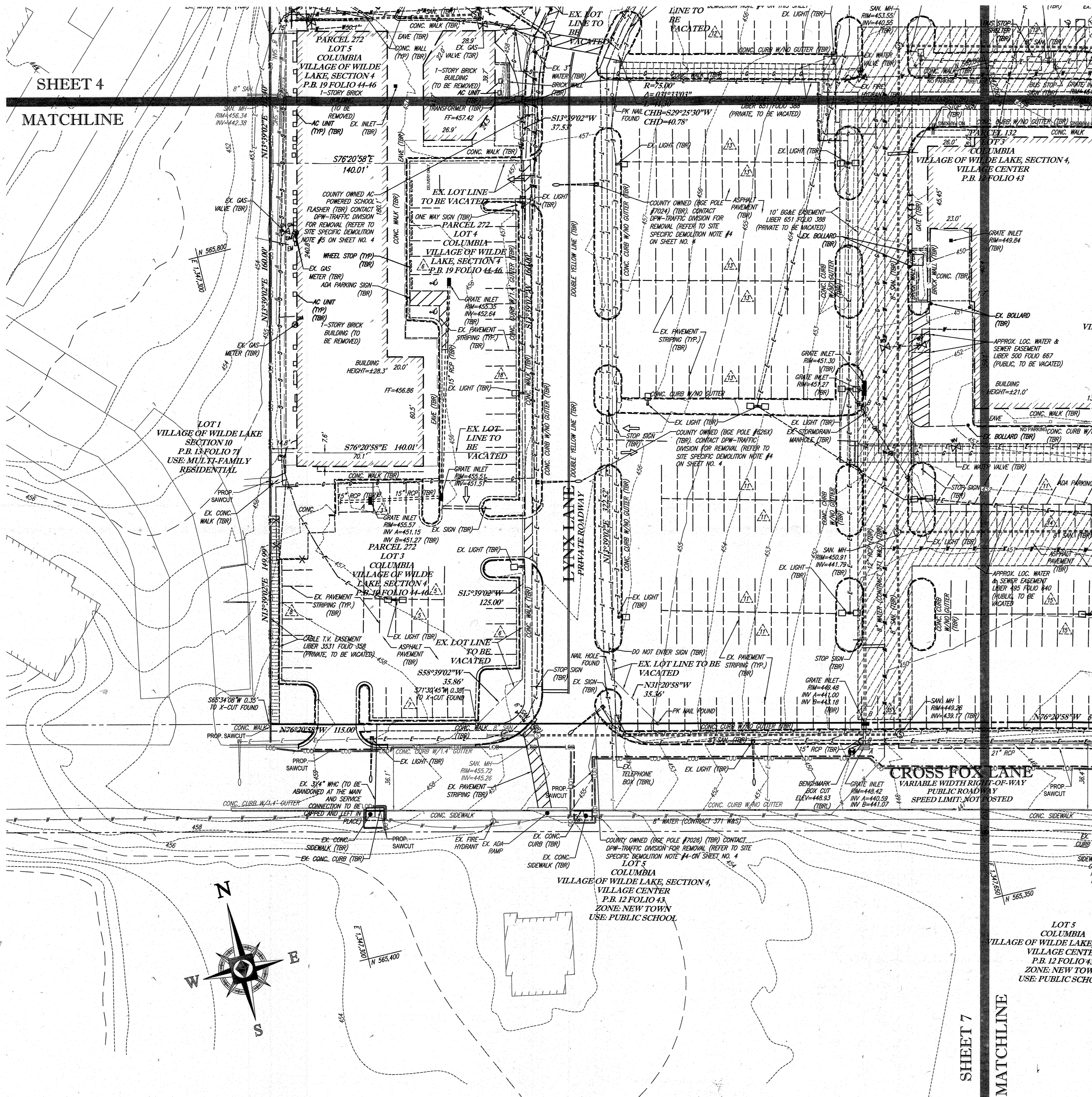
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 DATE: 4/15/2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT BEFORE BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IMMEDIATELY IN WRITING PRIOR TO THE START OF CONSTRUCTION IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES.

SHEET 4

MATCHLINE



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 4934 1K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTE:
 REFER TO SHEET 4 FOR SURVEY NOTES, SURVEY REFERENCES, SOILS INFORMATION, AND SITE SPECIFIC DEMOLITION NOTES.

BOHLER ENGINEERING

COURTNEY A. BOHLER, P.E.
 CIVIL & CONSULTING ENGINEERS
 1000 W. WASHINGTON ST.
 WASHINGTON, MD 20787
 (410) 821-7987
 www.BohlerEngineering.com

PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

SUBVENORS
 BOWEN MD
 TOWSON MD
 WASHINGTON VA
 CHARLESTON VA
 PHILADELPHIA PA
 TAMPA FL

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3, 4, 5 AND PARKING GARAGE	AD-Bohler
9	2/10/21	As-Built	WJC

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=50'
 CAD I.D.: SSS

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



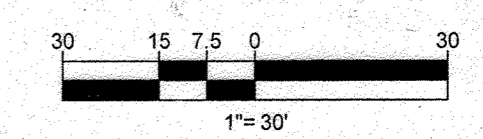
FOR REVISION 5 ONLY:



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 8/29/15
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/1/15
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 7/16/16
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 GRID: 24 ZONED: NT PARCELS: 272, PARCELS: A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND 28 REF.: 1096m SITE AREA: 10.21 AC WATER CODE: 82Z DPZ REF.: SDP-13-046
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONIUM, MD 21093 (410) 684-2000 CONTACT: GREG REED	PROFESSIONAL CERTIFICATION I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44937, EXPIRATION DATE: 6/30/21



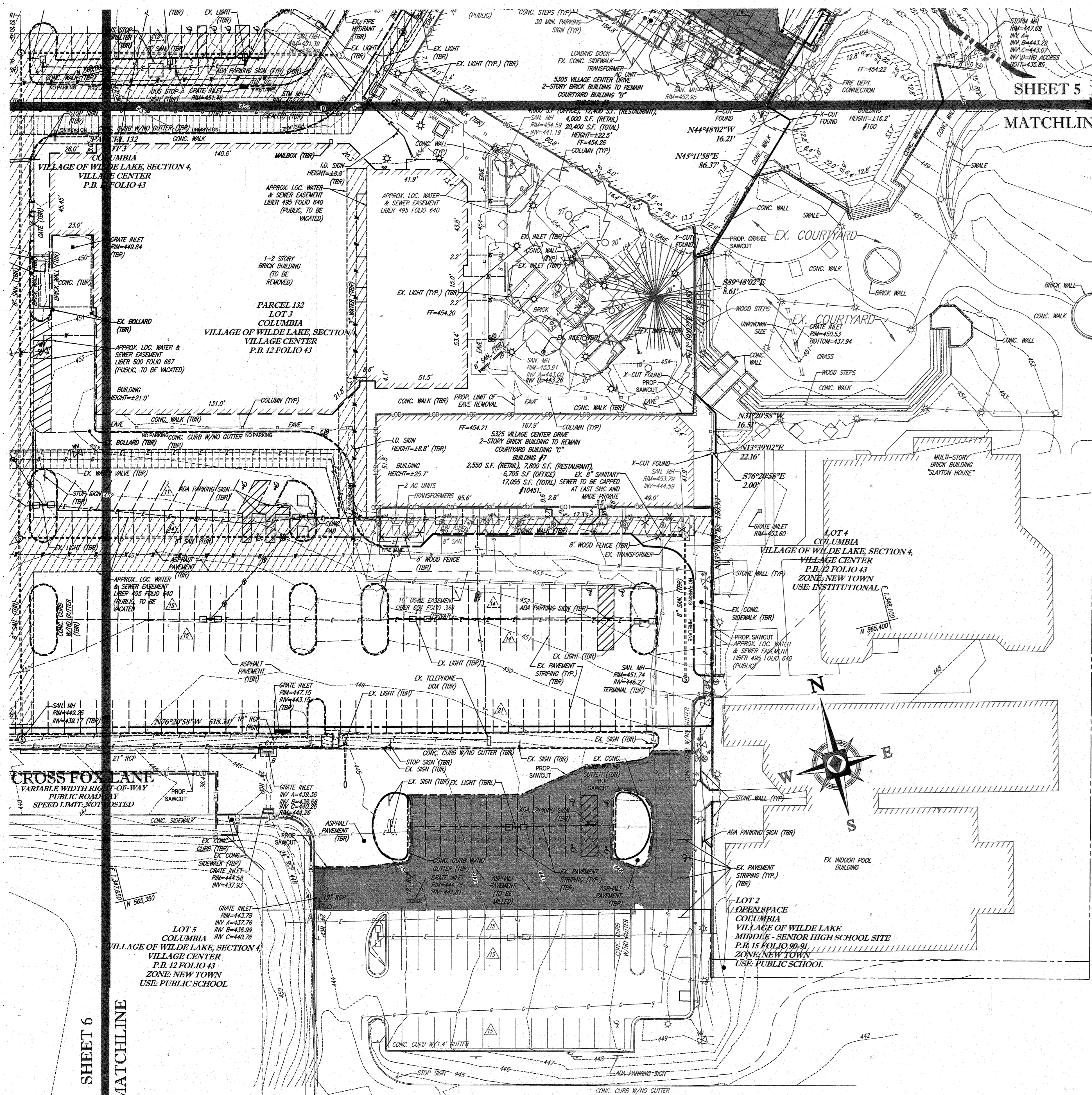
BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44937
 EXPIRATION DATE: 6/30/21

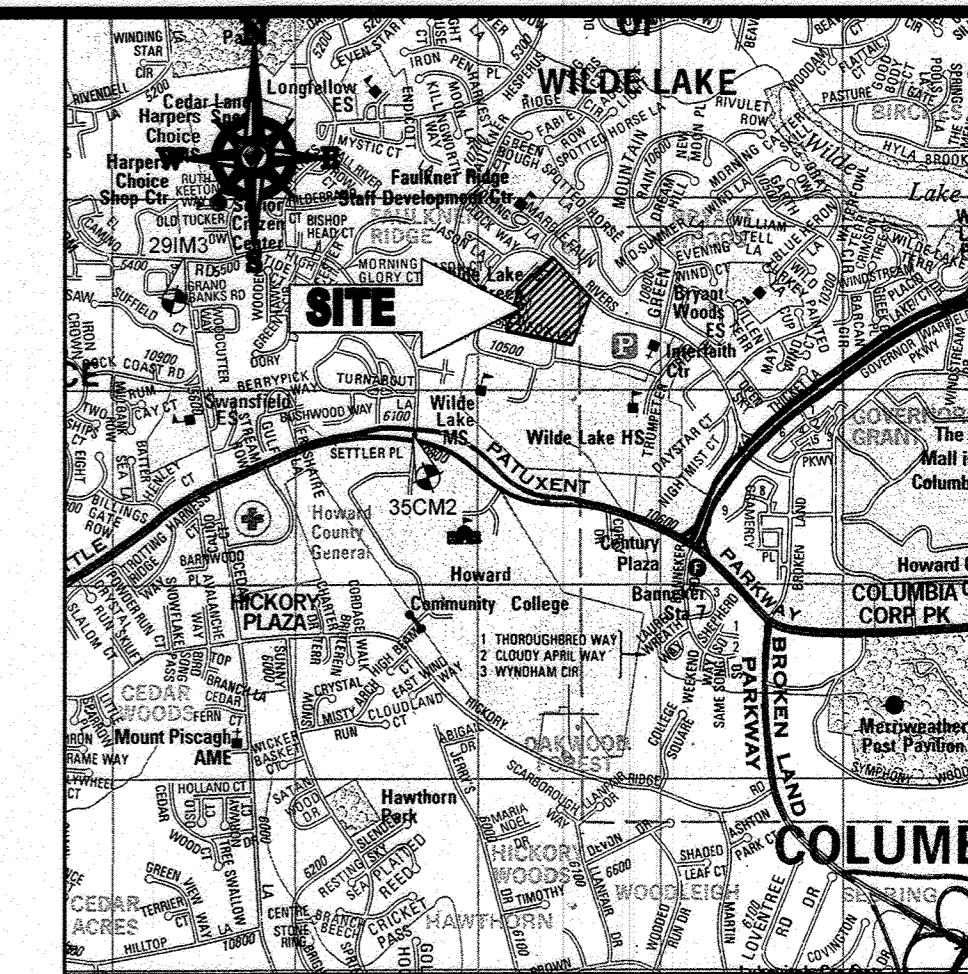
EXISTING CONDITIONS / DEMOLITION PLAN

SHEET NUMBER:
6
 OF 91
 SDP-13-046



SHEET 5

MATCHLINE



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

BOHLER ENGINEERING

COLUMBIA OFFICE:
 WALKERSVILLE OFFICES:
 BOWLING GREEN, MD
 TOWSON, MD
 ALBANY, NY
 CHILMARK, VA
 CHARLESTON, SC
 CHESAPEAKE, VA
 TAMPA, FL
 PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	04/11/16	REVISED BLDGS 1, 2, 3, 4	DMH
9	2/16/21	AS-BUILT	DMH

NOTE:
 REFER TO SHEET 4 FOR SURVEY NOTES, SURVEY REFERENCES, SOILS INFORMATION, AND SITE SPECIFIC DEMOLITION NOTES.

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MLG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: SSJ

APPROVED FOR CONSTRUCTION

PROJECT: **SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION**
 LOCATION OF SITE: **VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD**
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESSELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44897, EXPIRATION DATE: 6/30/21

SHEET TITLE: **EXISTING CONDITIONS / DEMOLITION PLAN**

SHEET NUMBER: **7 OF 91**

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/18

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

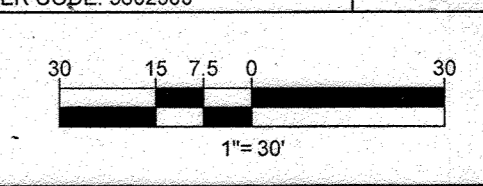
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

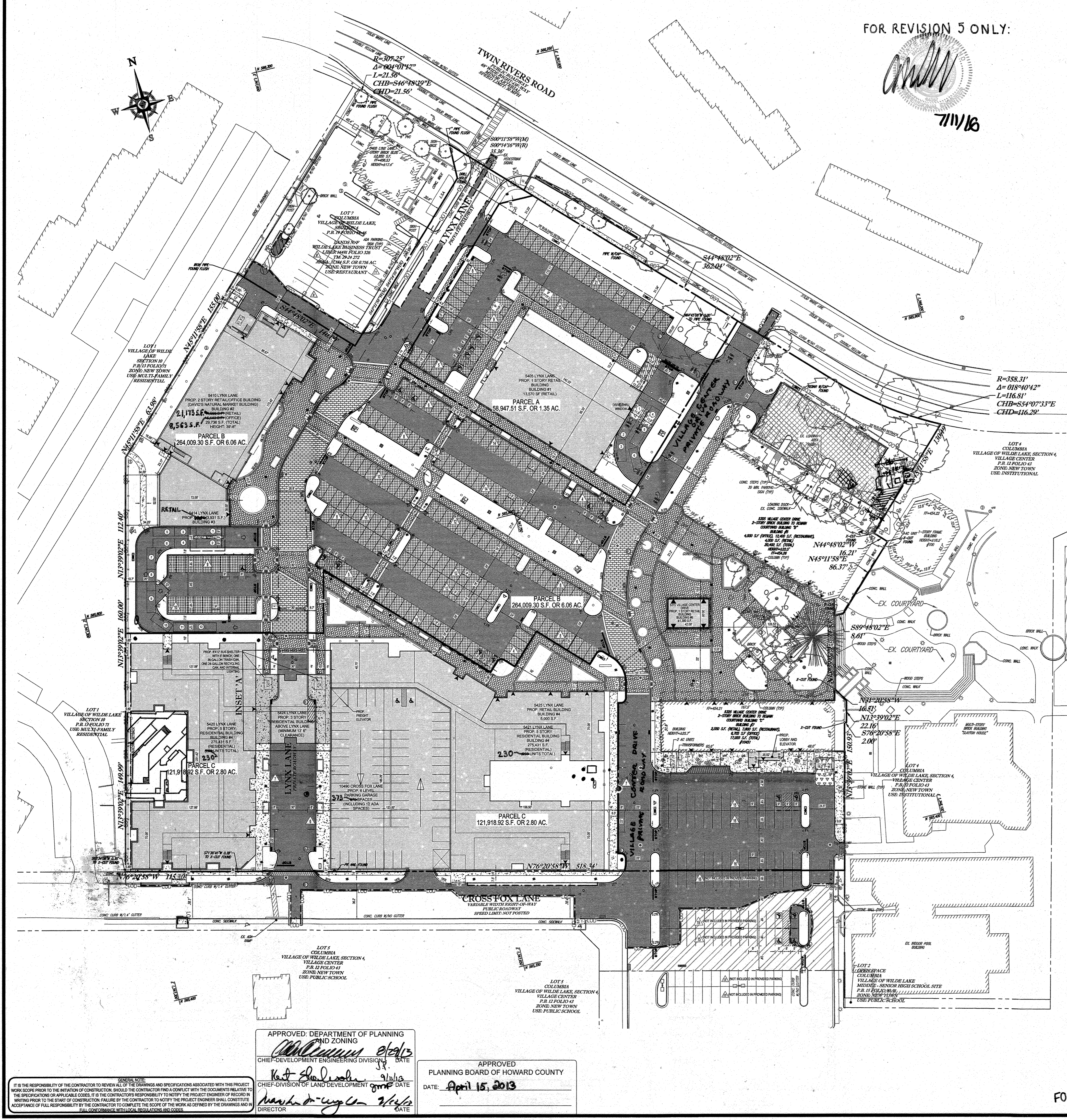
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4
 PLAT # 2010-02-011
 WATER CODE: E22
 SEWER CODE: 5092300

TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

GRID: 24
 ZONED: NT



PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44897, EXPIRATION DATE: 6/30/21



FOR REVISION 5 ONLY:

[Signature]
7/11/16

FOR REVISION 4 ONLY

[Signature]
9/17/15

FOR REVISION 8 ONLY

[Signature]
12/18/17

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

[Signature]
2/17/21

FOR REVISION 7 ONLY

[Signature]
3/7/17

LEGEND

- DRIVE THRU STACKING SPACE
- STACKING SPACE NUMBER
- ASPHALT PAVEMENT
- PREVIOUS PAVERS (ADA COMPLIANT SURFACE)
- CONCRETE PAVERS (ADA COMPLIANT SURFACE)
- STAMPED CONCRETE PAVEMENT (ADA COMPLIANT SURFACE)
- CONCRETE SIDEWALK (HO. CO. STD R-3.08)
- CONCRETE PAVEMENT
- 1.5" ASPHALT PAVEMENT OVERLAY
- EX. ASPHALT PAVEMENT TO REMAIN AND BE RESTRICTED
- NUMBER OF PARKING SPACES PER ROW

BOHLER ENGINEERING

CONSULTING OFFICE:
 WASHINGTON, DC
 BOWLING GREEN, OH
 SOUTH BRIDGE, MA
 TOWSON, MD
 ALBANY, NY
 CHARLESTON, SC
 CHICAGO, IL
 TAMPA, FL
 PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	04/15/13	REVISED UTILITY LIMIT	RMH
2	06/24/15	REVISED CURB RAISED IN COURTYARD	WCB
4	08/19/15	SHOW PAVERS IN COURTYARD	PAB
5	02/11/16	REVISED BLOS 1, 3, 4, 5, 6 WITH PAVED AND PARKING CASE	RMH
7	12/18/17	ADD PREPROPOSED TRASH ENCLOSURE	OML
8	11/16/17	ADD PREPROPOSED TRASH ENCLOSURE	OML
9	2/17/21	AS-BUILT	RMH

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 817 (VY 1-800-245-4848) (PA 1-800-245-1776) (VA 1-800-552-7071) (MD 1-800-521-7777) (DE 1-800-392-8559)

APPROVED FOR CONSTRUCTION

PROJECT NO.: M0069002
 DRAWN BY: RMH
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: AS NOTED
 CAD I.D.: SSJ

PROJECT: **SITE DEVELOPMENT PLAN** FOR **KIMCO REALTY CORPORATION**

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

[Signature]
7/29/13

SHEET TITLE: **OVERALL SITE PLAN**

SHEET NUMBER: **8 OF 91**

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/15/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

FOR REVISION 1 ONLY INSET 'A'

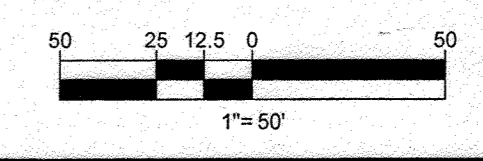
[Signature]
3/17/14

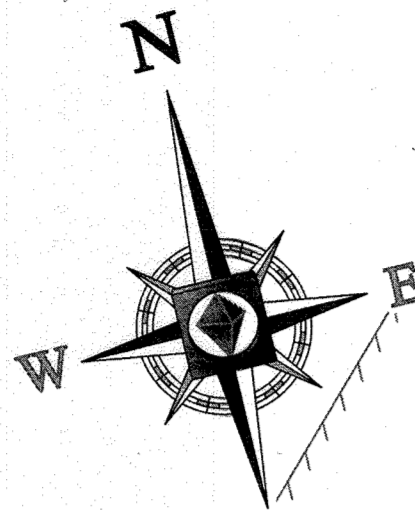
FOR REVISION 3 ONLY
[Signature]
7/20/15

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1854 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21103
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1956m SITE AREA: 10.21 AC DPZ REF.: SDP-13-046





SITE KEYNOTES

- SOLAR POWERED "SCHOOL ZONE" FLASHER (CONTACT HOWARD COUNTY DPW-TRAFFIC DIVISION AT 410-313-7523)
- RELOCATED SITE LIGHT
- TRASH ENCLOSURE AND COMPACTOR AREA TO MATCH BUILDING (REFER TO ARCHITECTURAL PLANS)
- RIP-RAP OUTLET PROTECTION
- RAISED CROSSWALK
- STOP SIGN (MUTCD R1-1)
- PAINTED STOP BAR
- STRIPED LOADING AND DROPOFF AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
- PAINTED STOP/DO NOT ENTER BAR
- PAINTED DRIVE THRU ARROW
- STANDARD PARKING STALL WITH 4" WIDE PAVEMENT MARKINGS (8' X 18') (TYP.)
- ADA ACCESSIBLE PARKING STALL WITH PAINTED ADA SYMBOL (8' X 18') (TYP.)
- PARALLEL PARKING STALL (LOW-EMITTING PARKING SPACE) (8' X 22')
- ADA PARKING SIGN
- 12" HIGH MONUMENT ID SIGN (REFER TO ARCHITECTURAL PLANS)
- 12" PYLON ID SIGN (REFER TO ARCHITECTURAL PLANS)
- BIKE LOCKER (2 LOCKERS)
- COVERED WALKWAY (REFER TO ARCHITECTURAL PLANS)
- DO NOT ENTER SIGN (MUTCD R5-1)
- LOADING AREA (4" WHITE STRIPE @ 45°, 4' O.C.)
- 6' HIGH FENCE
- PRIVACY FENCE (REFER TO ARCHITECTURAL PLANS)
- 15' 0" RAISED PLANTER AREA
- 12' X 6' CURBED PLANTER AREA
- LANDSCAPED AREA
- MICROBIORETENTION FACILITY AREA ✓
- KNOX BOX (REFER TO ARCHITECTURAL PLANS)
- TRASH ENCLOSURE
- LIGHT (REFER TO LIGHTING PLAN FOR SPECIFIC TYPE)
- CONC. BARRIER CURB (HO. CO. STD R-3.03)
- DEPRESSED CURB
- SIDEWALK RAMP (HO. CO. STD R-4.02)
- SIDEWALK RAMP (HO. CO. STD R-4.04)
- WALL WITH GUARDRAIL
- PAINTED STRIPED AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
- PAINTED STRIPED CROSSWALK
- 8' X 12' BUS SHELTER WITH 6' BENCH, 36 GALLON TRASH CAN, 24 GALLON RECYCLING CAN AND INTERNAL LIGHTING
- BUILDING-MOUNTED ATM (REFER TO ARCHITECTURAL PLANS)
- DRIVE-THRU P.O.S. (REFER TO ARCHITECTURAL PLANS)
- FIRE DEPARTMENT SIAMESE CONNECTION (REFER TO ARCHITECTURAL PLANS)
- RELOCATED ABOVEGROUND TELEPHONE BOX (REFER TO APPROVED PLAN FROM UTILITY COMPANY)
- LOW EMISSION VEHICLE PARKING SIGN
- FIRE HYDRANT (REFER TO APPROVED PUBLIC UTILITY PLANS)
- STORMDRAIN INLET (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE) ✓
- STORMDRAIN MANHOLE (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE) ✓
- STORMDRAIN ENDWALL (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- SANITARY MANHOLE (REFER TO APPROVED PUBLIC UTILITY PLANS)
- 7" COMBINATION CURB & GUTTER (HO. CO. STD. R-3.01)
- TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB & GUTTER
- TRANSITION FROM PROP. CONC. BARRIER CURB TO EXISTING CURB
- POLYMER WHEELSTOP
- BOLLARD MOUNTED ADA PARKING SIGN
- BOLLARD MOUNTED NO PARKING SIGN
- NO PARKING SIGN
- 12' 0" CURBED PLANTER AREA
- TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB
- TRENCH DRAIN (REFER TO ARCHITECTURALS)
- 8' HIGH BOARD ON BOARD FENCE WITH 6" WIDE GATE
- 827 S.F. RAISED PLANTER AREA
- 1,017 S.F. RAISED PLANTER AREA
- SMOKER POLE
- BANK DRIVE-THRU CANOPY
- RESIDENTIAL LOADING SPACE FOR MOVING AND DELIVERIES
- DEPRESSED CURB
- RESIDENTIAL DUMPSTER
- 1,500 GALLON SAND-MUD TRAP (REFER TO ARCHITECTURALS)
- BOLLARD-MOUNTED LOW EMISSION PARKING SIGN
- 123 S.F. CURBED PLANTER AREA
- GAS METER
- NO PARKING SIGN (MUTCD R7-1)
- 70 LF. HANDRAIL
- 8" RISER
- GREASE TRAP

LEGEND

- DRIVE THRU STACKING SPACE
- DRIVE THRU STACKING SPACE NUMBER
- ASPHALT PAVEMENT
- PERVIOUS PAVERS (ADA COMPLIANT SURFACE) ✓
- CONCRETE PAVERS (ADA COMPLIANT SURFACE)
- STAMPED CONCRETE PAVEMENT (ADA COMPLIANT SURFACE)
- CONCRETE SIDEWALK (HO. CO. STD R-3.05)
- CONCRETE PAVEMENT
- 1" ASPHALT PAVEMENT OVERLAY
- EX. ASPHALT PAVEMENT TO REMAIN AND BE RESTRIPTED
- NUMBER OF PARKING SPACES PER ROW

FOR REVISION 9 ONLY (AS-BUILT)

7/27/12

FOR REVISION 5 ONLY:

7/11/16

FOR REVISION 1 ONLY

3/17/14

7/31/14

FOR REVISION 2 ONLY

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 8/21/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 [Signature] 9/11/13
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE

APPROVED: [Signature] 9/12/10
 DIRECTOR

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #10094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

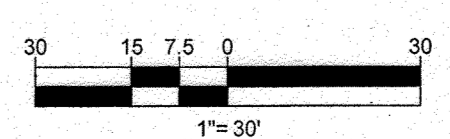
L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21094," DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21083
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 2B GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m - SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44057, EXPIRATION DATE 6/9/20 21.



BOHLER ENGINEERING

CORPORATE OFFICE: WARREN, NJ

SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOWNE AND
 TOWSON, MD
 FORT LAUDERDALE, FL
 WASHINGTON, VA
 CHARLOTTE, NC
 GREEN VALLEY, PA
 CHICAGO, IL
 GAITHERSBURG, MD
 FORT LAUDERDALE, FL
 WASHINGTON, VA
 GREEN VALLEY, PA
 CHICAGO, IL

REVISIONS

REV	DATE	COMMENT	BY
1	04/09/11	REVISED UTILITY LAYOUT	AGM
2	5/14/11	REVISED STORM DRAIN LAYOUT, PLANTER PERIMETER AND WALKWAYS & CONC. CURB	TAK
5	02/11/16	REVISED BLDGS 2, 3, 7, 8 USE AND PARKING CALCS	DMH
9	8/15/21	AS-BUILT	MTG



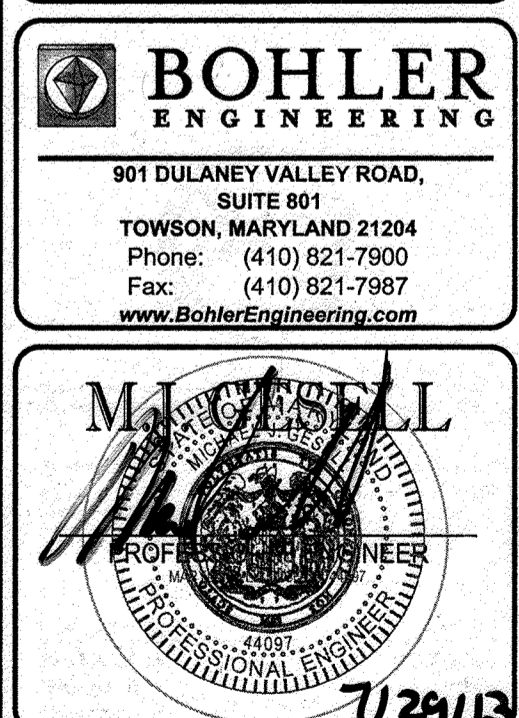
APPROVED FOR CONSTRUCTION

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

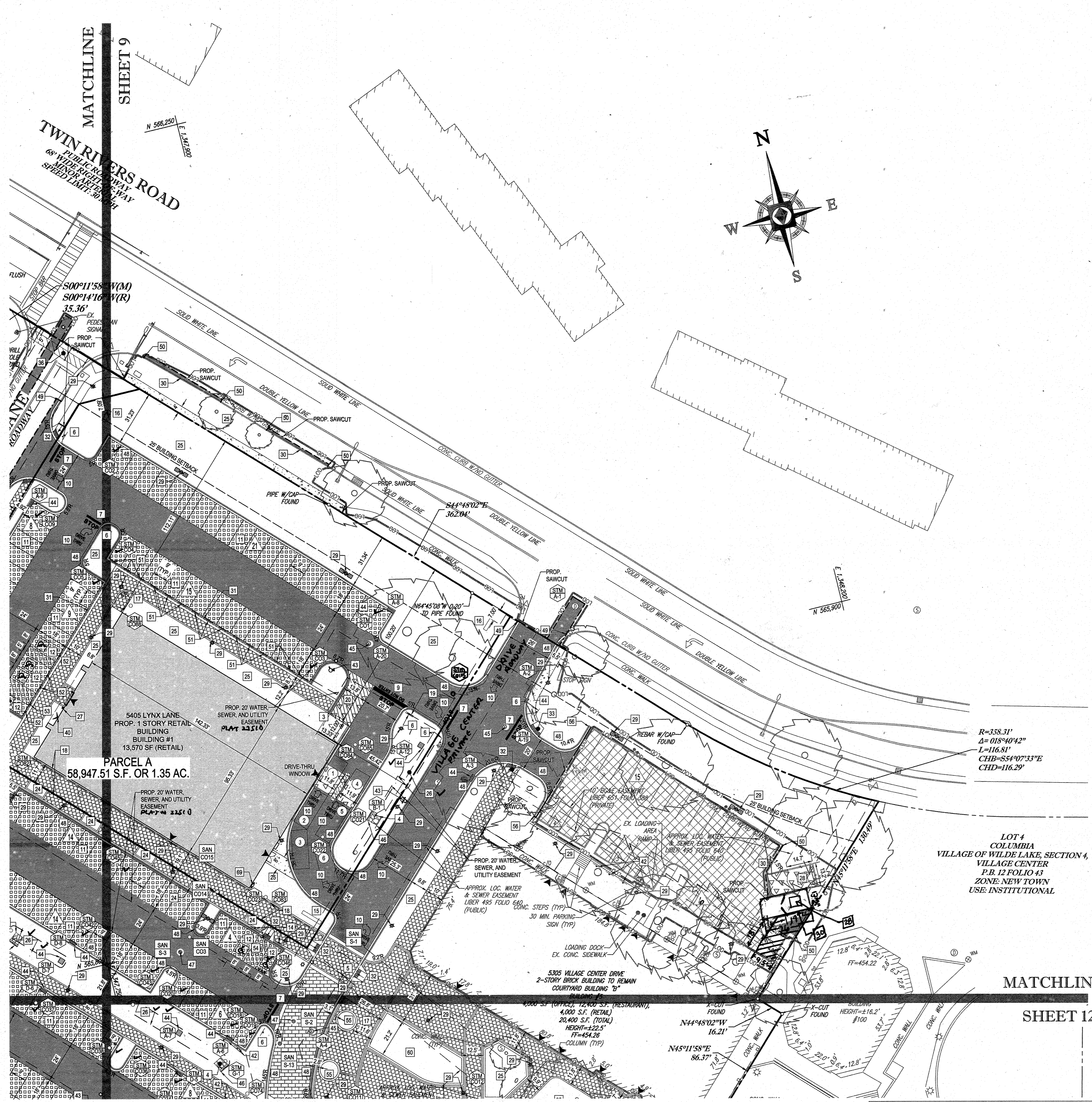


BOHLER ENGINEERING

SHEET TITLE: SITE PLAN

SHEET NUMBER: 9 OF 91

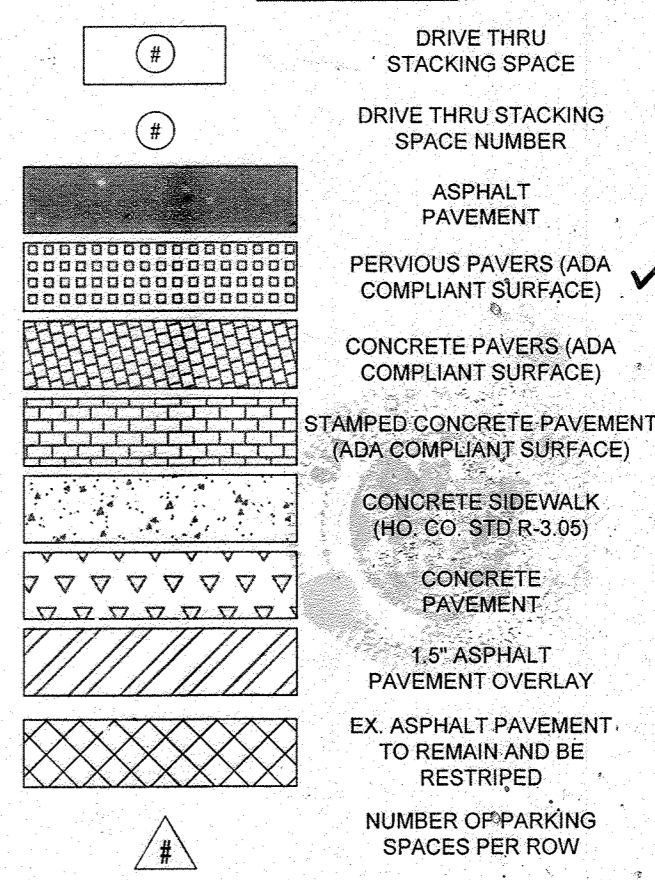
SDP-13-046



SITE KEYNOTES

- 1 SOLAR POWERED "SCHOOL ZONE" FLASHER (CONTACT HOWARD COUNTY DPW-TRAFFIC DIVISION AT 410-313-5752)
- 2 RELOCATED SITE LIGHT
- 3 TRASH ENCLOSURE AND COMPACTOR AREA TO MATCH BUILDING (REFER TO ARCHITECTURAL PLANS)
- 4 RIP-RAP OUTLET PROTECTION
- 5 RAISED CROSSWALK
- 6 STOP SIGN (MUTCD R1-1)
- 7 PAINTED STOP BAR
- 8 STRIPED LOADING AND DROPOFF AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
- 9 PAINTED STOP/DO NOT ENTER BAR
- 10 PAINTED DRIVE THRU ARROW
- 11 STANDARD PARKING STALL WITH 4" WIDE PAVEMENT MARKINGS (8' X 18') (TYP.)
- 12 ADA ACCESSIBLE PARKING STALL WITH PAINTED ADA SYMBOL (8' X 18') (TYP.)
- 13 PARALLEL PARKING STALL (LOW-EMITTING PARKING SPACE) (8' X 22')
- 14 ADA PARKING SIGN
- 15 12" HIGH MONUMENT ID SIGN (REFER TO ARCHITECTURAL PLANS)
- 16 12" PYLON ID SIGN (REFER TO ARCHITECTURAL PLANS)
- 17 BIKE LOCKER (2 LOCKERS)
- 18 COVERED WALKWAY (REFER TO ARCHITECTURAL PLANS)
- 19 DO NOT ENTER SIGN (MUTCD R5-1)
- 20 LOADING AREA (4" WHITE STRIPE @ 45°, 4' O.C.)
- 21 6' HIGH FENCE
- 22 PRIVACY FENCE (REFER TO ARCHITECTURAL PLANS)
- 23 15' X 6' RAISED PLANTER AREA
- 24 12' X 6' CURBED PLANTER AREA
- 25 LANDSCAPED AREA
- 26 MICROBIORETENTION FACILITY AREA ✓
- 27 KNOX BOX (REFER TO ARCHITECTURAL PLANS)
- 28 TRASH ENCLOSURE
- 29 LIGHT (REFER TO LIGHTING PLAN FOR SPECIFIC TYPE)
- 30 CONC. BARRIER CURB (HO. CO. STD. R-3.03)
- 31 DEPRESSED CURB
- 32 SIDEWALK RAMP (HO. CO. STD. R-4.02)
- 33 SIDEWALK RAMP (HO. CO. STD. R-4.04)
- 34 WALL WITH GUARDRAIL
- 35 PAINTED STRIPED AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
- 36 PAINTED STRIPED CROSSWALK
- 37 8' X 12' BUS SHELTER WITH 6" BENCH, 38 GALLON TRASH CAN, 24 GALLON RECYCLING CAN AND INTERNAL LIGHTING
- 38 BUILDING-MOUNTED ATM (REFER TO ARCHITECTURAL PLANS)
- 39 DRIVE-THRU P.O.S. (REFER TO ARCHITECTURAL PLANS)
- 40 FIRE DEPARTMENT SIAMSESE CONNECTION (REFER TO ARCHITECTURAL PLANS)
- 41 RELOCATED ABOVEGROUND TELEPHONE BOX (REFER TO APPROVED PLAN FROM UTILITY COMPANY)
- 42 LOW EMISSION VEHICLE PARKING SIGN
- 43 FIRE HYDRANT (REFER TO APPROVED PUBLIC UTILITY PLANS)
- 44 STORMDRAIN INLET (REFER TO STORMDRAIN ✓ SCHEDULES FOR SPECIFIC TYPE)
- 45 STORMDRAIN MANHOLE (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 46 STORMDRAIN ENDWALL (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 47 SANITARY MANHOLE (REFER TO APPROVED PUBLIC UTILITY PLANS)
- 48 7" COMBINATION CURB & GUTTER (HO. CO. STD. R-3.01)
- 49 TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB & GUTTER
- 50 TRANSITION FROM PROP. CONC. BARRIER CURB TO EXISTING CURB
- 51 POLYMER WHEELSTOP
- 52 BOLLARD MOUNTED ADA PARKING SIGN
- 53 BOLLARD MOUNTED NO PARKING SIGN
- 54 NO PARKING SIGN
- 55 12' X 6' CURBED PLANTER AREA
- 56 TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB
- 57 TRENCH DRAIN (REFER TO ARCHITECTURALS)
- 58 8' HIGH BOARD ON BOARD FENCE WITH 6" WIDE GATE
- 59 827 S.F. RAISED PLANTER AREA
- 60 1,017 S.F. RAISED PLANTER AREA
- 61 SMOKER POLE
- 62 BANK DRIVE-THRU CANOPY
- 63 RESIDENTIAL LOADING SPACE FOR MOVING AND DELIVERIES
- 64 DEPRESSED CURB
- 65 RESIDENTIAL DUMPSTER
- 66 1,500 GALLON SAND-MUD TRAP (REFER TO ARCHITECTURALS)
- 67 BOLLARD-MOUNTED LOW EMISSION PARKING SIGN
- 68 123 S.F. CURBED PLANTER AREA
- 69 GAS METER
- 70 NO PARKING SIGN (MUTCD R7-1)
- 71 70 LF. HANDRAIL
- 72 8" RISER
- 73 GREASE TRAP

LEGEND



R=358.31'
 Δ=018°40'42"
 L=116.81'
 CHD=55°07'33"E
 CHD=116.29'

LOT 4
 COLUMBIA
 VILLAGE OF WILDE LAKE, SECTION 4,
 VILLAGE CENTER
 P.B. 12 FOLIO 43
 ZONE: NEW TOWN
 USE: INSTITUTIONAL

FOR REVISION 9 ONLY
 LAS-BUILT

FOR REVISION 8 ONLY

FOR REVISION 5 ONLY:

FOR REVISION 1 ONLY

FOR REVISION 2 ONLY

ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NDRR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #10094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION

DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 15, 2013

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 133, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 OO KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 SECTION: 4
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZONE REF: 1090m SITE AREA: 10.21 AC
 FINAL PLAN APPROVED: DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44297, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CORPORATE OFFICE:
 WARREN, NJ

CIVIL & CONSULTING ENGINEERS
 SURVEYORS

PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOWLING GREEN, OH
 JARVISVILLE, VA
 ROCKFORD, MA
 ROCKFORD, MA
 CENTER VALLEY, PA
 TAMPA, FL
 PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
1	01/01/14	REVISED UTILITY LAYOUT	
2	5/16/14	REVISED STAIR DRINK FOOT PRINTS AND WATER TRAP CONNECT	TMG
5	02/11/16	REVISED LOTS 2, 3, 4 USE AND PARKING LINES	DPH
8	11/16/17	ADD PROPOSED TRASH ENCLOSURE	DMH
9	2/16/21	AS-BUILT	DMH

APPROVED FOR CONSTRUCTION

PROJECT NO: MD06502
 DRAWN BY: RMS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD ID: SSS

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4, 5, 6

BOHLER ENGINEERING

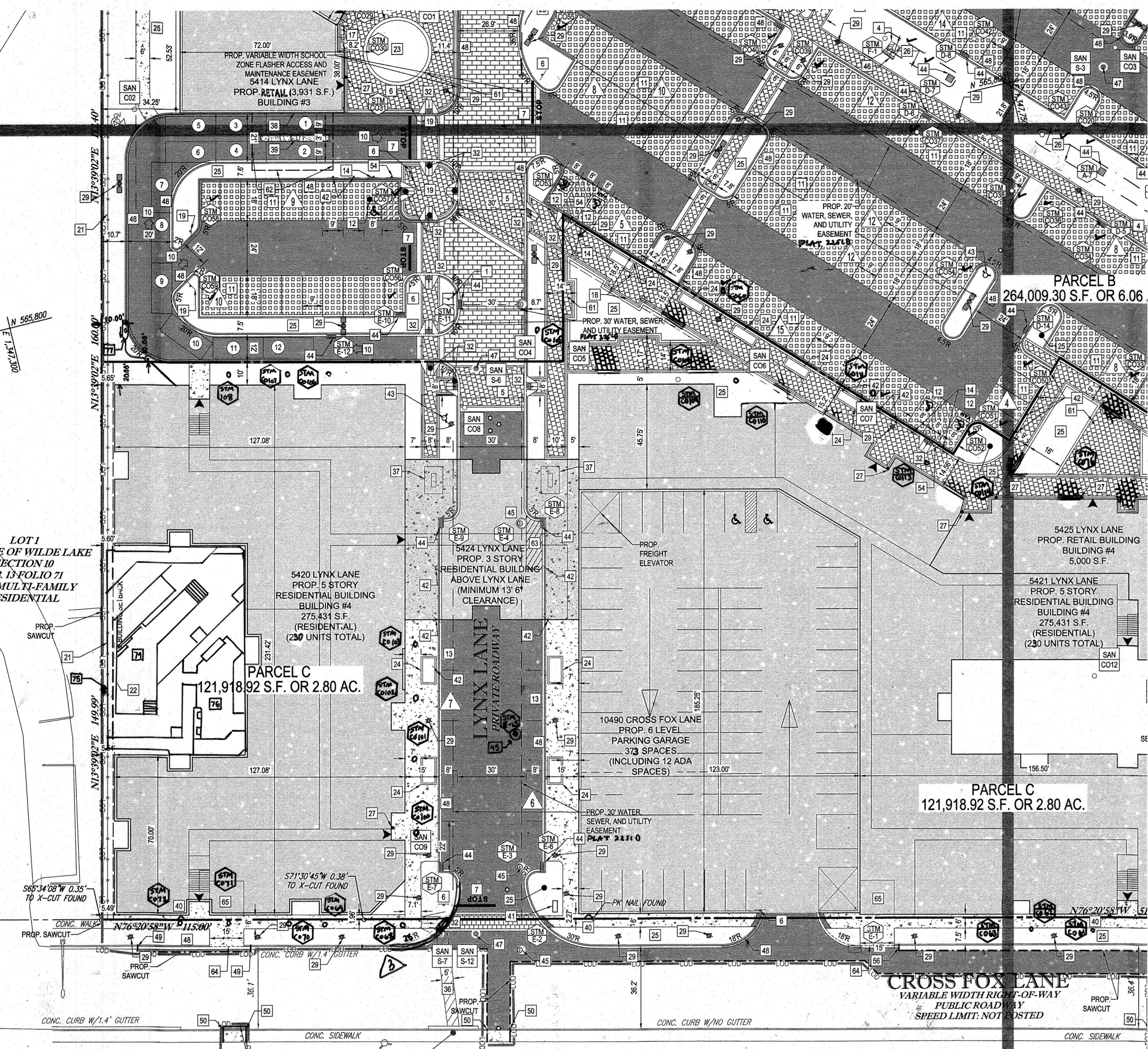
801 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESSELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44297
 EXPIRATION DATE: 6/30/21

SITE PLAN

SHEET NUMBER: 10 OF 91

SDP-13-046

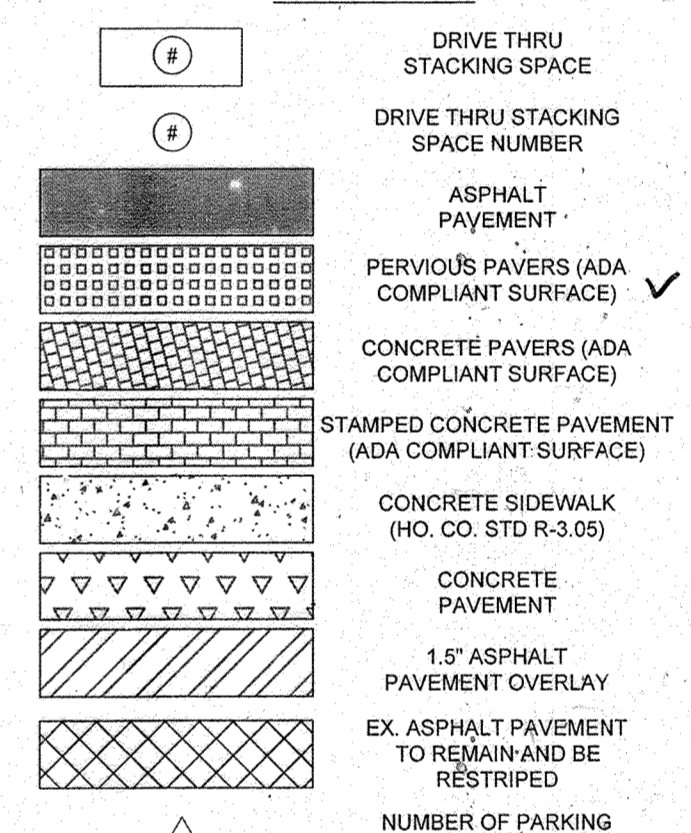


SITE KEYNOTES

- 1 SOLAR POWERED "SCHOOL ZONE" FLASHER (CONTACT HOWARD COUNTY DPW-TRAFFIC DIVISION AT 410-313-5753)
- 2 RELOCATED SITE LIGHT
- 3 TRASH ENCLOSURE AND COMPACTOR AREA TO MATCH BUILDING (REFER TO ARCHITECTURAL PLANS)
- 4 RIP-RAP OUTLET PROTECTION
- 5 RAISED CROSSWALK
- 6 STOP SIGN (MUTCD R1-1)
- 7 PAINTED STOP BAR
- 8 STRIPED LOADING AND DROPOFF AREA (4" WIDE STRIPING @ 45° ANGLE, 2' O.C.)
- 9 PAINTED STOP/DO NOT ENTER BAR
- 10 PAINTED DRIVE THRU ARROW
- 11 STANDARD PARKING STALL WITH 4" WIDE PAVEMENT MARKINGS (8' X 18') (TYP.)
- 12 ADA ACCESSIBLE PARKING STALL WITH PAINTED ADA SYMBOL (8' X 15') (TYP.)
- 13 PARALLEL PARKING STALL (LOW-EMITTING PARKING SPACE) (8' X 22')
- 14 ADA PARKING SIGN
- 15 12" HIGH MONUMENT ID SIGN (REFER TO ARCHITECTURAL PLANS)
- 16 12" PYLON ID SIGN (REFER TO ARCHITECTURAL PLANS)
- 17 BIKE LOCKER (2 LOCKERS)
- 18 COVERED WALKWAY (REFER TO ARCHITECTURAL PLANS)
- 19 DO NOT ENTER SIGN (MUTCD R6-1)
- 20 LOADING AREA (4" WHITE STRIPE @ 45°, 4' O.C.)
- 21 6' HIGH FENCE
- 22 PRIVACY FENCE (REFER TO ARCHITECTURAL PLANS)
- 23 15' 0" RAISED PLANTER AREA
- 24 12' X 6' CURBED PLANTER AREA
- 25 LANDSCAPED AREA
- 26 MICROBIORETENTION FACILITY AREA
- 27 KNOX BOX (REFER TO ARCHITECTURAL PLANS)
- 28 TRASH ENCLOSURE
- 29 LIGHT (REFER TO LIGHTING PLAN FOR SPECIFIC TYPE)
- 30 CONC. BARRIER CURB (HO. CO. STD R-3.03)
- 31 DEPRESSED CURB
- 32 SIDEWALK RAMP (HO. CO. STD R-4.02)
- 33 SIDEWALK RAMP (HO. CO. STD R-4.04)
- 34 WALL WITH GUARDRAIL
- 35 PAINTED STRIPED AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
- 36 PAINTED STRIPED CROSSWALK
- 37 8' X 12' BUS SHELTER WITH 6' BENCH, 36 GALLON TRASH CAN, 24 GALLON RECYCLING CAN AND INTERNAL LIGHTING
- 38 BUILDING-MOUNTED ATM (REFER TO ARCHITECTURAL PLANS)
- 39 DRIVE-THRU P.O.S. (REFER TO ARCHITECTURAL PLANS)
- 40 FIRE DEPARTMENT SIAMSE CONNECTION (REFER TO ARCHITECTURAL PLANS)
- 41 RELOCATED ABOVEGROUND TELEPHONE BOX (REFER TO APPROVED PLAN FROM UTILITY COMPANY)
- 42 LOW EMISSION VEHICLE PARKING SIGN
- 43 FIRE HYDRANT (REFER TO APPROVED PUBLIC UTILITY PLANS)
- 44 STORMDRAIN INLET (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 45 STORMDRAIN MANHOLE (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 46 STORMDRAIN ENDWALL (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 47 SANITARY MANHOLE (REFER TO APPROVED PUBLIC UTILITY PLANS)
- 48 7" COMBINATION CURB & GUTTER (HO. CO. STD. R-3.01)
- 49 TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB & GUTTER
- 50 TRANSITION FROM PROP. CONC. BARRIER CURB TO EXISTING CURB
- 51 POLYMER WHEELSTOP
- 52 BOLLARD MOUNTED ADA PARKING SIGN
- 53 BOLLARD MOUNTED NO PARKING SIGN
- 54 NO PARKING SIGN
- 55 12' 0" CURBED PLANTER AREA
- 56 TRANSITION FROM PROP. 7" COMBINATION CURB & GUTTER TO EXISTING CURB
- 57 TRENCH DRAIN (REFER TO ARCHITECTURALS)
- 58 8' HIGH BOARD ON BOARD FENCE WITH 6" WIDE GATE
- 59 827 S.F. RAISED PLANTER AREA
- 60 1,017 S.F. RAISED PLANTER AREA
- 61 SMOKER POLE
- 62 BANK DRIVE-THRU CANOPY
- 63 RESIDENTIAL LOADING SPACE FOR MOVING AND DELIVERIES
- 64 DEPRESSED CURB
- 65 RESIDENTIAL DUMPSTER
- 66 1,500 GALLON SAND-MUD TRAP (REFER TO ARCHITECTURALS)
- 67 BOLLARD-MOUNTED LOW EMISSION PARKING SIGN
- 68 123 S.F. CURBED PLANTER AREA
- 69 GAS METER
- 70 NO PARKING SIGN (MUTCD R7-1)
- 71 70' LF. HANDRAIL
- 72 8" RISER
- 73 GREASE TRAP

- 74 PROP. POOL
- 75 PROP. RETAINING WALL (REFER TO ARCHITECTURAL PLANS)
- 76 PROP. OUTDOOR PATIO
- 77 200 GALLON UNDERGROUND PROPANE TANK

LEGEND



BOHLER ENGINEERING

CONSULTING OFFICE:
WARREN, NJ

OFFICES:
BOWLING GREEN, OH
TOWSON, MD
FARMINGTON, CT
WARRINGTON, VA
CHILMARK, MA
CHILMARK, MA
TAMPA, FL
PHILADELPHIA, PA

SUBVECTORS:
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
1	01/04/11	REVISED UTILITY LAYOUT	ROH
2	5/16/11	REVISED STORM DRAIN LAYOUT, 6\"/>	
3	06/11/11	REVISED CURB & GUTTERS	WCB
4	08/19/11	SHOW POOL IN COLLECTOR	PAB
5	02/11/16	REVISED DRIVEWAYS, 14\"/>	
7	12/8/16	ADDED UNDERGROUND PROPANE TANKS	RUS
9	2/16/21	As-Built	MJS

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD089002
DRAWN BY: M/JG
DATE: 07/29/13
SCALE: 1\"/>

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS. Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 301
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESSELL
PROFESSIONAL ENGINEER
LICENSE NO. 44097, EXPIRATION DATE: 09/20/21

SHEET TITLE: SITE PLAN

SHEET NUMBER: 11 OF 91
SDP-13-046

4 FOR REVISION 4 ONLY

3 FOR REVISION 3 ONLY

FOR REVISION 9 (ONLY) (AS-BUILT)

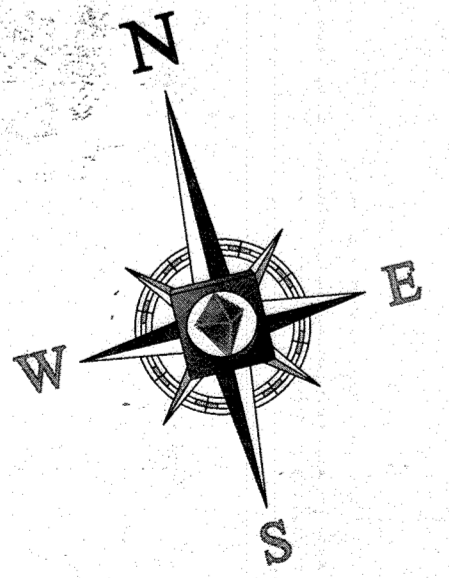
FOR REVISION 7 ONLY

FOR REVISION 5 ONLY:

FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

M.J. GESSELL
PROFESSIONAL ENGINEER
LICENSE NO. 44097



APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 2/21/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #11094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

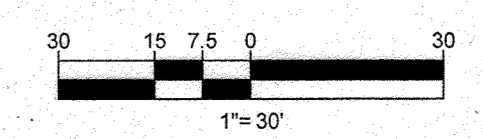
L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

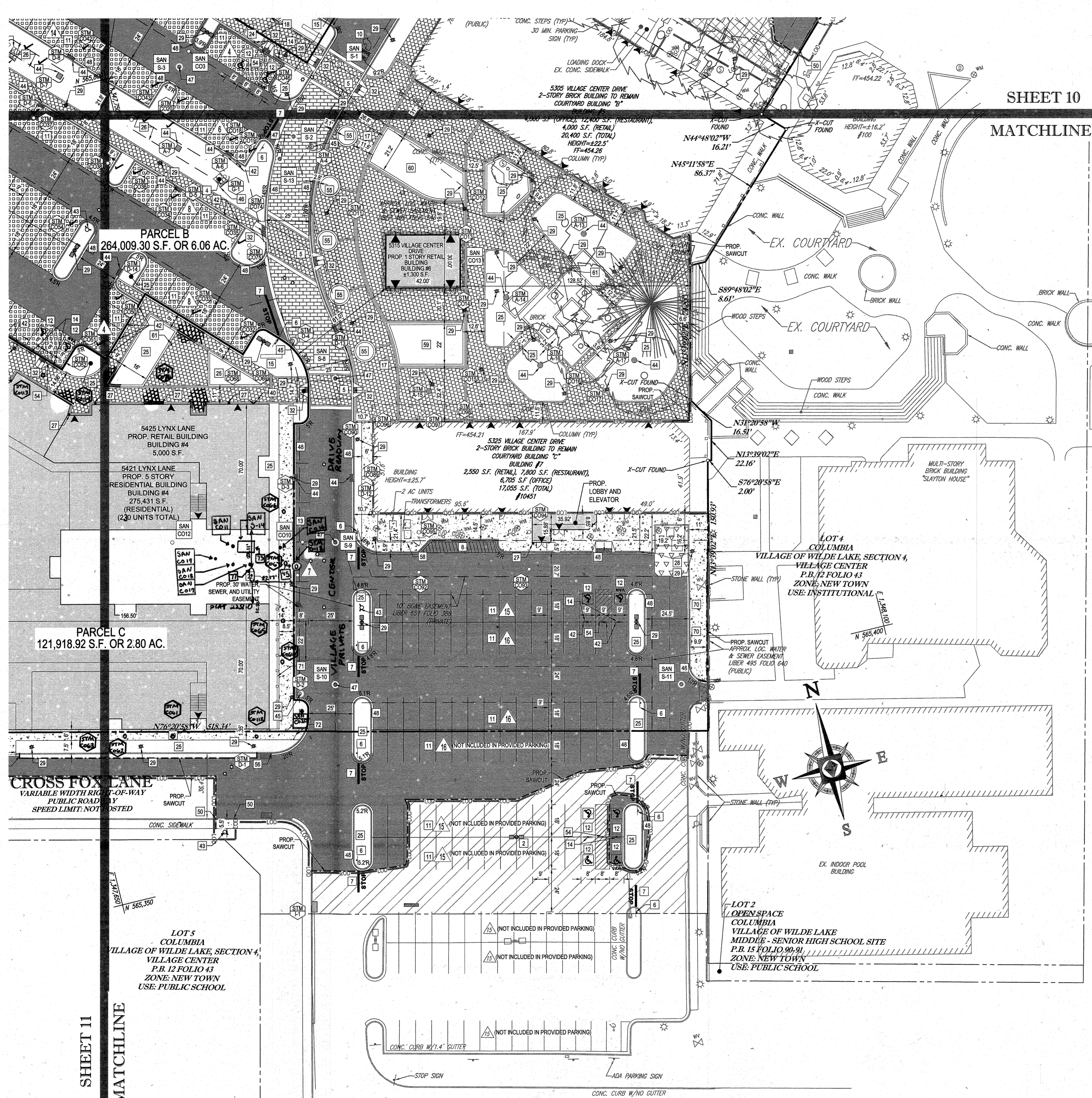
MICHAEL J. GESSELL
PROFESSIONAL ENGINEER
LICENSE NO. 44097, EXPIRATION DATE: 09/20/21

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21103
(410) 684-2000

TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
23 REF: 1096m SITE AREA: 10.21 AC
FINAL PLAN APPROVED: DPZ REF. SDP-13-046





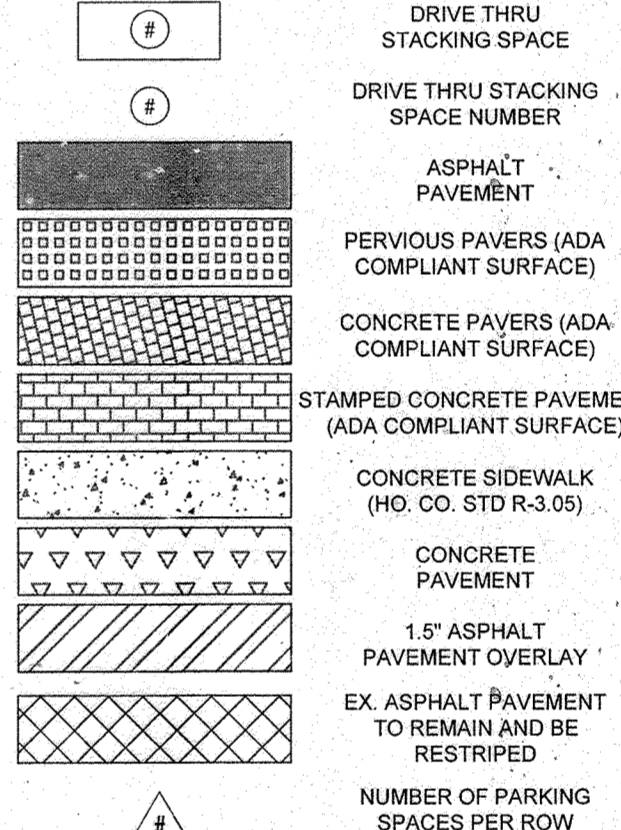
SHEET 10
MATCHLINE

SITE KEYNOTES

- 1 SOLAR POWERED "SCHOOL ZONE" FLASHER (CONTACT HOWARD COUNTY SPW/Traffic DIVISION AT 410-313-5752)
- 2 RELOCATED SITE LIGHT
- 3 TRASH ENCLOSURE AND COMPACTOR AREA TO MATCH BUILDING (REFER TO ARCHITECTURAL PLANS)
- 4 RIP-RAP OUTLET PROTECTION
- 5 RAISED CROSSWALK
- 6 STOP SIGN (MUTCD R-1)
- 7 PAINTED STOP BAR
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- 18 COVERED WALKWAY (REFER TO ARCHITECTURAL PLANS)
- 19 DO NOT ENTER SIGN (MUTCD R-51)
- 20 LOADING AREA (4" WHITE STRIPE @ 45°, 4' O.C.)
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- 29 LIGHT (REFER TO LIGHTING PLAN FOR SPECIFIC TYPE)
- 30 CONC. BARRIER CURB (HO. CO. STD R-3.03)
- 31 DEPRESSED CURB
- 32 SIDEWALK RAMP (HO. CO. STD R-4.02)
- 33 SIDEWALK RAMP (HO. CO. STD R-4.04)
- 34 WALL WITH GUARDRAIL
- 35 PAINTED STRIPED AREA (4" WIDE STRIPING, 45° ANGLE, 2' O.C.)
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- 37 8' X 12' BUS SHELTER WITH 8' BENCH, 36 GALLON TRASH CAN, 24 GALLON RECYCLING CAN AND INTERNAL LIGHTING
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- 40 FIRE DEPARTMENT SIAMSE CONNECTION (REFER TO ARCHITECTURAL PLANS)
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- 44 STORMDRAIN INLET (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE) ✓
- 45 STORMDRAIN MANHOLE (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
- 46 STORMDRAIN ENDWALL (REFER TO STORMDRAIN SCHEDULES FOR SPECIFIC TYPE)
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- 51 POLYMER WHEELSTOP
- 52 BOLLARD MOUNTED ADA PARKING SIGN
- 53 BOLLARD MOUNTED NO PARKING SIGN
- 54 NO PARKING SIGN
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- 61 SMOKER POLE
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- 63 RESIDENTIAL LOADING SPACE FOR MOVING AND DELIVERIES
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- 65 RESIDENTIAL DUMPSTER
- 66 1,500 GALLON SAND-MUD TRAP (REFER TO ARCHITECTURALS)
- 67 BOLLARD-MOUNTED LOW EMISSION PARKING SIGN
- 68 123 S.F. CURBED PLANTER AREA
- 69 GAS METER
- 70 NO PARKING SIGN (MUTCD R7-1)
- 71 70' L.F. HANDRAIL
- 72 8" RISER

200 GALLON UNDERGROUND PROPANE TANK

LEGEND



FOR REVISION 9 ONLY
CAS
2/27/21

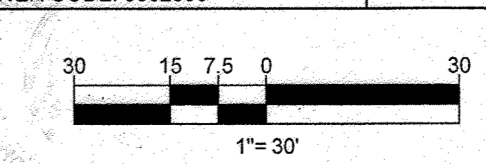
FOR REVISION 7 ONLY
3/7/17

FOR REVISION 5 ONLY:
7/11/16

FOR REVISION 1 ONLY
3/7/14

FOR REVISION 2 ONLY
7/21/14

GREASE TRAP



ARCHITECTURAL REFERENCE
THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #1004, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)
L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)
L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 3/11/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 3/11/13
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 3/11/13
DIRECTOR

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND FULL CONFORMANCE WITH ALL APPLICABLE REGULATORY CODES.

BOHLER ENGINEERING
CORPORATE OFFICE: WARREN, NJ
OFFICES: ALBANY, NY; ALBANY, NY; BALTIMORE, MD; CHARLOTTE, NC; CENTER VALLEY, PA; FORT LAUDERDALE, FL; TAMPA, FL
CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	01/09/14	REVISED UTILITY LAYOUT	RMH
2	01/06/14	REVISED STORM DRAIN LAYOUT	RMH
5	02/11/16	USES AND PARKING CALC USES AND ADDS UNDERGROUND PROPANE TANKS	RMS
7	12/01/16	ADDED UNDERGROUND PROPANE TANKS	RMS
9	2/10/21	AS BUILTS	RMH

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (VA 1-800-245-4848) (PA 1-800-242-1776) (DE 1-800-556-7001) (MD 1-800-557-7777) (DC 1-800-242-8555)

APPROVED FOR CONSTRUCTION
PROJECT No.: M0089002
DRAWN BY: RMH
CHECKED BY: MJS
DATE: 07/28/13
SCALE: 1"=30'
CAD I.D.: S22

SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 901
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESSELL
PROFESSIONAL ENGINEER
7/21/13

SHEET TITLE:
SITE PLAN
SHEET NUMBER:
12
OF 91
SDP-13-046

FOR REVISION 7 ONLY

4 FOR REVISION 4 ONLY

MI GESELL
PROFESSIONAL ENGINEER
4/17/15

NOTES: 3/7/17

1. A Parking study dated May 23, 2016 requesting reduced parking ratios for retail and restaurant used is approved by Department of Planning and Zoning (DPZ), based on compelling empirical evidence gathered from other shopping centers owned by Kimco, including the King's Convivance Village Center, which showed parking operations well below the standard parking requirements. Further, it is anticipated Wild Lake Village Center customers will be walking to the center from new apartments, surrounding residences, and Howard Community College, which is a goal of the County to make the Village Center more pedestrian friendly that is supported by less parking. Mode and captive split reductions of parking were not utilized in the study, but would have resulted in a similar parking reductions, further convincing DPZ to approve the requested reduced parking ratios. Reduced ratios should not impact parking spaces promised for CA use as those spaces are calculated in addition to the shopping center spaces.

2. Howard County has reviewed a parking study commissioned by Kimco dated May 23, 2016 as a basis for approving modified parking ratios for the retail and restaurant uses. However, when implemented and should parking deficiencies result, the County will not be held responsible for addressing any parking deficiencies or other related issues. Rather, the Village Center owner or property manager shall be responsible for monitoring parking adequacy and making necessary changes to the tenant mix and/or tenant agreements at the Wild Lake Village Center to resolve them. Any restriping to add additional parking on site or other physical improvements may require County approval. Please consult with the Department of Planning and Zoning prior to making any improvements.

FOR REVISION 8 ONLY

3 FOR REVISION 3 ONLY

FOR REVISION 9 ONLY (AS-BUILT)

FOR REVISION 5 ONLY:

FOR REVISION 1 ONLY

FOR REVISION 2 ONLY

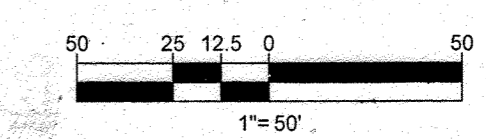
OWNER: PARCEL 272 LOTS 3-6 & PARCEL 132 LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21083
(410) 884-2000
CONTACT: GREG REED

3/17/14
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION: PARTIAL SECTION
PLAN # 22817-2-211
WATER CODE: E32
SEWER CODE: 5602500

TAX MAP: 29 GRID: 24 ZONED: IIT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1098m SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21



BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOWLING GREEN, OH
STERLING, VA
ROCKFORD, IL
CENTER VALLEY, PA
TAMPA, FL
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	ROH
2	5/16/14	REVISED STORM DRAIN LAYOUT 2' DRAIN FOOTPRINT WATER WARE CONNECT	MG
3	06/24/15	REVISED CURB RADII	WLB
4	08/19/15	SHOW POOL IN CONCRETE	PAB
5	02/11/16	REVISED BLDGS 3, 4, 5 USES AND PARKING LINES	DES
7	12/01/16	ADDED UNDERGROUND PRECAST TUNNELS	EMS
8	11/16/17	ADD PROPOSED TRASH ENCLOSURE	DML
9	2/16/21	AS-BUILT	MG

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: (1) VA 1-800-652-7071 (MD 1-800-252-7777) (DE 1-800-282-9555)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
DRAWN BY: RUS
CHECKED BY: MUG
DATE: 07/29/13
SCALE: 1"=50'
CAD I.D.: SSZ

PROJECT: SITE DEVELOPMENT PLAN FOR

KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

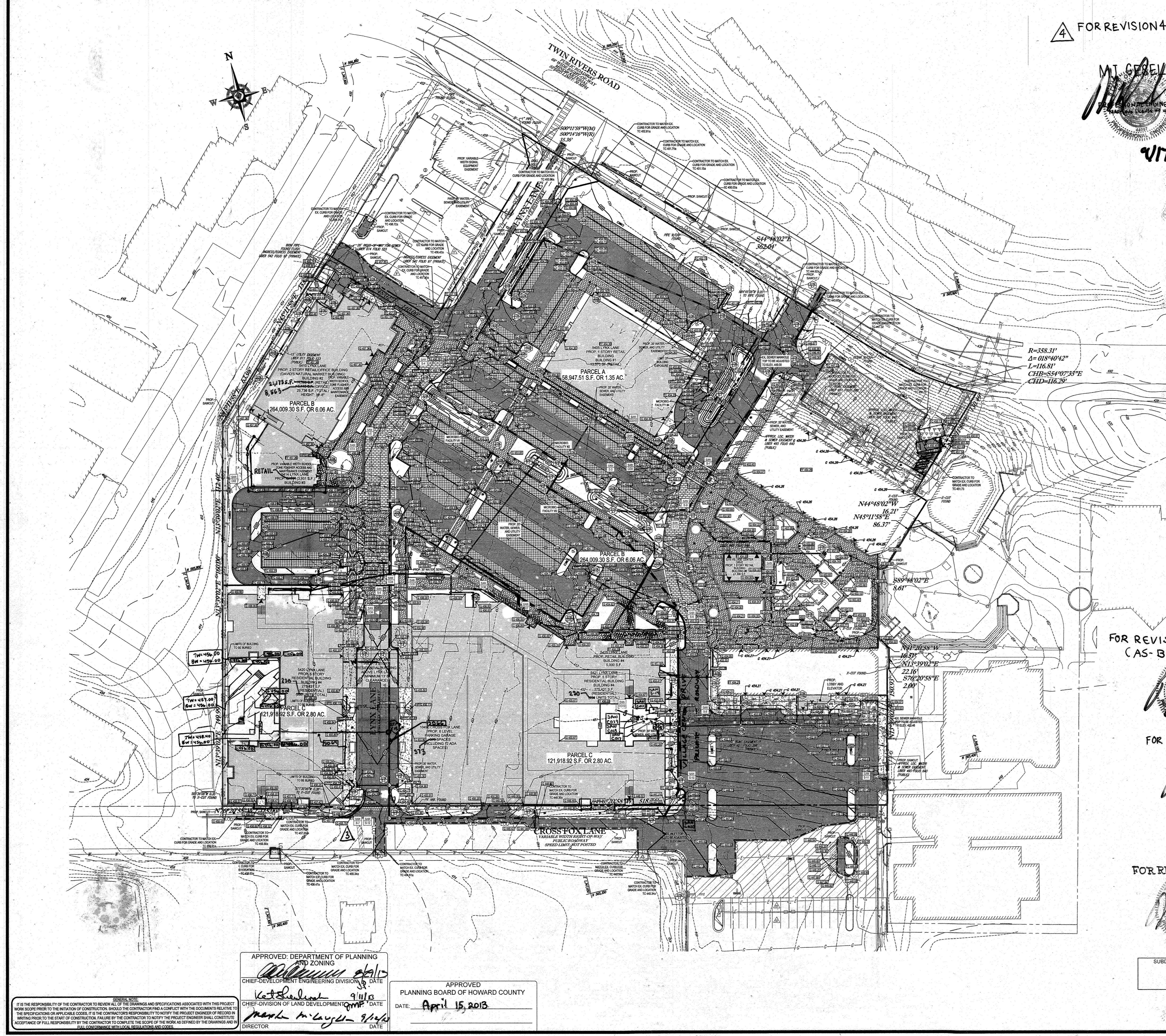
BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
7/24/13

SHEET TITLE: **OVERALL GRADING PLAN**

SHEET NUMBER: **13**
OF 91
SDP-13-046

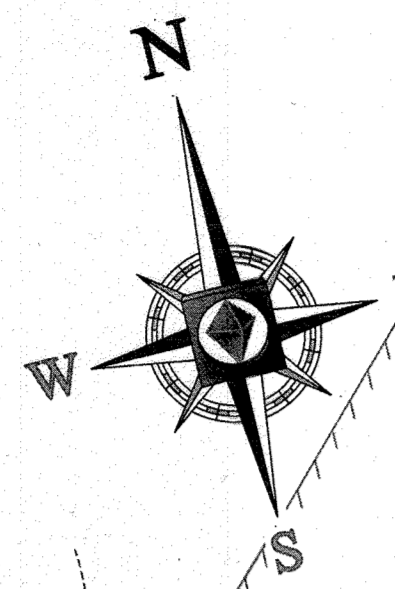


IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND FULL CONFORMANCE WITH ALL LEGISLATION AND CODES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 9/1/15
K. J. Gezell
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 9/1/15

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

DIRECTOR



ROOF DRAIN LATERAL SCHEDULE 'E'

FROM	LOWER INVERT	PIPE A.D.	LENGTH	SIZE (IN)	MATERIAL	SLOPE (%)	UPPER INVERT	TO	COMMENT
E-7	451.50	R068	29.44'	6"	HOPE	8.88%	454.10	CO68	
CO68	454.10	R069	34.46'	6"	HOPE	3.52%	455.30	CO69	
CO69	455.30	R070	17.92'	6"	HOPE	3.62%	455.95	CO70	
CO70	455.95	R071	25.04'	6"	HOPE	2.81%	456.50	CO71	
CO71	456.50	R072	20.86'	6"	HOPE	1.39%	456.78	CO72	
CO72	456.78	R073	4.73'	6"	HOPE	1.06%	456.84	CO73	
CO73	456.84	R074	3.85'	6"	HOPE	0.50%	456.57	CO74	
CO74	456.57	R075	3.85'	6"	HOPE	1.30%	456.00	CO75	
E-7	451.50	R077	18.74'	6"	HOPE	8.52%	453.10	CO77	
CO77	453.10	R078	16.70'	6"	HOPE	1.50%	453.50	CO78	
CO78	453.50	R079	32.91'	6"	HOPE	2.57%	454.33	CO79	
CO79	454.33	R080	23.67'	6"	HOPE	0.52%	454.45	CO80	
CO80	454.45	R081	4.88'	6"	HOPE	1.63%	454.50	CO81	
CO81	454.50	R082	4.88'	6"	HOPE	3.52%	454.50	CO82	
CO82	454.50	R083	4.88'	6"	HOPE	2.07%	453.60	CO83	
CO83	453.60	R084	4.83'	6"	HOPE	2.07%	453.20	CO84	

ROOF DRAIN LATERAL SCHEDULE 'F'

FROM	LOWER INVERT	PIPE A.D.	LENGTH	SIZE (IN)	MATERIAL	SLOPE (%)	UPPER INVERT	TO	COMMENT
CO85	451.74	R085	19.56'	6"	HOPE	0.87%	451.91	CO85	
CO85	451.91	R086	73.47'	6"	HOPE	0.50%	452.28	CO86	
CO86	452.28	R087	93.66'	6"	HOPE	0.40%	452.75	CO87	
CO87	452.75	R088	17.94'	6"	HOPE	0.50%	452.89	CO88	
CO88	452.89	R089	25.63'	6"	HOPE	0.51%	452.90	CO89	
CO89	452.90	R090	4.75'	6"	HOPE	0.63%	453.00	CO90	
CO90	453.00	R091	4.75'	6"	HOPE	3.87%	453.00	CO91	
CO91	453.00	R092	5.49'	6"	HOPE	4.56%	453.00	CO92	
CO92	453.00	R093	18.80'	6"	HOPE	0.55%	453.33	CO93	
CO93	453.33	R094	23.56'	6"	HOPE	0.51%	453.45	CO94	
CO94	453.45	R095	9.88'	6"	HOPE	0.61%	453.50	CO95	
CO95	453.50	R096	9.29'	6"	HOPE	1.72%	453.50	CO96	
CO96	453.50	R097	74.79'	6"	HOPE	0.51%	453.38	CO97	
CO97	453.38	R098	18.89'	6"	HOPE	3.21%	454.00	CO98	

ROOF DRAIN LATERAL SCHEDULE 'G'

FROM	LOWER INVERT	PIPE A.D.	LENGTH	SIZE (IN)	MATERIAL	SLOPE (%)	UPPER INVERT	TO	COMMENT
CO11	452.12	R012	34.23'	6"	HOPE	2.40%	452.24	CO11	
CO11	452.24	R013	10.38'	6"	HOPE	0.58%	453.00	CO13	
CO13	453.00	R014	8.23'	6"	HOPE	0.73%	453.00	CO14	
CO14	452.20	R015	8.23'	6"	HOPE	9.72%	453.00	CO15	
CO15	453.00	R016	24.47'	6"	HOPE	3.22%	455.80	CO16	
CO16	455.80	R017	4.83'	6"	HOPE	4.42%	454.00	CO17	

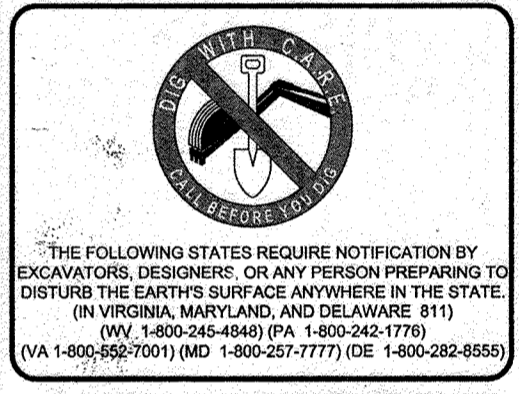
BOHLER ENGINEERING

CORPORATE OFFICE:
 WARRICK, IN
 SOUTH BEND, IN
 SOUTH BEND, IN
 ALBANY, NY
 CHALFONT, PA
 TAMPA, FL

SUBSIDIARIES:
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
2	5/14/14	REVISED FROM ORIGINAL LAYOUT, BLOC TAGS, FOOTPRINTS, & WATER	
5	02/11/16	REVISED TO REFLECT 57.4' OF DRAIN HOPE CONNECTIONS	
9	2/16/21	As-Built's	



APPROVED FOR CONSTRUCTION

PROJECT NO.:	MD069002
DRAWN BY:	RMS
CHECKED BY:	MJG
DATE:	07/29/13
SCALE:	1"=30'
CAD LID:	SS2

SITE DEVELOPMENT PLAN

FOR

KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD

GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

M. J. GESSELL
 PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 LICENSE NO. 44057

SHEET TITLE:
GRADING PLAN

SHEET NUMBER:
14
 OF 91

SDP-13-046

ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED 'CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT; REAR DRIVE THRU; STORE #10294; 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY, MD) DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED 'MARKET BUILDING AT WILDE LAKE VILLAGE CENTER; 5405 LYNX LANE, COLUMBIA, MARYLAND 21044, DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

L2M ARCHITECTS, ENTITLED 'COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER; 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044, DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

APPROVED: DEPARTMENT OF PLANNING AND ZONING

William J. Kelly
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 3/15/13

Kathleen
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 3/15/13

David L. Cayce
 DIRECTOR
 DATE: 3/15/13

APPROVED
 PLANNING BOARD OF HOWARD COUNTY

DATE: April 15, 2013

FOR REVISION 2 ONLY:

MJG
 7/11/16

FOR REVISION 9 ONLY
 (AS-BUILTS)

MJG
 2/27/21

FOR REVISION 5 ONLY:

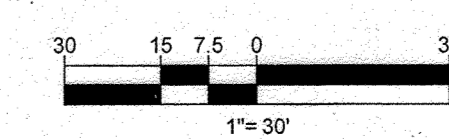
MJG
 7/11/16

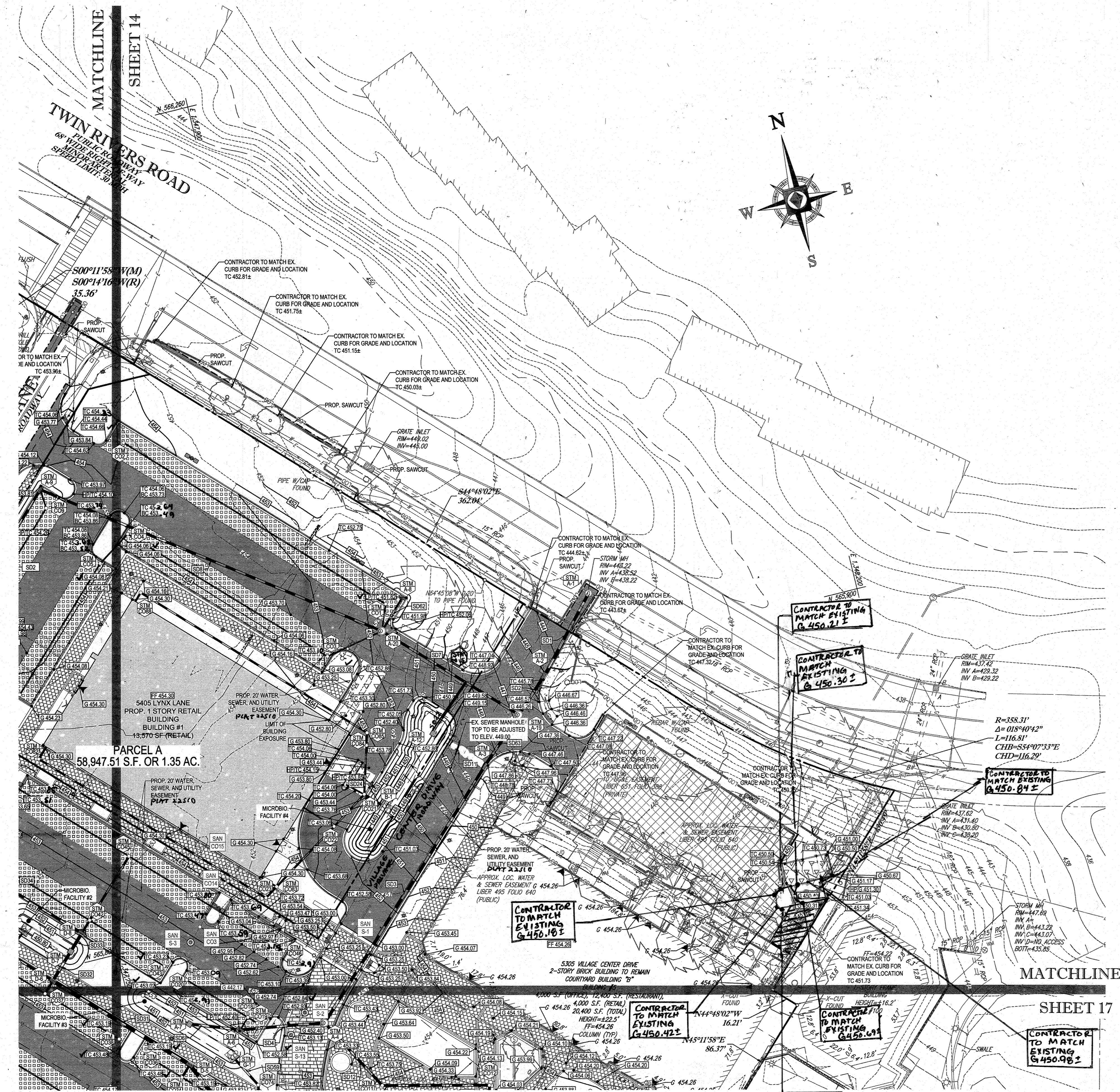
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEWHYDE PARK ROAD
 NEWHYDE-PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 GRID: 34 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 PLAT REF: 1096M SITE AREA: 10.21 AC
 WATER CODE: E32 DPZ REF: SDP-13-046
 SEWER CODE: 5602500

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44057, EXPIRATION DATE: 6/30/21





ROOF DRAIN LATERAL SCHEDULE 'C'

FROM	LOWER INVERT	PIPE NO.	LENGTH	SIZE (IN)	MATERIAL	SLOPE (%)	UPPER INVERT	TO
C026	453.07	RD24	110.88'	10"	HDPE	0.57%	453.63	C029
C029	453.63	RD28	113.21'	10"	HDPE	0.55%	453.69	C030
C030	453.98	RD26	35.50'	6"	HDPE	0.57%	454.16	C031
C031	454.16	RD21	90.00'	6"	HDPE	0.50%	454.61	C016
C016	454.61	RD28	27.00'	6"	HDPE	0.50%	454.75	C017
C017	454.75	RD21	16.00'	6"	HDPE	0.50%	454.63	C018
C018	454.63	RD30	5.80'	6"	HDPE	0.52%	454.86	C019
C019	454.86	RD31	16.70'	6"	HDPE	0.54%	454.95	C020
C020	454.95	RD32	5.00'	6"	HDPE	1.00%	455.00	RD35
C018	454.83	RD33	5.00'	6"	HDPE	3.40%	455.00	RD35
C017	454.75	RD34	5.00'	6"	HDPE	5.00%	455.00	RD35
C030	454.02	RD35	13.99'	6"	HDPE	1.00%	454.16	RD36
C029	453.63	RD36	14.96'	10"	HDPE	1.64%	453.86	RD37
C028	453.07	RD37	43.95'	10"	HDPE	1.89%	453.77	C027
C027	453.77	RD38	16.04'	10"	HDPE	0.56%	453.86	RD32

ROOF DRAIN LATERAL SCHEDULE 'D' CONT.

FROM	LOWER INVERT	PIPE DATA				UPPER INVERT	TO	COMMENTS
		N.O.	LENGTH	SIZE (IN)	MATERIAL			
D-1	443.50	RD53	11.62'	6"	HDPE	9.87	444.53	STM0012
STM0012	444.53	RD54	46.91'	6"	HDPE	0.51	444.77	STM001
STM001	444.77	RD55	26.59'	6"	HDPE	0.53	444.91	STM002
STM002	444.91	RD56	10.87'	6"	HDPE	0.55	444.97	STM003
STM003	444.97	RD57	5.64'	6"	HDPE	0.52	445.00	BLDG#4
STM004	444.91	RD58	4.83'	6"	HDPE	1.86	445.00	BLDG#4
STM005	444.77	RD59	4.83'	6"	HDPE	4.76	445.00	BLDG#4
D-2	444.00	RD60	19.71'	6"	HDPE	9.04	447.80	STM004
STM004	447.80	RD61	23.56'	6"	HDPE	9.34	450.00	STM005
STM005	450.00	RD62	6.84'	6"	HDPE	8.77	450.60	BLDG#4
STM006	447.80	RD63	6.83'	6"	HDPE	2.93	449.00	BLDG#4
D-3	451.00	RD64	7.67'	6"	HDPE	4.69	451.30	STM006
STM006	451.30	RD65	19.08'	6"	HDPE	0.52	451.46	STM007
STM007	451.46	RD66	6.83'	6"	HDPE	0.59	451.50	BLDG#4
STM008	451.45	RD67	8.12'	6"	HDPE	0.62	451.50	BLDG#4

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT TO ADD FOOTPRINT TO EXISTING BLDG #3 & #4	TAQ
5	02/11/16	UPPER INVERT CORRECTED AND PARKING GARAGE AND PROPOSED TRASH ENCLOSURE	DBL
8	11/17/17	ADD PROPOSED TRASH ENCLOSURE	DBL
9	2/6/21	AS-BUILT	MUG

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (WV 1-800-245-4648) (PA 1-800-242-1789) (VA 1-800-552-7070) (MD 1-800-257-7777) (DE 1-800-293-8555)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD099002
 DRAWN BY: RMS
 CHECKED BY: MUG
 DATE: 07/28/13
 SCALE: 1"=30'
 CAD I.D.: SSZ

SITE DEVELOPMENT PLAN

FOR

KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 811
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7967
 www.BohlerEngineering.com

M. J. GESELL

PROFESSIONAL ENGINEER

7/29/13

GRADING PLAN

SHEET TITLE:

SHEET NUMBER: **15** OF 91

SDP-13-046

FOR REVISION 9 ONLY (AS-BUILTS)

ML 2/27/21

FOR REVISION 8 ONLY

ML 12/18/17

FOR REVISION 5 ONLY:

ML 7/11/15

FOR REVISION 2 ONLY

ML 7/10/14

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1095m SITE AREA: 10.21 AC
 WATER CODE: E32 DPZ REF: SDP-13-046
 SEWER CODE: E20

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44067, EXPIRATION DATE: 09/20/21

ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #10094; 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael J. Gezell 3/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

Kate Redwood 3/13
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE

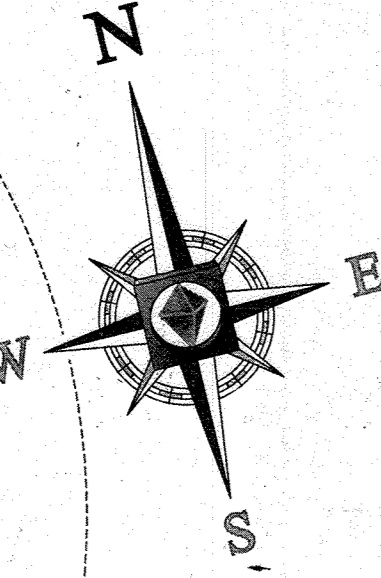
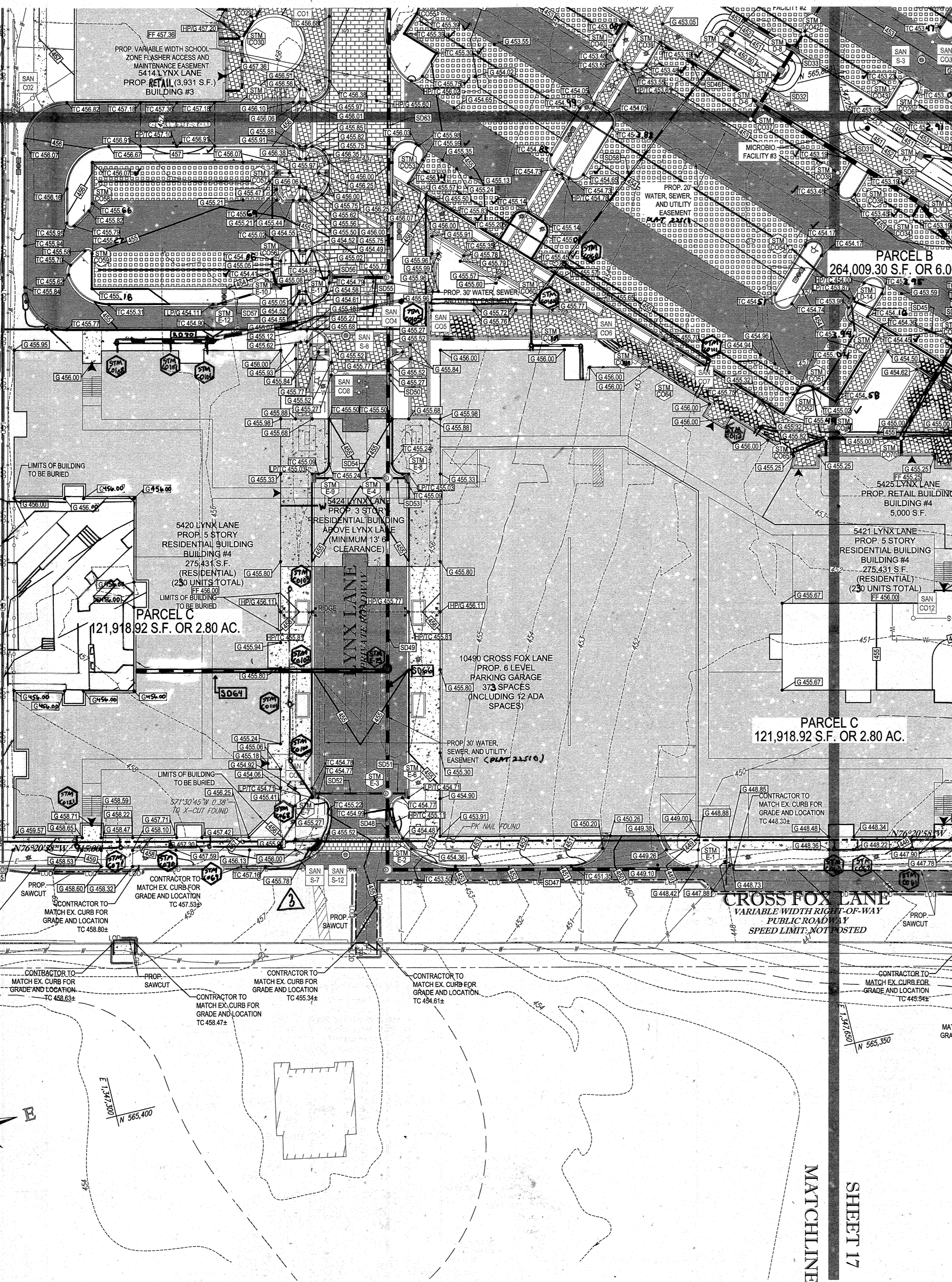
APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: **April 15, 2013**

Marsha de Gooch 3/13
 DIRECTOR DATE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR AVAILABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFLICTS WITH THE SPECIFICATIONS AND CODES.

MATCHLINE



4 FOR REVISION 4 ONLY

[Signature]

9/17/15

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] DATE: 9/15/15

CHIEF-DEVELOPMENT ENGINEERING DIVISION

APPROVED: PLANNING BOARD OF HOWARD COUNTY.

[Signature] DATE: April 15, 2013

CHIEF-DIVISION OF LAND DEVELOPMENT

[Signature] DATE: 9/23/15

DIRECTOR

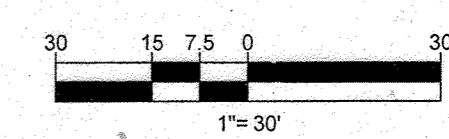
ARCHITECTURAL REFERENCE

THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-13000-RIGHT, REAR DRIVE THRU, STORE #10094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TRIM RIVERS ROAD, COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)



BOHLER ENGINEERING

CORPORATE OFFICE: WARREN, NJ

OFFICES:

- SOUTH BRIDGE, MA
- BOWEN, MD
- STURBRIDGE, MA
- WARREN, NJ
- WARRINGTON, VA
- CHALMONT, PA
- WILMINGTON, DE
- TAMPA, FL
- PHILADELPHIA, PA

SURVEYORS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
1	01/19/14	REVISED UTILITY LAYOUT	ROH
2	5/16/14	REVISED STORM DRAIN LAYOUT. REVISED WATER HOUSE CONNECTION	KMG
3	6/24/15	REVISED CURB RADII	WCB
4	8/11/15	SHOW POOL IN CONCEPT PLAN	PAB
5	02/11/16	REVISED LOTS 2, 3, 4 USES AND PARKING CALC. NOTED UNDERGROUND HOODING TRUCKS	DSH
9	2/16/21	AS-BUILTS	MS

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD09002

DRAWN BY: RBS

CHECKED BY: MJG

DATE: 07/28/13

SCALE: 1"=30'

CAD I.D.: SSZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD

GREEN BLDGS: NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21284

Phone: (410) 821-7900

Fax: (410) 821-7987

www.BohlerEngineering.com

MARYLAND PROFESSIONAL ENGINEER

7/29/13

SHEET TITLE: GRADING PLAN

SHEET NUMBER: 16 OF 91

SDP-13-046

FOR REVISION 9 ONLY (AS-BUILTS)

[Signature]

2/16/21

FOR REVISION 5 ONLY:

[Signature]

7/11/16

FOR REVISION 7 ONLY

[Signature]

3/7/17

FOR REVISION 3 ONLY

[Signature]

7/28/15

FOR REVISION 20 AND FOR REVISION 1 ONLY

[Signature]

7/13/14

[Signature]

7/17/14

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 (410) 684-2000

CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: NT

PARCELS: 272, PARCELS A-C

5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND

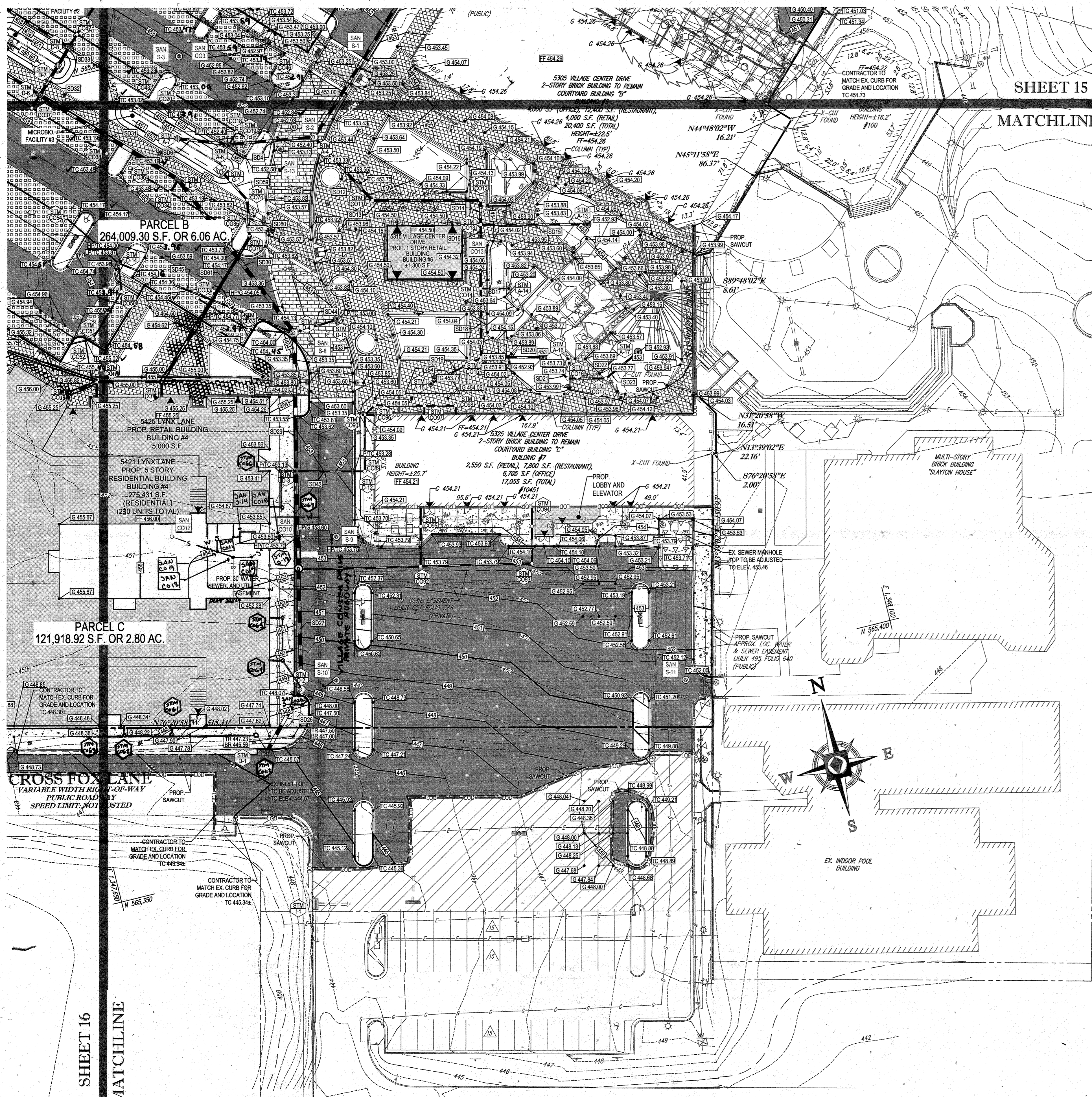
ZS REF: 109m SITE AREA: 10.21 AC

PLAN: 12.35.0-22.04 DPZ REF: SDP-13-046

SEWER CODE: E32

PROFESSIONAL CERTIFICATION

I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 44097, EXPIRATION DATE: 6/30/21



SHEET 15

MATCHLINE

SHEET 16
MATCHLINE

BOHLER ENGINEERING

CORPORATE OFFICE:
WILMINGTON, DE

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

BOULDER, CO
BOWLING GREEN, OH
CHAMBERSBURG, PA
DALLAS, TX
DUBLIN, OH
FORT LAUDERDALE, FL
HARTFORD, CT
HUNTSVILLE, AL
INDIANAPOLIS, IN
JACKSONVILLE, FL
KANSAS CITY, MO
LONG BEACH, CA
LOS ANGELES, CA
LYNN, MA
MEMPHIS, TN
NEW YORK, NY
PHILADELPHIA, PA
RICHMOND, VA
ROCKFORD, IL
SAN ANTONIO, TX
TAMPA, FL
TOWSON, MD
WARRINGTON, VA

REV	DATE	COMMENT	BY
1	04/10/14	REVISED UTILITY LAYOUT	RDH
2	5/14/14	REVISED STORM DRAIN LAYOUT	DMJ
3	6/10/14	REVISED DRIVE 2, 3 & 4	DMJ
4	6/10/14	REVISED DRIVE 2, 3 & 4	DMJ
5	02/11/16	USES AND PARKING LINES	DMJ
7	12/01/16	ADDED UNDEVELOPED FOOTING TRACES	RMS
9	2/16/21	AS-BUILTS	DMJ

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: (1) (a) 1-800-245-4848 (PA) 1-800-242-1778 (VA) 1-800-652-7001 (MD) 1-800-251-7777 (DE) 1-800-282-0855

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
DRAWN BY: RMS
CHECKED BY: MJS
DATE: 07/29/13
SCALE: 1"=30'
CAD LID: SS2

SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M.J. GESELL
PROFESSIONAL ENGINEER
7/29/13

SHEET TITLE:
GRADING PLAN
SHEET NUMBER:
17
OF 91
SDP-13-046

FOR REVISION 9 ONLY
(AS-BUILTS)
2/27/21

FOR REVISION 7 ONLY
3/7/16

FOR REVISION 5 ONLY:
7/11/16

FOR REVISION 2 ONLY

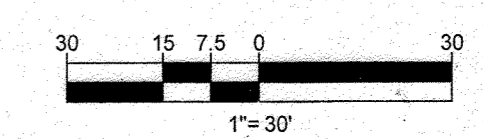
FOR REVISION 1 ONLY

ARCHITECTURAL REFERENCE
THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED "CVS PHARMACY, CENTER ENTRY, TYPE B-1800-RIGHT, REAR DRIVE THRU, STORE #10094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD" DATED MAY 28, 2013 (BUILDING 1)
L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER; 8430 LYNX LANE, COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)
L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER; 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044," DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION/AREA: SECTION 4
PLAT # 25518-25511
WATER CODE: E32
SEWER CODE: 9626300

TAX MAP: 29
GRID: 24
ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
28 REF: 109691 SITE AREA: 10.21 AC
CONTRACT: GREG REED
DPZ REF: SDP-13-046



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 4/15/2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVEAL ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPROPRIATE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL UNDERLYING REGULATORY AGENCIES AND ORDINANCES.

STORM DRAIN STRUCTURE SCHEDULE 'A'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Rows A-1 through A-20, including items like EX. MANHOLE, DOUBLE TYPE 'S' INLET, PRE-CAST MANHOLE, and CLEANOUT.

ROOFDRAIN LATERAL SCHEDULE 'B'

Table with columns: FROM, LOWER INVERT, PIPE DATA (NO., LENGTH, SIZE, MATERIAL, SLOPE), UPPER INVERT, TO, COMMENTS. Rows STM C021 through STM C084.

ROOFDRAIN LATERAL SCHEDULE 'D'

Table with columns: FROM, LOWER INVERT, PIPE DATA (NO., LENGTH, SIZE, MATERIAL, SLOPE), UPPER INVERT, TO, COMMENTS. Rows STM D-12 through STM D-09.

STORM DRAIN STRUCTURE SCHEDULE 'F'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Row F-1: TYPE 'C' ENDWALL (HO. CO. STD D-5.21).

STORM DRAIN PIPE SCHEDULE 'F'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Row F-1.

STORM DRAIN STRUCTURE SCHEDULE 'C'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Row C-1: TYPE 'C' ENDWALL (HO. CO. STD D-5.21).

STORM DRAIN PIPE SCHEDULE 'C'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Row C-1.

STORM DRAIN PIPE SCHEDULE 'A'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Rows A-1 through A-20.

STORM DRAIN STRUCTURE SCHEDULE 'D'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Rows BLDG through D-18, including NULL STRUCTURE, CLEANOUT, PRECAST MANHOLE, and TRENCH DRAIN.

STORM DRAIN PIPE SCHEDULE 'D'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Rows D-1 through D-18.

STORM DRAIN STRUCTURE SCHEDULE 'E'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Rows E-1 through E-15, including EX. INLET, PRECAST MANHOLE, and TYPE 'E' INLET.

STORM DRAIN PIPE SCHEDULE 'E'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Rows E-1 through E-15.

STORM DRAIN STRUCTURE SCHEDULE 'G'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Row G-1: TYPE 'C' ENDWALL (HO. CO. STD G-5.21).

STORM DRAIN PIPE SCHEDULE 'G'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Rows G-1 through G-5.

ROOFDRAIN LATERAL SCHEDULE 'J'

Table with columns: FROM, LOWER INVERT, PIPE DATA (NO., LENGTH, SIZE, MATERIAL, SLOPE), UPPER INVERT, TO, COMMENTS. Rows STM J-1 through STM J-8.

PIPE SCHEDULE

Table with columns: TYPE, LENGTH. Rows 6" HDPE (1,550'), 8" HDPE (1,320'), 10" HDPE (1,320'), 12" HDPE (565'), 15" HDPE (915'), 18" HDPE (100'), 24" HDPE (430'), 2" PERFORATED PVC (2,221').

ROOFDRAIN LATERAL SCHEDULE 'A'

Table with columns: FROM, LOWER INVERT, PIPE DATA (NO., LENGTH, SIZE, MATERIAL, SLOPE), UPPER INVERT, TO, COMMENTS. Row STM C077.

STORM DRAIN STRUCTURE SCHEDULE 'B'

Table with columns: NAME, TYPE, RIM ELEV. (FT.), INVERTS, COMMENTS. Row B-1: TYPE 'C' ENDWALL (HO. CO. STD D-5.21).

STORM DRAIN PIPE SCHEDULE 'B'

Table with columns: FROM, LOWER INVERT, PIPE NO., LENGTH, SIZE, MATERIAL, SLOPE, UPPER INVERT, TO, COMMENTS. Row B-1.

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Chief-Development Engineering Division. Date: 9/11/13.

APPROVED: PLANNING BOARD OF HOWARD COUNTY. Date: April 15, 2013.

FOR REVISION 9 ONLY (AS-BUILTS)

Professional Engineer seal for Michael J. Gezell, License No. 44197, State of Maryland.

APPROVED FOR CONSTRUCTION

BOHLER ENGINEERING logo and contact information for corporate office and project managers.

REVISIONS table with columns: REV, DATE, COMMENT, BY. Rows 1 through 5.

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE.

APPROVED FOR CONSTRUCTION

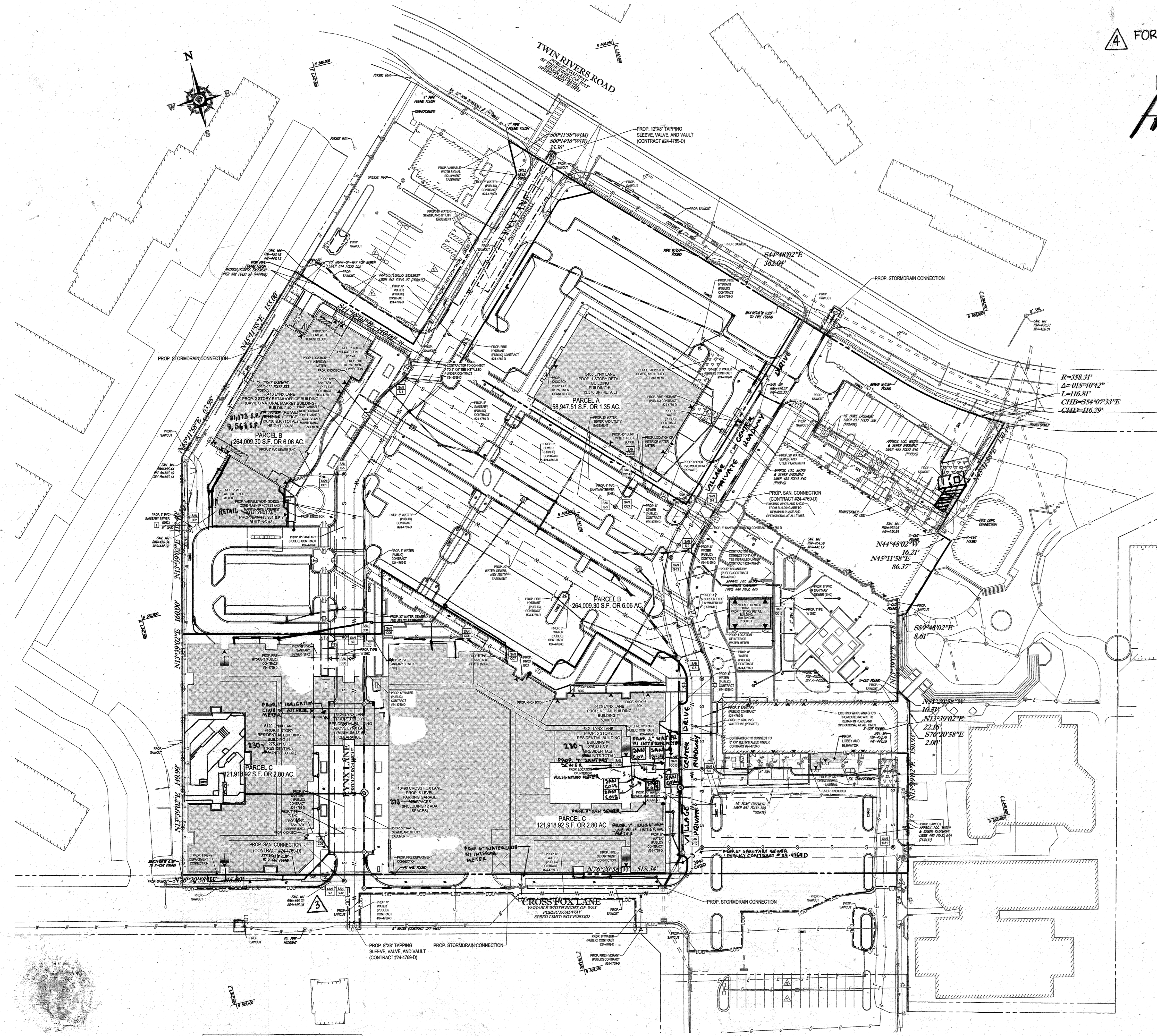
PROJECT NO., DRAWN BY, CHECKED BY, DATE, SCALE, CAD I.D.

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION, VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD.

BOHLER ENGINEERING logo and contact information.

Professional Engineer seal for Michael J. Gezell, License No. 44197, State of Maryland.

STORMDRAIN SCHEDULES sheet title, sheet number 18 of 91, and SDP-13-046.



FOR REVISION 4 ONLY FOR REVISION 7 ONLY

MICHELL
 PROFESSIONAL ENGINEER
 9/17/15

3/7/17

FOR REVISION 8 ONLY

2/18/17

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)

2/27/21

R=358.31'
 Δ=018°40'42"
 L=116.81'
 CHB=554°07'33"E
 CHD=116.29'

FOR REVISION 3 ONLY

FOR REVISION 6 ONLY

9/12/16

FOR REVISION 5 ONLY:

7/11/16

FOR REVISION 1 ONLY

3/7/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 8/21/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/1/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 9/1/13
 DIRECTOR

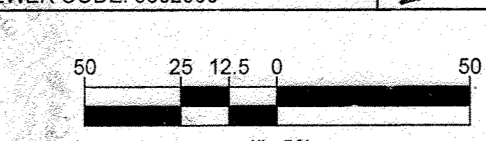
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 1333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 (410) 684-2000

CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 SECTION/AREA: SECTION 14
 5TH ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
 ZB REF: 1096M SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046



PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GIBELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097 EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
 WARREN, NJ

OFFICES:
 BOWEN, MD
 SOUTHBRIDGE, MA
 SOUTHBRIDGE, MA
 ROCKY HILL, CT
 CENTER VALLEY, PA
 TAMPA, FL
 PHILADELPHIA, PA

REV	DATE	COMMENT	BY
1	01/04/14	REVISED UTILITY LAYOUT	ADM
2	5/16/14	REVISED STORM DRAIN LAYOUT BLDG. FOOTPRINTS WATER HOUSE CONNECTION	TMA
3	6/24/15	REVISED CURB RADES	WCB
4	08/19/15	SHOW POOL IN GREEN BLDG	PMB
5	02/11/16	REVISED BLDG 2, 3, 4 LINES AND PARKING LINES	BSH
7	01/21/17	REVISED	MUG
8	12/01/16	ADDED PROPOSED SIDEWALK TIME	BMS
12	11/16/17	ADD PROPOSED TRASH ENCLOSURE	OML

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD099002
 DRAWN BY: BMS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=50'
 CAD ID: S22

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

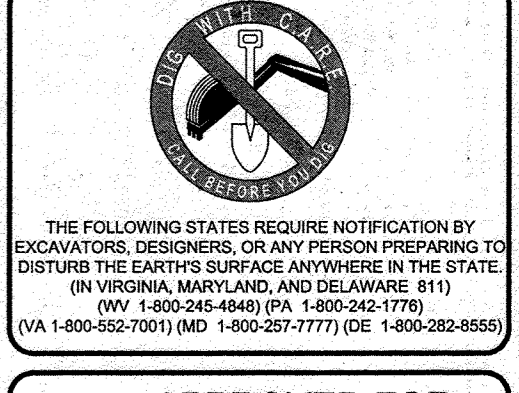
BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHELL ENGINEERING
 PROFESSIONAL ENGINEER
 7/29/13

SHEET TITLE: OVERALL UTILITY PLAN
 SHEET NUMBER: 19 OF 91
 SDP-13-046

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	RKH
2	5/16/14	REVISED STORM DRAIN LAYOUT AND WATER HOUSE CONNECTION	MAJ
3	02/11/16	REVISED BLDGS 2, 3, 4, 5, 6 USES AND PARKING COLLECTOR	MAJ
4	8/12/16	REVISED SEWER SIZE	MAJ
5	2/10/21	As-Built	MAJ

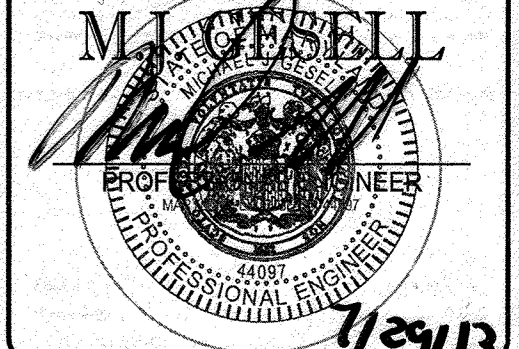


APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMB
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD L.D.: SS2

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



UTILITY PLAN
 SHEET TITLE:
 SHEET NUMBER:
 20 OF 91
 SDP-13-046

SANITARY LATERAL SCHEDULE

FROM	LOWER INVERT	PIPE DATA					UPPER INVERT	TO	COMMENTS
		NO.	LENGTH	SIZE	MATERIAL	SLOPE (%)			
SAN S-5	442.81	SL1	10.00'	8"	PVC	2.00	451.46	SAN CO1	
SAN CO1	451.46	SL2	39.01'	6"	PVC	2.03	452.25	BLDG #1	
EX MANHOLE	452.36	SL3	10.00'	6"	PVC	2.00	452.56	SAN CO2	
SAN CO2	452.56	SL4	34.09'	6"	PVC	2.02	453.25	BLDG #3	
SAN S-3	446.53	SL5	10.00'	6"	PVC	2.00	446.73	SAN CO3	
SAN CO3	446.73	SL6	30.00'	6"	PVC	2.13	447.37	SAN CO14	
SAN S-6	443.75	SL7	17.08'	8"	PVC	2.05	444.10	SAN CO4	
SAN CO4	446.80	SL8	32.90'	8"	PVC	2.01	447.46	SAN CO5	
SAN CO5	447.46	SL9	61.24'	8"	PVC	2.00	449.09	SAN CO6	
SAN CO6	449.09	SL10	38.03'	8"	PVC	2.02	449.86	SAN CO7	
SAN CO7	449.86	SL11	7.00'	8"	PVC	2.00	450.00	BLDG #4	
SAN CO5	449.30	SL12	7.00'	6"	PVC	10.00	450.00	BLDG#4	
8" MAIN	444.04	SL13	5.01'	6"	PVC	2.03	444.14	SAN CO8	
SAN CO8	447.87	SL14	27.00'	6"	PVC	2.04	448.40	BLDG #4	
8" MAIN	444.94	SL15	10.00'	6"	PVC	2.00	445.14	SAN CO9	
SAN CO9	449.46	SL16	14.57'	6"	PVC	2.00	450.00	BLDG #4	
SAN S-9	442.42	SL17	18.32'	6"	PVC	2.02	442.79	SAN CO10	
SAN CO12	444.35	SL20	7.15'	6"	PVC	2.10	444.60	BLDG #4	
SAN CO15	443.63	SL22	23.00'	6"	PVC	2.00	444.09	BLDG #4	
8" MAIN	444.03	SL23	10.00'	6"	PVC	2.00	448.23	SAN CO13	
SAN CO13	448.23	SL24	13.34'	6"	PVC	2.02	448.50	BLDG #6	
SAN CO14	447.72	SL25	12.42'	6"	PVC	2.01	447.97	SAN CO15	
SAN CO15	450.20	SL26	5.00'	6"	PVC	2.00	450.30	BLDG #1	
SAN CO16	443.03	SL27	19.93'	6"	PVC	2.01	443.43	SAN CO17	
SAN CO17	443.43	SL28	10.00'	6"	PVC	2.00	443.63	SAN CO18	
SAN CO18	443.63	SL29	10.46'	6"	PVC	2.01	443.87	SAN CO19	
SAN CO19	443.87	SL30	25.10'	6"	PVC	2.03	444.35	SAN CO2	
SAN CO19	443.92	SL31	14.50'	4"	PVC	2.00	444.21	BLDG #4	
SAN CO16	443.11	SL32	14.00'	4"	PVC	2.00	443.39	SAN S-14	
SAN S-14	443.56	SL33	3.00'	4"	PVC	2.00	443.62	SAN CO11	
SAN CO11	443.62	SL34	7.15'	4"	PVC	2.10	443.77	BLDG #4	
SAN S-10	443.27	SL35	23.82'	6"	PVC	2.02	443.79	SAN CO20	
SAN CO20	443.74	SL36	19.08'	6"	PVC	2.00	444.12	BLDG #7	
SAN CO10	442.79	SL37	12.00'	6"	PVC	2.00	443.03	SAN CO16	

NOTE:
 REFER TO PUBLIC WATER AND SEWER PLANS (CONTRACT # 24-9842-D AND CONTRACT #24-4789-D) FOR INFORMATION RELATED TO WATER AND SEWER MAIN CONSTRUCTION.

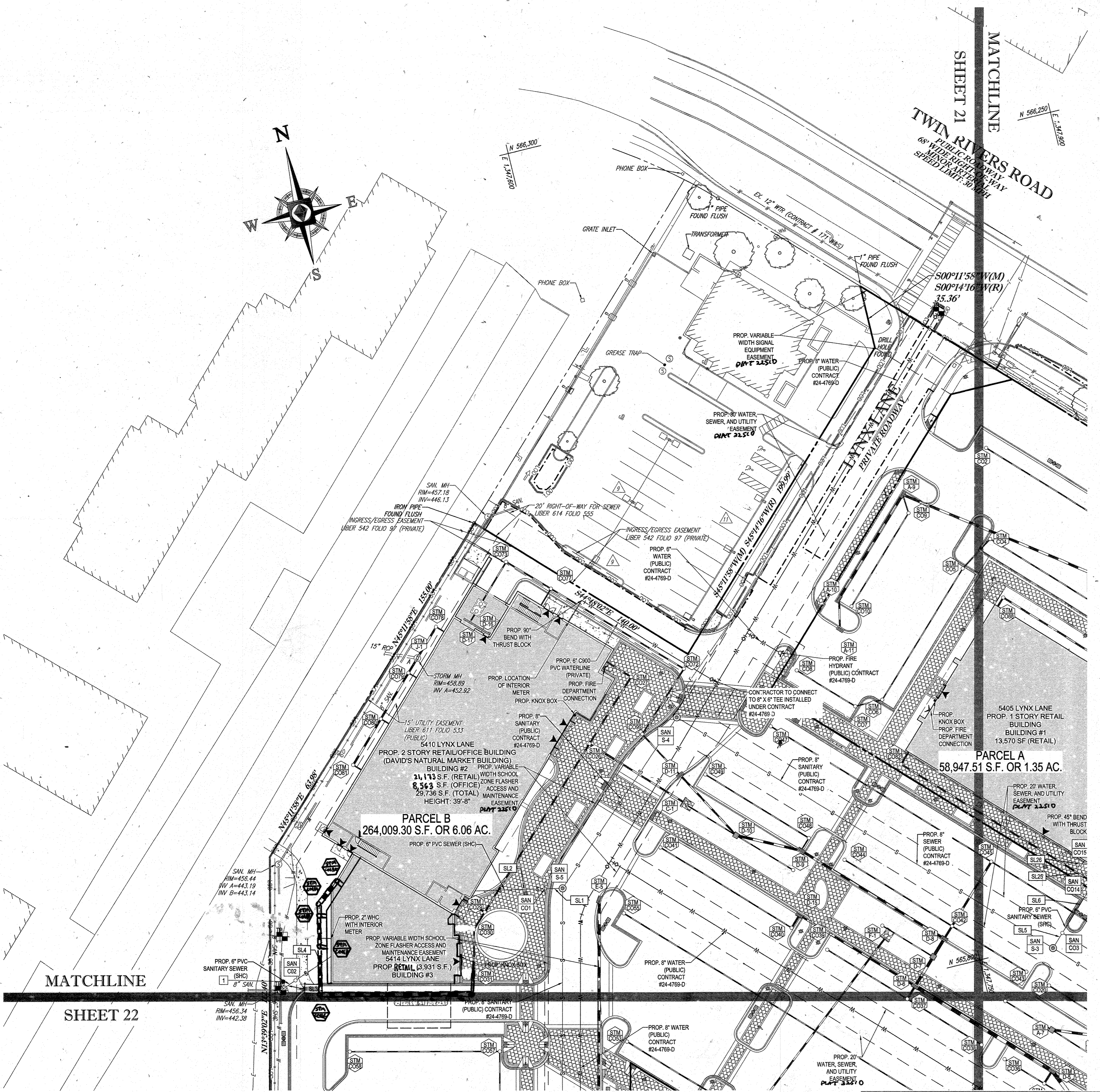
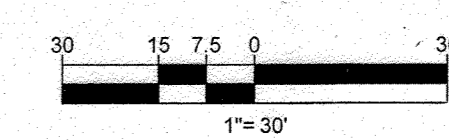
UTILITY KEYNOTES
 1 EX WATER AND SEWER SEPARATION UNKNOWN IN THIS LOCATION. EXERCISE EXTREME CAUTION WORKING IN THIS AREA.

