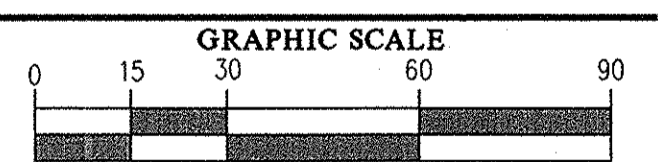




**SITE DEVELOPMENT LEGEND**

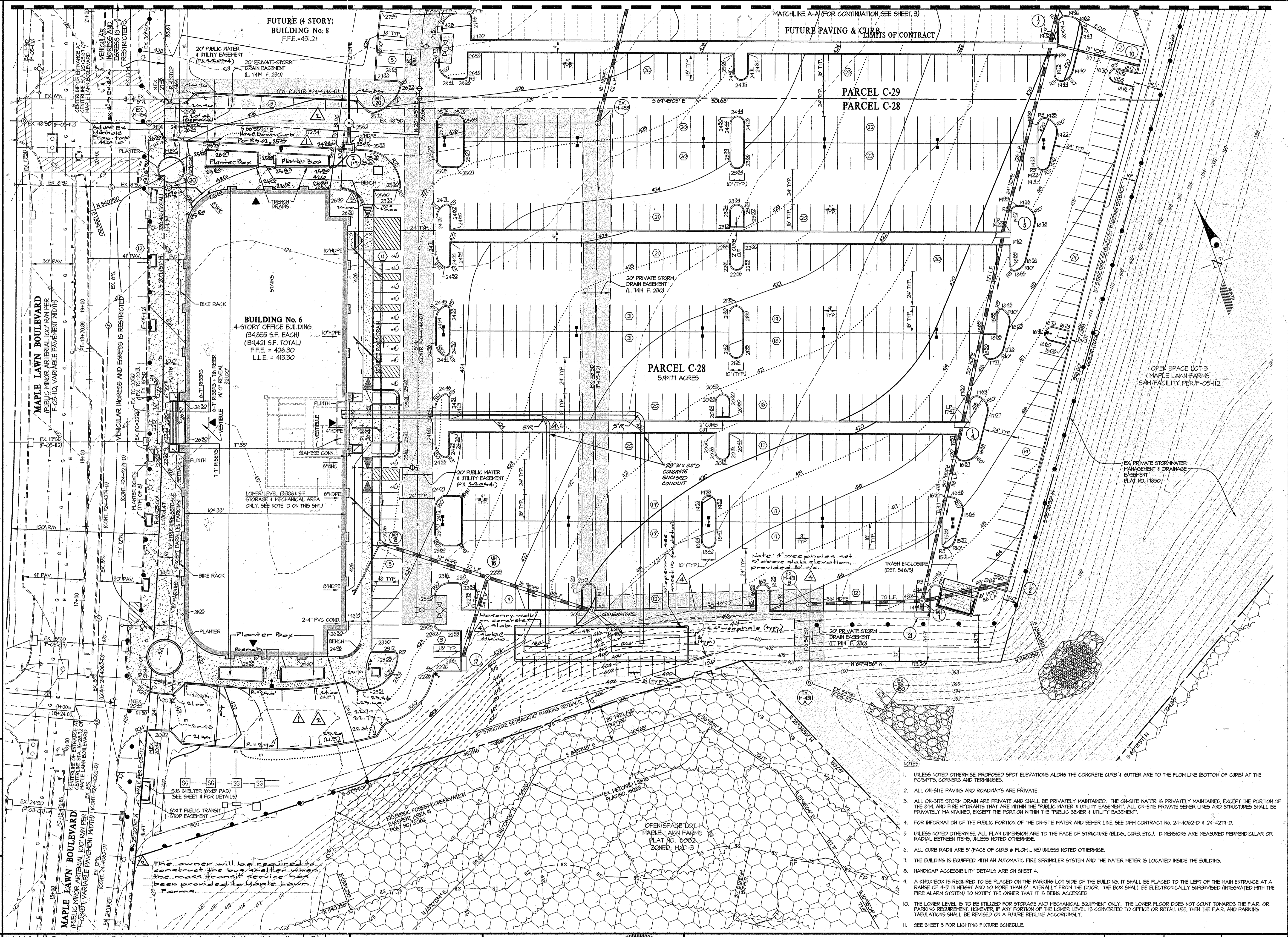
- 366 --- EXISTING CONTOUR
- 294 --- PROPOSED ODD CONTOUR
- 300 --- PROPOSED CONTOUR
- 63.4L PROPOSED SPOT ELEVATION
- MEX. MATCH EXISTING
- LIMIT OF DISTURBANCE
- E.O.P. PROPOSED EDGE OF PAVING
- EX M-50 EXISTING STORM DRAIN
- EX M - EXISTING MANHOLE
- EX ES - EXISTING END SECTION
- PROPOSED STORM DRAIN
- M - MANHOLE
- I - INLET
- S - STUB
- FUTURE STORM DRAIN
- M - MANHOLE
- I - INLET
- S - STUB
- EX ES-5 EXISTING SANITARY SEWER
- 8" (priv.) PROPOSED SANITARY SEWER (PRIVATE)
- EX 8" M. WATERLINE (PUBLIC)
- EX 8" M. WATERLINE (PRIVATE)
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- EXISTING CURB & GUTTER
- CONCRETE CURB & GUTTER (DET. US)
- FACE OF CURB
- PT/PC
- BACK OF CURB
- SPILL (REVERSE) 6/4 G. PORTION
- CONCRETE SIDEWALK PER HO. CO. DET. R-3.05
- EASEMENT AREA (SHADED)
- NUMBER OF PARKING SPACES
- HANDICAPPED PARKING DESIGNATION
- EX. LIGHT FIXTURE 4 POLE
- PROP. LIGHT FIXTURES 4 POLE
- REFUSE DUMPSTER
- ELECTRICAL TRANSFORMER
- BUILDING INGRESS/EGRESS
- SOIL BORING LOCATION AND NO.
- FOREST CONSERVATION ESMT. (FCE)
- LIMIT OF WETLAND
- WETLAND AREA
- W.B. WETLAND BUFFER
- S.B. STREAM BUFFER
- F.P. FLOODPLAIN BUFFER
- T. TRANSFORMER
- SW. SWITCH GEAR
- T. TELEPHONE LINE
- E. ELECTRIC LINE
- G. GAS LINE



APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: Frank J. Loyalk 6/21/12  
 Chief, Division of Land Development: Ket Shubert 6/21/12  
 Chief, Development Engineering Division: Bill... 6/21/12

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186



- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE POINTS, CORNERS AND TERMINUSES.
  2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
  3. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE 8" M. AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT".
  4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPM CONTRACT NO. 24-4062-D 1 24-4271-D.
  5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
  6. ALL CURB RADI ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
  7. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING.
  8. HANDICAP ACCESSIBILITY DETAILS ARE ON SHEET 4.
  9. A KNOX BOX IS REQUIRED TO BE PLACED ON THE PARKING LOT SIDE OF THE BUILDING. IT SHALL BE PLACED TO THE LEFT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED (INTEGRATED WITH THE FIRE ALARM SYSTEM) TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED.
  10. THE LOWER LEVEL IS TO BE UTILIZED FOR STORAGE AND MECHANICAL EQUIPMENT ONLY. THE LOWER FLOOR DOES NOT COUNT TOWARDS THE F.A.R. OR PARKING REQUIREMENTS; HOWEVER, IF ANY PORTION OF THE LOWER LEVEL IS CONVERTED TO OFFICE OR RETAIL USE, THEN THE F.A.R. AND PARKING TABULATIONS SHALL BE REVISED ON A FUTURE REDLINE ACCORDINGLY.
  11. SEE SHEET 3 FOR LIGHTING FIXTURE SCHEDULE.

DATE	REVISION	BY	APP'R.
11/14/12	Revise curb line, Relocate Planters & Inlet, & Revise limit of sidewalk	DEJ	
03-27-13	Revise parallel parking & landscape. Add note for bus shelter.	DEJ	
01-15-15	Revise parking & sidewalk to accommodate loading area.	DEJ	
12-04-15	ADDED GENERATOR PAD WITH GRADING CONDUITS AND TRANSFORMER PAD	HKJ	

PREPARED FOR:  
 OWNER: MAPLE LAWN FARMS  
 C.C. STATUTORY TRUST  
 1829 RISTERTOWN ROAD  
 SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-104-4400  
 ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23275  
 EXPIRATION DATE: MAY 26, 2014



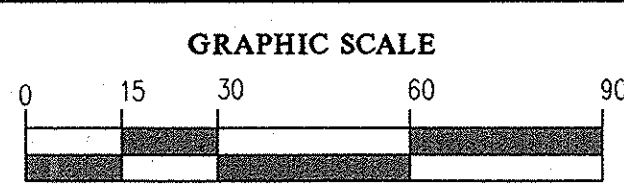
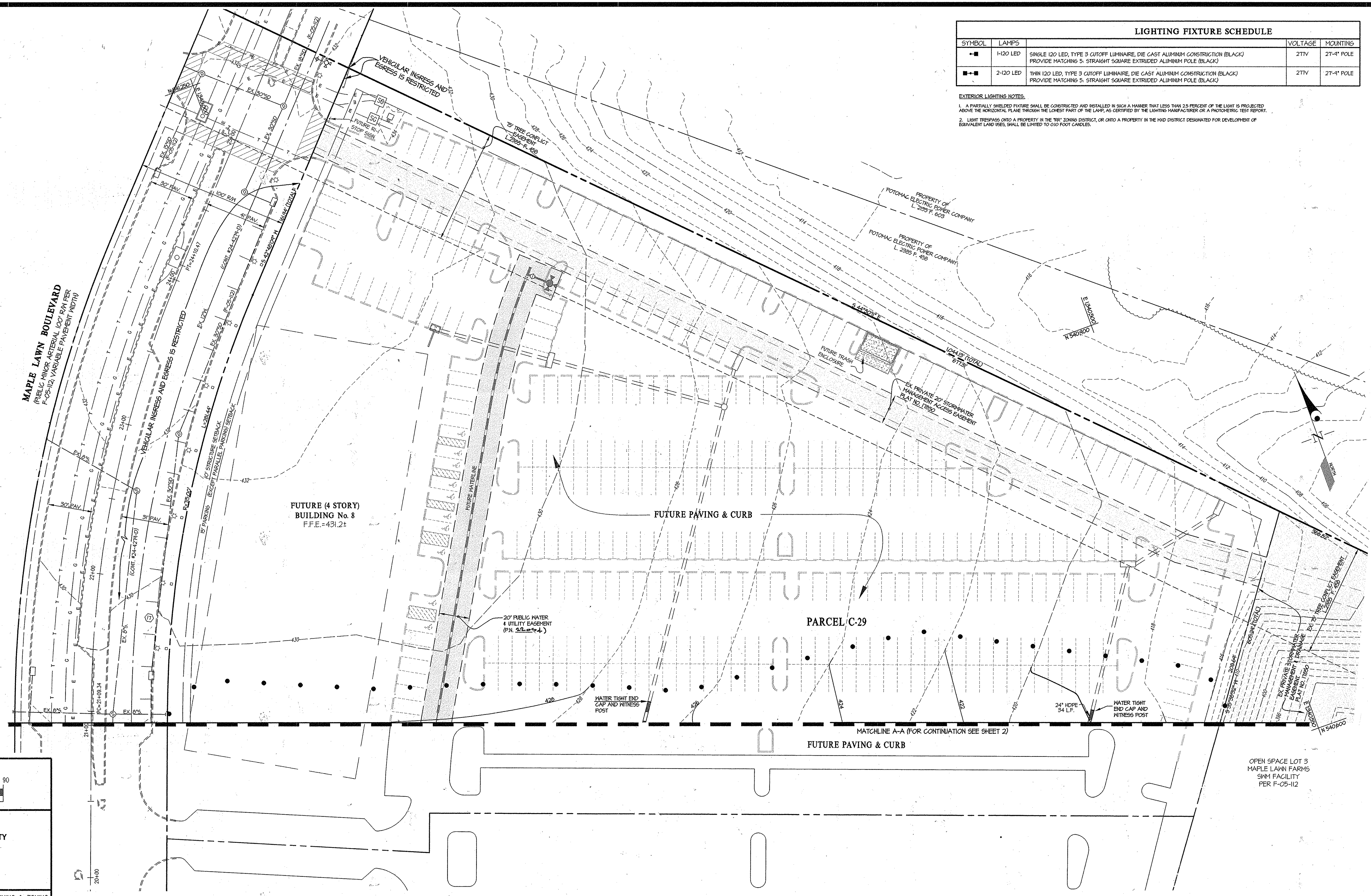
**SITE DEVELOPMENT PLAN**  
**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 22-022 - 22-024  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 30'	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
AUGUST, 2012	46: 3&4	2 OF 12

LIGHTING FIXTURE SCHEDULE				
SYMBOL	LAMPS		VOLTAGE	MOUNTING
■	1-120 LED	SINGLE 120 LED, TYPE 3 CUTOFF LUMINAIRE, DIE CAST ALUMINUM CONSTRUCTION (BLACK) PROVIDE MATCHING 5" STRAIGHT SQUARE EXTRUDED ALUMINUM POLE (BLACK)	277V	27'-4" POLE
■	2-120 LED	TWIN 120 LED, TYPE 3 CUTOFF LUMINAIRE, DIE CAST ALUMINUM CONSTRUCTION (BLACK) PROVIDE MATCHING 5" STRAIGHT SQUARE EXTRUDED ALUMINUM POLE (BLACK)	277V	27'-4" POLE

EXTERIOR LIGHTING NOTES:

- A PARTIALLY SHIELDED FIXTURE SHALL BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 25 PERCENT OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP, AS CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTOGRAPHIC TEST REPORT.
- LIGHT TRESPASS ONTO A PROPERTY IN THE "R" ZONING DISTRICT, OR ONTO A PROPERTY IN THE MD DISTRICT DESIGNATED FOR DEVELOPMENT OF EQUIVALENT LAND USES, SHALL BE LIMITED TO 0.10 FOOT CANDLES.



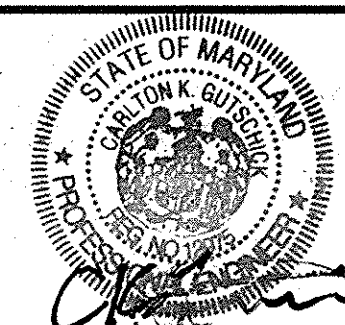
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: Mark H. Goggin Date: 8/2/12  
 Chief, Division of Land Development: [Signature] Date: 8/2/12  
 Chief, Development Engineering Division: [Signature] Date: 8/2/12

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

PREPARED FOR:  
 OWNER: MAPLE LAWN  
 C.C. STATUTORY TRUST  
 1829 RISTERSTOWN ROAD  
 SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-484-4400  
 ATTN: MARK BENNETT

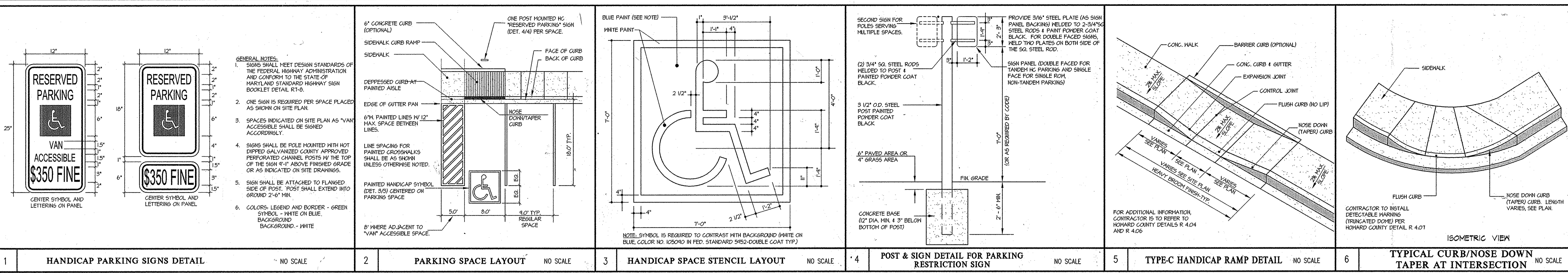
PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2014  
8-13-12



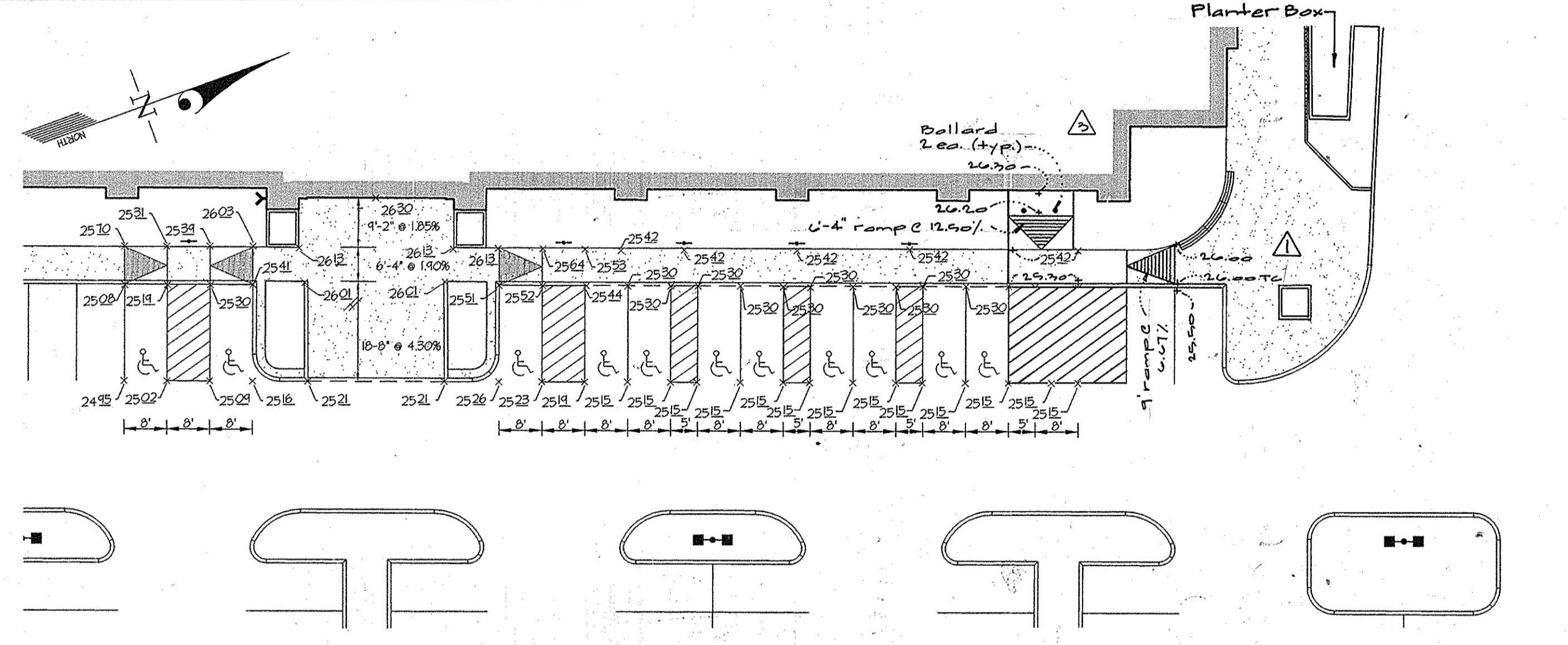
SITE DEVELOPMENT PLAN  
**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 22-072-22-074

SCALE 1" = 30'	ZONING MXD-3	G. L. W. FILE No. 11095
DATE AUGUST, 2012	TAX MAP - GRID 46: 3&4	SHEET 3 OF 12

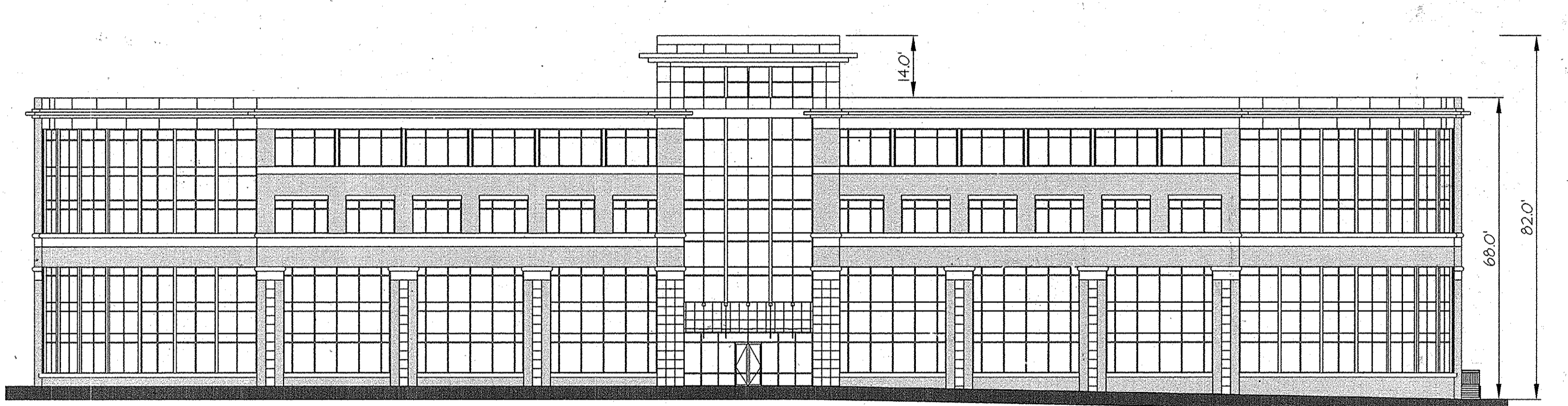
DATE	REVISION	BY	APPR.



