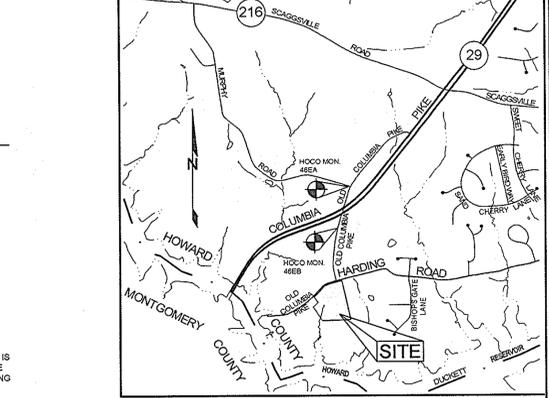


BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
46A	536,185.3768	1,338,091.677	414.42	SOUTHEAST SIDE OF INTERSECTION OF MURPHY RD & OLD COLUMBIA RD, 17' 9" SOUTH OF STOP SIGN
46B	534,750.2193	1,337,742.7618	412.56	SOUTH SIDE OF OLD COLUMBIA ROAD 0.15 MILES EAST OF THE NORTHBOUND SIDE OF RTE 29, 89 FT. EAST SOUTHEAST OF EGSE POLE #20447

- ### GENERAL NOTES
- THE SUBJECT PROPERTY IS ZONED R-20 PER THE 2010/14 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS EFFECTIVE 7/26/05.
 - GROSS AREA OF THE PROPERTY = 12,832 AC ±
 - AREA OF PLANNED SUBDIVISION = 12,832 AC ±
 - LIMIT OF DISTURBED AREA = 0.50 AC ± (23,124 S.F.)
 - EXISTING USE = RESIDENTIAL
 - PROPOSED USE = RESIDENTIAL
 - TOTAL NUMBER OF UNITS ALLOWED = 1
 - TOTAL NUMBER OF UNITS PROPOSED = 1
 - PREVIOUS HOWARD COUNTY FILE NUMBERS: W & S CONTR. #24-4274-D AND ECP-12-055.
 - BOUNDARY SHOWN HEREON IS BASED ON A DEED PLOTTING FROM L. 12020 F. 298, DATED JULY 23, 2009.
 - THE TOPOGRAPHY SHOWN HEREON HAS BEEN FIELD RUN BY SILL, ADCOCK & ASSOCIATES, LLC IN MARCH, 2012. THE EXISTING TOPOGRAPHY SHOWN OUTSIDE THE AREA OF DEVELOPMENT IS BASED ON HOWARD COUNTY AERIAL TOPOGRAPHY FLOWN IN 2004.
 - COORDINATES BASED ON NAD 83, MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 46EA AND NO. 46EB.
 - DENOTES APPROXIMATE CONTROL STATION LOCATION (SEE VICINITY MAP).
STATION 46EA N 536,185.3768 E 1,338,091.677 ELEV. 414.42
STATION 46EB N 534,750.2193 E 1,337,742.7618 ELEV. 412.56
 - THERE ARE NO WETLANDS, STREAMS, OR FOREST CONSERVATION AREAS WITHIN THE LIMIT OF DISTURBANCE. THERE IS A STREAM AND 75 FOOT STREAM BUFFER EXISTING ON THIS PARCEL, OUTSIDE THE LIMIT OF DISTURBANCE. THERE ARE NO FLOODPLAINS OR CEMETERIES LOCATED ON-SITE. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED STREAMS OR THEIR BUFFERS.
 - THIS SITE IS WITHIN A MARYLAND STATE ENVIRONMENT TRUST EASEMENT. APPROVAL FOR THIS PROPOSED DEVELOPMENT HAS BEEN OBTAINED.
 - STORMWATER MANAGEMENT FOR THIS PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUMES I AND II, AS AMENDED BY THE MARYLAND STORMWATER ACT OF 2007.
 - DEED REFERENCE: LIBERTY #4 (1984) FOLIO 499.
 - EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
 - THE EXISTING HOUSE ON THIS PROPERTY (WHICH IS BEING REMOVED) IS CURRENTLY ON WELL & SEPTIC. THIS PROPERTY IS NOW WITHIN THE METROPOLITAN DISTRICT AND WILL UTILIZE THE EXISTING WATER AND SEWER IN OLD COLUMBIA ROAD. THIS EXISTING WATER & SEWER CONTRACT NO. IS 24-4274-D. THE EXISTING WELL AND SEPTIC MUST BE ABANDONED AS DIRECTED BY THE HEALTH DEPT.
 - STORMWATER MANAGEMENT PRACTICES DESIGNED AND REPRESENTED ON THIS PLAN ARE ONLY FOR IMPROVEMENTS PROPOSED ON THIS PLAN.
 - FOREST CONSERVATION HAS BEEN ADDRESSED BY OBTAINING APPROVAL OF A DECLARATION OF INTENT FOR SINGLE RESIDENTIAL LOT EXEMPTION FOR CLEARING LESS THAN 20,000 SQUARE FEET OF FOREST.
 - THIS PROPERTY IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/20/03 PER PUBLIC BILL 75-2003.
 - PUBLIC WATER AND SEWER WILL BE USED WITHIN THIS SITE. PUBLIC WATER AND SEWER SERVICE WILL BE PROVIDED BY CONTRACT NO. 24-4274-D.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
STATE HIGHWAY ADMINISTRATION 410.531.5533
BOE (CONTRACTOR SERVICES) 410.850.4620
BOLINGERGROUND DAMAGE CONTROL 410.787.2698
MISS UTILITY 1.800.257.7777
COLONIAL PIPELINE COMPANY 410.795.1300
HOWARD COUNTY, DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410.513.4000
HOWARD COUNTY HEALTH DEPARTMENT 410.513.2640
AT&T 1.800.252.1133
VERIZON 1.800.743.0033 OR 410.224.5210
 - THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING PERFORMED.
 - ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 315-1898 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MARYLAND STATE HIGHWAY AUTHORITY STANDARDS AND SPECIFICATIONS IF APPLICABLE.
 - THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
 - ALL HDPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
 - SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE SOIL RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON TEST, PRIOR TO CONSTRUCTION.
 - ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
 - ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 - IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
 - DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-608.
 - DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
1) WIDTH - 12 FEET
2) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM)
3) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS.
4) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (HS-20 LOADING)
5) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
6) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
 - A DESIGN WAIVER FOR A PRESSURE SEWER SERVICE WAS GRANTED ON 07/02/2012 BY HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 - NO GRAVITY SEWER SERVICE, SEWER SERVICE TO BE PROVIDED BY A PRIVATE ON-SITE PUMP AND PRIVATE LOW PRESSURE SEWER TO BE DESIGNED BY OTHERS.
 - WATER HOUSE CONNECTIONS ARE TO BE 1.5" IN DIAMETER, TO ACCOMMODATE SPRINKLER SYSTEMS THAT ARE REQUIRED AS OF JANUARY 1, 2011.
 - HARDING ROAD IS DESIGNATED AS A SCENIC ROAD. THIS SITE DEVELOPMENT PLAN MEETS THE REQUIREMENTS OF SECTION 112 OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS FOR PROTECTION OF SCENIC ROADS.
 - THE DEPARTMENT OF PLANNING AND ZONING HAS DETERMINED THAT LANDSCAPING IS NOT REQUIRED FOR THIS PROJECT BECAUSE NO NEW LOTS ARE BEING CREATED AND THE PROPOSED DWELLING IS BEING PLACED OVER TOP OF THE EXISTING HOME'S FOOTPRINT.