SANITARY STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS	COMMENTS
S-14	GREASE TRAP	459.00	HW. INV = 443.36 LW. INV = 443.36	

FOR REVISION 6 ONLY
 FOR REVISION 2 ONLY
 FOR REVISION 5 ONLY
 FOR REVISION 1 ONLY

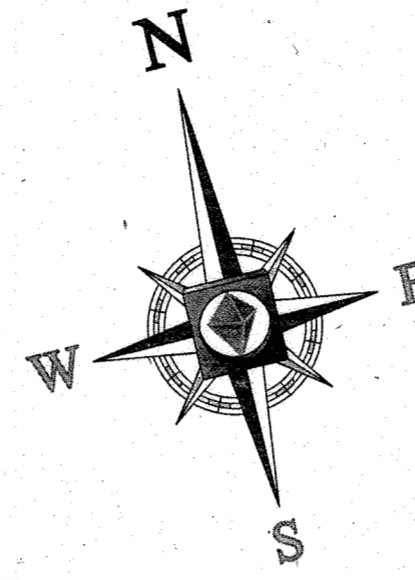
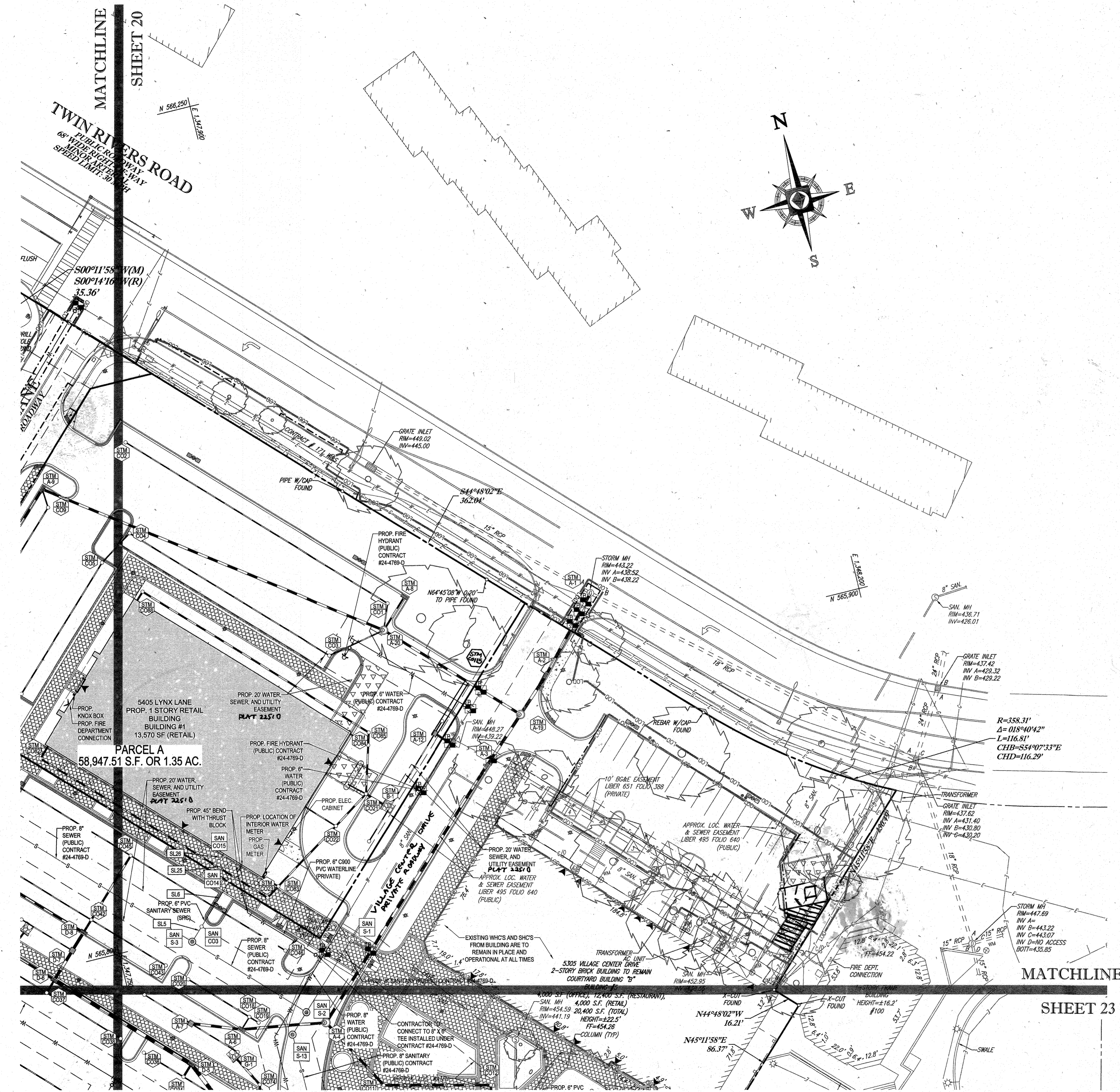
ARCHITECTURAL REFERENCE
 THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:
 NORR ARCHITECTS, ENTITLED 'CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT; REAR DRIVE THRU; STORE #10094; 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD' DATED MAY 28, 2013 (BUILDING 1)
 L2M ARCHITECTS, ENTITLED 'MARKET BUILDING AT WILDE LAKE VILLAGE CENTER; 5430 LYNX LANE, COLUMBIA, MARYLAND 21044,' DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)
 L2M ARCHITECTS, ENTITLED 'COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER; 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044,' DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE 8/21/13

APPROVED: PLANNING BOARD OF HAWARD COUNTY
 [Signature]
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE 9/11/13

APPROVED: DIRECTOR
 [Signature]
 DIRECTOR DATE 2/12/13



SANITARY LATERAL SCHEDULE

FROM	LOWER INVERT	PIPE DATA					UPPER INVERT	TO	COMMENTS
		NO.	LENGTH	SIZE	MATERIAL	SLOPE (%)			
SAN S-5	442.81	SL1	10.00'	6"	PVC	2.00	451.46	SAN CO1	
SAN CO1	451.46	SL2	39.01'	6"	PVC	2.03	452.25	BLDG #2	
EX. MANHOLE	452.36	SL3	10.00'	6"	PVC	2.00	452.56	SAN CO2	
SAN CO2	452.56	SL4	34.09'	6"	PVC	2.02	453.25	BLDG #3	
SAN S-3	446.53	SL5	10.00'	6"	PVC	2.00	446.73	SAN CO3	
SAN CO3	446.73	SL6	30.00'	6"	PVC	2.13	447.37	SAN CO14	
SAN S-6	443.75	SL7	17.08'	8"	PVC	2.05	444.10	SAN CO4	
SAN CO4	446.80	SL8	32.90'	8"	PVC	2.01	447.45	SAN CO5	
SAN CO5	447.46	SL9	81.24'	8"	PVC	2.00	449.09	SAN CO6	
SAN CO6	449.09	SL10	38.03'	8"	PVC	2.02	449.86	SAN CO7	
SAN CO7	449.86	SL11	7.00'	8"	PVC	2.00	450.00	BLDG #4	
SAN CO5	449.50	SL12	7.00'	6"	PVC	10.00	450.00	BLDG #4	
8" MAIN	444.04	SL13	5.01'	6"	PVC	2.03	444.14	SAN CO8	
SAN CO8	447.87	SL14	27.00'	6"	PVC	2.04	448.40	BLDG #4	
8" MAIN	444.94	SL15	10.00'	6"	PVC	2.00	445.14	SAN CO9	
SAN CO9	449.46	SL16	14.57'	6"	PVC	2.00	450.00	BLDG #4	
SAN S-9	442.42	SL17	18.32'	6"	PVC	2.02	442.79	SAN CO10	
SAN CO12	443.95	SL20	7.15'	6"	PVC	2.10	444.50	BLDG #4	
SAN CO18	443.65	SL22	34.18'	6"	PVC	2.06	444.09	BLDG #4	
8" MAIN	444.03	SL23	10.00'	6"	PVC	2.00	448.23	SAN CO13	
SAN CO13	448.23	SL24	13.34'	6"	PVC	2.02	448.50	BLDG #6	
SAN CO14	447.72	SL25	12.42'	6"	PVC	2.01	447.97	SAN CO15	
SAN CO15	450.20	SL28	5.00'	6"	PVC	2.00	450.30	BLDG #1	
SAN CO16	443.03	SL27	19.93'	6"	PVC	2.01	443.93	SAN CO17	
SAN CO17	443.43	SL28	10.00'	6"	PVC	2.00	443.63	SAN CO18	
SAN CO18	443.63	SL29	10.46'	6"	PVC	2.01	443.81	SAN CO19	
SAN CO19	443.84	SL30	75.10'	6"	PVC	2.03	444.35	SAN CO20	
SAN CO19	443.92	SL31	14.50'	4"	PVC	2.00	444.31	BLDG #4	
SAN CO16	443.11	SL32	14.00'	4"	PVC	2.05	443.39	SAN CO14	
SAN S-14	443.56	SL33	3.00'	4"	PVC	2.00	443.61	SAN CO1	
SAN CO11	443.62	SL34	7.15'	4"	PVC	2.15	443.77	BLDG #4	
SAN S-10	447.27	SL35	23.82'	6"	PVC	2.02	443.77	SAN CO20	
SAN CO20	443.74	SL36	14.05'	6"	PVC	2.00	443.12	BLDG #4	
SAN CO10	442.79	SL37	12.00'	6"	PVC	2.00	443.88	SAN CO16	

NOTE:
REFER TO PUBLIC WATER AND SEWER PLANS (CONTRACT # 24-4692-D AND CONTRACT # 24-4769-D) FOR INFORMATION RELATED TO WATER AND SEWER MAIN CONSTRUCTION.

UTILITY KEYNOTES
EX. WATER AND SEWER SEPARATION UNKNOWN IN THIS LOCATION. EXERCISE EXTREME CAUTION WORKING IN THIS AREA.

SANITARY STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (F.T.)	INVERTS	COMMENTS
S-14	GREASE TRAP	459.00	INV. IN=443.96 INV. OUT=443.99	

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

[Signature]
2/27/21

FOR REVISION 8 ONLY

[Signature]
4/18/17

FOR REVISION 6 ONLY

[Signature]
9/12/16

FOR REVISION 5 ONLY

[Signature]
7/11/16

FOR REVISION 2 ONLY

[Signature]
7/31/14

FOR REVISION 1 ONLY

[Signature]
3/17/14

ARCHITECTURAL REFERENCE
THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:

NORR ARCHITECTS, ENTITLED 'CVS PHARMACY, CENTER ENTRY, TYPE B-13600-RIGHT, REAR DRIVE THRU, STORE #10094, 5405 LYNX LANE, WILDE LAKE VILLAGE CENTER, COLUMBIA (HOWARD COUNTY) MD' DATED MAY 28, 2013 (BUILDING 1)

L2M ARCHITECTS, ENTITLED 'MARKET BUILDING AT WILDE LAKE VILLAGE CENTER, 5430 LYNX LANE, COLUMBIA, MARYLAND 21044,' DATED JANUARY 15, 2012, LAST REVISED DECEMBER 14, 2012 (BUILDING 2)

L2M ARCHITECTS, ENTITLED 'COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER, 10451 TWIN RIVERS ROAD, COLUMBIA, MARYLAND 21044,' DATED JANUARY 15, 2012, LAST REVISED JANUARY 15, 2013 (BUILDING 7)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION, DATE 8/21/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: DIRECTOR
[Signature]
 DATE: 9/11/13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED
 CONTRACT REF: SDP-13-046

TAX MAP: 28 GRID: 24 ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1059m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046
 SEWER CODE: 5022300

PROFESSIONAL CERTIFICATION
 MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CORPORATE OFFICE:
 1000 W. BOWLING GREEN
 TOWSON, MD 21284
 (410) 821-7900

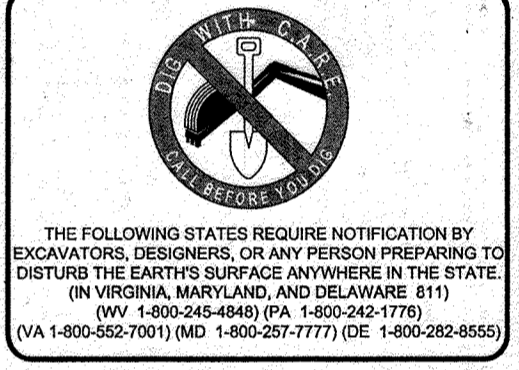
PROJECT MANAGERS:
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS
 SURVEYORS

OFFICES:
 SOUTH BOROUGHS, MA
 BOWLING GREEN, VA
 TOWSON, MD
 ALBANY, NY
 CHAMBERSBURG, PA
 CHICAGO, IL
 PHILADELPHIA, PA
 TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	RMG
2	5/14/14	REVISED STORM DRAIN LAYOUT	RMG
3	02/11/16	ADD POST-INSTALLATION HOUSE CONNECTIONS TO USES AND PARKING GARAGE	MLG
4	08/12/16	REVISED SEWER SLICE	MLG
5	11/16/17	ADD PROPOSED TRASH ENCLOSURE	DAL
6	4/18/21	AS-BUILT	RMG



APPROVED FOR CONSTRUCTION

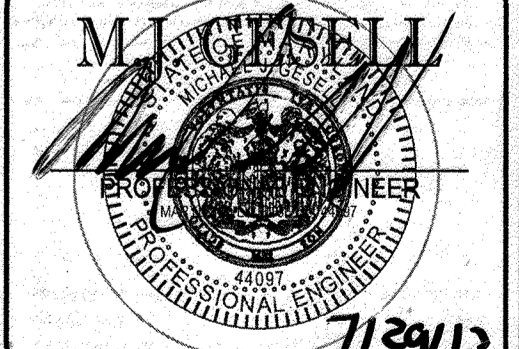
PROJECT No.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MKC
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD L.D.: SS2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

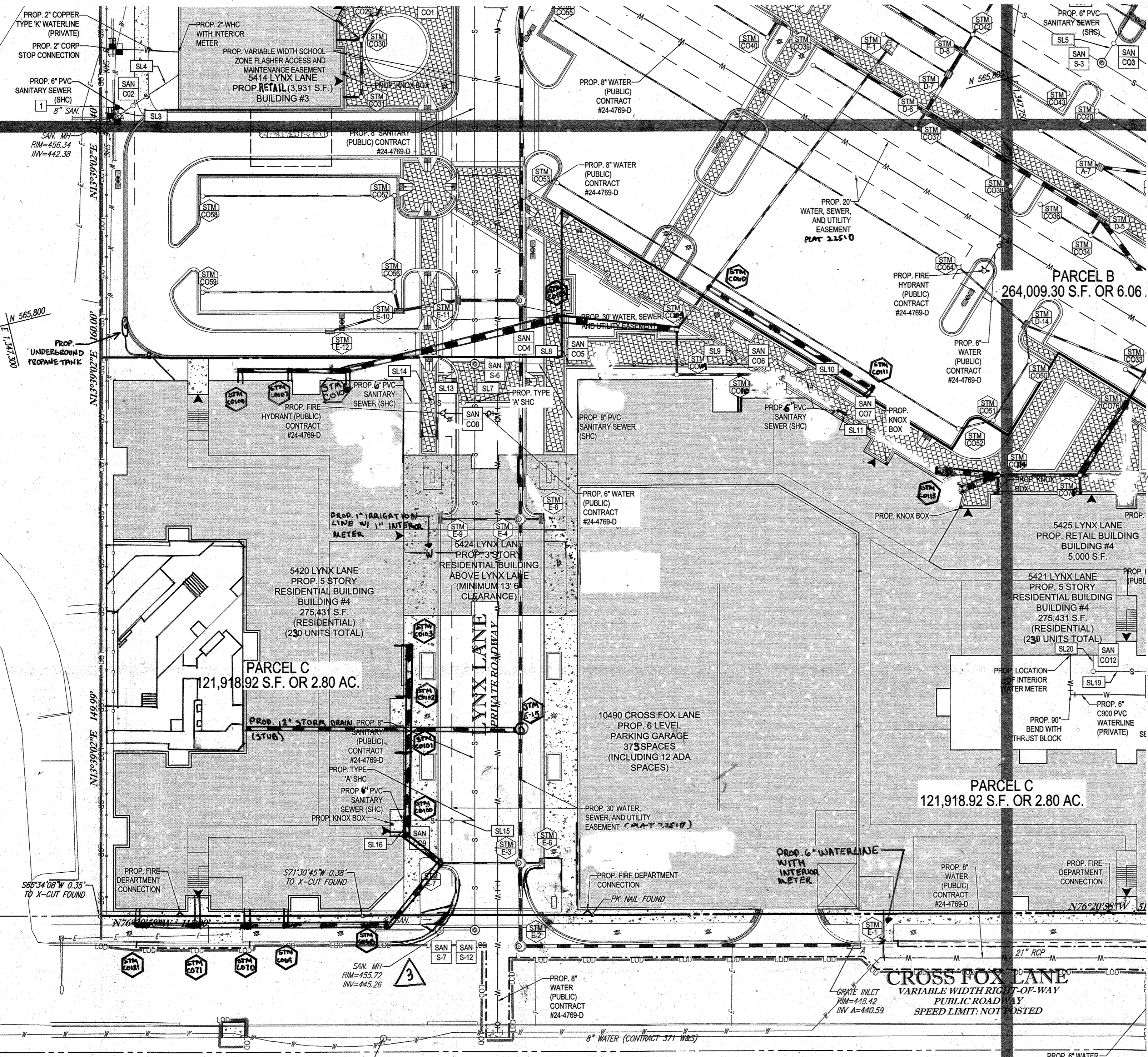
961 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



UTILITY PLAN

SHEET TITLE:
 SHEET NUMBER:
 21 OF 91
 SDP-13-046

MATCHLINE



SANITARY LATERAL SCHEDULE

FROM	LOWER INVERT	PIPE DATA				UPPER INVERT	TO	COMMENTS
		NO.	LENGTH	SIZE	MATERIAL			
SAN S-5	442.81	SL1	10.00'	6"	PVC	2.00	SAN CO1	
SAN CO1	451.46	SL2	39.01'	6"	PVC	2.03	BLDG #2	
EX. MANHOLE	452.36	SL3	10.00'	6"	PVC	2.00	SAN CO2	
SAN CO2	452.56	SL4	34.09'	6"	PVC	2.02	BLDG #3	
SAN S-3	446.53	SL5	10.00'	6"	PVC	2.00	SAN CO3	
SAN CO3	446.73	SL6	30.00'	6"	PVC	2.13	447.37	SAN CO14
SAN S-6	443.75	SL7	17.08'	8"	PVC	2.05	444.10	SAN CO4
SAN CO4	446.80	SL8	32.90'	8"	PVC	2.01	447.46	SAN CO5
SAN CO5	447.46	SL9	81.24'	8"	PVC	2.00	449.09	SAN CO6
SAN CO6	449.09	SL10	38.03'	8"	PVC	2.02	449.86	SAN CO7
SAN CO7	449.86	SL11	7.00'	8"	PVC	2.00	450.00	BLDG #4
SAN CO5	449.30	SL12	7.00'	6"	PVC	10.00	450.00	BLDG#4
8" MAIN	444.04	SL13	5.01'	6"	PVC	2.03	444.14	SAN CO8
SAN CO8	447.87	SL14	27.00'	6"	PVC	2.04	448.40	BLDG #4
8" MAIN	444.94	SL15	10.00'	6"	PVC	2.00	445.14	SAN CO9
SAN CO9	449.46	SL16	14.57'	6"	PVC	2.00	450.00	BLDG #4
SAN S-9	442.42	SL17	18.32'	6"	PVC	2.02	442.79	SAN CO10
SAN CO12		SL20	7.15'	6"	PVC	2.10		BLDG #4
SAN CO15	443.65	SL22	23.00'	6"	PVC	2.00	444.09	BLDG #4
8" MAIN	444.03	SL23	10.00'	6"	PVC	2.00	448.23	SAN CO13
SAN CO13	448.23	SL24	13.34'	6"	PVC	2.02	448.50	BLDG #6
SAN CO14	447.72	SL25	12.42'	6"	PVC	2.01	447.97	SAN CO15
SAN CO15	450.20	SL26	5.00'	6"	PVC	2.00	450.30	BLDG #1
SAN CO16	443.03	SL27	19.93'	6"	PVC	2.01	443.43	SAN CO17
SAN CO17	443.43	SL28	10.00'	6"	PVC	2.00	443.63	SAN CO18
SAN CO18	443.63	SL29	10.46'	6"	PVC	2.01	443.84	SAN CO19
SAN CO19	443.84	SL30	26.16'	6"	PVC	2.03	444.35	SAN CO20
SAN CO19	443.92	SL31	14.50'	4"	PVC	2.00	444.21	BLDG #4
SAN CO16	443.11	SL32	14.00'	4"	PVC	2.00	443.39	SAN S-14
SAN S-14	443.36	SL33	3.00'	4"	PVC	2.00	443.62	SAN CO11
SAN CO11	443.62	SL34	7.15'	4"	PVC	2.10	443.77	BLDG #4
SAN S-10	443.27	SL35	23.32'	6"	PVC	2.02	443.79	SAN CO20
SAN CO20	443.79	SL36	19.03'	6"	PVC	2.00	444.12	BLDG #4
SAN CO10	422.79	SL37	12.00'	6"	PVC	2.00	443.03	SAN CO16

NOTE:
REFER TO PUBLIC WATER AND SEWER PLANS (CONTRACT # 24-4769-D AND CONTRACT # 24-4769-D) FOR INFORMATION RELATED TO WATER AND SEWER MAIN CONSTRUCTION.

UTILITY KEYNOTES
1 EX. WATER AND SEWER SEPARATION UNKNOWN IN THIS LOCATION. EXERCISE EXTREME CAUTION WORKING IN THIS AREA.

SANITARY STRUCTURE SCHEDULE

NAME	TYPE	TIME/LEV. (FT.)	INVERTS	COMMENTS
S-14	GREASE TRAP	154.00	WV. IN: 443.56 LAV. OUT: 443.39	

FOR REVISION 7 ONLY

FOR REVISION 6 ONLY

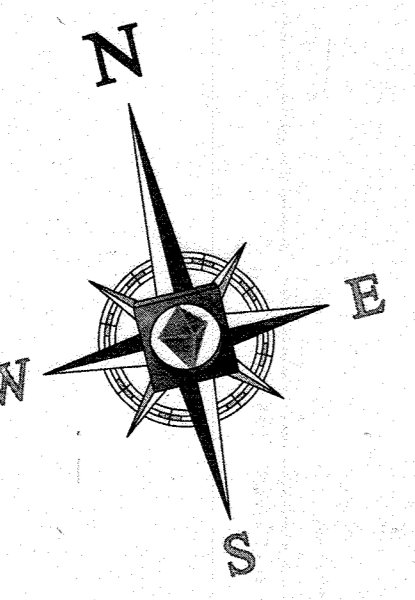
FOR REVISION 5 ONLY:

FOR REVISION 3 ONLY

FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



FOR REVISION 4 ONLY

M. G. GESSELL
PROFESSIONAL ENGINEER
9/17/15

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 9/17/15
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

M. G. GESSELL
9/27/21

M. G. GESSELL
3/7/17

M. G. GESSELL
9/21/16

M. G. GESSELL
7/28/14

M. G. GESSELL
7/11/16

M. G. GESSELL
7/28/15

M. G. GESSELL
3/17/14

BOHLER ENGINEERING
CORPORATE OFFICE: WARREN, NJ
OFFICES: BOWLING GREEN, OH; SOUTH BEND, IN; WESTFIELD, MA; WASHINGTON, VA; CHICAGO, IL; PHILADELPHIA, PA; TAMPA, FL
PROJECT MANAGERS: ENVIRONMENTAL CONSULTANTS; LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS; SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
1	01/01/14	REVISED UTILITY LAYOUT	ADH
2	5/10/14	REVISED STORM DRAIN LAYOUT	TMC
3	6/24/16	REVISED CURB RAMPUS	WCB
4	8/14/16	SHOW POOL IN REVISED BLDG 2, 3, 4	PAB
5	02/11/16	REVISED SEWER SIZES	MJC
6	8/12/16	REVISED UNDERGROUND PLUMBING TRUNKS	PLS
7	12/18/16	AS-BUILT	PTG
9	2/12/21	AS-BUILT	PTG

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (TOLL FREE 1-800-444-8849) (PA 1-800-242-1779) (VA 1-800-552-7071) (MD 1-800-552-7777) (DE 1-800-283-8559)

APPROVED FOR CONSTRUCTION
PROJECT NO.: MD069002
DRAWN BY: MJC
CHECKED BY: MJC
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: SSZ

PROJECT: **SITE DEVELOPMENT PLAN**
FOR **KIMCO REALTY CORPORATION**
LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

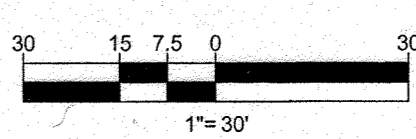
BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

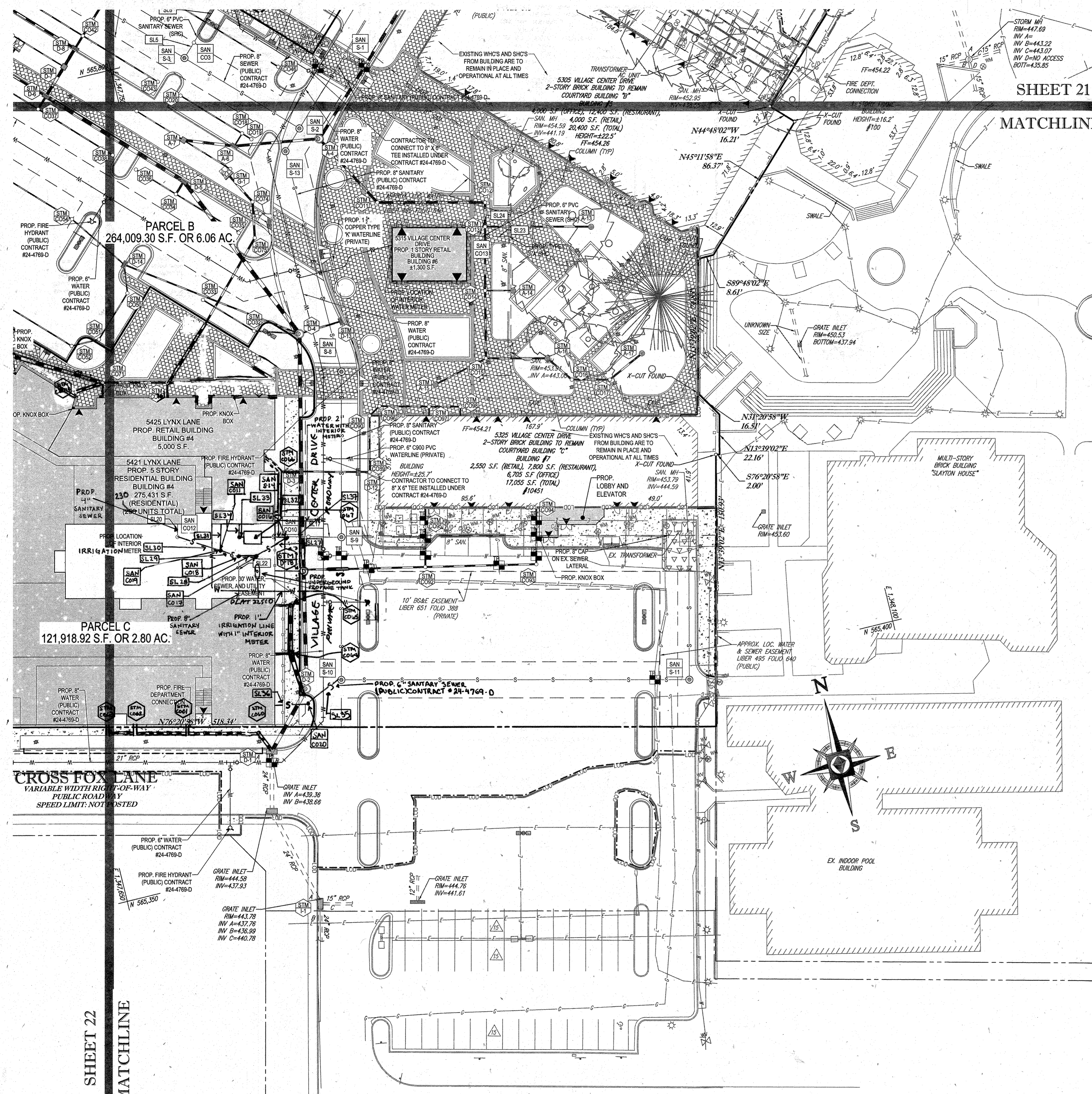
M. G. GESSELL
PROFESSIONAL ENGINEER
7/29/16

SHEET TITLE: **UTILITY PLAN**
SHEET NUMBER: **22 OF 91**
SDP-13-046

ARCHITECTURAL REFERENCE
THIS PLAN IS BASED ON ARCHITECTURAL PLANS PREPARED BY:
NORR ARCHITECTS, ENTITLED "CVS PHARMACY; CENTER ENTRY; TYPE B-13600-RIGHT; REAR DRIVE THRU; STORE #10094; 5405 LYNX LANE; WILDE LAKE VILLAGE CENTER; COLUMBIA (HOWARD COUNTY) MD" DATED MAY 29, 2013 (BUILDING 1)
L2M ARCHITECTS, ENTITLED "MARKET BUILDING AT WILDE LAKE VILLAGE CENTER; 5430 LYNX LANE; COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012; LAST REVISED DECEMBER 14, 2012 (BUILDING 2)
L2M ARCHITECTS, ENTITLED "COURTYARD BUILDING A AT WILDE LAKE VILLAGE CENTER; 10451 TWIN RIVERS ROAD; COLUMBIA, MARYLAND 21044" DATED JANUARY 15, 2012; LAST REVISED JANUARY 15, 2013 (BUILDING 7)

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000
CONTACT: GREG REED
GRID: 24
ZONED: NT
TAX MAP: 29
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF.: 1099m SITE AREA: 10.21 AC
DPZ REF.: SDP-13-046
SEWER CODE: E32
SEWER CODE: 5002500





SANITARY LATERAL SCHEDULE

FROM	LOWER INVERT	PIPE DATA					UPPER INVERT	TO	COMMENTS
		NO.	LENGTH	SIZE	MATERIAL	SLOPE (%)			
SAN S-5	442.81	SL1	10.00'	6"	PVC	2.00	451.46	SAN CO1	
SAN CO1	451.46	SL2	39.01'	6"	PVC	2.03	452.25	BLDG #2	
EX. MANHOLE	452.36	SL3	10.00'	6"	PVC	2.00	452.56	SAN CO2	
SAN CO2	452.56	SL4	34.09'	6"	PVC	2.02	453.25	BLDG #3	
SAN S-3	446.53	SL5	10.00'	6"	PVC	2.00	446.73	SAN CO3	
SAN CO3	446.73	SL6	30.00'	6"	PVC	2.13	447.37	SAN CO14	
SAN S-6	443.75	SL7	17.08'	8"	PVC	2.05	444.10	SAN CO4	
SAN CO4	446.80	SL8	32.90'	8"	PVC	2.01	447.46	SAN CO5	
SAN CO5	447.46	SL9	81.24'	8"	PVC	2.00	449.09	SAN CO6	
SAN CO6	449.09	SL10	38.03'	8"	PVC	2.02	449.86	SAN CO7	
SAN CO7	449.86	SL11	7.00'	8"	PVC	2.00	450.00	BLDG #4	
SAN CO8	449.30	SL12	7.00'	6"	PVC	10.00	450.00	BLDG #4	
8" MAIN	444.04	SL13	5.01'	6"	PVC	2.03	444.14	SAN CO8	
SAN CO8	447.87	SL14	27.00'	6"	PVC	2.04	448.40	BLDG #4	
8" MAIN	444.94	SL15	10.00'	6"	PVC	2.00	445.14	SAN CO9	
SAN CO9	449.46	SL16	14.57'	6"	PVC	2.00	450.00	BLDG #4	
SAN S-9	442.42	SL17	18.32'	6"	PVC	2.02	442.79	SAN CO10	
SAN CO12	443.25	SL20	7.15'	6"	PVC	2.10	444.50	BLDG #4	
SAN CO18	443.63	SL22	23.00'	6"	PVC	2.00	444.09	BLDG #4	
8" MAIN	444.03	SL23	10.00'	6"	PVC	2.00	448.23	SAN CO13	
SAN CO13	448.23	SL24	13.34'	6"	PVC	2.02	448.50	BLDG #6	
SAN CO14	447.72	SL25	12.42'	6"	PVC	2.01	447.97	SAN CO15	
SAN CO15	450.20	SL26	5.00'	6"	PVC	2.00	450.30	BLDG #1	
SAN CO16	449.03	SL27	10.95'	6"	PVC	2.01	449.43	SAN CO17	
SAN CO17	449.43	SL28	10.00'	6"	PVC	2.00	449.63	SAN CO18	
SAN CO18	449.63	SL29	10.46'	6"	PVC	2.01	449.84	SAN CO19	
SAN CO19	449.84	SL30	26.10'	6"	PVC	2.03	444.93	SAN CO19	
SAN CO19	449.92	SL31	14.50'	4"	PVC	2.00	444.21	BLDG #4	
SAN CO16	443.11	SL32	14.00'	4"	PVC	2.00	443.59	SAN S-14	
SAN S-14	443.56	SL33	3.00'	4"	PVC	2.00	443.77	BLDG #4	
SAN CO11	443.62	SL34	7.16'	4"	PVC	2.10	443.77	BLDG #4	
SAN S-10	443.27	SL35	23.32'	6"	PVC	2.02	443.74	SAN CO20	
SAN CO20	443.74	SL36	19.03'	6"	PVC	2.00	444.14	BLDG #4	
SAN CO10	422.74	SL37	12.00'	6"	PVC	2.00	443.03	SAN CO16	

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

BRANCH OFFICES:
ALABAMA, ARIZONA, ARKANSAS, CALIFORNIA, COLORADO, CONNECTICUT, DELAWARE, FLORIDA, GEORGIA, ILLINOIS, INDIANA, IOWA, KANSAS, Kentucky, Louisiana, Maine, Maryland, Massachusetts, Michigan, Minnesota, Missouri, Montana, Nebraska, Nevada, New Hampshire, New Jersey, New Mexico, New York, North Carolina, North Dakota, Oklahoma, Oregon, Pennsylvania, Rhode Island, South Carolina, South Dakota, Tennessee, Texas, Utah, Virginia, Washington, Washington DC, West Virginia, Wisconsin, Wyoming

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	01/01/14	REVISED UTILITY LAYOUT	BMH
2	3/10/14	REVISED STORM DRAIN LAYOUT, SLIDE FOOTPRINT AND WATER POSE CONNECTIONS	TMG
3	02/11/16	REVISED WIDEN 4.3.3.7 USES AND PARKING LINES	GMH
6	01/21/14	REVISED SEWER	MJG
7	12/01/14	ADDED WADGE LANE PROPOSED THINGS	WLS
9	2/16/21	As-Built	MCG

NOT TO SCALE

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE: (IN VIRGINIA, MARYLAND, AND DELAWARE: 911)

VA: 1-800-852-7011 | MD: 1-800-257-7777 | DE: 1-800-292-8555

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
DRAWN BY: FMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: SSZ

SITE DEVELOPMENT PLAN

FOR

KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 901
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GESSELL

PROFESSIONAL ENGINEER
7/29/13

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
23
OF 91

SDP-13-046

NOTE:
REFER TO PUBLIC WATER AND SEWER PLANS (CONTRACT #24-4769-D) FOR INFORMATION RELATED TO WATER AND SEWER MAIN CONSTRUCTION.

UTILITY KEYNOTES

EX. WATER AND SEWER SEPARATION UNKNOWN IN THIS LOCATION. EXERCISE EXTREME CAUTION WORKING IN THIS AREA.

SANITARY STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS	COMMENTS
S-14	GREASE TRAP	454.00	1 INVERT=443.56 1 INV. OUT=413.99	

FOR REVISION 2 ONLY
9/12/16

FOR REVISION 6 ONLY

FOR REVISION 9 ONLY (NO AS-BUILT INFO)
3/7/17

FOR REVISION 5 ONLY:
3/7/17

FOR REVISION 1 ONLY
7/21/14

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
CO. KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000
CONTACT: GREG REED

TAX MAP: ZB 28
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1096m SITE AREA: 10.21 AC.
CONTRACT: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44087, EXPIRATION DATE: 06/20/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING

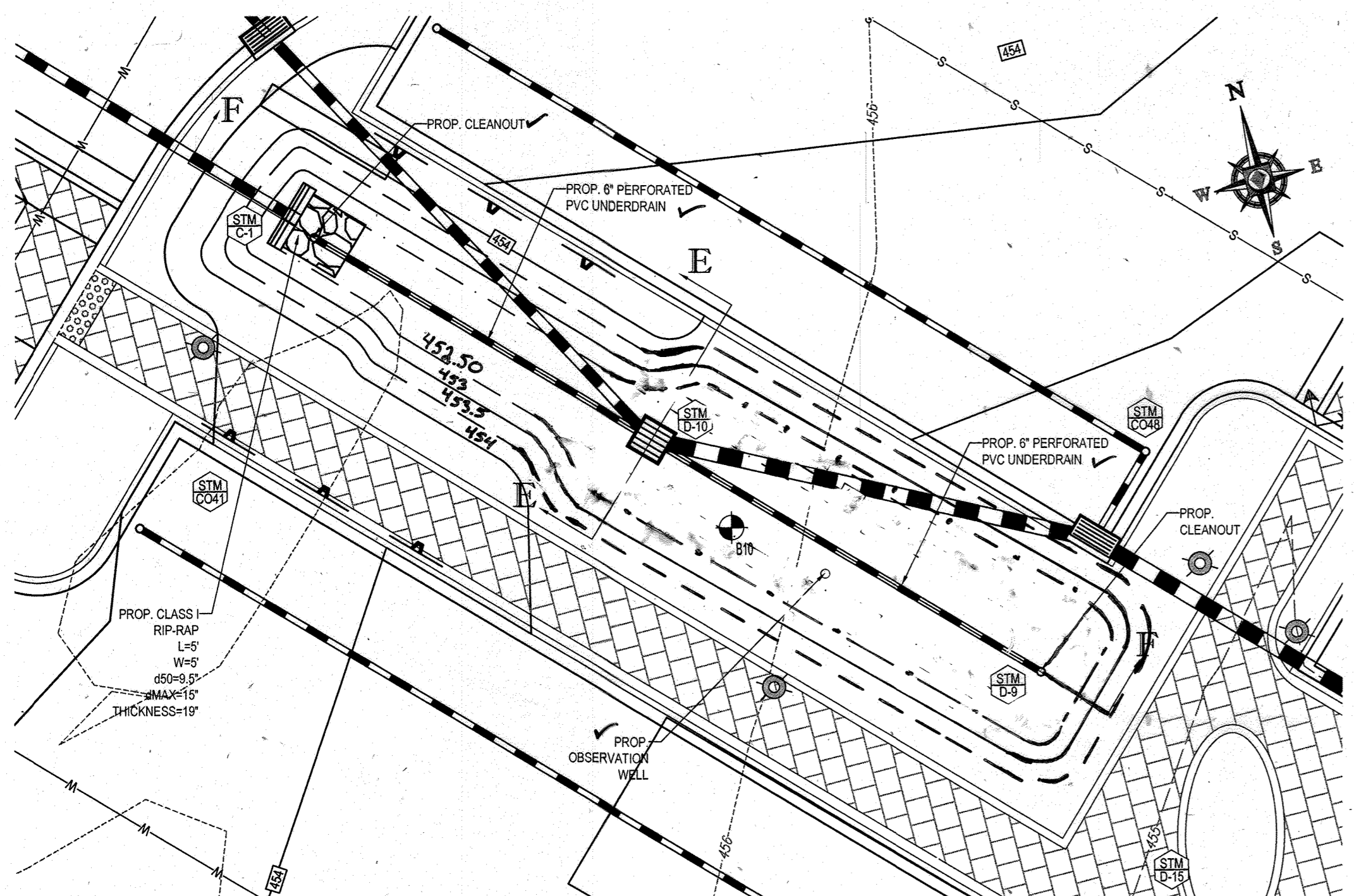
Mark McLaughlin 4/15/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION

APPROVED: PLANNING BOARD OF HOWARD COUNTY

Mark McLaughlin 4/15/13
CHIEF-DIVISION OF LAND DEVELOPMENT

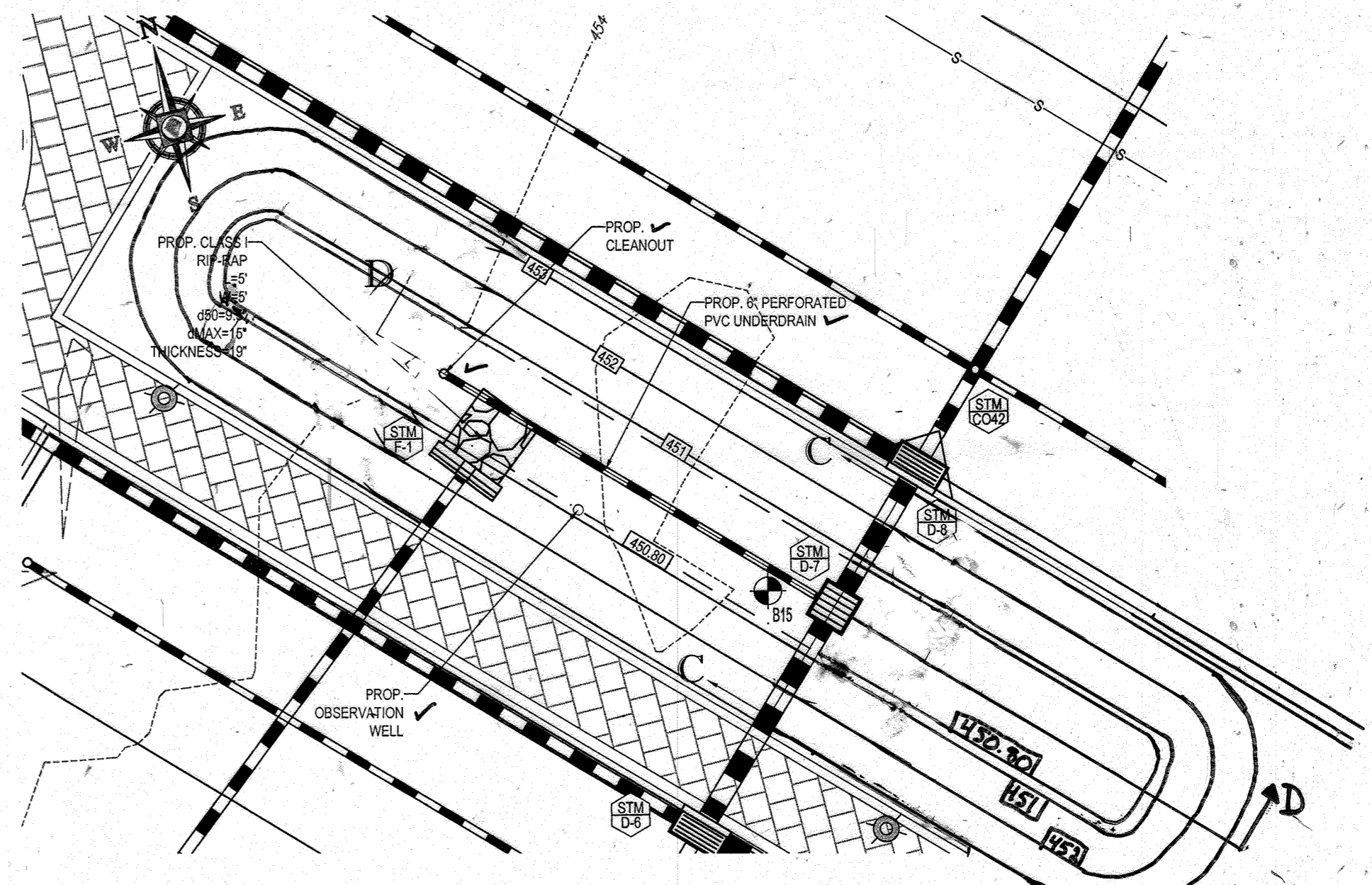
DATE: April 15, 2013

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOWN PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE ACCURACY OF THE INFORMATION PROVIDED IN THE ARCHITECTURAL PLANS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO THE START OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT THE CONTRACTOR'S RISK. THE CONTRACTOR SHALL CONSTITUTE AS ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH ALL REGULATIONS AND CODES.



MICRO-BIORETENTION (M-6) FACILITY #1

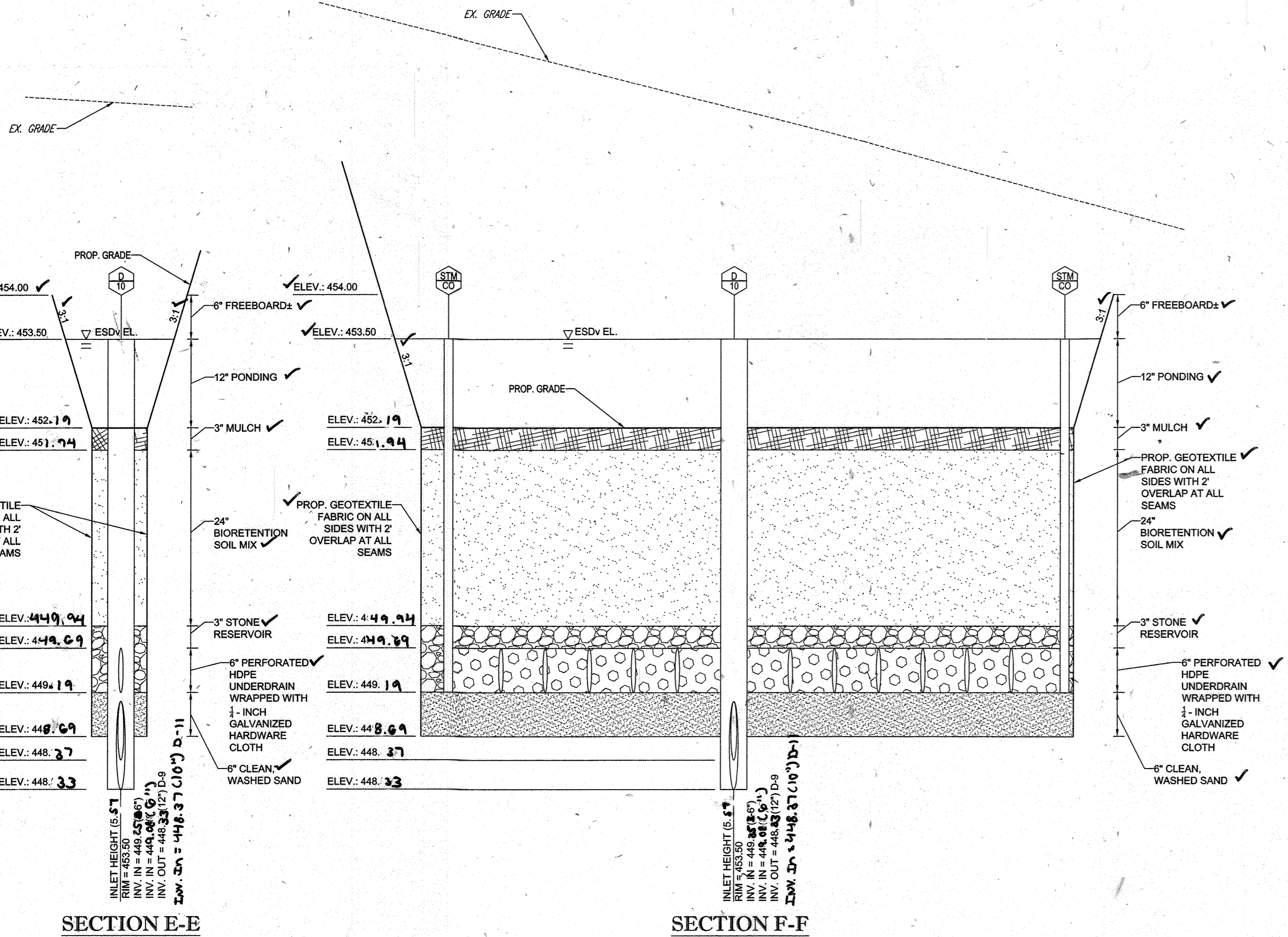
NOTE: FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.



MICRO-BIORETENTION (M-6) FACILITY #2

NOTE: FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.

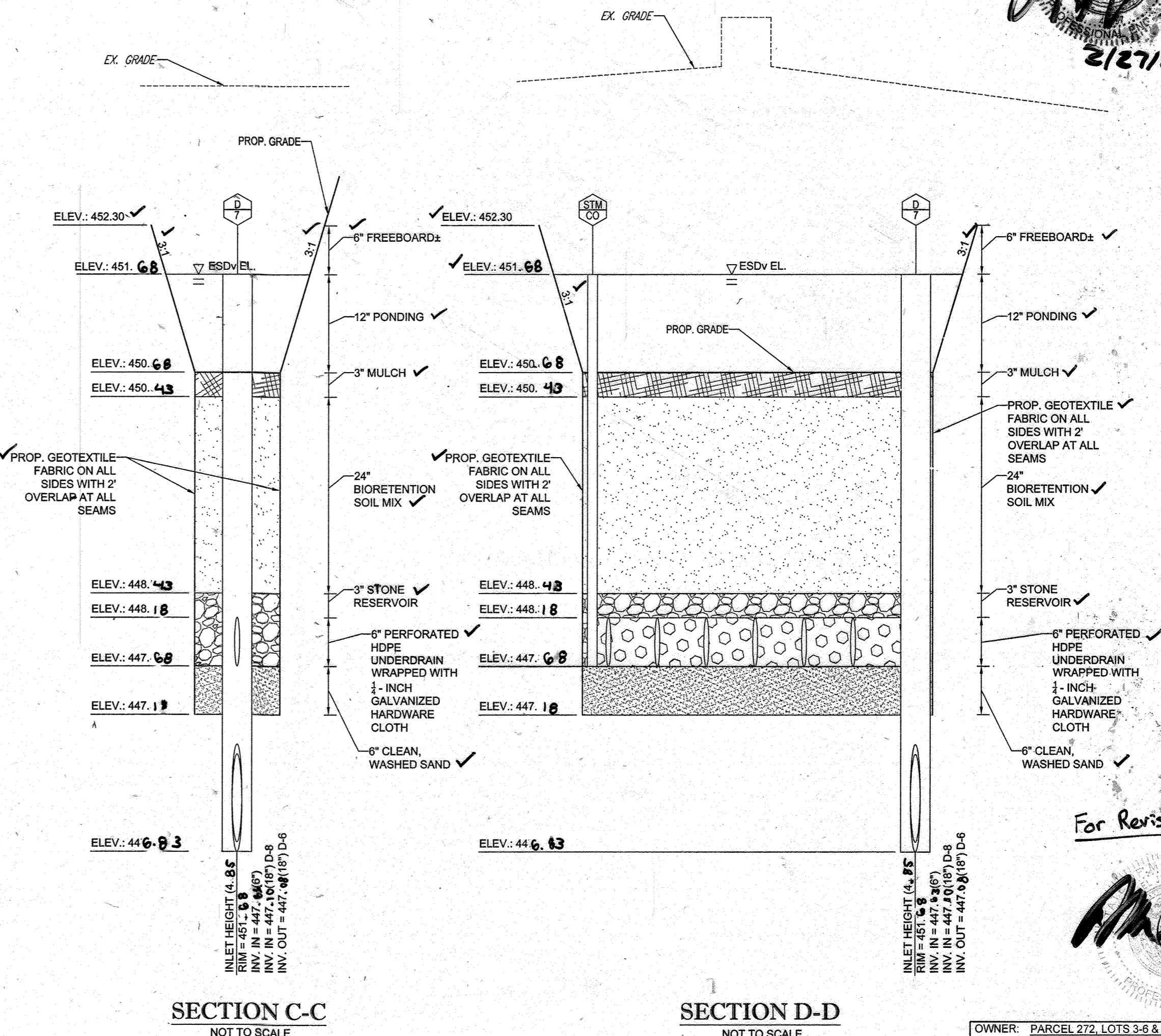
FOR REVISION 9 ONLY (AS-BUILTS)



SECTION E-E
NOT TO SCALE

SECTION F-F
NOT TO SCALE

MICRO BIORETENTION (M-6) FACILITY #1
NOT TO SCALE

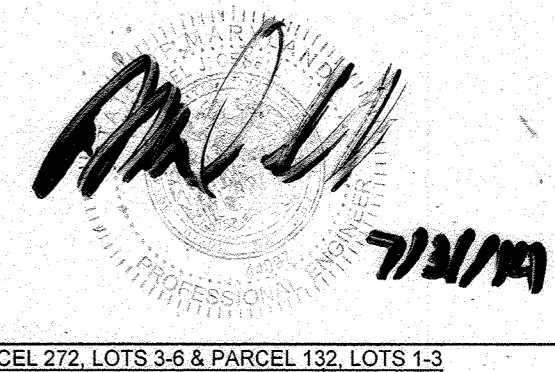


SECTION C-C
NOT TO SCALE

SECTION D-D
NOT TO SCALE

MICRO BIORETENTION (M-6) FACILITY #2
NOT TO SCALE

For Revision 2 Only



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief-Development Engineering Division
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

FOR REVISION 5 ONLY:



OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21089
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: ZB PARCELS: 272, PARCELS A-C ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GEZELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CONSULTANT OFFICE: WASHINGTON, DC

PROJECT MANAGERS: ENVIRONMENTAL CONSULTANTS, LANDSCAPE ARCHITECTS

CONTRACT OFFICES: BOWLING GREEN, OH; CHARLOTTE, NC; CHICAGO, IL; COLUMBIA, MD; FORT WORTH, TX; HOUSTON, TX; KANSAS CITY, MO; LOS ANGELES, CA; MEMPHIS, TN; MIAMI, FL; MINNEAPOLIS, MN; NEW YORK, NY; PHILADELPHIA, PA; RICHMOND, VA; TAMPA, FL; WASHINGTON, DC

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT	TMG
5	02/1/16	WATER HOUSE CONSTRUCTION REVISED BLDGS 1, 3, 5 & 6 USES AND PARKING COLLECT	DMH
9	2/16/21	AS-BUILTS	MSY

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJS
 DATE: 07/29/13
 SCALE: AS NOTED
 CAD I.D.: PRZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER REDEVELOPMENT
 COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

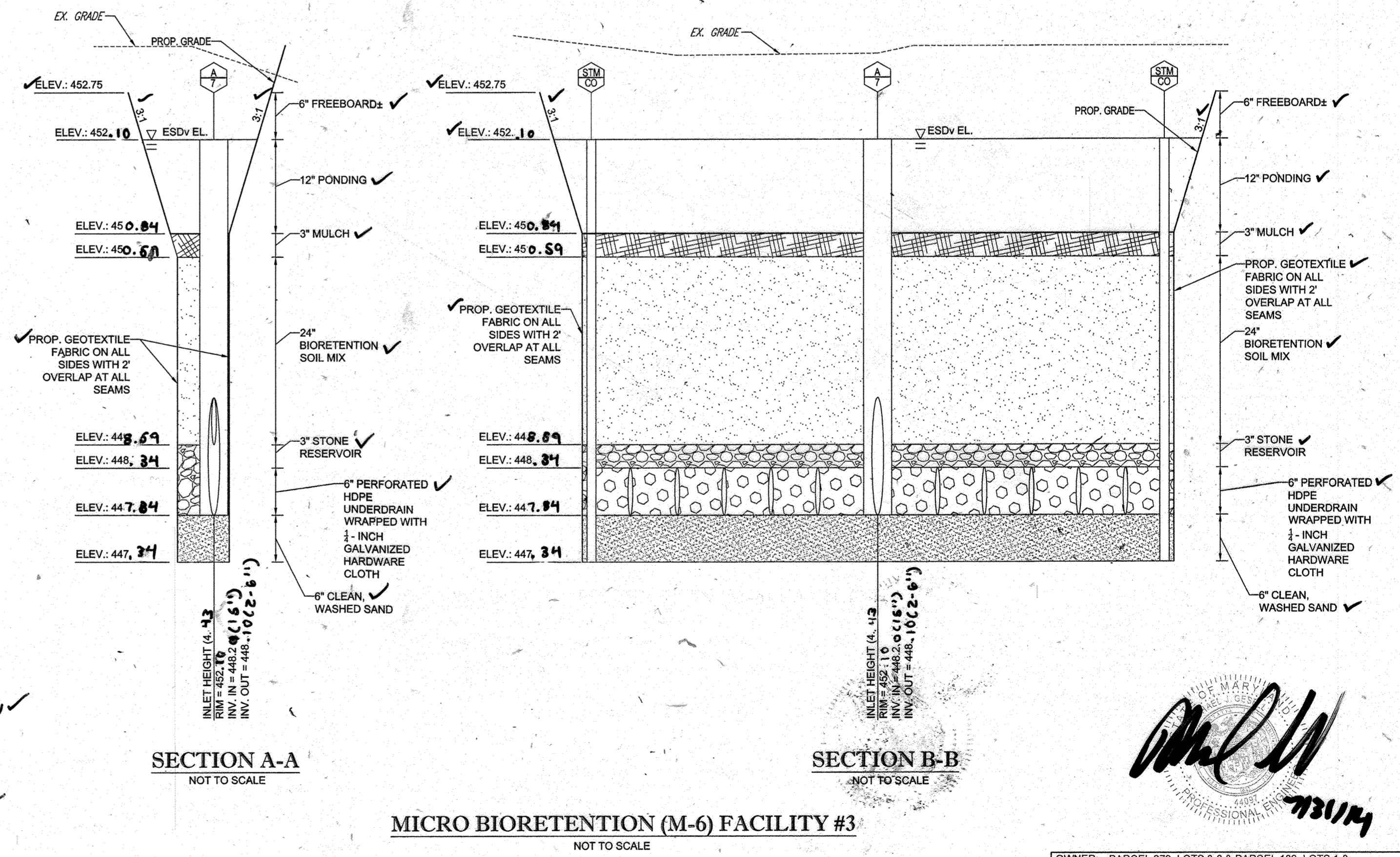
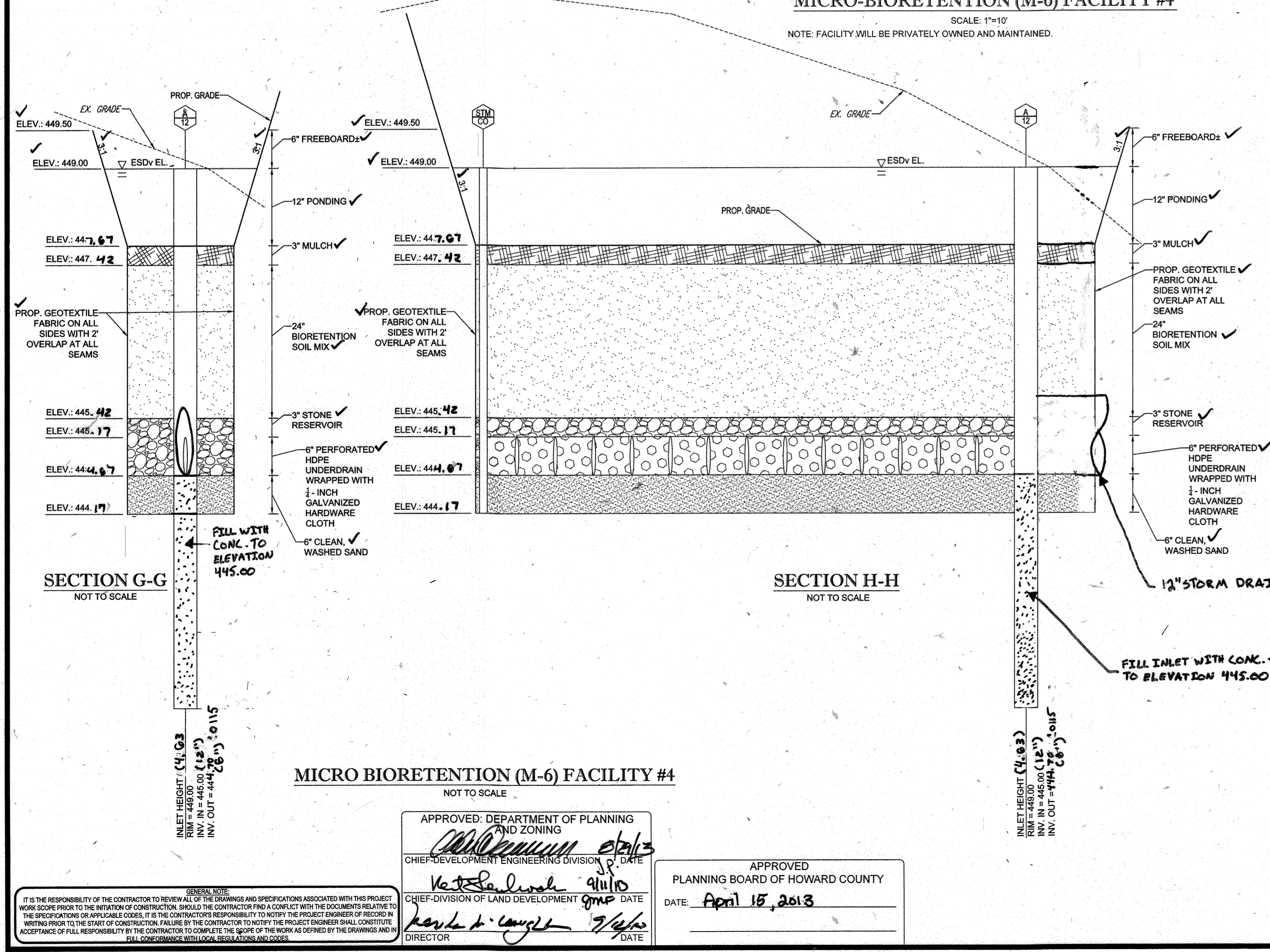
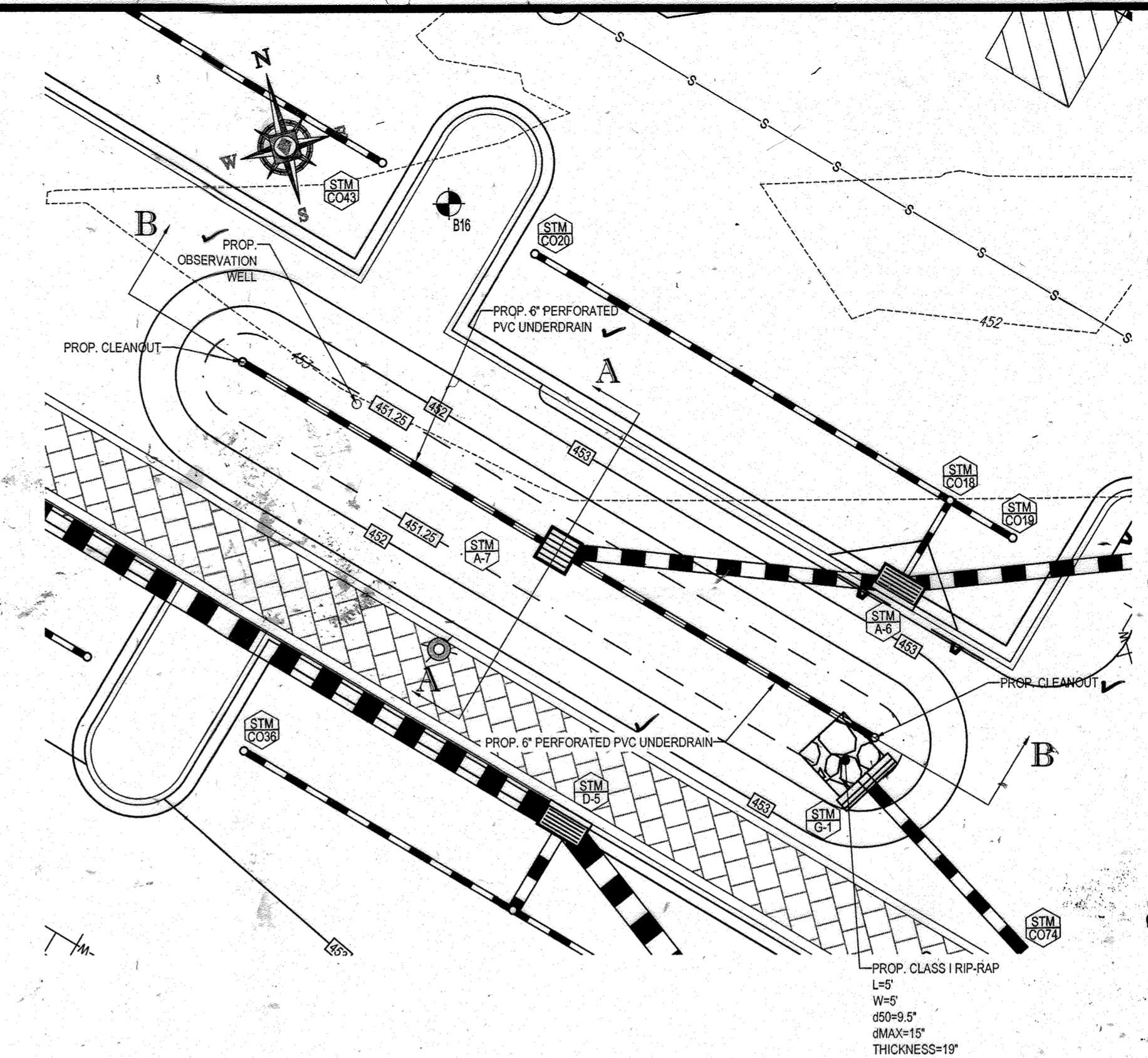
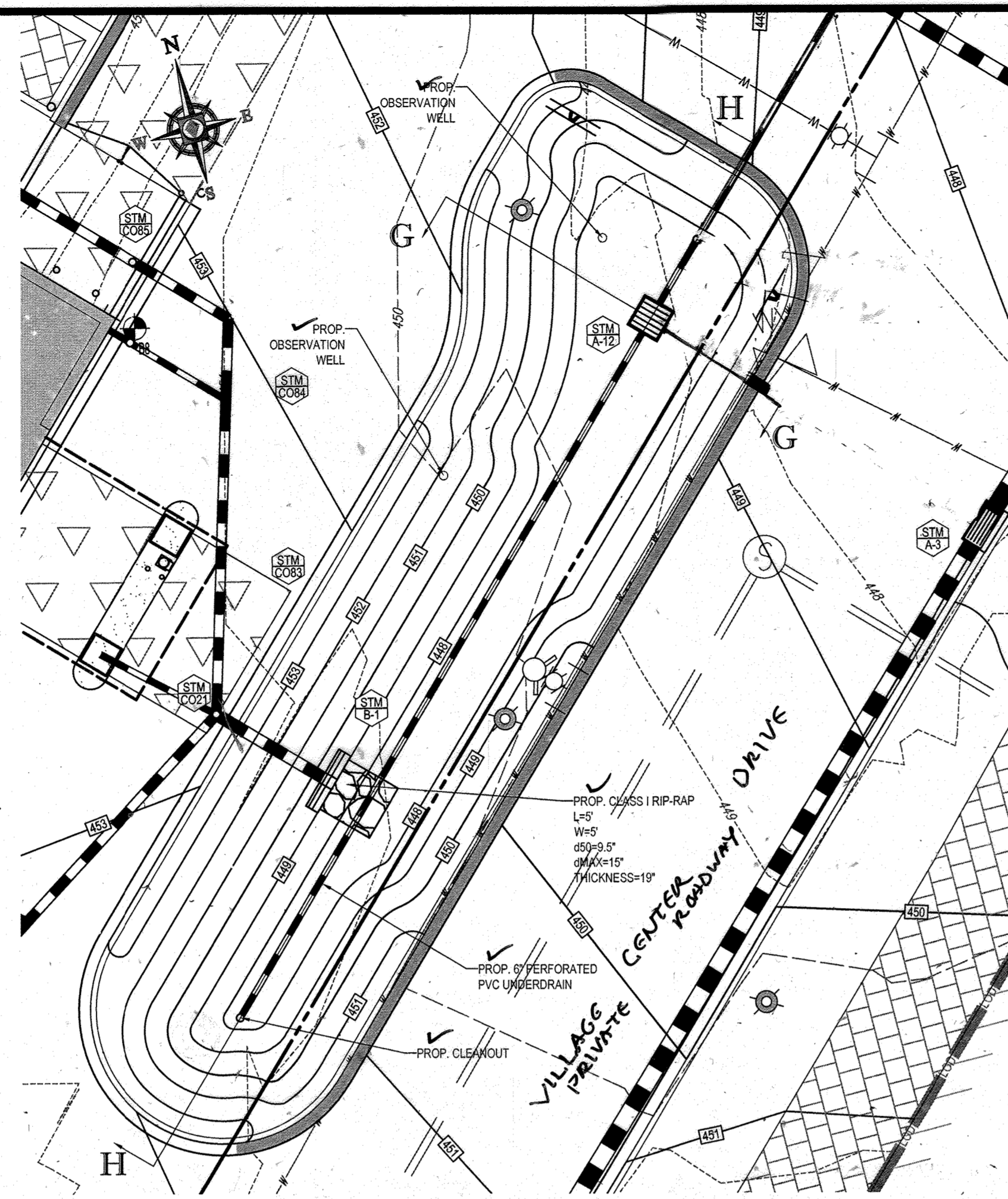
901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
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 www.BohlerEngineering.com

MICHAEL J. GEZELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44097
 7/29/13

MICRO-BIORETENTION FACILITY DETAILS

SHEET NUMBER: 24 OF 91

SDP-13-046



FOR REVISION 9 ONLY
(AS-BUILTS)

2/27/13

BOHLER ENGINEERING

CORPORATE OFFICE: (410) 821-7900
OFFICES:
• BOWEN, MD
• TOWSON, MD
• ALBANY, NY
• SOUTH BRITAIN, BC
• CHATELAIN, PA
• TAMPA, FL

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

PROFESSIONAL ENGINEERS
CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT	TMG
5	02/11/16	ADDED FOOTING FOR STORM DRAIN	DFH
9	2/10/21	AS-BUILTS	MSG

APPROVED FOR CONSTRUCTION

PROJECT No.: MD059002
DRAWN BY: RAS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: AS NOTED
CAD I.D.: PRJ

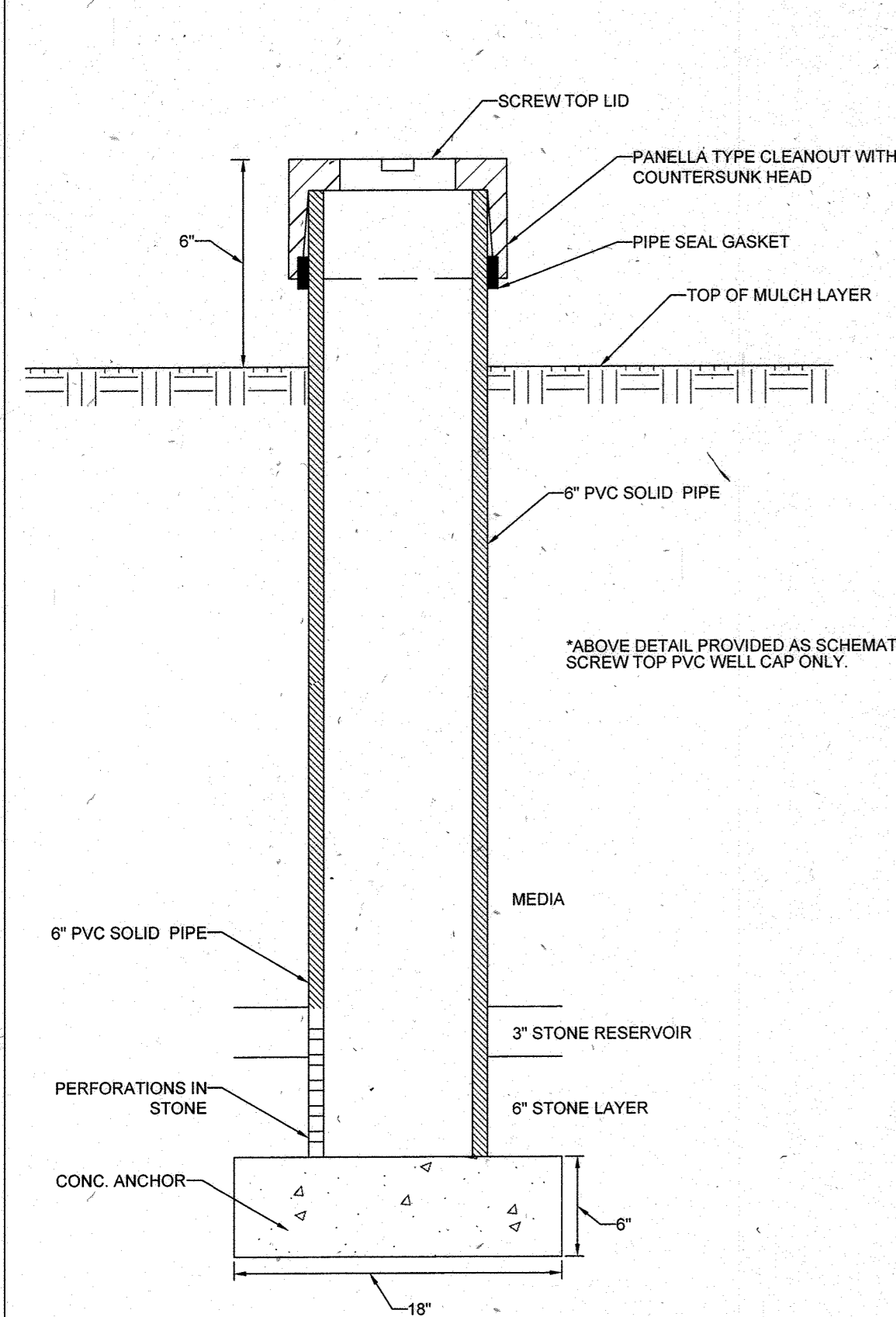
SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD,
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TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GEZELL
PROFESSIONAL ENGINEER
LICENSE NO. 44097
7/21/13

SHEET TITLE:
MICRO-BIORETENTION FACILITY DETAILS
SHEET NUMBER:
25
OF 91
SDP-13-046

APPENDIX D.8 MISCELLANEOUS DETAILS FOR COMPLIANCE WITH PERFORMANCE CRITERIA



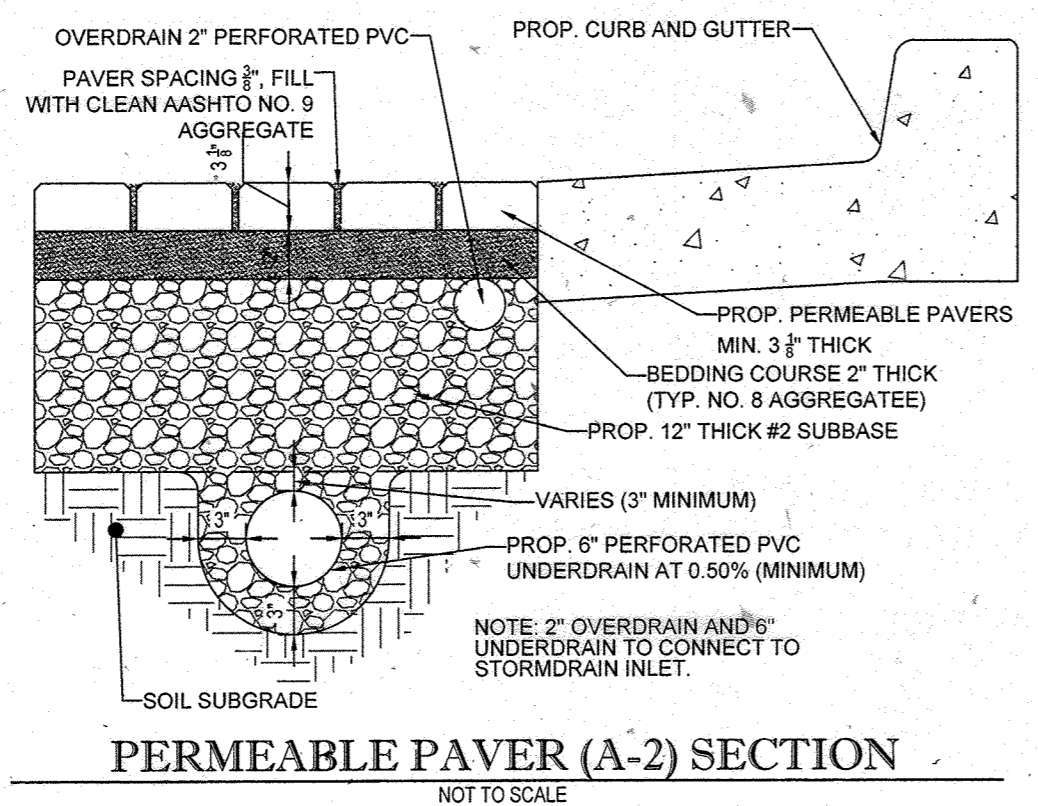
OBSERVATION WELL DETAIL

EACH OBSERVATION WELL/CLEANOUT MUST INCLUDE THE FOLLOWING:

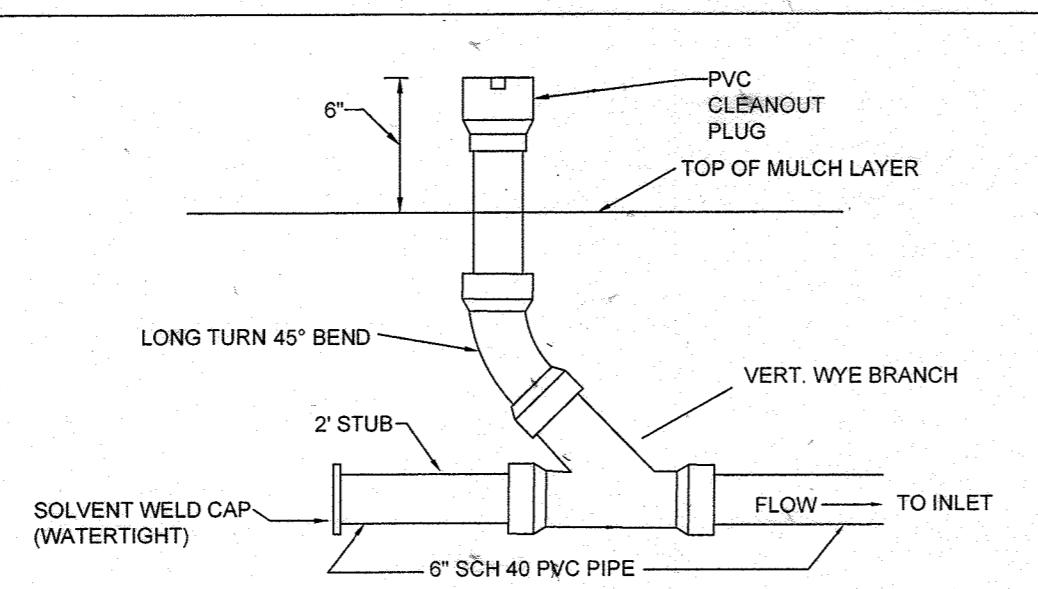
1. FOR AN UNDERGROUND FLUSH MOUNTED OBSERVATION WELL/CLEANOUT, PROVIDE A TUBE MADE OF NON-CORROSIVE MATERIAL, SCHEDULE 40 OR EQUAL, AT LEAST THREE FEET LONG WITH AN INSIDE DIAMETER OF AT LEAST 6 INCHES.
2. THE TUBE SHALL HAVE A FACTORY ATTACHED CAST IRON OR HIGH IMPACT PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING SCREW TOP LID. THE SCREW TOP SHALL BE CAST IRON OR HIGH IMPACT PLASTIC THAT WILL WITHSTAND ULTRA-VIOLET RAYS.
3. OBSERVATION WELL TO EXTEND 6" ABOVE THE TOP OF MULCH. THE 6" PVC PIPE IS TO BE PERFORATED WITH 3/8" PERFORATIONS AT 6" ON CENTER, 4 PER ROW FOR THE ENTIRE HEIGHT OF THE CLEANOUT WITHIN THE STONE LAYER.

NOTE: WELL CAP MUST BE PERMANENTLY MARKED WITH AS-BUILT DEPTH TO INVERT.

D.8.5



PERMEABLE PAVER (A-2) SECTION
NOT TO SCALE



MICRO-BIORETENTION CLEANOUT DETAIL
NOT TO SCALE

Appendix B.4. Construction Specifications for Environmental Site Design Practices

Material	Specification	Size	Notes
Plantings	see Appendix A, Table A.4	n/a	plantings are site-specific
Planting soil [2' to 4' deep]	loamy sand (60 - 65%) & compost (35 - 40%) or sandy loam (30%), coarse sand (30%) & compost (40%)	n/a	USDA soil types loamy sand or sandy loam; clay content < 5%
Organic content	Min. 10% by dry weight (ASTM D 2974)		aged 6 months, minimums no pine or wood chips
Mulch	shredded hardwood		
Pea gravel diaphragm	pea gravel: ASTM-D-448	NO. 8 OR NO. 9 (1/8" TO 3/8")	
Curtain drain	ornamental stone: washed cobbles	stone: 2" to 5"	
Geotextile		n/a	PE Type 1 nonwoven
Gravel (underdrains and infiltration berms)	AASHTO M-43	NO. 57 OR NO. 6 AGGREGATE (3/8" to 3/4")	
Underdrain piping	F 758, Type PS 28 or AASHTO M-278	4" to 6" rigid schedule 40 PVC or SDR35	Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/2-inch galvanized hardware cloth.
Poured in place concrete (if required)	MSHA Mix No. 3; f' = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM-615-60	n/a	on-site testing of poured-in-place concrete required: 28 day strength and slump test; all concrete design (cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350.R.9; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking.
Sand	AASHTO-M-6 or ASTM-C-33	0.02" to 0.04"	Sand substitutions such as Diabase and Graystone (AASHTO) #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVERS (A-2)

- A. THE OWNER SHALL SWEEP (OR VACUUM) THE PAVEMENT SURFACES TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE PERFORMED AT LEAST TWICE ANNUALLY (EVERY 8 MONTHS) WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING.
- B. THE OWNER SHALL PERIODICALLY CLEAN DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE.
- C. THE OWNER SHALL USE DEICERS IN MODERATION. DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.
- D. THE OWNER SHALL ENSURE SNOW PLOWING IS PERFORMED CAREFULLY WITH BLADES SET ONE INCH ABOVE THE SURFACE. PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE PAVEMENT.

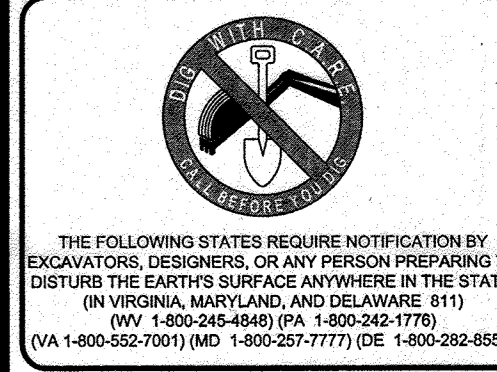
OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION (M-3), MICRO-BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)

- A. THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- B. THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- C. THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- D. THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

BOHLER ENGINEERING

CONTRACT OFFICE: WARREN, NJ
OFFICES: BOWEN, MD; TOWSON, MD; ALBANY, NY; WASHINGTON, VA; CHALFANT, PA; PHILADELPHIA, PA; SOUTHROCK, VA; TAMPA, FL
SUBSIDIARIES: ENVIRONMENTAL CONSULTANTS; LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS
PROJECT MANAGERS
SURVEYORS

REVISIONS				
REV	DATE	COMMENT	BY	
5	04/16	REVISED BLDGS 2, 3, 4, 5H	MUG	
9	2/16/21	AS-BUILT	MUG	

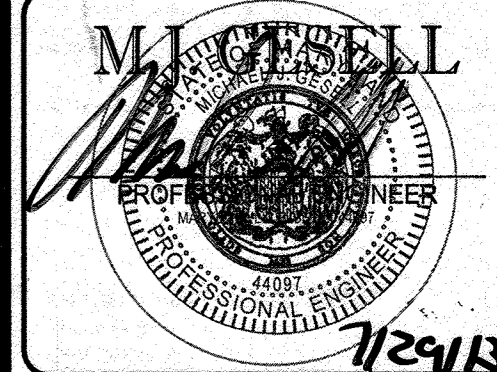


APPROVED FOR CONSTRUCTION

PROJECT NO: MD090202
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: NOT TO SCALE
CAD I.D.: SD2

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE: VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 8

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com



SHEET TITLE: STORMWATER MANAGEMENT DETAILS
SHEET NUMBER: 26 OF 91
SDP-13-046

FOR REVISION 9 ONLY (NO AS-BUILT INFO)
2/27/21

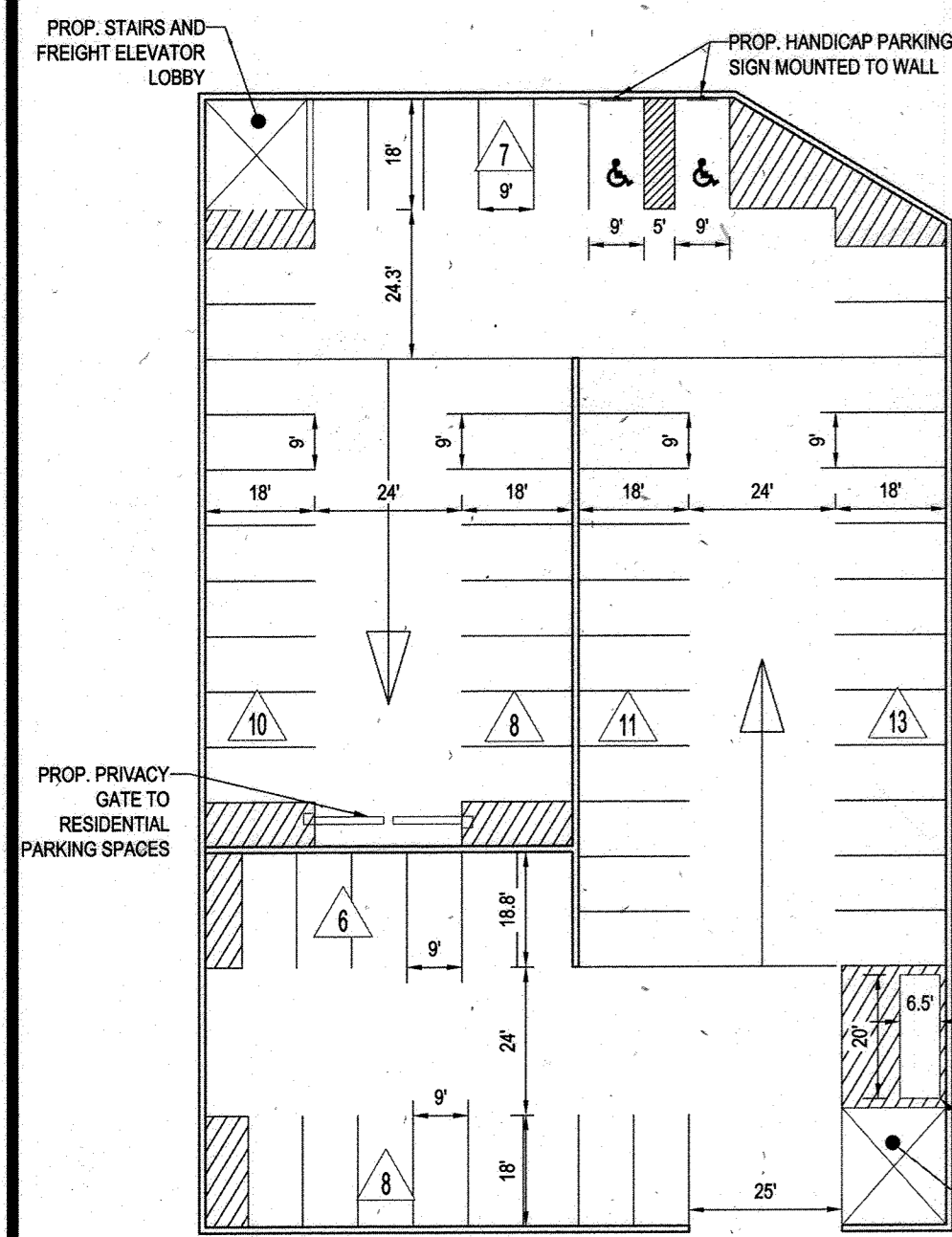
FOR REVISION 5 ONLY:
7/11/16

OWNER: PARCEL 272, LOTS 3-6 & PARSEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 SECTION: 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 10967 WATER CODE: E32 SEWER CODE: 902500	ZONED: NT SITE AREA: 10.21 AC DPZ REF: SDP-13-046
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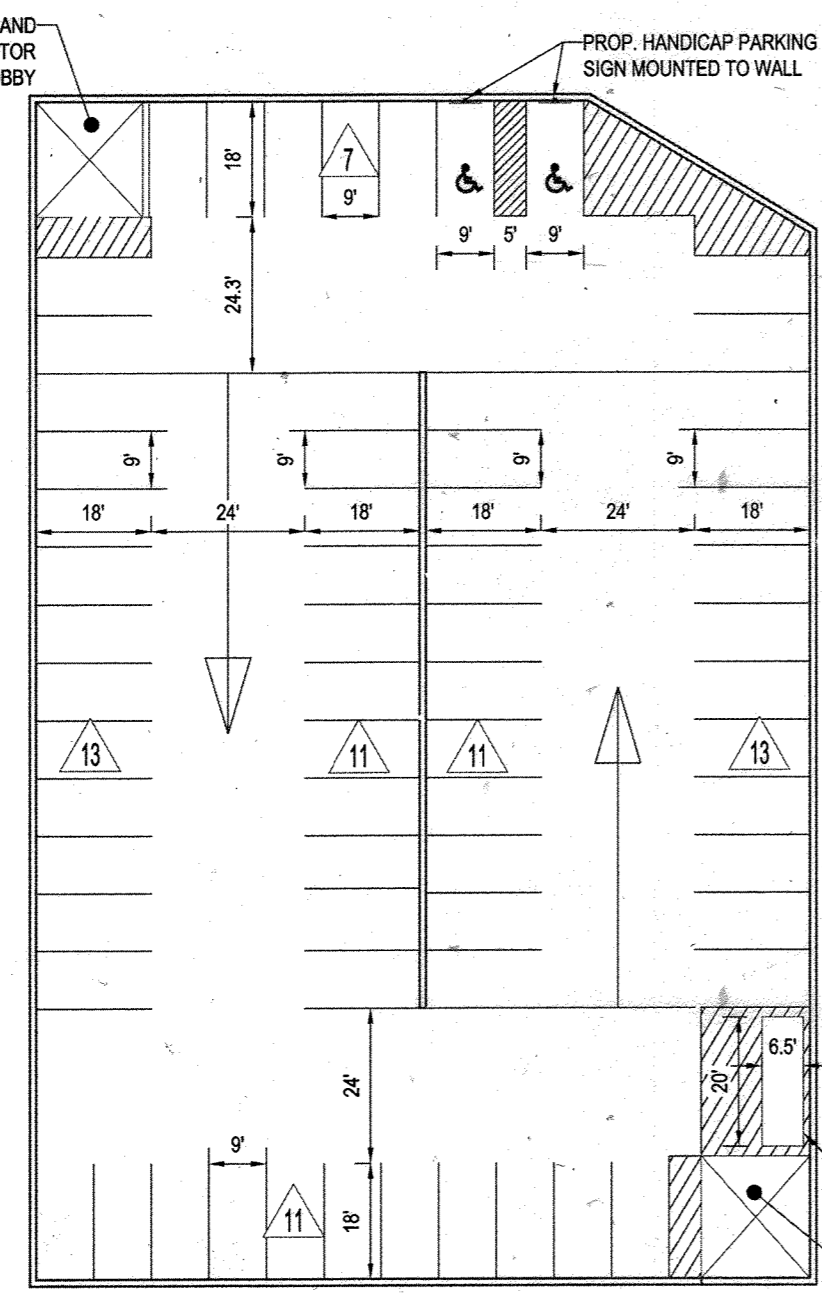
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APPROVED: DEPARTMENT OF PLANNING AND ZONING
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

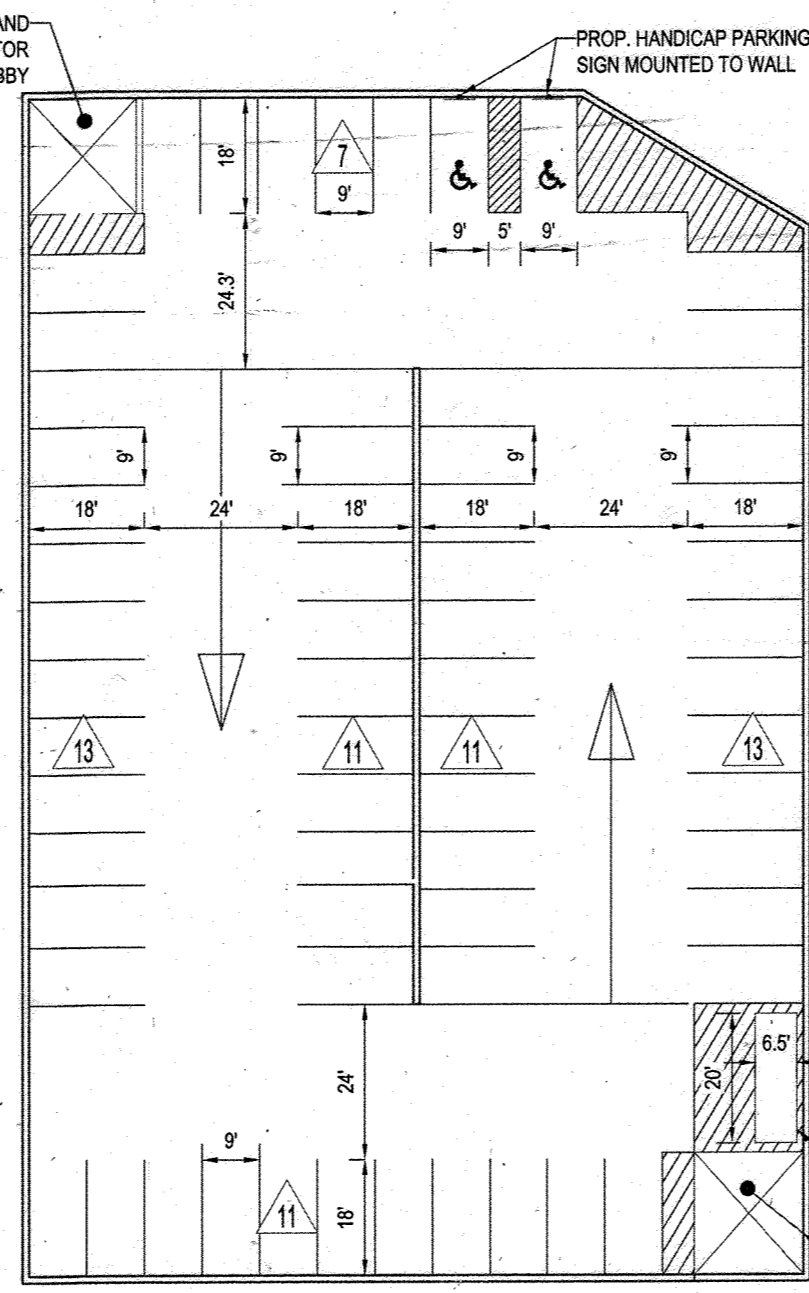
GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL DIMENSIONS SHOWN THEREON.



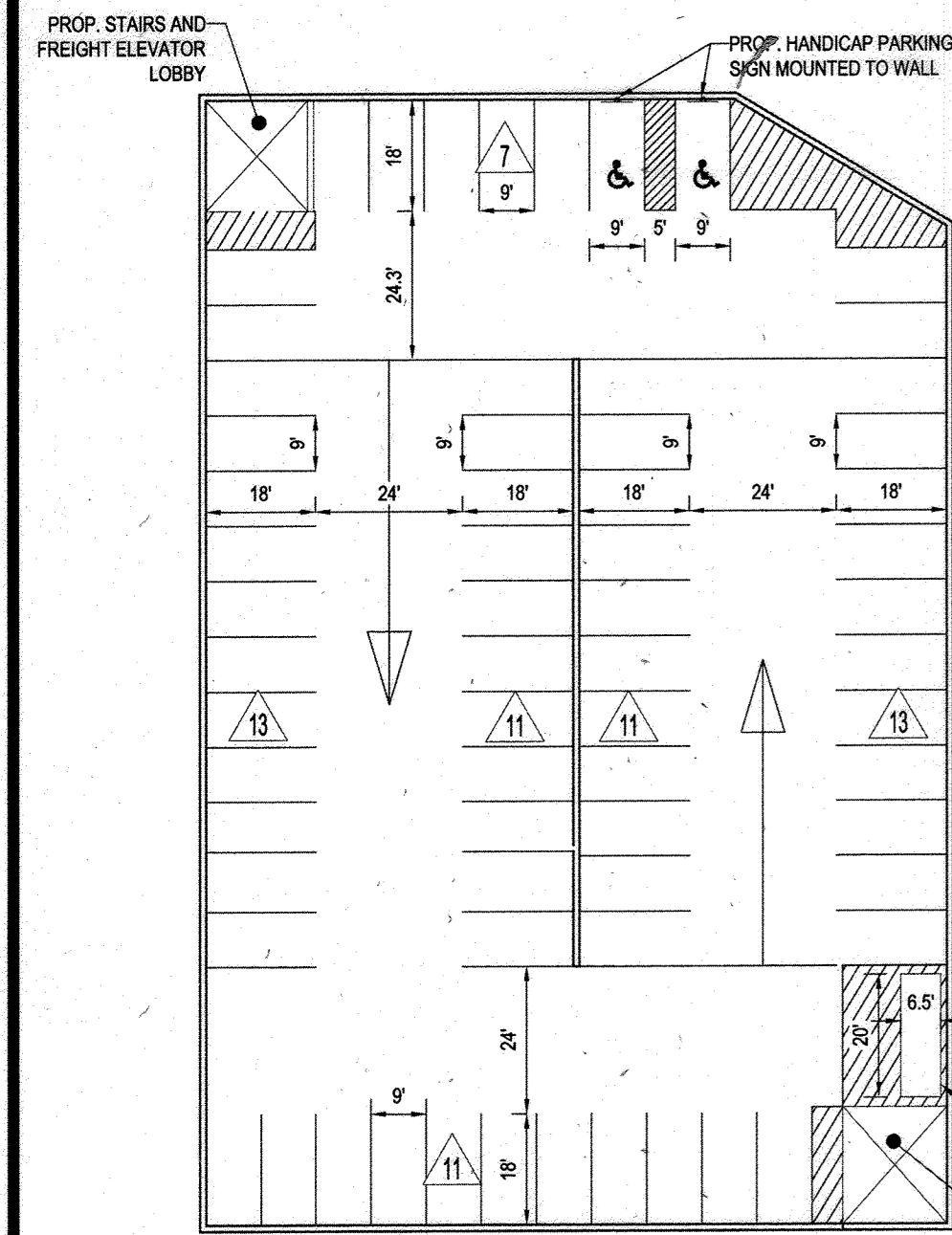
RESIDENTIAL PARKING GARAGE LEVEL 1
63 PARKING SPACES



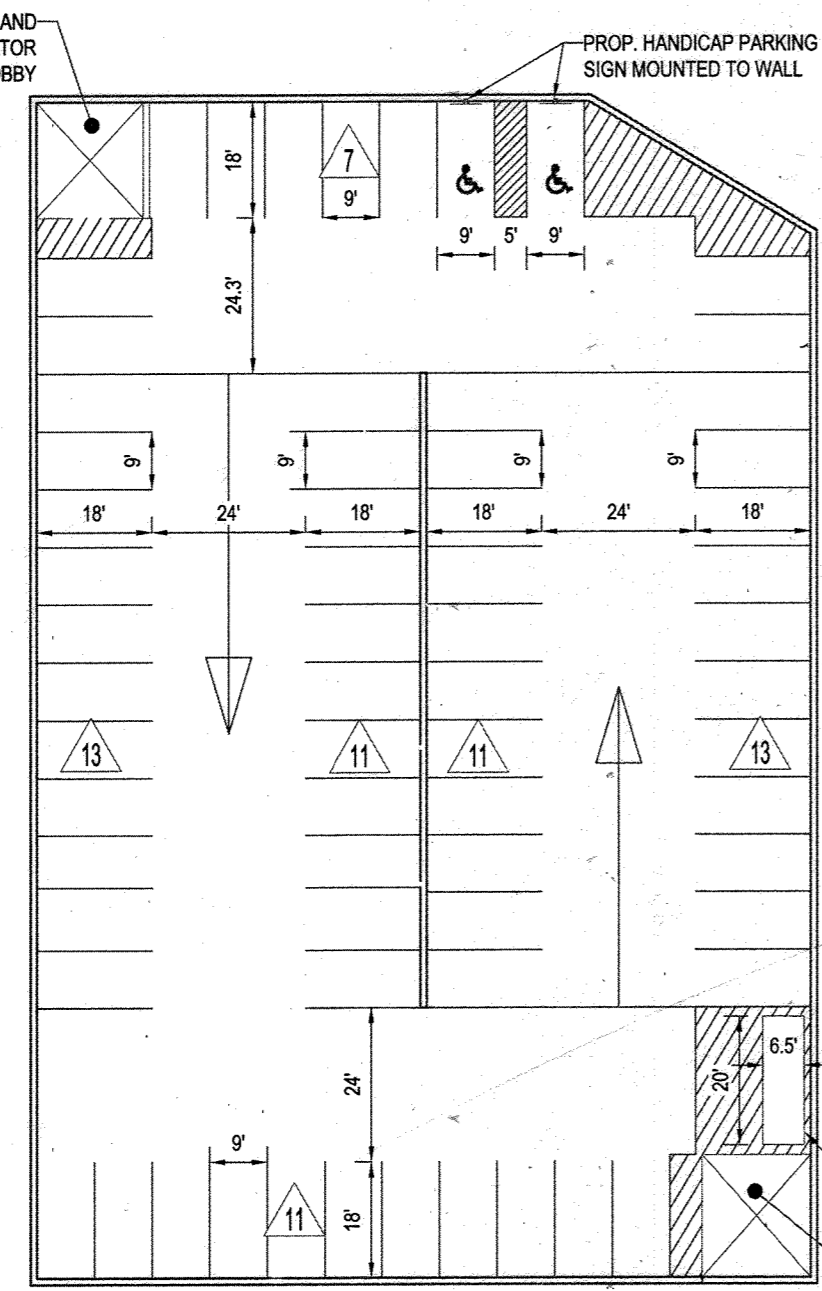
RESIDENTIAL PARKING GARAGE LEVEL 2
66 PARKING SPACES



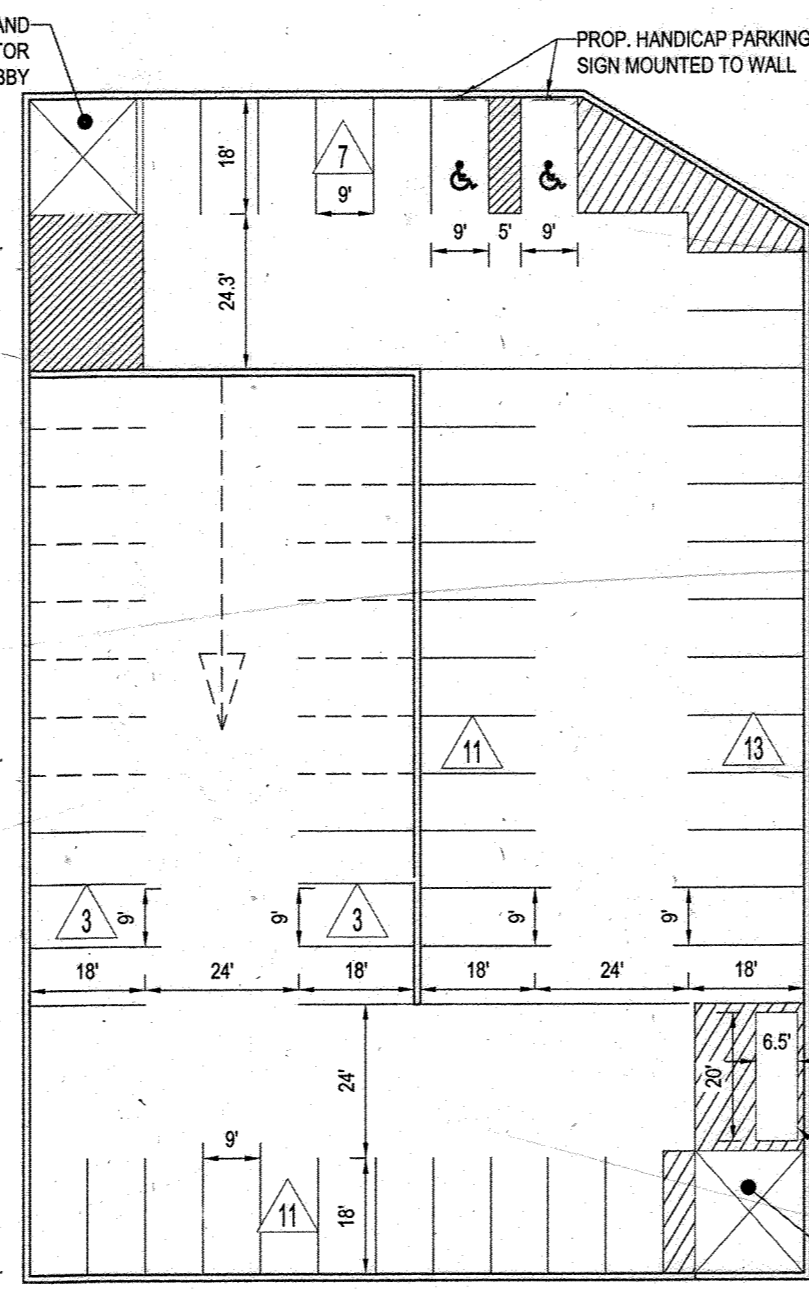
RESIDENTIAL PARKING GARAGE LEVEL 3
66 PARKING SPACES



RESIDENTIAL PARKING GARAGE LEVEL 4
66 PARKING SPACES



RESIDENTIAL PARKING GARAGE LEVEL 5
66 PARKING SPACES



RESIDENTIAL PARKING GARAGE LEVEL 6
48 PARKING SPACES

TABLE 8
Wild Lake Village Center
Shared Parking Analysis - Down Town Columbia Methodology
Weekday Shared Parking Demand - December

Category	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM	
CVS STORE	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Restaurant - Standard	0	2	4	9	11	11	11	11	10	10	10	10	10	10	10	10	10	10	
Restaurant - Fast Food	0	2	4	7	11	20	30	35	35	35	35	35	35	35	35	35	35	35	
Office	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Medical Office	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Residential	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Health Club	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	0	2	4	9	11	20	30	35	35	35	35	35	35	35	35	35	35	35	
Minimum Parking Required	66																		

TABLE 9
Wild Lake Village Center
Shared Parking Analysis - With Dedicated CVS Parking
Weekend Shared Parking Demand - December

Category	7 AM	8 AM	9 AM	10 AM	11 AM	12 PM	1 PM	2 PM	3 PM	4 PM	5 PM	6 PM	7 PM	8 PM	9 PM	10 PM	11 PM	12 AM	
CVS STORE	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Restaurant - Standard	0	2	4	9	11	11	11	11	10	10	10	10	10	10	10	10	10	10	
Restaurant - Fast Food	0	2	4	7	11	20	30	35	35	35	35	35	35	35	35	35	35	35	
Office	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Medical Office	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Residential	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Health Club	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	
Total	0	2	4	9	11	20	30	35	35	35	35	35	35	35	35	35	35	35	
Minimum Parking Required	66																		

TABLE 9
Wild Lake Village Center
Shared Parking Analysis - With Dedicated CVS Parking
Development Program (1)

CVS Pharmacy	13,570	S.F.
Retail	31,964	S.F.
Restaurant - Standard	12,000	S.F.
Restaurant - Fast Food	8,200	S.F.
Residential	230	D.U.
Office	15,949	S.F.
Medical Office	3,420	S.F.
Health Club	67	spaces

Parking Summary Month

Month	Weekday	Weekend
January	621	583
February	619	581
March	632	592
April	620	579
May	626	584
June	627	584
July	622	582
August	633	592
September	625	585
October	635	595
November	646	603
December	700	649
Late December	660	620
Maximum Parking Required	700	649
Non-Shared Requirement	776	776
Difference (savings)	76	127
Percent Savings	10%	16%

Parking Summary By User

Hour of Day	December 1 PM	December 6 PM
CVS Pharmacy	68	68
Retail Customer	160	128
Retail Employee	31	27
Restaurant (standard) Customer	39	46
Restaurant (standard) Employee	9	10
Restaurant (fast-food) Customer	35	30
Restaurant (fast-food) Employee	7	7
Office Visitor	-	-
Office Employee	44	3
Medical office Visitor	10	-
Medical Office Employee	-	-
Residential - Shared Spaces	17	21
Residential - Dedicated	230	230
Residential - Visitors	7	21
Health Club - Visitor	43	58
Total	700	649

Parking Provided - Surface: 329 spaces
 Parking Provided - Structured: 273 spaces
 Total Parking Provided: 702 spaces
 Difference (req. vs. prov): 2 spaces
 Percent Difference: 1%

Notes: (1) Information provided by Kimco Realty.

NOTE

- A SHARED USE AND COMPARATIVE PARKING ANALYSIS WAS SUBMITTED WITH THE SITE DEVELOPMENT PLAN BY WELLS AND ASSOCIATES ON MARCH 28, 2013.
- TOTAL STRUCTURED PARKING: 375 SPACES
- MINIMUM NUMBER OF SPACES RESERVED FOR RESIDENTIAL USE ONLY: 312 SPACES
- TOTAL ON-SITE PARKING PROVIDED: 704 SPACES
- PARKING WITHIN THE GARAGE WILL BE SHARED. LEVEL ONE (1) WILL BE SHARED BETWEEN THE RESIDENTIAL AND COMMERCIAL USES. LEVELS TWO (2) THROUGH SIX (6) WILL BE RESERVED FOR THE RESIDENTIAL USES.
- ADDITIONAL PARKING PROVIDED FOR THE COLUMBIA ASSOCIATION FACILITIES WILL BE PART OF THE SHARED USE PARKING THAT CAN BE USED BY ALL VISITORS OF THE VILLAGE CENTER.
- THE 58 PARKING SPACES ON PARCEL A IS RESERVED FOR THE TENANT PER A SEPARATE PARKING AGREEMENT RECORDED ON JULY 10, 2014 AS L-16-R-15685, FOLIO 412.

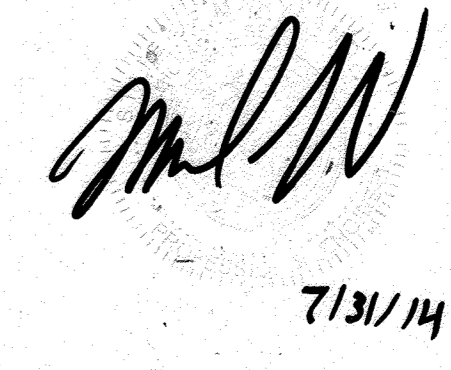
FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



FOR REVISION 5 ONLY:



FOR REVISION 2 ONLY



OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1964 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 (410) 884-2000

TAX MAP: 29 GRID: 24
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1099m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESSLE, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44027, EXPIRATION DATE: 09/20/21

BOHLER ENGINEERING

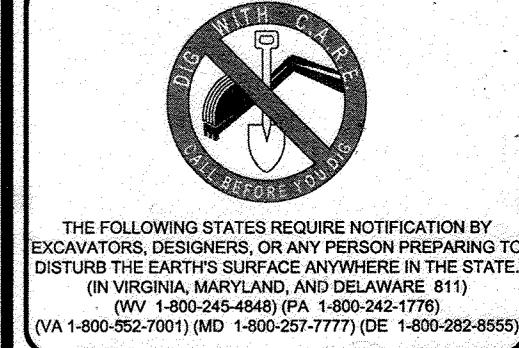
CORPORATE OFFICE:
 WARRREN, NJ

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOSTON, MA
 CHICAGO, IL
 COLUMBIA, MD
 FORT LAUDERDALE, FL
 HANOVER, NH
 PHILADELPHIA, PA
 TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
2	7/31/14	Revised Parking Tabulation	Bobby
5	02/11/16	REVISED BLDG 2, 3, 4 USES AND PARKING CALC'S	MSJ
9	2/10/21	As-Built	MSJ



APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
 DRAWN BY: RWS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: SD2

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7900
 www.BohlerEngineering.com



PARKING DECK LAYOUTS AND SHARED USE PARKING CALCULATIONS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 9/10/13

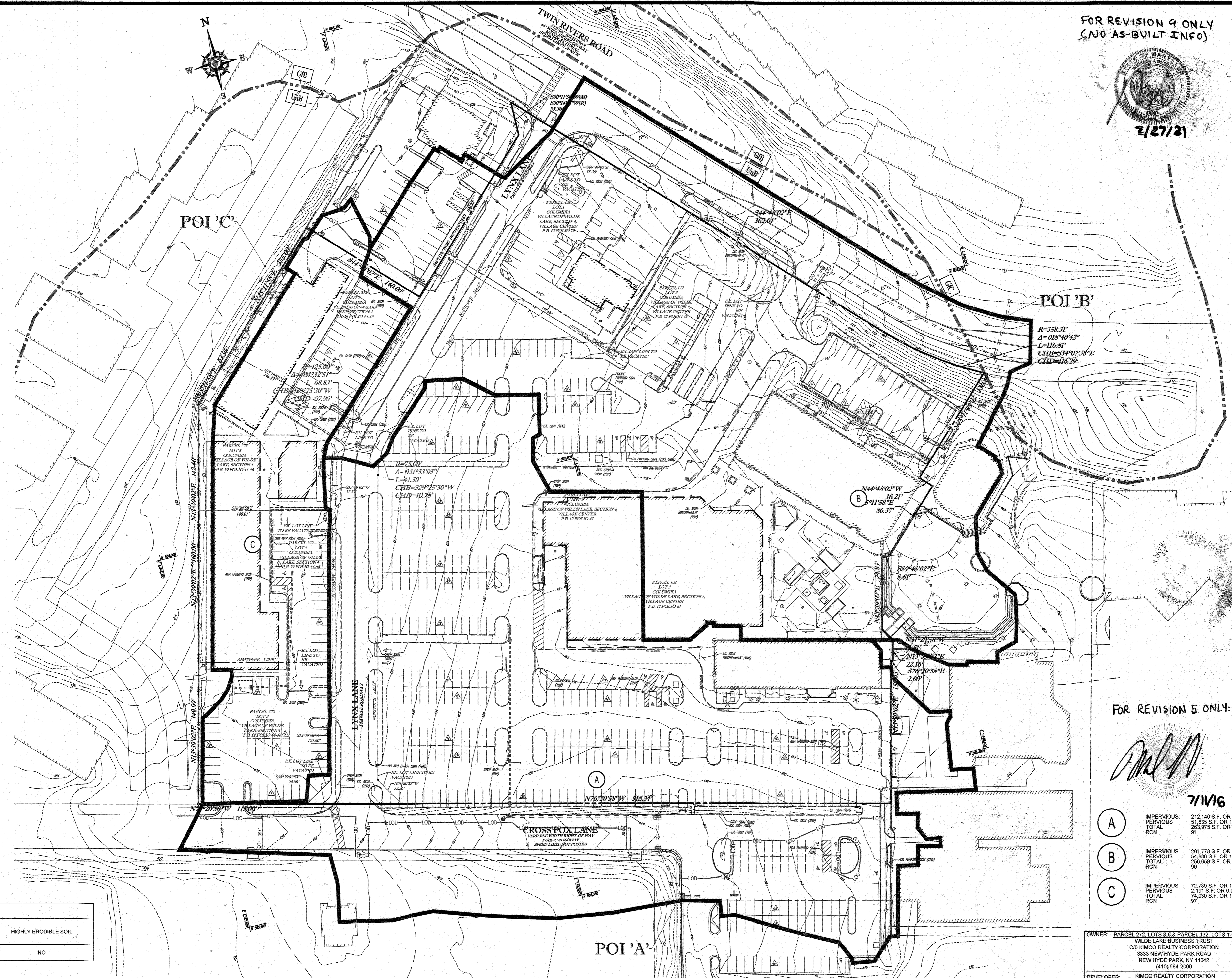
CHIEF OF PLANNING: *[Signature]* DATE: 9/10/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CODES AND REGULATIONS.

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
• BOWEN, MD
• COLUMBIA, VA
• FORT LAUDERDALE, FL
• GAITHERSBURG, MD
• GREENSBORO, NC
• HAGERSTOWN, MD
• HANOVER, VA
• HUNTSVILLE, AL
• LEXINGTON, KY
• NORTON, VA
• PHILADELPHIA, PA
• RICHMOND, VA
• ROCKVILLE, MD
• WASHINGTON, DC

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS			
REV	DATE	COMMENT	BY
5	04/16	REVISED LOTS 3, 4, 7, 10, 13 AND PARKING GRZEZ	MJC
9	2/27/12	As-Built	MJC

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EDUCATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE (IN VIRGINIA, MARYLAND, AND DELAWARE: 411) (IN WV: 1-800-245-4548) (PA: 1-800-242-1776) (VA: 1-800-552-7071) (MD: 1-800-251-7777) (DE: 1-800-282-8555)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD09002
DRAWN BY: RMS
CHECKED BY: MUS
DATE: 07/28/13
SCALE: 1"=50'
CAD ID: DA2

SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 901
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GEZELL
PROFESSIONAL ENGINEER
7/29/13

FOR REVISION 5 ONLY:



- 7/1/16**
- (A) IMPERVIOUS: 212,140 S.F. OR 4.87 AC
PERVIOUS: 51,833 S.F. OR 1.19 AC
TOTAL RCN: 263,973 S.F. OR 6.06 AC
 - (B) IMPERVIOUS: 201,773 S.F. OR 4.63 AC
PERVIOUS: 54,889 S.F. OR 1.25 AC
TOTAL RCN: 256,662 S.F. OR 5.89 AC
 - (C) IMPERVIOUS: 72,738 S.F. OR 1.67 AC
PERVIOUS: 21,915 S.F. OR 0.50 AC
TOTAL RCN: 94,653 S.F. OR 2.17 AC

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
UoB	URBAN LAND - UDORTHERTS COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
CHIEF DIVISION OF LAND DEVELOPMENT
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

NOTE: TIME OF CONCENTRATION OF 5 MINUTES HAS BEEN UTILIZED SINCE THE SITE IS DEVELOPED.

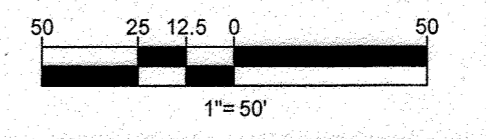
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 684-2000
CONTACT: GREG REED

TAX MAP: 29 PARCELS: 272, PARCELS A-C ZONED: NT
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
2B REF: 1099m SITE AREA: 10.21 AC
DZ2 REF: SDP-13-046

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION AREA: SECTION 4
FLAT # 3333 NEW HYDE PARK ROAD
WATER CODE: E32
SEWER CODE: 5002500

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GEZELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21



SHEET TITLE:
PRE - DEVELOPMENT DRAINAGE AREA MAP

SHEET NUMBER:
28
OF 91

SDP-13-046

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
ROSELAND, NJ
TOWSON, MD
FORT LAUDERDALE, FL
ALBANY, NY
CHAMONT, PA
CENTER VALLEY, PA
DALLAS, TX
FORT WORTH, TX
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV#	DATE	COMMENT	BY
1	04/10/14	REVISED UTILITY LAYOUT	RDH
2	5/16/14	REVISED STORM DRAIN LAYOUT	TAG
3	6/24/15	REVISED CURB RADIUS	WCB
4	8/19/15	SHOW POOL IN COLLECT LINES	PRB
5	02/1/16	REVISED BLDGS 3, 3A, 3B USES AND PARKING LINES	DSH
8	1/16/17	ADD PROPOSED TRASH ENCLOSURE	DHL
9	2/10/21	As-Built	msj

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE 8119 (VA 1-800-468-7011) (MD 1-800-257-7777) (DE 1-800-382-8555)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
DRAWN BY: PMS
CHECKED BY: MJG
DATE: 07/28/13
SCALE: 1"=50'
CAD I.D.: D42

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
LICENSE NO. 112913

SHEET TITLE:
POST-DEVELOPMENT DRAINAGE AREA MAP

SHEET NUMBER:
29
OF 91

SDP-13-046

FOR REVISION 8 ONLY

MJG
14/17

FOR REVISION 4 ONLY

MJG
PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 44027
9/17/15

FOR REVISION 3 ONLY

MJG
7/28/15

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
UuB	URBAN LAND - UDORTHERTS COMPLEX, 8 TO 16 PERCENT SLOPES	B	NO

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Michael J. Gesell
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 9/1/15

APPROVED: PLANNING BOARD OF HOWARD COUNTY
Walter D. Lush
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 9/1/15

APPROVED: DIRECTOR
Mark A. Lytle
DATE: 9/1/15

POI 'C'

POI 'B'

POI 'A'

NOTE: TIME OF CONCENTRATION OF 5 MINUTES HAS BEEN UTILIZED SINCE THE SITE IS DEVELOPED.

FOR REVISION 1 ONLY

FOR REVISION 5 ONLY:

FOR REVISION 2 ONLY

FOR REVISION 1 ONLY

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

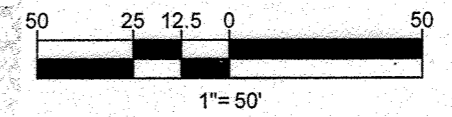
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 884-2000
CONTACT: GREG REED

TAX MAP: 29
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1099M SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION AREA: SECTION 4
PLAT # 220000444 2510-121/1
WATER CODE: E32
SEWER CODE: 5022500

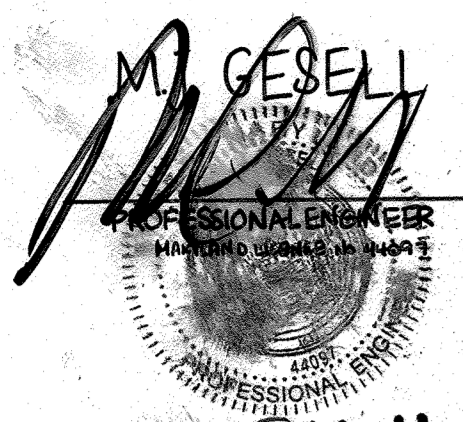
GRID: 24
ZONED: NT

Area	Impervious Pervious	Total RCN
A	293,706 SF OR 6.74 AC	41,233 SF OR 1.70 AC
B	164,343 SF OR 3.77 AC	51,754 SF OR 2.19 AC
C	4,899 SF OR 0.11 AC	6,899 SF OR 0.16 AC



GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.