1 HANDICAP PARKING SIGNS DETAIL NO SCALE 2 PARKING SPACE LAYOUT NO SCALE 3 HANDICAP SPACE STENCIL LAYOUT NO SCALE 4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE 5 TYPE-C HANDICAP RAMP DETAIL NO SCALE 6 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE

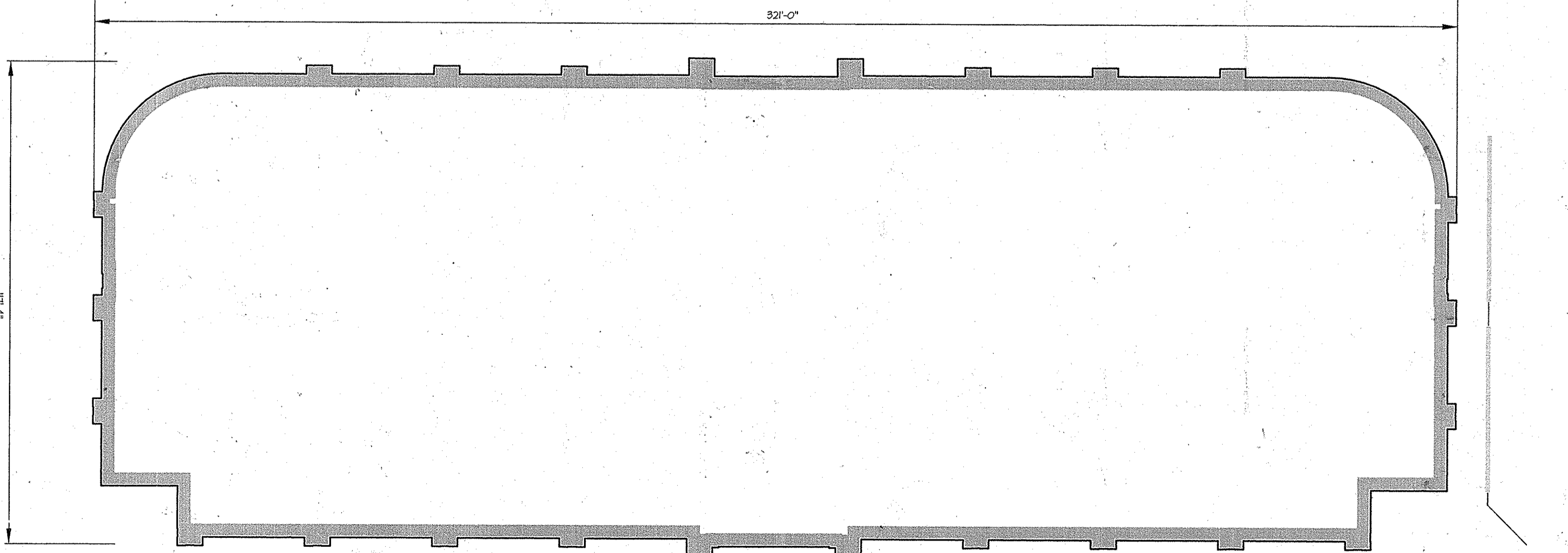


HANDICAP ACCESSIBILITY DETAILS for BUILDING No. 6 SCALE: 1" = 20'



BUILDING No. 6 (PARCEL C-28)  
BUILDING ELEVATIONS  
SCALE: 1" = 20'

Elevation shown is from street side of building



BUILDING No. 6 (PARCEL C-28)  
BUILDING FOOTPRINT  
SCALE: 1" = 20'

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Mark K. Long* 8/24/12  
Chief, Division of Land Development: *Kevin Shuler* 8/24/12  
Chief, Development Engineering Division: *Mark Bennett* 8/22/12

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11/14/12	Revised curb line, relocate planters and inlet, and revise limits of sidewalk	JK	
01/15/13	Revise parking in sidewalk to accommodate loading area	PEV	

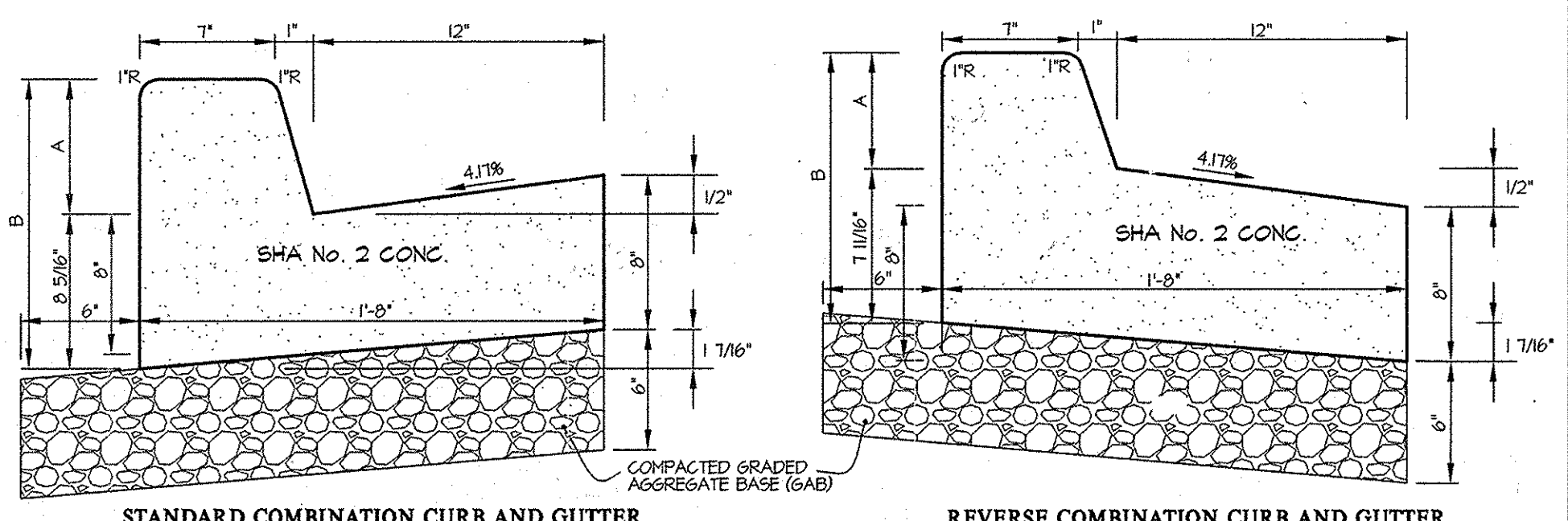
PREPARED FOR:  
OWNER: MAPLE LAWN  
C.C. STATUTORY TRUST  
1929 RIVERSIDE ROAD  
SUITE 300  
BALTIMORE, MD 21208  
PH: 410-634-9400  
ATN: MARK BENNETT

DEVELOPER:  
ST. JOHN PROPERTIES  
2550 LORD BALTIMORE DR.  
BALTIMORE, MD 21244  
PH: 410-788-0100  
ATN: ANDREW ROURD

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12375  
EXPIRATION DATE: MAY 26, 2014  
8-13-12 *Mark Bennett*

HANDICAP ACCESSIBILITY / SITE DETAILS		
SCALE AS SHOWN	ZONING MXD-3	G. L. W. FILE No. 11095
DATE AUGUST, 2012	TAX MAP - GRID 46: 3&4	SHEET 4 OF 13

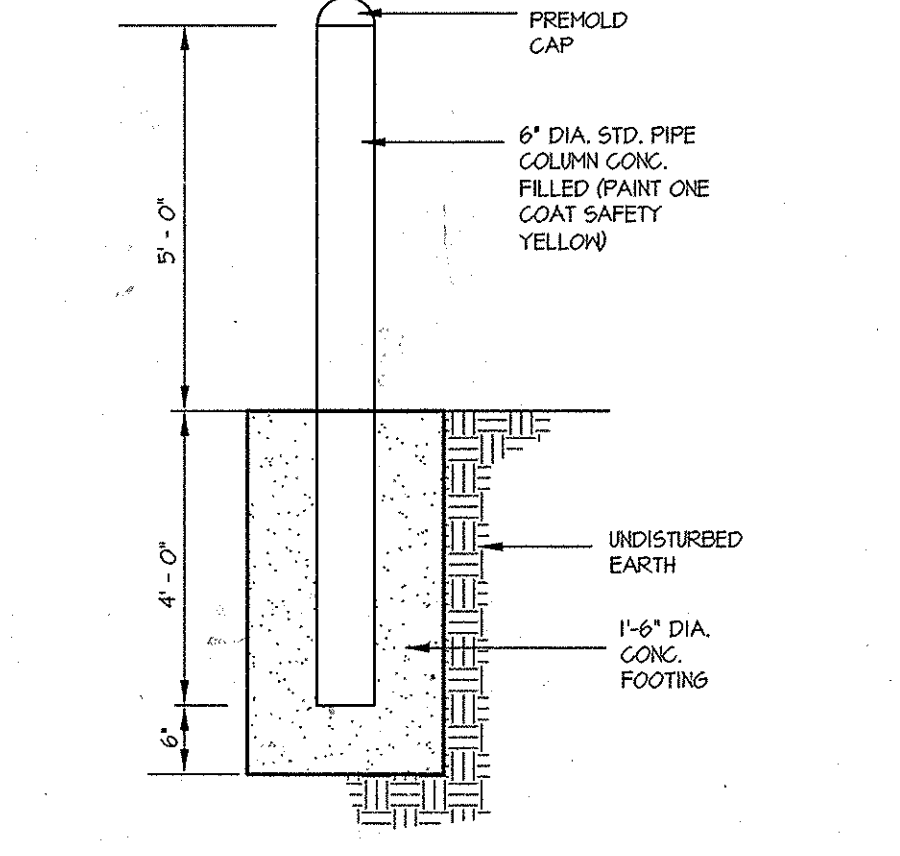
Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail)  
PLAT Nos. 22502-22504  
HOWARD COUNTY, MARYLAND  
ELECTION DISTRICT No. 5



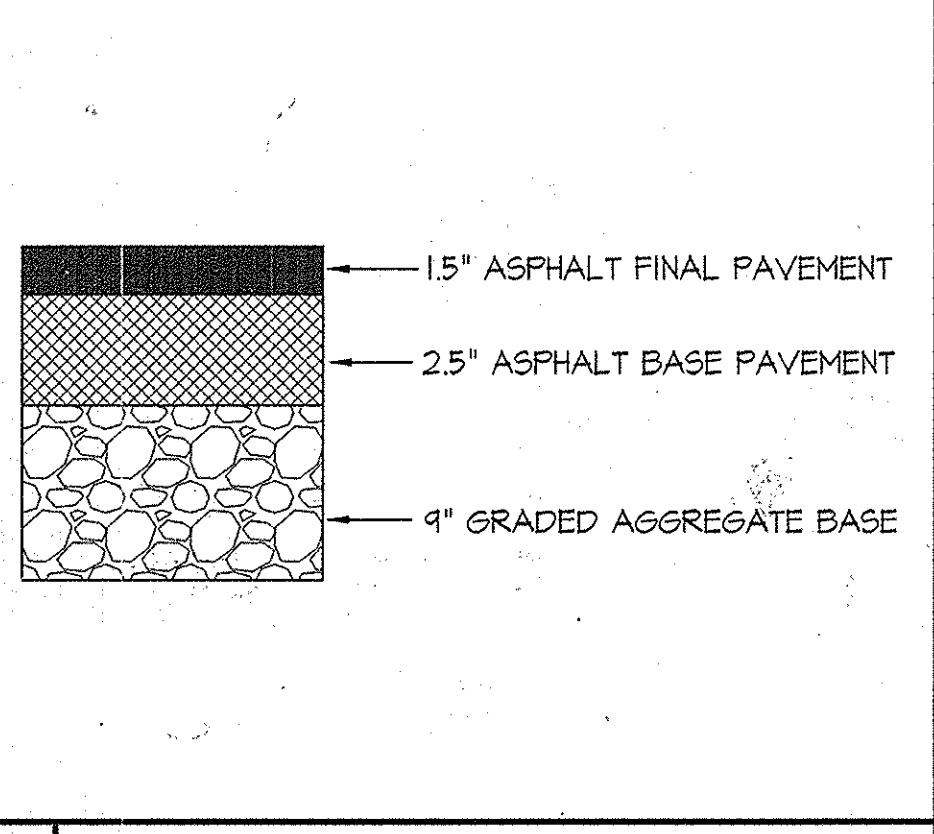
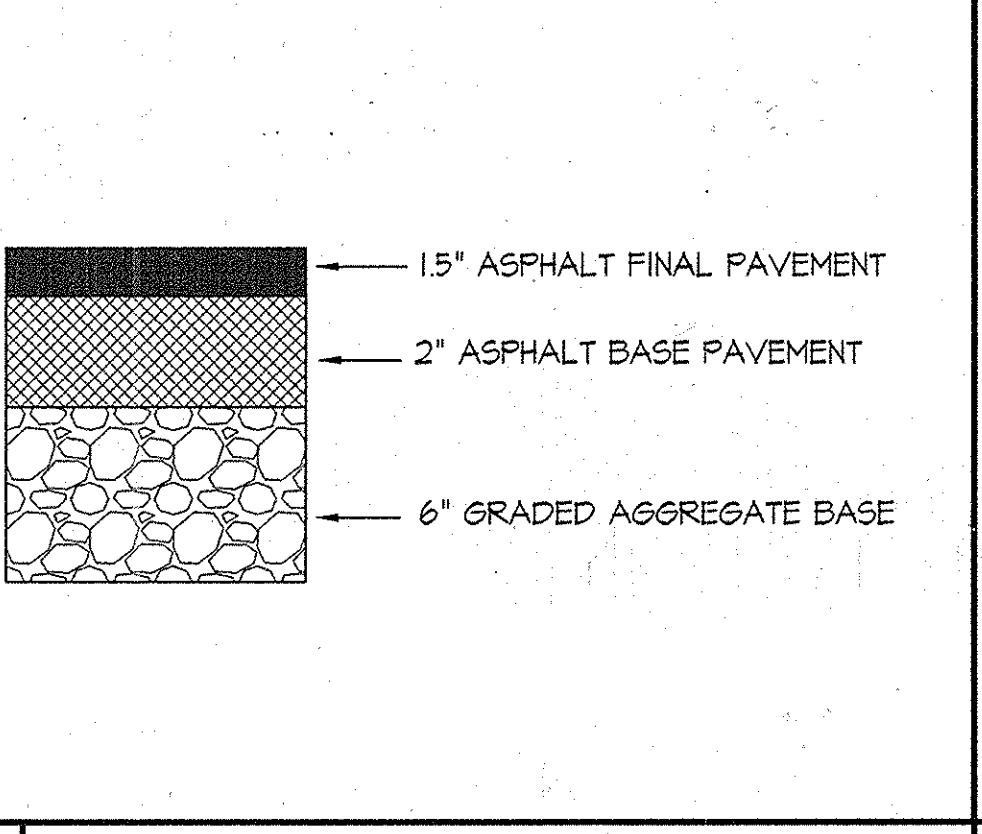
**NOTES:**

- 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
- UNLESS NOTED OTHERWISE, ALL ON-SITE CURB & GUTTER SHALL BE 6" HIGH. CURB & GUTTER IN PUBLIC R.O.M. SHALL BE 7"-TYPE.
- STANDARD CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES TOWARDS THE CURB & GUTTER. REVERSE CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES AWAY FROM THE CURB & GUTTER.

CURB TYPE	A	B
6"	6"	1'-2 5/16"
7"	7 3/16"	1'-3 1/2"

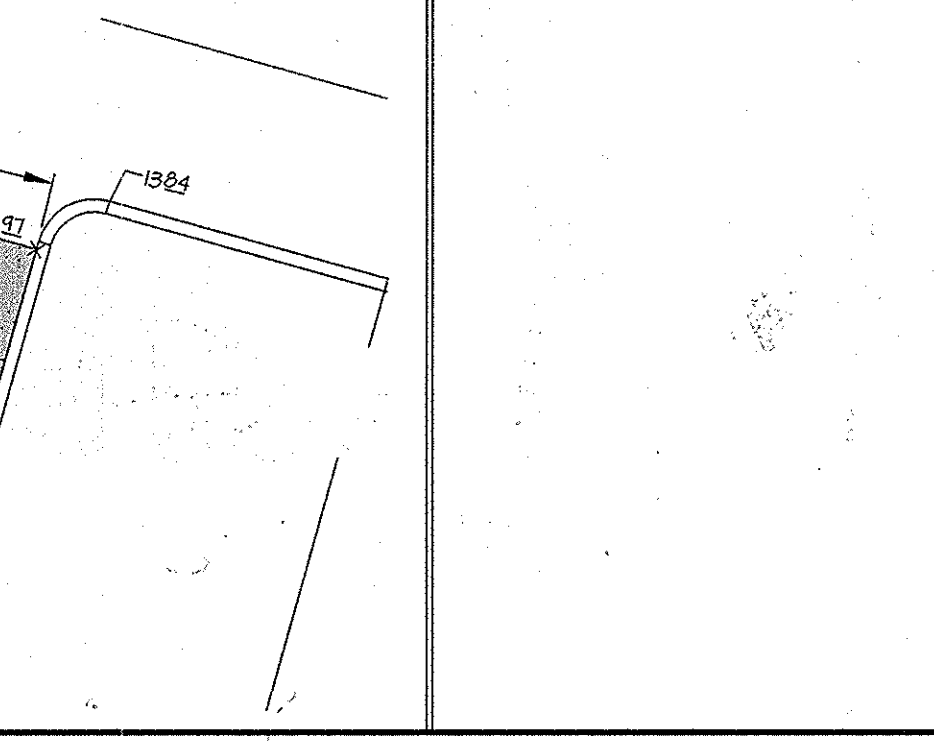
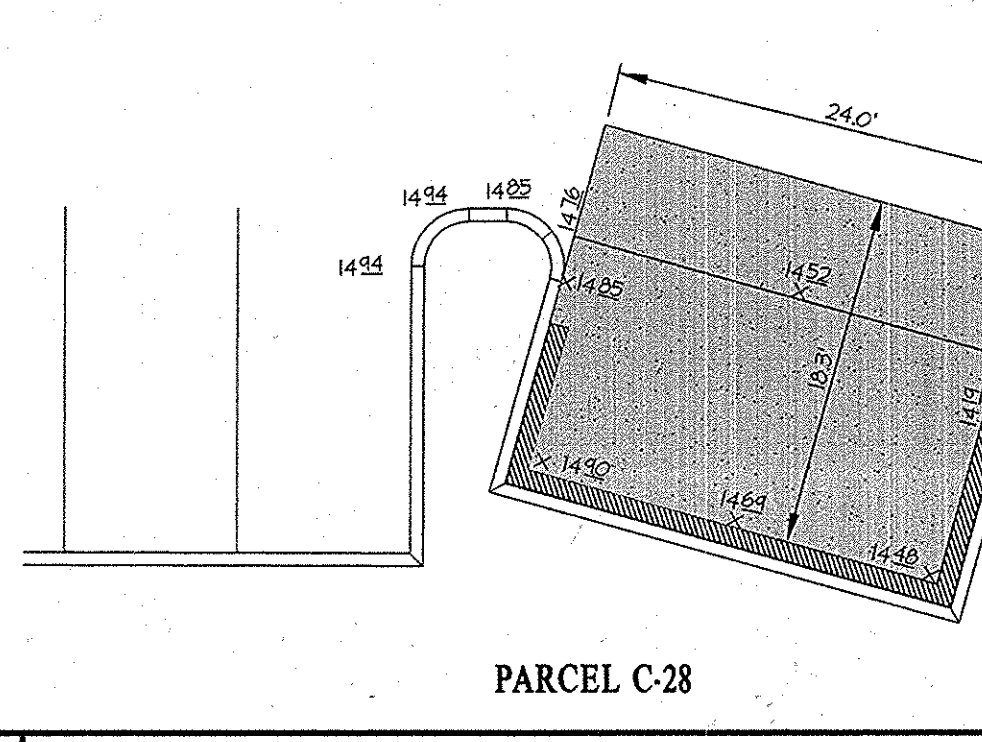