HOWARD COUNTY, MARYLAND ADC MAP 5552, GRID D10
VICINITY MAP
SCALE: 1"=2000'

LEGEND

EXISTING CONTOUR	---
PROPOSED CONTOUR	---
EXISTING SPOT ELEVATION	82.5
PROPOSED SPOT ELEVATION	82.5
DIRECTION OF FLOW	---
EXISTING TREELINE	---
EXISTING TREES	---
PROPOSED BIORETENTION	---
EXISTING SLOPES 15% OR GREATER	---
PROPOSED ROOF LEADER (4" PVC TYP. WITH DOWNSPOUT)	---
STREAM BUFFER	SB

NOTE: ALL ROOFTOP DRAINAGE MUST BE CONVEYED TO THE BIORETENTION FACILITY.

SEWER HOUSE CONNECTION SCHEDULE

PARCEL #	INVERT @ MAIN	INVERT @ RW	MIN. CELLAR ELEV.
1	364.39	392.80	N/A

ADDRESS CHART

LOT	STREET ADDRESS
PARCEL 47	11497 HARDING ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	PARCEL #
N/A	N/A	47

DEED	GRID #	ZONING	TAX MAP #	ELECT. DIS.	CENSUS TRACT
L. 14134 F. 497	9	R-20	46	6	6068.02

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA	PRESENT ZONING
12,832 AC ±	0.81 AC	0.81 AC	R-20

PROPOSED USE	FLOOR SPACE PER USE	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED
SFD	N/A	1	1

MAX. # EMPLOYEES/TENANTS	PARKING SPACES REQ.	PARKING SPACES PROV.	HC SPACES PROVIDED
N/A	2	4	N/A

OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	REC. O.S. REQUIRED	REC. O.S. PROVIDED
N/A	N/A	N/A	N/A

BUILDING COVERAGE	FLOOR AREA RATIO	DPZ FILE REFERENCES
0.7%	N/A	SEE GENERAL NOTE #3

SHEET INDEX

SHEET NO.	DESCRIPTION
1	SITE DEVELOPMENT PLAN
2	SEDIMENT & EROSION CONTROL AND STORMWATER MANAGEMENT PLAN
3	SEDIMENT & EROSION CONTROL NOTES & DETAILS

SITE DEVELOPMENT PLAN

WHITTINGHAM PROPERTY

SINGLE FAMILY DETACHED DWELLING
LIBER 14134, FOLIO 497

TAX MAP 46 GRID 9 ELECTION DISTRICT 6 PARCEL 47 HOWARD COUNTY, MARYLAND

Sill · Adcock & Associates · LLC
Engineers · Surveyors · Planners
3300 North Ridge Road, Suite 160
Ellicott City, Maryland 21043
Phone: 443.325.7682 Fax: 443.325.7685
Email: info@silladcock.com

DESIGN BY:
DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN
DATE: OCTOBER 9, 2012
PROJECT #: 12-007
SHEET # of

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33225, EXPIRATION DATE: JUNE 20, 2013

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/31/12
CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE

[Signature] 11/01/12
CHIEF, DIVISION OF LAND DEVELOPMENT, DATE

[Signature] 11/21/12
DIRECTOR, DATE

NO.	DESCRIPTION