FOR REVISION 4 ONLY



9/17/15

FOR REVISION 5 ONLY:

FOR REVISION 8 ONLY

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



DRAINAGE AREAS

A-2	IMPERVIOUS PERVIOUS TOTAL	21,567 S.F. OR 0.50 AC 4,448 S.F. OR 0.10 AC 17,119 S.F. OR 0.39 AC
A-3	IMPERVIOUS PERVIOUS TOTAL	9,386 S.F. OR 0.22 AC 1,343 S.F. OR 0.03 AC 10,729 S.F. OR 0.25 AC
A-8	IMPERVIOUS PERVIOUS TOTAL	11,532 S.F. OR 0.26 AC 1,198 S.F. OR 0.03 AC 12,730 S.F. OR 0.29 AC
A-7	IMPERVIOUS PERVIOUS TOTAL	10,475 S.F. OR 0.24 AC 2,370 S.F. OR 0.05 AC 12,845 S.F. OR 0.29 AC
A-8	IMPERVIOUS PERVIOUS TOTAL	10,989 S.F. OR 0.25 AC 868 S.F. OR 0.02 AC 11,857 S.F. OR 0.27 AC
A-9	IMPERVIOUS PERVIOUS TOTAL	2,566 S.F. OR 0.06 AC 821 S.F. OR 0.02 AC 3,387 S.F. OR 0.08 AC
A-10	IMPERVIOUS PERVIOUS TOTAL	3,123 S.F. OR 0.07 AC 822 S.F. OR 0.02 AC 3,945 S.F. OR 0.09 AC
A-11	IMPERVIOUS PERVIOUS TOTAL	10,524 S.F. OR 0.24 AC 1,560 S.F. OR 0.04 AC 12,084 S.F. OR 0.28 AC
A-12	IMPERVIOUS PERVIOUS TOTAL	0 S.F. OR 0.00 AC 2,321 S.F. OR 0.05 AC 2,321 S.F. OR 0.05 AC
A-13	IMPERVIOUS PERVIOUS TOTAL	8,793 S.F. OR 0.20 AC 2,072 S.F. OR 0.05 AC 10,865 S.F. OR 0.25 AC
A-14	IMPERVIOUS PERVIOUS TOTAL	647 S.F. OR 0.02 AC 1,070 S.F. OR 0.02 AC 1,717 S.F. OR 0.04 AC
A-15	IMPERVIOUS PERVIOUS TOTAL	2,449 S.F. OR 0.06 AC 2,449 S.F. OR 0.06 AC 4,898 S.F. OR 0.11 AC
A-16	IMPERVIOUS PERVIOUS TOTAL	3,878 S.F. OR 0.09 AC 985 S.F. OR 0.02 AC 4,863 S.F. OR 0.11 AC
A-17	IMPERVIOUS PERVIOUS TOTAL	4,794 S.F. OR 0.11 AC 2,321 S.F. OR 0.05 AC 7,115 S.F. OR 0.16 AC
D-1	IMPERVIOUS PERVIOUS TOTAL	0 S.F. OR 0.00 AC 1,189 S.F. OR 0.03 AC 1,189 S.F. OR 0.03 AC
D-3	IMPERVIOUS PERVIOUS TOTAL	2,585 S.F. OR 0.06 AC 1,045 S.F. OR 0.02 AC 3,630 S.F. OR 0.08 AC
D-5	IMPERVIOUS PERVIOUS TOTAL	5,649 S.F. OR 0.13 AC 545 S.F. OR 0.01 AC 6,194 S.F. OR 0.14 AC
D-6	IMPERVIOUS PERVIOUS TOTAL	16,339 S.F. OR 0.37 AC 1,695 S.F. OR 0.04 AC 17,945 S.F. OR 0.41 AC
D-7	IMPERVIOUS PERVIOUS TOTAL	1,120 S.F. OR 0.02 AC 2,882 S.F. OR 0.06 AC 3,202 S.F. OR 0.07 AC
D-8	IMPERVIOUS PERVIOUS TOTAL	10,259 S.F. OR 0.24 AC 602 S.F. OR 0.01 AC 10,862 S.F. OR 0.25 AC
D-9	IMPERVIOUS PERVIOUS TOTAL	3,209 S.F. OR 0.07 AC 207 S.F. OR 0.00 AC 3,416 S.F. OR 0.07 AC
D-10	IMPERVIOUS PERVIOUS TOTAL	1,176 S.F. OR 0.03 AC 1,930 S.F. OR 0.04 AC 3,106 S.F. OR 0.07 AC
D-11	IMPERVIOUS PERVIOUS TOTAL	3,530 S.F. OR 0.08 AC 144 S.F. OR 0.00 AC 3,674 S.F. OR 0.08 AC
D-12	IMPERVIOUS PERVIOUS TOTAL	3,517 S.F. OR 0.08 AC 220 S.F. OR 0.01 AC 3,737 S.F. OR 0.09 AC
D-13	IMPERVIOUS PERVIOUS TOTAL	6,835 S.F. OR 0.16 AC 1,722 S.F. OR 0.04 AC 8,557 S.F. OR 0.20 AC
D-14	IMPERVIOUS PERVIOUS TOTAL	4,612 S.F. OR 0.10 AC 819 S.F. OR 0.02 AC 5,428 S.F. OR 0.12 AC
D-15	IMPERVIOUS PERVIOUS TOTAL	23,707 S.F. OR 0.55 AC 1,317 S.F. OR 0.03 AC 26,904 S.F. OR 0.62 AC
D-17	IMPERVIOUS PERVIOUS TOTAL	2,787 S.F. OR 0.06 AC 198 S.F. OR 0.01 AC 2,985 S.F. OR 0.07 AC
E-1	IMPERVIOUS PERVIOUS TOTAL	32,021 S.F. OR 0.74 AC 2,365 S.F. OR 0.05 AC 34,386 S.F. OR 0.79 AC
E-5	IMPERVIOUS PERVIOUS TOTAL	7,431 S.F. OR 0.17 AC 1,435 S.F. OR 0.03 AC 8,866 S.F. OR 0.20 AC
E-6	IMPERVIOUS PERVIOUS TOTAL	3,515 S.F. OR 0.08 AC 145 S.F. OR 0.00 AC 3,660 S.F. OR 0.08 AC
E-7	IMPERVIOUS PERVIOUS TOTAL	16,639 S.F. OR 0.38 AC 375 S.F. OR 0.01 AC 17,024 S.F. OR 0.39 AC
E-8	IMPERVIOUS PERVIOUS TOTAL	4,189 S.F. OR 0.09 AC 375 S.F. OR 0.01 AC 4,564 S.F. OR 0.10 AC
E-9	IMPERVIOUS PERVIOUS TOTAL	4,108 S.F. OR 0.09 AC 429 S.F. OR 0.01 AC 4,537 S.F. OR 0.10 AC
D-2	IMPERVIOUS PERVIOUS TOTAL	2,936 S.F. OR 0.07 AC 2,936 S.F. OR 0.07 AC 5,872 S.F. OR 0.13 AC

BOHLER ENGINEERING

CONSULTING ENGINEERS
SURVEYORS

PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:
BOWIE, MD
TOWSON, MD
WARRINGTON, VA
CHILMARK, MA
PHILADELPHIA, PA
TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	01/14/14	REVISED UTILITY LAYOUT	RDH
2	5/16/14	REVISED STORM DRAIN LAYOUT, INCLUDING RESULT OF WATER HOLES CONNECTED	THG
3	4/21/15	REVISED CURB RADIUS	THG
4	8/19/15	SHOW POOL IN COURTYARD	THG
5	02/11/16	REVISED BUSES 2, 3, 10, 11, 12, 13, 14, 15 AND ADD PROPOSED TRASH ENCLOSURE	DML
9	2/10/21	AS-BUILT	THG



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD080020

DRAWN BY: RMS

CHECKED BY: MJG

DATE: 07/29/13

SCALE: 1"=50'

CAD ID: DA2

SITE DEVELOPMENT PLAN

FOR
KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GEZELL

PROFESSIONAL ENGINEER
NO. 12171
STATE OF MARYLAND

SHEET TITLE:
STORMDRAIN DRAINAGE AREA MAP

SHEET NUMBER:
30
OF 91

SDP-13-046

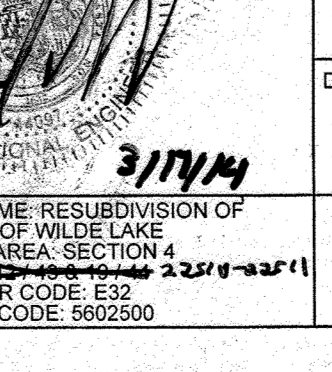
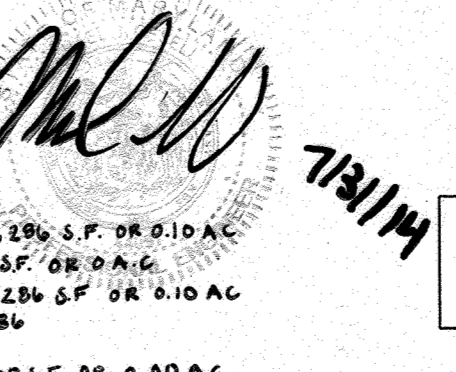
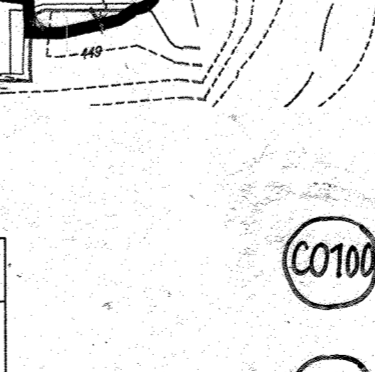
FOR REVISION 3 ONLY



7/28/15

FOR REVISION 2 ONLY:

FOR REVISION 1 ONLY



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Michael J. Gezell 9/15/15
CHIEF ENGINEERING DIVISION

APPROVED: PLANNING BOARD OF HOWARD COUNTY

Mark A. Long 9/15/15
DIRECTOR

DATE: April 15, 2013

SOILS TABLE

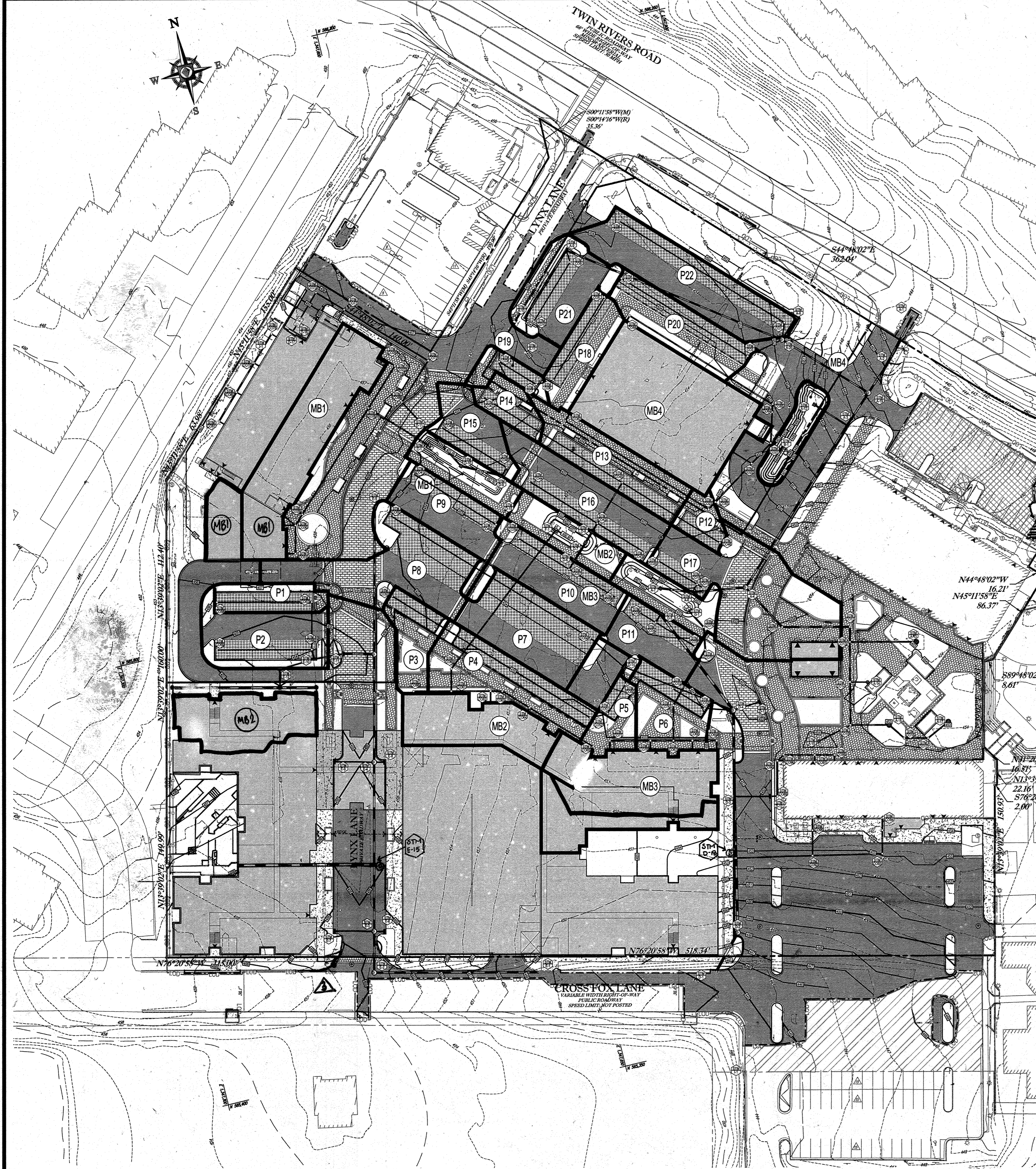
SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
U0B	URBAN LAND - UDOTMENTS COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 884-2000
CONTACT: GREG REED

FAX MAP: 29 ZONED: NT
PARCELS: 272, PARCELS A-C
SECTION: 4
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 10968 SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GEZELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44897, EXPIRATION DATE: 09/22/21



FOR REVISION 8 ONLY

12/18/17

FOR REVISION 9 ONLY (AS-BUILTS)

2/27/21

DRAINAGE AREAS TO ESD MEASURES

P18	IMPERVIOUS: 1,288 S.F. OR 0.03 AC PERVIOUS: 725 S.F. OR 0.02 AC TOTAL: 1,993 S.F. OR 0.08 AC	MB1	IMPERVIOUS: 1,291 S.F. OR 0.03 AC PERVIOUS: 725 S.F. OR 0.02 AC TOTAL: 1,993 S.F. OR 0.08 AC
P19	IMPERVIOUS: 580 S.F. OR 0.01 AC PERVIOUS: 1,498 S.F. OR 0.03 AC TOTAL: 1,978 S.F. OR 0.08 AC	MB2	IMPERVIOUS: 2,092 S.F. OR 0.05 AC PERVIOUS: 1,498 S.F. OR 0.03 AC TOTAL: 3,590 S.F. OR 0.13 AC
P20	IMPERVIOUS: 1,398 S.F. OR 0.03 AC PERVIOUS: 1,498 S.F. OR 0.03 AC TOTAL: 2,896 S.F. OR 0.11 AC	MB3	IMPERVIOUS: 2,092 S.F. OR 0.05 AC PERVIOUS: 1,498 S.F. OR 0.03 AC TOTAL: 3,590 S.F. OR 0.13 AC
P21	IMPERVIOUS: 2,428 S.F. OR 0.06 AC PERVIOUS: 1,078 S.F. OR 0.02 AC TOTAL: 3,506 S.F. OR 0.11 AC	MB4	IMPERVIOUS: 14,239 S.F. OR 0.33 AC PERVIOUS: 2,321 S.F. OR 0.05 AC TOTAL: 16,560 S.F. OR 0.38 AC
P22	IMPERVIOUS: 4,751 S.F. OR 0.11 AC PERVIOUS: 1,201 S.F. OR 0.03 AC TOTAL: 5,952 S.F. OR 0.19 AC	P1	IMPERVIOUS: 418 S.F. OR 0.01 AC PERVIOUS: 1,468 S.F. OR 0.03 AC TOTAL: 1,886 S.F. OR 0.05 AC
		P2	IMPERVIOUS: 3,017 S.F. OR 0.07 AC PERVIOUS: 1,503 S.F. OR 0.03 AC TOTAL: 4,520 S.F. OR 0.13 AC
		P3	IMPERVIOUS: 1,559 S.F. OR 0.04 AC PERVIOUS: 1,503 S.F. OR 0.03 AC TOTAL: 3,062 S.F. OR 0.07 AC
		P4	IMPERVIOUS: 3,251 S.F. OR 0.08 AC PERVIOUS: 1,044 S.F. OR 0.02 AC TOTAL: 4,295 S.F. OR 0.15 AC
		P5	IMPERVIOUS: 1,169 S.F. OR 0.03 AC PERVIOUS: 508 S.F. OR 0.01 AC TOTAL: 1,677 S.F. OR 0.05 AC
		P6	IMPERVIOUS: 2,348 S.F. OR 0.05 AC PERVIOUS: 1,716 S.F. OR 0.02 AC TOTAL: 4,064 S.F. OR 0.10 AC
		P7	IMPERVIOUS: 2,868 S.F. OR 0.06 AC PERVIOUS: 508 S.F. OR 0.01 AC TOTAL: 3,376 S.F. OR 0.09 AC
		P8	IMPERVIOUS: 5,219 S.F. OR 0.12 AC PERVIOUS: 1,716 S.F. OR 0.02 AC TOTAL: 6,935 S.F. OR 0.20 AC
		P9	IMPERVIOUS: 2,868 S.F. OR 0.06 AC PERVIOUS: 1,503 S.F. OR 0.03 AC TOTAL: 4,371 S.F. OR 0.11 AC
		P10	IMPERVIOUS: 3,460 S.F. OR 0.08 AC PERVIOUS: 488 S.F. OR 0.01 AC TOTAL: 3,948 S.F. OR 0.11 AC
		P11	IMPERVIOUS: 3,215 S.F. OR 0.05 AC PERVIOUS: 500 S.F. OR 0.01 AC TOTAL: 3,715 S.F. OR 0.09 AC
		P12	IMPERVIOUS: 897 S.F. OR 0.02 AC PERVIOUS: 166 S.F. OR 0.01 AC TOTAL: 1,063 S.F. OR 0.03 AC
		P13	IMPERVIOUS: 3,070 S.F. OR 0.07 AC PERVIOUS: 318 S.F. OR 0.01 AC TOTAL: 3,388 S.F. OR 0.09 AC
		P14	IMPERVIOUS: 905 S.F. OR 0.02 AC PERVIOUS: 77 S.F. OR 0.00 AC TOTAL: 982 S.F. OR 0.03 AC
		P15	IMPERVIOUS: 2,015 S.F. OR 0.05 AC PERVIOUS: 207 S.F. OR 0.00 AC TOTAL: 2,222 S.F. OR 0.06 AC
		P16	IMPERVIOUS: 4,268 S.F. OR 0.10 AC PERVIOUS: 1,125 S.F. OR 0.03 AC TOTAL: 5,393 S.F. OR 0.15 AC
		P17	IMPERVIOUS: 10,845 S.F. OR 0.24 AC PERVIOUS: 1,795 S.F. OR 0.04 AC TOTAL: 12,640 S.F. OR 0.30 AC

FOR REVISION 4 ONLY

M.J. GIBELL
9/17/15

FOR REVISION 3 ONLY

7/28/15

SUMMARY TABLE

DRAINAGE AREA	MDE TYPE	TOTAL DA		IMPERVIOUS AREA	Q _o	AT				ESDv			P _e PROVIDED	Rev		
		S.F.	% DA			REQUIRED	PROVIDED	2% DA	DEPTH	DEPTH	REQUIRED	PROVIDED		75% ESDv	REQUIRED	PROVIDED
P1	A-2	2,457	1.884	1,884	-	622	1,466	PASS	1.00	N/A	152	440	-	-	-	0
P2	A-2	5,725	4,520	4,520	-	1,492	5,503	PASS	1.00	N/A	363	451	-	-	-	0
P3	A-2	3,036	2,407	2,407	-	794	848	PASS	1.00	N/A	192	254	-	-	-	0
P4	A-2	6,714	5,670	5,670	-	1,871	2,369	PASS	1.00	N/A	453	711	-	-	-	0
P5	A-2	2,251	1,745	1,745	-	576	576	PASS	1.00	N/A	141	173	-	-	-	0
P6	A-2	4,242	3,526	3,526	-	1,164	1,178	PASS	1.00	N/A	283	353	-	-	-	0
P7	A-2	4,242	3,526	3,526	-	1,164	1,178	PASS	1.00	N/A	283	353	-	-	-	0
P8	A-2	8,789	8,065	8,065	-	2,661	2,846	PASS	1.00	N/A	645	854	-	-	-	0
P9	A-2	4,592	4,371	4,371	-	1,442	1,506	PASS	1.00	N/A	348	452	-	-	-	0
P10	A-2	5,765	5,269	5,269	-	1,739	1,809	PASS	1.00	N/A	418	543	-	-	-	0
P11	A-2	3,760	3,512	3,512	-	1,159	1,197	PASS	1.00	N/A	279	359	-	-	-	0
P12	A-2	1,715	1,549	1,549	-	811	888	PASS	1.00	N/A	123	208	-	-	-	0
P13	A-2	5,318	5,152	5,152	-	1,700	2,082	PASS	1.00	N/A	408	625	-	-	-	0
P14	A-2	1,965	1,886	1,886	-	623	894	PASS	1.00	N/A	149	295	-	-	-	0
P15	A-2	3,418	3,209	3,209	-	1,059	1,194	PASS	1.00	N/A	258	358	-	-	-	0
P16	A-2	6,490	6,378	6,378	-	2,105	2,112	PASS	1.00	N/A	503	634	-	-	-	0
P17	A-2	13,328	11,532	11,532	-	3,806	884	PASS	1.00	N/A	922	265	-	-	-	0
P18	A-2	3,512	2,787	2,787	-	920	1,499	PASS	1.00	N/A	222	450	-	-	-	0
P19	A-2	1,550	1,320	1,320	-	436	740	PASS	1.00	N/A	106	222	-	-	-	0
P20	A-2	5,027	3,668	3,668	-	1,210	2,270	PASS	1.00	N/A	297	681	-	-	-	0
P21	A-2	4,709	3,630	3,630	-	1,198	1,201	PASS	1.00	N/A	290	360	-	-	-	0
P22	A-2	7,936	7,936	7,936	-	2,619	3,185	PASS	1.00	N/A	628	956	-	-	-	0
MB1	M-6	12,625	10,895	10,895	0.81	253	448	PASS	2.00	12"	852	841	PASS	1.10"	-	0
MB2	M-6	9,852	7,570	7,570	0.76	193	317	PASS	2.00	12"	611	624	PASS	1.03"	-	0
MB3	M-6	13,580	11,204	11,204	0.79	272	454	PASS	2.00	12"	894	810	PASS	1.01"	-	0
MB4	M-6	16,580	14,239	14,239	0.82	331	680	PASS	2.00	12"	1,132	1,153	PASS	1.01"	-	0
TOTALS		158,957	137,253	137,253		31,918	35,212				10,950	13,622				0

* Rev REQUIREMENT IS NOT REQUIRED SINCE THE SITE IS CONSIDERED REDEVELOPMENT
 ** Q_o REQUIREMENT IS NOT REQUIRED SINCE THE SITE IS CONSIDERED REDEVELOPMENT
 *** Q_o REQUIREMENT IS NOT REQUIRED SINCE THE SITE IS CONSIDERED REDEVELOPMENT

FOR REVISION 5 ONLY:

7/1/16

FOR REVISION 1 ONLY

3/17/14

FOR REVISION 2 ONLY

7/1/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 02/13/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 09/11/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 9/1/13
 DIRECTOR

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
UuB	URBAN LAND - UDCORPMENTS COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GIBELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 06/20/21

BOHLER ENGINEERING

CONSULTING ENGINEERS SURVEYORS
 CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOWEN, MD
 TOWSON, MD
 WASHINGTON, VA
 CHANTON, VA
 PHILADELPHIA, PA
 SOUTHBRIDGE, MA
 ALBANY, NY
 CHICAGO, IL
 TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	01/01/14	REVISED UTILITY LAYOUT	EDH
2	5/16/14	REVISED SYSTEM DRAW LAYOUT + GLE FOR PRELIM + WATER HOUSE CONNECTION	TMA
3	6/11/15	REVISED CURB RADIUS	
4	8/19/15	SHOW POOL IN EXISTING LOT + REVISED CURB RADIUS	MB
5	02/11/16	REVISED CURB RADIUS, 3' DSH USES AND PARKING LOTS ADD PROPOSED TRASH ENCLOSURE	AMB
8	4/16/17	AS-BUILTS	MB
9	2/27/21	AS-BUILTS	MB

APPROVED FOR CONSTRUCTION

PROJECT NO.: M0609002
 DRAWN BY: RMS
 CHECKED BY: MUG
 DATE: 07/28/13
 SCALE: 1"=50'
 CAD I.D.: DAG

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD

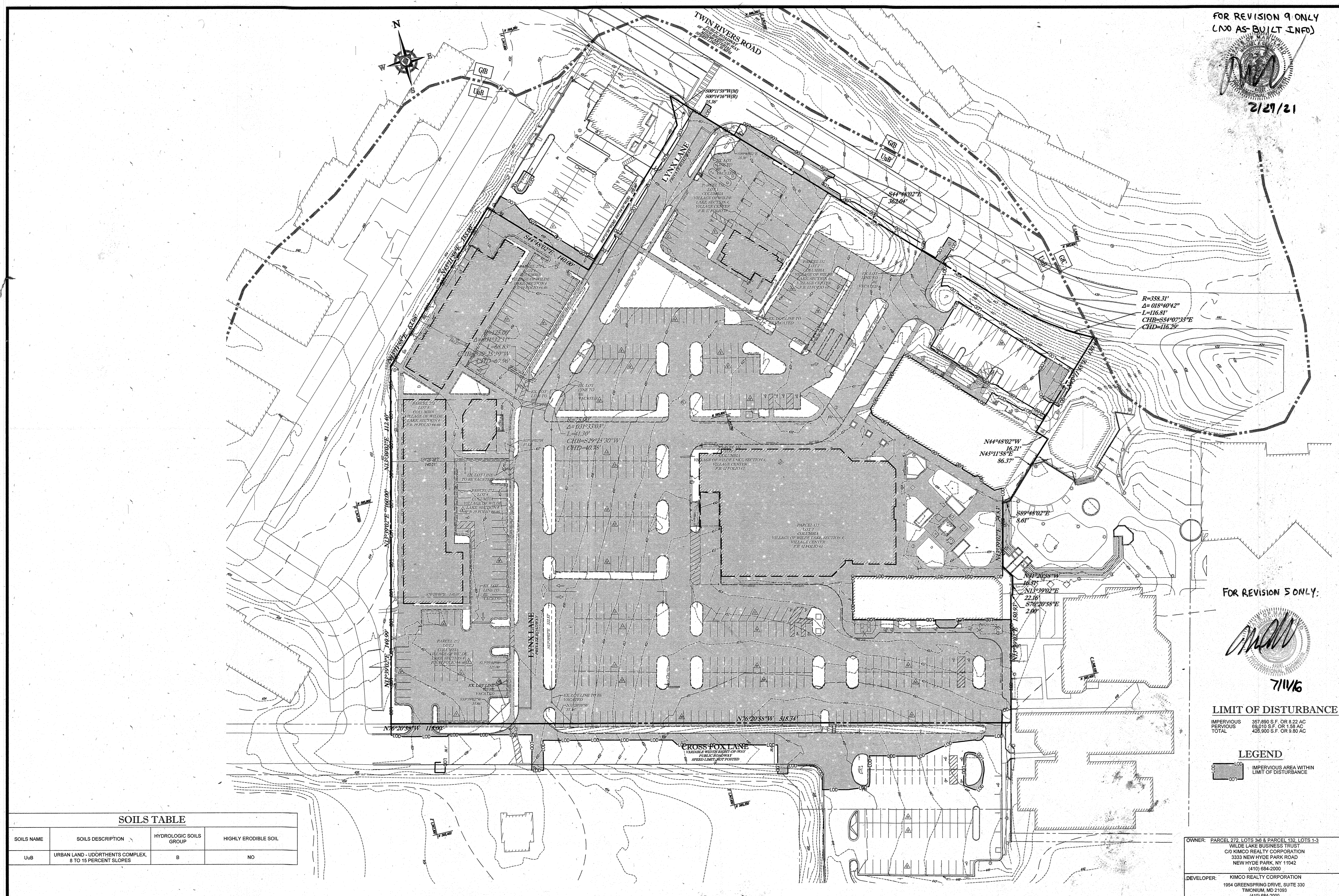
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 621-7900
 Fax: (410) 621-7987
 www.BohlerEngineering.com

SWM DRAINAGE AREAS TO ESD MEASURES

SHEET NUMBER: 31 OF 91
 SDP-13-046



FOR REVISION 9 ONLY
(NO AS-BUILT INFO)
2/27/21

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOSTON, MA
DALLAS, TX
DENVER, CO
FORT LAUDERDALE, FL
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3, 4	MSJ
9	2/16/21	AS-BUILT	MSJ

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE (IN VIRGINIA, MARYLAND, AND DELAWARE 811) (VA 1-800-552-7011 (MD 1-800-552-7777)) (DE 1-800-282-8555)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD088002
DRAWN BY: RAS
CHECKED BY: MSJ
DATE: 07/28/13
SCALE: 1"=50'
CAD 1.0: DAS

SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
7/21/13

PRE-DEVELOPMENT COVERAGE MAP

SHEET NUMBER:
32
OF 91

SDP-13-046

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
U6	URBAN LAND - UDORTHERTS COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: *[Date]*

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature]
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: **April 15, 2013**

APPROVED: DIRECTOR
[Signature]
DATE: *[Date]*

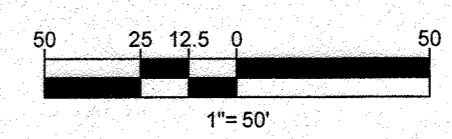
OWNER: PARCEL 272, LOTS 3&6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1984 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 884-2000
CONTACT: GREG REED

GRID: 24
PARCELS: 272 PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1090m SITE AREA: 10.21 AC
WATER CODE: E32 DPZ REF: SDP-13-046
SEWER CODE: 562250

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

7/21/13



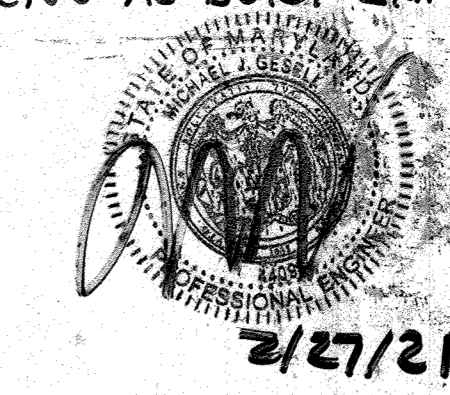
FOR REVISION 5 ONLY:

[Signature]
7/14/16

LIMIT OF DISTURBANCE
IMPERVIOUS 357,890 S.F. OR 8.22 AC
PERVIOUS 85,010 S.F. OR 1.98 AC
TOTAL 442,900 S.F. OR 10.20 AC

LEGEND
IMPERVIOUS AREA WITHIN LIMIT OF DISTURBANCE

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



FOR REVISION 8 ONLY

aml
12/18/17

FOR REVISION 5 ONLY:

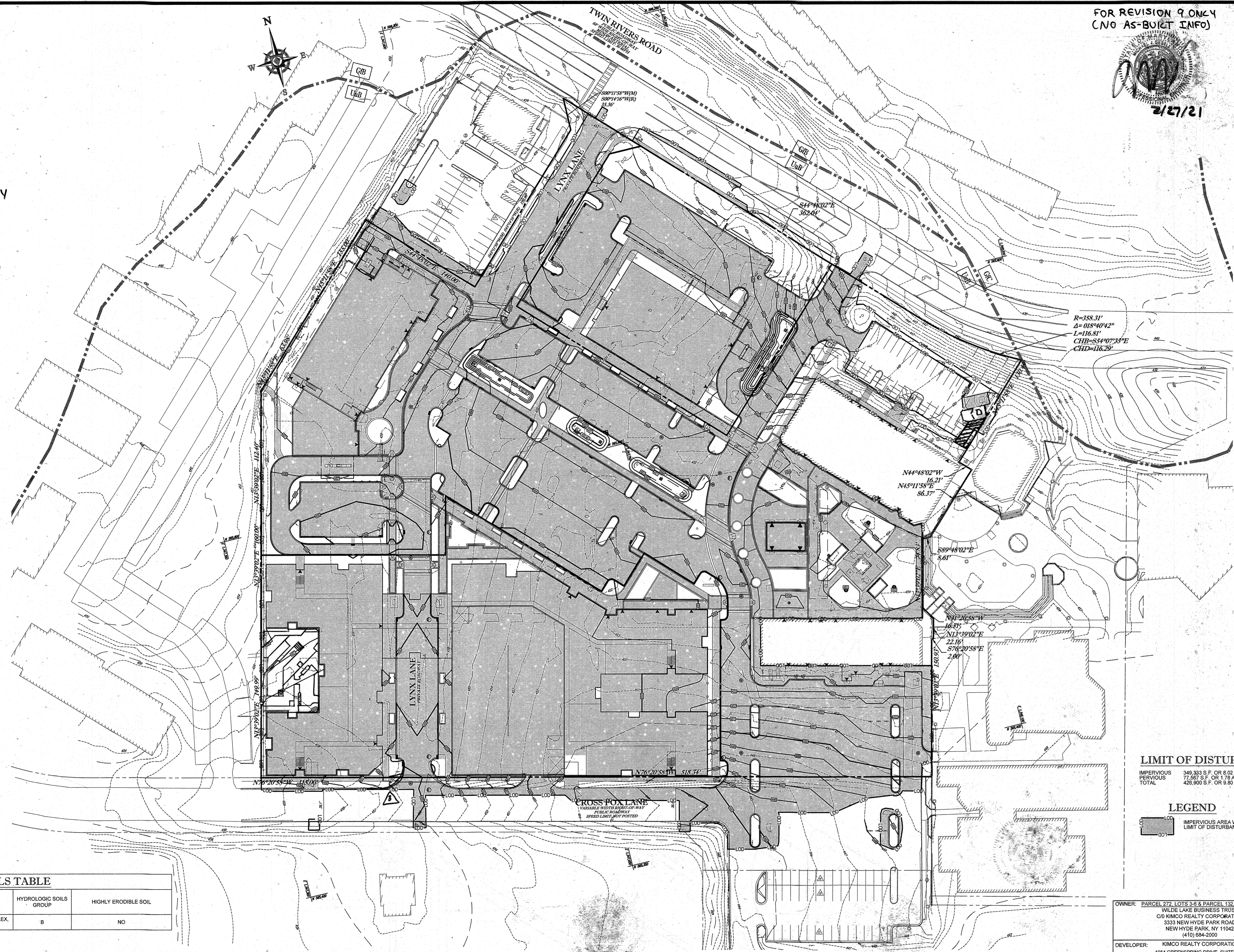
aml
7/11/16

4 FOR REVISION 4 ONLY

M. Gezell
9/17/15

3 FOR REVISION 3 ONLY

aml
7/28/15



R=358.31'
Δ=018°40'42"
L=116.81'
CHB=554°07'33"E
CHD=116.29'

N44°48'02"W
16.21'
N45°11'55"E
86.37'

S89°48'02"E
6.61'

N13°39'02"E
22.16'

S79°20'58"E
2.00'

N12°21'53"W
16.71'

N13°39'02"E
22.16'

S79°20'58"E
2.00'

SOILS TABLE			
SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
UuB	URBAN LAND - UDORTHERTS COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO

LIMIT OF DISTURBANCE

IMPERVIOUS 349,333 S.F. OR 8.02 AC
PERVIOUS 77,567 S.F. OR 1.78 AC
TOTAL 426,900 S.F. OR 9.80 AC

LEGEND

IMPERVIOUS AREA WITHIN LIMIT OF DISTURBANCE

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1964 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 684-2000
CONTACT: GREG REED

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4
PLAT 28 REF. 1096th SITE AREA: 10.21 AC
WATER CODE: E32
SEWER CODE: 6602500

TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
28 REF. 1096th SITE AREA: 10.21 AC
FINAL APPROVED: DPZ REF. SDP-13-046

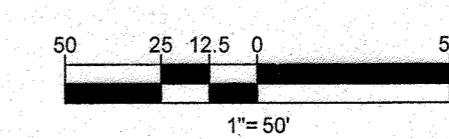
PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 44087, EXPIRATION DATE: 6/30/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Michael J. Gezell
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Kurtz
CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David de Longch
DIRECTOR DATE: 7/2/15



BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

SURVEYORS:
SOUTHBRIDGE, MA
ALBANY, NY
CHALFONT, PA
DALLAS, TX

PROJECT MANAGERS:
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME

ENVIRONMENTAL CONSULTANTS:
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME

LANDSCAPE ARCHITECTS:
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME
PORTLAND, ME

REVISIONS			
REV	DATE	COMMENT	BY
3	6/29/15	REVISED CURB RADIUS	WCB
4	8/11/15	SHOW POOL IN COURTYARD	PHB
5	8/11/16	REVISED BLDGS, UTILITY LINES AND PARKING DRIVE	MLH
8	1/10/17	ADD PROPOSED TRASH ENCLOSURE	OML
9	2/18/21	As-Built	MLH

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=50'
CAD LID.: DJZ

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

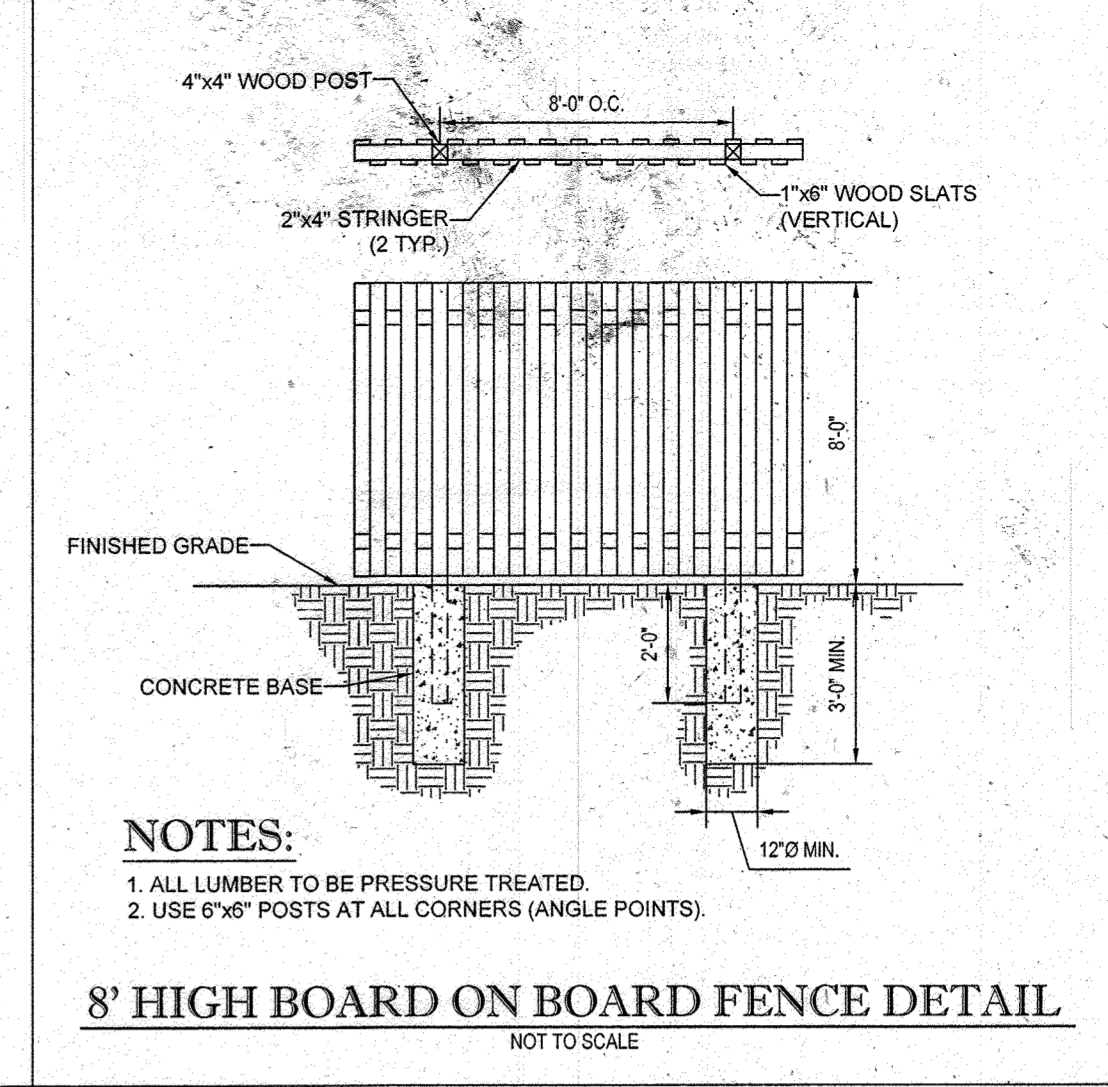
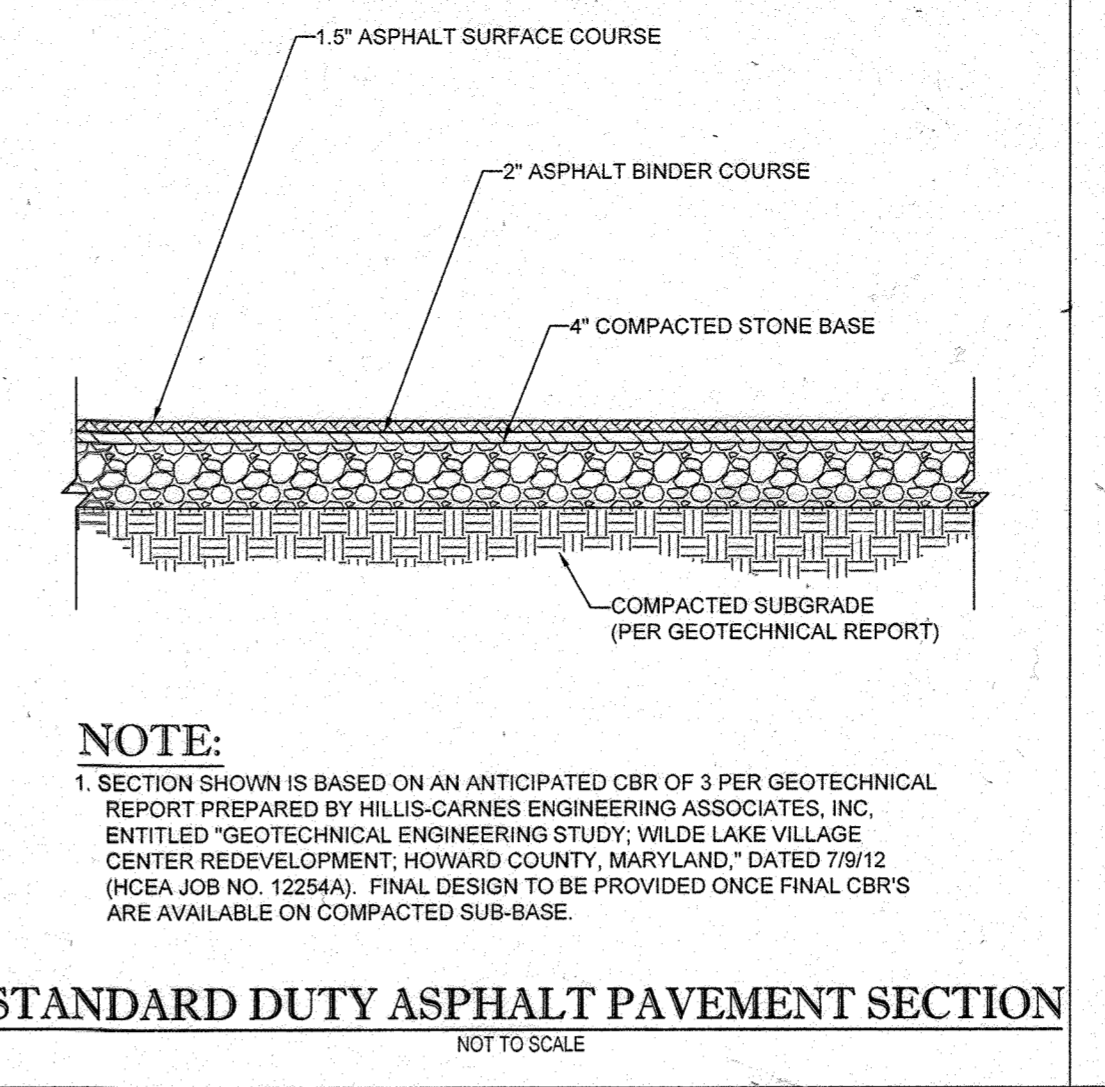
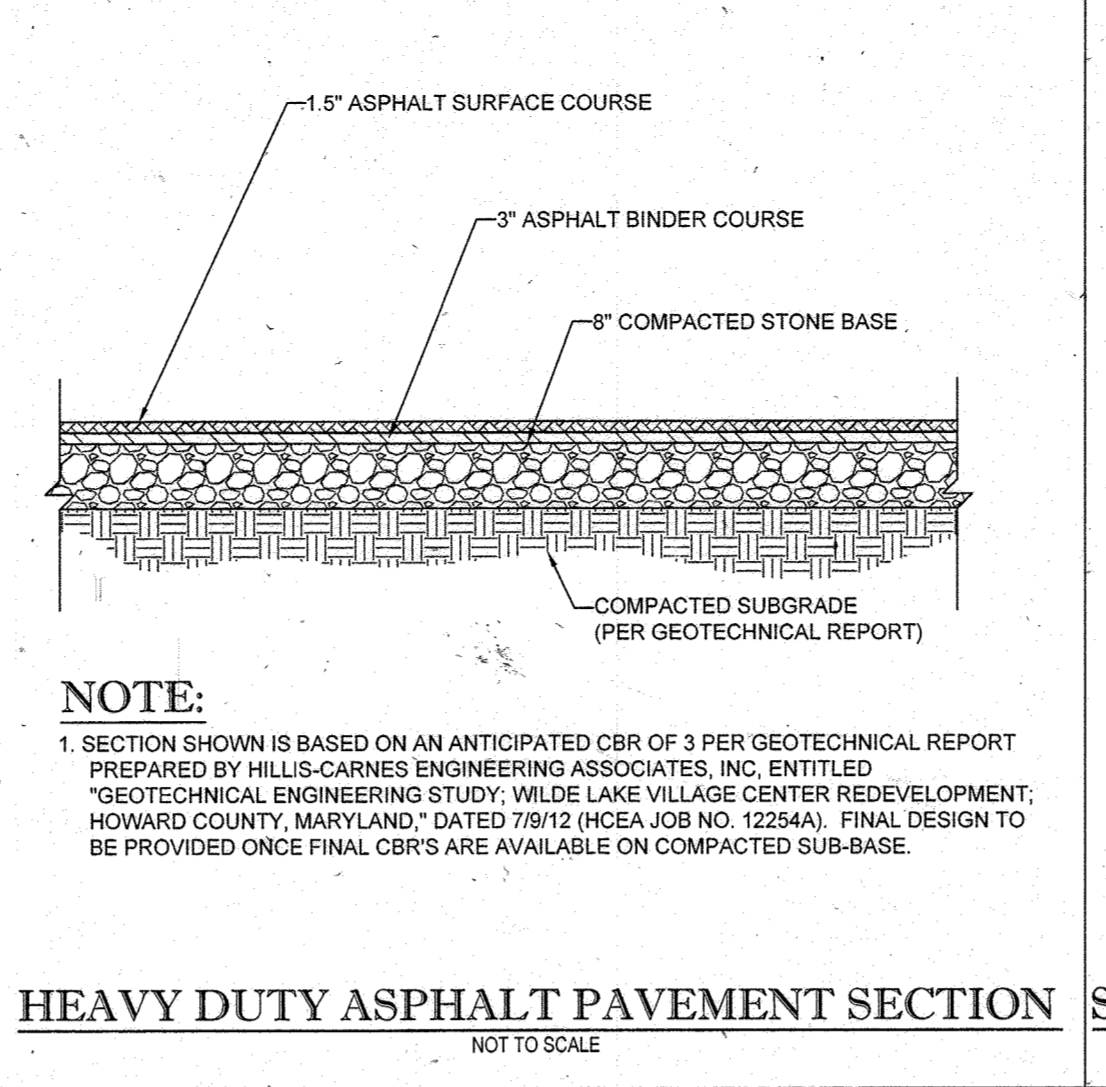
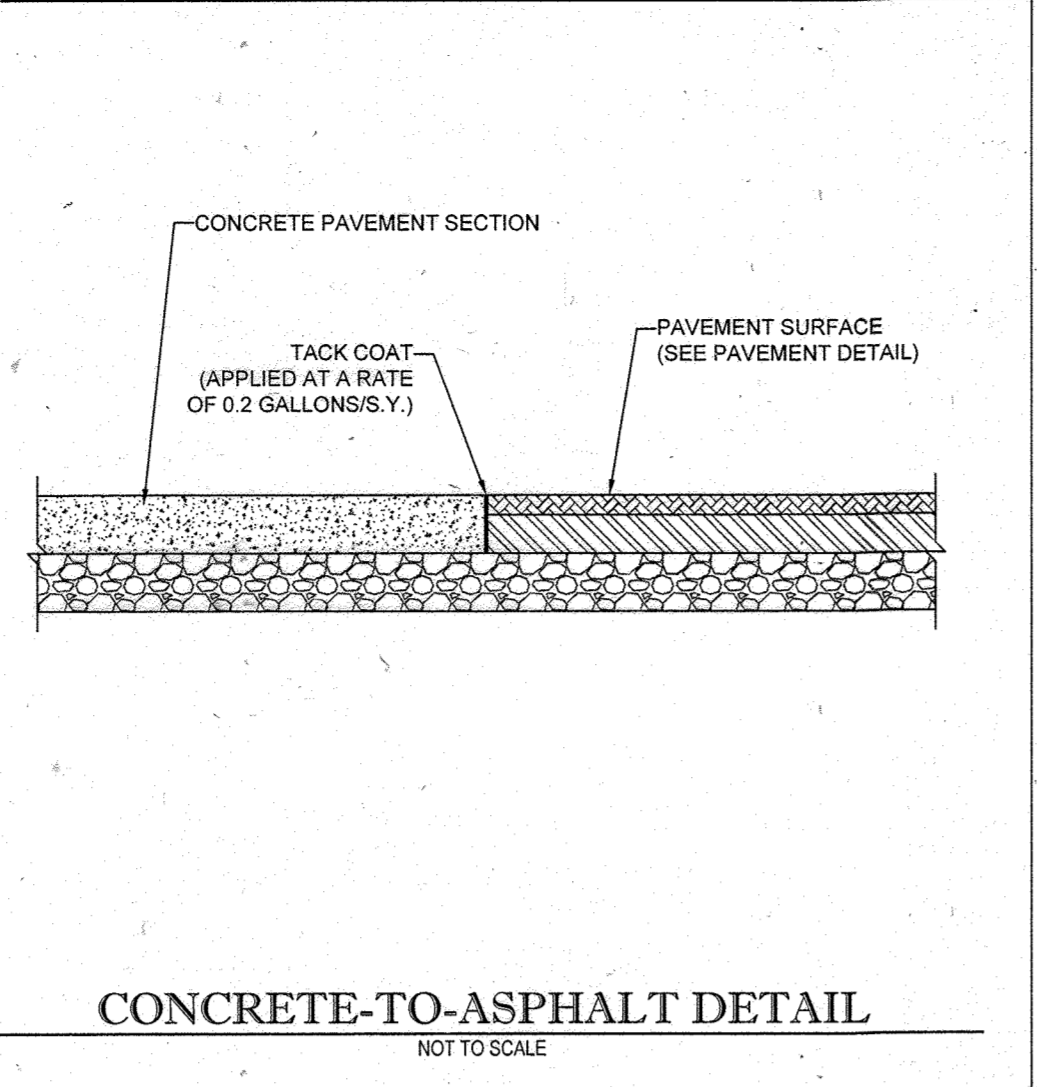
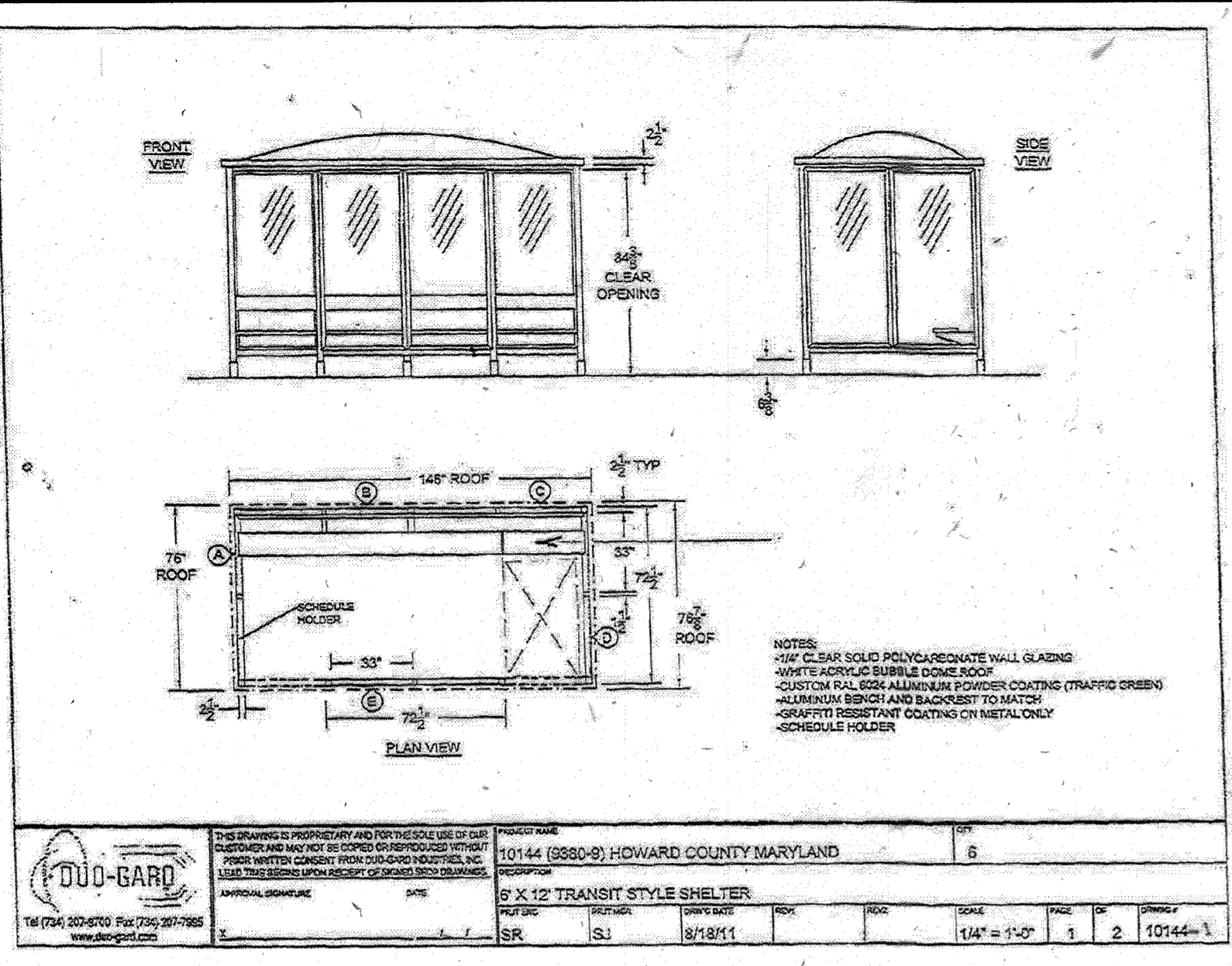
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GESELL
PROF. ENGINEER
7/21/13

SHEET TITLE: **POST-DEVELOPMENT COVERAGE MAP**

SHEET NUMBER: **33 OF 91**

SDP-13-046



TF4107

Size: 40" Dia. x 24" H
Weight: 700 Lbs.
Capacity: 6.2 cubic ft. / 23 cubic yds
Material: Reinforced concrete
Reinforcing: 1 1/2" Dia. steel rebar
Logo Options: Inkjet or cast

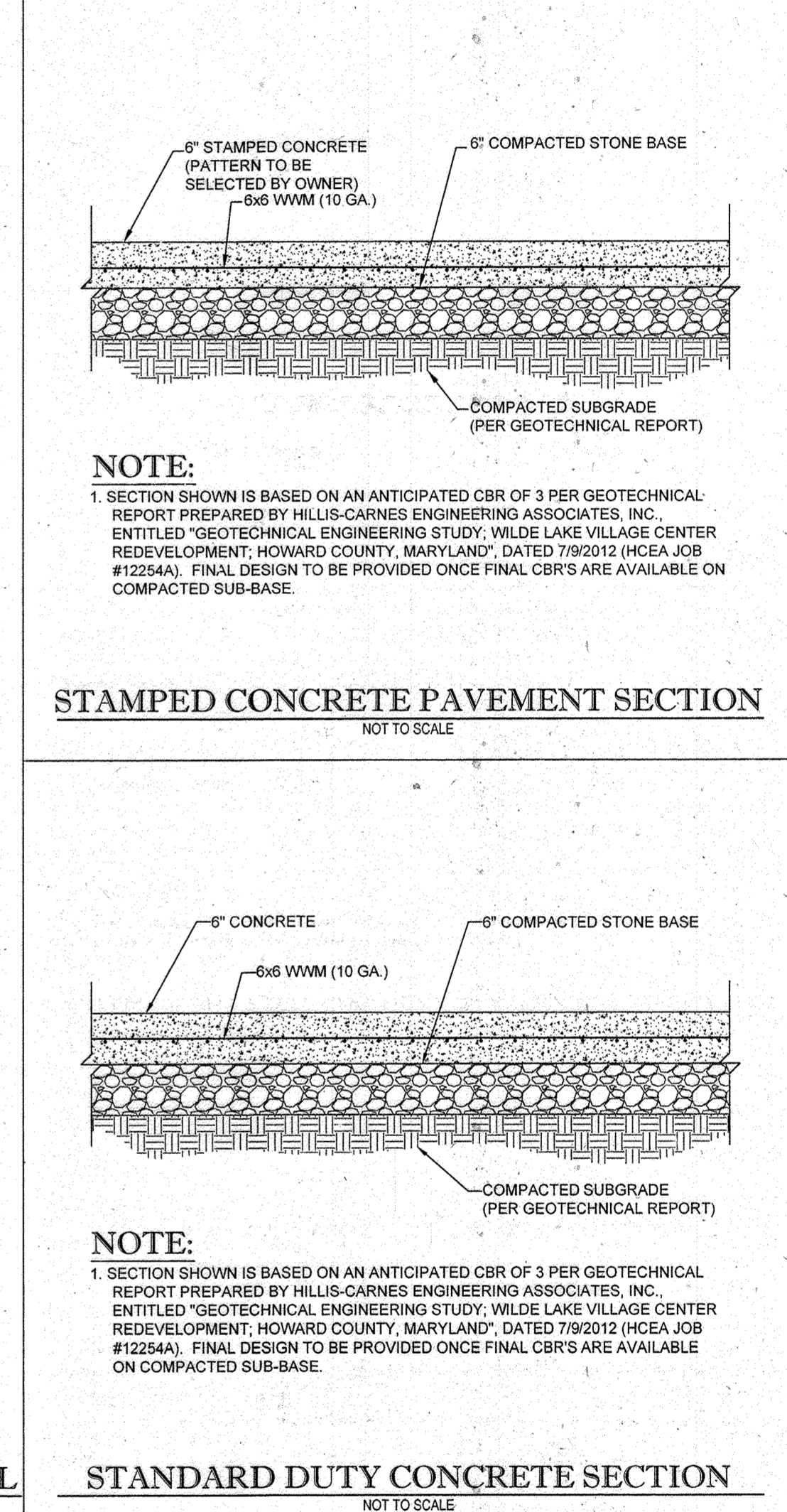
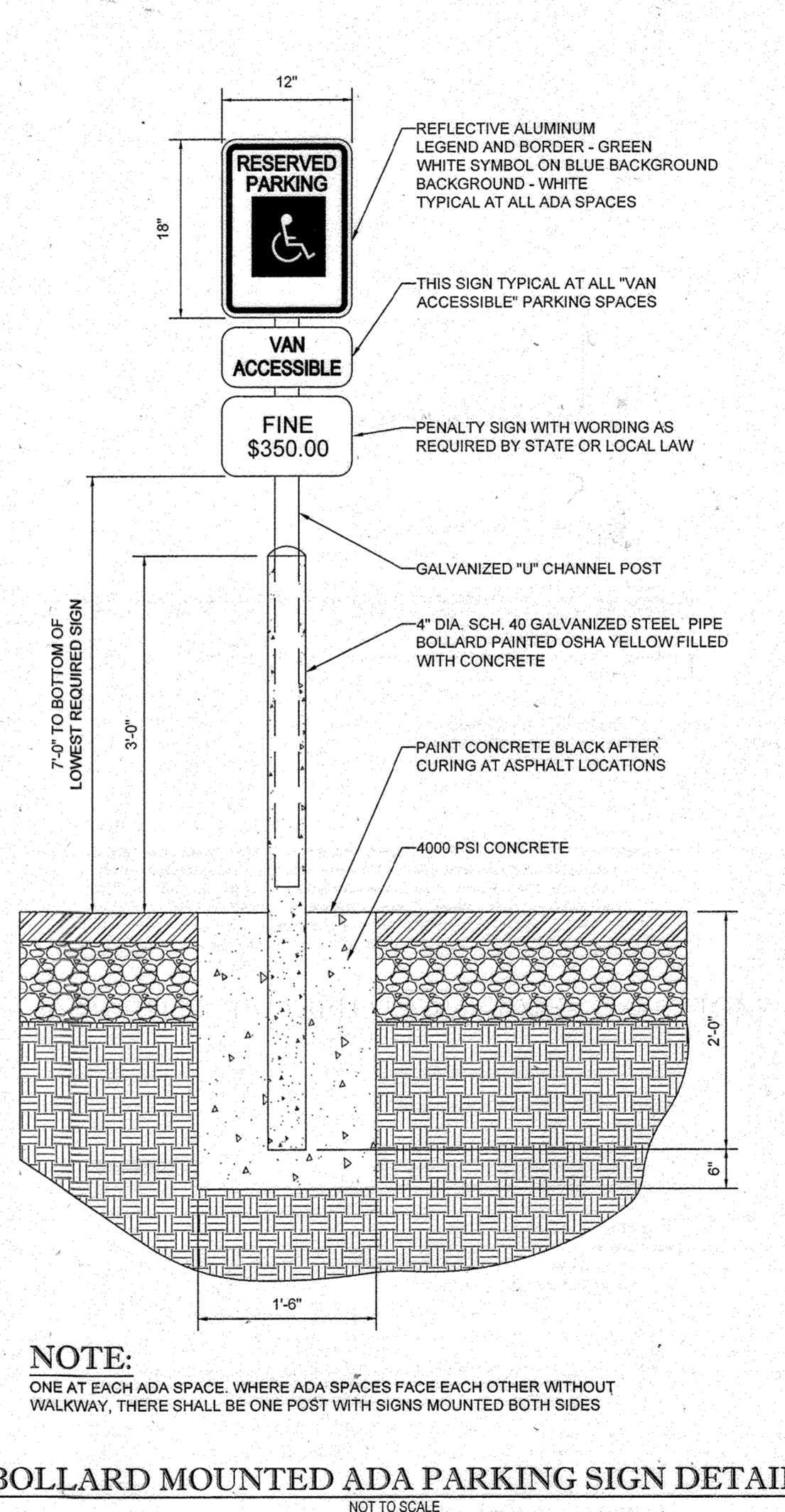
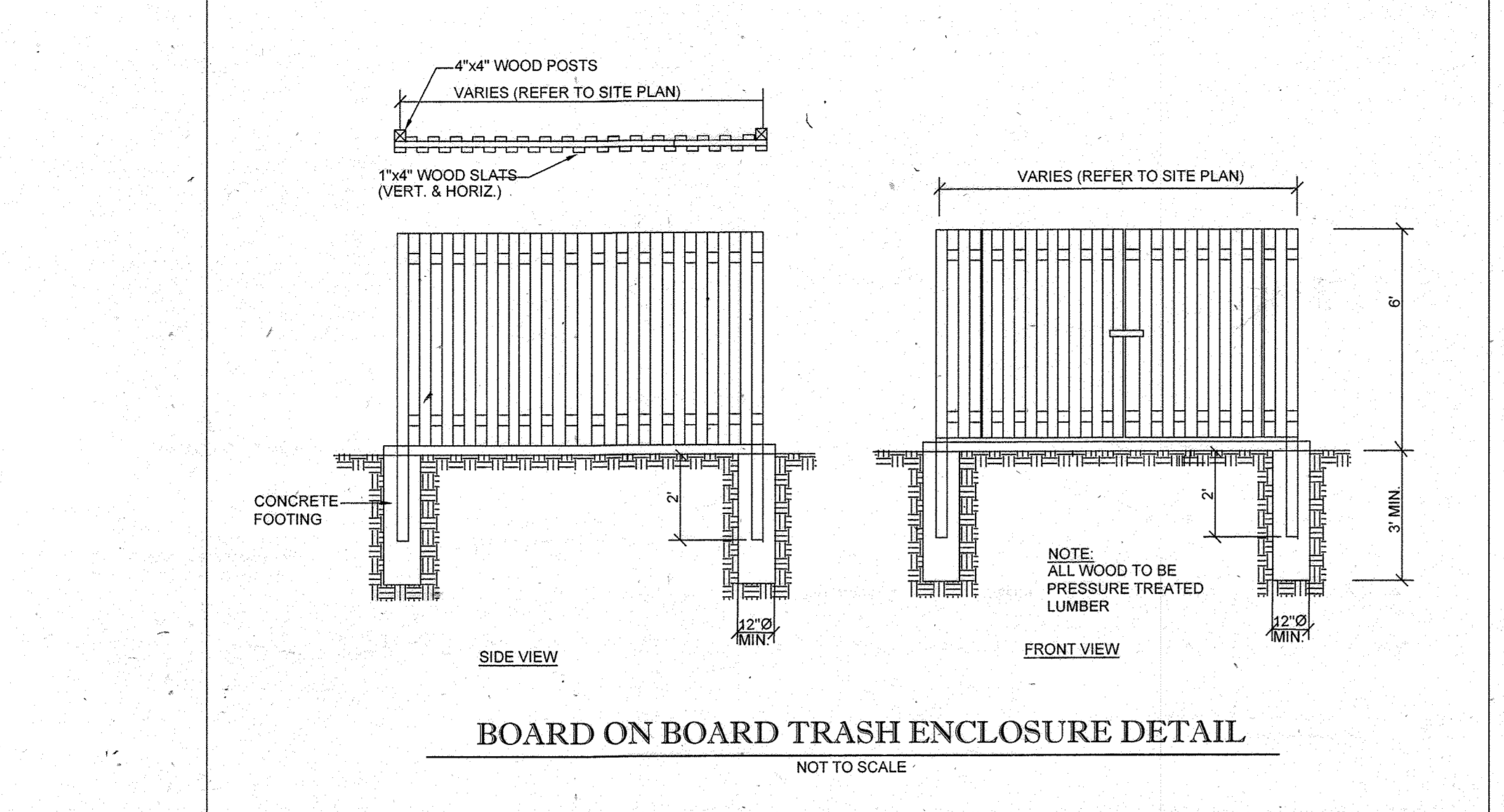
Weatherstone: Gray - French Gray - Sand - Buff - Cream - Brown - Brick Red - Light Charcoal - Soudard Green

Recycled Glass Aggregate (Weatherstone): Clear - Emerald - Blue - Amber - Champagne - Charcoal

Custom Options Available:

Site Furnishing Division PO Box 1520, Wausau WI 54403-1520 (800) 388-8728

WAUSAU TILE



Site Furnishing Division PO Box 1520, Wausau WI 54403-1520 (800) 388-8728

WAUSAU TILE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/2/15
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/15
 DIRECTOR DATE: 9/16/15

SiteScapes P.O. Box 22336 Lincoln, NE 68542
 PHONE: 402-421-9400 FAX: 402-421-9408
 WEBSITE: www.sitescapesonline.com

CITYVIEW BACKED BENCH PROJECT NO. C72-1000

1) Seat Straps - 5/16" x 1 1/2" Steel Flat Bar
 2) Support Pipes - 1 1/2" x 1 1/2" Steel Pipe
 3) End Units - 1" Square Solid Steel Bar
 4) Surface Mount Plates - 14" x 1 1/2" Stainless Steel Plate with 9/16" Mounting Hole
 5) Mounted with Four 1/2" x 4-3/8" Stainless Steel Anchor Bolts (Customer Supplied)

ILLUSIONS VINYL FENCE

ILLUSIONS VINYL FENCE MEDFORD, NY 11763
 www.illusionsofence.com TOLL FREE: 1-800-339-3362

SELECT DESIRED POST CAP MODEL:

- FRENCH GOTHIC - V5FG
- TEARDROP - V5TD
- COACHMAN - V5CM
- BALL - V5BC
- SOLAR - V5SP
- SOLAR - V5SO
- NEW ENGLAND - V5NE
- FLAT - V5FO

SELECT DESIRED POST OPTIONS:

- 8" x 8" H.D. - 250 WALL
- MAJESTIC™ 8" x 8" - 250 WALL

NOTES:

- ALL ILLUSIONS VINYL FENCES ARE ASTM F964-09 COMPLIANT
- AVAILABLE IN GRAND ILLUSIONS COLOR SPECTRUM (35 COLORS) AND GRAND ILLUSIONS VINYL WOODGRAIN (5 AUTHENTIC WOODGRAINS)
- INCLUDES METAL REINFORCEMENT BOTTOM RAIL

V300-3,4,5,6

3708-101 SEE ACCOMPANYING SPECIFICATIONS FOR MORE INFORMATION. REVISION DATE: 06/22/2012

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

2/27/21

FOR REVISION 5 ONLY:

7/11/16

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 5
 PLAT: PLAT 1-5710-322-1
 WATER CODE: E32
 SEWER CODE: 6602300

TAX MAP: 28 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1099n SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44067, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CORPORATE OFFICE: WARREN, NJ
 OFFICES: BOWNE, MD; WARRINGTON, VA; STRATFORD, CT; CHANONVILLE, PA; PHILADELPHIA, PA; SOUTH BRIDGEMAN, MA; WASHINGTON, VA; WASHINGTON, DC; TAMPA, FL

CIVIL & CONSULTING ENGINEERS SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED TO GCS, 3, 4, 5 USES AND PARKING CALCS	USL
9	2/10/21	As-Built	PNZ

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: NOT TO SCALE
 CAD I.D.: SDZ

PROJECT: **SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION**
 LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

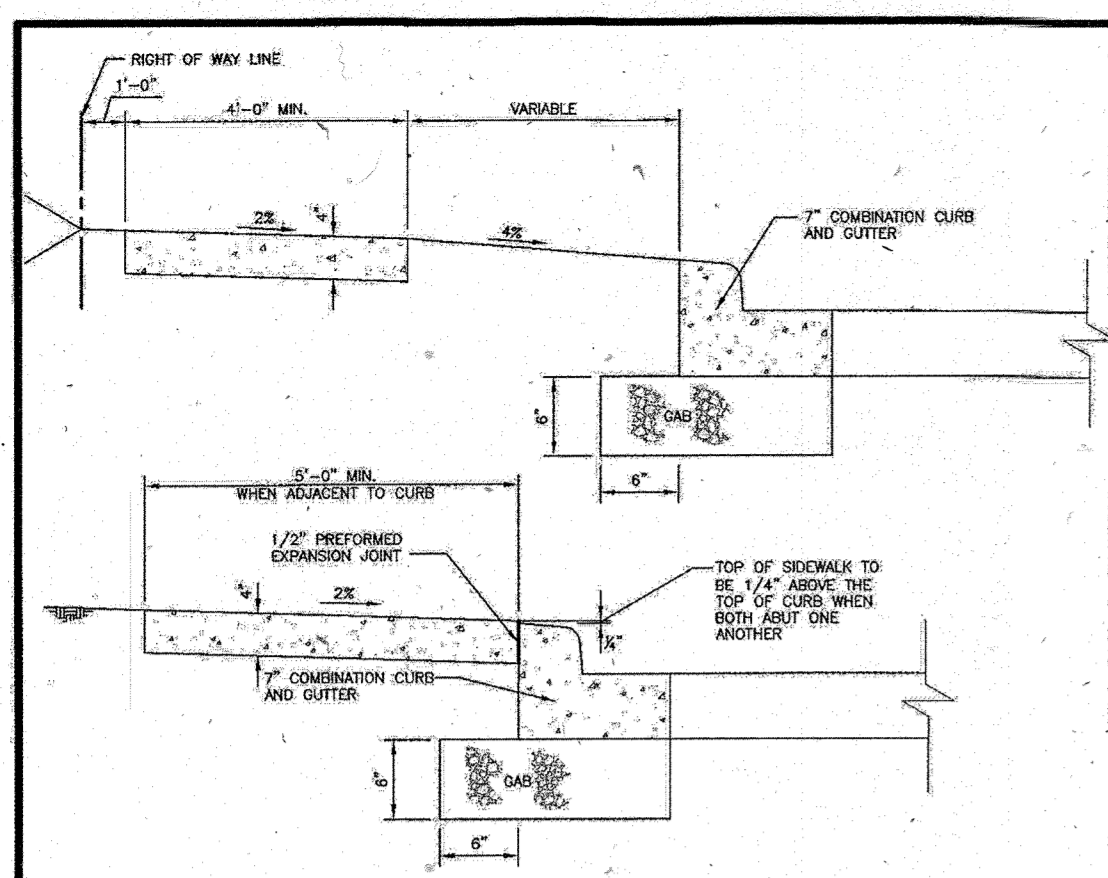
MICHAEL J. GESELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44067, EXPIRATION DATE: 6/30/21

7/29/13

SHEET TITLE: **SITE DETAILS**

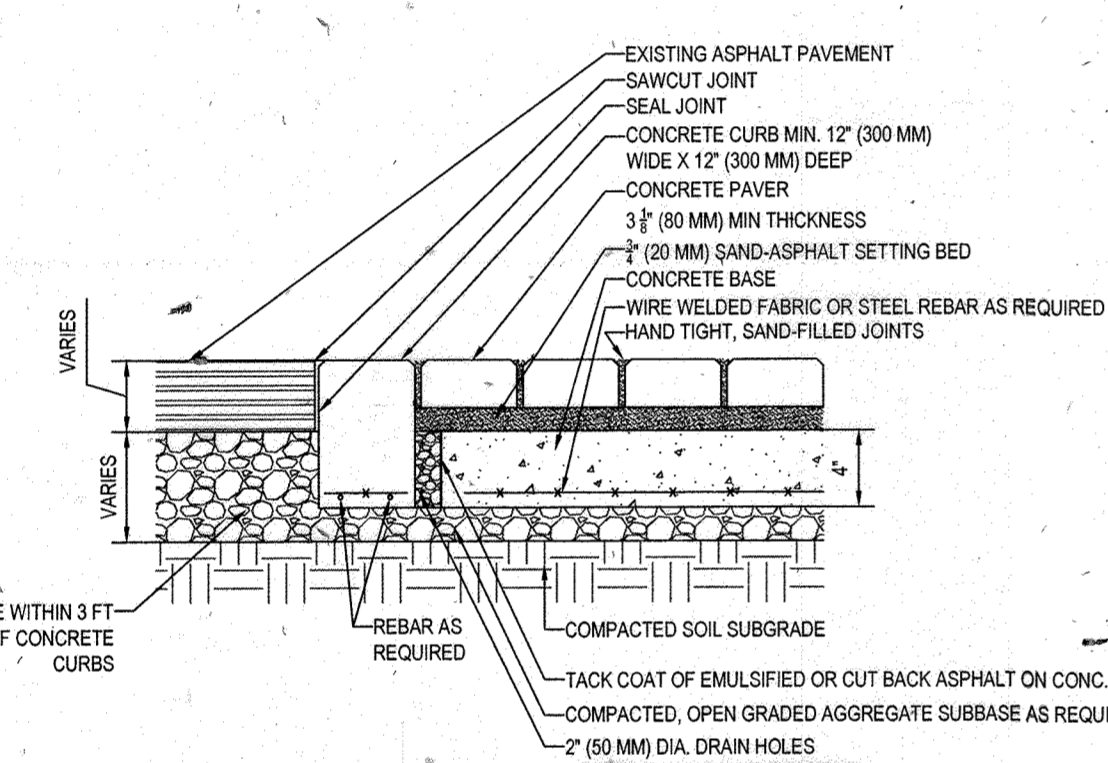
SHEET NUMBER: **34 OF 91**

SDP-13-046

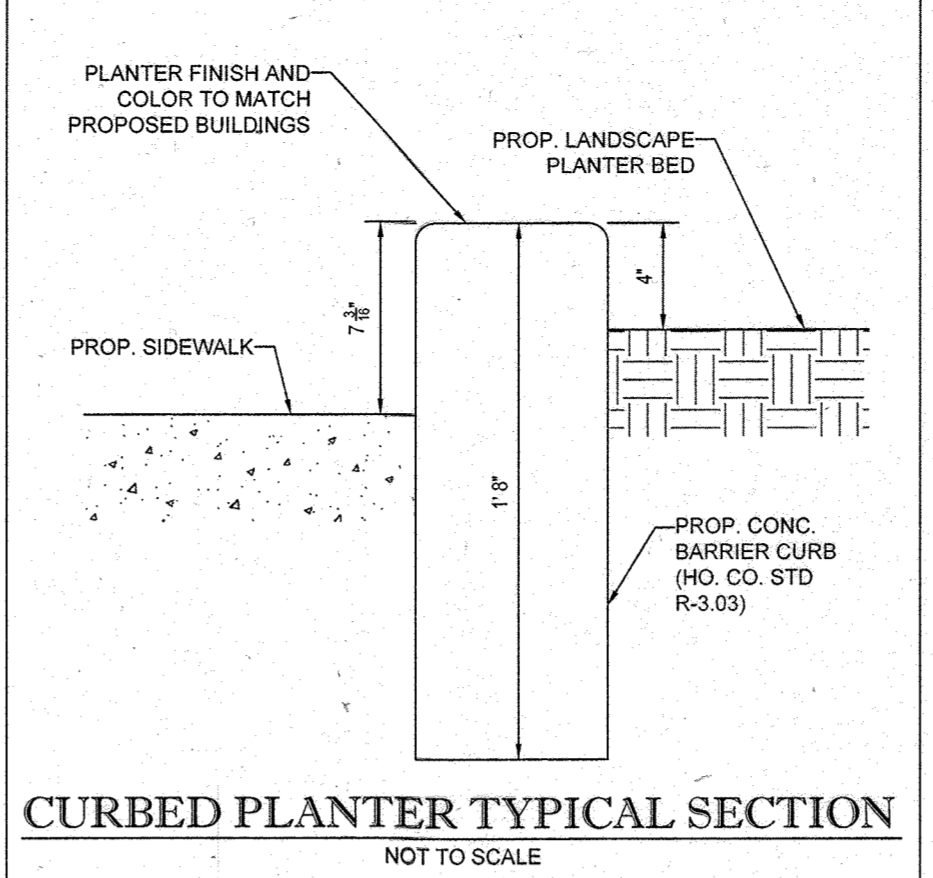
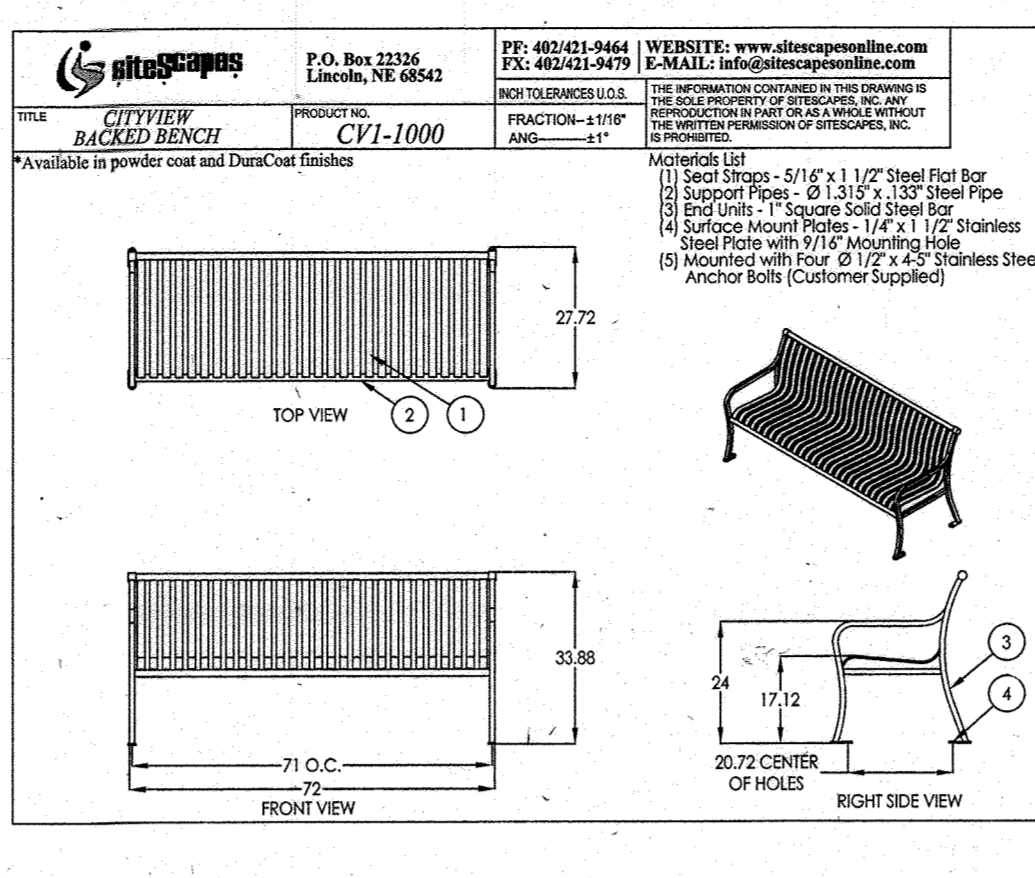
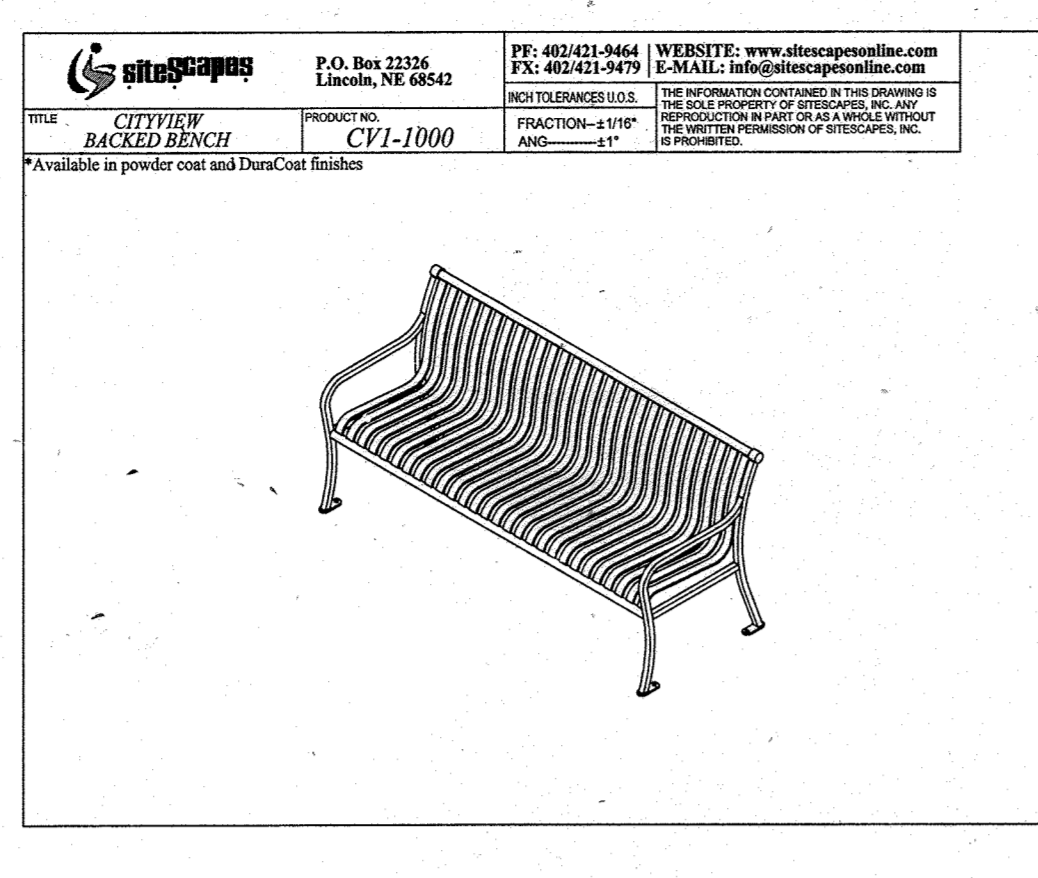


- NOTES:**
1. SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
 2. EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO BE MORE THAN 15' APART.
 3. 1/2" PREFORMED EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 4. CONCRETE TO BE MIX NO.3.
 5. WHEN SIDEWALK ADJUTS CURB, SIDEWALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED EXPANSION JOINT BETWEEN SIDEWALK AND CURB.
 6. ON LONGITUDINAL SIDEWALK BRACKES OF OR OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 45 FEET. THE HEADERS SHALL BE PLACED AT THE EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
 7. SIDEWALK ADJUT TO CURB SHALL BE 5'-0" MINIMUM EXCEPT SIDEWALK ADJUT TO CURB IN OUT-DE-SAC BUILDERS MAY BE 4'-0" WIDE.
 8. SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5'-0" PAVED SECTION PLACED 200' APART.
 9. 4'-0" SIDEWALK REQUIRES A PASSING AREA (SEE DETAIL R-410).

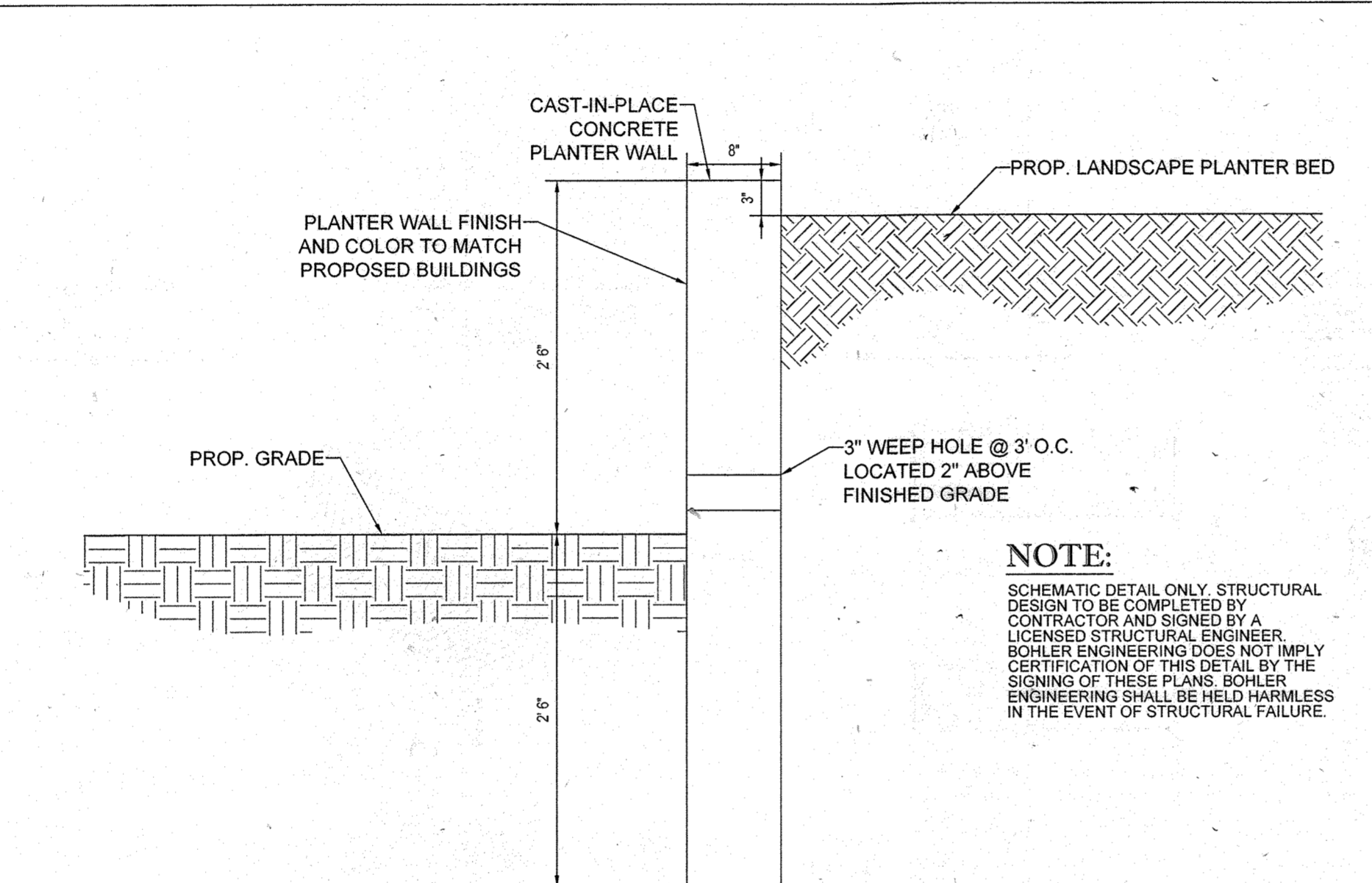
HOWARD COUNTY, MARYLAND Department of Public Works	Concrete Sidewalk	Detail R-3.05
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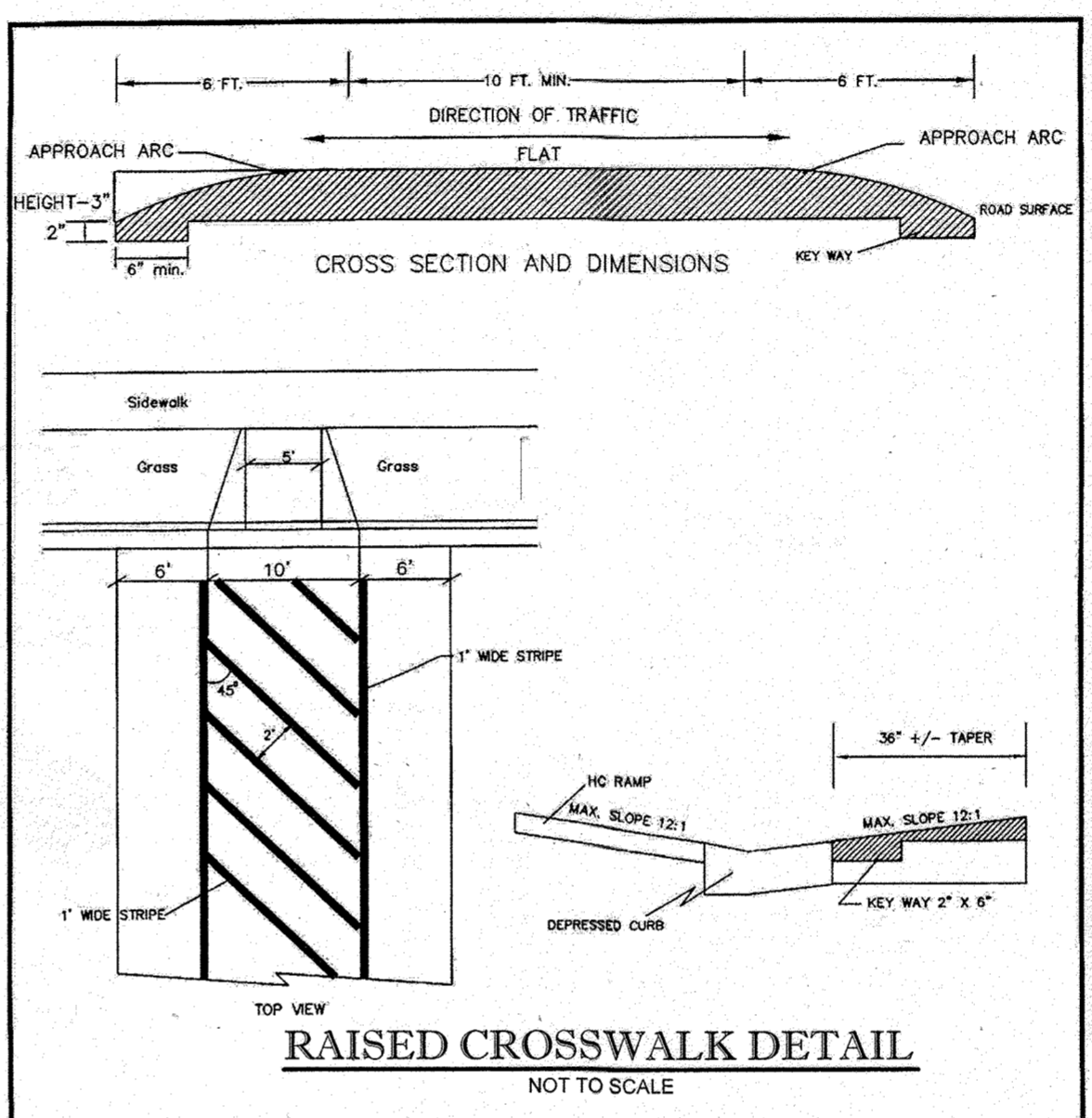
- NOTES:**
1. BASE THICKNESS AND REINFORCING VARIES WITH TRAFFIC, CLIMATE AND SUBGRADE CONDITIONS. (FINAL DESIGN TO BE PROVIDED WHEN FINAL CURBS ARE AVAILABLE ON COMPACTED SUBBASE)
 2. CONCRETE BASE MINIMUM 2% SLOPE FROM CENTERLINE TO CURB.
 3. DO NOT PROVIDE WEEP HOLES TO SUBGRADE WHEN WATER TABLE IS LESS THAN 2 FT. (0.6 M) FROM TOP OF SOIL SUBGRADE. PROVIDE DRAIN HOLES TO CATCH BASINS.
- CROSSWALK ON CONCRETE BASE WITH BITUMEN SETTING BED**
NOT TO SCALE



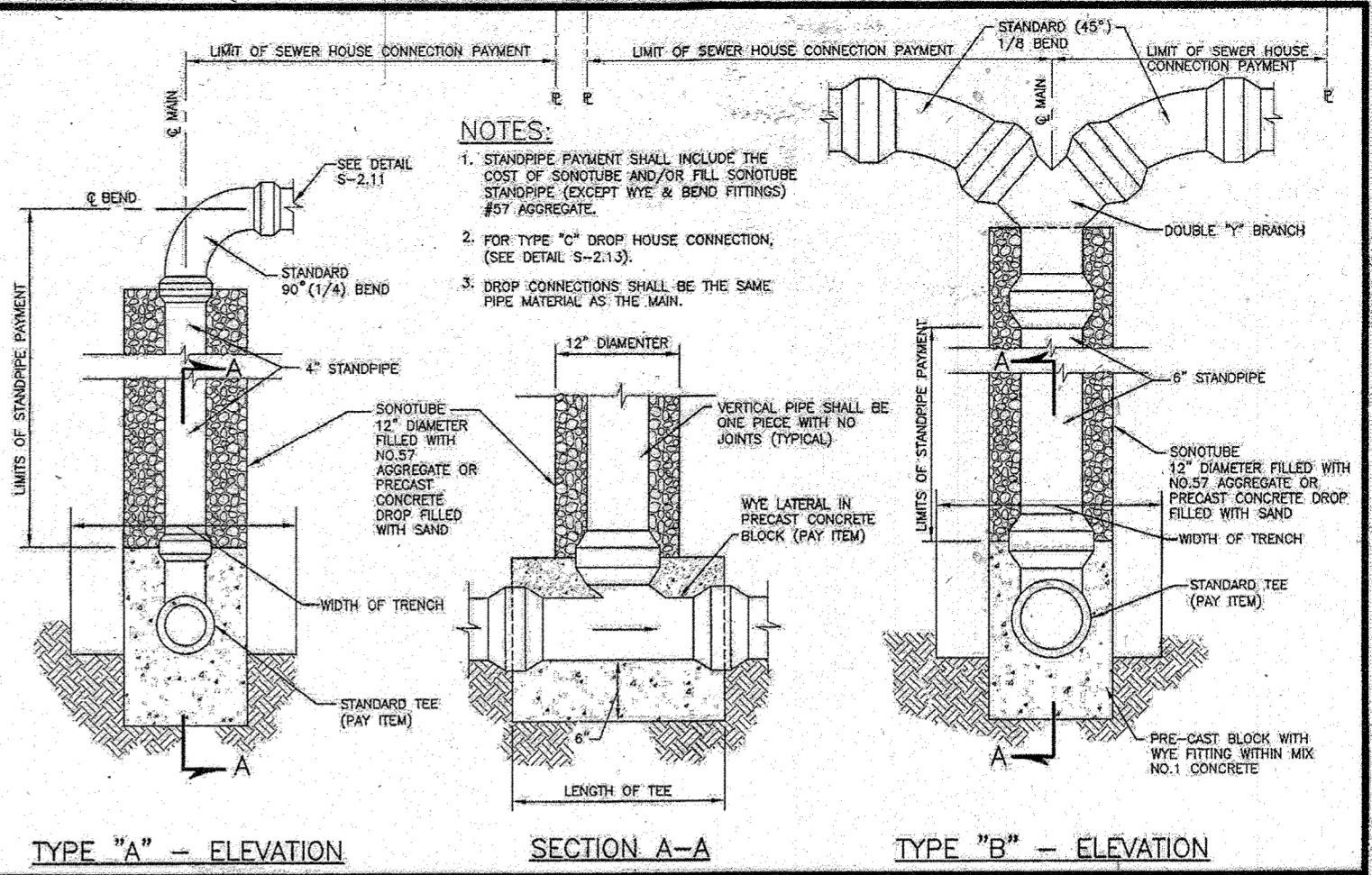
CURBED PLANTER TYPICAL SECTION
NOT TO SCALE



RAISED PLANTER TYPICAL SECTION
SCALE: NOT TO SCALE

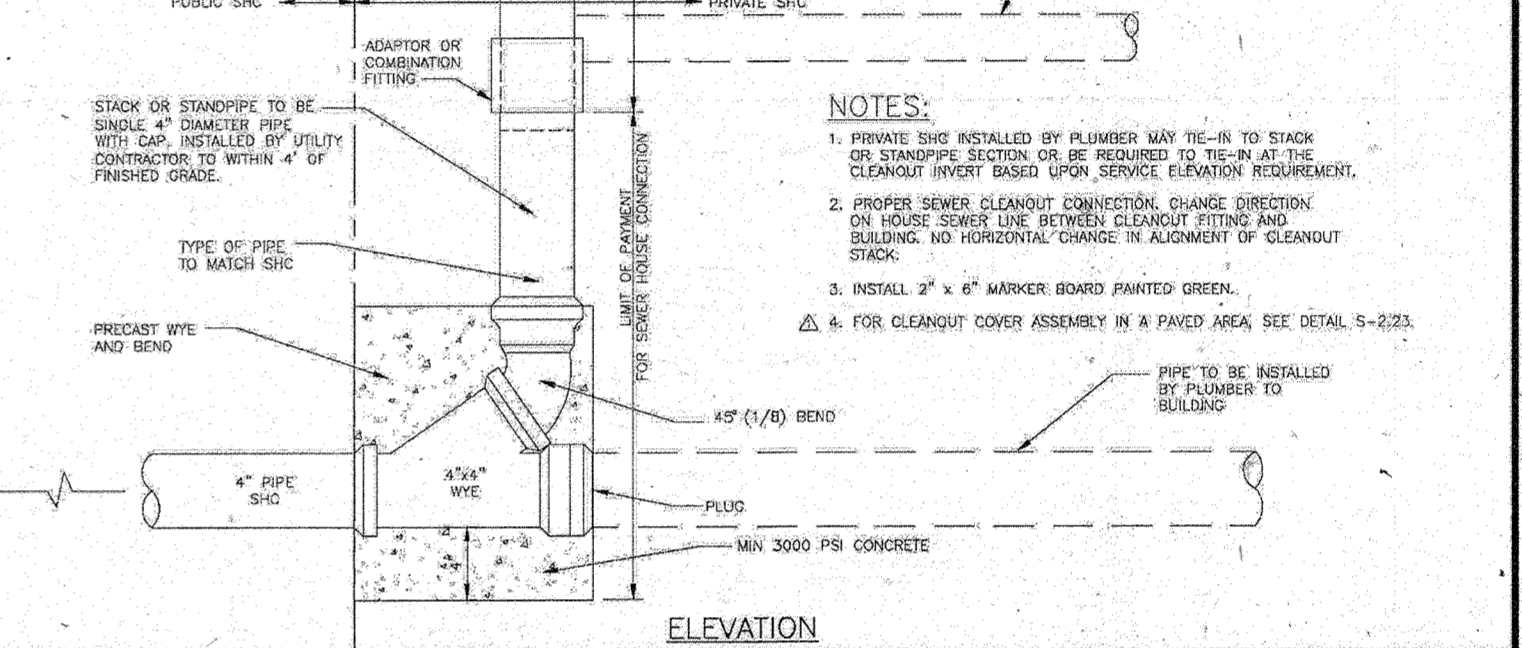


RAISED CROSSWALK DETAIL
NOT TO SCALE



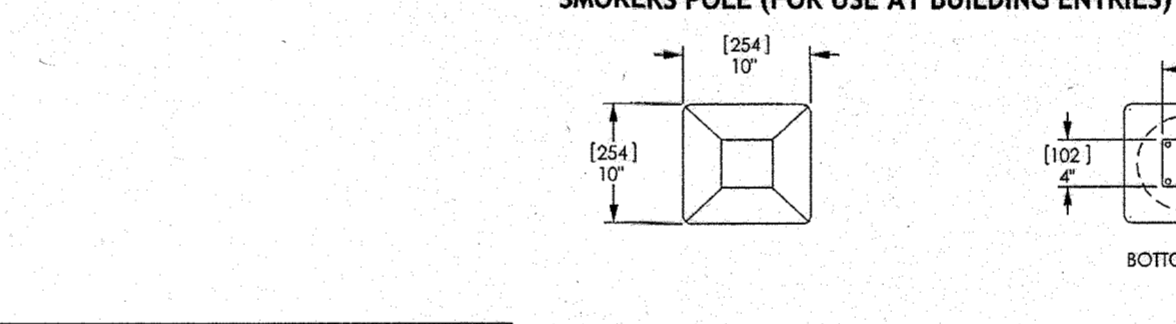
SEWER HOUSE CONNECTION
Types "A" and "B"

HOWARD COUNTY, MARYLAND Department of Public Works	SEWER HOUSE CONNECTION Drop Types "A" and "B"	Detail S-2.12
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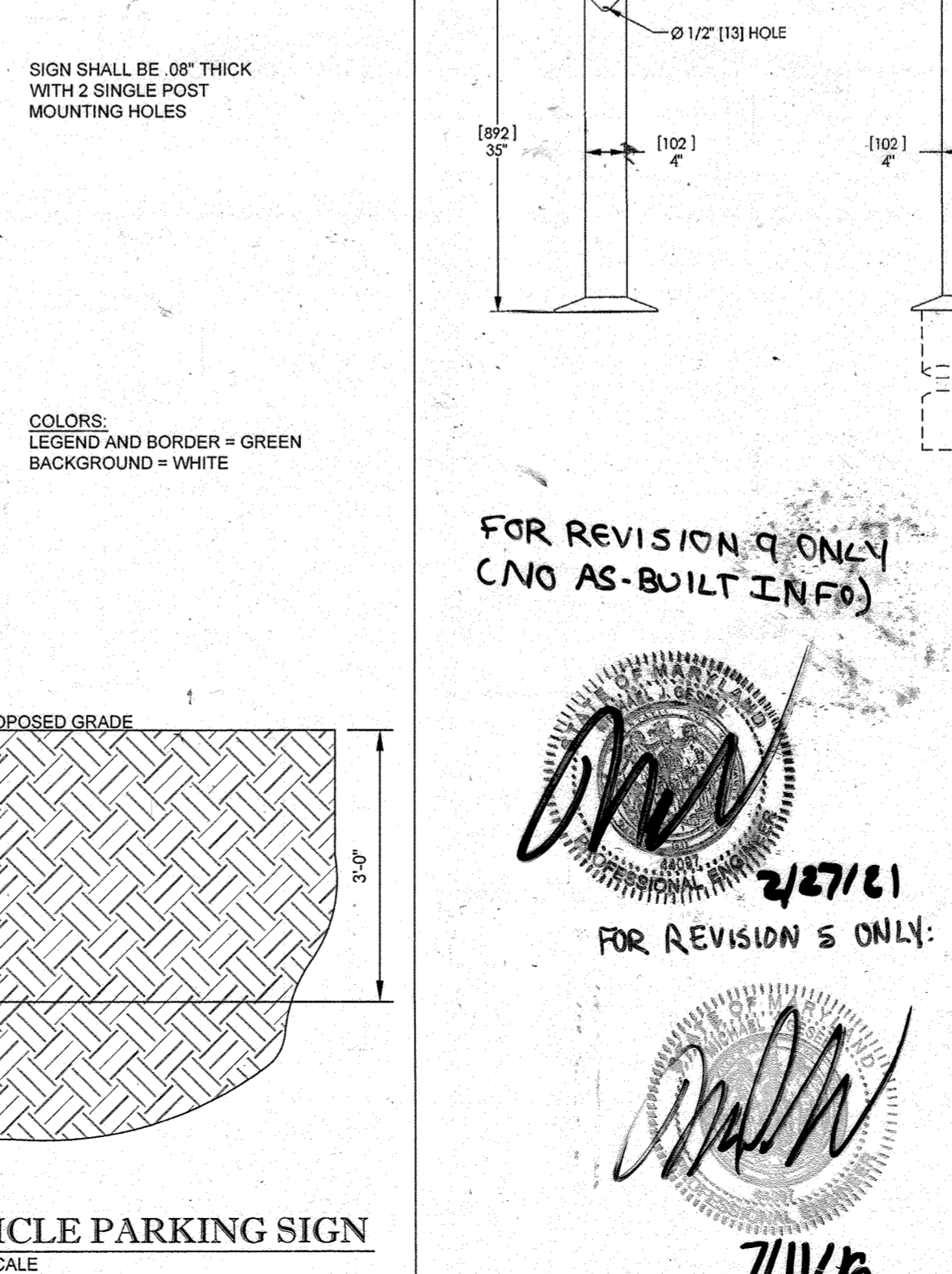


SEWER HOUSE CONNECTION
Cleanout

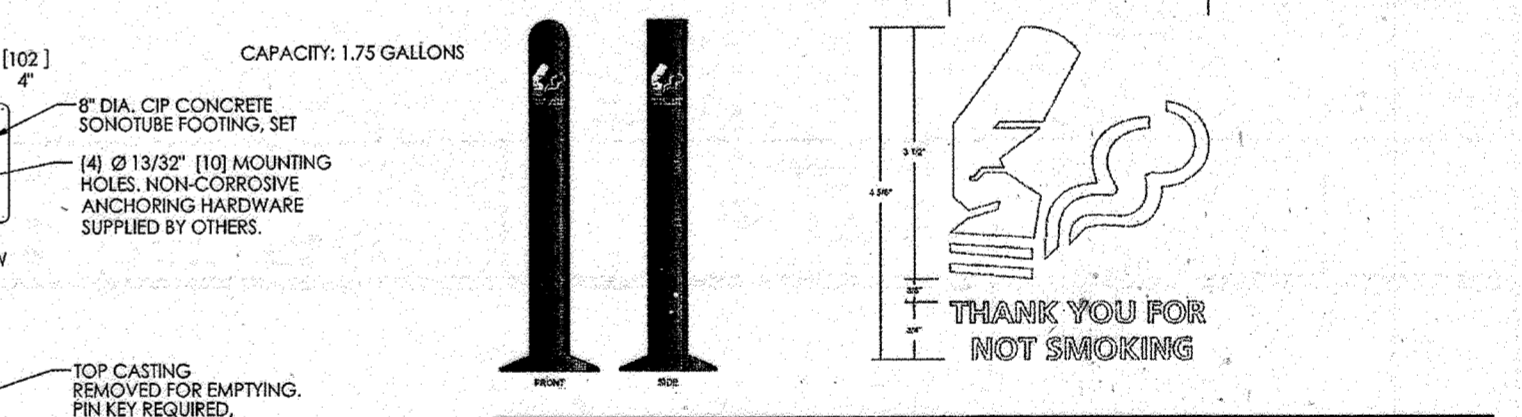
HOWARD COUNTY, MARYLAND Department of Public Works	SEWER HOUSE CONNECTION Cleanout	Detail S-2.22
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SMOKERS POLE (FOR USE AT BUILDING ENTRIES)



FUEL EFFICIENT VEHICLE PARKING SIGN
NOT TO SCALE

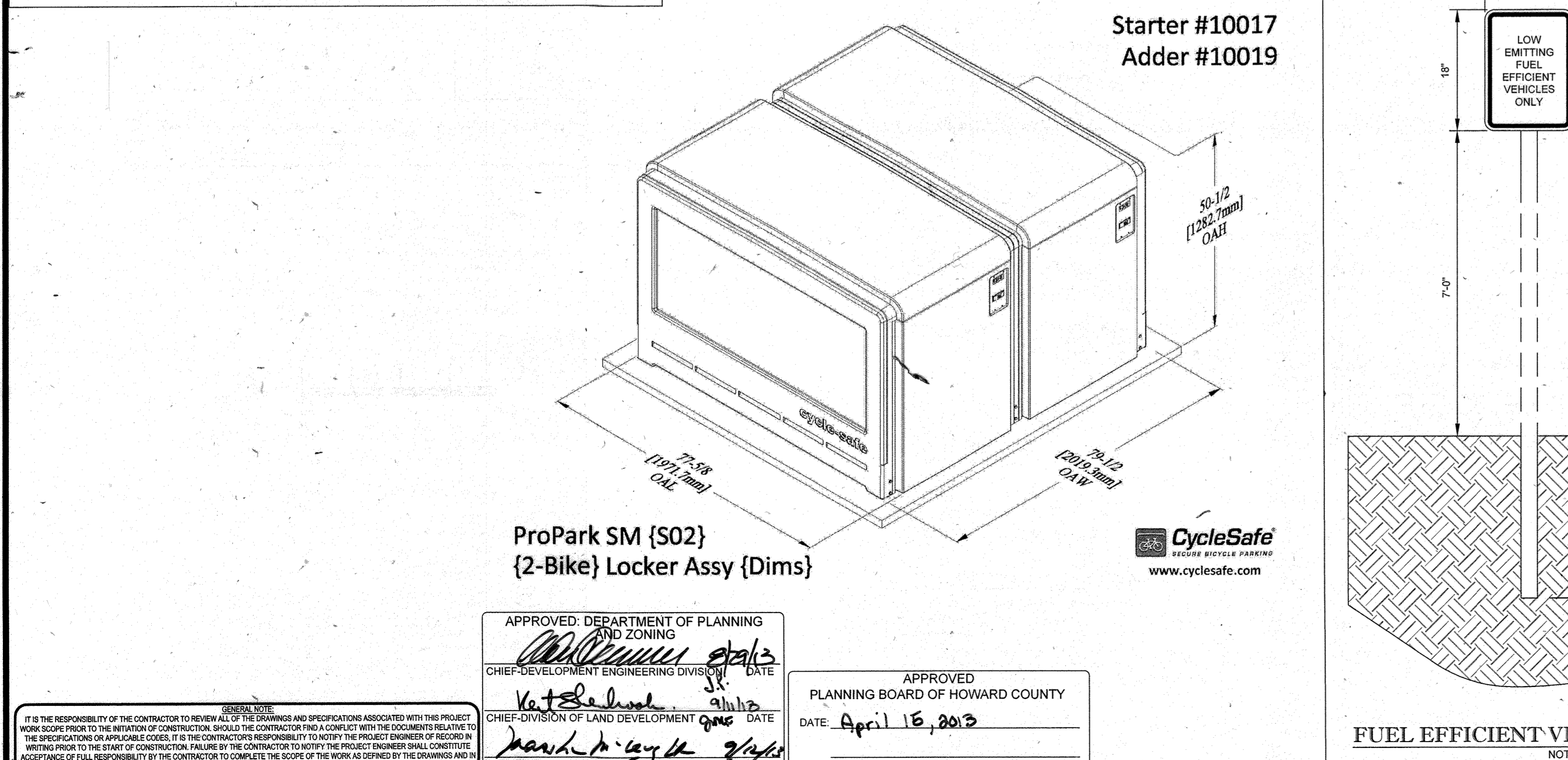


SMOKERS POLE DETAIL
SCALE: NOT TO SCALE

SUPPLIED BY: TSD	PHONE: TBD
PURCHASED BY: METAL CONSTRUCTION	PHONE: TBD
INSTALLED BY: GC	PHONE: TBD
MANUFACTURER CONTACT: MAGICE PARZYCH	PHONE: 978-443-3700
MODEL NUMBER: 0909090	MANUFACTURER: LANDSCAPE FORMS INC.
ITEM DESCRIPTION: 3/4" DIA. COP CONCRETE SMOKEHOUSE, SET WITH 2 SINGLE POST MOUNTING HOLES. NON-CORROSIVE ANCHORING HARDWARE SUPPLIED BY OTHERS.	
APPLICATION & NOTES: 1. PROVIDE CONCRETE ANCHOR CONNECTION TO C.O. CONCRETE FOOTING (PUSHING BY GC) 2. RECEIVE CUSTOM GRAPHIC THANK YOU FOR NOT SMOKING DECAL. SEE PROTOTYPE SIGN STANDARDS.	

Refer to construction documents for details, layout and location.
Supplier or manufacturer to ensure that product and its components meet federal, state, and local codes.
Supplier responsible for confirming all quantity counts with plans.
Supplier responsible for confirming all lead times with manufacturer.