**2 BOLLARD DETAIL** NO SCALE



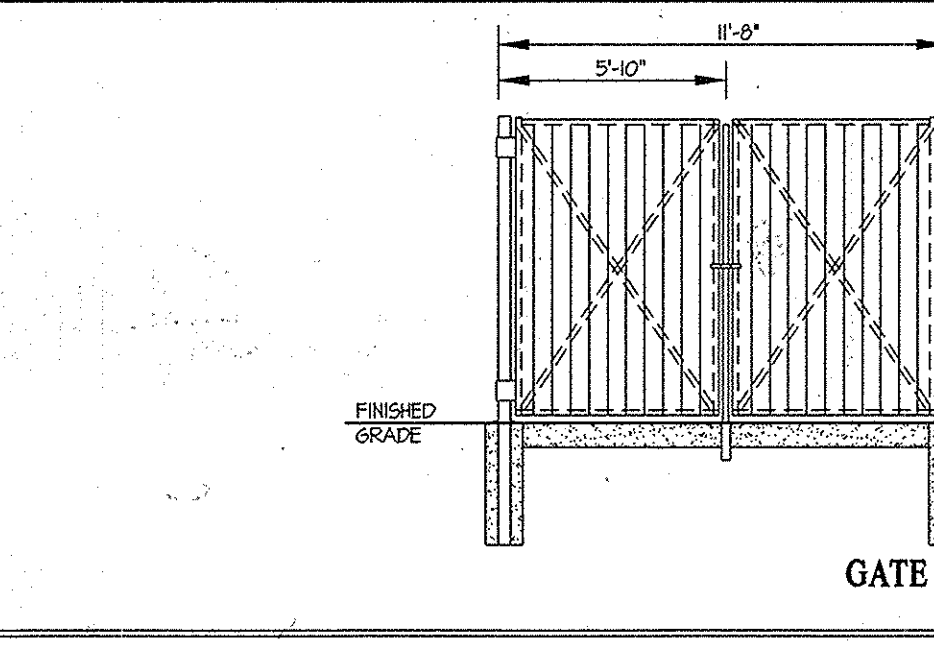
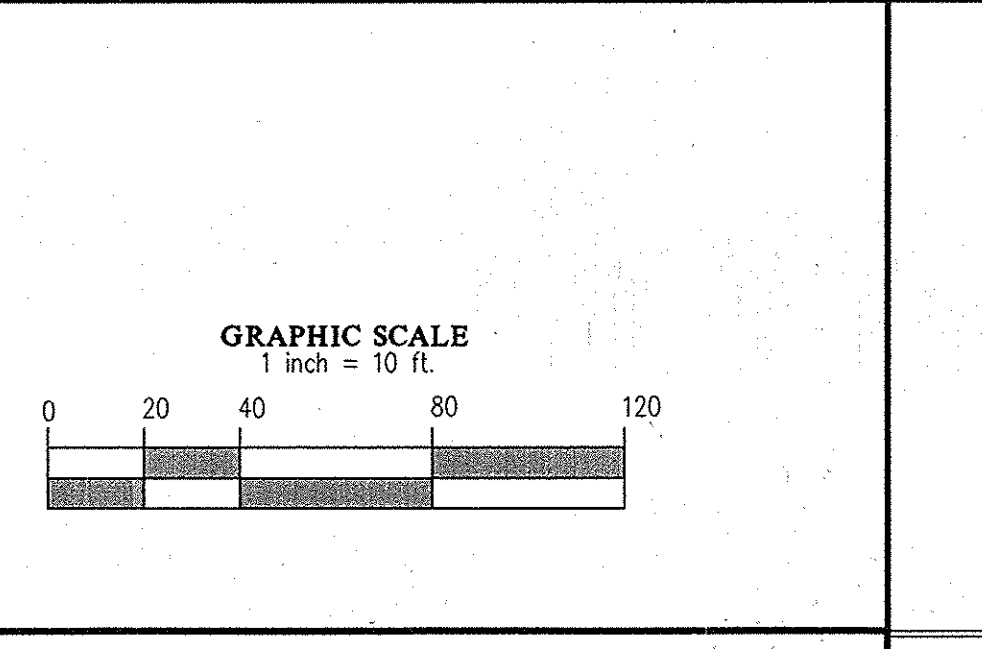
**3 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE)** NO SCALE

**4 BOLLARD DETAIL** NO SCALE

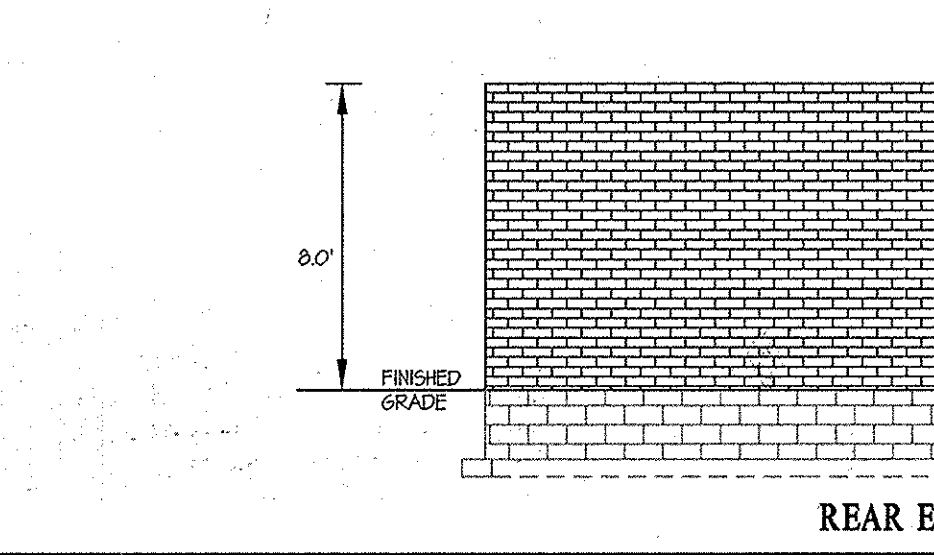


**3 VEHICULAR PAVING SECTIONS**

**4 HEAVY DUTY PAVING SECTION** NO SCALE



**5 TRASH ENCLOSURE DETAILS** SCALE: 1" = 10'



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David H. Cuyler* 1/24/12  
 Director Date

*Walt Swadlow* 8/24/12  
 Chief, Division of Land Development Date

*Andrew R. Bennett* 8/20/12  
 Chief, Development Engineering Division Date

**6 GATE DETAIL and REAR ELEVATION FOR TRASH ENCLOSURES** NO SCALE

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
11/14/12	Revise Curbline, Relocate Planters & Inlet, & Revise Limits of Sidewalk	ST	
03/27/13	Revise parallel parking at entrances & paving limits	DEW	

**PREPARED FOR:**

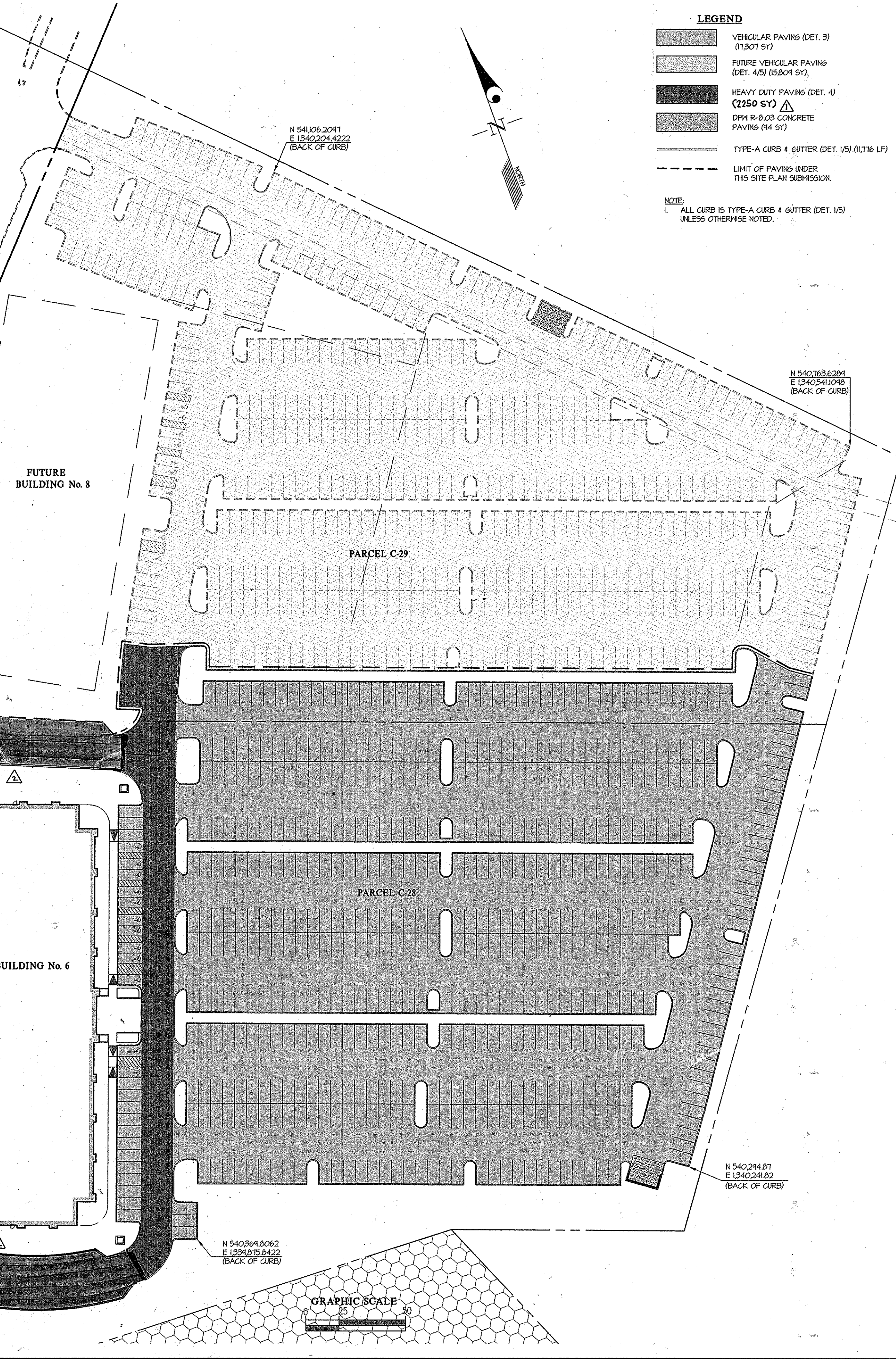
OWNER:  
 MAPLE LAWN FARMS  
 C.C. STATUTORY TRUST  
 1829 RISTERTOWN ROAD  
 SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-434-3400  
 ATTN: MARK BENNETT

DEVELOPER:  
 ST. JOHN PROPERTIES  
 2560 LORD BALTIMORE DR.  
 BALTIMORE, MD 21244  
 PH: 410-788-0100  
 ATTN: ANDREW ROUD

**PROFESSIONAL CERTIFICATION**

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275, EXPIRATION DATE: MAY 26, 2014.

*Andrew R. Bennett* 8-13-12



**PAVING DELINEATION PLAN** SCALE: 1" = 50'

**PAVING DELINEATION PLAN and SITE DETAILS**

**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 22-02-22-00-4

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	11095

DATE	TAX MAP - GRID	SHEET
AUGUST, 2012	46: 3&4	5 OF 17

HOWARD COUNTY, MARYLAND

**LEGEND**

- VEHICULAR PAVING (DET. 3) (1130T 51')
- FUTURE VEHICULAR PAVING (DET. 4) (15204 51')
- HEAVY DUTY PAVING (DET. 4) (2250 51')
- DPM R-0.03 CONCRETE PAVING (14 51')
- TYPE-A CURB & GUTTER (DET. 1/5) (1,176 LF)
- LIMIT OF PAVING UNDER THIS SITE PLAN SUBMISSION

**NOTE:**  
 1. ALL CURB IS TYPE-A CURB & GUTTER (DET. 1/5) UNLESS OTHERWISE NOTED.

**SEQUENCE OF CONSTRUCTION**

1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING PERMIT AT THE MEETING (1 DAY).
2. INSTALL STABILIZED CONSTRUCTION ENTRANCE CLEAN WATER DIVERSION AND PERIMETER SUPER SILT FENCE (1 WEEK).
3. CONTRACTOR IS TO PLACE AND SECURE FILTER FABRIC OVER THE GABION WALL BETWEEN THE FORBAY AND THE POND TO ACT AS A SEDIMENT TRAP. (2 DAYS)
4. INSTALL STORM DRAIN AND OTHER SITE UTILITIES. INSTALL INLET PROTECTION AS SOON AS STORM DRAIN INLETS ARE INSTALLED. (2 WEEKS)
5. FINE GRADE SITE AND BEGIN BUILDING CONSTRUCTION. (6 MONTHS).
6. INSTALL CURB AND GUTTER, SIDEWALKS AND BASE PAVE ALL AREAS TO BE PAVED AND STABILIZE ALL OTHER DISTURBED AREAS WITH PERMANENT SEEDING, MULCH AND LANDSCAPING (2 WEEKS).
7. FLUSH AND PUMP CLEAN ALL STORM DRAIN SYSTEM (1 DAY).
8. WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR AND ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROLS (2 DAYS).
9. INSTALL SURFACE COURSE PAVING AND PARKING LOT STRIPINGS (1 WEEK).
10. COMPLETE BUILDING INTERIOR WORK AND OBTAIN USE & OCCUPANCY PERMIT

**Generator slab Sequence of Construction**

1. Arrange for the Pre-Construction meeting with the Sediment Control Inspector (1 Day).
2. If Super silt fence from construction of parking lot still exists, repair and relocate as shown. Otherwise, install super silt fence between Generator slab construction area and wetland buffer (1 Day).
3. Fine grade slab area and begin construction (1 Month).
4. When permission has been granted by the sediment control inspector and all areas draining to the sediment controls have been stabilized, remove the sediment controls (2 Days).

**GRAPHIC SCALE**



**BUILDER'S CERTIFICATE**

"I ME CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Shail Bhandari* 8/16/2012  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*Chad J. ...* 8-13-12  
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John R. Robertson* 8/16/12  
HOWARD S.C.D. DATE

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE July 19, 2012

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*Martha ...* 8/24/12  
Director Date  
*Kit ...* 8/24/12  
Chief, Division of Land Development Date  
*...* 8/24/12  
Chief, Development Engineering Division Date

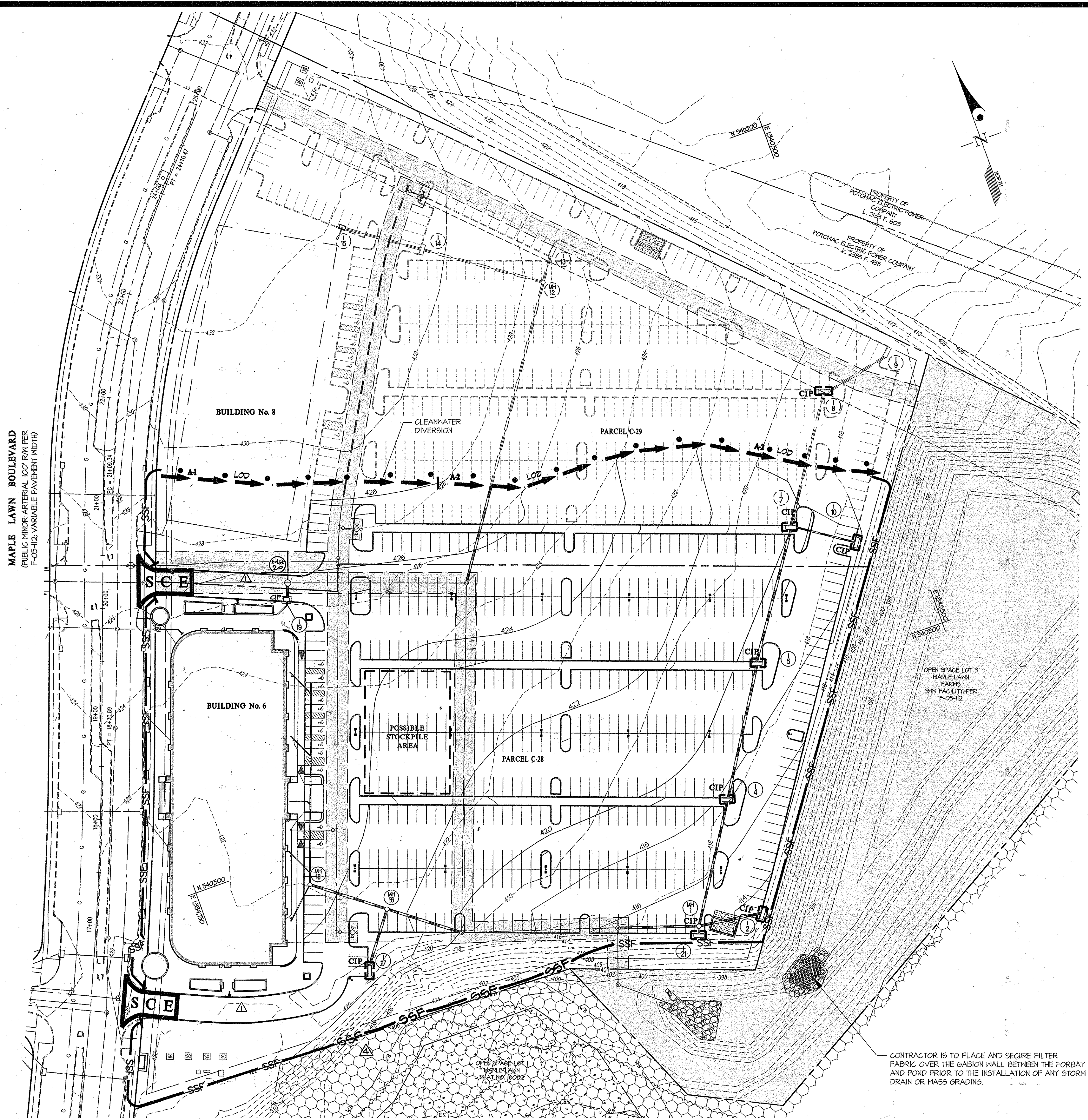
**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 230 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20885  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE REVISION BY APPR.

**LEGEND**

- 600 --- EXISTING CONTOUR
- 600 --- PROPOSED CONTOUR
- SSF --- PROPOSED SUPER SILT FENCE
- LOD • LIMIT OF DISTURBANCE
- [ ] CIP CURB INLET PROTECTION
- [ ] SCE STABILIZED CONSTRUCTION ENTRANCE
- A-1 → EARTH DIKE

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**



MAPLE LAWN BOULEVARD  
(PUBLIC MINOR ARTERIAL LOT 84 PER F-05-12, VARIABLE PAVEMENT WIDTH)

CONTRACTOR IS TO PLACE AND SECURE FILTER FABRIC OVER THE GABION WALL BETWEEN THE FORBAY AND POND PRIOR TO THE INSTALLATION OF ANY STORM DRAIN OR MASS GRADING.

