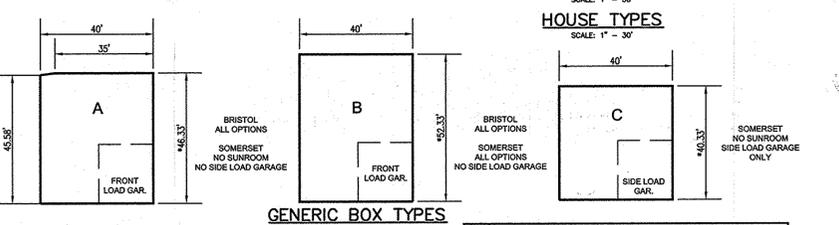
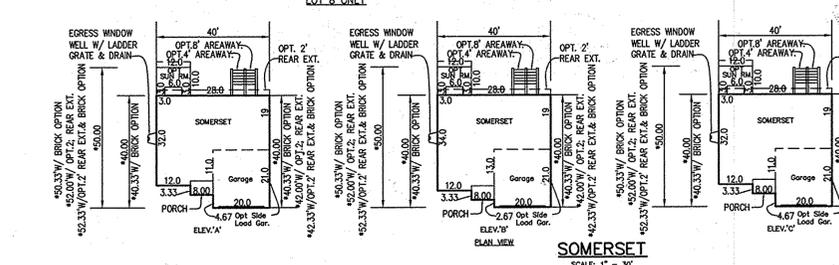
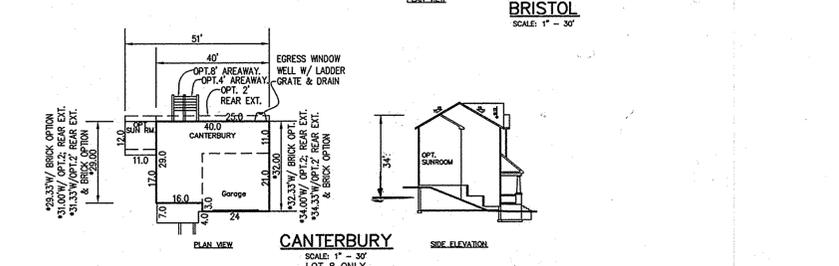
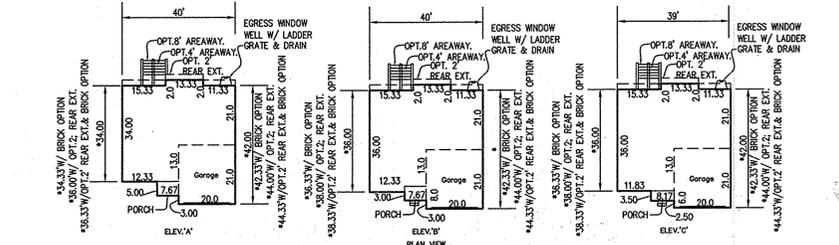


STORMWATER MANAGEMENT PRACTICES						
LOT NO.	ADDRESS	DISCONNECTION OF ROOFTOP RUNOFF (Y/N)	DISCONNECTION OF NON-ROOFTOP RUNOFF (Y/N)	SHEET FLOW TO CONSERVATION AREAS (Y/N)	DRYWELLS (NUMBER)	MICRO BIO-RETENTION (NUMBER)
1	6305 WINTERS LANE	N	N	N	2	
2	6407 WINTER CREST LANE	N	N	N	1	
3	6411 WINTER CREST LANE	N	N	N		(SEE NOTE BELOW)
4	6415 WINTER CREST LANE	N	N	N	2	
5	6419 WINTER CREST LANE	N	N	N		(SEE NOTE BELOW)
6	6414 WINTER CREST LANE	N	N	N		(SEE NOTE BELOW)
7	6410 WINTER CREST LANE	N	N	N		(SEE NOTE BELOW)
8	6309 WINTERS LANE	N	N	N		(SEE NOTE BELOW)

STORMWATER RUNOFF FROM SOME OF THE IMPERVIOUS AREAS ON LOTS 1, 2 AND 4. THE REMAINDER OF THE IMPERVIOUS AREAS WILL BE TREATED BY A SURFACE SAND FILTER LOCATED ON OPEN SPACE LOT 9, WHICH WILL BE OWNED AND MAINTAINED BY THE WINTER CREST HOMEOWNERS ASSOCIATION.

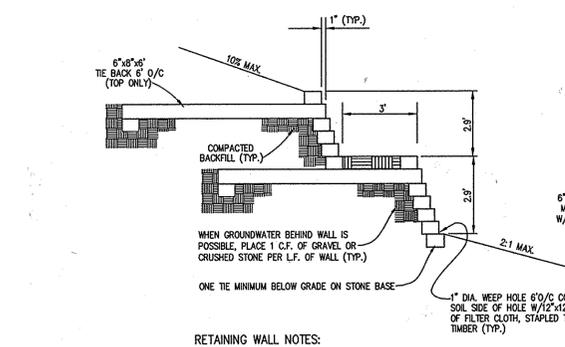


LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 2' INTERVAL
•	SPOT ELEVATION
▭	WALKOUT BASEMENT
—SF—SF—	SILT FENCE
—SS—SS—	SUPER SILT FENCE
—E—E—	EROSION CONTROL MATTING
—L—L—	LIMIT OF DISTURBANCE
—S—S—	STREET LIGHT PER F-12-076
—P—P—	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
—D—D—	PROPOSED EARTH DIKE
—F—F—	FOREST CONSERVATION AREA
—R—R—	PROPOSED RETAINING WALL
—L—L—	EXISTING PERIMETER LANDSCAPING PER F-12-076

SHEET INDEX CHART			
SHEET	DESCRIPTION		
SHEET 1	TITLE SHEET, HOUSE TYPES, TEMPLATES, NOTES AND RETAINING WALL DETAILS		
SHEET 2	SITE DEVELOPMENT PLAN, LOTS 1 THRU 8		
SHEET 3	SEDIMENT/EROSION CONTROL PLAN, LOTS 1 THRU 8		
SHEET 4	SEDIMENT/EROSION CONTROL NOTES & DETAILS		