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4 PLAT 12-12-15-1 WATER CODE: E32 SEWER CODE: 6002500	TAX MAP: 29 ORID: 24 PARCELS: 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 1090m SITE AREA: 10.21 AC DPZ REF: SDP-13-046	OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21103 (410) 684-2000 CONTACT: GREG REED
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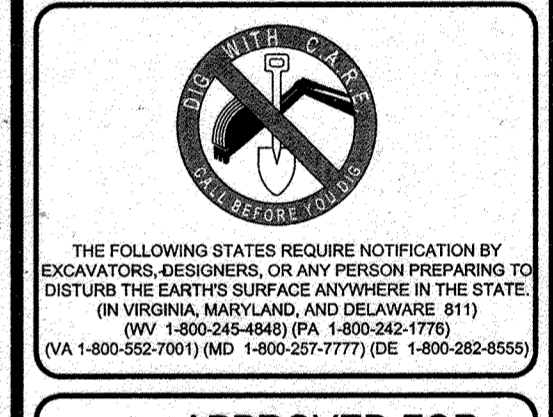


ProPark SM {S02} {2-Bike} Locker Assy {Dims}

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 16, 2013

BOHLER ENGINEERING
CORPORATE OFFICE: WARREN, NJ
OFFICES: BOWLING GREEN, OH; CHICAGO, IL; CHARLESTON, SC; COLUMBIA, MD; COLUMBIANA, NY; HANOVER, NH; PHILADELPHIA, PA; TAMPA, FL
PROJECT MANAGERS: ENVIRONMENTAL CONSULTANTS; LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS; SURVEYORS

REV	DATE	COMMENT	BY
5	04/11/16	REVISED BLDGS 2, 3 & 4 HOUSE AND PARKING GARAGE	DSH
9	2/16/21	AS-BUILT	mgk

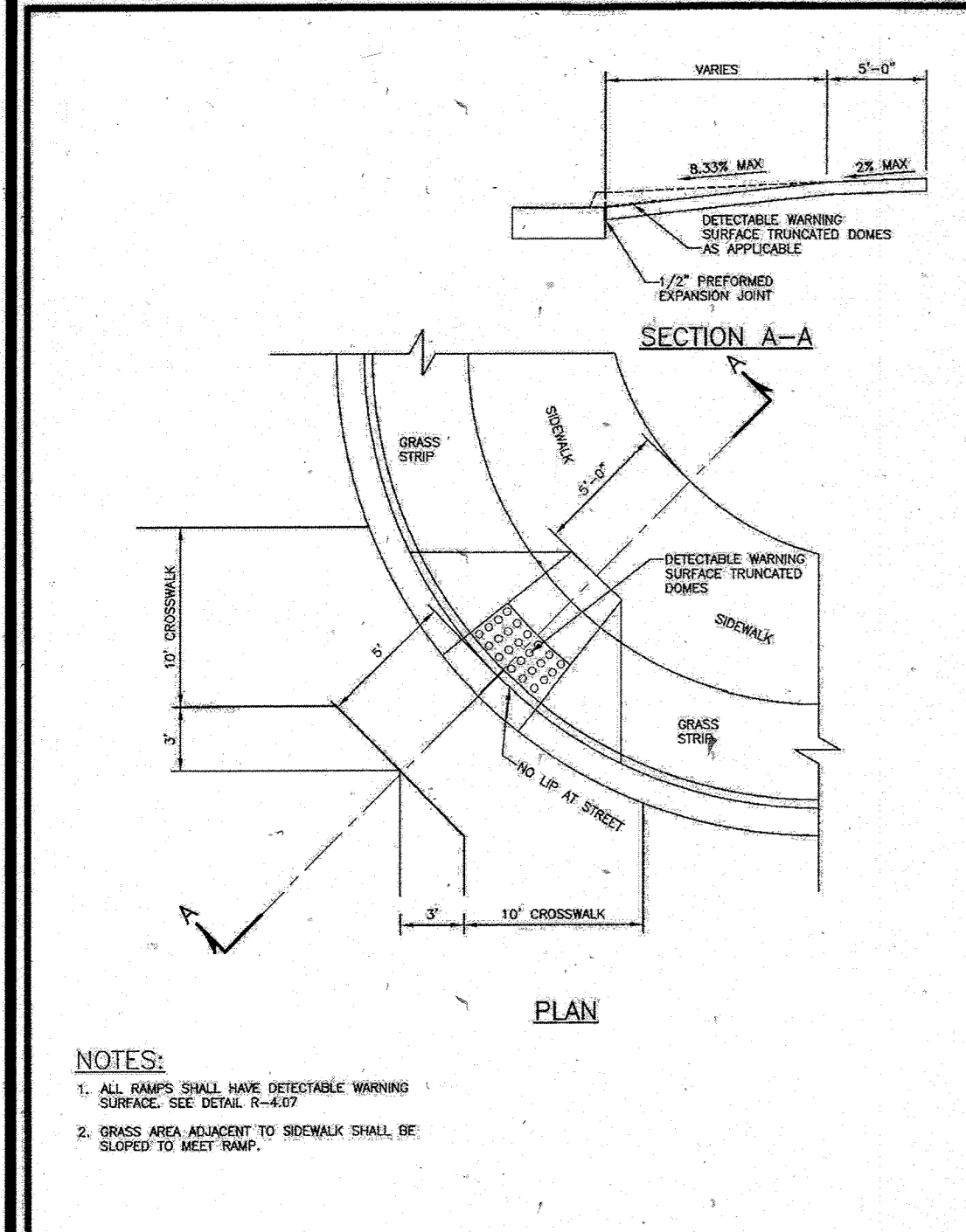


APPROVED FOR CONSTRUCTION
PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

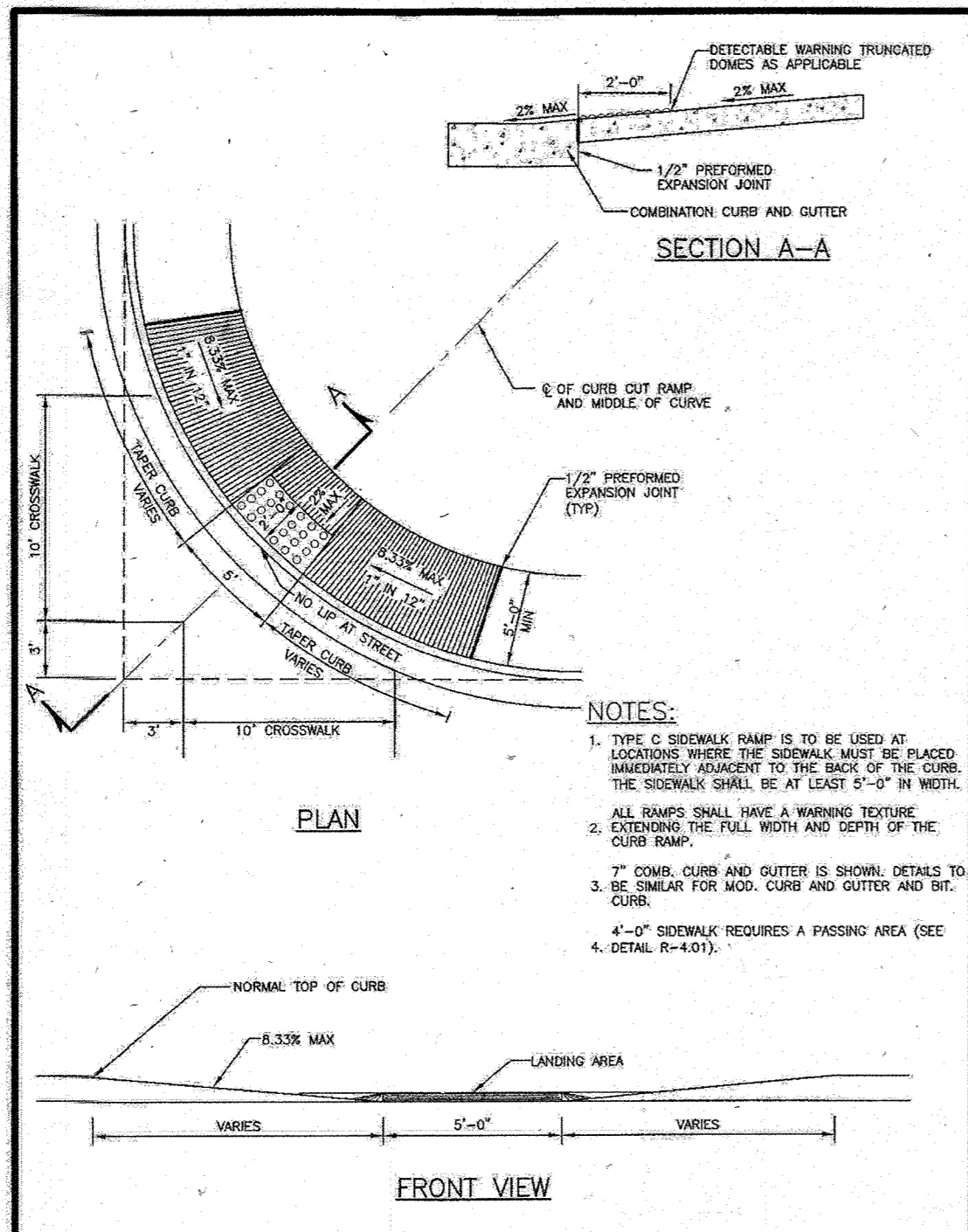
BOHLER ENGINEERING
901 DULANEY WALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7967
www.BohlerEngineering.com

BOHLER ENGINEERING
MICHAEL J. GEZELL
PROFESSIONAL ENGINEER
LICENSE NO. 44927
1/29/13

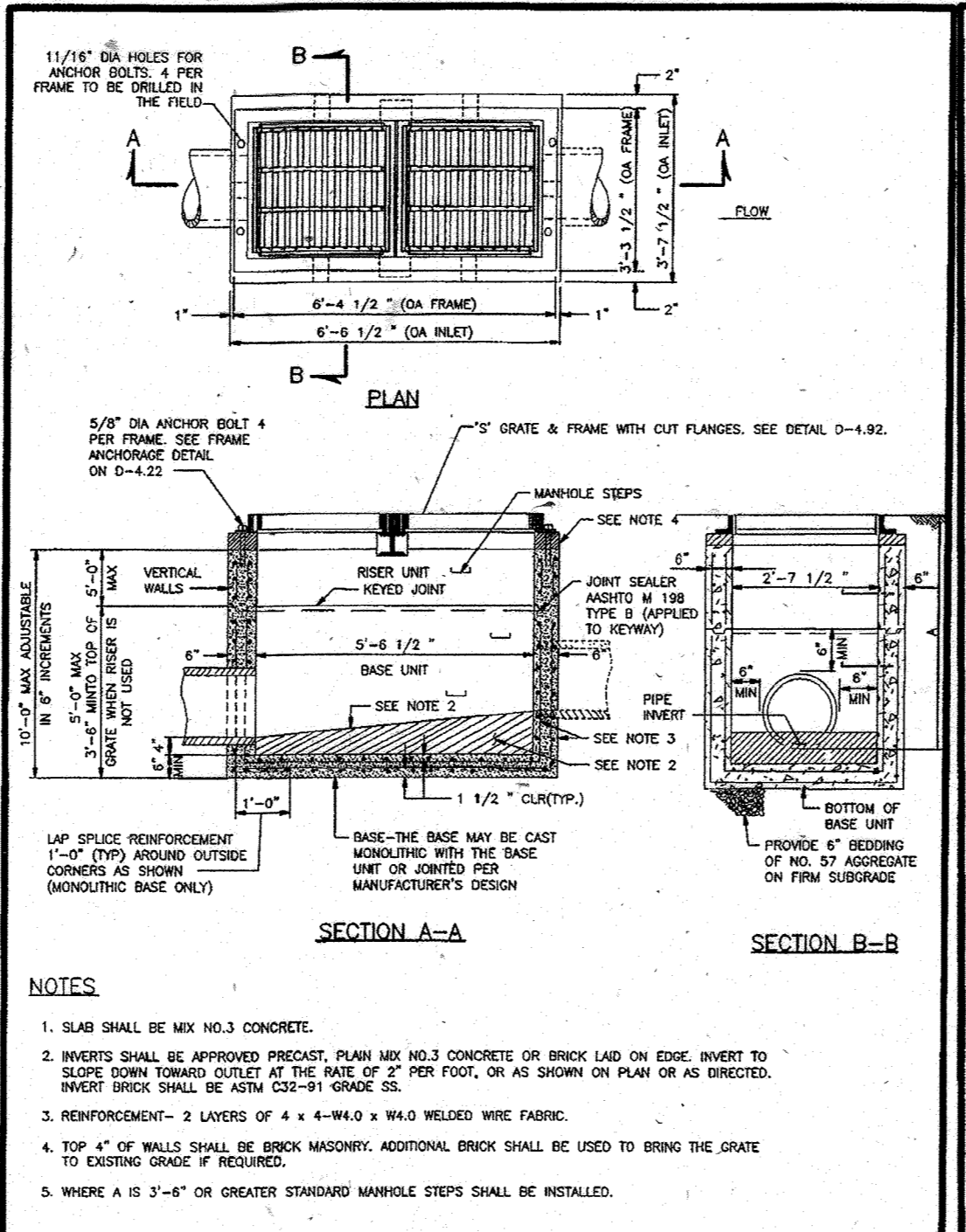
SHEET TITLE: SITE DETAILS
SHEET NUMBER: 35 OF 91
SDP-13-046



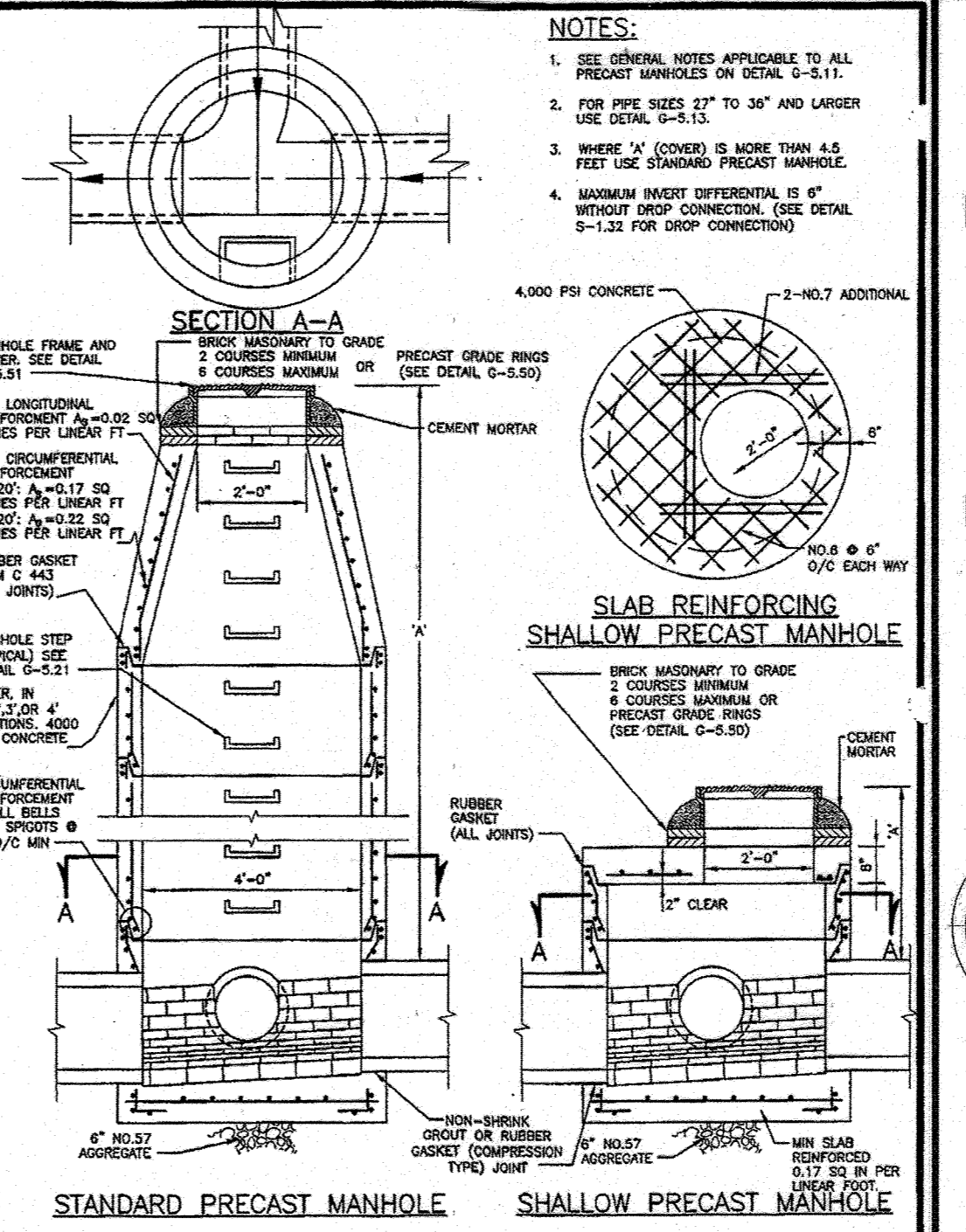
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	SIDEWALK RAMP Type B Single Ramp
DATE	5/27/2013	NO.	R-4.02
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



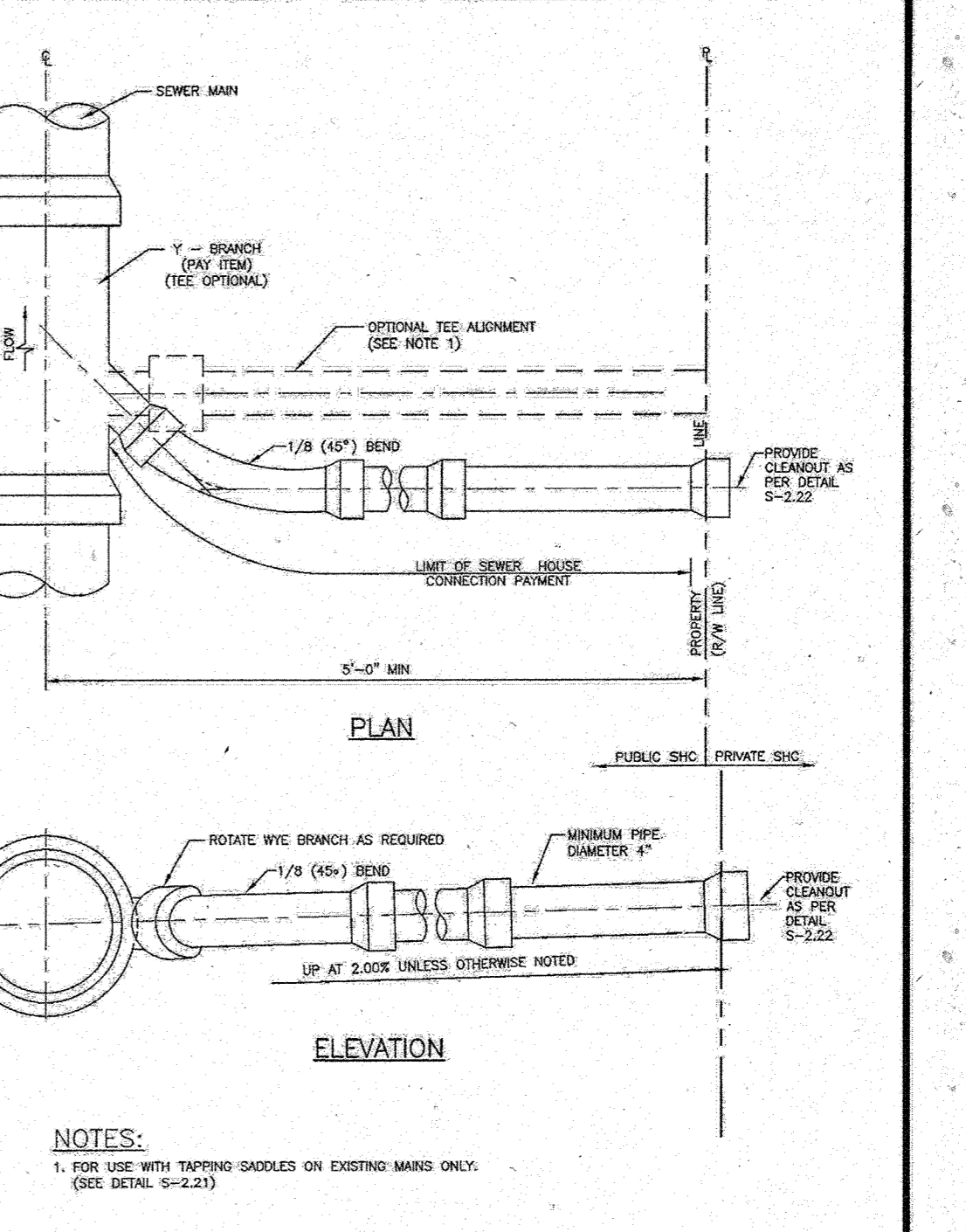
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	SIDEWALK RAMP Type C
DATE	5/27/2013	NO.	R-4.04
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



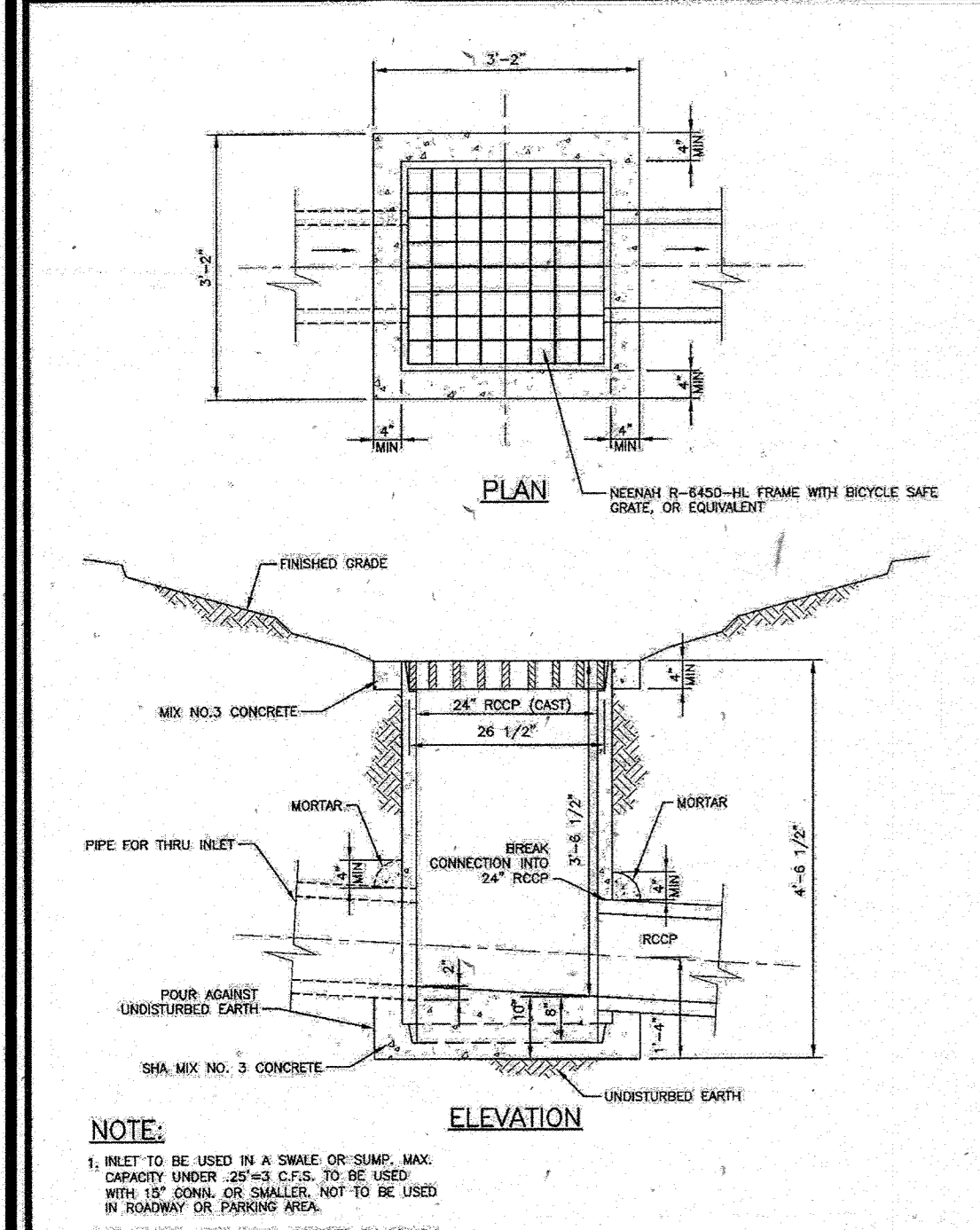
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	Double Type 'S' Inlet
DATE	5/27/2013	NO.	D-4.23
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



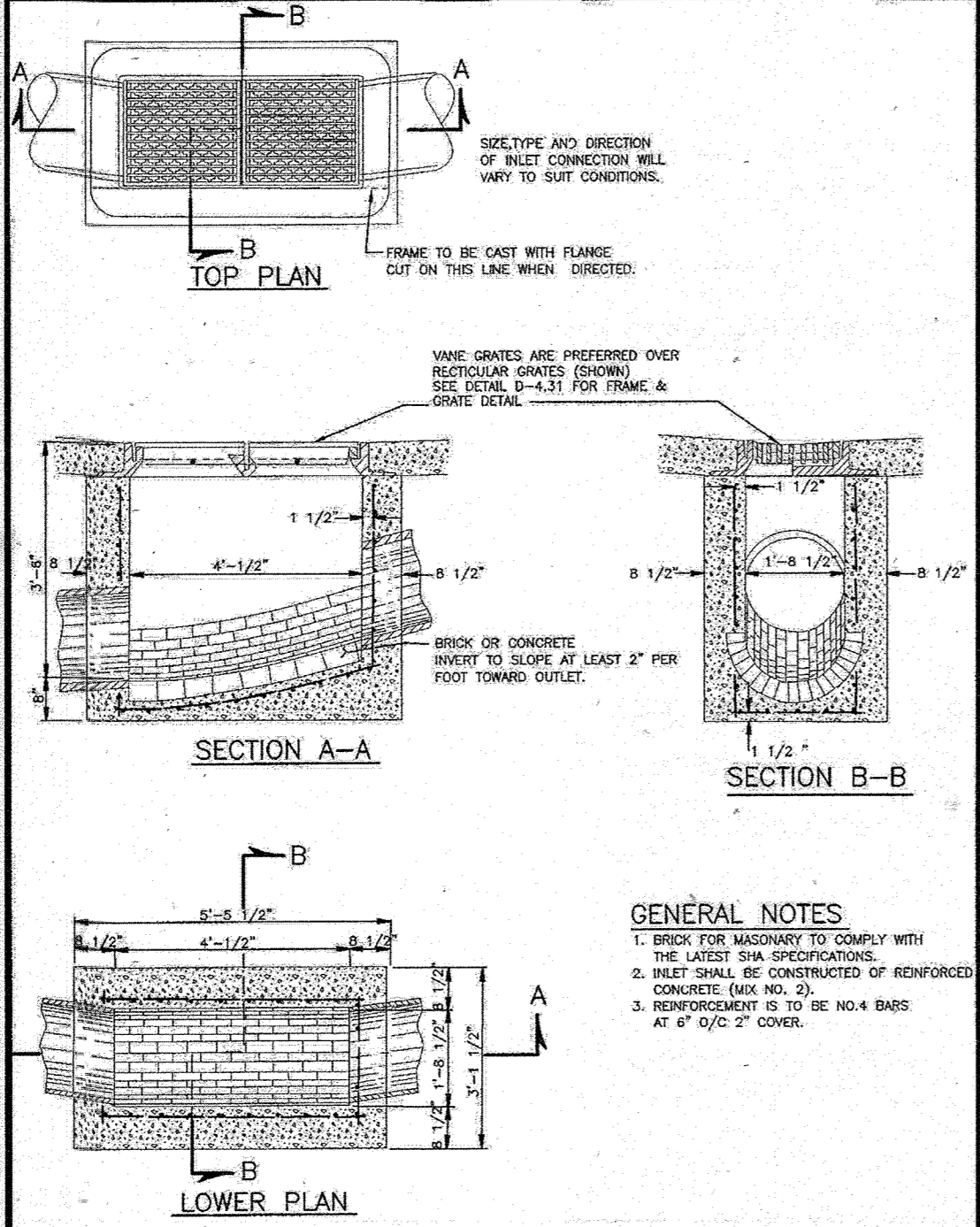
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	PRECAST MANHOLE Standard and Shallow 4'-0" for 24" Pipe and smaller
DATE	5/27/2013	NO.	G-5.12
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



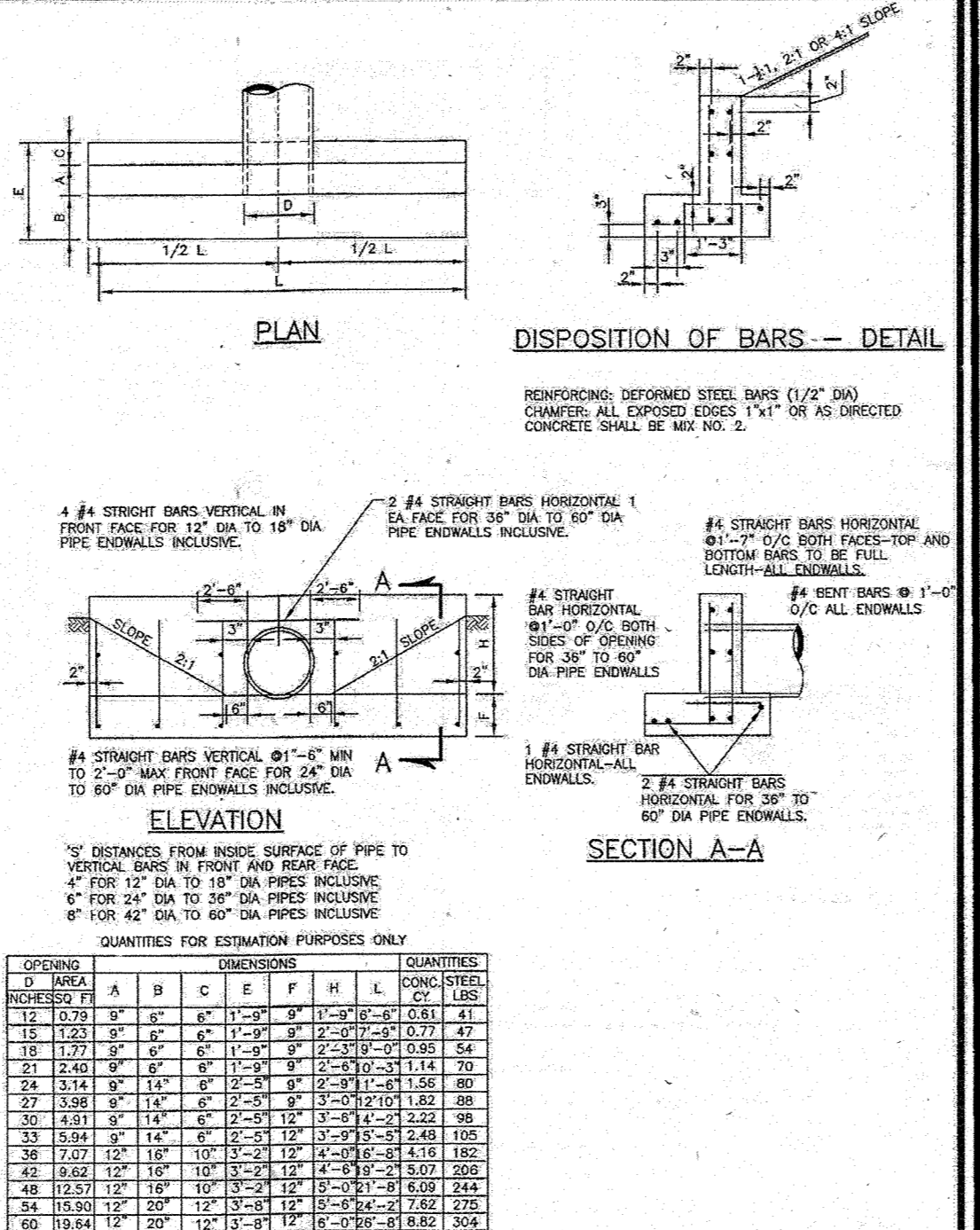
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	SEWER HOUSE CONNECTION SHC
DATE	5/27/2013	NO.	S-2.11
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



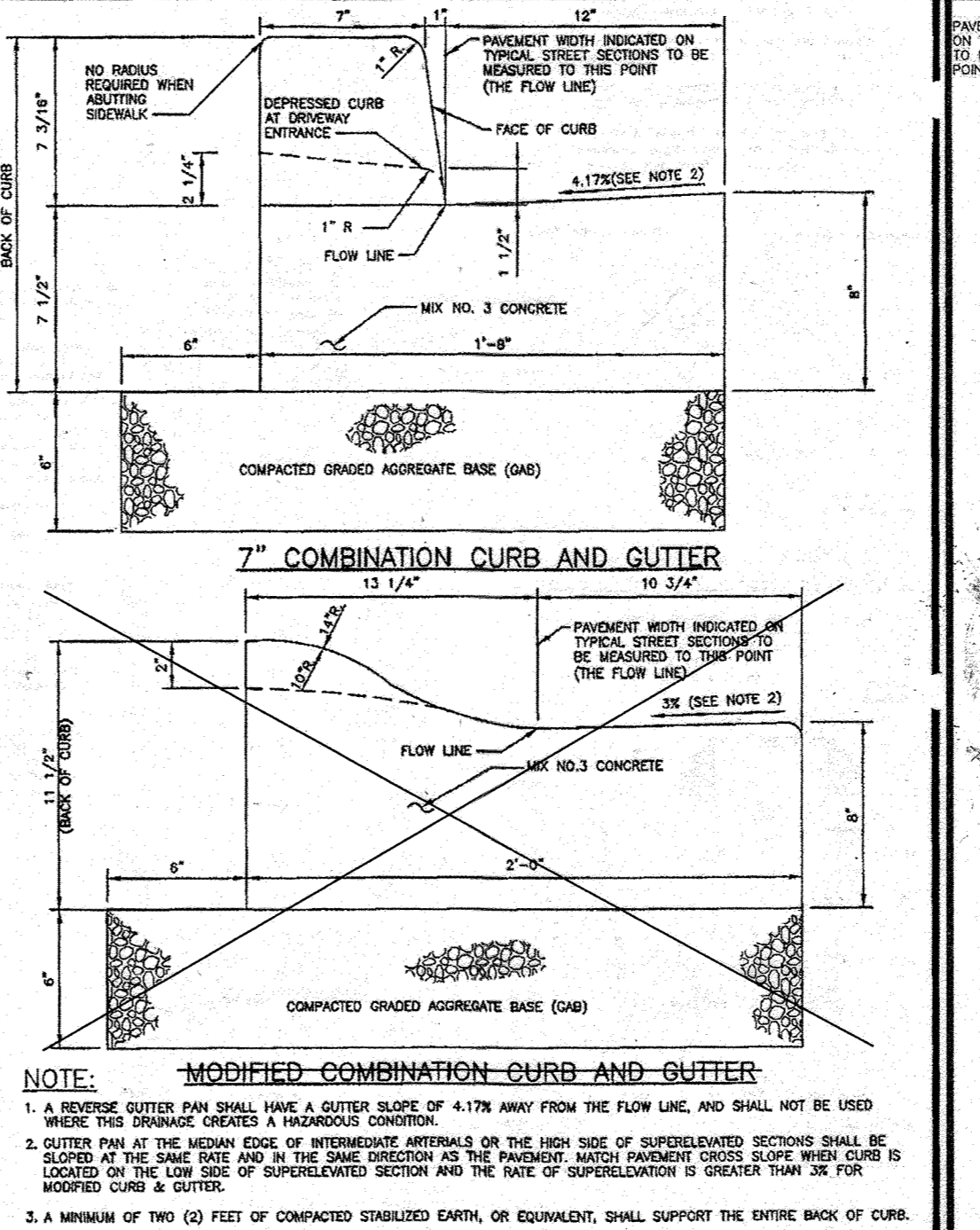
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	Yard Inlet
DATE	5/27/2013	NO.	D-4.14
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



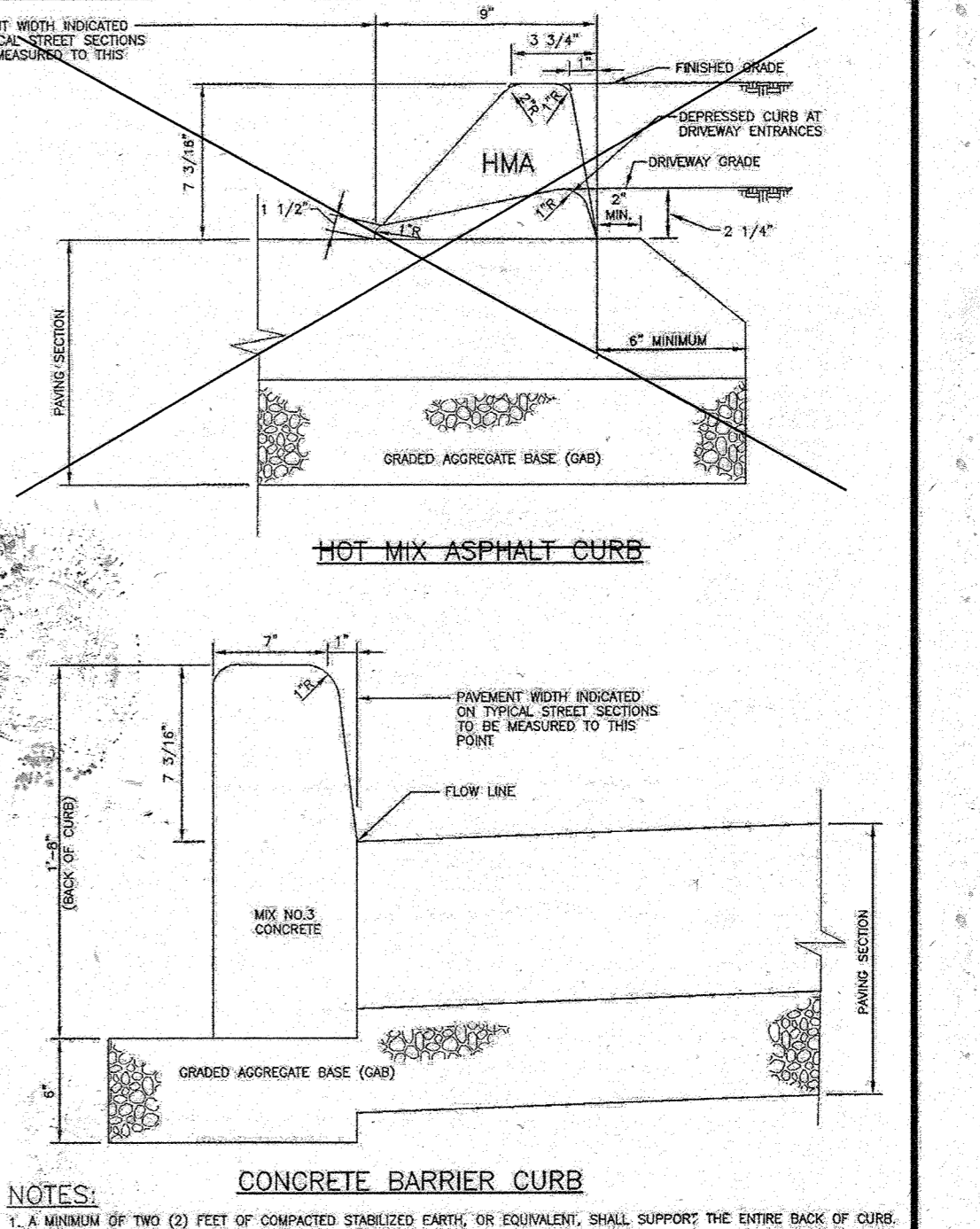
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	Type 'E' Inlet
DATE	5/27/2013	NO.	D-4.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



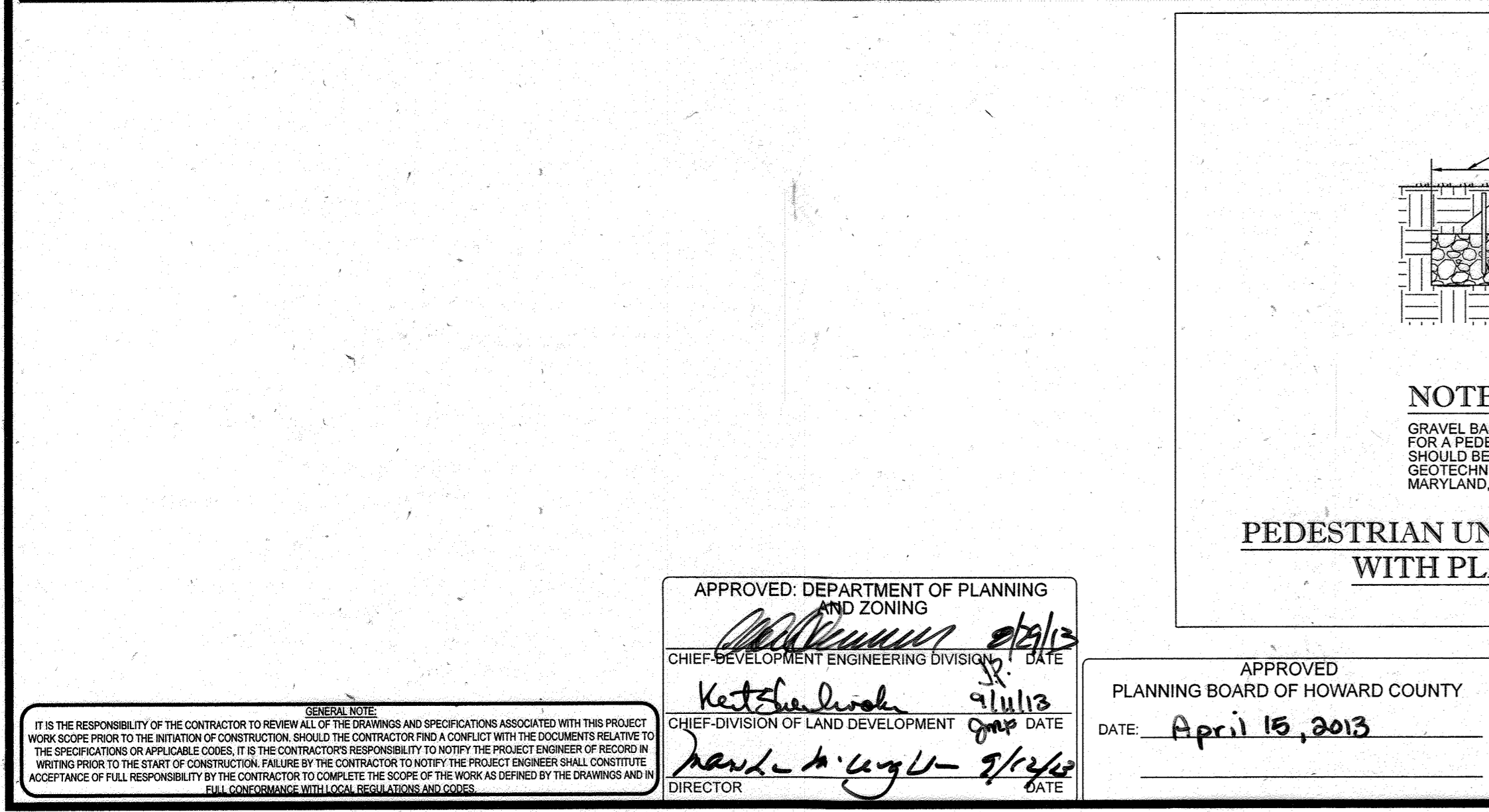
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	Type 'C' Endwall Circular Pipe
DATE	5/27/2013	NO.	D-5.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



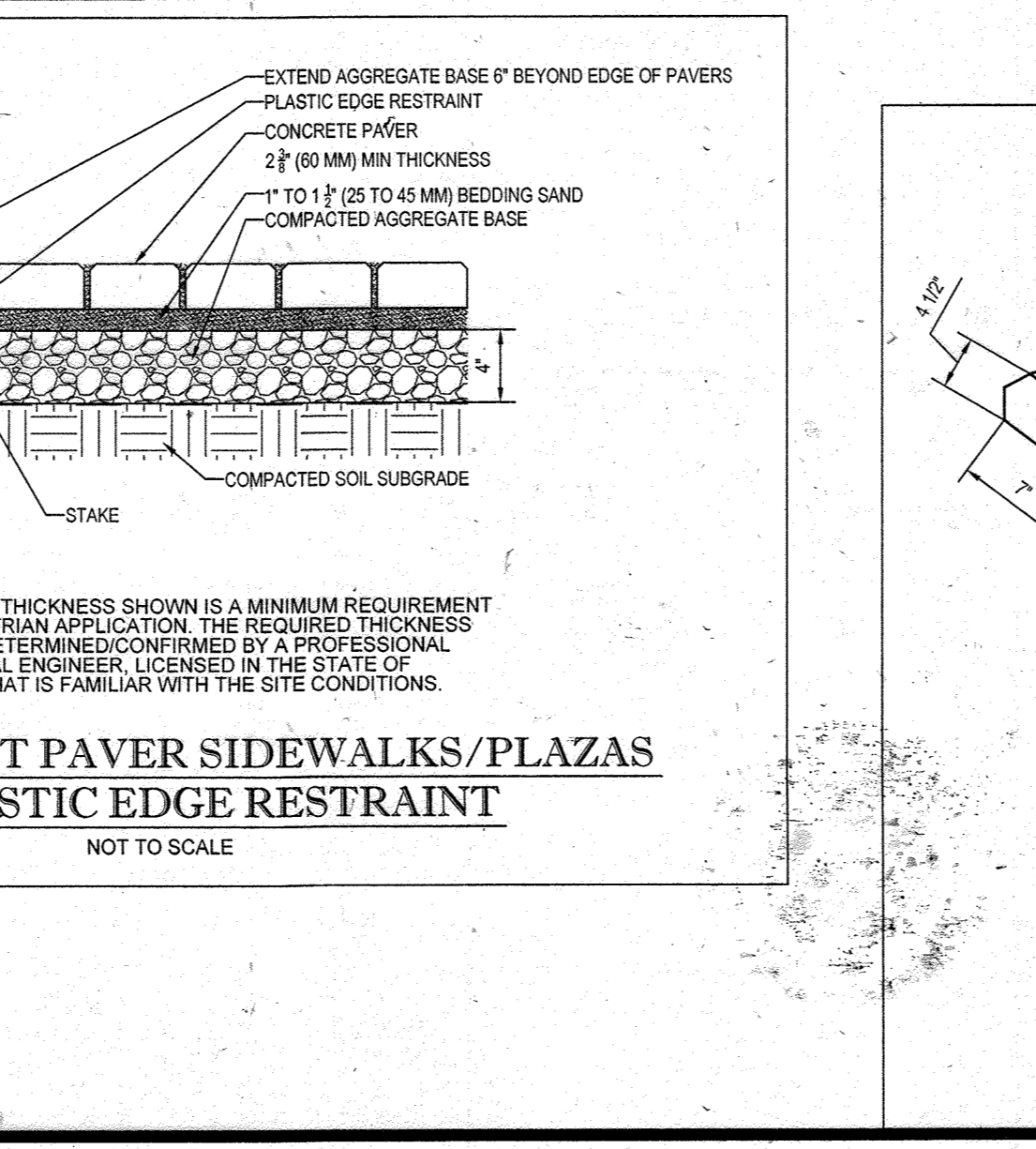
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	CURB AND GUTTER 7' & Modified
DATE	5/27/2013	NO.	R-3.01
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



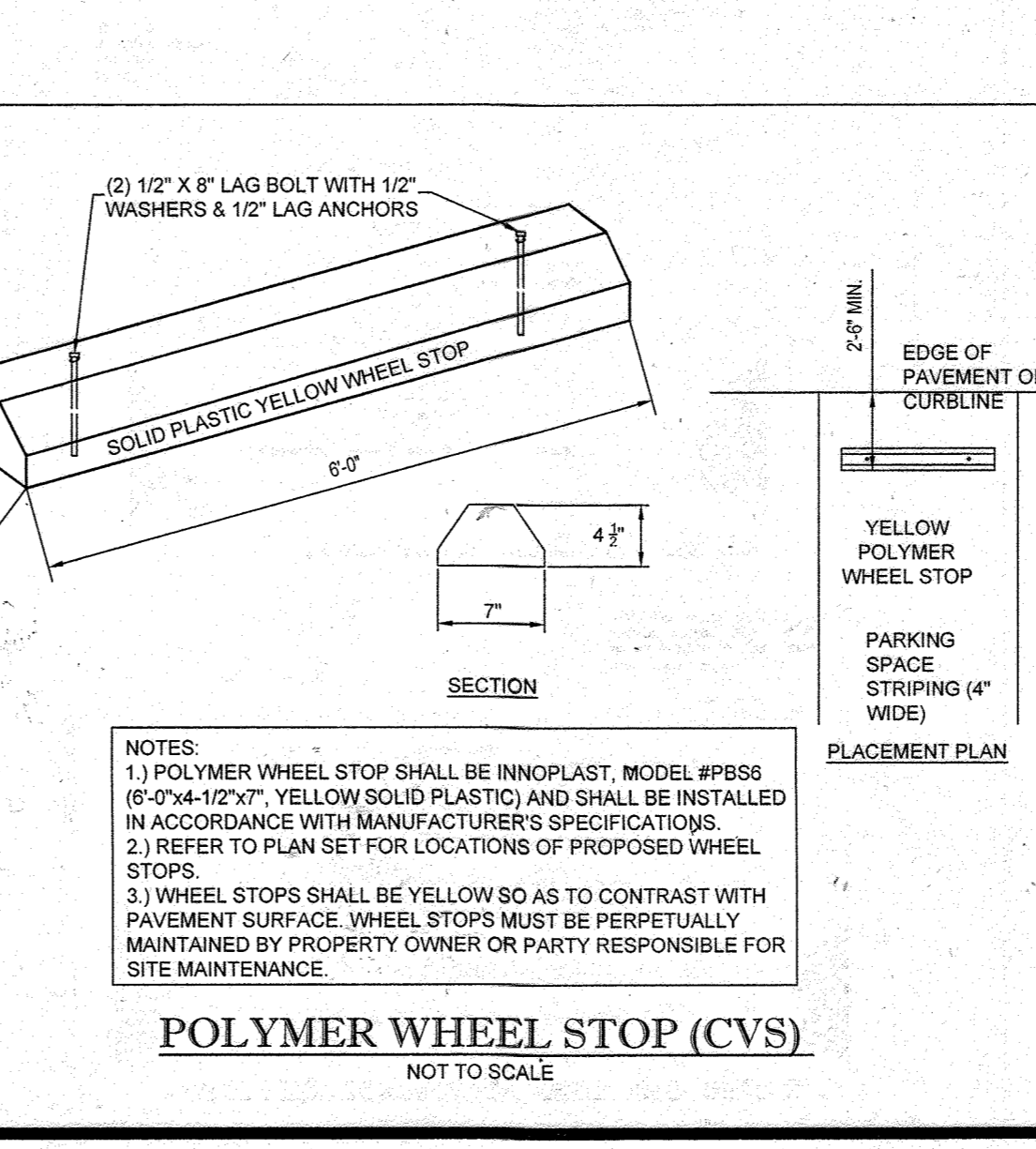
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	CURBS Hot Mix Asphalt & Concrete Barrier
DATE	5/27/2013	NO.	R-3.03
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



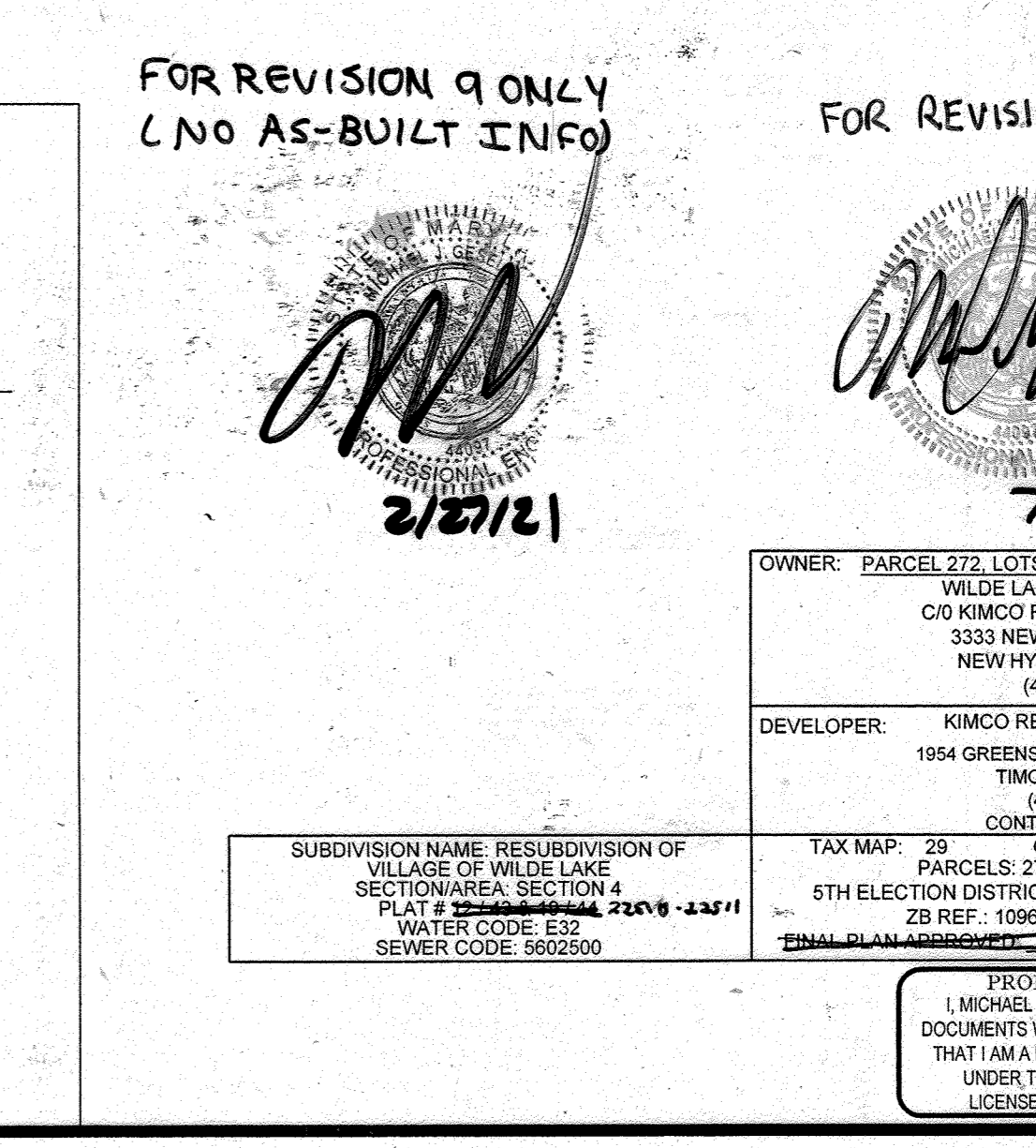
PROJECT	Howard County, Maryland Department of Public Works	DETAIL	PEDESTRIAN UNIT PAVER SIDEWALKS/PLAZAS WITH PLASTIC EDGE RESTRAINT
DATE	5/27/2013	NO.	D-5.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



PROJECT	Howard County, Maryland Department of Public Works	DETAIL	POLYMER WHEEL STOP (CVS)
DATE	5/27/2013	NO.	D-5.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



PROJECT	Howard County, Maryland Department of Public Works	DETAIL	HOT MIX ASPHALT CURB
DATE	5/27/2013	NO.	D-5.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		



PROJECT	Howard County, Maryland Department of Public Works	DETAIL	MODIFIED COMBINATION CURB AND GUTTER
DATE	5/27/2013	NO.	D-5.21
APPROVED	<i>[Signature]</i> Chief, Bureau of Engineering		

BOHLER ENGINEERING

CIVIL & CONSULTING ENGINEERS

OFFICES:

- WARREN, NY
- SOUTHBOURGH, MA
- BOWLING GREEN, OH
- STAMFORD, CT
- WARRINGTON, VA
- CHALFONTS, PA
- LANCASTER, PA
- TAMPA, FL
- PHILADELPHIA, PA

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

CONTRACT OFFICE:

WARREN, NY

REV	DATE	COMMENT	BY
5	02/11/16	REVISED NOTES 4, 5, 6, 8, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	MSJ
9	2/16/21	As-Built	MSJ

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE 811 (WV 1-800-245-4848) (PA 1-800-245-1778) (VA 1-800-555-7071) (MD 1-800-557-7777) (DE 1-800-292-8555)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002

DRAWN BY: RWS

CHECKED BY: MJG

DATE: 07/29/13

SCALE: NOT TO SCALE

CAD I.D.: SDZ

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21284

Phone: (410) 621-7907 Fax: (410) 621-7907 www.BohlerEngineering.com

PROFESSIONAL CERTIFICATION

7/29/13

SHEET TITLE: SITE DETAILS

SHEET NUMBER: 36 OF 91

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

[Signature]

CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

[Signature]

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 16, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

[Signature]

CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

[Signature]

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 16, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

[Signature]

CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

[Signature]

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 16, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

[Signature]

CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

[Signature]

APPROVED: PLANNING BOARD OF HOWARD COUNTY

DATE: April 16, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

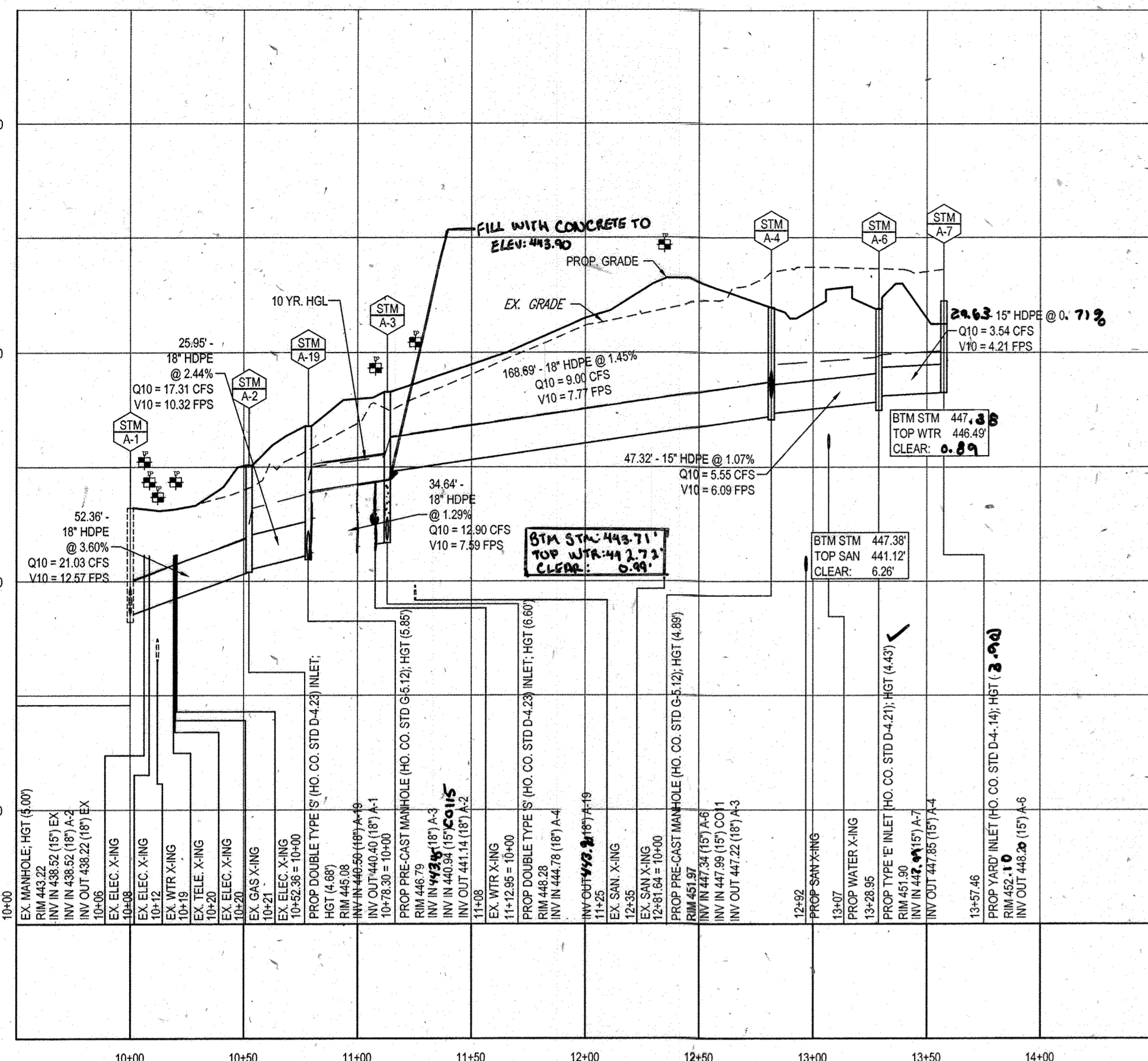
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CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

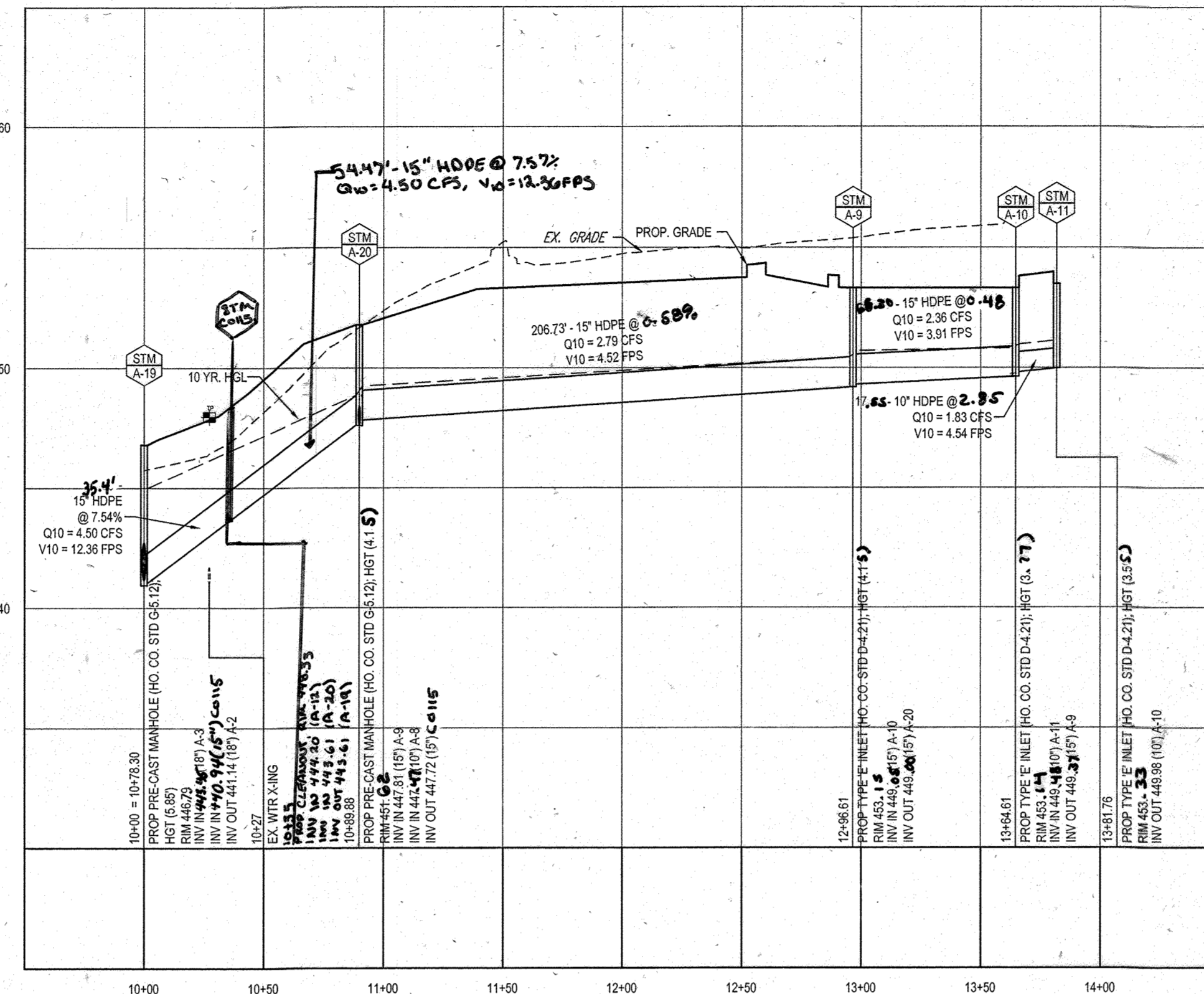
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APPROVED: PLANNING BOARD OF HOWARD COUNTY

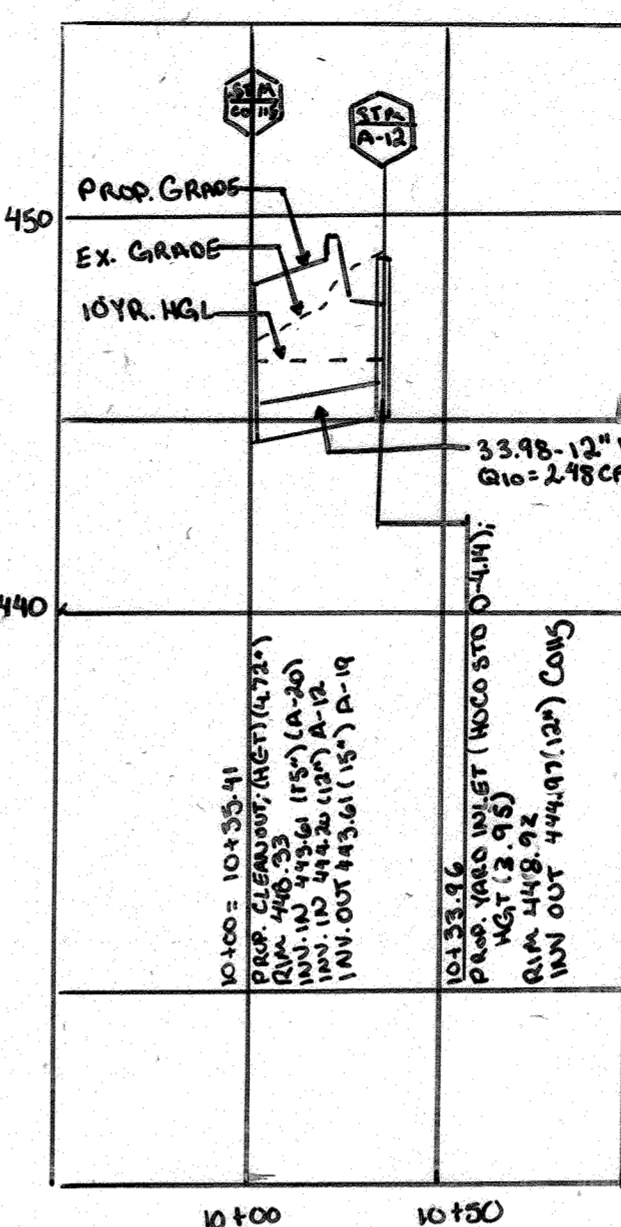
DATE: April 16, 2013



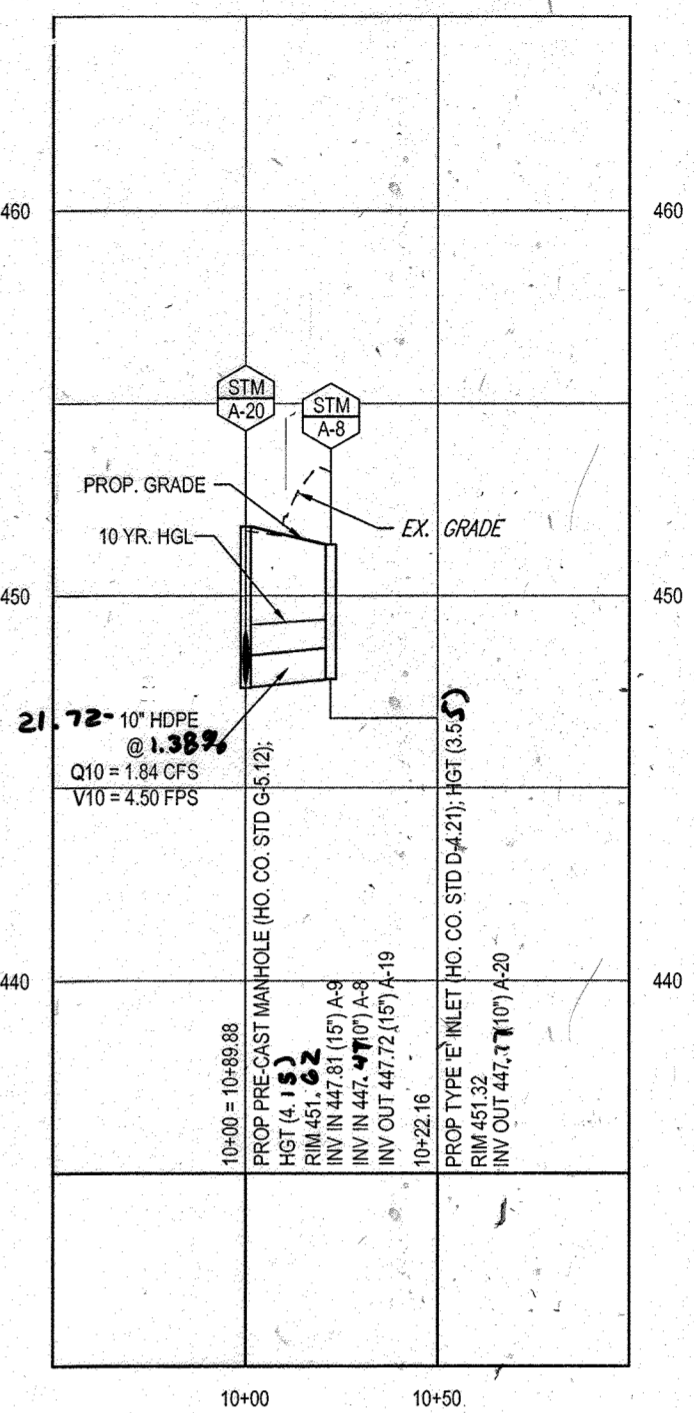
PROPOSED STORM PROFILE - (A-1 TO A-7)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



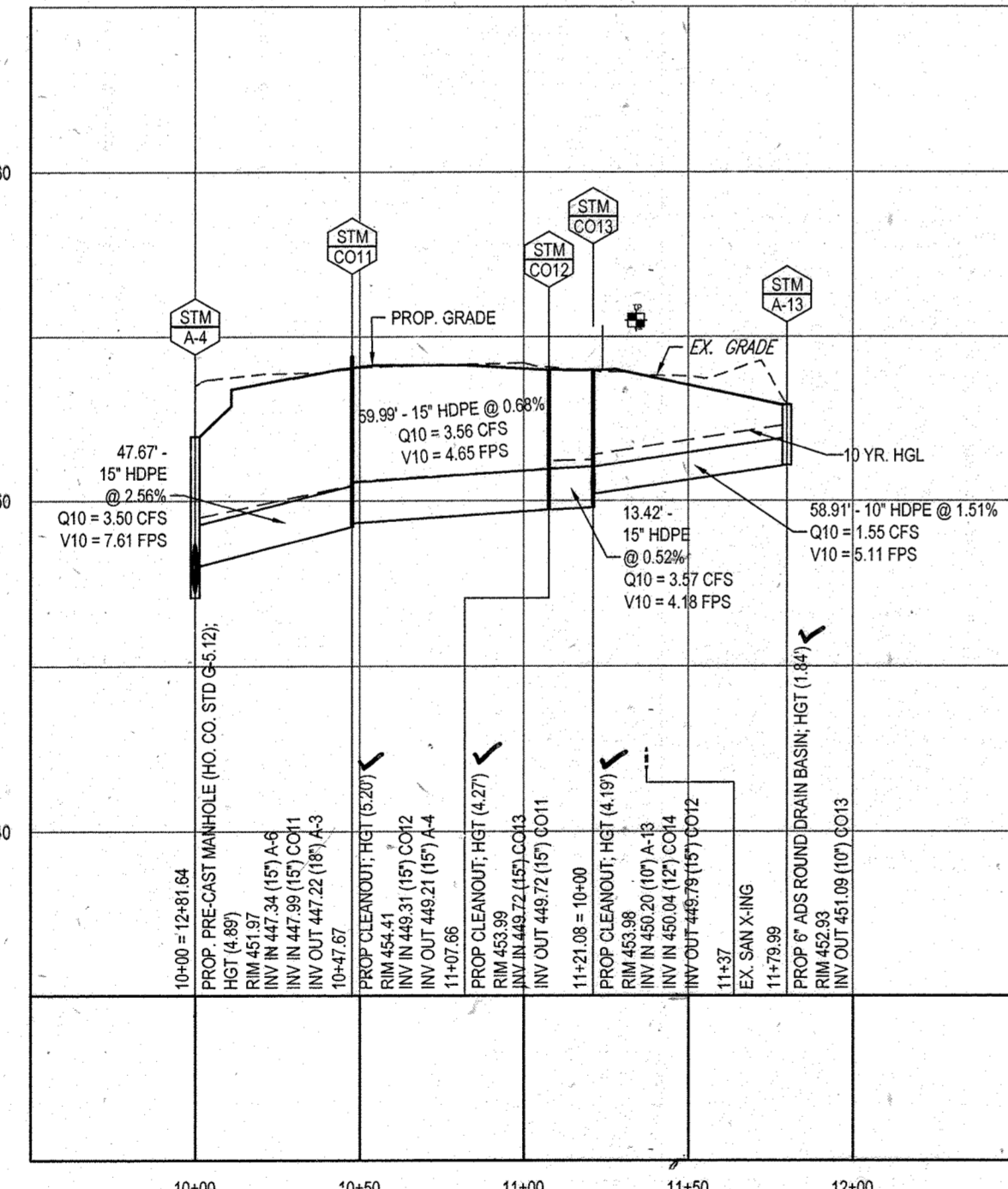
PROPOSED STORM PROFILE - (A-19 TO A-11)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



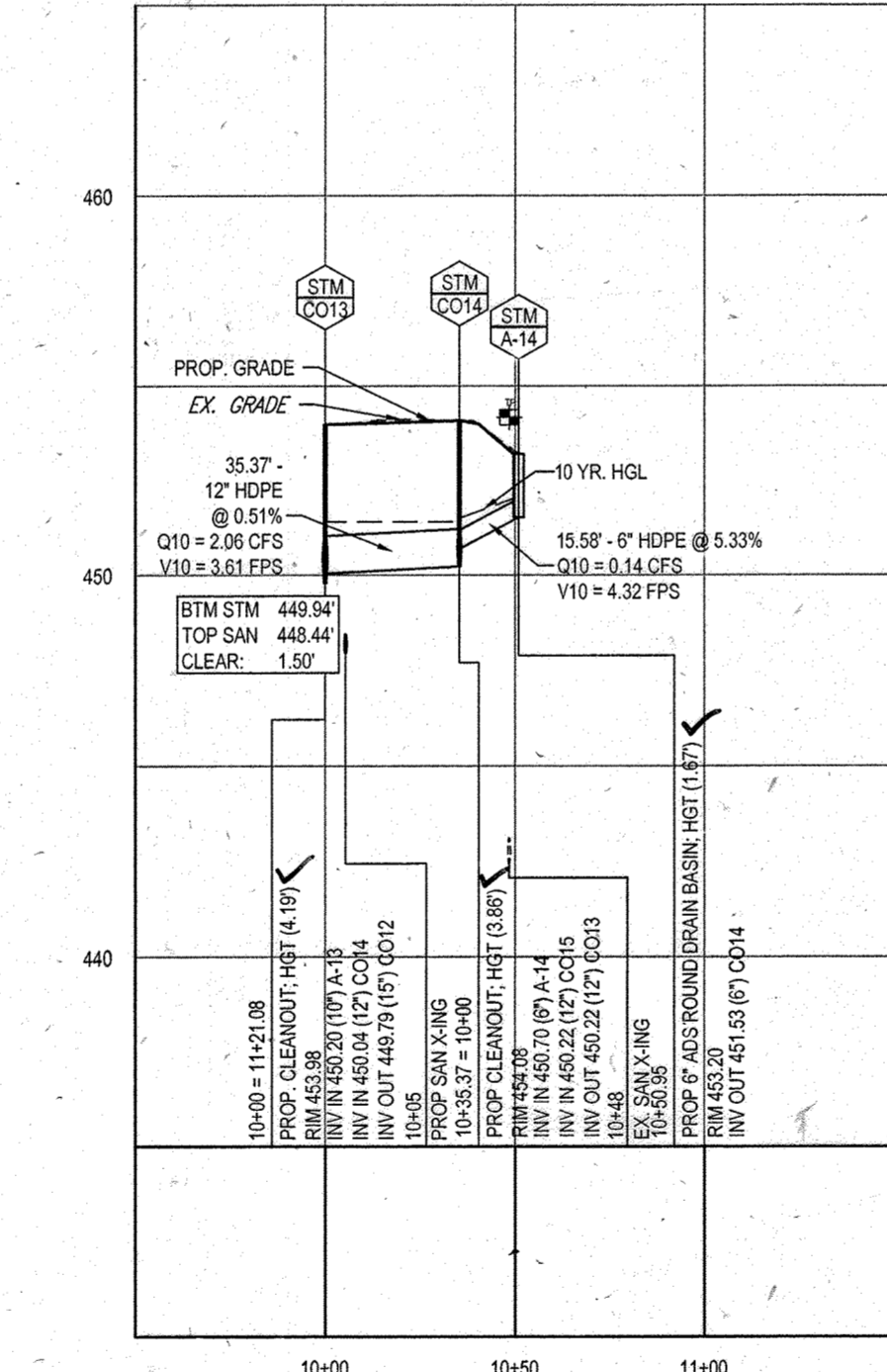
PROPOSED STORM PROFILE - (CO15 TO A-12)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



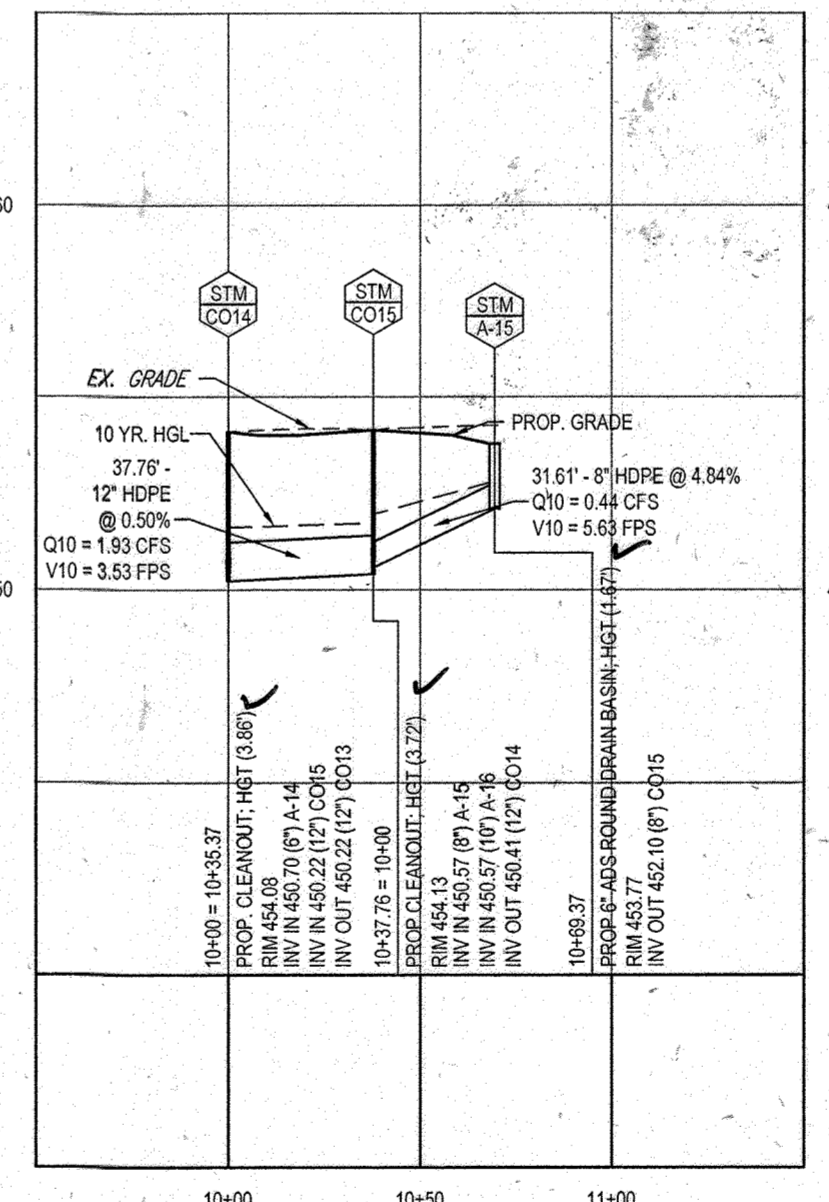
PROPOSED STORM PROFILE - (A-20 TO A-8)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



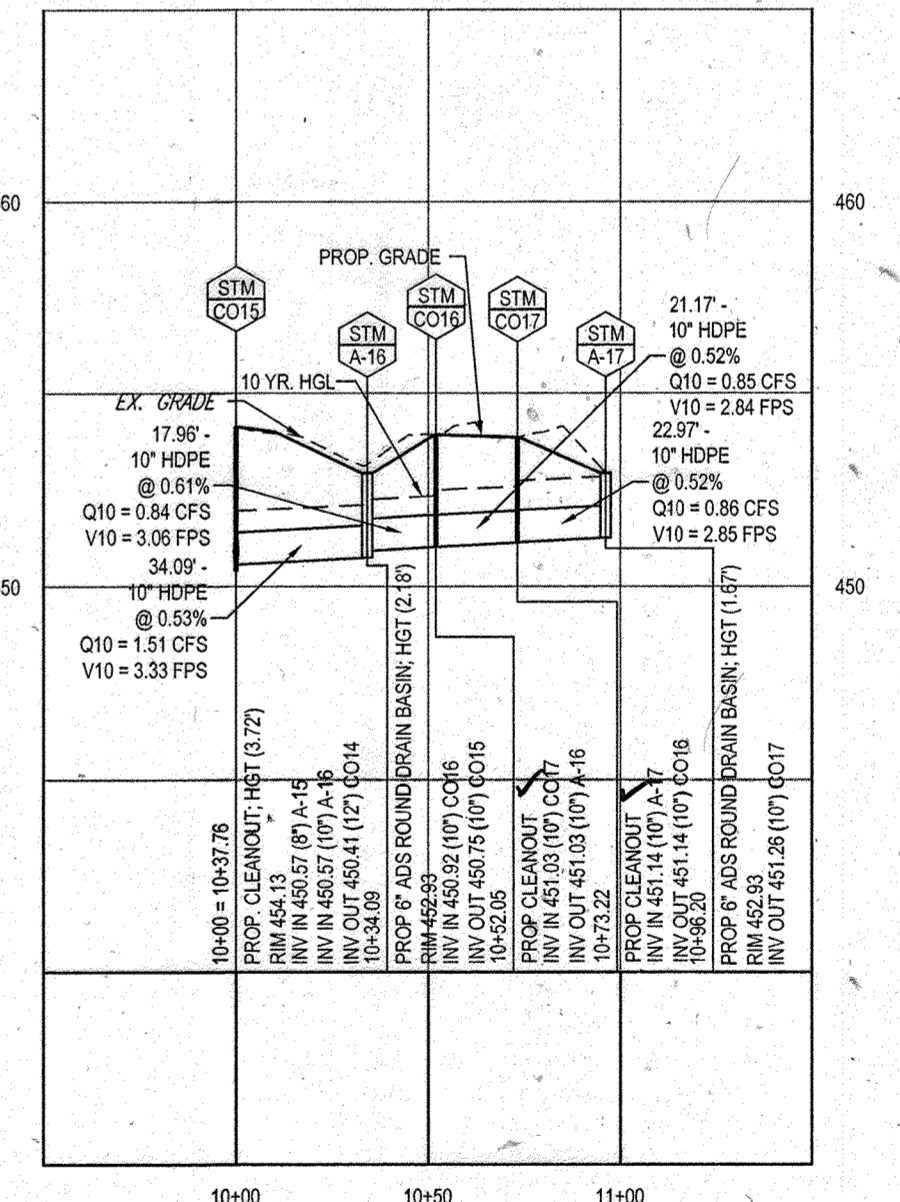
PROPOSED STORM PROFILE - (A-4 TO A-13)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



PROPOSED STORM PROFILE - (CO13 TO A-14)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



PROPOSED STORM PROFILE - (CO14 TO A-15)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



PROPOSED STORM PROFILE - (CO15 TO A-17)
SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

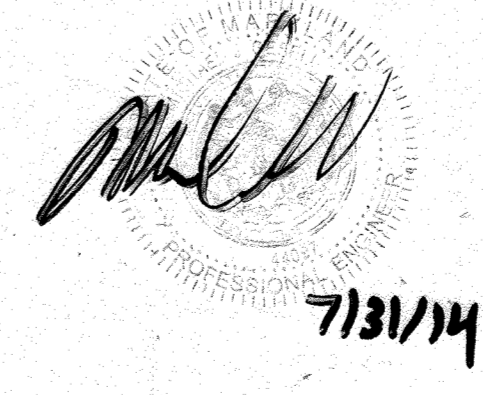
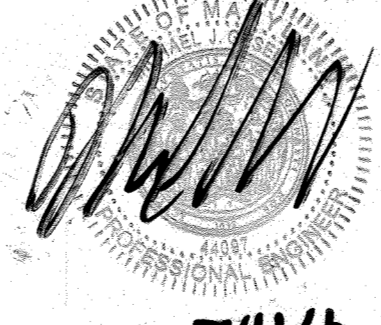
APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 9/11/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

FOR REVISION 9 ONLY (AS-BUILTS)

FOR REVISION 5 ONLY

FOR REVISION 2 ONLY



SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION: 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
PLAT: 2010-0044, 2010-0041, 2010-0042
WATER CODE: E32
SEWER CODE: 5602500

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21083
(410) 684-2000
CONTACT: GREG REED

TAX MAP: 29 GRID 28 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
28 REF.: 1098m SITE AREA: 10.21 AC
DATE: 10/20/09 QDZ REF.: SDP-13-046

SHEET TITLE:
STORMDRAIN PROFILES

SHEET NUMBER:
37
OF 91

SDP-13-046

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
• BOWEN, MD
• SOUTHBROROUGH, MA
• STRATFORD, CT
• WARRENTON, WA
• CHAMONT, PA
• PHILADELPHIA, PA
• TAMPA, FL

CIVIL & CONSULTING ENGINEERS
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT. Q10 FOR MULT. AND 18\"/>	
5	02/11/16	REVISED BLDGS 2, 3 & 10. 4\"/>	
9	2/10/21	AS-BUILTS	

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD059002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: AS NOTED
CAD I.D.: PAZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

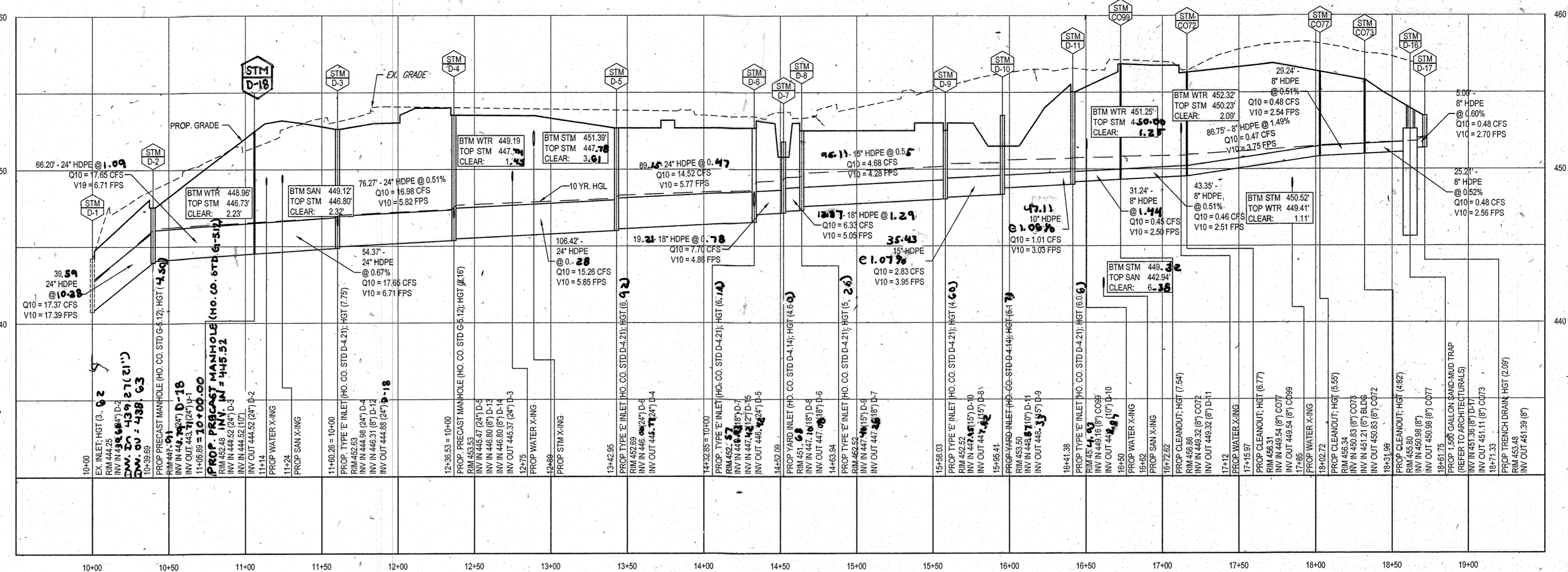
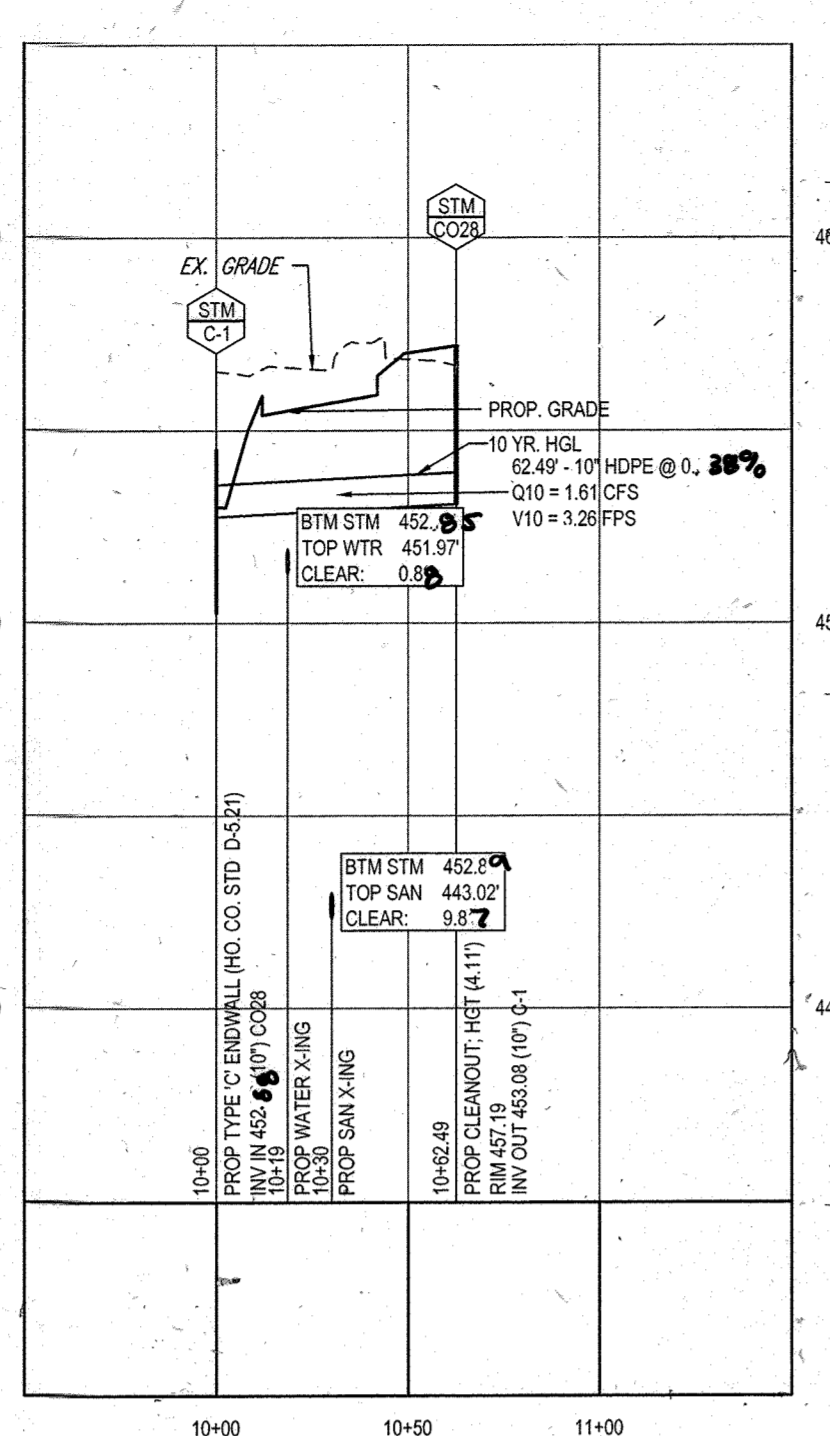
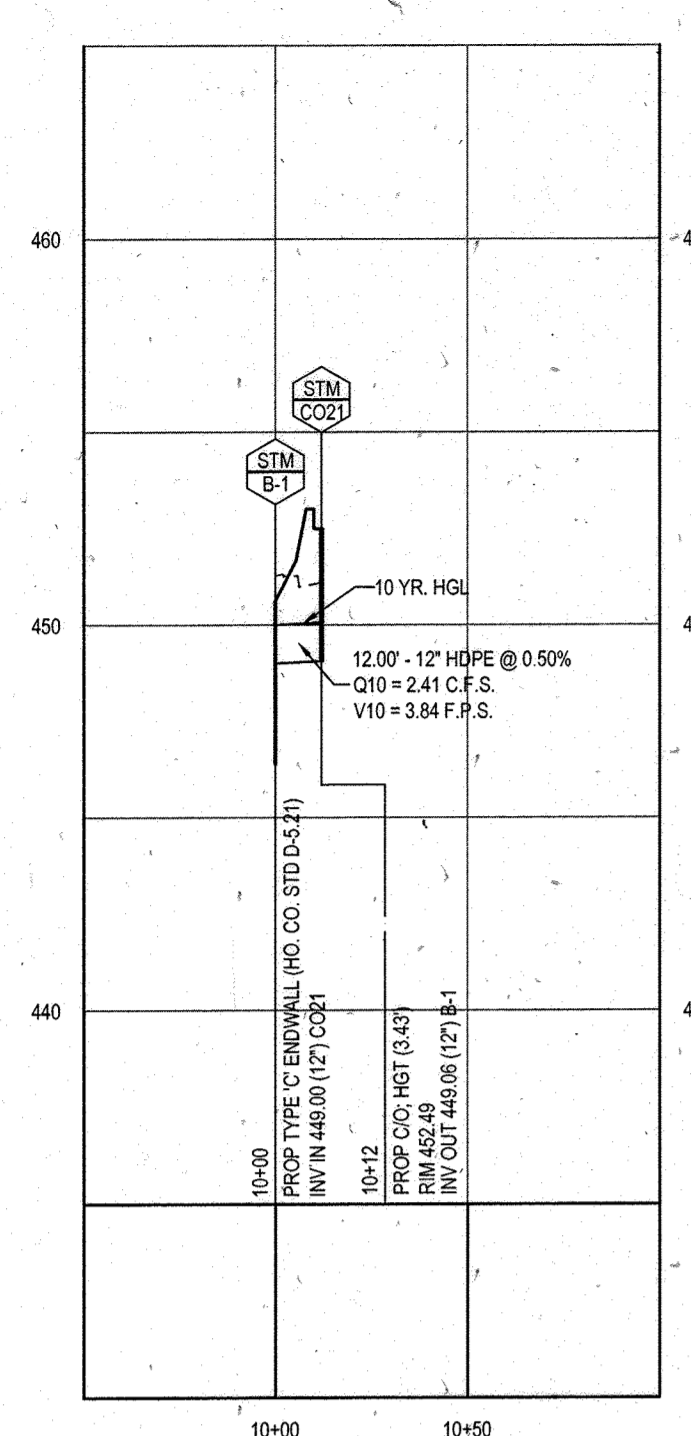
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GEZELL
PROFESSIONAL ENGINEER
STATE OF MARYLAND
LICENSE NO. 44097
EXPIRATION DATE: 6/30/21

7/29/13

7/31/14

7/11/16



PROPOSED STORM PROFILE - (B-1 TO CO21)

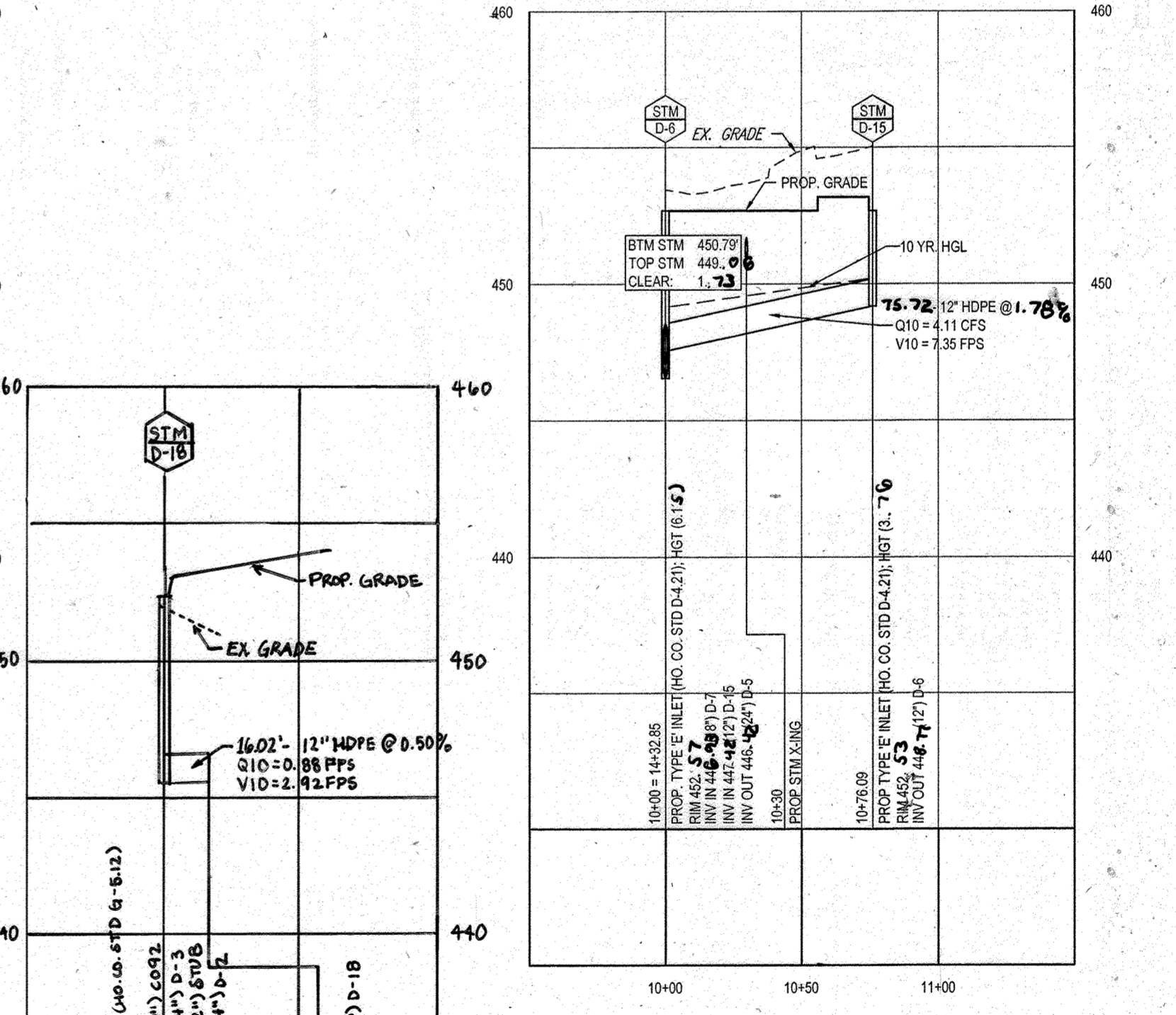
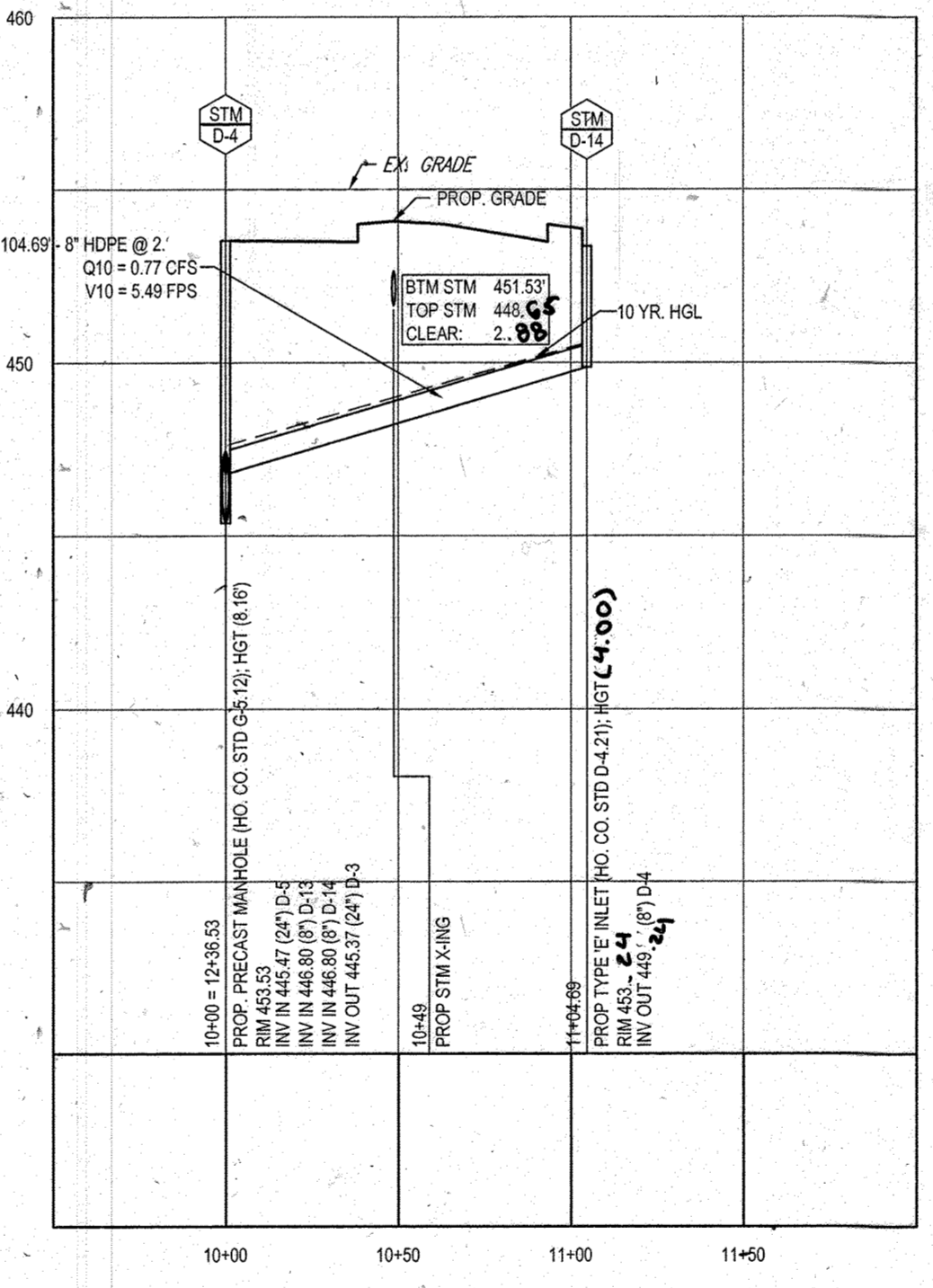
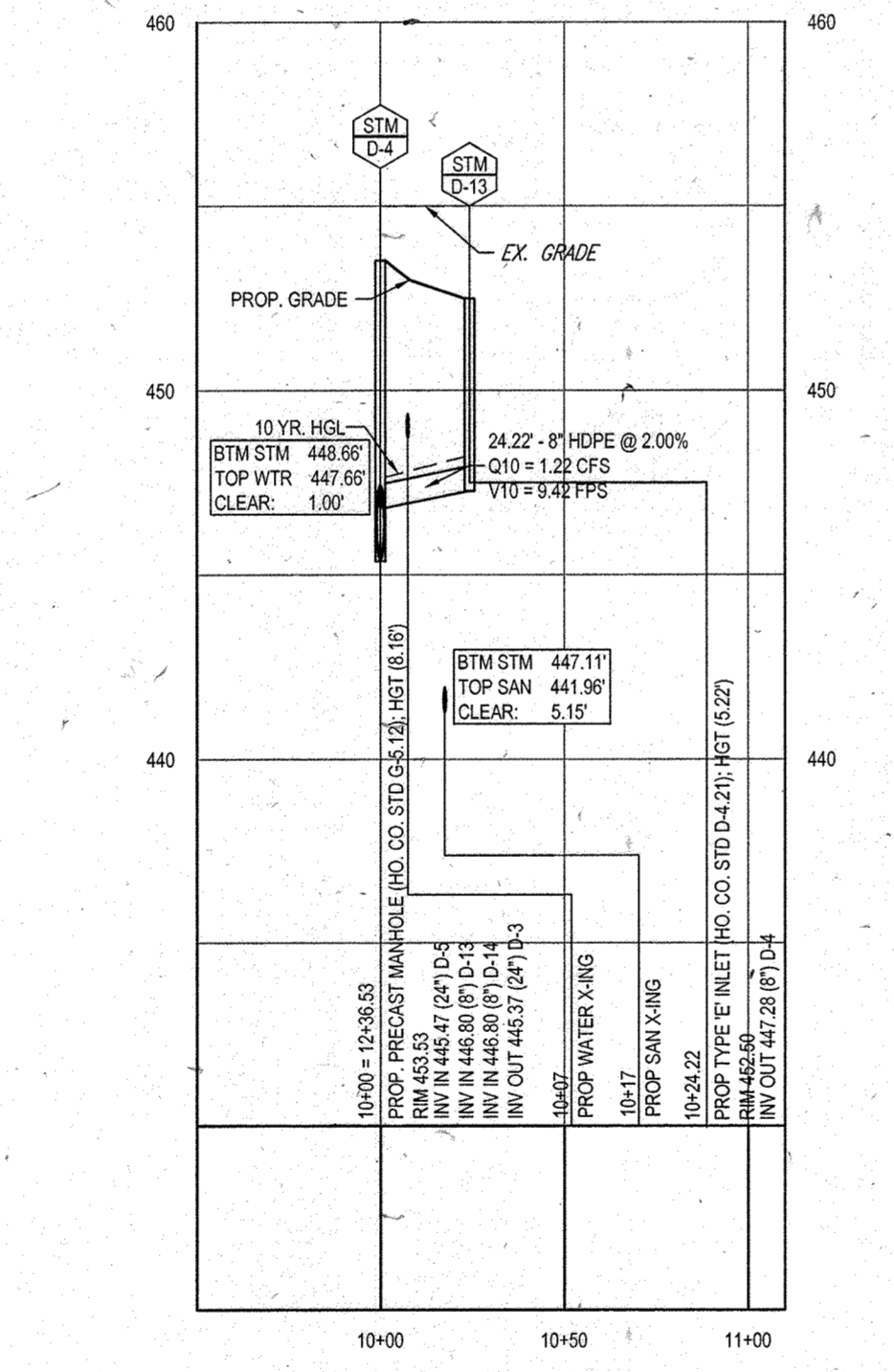
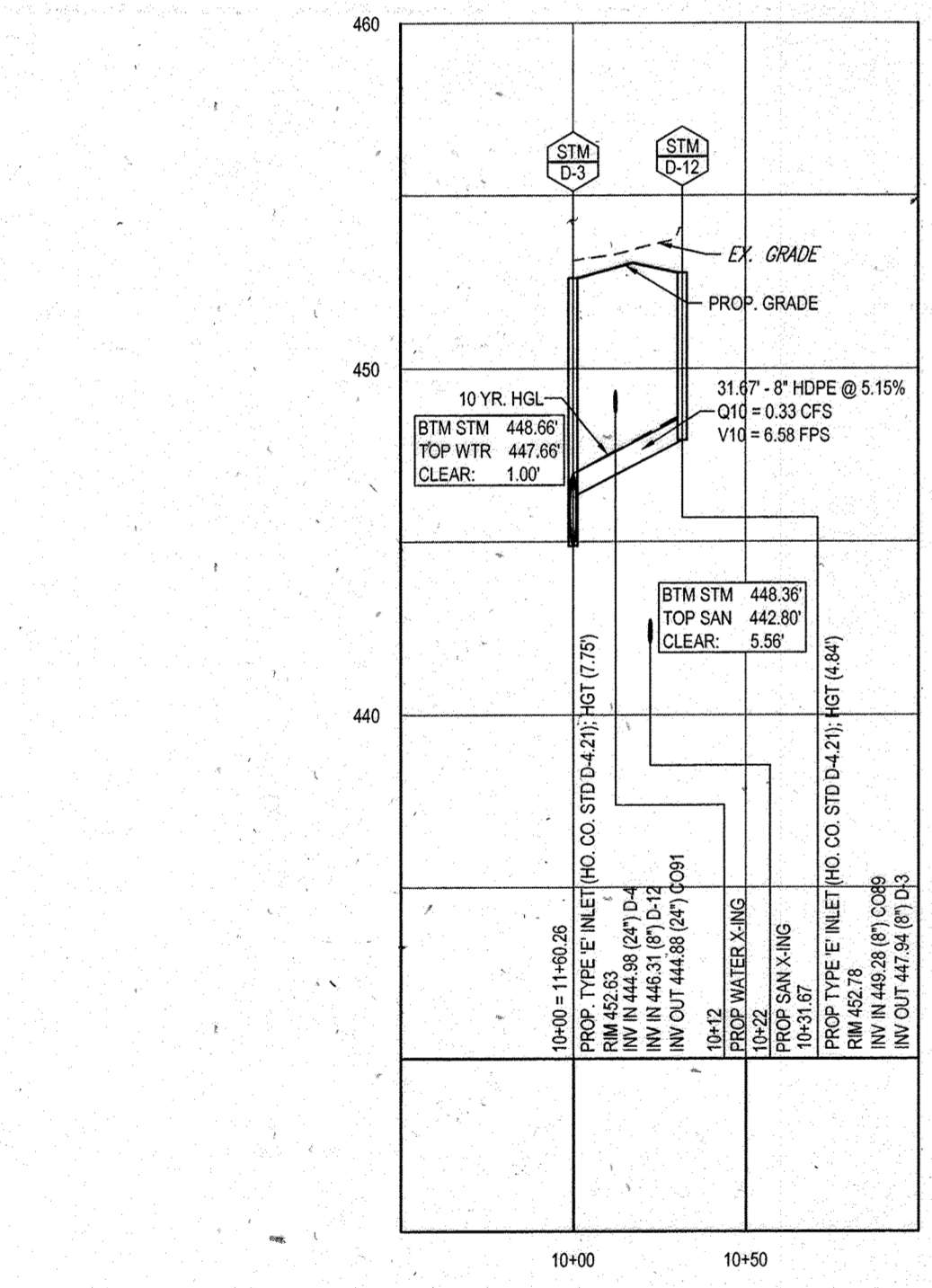
PROPOSED STORM PROFILE - (C-1 TO CO28)

PROPOSED STORM PROFILE - (D-1 TO D-17)

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL



PROPOSED STORM PROFILE - (D-3 TO D-12)

PROPOSED STORM PROFILE - (D-4 TO D-13)

PROPOSED STORM PROFILE - (D-4 TO D-14)

PROPOSED STORM PROFILE - (D-6 TO D-15)

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

FOR REVISION 5 ONLY:

[Handwritten signature]

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature]
 DATE: *2/13/13*

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

FOR REVISION 9 ONLY (AS-BUILTS)

[Handwritten signature]
 DATE: *2/12/12*

PROPOSED STORM PROFILE - (STUB TO D-18)

SCALE: 1"=50' HORIZONTAL
1"=5' VERTICAL

FOR REVISION 1 ONLY

[Handwritten signature]
 DATE: *3/17/14*

GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IN THE EVENT OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN ACCORDANCE WITH LOCAL REGULATIONS AND CODES.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature]
 DATE: *2/13/13*

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

[Handwritten signature]
 DATE: *2/12/12*

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4 PLAT 272
 WATER CODE: E32
 SEWER CODE: 6602500

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1664 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000

CONTACT: GREG REED

TAX MAP: 29 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 TRN-2-D-1A-MAN-06-06-06-06
 CONTACT: GREG REED

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44087 EXPIRATION DATE: 6/20/21

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
 WARREN, NJ

OFFICES:
 BOWNE, MD
 STERLING, VA
 ROCKVILLE, VA
 CENTER VALLEY, PA
 PHILADELPHIA, PA

OTHER OFFICES:
 SOUTH BOROUGHS, MA
 FORT LAUDERDALE, FL
 TAMPA, FL

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	EBH
5	02/11/14	REVISED BLDGS 2, 3, 4, 5 AND PARKING 2, 3, 4	DSH
9	2/12/12	AS-BUILTS	WBS

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE 8111
 (WV 1-800-245-6848) (PA 1-800-242-1776) (DE 1-800-352-2000) (MD 1-800-552-1000) (1-800-251-1777) (1-800-252-8559)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: AS NOTED
 CAD ID.: PB2

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD

GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

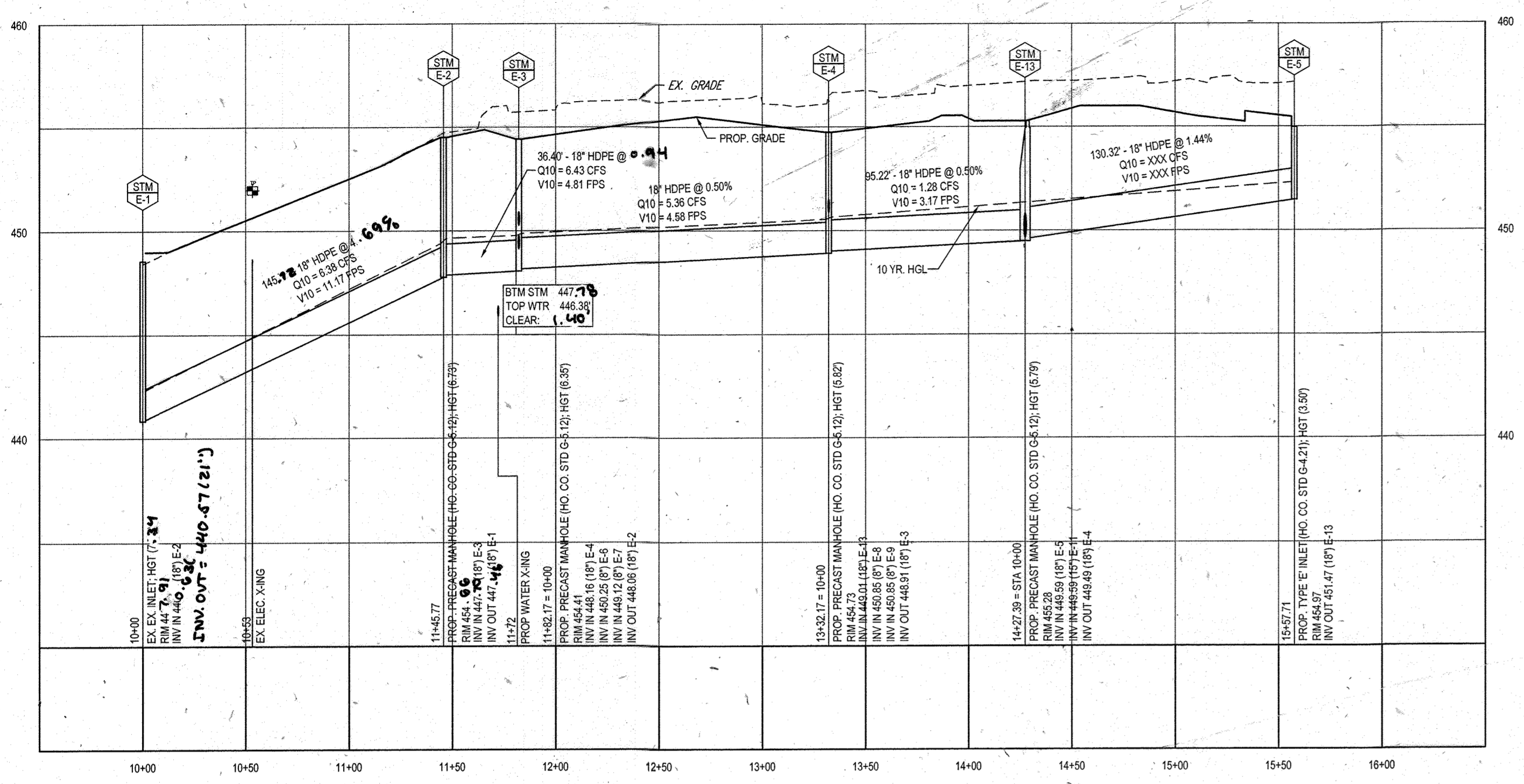
MICHAEL J. GESELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44087
 EXPIRATION DATE: 6/20/21

STORM DRAIN PROFILES

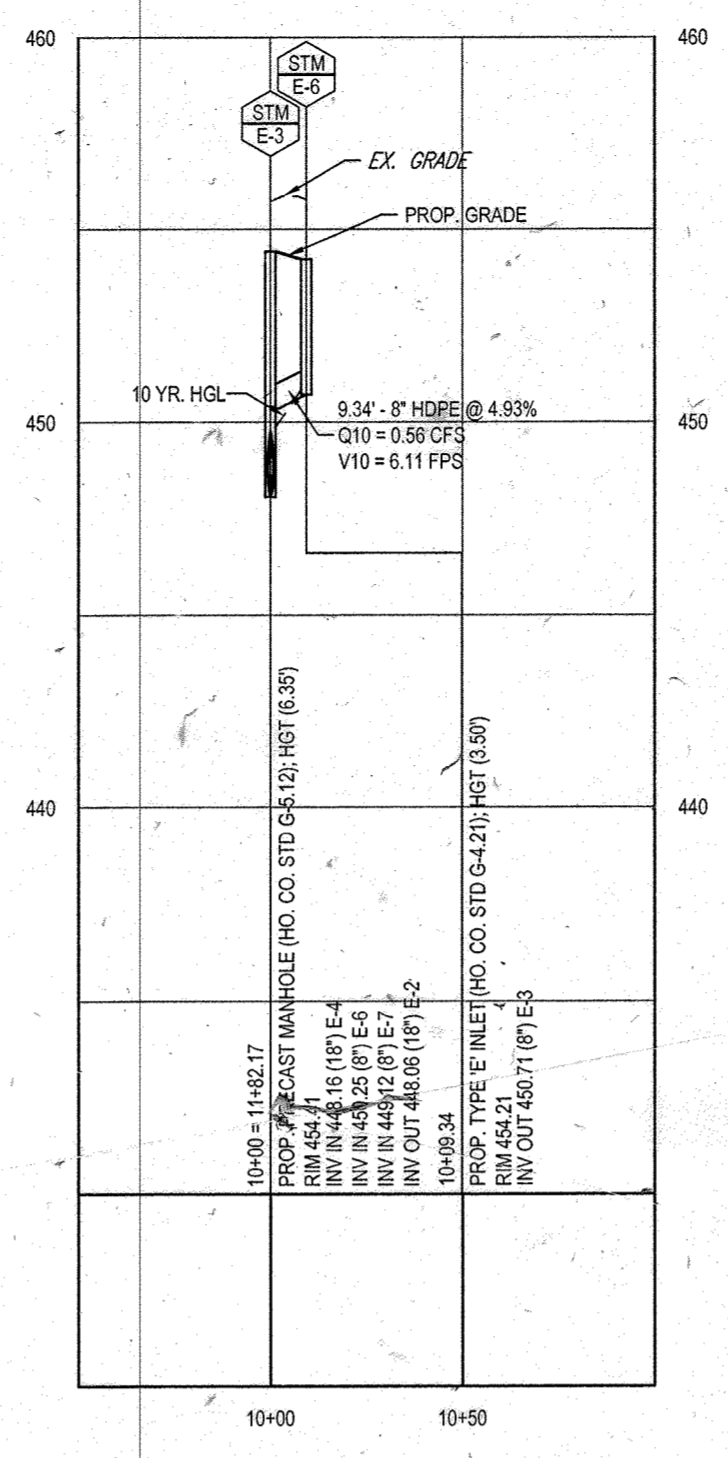
SHEET TITLE:
STORM DRAIN PROFILES

SHEET NUMBER:
38
 OF 91

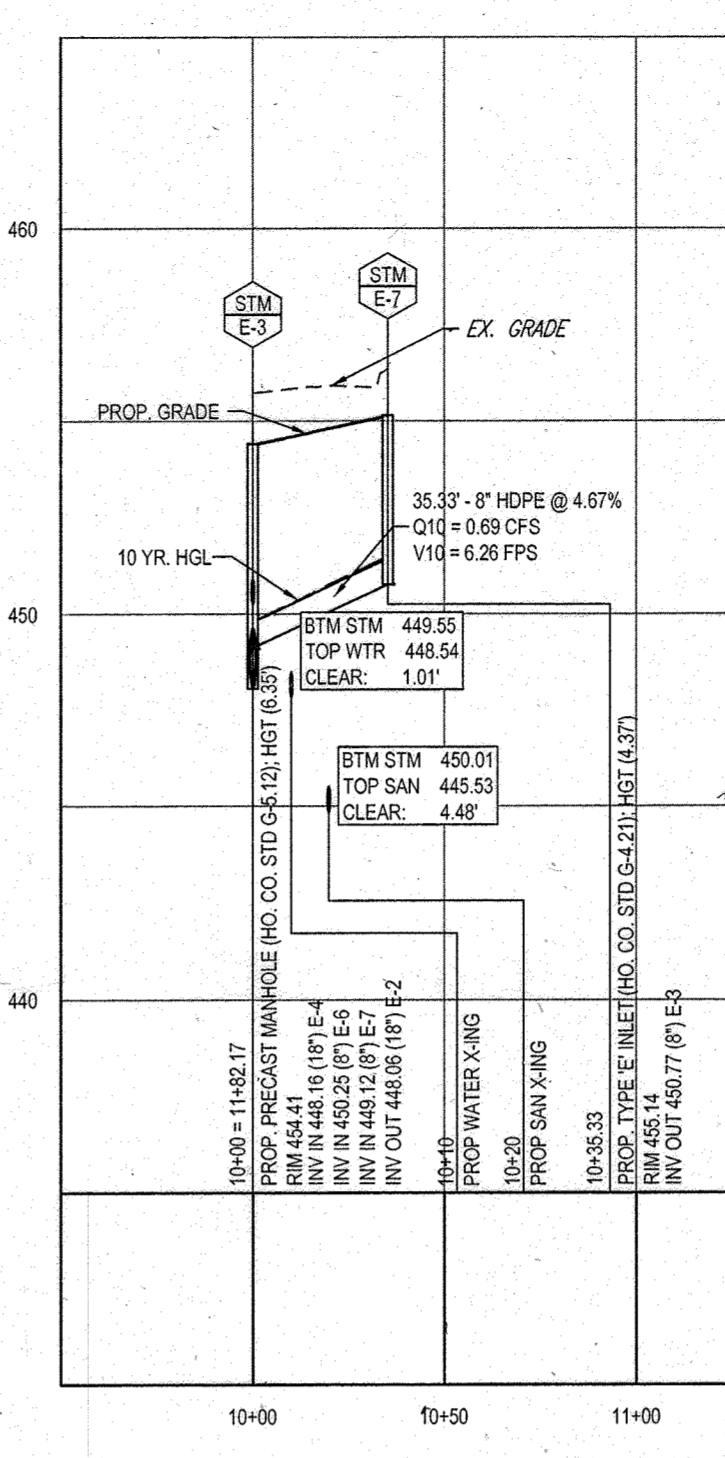
SDP-13-046



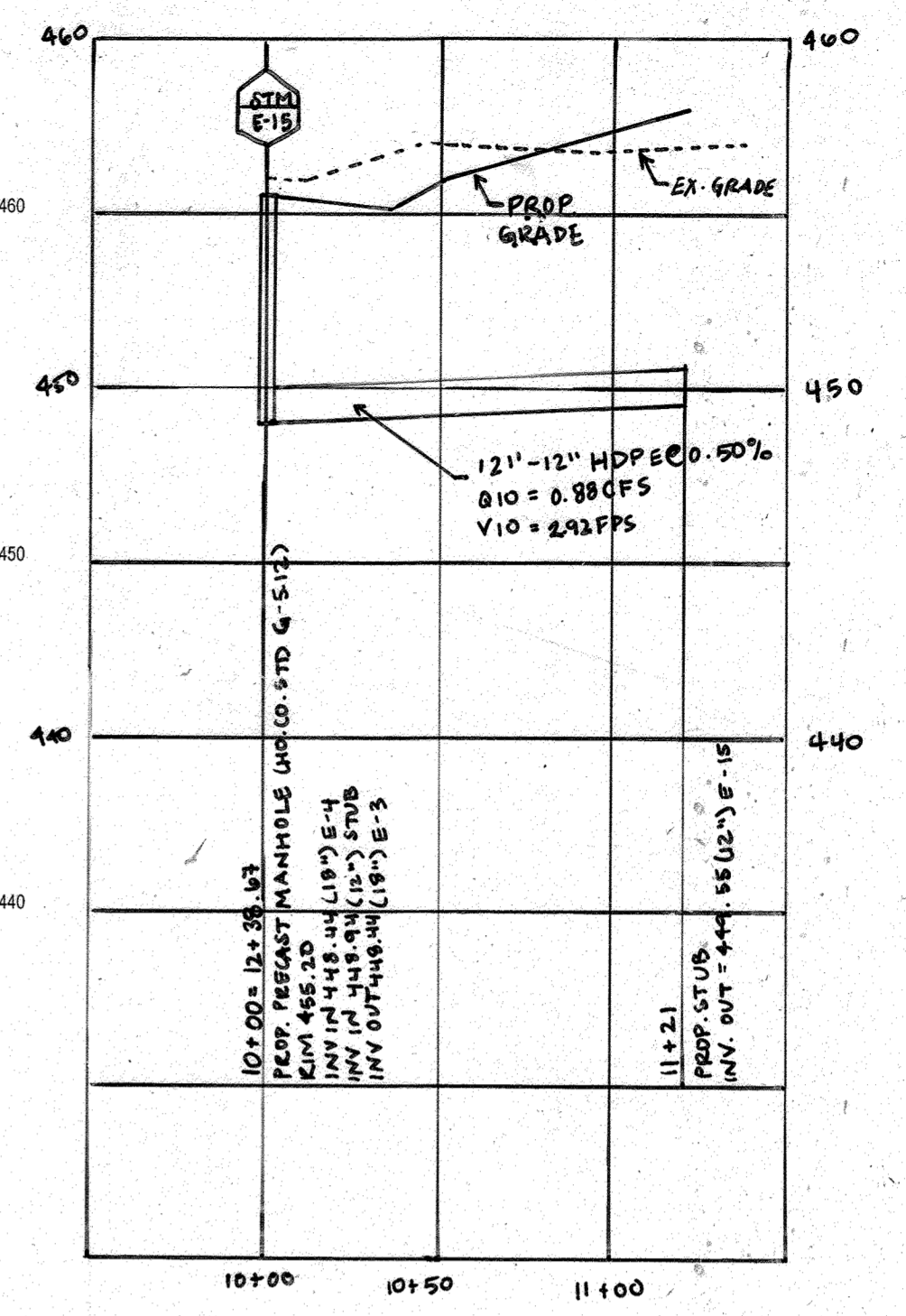
PROPOSED STORM PROFILE - (E-1 TO E-5)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



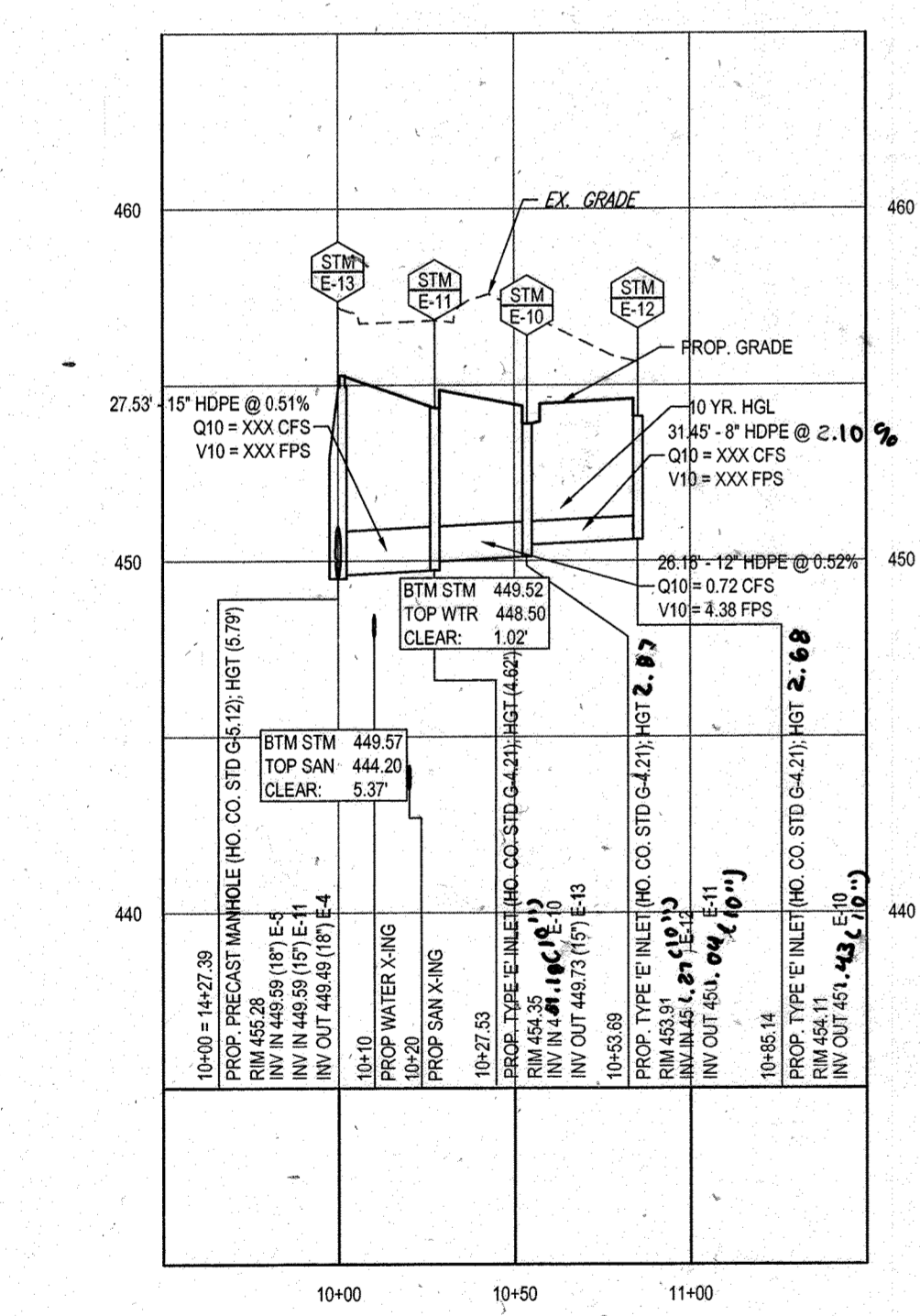
PROPOSED STORM PROFILE - (E-3 TO E-6)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



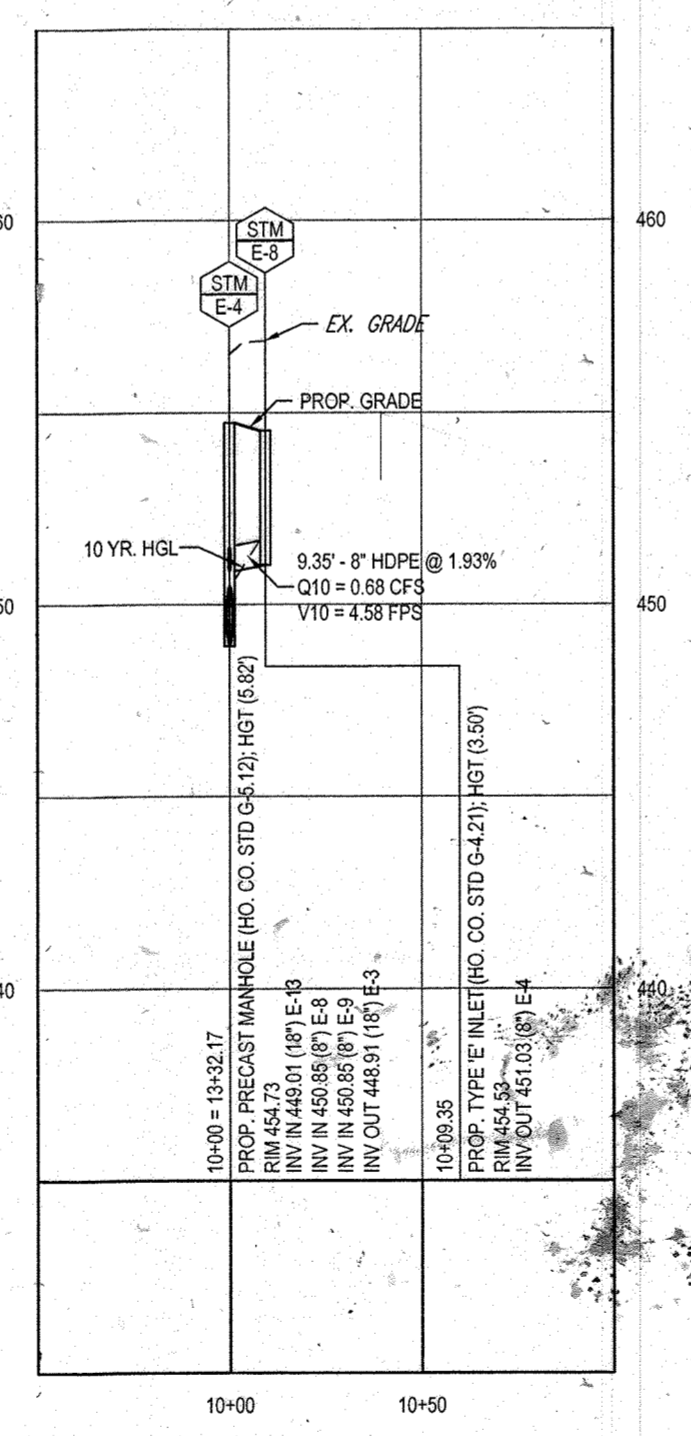
PROPOSED STORM PROFILE - (E-3 TO E-7)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