11/14/12	Revise curb line, Relocate Planters + Inlet, + Revise limits of Sidewalk	JT
12/4/15	Revised super silt fence + include Generator slab construction area + revise sequence of construction	JT

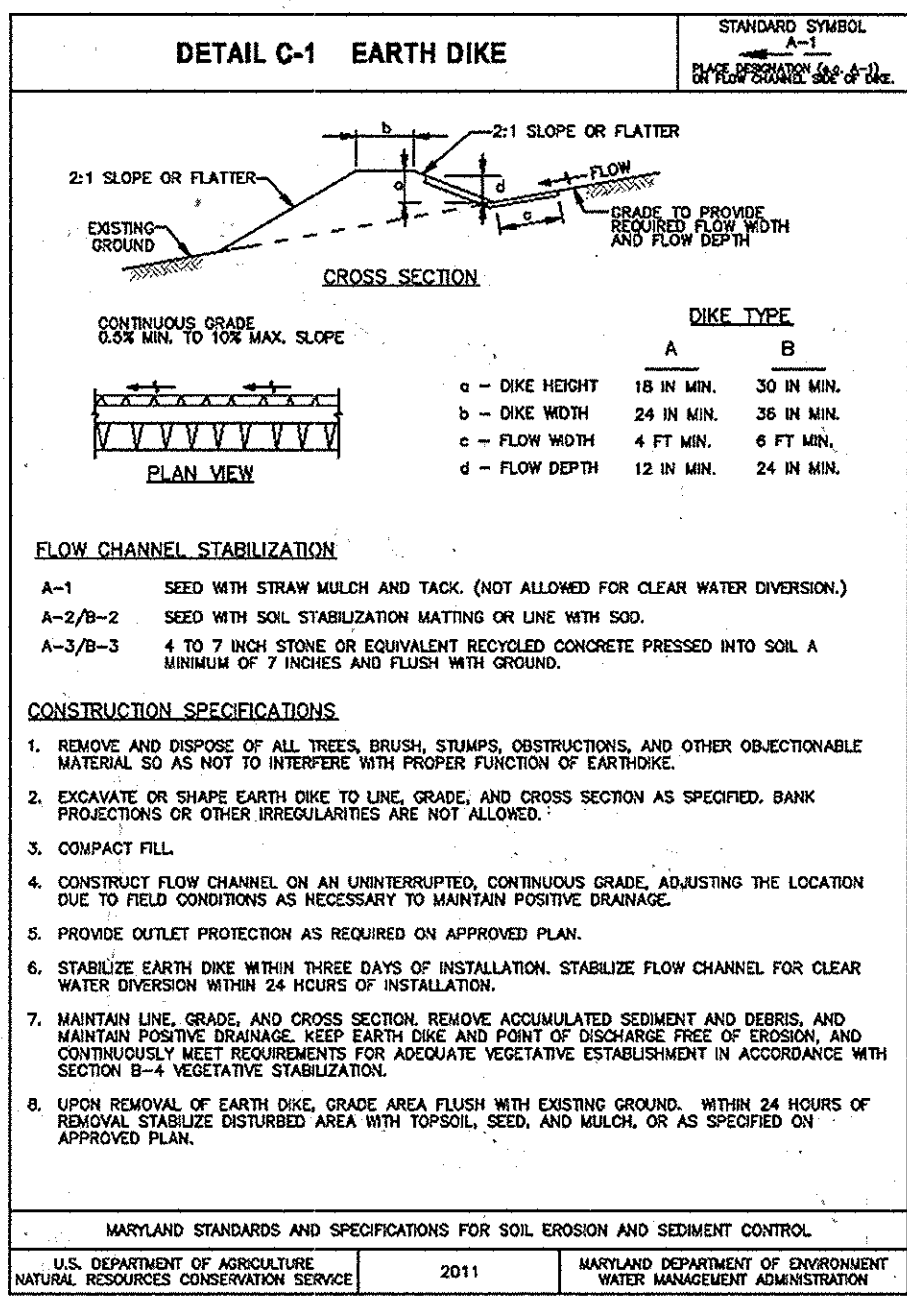
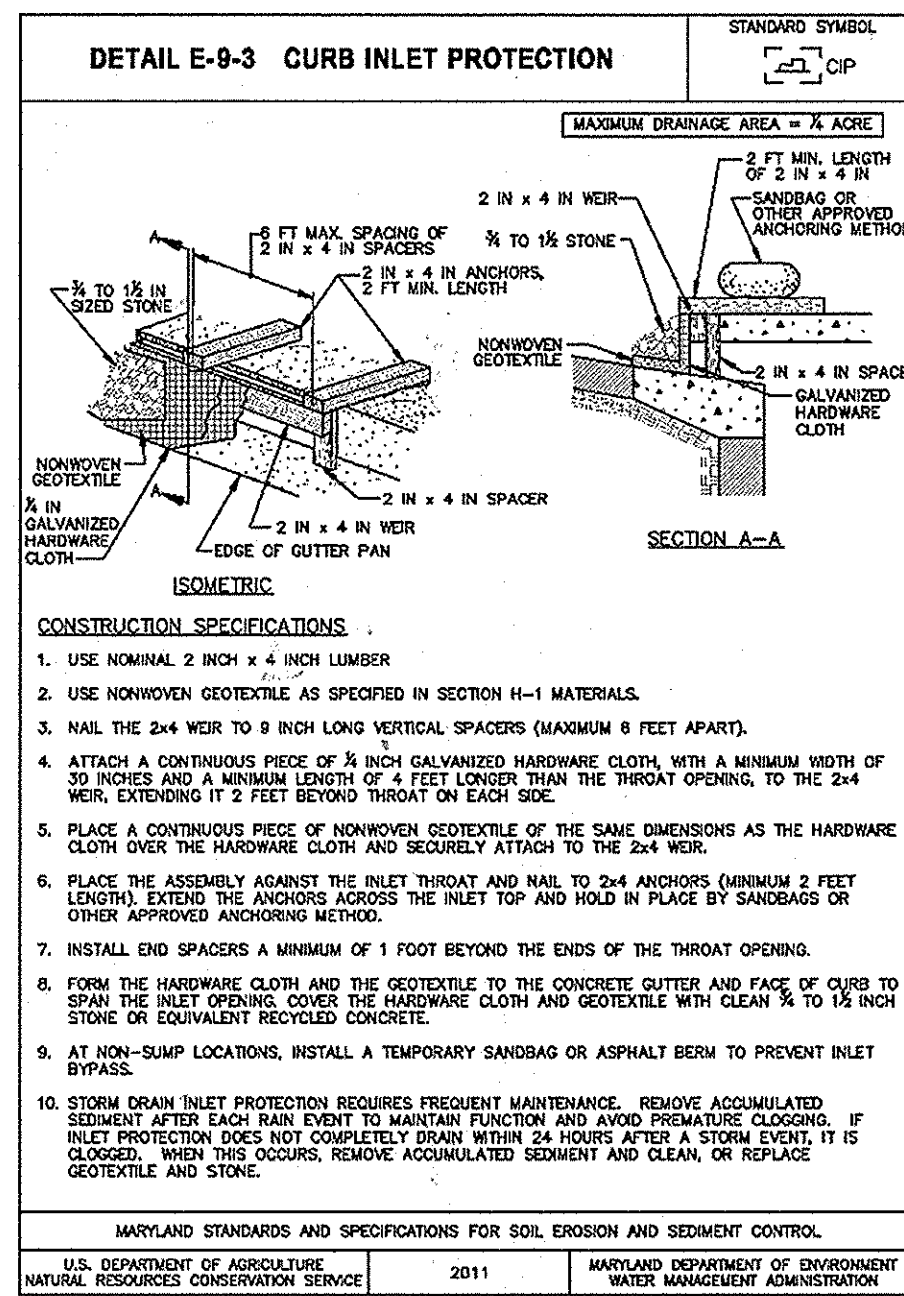
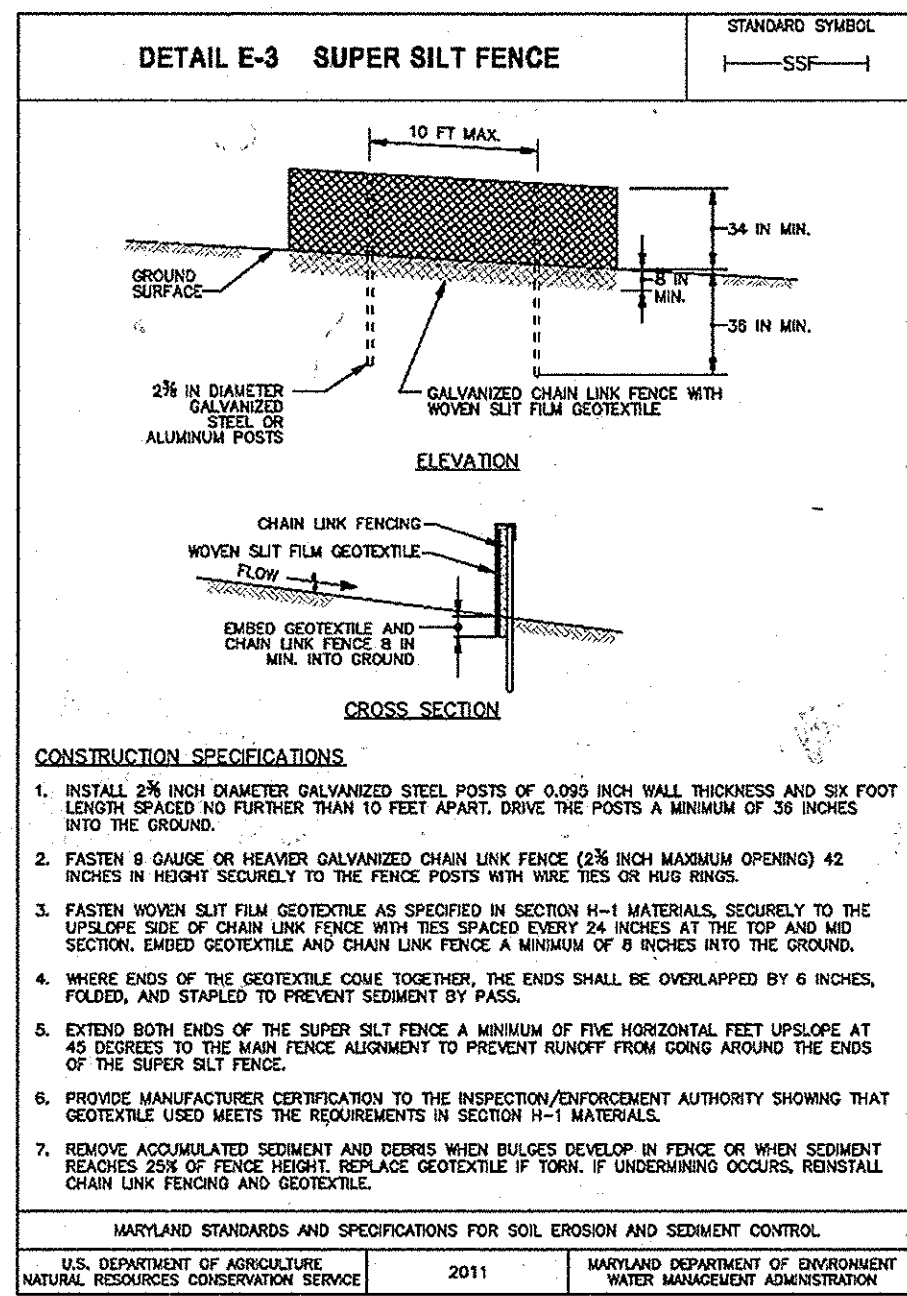
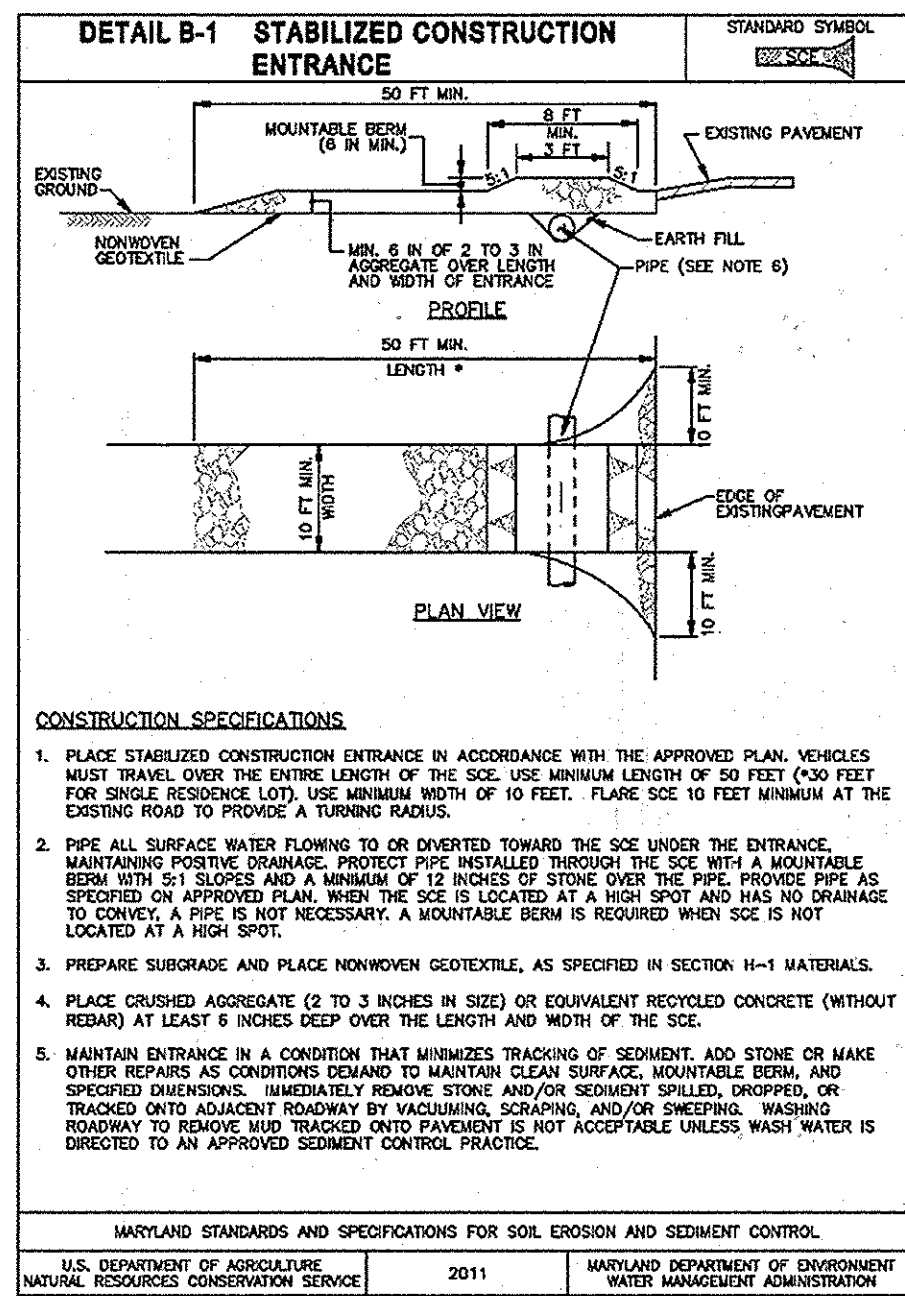
**PREPARED FOR:**  
OWNER: MAPLE LAWN C.C. STATUTORY TRUST  
1829 RIVERSIDE TOWN ROAD  
SUNTOWN, MD 21288  
PH: 410-404-8400  
ATN: MARK BENNETT

**DEVELOPER:**  
ST. JOHN PROPERTIES  
2560 LORD BALMORE DR.  
BALTIMORE, MD 21244  
PH: 410-788-0100  
ATN: ANDREW ROURD

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
EXPIRATION DATE: MAY 28, 2014  
8-13-12

**SEDIMENT CONTROL PLAN**  
**MAPLE LAWN FARMS**  
Business District - Area 2  
Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail)  
PLAT Nos. 22052 - 22054  
HOWARD COUNTY, MARYLAND

SCALE 1" = 50'	ZONING MXD-3	G. L. W. FILE No. 11095
DATE AUGUST, 2012	TAX MAP - GRID 46: 3&4	SHEET 6 OF 13



**STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS**

**DEFINITION:** THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.

**CRITERIA:** TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

**CONDITIONS WHERE PRACTICE APPLIES:** WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

**SOIL PREPARATION:**

- TEMPORARY STABILIZATION
  - SEEDED PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 5 INCHES BY MEANS OF SUITABLE AGRICULTURAL OR CONSTRUCTION EQUIPMENT SUCH AS DISC HARROWS OR CHISEL FLOWS OR RIPPERS MOUNTED ON CONSTRUCTION EQUIPMENT. AFTER THE SOIL IS LOOSENED, IT MUST NOT BE ROLLED OR DRAGGED SMOOTH BUT LEFT IN THE RAKEHED CONDITION. SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE.
  - APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
  - INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
- PERMANENT STABILIZATION
  - A SOIL TEST IS REQUIRED FOR ANY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE ESTABLISHMENT ARE:
    - SOIL PH BETWEEN 6.0 AND 7.0.
    - SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
    - SOIL CONTAINS LESS THAN 40 PERCENT CLAY BUT ENOUGH FINE GRAINED MATERIAL (GREATER THAN 50 PERCENT SILT) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION: IF LOVEGRASS WILL BE PLANTED, THEN A SANDY SOIL (LESS THAN 30 PERCENT SILT PLUS CLAY) WOULD BE ACCEPTABLE.
    - SOIL CONTAINS 15 PERCENT MINIMUM ORGANIC MATTER BY WEIGHT.
    - SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
  - APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE SOILS DO NOT MEET THE ABOVE CONDITIONS.
  - GRADED AREAS MUST BE MAINTAINED IN A TRUE AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SCARIFIED OR OTHERWISE LOOSENED TO A DEPTH OF 3 TO 5 INCHES.
  - APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
  - MIX SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. RAKE LAWN AREAS TO SMOOTH THE SURFACE, REMOVE LARGE OBJECTS LIKE STONES AND BRANCHES, AND READY THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DRAGGING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO SCOUR THE SURFACE WHERE SITE CONDITIONS WILL NOT PERMIT NORMAL SEEDED PREPARATION. TRACK SLOPES 3:1 OR FLATTER WITH TRACKED EQUIPMENT LEAVING THE SOIL IN AN IRREGULAR CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE. LEAVE THE TOP 1 TO 3 INCHES OF SOIL UNDISTURBED. SEEDED LOOSENING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

**TOPSOILING:**

- TOPSOIL IS PLACED OVER PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRAZATION.
- TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AND SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
- TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
  - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
  - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR BUSHES CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
  - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
  - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
- TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
  - PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (4 LBS/1000 SQ FT) BEFORE SEEDING.
  - ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (82 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARRON OR DISC INTO UPPER THREE INCHES OF SOIL.
- TOPSOIL MUST BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1/4 INCHES IN DIAMETER.
- TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERBERIS GRASS, QUACK GRASS, JOHNSON GRASS, NET SEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
- TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
- TOPSOIL APPLICATION
  - EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
  - UNIFORMLY DISTRIBUTE TOPSOIL IN A 5 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. SPREADING IS TO BE PERFORMED IN SUCH A MANNER THAT SCIDDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
  - TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDED PREPARATION.

**SOIL AMENDMENTS, FERTILIZER AND LIME SPECIFICATIONS:**

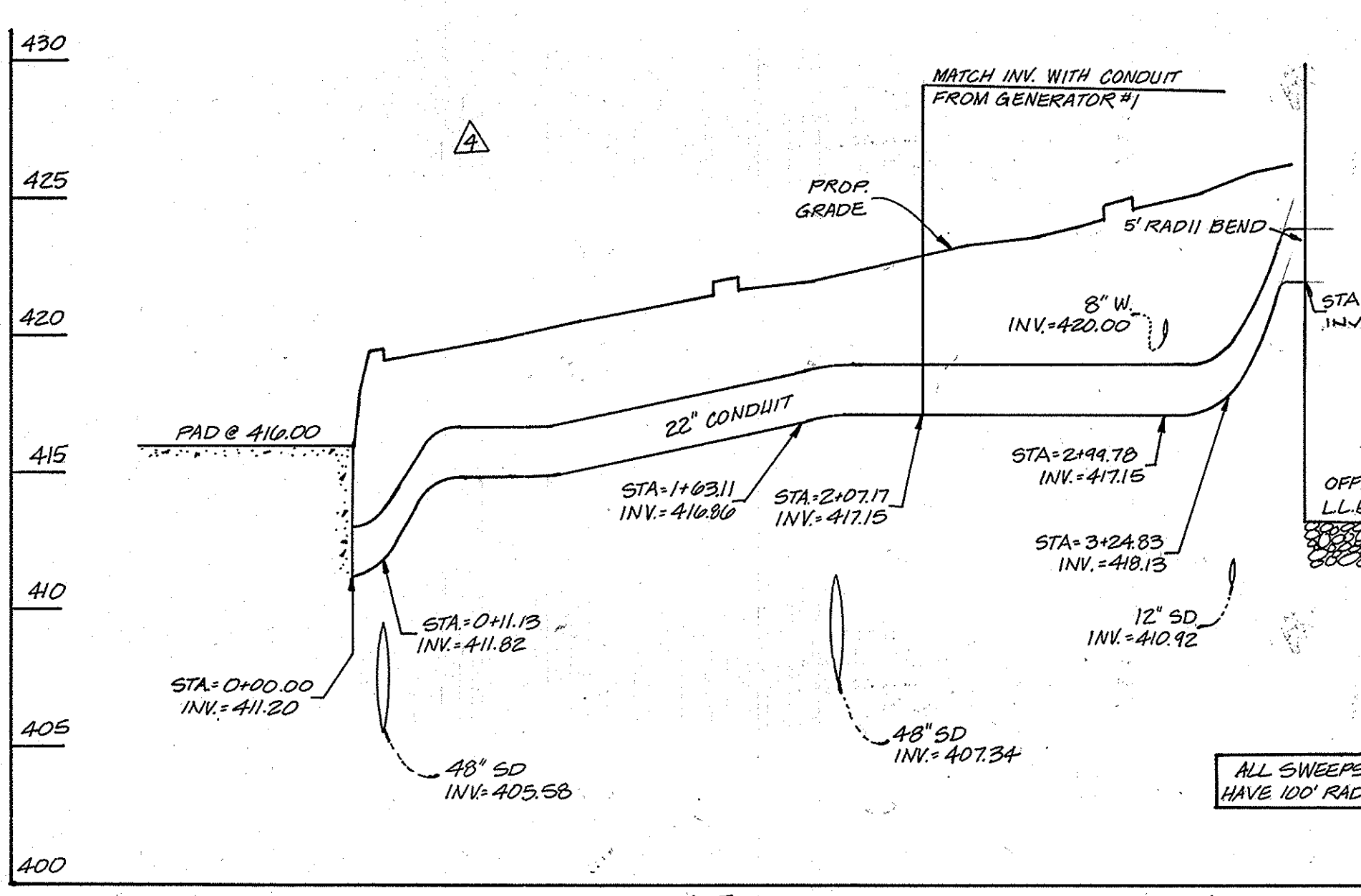
- SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSES.
- FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOTTING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
- LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED) OR BURNT LIME MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 50 PERCENT WILL PASS THROUGH A 100 MESH SIEVE AND 80 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
- LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS WHERE THE SUBSOIL IS EITHER HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS. SPREAD GROUND LIME/TOPI AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

**SEDIMENT CONTROL NOTES**

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 319-1055
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
  - A 3 CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND
  - 7 CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN HANDBOOK, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE '2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL' FOR PERMANENT SEEDINGS; SOO, TEMPORARY SEEDINGS AND MULCHING (SEC. B). TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
 

TOTAL AREA OF SITE	6.0 AC.
AREA DISTURBED	1.6 AC.
AREA TO BE ROOFED OR PAVED	5.2 AC.
AREA TO BE VEGETATIVELY STABILIZED	2.4 AC.
TOTAL CUT	11,800 CY
TOTAL FILL	11,800 CY
OFF-SITE WASTE/BORROW	NA
AREA LOCATION	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPM SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE OBTAINED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

II. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.



THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

*John A. Roberts* 9/16/12  
HOWARD S.C.D. DATE

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Paul A. Coyle* Date: 8/2/12  
Chief, Division of Land Development: *Vet. Slavovick* Date: 8/2/12  
Chief, Development Engineering Division: *Chadman* Date: 8/2/12

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20888  
TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-389-2524 FAX: 301-421-4186

12-03-2012 ADD PROFILE FOR CONDUIT LINES  
DATE: 12-03-2012 BY: HJK DEV: DEV APPR: APPR

CONDUIT RUN FROM GENERATOR #1  
THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

OWNER: MAPLE LAWN C.C. STATUTORY TRUST  
1829 RESTORATION TRAIL  
SUITE 300  
BALTIMORE, MD 21208  
PH: 410-788-0100  
FAX: 410-788-0100  
ATTN: ANDREW HROUD  
ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES  
2550 LORD BALTIMORE DR.  
BALTIMORE, MD 21244  
PH: 410-788-0100  
FAX: 410-788-0100  
ATTN: ANDREW HROUD  
ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12272  
EXPIRATION DATE: 7-13-12

CONDUIT RUN FROM GENERATOR #1  
THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

ENGINEER'S CERTIFICATE  
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."  
*Chadman*  
SIGNATURE OF ENGINEER DATE: 8-13-12

SEDIMENT CONTROL NOTES AND DETAILS  
**MAPLE LAWN FARMS**  
Business District - Area 2  
Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail)  
PLAT Nos. 220-2-220-4

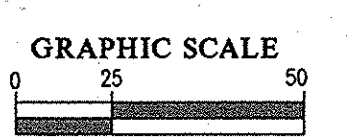
BUILDER'S CERTIFICATE  
"I CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD."  
*Paul A. Coyle*  
SIGNATURE OF DEVELOPER/BUILDER DATE: 8/10/2012

C FACTOR COMPUTATIONS			
STRUCTURE	AREA (AC.)	C	IMPERVIOUS
RD 8-1	0.36	0.81	100%
RD 8-2	0.36	0.81	100%
RD 6-1	0.12	0.81	100%
RD 6-2	0.21	0.81	100%
RD 6-3	0.20	0.81	100%
RD 6-4	0.18	0.81	100%
I-1	1.02	0.78	85%
I-2	1.11	0.78	85%
I-4	1.10	0.78	85%
I-5	1.11	0.78	85%
I-7	0.24	0.78	85%
I-8	1.15	0.78	85%
I-10	0.24	0.78	85%
I-10	0.64	0.78	85%
I-13	0.21	0.78	85%
I-14	0.16	0.78	85%
I-15	0.31	0.78	85%
I-17	0.21	0.78	85%
I-18	0.31	0.78	85%

**LEGEND**

- 400 --- EXISTING CONTOUR
- WB METLAND BUFFER
- SB STREAM BUFFER
- FCE FOREST CONSERVATION EASEMENT
- SDM STORM DRAIN DRAINAGE AREA

NOTE: C TYPE SOILS ASSUMED FOR ALL DRAINAGE AREAS DUE TO MASS GRADING.



APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark D. Wright* 8/24/12  
Director Date

*Walt Steinhilber* 8/24/12  
Chief, Division of Land Development Date

*Mark Bennett* 8/20/12  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
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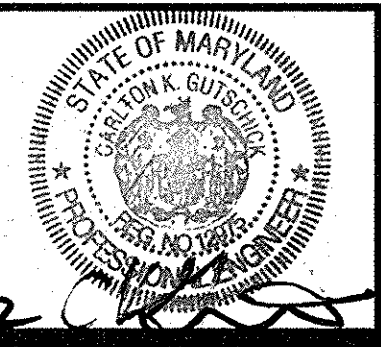
DATE	REVISION	BY	APP'R.
11/14/12	Revise curb line, Relocate Platform Inlet, & Revise Limits of sidewalk	gt	
03-21-12	Revise parallel parking & grading at entrances.	REV	

PREPARED FOR:  
OWNER: MAPLE LAWN C.C. STATUTORY TRUST  
1829 RUSTERTOWN ROAD SUITE 300 BALTIMORE, MD 21208 PH: 410-404-8400 ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES 2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 PH: 410-788-0100 ATTN: ANDREW ROOD

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875-2014 EXPIRATION DATE: MAY 28, 2014

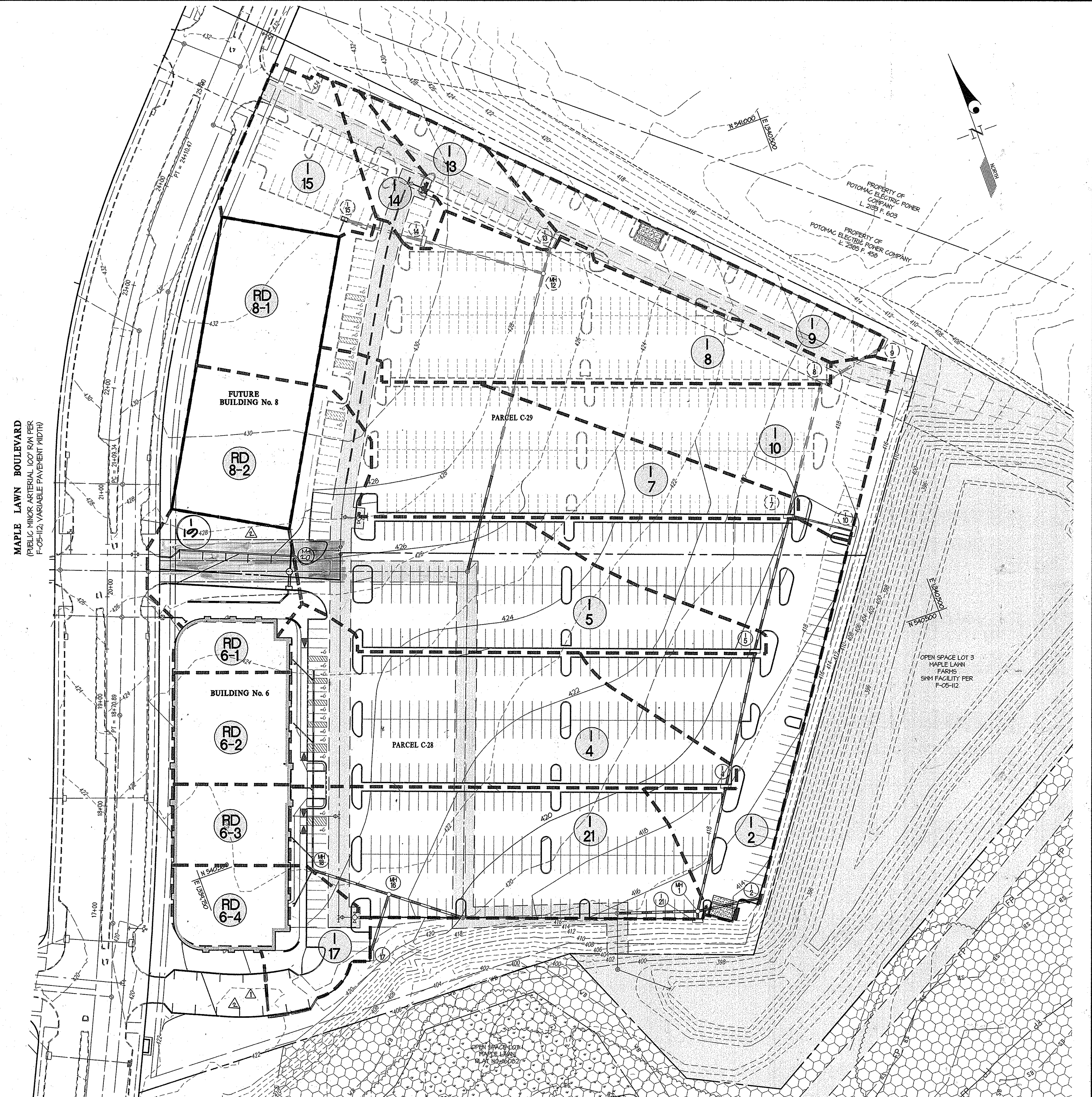
8-13-12



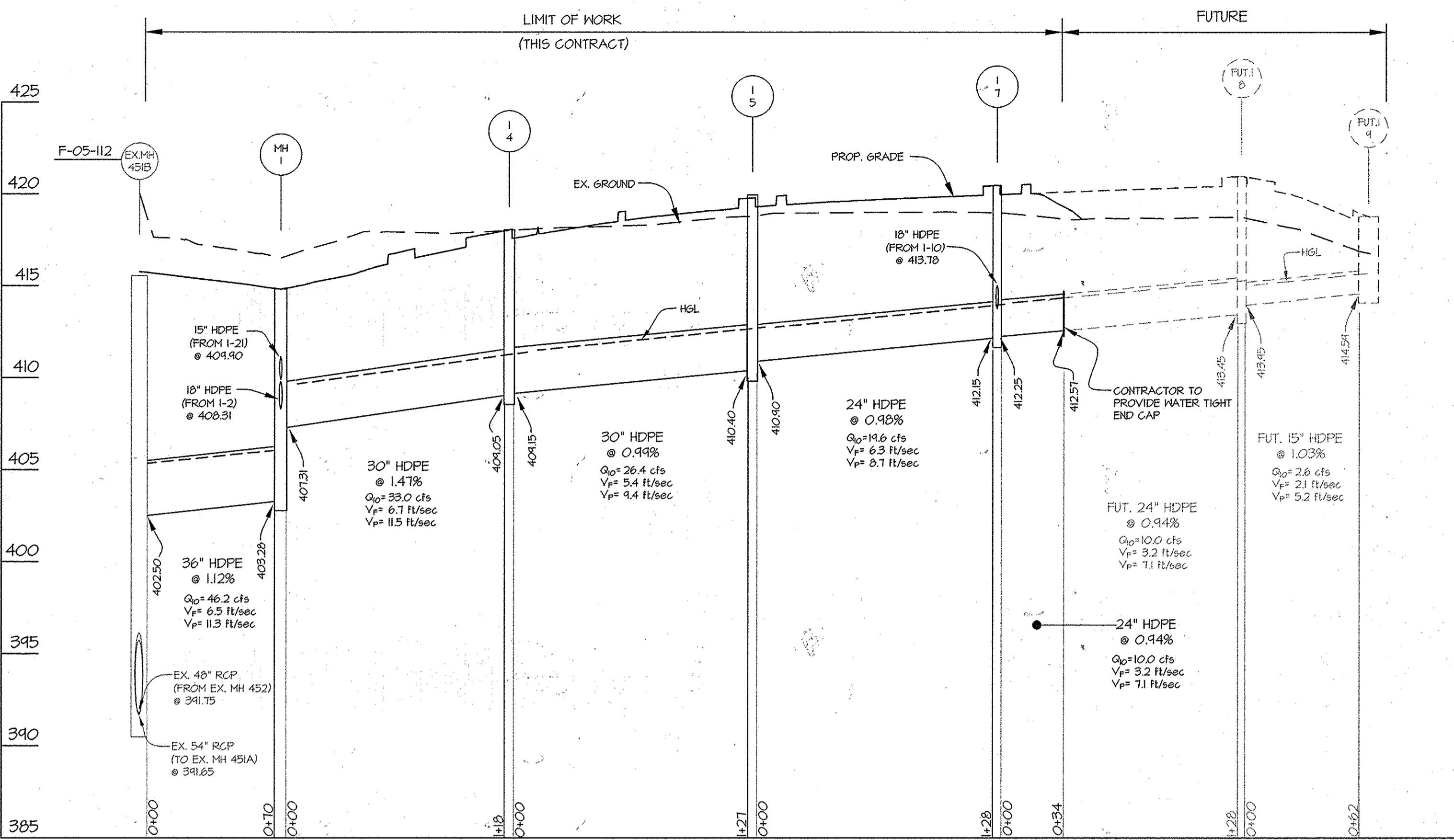
**DRAINAGE AREA MAP**  
**MAPLE LAWN FARMS**  
Business District - Area 2  
Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail)  
PLAT Nos. 22052 - 22054

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
AUGUST, 2012	46: 3&4	8 OF 17