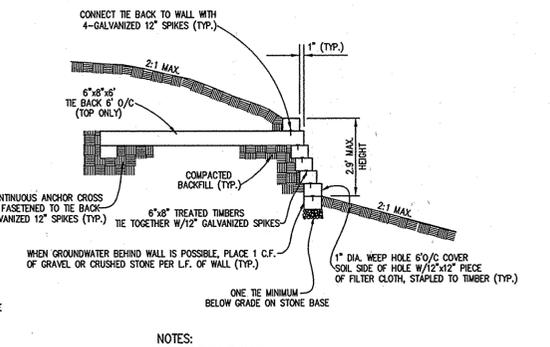
MINIMUM LOT SIZE CHART			
LOT NO.	GROSS AREA	PIPESTEM AREA	MINIMUM LOT SIZE
2	9,790 SQ.FT.	353 SQ.FT.	9,437 SQ.FT.
3	9,490 SQ.FT.	633 SQ.FT.	8,857 SQ.FT.
4	17,103 SQ.FT.	2,158 SQ.FT.	14,945 SQ.FT.
5	20,826 SQ.FT.	1,005 SQ.FT.	19,821 SQ.FT.
6	9,118 SQ.FT.	998 SQ.FT.	8,120 SQ.FT.
7	9,842 SQ.FT.	587 SQ.FT.	9,255 SQ.FT.

ADDRESS CHART	
LOT NUMBER	STREET ADDRESS
1	6305 WINTERS LANE
2	6407 WINTER CREST LANE
3	6411 WINTER CREST LANE
4	6415 WINTER CREST LANE
5	6419 WINTER CREST LANE
6	6414 WINTER CREST LANE
7	6410 WINTER CREST LANE
8	6309 WINTERS LANE



**RETAINING WALL NOTES:**  
 TIMBER SHALL BE EITHER:  
 A) CROSBITE TREATED RAILROAD TIES.  
 B) CCA TREATED LANDSCAPING TIMBERS (40 lbs./CF RETENTION).  
 HARDWARE SHALL BE HOT DIPPED GALVANIZED.  
 WEEP HOLES WITH OR WITHOUT GRAVEL DRAIN ARE MINIMUM MEASURES FOR GROUNDWATER. A DRAIN SYSTEM SHOULD BE DESIGNED & UTILIZED. DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL CONDITION BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

**RETAINING WALL DETAIL TWO TIER**  
NOT TO SCALE



**NOTES:**  
 1. TIMBER SHALL BE EITHER:  
 A) CROSBITE TREATED RAILROAD TIES.  
 B) CCA TREATED LANDSCAPING TIMBERS (40 lbs./CF RETENTION).  
 2. HARDWARE SHALL BE HOT DIPPED GALVANIZED.  
 3. WEEP HOLES WITH OR WITHOUT GRAVEL DRAIN ARE MINIMUM MEASURES FOR GROUNDWATER. A DRAIN SYSTEM SHOULD BE DESIGNED & UTILIZED.  
 4. DESIGN SHALL BE VERIFIED FOR SITE SPECIFIC SOIL CONDITION BY A PROFESSIONAL GEOTECHNICAL ENGINEER.

**RETAINING WALL DETAIL SINGLE TIER**  
NOT TO SCALE

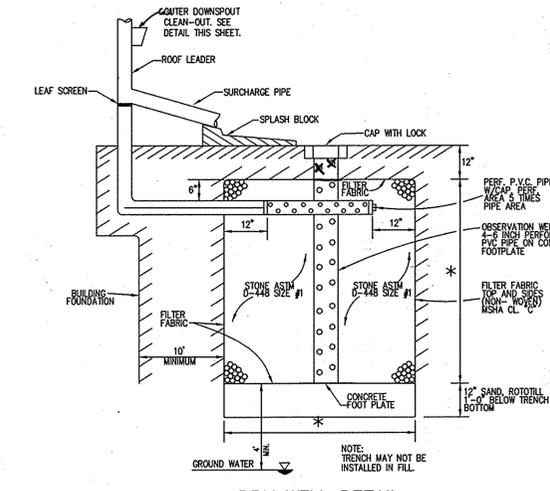
Raindrop® Gutter Guard Systems - Downspout Clean-Out

**Downspout Clean-Out**  
 The Downspout Clean-Out filters micro debris. For homes that want the benefits of a micro screen gutter guard without the expense and constant maintenance hazards associated with them. Our Downspout Clean-Outs install at a safe and manageable height (3-5 feet) above the ground. Service when and where it is convenient for you.

\*Ideal for homes with underground drain tiles or water harvesting systems.

<http://www.raindropgutterguard.com/raindrop-gutter-guard-protection-products/gutter-dow...> 5/23/2014

**GUTTER DOWNSPOUT CLEAN-OUT DETAIL**  
NOT TO SCALE



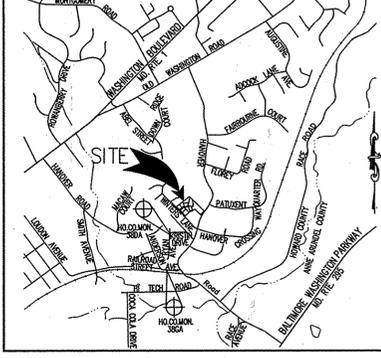
**DRY WELL DETAIL**  
NOT TO SCALE

**STORMWATER MANAGEMENT NOTES**

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL.
- MAXIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE LESS THAN 500 SQ. FT.
- DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE FIGURE 5.2 OF THE MANUAL AND THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

DRY WELL CHART						
LOT NO.	NO. OF DOWNSPOUTS	AREA OF ROOF PER DOWN SPOUT	VOLUME REQUIRED	AREA OF STORAGE	AREA OF TREATMENT	NO. OF DRYWELLS
LOT 1	2	976 SF	80 CF	100%	100%	2
LOT 2	2	418 SF, 420 SF	67 CF	100%	100%	1
LOT 4	2	871 SF	80 CF	100%	100%	2

SITE ANALYSIS DATA CHART			
LOT NO.	NO. OF DOWNSPOUTS	AREA OF ROOF PER DOWN SPOUT	MINIMUM LOT SIZE
LOT 1	2	976 SF	9,437 SQ.FT.
LOT 2	2	418 SF, 420 SF	8,857 SQ.FT.
LOT 4	2	871 SF	8,120 SQ.FT.