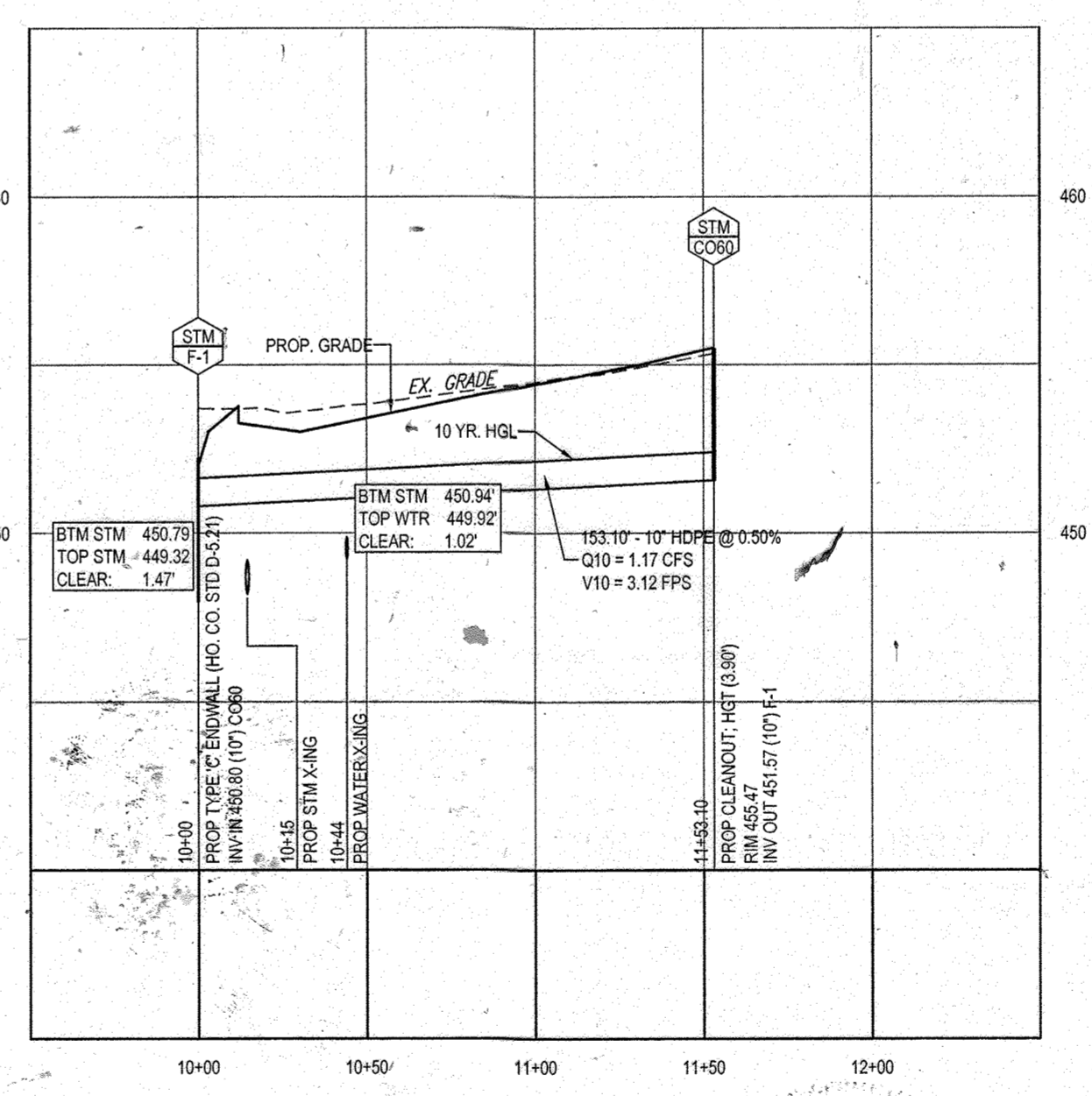
PROPOSED STORM PROFILE - (STUB TO E-15)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



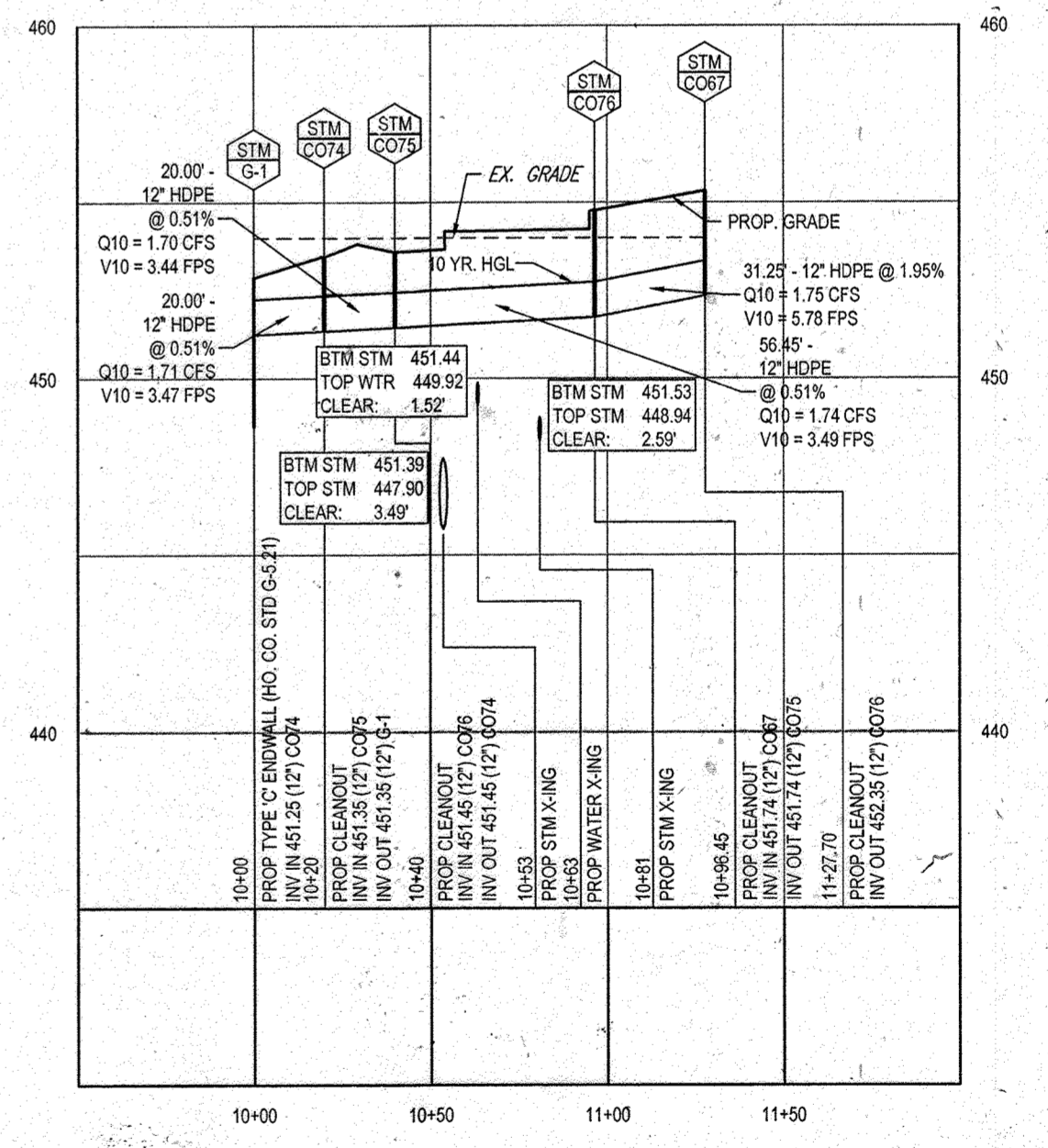
PROPOSED STORM PROFILE - (E-13 TO E-12)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



PROPOSED STORM PROFILE - (E-4 TO E-8)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



PROPOSED STORM PROFILE - (F-1 TO CO60)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL



PROPOSED STORM PROFILE - (G-1 TO CO67)
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 9/11/13
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

FOR REVISION 9 ONLY (AS-BUILTS)



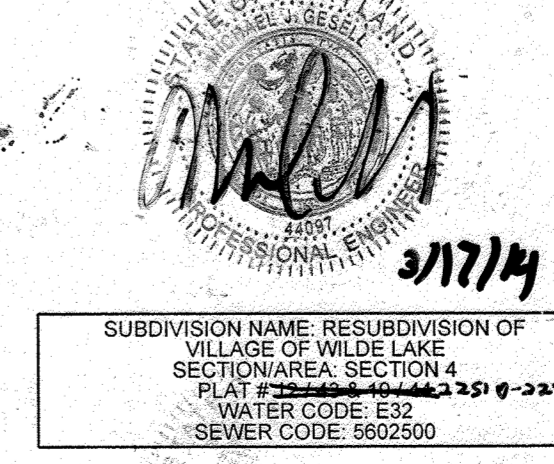
FOR REVISION 5 ONLY:



FOR REVISION 2 ONLY



FOR REVISION 1 ONLY



OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21083
(410) 684-2000
CONTACT: GREG REED
TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS: A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1096R SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GEZELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/20

BOHLER ENGINEERING
CORPORATE OFFICE:
WARREN, NJ
OFFICES:
SOUTHROCK, VA
BOWLING GREEN, OH
WARRINGTON, VA
STERLING, VA
CHAMBERSBURG, PA
TAMPA, FL
PHILADELPHIA, PA
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS
SURVEYORS

REV	DATE	COMMENT	BY
1	04/10/14	REVISED UTILITY LAYOUT	RDW
2	5/16/14	REVISED STORM DRAIN LAYOUT BLOCK FOOTPRINTS + WATER MAIN CONNECTION	TMA
5	04/11/16	REVISED RISE 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	RDW

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 511 (VA) 1-800-665-7000 (MD) 1-800-521-7777 (DE) 1-800-282-8555

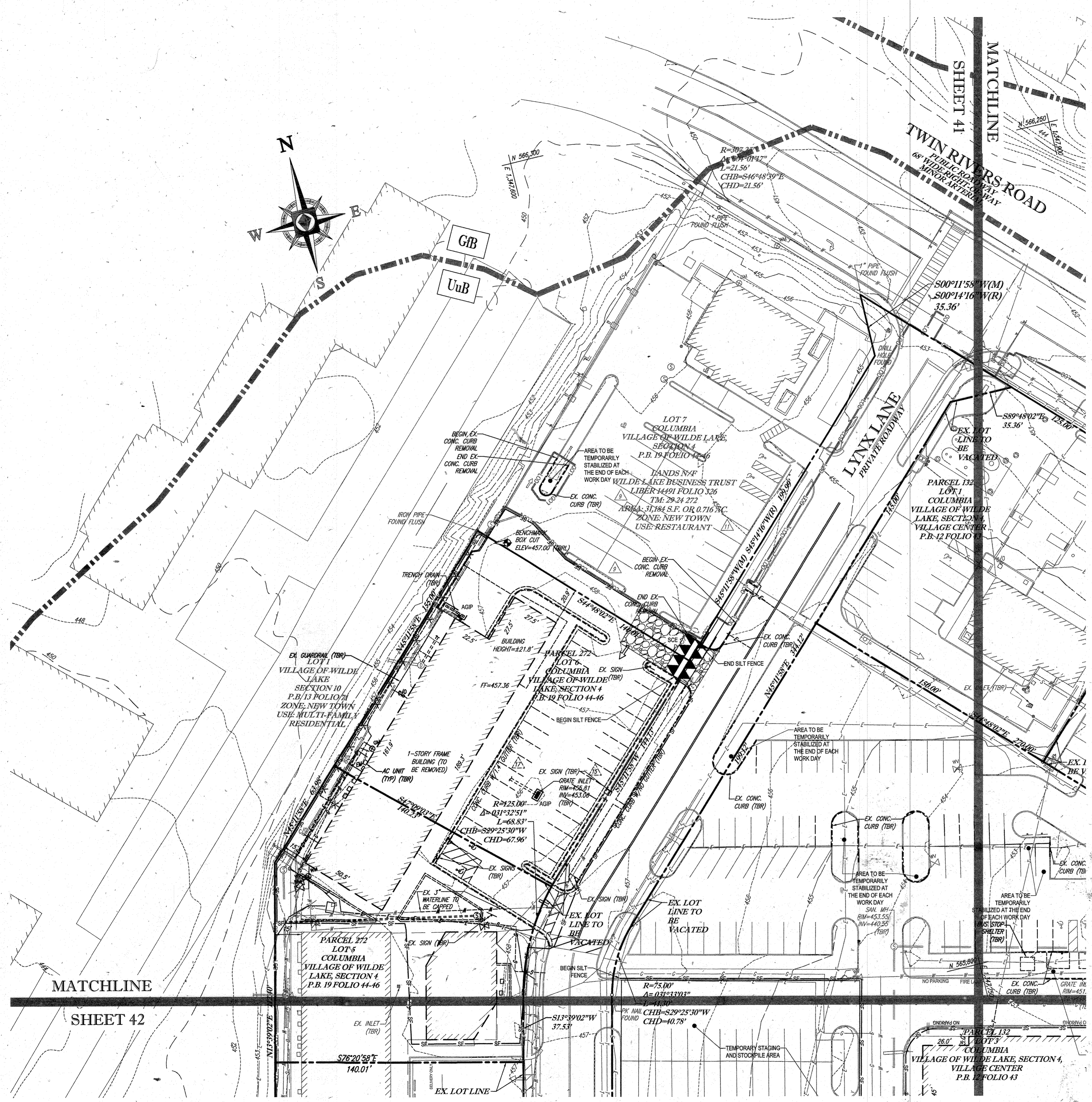
APPROVED FOR CONSTRUCTION
PROJECT NO.: MD050502
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: AS NOTED
CAD ID.: PES

PROJECT: **SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION**
LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GEZELL
PROFESSIONAL ENGINEER
7/29/13

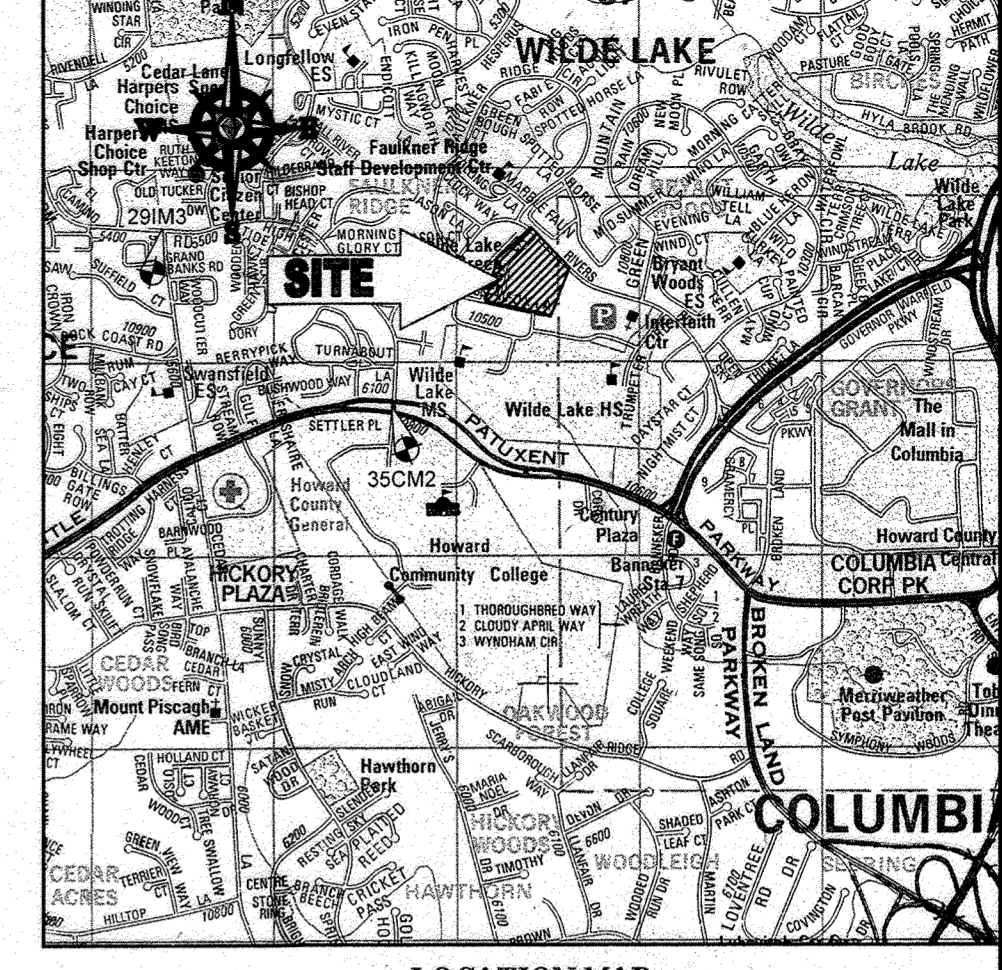
SHEET TITLE: **STORMDRAIN PROFILES**
SHEET NUMBER: **39**
OF 91
SDP-13-046



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGIP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 2002153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934.1 K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3. THESE WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PERMITS FOR ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UUB	URBAN LAND - URBORNTHERNS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: [Signature] DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: [Signature] DATE: 7/11/16
 TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000

TAX MAP: 29 GRD: 24 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1099m SITE AREA: 10.21 AC
 WATER CODE: E32 DPZ REF: SDP-13-046
 SEWER CODE: 5602500

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44697, EXPIRATION DATE: 6/30/21

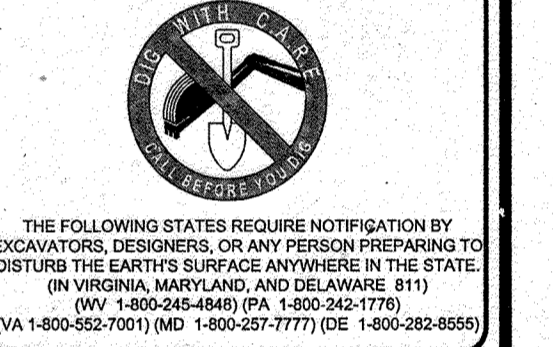
BOHLER ENGINEERING

CORPORATE OFFICE:
 WARREN, NJ

OTHER OFFICES:
 FORT LAUDERDALE, FL
 TAMPA, FL
 MIAMI, FL
 MIAMI BEACH, FL
 MIAMI GARDENS, FL
 MIAMI LAKES, FL
 MIAMI SPRING, FL
 MIAMI VILLE, FL
 MIAMI WOODS, FL
 MIAMI BEACH, FL
 MIAMI GARDENS, FL
 MIAMI LAKES, FL
 MIAMI SPRING, FL
 MIAMI VILLE, FL
 MIAMI WOODS, FL

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	DSH
9	2/10/21	AS-BUILT	MSD



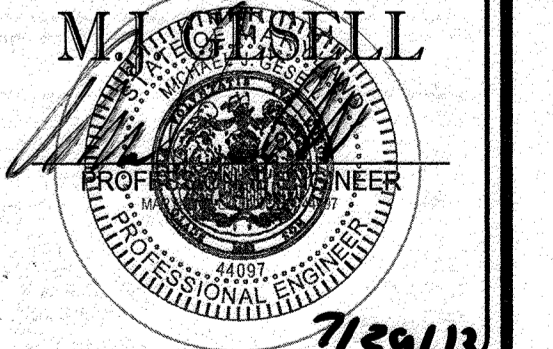
APPROVED FOR CONSTRUCTION

PROJECT No: MD069002
 DRAWN BY: RUS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EA2

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7900
 www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN
 PHASE I EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER:
40
 OF 91

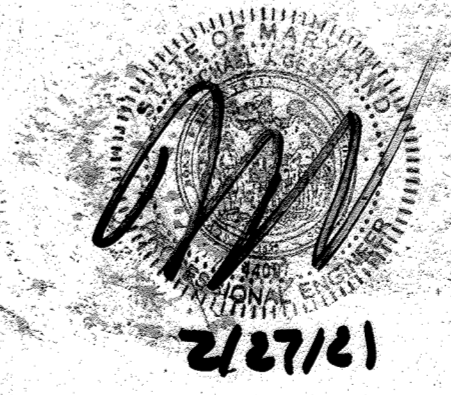
SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 8/21/13
 CHIEF DEVELOPMENT ENGINEERING DIVISION

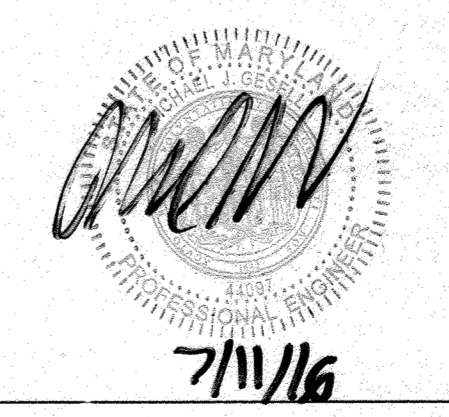
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OR CONCERNS REGARDING THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CODES AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT AND GENERAL REGULATIONS.

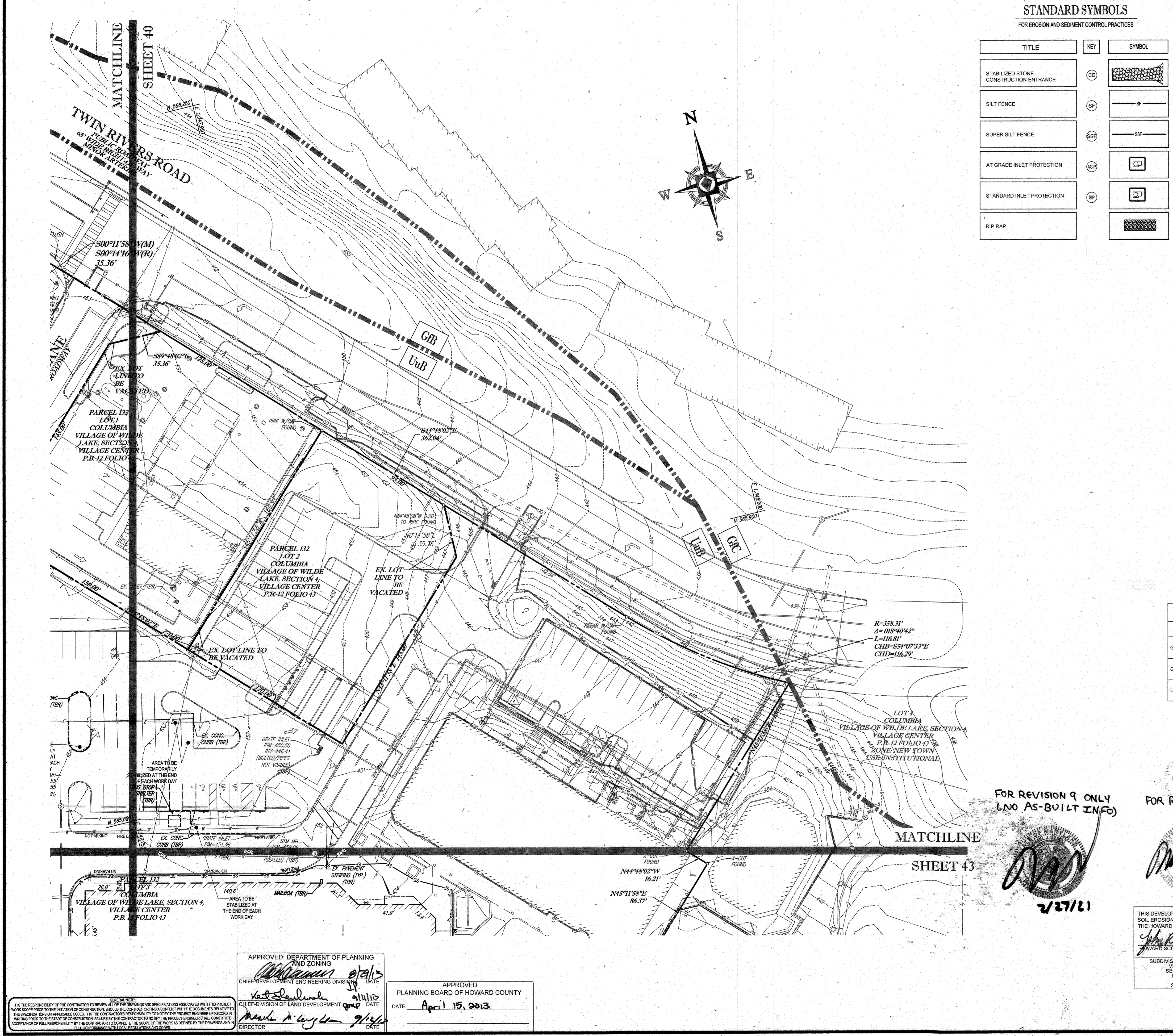
FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



FOR REVISION 5 ONLY:

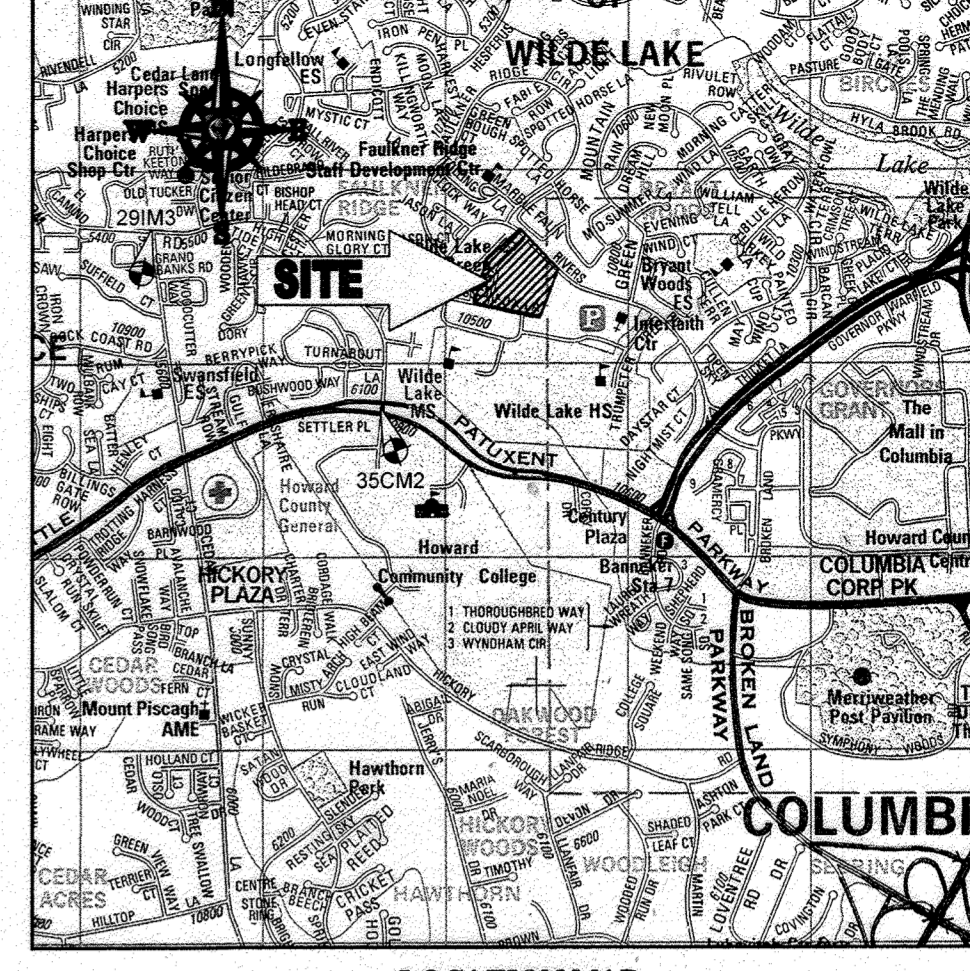


THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] DATE: 8/13/15
 HOWARD SCD



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 7 X 5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 350M2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 352M2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. FAILURE TO INSTALL ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORNTHE'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PERSONAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFIED ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
WILDE LAKE BUSINESS TRUST
OWEN R. BROWN, PRESIDENT
MICHAEL J. GESELL, P.E. MEMBER
NAME: MICHAEL J. GESELL DATE: 7-21-13
TITLE: VICE PRESIDENT

FOR REVISION 9 ONLY (NO AS-BUILT INFO)
FOR REVISION 5 ONLY:
7/11/16
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature] DATE: 7/27/13
HOWARD SCD

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEWHYDE PARK ROAD
NEWHYDE PARK, NY 11042
(410) 884-2000
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21053
(410) 884-2000
CONTRACT: GREG REED
TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
23 REF: 1096M SITE AREA: 10.21 AC
DPZ REF: SDP-13-046
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4, VILLAGE CENTER P.B. 12 FOLIO 43
PLAT: [Number] WATER CODE: E32 SERVER CODE: 5002500

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE: 8/21/13
CHIEF DEVELOPMENT ENGINEERING DIVISION
[Signature] DATE: 9/11/13
CHIEF DIVISION OF LAND DEVELOPMENT
[Signature] DATE: 9/14/13
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013
DIRECTOR

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE REGULATIONS, ORDINANCES AND CODES.
KIMCO REALTY CORPORATION 8027 WILDE LAKE, COLUMBIA, MD 21046 PLAN SETS SITE DEVELOPMENT PLAN 000000002.DWG PRINTED BY: RST

BOHLER ENGINEERING
CORPORATE OFFICE: [Address]
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS
SOUTH BRIDGEMOUTH, MA
BOWEN, MD
ALBANY, NY
CHARLESTON, VA
CHARLESTON, PA
TAMPA, FL
PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 231, 1051, 1052, 1053 AND PARKING CARS	[Signature]
6	2/16/13	AS-BUILT	[Signature]

APPROVED FOR CONSTRUCTION
PROJECT NO.: MD069002
DRAWN BY: RMB
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=50'
CAD L.D.: EAG

APPROVED FOR CONSTRUCTION
SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

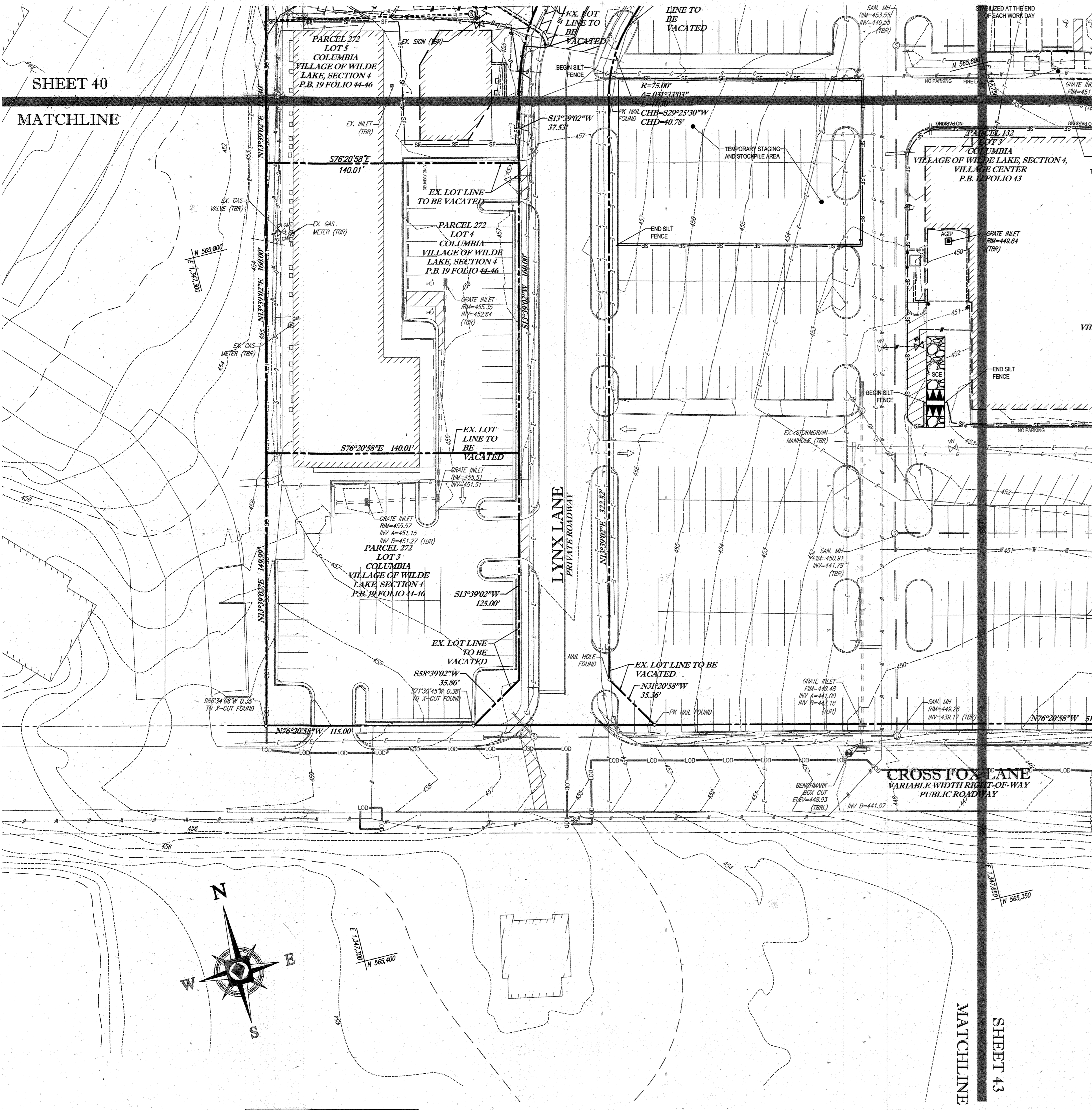
BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. J. GESELL
PROFESSIONAL ENGINEER
7/29/13

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I EXISTING CONDITIONS/DEMOLITION
SHEET NUMBER:
41 OF 91
SDP-13-046

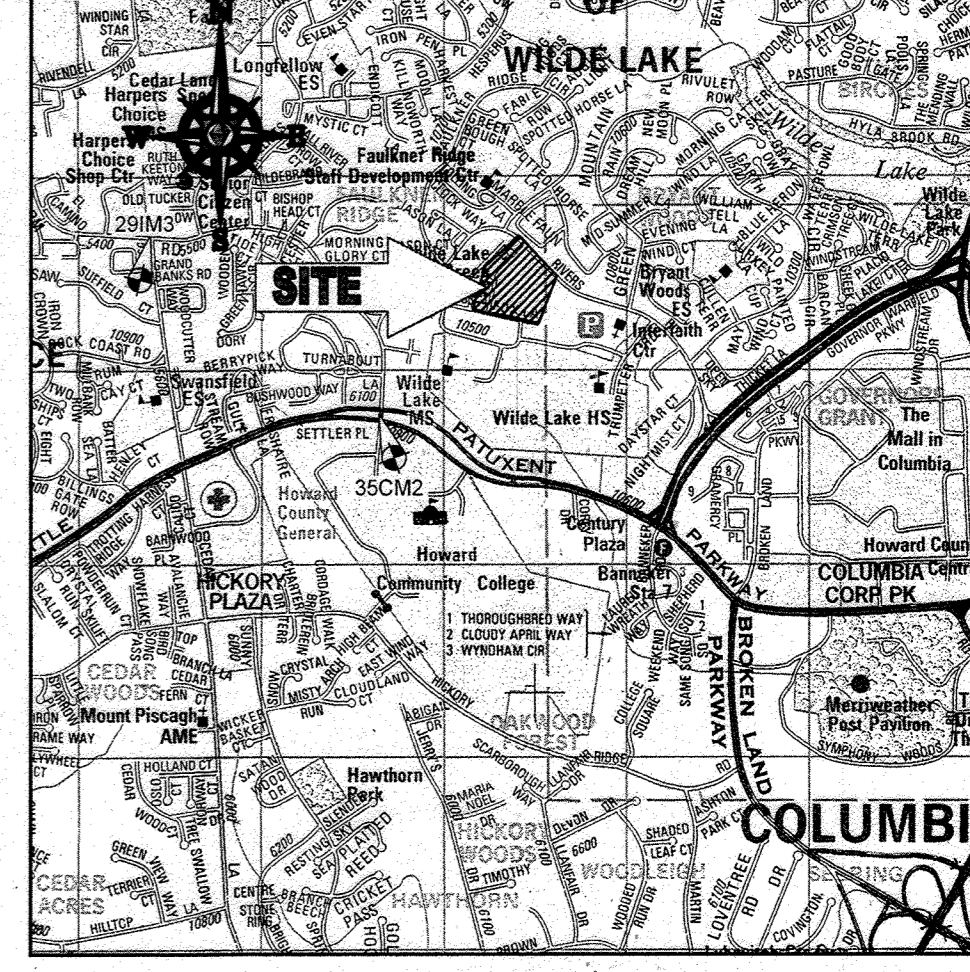
SHEET 40

MATCHLINE



STANDARD SYMBOLS

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 2062153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35C2 AND 35C3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35C2 AND 35C3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35C2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PERMITS AND SITES FOR ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

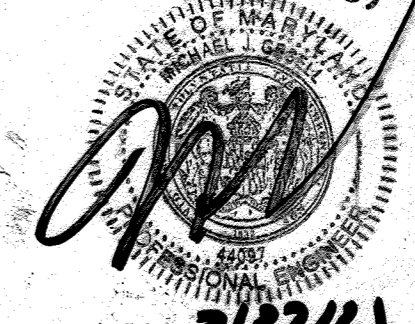
EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT OBSTACLES AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORHTHENS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY (NO AS-BUILT INFO)



ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

FOR REVISION 5 ONLY:



DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 NAME: WILBUR E. SIMMONS DATE: 7/29/13
 TITLE: VICE PRESIDENT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 [Signature] DATE: 5/13/13
 HOWARD SCD

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED
 TAX MAP: 28 PARCELS: 272, PARCELS A-C ZONED: NY
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1090M SITE AREA: 10.21 AC
 DPX REF.: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44087, EXPIRATION DATE: 6/30/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 8/13/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE: 8/13/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 8/13/13
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE STOPPED IMMEDIATELY UPON THE CONTRACTOR'S DISCOVERY OF ANY DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL APPLICABLE REGULATIONS AND CODES.

BOHLER ENGINEERING
 CORPORATION OFFICE:
 WASHINGTON, DC
 OFFICES:
 BOWLING GREEN, OH
 TOWSON, MD
 WASHINGTON, VA
 CHARLOTTE, NC
 TAMPA, FL
 PHILADELPHIA, PA
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/14	REVISED BLDGS 2, 3, 4 DISH	
9	2/10/13	AS-BUILT	

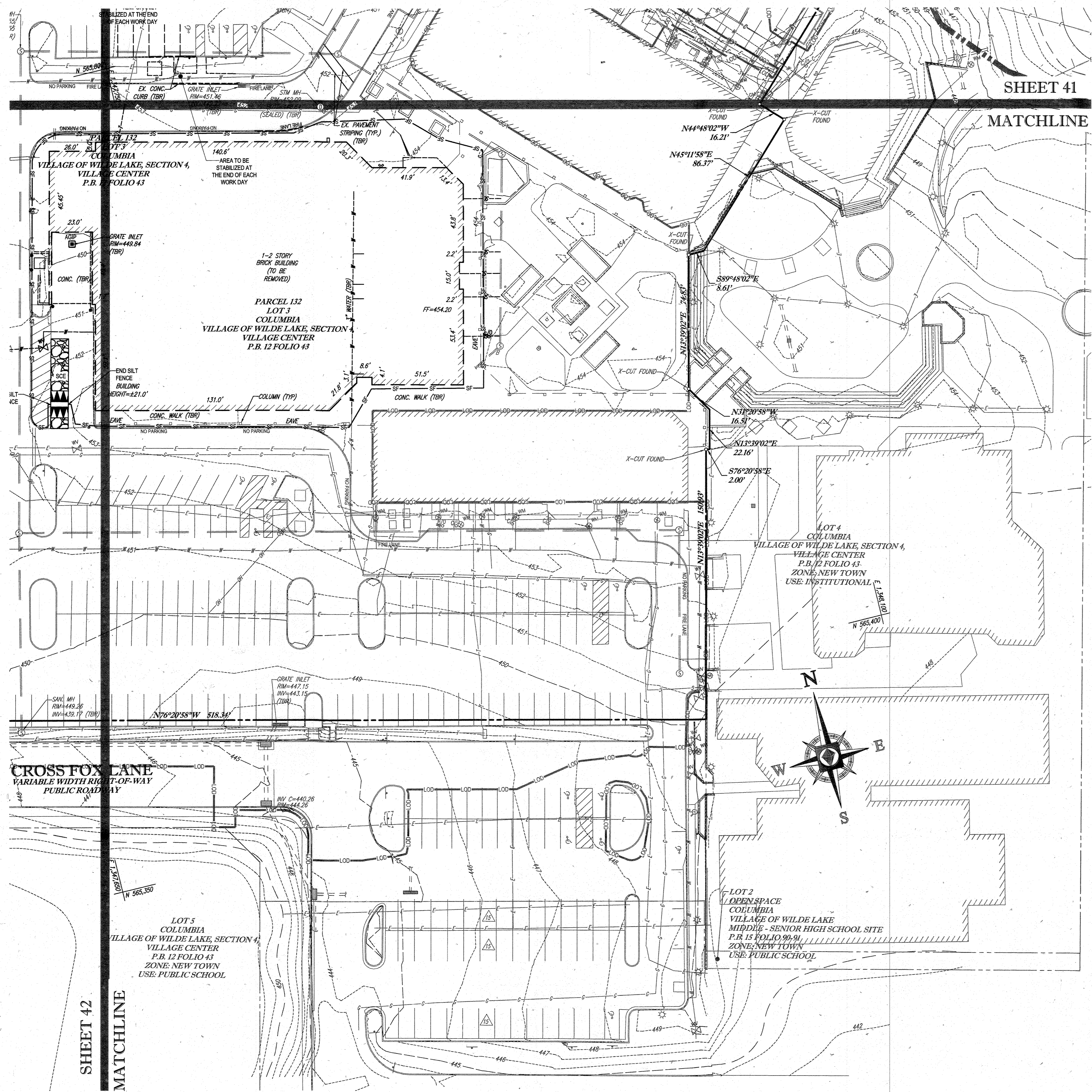
APPROVED FOR CONSTRUCTION
 PROJECT NO.: MD069002
 DRAWN BY: KMS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD ID: EAZ

PROJECT: **SITE DEVELOPMENT PLAN** FOR **KIMCO REALTY CORPORATION**
 LOCATION OF SITE: **VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD**
 GREEN BLDGS: NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

M. J. GESELL
 PROFESSIONAL ENGINEER
 STATE OF MARYLAND
 LICENSE NO. 44087
 DATE: 7/29/13

SHEET TITLE: **EROSION AND SEDIMENT CONTROL PLAN PHASE I EXISTING CONDITIONS/DEMOLITION**
 SHEET NUMBER: **42** OF 91
 SDP-13-046



SHEET 41

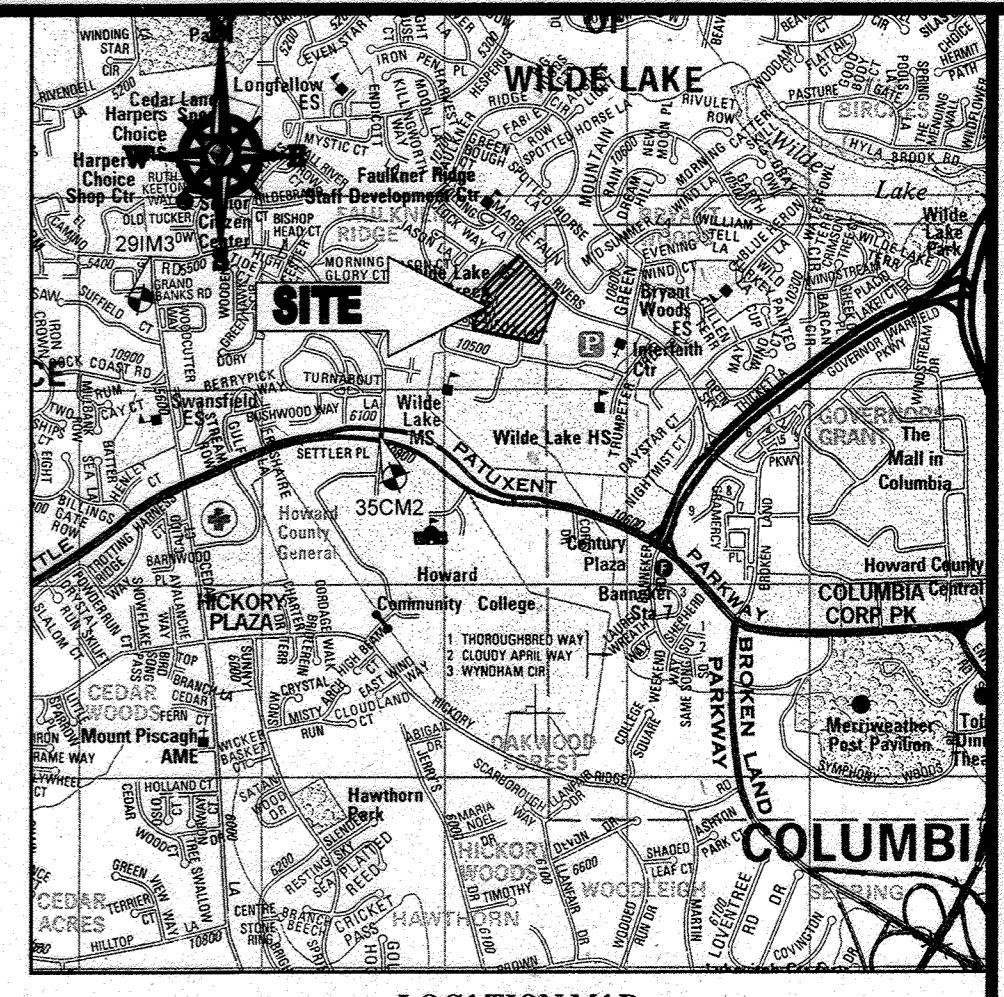
MATCHLINE

SHEET 42
MATCHLINE

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol: Stone pattern]
SILT FENCE	SF	[Symbol: Dashed line]
SUPER SILT FENCE	SSF	[Symbol: Solid line]
AT GRADE INLET PROTECTION	AGP	[Symbol: Box with 'X']
STANDARD INLET PROTECTION	SP	[Symbol: Box with 'S']
RIP RAP		[Symbol: Riprap pattern]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 28602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL PRACTICES.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-3. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORHTENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A SOUND AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY BOARD OF ENGINEERS."

SIGNATURE OF ENGINEER
MICHAEL J. GESELL, P.E.
7/29/13 DATE

DEVELOPER'S CERTIFICATE

"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL BE CERTIFIED OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT ALSO AUTOMATIC PERIODIC INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF THE ENVIRONMENT."

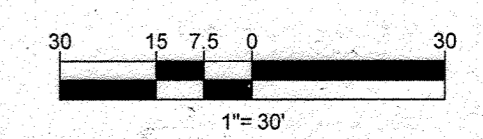
WILDE LAKE BUSINESS TRUST
KIMCO REALTY CORPORATION
BY: NAME: WILBUR E. SIMONS DATE: 7-29-13
TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMonium, MD 21093
(410) 684-2000

CONTACT: GREG REED
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 105m SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44957, EXPIRATION DATE: 8/22/21



BOHLER ENGINEERING

CONSULTING OFFICE:
1000 MARSHFIELD BLVD
TOWSON, MD 21286

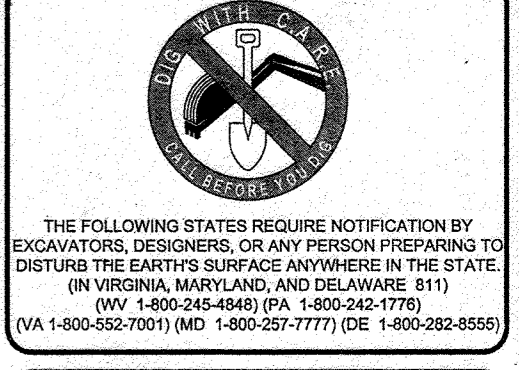
PROJECT MANAGERS:
SOUTH BRIDGECROFT, MA
ALBANY, NY
CHALFONTS, PA
TAMPA, FL

ENVIRONMENTAL CONSULTANTS:
LANSCAPE ARCHITECTS
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
5	02/1/16	REVISED BLDG 2, 3, 4, 5 USES AND PARKING CAGES	MSB
9	2/10/21	AS-BUILT	MSB



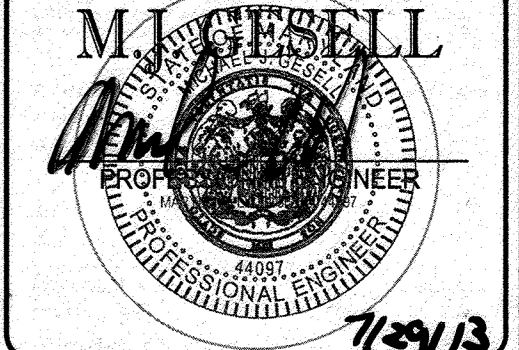
APPROVED FOR CONSTRUCTION

PROJECT NO.: MD059002
DRAWN BY: RAS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EAC

SITE DEVELOPMENT PLAN FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

981 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com



SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I EXISTING CONDITIONS/DEMOLITION

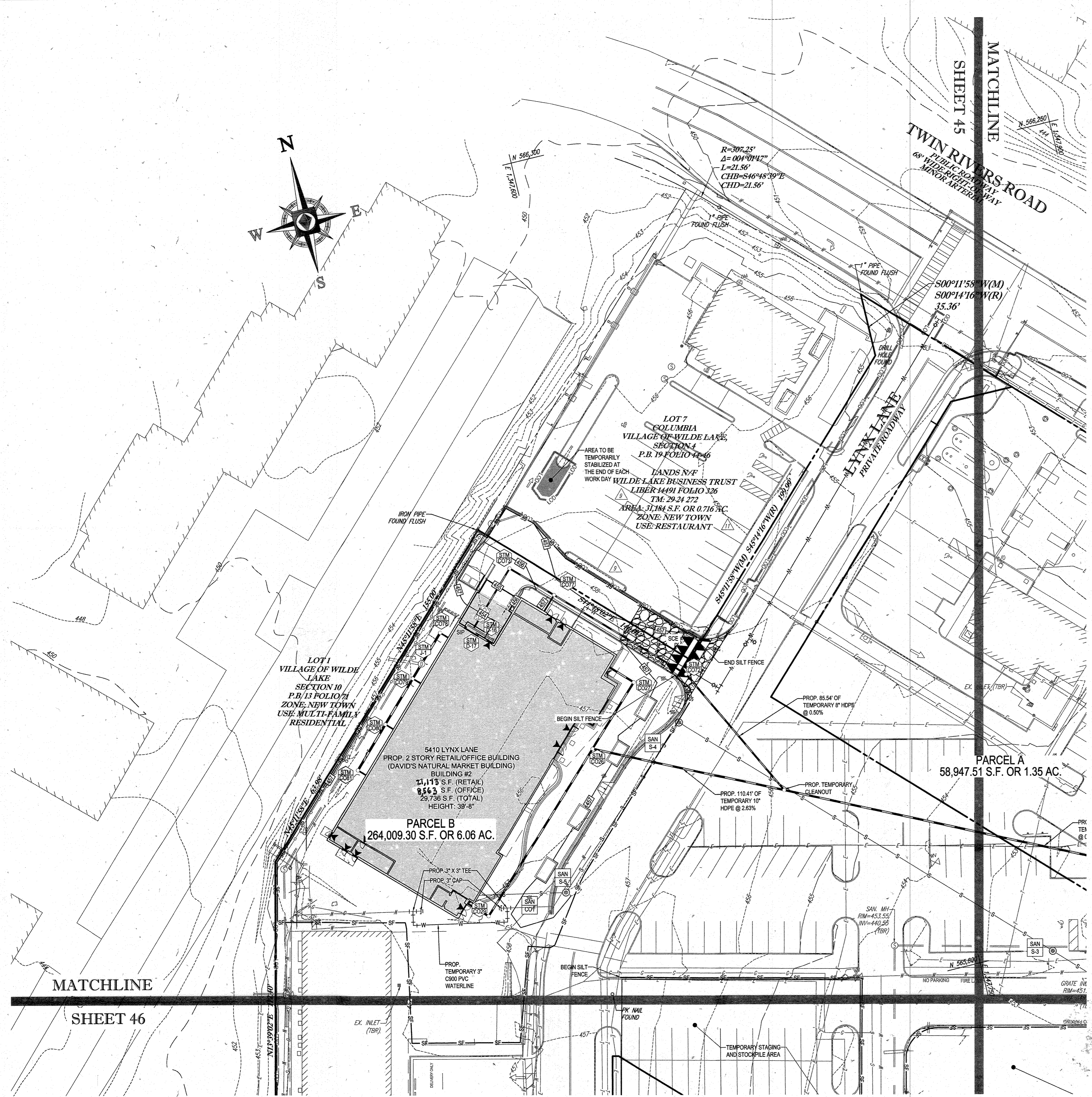
SHEET NUMBER:
43
OF 91
SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 8/13/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

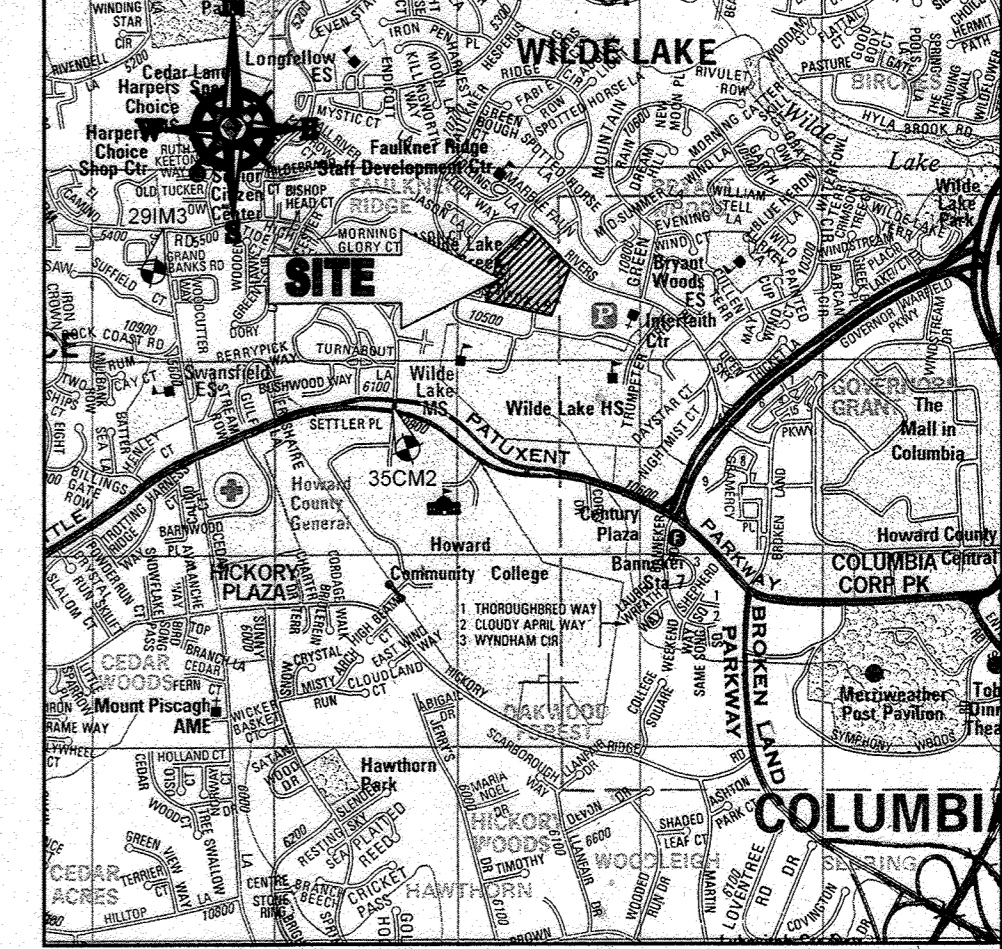
IF IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVEAL AND IDENTIFY ALL UTILITIES AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT, WORK SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR WORKABLE COORDINATES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL ASSOCIATED NOTES.



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 49341 K/S

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL MONUMENT IS CONTROLLED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.852
 HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN-SLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U0B	URBAN LAND - URBORHATS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)

2/27/21

FOR REVISION 5 ONLY:

7/16

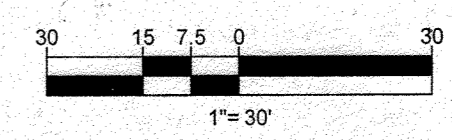
APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 DATE: 3/13/21

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 MICHAEL J. GISELL, P.E.
 DATE: 7/29/13

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 MICHAEL J. GISELL, P.E.
 DATE: 7/21/13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG NEED
 TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1090m SITE AREA: 10.21 AC
 WATER CODE: 632 DPZ REF.: SDP-13-046
 SEWER CODE: 802200 FINAL PLAN APPROVED

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GISELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44087, EXPIRATION DATE: 09/20/21



BOHLER ENGINEERING
 CORPORATE OFFICE: WARREN, NJ
 OFFICES:
 BOSTON, MA
 CHICAGO, IL
 COLUMBIA, MD
 FORT LAUDERDALE, FL
 HARTFORD, CT
 PHILADELPHIA, PA
 PHOENIX, AZ
 RICHMOND, VA
 TAMPA, FL
 WASHINGTON, DC
 WILMINGTON, DE

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/14	REVISED BLDG 2, 3, 10 SH USES AND PARKING CALLS	
9	2/16/21	AS-BUILT	

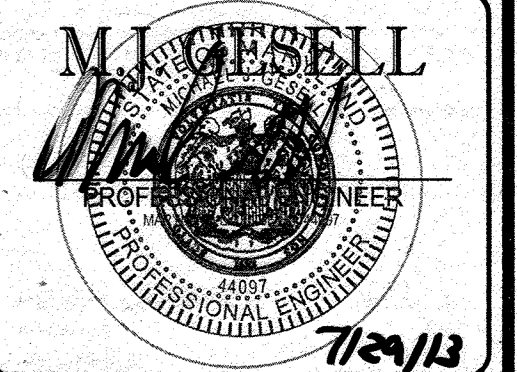


APPROVED FOR CONSTRUCTION

PROJECT NO.: MD065022
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: E242

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7800
 Fax: (410) 821-7807
 www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE I PROPOSED CONDITION

SHEET TITLE:
 SHEET NUMBER:
 44 OF 91
 SDP-13-046

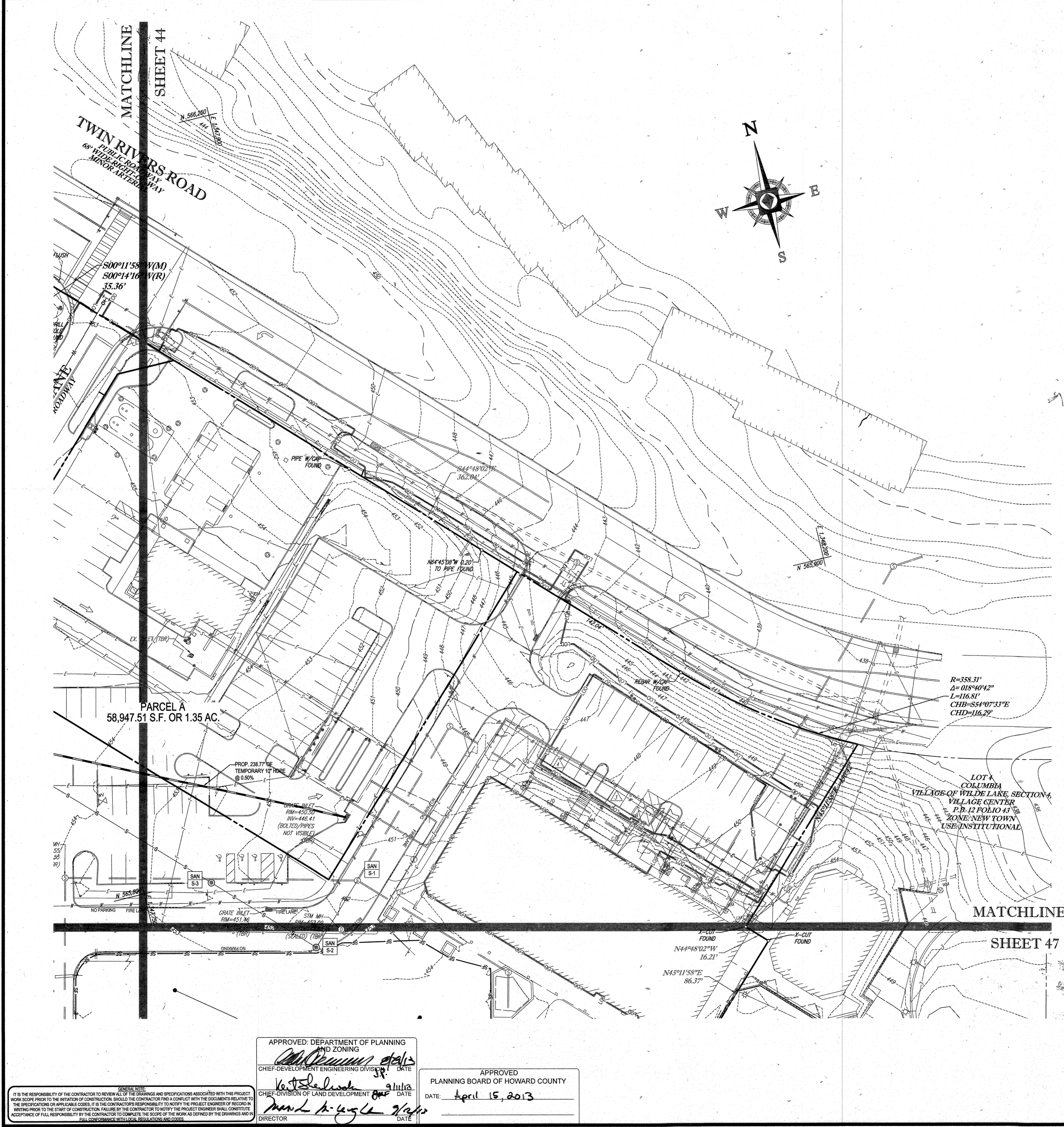
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: [Date]

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: DIRECTOR OF LAND DEVELOPMENT
 [Signature]
 DATE: [Date]

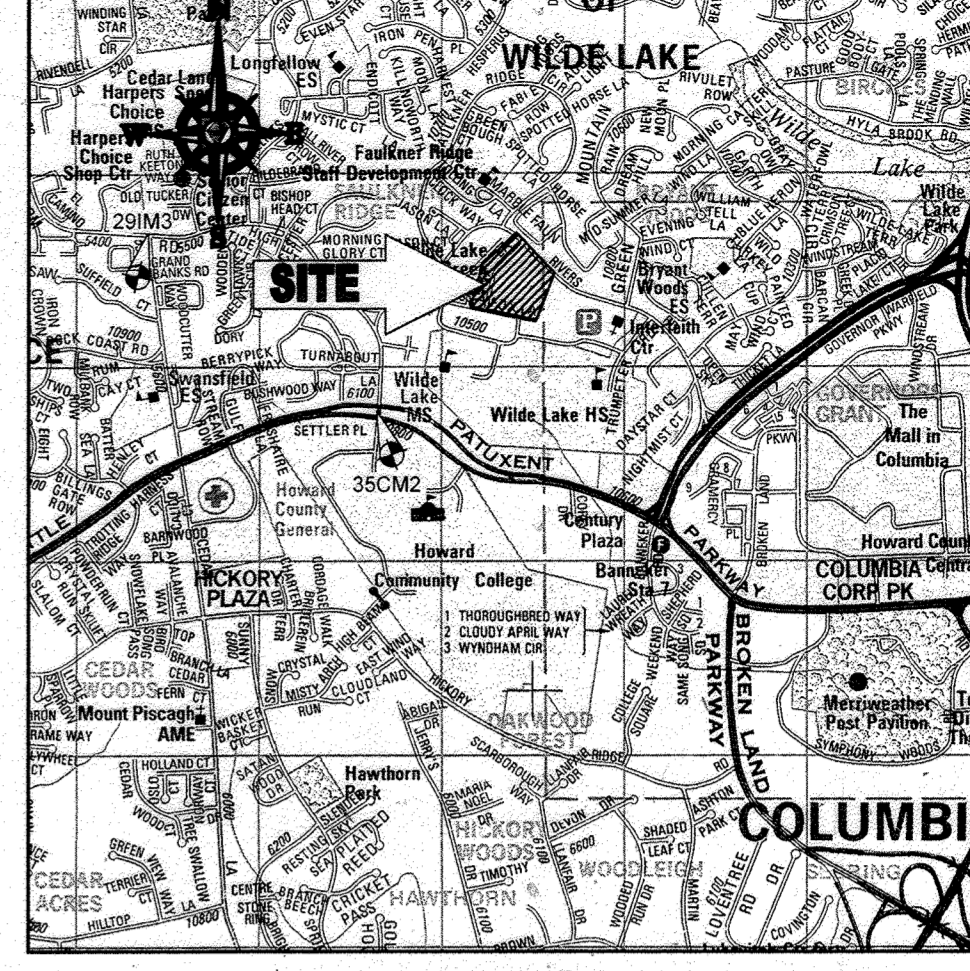
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR ANY OTHER CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH ALL REGULATIONS AND CODES.

APPROVED: DIRECTOR
 [Signature]
 DATE: [Date]



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO: 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO: 29IM3 ELEV. = 141.133

NOTES:
1. REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
2. ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
3. CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
4. PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E 23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES
1. CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
4. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UUB	URBAN LAND - UDOR'THENT'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

[Signature]
7/29/13

FOR REVISION 5 ONLY:

[Signature]
7/16/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
[Signature] 8/13/13
DATE

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 7/29/13
DATE
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature] 7/29/13
DATE
WILBUR E. SIMMONS
TITLE: VICE PRESIDENT

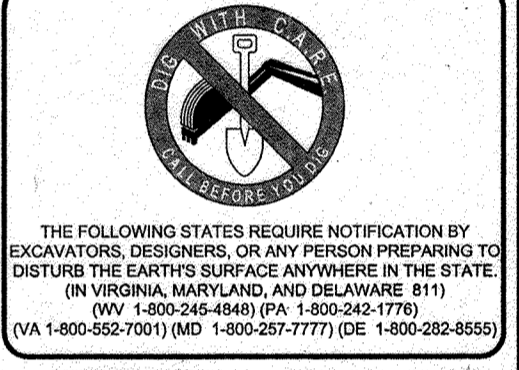
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000
CONTACT: GREG REED
GRID: 24 ZONED: NT
TAX MAP: 29 PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1096M SITE AREA: 10.21 AC
DATE: 7/16/13
DPP REF: SDP-13-048

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED, OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44957, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING
CORPORATE OFFICE:
WARREN, NJ
OFFICES:
BOWEN, MD
TOWSON, MD
HARRISBURG, PA
PHILADELPHIA, PA
SOUTH BOROUGHS, MA
TOWSON, MD
HARRISBURG, PA
PHILADELPHIA, PA
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS

REVISIONS

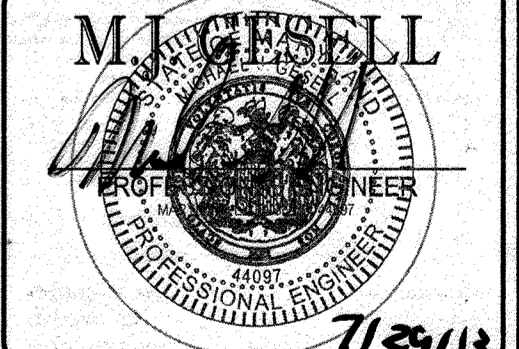
REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 3, 4, 5	MSJ
9	2/16/13	AS-BUILTS	MSJ



APPROVED FOR CONSTRUCTION
PROJECT NO.: MD089002
DRAWN BY: RMS
CHECKED BY: MJS
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EAZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE I PROPOSED CONDITION
SHEET TITLE:
SHEET NUMBER:
45 OF 91
SDP-13-046

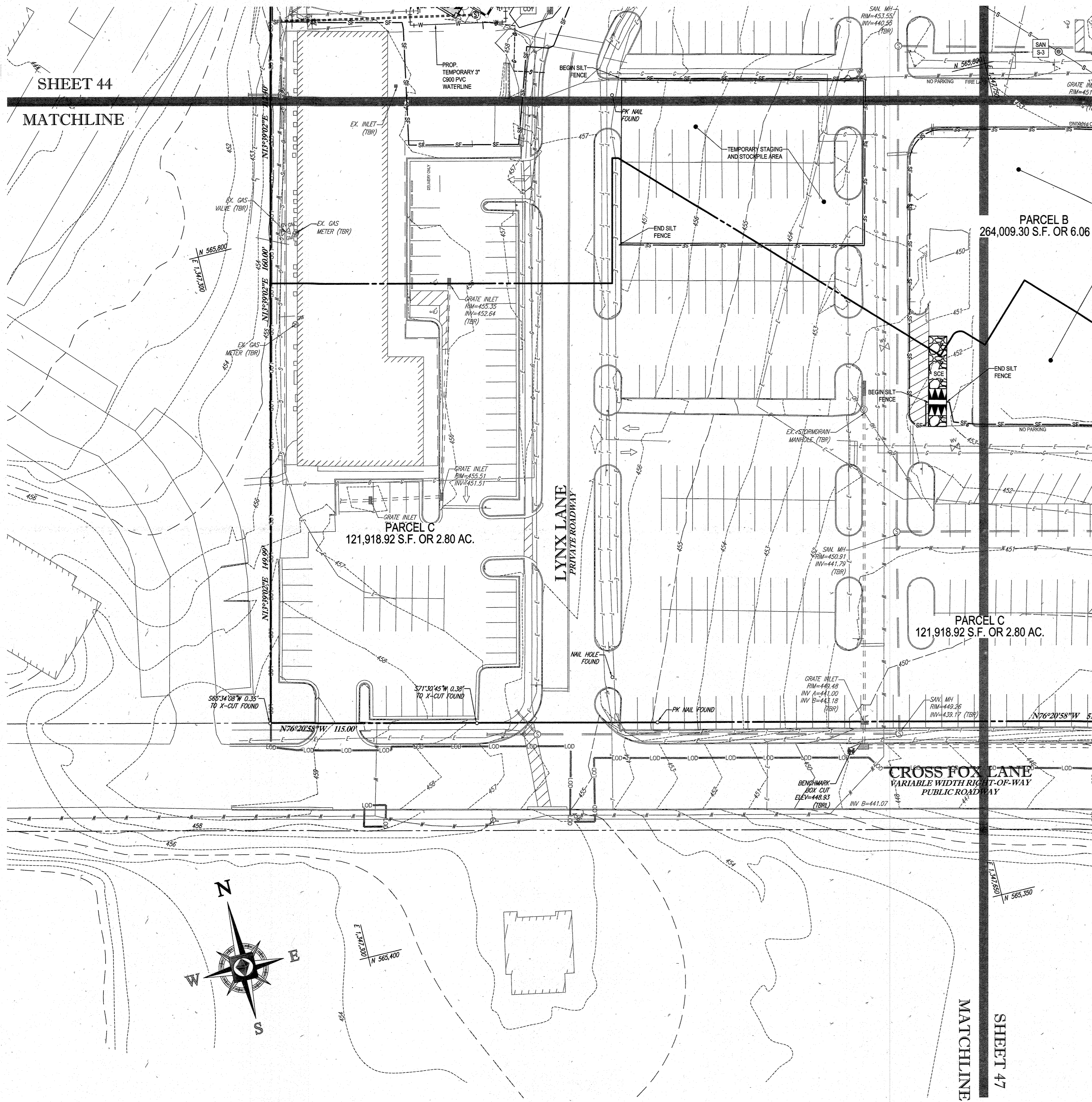
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature]
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: April 15, 2013

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK BEFORE THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY OR CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.

SHEET 44

MATCHLINE



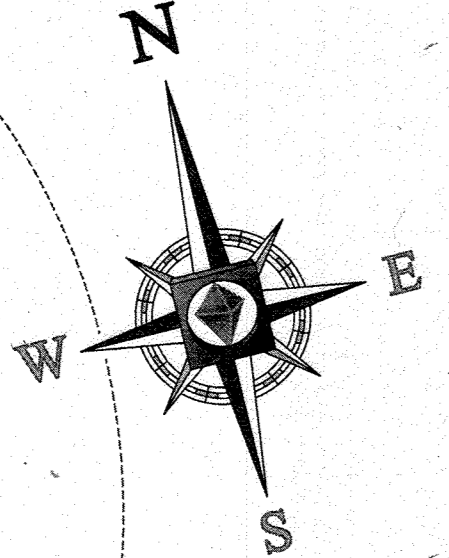
PARCEL B
264,009.30 S.F. OR 6.06.

PARCEL C
121,918.92 S.F. OR 2.80 AC.

PARCEL C
121,918.92 S.F. OR 2.80 AC.

CROSS FOX LANE
VARIABLE WIDTH RIGHT-OF-WAY
PUBLIC ROADWAY

MATCHLINE
SHEET 47



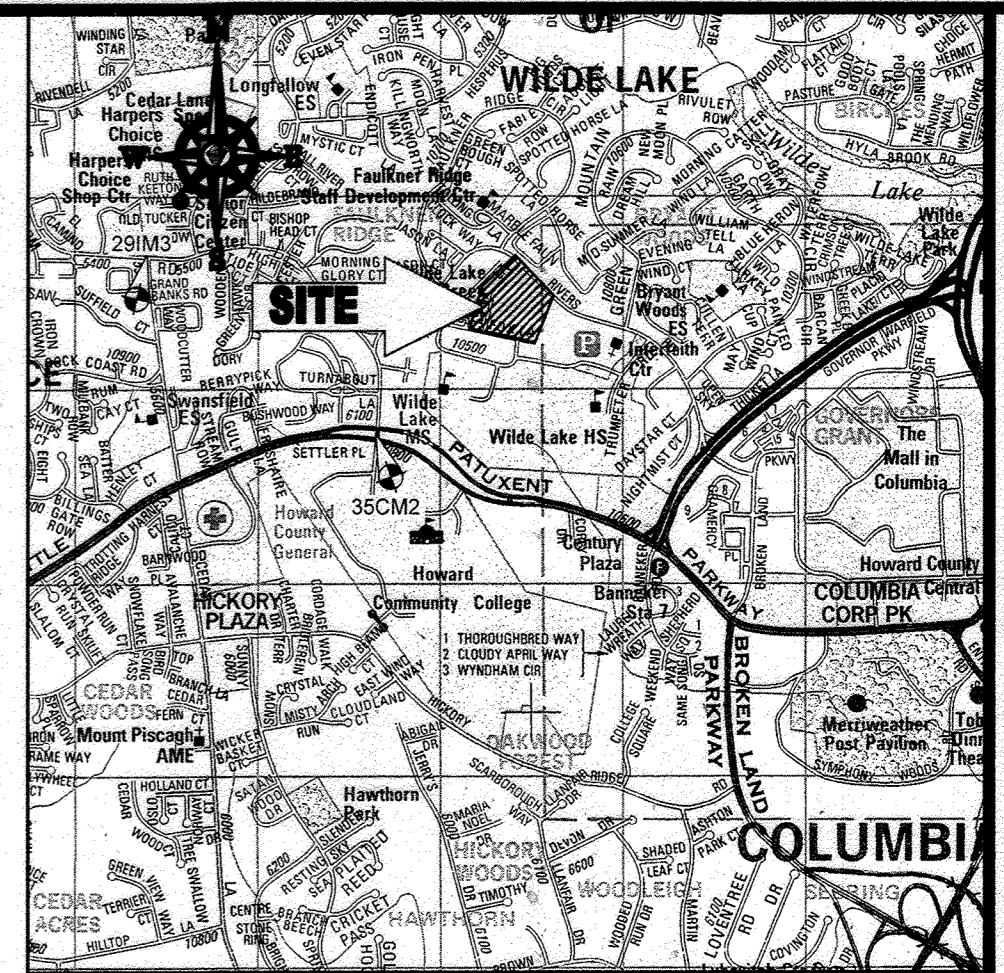
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 8/2/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / X5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 291M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 291M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 291M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW DOWNSLOPE OF TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



2/27/21
FOR REVISION 5 ONLY:



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 DATE: 8/15/13
 HOWARD SCD

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I HAVE PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 MICHAEL J. Gesele, P.E. 7/29/13
 REGISTERED PROFESSIONAL ENGINEER

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ONE-TIME INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 WILBUR E. SIMMS 7-29-13
 VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000

CONTRACT: GREG REED
 TAX MAP: 29 GRD: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 1.38 REF: 108m SITE AREA: 10.21 AC
 WATER CODE: E32 DPZ REF: SDP-13-046
 SEWER CODE: 502200

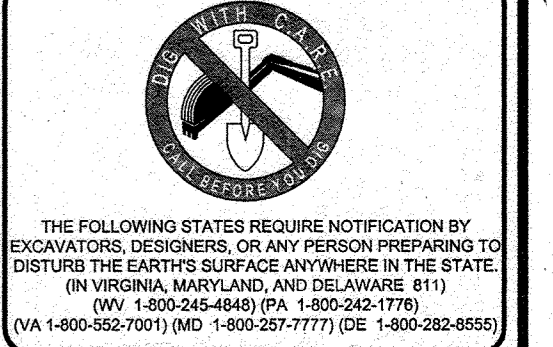
PROFESSIONAL CERTIFICATION
 I, MICHAEL J. Gesele, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 4497, EXPIRATION DATE: 5/20/21

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS SURVEYORS
 OFFICES:
 WARREN, NJ
 SOUTH BRIDGE, MA
 BOWEN, MD
 TOWSON, MD
 ANNAPOLIS, MD
 WASHINGTON, VA
 CHAMFON, PA
 HUNTSVILLE, PA
 TAMPA, FL
 PHILADELPHIA, PA

PROJECT MANAGERS:
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3, 12, 15	MS
9	2/18/21	AS-BUILT	MS

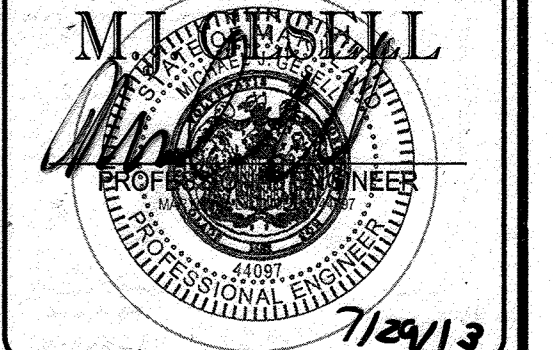


APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: M/JG
 CHECKED BY: M/JG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EAC

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

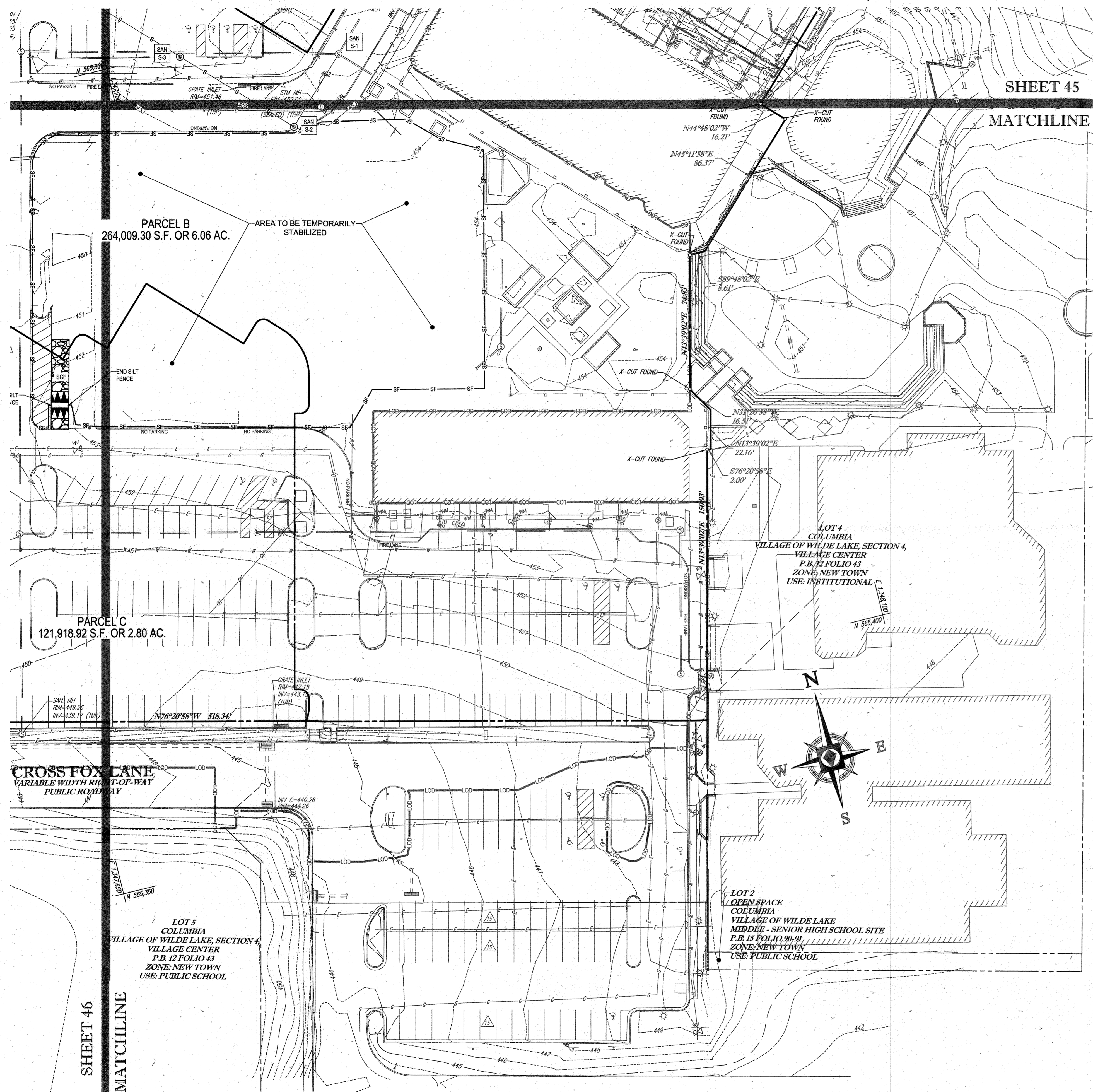
BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 621-7900
 Fax: (410) 621-7987
 www.BohlerEngineering.com



SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I PROPOSED CONDITION

SHEET NUMBER:
 46 OF 91

SDP-13-046



SHEET 45

MATCHLINE

PARCEL C
121,918.92 S.F. OR 2.80 AC.

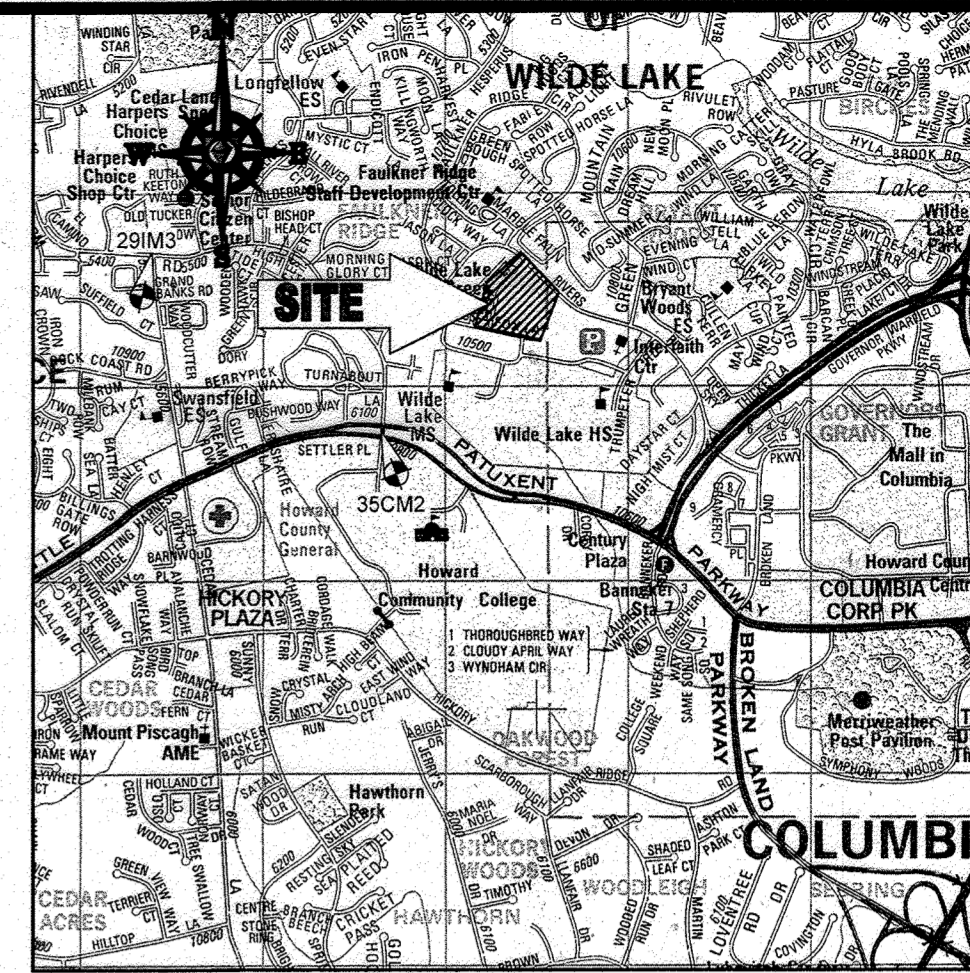
PARCEL B
264,009.30 S.F. OR 6.06 AC.

SHEET 46
MATCHLINE

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.822
HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
2) INLETS ON PUBLIC ROADS OPERATED BY A PUBLIC AGENCY
3) INLETS ON PRIVATE ROADS OPERATED BY A PRIVATE AGENCY
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL

UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UwB	URBAN LAND - UDORTHENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
MICHAEL J. GESELL, P.E.
7/29/13

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
MICHAEL J. GESELL, P.E.
7-29-13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONIA, MD 21108
(410) 684-2000

CONTRACT: GREG REED
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
23 REF: 1056N SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
MICHAEL J. GESELL, P.E.
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 44097, EXPIRATION DATE: 08/20/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 8/2/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 8/1/13
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 8/1/13
DIRECTOR

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

BOHLER ENGINEERING
CORPORATE OFFICE:
1000 N. WASHINGTON
TOWSON, MD 21286
PROJECT MANAGERS:
SOUTHBOURGH, VA
ALBANY, NY
MIDDLEBURY, VT
CHILMARK, MA
CHILMARK, MA
LANDSCAPE ARCHITECTS:
TAMPA, FL
PHILADELPHIA, PA
PHILADELPHIA, PA
CIVIL & CONSULTING ENGINEERS
SURVEYORS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3, 4, 5	MSJ
9	2/10/21	AS-BUILT	MSJ

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD059002
DRAWN BY: RMB
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=50'
CAD I.D.: EAG

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
7/29/13

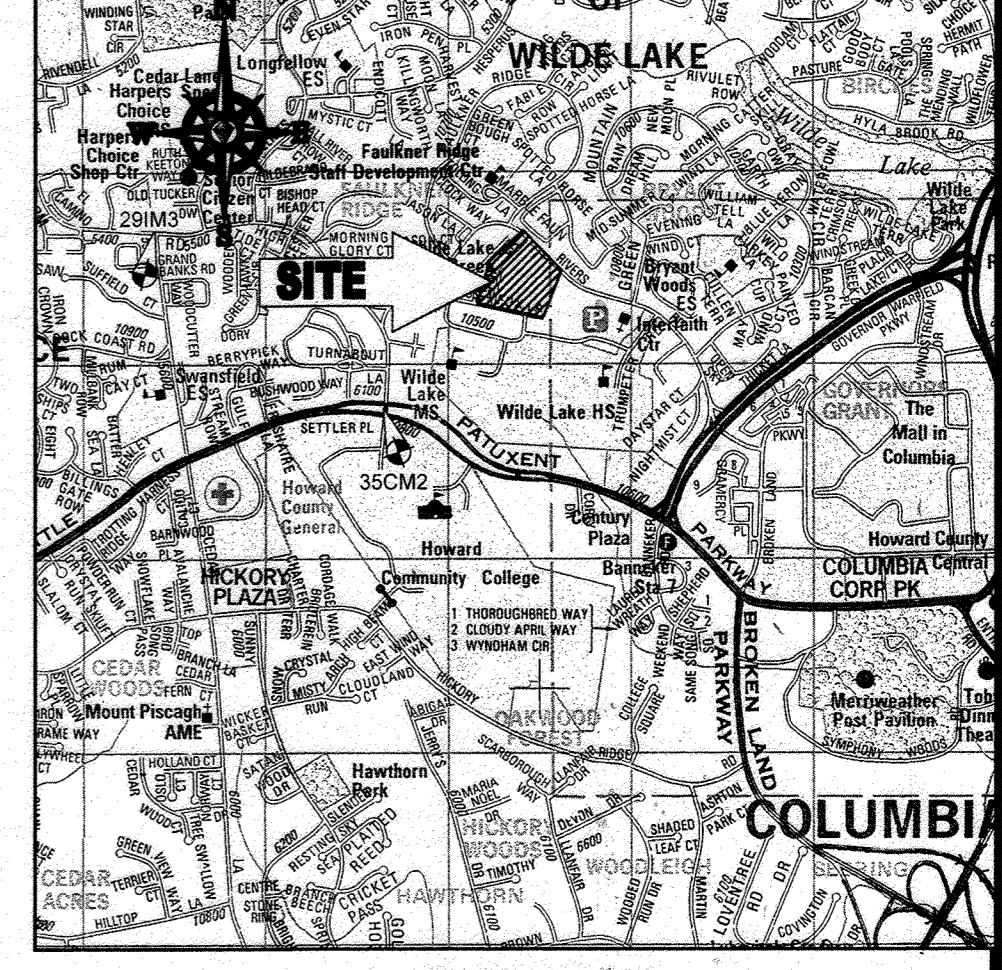
SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE I PROPOSED CONDITION
SHEET NUMBER:
47 OF 91
SDP-13-046

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK BEFORE THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL APPLICABLE REGULATIONS AND CODES.



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
- INLETS ON PRIVATE OR PUBLIC ROADS WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
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SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORTHEM'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

FOR REVISION 5 ONLY:

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

NAME: WILBUR E. SIMMONS III DATE: 7-29-13
TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000
CONTACT: GREG REED

TAX MAP: 2B GRID: 24 PARCELS: 272, PARCELS A-C ZONED: NT
SECTION/AREA: SECTION 10 PLAT: 2579-234-11 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
WATER CODE: E32 ZB REF: 1096m SITE AREA: 10.21 AC
SEWER CODE: 86202500 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 44029, EXPIRATION DATE: 6/6/2021

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

OFFICES:
BOSTON, MA
ALBANY, NY
SOUTH BRIDGE, MA
TOWSON, MD
FORT LAUDERDALE, FL
WARRINGTON, VA
CENTREVILLE, VA
GAINESVILLE, FL

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDG 3, 4, 10, 11, 12, 13, 14 USES AND PARKING CAGES	WCG
9	7/16/13	AS-BUILT	WCG

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE #113

(MV 1-800-245-4840) (PA 1-800-242-1778)
(GA 1-800-527-7071) (MD 1-800-257-7777) (DE 1-800-382-8555)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EBJ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4, 6 & 8

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 601
TOWSON, MARYLAND 21284
Phone: (410) 621-7900
Fax: (410) 621-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER

7/29/13

EROSION AND SEDIMENT CONTROL PLAN PHASE II EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER: 48 OF 91

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE: 7/29/13
CHIEF DEVELOPMENT ENGINEERING DIVISION

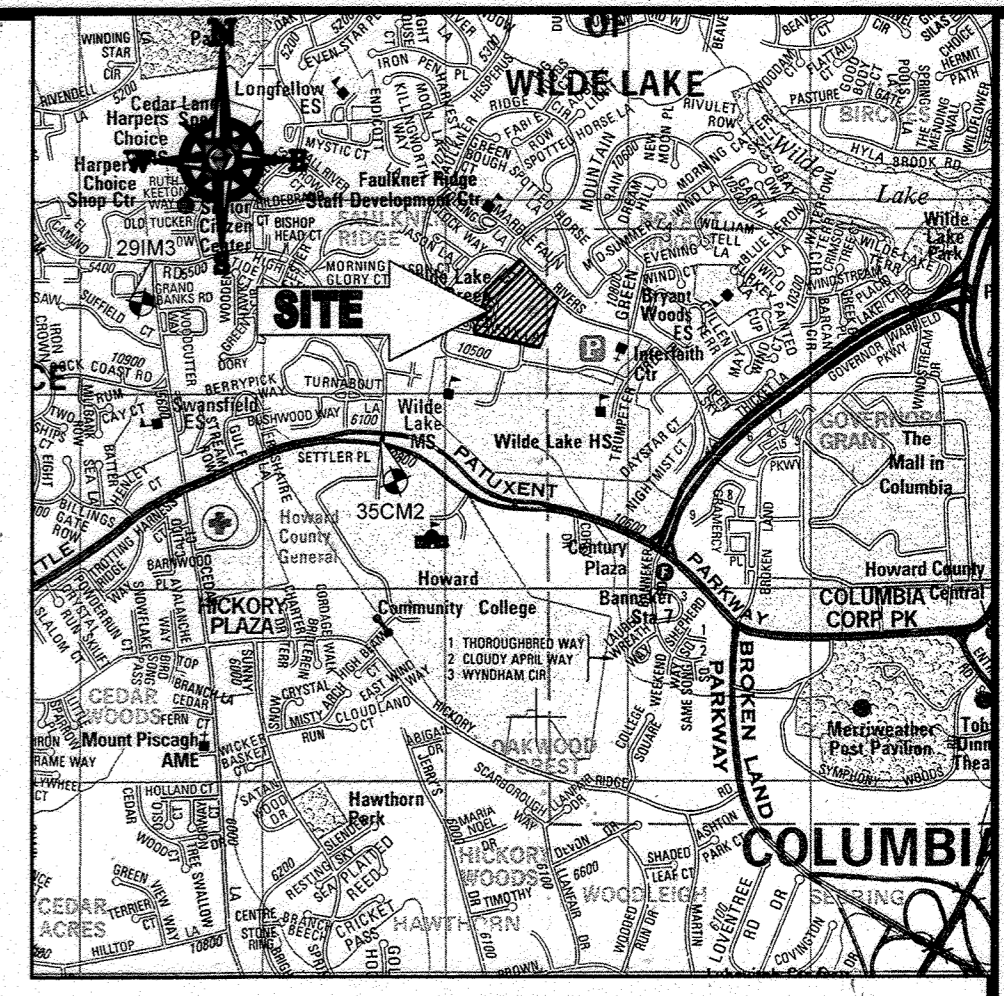
APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature] DATE: April 15, 2013
CHIEF DIVISION OF LAND DEVELOPMENT

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH LOCAL, STATE AND FEDERAL CODES.



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol: Stone texture]
SILT FENCE	SF	[Symbol: Dashed line]
SUPER SILT FENCE	SSF	[Symbol: Solid line]
AT GRADE INLET PROTECTION	AGP	[Symbol: Box with 'A']
STANDARD INLET PROTECTION	SP	[Symbol: Box with 'S']
RIP RAP		[Symbol: Rip rap texture]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 29602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BOHLER ENGINEERING

CORPORATE OFFICE:
1000 W. WASHINGTON ST.
ANNAPOLIS, MD 21403
TELEPHONE: (410) 291-7900
FAX: (410) 291-7987
WWW.BOHLERENGINEERING.COM

PROJECT MANAGERS:
BOHLENGRUBEN, MA
ALBANY, NY
CHAMBERS, VA
CHAMBERS, PA
TAMPA, FL

ENVIRONMENTAL CONSULTANTS:
LANDSCAPE ARCHITECTS:
PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
5	2/1/16	REVISED DUE TO 2, 3, 4, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	AS-BUILT

BENCHMARK NOTE:
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 28M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 28M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 28M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

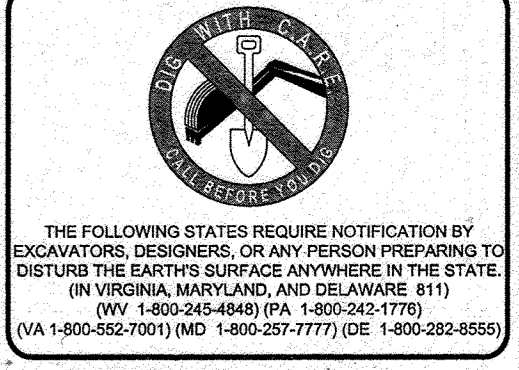
INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GBB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND URBORNEATHS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO



APPROVED FOR CONSTRUCTION

PROJECT No.: MD089002
DRAWN BY: RRS
CHECKED BY: MUG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EBB

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

FOR REVISION 5 ONLY:

7/10/16

9/13/13

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: April 15, 2013

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER: [Signature]
DATE: 7/29/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
NAME: [Signature]
DATE: 7-29-13
TITLE: VICE PRESIDENT

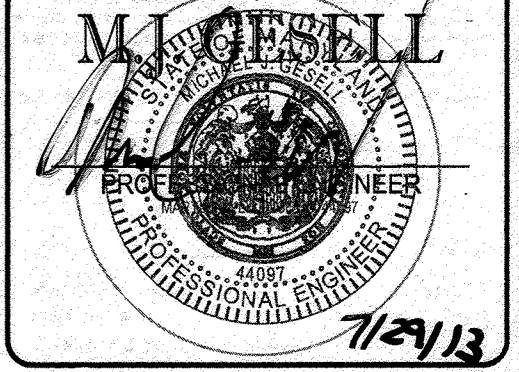
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000
CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
23 REF: 1096m SITE AREA: 10.21 AC
WATER CODE: 502 DPZ REF: SDP-13-046
SEWER CODE: 6922600

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

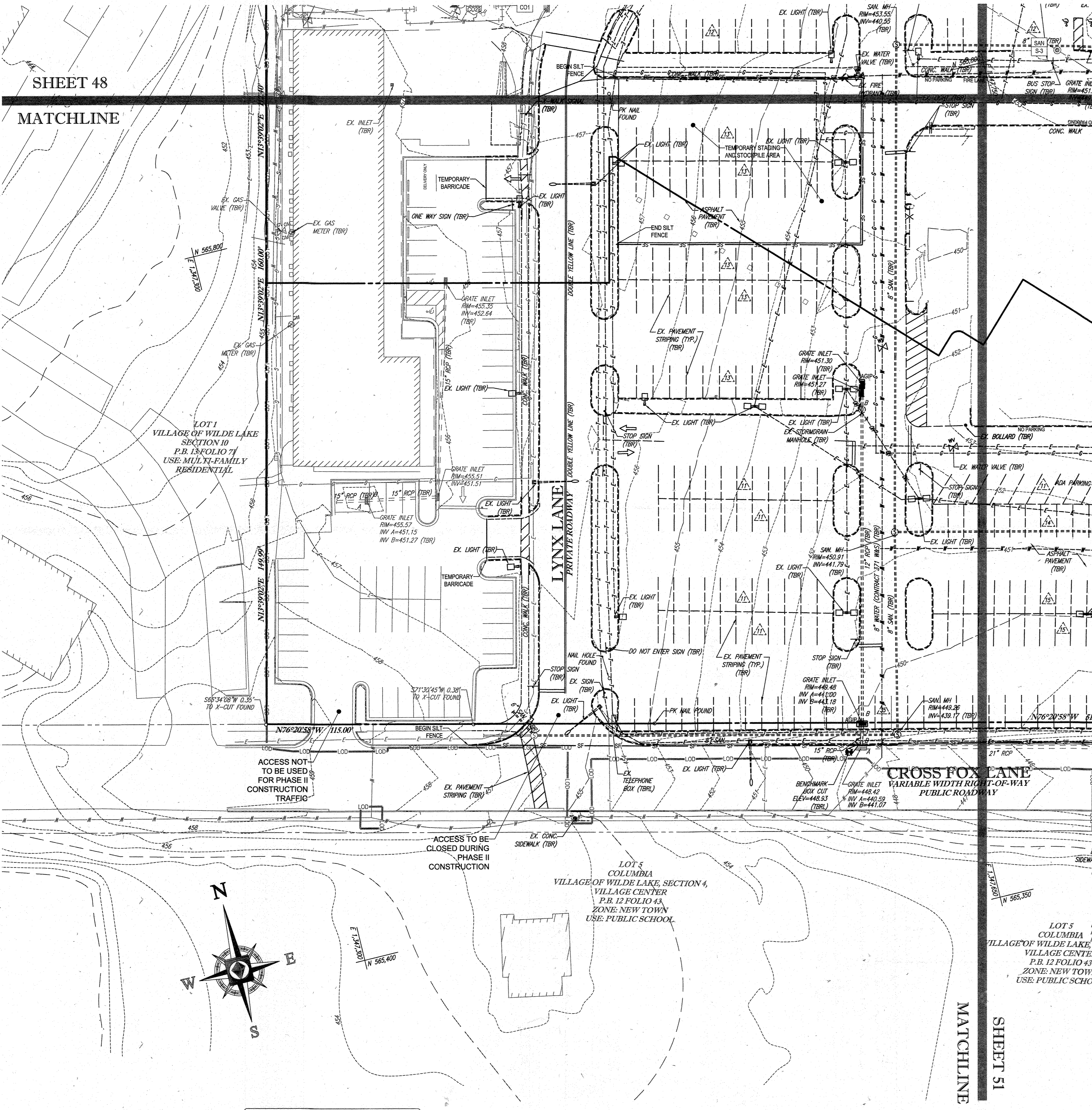


EROSION AND SEDIMENT CONTROL PLAN PHASE II EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER: 49 OF 91
SDP-13-046

SHEET 48

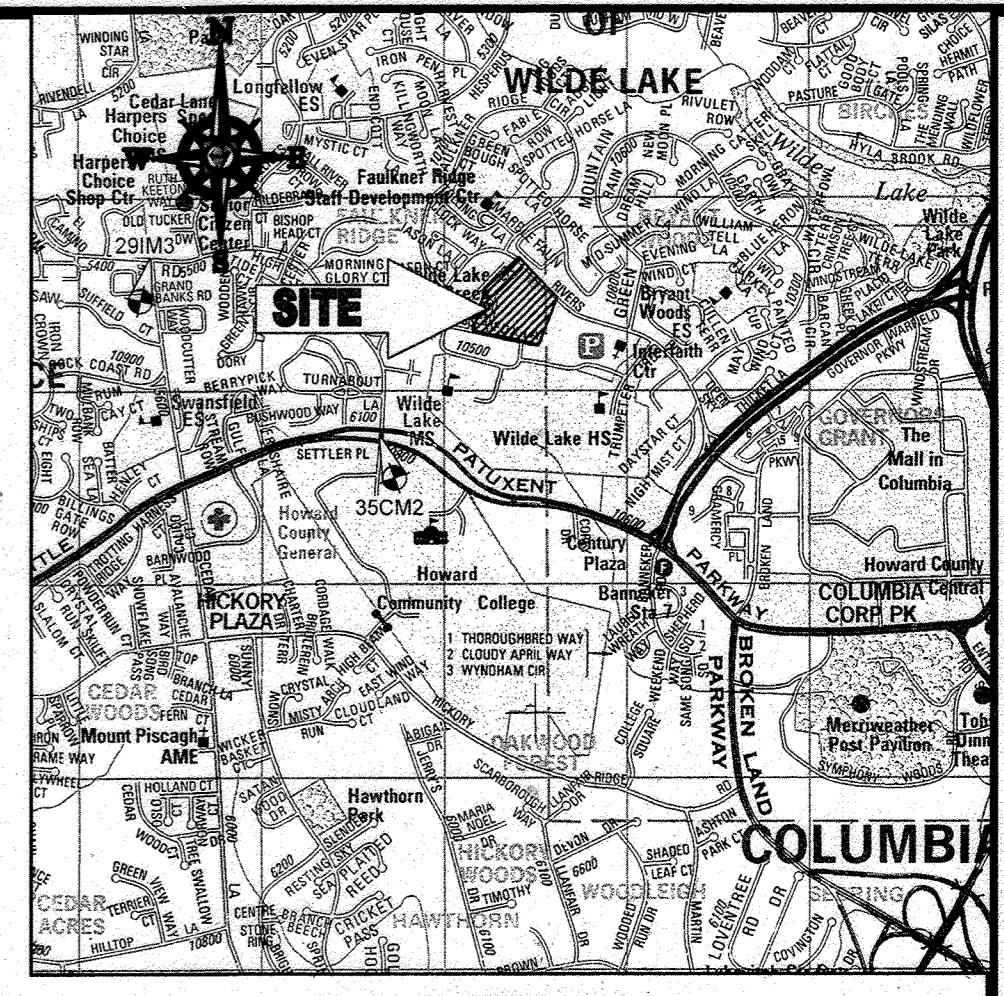
MATCHLINE



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGIP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIIP RAP	[Symbol]	[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL ADJUSTMENT IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.153

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE HORIZONTAL AND VERTICAL ADJUSTMENTS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWN-SLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U1B	URBAN LAND - UDDORTH'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY (NO AS-BUILT INFO)



FOR REVISION 5 ONLY:



ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature]
 DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

NAME: [Signature]
 DATE: 7-29-13
 TITLE: VICE PRESIDENT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 8/13/13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000

CONTACT: GREG REED

TAX MAP: 29 GRID: 84 ZONED: NT
 PARCELS: 272, PARCELS: A-C
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 23 REF: 1096m SITE AREA: 10.21 AC
 WATER CODE: E32 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44957, EXPIRATION DATE: 09/20/21

BOHLER ENGINEERING

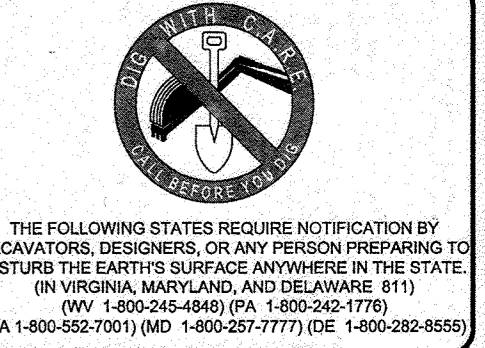
CORPORATE OFFICE:
 WARRINGTON, VA

OFFICES:
 BOWLING GREEN, KY
 CHARLOTTE, NC
 CHICAGO, IL
 COLUMBIA, MD
 FORT LAUDERDALE, FL
 HARTFORD, CT
 HOUSTON, TX
 JARVISVILLE, VA
 PHILADELPHIA, PA
 RICHMOND, VA
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/14	REVISED BIDDING 4.1.1	DM
9	2/10/21	As-Built	msc



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD066002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=50'
 CAD I.D.: EBJ

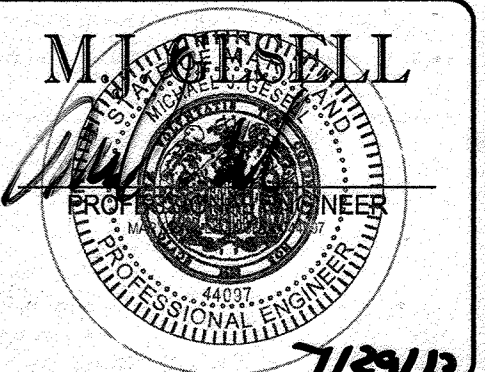
SITE DEVELOPMENT PLAN FOR

KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE CENTER REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE II EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER:
50 OF 91

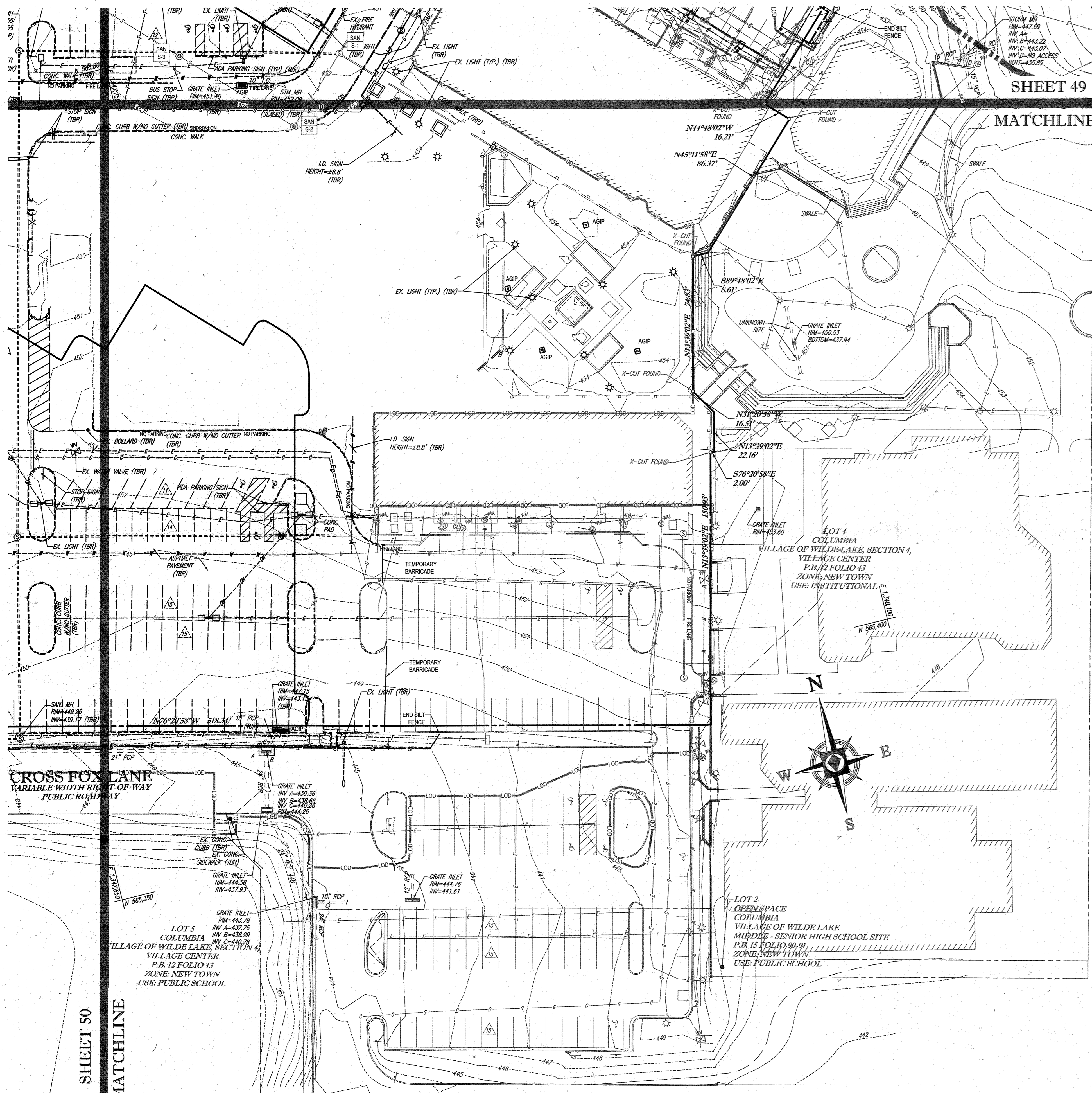
SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 08/13/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

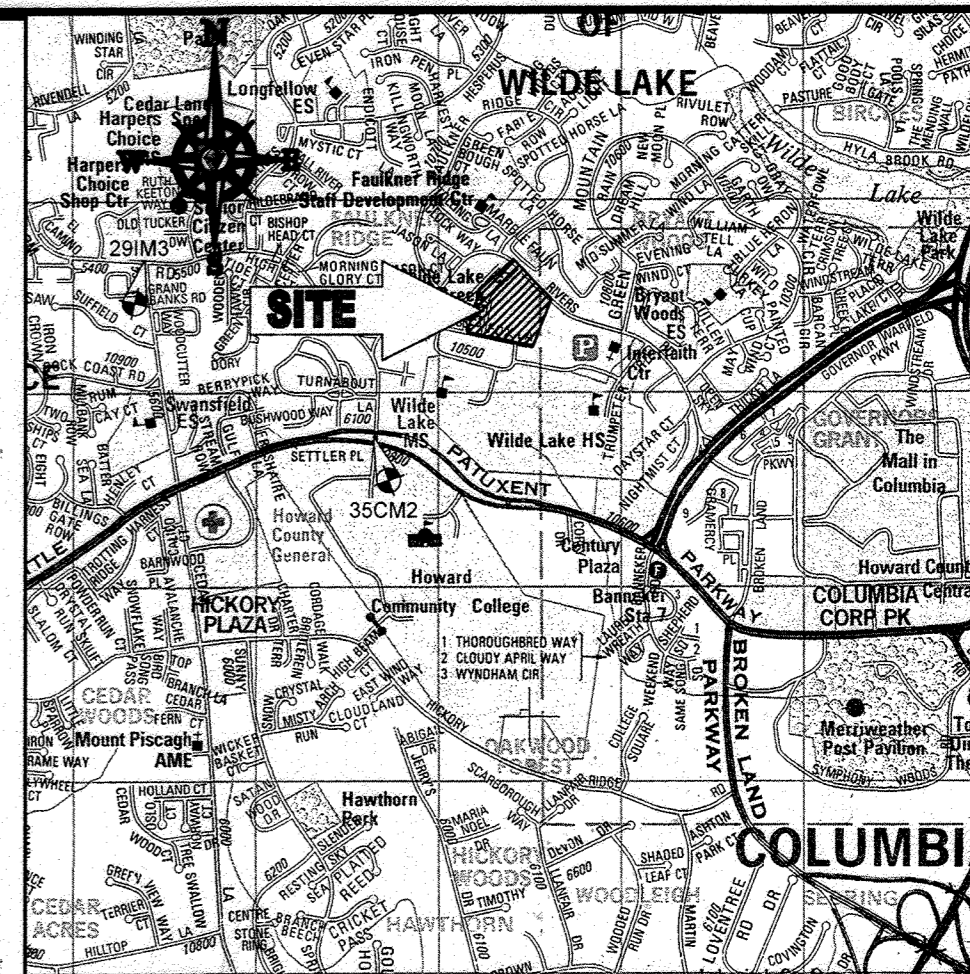
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE START OF CONSTRUCTION. BROU... THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL FULL COMPLIANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.852
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

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- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
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- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U1B	URBAN LAND - UDORCHEATS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



FOR REVISION 5 ONLY



ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
 MICHAEL J. GEZELL, P.E.

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND SOIL EROSION BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 WILDE LAKE BUSINESS TRUST TRUSTEE
 BY: [Signature] DATE: 7/29/13
 NAME: WILDE LAKE BUSINESS TRUST
 TITLE: VICE PRES.

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] DATE: 3/13/13
 HOWARD SCD

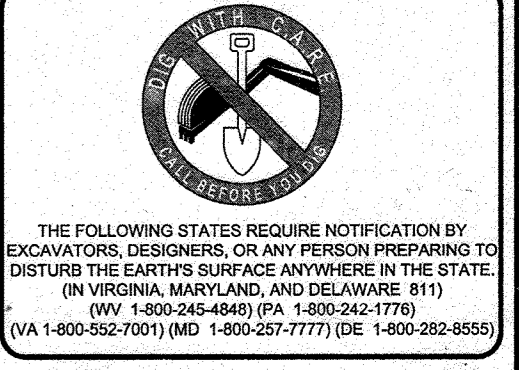
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED
 GRID: 24 ZONED: NT
 TAX MAP: 28 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1090M SITE AREA: 10.21 AC
 DPZ REF.: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GEZELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44087, EXPIRATION DATE: 09/20/21

BOHLER ENGINEERING
 CORPORATE OFFICE:
 WARREN, NJ
 OFFICES:
 BOWNE, MD
 SOUTHBRIDGE, MA
 STURBRIDGE, MA
 WASHINGTON, VA
 WILKESVILLE, PA
 PHILADELPHIA, PA
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS

REVISIONS

REV	DATE	COMMENT	BY
5	04/16	REVISED DIGGS 1, 2, 3 (DISH)	ADG
9	2/16/21	AS-BUILTS	ADG

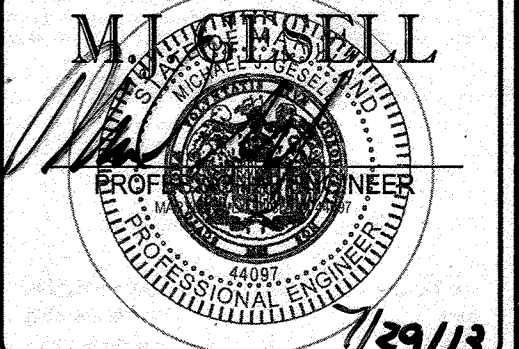


APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: MUG
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EBZ

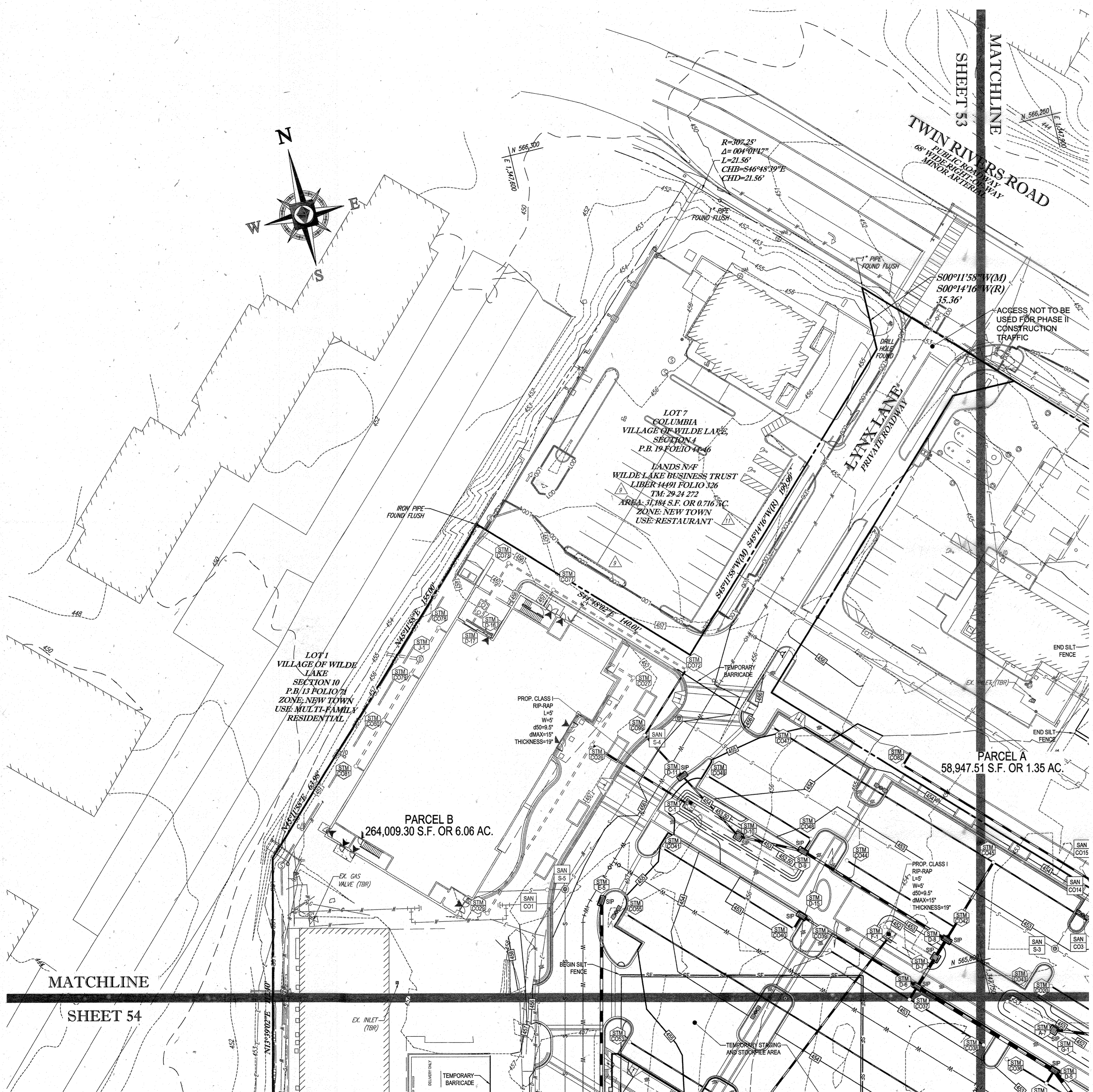
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 981 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE II EXISTING CONDITIONS/DEMOLITION
 SHEET NUMBER:
51
 OF 91
 SDP-13-046

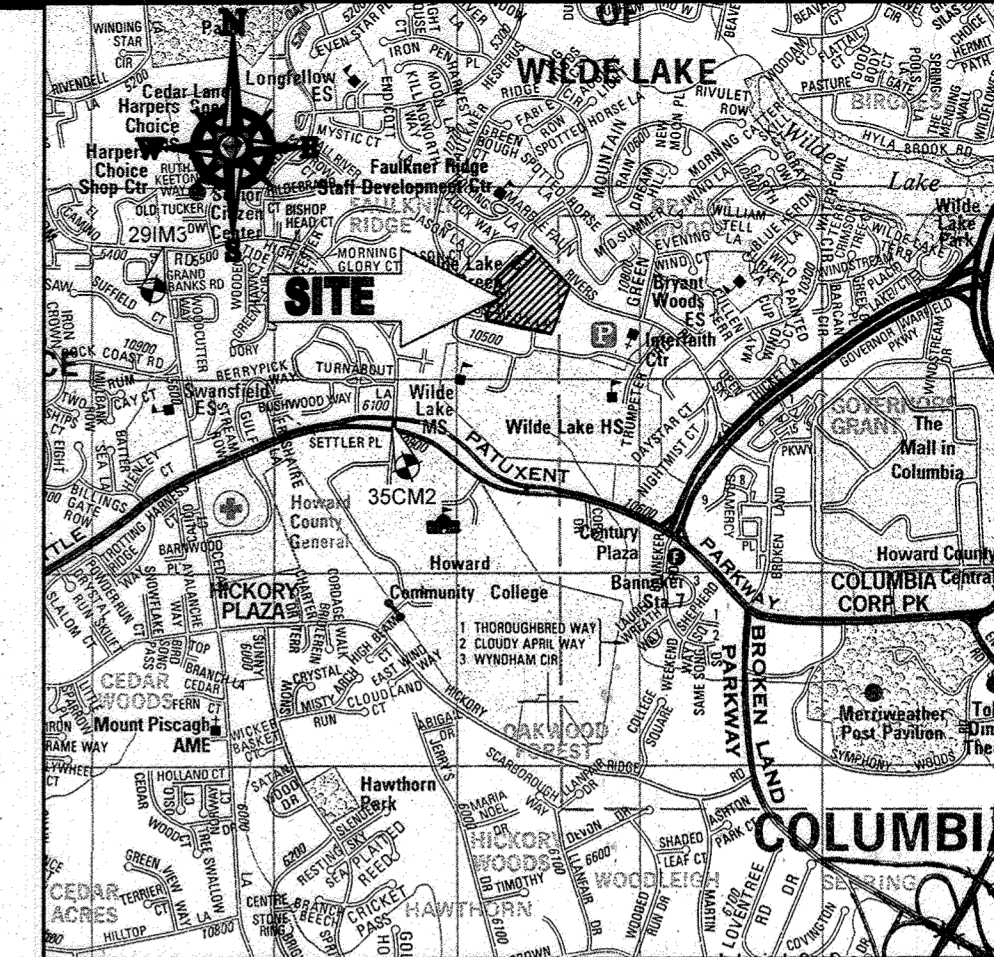
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 8/28/13
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 [Signature] DATE: April 15, 2013
 CHIEF DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 7/1/13
 DIRECTOR



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35C02 AND 29M03 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL IS BASED ON HOWARD COUNTY MONUMENT NOS. 35C02 AND 29M03 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35C02 ELEV. = 142.892'
 HOWARD COUNTY MONUMENT NO. 29M03 ELEV. = 141.133'

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION. SEDIMENT CONTROL NOTES AND DETAIL.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U1B	URBAN LAND - UDORHTEN'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

[Signature]
 MICHAEL J. GESELL, P.E.
 7/29/13

ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: *[Signature]* DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

NAME: WILBUR E. SHANNON DATE: 7-29-13
 TITLE: VICE PRESIDENT

FOR REVISION 5 ONLY:

[Signature]
 7/11/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE: 8/13/13

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4
 PLAT # 2-21-2013-2-21-2013-2-21-2013
 WATER CODE: E32
 SEWER CODE: 96029300

TAX MAP: 20 PARCELS: 272 PARCELS A-C ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1096m SITE AREA: 10.21 AC
 FINAL PLAN NUMBER: [Blank] DPZ REF.: SDP-13-046

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3233 NEWHYDE PARK ROAD
 NEWHYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

PROFESSIONAL CERTIFICATION: MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/2021

BOHLER ENGINEERING
 CORPORATE OFFICE:
 WARREN, NJ
 OFFICES:
 BOYERSBOROUGH, PA
 ELK LANE, VA
 FORT LAUDERDALE, FL
 FORT WASHINGTON, PA
 GAITHERSBURG, MD
 GREEN VALLEY, PA
 HANNA, VA
 PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
5	02/11/14	REVISED BLDGS 2, 3, 4	DGM
9	2/10/21	4 USES AND PARKING CALC	MAC

APPROVED FOR CONSTRUCTION

PROJECT No.: MD095002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EB2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 601
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MIKE PHELPS
 PROFESSIONAL ENGINEER

EROSION AND SEDIMENT CONTROL PLAN PHASE II PROPOSED CONDITION

SHEET NUMBER: 52 OF 91
 SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 8/13/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 8/13/13

DIRECTOR
 DATE: 7/26/13

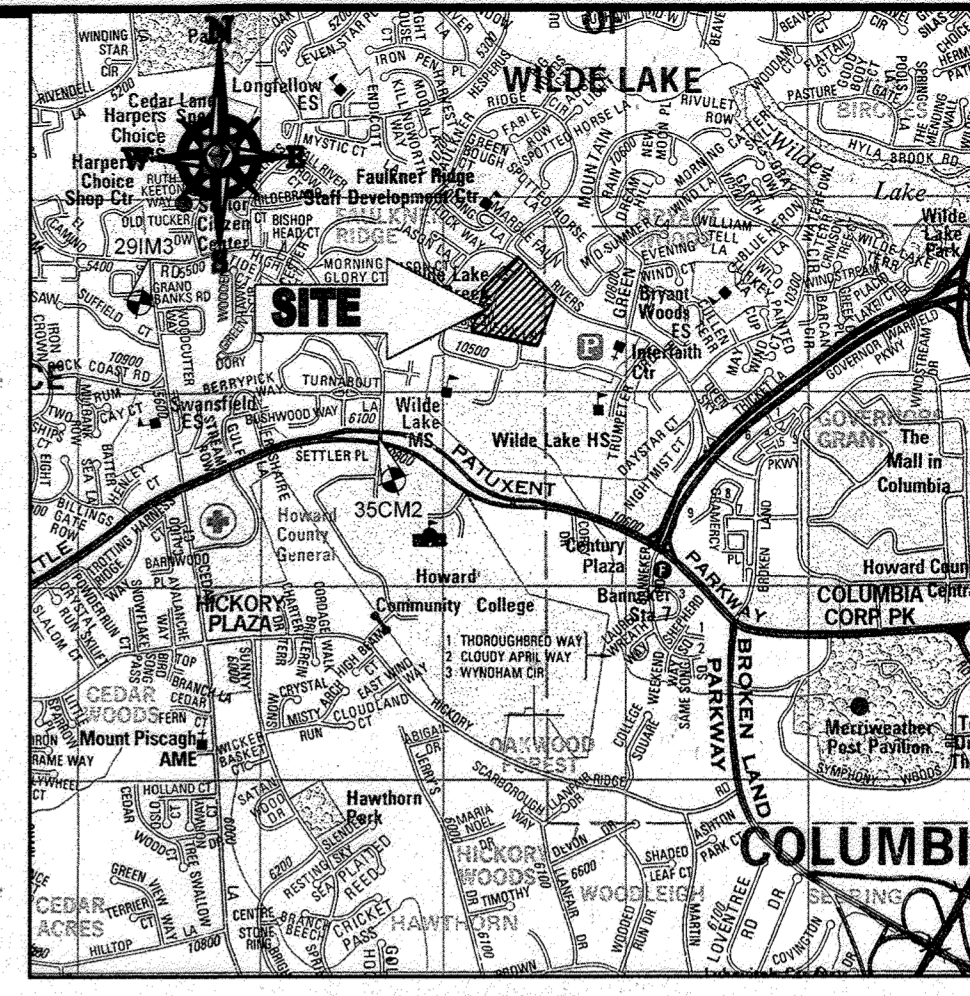
GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE DONE PRIOR TO THE START OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE AND FEDERAL CODES.