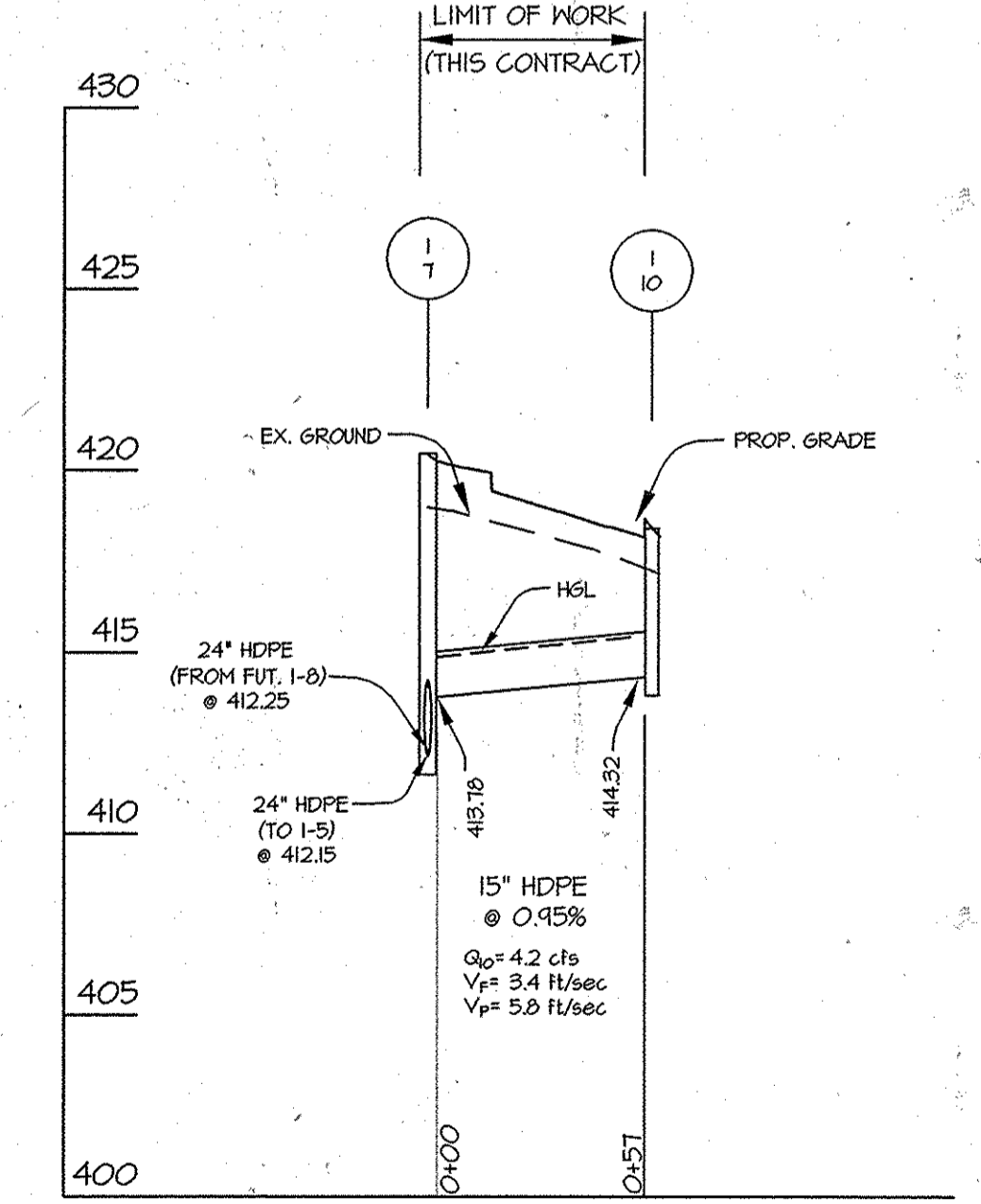
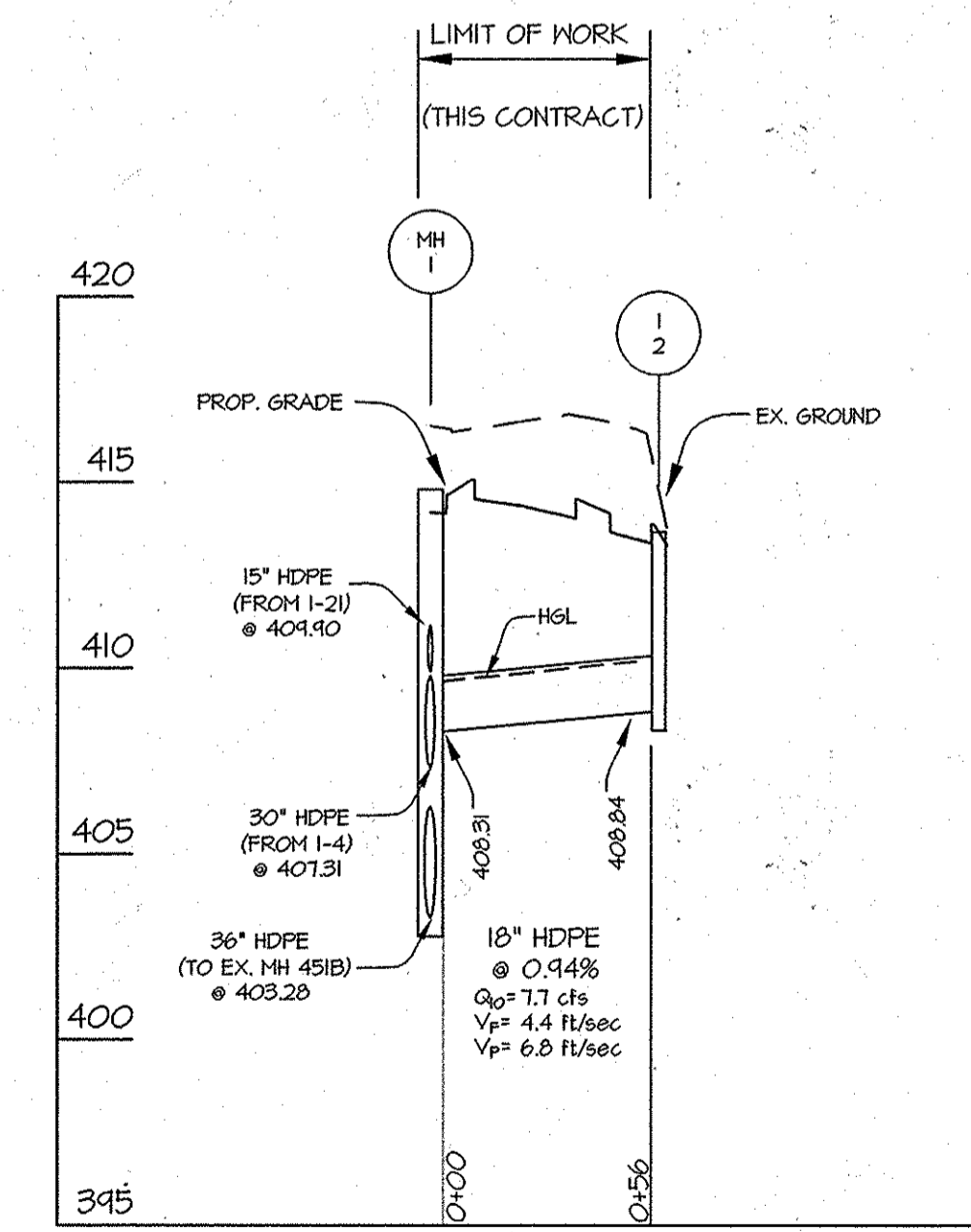
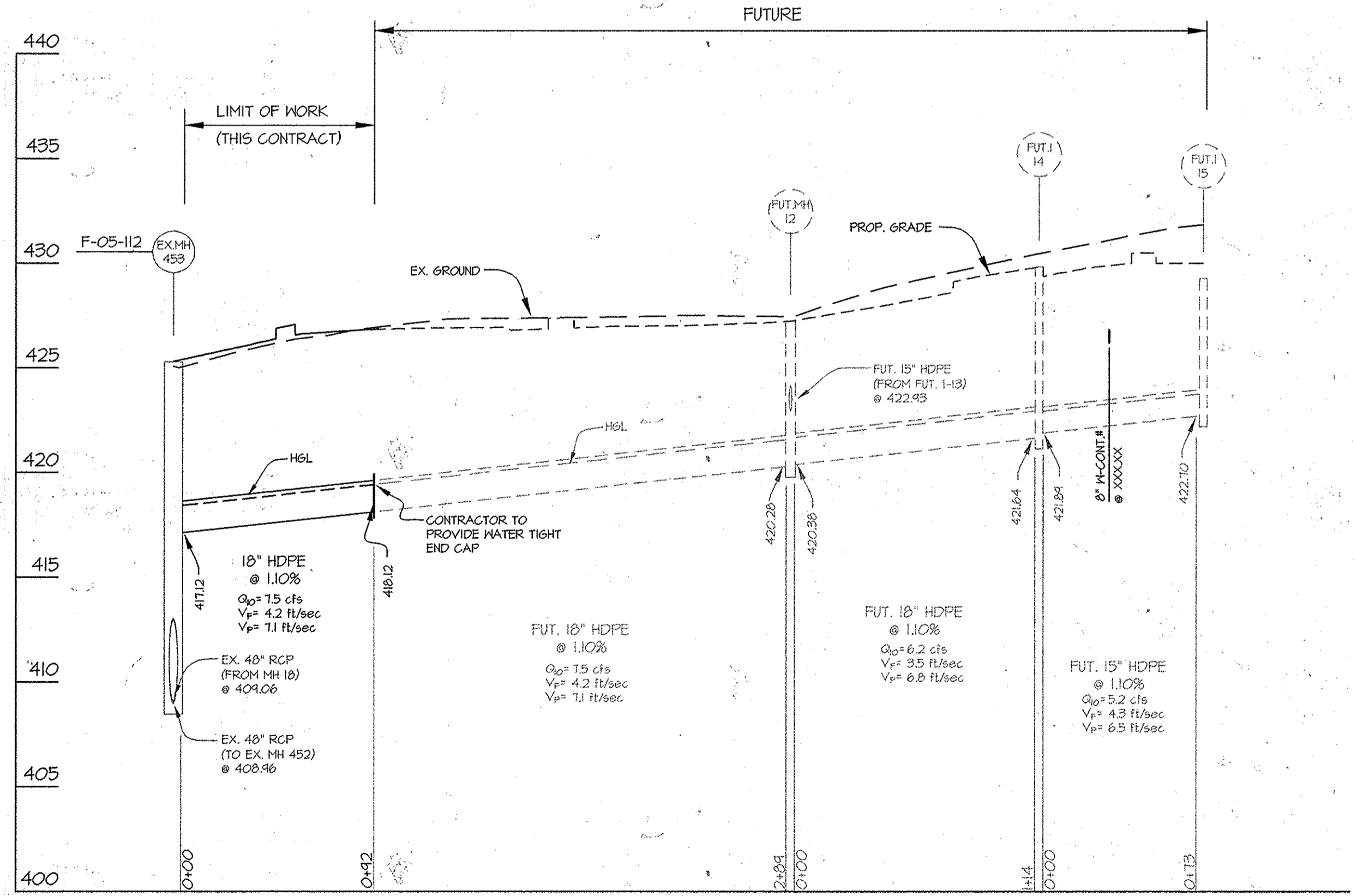
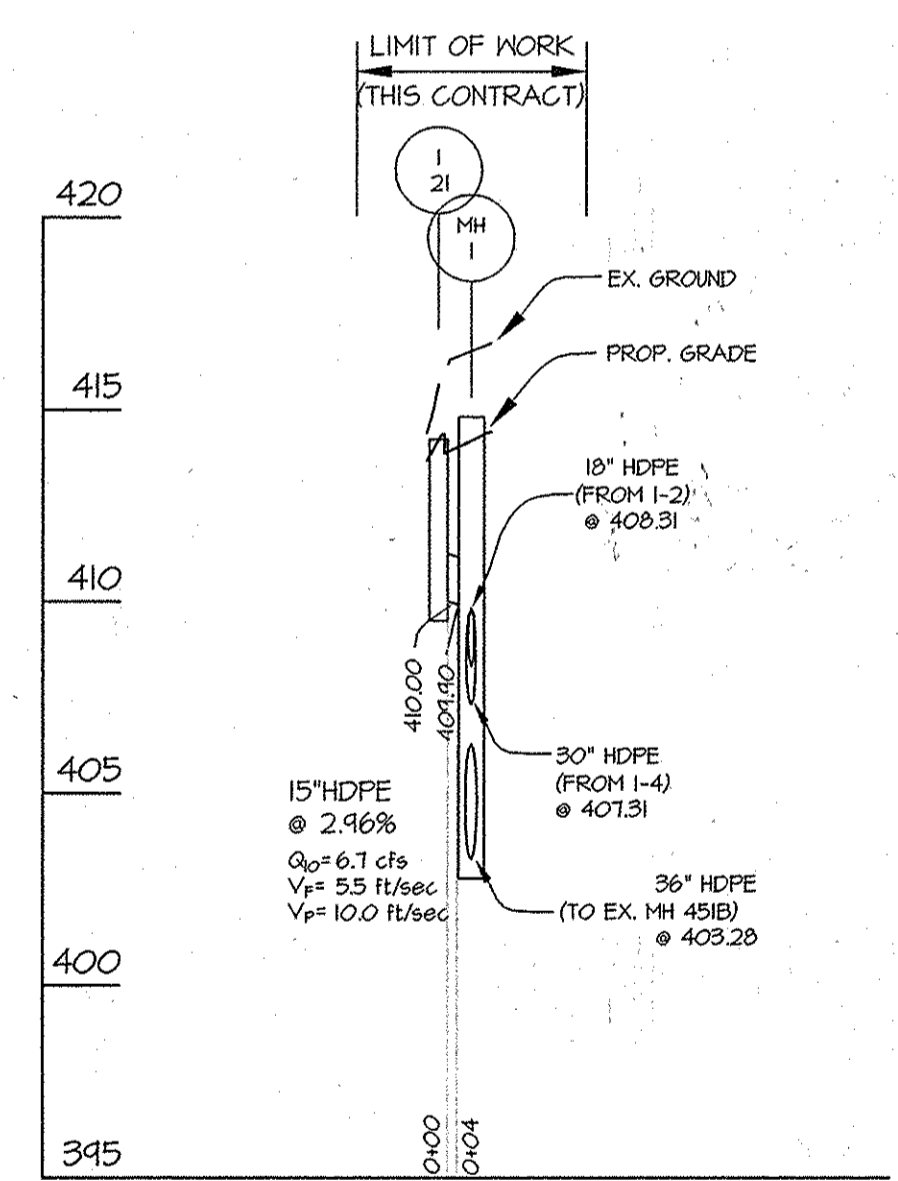
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
M-1	MANHOLE	6' DIA.	---	414.82			409.90	403.28			HO. CO. 6-512	N 540,308 E 1,340,186	
I-2	A-10 INLET	3'-0"	414.18	414.00			---	408.84			HO. CO. D-4-03	N 540,300 E 1,340,246	
I-4	A-10 INLET	3'-0"	418.47	417.97			409.15	409.05			HO. CO. D-4-03	N 540,414 E 1,340,252	
I-5	A-10 INLET	3'-0"	420.13	419.72			410.90	410.40			HO. CO. D-4-03	N 540,526 E 1,340,322	
I-7	A-10 INLET	3'-0"	420.70	420.23			412.25	412.15			HO. CO. D-4-03	N 540,636 E 1,340,346	
FUT. I-8	A-10 INLET	3'-0"	421.21	420.93			413.95	413.45			HO. CO. D-4-03	N 540,746 E 1,340,469	
FUT. I-4	A-10 INLET	3'-0"	419.57	419.14			---	414.59			HO. CO. D-4-03	N 540,760 E 1,340,537	
I-10	A-10 INLET	3'-0"	418.90	418.67			---	414.32			HO. CO. D-4-03	N 540,800 E 1,340,448	
FUT. I-14	A-10 INLET	3'-0"	424.91	424.85			422.45	422.70			HO. CO. D-4-03	N 541,001 E 1,340,157	
FUT. I-15	DOUBLE 'S' COMBO INLET	3'-5"	430.50	430.50			---	424.60			MD-379.04	N 541,045 E 1,340,094	
FUT. MH-12	STD. 4' MANHOLE	4'-0"	---	427.23			422.93	421.46			HO. CO. 6-512	N 540,432 E 1,340,256	
I-21	A-10 INLET	3'-0"	415.24	415.11			---	410.00			HO. CO. D-4-03	N 540,302 E 1,340,182	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 NOTES:  
 1. ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4146-D

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
15"	HDPE	61	
18"	HDPE	148	
24"	HDPE	162	
30"	HDPE	245	
36"	HDPE	70	
FUT. 15"	HDPE	135	
FUT. 18"	HDPE	311	
FUT. 24"	HDPE	94	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-Q by Hancor or an approved equal.  
 Trench bedding to be provided per Howard County Detail 6 2.01, "Trench for P.V.C. pipe and H.D.P.E."

PROFILE SCALES:  
 HORIZONTAL: 1"=50'  
 VERTICAL: 1"=5'



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director Paul L. Wynn 8/2/12  
 Chief, Division of Land Development Scott Shaul 8/2/12  
 Chief, Development Engineering Division Mark Bennett 8/2/12

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 OWNER: MAPLE LAWN  
 C.C. STATUTORY TRUST  
 1829 RISTERSTOWN ROAD  
 SUITE 300  
 BALTIMORE, MD 21208  
 PH: 410-431-3400  
 ATTN: MARK BENNETT

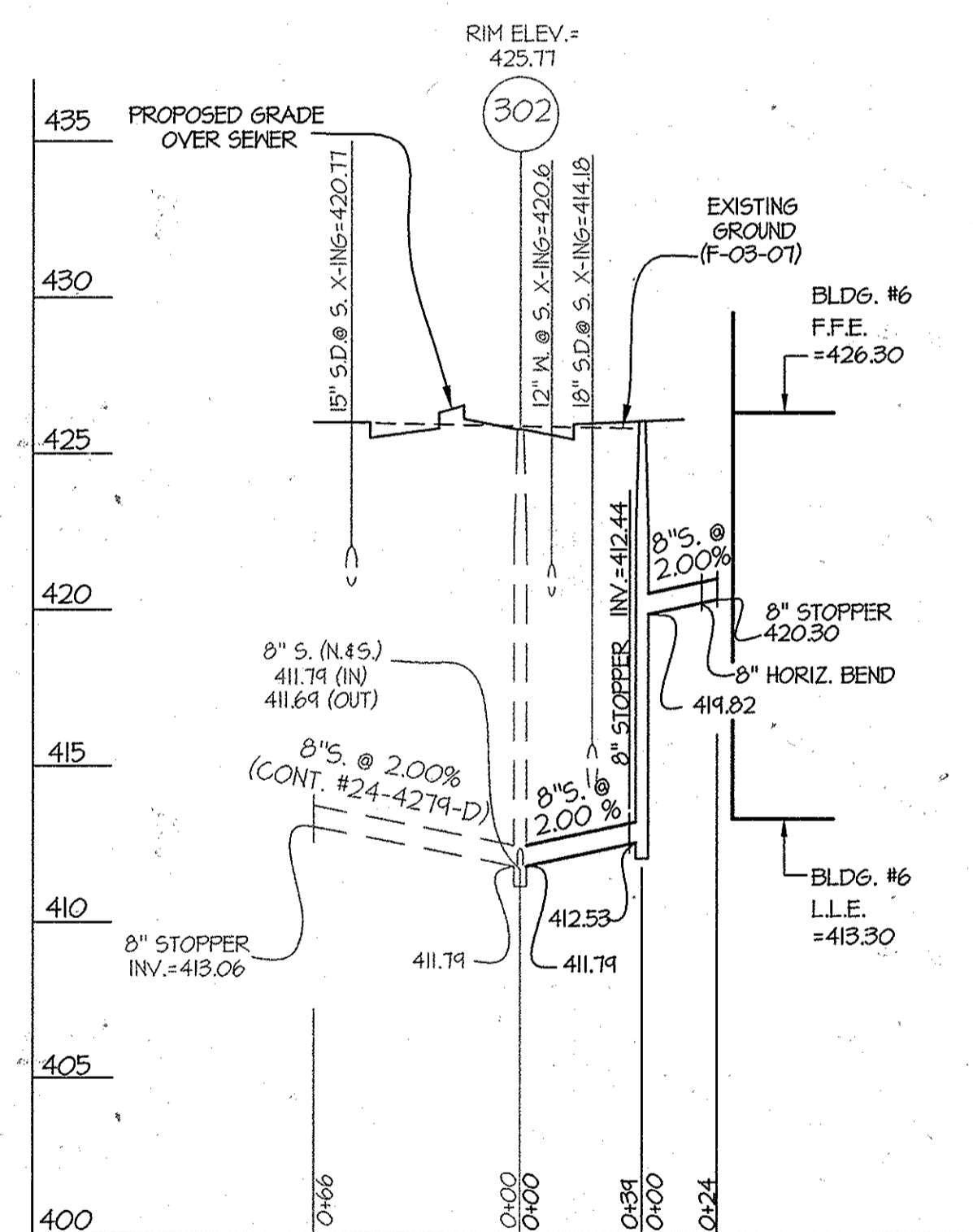
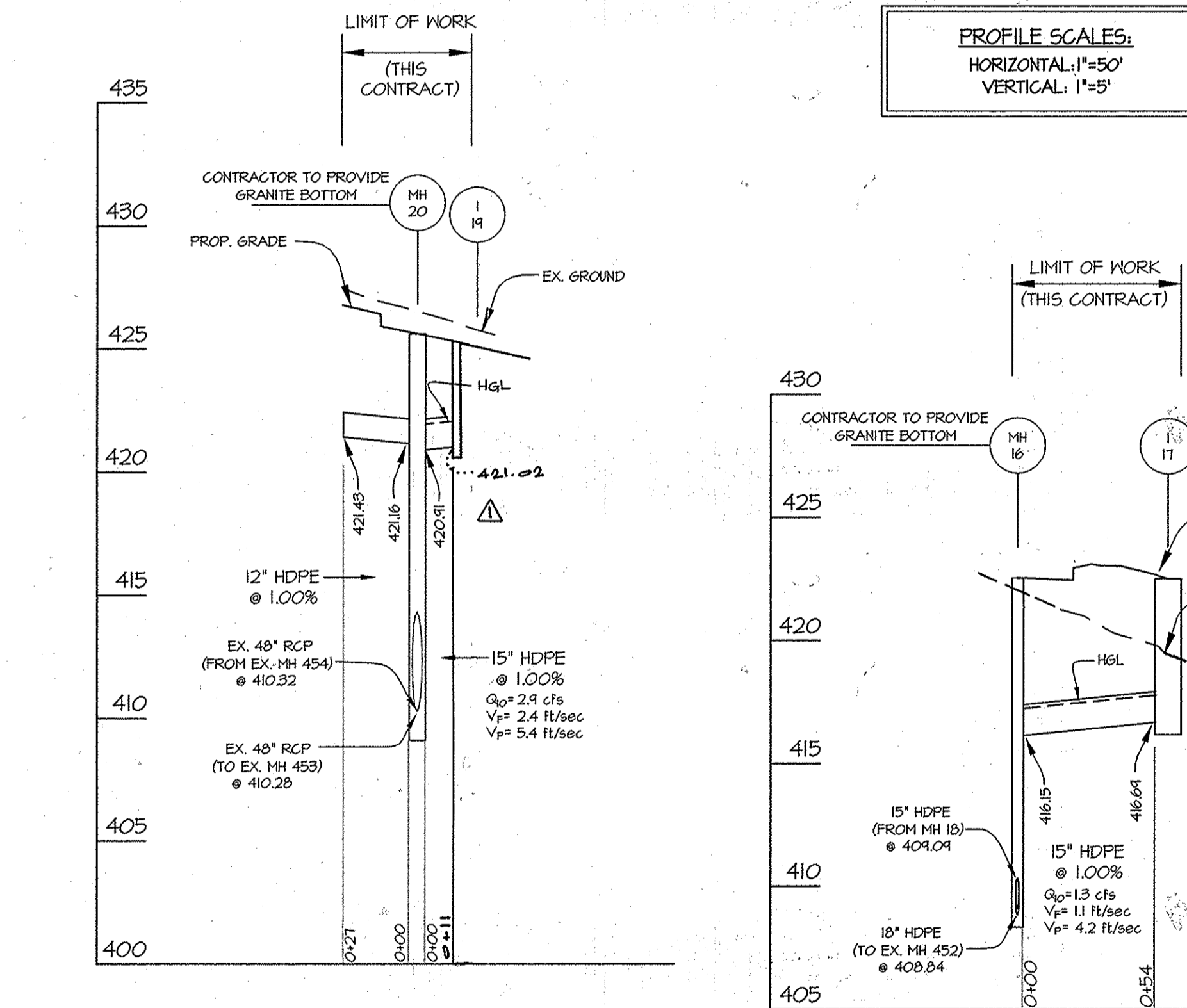
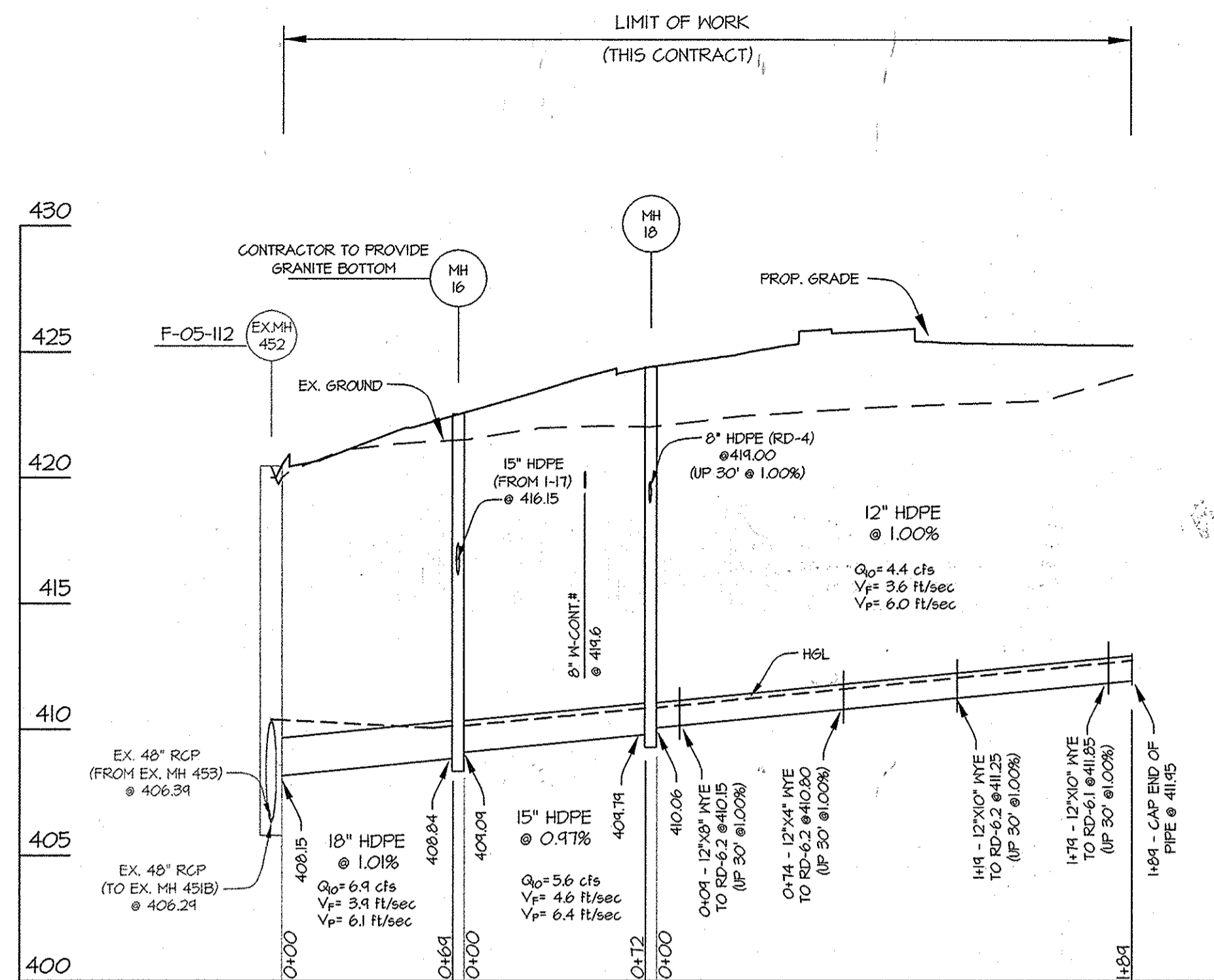
DEVELOPER:  
 ST. JOHN PROPERTIES  
 2560 LORD BALMORE DR.  
 BALTIMORE, MD 21244  
 PH: 410-788-0100  
 ATTN: ANDREW ROUD