**VICINITY MAP**  
SCALE: 1" = 200'

**GENERAL NOTES**

- SUBJECT PROPERTY ZONED R-12 PER THE 2/04 COMPREHENSIVE ZONING PLAN AND THE COMP-LITE ZONING AMENDMENTS DATED 7/29/06.
- TOTAL AREA OF SITE: 2.206 ACRES
- TOTAL NUMBER OF LOTS SUBMITTED: 8 SFD
- THE PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT 410-313-1880 AT LEAST FIVE WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THIS PROJECT IS SUBJECT TO HOWARD COUNTY FILES: F-75-018, F-12-033 (VOIDED), F-12-076, SP-08-003, WP-12-009 & W&S (CONT. NO. 14-4716-D).
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.
- HOWARD COUNTY MONUMENT 386A N 555,897,3157 E 1,390,221,4861
- HOWARD COUNTY MONUMENT 386A N 555,897,3157 E 1,390,132,1323
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- CONTRACTOR WILL CHECK SEWER HOUSE CONNECTION ELEVATION AT EASEMENT LINE PRIOR TO CONSTRUCTION.
- STORMWATER MANAGEMENT WILL BE PROVIDED IN ACCORDANCE WITH HOWARD COUNTY AND MARYLAND 578 SPECIFICATIONS. RECHARGE VOLUME WILL BE PROVIDED THROUGH THE USE OF A SURFACE SAND FILTER. WATER QUALITY WILL BE PROVIDED VIA A SURFACE SAND FILTER AND FIVE (5) DRYWELLS. CHANNEL PROTECTION IS NOT REQUIRED SINCE THE ONE YEAR PEAK DISCHARGE IS LESS THAN 2 C.F.S. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. (WINTERS LANE HOMEOWNERS ASSOCIATION, INC.).
- NO CEMETERIES EXIST ON THIS SITE BASED ON A VISUAL SITE VISIT AND BASED ON AN EXAMINATION OF THE HOWARD COUNTY CEMETERY INVENTORY MAP. NO HISTORIC STRUCTURES EXIST ON SITE.
- THERE ARE NO 100 YEAR FLOODPLAIN, WETLANDS, STREAMS, OR THEIR BUFFERS ON THIS SITE.
- FOR FLAG OR PIPESTEM LOTS, REUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING (MINIMUM) REQUIREMENTS:  
 A) WIDTH - 12' (16' IF SERVING MORE THAN ONE RESIDENCE).  
 B) SURFACE - 6" OF COMPACTED CRUSHER RUN BASE W/TAR AND CHIP COATING (1-1/2" MIN.) TURNING RADIUS.  
 C) GEOMETRY MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND 45 FOOT TURNING RADIUS.  
 D) STRUCTURES - (BRIDGES/CULVERTS) CAPABLE OF SUPPORTING 25 GROSS TONS (H25-LOADING).  
 E) DRAINAGE ELEMENTS CAPABLE OF SAFETY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.  
 F) STRUCTURE CLEARANCES - MINIMUM 12 FEET.  
 G) MAINTENANCE SUFFICIENT TO INSURE ALL WEATHER USE.
- THE TRAFFIC STUDY FOR THIS SITE WAS PREPARED BY THE MARS GROUP, DATED APRIL, 2007 AND APPROVED UNDER SP-08-003.
- THE GEOTECHNICAL REPORT FOR THIS SITE WAS PREPARED BY GEO-TECHNOLOGY ASSOC., INC., DATED MARCH, 2007 AND APPROVED UNDER SP-08-003.
- THE FOREST STAND DELINEATION AND WETLAND DELINEATION FOR THIS SITE WAS PREPARED BY ESA, INC., DATED JULY, 2007 AND APPROVED UNDER SP-08-003.
- NO NOISE STUDY IS REQUIRED FOR THIS SITE PER HOWARD COUNTY DESIGN MANUAL VOL. III, SECTION 5.2(F).
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY PROVIDING 0.78 AC. OF ON-SITE RETENTION AND 0.32 AC. OF ON-SITE REFORESTATION. THE BALANCE OF 0.13 ACRES OF FOREST CONSERVATION REQUIRED HAS BEEN PROVIDED BY A TREE-IN-LIEU PAYMENT IN THE AMOUNT OF \$1,241.00 (1,655 SQ. FT. X \$0.75 = \$1,241.00).
- THE 24' PRIVATE USE-IN-COMMON ACCESS EASEMENT AND MAINTENANCE AGREEMENT FOR THE BENEFIT OF LOTS 2 THRU 7 AND OPEN SPACE LOT 9 WAS RECORDED SIMULTANEOUSLY WITH THE RECORDATION OF THE RECORD PLAN UNDER LIBERTY 02874.
- THE LANDSCAPE SURETY IN THE AMOUNT OF \$7,350.00 FOR PERIMETER LANDSCAPE REQUIREMENTS (18 SHADE TREES AND 13 EVERGREEN TREES) OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL WAS POSTED WITH THE DEVELOPER'S AGREEMENT FOR THIS SUBDIVISION UNDER F-12-076.
- OPEN SPACE LOT 9 IS TO BE OWNED AND MAINTAINED BY THE WINTER CREST HOMEOWNERS ASSOC., INC.
- ALL WATER HOUSE CONNECTIONS SHALL BE FOR INSIDE METER SETTINGS.
- SEWER HOUSE CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE.
- FOR DRIVEWAY ENTRANCE DETAIL REFER TO HO. CO. MANUAL VOL. IV, STANDARD DETAIL R.6.06.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR WALLS NOT MORE THAN 16" IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
- THE EXISTING DWELLING (CIRCA 1969) LOCATED ON LOT 5 IS TO REMAIN.
- BOUNDARY AND TOPOGRAPHY IS BASED ON FIELD RUN SURVEY PERFORMED ON OR ABOUT MARCH, 2006 BY FISHER, COLLINS & CARTER, INC.
- A PRIVATE RANGE OF ADDRESS SIGN FOR LOTS 2 THRU 7 SHALL BE PLACED AT THE ENTRANCE TO THE USE-IN-COMMON (UIC) DRIVEWAY WHERE IT INTERSECTS WITH WINTERS LANE. IN ADDITION, THERE SHALL BE AN ADDRESS SIGN AT THE POINT WHERE EACH INDIVIDUAL DRIVEWAY INTERSECTS WITH THE UIC. THE SIGNS SHALL BE FABRICATED AND INSTALLED BY THE HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPER/OWNER'S EXPENSE. FOR DETAILS OF THE SIGNS AND A COST ESTIMATE, CONTACT THE HOWARD COUNTY TRAFFIC DIVISION AT 410-313-2430.