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E 23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UWB	URBAN LAND - UDORTHEAT'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING

CONSULTING OFFICE:
 WARRREN, NJ
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

OFFICES:
 BOWLING GREEN, OH
 TOWSON, MD
 ALBANY, NY
 CHAMONT, PA
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT BLDG FOOTPRINT WATER MAIN CONNECTION	TMG
5	02/11/16	REVISED BLDGS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100	MGJ
8	11/01/17	ADD PROPOSED TRAIL ENCLOSURE	MGJ
9	2/10/21	AS-BUILT	MGJ



APPROVED FOR CONSTRUCTION

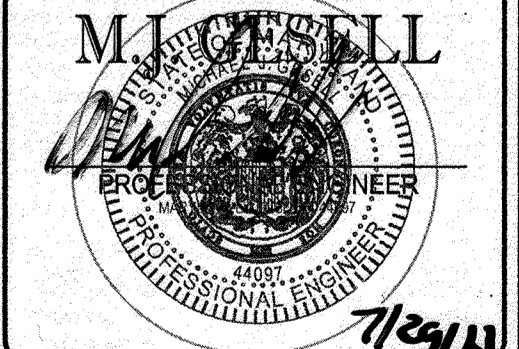
PROJECT NO.: MD089002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EB2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE II PROPOSED CONDITION

SHEET NUMBER: 53 OF 91
 SDP-13-046

FOR REVISION 9 ONLY (ADD AS-BUILT INFO)

[Signature]
 2/27/21

FOR REVISION 5 ONLY:

[Signature]
 7/16/16
 For Revision 2 only

FOR REVISION 8 ONLY

[Signature]
 12/10/17

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: *[Signature]* 7/29/13
 MICHAEL J. GESELL, P.E. DATE

DEVELOPER'S CERTIFICATE
 I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFIED ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 NAME OF DEVELOPER: MICHAEL J. GESELL
 TITLE: VICE PRESIDENT
 DATE: 7-29-13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
[Signature] 9/13/13
 HOWARD SCD DATE

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4 PLAT 12 FOLIO 43 ZONE: NEW TOWN USE: INSTITUTIONAL
 DATE: 2/10/21

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000

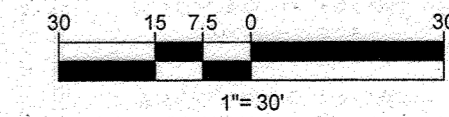
DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TOWSON, MD 21286
 (410) 884-2000

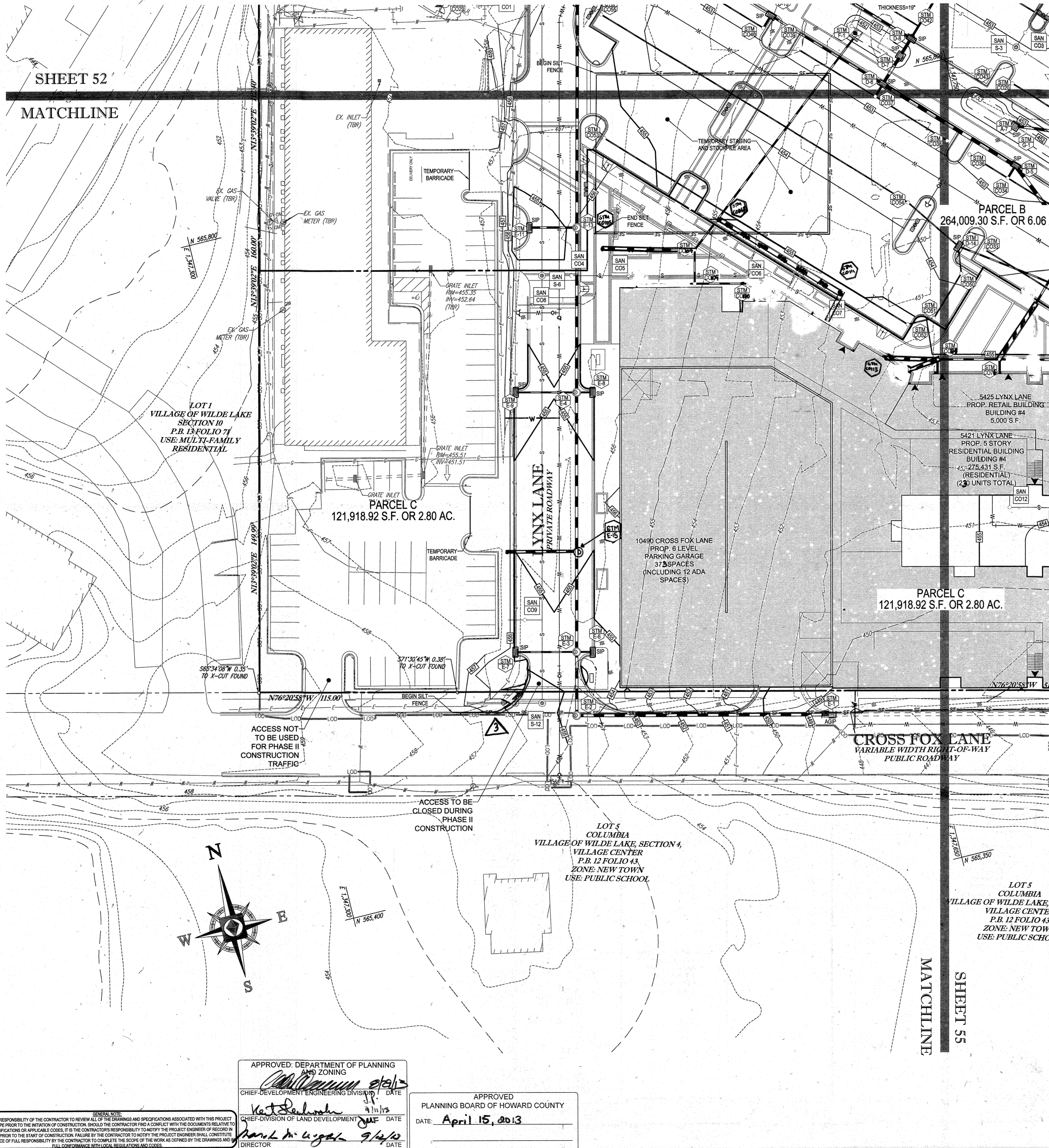
TAX MAP: 28 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 23 REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 2/10/21
 CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE ORDINANCES AND REGULATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL, STATE, FEDERAL AND CODES.

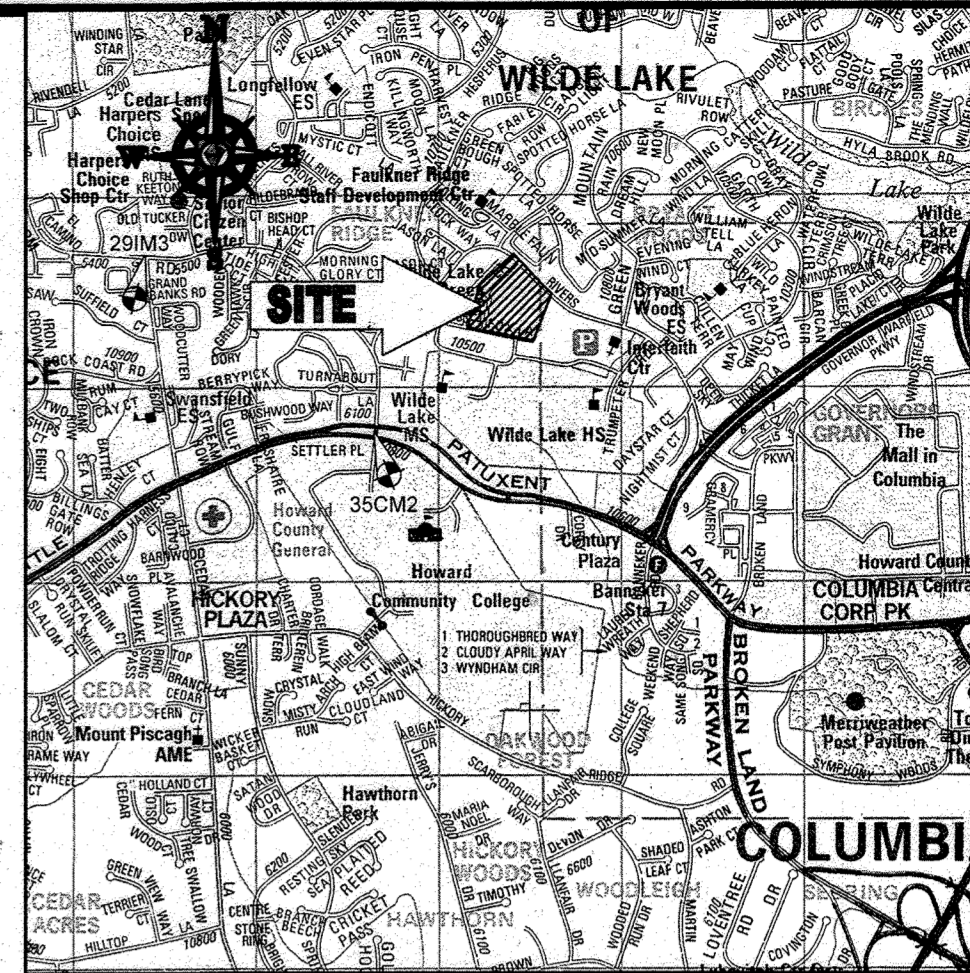




STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGIP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20002153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

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 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

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INLET PROTECTION NOTE

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 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MFC STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

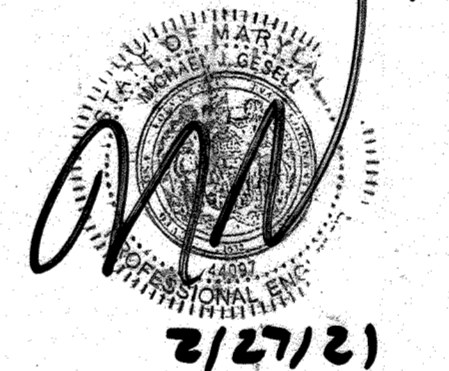
EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

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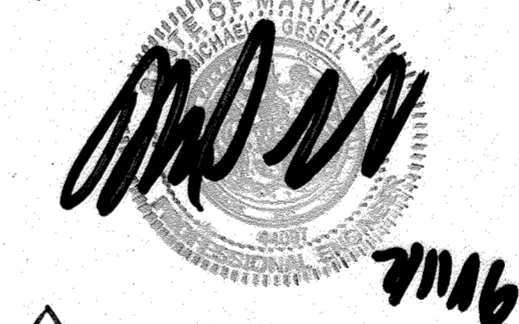
SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G/B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G/C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U/B	URBAN LAND - UDORHENT'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



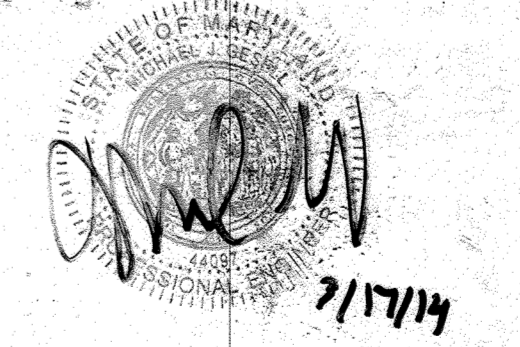
FOR REVISION 5 ONLY:



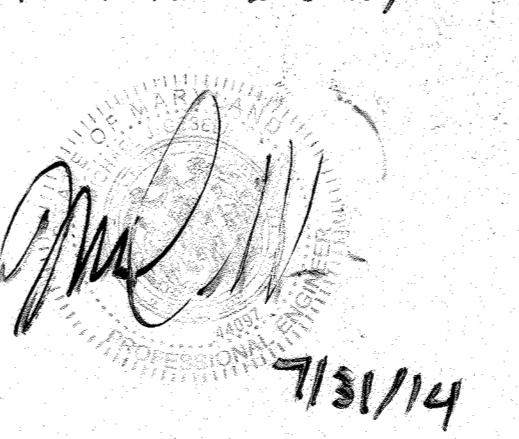
FOR REVISION 3 ONLY



FOR REVISION 1 ONLY



FOR REVISION 2 ONLY

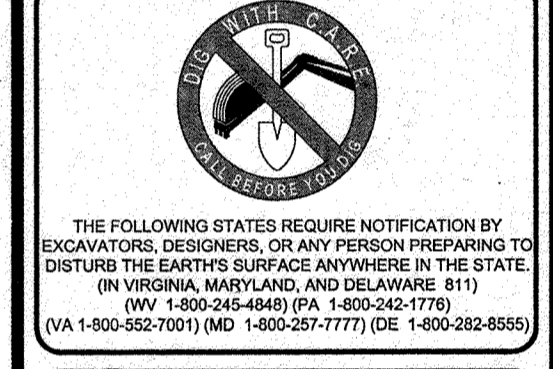


BOHLER ENGINEERING
 CORPORATE OFFICE: WARREN, NJ
 OFFICES:
 BOWLING GREEN, OH
 CHICAGO, IL
 CHARLESTON, SC
 COLUMBIA, MD
 HARTFORD, CT
 HOUSTON, TX
 INDIANAPOLIS, IN
 JACKSONVILLE, FL
 MIAMI, FL
 NEW YORK, NY
 PHILADELPHIA, PA
 RICHMOND, VA
 ST. LOUIS, MO
 TAMPA, FL
 WASHINGTON, DC

CIVIL & CONSULTING ENGINEERS SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	ELH
2	5/16/11	REVISED STORM DRAIN LAYOUT	TMG
3	6/24/15	REVISED CURB & SIDEWALKS	WCB
5	02/11/14	REVISED BUREAU 2-3	WCB
9	2/16/21	AS-BUILT INFO	YMG



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: MUG
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EBB

PROJECT: **SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION**
 LOCATION OF SITE: VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT.
 SIGNATURE OF ENGINEER: Michael J. Gezell
 DATE: 7/29/13

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION DISTRICT.
 NAME: MICHAEL J. GEZZEL
 TITLE: VICE PRESIDENT
 DATE: 7-29-13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000

CONTACT: GREG REED
 GRID: 24 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 23 REF: 1038m SITE AREA: 10.21 AC
 WATER CODE: E32 DP2 REF: SDP-13-046
 SEWER CODE: 6092900

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GEZZEL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER, UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44097, EXPIRATION DATE: 09/30/21

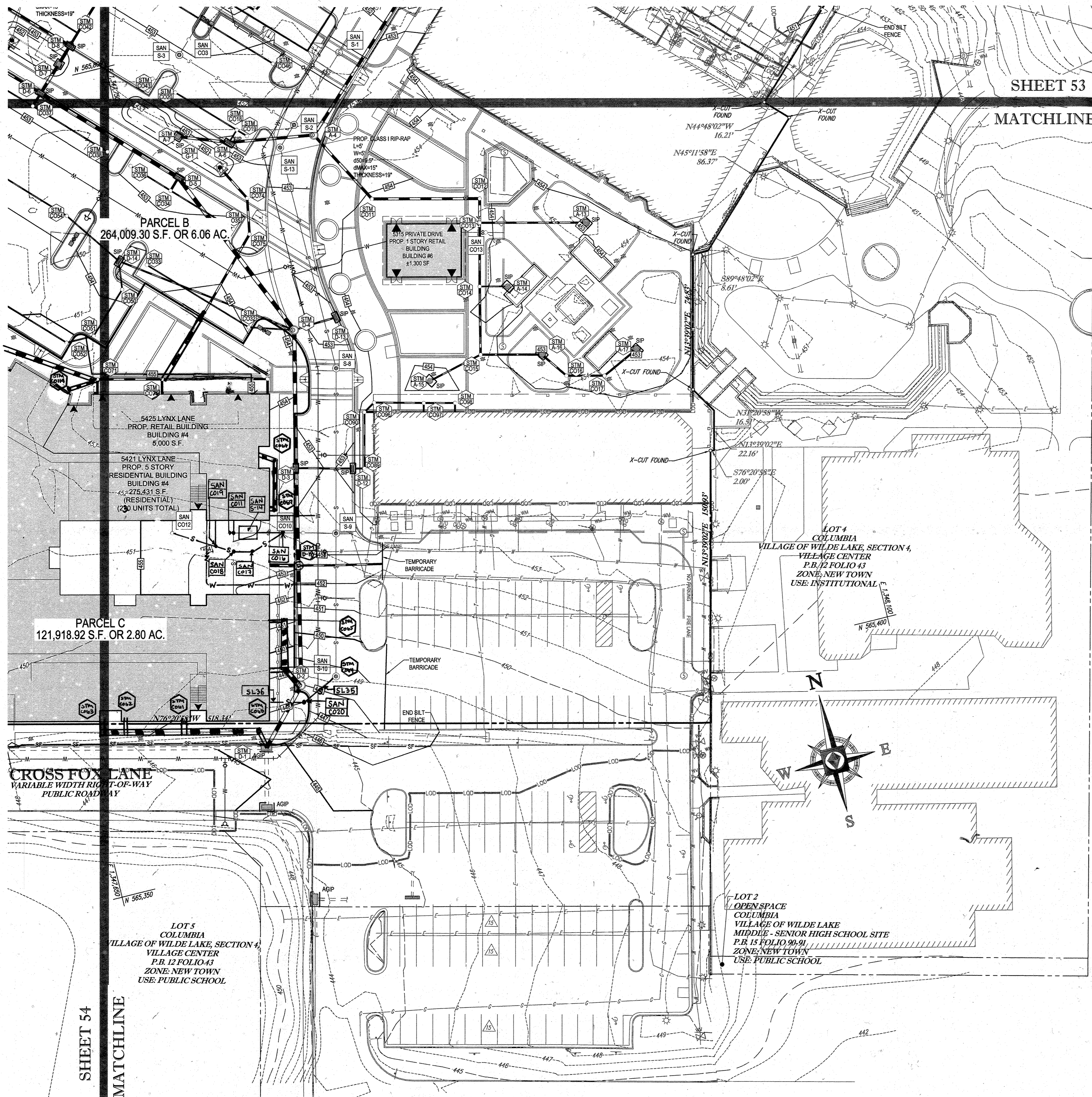
54 OF 91
 SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: DIRECTOR
 DATE: 9/12/10

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER ORAL AND IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



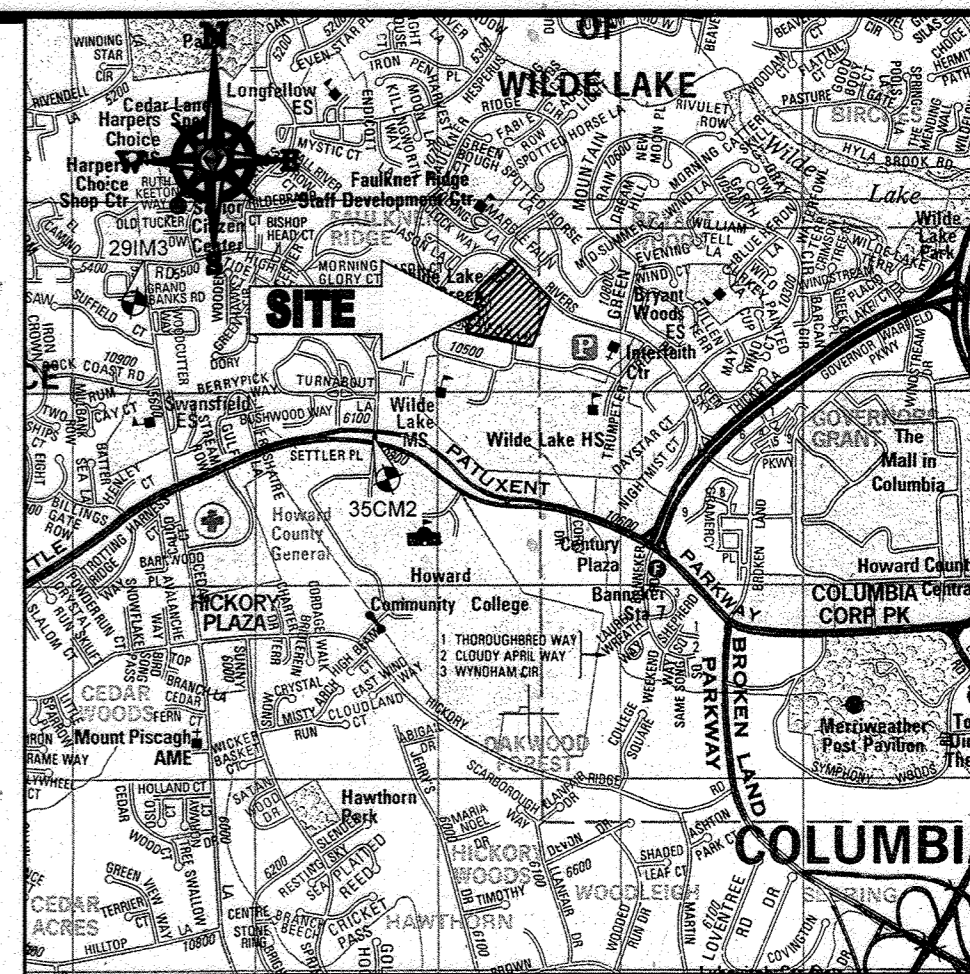
SHEET 53

MATCHLINE

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	
SILT FENCE	SF	
SUPER SILT FENCE	SSF	
AT GRADE INLET PROTECTION	AGP	
STANDARD INLET PROTECTION	SP	
RIP RAP		



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4834 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL CONTROL STATION 29IM3 IS LOCATED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GBB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UUB	URBAN LAND - UDORMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING

CORPORATE OFFICE:
 WARREN, NJ

OFFICES:
 BOWEN, MD
 WASHINGTON, VA
 CHARLOTTE, NC
 PHILADELPHIA, PA

SURVEYORS
 CIVIL & CONSULTING ENGINEERS

PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
1	1/10/14	REVISED UTILITY LAYOUT	RDH
2	5/16/14	REVISED STORM DRAIN LAYOUT, BLDG FOOTPRINT, WATER STORAGE TANK, AND CONCRETE CURB	TMG
5	02/11/16	REVISED 0606 2, 3, 4, 4A USES AND MATCHING CALLS	MSG
9	2/10/21	AS-BUILT INFO	MSG

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (WV 1-800-245-4848) (PA 1-800-242-1779) (VA 1-800-552-7075) (MD 1-800-321-7777) (DE 1-800-292-8559)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EBC

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

301 DULANEY VALLEY ROAD, SUITE 801 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESELL, P.E.
 PROFESSIONAL ENGINEER

SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN PHASE II PROPOSED CONDITION
 SHEET NUMBER: 55 OF 91
 SDP-13-046

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

Signature: [Handwritten Signature]
 DATE: 2/27/21

FOR REVISION 2 ONLY

Signature: [Handwritten Signature]
 DATE: 7/17/14

FOR REVISION 1 ONLY

Signature: [Handwritten Signature]
 DATE: 3/17/14

FOR REVISION 5 ONLY:

Signature: [Handwritten Signature]
 DATE: 7/11/16

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A FEASIBLE AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE, THE PROJECT, AND THE REQUIREMENTS OF THE HOWARD COUNTY SOIL EROSION AND SEDIMENT CONTROL DISTRICT."

SIGNATURE OF ENGINEER: [Handwritten Signature]
 DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY SOIL EROSION AND SEDIMENT CONTROL DISTRICT."

SIGNATURE OF DEVELOPER: [Handwritten Signature]
 DATE: 7-29-13
 TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1964 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000

CONTACT: GREG REED
 TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1099m SITE AREA: 10.21 AC
 WATER CODE: E32
 SEWER CODE: 6020200

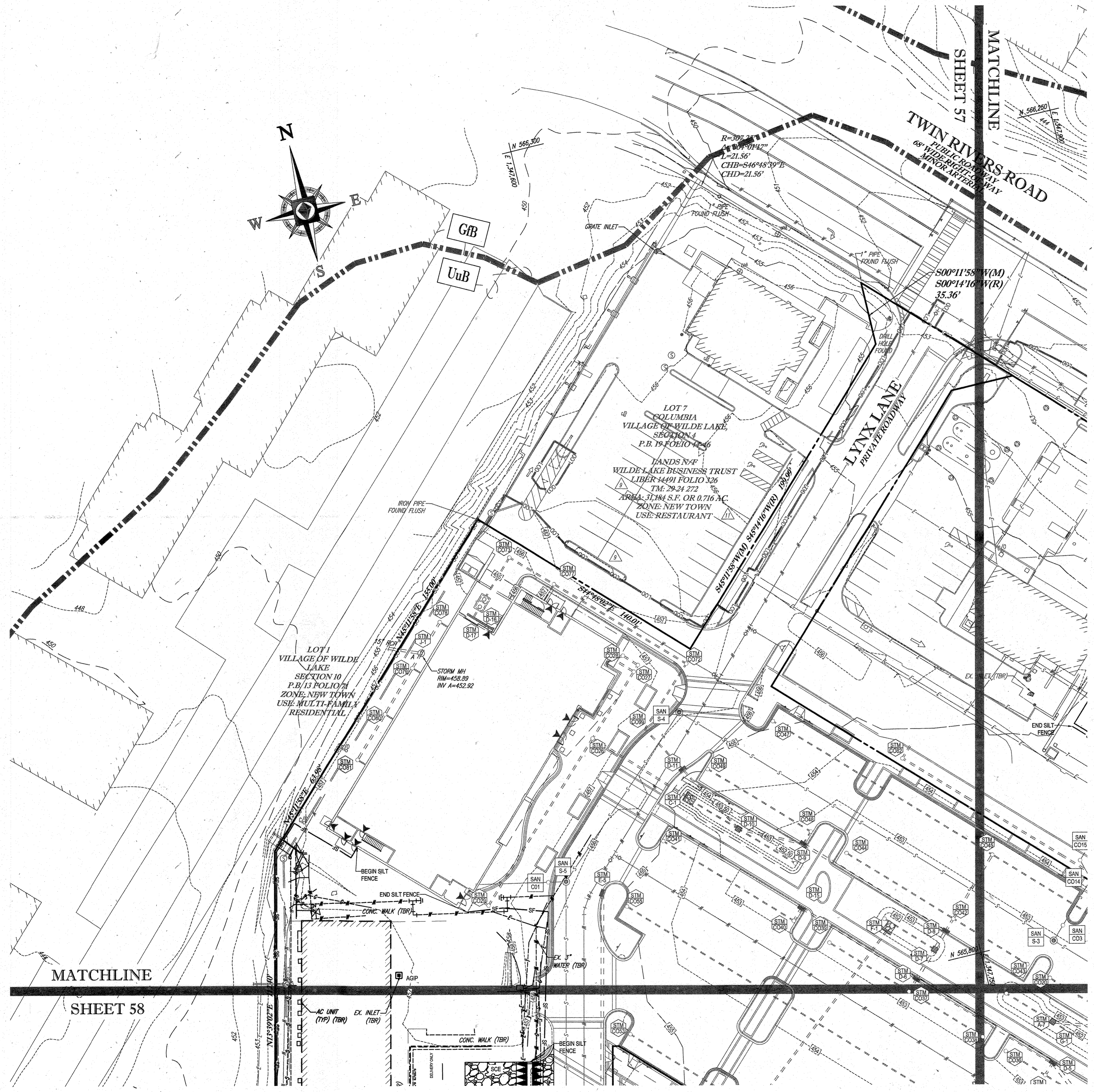
PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44087, EXPIRATION DATE: 09/20/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/15/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

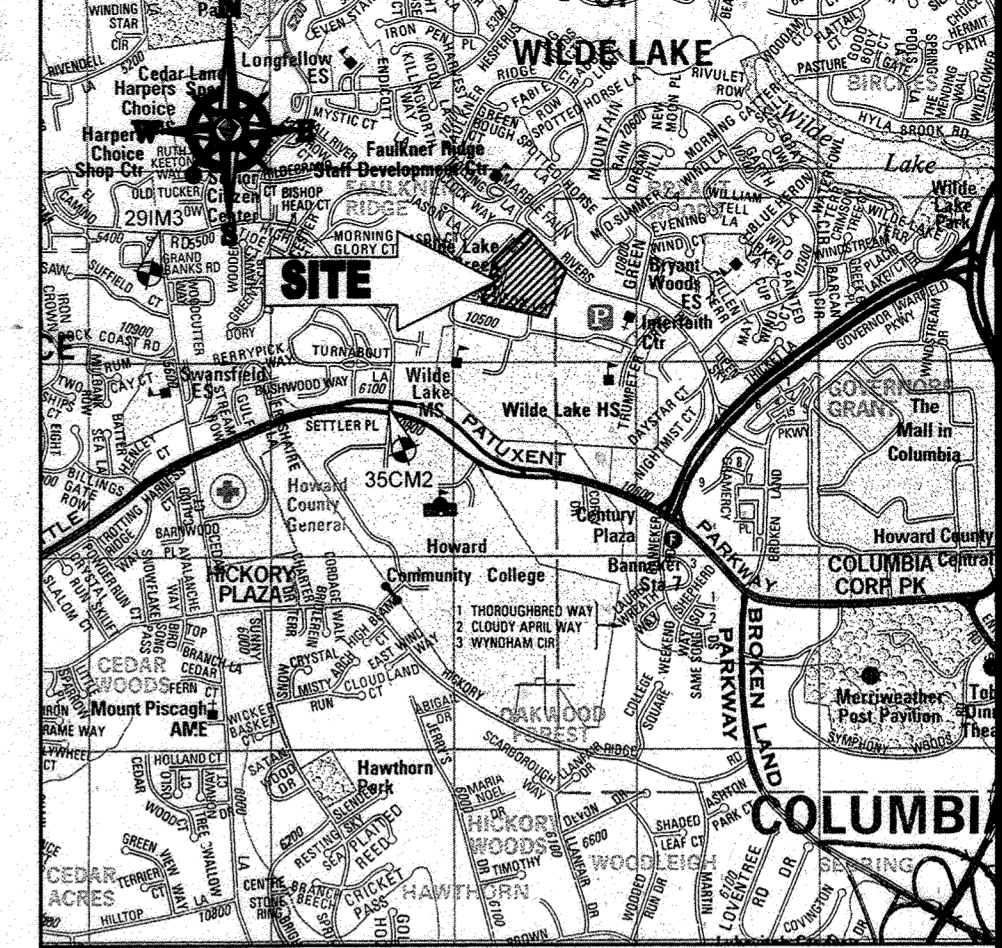
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL CODES.



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 2002153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 49341 K5

BENCHMARK NOTE:
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATA IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
 THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORTHEMETS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INCO)

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature]
 MICHAEL J. GESELL, P.E.
 DATE: 7/29/13

FOR REVISION 5 ONLY:
 DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 NAME: WILSON REED, III
 TITLE: VICE PRESIDENT
 DATE: 7/29/13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4
 PLAN NO.: 2351-0-2351-11
 WATER CODE: E32
 SEWER CODE: 562220
 GRID: 24
 TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 CONTACT: GREG REED
 ZONED: NT
 DPZ REF.: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DUALY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44097, EXPIRATION DATE: 6/30/2021.

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
 WARREN, NJ
 OFFICES:
 ASHTABUG, OH
 ALBANY, NY
 ALBANY, NY
 CENTER VALLEY, PA
 TAMPA, FL
 WASHINGTON, VA
 FORT LAUDERDALE, FL
 PHILADELPHIA, PA

REVISIONS

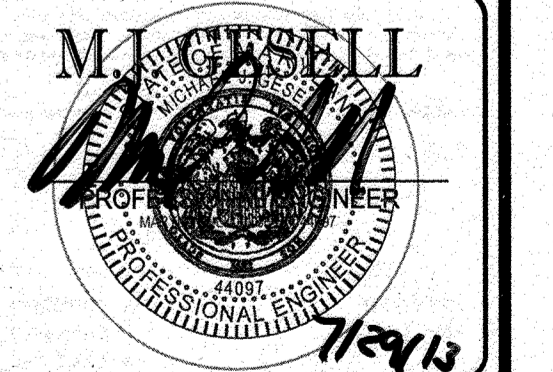
REV	DATE	COMMENT	BY
5	02/11/16	REVISED BLDGS 2, 3 & 4	[Signature]
9	2/18/21	AS-BUILT	[Signature]



APPROVED FOR CONSTRUCTION
 PROJECT No.: MD065922
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: E22

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 CENTER REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

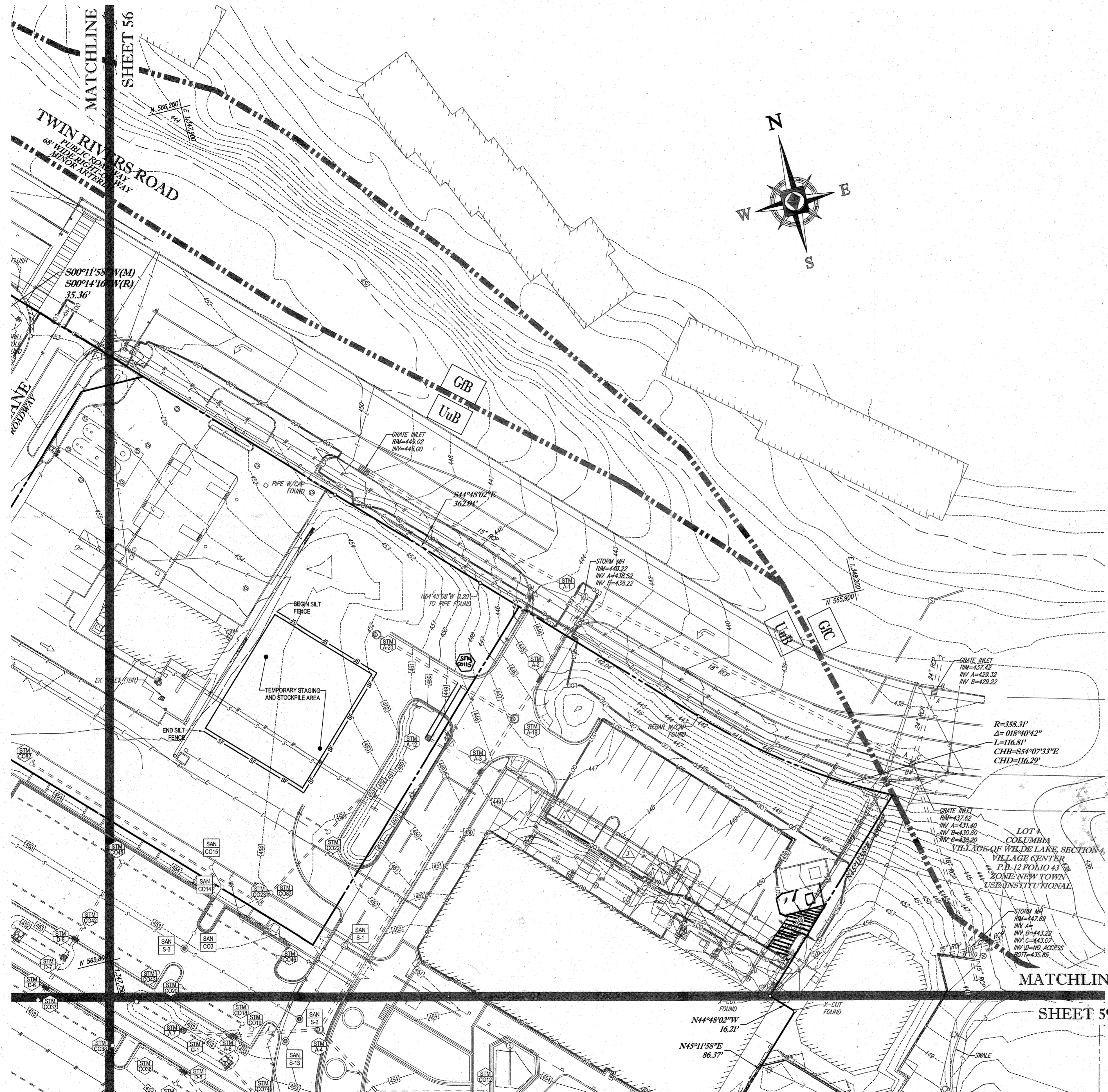


SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE III EXISTING CONDITIONS/DEMOLITION
 SHEET NUMBER:
56
 OF 91
 SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/11/13

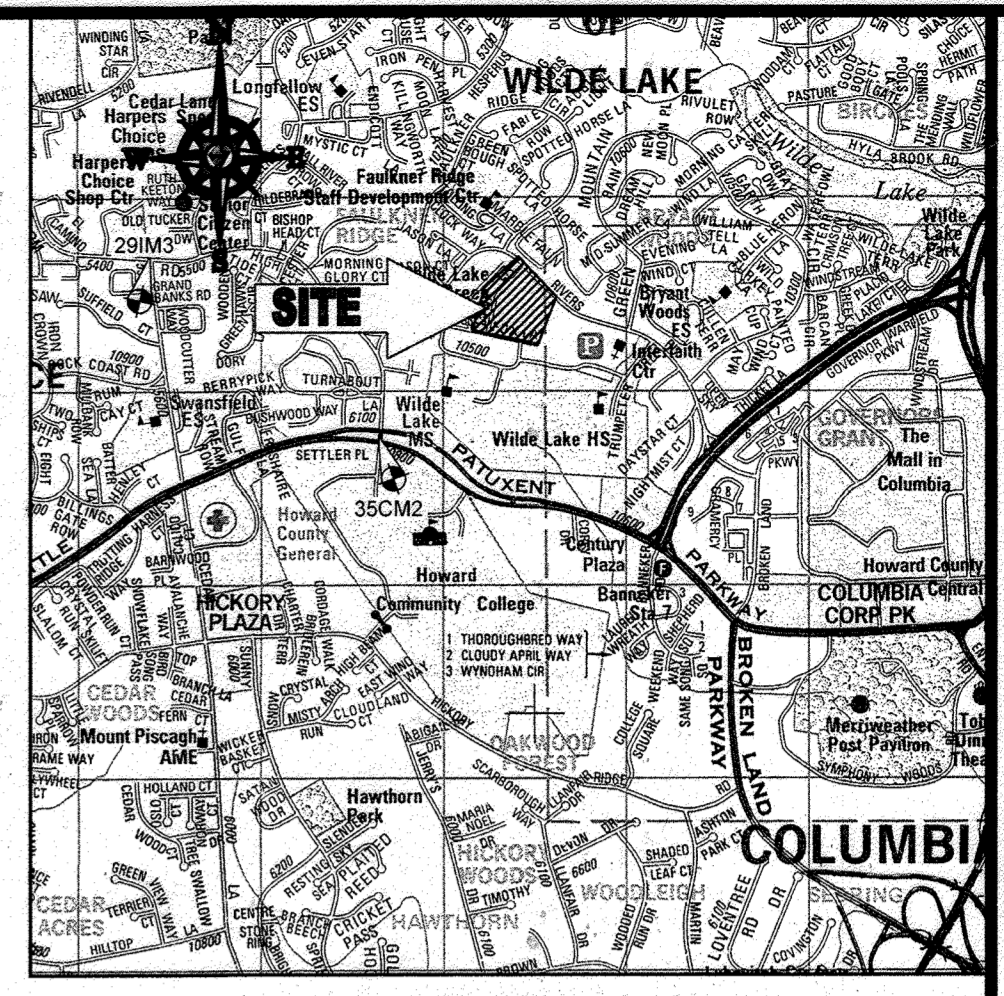
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 [Signature]
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE BEGINNING OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH ALL REGULATIONS AND CODES.



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS.

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PAGE 2-3. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UB	URBAN LAND - UDORTMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

$R=358.31'$
 $\Delta=018^{\circ}40'42''$
 $L=116.81'$
 $CHB=354^{\circ}07'33''E$
 $CHD=116.29'$

LOT 1
COLUMBIA
VILLAGE OF WILDE LAKE SECTION 4
VILLAGE CENTER
P.B. 12 FOLIO 43
ZONE: NEW TOWN
USE: INSTITUTIONAL

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

FOR REVISION 5 ONLY:

12/27/21

FOR REVISION 2 ONLY

FOR REVISION 8 ONLY

12/16/17

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE PROJECT AND HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF ENGINEER: [Signature]
DATE: 7/29/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

WILDE LAKE BUSINESS TRUST
BY: KIMCO REALTY CORPORATION MEMBER
NAME: WILBUR E. SIMMONS
TITLE: VICE PRESIDENT
DATE: 7-27-13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SCD
DATE: [Signature]

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1654 GREENSPRING DRIVE, SUITE 330
TIMONIUM, MD 21093
(410) 684-2000

GRID: 29 PARCELS: 272, PARCELS A-C ZONED: NT
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
23 REF: 1098m SITE AREA: 10.21 AC
WATER CODE: E32 DPZ REF: SDP-13-046
SEWER CODE: 5002500

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 7/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

BOHLER ENGINEERING

CONSULTING OFFICE:
WARRICK, NY

PROJECT MANAGERS:
SURVEYORS

ENVIRONMENTAL CONSULTANTS:
LANDSCAPE ARCHITECTS

OFFICES:
BOWIE, MD
TOWSON, MD
WARRICK, NY
CHAMFORD, PA
TAMPA, FL
PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT, BLDG FOOTPRINT, WAREHOUSE CONSTRUCTION	TMG
5	02/11/14	REVISED GRUBS & 4" DRAIN ADD DRAINAGE AND PRELIMINARY	DMC
8	11/6/17	ADD PROPOSED TRASH ENCLOSURE	DMC
9	2/16/21	AS-BUILTS	DMC

APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (VA 1-800-552-7091) MD 1-800-551-7777 (DE 1-800-392-6599)

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=50'
CAD I.D.: EC2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE CENTER REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER

7/29/13

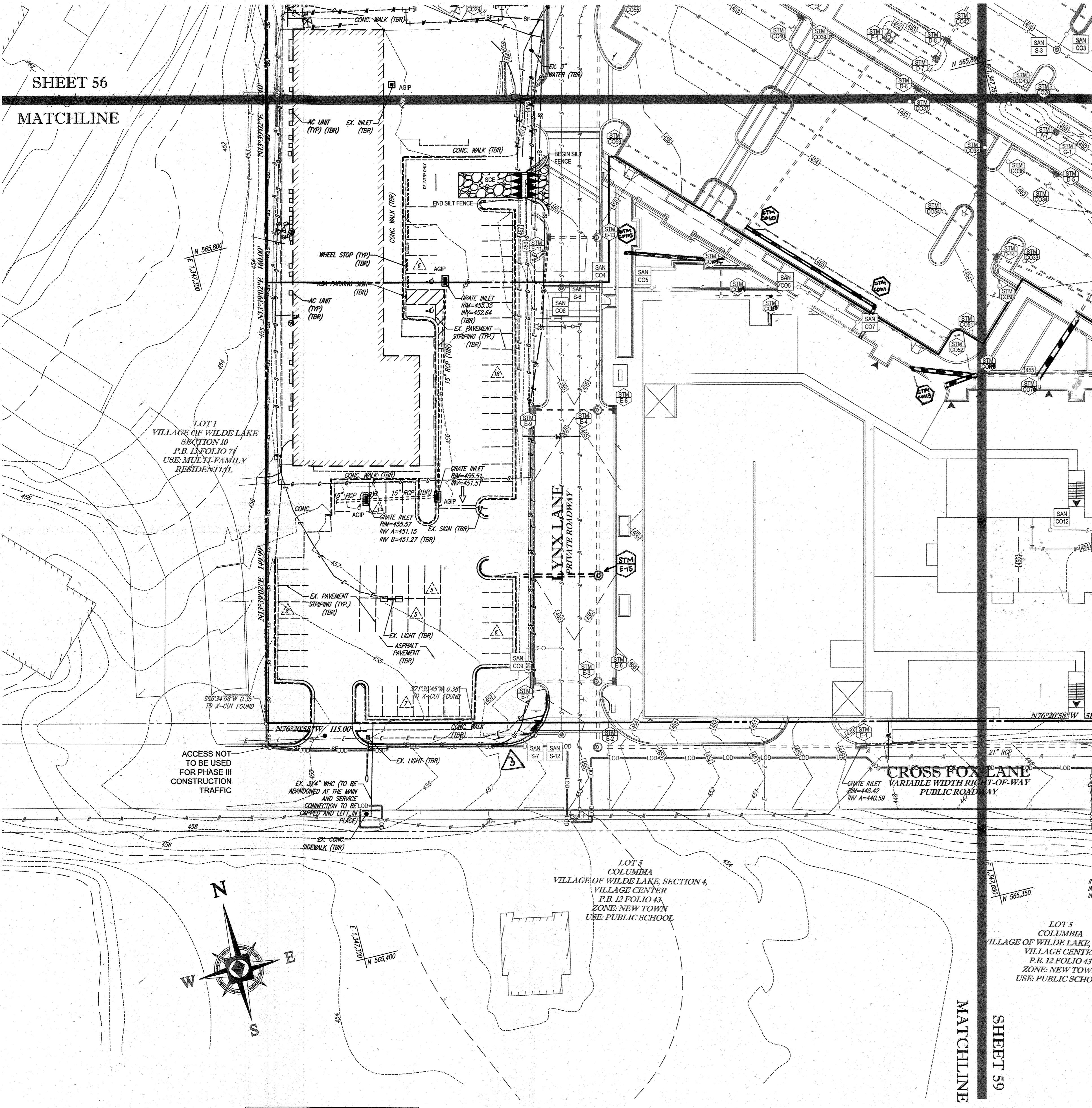
EROSION AND SEDIMENT CONTROL PLAN PHASE III EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER: 57 OF 91
SDP-13-046

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT BEFORE BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPROVED CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.

SHEET 56

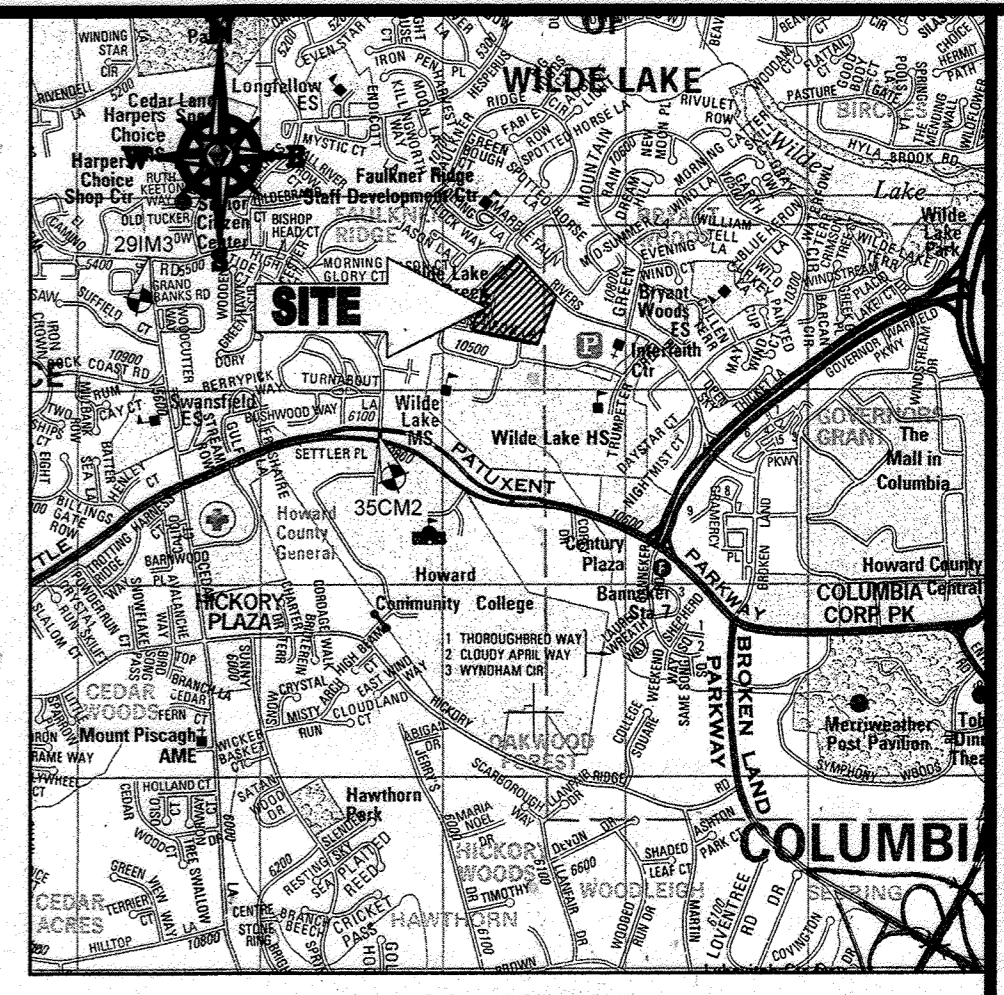
MATCHLINE



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS.
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE 5-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G/B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G/C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U/B	URBAN LAND - UDORHTENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature]
 DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 WILDE LAKE BUSINESS TRUST
 BY: [Signature]
 DATE: 7-29-13
 NAME: WILDE LAKE BUSINESS TRUST
 TITLE: VICE PRESIDENT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE, SECTION 4, PLAT 210-332-1
 WATER CODE: E32
 SEWER CODE: 5002500

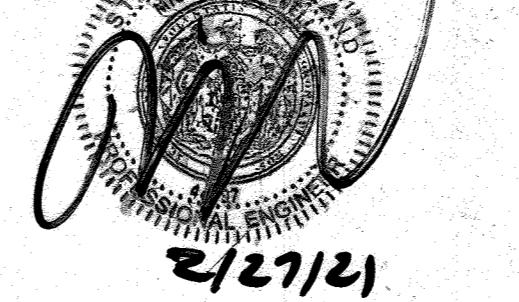
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000

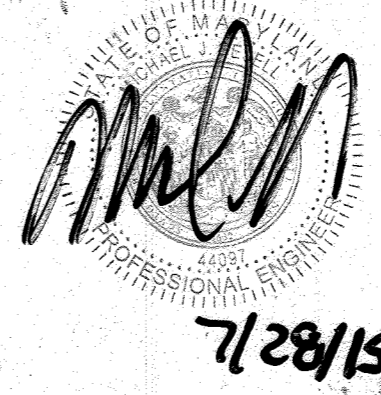
TAX MAP: 29 PARCELS: 272, PARCELS A-C ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1099m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 09/28/21

FOR REVISION 9 ONLY (NO AS-BUILT INFO)



FOR REVISION 3 ONLY



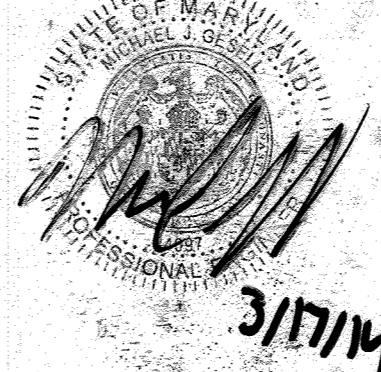
FOR REVISION 5 ONLY:



FOR REVISION 2 ONLY



FOR REVISION 1 ONLY



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/15/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

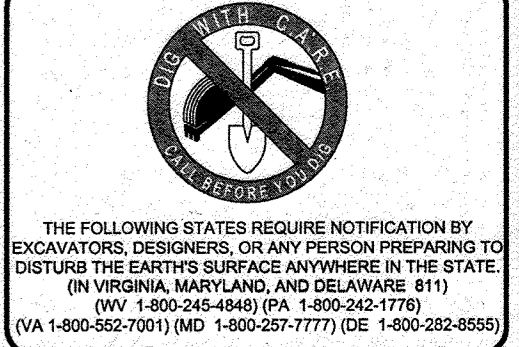
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CONSUMERS OFFICE:
 WABREX, NJ
 SOUTHBOROUGH, MA
 ALBANY, NY
 CHILMARK, MA
 TAMA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	BDH
2	5/16/14	REVISED STORM DRAIN LAYOUT	TM4
3	6/21/15	REVISED CIVIL & LANDSCAPE ARCHITECTURE	WCB
5	02/11/16	REVISED BLDG 1, 2, 3, 4, 5 USES AND PARKING CALC	WCB
9	2/16/21	As-Built	WCB

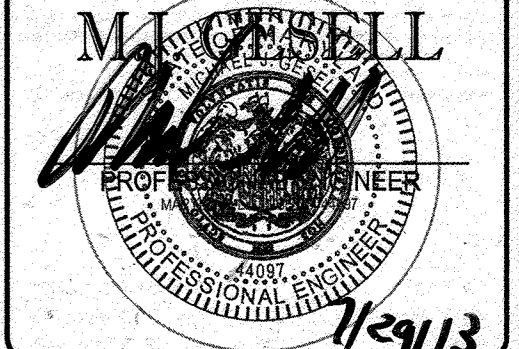


APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EC2

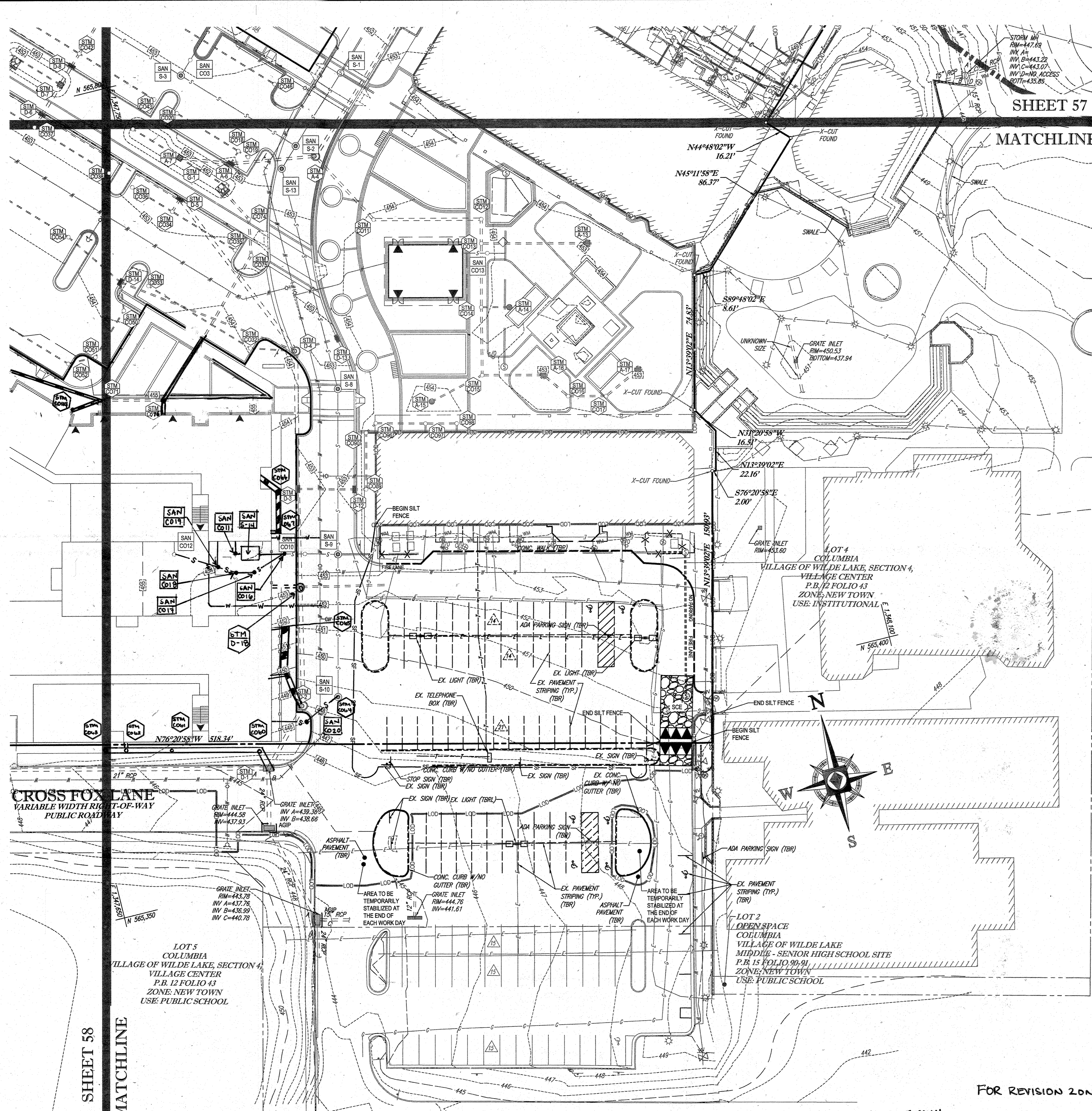
SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: NOS. 1, 2, 3, 4 & 8

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN PHASE III EXISTING CONDITIONS/DEMOLITION
 SHEET NUMBER: 58 OF 91
 SDP-13-046

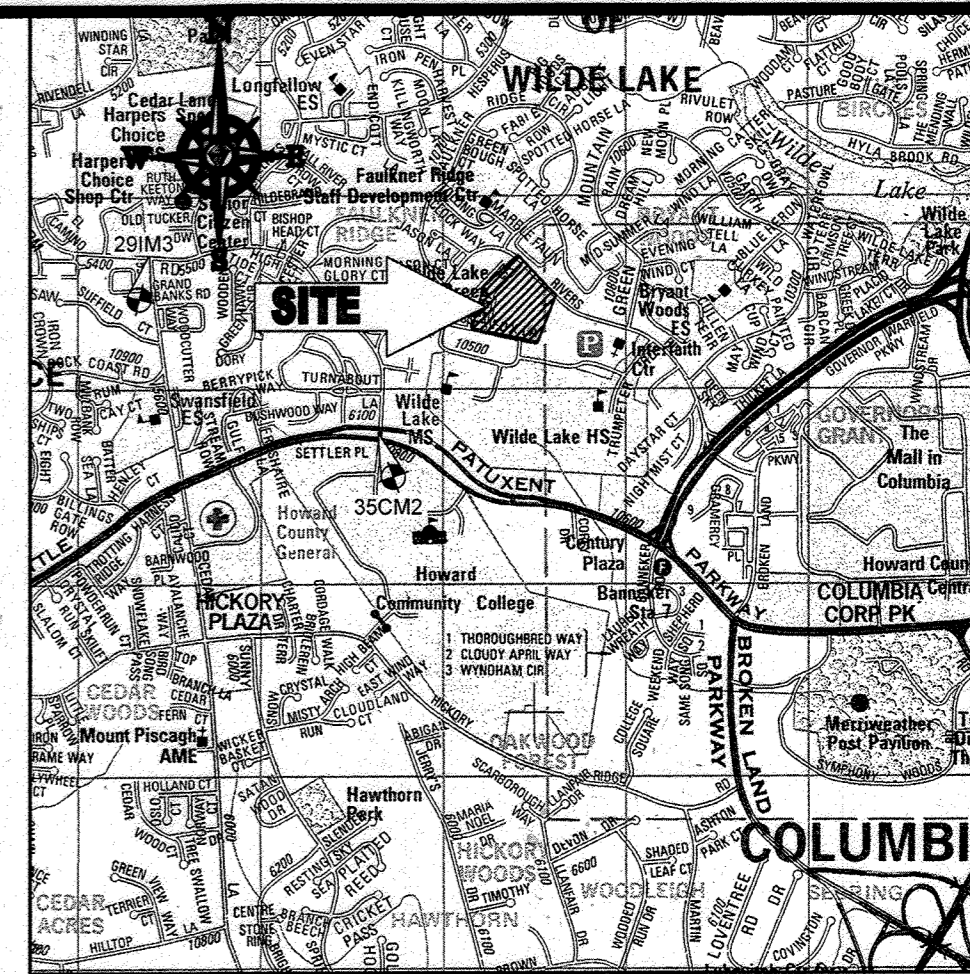
GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL DATUM IS DATUM ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = +40.382
 HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

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- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
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SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GfB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GfC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDDORTHER'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING

CIVIL & CONSULTING ENGINEERS SURVEYORS

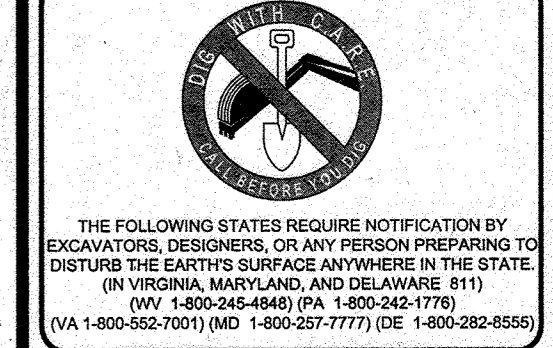
PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CONSUMERS OFFICE:
 WARRERS NY

OFFICES:
 BOWEN, MD
 TOWSON, MD
 ALBANY, NY
 CHARLESTON, VA
 CHARLESTON, PA
 TAMPA, FL
 PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	RDV
2	5/14/14	REVISED STORM DRAIN LAYOUT	RDV
5	02/11/16	REVISED PROPOSED BLDG 3, 4, 5, 6 AND USE AND PARKING LOTS	RDV
9	2/16/21	AS-BUILTS	RDV



APPROVED FOR CONSTRUCTION

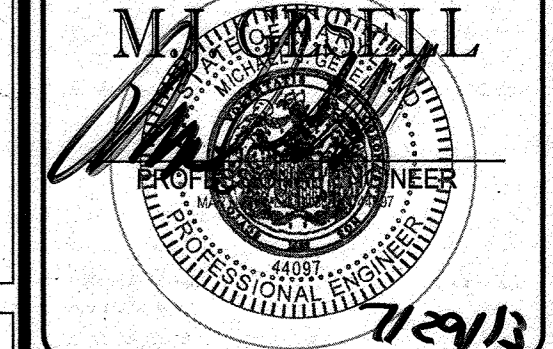
PROJECT NO: MD069002
 DRAWN BY: M.J.G.
 CHECKED BY: M.J.G.
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: E22

PROJECT: SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

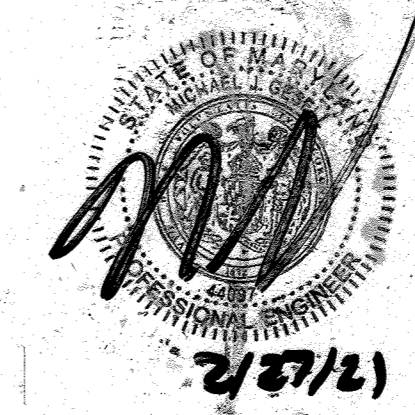
901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE III EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER: 59 OF 91
 SDP-13-046

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



ENGINEER'S CERTIFICATE

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE PROJECT AND THAT I WAS PRESENT AT THE ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature]
 DATE: 7/29/13
 NAME: MICHAEL J. GESSELL, P.E.

DEVELOPER'S CERTIFICATE

I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENTATION. I HEREBY CERTIFY THAT I AM THE PROPERTY OWNER AND I AM PRESENT AT THE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.

WILDE LAKE BUSINESS TRUST
 BY: [Signature]
 DATE: 7-29-13
 NAME: WILBUR E. SHANNON III
 TITLE: VICE PRESIDENT

PROFESSIONAL CERTIFICATION

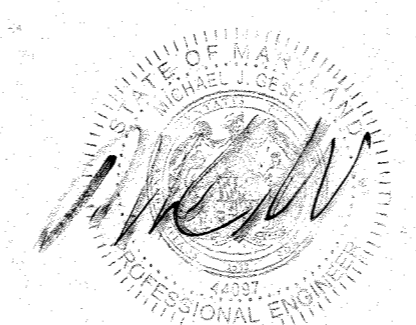
I, MICHAEL J. GESSELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

HOWARD SCD [Signature]
 DATE: 7/29/13

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4, P.L. 13 FOLIO 43
 PLAT NO. 235-9-237-1
 WATER CODE: E32
 SEWER CODE: 5002500

FOR REVISION 2 ONLY



FOR REVISION 5 ONLY:

[Signature]
 7/16/16

FOR REVISION 1 ONLY

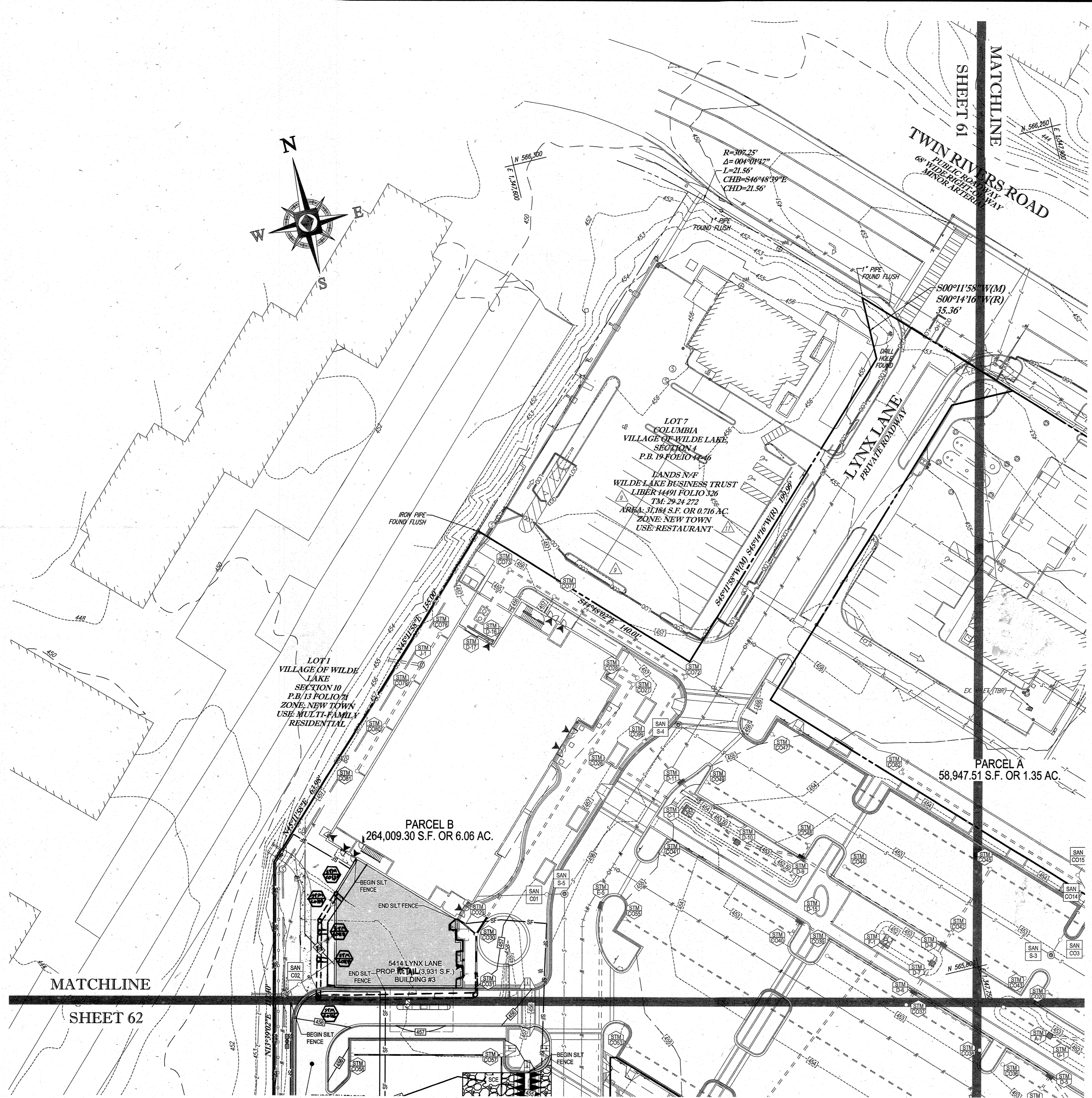


[Signature]
 3/17/14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

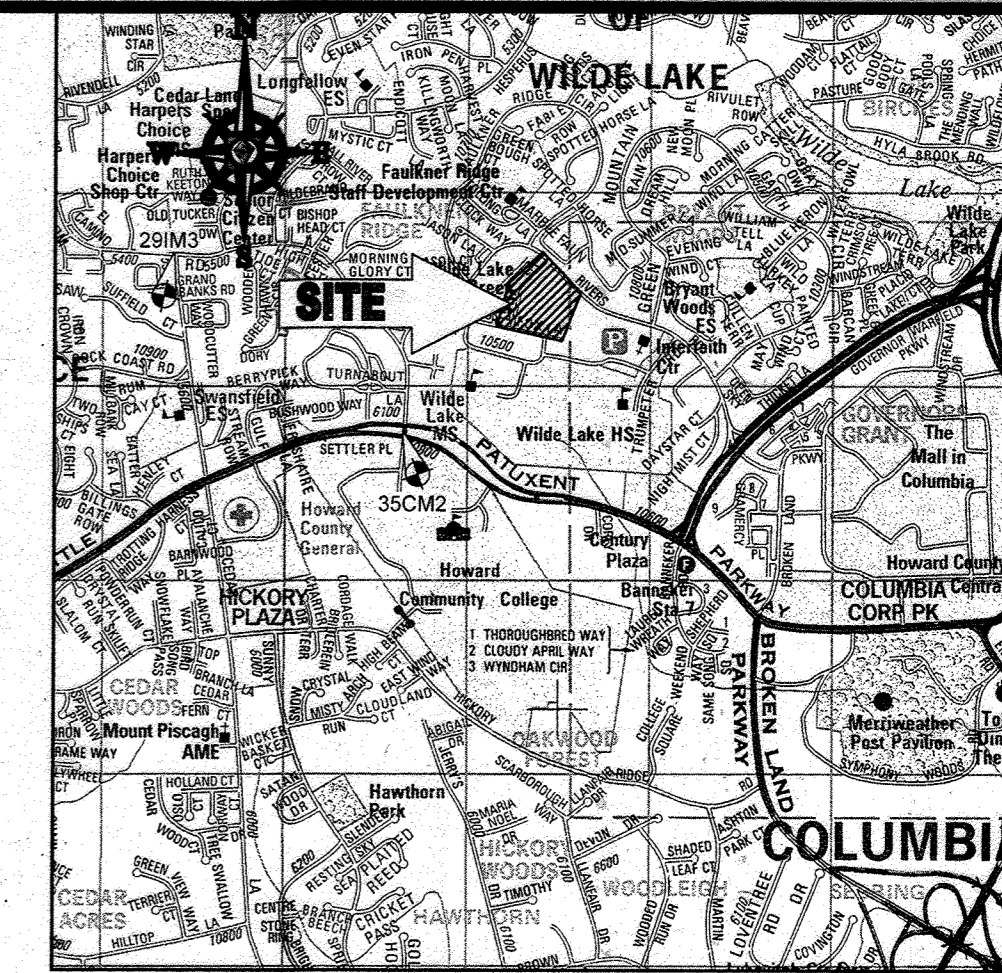
GENERAL NOTE:
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STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	
SILT FENCE	SF	
SUPER SILT FENCE	SSF	
AT GRADE INLET PROTECTION	AGP	
STANDARD INLET PROTECTION	SP	
RIP RAP		



LOCATION MAP
 COPYRIGHT ADD THE MAP PEOPLE
 PERMIT USE NO. 20020153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL UTILITIES SHOWN ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCES IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
 THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PAGE 23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
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SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GfB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GfC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND UDORThENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

FOR REVISION 5 ONLY:

FOR REVISION 2 ONLY:

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: MICHAEL J. GESELL, P.E.
 DATE: 7/29/13

DEVELOPER'S CERTIFICATE
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AT THE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
 NAME: WILBUR E. SIMMONS III
 TITLE: VICE PRESIDENT
 DATE: 7-29-13

OWNER: PARCEL 272, LOTS 346 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 884-2000
 CONTACT: GREG REED
 TAX MAP: 29 GRID: 24 ZONED: NT
 PARCELS 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1098M SITE AREA: 10.21 AC
 CONTACT: GREG REED
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 44027, EXPIRATION DATE: 6/30/2014

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

CORPORATE OFFICE:
 WARREN, NJ

OFFICES:
 BOWIE, MD
 ROCKVILLE, VA
 WASHINGTON, VA
 STERLING, VA
 CENTREVILLE, VA
 PHILADELPHIA, PA
 TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN FOOT PRINT, WATER HOUSE CONSTRUCTION, REVISED BUDGET & PROPOSED HOUSE AND PARKING PLACES	TAG
5	02/11/16	REVISED BUDGET & PROPOSED HOUSE AND PARKING PLACES	MSB
9	7/10/13	AS-BUILT	MSB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EDUCATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE (IN VIRGINIA, MARYLAND, AND DELAWARE 911) (NY 1-800-245-4000) (PA 1-800-942-1776) (VA 1-800-852-7011) (MD 1-800-257-7777) (DE 1-800-282-8555)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD099002
 DRAWN BY: RMS
 CHECKED BY: MUG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD ID: EC2

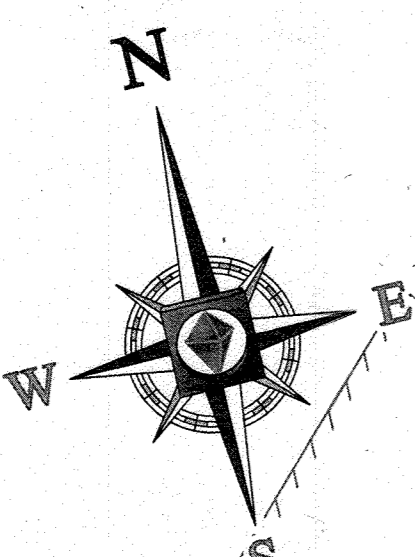
SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

M. J. GESELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44027
 EXPIRATION DATE: 6/30/2014

EROSION AND SEDIMENT CONTROL PLAN PHASE III PROPOSED CONDITION

SHEET NUMBER: 60 OF 91
 SDP-13-046

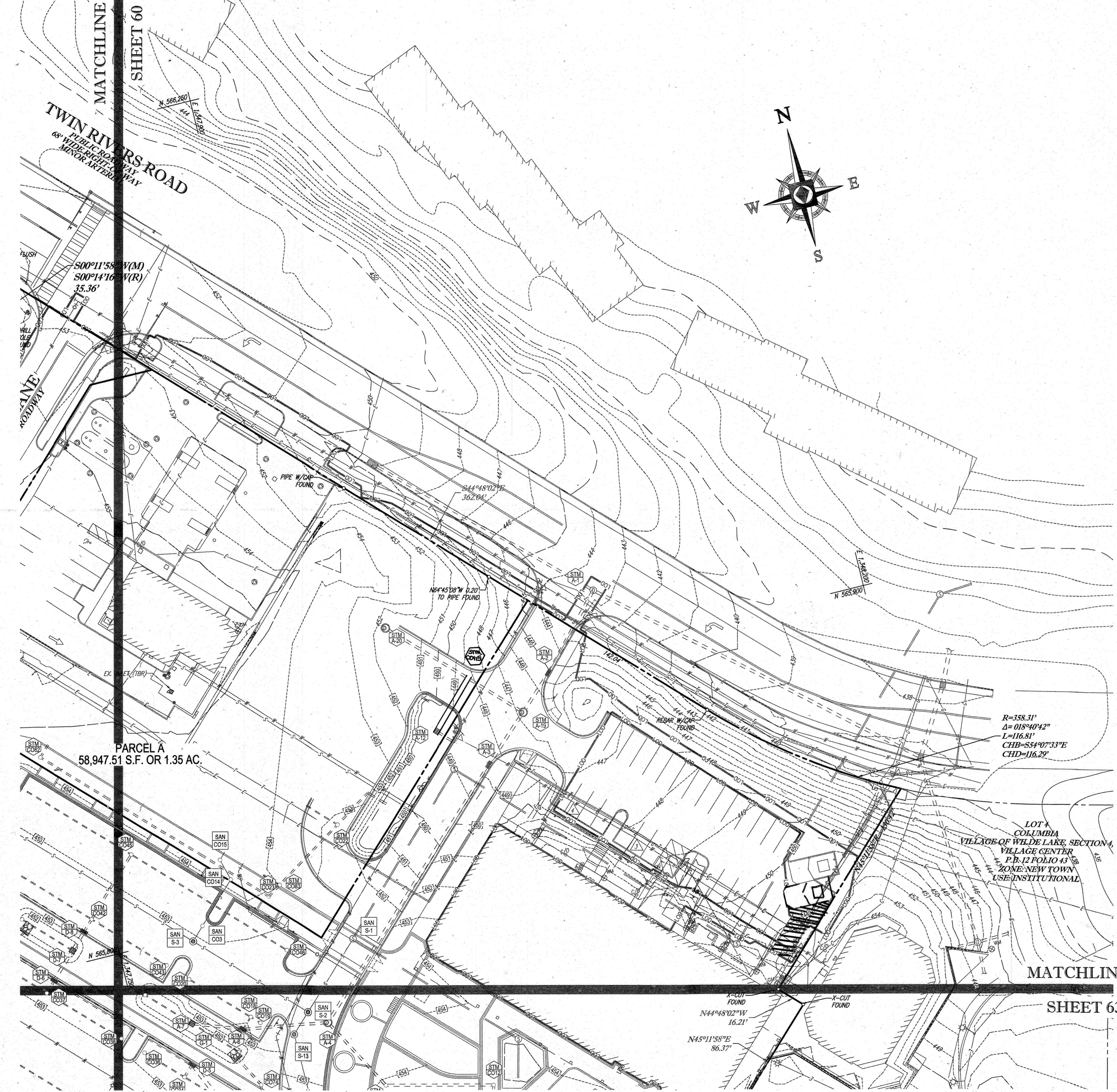


APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/15/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

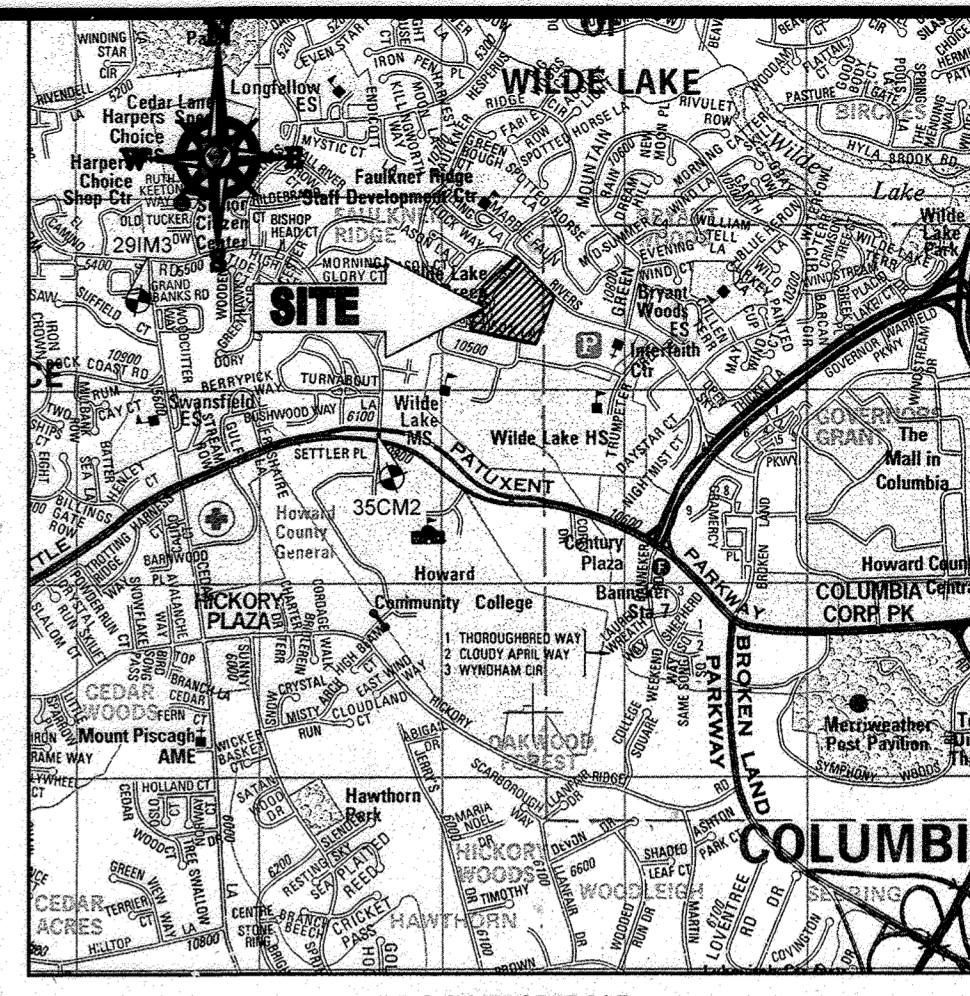
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR ANY OTHER CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol: Stone wall with cross-hatching]
SILT FENCE	SF	[Symbol: Dashed line]
SUPER SILT FENCE	SSF	[Symbol: Dashed line with vertical bars]
AT GRADE INLET PROTECTION	AGP	[Symbol: Box with 'I' and arrow]
STANDARD INLET PROTECTION	SP	[Symbol: Box with 'I' and arrow]
RIP RAP		[Symbol: Stippled area]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / X5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT CONTROL. PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
2) INLETS ON PRIVATE OR PAVED ROAD OPEN TO THE PUBLIC.
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 16 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORTHEMETS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING
CIVIL & CONSULTING ENGINEERS SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

OFFICES:
BOWEN, MD
TOWSON, MD
WARRENTON, VA
CHARLESTON, SC
PHILADELPHIA, PA
SOUTH BRIDGE, MA
ANNAPOLIS, MD
WARRENTON, VA
CHARLESTON, SC
PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
2	5/14/14	REVISED STORM DRAIN LAYOUT	TMG
5	02/11/14	REVISED BLDG #3 A DRAIN WATER HOUSE CONNECTION	DMC
8	4/14/11	ADD PROPOSED TRASH ENCLOSURE	DMC
9	2/16/21	AS-BUILT	DMC

APPROVED FOR CONSTRUCTION

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE BY 811 (TOLL FREE 1-800-254-4848) (PA 1-800-242-1770) (VA 1-800-662-7071) (MD 1-800-552-0777) (DE 1-800-292-8500)

APPROVED FOR CONSTRUCTION

PROJECT NO.: M069002
DRAWN BY: TMS
CHECKED BY: M/G
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EC

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE CENTER REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 901
TOWSON, MARYLAND 21204
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
7/29/13

EROSION AND SEDIMENT CONTROL PLAN PHASE III PROPOSED CONDITION
SHEET NUMBER: 61 OF 91
SDP-13-046

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

[Signature]
2/27/12

FOR REVISION 8 ONLY

[Signature]
12/18/17

FOR REVISION 5 ONLY:

[Signature]
7/29/13

FOR REVISION 2 ONLY

[Signature]
7/13/14

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONSTRUCTION PROJECT AND HAS BEEN PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
MICHAEL J. GESELL, P.E. 7/29/13

DEVELOPER'S CERTIFICATE
"I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
WILBUR E. GIBSON, PRESIDENT 7-29-13

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
DATE: 7/29/13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000
DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMonium, MD 21093
(410) 684-2000
CONTACT: GREG REED
TAX MAP: 29 PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
29 REF: 1096m SITE AREA: 10.21 AC
WATER CODE: E32 DPZ REF: SDP-13-046
SEWER CODE: 6032500

PROFESSIONAL CERTIFICATION
MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 5/14/14

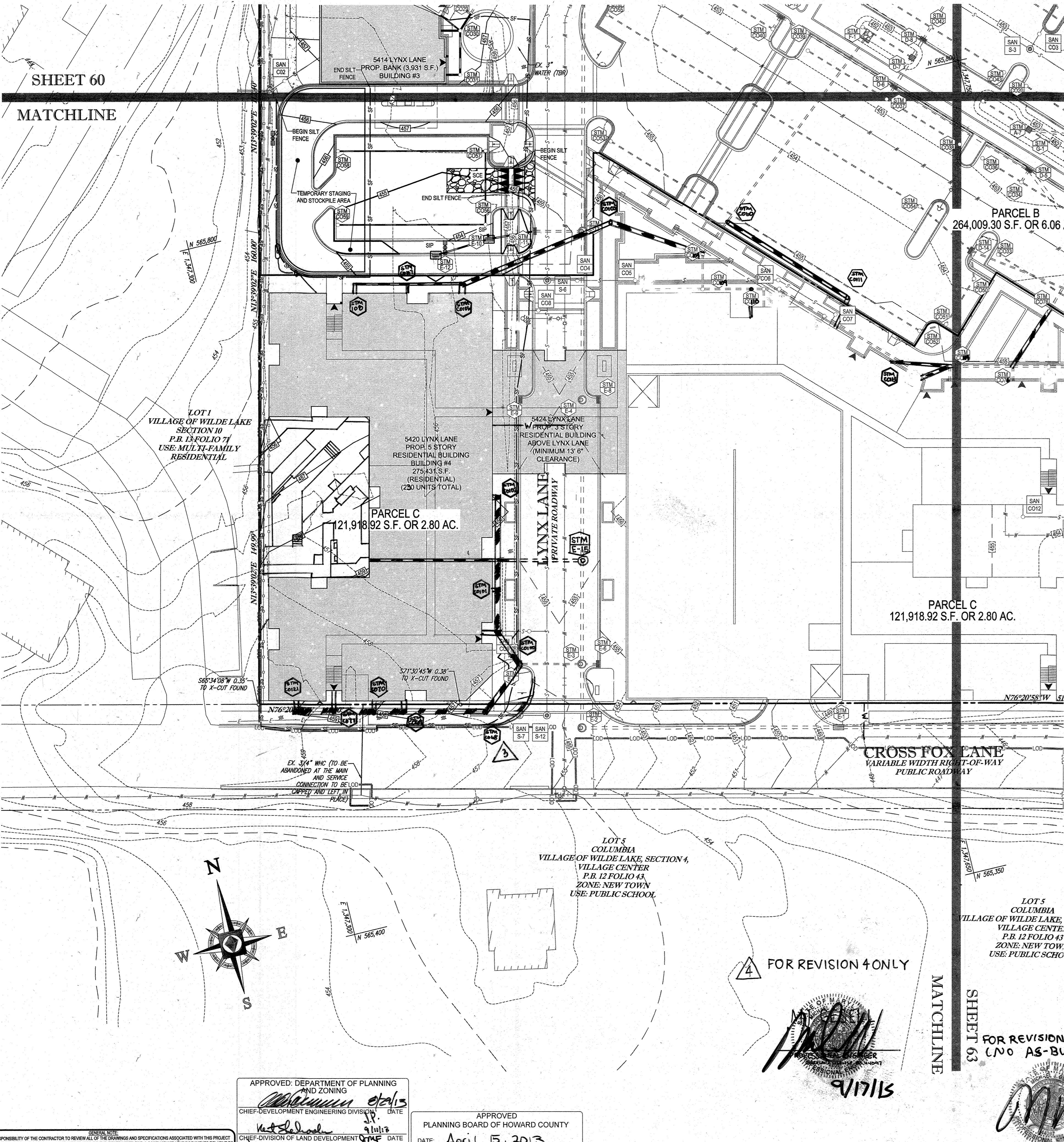
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: CHIEF-DIVISION OF LAND DEVELOPMENT
[Signature]
DATE: 9/10/10

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT BEFORE COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL COMPLY WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL REGULATIONS AND CODES.

SHEET 60

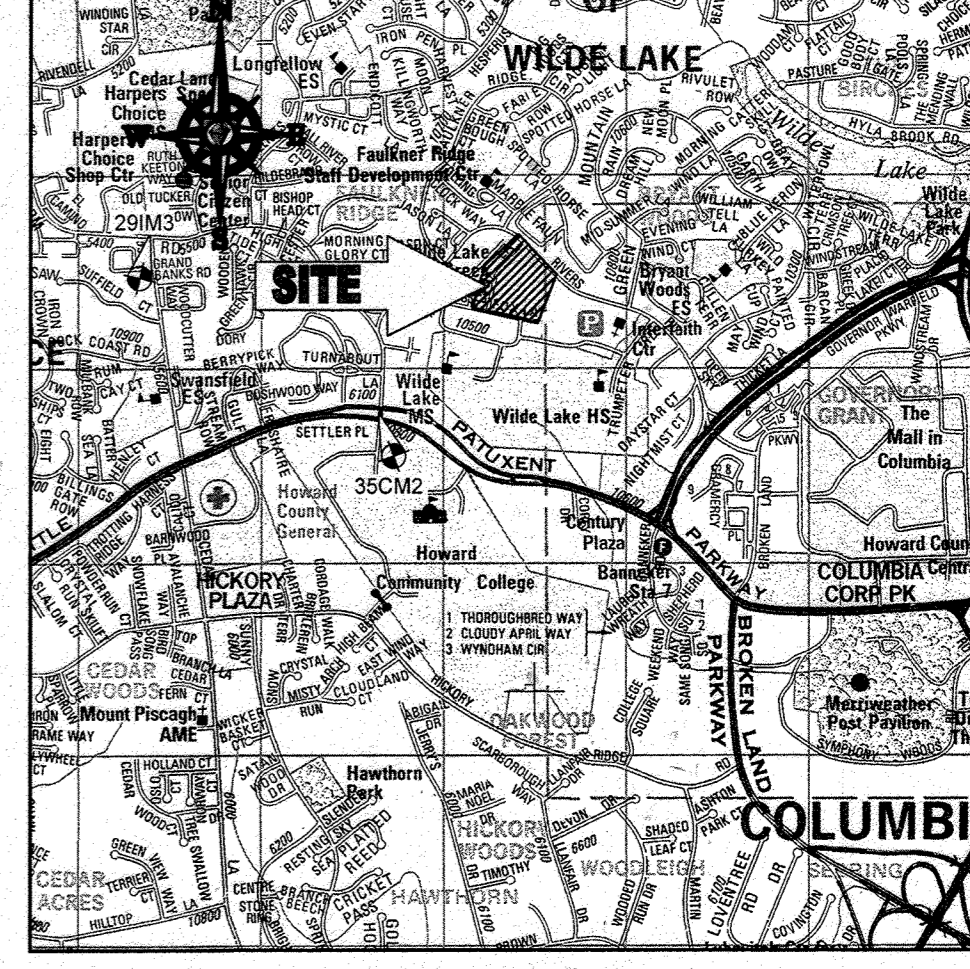
MATCHLINE



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
- INLETS ON PRIVATE OR OPEN TO THE PUBLIC

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND-UDORTHERS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

DATE: 7/29/13
 SIGNATURE OF ENGINEER: MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINNING THE PROJECT. I ALSO AUTHORIZE THE SOIL CONSERVATION DISTRICT TO INSPECT BY: OVERTHEAR, 15111 S. LINDSEY BLVD, SUITE 100, WILDE LAKE BUSINESS CENTER, COLUMBIA, MD 21042."

DATE: 7-29-13
 NAME: WILBUR E. JOHNSON, III
 TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-048

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

DATE: 7/29/13

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44957, EXPIRATION DATE: 09/20/21

BOHLER ENGINEERING

CONSULTING OFFICE:
 WILDE LAKE, MD
 OFFICES:
 BOWEN, MD
 TOWSON, MD
 WASHINGTON, VA
 CHARLOTTE, NC
 PHILADELPHIA, PA

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	PPH
2	5/11/14	REVISED STORM DRAIN LAYOUT	TMG
3	6/24/15	REVISED CURB RADIUS	WCB
4	8/14/15	SHOW POOL IN CONCRETE	PPH
5	02/11/16	REVISED ELEVATIONS AND MARKING	PPH
7	12/01/16	ADDED UNABOLDED PEOPLES TRAILS	EMS
9	2/16/21	AS-BUILTS	TMG

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD089002
 DRAWN BY: MJS
 CHECKED BY: MJS
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD ID.: EC2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD

GREEN BLDGS: NOs. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
 SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MAGUIRE

PROFESSIONAL ENGINEER

DATE: 7/29/13

SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE III PROPOSED CONDITION

SHEET NUMBER:
62
 OF 91

SDP-13-048

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DIMENSIONS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SHEET PRIOR TO THE INITIATION OF CONSTRUCTION. SPECIAL CONTACT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

FOR REVISION 7 ONLY
 3/7/17

FOR REVISION 8 ONLY
 3

7/29/15

FOR REVISION 5 ONLY:
 7/11/16

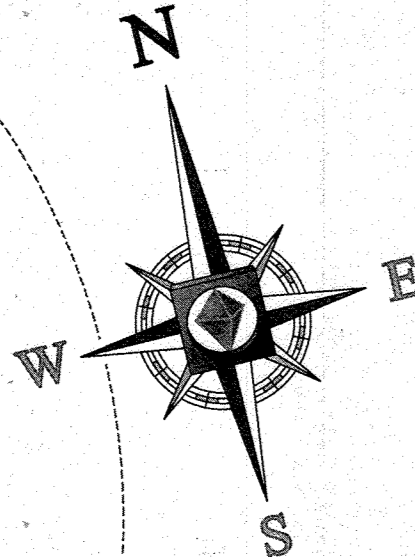
FOR REVISION 2 ONLY

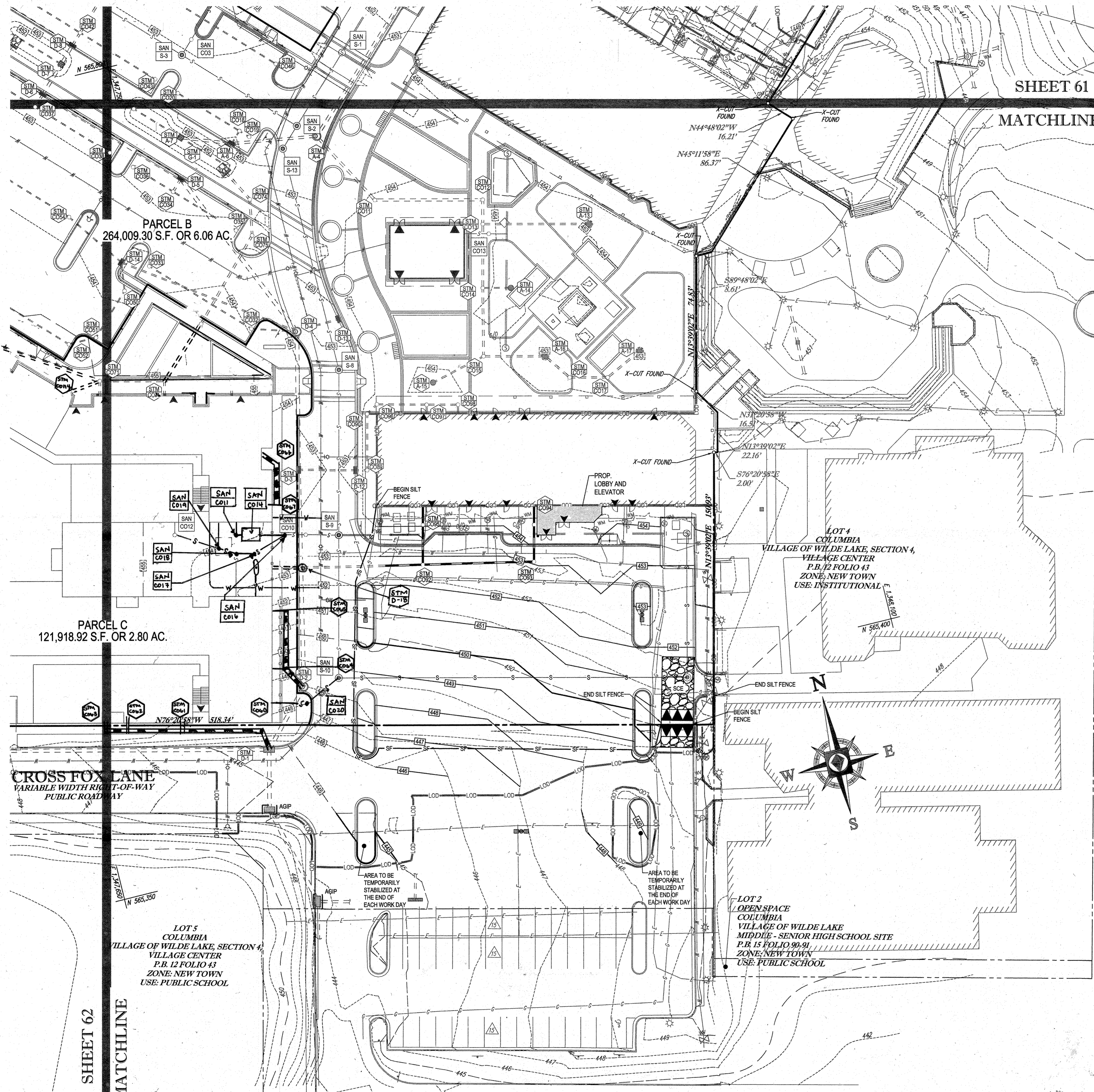
7/31/14

FOR REVISION 9 ONLY (NO AS-BUILT INFO)
 2/27/21

FOR REVISION 1 ONLY
 3/17/14

FOR REVISION 4 ONLY
 9/17/15

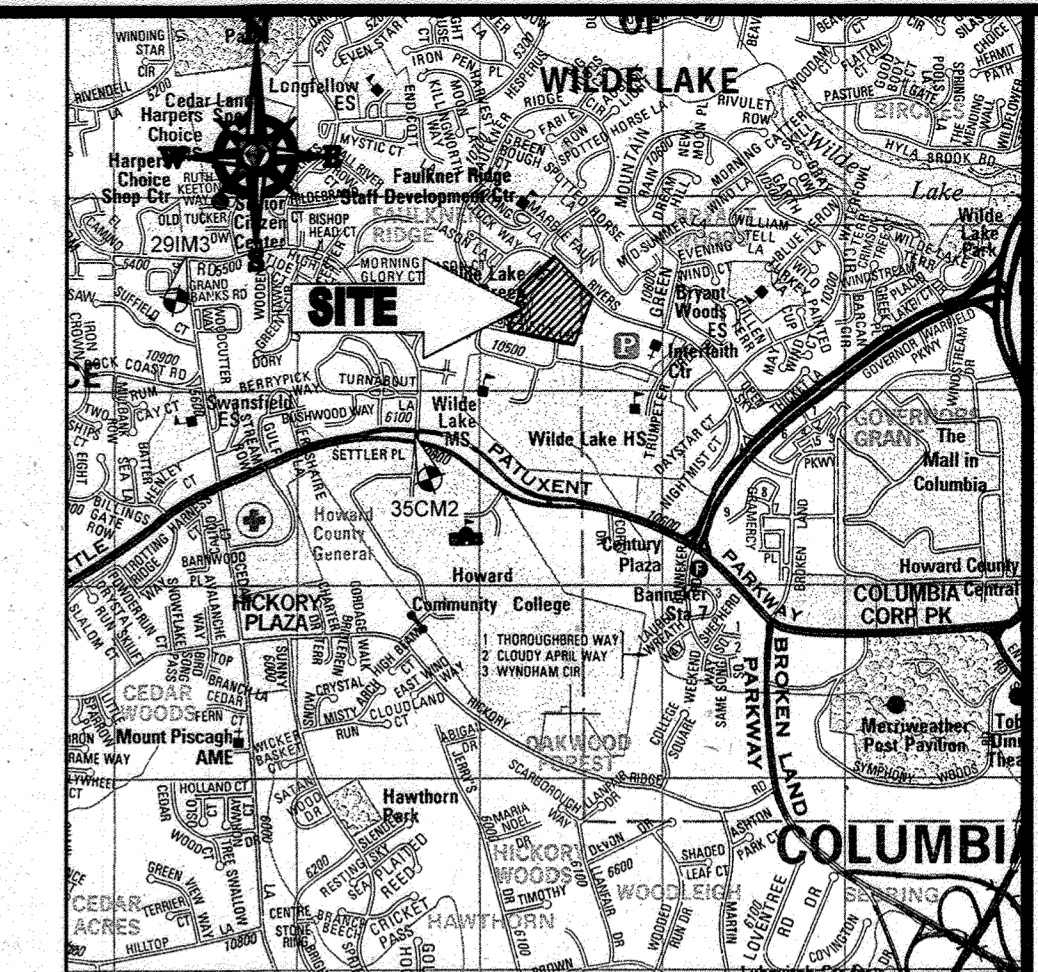




SHEET 61
MATCHLINE

STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol: Stone grid]
SILT FENCE	SF	[Symbol: Dashed line]
SUPER SILT FENCE	SSF	[Symbol: Solid line]
AT GRADE INLET PROTECTION	AGIP	[Symbol: Inlet box]
STANDARD INLET PROTECTION	SP	[Symbol: Inlet box]
RIP RAP		[Symbol: Rip rap pattern]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20062153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:

HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:

- ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
- INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. PAGE 2-3.3. THE USE OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G/B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G/C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U/B	URBAN LAND - UDORTHEM'S COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

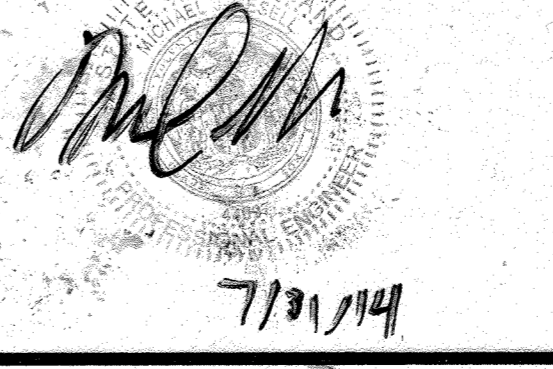
FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



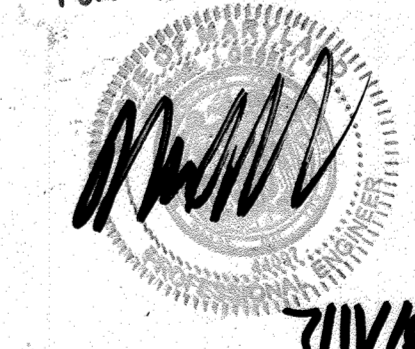
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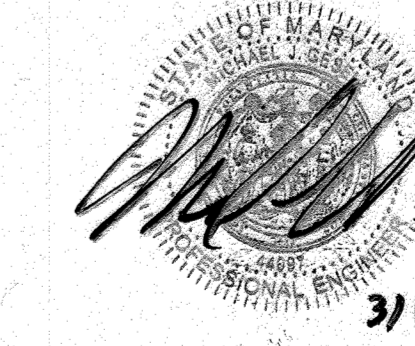
FOR REVISION 20 ONLY



FOR REVISION 5 ONLY:



FOR REVISION 1 ONLY



3/17/14

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT:

DATE: 3/17/14

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
SECTION/AREA: SECTION 4
PLAT: PLAT 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100
WATER CODE: E32
SEWER CODE: 5025500

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE (ON THE DATE AND TIME IT WAS PREPARED) AND ACCORDING TO THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature]
DATE: 7/13/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

WILDE LAKE BUSINESS TRUST
BY: OWL REED, VICE PRESIDENT
DATE: 7-27-13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 884-2000
CONTACT: GREG REED

TAX MAP: 28
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1096M
SITE AREA: 10.21 AC
DPZ REF: SDP-13-048

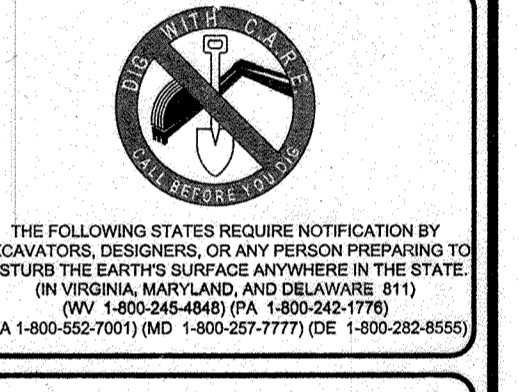
PROFESSIONAL CERTIFICATION
I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CORPORATE OFFICE: [Address]
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV.	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	BDH
2	3/16/14	REVISED STORM DRAIN LAYOUT	TMH
5	02/11/16	REVISED BLDGS 3 & 4	BDH
7	12/8/16	PROPOSED UNDERGROUND PAVEMENT TRUCKS	BDH
9	7/20/21	AS-BUILT	MOG



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EC2

SITE DEVELOPMENT PLAN
FOR
KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS: NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD,
SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M. GESELL

PROFESSIONAL ENGINEER

DATE: 7/29/13

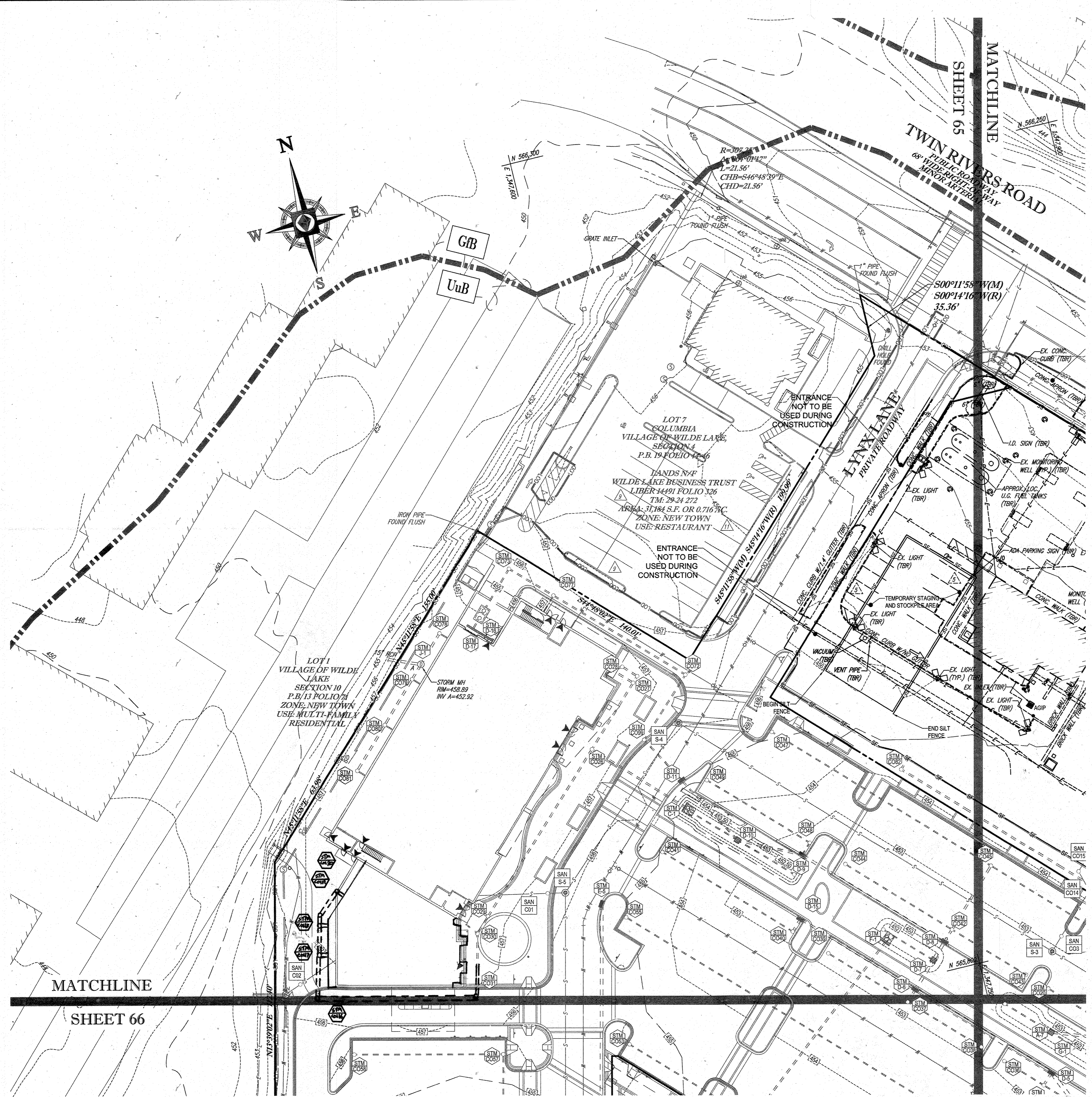
SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE III PROPOSED CONDITION

SHEET NUMBER:
63
OF 91

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 7/13/13

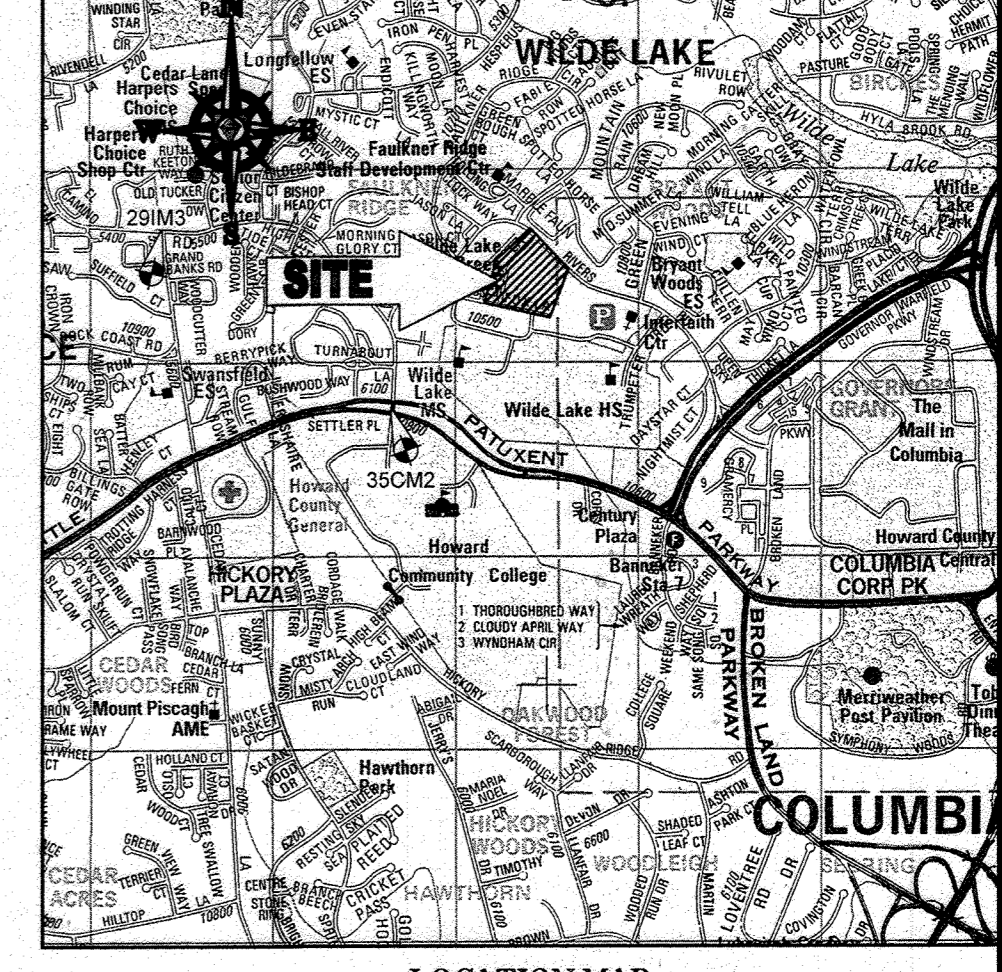
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 2002153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4341 K/S

BENCHMARK NOTE:
 THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANNED COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 291M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 291M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.882
 HOWARD COUNTY MONUMENT NO. 291M3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
 THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
 ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE ZONING AND STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDOR'THETS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
 I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF DEVELOPER: [Signature] DATE: 7-29-13
 TITLE: VICE PRESIDENT

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SUBDIVISION NAME: RESURDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4
 PLAT # 2011-001-000-23510-23511
 WATER CODE: E522
 SEWER CODE: 5052200
 TAX MAP: 29
 GRID: 24
 ZONED: NT
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 288 REF. 10969m. SITE AREA: 10.21 AC
 CONTACT: GREG REED
 410 684-2000
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44987, EXPIRATION DATE: 05/20/21

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS
 CORPORATE OFFICE: WARREN, NJ
 OFFICES: ALBANY, NY; ANN ARBOR, MI; BALTIMORE, MD; BOSTON, MA; CHARLOTTE, NC; COLUMBIA, MD; COLUMBIANA, VA; FORT LAUDERDALE, FL; HARTFORD, CT; PHILADELPHIA, PA; TAMPA, FL
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
2	5/14/14	REVISED STORM DRAIN LAYOUT + B.O.G. FOOTPRINT + WATER HOUSE CONNECTION	TMG
5	02/11/16	REVISED BLDGS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13 AND PARKING CALC	NOTES
9	7/16/13	As-Built	NOTES

APPROVED FOR CONSTRUCTION
 PROJECT No.: MD085502
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=50'
 CAD I.D.: ED2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESELL
 PROFESSIONAL ENGINEER
 LICENSE NO. 44987
 EXPIRATION DATE: 05/20/21

EROSION AND SEDIMENT CONTROL PLAN PHASE IV EXISTING CONDITIONS/DEMOLITION
 SHEET NUMBER: 64 OF 91
 SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/13
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: 9/11/13
 DIRECTOR

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)

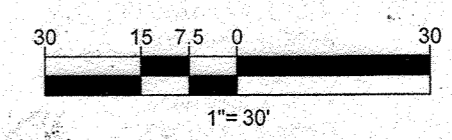
[Signature]
 12/21

FOR REVISION 2 ONLY:

[Signature]
 7/31/14

FOR REVISION 5 ONLY:

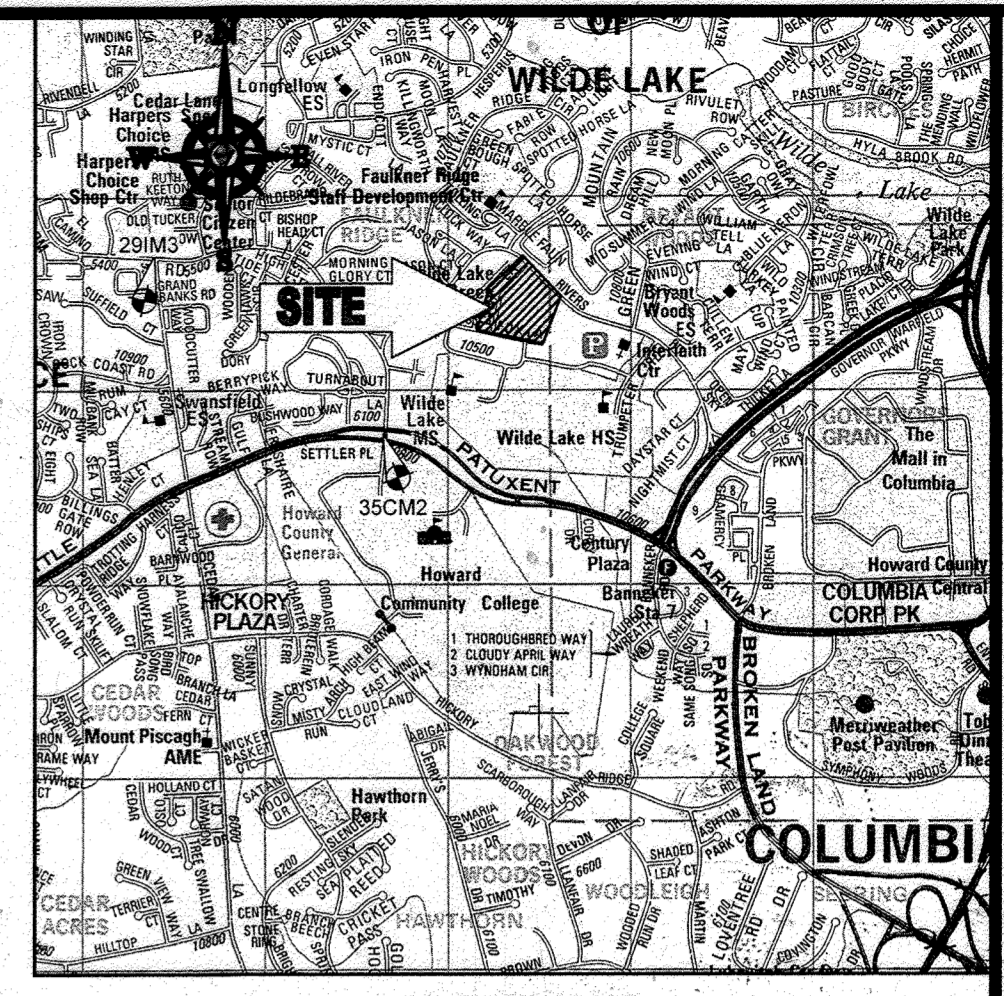
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 7/11/13





STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARD SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

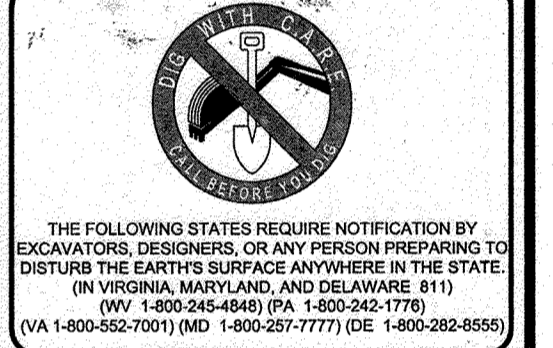
SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GB	GLADSTONE-URBAN LAND COMPLEX 9 TO 15 PERCENT SLOPES	B	NO
GC	GLADSTONE-URBAN LAND COMPLEX 8 TO 15 PERCENT SLOPES	B	NO
UB	URBAN LAND - UDORMENTS COMPLEX 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING
CORPORATE OFFICE:
COLUMBIA, MD
SOUTHROCK, VA
ALBANY, NY
CHATEAUX, PA
TAMPA, FL
SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS
CIVIL & CONSULTING ENGINEERS

REVISIONS

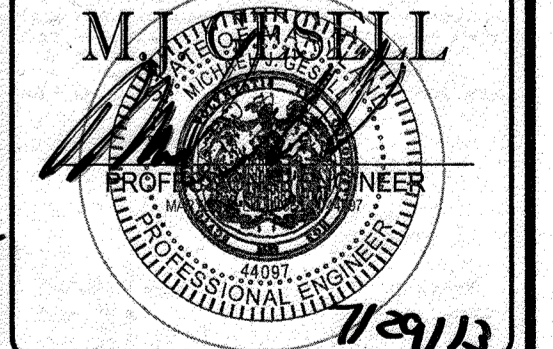
REV	DATE	COMMENT	BY
2	5/14/14	REVISED SITE PLAN LAYOUT	MMG
5	09/11/14	REVISED BLDG #3 & #12	MMG
8	11/16/17	ADD PROPOSED TRASH ENCLOSURE	MMG
9	2/16/21	As-Built	MMG



APPROVED FOR CONSTRUCTION
PROJECT No.: MD069002
DRAWN BY: RMS
CHECKED BY: MMG
DATE: 07/29/13
SCALE: 1"=30'
CAD L.D.: EDZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD
GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7907
www.BohlerEngineering.com



EROSION AND SEDIMENT CONTROL PLAN PHASE IV EXISTING CONDITIONS/DEMOLITION
SHEET NUMBER: 65 OF 91
SDP-13-046

FOR REVISION 9 ONLY (NO AS-BUILT INFO)
7/27/21
FOR REVISION 8 ONLY
12/18/17
FOR REVISION 5 ONLY:
7/11/16
FOR REVISION 2 ONLY:
7/20/14

FOR REVISION 9 ONLY
FOR REVISION 8 ONLY
FOR REVISION 5 ONLY:
FOR REVISION 2 ONLY:

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER: [Signature] DATE: 7/13/13
MICHAEL J. GEISEL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERKINS+WEISS TO INSPECT BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.
NAME: WILBUR THOMAS III DATE: 7-29-13
TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 884-2000
CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: NT
PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1036th SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
I, MICHAEL J. GEISEL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 06/20/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] DATE: 9/11/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature] DATE: April 15, 2013

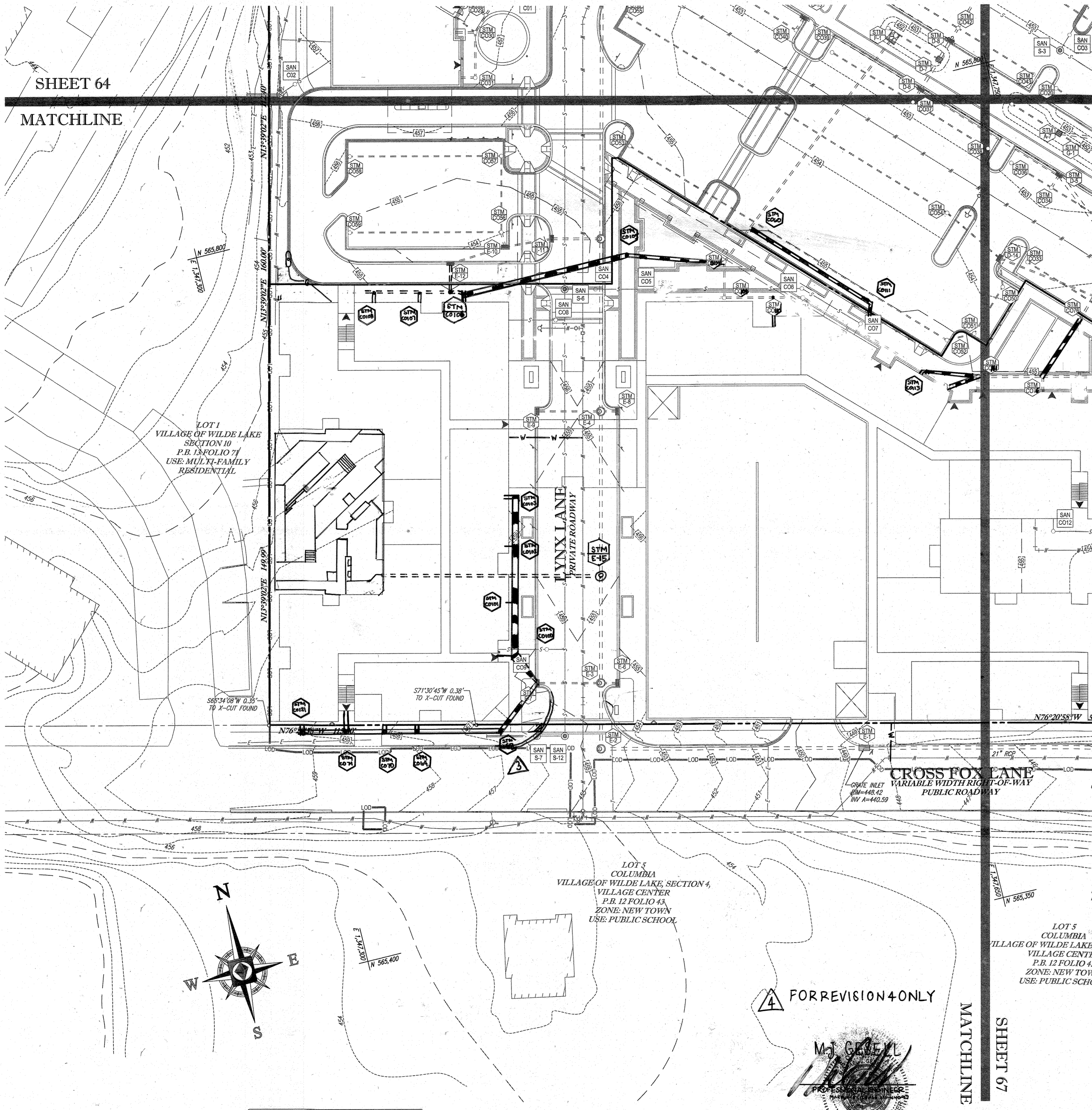
APPROVED: DIVISION OF LAND DEVELOPMENT
[Signature] DATE: 9/11/13
DIRECTOR

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHOULD BE STOPPED IMMEDIATELY IF THE CONTRACTOR FINDS A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL UNDERLYING REGULATORY REQUIREMENTS AND CODES.