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12875  
 EXPIRATION DATE: MAY 28, 2014  
8-13-12 CLW

UTILITY PROFILES  
**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 22052-22054  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS-SHOWN	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
AUGUST, 2012	46: 3&4	9 OF 13

L:\CADD\DRAWINGS\PROJECTS\MAPLE LAWN FARMS BY GLWGUTSCHICK LITTLE & WEBER, P.A. SHEET 9 - U. PROFILES.dwg  
 PLOTTED: 8/2/12 3:20 PM, USER: SWEET, 1/17/2012 1:54 PM, PLOTTED BY: John J. Sweet



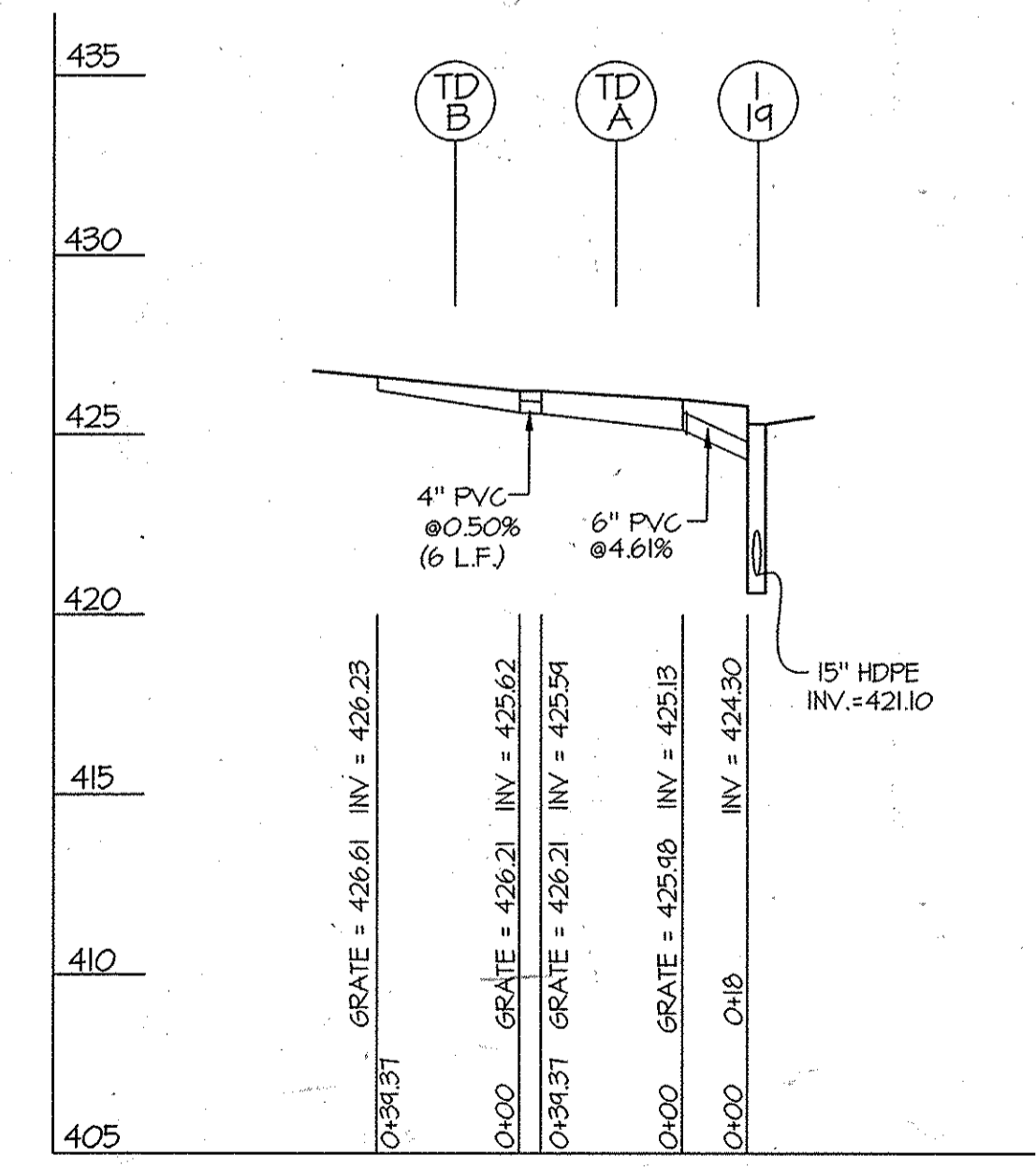
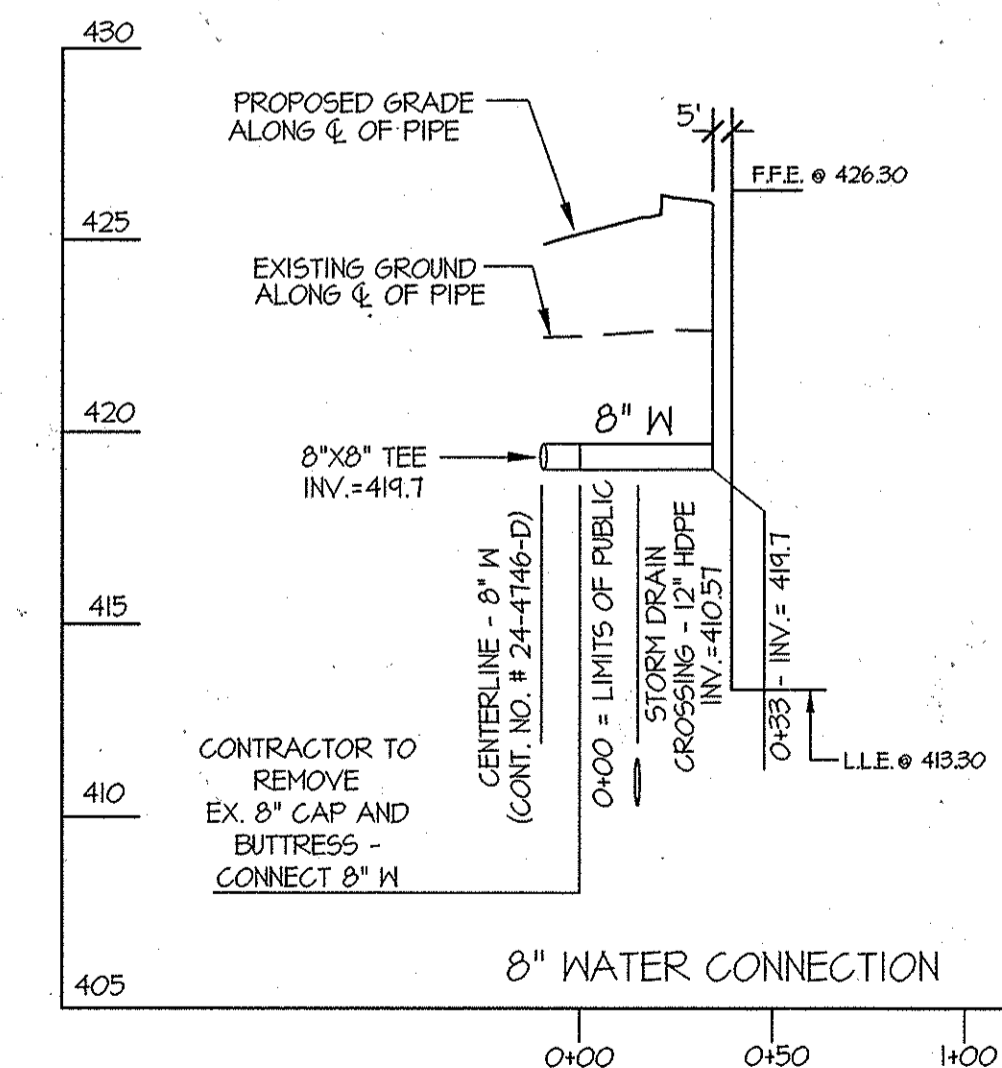
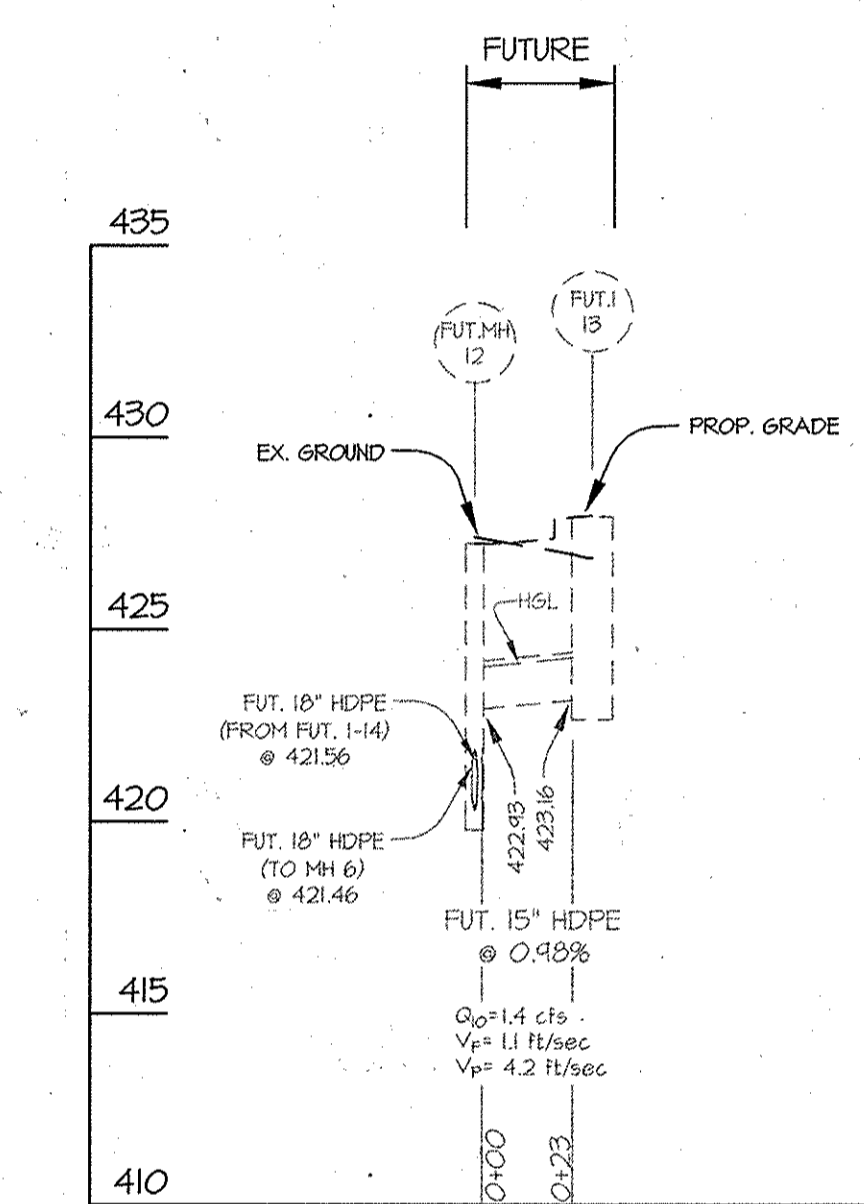
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION				INVERT				STD. DETAIL	LOCATIONS	REMARKS
			PROPOSED		AS-BUILT		PROPOSED		AS-BUILT				
			UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER			
I-17	A-10 INLET	3'-0"	422.63	422.35					416.64		HO. CO. D-4.03	N 540,375 E 1,334,877	
I-19	DOUBLE 9' COMBO INLET	3'-5"	425.91	425.92					421.02		MD-379.04	N 540,722 E 1,334,923	
FUT. I-13	A-10 INLET	3'-0"	428.00	421.96					423.16		HO. CO. D-4.03	N 540,954 E 1,340,212	
MH-16	STD. 4' MANHOLE	4'-0"		422.53				416.15	408.84		HO. CO. G-5.12	N 540,424 E 1,334,915	
MH-18	STD. 4' MANHOLE	4'-0"		425.26				419.00	409.81		HO. CO. G-5.12	N 540,471 E 1,334,854	
MH-20	STD. 4' MANHOLE	6'-0"		425.72				420.91	410.28		MD-384.05	N 540,746 E 1,334,932	
FUT. MH-12	STD. 4' MANHOLE	4'-0"		421.23				422.43	421.46		HO. CO. G-5.12	N 540,932 E 1,340,256	

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.

NOTES:  
 1. ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-4146-D

SIZE	TYPE	QUANTITY (L.F.)	REMARKS
4"	HDPE	21	
8"	HDPE	64	
10"	HDPE	54	
12"	HDPE	41	
15"	HDPE	65	
18"	HDPE	64	
FUT. 15"	HDPE	23	

HDPE Indicates High Density Polyethylene pipe, such as N-12 by ADS, or HI-G by Ranco or an approved equal.  
 Trench bedding to be provided per Howard County Detail G 2.01, "Trench for P.V.C. pipe and HDPE."



TRENCH DRAIN A AND B ARE K 1005 CHANNEL DRAIN BY ACO OR AN APPROVED EQUAL.

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE July 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: *Mark A. Long* Date: 8/24/12  
 Chief, Division of Land Development: *Kate S. Drown* Date: 8/24/12  
 Chief, Development Engineering Division: *Chris D. ...* Date: 8/24/12

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BIRTONVILLE OFFICE PARK  
 BIRTONVILLE, MARYLAND 20865  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

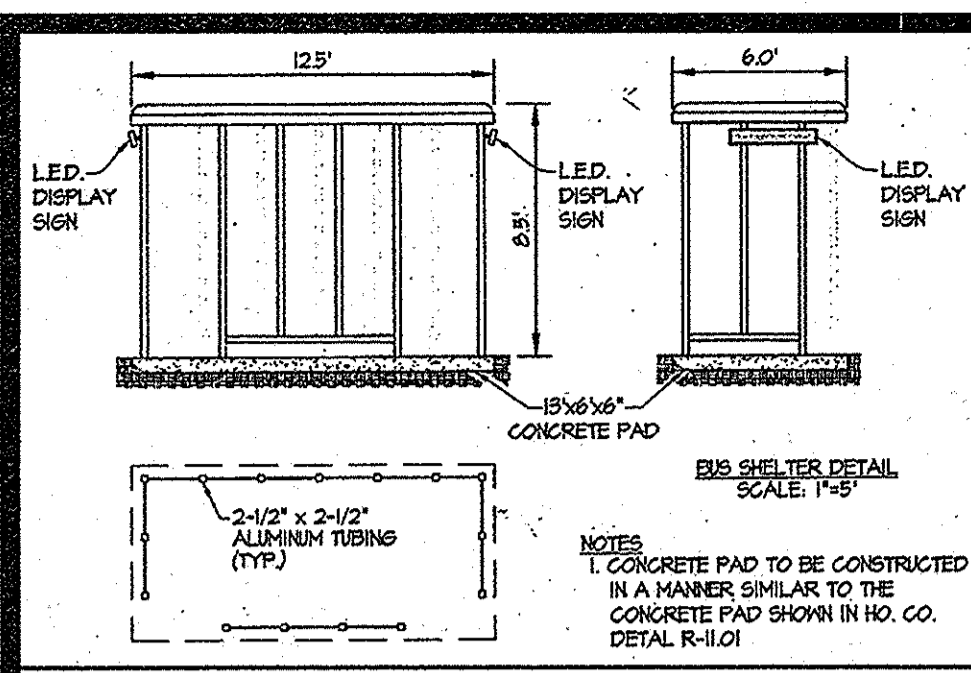
NO.	DATE	REVISION	BY	APP'R.
11/4/12		Revise storm drain from I-19 to MH 20. Revised schedules accordingly	3t	

PREPARED FOR:  
 OWNER: MAPLE LAWN FARMS  
 DEVELOPER: ST. JOHN PROPERTIES  
 2550 LOBO BALTIMORE DR.  
 BALTIMORE, MD 21244  
 PH: 410-788-0100  
 ATTN: ANDREW ROOD  
 PH: 410-484-8400  
 ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975  
 EXPIRATION DATE: MAY 28, 2014  
 8-13-12 *Chris Drown*

UTILITY PROFILES  
**MAPLE LAWN FARMS**  
 Business District - Area 2  
 Parcel 'C-2' (Office Building No. 6 - A LEED Certified Green Building)  
 (Proposed Office Space with possible First Floor Retail)  
 PLAT Nos. 22-002 - 22-004  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
AUGUST, 2012	46: 3&4	10 OF 13



**BUS SHELTER AND PAD DETAIL**  
NO SCALE

NOTES:  
1. CONCRETE PAD TO BE CONSTRUCTED IN A MANNER SIMILAR TO THE CONCRETE PAD SHOWN IN NO. CO. DETAIL R-1101

**DEVELOPER'S/OWNER'S CERTIFICATE**

"I/we certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Landscape Manual. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

*Paul Bule*  
Developer/Owner's Signature

12-17-12  
Date

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE July 19, 2012

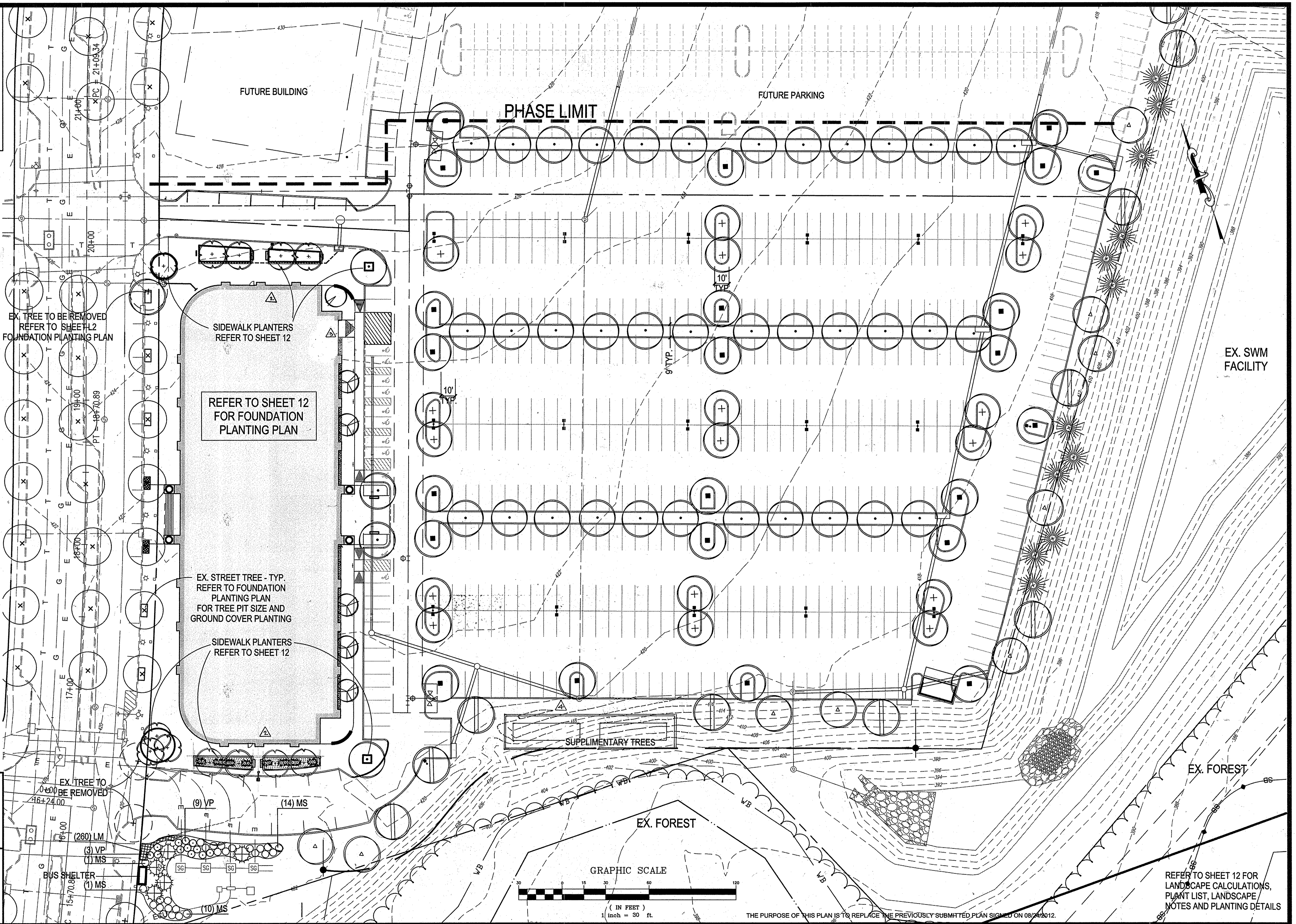
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*David K. Leyle* 1/16/12  
Director Date

*Kate Scherlock* 1/16/13  
Chief, Division of Land Development Date

*William* 1/14/13  
Chief, Development Engineering Division Date

**HUMAN & ROHDE, INC.**  
Landscape Architects  
512 Virginia Ave. Towson, Maryland 21286  
(410) 825-3885 Phone (410) 825-3887 Fax



NO.	DATE	REVISION	BY	APPR.
02-17-12		Revise parallel parking & hardscape at entrances		P.S.V.
01-15-12		Rev parking walks & landscaping due to loading dock rev.		P.S.V.
12-21-12		Remove trees, show enclosure & revise sheet number		P.S.V.