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2855

NO.	REVISION	DATE
2	REVISE DRY WELL CHART TO REFLECT NEW DRY WELL SIZES FOR LOTS 1 & 4	4/16/14
1	REVISE HOUSE TYPES AND GENERIC BOXES, REPLACE BIORETENTION FACILITY WITH DRYWELL - LOT 4, ADD BUILDER INFORMATION	5/23/14

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/15.

*Frank John Manalansan II* 6/11/14  
 FRANK JOHN MANALANSAN II DATE

**OWNER/DEVELOPER**  
 WINTERS LANE INVESTMENTS, LLC.  
 C/O B. JAMES GREENFIELD  
 6420 AUTUMN SKY WAY  
 COLUMBIA, MARYLAND 21044  
 443-324-4732

**BUILDER**  
 RYLAND HOMES  
 6240 OLD DOBBIN LANE, SUITE 190  
 COLUMBIA, MARYLAND 21045  
 410-312-2648

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22448 & 22449	15	R-12	38	1	6069.02

PROJECT	SECTION	LOTS NO.
WINTER CREST	N/A	1 THRU 8

**REPLACEMENT SHEET TITLE SHEET**

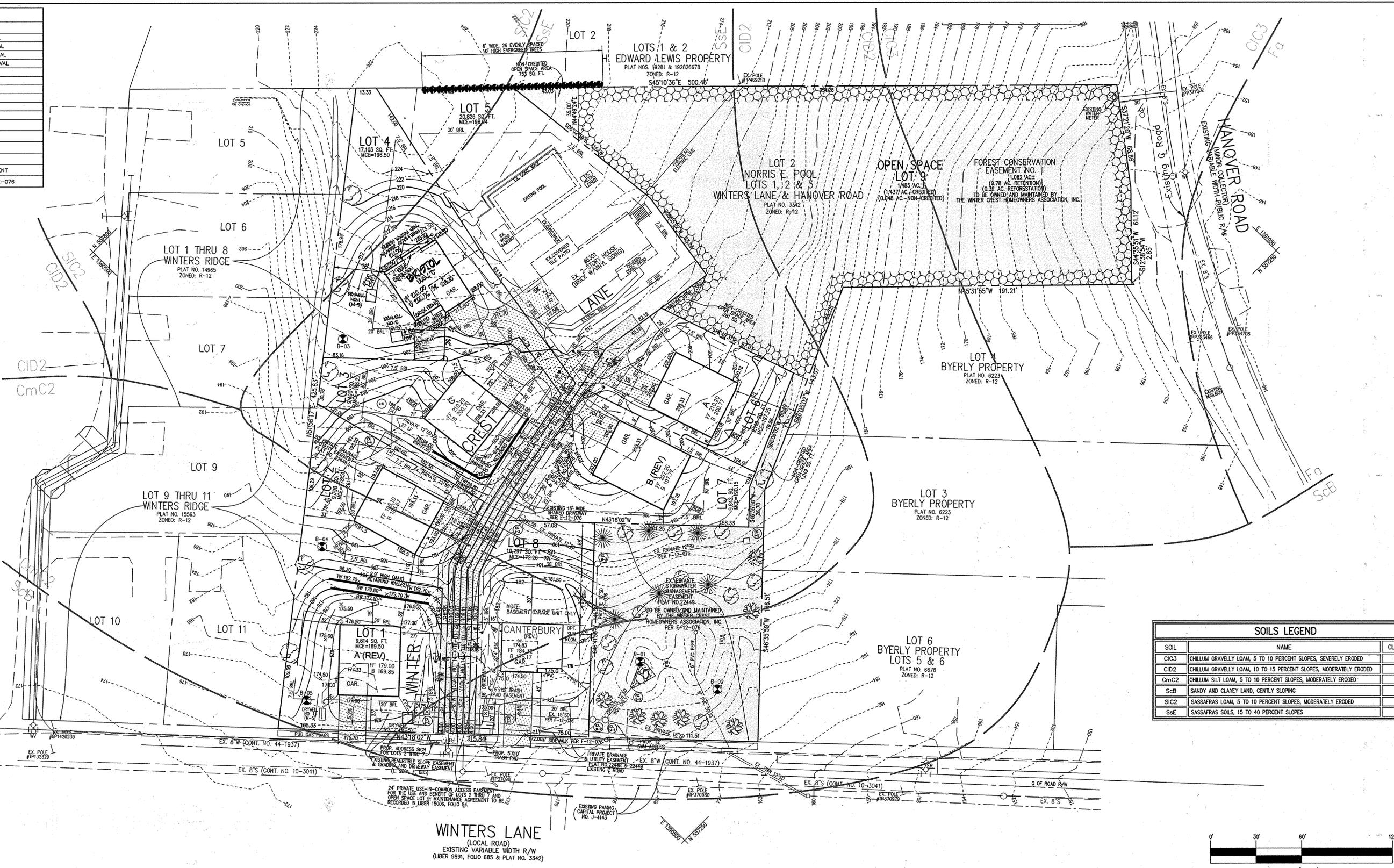
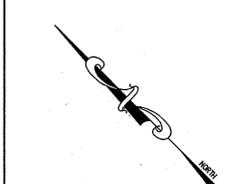
**SINGLE FAMILY DETACHED**

**WINTER CREST**

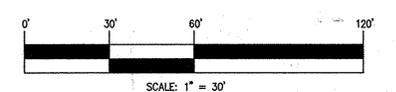
**LOTS 1 THRU 8**

TAX MAP NO.: 38 PARCEL NO.: 868 GRID NO.: 15  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE 16, 2014  
 SHEET 1 OF 4 SDP 13-035

LEGEND	
SYMBOL	DESCRIPTION
-492 - -	EXISTING CONTOUR 2' INTERVAL
-490 - -	EXISTING CONTOUR 10' INTERVAL
-492 - -	PROPOSED CONTOUR 2' INTERVAL
-490 - -	PROPOSED CONTOUR 10' INTERVAL
+499.50	SPOT ELEVATION
SF	SILT FENCE
SSF	SUPER SILT FENCE
---	EARTH DIKE
---	SOILS LIMIT
---	EROSION CONTROL MATTING
L.O.D.	LIMIT OF DISTURBANCE
---	PROPOSED TREES
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	FOREST CONSERVATION EASEMENT
---	16' UIC DRIVEWAY UNDER F-12-076



SOILS LEGEND		
SOIL	NAME	CLASS
CIC3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
CID2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
CmC2	CHILLUM SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
ScB	SANDY AND CLAYEY LOAM, GENTLY SLOPING	C
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
SoE	SASSAFRAS SOILS, 15 TO 40 PERCENT SLOPES	B



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2555



NO.	REVISION	DATE
2	REVISE WINTERS LANE, LOT 1 & 2 AND REVISE, LOT 1 & 2 FROM CUB BOX TO BRICK	2/19/14
1	REVISE HOUSE TYPES AND GENERIC BOXES, REPLACE BIORETENTION FACILITY WITH DRYWELL - LOT 4, ADD BUILDER INFORMATION	5/23/14

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DAILY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21476, EXPIRATION DATE: 7/14/15.