SHEET 64

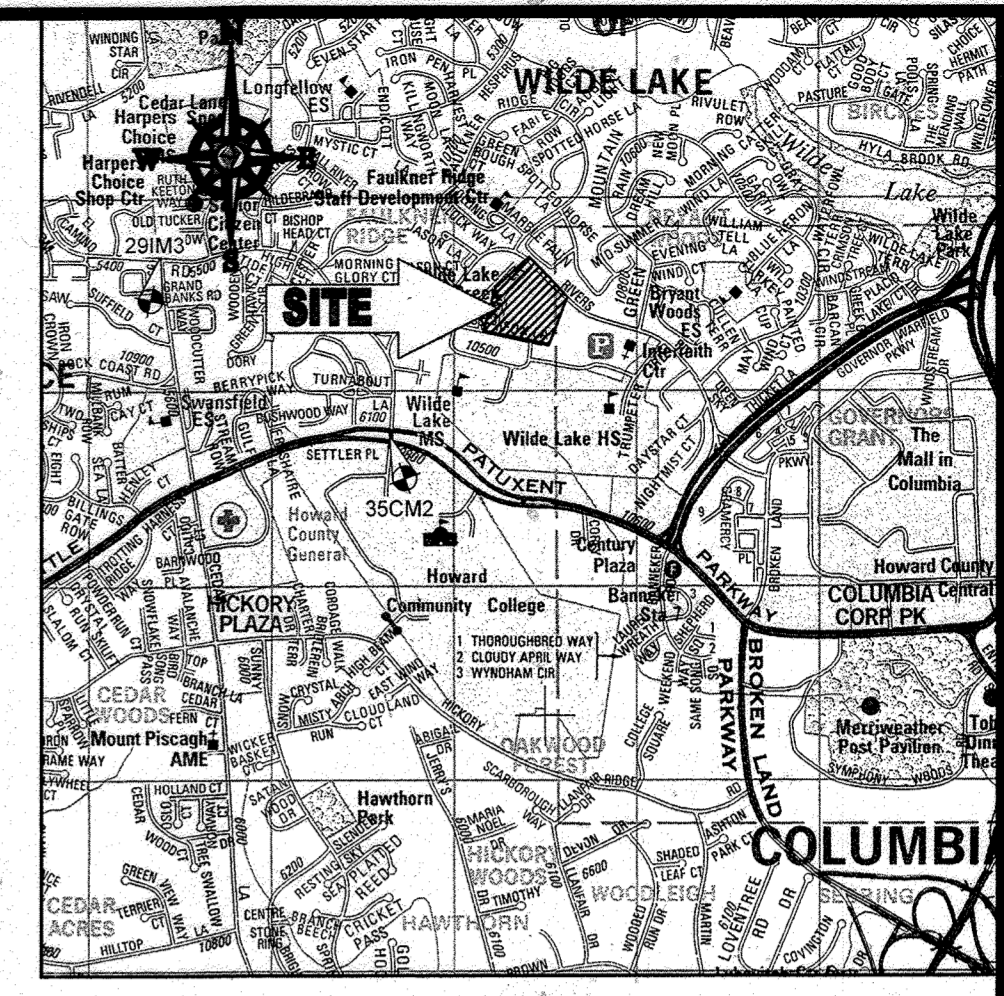
MATCHLINE



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	OP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
 COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE 2.3. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G/B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 15 PERCENT SLOPES	B	NO
G/C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U/B	URBAN LAND - UDORMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
CNO AS-BUILT INFO



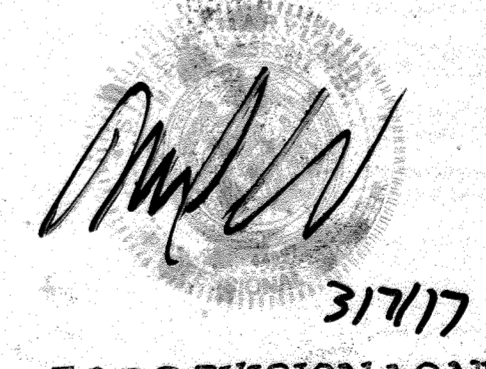
FOR REVISION 5 ONLY:



FOR REVISION 3 ONLY



FOR REVISION 7 ONLY



FOR REVISION 1 ONLY



FOR REVISION 2 ONLY



ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT I WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
 MICHAEL J. GEZELL, P.E.

DEVELOPER'S CERTIFICATE

"I/WE HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEGINS THE PROJECT. I ALSO AUTHORIZE THE SOIL CONSERVATION DISTRICT INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 WILDE LAKE BUSINESS TRUST JUST BY ORDER OF RETAIL SERVICES, LLC, MEMBER OF THE BOHLER ENGINEERING GROUP
 NAME: WILBUR E. SIMMONS, JR. DATE: 7-29-13
 TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 CD KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 300
 TIMONIUM, MD 21093
 (410) 884-2000
 CONTACT: GREG REED

SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION 4, P.B. 12 FOLIO 43
 PLAT 2, 2011
 WATER CODE: E32
 SEWER CODE: 5602350

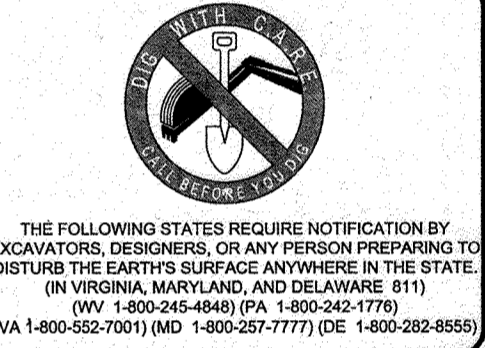
TAX MAP: 29 GRID: 24
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1098M SITE AREA: 10.21 AC
 ZONED: NT
 DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GEZELL HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING
 CORPORATE OFFICE:
 WARREN, NJ
 OFFICES:
 BOULDER, CO, WA
 ALBANY, NY
 CHANTON, VA
 CENTER VALLEY, PA
 FORT LAUDERDALE, FL
 FORT MYERS, FL
 FORT WORTH, TX
 HUNTSVILLE, AL
 KANSAS CITY, MO
 LANDSCAPE ARCHITECTS
 ENVIRONMENTAL CONSULTANTS
 PROJECT MANAGERS
 SURVEYORS
 CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	EDH
2	5/10/14	REVISED STORM DEAIN LAYOUT, BLDG FOOTPRINT, WATER & SEWER CONDUITS	TMG
3	6/24/15	REVISED CURB RADIUS	WCB
4	8/19/15	SHOULD POOL IN COVERT AREAS	PAB
5	02/11/16	4 USES AND PARKING AREAS	EDH
7	12/8/16	PROVIDE UNDERGROUND PAVING TRACKS	HLS
9	2/16/21	AS-BUILT	PHOS



APPROVED FOR CONSTRUCTION
 PROJECT No.: MD069002
 DRAWN BY: RUS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: ED2

SITE DEVELOPMENT PLAN FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 901
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



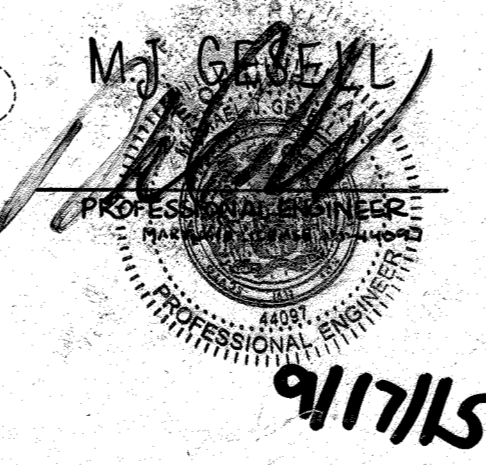
SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE IV EXISTING CONDITIONS/DEMOLITION

SHEET NUMBER:
66
 OF 91

SDP-13-046

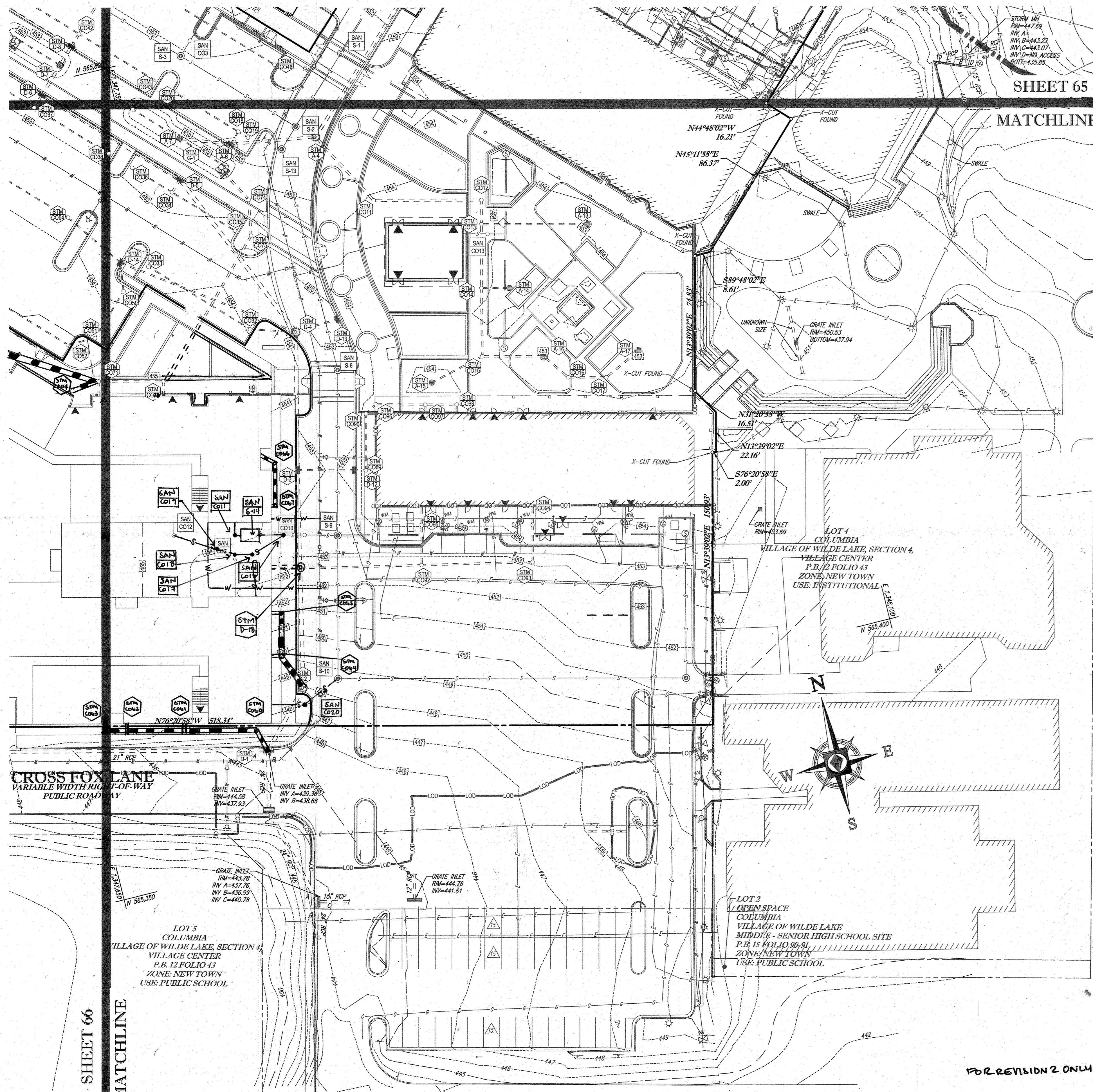
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/12/10

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013



FOR REVISION 4 ONLY

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH ALL REGULATIONS AND ORDINANCES.



SHEET 65

MATCHLINE

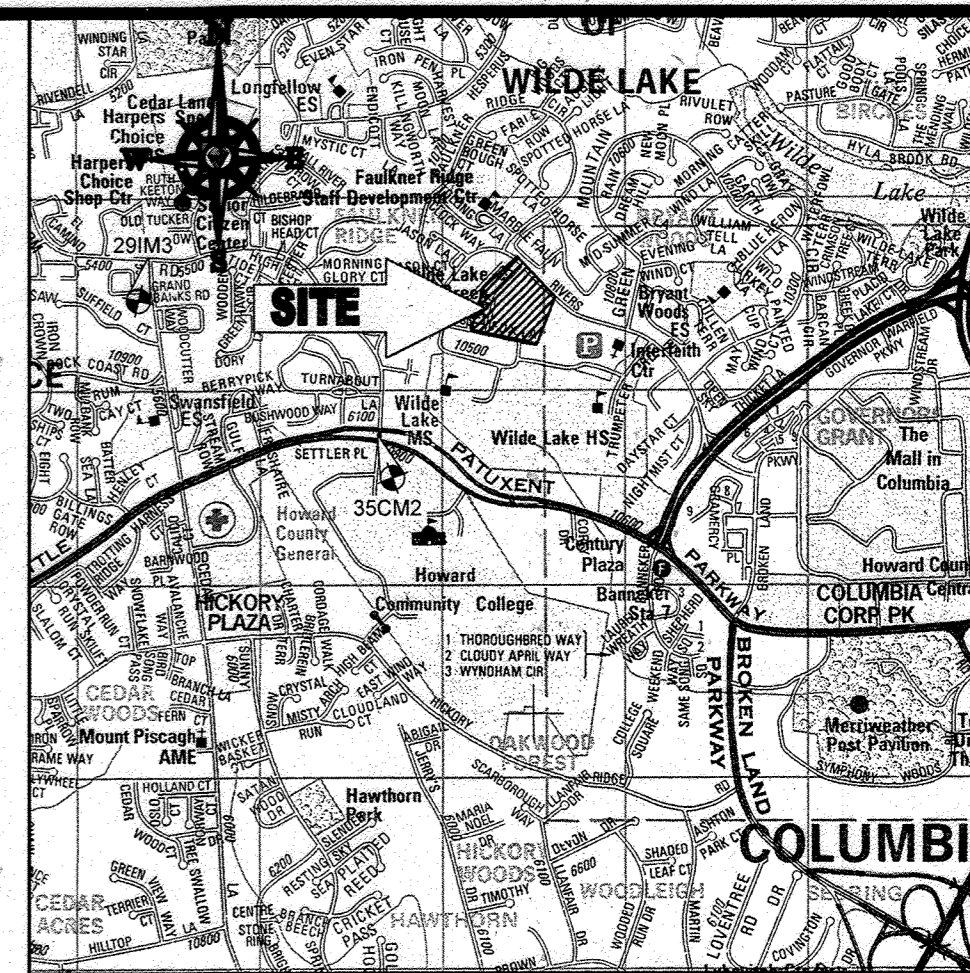
SHEET 66

MATCHLINE

STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35C2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35C2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35C2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.153

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
 1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE MARYLAND AND DELAWARE 811 FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E-23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX 8 TO 15 PERCENT SLOPES	B	NO
UUB	URBAN LAND - UDORMENTS COMPLEX 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)



ENGINEER'S CERTIFICATE

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
 MICHAEL J. GESELL, P.E.

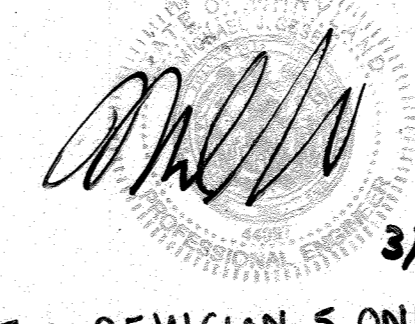
DEVELOPER'S CERTIFICATE

"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENTATION AND EROSION AT THE BEGINNING OF THE PROJECT. I ALSO AUTHORIZE PERIODIC SITE INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT."
 NAME: WILBUR SIMMONS III DATE: 7/29/13
 TITLE: VICE PRESIDENT

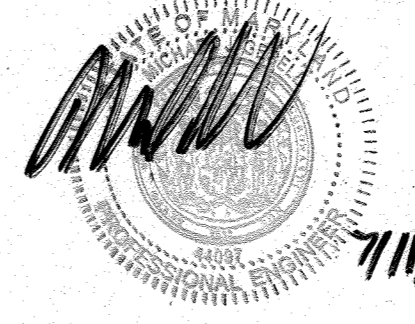
FOR REVISION 1 ONLY



FOR REVISION 7 ONLY



FOR REVISION 5 ONLY:



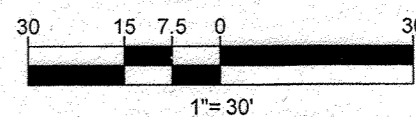
FOR REVISION 2 ONLY



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.
 HOWARD SCD DATE: 7/23/13

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21083
 (410) 684-2000
 CONTACT: GREG REED
 SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4
 PLAT NO.: 2011-03511
 WATER CODE: E32
 SEWER CODE: 5602500
 GRID: 24
 TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1098M SITE AREA: 10.21 AC
 ZONED: NT
 DPZ REF.: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE: 7/29/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE: 7/29/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 [Signature] DATE: 7/29/13
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL ACCORDANCE WITH LOCAL REGULATIONS AND CODES.

BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS SURVEYORS
 CORNWALL OFFICE: WARREN, NJ
 PROJECT MANAGERS: SOUTH BRIDGE, MA; BOWEN, MD; TORONTO, ON; WASHINGTON, VA; CHARLESTON, SC; TAMPA, FL
 ENVIRONMENTAL CONSULTANTS: WASHINGTON, VA; PHILADELPHIA, PA
 LANDSCAPE ARCHITECTS: TAMPA, FL
 PROFESSIONAL ENGINEERS: SOUTH BRIDGE, MA; BOWEN, MD; TORONTO, ON; WASHINGTON, VA; CHARLESTON, SC; TAMPA, FL

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	EDM
2	5/16/14	REVISED STORM MAIN LAYOUT	TMG
3	7/23/13	REVISED UTILITY LAYOUT	EDM
4	7/23/13	REVISED UTILITY LAYOUT	EDM
5	02/11/16	REVISED UTILITY LAYOUT	EDM
6	02/11/16	REVISED UTILITY LAYOUT	EDM
7	02/11/16	REVISED UTILITY LAYOUT	EDM
8	02/11/16	REVISED UTILITY LAYOUT	EDM
9	2/16/12	AS-BUILT	TMG

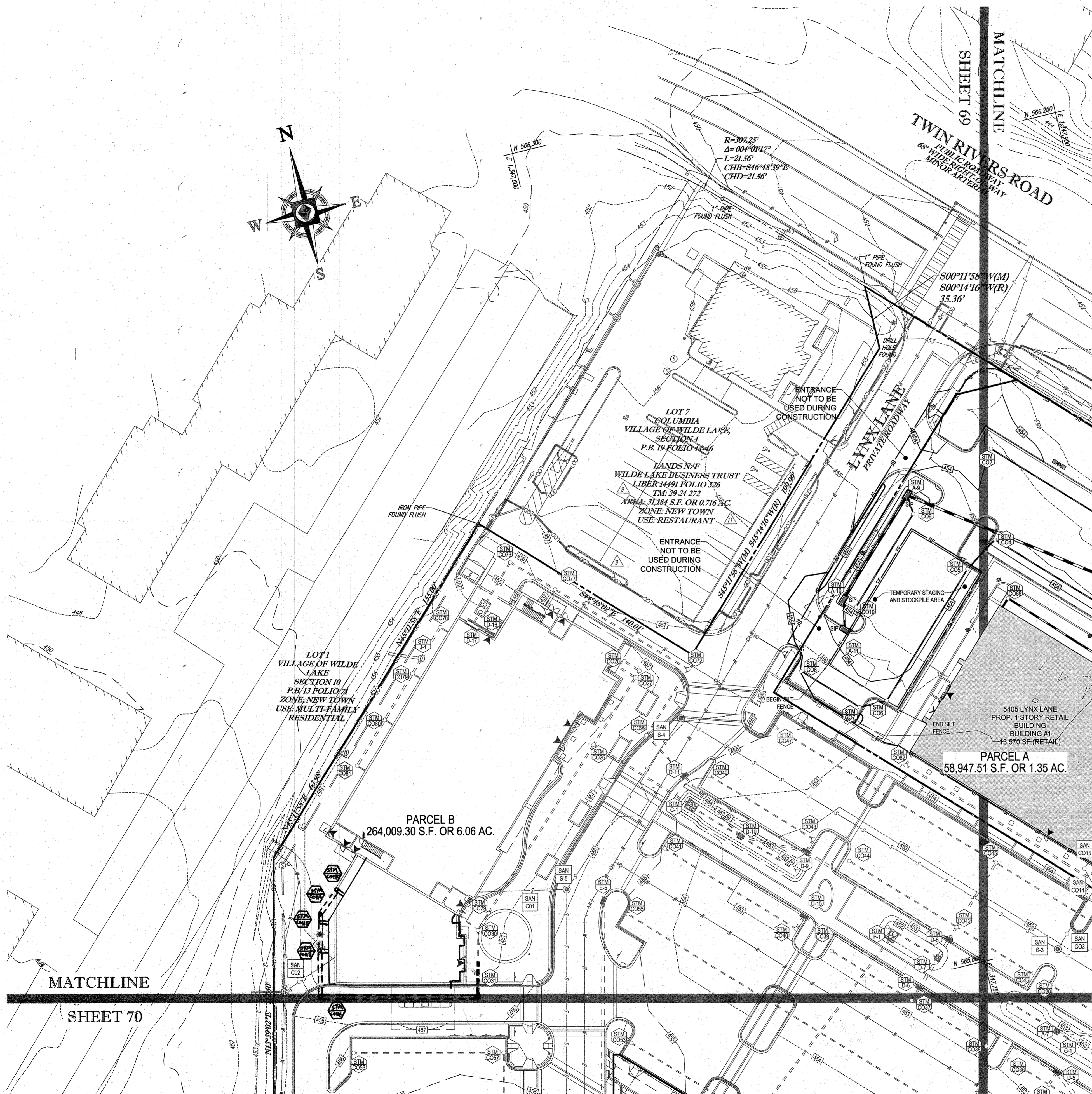
APPROVED FOR CONSTRUCTION
 PROJECT NO.: M0069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD I.D.: EDJ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

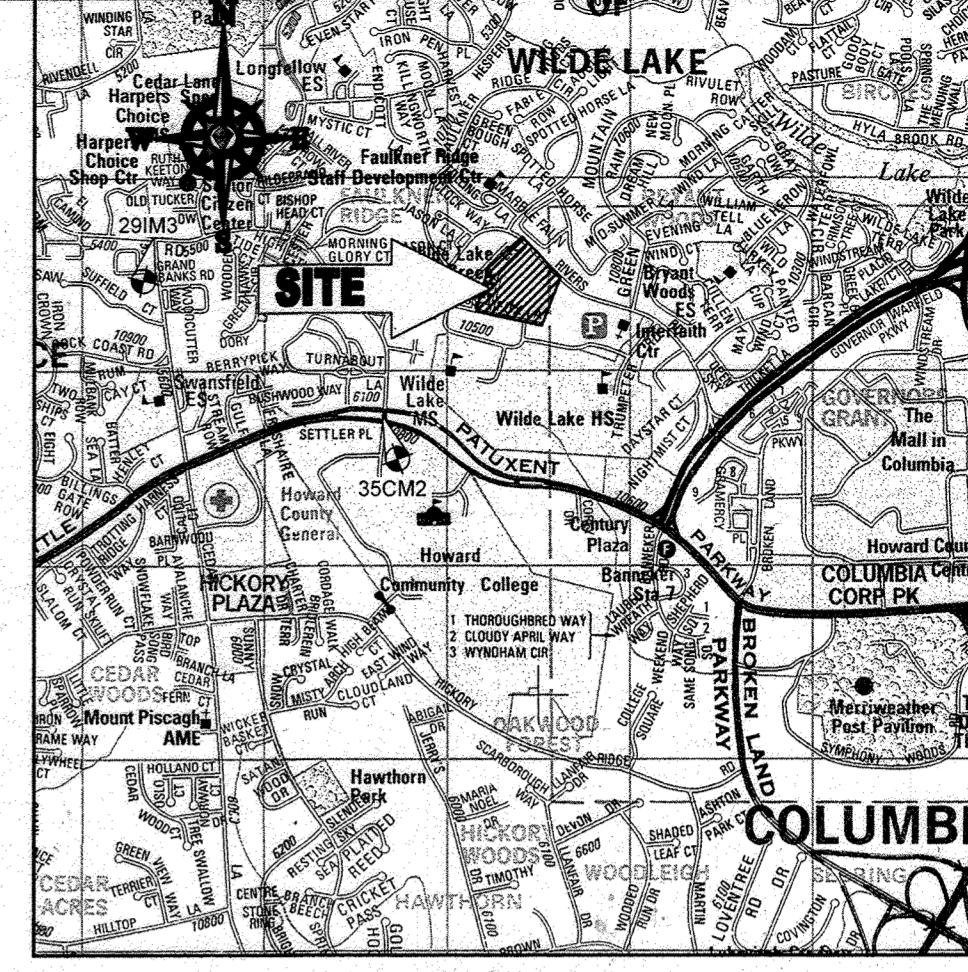
M. GIBBELL
 PROFESSIONAL ENGINEER
 License No. 712913

SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN PHASE IV EXISTING CONDITIONS/DEMOLITION
 SHEET NUMBER: 67 OF 91
 SDP-13-046



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20502153-5
SCALE: 1"=2000'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:
THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29IM3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
HOWARD COUNTY MONUMENT NO. 29IM3 ELEV. = 141.133

- NOTES:**
- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES AND PERIMETER CONTROL DETAILS.
 - ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
 - CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
 - PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE
THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE.
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

- EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES**
- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) TRENCH.
 - PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
 - ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
 - THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G/B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	B	NO
G/C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
U/B	URBAN LAND - UDORNTHEIS COMPLEX 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

FOR REVISION 5 ONLY:

FOR REVISION 2 ONLY:

ENGINEER'S CERTIFICATE
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL IS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER: [Signature] DATE: 7/29/13
MICHAEL J. GESELL, P.E.

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION SHALL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEING HELD DURING THE PROJECT. I ALSO AUTHORIZE EROSION AND SEDIMENT CONTROL INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.
NAME: WILBUR E. SIMON DATE: 7-29-13
TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 884-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21083
(410) 884-2000
CONTACT: GREG REED

TAX MAP: 29 GRID: 24 PARCELS: 272, PARCELS A-C ZONED: NT
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1096M SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

PROFESSIONAL CERTIFICATION
MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

BOHLER ENGINEERING

CORPORATE OFFICE:
WARRICK, NJ

PROJECT OFFICES:
BOSTON, MA
TOWSON, MD
WARRICK, NJ
PORT LAUDERDALE, FL
VALLEY VIEW, PA

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT	TMG
5	02/11/16	REVISED WELDES 2, 3 & 4 INLET USES AND PARKING CHANG	TMG
9	2/17/21	AS-BUILTS	TMG

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
DRAWN BY: RMS
CHECKED BY: M.J.G.
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: ED2

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

M.J. GESELL
PROFESSIONAL ENGINEER

EROSION AND SEDIMENT CONTROL PLAN PHASE IV PROPOSED CONDITION

SHEET NUMBER: 68 OF 91
SDP-13-046

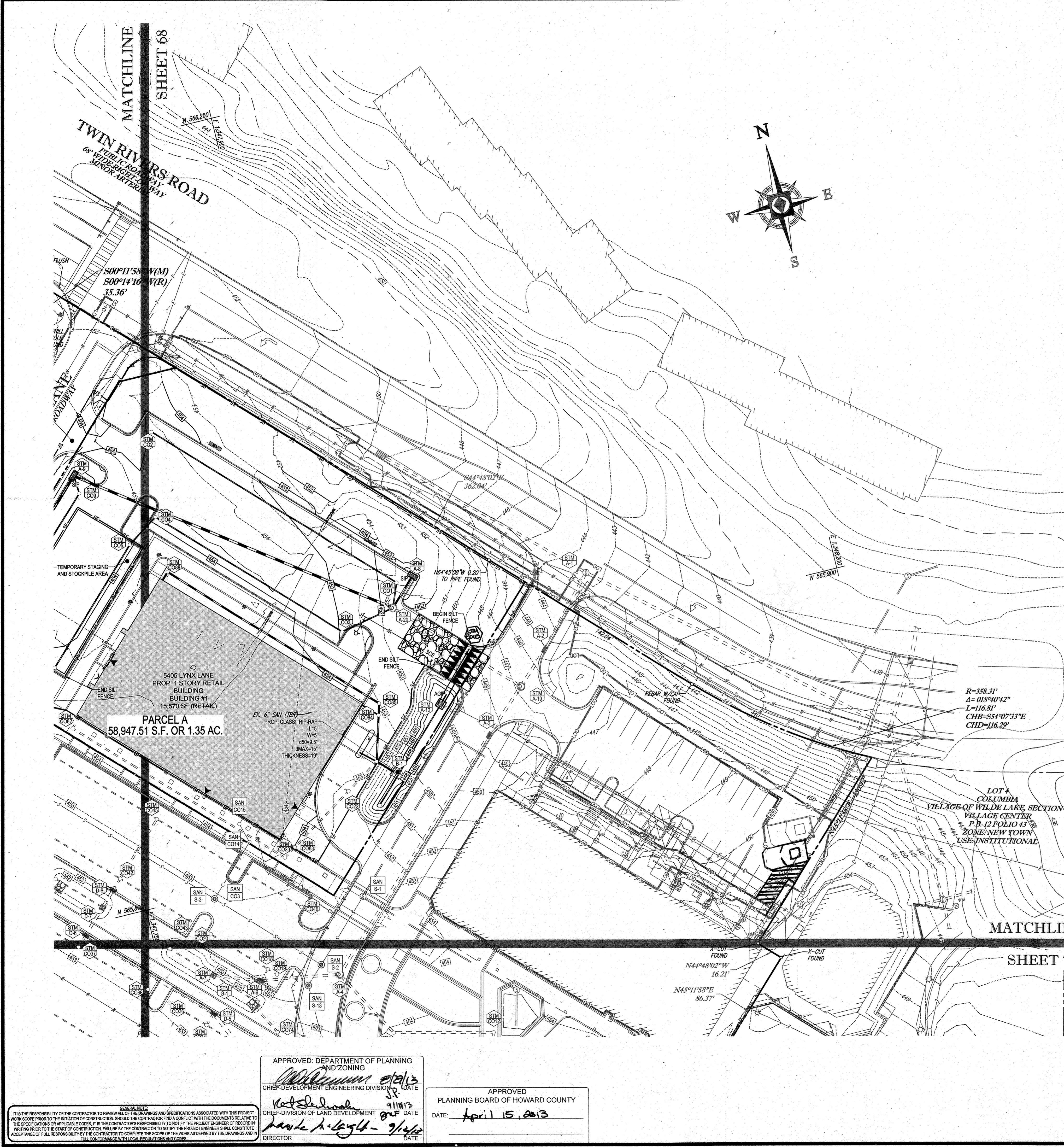
APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE: [Date]

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature]
DATE: April 15, 2013

APPROVED: CHIEF DIVISION OF LAND DEVELOPMENT
[Signature]
DATE: [Date]

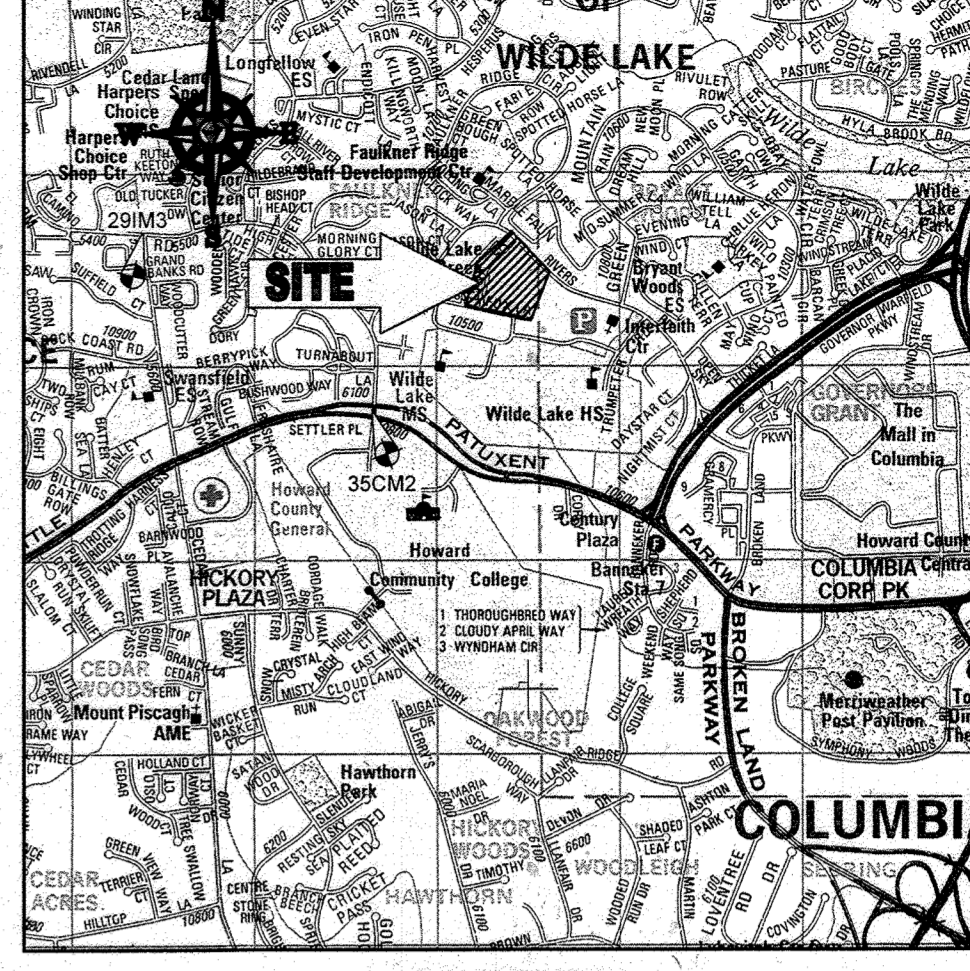
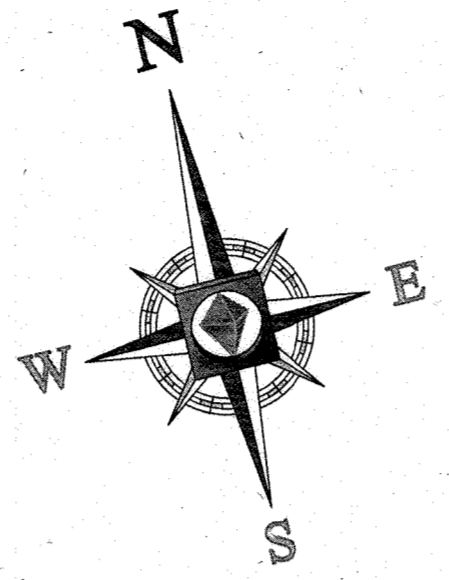
APPROVED: DIRECTOR
[Signature]
DATE: [Date]

GENERAL NOTE:
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL APPLICABLE REGULATIONS AND CODES.



STANDARD SYMBOLS
FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP	[Symbol]	[Symbol]



LOCATION MAP
COPYRIGHT ADC THE MAP PEOPLE
PERMIT USE NO. 20602153-5
SCALE: 1"=200'
ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL STATIONS ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS: HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892; HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72 - 74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
1) ANY INLET DIRECTLY OUTFALLING INTO A SEDIMENT TRAPPING DEVICE
2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.
ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, PAGE E.23. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF) TRENCH.
- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
- ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.
- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
G1B	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
G1C	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UwB	URBAN LAND - UDORTMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING

CORPORATE OFFICE:
WARREN, NJ

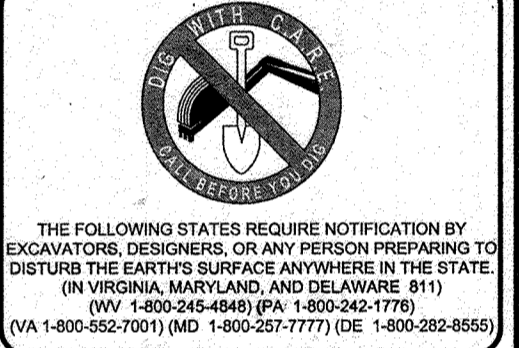
OFFICES:
BOWLING GREEN, OH
BOSTON, MA
CHARLOTTE, NC
COLUMBIA, SC
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
LOS ANGELES, CA
MEMPHIS, TN
NEW YORK, NY
PHILADELPHIA, PA
SAN ANTONIO, TX
WASHINGTON, DC

SURVEYORS
PROJECT MANAGERS
ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS

CIVIL & CONSULTING ENGINEERS

REVISIONS

REV	DATE	COMMENT	BY
2	5/16/14	REVISED STORM DRAIN LAYOUT, GROUND POINTS, GROUND BLDGS, 2.3' GROUND BLDGS AND PAVING SLOPE	JMG
5	02/11/16	ADD PROPOSED TRENCH ENCLOSURE	DAL
8	11/01/17	ADD PROPOSED TRENCH ENCLOSURE	DAL
9	3/16/21	AS-BUILT	MSB



APPROVED FOR CONSTRUCTION

PROJECT NO.: MD069002
DRAWN BY: RMS
CHECKED BY: MJG
DATE: 07/29/13
SCALE: 1"=30'
CAD I.D.: EDJ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
VILLAGE OF WILDE LAKE
VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, MD

GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

MICHAEL J. GESELL
PROFESSIONAL ENGINEER
STATE OF MARYLAND
LICENSE NO. 17093
EXPIRES 12/31/23

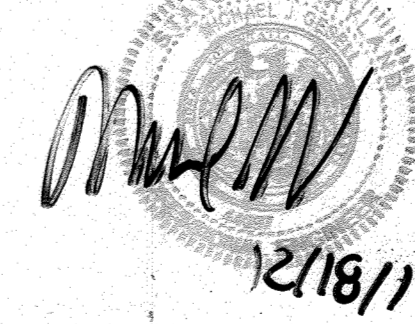
EROSION AND SEDIMENT CONTROL PLAN PHASE IV PROPOSED CONDITION

SHEET NUMBER: 69 OF 91
SDP-13-046

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

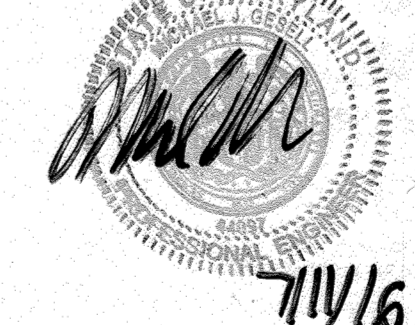


2/27/21
FOR REVISION 8 ONLY



2/18/17

FOR REVISION 5 ONLY:



7/11/16

FOR REVISION 2 ONLY:



7/21/14

ENGINEER'S CERTIFICATE
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature]
MICHAEL J. GESELL, P.E.
DATE: 7/29/13

DEVELOPER'S CERTIFICATE
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

NAME OF DEVELOPER: [Signature]
TITLE: VICE PRESIDENT
DATE: 7-29-13

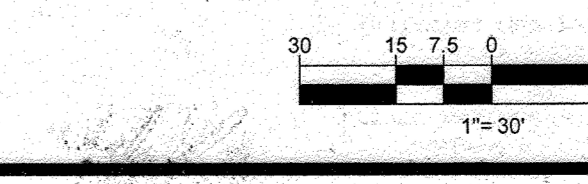
OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1954 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000

CONTACT: GREG REED
FAX MAP: 29 PARCELS: 272, PARCELS A-C ZONED: NT
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF: 1059M SITE AREA: 10.21 AC
DPZ REF: SDP-13-046

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD SCD DATE: 3/12/13



APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF-DEVELOPMENT ENGINEERING DIVISION
DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature]
CHIEF-DIVISION OF LAND DEVELOPMENT
DATE: 9/11/13

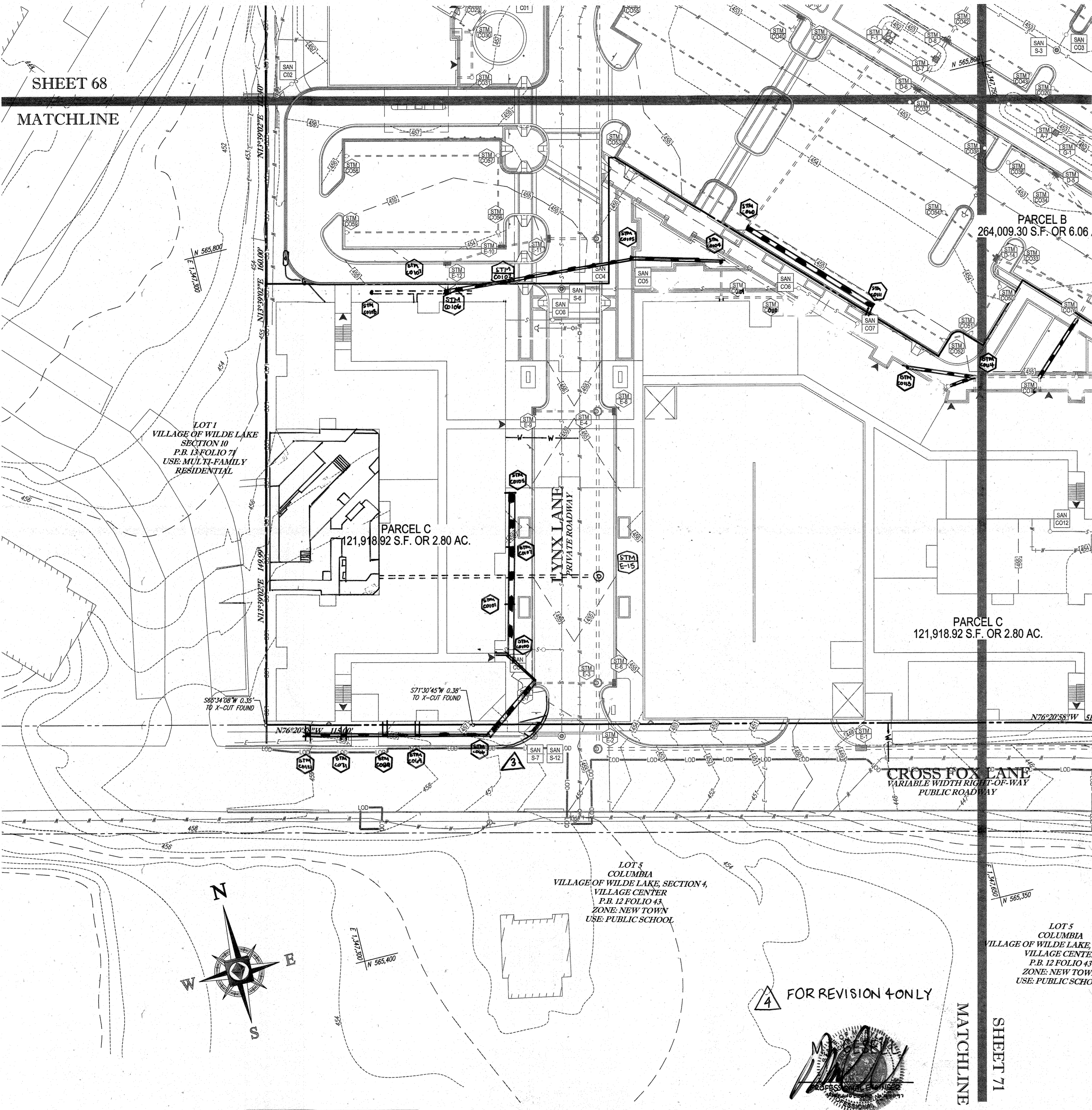
APPROVED: DIRECTOR
[Signature]
DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A DISCREPANCY WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND CODES.

SHEET 68

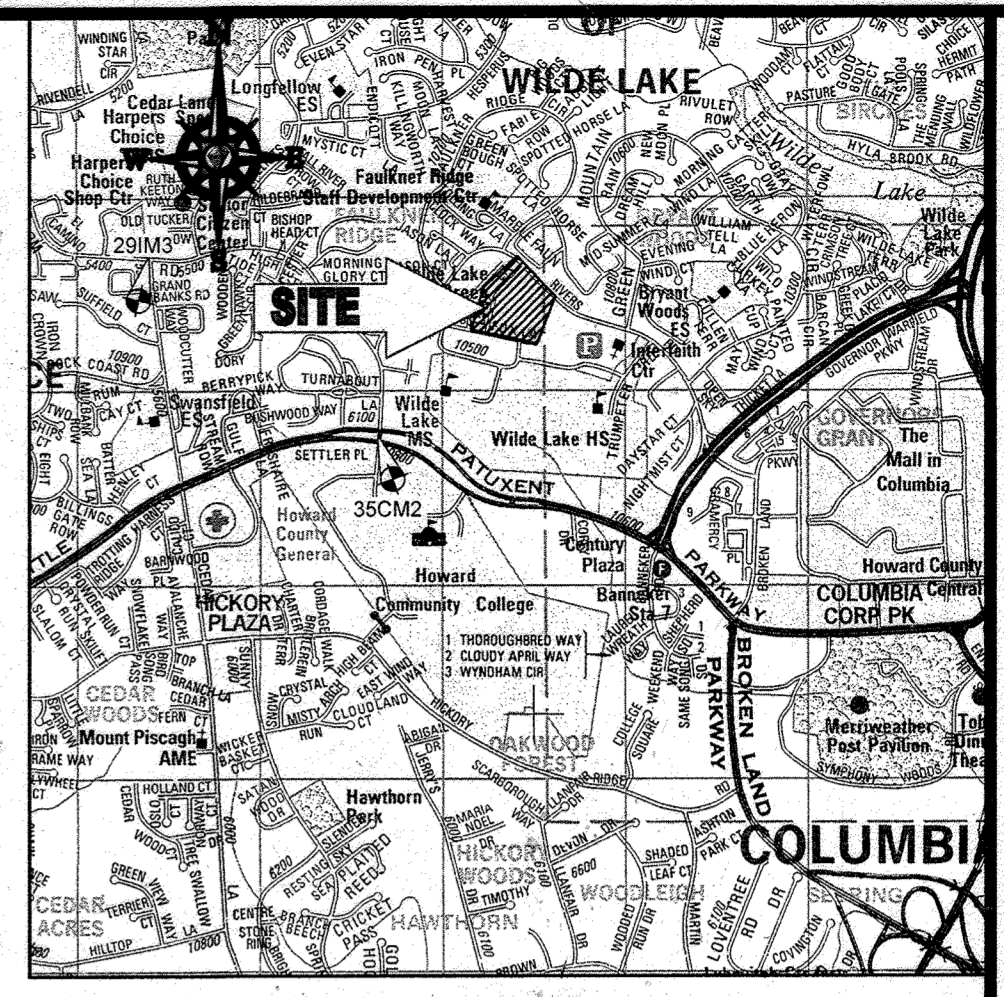
MATCHLINE



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=200'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

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 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.892
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT CONTROL DETAILS.
- ALL PROPOSED WORK OUTSIDE OF PERIMETER CONTROLS SHALL BE STABILIZED AT THE END OF EACH WORK DAY.
- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
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EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

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- PLACE ALL EXCAVATED MATERIAL ON UPHILL SIDE OF TRENCH.
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- THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AT ALL TIMES DURING UNDERGROUND UTILITY CONSTRUCTION.

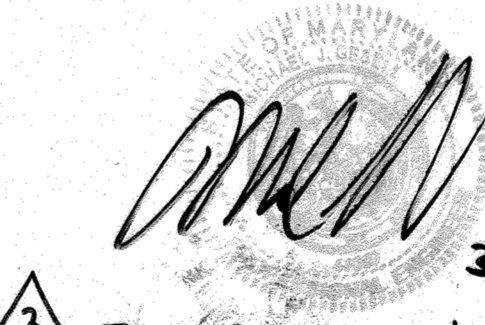
SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UUB	URBAN LAND - UDORNTENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

FOR REVISION 9 ONLY (NO AS-BUILT INFO)



FOR REVISION 7 ONLY



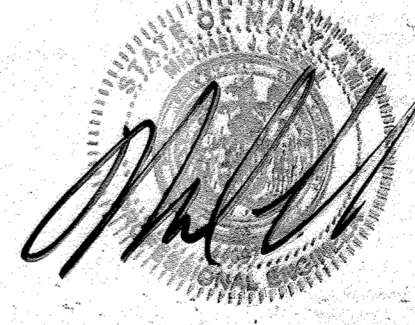
FOR REVISION 3 ONLY



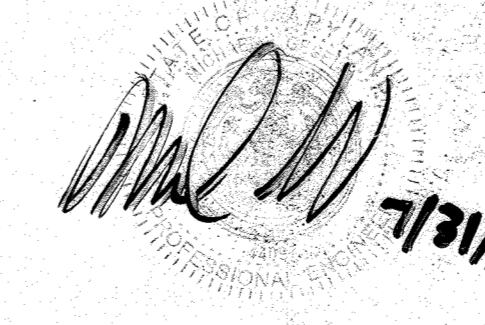
FOR REVISION 5 ONLY:



FOR REVISION 1 ONLY



FOR REVISION 2 ONLY



ENGINEER'S CERTIFICATE
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE AND THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.
 MICHAEL J. GESELL, P.E. 7/29/13

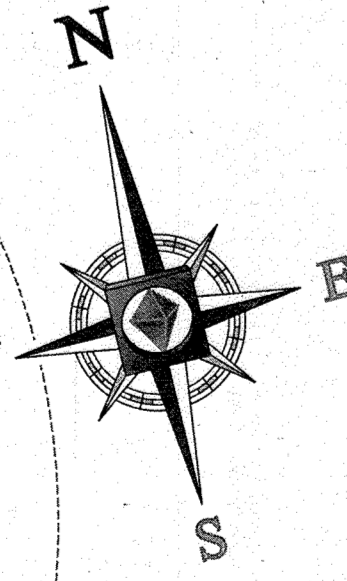
DEVELOPER'S CERTIFICATE
 I HAVE HEREBY CERTIFIED THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION OF THIS PROJECT WILL HAVE RECEIVED DATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC INSPECTION BY THE HOWARD COUNTY CONSERVATION DISTRICT.
 WILDE LAKE BUSINESS TRUST
 BY: OWEN REARICK, PRESIDENT 7-29-13
 NAME: WILDE LAKE BUSINESS TRUST
 TITLE: VICE PRESIDENT

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEWHYDE PARK ROAD
 NEWHYDE PARK, NY 11042
 (410) 684-2000
 DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000
 HOWARD SCD DATE: 7/29/13
 SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION: SECTION 4
 PLAT: PLAT 2, 2011-23,511
 WATER CODE: E32
 SEWER CODE: 5622500
 GRID: 34
 TAX MAP: 29
 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1098H SITE AREA: 10.21 AC
 DPZ REF: SDP-13-048

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/29/13
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

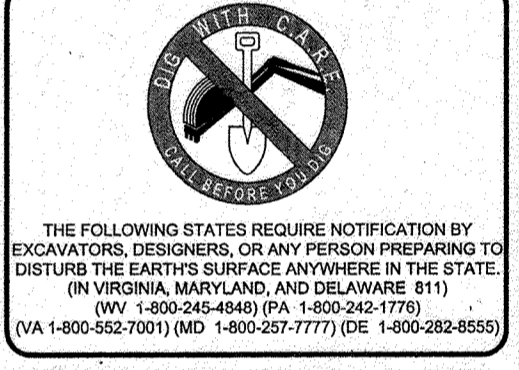
APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013



BOHLER ENGINEERING
 CIVIL & CONSULTING ENGINEERS SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS
 OFFICES:
 WILDE LAKE, MD
 TOWSON, MD
 WASHINGTON, VA
 CHARLOTTE, NC
 TAMPA, FL
 PHILADELPHIA, PA
 SOUTH BRIDGE, MA
 ALBANY, NY
 CHICAGO, IL
 PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/14	REVISED UTILITY LAYOUT	PDH
2	5/14/14	REVISED STORM DRAIN LAYOUT - SLIDE REVISIONS WATER WASTE CONNECTION	TMG
3	6/24/15	REVISED CURB & GUTTERS	WCB
4	8/19/15	SHOW POOL IN LANDSCAPE	PHB
5	02/1/16	REVISED GLOS 344 BLDG USES AND PARKING CALC	ELM
7	12/8/16	ADDED UNDERGROUND PROPOSED TRENCH	ELM
9	2/10/21	AS-BUILT	MGK



APPROVED FOR CONSTRUCTION

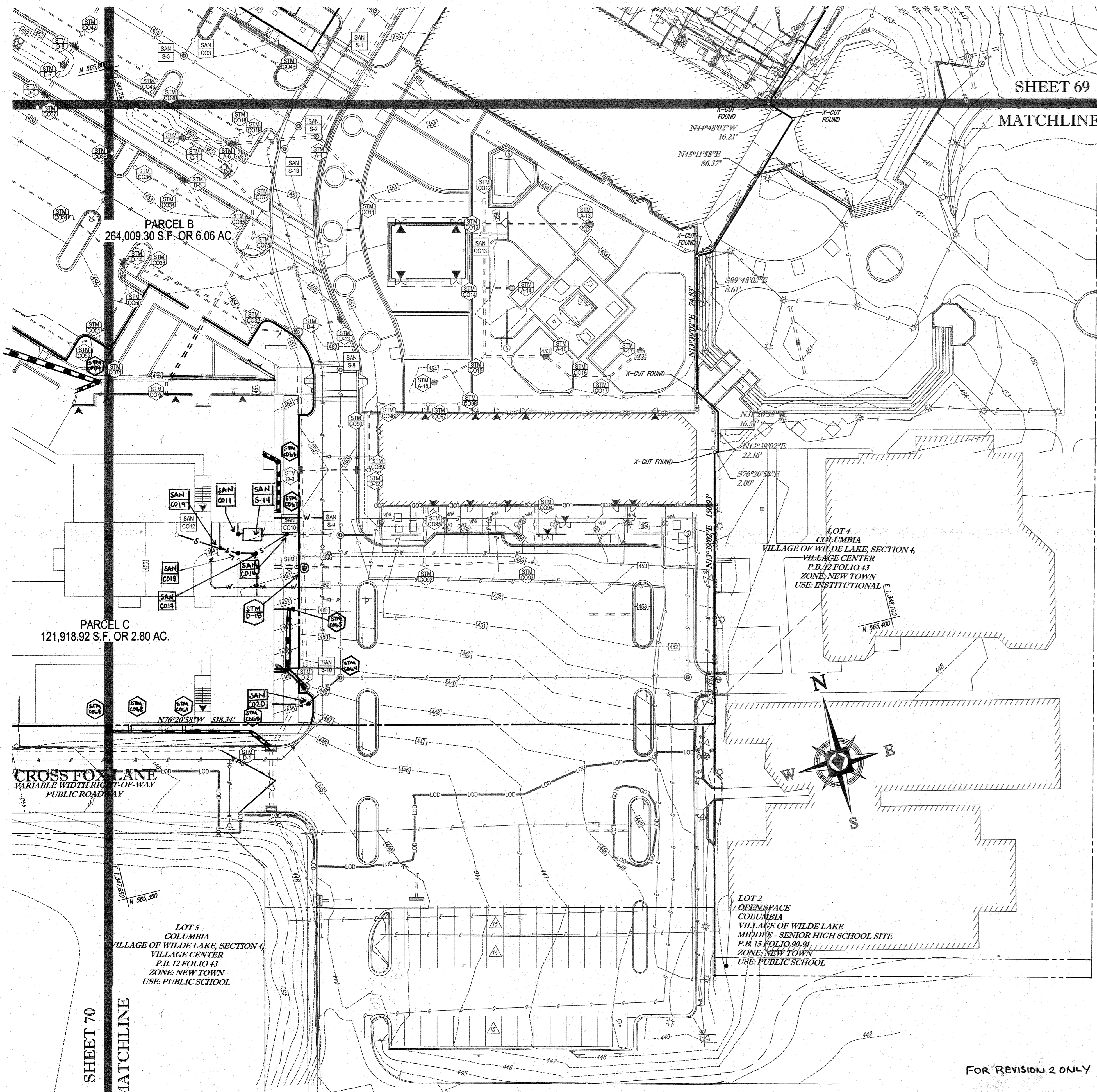
PROJECT NO: MD069002
 DRAWN BY: RRS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD: EDZ

SITE DEVELOPMENT PLAN
 FOR
KIMCO REALTY CORPORATION
 LOCATION OF SITE
 VILLAGE OF WILDE LAKE
 VILLAGE CENTER
 REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS. NOS. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com



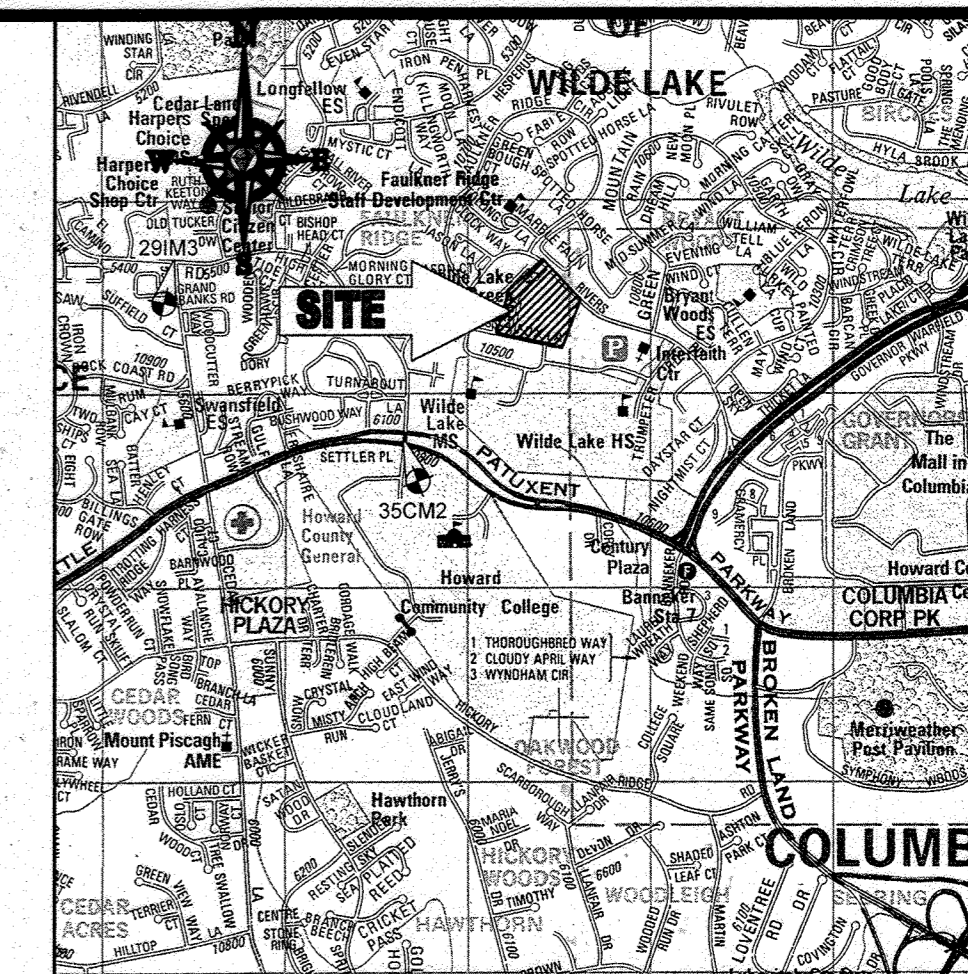
SHEET TITLE:
EROSION AND SEDIMENT CONTROL PLAN PHASE IV PROPOSED CONDITION
 SHEET NUMBER:
70 OF 91
 SDP-13-048



STANDARD SYMBOLS

FOR EROSION AND SEDIMENT CONTROL PRACTICES

TITLE	KEY	SYMBOL
STABILIZED STONE CONSTRUCTION ENTRANCE	CE	[Symbol]
SILT FENCE	SF	[Symbol]
SUPER SILT FENCE	SSF	[Symbol]
AT GRADE INLET PROTECTION	AGP	[Symbol]
STANDARD INLET PROTECTION	SP	[Symbol]
RIP RAP		[Symbol]



LOCATION MAP

COPYRIGHT ADC THE MAP PEOPLE
 PERMIT USE NO. 20602153-5
 SCALE: 1"=2000'
 ADC MAP COORDINATES: 4934 / K5

BENCHMARK NOTE:

THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY MONUMENT NOS. 35CM2 AND 29M3 WERE USED FOR THIS PROJECT. GEODETIC CONTROL STATIONS:
 HOWARD COUNTY MONUMENT NO. 35CM2 ELEV. = 142.882
 HOWARD COUNTY MONUMENT NO. 29M3 ELEV. = 141.133

NOTES:

- REFER TO SHEETS 72-74 FOR SEQUENCE OF CONSTRUCTION, SEDIMENT CONTROL NOTES, AND SEDIMENT DETAILS.
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- CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.
- PROPOSED SILT FENCE IS TO BE CHANGED TO SUPER SILT FENCE AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR.

INLET PROTECTION NOTE

THE CONTRACTOR IS REQUIRED TO INSTALL INLET PROTECTION ON ALL STORM DRAIN INLETS WITH THE EXCEPTION OF THE FOLLOWING:
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 2) INLETS ON PRIVATE OR PUBLIC ROAD OPEN TO THE PUBLIC.

ALL INLET PROTECTION WILL BE INSTALLED AS DIRECTED BY THE INSPECTOR IN ACCORDANCE WITH THE SOIL EROSION AND SEDIMENT CONTROL PLAN. THE REMOVAL OF ANY INLET PROTECTION DEVICES WILL REQUIRE APPROVAL FROM THE INSPECTOR.

EROSION AND SEDIMENT CONTROL UTILITY INSTALLATION NOTES

- CONTRACTOR SHALL OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN (DOWNSLOPE OF TRENCH).
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SOILS TABLE

SOILS NAME	SOILS DESCRIPTION	HYDROLOGIC SOILS GROUP	HIGHLY ERODIBLE SOIL
GIB	GLADSTONE-URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B	NO
GIC	GLADSTONE-URBAN LAND COMPLEX, 8 TO 15 PERCENT SLOPES	B	NO
UuB	URBAN LAND - UDORMENTS COMPLEX, 0 TO 8 PERCENT SLOPES	D	NO

BOHLER ENGINEERING
 CORPORATE OFFICE: WARREN, NJ
 OFFICE: BOWEN, MD
 SURVEYORS: SOUTHBOROUGH, MA
 PROJECT MANAGERS: ROCKFORD, MA
 ENVIRONMENTAL CONSULTANTS: ROCKFORD, MA
 LANDSCAPE ARCHITECTS: CENTER VALLEY, PA
 TALLAHASSEE, FL
 PHILADELPHIA, PA

REVISIONS

REV	DATE	COMMENT	BY
1	01/10/11	REVISED UTILITY LAYOUT	EDH
2	5/11/11	REVISED STORM DRAIN LAYOUT BASIC FOOTPRINT WATER MAINS CONNECTIONS	TMG
5	02/11/12	REVISED BLDGS 2, 3, 12, 13 ROSES AND PARKING	EDH
7	12/11/12	ADDED UNDERGROUND PAVING TRENCH	EDH
9	2/16/21	As - BUILT	MDG

APPROVED FOR CONSTRUCTION

PROJECT NO.: MD09002
 DRAWN BY: RMS
 CHECKED BY: M/G
 DATE: 07/29/13
 SCALE: 1"=30'
 CAD ID.: EDZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 807
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

MICHAEL J. GESELL
 PROFESSIONAL ENGINEER
 7/29/13

SHEET TITLE: EROSION AND SEDIMENT CONTROL PLAN PHASE IV PROPOSED CONDITION
 SHEET NUMBER: 71 OF 91
 SDP-13-046

FOR REVISION 9 ONLY
 LNO 25-13ULT INFO

7/27/12
 FOR REVISION 7 ONLY

FOR REVISION 5 ONLY:

7/11/16

3/7/17

FOR REVISION 2 ONLY

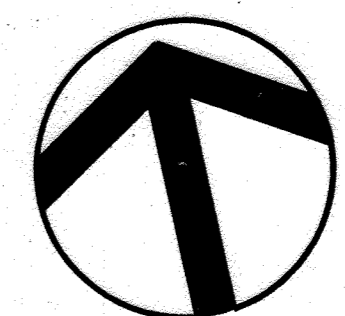
7/31/14

FOR REVISION 10 ONLY

3/7/14

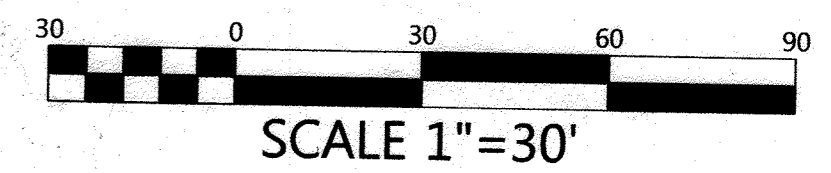
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 8/2/13
 APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORKSCOPE PRIOR TO THE INCEPTION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OR RECORDING ENGINEER PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.



NOTES:

1. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$104,350 FOR 113 SHRUBS, 2 EVERGREEN TREES, 87 ORNAMENTAL TREES AND 1690 SHRUBS. FOR LANDSCAPE SURETY BREAKDOWN PLEASE SEE "LANDSCAPE SURETY CALCULATOR" ON SHEET 76 OF 91.
2. THE FOREST CONSERVATION REQUIREMENTS ARE EXEMPT PER SECTION 16.1202(B)(1)(V) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
3. SEE SHEET 77 OF 91 FOR MICROBIORETENTION PLANTING PLAN AND PLANTING DETAILS.
4. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE.
5. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIAL AND BERMS, FENCES, AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
6. THIS LANDSCAPE PLAN HAS BEEN APPROVED BY THE WILDE LAKE ARCHITECTURAL COMMITTEE ON JULY 30TH, 2012. ALL CONDITIONS HAVE BEEN OF THIS APPROVAL HAS BEEN ADDRESSED ON THIS PLAN.



DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE GUARANTEE ACCOMPANIED BY AN EXCELLENT CARE PLAN, QUANTITIES OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

WILDE LAKE BUSINESS TRUST
 BY: OWL RETAIL HOLDINGS, LLC ITS LEGAL REPRESENTATIVE
 SIGNED: *Walter E. Simmons III* DATE: 5-11-13
 NAME: WALTER E. SIMMONS III TITLE: VICE PRESIDENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION J.P. DATE: 5/11/13

Walter E. Simmons III DATE: 5/11/13
 CHIEF DIVISION OF LAND DEVELOPMENT
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

Date	No.	Revision Description
5/16/13	As-Built	

RESUBDIVISION OF VILLAGE OF WILDE LAKE

VILLAGE CENTER REDEVELOPMENT

OWNER/DEVELOPER:
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NEW YORK 11042

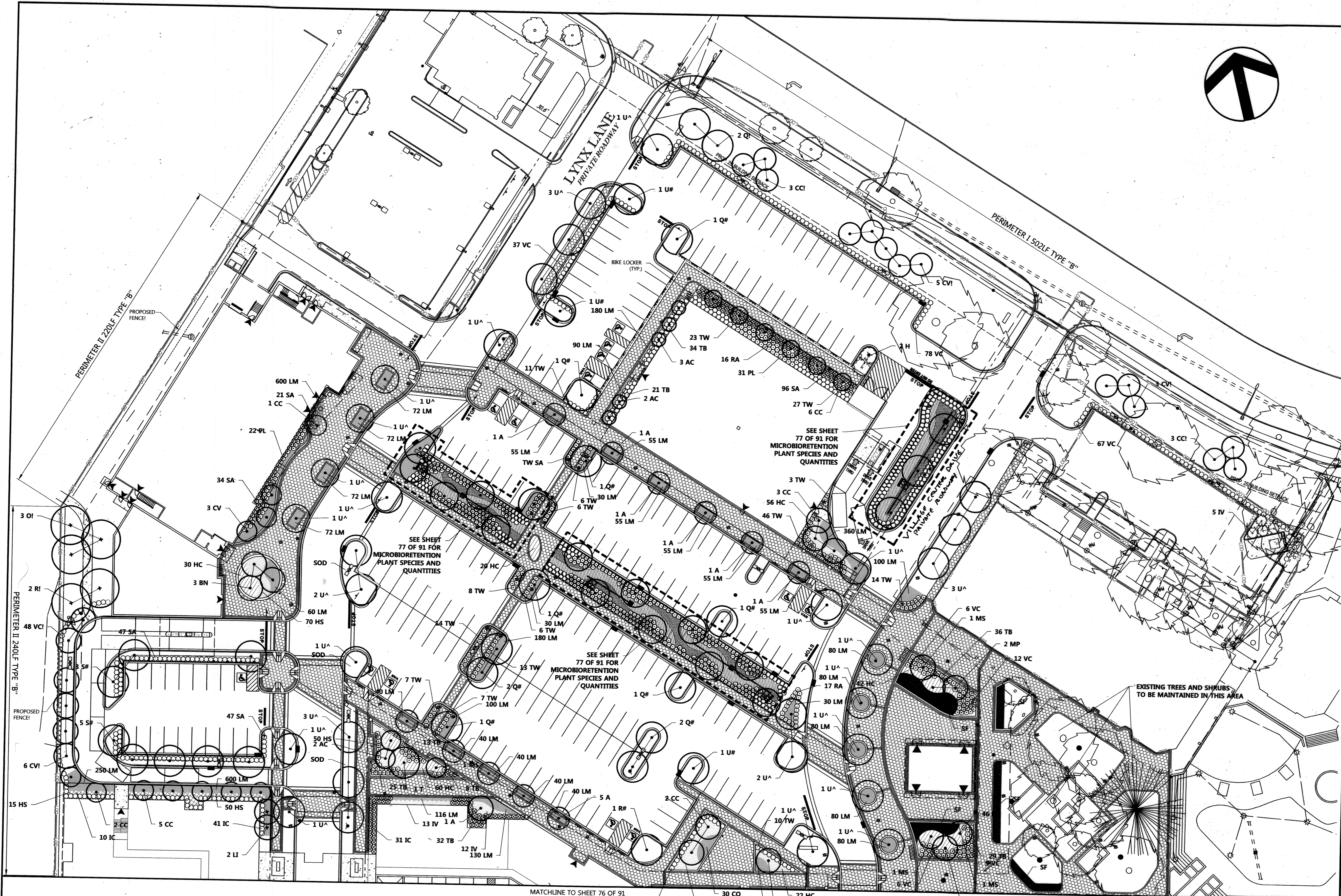
DMW

DAFT MCCUNE WALKER INC.
 200 EAST PENNSYLVANIA TOWNSHIP, MD 21286
 P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
 A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS,
 SURVEYORS & ENVIRONMENTAL PROFESSIONALS

AREA: VILLAGE CENTER S4
 TAX MAP: 029 PARCEL: 132

TITLE: LANDSCAPE PLAN NORTH

Des. By	HMA	Scale	1"=30'	Proj. No.	12016.0
Dwn. By	CRH	Date	5/15/13		
Chk. By	Approved				75 of 91



MASTER PLANT SCHEDULE - (SHEETS 75 & 76 OF 91)

KEY	TOTAL QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES - DECIDUOUS SHADE											
A	38	Acer rubrum 'Bowhall'	Bowhall Red Maple	2.5- 3" Cal. 12' - 14' ht.	B88, Full	HC	463	Hypericum calycinum	St. John's Wort	18-24" ht.	Full, 30" o.c.
R	4	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	2.5- 3" Cal. 12' - 14' ht.	B88, Full	IV	5	Ilex virginica 'Henry's Garnet'	Henry's Garnet Virginia Sweetpire	18-24" ht.	Full, 30" o.c.
S	8	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	2.5- 3" Cal. 12' - 14' ht.	B88, Full	PL	53	Pinus lauraceraeus 'Otto Lyken'	Otto Lyken Cherry Laurel	18-24" ht.	Full, 30" o.c.
O	25	Quercus phellos	Willow Oak	2.5- 3" Cal. 12' - 14' ht.	B88, Full	RA	29	Rhus aromatica 'Gro-low'	Fragrant Sumac	24-30" ht.	Full, 24" o.c.
T	3	Quercus rubra	Red Oak	2.5- 3" Cal. 12' - 14' ht.	B88, Full	SA	322	Spiraea 'Anthony Waterer'	Anthony Waterer Spiraea	24-30" ht.	Full, 30" o.c.
U	34	Taxodium distichum	Bald Cypress	2.5- 3" Cal. 12' - 14' ht.	B88, Full	VC	230	Viburnum carlesii	Koreanspice Viburnum	18-24" ht.	Full, 30" o.c.
		Ulmus americana 'Princeton'	Princeton American Elm	2.5- 3" Cal. 12' - 14' ht.	B88, Full	VCC	33	Viburnum carlesii 'Compacta'	Compact Koreanspice Viburnum	18-24" ht.	Full, 36" o.c.
TREES - ORNAMENTAL											
AC	7	Amelanchier canadensis	Serviceberry	8-10' ht.	B88, Full	IC	151	Ilex ornata 'Compacta'	Compact Japanese Holly	18-24" ht.	Full, 24" o.c.
BN	4	Betula nigra 'Heritage'	Heritage River Birch	8-10' ht.	B88, Full	TB	198	Taxus baccata 'Repardens'	Spreading English Yew	18-24" ht.	Full, 30" o.c.
CC	36	Cercis canadensis	Eastern Redbud	8-10' ht.	B88, Full	TW	206	Taxus media 'Wardii'	Ward's Yew	18-24" ht.	Full, 35" o.c.
CV	17	Crataegus viridis 'Winter King'	Winter King Hawthorn	8-10' ht.	B88, Full						
IV	5	Ilex verticillata	Winter King Hawthorn	8-10' ht.	B88, Full						
LI	2	Lagotisrobinia indica 'Sioux'	Sioux Cape Myrtle	8-10' ht.	B88, Full	CO	44	Coreopsis lanceolata 'Moonbeam'	Moonbeam Coreopsis	1 qt. container	18" o.c.
MP	3	Lagotisrobinia indica 'Sioux'	Saucer Magnolia	8-10' ht.	B88, Full	HS	229	Hemerocallis 'Sheila D'Or'	Sheila D'Or Daylily	1 gal. container	24" o.c.
MS	7	Magnolia stellata	Star Magnolia	6-8' ht.	B88, Full	LM	6239	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 pt. container	10" o.c.
SR	7	Syringa reticulata	Japanese Tree Lilac	8-10' ht.	B88, Full	SF		Seasonal Flowers	Various Species	TBD	TBD
TREES - EVERGREEN											
H	2	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	6-10' ht.	B88, Full						

FOR REVISION 9 ONLY (NO AS-BUILT INFO)

PLANT TYPE KEY

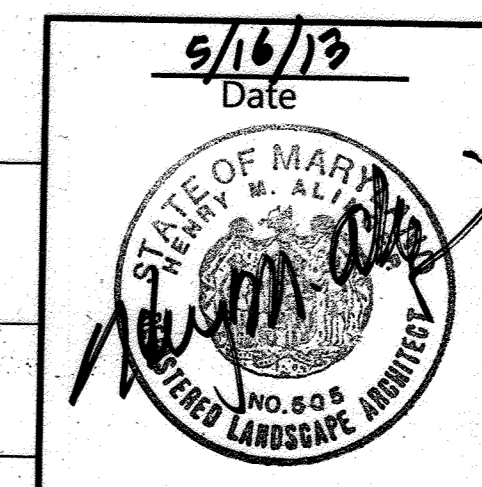
- Street Tree Requirement
- Internal Parking Requirement
- Perimeter Requirement

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

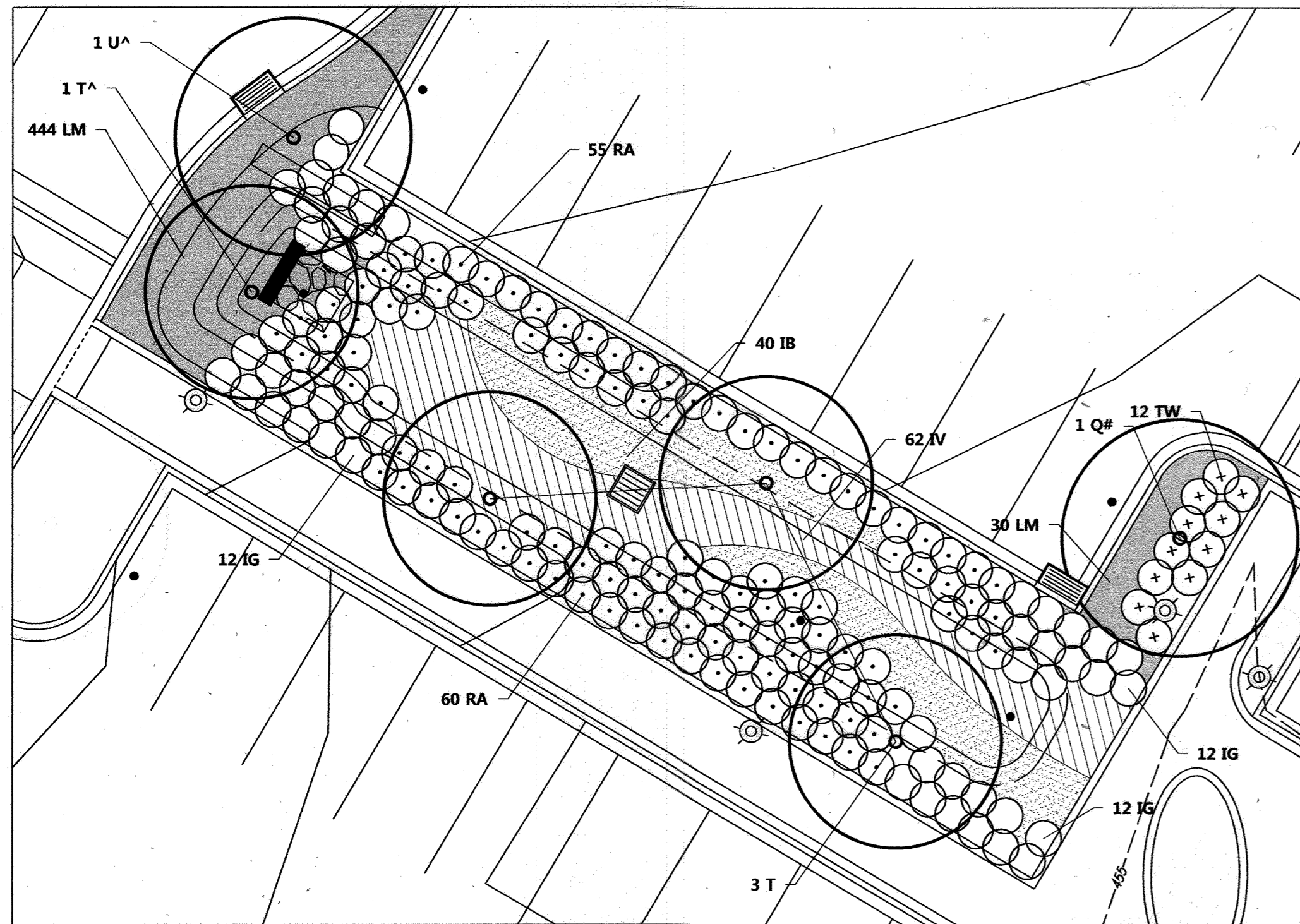
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION: SECTION 4
 PLAN # 2012-00002 23.19-23.51
 WATER CODE: E32
 SEWER CODE: 662500

TAX MAP: 29 PARCELS: 272, PARCELS A-C ZONED: NT
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 23 REF: 1099m SITE AREA: 10.21 AC
 BRIDGE: 10999m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

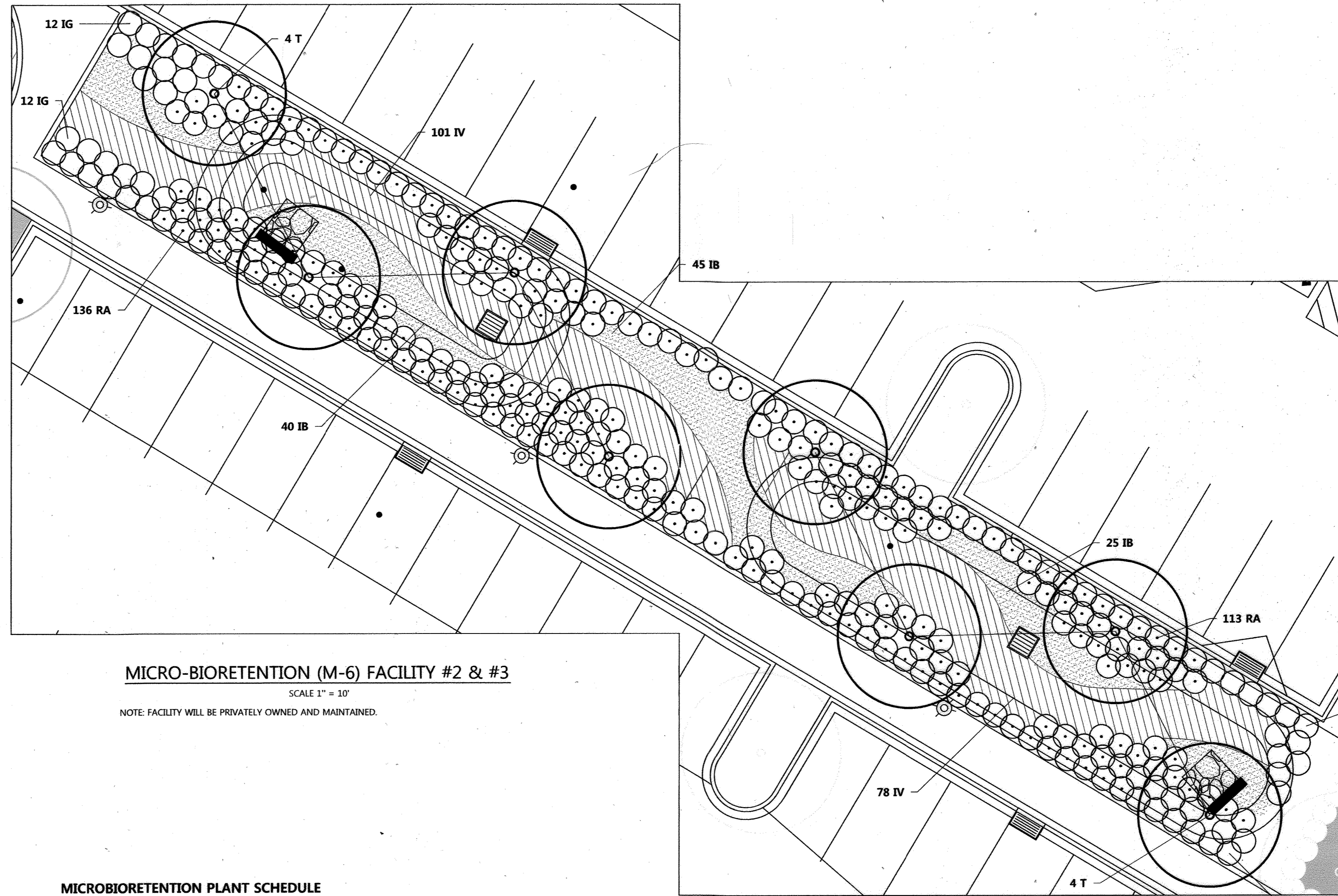


Landscape Architect No. 507

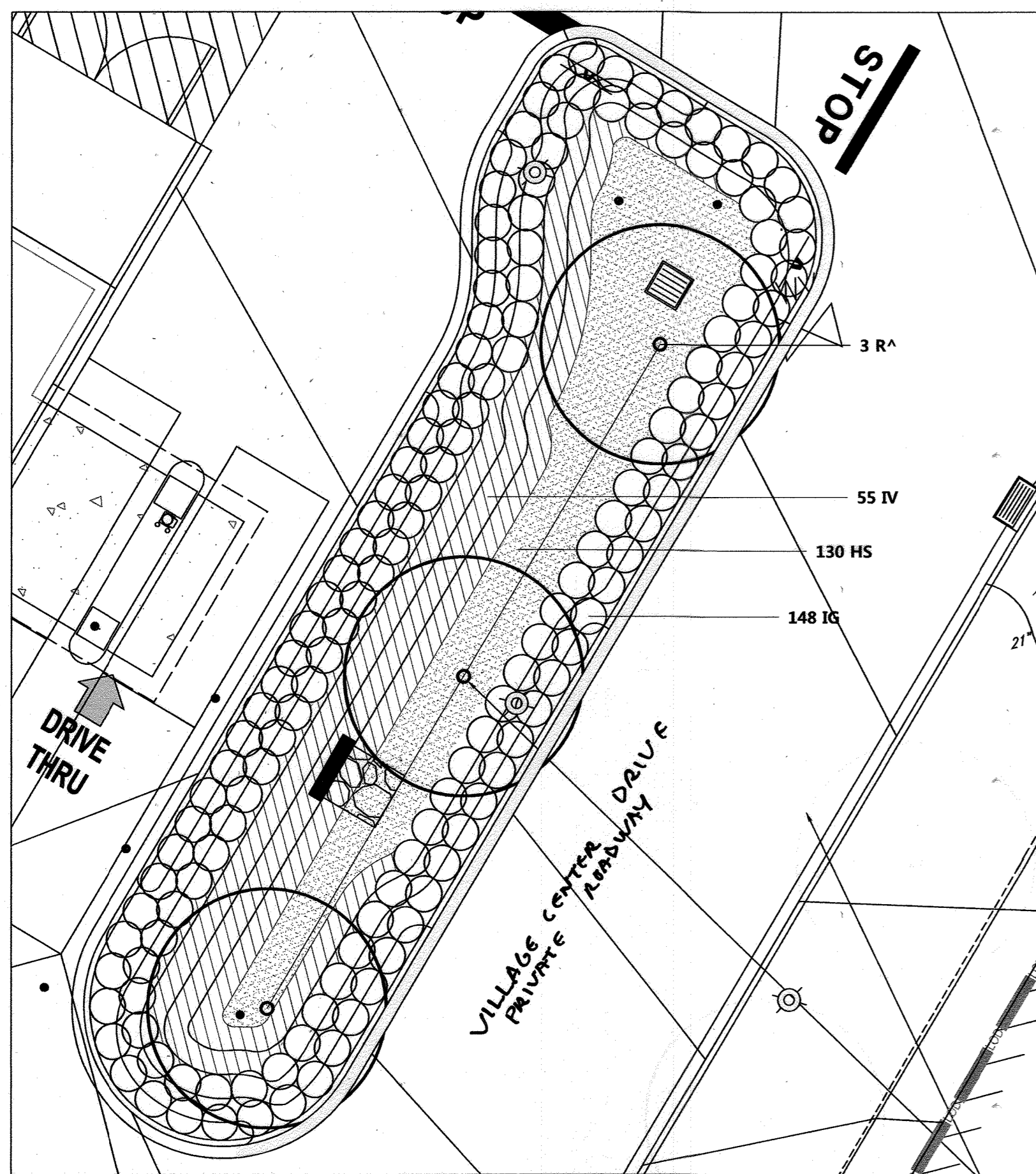
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MICRO-BIORETENTION (M-6) FACILITY #1
SCALE 1" = 10'
NOTE: FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.



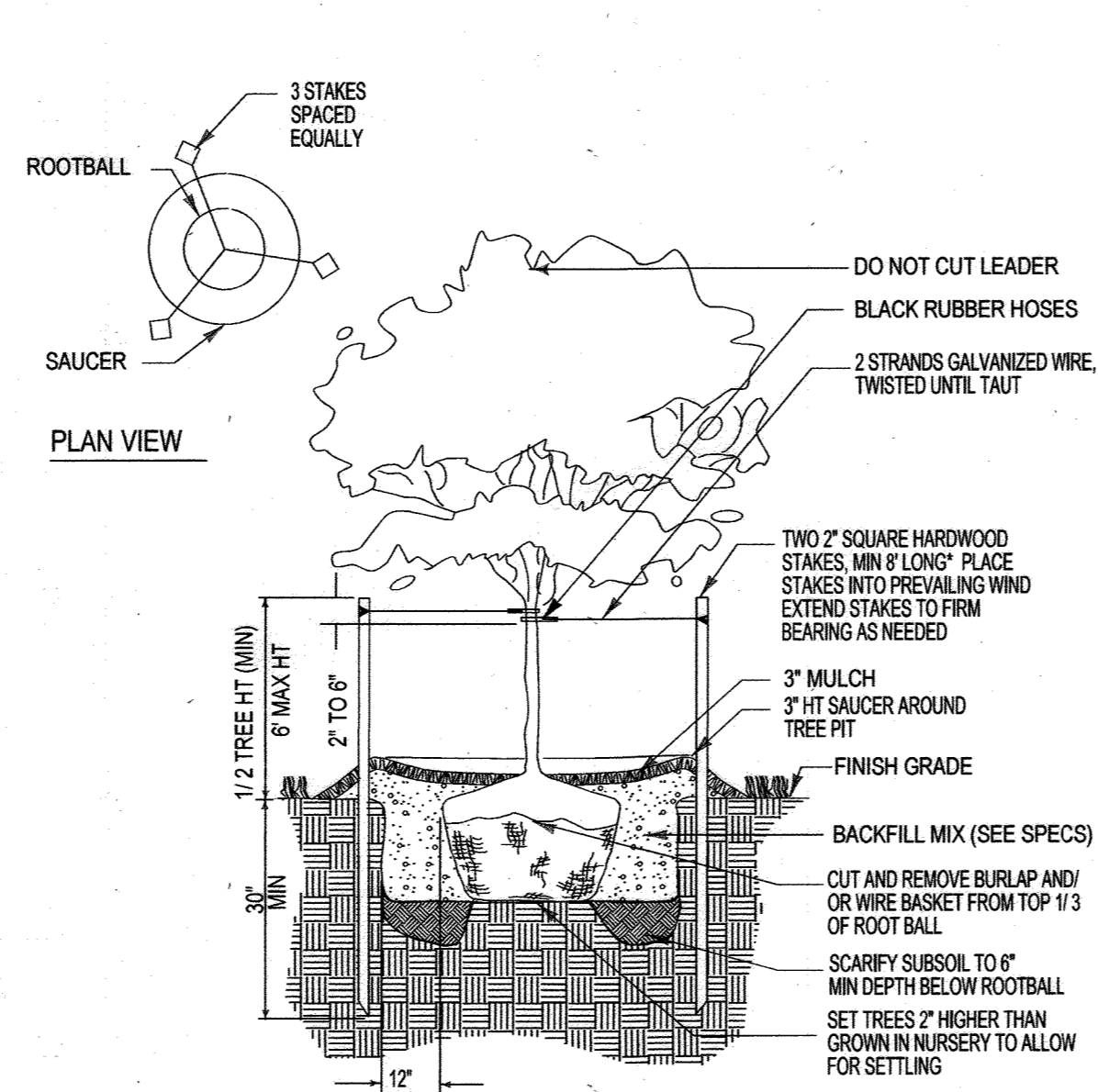
MICRO-BIORETENTION (M-6) FACILITY #2 & #3
SCALE 1" = 10'
NOTE: FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.



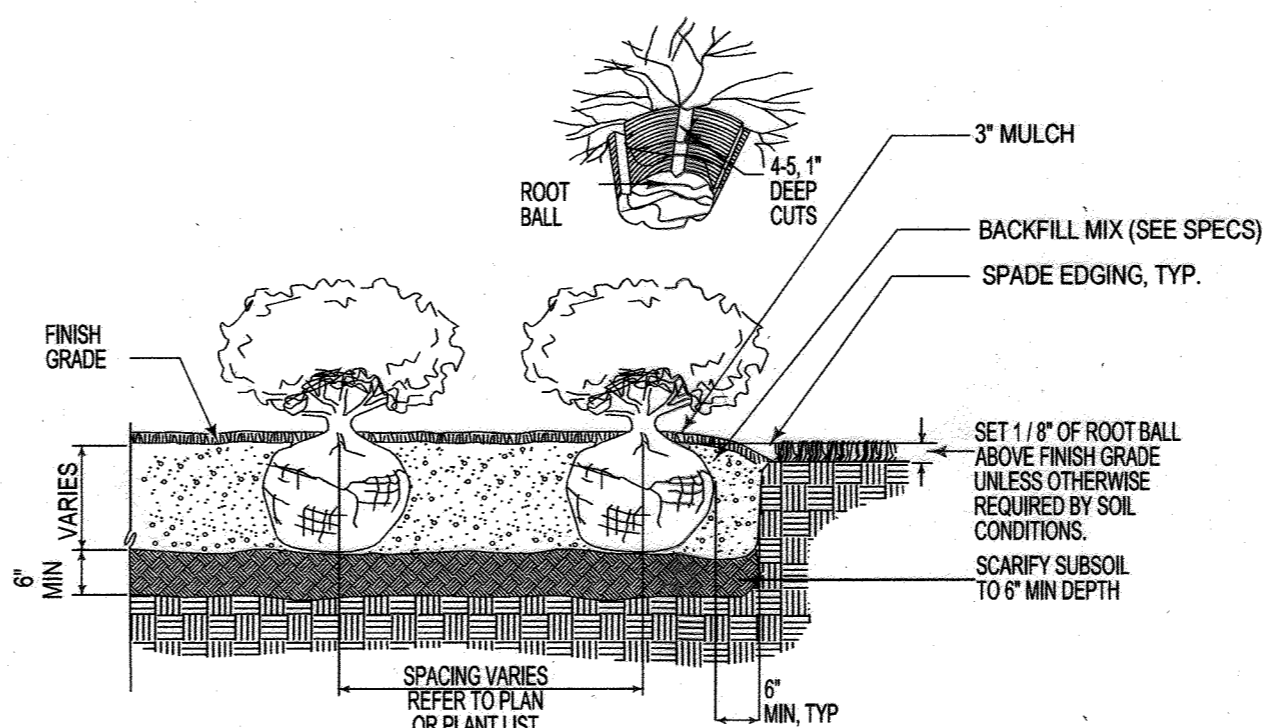
MICRO-BIORETENTION (M-6) FACILITY #4
SCALE 1" = 10'
NOTE: FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED.

MICROBIORETENTION PLANT SCHEDULE

TOTAL QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
TREES - DECIDUOUS SHADE				
R 3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	2.5-3" Cal., 12' - 14' Ht.	B&B, Full B&B, Full
Q 1	Quercus phellos	Willow Oak	2.5-3" Cal., 12' - 14' Ht.	B&B, Full B&B, Full
T 12	Taxodium distichum	Bald Cypress	2.5-3" Cal., 12' - 14' Ht.	B&B, Full B&B, Full
U 1	Ulmus americana 'Princeton'	Princeton American Elm	2.5-3" Cal., 12' - 14' Ht.	B&B, Full
SHRUBS - DECIDUOUS				
RA 364	Rhus aromatica 'Gro-low'	Fragrant Sumac	18-24" Ht.	Full, 24" o.c.
IV 296	Ilex virginica 'Henry's Garnet'	Henry's Garnet Virginia Sweetgale	18-24" Ht.	Full, 30" o.c.
SHRUBS - EVERGREEN				
IS 244	Ilex glabra 'Compacta'	Compact Hollyherry	18-24" Ht.	Full, 30" o.c.
TW 12	Taxus media 'Wardii'	Ward's Yew	18-24" Ht.	Full, 30" o.c.
GROUNDCOVERS / PERENNIALS / GRASSES				
IB 114	Iris versicolor	Blue Water Iris	container 1 pt.	18" o.c., 24" o.c., 10" o.c.
LM 474	Lilium muscarif 'Big Blue'	Big Blue Lilyturf	container	18" o.c., 24" o.c., 10" o.c.



LESS THAN 3" CAL. TREE PLANTING
NOT TO SCALE



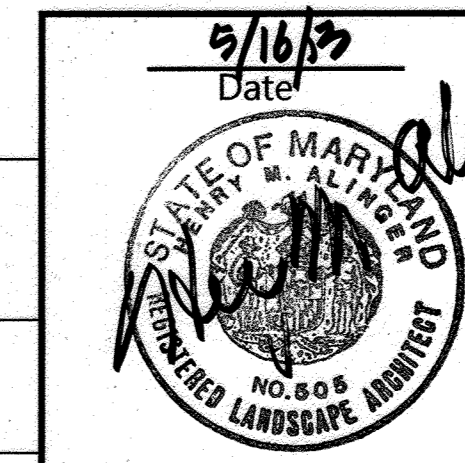
SHRUB BED PLANTING
NOT TO SCALE

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
1964 GREENSPRING DRIVE, SUITE 330
TIMONUM, MD 21093
(410) 684-2000

CONTACT: GREG REED
GREG: 24
ZONED: NT
TAX MAP: 29 PARCELS: 272, PARCELS A-C
5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
ZB REF.: 1096m SITE AREA: 10.21 AC
WATER CODE: E32 DPZ REF.: SDP-13-046
SEWER CODE: 5602500



SCALE 1"=10'

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE
I/WE HEREBY CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.214 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NY 11042
(410) 684-2000

NAME: GREG REED DATE: 5-16-13
TITLE: VICE PRESIDENT

APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
CHIEF-DIVISION OF LAND DEVELOPMENT
DIRECTOR
APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

2/16/21 9 As-Built
Date No. Revision Description

RESUBDIVISION OF VILLAGE OF WILDE LAKE
VILLAGE CENTER REDEVELOPMENT

OWNER/DEVELOPER:
WILDE LAKE BUSINESS TRUST
C/O KIMCO REALTY CORPORATION
3333 NEW HYDE PARK ROAD
NEW HYDE PARK, NEW YORK 11042

DMW
DAFT MCCUNE WALKER INC
200 EAST PENNSYLVANIA TOWNSHIP, MD 21286
P: 410 296 3333 F: 410 296 4705 WWW.DMW.COM
A TEAM OF LAND PLANNERS, LANDSCAPE ARCHITECTS, ENGINEERS, SURVEYORS & ENVIRONMENTAL PROFESSIONALS

AREA: VILLAGE CENTER S4
TAX MAP: 029 PARCEL: 132

TITLE: MICROBIORETENTION LANDSCAPE PLAN

Des. By: HMA Scale: 1"=30' Proj. No. 12016.0
Dwn. By: CRH Date: 5/15/13
Chk. By: Approved 77 of 91

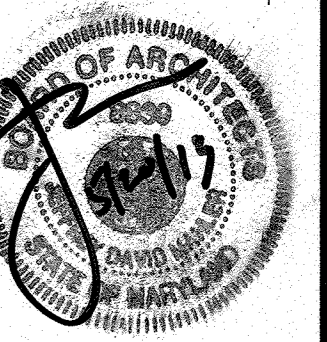
GENERAL SHEET NOTES:

- SEE EXTERIOR FINISH MATERIAL SCHEDULE FOR EXTERIOR FINISH MATERIAL INFORMATION.
- ALL EXTERIOR SUN SHADES & CANOPIES TO BE FURNISHED & INSTALLED BY THE VENDOR. THE G.C. SHALL PROVIDE CONNECTIONS & CLADDINGS PER THE CONTRACT DOCUMENTS.
- SEE EXTERIOR FINISH MATERIAL SCHEDULE & PRECAST MASONRY SCHEDULE FOR ALL PRECAST MASONRY INFORMATION.



L2M
811 Cromwell Park Drive, Suite 113
Cromwell Business Park at 891
Coles Run, Maryland 21061
L2M@L2M.com
Phone 410.863.1302
Fax 410.863.1308
ARCHITECT OF RECORD

L2M
ARCHITECTS



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Maryland Lic. 8038 Exp. 07 December 2013.

KIMCO REALTY

MARKET BUILDING
WILDE LAKE VILLAGE CENTER
COLUMBIA, MD

REV. #	ISSUE / DESCRIPTION	DATE
1	RELEASE FOR PRICING	12/14/2012
9	AS-BUILT	2/16/21

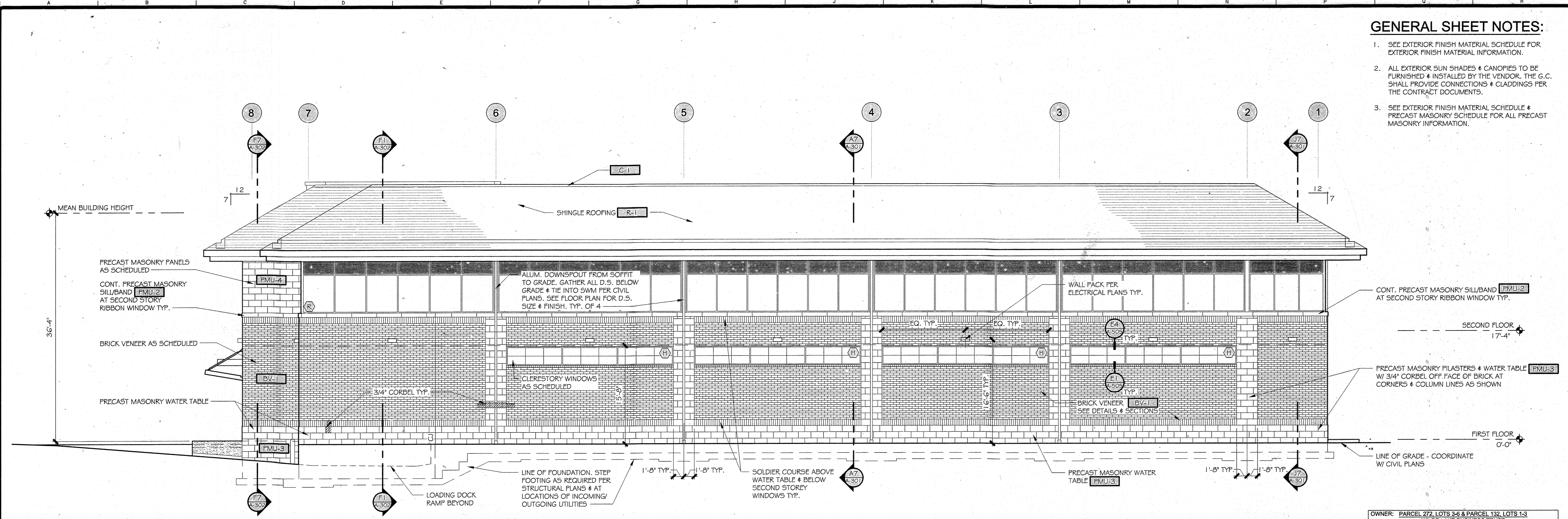
SHEET TITLE:

EXTERIOR ELEVATIONS

DRAWING DATE:
15-JAN-2013
DRAWN BY: JRS
REVIEWED BY: RAO
PROJECT #
12.221MP
SHEET #

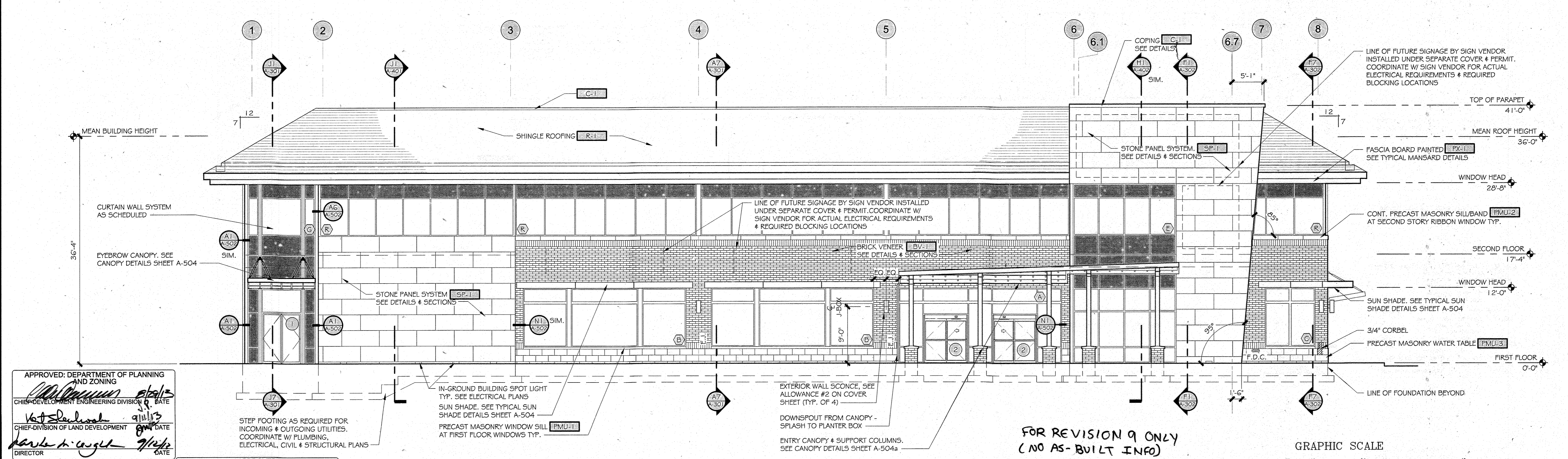
78 OF 91

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12.221MP-A-201.dwg



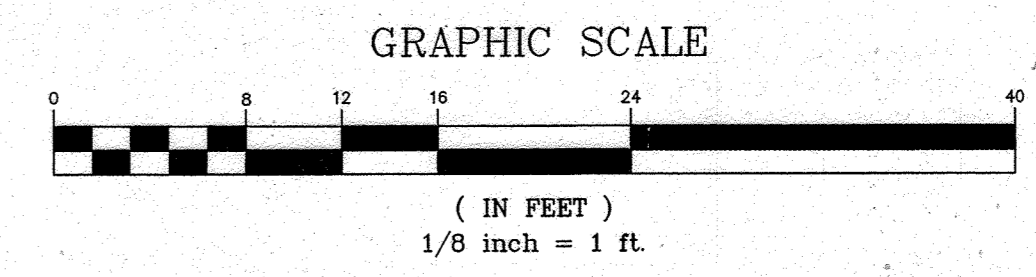
A7 ELEVATION
SCALE: 1/8" = 1'-0"

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 GRID: 24 ZONED: NT PARCEL: 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND 28 REF.: 1086m SITE AREA: 10.21 AC DPZ REF.: SDP-13-046
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21083 (410) 684-2000 CONTACT: GREG REED	
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION NAME: SECTION 4 PLAT # 12-21-13-01-04 23,518 3-25-13 WATER CODE: E32 SEWER CODE: 5602200	



A1 ELEVATION
SCALE: 1/8" = 1'-0"

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: **April 15, 2013**

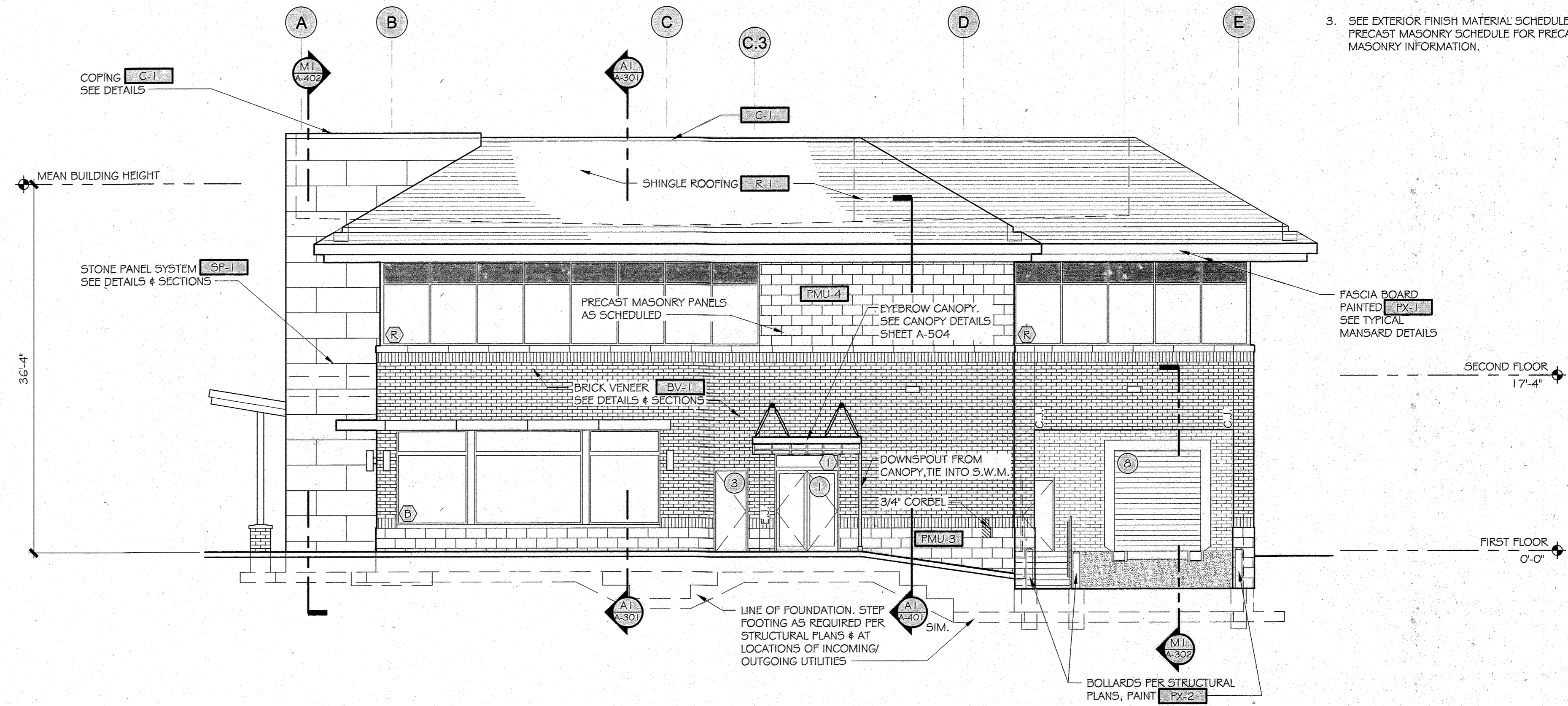


**FOR REVISION 9 ONLY
(NO AS-BUILT INFO)**

SDP-13-046

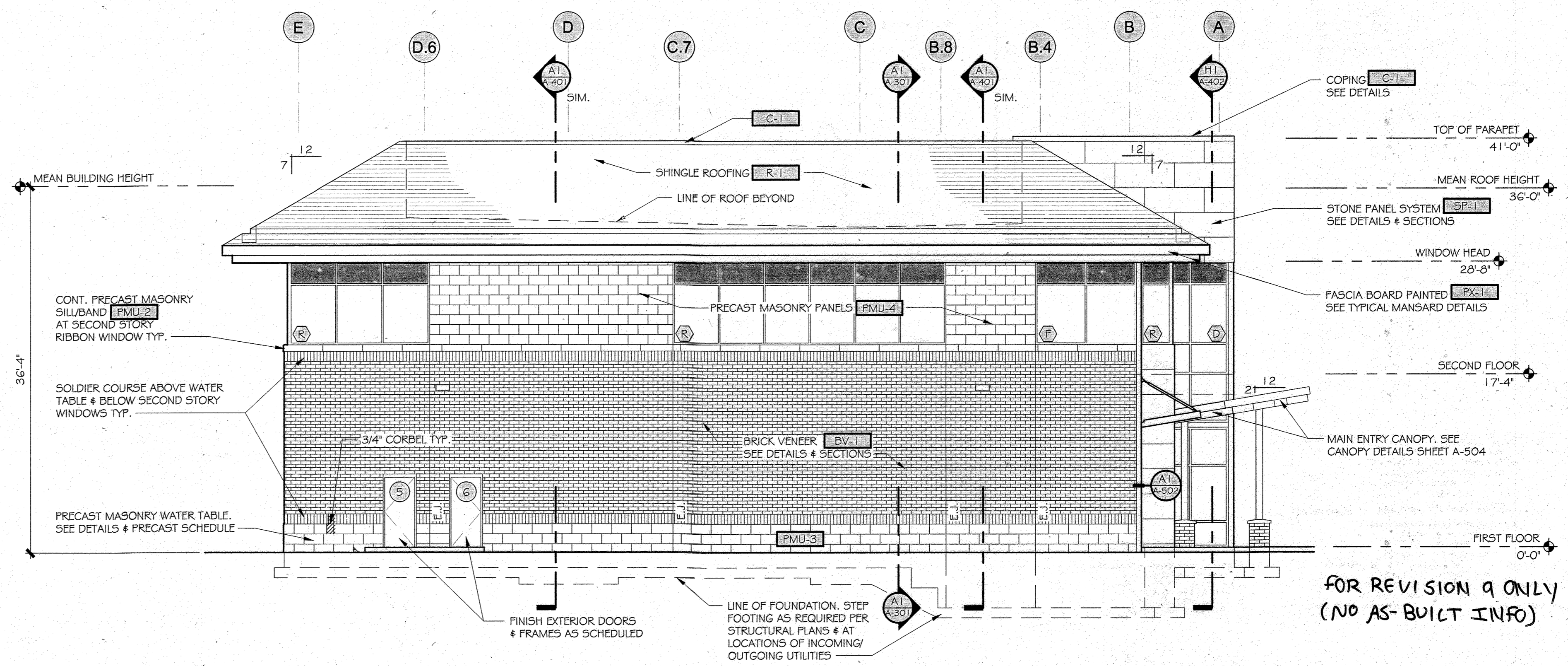
GENERAL SHEET NOTES:

1. SEE EXTERIOR FINISH MATERIAL SCHEDULE FOR EXTERIOR FINISH MATERIAL INFORMATION.
2. ALL EXTERIOR SUN SHADES & CANOPIES TO BE FURNISHED & INSTALLED BY THE VENDOR. THE G.C. SHALL PROVIDE CONNECTIONS & CLADDINGS PER THE CONTRACT DOCUMENTS.
3. SEE EXTERIOR FINISH MATERIAL SCHEDULE & PRECAST MASONRY SCHEDULE FOR PRECAST MASONRY INFORMATION.

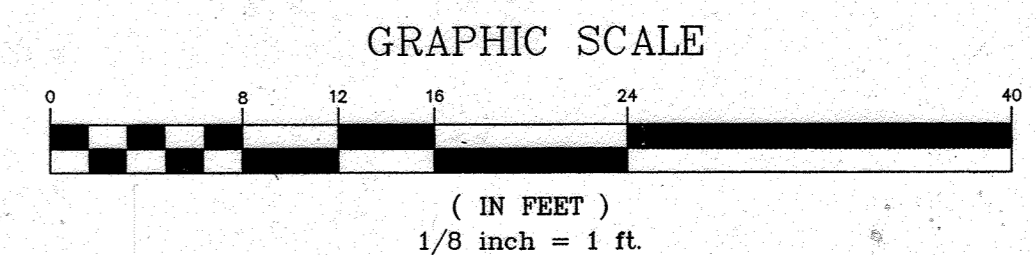


G7 ELEVATION
SCALE: 1/8" = 1'-0"

OWNER: PARCEL 272 LOTS 3-6 & PARCEL 192 LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 PARCEL: 272 GRID: 24 ZONED: NT 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF.: 1099m SITE AREA: 10.21 AC DPZ REF.: SDP-13-046
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21083 (410) 684-2000 CONTACT: GREG REED	
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION/AREA: SECTION 4 PLAT #: 68-04-001-014-215-1 WATER CODE: E32 SEWER CODE: 5602500	



G1 ELEVATION
SCALE: 1/8" = 1'-0"



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
[Signature] 8/21/13
DATE: 8/21/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013



L2M
811 Cromwell Park Drive, Suite 113
Cromwell Business Park at BWI
Glen Burnie, Maryland 21061
L2M@L2M.com
Phone 410.863.1302
Fax 410.863.1308
ARCHITECT OF RECORD:

L2M ARCHITECTS



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Maryland Lic. 8639 Exp. 07 December 2013.

KIMCO REALTY

MARKET BUILDING
WILDE LAKE VILLAGE CENTER
COLUMBIA, MD

REV. #	ISSUE / DESCRIPTION	DATE
	RELEASE FOR PRICING	12/14/2012
9	As-Built	2/19/2013

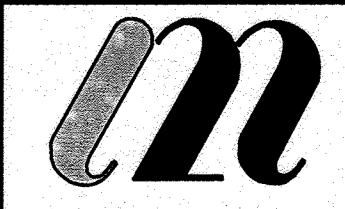
EXTERIOR ELEVATIONS

DRAWING DATE: 15-JAN-2013
DRAWN BY: JRS
REVIEWED BY: RAO
PROJECT # 12.221MP
SHEET #

79 OF 91

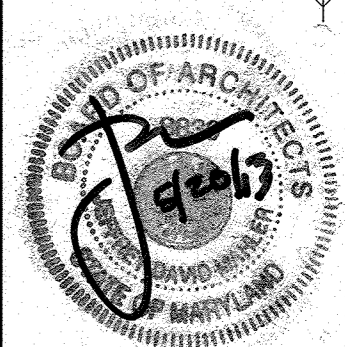
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SDP-13-046



L2M
811 Cromwell Park Drive, Suite 113
Cromwell Business Park at BWI
Crown Heights, Maryland 21031
L2M@L2M.com
Phone 410.863.1302
Fax 410.863.1308
ARCHITECT OF RECORD

L2M
ARCHITECTS



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland Lic. 6338 Exp. 07 December 2013.



COURTYARD BUILDING
WILDE LAKE VILLAGE CENTER
COLUMBIA, MARYLAND

REV. #	ISSUE / DESCRIPTION	DATE
	RELEASED FOR PRICING	12/14/12
9	AS-BUILTS	2/16/13

SHEET TITLE:
COURTYARD BUILDING 'C' EXTERIOR ELEVATIONS

DRAWING DATE:
15-JAN-2013

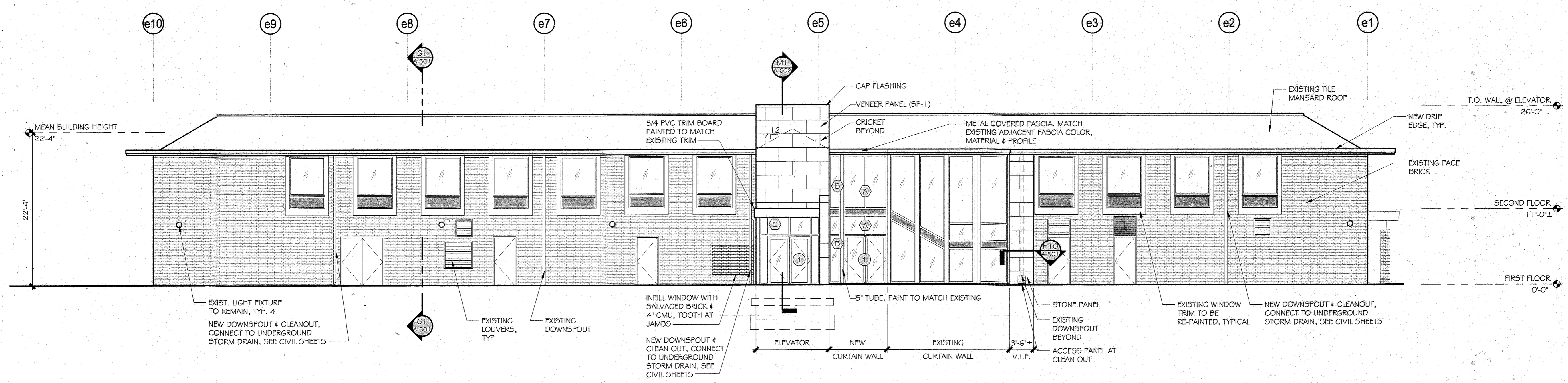
DRAWN BY:
JRS

REVIEWED BY:
RAO

PROJECT #:
12.221CB

SHEET #:
80 OF 91

FILE NAME:
12.221CB-A-201.dwg

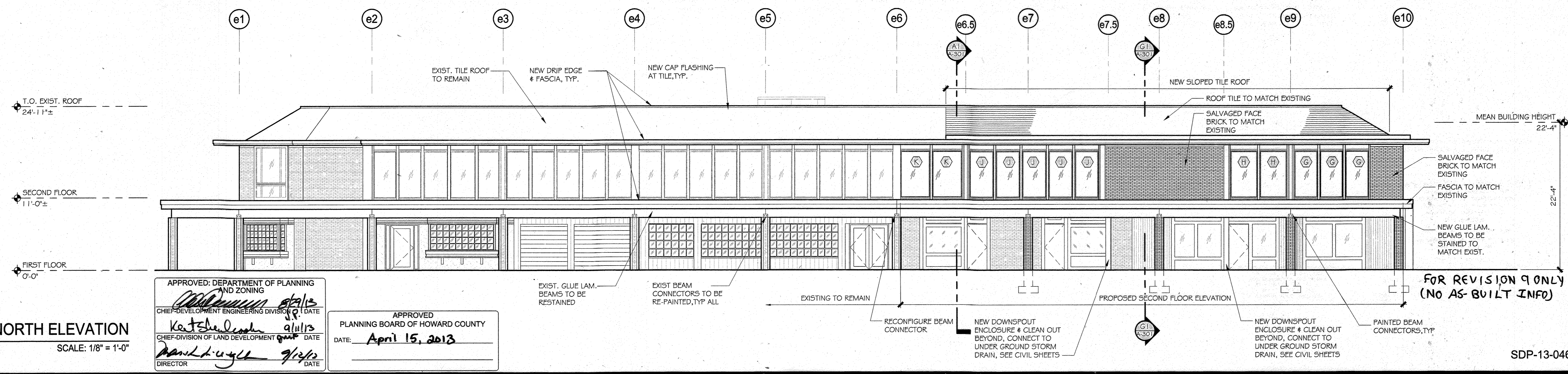
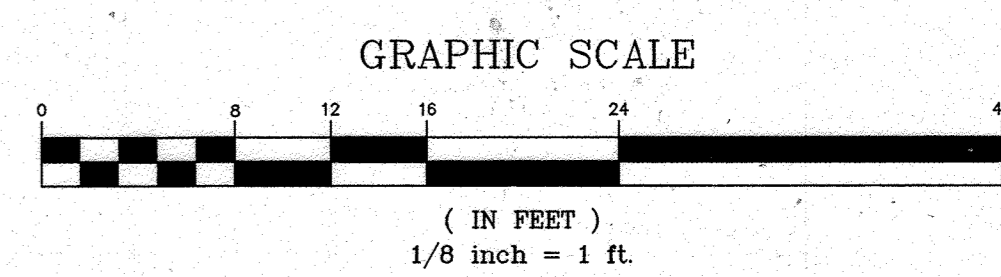


A7 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

GENERAL NOTES

1. PREPARE, SPOT PRIME & REPAINT/RESTAIN ALL PREVIOUSLY PAINTED SURFACES THAT ARE NOT BEING COVERED WITH NEW METAL FLASHING. BASE BID INCLUDES SAME NUMBER OF DIFFERENT COLORS AS CURRENTLY EXISTS.

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 GRID: 24 ZONED: NT
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONIUM, MD 21093 (410) 684-2000 CONTACT: OREG REED	PARCEL: 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 1095m SITE AREA: 10.21 AC DPZ REF: SDP-13-046
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION/AREA: SECTION 4 PLAT # 22-20-1-10-23-51 WATER CODE: E32 SEWER CODE: 5602500	



A1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

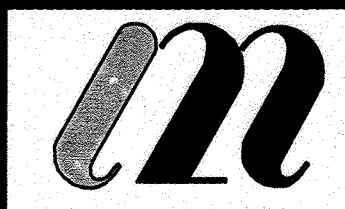
APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Katshe D... 9/1/13
DATE: 9/1/13

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: **April 15, 2013**

DIRECTOR
David L. ... 7/2/13
DATE: 7/2/13

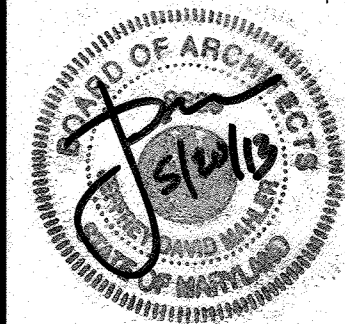
FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

SDP-13-046



L2M
811 Cromwell Park Drive, Suite 113
Cromwell Business Park at BWI
Clen Burnie, Maryland 21031
L2M@L2M.com
Phone 410.863.1302
Fax 410.863.1308

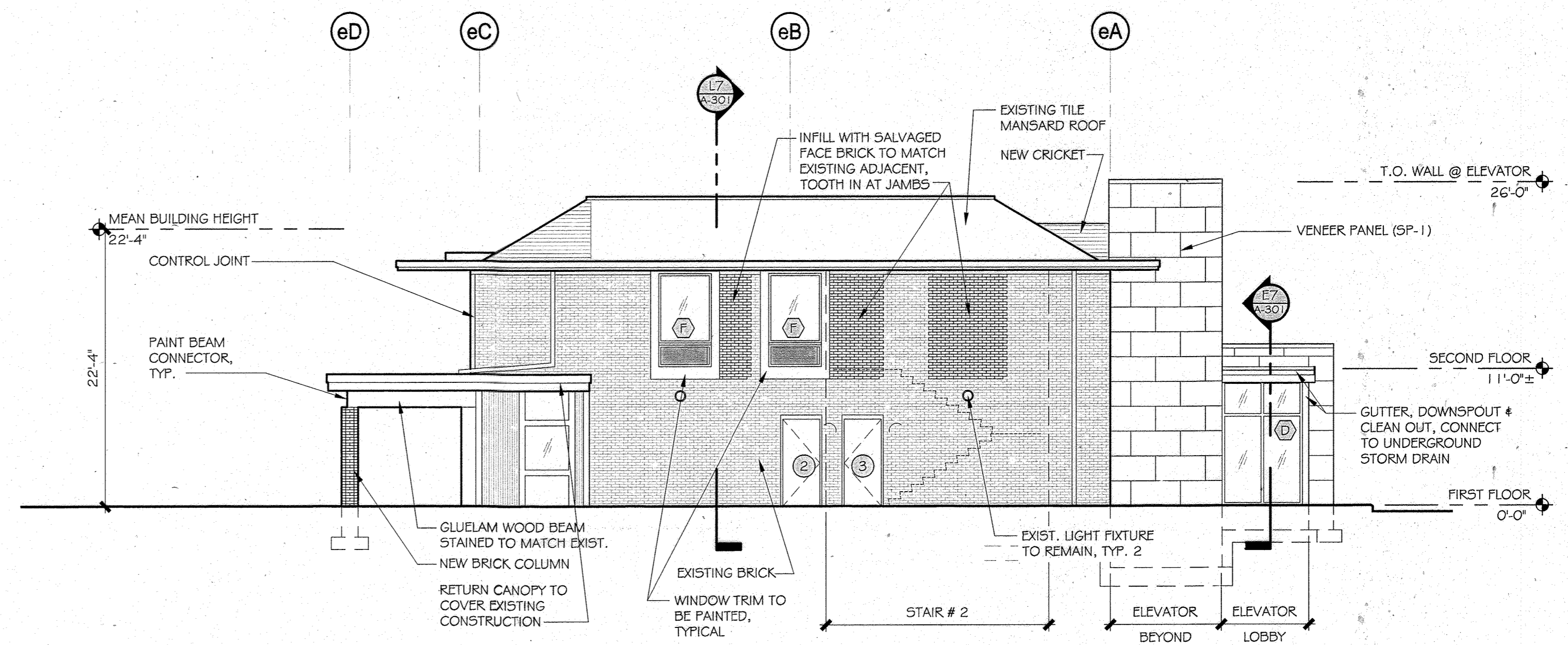
L2M ARCHITECTS



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland Lic. #0339 Exp. 07 December 2013.

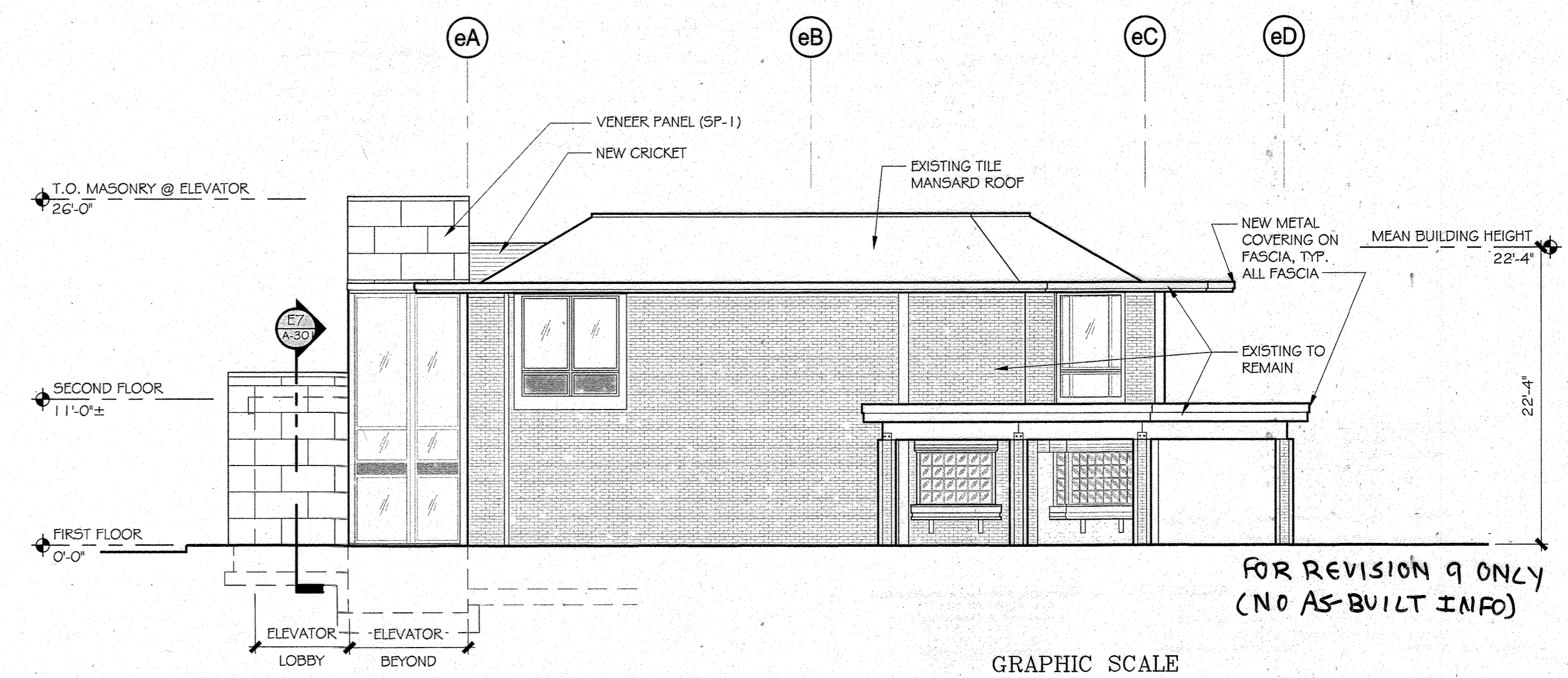
KIMCO REALTY

COURTYARD BUILDING
WILDE LAKE VILLAGE CENTER
COLUMBIA, MARYLAND

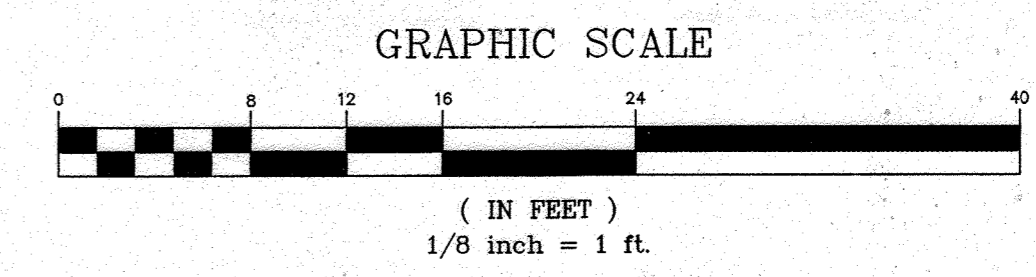


K7 WEST ELEVATION
SCALE: 1/8" = 1'-0"

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21159 (410) 684-2000 CONTACT: GREG REED
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION/AREA: SECTION 4 PLAT # 2008-04-01 3349-2-25-11 WATER CODE: E32 SEWER CODE: 502250	TAX MAP: 29 GRID: 24 ZONED: NT PARCEL: 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 1066m SITE AREA: 10.21 AC DPZ REF: SDP-13-046



K1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF-DEVELOPMENT ENGINEERING DIVISION
Handwritten signature 9/11/13
DATE: 9/11/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

CHIEF-DIVISION OF LAND DEVELOPMENT
Handwritten signature 7/14/16
DATE: 7/14/16

REV. #	ISSUE / DESCRIPTION	DATE
	RELEASED FOR PRICING	12/14/2012
9	As-Built	2/16/13

SHEET TITLE:
**COURTYARD BUILDING 'C'
EXTERIOR ELEVATIONS**

DRAWING DATE:
15-JAN-2013

DRAWN BY: JRS REVIEWED BY: RAO

PROJECT #:
12.221CB

SHEET #:

81 OF 91

FILE NAME:
12.221CB-A-201.dwg

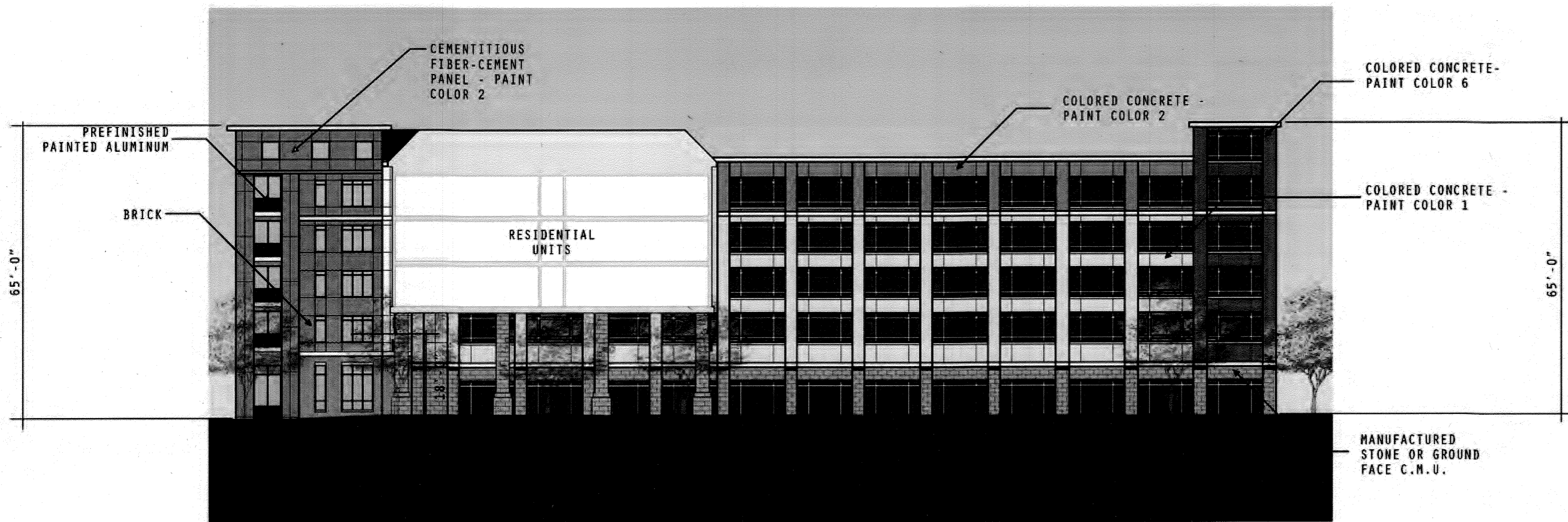
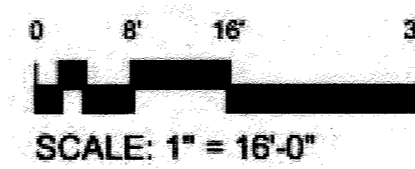
SDP-13-046

WILDE LAKE APARTMENTS

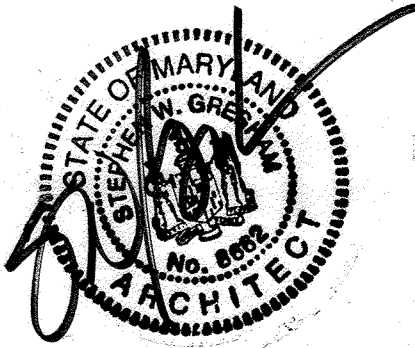
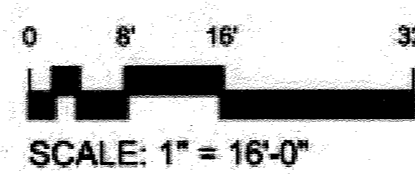
HOWARD COUNTY, MARYLAND



LYNX LANE WEST ELEVATION
1"=16'-0"



LYNX LANE EAST ELEVATION
1"=16'-0"



FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 9/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 9/13
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
[Signature] 9/13
DIRECTOR

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: *April 15, 2013*

OWNER: PARCEL 272, LOTS 3-B & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 29 GRID: 24 ZONED: RT
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONHILL, MD 21103 (410) 684-2000 CONTACT: GREG REED	PARCEL: 272, PARCELS A-C SECTION/WATER SECTION 4 PLAT # 2008-01-0000 23418-03211 WATER CODE: 632 SEWER CODE: 5602500
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND 28 REF: 1996-01 SITE AREA: 10.21 AC FINETYPY APPROVED: DPZ REF: SDP-13-046	

MARCH 18, 2013

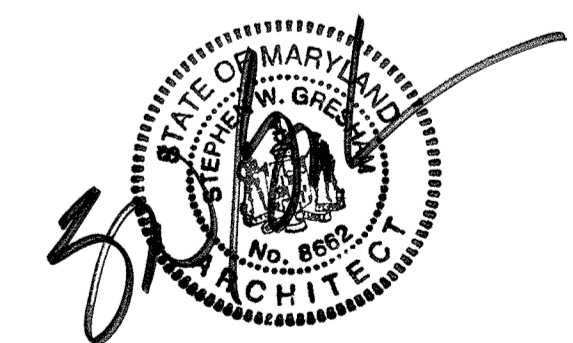
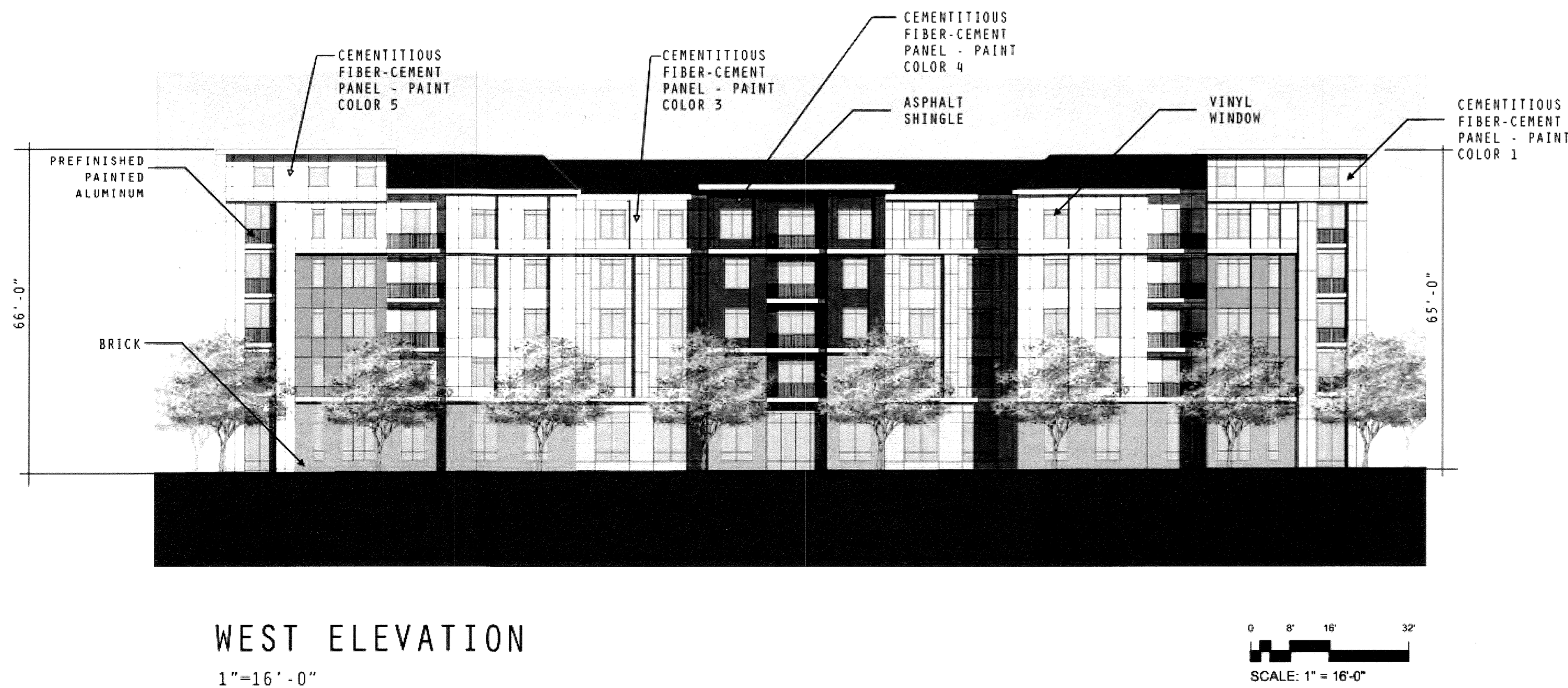
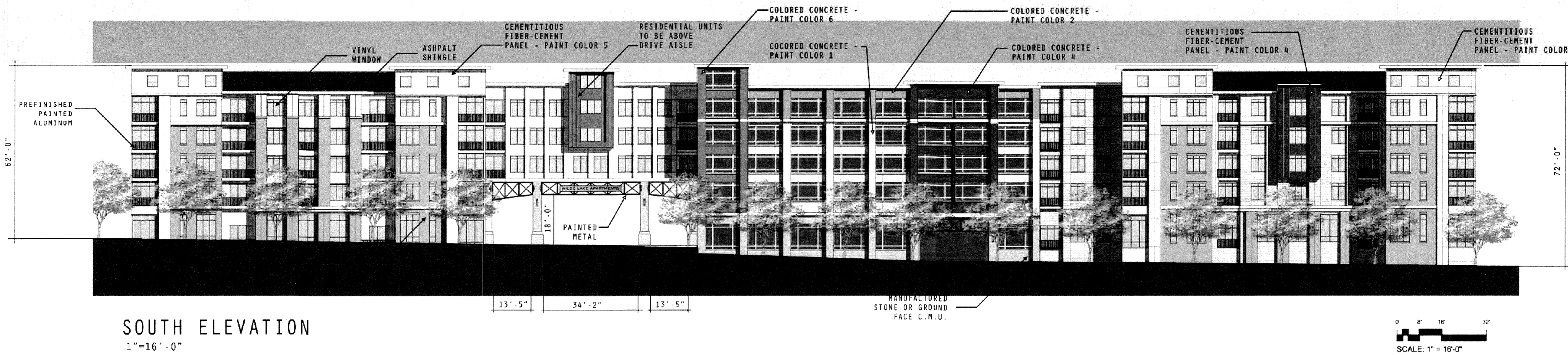


NILES BOLTON ASSOCIATES

SHEET 82 OF 91
SDP-13-046

WILDE LAKE APARTMENTS

HOWARD COUNTY, MARYLAND



FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

APPROVED: DEPARTMENT OF PLANNING
TIM ZONING
[Signature] 9/29/13
CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 9/11/13
CHIEF-DIVISION OF LAND DEVELOPMENT DATE
[Signature] 9/16/13
DIRECTOR

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

OWNER: PARCEL 272, LOTS 5-4 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3353 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11962 (410) 884-2000	TAX MAP 29 GRID 34 ZONES RT
DEVELOPER: KIMCO REALTY CORPORATION 1954 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 (410) 884-2000 CONTACT: GREG REED	PARCEL 272, PARCELS A-C 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 10869 SITE AREA: 10.91 AC DPZ REF: SDP-13-046
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE SECTION/AREA: SECTION 4 PLAT # 22204-01-0000-1-1-1-1 WATER CODE: E-32 SEWER CODE: S602500	

MARCH 18, 2013

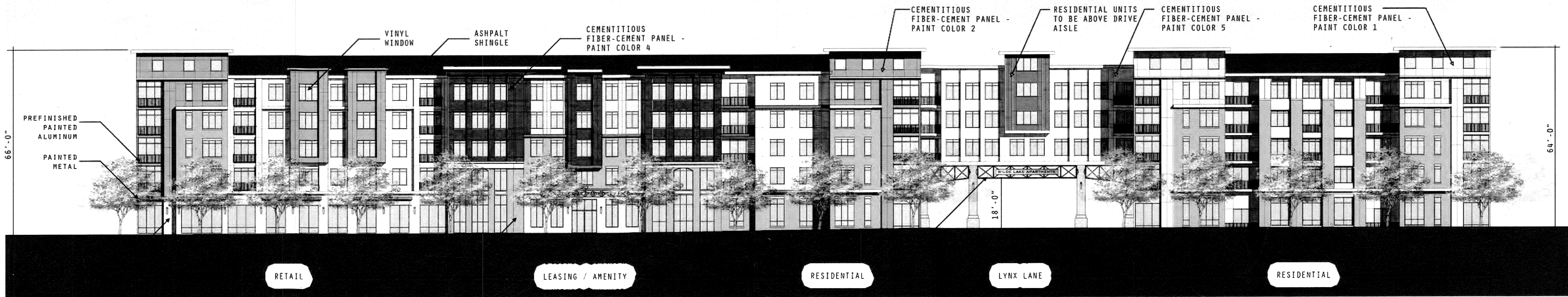


NILES BOLTON ASSOCIATES

SHEET 83 OF 91
SDP-13-046

WILDE LAKE APARTMENTS

HOWARD COUNTY, MARYLAND



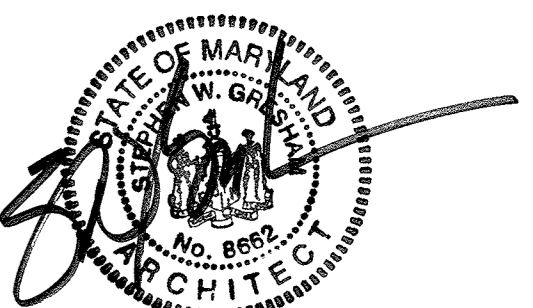
NORTH ELEVATION
1"=16'-0"

0 8' 16' 32'
SCALE: 1" = 16'-0"



EAST ELEVATION
1"=16'-0"

0 8' 16' 32'
SCALE: 1" = 16'-0"

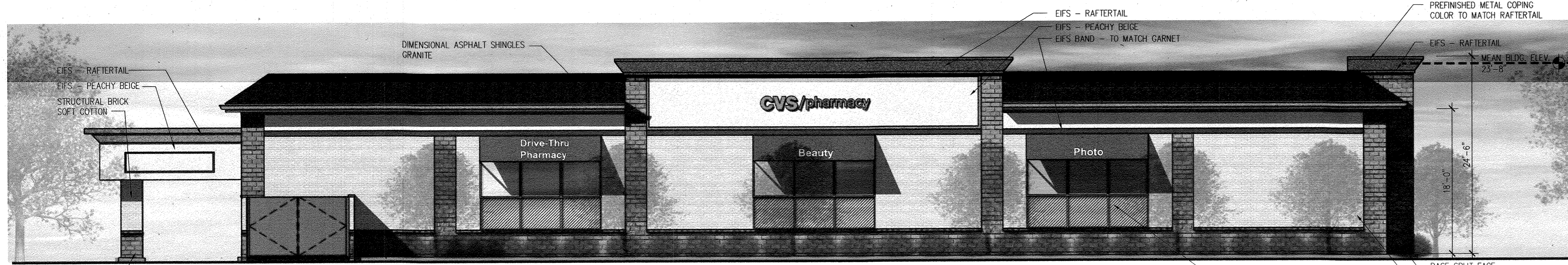


APPROVED DEPARTMENT OF PLANNING AND ZONING
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/13
 K. S. [Signature]
 CHIEF DIVISION OF LAND DEVELOPMENT
 DATE: 9/12/13
 M. K. [Signature]
 DIRECTOR

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)

OWNER: PARCEL 272 LOTS 34 & PARCEL 133 LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 684-2000	TAX MAP: 79 GRID: 74 SECTION: AREA: SECTION 4 PLAT # 22-201-1-10-2-234 V-2351 WATER CODE: E32 SEWER CODE: 5602500	DEVELOPER: KIMCO REALTY CORPORATION 1964 GREENSPRING DRIVE, SUITE 300 TIMON, VA 22169 (410) 684-2000 CONTACT: GREG REED	ZONED: R1 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF: 1506m SITE AREA: 10.21 AC DPZ REF: SDP-13-046
--	--	---	---



TWIN RIVERS ROAD - NORTH ELEVATION

SCALE: NTS



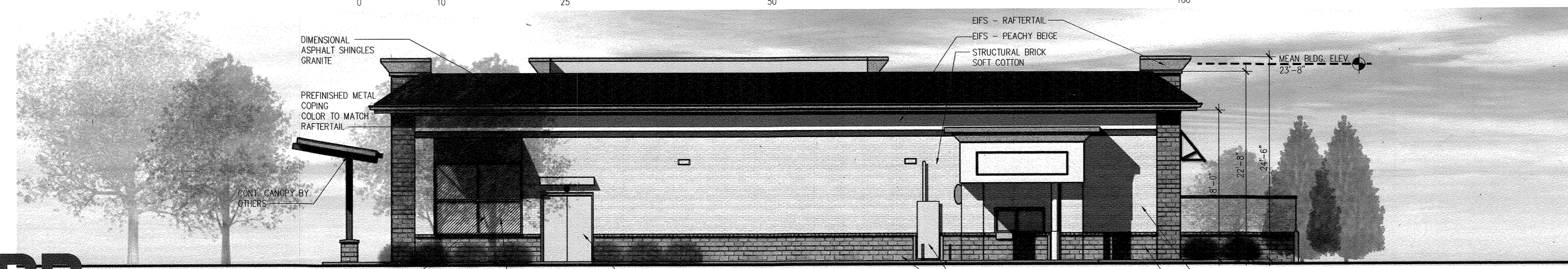
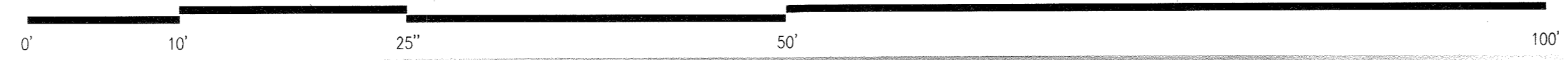
LYNX LANE - WEST ELEVATION

SCALE: NTS



SOUTH ELEVATION

SCALE: NTS



EAST ELEVATION

SCALE: NTS

EXTERIOR FINISH SCHEDULE				
TAG	MATERIAL / DESCRIPTION	MFR. / STYLE / CAT. NO.	COLOR	NOTES
E1	EIFS/ DEFS	STO LOTUSAN SYSTEM 191 STOLIT, LOTUSAN 1.5	NA06-0029 PEACHY BEIGE	INSTALLED PER MANUF. SPECIFICATIONS
E2	EIFS	STO LOTUSAN SYSTEM 191 STOLIT, LOTUSAN 1.5	NA05-0001 RAFTERTAIL	CORNICE
E3	STRUCTURAL BRICK	OLDCASTLE ARCHITECTURAL	A-296-R GARNET	HOLCOM ENVIROCORE MORTAR CORAL
E4	STRUCTURAL BRICK ACCENT	OLDCASTLE ARCHITECTURAL	A-297-R SOFT COTTON	HOLCOM ENVIROCORE MORTAR HARDWOOD YELLOW
E5	PAINT	BENJAMIN MOORE	2174-30 SEDONA CLAY	HOLLOW MTL DOORS/FRAMES, GUTTERS/DOWNSPOUTS
E6	PAINT		COLOR TO MATCH OSHA YELLOW	TYP FOR ALL PIPE BOLLARDS
E7	PREFINISHED METAL COPING		COLOR TO MATCH "E2" EIFS	
E8	ALUM STOREFRONT		CLEAR ANODIZED	
E9	ALUM AUTOMATIC DOOR	STANLEY DURAGLIDE 5300	CLEAR ANODIZED	
E10	CANVAS AWNING	SUNBRELLA FIRE/SIST	CRIMSON RED #52017	SUPPLIED & INSTALLED BY GC
E11	DIMENSIONAL ASPHALT SHINGLES	ELK / PRESTIQUE	GRANITE	
E12	MANUFACTURED STONE VENEER	BORAL/ CULTURED STONE	GOLDEN BUCKEYE LIMESTONE	

NOTE: SIGNAGE UNDER SEPARATE PERMIT. REFER TO APPROVED SIGNAGE PACKAGE FROM SIGNAGE VENDOR FOR SIZES AND LOCATIONS OF SIGNS. EXTERIOR SIGNAGE TO BE EXPANSION ANCHORED.

LEGEND
 (XX) - RE: EXTERIOR FINISH SCHEDULE

PLYON SIGNAGE EIFS COLOR TO MATCH THE BUILDING EIFS COLOR.

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 8/29/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE
 [Signature] 7/11/13
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE
 [Signature] 7/14/13
 DIRECTOR DATE

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

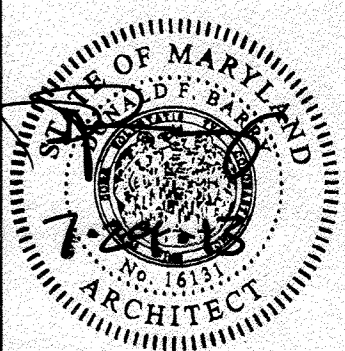
DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 GRID: 24 ZONED: N1
 PARCEL 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

SUBDIVISION NAME: RESURDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4
 PLAN # 122-20-10-14-23510-2-2-6 (1)
 WATER CODE E52
 SEWER CODE 3662200

NORR
ARCHITECTS ENGINEERS PLANNERS

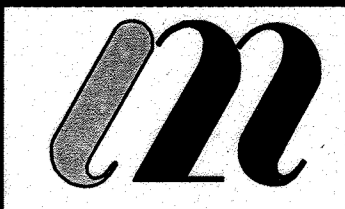
J.C. BAR
PROPERTIES, INC.



SDP-13-046
SHEET 85 of 91
MAY 17, 2013

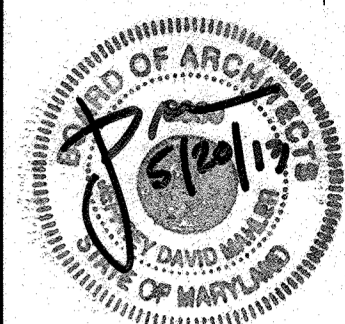
CVS # 10094 WILDE LAKE VILLAGE CENTER, COLUMBIA, HOWARD CO. MD

CVS/pharmacy

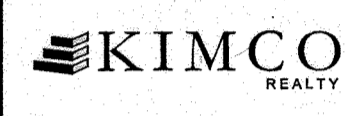


L2M
811 Cromwell Park Drive, Suite 113
Cromwell Business Park at BWI
Clen Burne, Maryland 21034
L2M@L2M.com
Phone 410.863.1302
Fax 410.863.1308

ARCHITECT OF RECORD:
L2M ARCHITECTS



I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the state of Maryland (Lic. #038 Exp. 07 December 2013).



RETAIL BUILDING #6
WILDE LAKE VILLAGE CENTER
COLUMBIA, MARYLAND

REV. #	ISSUE/DESCRIPTION	DATE
9	As-Built	2/10/21

SHEET TITLE:
RETAIL BUILDING #6 EXTERIOR ELEVATIONS

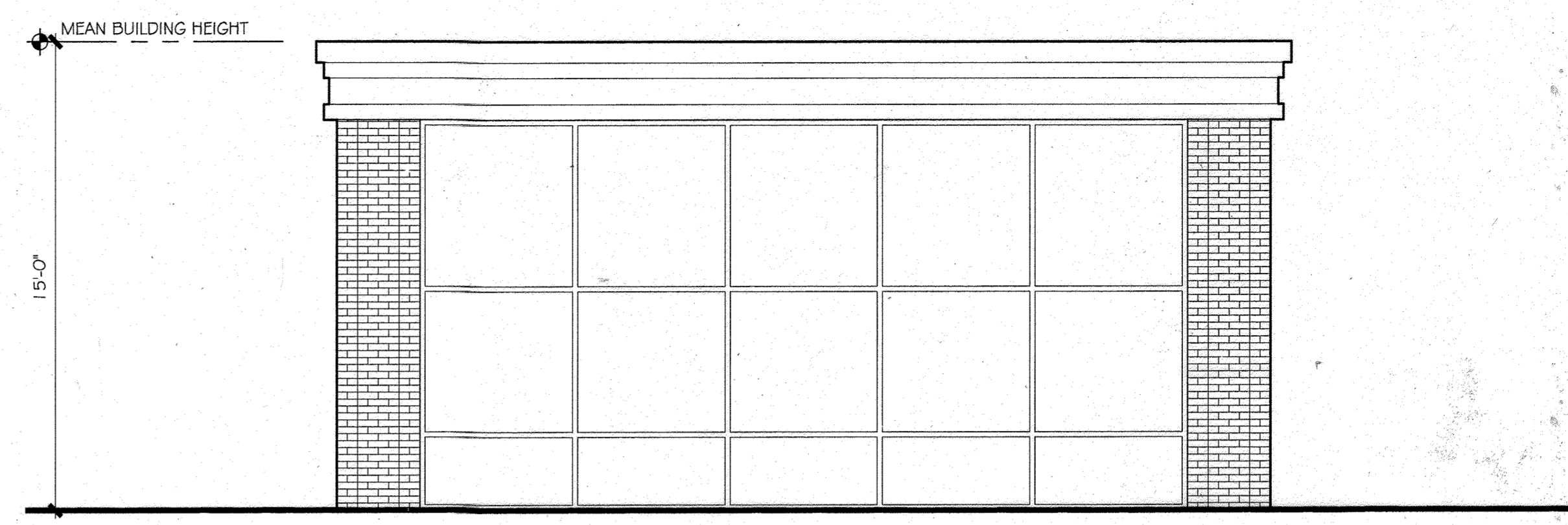
DRAWING DATE:
15-JAN-2013

DRAWN BY: JRS
REVIEWED BY: RAO

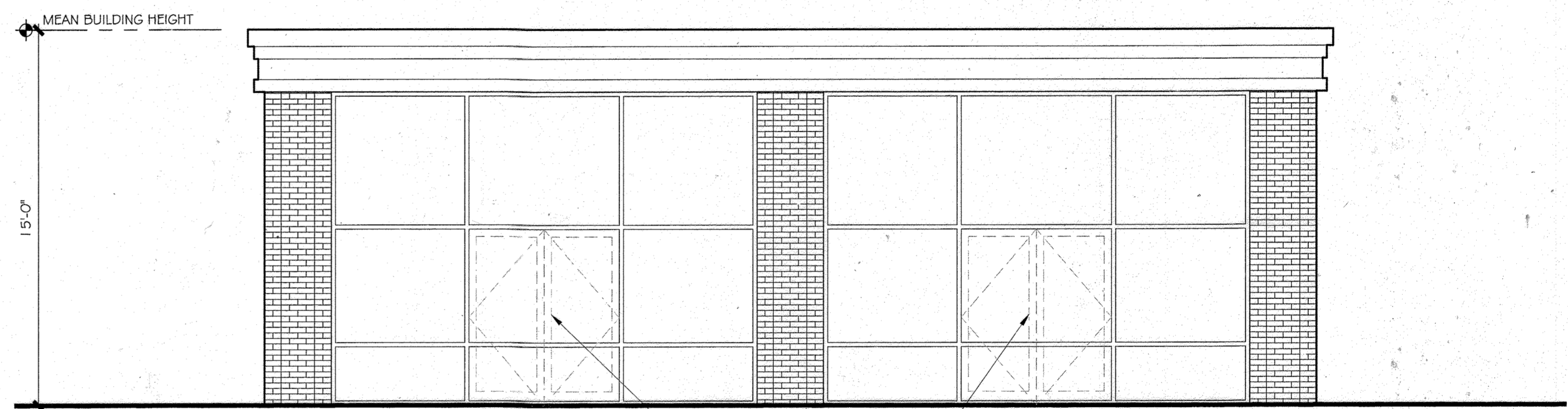
PROJECT #
12.221CB

SHEET #
86 OF 91

FILE NAME:
12.221CB-A-201.dwg

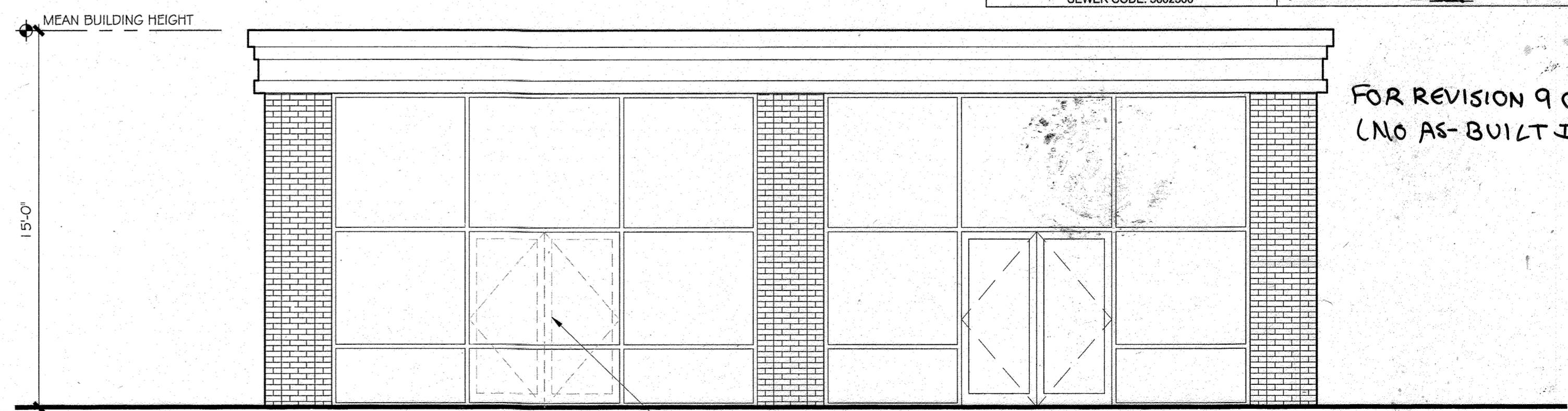


H9 LEFT/RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

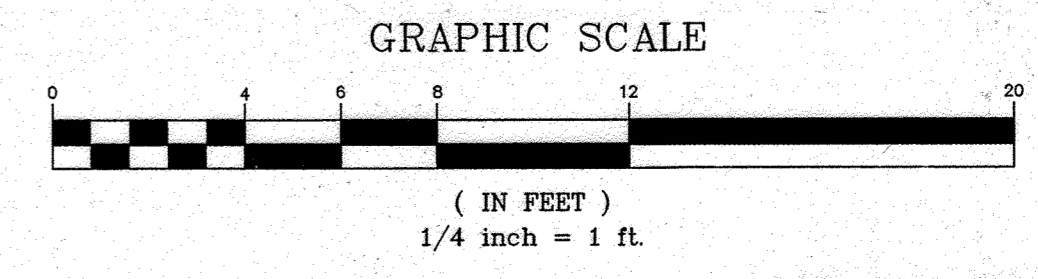


H5 REAR ELEVATION
SCALE: 1/4" = 1'-0"

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3 WILDE LAKE BUSINESS TRUST C/O KIMCO REALTY CORPORATION 3333 NEW HYDE PARK ROAD NEW HYDE PARK, NY 11042 (410) 884-2000	DEVELOPER: KIMCO REALTY CORPORATION 1056 GREENSPRING DRIVE, SUITE 330 TIMONUM, MD 21093 (410) 884-2000 CONTACT: GREG REED	TAX MAP: 29 GRID: 24 ZONED: NT PARCEL: 272, PARCELS #6 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND ZB REF.: 1099m SITE AREA: 10.21 AC DPZ REF.: SDP-13-046
---	---	---



H1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

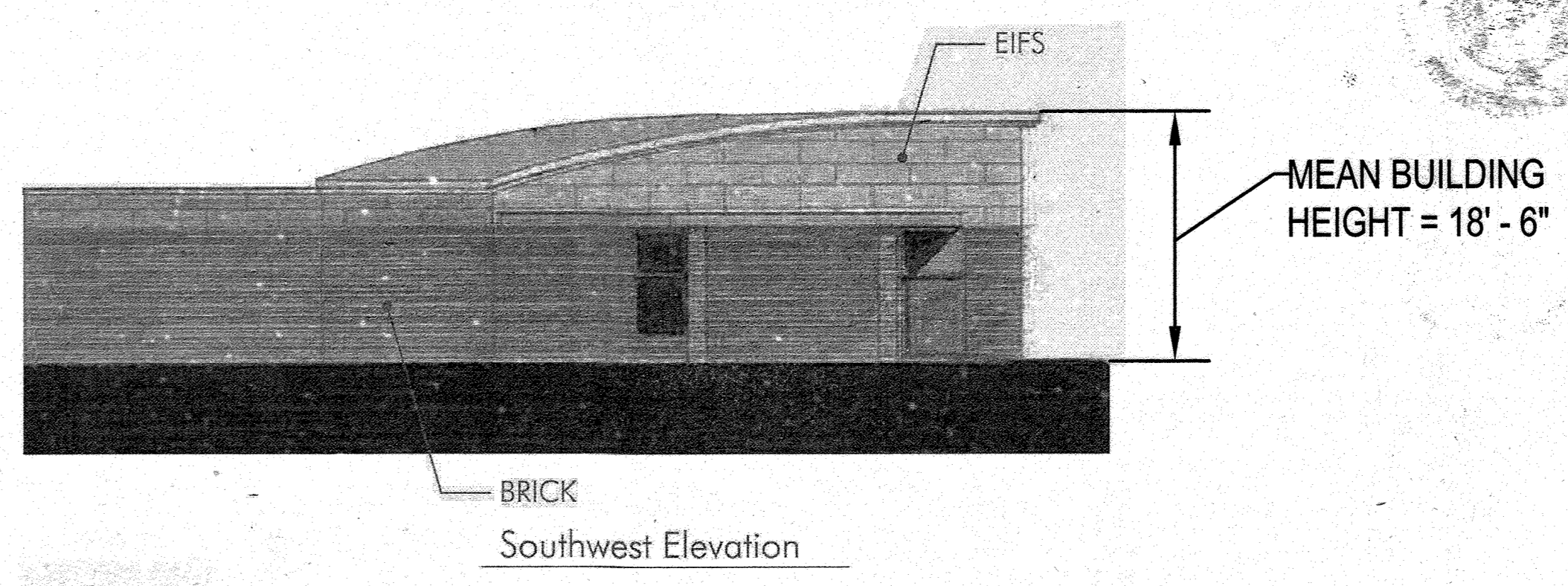
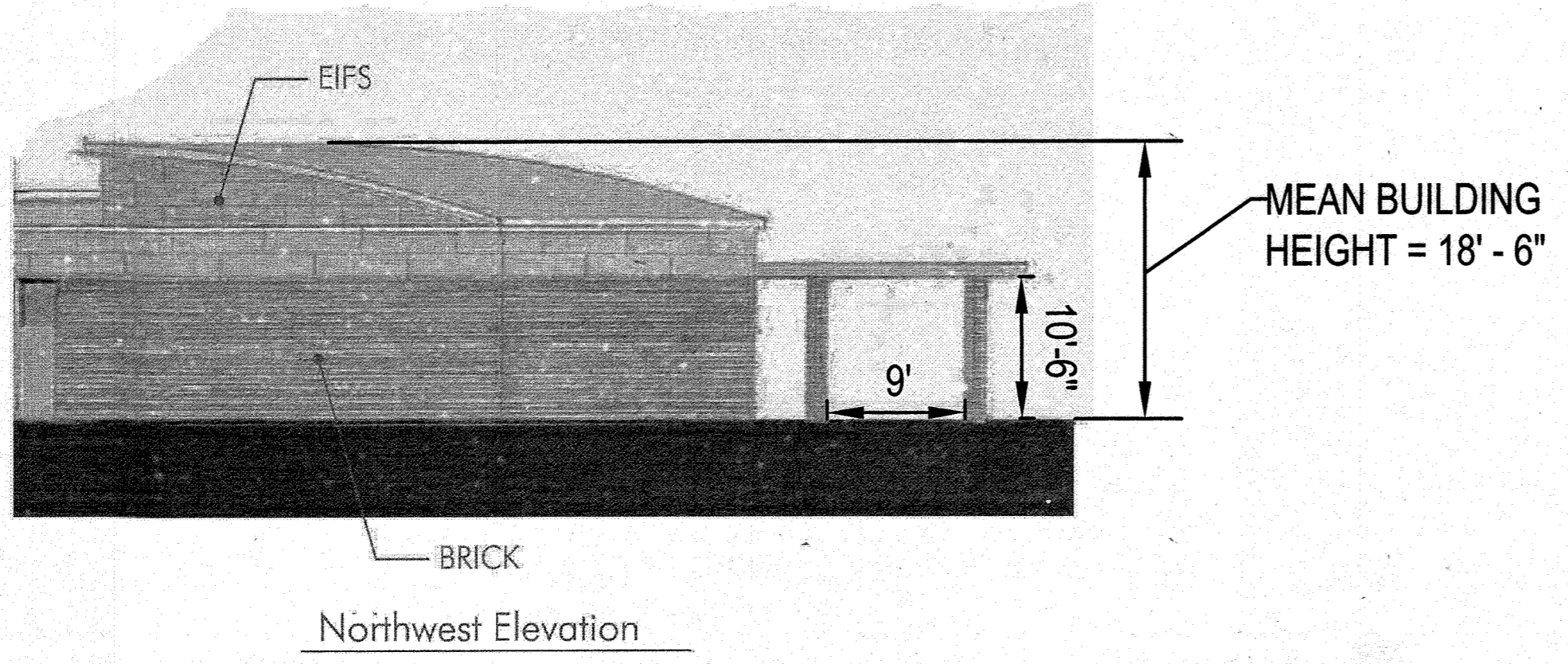
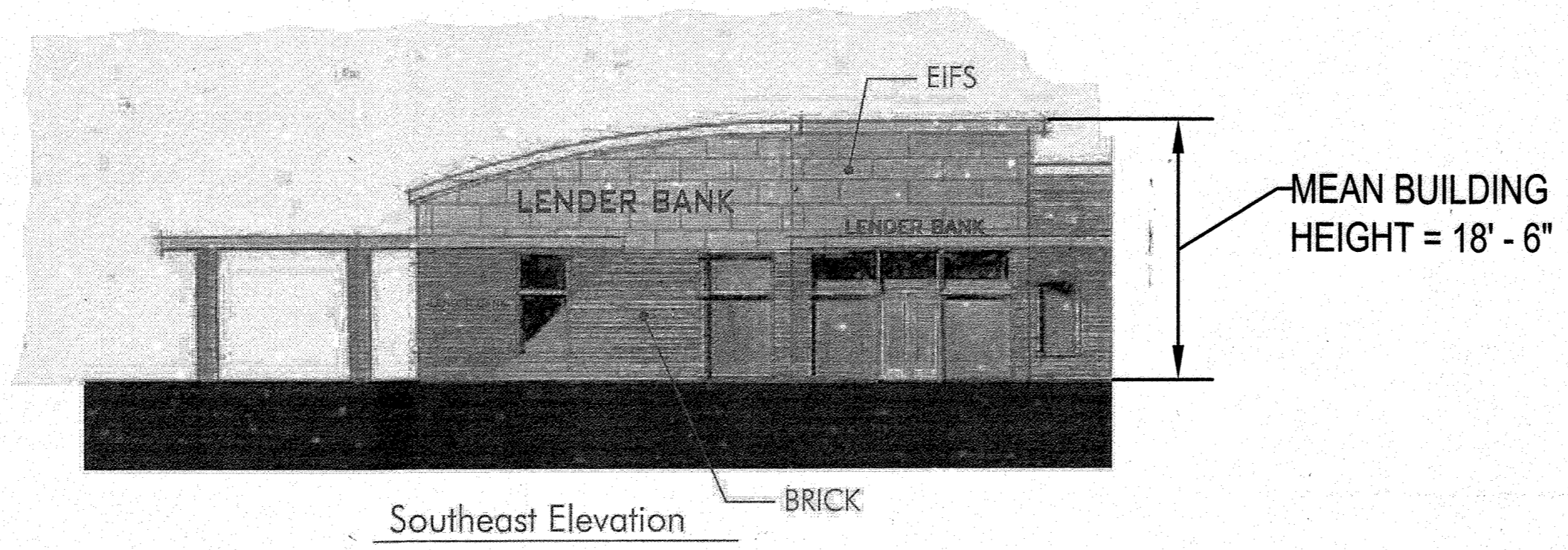


APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 8/29/13
CHIEF DEVELOPMENT ENGINEERING DIVISION DATE

APPROVED: PLANNING BOARD OF HOWARD COUNTY
[Signature] 8/11/13
DATE: April 15, 2013
DIRECTOR DATE

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

SDP-13-046



BOHLER ENGINEERING

CORPORATE OFFICE:
 WARREN, NJ

OFFICES:
 BOWEN, MD
 TOWSON, MD
 ANNAPOLIS, MD
 WASHINGTON, VA
 CHARLOTTE, NC
 PHILADELPHIA, PA
 TAMPA, FL

CIVIL & CONSULTING ENGINEERS
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REVISIONS				
REV	DATE	COMMENT	BY	
5	02/11/16	REVISED BLDGS 2, 3, 4 USES AND PARKING LINES	MSJ	
9	2/16/21	As-Built	MSJ	

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (WV 1-800-245-4049) (PA 1-800-242-1776) (VA 1-800-652-7071) (MD 1-800-251-7777) (DE 1-800-283-8500)

APPROVED FOR CONSTRUCTION

PROJECT No.: MD069002
 DRAWN BY: RMS
 CHECKED BY: MJG
 DATE: 07/29/13
 SCALE: NOT TO SCALE
 CAD I.D.: SDJ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION

LOCATION OF SITE
 VILLAGE CENTER REDEVELOPMENT
 COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING

901 DULANEY VALLEY ROAD, SUITE 801
 TOWSON, MARYLAND 21204
 Phone: (410) 821-7900
 Fax: (410) 821-7967
 www.BohlerEngineering.com

FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)

[Signature]
 2/27/21

FOR REVISION 5 ONLY:

[Signature]
 7/11/16

M. J. GIBBELL

PROFESSIONAL ENGINEER
 LICENSE NO. 44097, EXPIRATION DATE: 6/30/21

SHEET TITLE:
BUILDING #3 ELEVATIONS

SHEET NUMBER:
87
 OF 91

SDP-13-046

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature]
 CHIEF-DEVELOPMENT ENGINEERING DIVISION DATE: 9/11/13

[Signature]
 CHIEF-DIVISION OF LAND DEVELOPMENT DATE: 9/11/13

[Signature]
 DIRECTOR DATE: 9/12/13

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: April 15, 2013

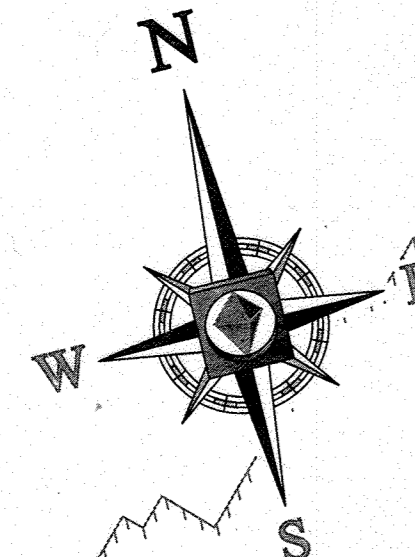
OWNER: PARCEL 272, LOTS 3-G & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONIUM, MD 21093
 (410) 684-2000
 CONTACT: GREG REED

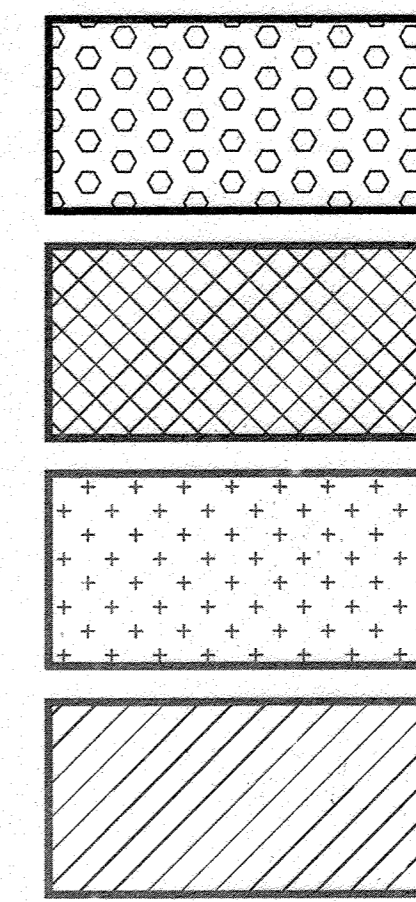
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4, PARCELS A-C
 PLAT 1, 2008, 4:140-234-11
 WATER CODE: E32
 SEWER CODE: 5032500

TAX MAP: 29 PARCELS: 272, PARCELS A-C
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZONED: NT
 23 REF: 1096m SITE AREA: 10.21 AC
 DPZ REF: SDP-13-046

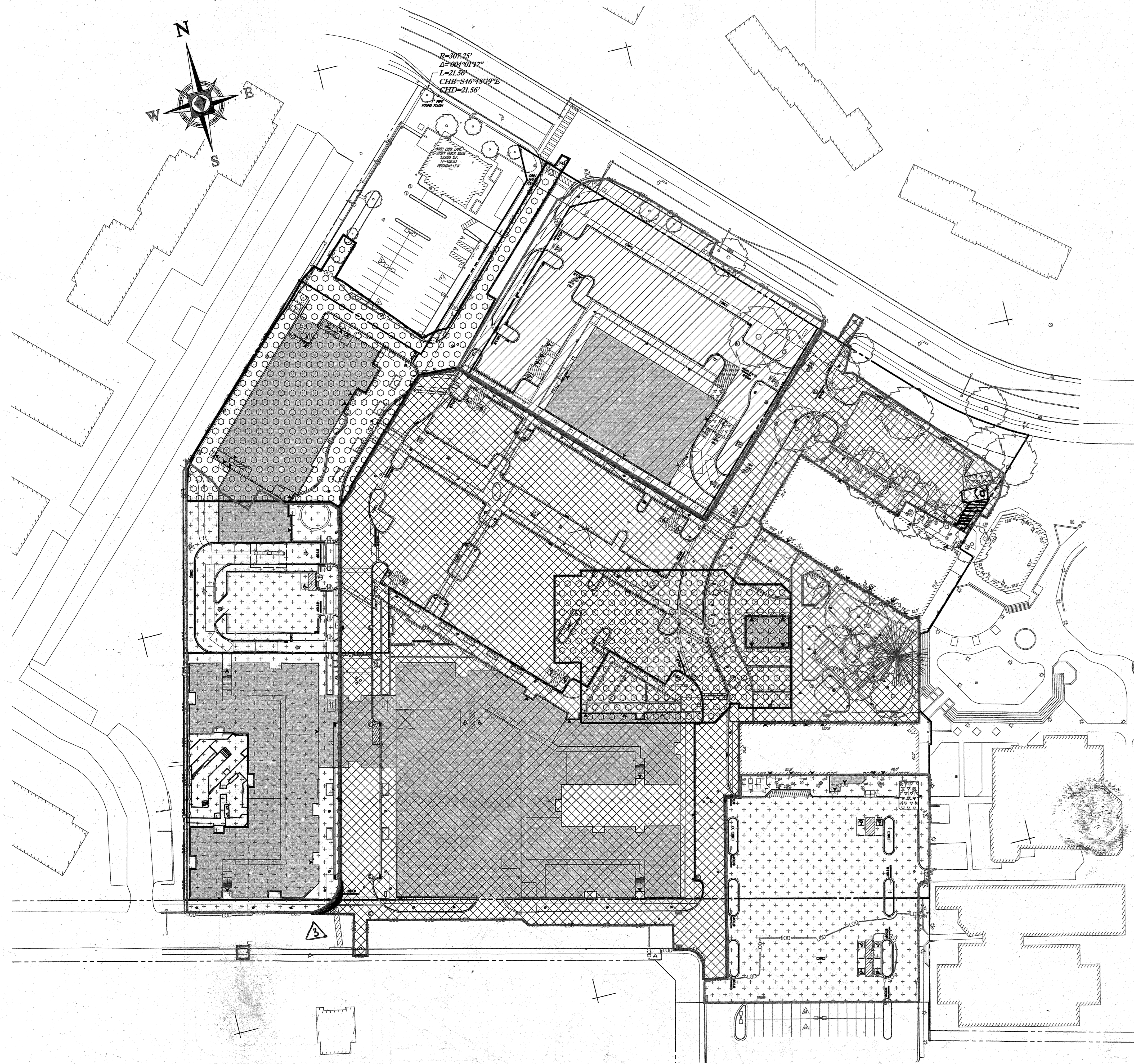
PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44097, EXPIRATION DATE: 6/30/21



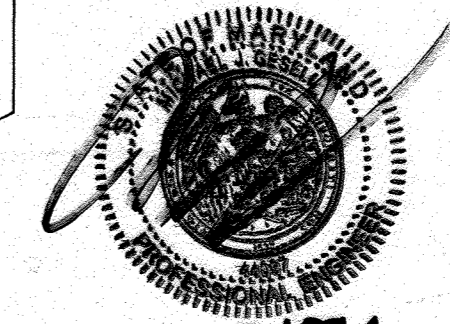
R=307.25'
 A=024°01'42"
 L=21.50'
 CHB-S46°48'39"E
 CHD=21.50'



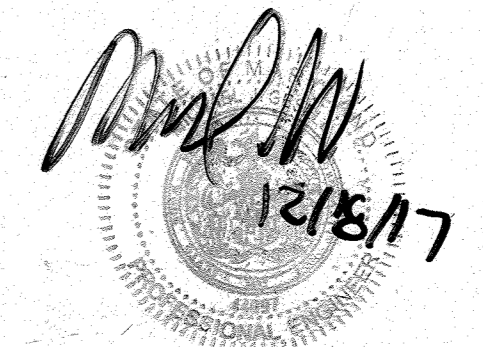
LIMITS OF PHASE I
 LIMITS OF PHASE II
 LIMITS OF PHASE III
 LIMITS OF PHASE IV



FOR REVISION 9 ONLY
 (NO AS-BUILT INFO)



FOR REVISION 8 ONLY



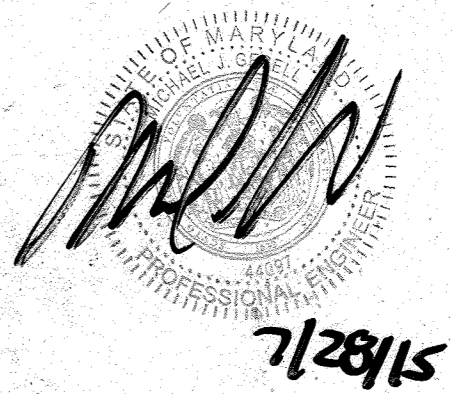
FOR REVISION 5 ONLY:



FOR REVISION 4 ONLY



FOR REVISION 3 ONLY



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/15/13
 CHIEF-DEVELOPMENT ENGINEERING DIVISION
 DATE: 9/11/13
 CHIEF-DIVISION OF LAND DEVELOPMENT
 DATE: 7/16/13

APPROVED: PLANNING BOARD OF HOWARD COUNTY
 DATE: April 15, 2013

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND ALL GOVERNANCE WITH LOCAL, STATE AND FEDERAL AGENCIES.

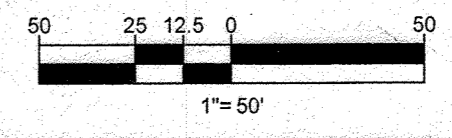
SUBDIVISION NAME: RESUBDIVISION OF VILLAGE OF WILDE LAKE
 SECTION/AREA: SECTION 4
 PLAT: 2011-0001-0001-0001-0001-0001
 WATER CODE: E32
 SEWER CODE: 5602300

OWNER: PARCEL 272, LOTS 3-6 & PARCEL 132, LOTS 1-3
 WILDE LAKE BUSINESS TRUST
 C/O KIMCO REALTY CORPORATION
 3333 NEW HYDE PARK ROAD
 NEW HYDE PARK, NY 11042
 (410) 684-2000

DEVELOPER: KIMCO REALTY CORPORATION
 1954 GREENSPRING DRIVE, SUITE 330
 TIMONUM, MD 21083
 (410) 684-2000
 CONTACT: GREG REED

TAX MAP: 29 GRID: 24
 PARCELS: 272, PARCELS A-C ZONED: MF
 5TH ELECTION DISTRICT, HOWARD COUNTY, MARYLAND
 ZB REF.: 1096m SITE AREA: 10.21 AC
 DPZ REF.: SDP-13-046

PROFESSIONAL CERTIFICATION
 I, MICHAEL J. GESELL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 44267, EXPIRATION DATE: 6/30/21



BOHLER ENGINEERING
 CORPORATE OFFICE: WARREN, NJ
 OFFICES: BOULDER, CO; CHICAGO, IL; COLUMBIA, MD; FORT LAUDERDALE, FL; GREENSBORO, NC; HARTFORD, CT; HOUSTON, TX; JERSEY CITY, NJ; KANSAS CITY, MO; LONG BEACH, CA; LOS ANGELES, CA; NEW YORK, NY; PHILADELPHIA, PA; RICHMOND, VA; TAMPA, FL; WASHINGTON, DC; WEST PALM BEACH, FL
 SURVEYORS
 PROJECT MANAGERS
 ENVIRONMENTAL CONSULTANTS
 LANDSCAPE ARCHITECTS

REV#	DATE	COMMENT	BY
3	6/24/15	REVISE CURB RADIUS	MJB
4	8/19/15	SHOW POOL IN EXISTING BLDG'S	PHB
5	02/11/16	USE 3" AND 4" PIPING SIZES	PHB
8	11/01/17	ADD PROPOSED TRASH ENCLOSURE	OMC
9	2/16/21	As-Built	MJB

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, BUSINESS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE OF VIRGINIA, MARYLAND, AND DELAWARE: 811 (VA 1-800-245-4848) (PA 1-800-242-1778) (DE 1-800-452-7001) (MD 1-800-257-7777) (DC 1-800-382-8855)

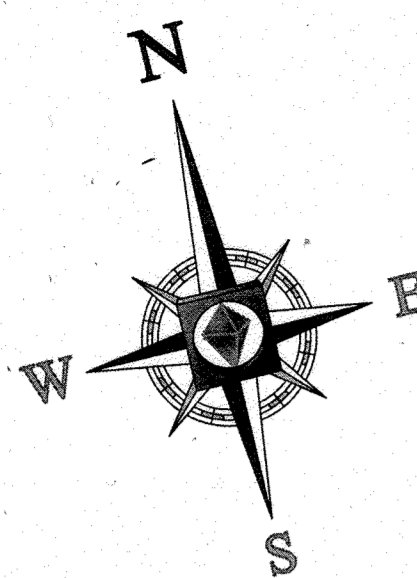
APPROVED FOR CONSTRUCTION
 PROJECT No.: MD069002
 DRAWN BY: RAS
 CHECKED BY: MJB
 DATE: 07/29/13
 SCALE: 1"=50'
 CAD I.D.: SSZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION
 LOCATION OF SITE VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT COLUMBIA, MD
 GREEN BLDGS: Nos. 1, 2, 3, 4 & 6

BOHLER ENGINEERING
 901 DULANEY VALLEY ROAD, SUITE 901
 TOWSON, MARYLAND 21284
 Phone: (410) 821-7900
 Fax: (410) 821-7987
 www.BohlerEngineering.com

M. J. GESELL
 PROFESSIONAL ENGINEER
 7/29/13

SHEET TITLE: PHASING SITE PLAN
 SHEET NUMBER: 88 OF 91
 SDP-13-046



REVISIONS		
NO.	DATE	COMMENT
3	4/21/15	REVISED CURB RADIUS
4	8/19/15	SHOW POOL IN CONCRETE
5	02/11/16	REVISED WALK 2, 3 & 4 DECK AND PARKING CALC
8	11/17/17	ADD PROPOSED TRASH ENCLOSURE
9	7/16/21	AS-BUILT

PO BOX 100519
FORT WORTH, TX 76185
WWW.WLSLIGHTING.COM

WLS LIGHTING SYSTEMS

Consider the Impact!

SHEET 89 OF 91

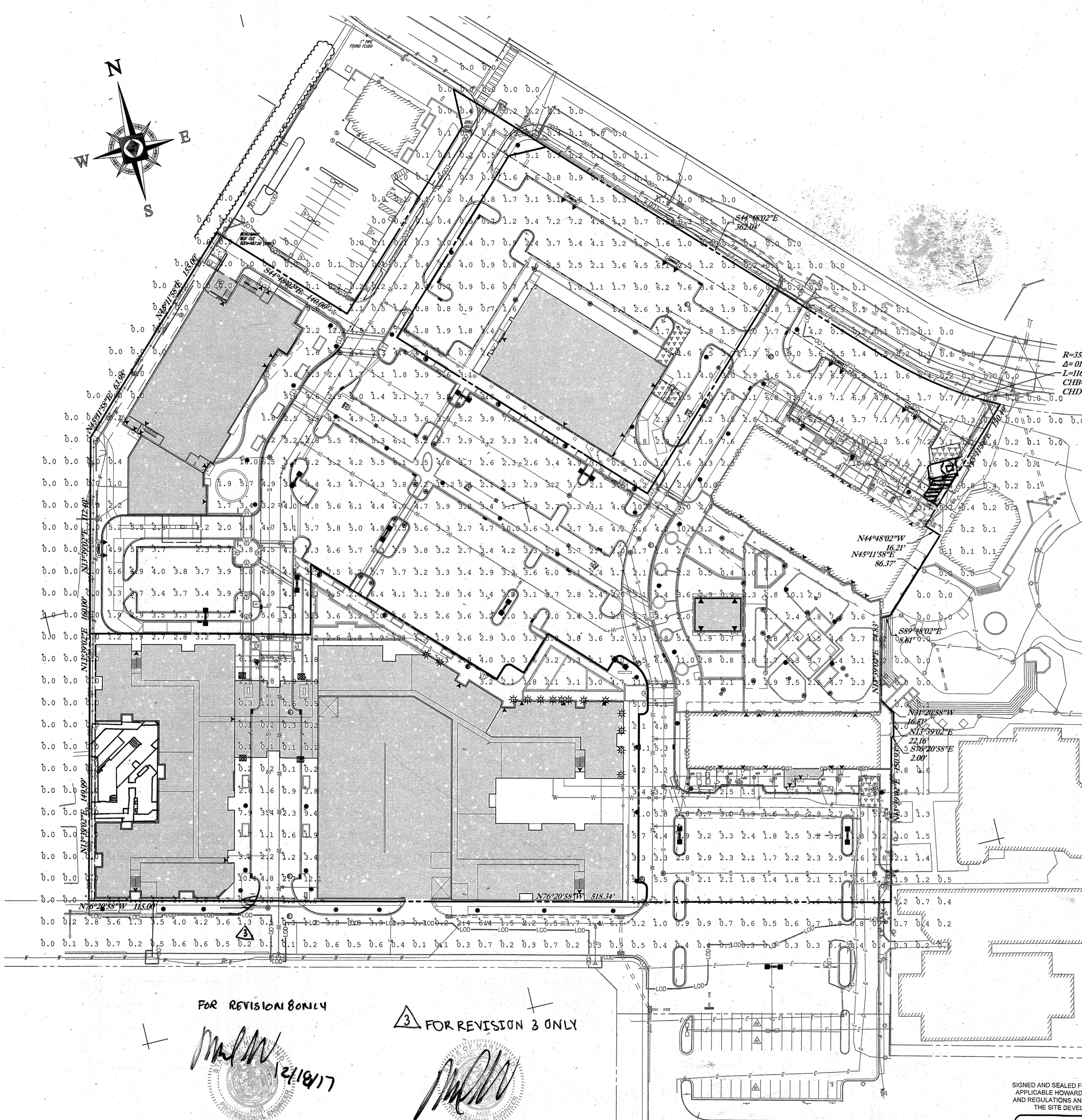
BY: J.P.

PM: HOLLY

800-633-8711 DATE - 7/29/13 SCALE: 1"=50'

VILLAGE OF WILDE LAKE VILLAGE CENTER
REDEVELOPMENT
COLUMBIA, HOWARD COUNTY, MD

SDP-13-046



BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.

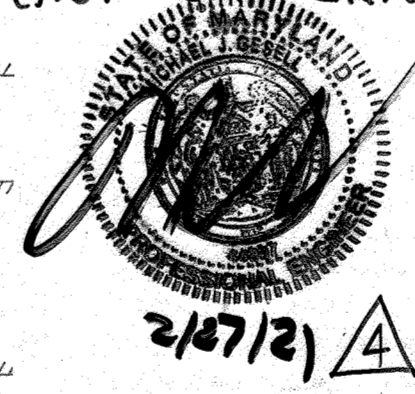
Label	Avg	Max	Min	Avg/Min	Max/Min	FTSpCL	FTSpCb
DRIVE SUMMARY	2.54	10.4	0.1	25.40	104.00	20	20
PARKING SUMMARY	3.50	11.2	0.2	17.50	56.00		
RESIDENTIAL WALK AREA	3.83	12.1	0.1	38.30	121.00		
RETAIL WALK AREA	4.71	12.2	1.6	2.94	7.63		

Symbol	Qty	Label	Total Lamp Lumens	LLF	Description
(Symbol)	10	A	47000	0.900	WLS-FVM-5-400-NW-PSMH-FG 30' POLE 3' BASE
(Symbol)	5	B	47000	0.900	WLS-FVM-3-400-NW-PSMH-FG-GS 30' POLE 3' BASE
(Symbol)	52	C	16000	0.800	WLS-860-5-175-PSMH 12' MOUNTING HEIGHT
(Symbol)	28	D	5600	0.800	WLS-PER-OPTX-70-CMH
(Symbol)	7	E	8500	0.800	WLS-HE-8-5-100-CMH-FG 10' MOUNTING HEIGHT
(Symbol)	14	F	14000	0.900	WLS-WMI-8-310-150-CMH-FG 16' MOUNTING HEIGHT

FOR REVISION 9 ONLY
(NO AS-BUILT INFO)

LIGHTING NOTES

ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS



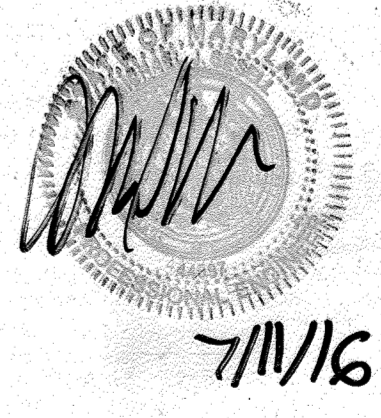
FOR REVISION 4 ONLY

FOR REVISION 5 ONLY:



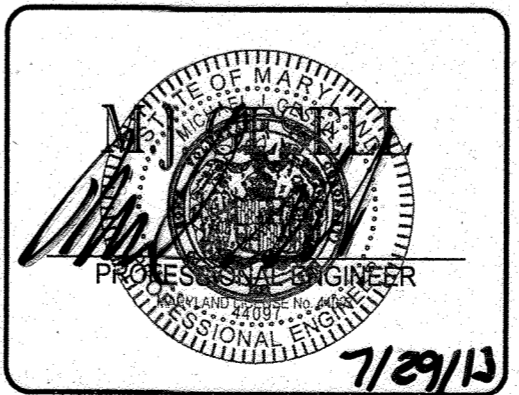
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7/17/15



7/11/16

SIGNED AND SEALED FOR CONFORMANCE TO APPLICABLE HOWARD COUNTY STANDARDS AND REGULATIONS AND COORDINATION WITH THE SITE DEVELOPMENT PLANS



7/29/13

BOHLER ENGINEERING
901 DULANEY VALLEY ROAD, SUITE 901
TOWSON, MARYLAND 21284
Phone: (410) 821-7900
Fax: (410) 821-7987
www.BohlerEngineering.com

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APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 8/13/13
CHIEF DEVELOPMENT ENGINEERING DIVISION
APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

APPROVED: PLANNING BOARD OF HOWARD COUNTY
DATE: April 15, 2013

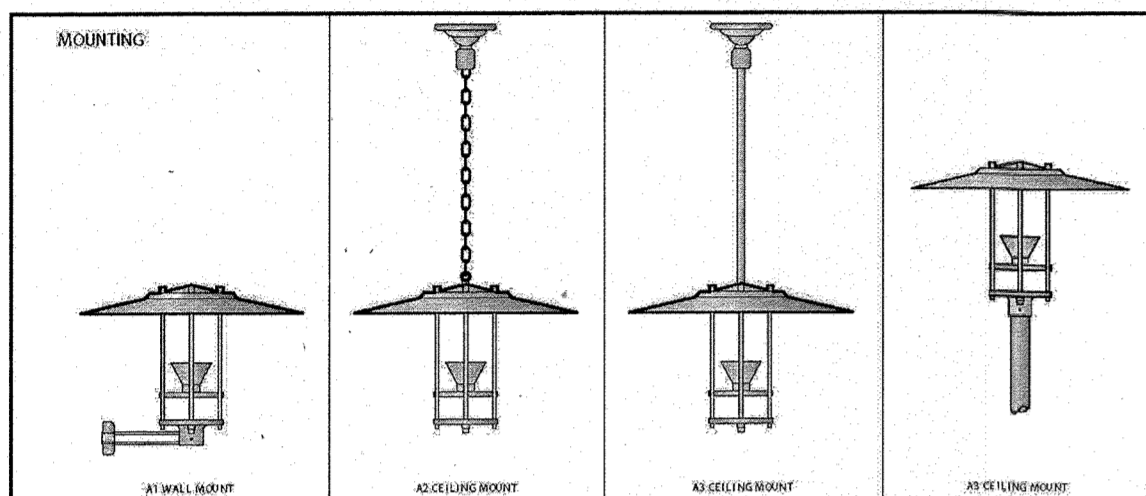
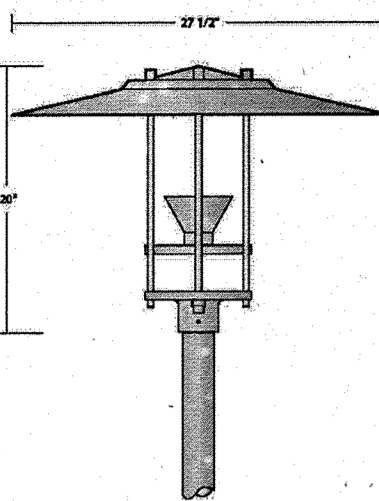
FOR REVISION 8 ONLY
7/18/17

FOR REVISION 3 ONLY
7/28/15

WLS LIGHTING SYSTEMS

860 SERIES

SPECIFICATIONS
HOODS - Heavy gauge spun aluminum.
LENS - 8" diameter clear acrylic cylinder.
LENS HOLDER - Heavy wall cast aluminum.
REFLECTOR - Specular spun aluminum.
BALLAST - H.P.F. (specify voltage)
LAMP - Metal Halide, Pulse Start Metal Halide, High Pressure Sodium and Mercury Vapor up to 250 watts.
FINISH - Polyester powder fuse coating.



Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

860 SERIES

Table with columns for ORDERING INFORMATION, LAMP, LIGHT SOURCE, LINE VOLTAGE, LUMINAIRE FINISH, and OPTIONS. Includes a sample order code: 860 5 100 MH A4 240 BRZ.

ORDER: WLS-860
FOOTNOTES:
1. Consult factory for International voltage.
2. 7' Pole Top is pre-wired for standard outdoor use.
3. 10' Pole Top is pre-wired for standard outdoor use.
4. 12' Pole Top is pre-wired for standard outdoor use.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

WLS LIGHTING SYSTEMS

FV SERIES

SPECIFICATIONS
HOUSING - The FV Series formed aluminum housing is finished to produce a clean, sharp appearance and ensures weather-tight construction.
LENS/GASKET - A flat tempered glass lens is sealed to the housing with an EPDM gasket.
REFLECTOR/DISTRIBUTION PATTERNS - The FV Series fixture is available in five reflector systems and distribution patterns.
LIGHT SOURCES - Designed to operate with Pulse Start Metal Halide, Full Spectrum, Super Metal Halide, Metal Halide, Metal Halide Reduce Envelope or High Pressure Sodium.

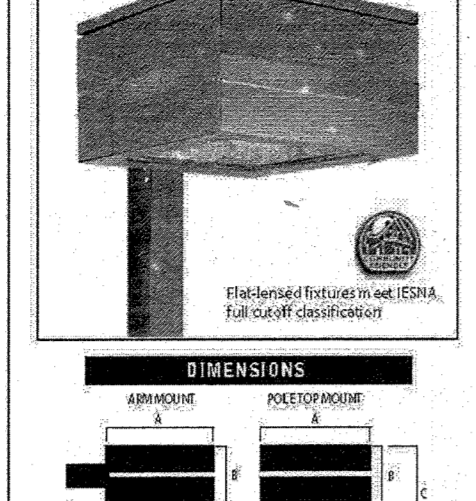


Table with columns for ORDERING INFORMATION, LAMP, LIGHT SOURCE, LINE VOLTAGE, LUMINAIRE FINISH, and OPTIONS. Includes a sample order code: FV 5 1000 MH FG MT BRZ NO.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

FV SERIES

Table with columns for ORDERING INFORMATION, LAMP, LIGHT SOURCE, LINE VOLTAGE, LUMINAIRE FINISH, and OPTIONS. Includes a sample order code: FV 5 1000 MH FG MT BRZ NO.

ORDER: WLS
FOOTNOTES:
1. When ordering pole-top fixtures for indoor use, specify indoor use.
2. Pole-top fixtures are available in 1000 Watt PSMA.
3. Pole-top fixtures are available in 1000 Watt PSMA.
4. Pole-top fixtures are available in 1000 Watt PSMA.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

WLS LIGHTING SYSTEMS

PERFORMANCE

SPECIFICATIONS
HOUSING - One-piece, heavy-walled, extruded aluminum, 3/32" thick for wind resistance.
LAMP HOLDER - White lead to lamp, glazed porcelain, medium base, 4/16" pole thread with spring gasket contact.
BALLASTS - High Power Factor, multi-tap ballast designed for 207°F operation in enclosed, universal electronic ballast for 120-277V, 50 or 60 Hz operation is available.

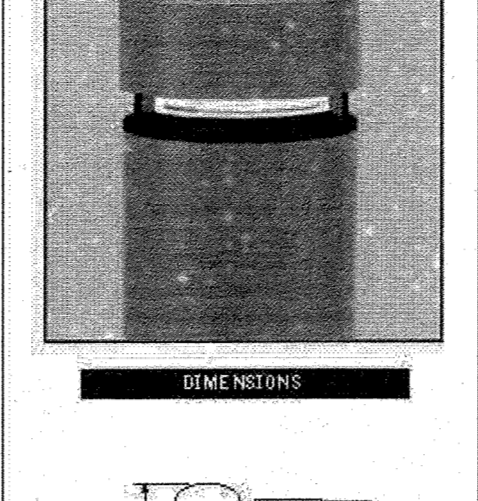


Table with columns for ORDERING INFORMATION, LAMP, LIGHT SOURCE, LINE VOLTAGE, LUMINAIRE FINISH, and OPTIONS. Includes a sample order code: PER 50 MH H42 MT BRZ NO NA.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

PERFORMANCE

Table with columns for ORDERING INFORMATION, LAMP, LIGHT SOURCE, LINE VOLTAGE, LUMINAIRE FINISH, and OPTIONS. Includes a sample order code: PER 50 MH H42 MT BRZ NO NA.

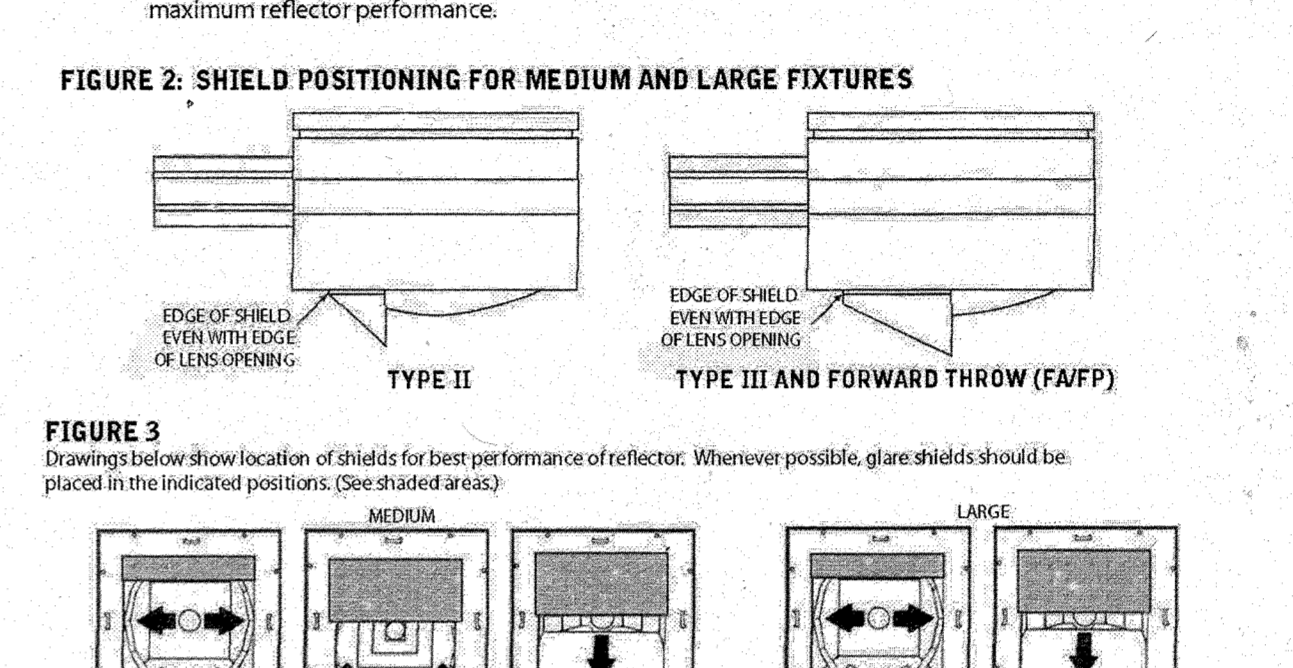
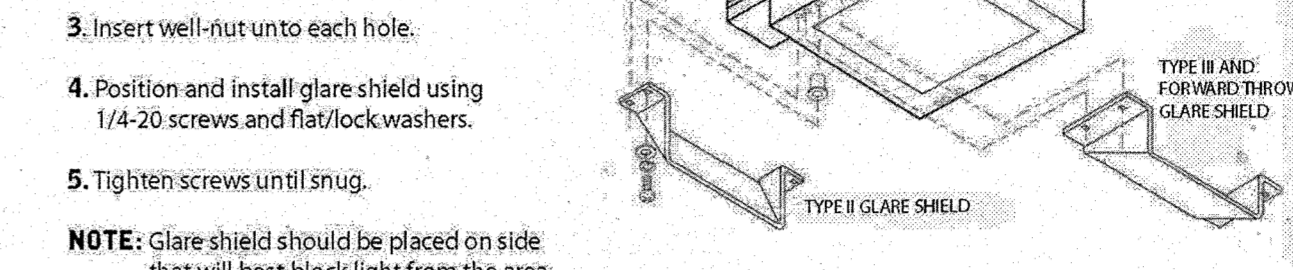
ORDER: WLS-PE
FOOTNOTES:
1. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.
2. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.
3. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

WLS LIGHTING SYSTEMS

INSTALLATION OF GLARE SHIELD

1. Position shield on housing as shown in Figure 2 and mark drilling locations through slotted holes in shield.
2. Remove shield and drill 1/2" dia. holes through housing (4 places).
3. Insert well-nut into each hole.
4. Position and install glare shield using 1/4-20 screws and flat/lock washers.
5. Tighten screws until snug.



Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

INSTALLATION OF GLARE SHIELD

1. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.
2. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.
3. All Performance Bollards are shipped with lamps installed and 3' leads for field wiring.

Approved by: Project Name:
Location: Date:
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact

BOHLER ENGINEERING logo and contact information including address, phone, and website.

REVISIONS table with columns for REV, DATE, COMMENT, and BY. Includes revision 5 dated 02/11/16 and revision 9 dated 2/10/21.

Professional Engineer seal for Michael J. Gezell, State of Maryland, License No. 44097.

APPROVED FOR CONSTRUCTION
PROJECT NO.: MD069002
DRAWN BY: MJG
CHECKED BY: MJG
DATE: 07/29/13
SCALE: NOT TO SCALE
CAD ID.: SDZ

SITE DEVELOPMENT PLAN FOR KIMCO REALTY CORPORATION, VILLAGE OF WILDE LAKE VILLAGE CENTER REDEVELOPMENT, COLUMBIA, MD.

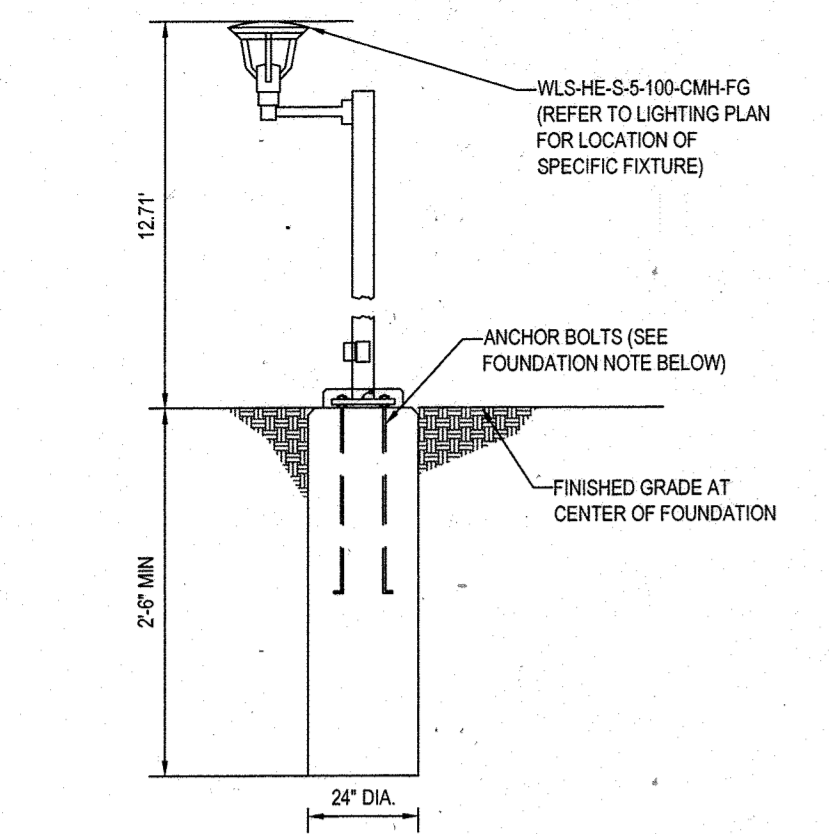
BOHLER ENGINEERING logo and contact information.

Professional Engineer seal for Michael J. Gezell, State of Maryland, License No. 44097.

LIGHTING DETAILS SHEET NUMBER: 90 OF 91. SHEET TITLE: LIGHTING DETAILS. SHEET NUMBER: 90 OF 91. SDP-13-046

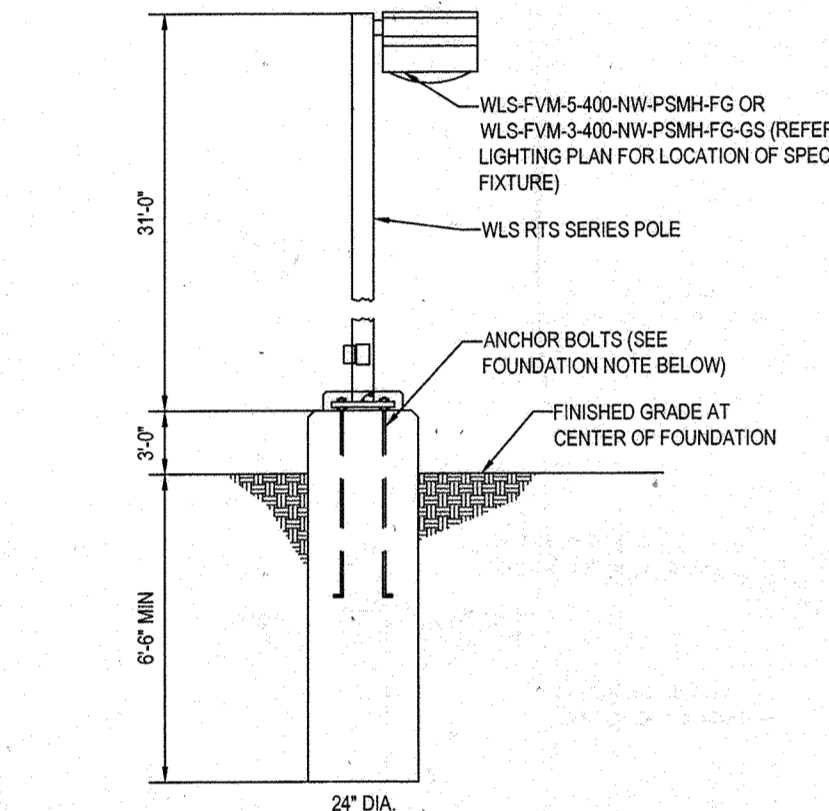
APPROVED: DEPARTMENT OF PLANNING AND ZONING. Chief-Development Engineering Division. Date: 2/14/13.

APPROVED: PLANNING BOARD OF HOWARD COUNTY. Date: April 15, 2013.



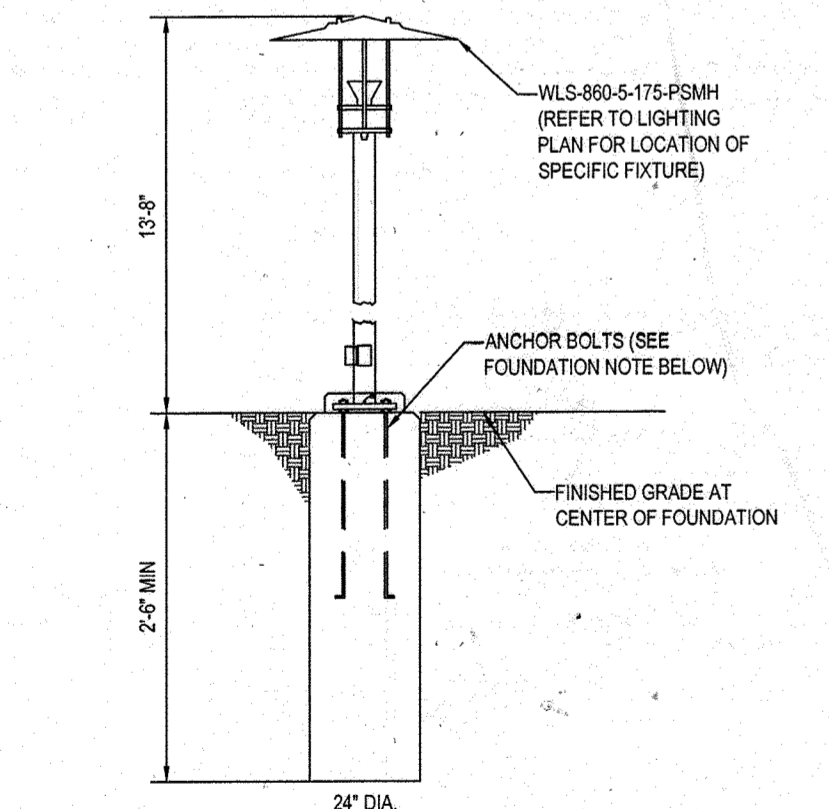
LIGHT POLE AND BASE DETAIL (WLS HE SERIES, TYP.)
N.T.S.

NOTE:
THIS DETAIL IS FOR INFORMATIONAL PURPOSES ONLY. STRUCTURAL DESIGN TO BE PROVIDED BY A LICENSED STRUCTURAL ENGINEER. BOHLER ENGINEERING DOES NOT IMPLY CERTIFICATION OF THIS DETAIL BY THE SIGNING OF THESE PLANS. BOHLER ENGINEERING SHALL BE HELD HARMLESS IN THE EVENT OF ERRONEOUS INFORMATION CONTAINED WITHIN THIS DETAIL AND/OR STRUCTURAL FAILURE.



LIGHT POLE AND BASE DETAIL (WLS FVM SERIES, TYP.)
N.T.S.

NOTE:
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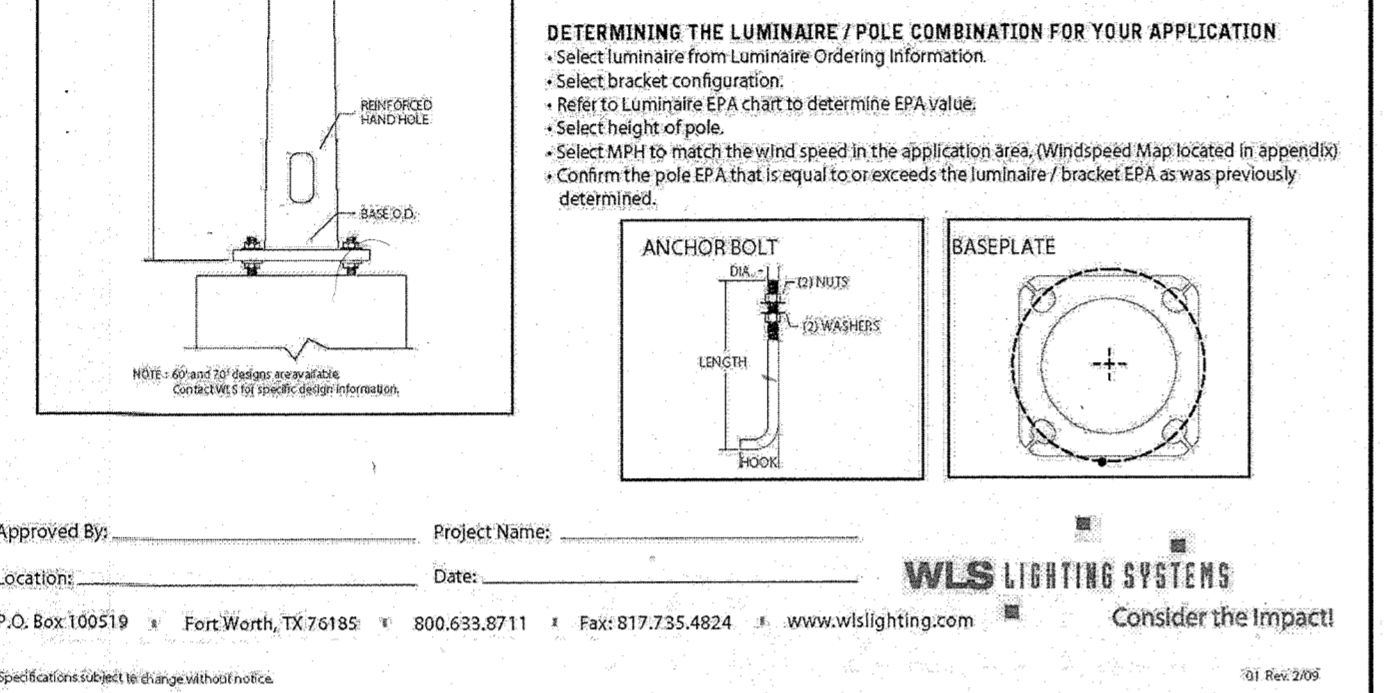


LIGHT POLE AND BASE DETAIL (WLS 860 SERIES, TYP.)
N.T.S.

NOTE:
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WLS LIGHTING SYSTEMS
RTS SERIES
ROUND TAPERED STEEL

SPECIFICATIONS
POLE SHAFT - Pole shaft is electro-welded ASTM-A36 Grade A steel tubing with a minimum yield strength of 55,000 psi. On Tension Mount steel pole, tension is 2-3/8" O.D. High-tension pipe. Tension is 4-3/4" in length.
HAND HOLE - Standard hand-hole location is 12" above pole base. Hand-hole size is 4" X 6" and reinforced.
BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base cover is optional.
ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM-A36 with a minimum yield strength of 36,000 psi.
GROUND LUGS - Ground lug is standard.
DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.
GROUND FAULT CIRCUIT INTERRUPTER - Ground fault circuit interrupter is optional.
FINISHES - Each steel pole is finished with WLS DuraGrip® baked-on polyester powder coat finishing process to give the pole an exceptionally attractive appearance. The process electrostatically applies and thermally fuses a polyester powder to the pole. This unique protection process provides an extremely smooth and uniform finish which withstands extreme weather changes without cracking or peeling. DuraGrip® finish features a five-year limited warranty. Standard finish colors available for poles are bronze, black, platinum plus, buff, white, satin verde green, metallic silver, and graphite. Optional DuraGrip® Plus features added protection with a 3.0 to 5.0 mil thickness of polyester powder coat finish plus an inner coating. This specially designed inner coating is a thermal plastic hydrocarbon resin applied to the inside of the pole to seal and protect against atmospheric and corrosive matter. DuraGrip® Plus finish features a seven-year limited warranty.



DETERMINING THE LUMINAIRE / POLE COMBINATION FOR YOUR APPLICATION
- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to Luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire / bracket EPA as was previously determined.

Approved By: _____ Project Name: _____
Location: _____ Date: _____
P.O. Box 100519 • Fort Worth, TX 76185 • 800.633.8711 • Fax: 817.735.4824 • www.wslighting.com • Consider the Impact!
© 2010 WLS

WLS LIGHTING SYSTEMS
RTS SERIES
ROUND TAPERED STEEL

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

CATALOG NUMBER	MOUNTING CONFIGURATION	POLE TOP	FINISH TYPE	FINISH COLOR	OPTIONS	ACCESSORIES
WLS-RTS-20-550-11	S - Single Parallel	RTB - Round Tapered Pole for 20" Dia. Pole	PC - Powder Coated	BRZ - Bronze	GA - Galvanized Anchor Bolts	SE2 - Square Base Cover
WLS-RTS-24-550-11	D1P - Double Pole for 24" Dia. Pole	RTB - Round Tapered Pole for 24" Dia. Pole	CC - Galvanized	BLK - Black	SP - Single Hood	EX2 - Weatherproof
WLS-RTS-30-550-11	D2P - Double Pole for 30" Dia. Pole	RTB - Round Tapered Pole for 30" Dia. Pole	CC - Galvanized	PLT - Platinum Plus	DF - Double Hood	DH2 - Double Receptacle
WLS-RTS-36-550-11	D3P - Double Pole for 36" Dia. Pole	RTB - Round Tapered Pole for 36" Dia. Pole	CC - Galvanized	WHT - White	DF - Double Hood	CT2 - Ground Fault Interrupter
WLS-RTS-42-550-11	T1P - Tapered Pole for 42" Dia. Pole	RTB - Round Tapered Pole for 42" Dia. Pole	CC - Galvanized	WHT - White	LAB - Less Anchor Bolts	MRB - Mounting Bracket
WLS-RTS-48-550-11	T2P - Tapered Pole for 48" Dia. Pole	RTB - Round Tapered Pole for 48" Dia. Pole	CC - Galvanized	WHT - White	NO - No Options	WR2 - Weatherproof
WLS-RTS-54-550-11	T3P - Tapered Pole for 54" Dia. Pole	RTB - Round Tapered Pole for 54" Dia. Pole	CC - Galvanized	WHT - White	NO - No Options	NA - No Accessories
WLS-RTS-60-550-11	T4P - Tapered Pole for 60" Dia. Pole	RTB - Round Tapered Pole for 60" Dia. Pole	CC - Galvanized	WHT - White	NO - No Options	NA - No Accessories

EXAMPLE ORDER: WLS-RTS-30-7.50-11 D90° STM PC BRZ NO NA

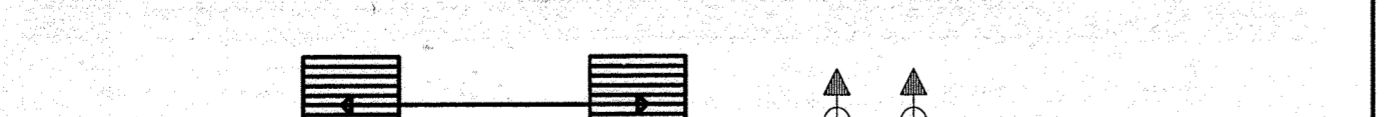
ORDER: WLS-RTS:
1. Pole height will have a +/- 1/2" tolerance.

FOOTNOTES:
1. Pole height will have a +/- 1/2" tolerance.

CATALOG NUMBER	SHAFT LENGTH	SHAFT SIZE	BASE PLATE	BOLT CIRCLE	ANCHOR BOLT SIZE	WT.	80 MPH EPA	90 MPH EPA	100 MPH EPA
WLS-RTS-20-550-11	20'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	153	24.8	18.8	14.4
WLS-RTS-24-550-11	24'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	196	23.0	17.0	12.8
WLS-RTS-30-550-11	30'	7.50" TO 3.30"	0-1/8" X 1"	11"	1" X 3/8"	247	22.0	16.0	11.7
WLS-RTS-36-550-11	36'	8.50" TO 3.60"	1/2" X 1"	12"	1 1/4" X 3/4"	319	21.1	14.9	10.5
WLS-RTS-42-550-11	42'	9.00" TO 3.54"	1/2" X 1"	12"	1 1/4" X 3/4"	358	18.5	12.9	8.4
WLS-RTS-48-550-11	48'	10.00" TO 3.54"	1/2" X 1-1/4"	14"	1 1/4" X 3/4"	392	16.9	11.1	7.7
WLS-RTS-54-550-11	54'	10.00" TO 3.95"	3/4" X 1-1/4"	14"	1 1/4" X 3/4"	622	31.4	24.0	18.6
WLS-RTS-60-550-11	60'	10.00" TO 3.95"	3/4" X 1-1/4"	14"	1 1/4" X 3/4"	648	21.0	15.6	11.7

EPA INFORMATION:
WLS Lighting System poles are guaranteed to meet the EPA requirements listed. WLS Lighting Systems is not responsible if a pole order has a lower EPA rating than the indicated wind loading zone where the pole is located.
CAUTION:
This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. WLS Lighting Systems cannot accept responsibility for item or damage caused by these alterations.

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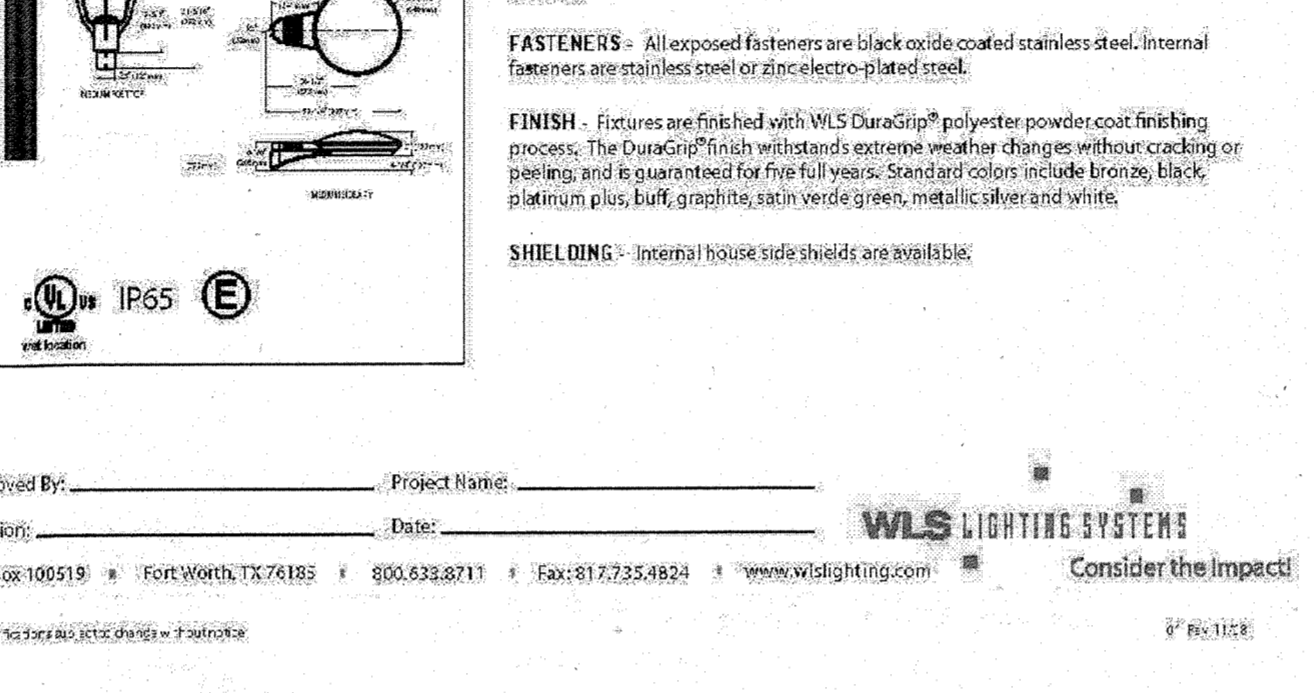


DETERMINING THE LUMINAIRE / POLE COMBINATION FOR YOUR APPLICATION
- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to Luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire / bracket EPA as was previously determined.

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WLS LIGHTING SYSTEMS
HE SERIES
HORIZONTAL LAMP / FLAT GLASS LENS

SPECIFICATIONS
HOUSING - Modular fixture is available in small or medium sizes and two mounting configurations. One piece housing / support frame is die-cast aluminum. Combination mounting arm / ballast enclosure is available in die-cast with integral ribs for heat dissipation. Ballast enclosure, access cover and support arm for post-top versions are die-cast aluminum.
HOUSING TOP CAP - Removable spun aluminum cap, which provides Top Access for relamping is retained by captive stainless steel fasteners and safety cables. Housing and top cap interface is sealed with one-piece extruded silicone gasket. Tool less entry option is available.
LENS - Lens is flat tempered glass, which is sealed to the die-cast aluminum housing with an extruded, high temperature silicone gasket and retained internally by zinc plated steel clips.
LAMPHOLDER - Matched to the lamp. Gasket gasket in either medium or mogul base. 40V pulse rated, with spring center contact. CFL features have one piece, four pin, thermoplastic lampholder.
LIGHT SOURCE - Pulse Start Metal Halide, Natural White, Metal Halide Reduced Emission, High Pressure Sodium, Ceramic Metal Halide, and CFL - Compact Fluorescent.
BALLASTS - Ballast is mounted on removable power tray. Tool less option is available. Electronic HID ballasts are available in select wattages for 120-277V current. Dimmable Electronic HID ballasts are available in select wattages for 120-277V current. One end coil ballasts are high power factor designed for 20" operation. CFL ballasts are universal electronic, with 0.7 Flaring, which accommodate current from 120-277V in either 50/60 Hz or 60/60 Hz worldwide operation. Terminal block for easy wiring, is standard with all magnetic ballast types.
OPTICS - Four available distributions - Type III, III V, and Forward Throw for perimeter applications. Reflector may be retained in 90° increments. Lamps are biologically oriented.
FASTENERS - All exposed fasteners are black oxide coated stainless steel. Internal fasteners are stainless steel or zinc electro-plated steel.
FINISH - Fixtures are finished with WLS DuraGrip® polyester powder coat finishing process. The DuraGrip® finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, buff, graphite, satin verde green, metallic silver, and graphite.
SHIELDING - Internal house side shields are available.



DETERMINING THE LUMINAIRE / POLE COMBINATION FOR YOUR APPLICATION
- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to Luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire / bracket EPA as was previously determined.

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WLS LIGHTING SYSTEMS
HE SERIES
HORIZONTAL LAMP / FLAT GLASS LENS

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

SERIES	DISTRIBUTION	LAMP WATTAGE	LIGHT SOURCE	LENS	LAMP ORIENTATION	MOUNTING STYLE	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS
HE-S	2 - Type II	30W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	PT - Post Top	480V	BRZ - Bronze	LL - LED Lamp
HE-M	2 - Type II	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
HE-M	2 - Type II	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
HE-M	2 - Type II	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
HE-M	2 - Type II	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp

EXAMPLE ORDER: HE-M 5 400W MH F H PT MT BRZ NO/NA

ORDER: HE:
1. Pole height will have a +/- 1/2" tolerance.

FOOTNOTES:
1. Pole height will have a +/- 1/2" tolerance.

CATALOG NUMBER	SHAFT LENGTH	SHAFT SIZE	BASE PLATE	BOLT CIRCLE	ANCHOR BOLT SIZE	WT.	80 MPH EPA	90 MPH EPA	100 MPH EPA
WLS-HE-S-100-11	10'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	153	24.8	18.8	14.4
WLS-HE-M-100-11	10'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	196	23.0	17.0	12.8
WLS-HE-S-150-11	15'	7.50" TO 3.30"	0-1/8" X 1"	11"	1" X 3/8"	247	22.0	16.0	11.7
WLS-HE-M-150-11	15'	7.50" TO 3.30"	0-1/8" X 1"	11"	1" X 3/8"	319	21.1	14.9	10.5
WLS-HE-S-200-11	20'	8.50" TO 3.60"	1/2" X 1"	12"	1 1/4" X 3/4"	358	18.5	12.9	8.4
WLS-HE-M-200-11	20'	8.50" TO 3.60"	1/2" X 1"	12"	1 1/4" X 3/4"	392	16.9	11.1	7.7
WLS-HE-S-250-11	25'	10.00" TO 3.95"	3/4" X 1-1/4"	14"	1 1/4" X 3/4"	622	31.4	24.0	18.6
WLS-HE-M-250-11	25'	10.00" TO 3.95"	3/4" X 1-1/4"	14"	1 1/4" X 3/4"	648	21.0	15.6	11.7

EPA INFORMATION:
WLS Lighting System poles are guaranteed to meet the EPA requirements listed. WLS Lighting Systems is not responsible if a pole order has a lower EPA rating than the indicated wind loading zone where the pole is located.
CAUTION:
This guarantee does not apply if the pole/bracket/fixture combination is used to support any other items such as flags, pennants, or signs, which would add stress to the pole. WLS Lighting Systems cannot accept responsibility for item or damage caused by these alterations.

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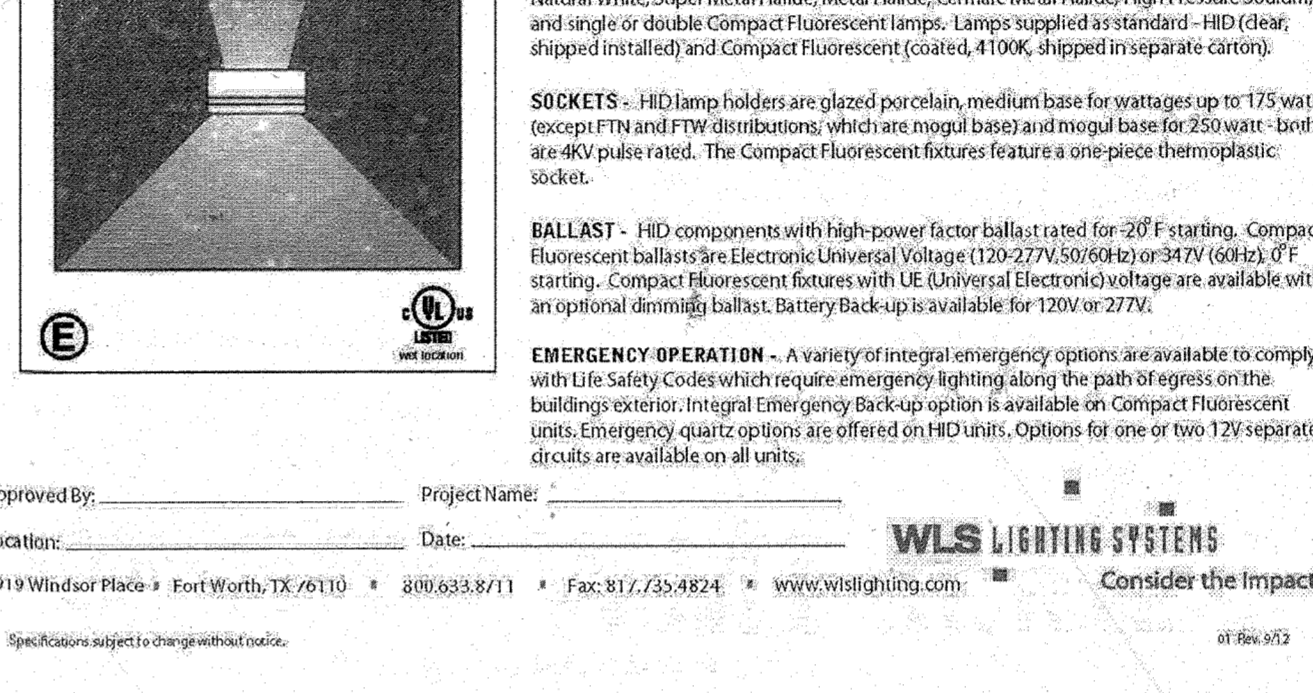


DETERMINING THE LUMINAIRE / POLE COMBINATION FOR YOUR APPLICATION
- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to Luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire / bracket EPA as was previously determined.

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WLS LIGHTING SYSTEMS
WMI SERIES
HORIZONTAL LAMP

SPECIFICATIONS
HOUSING - The one-piece die-formed aluminum half-cylindrical housing is designed for downlight only, uplight only and combination uplight / downlight applications. All mounting hardware is stainless steel or zinc electro-plated steel.
LENS / GASKET - A flat clear tempered glass downlight lens is sealed to the die-cast with one-piece EPDM gasket. The uplight lens utilizes a diffused tempered glass lens secured with multiple lens clips and a one-piece extruded silicone gasket. An optional polycarbonate downlight lens is available on most Compact Fluorescent models.
DOOR FRAME - The aluminum pan style door frame mounts to the housing using two stainless steel screws and captive fasteners for easy access to the fixture. A one-piece extruded silicone gasket seals the door frame against the housing. The door swings open and is held in place by a wire retainer.
WALL MOUNT - A galvanized steel universal wall mounting plate easily mounts directly to a 4" octagonal or square junction box. An EPDM gasket is supplied to be installed between the mounting plate and junction box, sealing the junction box from entrance of water. The galvanized steel universal plate allows the fixture to securely attach to the mounting plate using a unique clamping design which is locked into place with two hex head screws. The universal plate permits the fixture to be mounted in the uplighting or downlighting position. Downlight fixture used in uplight position is listed for damp (covered) locations.
FINISHES - Each fixture is finished with WLS DuraGrip® polyester powder coat finishing process. The DuraGrip® finish withstands extreme weather changes without cracking or peeling, and is guaranteed for five full years. Standard colors include bronze, black, platinum plus, buff, graphite, satin verde green, metallic silver, and graphite.
REFLECTORS / DISTRIBUTION PATTERNS - Multiple reflector systems are available to deliver a narrow, wide or wash pattern. Forward Throw (FT), Wash (W), Type III (III), Forward Throw and Type III are available in narrow or wide uplight.
LIGHT SOURCES - The fixtures are designed to operate with horizontal Pulse Start Metal Halide, Natural White, Super Metal Halide, Metal Halide, Ceramic Metal Halide, High Pressure Sodium, and angle or double Compact Fluorescent lamps. Lamps supplied standard - HID (clear, shipped installed) and Compact Fluorescent (coated, 4100K, shipped in separate cart).
SOCKETS - HID lamp holders are glazed porcelain, medium base for wattages up to 175 watts (except FTW and FTW distributions), which are mogul base and mogul base for 250 watt - both are 40V pulse rated. The Compact Fluorescent fixture features a one-piece thermoplastic socket.
BALLAST - HID components with high power factor ballasts are rated for 20" starting. Compact Fluorescent fixtures with Electronic Universal Voltage (120-277V) or 277V (60Hz, FT starting). Compact Fluorescent fixtures with UE (Universal Electronic) voltage are available with an optional dimming ballast. Battery Back-up is available for 120V or 277V.
EMERGENCY OPERATION - A variety of integral emergency options are available to comply with Life Safety Codes which require emergency lighting along the path of egress on the building's exterior. Integral Emergency Back-up option is available on Compact Fluorescent units. Emergency cut-off options are offered on HID units. Options for one or two 12V separate circuits are available on all units.



DETERMINING THE LUMINAIRE / POLE COMBINATION FOR YOUR APPLICATION
- Select luminaire from Luminaire Ordering Information.
- Select bracket configuration.
- Refer to Luminaire EPA chart to determine EPA value.
- Select height of pole.
- Select MPH to match the wind speed in the application area. (Windspeed Map located in appendix)
- Confirm the pole EPA that is equal to or exceeds the luminaire / bracket EPA as was previously determined.

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WLS LIGHTING SYSTEMS
WMI SERIES
HORIZONTAL LAMP

ORDERING INFORMATION SELECT APPROPRIATE CHOICE FROM EACH COLUMN TO FORMULATE ORDER CODE. Refer to example below.

SERIES	DISTRIBUTION	LAMP WATTAGE	LIGHT SOURCE	LENS	LAMP ORIENTATION	MOUNTING STYLE	LINE VOLTAGE	LUMINAIRE FINISH	OPTIONS
WMI-SU	3 - Type III	30W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	PT - Post Top	480V	BRZ - Bronze	LL - LED Lamp
WMI-MU	3 - Type III	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
WMI-MU	3 - Type III	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
WMI-MU	3 - Type III	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp
WMI-MU	3 - Type III	40W	HPS - High Pressure Sodium	F - Flat Glass	H - Horizontal	MT - Mid Tap	480V	BRZ - Bronze	LL - LED Lamp

EXAMPLE ORDER: WMI-SU FTN 175 MH F 120 BRZ NO/NA

ORDER: WMI-WMI:
1. Pole height will have a +/- 1/2" tolerance.

FOOTNOTES:
1. Pole height will have a +/- 1/2" tolerance.

CATALOG NUMBER	SHAFT LENGTH	SHAFT SIZE	BASE PLATE	BOLT CIRCLE	ANCHOR BOLT SIZE	WT.	80 MPH EPA	90 MPH EPA	100 MPH EPA
WLS-WMI-S-100-11	10'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	153	24.8	18.8	14.4
WLS-WMI-M-100-11	10'	5.80" TO 3.00"	0-1/8" X 1"	11"	1" X 3/8"	196	23.0	17.0	12.8
WLS-WMI-S-150-11	15'	7.50" TO 3.30"	0-1/8" X 1"	11"	1" X 3/8"	247	22.0	16.0	11.7
WLS-WMI-M-150-11	15'	7.50" TO 3.30"	0-1/8" X 1"	11"	1" X 3/8"	319	21.1	14.9	10.5
WLS-WMI-S-200-11	20'	8.50" TO 3.60"	1/2" X 1"	12"	1 1/4" X 3/4"	358	18.5	12.9	8.4
WLS-WMI-M-200-11	20'	8.50" TO 3.60"	1/2" X 1"	12"	1 1/4" X 3/4"	392	16.9	11.1	7.7
WLS-WMI-S-250-11	25'	10.00" TO 3.95"	3/4" X 1-1/4"	14"	1 1/4" X 3/4"	622	31.4	24.0	18.6
WLS-WMI-M-250-11	25'	10.00							