*Frank John Manalansan II* 6/16/14  
 FRANK JOHN MANALANSAN II DATE

OWNER/DEVELOPER	BUILDER
WINTERS LANE INVESTMENTS, LLC C/O B. JAMES GREENFIELD 6420 AUTUMN SKY WAY COLUMBIA, MARYLAND 21044 443-324-4732	RYLAND HOUSES 6240 DOBBIN LANE, SUITE 190 COLUMBIA, MARYLAND 21045 410-312-2648

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

PROJECT	SECTION	LOTS NO.
WINTERS CREST	N/A	1 THRU 8

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22448 & 22449	15	R-12	38	1	6069.02

WATER CODE	SEWER CODE
C-02	7390000

REPLACEMENT SHEET  
 SITE DEVELOPMENT PLAN

SINGLE FAMILY DETACHED

**WINTER CREST**  
 LOTS 1 THRU 8

TAX MAP NO.: 38 PARCEL NO.: 868 GRID NO.: 15  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE 16, 2014

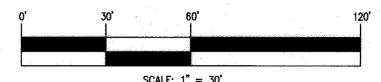
SHEET 2 OF 4 SDP 13-035

LEGEND	
SYMBOL	DESCRIPTION
---492---	EXISTING CONTOUR 2' INTERVAL
---490---	EXISTING CONTOUR 10' INTERVAL
---492---	PROPOSED CONTOUR 2' INTERVAL
---490---	PROPOSED CONTOUR 10' INTERVAL
+499.50	SPOT ELEVATION
-SF-	SILT FENCE
-SSF-	SUPER SILT FENCE
---	EARTH DIKE
---	SOILS LIMIT
---	EROSION CONTROL MATTING
L.O.D.	LIMIT OF DISTURBANCE
---	PROPOSED TREES
---	EXISTING TREELINE
---	PROPOSED TREELINE
---	FOREST CONSERVATION EASEMENT



SOILS LEGEND		
SOIL	NAME	CLASS
CIC3	CHILLUM GRAVELLY LOAM, 5 TO 10 PERCENT SLOPES, SEVERELY ERODED	C
CID2	CHILLUM GRAVELLY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
CmC2	CHILLUM SILT LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
ScB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C
SIC2	SASSAFRAS LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED	B
ScE	SASSAFRAS SOILS, 15 TO 40 PERCENT SLOPES	B

NOTE: STOCKPILING WILL NOT BE PERMITTED ON-SITE.



**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10777 BALTIMORE NATIONAL PARK  
 ELICOTT CITY, MARYLAND 21042  
 (410) 451 - 2025

NO.	REVISION	DATE
3	REV. HSE. & GRADING LOT 3 FROM GEN. BOX TO SUBMITTAL AND READING WALL	12/10/15
2	REV. HSE. WALLS, LOT 1 & 2 AND HSE. AREA LOT 4 FROM GEN. BOX TO SUBMITTAL	12/10/15
1	REVISE HOUSE TYPES AND GENERIC BOXES, REPLACE BIORETENTION FACILITY WITH DRYWELL - LOT 4, ADD BUILDER INFORMATION	5/23/14



**PROFESSIONAL CERTIFICATE**  
 "I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Professional: *Frank John Manalansan II* Date: 6/16/14  
 FRANK JOHN MANALANSAN II

**BUILDER'S CERTIFICATE**  
 "I/we certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Builder: *Joseph D. Dunbar* Date: 6/16/14  
 RYLAND HOMES, INC.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature of Howard SCD: *John C. Kober* Date: 6/19/14  
 Howard SCD

**OWNER/DEVELOPER**  
 WINTERS LANE INVESTMENTS, LLC.  
 C/O B. JAMES GREENFIELD  
 6420 AUTUMN SKY WAY  
 COLUMBIA, MARYLAND 21044  
 443-324-4732

**BUILDER**  
 RYLAND HOMES  
 6240 OLD DOBBIN LANE, SUITE 190  
 COLUMBIA, MARYLAND 21045  
 410-312-2648

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Signature: *V. Stalder* Date: 7/20/14  
 Chief, Division of Land Development

Signature: *John Smith* Date: 6/25/14  
 Chief, Development Engineering Division

Signature: *Mark R. G. G.* Date: 7/6/14  
 Director - Department of Planning and Zoning

PROJECT	SECTION	LOTS NO.			
WINTERS CREST	N/A	1 THRU 8			
PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22448 & 22449	15	R-12	38	1	6069.02
WATER CODE	SEWER CODE				
C-02	7390000				

REPLACEMENT SHEET  
 SEDIMENT/EROSION CONTROL PLAN

SINGLE FAMILY DETACHED  
**WINTER CREST**  
 LOTS 1 THRU 8

TAX MAP NO.: 38 PARCEL NO.: 868 GRID NO.: 15  
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 30' DATE: JUNE 16, 2014

SHEET 3 OF 4 SDP 13-035

# SOIL PREPARATION, TOPSOILING AND SOIL AMENDMENTS (B-4-2)

## A. Soil Preparation

- Temporary Stabilization**
  - Seeded preparation consists of loosening soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment, such as disc harrows or chisel plows or rippers mounted on construction equipment. After the soil is loosened, it must not be rolled or dragged smooth but left in the roughened condition. Slopes 3:1 or flatter are to be tracked with ridges running parallel to the contour of the slope.
  - Apply fertilizer and lime as prescribed on the plans.
  - Incorporate lime and fertilizer into the top 3 to 5 inches of soil by disking or other suitable means.
- Permanent Stabilization**
  - A soil test is required for any earth disturbance of 5 acres or more. The minimum soil conditions required for permanent vegetative establishment are:
    - Soil pH between 6.0 and 7.0.
    - Soluble salts less than 500 parts per million (ppm).
    - Soil contains less than 40 percent clay but enough fine grained material (greater than 30 percent silt plus clay) to provide the capacity to hold a moderate amount of moisture. An exception: if lowgrass will be planted, then a sandy soil (less than 30 percent silt plus clay) would be acceptable.
    - Soil contains 1.5 percent minimum organic matter by weight.
    - Soil contains sufficient pore space to permit adequate root penetration.
  - Application of amendments or topsoil is required if on-site soils do not meet the above conditions.
  - Graded areas must be maintained in a true and even grade as specified on the approved plan, then scarified or otherwise loosened to a depth of 3 to 5 inches.
  - Apply soil amendments as specified on the approved plan or as indicated by the results of a soil test.
  - Mix soil amendments into the top 3 to 5 inches of soil by disking or other suitable means. Rate lawn areas to smooth the surface, remove large objects like stones and branches, and ready the area for seed application. Loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface where site conditions will not permit normal seeded preparation. Track slopes 3:1 or flatter with tracked equipment leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. Leave the top 1 to 3 inches of soil loose and friable. Seeded loosening may be unnecessary on newly disturbed areas.

## B. Topsoiling

- Topsoil is placed over prepared subsoil prior to establishment of permanent vegetation. The purpose is to provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.
- Topsoil salvaged from an existing site may be used provided it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-NRCS.
- Topsoiling is limited to areas having 2:1 or flatter slopes where:
  - The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
  - The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
  - The original soil to be vegetated contains material toxic to plant growth.
  - The soil is so acidic that treatment with limestone is not feasible.
- Areas having slopes steeper than 2:1 require special consideration and design.
- Topsoil Specifications:** Soil to be used as topsoil must meet the following criteria:
  - Topsoil must be a loam, sandy loam, clay loam, silt loam, sandy clay loam, or loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Topsoil must not be a mixture of contrasting textured subsoils and must contain less than 5 percent by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2 inches in diameter.
  - Topsoil must be free of noxious plants or plant parts such as Bermuda grass, quack grass, Johnson grass, nut sedge, poison ivy, thistle, or others as specified.
  - Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.
- Topsoil Application**
  - Erosion and sediment control practices must be maintained when applying topsoil.
  - Uniformly distribute topsoil in a 5 to 8 inch layer and lightly compact to a minimum thickness of 4 inches. Spreading is to be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations must be corrected in order to prevent the formation of depressions or water pockets.
  - Topsoil must not be placed if the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

## C. Soil Amendments (Fertilizer and Lime Specifications)

- Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas of 5 acres or more. Soil analysis may be performed by a recognized private or commercial laboratory. Soil samples taken for engineering purposes may also be used for chemical analyses.
- Fertilizers must be uniform in composition, free flowing and suitable for accurate application by appropriate equipment. Manure may be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers must all be delivered to the site fully labeled according to the applicable laws and must bear the name, trade name or trademark and warranty of the producer.
- Lime materials must be ground limestone (hydrated or burnt lime may be substituted except when hydroseeding) which contains at least 30 percent total oxides (calcium oxide plus magnesium oxide). Limestone must be ground to such fineness that at least 50 percent will pass through a #100 mesh sieve and 98 to 100 percent will pass through a #20 mesh sieve.
- Lime and fertilizer are to be evenly distributed and incorporated into the top 3 to 5 inches of soil by disking or other suitable means.
- Where the subsoil is either highly acidic or composed of heavy clays, spread ground limestone at the rate of 4 to 8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil.

## TEMPORARY SEEDING NOTES (B-4-4)

- Definition**  
To stabilize disturbed soils with vegetation for up to 6 months.
- Purpose**  
To use fast growing vegetation that provides cover on disturbed soils.
- Conditions Where Practice Applies**  
Exposed soils where ground cover is needed for a period of 6 months or less. For longer duration of time, permanent stabilization practices are required.
- Criteria**
- Select one or more of the species or seed mixtures listed in Table B.1 for the appropriate Plant Hardness Zone (from Figure B.3), and enter them in the Temporary Seeding Summary below along with application rates, seeding dates and seeding depths. If this Summary is not put on the plan and completed, then Table B.1 plus fertilizer and lime rates must be put on the plan.
  - For sites having soil tests performed, use and show the recommended rates by the testing agency. Soil tests are not required for Temporary Seeding.
  - When stabilization is required outside of a seeding season, apply seed and mulch or straw mulch alone as prescribed in Section B-4-3.A.1.b and maintain until the next seeding season.

Hardness Zone (from Figure B.3):	6b	Fertilizer Rate (10-20-20)	Lime Rate
Seed Mixture (from Table B.1):			
Species	Application Rate (lb/oc)	Seeding Dates	Seeding Depths
BARLEY	96	3/1 - 5/15, 8/15 - 10/15	1"
OATS	72		1"
RYE	112		1"

## PERMANENT SEEDING NOTES (B-4-5)

- ### A. Seed Mixtures
- General Use**
    - Select one or more of the species or mixtures listed in Table B.3 for the appropriate Plant Hardness Zone (from Figure B.3) and based on the site condition or purpose found on Table B.2. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The Summary is to be placed on the plan.
    - Additional planting specifications for exceptional sites such as shorelines, stream banks, or dunes or for special purposes such as wildlife or aesthetic treatment may be found in USDA-NRCS Technical Field Office Guide, Section 342 - Critical Area Planting.
    - For sites having disturbed area over 5 acres, use and show the rates recommended by the soil testing agency. d. For areas receiving low maintenance, apply urea form fertilizer (48-0-0) at 3 1/2 pounds per 1000 square feet (150 pounds per acre) at the time of seeding in addition to the soil amendments shown in the Permanent Seeding Summary.
  - Turfgrass Mixtures**
    - Areas where turfgrasses may be desired include lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance.
    - Select one or more of the species or mixtures listed below based on the site conditions or purpose. Enter selected mixture(s), application rates, and seeding dates in the Permanent Seeding Summary. The summary is to be placed on the plan.
      - Kentucky Bluegrass: Full Sun Mixture:** For use in areas that receive intensive management. Irrigation required in the areas of central Maryland and Eastern Shore. Recommended Certified Kentucky Bluegrass Cultivars Seeding Rate: 1.5 to 2.0 pounds per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
      - Kentucky Bluegrass/Perennial Rye: Full Sun Mixture:** For use in full sun areas where rapid establishment is necessary and when turf will receive medium to intensive management. Certified Perennial Ryegrass Cultivars/Certified Kentucky Bluegrass Seeding Rate: 2 pounds mixture per 1000 square feet. Choose a minimum of three Kentucky bluegrass cultivars with each ranging from 10 to 35 percent of the total mixture by weight.
      - Tall Fescue/Kentucky Bluegrass: Full Sun Mixture:** For use in drought prone areas and/or for areas receiving low to medium management in full sun to medium shade. Recommended mixture includes: Certified Tall Fescue Cultivars 95 to 100 percent, Certified Kentucky Bluegrass Cultivars 0 to 5 percent. Seeding Rate: 5 to 8 pounds per 1000 square feet. One or more cultivars may be blended.
      - Kentucky Bluegrass/Fine Fescue: Shade Mixture:** For use in areas with shade in Bluegrass lawns. For establishment in high quality, intensively managed turf area. Mixture includes: Certified Kentucky Bluegrass Cultivars 30 to 40 percent and Certified Fine Fescue and 60 to 70 percent. Seeding Rate: 1 1/2 to 3 pounds per 1000 square feet.
- Notes:**  
Select turfgrass varieties from those listed in the most current University of Maryland Publication, Agronomy Memo #77, "Turfgrass Cultivar Recommendations for Maryland"
- Choose certified material. Certified material is the best guarantee of cultivar purity. The certification program of the Maryland Department of Agriculture, Turf and Seed Section, provides a reliable means of consumer protection and assures a pure genetic line.
- Ideal Times of Seeding for Turf Grass Mixtures Western MD:** March 15 to June 1, August 1 to October 1 (Hardness Zones: 5b, 6c) Central MD: March 1 to May 15, August 15 to October 15 (Hardness Zone: 6b) Southern MD, Eastern Shore: March 1 to May 15, August 15 to October 15 (Hardness Zones: 7a, 7b)
  - Till areas to receive seed by disking or other approved methods to a depth of 2 to 4 inches, level and rake the areas to prepare a proper seedbed. Remove stones and debris over 1 1/2 inches in diameter. The resulting seedbed must be in such condition that future mowing of grasses will pose no difficulty.
  - If soil moisture is deficient, supply new seedlings with adequate water for plant growth (1/2 to 1 inch every 3 to 4 days depending on soil texture) until they are firmly established. This is especially true when seedlings are made late in the planting season, in abnormally dry or hot seasons, or on adverse sites.

Hardness Zone (from Figure B.3):	6b	Fertilizer Rate (10-20-20)	Lime Rate
Seed Mixture (from Table B.3):			
No. Species	Application Rate (lb/oc)	Seeding Dates	Seeding Depths
8	TALL FESCUE 100	Mar. 1-May 15 Aug. 15-Oct. 15	1/4-1/2 in.
			45 lbs. per acre (2 lb./1000 sf)
			90 lb./oc (2 lb./1000 sf)
			90 lb./oc (2 lb./1000 sf)
			2 tons/oc (90 lb./1000 sf)

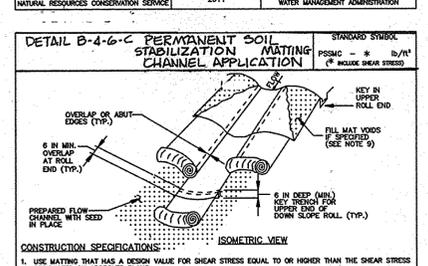
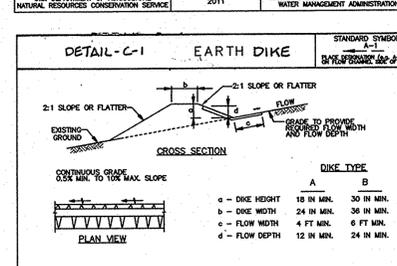
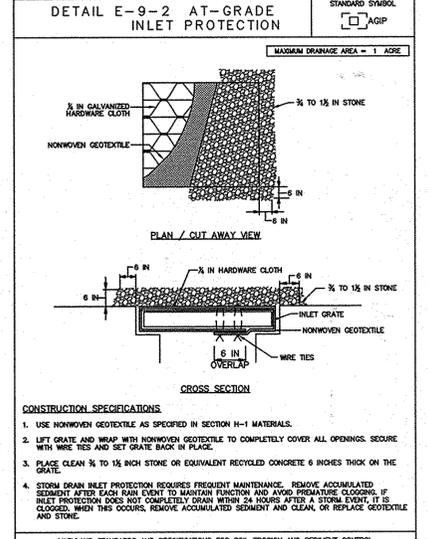
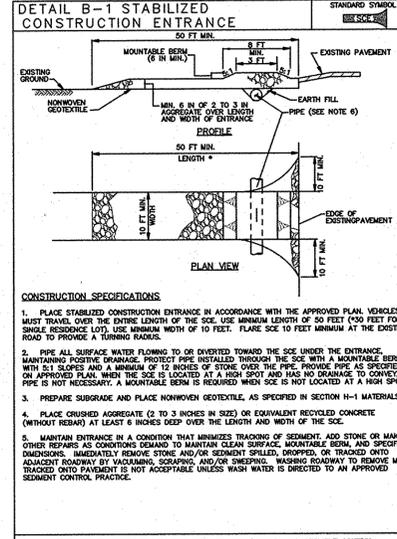
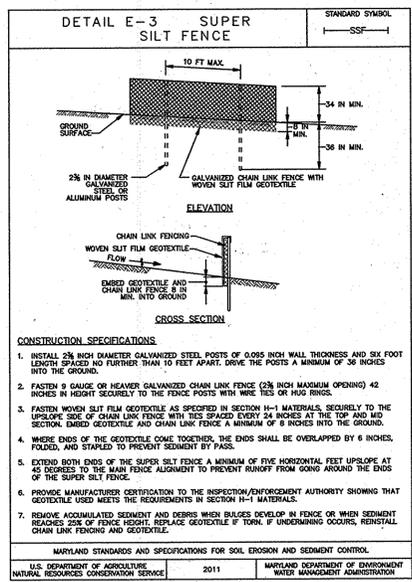
## HOWARD SOIL CONSERVATION DISTRICT STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: a) 3 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DICES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, b) 7 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING (SEC. B-4-5), TEMPORARY SEEDING (SEC. B-4-4) AND MULCHING (SEC. B-4-3). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:**

TOTAL AREA OF SITE	2,206 ACRES
AREA TO BE ROOFED OR PAVED	1,988 ACRES
AREA TO BE VEGETATIVELY STABILIZED	0.460 ACRES
TOTAL CUT	1,528 ACRES
TOTAL FILL	5,246 CU.YDS.
PURPOSE	1,570 CU.YDS.
OFFSITE WASTE/BORROW AREA LOCATION	N/A
- ANY SEDIMENT CONTROL PRACTICE THAT IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
- ANY CHANGES OR REVISIONS TO THE SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE PLAN APPROVAL AUTHORITY PRIOR TO PROCEEDING WITH CONSTRUCTION.
- A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGIN ON ONE GRADING UNIT (MAXIMUM ACREAGE OF 20 ACRES PER GRADING UNIT) AT A TIME, WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN STABILIZED AND APPROVED BY THE ENFORCEMENT AUTHORITY, UNLESS OTHERWISE SPECIFIED AND APPROVED BY THE APPROVAL AUTHORITY, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A GIVEN TIME.

## STANDARDS AND SPECIFICATIONS FOR STOCKPILE AREAS (B-4-6)

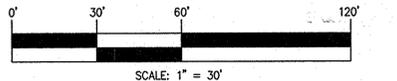
- Definition**  
A mound or pile of soil protected by appropriately designed erosion and sediment control measures.
- Purpose**  
To provide a designated location for the temporary storage of soil that controls the potential for erosion, sedimentation, and changes to drainage patterns.
- Conditions Where Practice Applies**  
Stockpile areas are utilized when it is necessary to salvage and store soil for later use.
- Criteria**
- The stockpile location and all related sediment control practices must be clearly indicated on the erosion and sediment control plan.
  - The footprint of the stockpile must be sized to accommodate the anticipated volume of material and based on a side slope ratio no steeper than 2:1. Benching must be provided in accordance with Section B-3 Land Grading.
  - Runoff from the stockpile area must drain to a suitable sediment control practice.
  - Access the stockpile area from the upgrade side.
  - Clear water runoff into the stockpile area must be minimized by use of a diversion device such as an earth dike, temporary swale or diversion fence. Provisions must be made for discharging concentrated flow in a non-erosive manner.
  - Where runoff concentrates along the top of the stockpile fill, an appropriate erosion/sediment control practice must be used to intercept the discharge.
  - Stockpiles must be stabilized in accordance with the 1/7 day stabilization requirement or as per Standard B-4-1 Incremental Stabilization and Standard B-4-4 Temporary Stabilization.
  - If the stockpile is located on an impervious surface, a liner should be provided below the stockpile to facilitate cleanup. Stockpiles containing contaminated material must be covered with impervious sheeting.
- Maintenance**  
The stockpile area must continuously meet the requirements for Adequate Vegetative Establishment in accordance with Section B-4 Vegetative Stabilization. Side slopes must be maintained at no steeper than a 2:1 ratio. The stockpile area must be kept free of erosion. If the vertical height of a stockpile exceeds 20 feet for 2:1 slopes, 30 feet for 3:1 slopes, or 40 feet for 4:1 slopes, benching must be provided in accordance with Section B-3 Land Grading.



## SEQUENCE OF CONSTRUCTION

- OBTAIN A GRADING PERMIT AND HOLD PRE-CONSTRUCTION MEETING WITH COUNTY INSPECTOR. (2 WEEKS)
- NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1350 AT LEAST 24 HOURS BEFORE STARTING WORK.
- INSTALL SILT FENCE AROUND INLET. CONSTRUCT CULVERT PIPE AND CONNECT TO EXISTING INLET. INSTALL THE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SUPER-SILT FENCE, INLET PROTECTION, AND EARTH DIKE. (3 DAYS)
- CLEAR AND GRUB TO THE LOD. (1 WEEK)
- INSTALL TEMPORARY SEEDING. (3 DAYS)
- CONSTRUCT BUILDING AND RETAINING WALLS. (4 MONTHS)
- FINE GRADE SITE AND INSTALL PERMANENT SEEDING. (2 WEEKS)
- ALL FINAL GRADES AND STABILIZATION SHOULD BE COMPLETED BEFORE ANY REMOVAL OF CONTROLS. WHEN ALL CONTRIBUTING AREAS TO THE SEDIMENT CONTROL DEVICES HAVE BEEN STABILIZED AND WITH THE PERMISSION OF THE SEDIMENT CONTROL INSPECTOR, THE SEDIMENT CONTROL DEVICES MAY BE REMOVED. (3 DAYS)

NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE EACH RAINFALL AND ON A DAILY BASIS.



FISHER, COLLINS & CARTER, INC.  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CONVENTIONAL SQUARE OFFICE PARK - 10772 BALDORNE NATIONAL PARK  
ELLIOTT CITY, MARYLAND 21042  
(410) 461-2855

NO.	REVISION	DATE
1	ADD BUILDER INFORMATION	5/9/14

**PROFESSIONAL CERTIFICATE**  
"I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

*Frank John Manalansan II*  
Signature of Professional FRANK JOHN MANALANSAN II 6/10/14 Date

**BUILDER'S CERTIFICATE**  
"I/We certify that all development and construction will be done according to this plan, for sediment and erosion control and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

*RYLAND HOMES, INC.*  
Signature of Builder RYLAND HOMES, INC. 6/10/14 Date

**OWNER/DEVELOPER**  
WINTERS LANE INVESTMENTS, LLC.  
C/O B. JAMES GREENFIELD  
6420 AUTUMN SKY WAY  
COLUMBIA, MARYLAND 21044  
410-324-4732

**BUILDER**  
RYLAND HOMES  
6240 OLD DOBBS LANE, SUITE 190  
COLUMBIA, MARYLAND 21045  
410-312-2648

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*John A. C. ...*  
Chief, Department of Planning and Zoning 7/22/14 Date

*John A. C. ...*  
Chief, Department of Engineering Division 6/25/14 Date

*John A. C. ...*  
Director - Department of Planning and Zoning 7/2/14 Date

PROJECT	SECTION	LOTS NO.
WINTER CREST	N/A	1 THRU 8

PLAT	BLOCK NO.	ZONE	TAX/ZONE	ELEC. DIST.	CENSUS TR.
22448 & 22449	15	R-12	38	1	6069.02

WATER CODE	SEWER CODE
C-02	7390000

REPLACEMENT SHEET  
SEDIMENT/EROSION CONTROL NOTES & DETAILS

SINGLE FAMILY DETACHED  
WINTER CREST

LOTS 1 THRU 8

TAX MAP NO.: 38 PARCEL NO.: 868 GRID NO.: 15  
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: NOT TO SCALE DATE: JUNE 16, 2014

SHEET 4 OF 4 SDP 13-035