PREPARED FOR:

OWNER:  
MAPLE LAWN  
C.G. STANTORY TRUST  
1829 RESTERTOWN ROAD  
SUITE 300  
BALTIMORE, MD 21208  
PH: 410-484-9400  
ATN: MARK BENNETT

DEVELOPER:  
ST. JOHN PROPERTIES  
2560 LORD BALTIMORE DR.  
BALTIMORE, MD 21244  
PH: 410-788-0100  
ATN: ANDREW ROUD

STATE OF MARYLAND  
LANDSCAPE ARCHITECT  
NO. 353  
MARK BENNETT

**ST. JOHN PROPERTIES**  
2560 Lord Baltimore Dr.  
Baltimore, MD 21244

REVISED LANDSCAPE PLAN

**MAPLE LAWN FARMS**  
Business District - Area 2  
Parcel "C-28" (Office Building No. 6) and Parcel "C-29" (Office Building No. 8)

PLAT Nos. 22052-22054

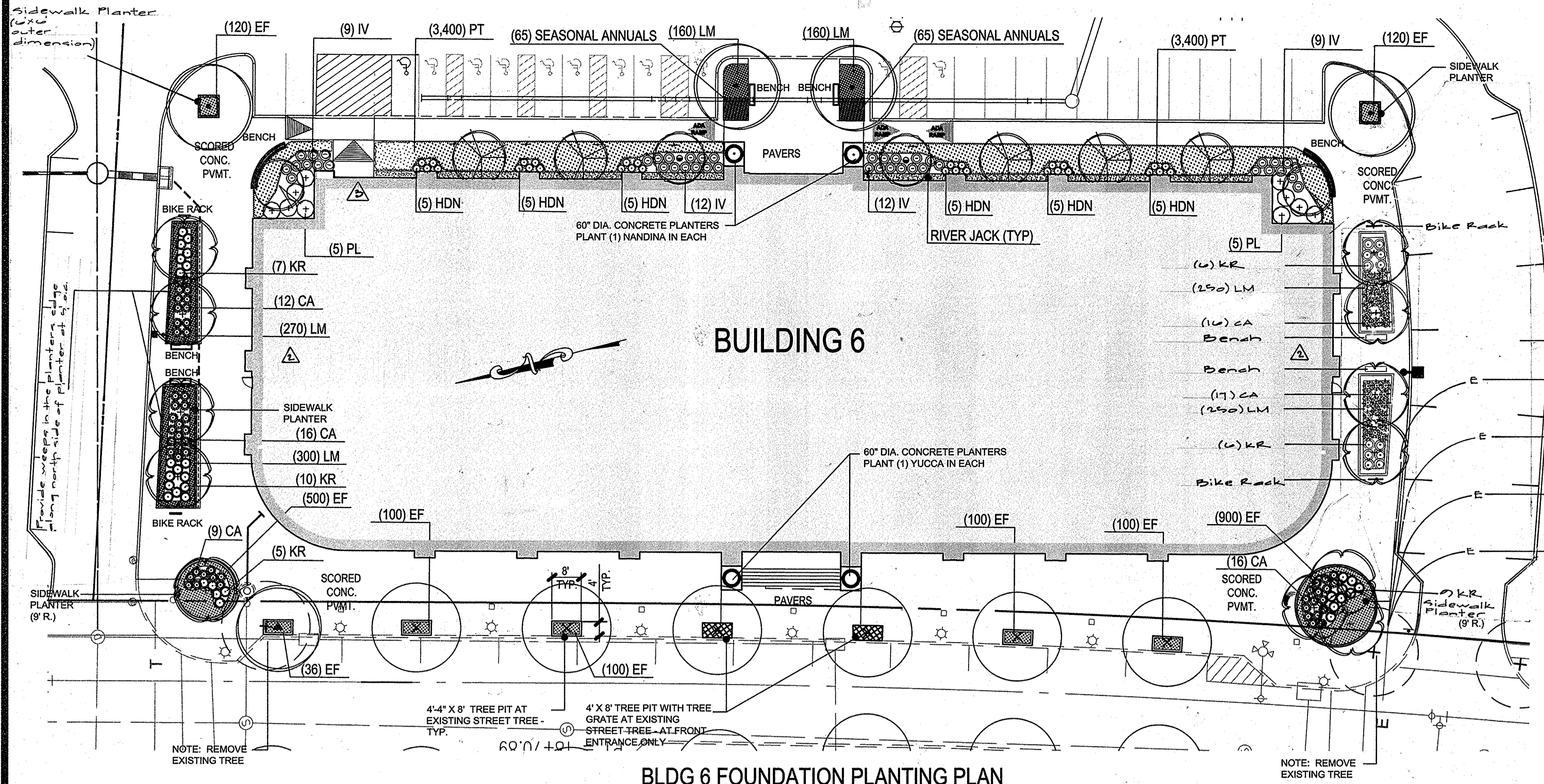
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2012	46: 3&4	11 OF 12

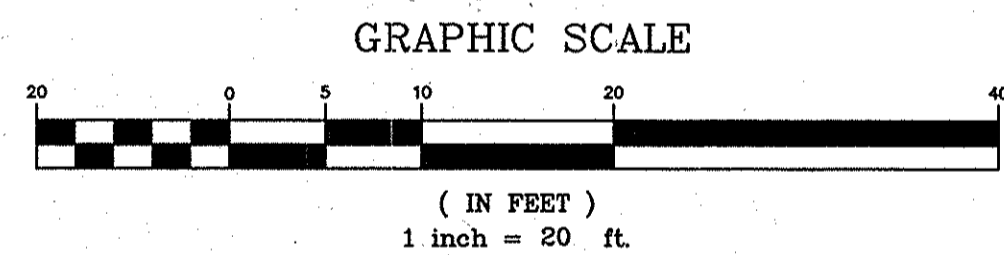
REFER TO SHEET 12 FOR LANDSCAPE CALCULATIONS, PLANT LIST, LANDSCAPE/NOTES AND PLANTING DETAILS

THE PURPOSE OF THIS PLAN IS TO REPLACE THE PREVIOUSLY SUBMITTED PLAN SIGNED ON 08/14/2012.



BLDG 6 FOUNDATION PLANTING PLAN

SCALE: 1" = 20'



**STANDARD LANDSCAPE NOTES**

1. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
2. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**LANDSCAPE SURETY**

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. 39 SHADE TREES, 12 EVERGREEN TREES AND 135 SHRUBS HAVE BEEN PROVIDED TO MEET THE LANDSCAPE MANUAL.

A LANDSCAPE SURETY IN THE AMOUNT OF \$31,560.00 WAS POSTED WITH THE GRADING PERMIT.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE July 19, 2012

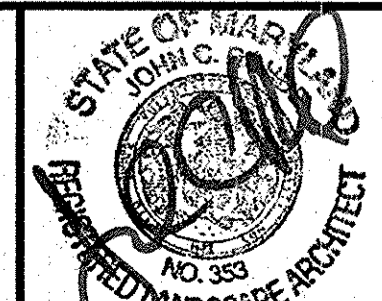
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director [Signature] Date 1/16/12  
Chief, Division of Land Development [Signature] Date 1/16/13  
Chief, Development Engineering Division [Signature] Date 1/14/13

HUMAN & ROHDE, INC.  
Landscape Architects  
512 Virginia Ave. Towson, Maryland 21286  
(410) 825-3885 Phone (410) 825-3887 Fax

REVISION	DATE	BY	APPR.
02.27.12	Revise curb line, landscape & planting.		DBV
01.15.12	Rev. parking walks & landscaping due to loading dock rev.		DBV
12.02.10	Rev. sheet number and quantity in Schedule 'B'		DBV

PREPARED FOR:  
OWNER: MAPLE LAWN C.C. STATUTORY TRUST  
1639 REISTERSTOWN ROAD SUITE 300 BALTIMORE, MD 21208 PH: 410-484-8400 ATTN: MARK BENNETT

DEVELOPER: ST. JOHN PROPERTIES  
2560 LORD BALTIMORE DR. BALTIMORE, MD 21244 PH: 410-788-0100 ATTN: ANDREW ROUD



ST. JOHN PROPERTIES  
2560 Lord Baltimore Dr  
Baltimore, MD 21244

REVISED BUILDING PERIMETER PLANTING PLAN AND DETAILS  
MAPLE LAWN FARMS  
Business District - Area 2  
Parcel "C-28" (Office Building No. 6) and Parcel "C-29" (Office Building No. 8)  
PLAT Nos. 22052-22054  
HOWARD COUNTY, MARYLAND  
ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2012	46: 3&4	12 OF 13

**PLANT LIST**

KEY	QTY.	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
<b>PARKING LOT PLANTING (SHEET L1)</b>					
6	6	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
1	1	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	3 1/2-4' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
17	17	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
24	24	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE TREE	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
7	7	QUERCUS PALUSTRIS PIN OAK	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
40	40	ZELKOVA SERRATA 'GREEN VASE' GREEN VASE ZELKOVA	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
5	5	CRYPTOMERIA JAPONICA 'YOSHINO' YOSHINO CRYPTOMERIA	6-8' HT	B&B	FULL HEAVY SPECIMEN
26	26	MISCANTHUS SINENSIS 'CABARET' CABARET MISCANTHUS	#5	#5	FULL, SPACED 9' O.C.
12	12	VIBURNUM x JUDII JUDD VIBURNUM	3-4' HT.	#5	FULL, HEAVY, SPACED 9' O.C. (STAGGERED)
<b>FOUNDATION PLANTING (SHEET L2)</b>					
5	5	MAGNOLIA VIRGINIANA 'MOONGLOW' MOONGLOW MAGNOLIA	12-14' HT	B&B	FULL HEAVY SPECIMEN, CLUMP, MATCHED
2	2	CORNUS KOUSA KOUSA DOGWOOD	12-14' HT.	B&B	FULL HEAVY SPECIMEN, CLUMP, MATCHED
12	12	LAGERSTROEMIA x FAUREII 'NATCHEZ' NATCHEZ CRAWFEMYLE	18-20' HT	B&B	FULL HEAVY SPECIMEN, 4 STEMS, MATCHED
2	2	LAGERSTROEMIA x 'MIAMI' MIAMI CRAWFEMYLE	12-14' HT	B&B	FULL HEAVY SPECIMEN, 4 STEMS, MATCHED
86	86	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER' KARL FOERSTER FEATHER REED GRASS	#3	#3	FULL, SPACED 3' O.C.
42	42	ITEA VIRGINICA 'LITTLE HENRY' LITTLE HENRY SWEETSPICE	2-2 1/2' HT.	#5	FULL, SPACED 3' O.C.
30	30	NANDINA DOMESTICA 'HARBOR DWARF' HARBOR DWARF HEAVENLY BAMBOO	18-24' HT.	#3	SPACED 24" O.C.
10	10	PRUNUS LAUROCERASUS 'SCHIPKAENSIS' SKIP LAUREL	3-4' HT.	#5	FULL, HEAVY, SPACED 6' O.C.
43	43	ROSA 'KNOCK OUT' KNOCK OUT ROSE	3-4' HT.	#5	FULL, HEAVY, SPACED 4' O.C. (RED)
2	2	YUCCA RECURVIFOLIA YUCCA	-	#5	FULL
2040	2040	EUONYMUS FORTUNEI 'COLORATUS' WINTERCREEPER	FLATS	ROOTED CUTTINGS	SPACED 6' O.C. STAGGERED
L1: 260 L2: 1330 1650		LIRIOPE MUSCARI 'VARIEGATA' VARIEGATED LILYTURF	-	4" POTS	SPACED 6' O.C. (STAGGERED)
6800		PACHYSANDRA TERMINALIS 'GREEN SHEEN' GREEN SHEEN JAPANESE SPURGE	-	4" POTS	SPACED 6' O.C. (STAGGERED)
130		SEASONAL ANNUALS	-	4" POTS	FILL 4" DIA. CONC. PLANTERS
50		SEASONAL ANNUALS	-	4" POTS	FILL 4" DIA. CONC. PLANTERS
<b>SWM BUFFER PLANTING (SHEET L1)</b>					
5	5	ACER RUBRUM 'RED SUNSET' RED SUNSET MAPLE	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
5	5	QUERCUS PALUSTRIS PIN OAK	2 1/2-3' CAL	B&B	FULL HEAVY SPECIMEN, HEADED TO 6' HT.
12	12	PICEA ABIES NORWAY SPRUCE	6-8' HT	B&B	FULL HEAVY SPECIMEN

**SCHEDULE A  
PERIMETER LANDSCAPE EDGE**

CATEGORY	BUILDING LENGTH - REAR & SIDES	STORMWATER FACILITY BUFFER
LOCATION / USE SITUATION	SIDES AND REAR OF BUILDING	SWM FACILITY ADJACENT TO PARKING
LANDSCAPE BUFFER TYPE	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHADE TREE/20' + 1 EVERGREEN TREE/40'
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE / BUILDING	310' (EAST SIDE) + 115' (NORTH SIDE) + 115' (SOUTH SIDE) = 540' TOTAL	485 LF
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	N/A
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	N/A	N/A
NUMBER OF SHADE TREES REQUIRED	N/A	10
NUMBER OF EVERGREEN TREES REQUIRED	N/A	12
NUMBER OF SHRUBS REQUIRED	540' / 4 = 135 SHRUBS	N/A
SHADE TREES PROVIDED	N/A	10
EVERGREEN TREES PROVIDED	N/A	12
SHRUBS PROVIDED	N/A	N/A
SUBSTITUTIONS: 4 SF GROUND COVER = 1 SHRUB	100 SF GC / 4 = 25 SHRUBS	N/A
TOTAL SHRUBS PROVIDED	154 SHRUBS	N/A

NOTE: PAVING EXTENDS TO THE BUILDING WALL ON THE FRONT AND SIDES OF THE BUILDING. PLANTERS ARE PROPOSED ON THE NORTH AND SOUTH SIDE SIN WHICH SHRUBS AND FLOWERING TREES ARE PLANTED.

**SCHEDULE B  
PARKING LOT INTERNAL LANDSCAPING**

Number of Parking Spaces	577
Number of Trees Required (120 spaces)	29
Number of Trees Provided	17
Shade Trees	0
Other Trees (2:1 substitution)	0
Internal Islands Required (1200 spaces @ 200 SF)	57720 = 29 @ 200 sf = 5,800 SF
Internal Islands Provided (Min. 200 SF)	40

- PLANTING NOTES:**
1. CONTRACTOR IS TO NOTIFY MISS UTILITY A MINIMUM OF 72 HOURS PRIOR TO DIGGING. TELEPHONE: 1-800-257-7777.
  2. THE LANDSCAPE ARCHITECT IS TO BE NOTIFIED 48 HOURS BEFORE PLANTING BEGINS. THE LOCATION OF ALL PLANT MATERIAL IS TO BE APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT.
  3. THIS PLAN IS FOR PLANTING ONLY.
  4. NO TREE OR SHRUB PLANTING PITS ARE TO BE LEFT OPEN OR UNATTENDED.
  5. SHRUBS ARE TO BE GROUPED INTO MULCHED BEDS. BEDS ARE TO BE EDGED AND THE GRASS IS TO BE KILLED OR REMOVED PRIOR TO MULCHING.

**DEVELOPER'S/OWNER'S CERTIFICATE**

"I/we certify that the landscaping shown on this plan will be done according to the plan. Section 16.124 of the Howard County Code and the Landscape Manual. I/we further certify that upon completion a Letter of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature]  
Developer/Owner's Signature  
Date 12-13-12

THE PURPOSE OF THIS PLAN IS TO REPLACE THE PREVIOUSLY SUBMITTED PLAN SIGNED ON 08/24/2012.

**GENERAL STRUCTURAL NOTES**

**A. BUILDING CODES AND STANDARDS**

1. THE FOLLOWING CODES AND STANDARDS, INCLUDING ALL SPECIFICATION REFERENCED WITHIN, SHALL APPLY TO THE DESIGN, CONSTRUCTION, QUALITY CONTROL AND SAFETY OF ALL WORK PERFORMED ON THE PROJECT.

- a. "INTERNATIONAL BUILDING CODE - 2015", INTERNATIONAL CODE COUNCIL
- b. "MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES", (ANSI/ASCE 7) AMERICAN SOCIETY OF CIVIL ENGINEERS.

2. ADDITIONAL CODES FOR MATERIALS SHALL BE FOUND IN THE APPROPRIATE SECTIONS THAT FOLLOW. SEE THOSE SECTIONS FOR THE APPLICABLE CODES.

**B. FOUNDATION / EARTH WORK**

**1. DESIGN DATA:**

a. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH REPORT PREPARED BY HILLIS-CARNES ENGINEERING ASSOC., DATED 2-26-2016. PROJECT NUMBER: 16060.04.

b. DESIGN ALLOWABLE BEARING PRESSURE = 2000 PSF

c. ALL FOUNDATIONS SHALL BEAR A MINIMUM OF 2'-6" BELOW GRADE. IN CASE OF CONFLICT, NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IN ADVANCE OF ANY CONSTRUCTION TO ALLOW FOR ADJUSTMENT.

d. LATERAL EARTH PRESSURE = 61 PSF / FT DEPTH.

**2. GENERAL**

- a. CONTRACTOR SHALL VERIFY ALL EXISTING FIELD CONDITIONS THAT MAY AFFECT THE INSTALLATION OF THE FOUNDATION SYSTEM AS SHOWN PRIOR TO STARTING WORK. SEE ALSO NOTES UNDER THE "CONSTRUCTION" SECTION.
- b. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING UTILITIES, EXISTING STRUCTURES, ETC., WHETHER INDICATED OR NOT, WHICH MAY BE AFFECTED BY THE CONSTRUCTION PROCESS.
- c. CONCRETE FOR FOUNDATIONS SHALL BE POURED ON THE SAME DAY SUBGRADE APPROVAL IS GIVEN BY THE GEOTECHNICAL ENGINEER.

**3. BACKFILL**

- a. ALL BACKFILL SHALL BE ACCOMPLISHED USING MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER, WITH OPTIMUM MOISTURE CONTENT FOR COMPACTING AND SHALL BE FREE OF DEBRIS.

**4. STRUCTURAL FILL**

- a. INSPECTION OF ANY COMPACTED STRUCTURAL FILL SHALL BE PERFORMED BY A QUALIFIED GEOTECHNICAL ENGINEER.
- b. APPROVED MATERIAL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES ON LOOSE THICKNESS. MOISTURE CONDITIONED AS REQUIRED TO ACHIEVE COMPACTION TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY OBTAINED IN ACCORDANCE WITH ASTM SPECIFICATION D-698 (STANDARD PROCTOR) FOR FILL BELOW FOOTINGS.

**C. CONSTRUCTION**

**1. GENERAL**

- a. GENERATOR WEIGHT (INCLUDES FUEL) = 48,700 LBS
- b. THIS DRAWING REPRESENTS THE COMPLETED PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FORMWORK, STAGING, BRACING, SHEETING AND SHORING, ETC.
- c. WORK NOT INCLUDED ON THE DRAWINGS BUT IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES ELSEWHERE ON THE DRAWINGS SHALL BE REPEATED.
- d. IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

**D. CONCRETE**

**1. CODES**

- a. "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE, ACI 318", AMERICAN CONCRETE INSTITUTE.
- b. "SPECIFICATIONS FOR STRUCTURAL CONCRETE, ACI 301".
- c. "MANUAL OF STANDARD PRACTICE", CONCRETE REINFORCING STEEL INSTITUTE.

**2. MATERIALS**

- a. THE FOLLOWING ASTM STANDARDS AND DESIGN STRESSES SHALL BE USED FOR THE APPROPRIATE MATERIALS USED IN THE CONSTRUCTION OF THIS PROJECT.

APPLICATION	f <sub>c</sub> @ 28 DAYS	WEIGHT (PCF)	w/c (MAX)
ALL CONCRETE	4500	145	0.45

PUMP MIXES: MAXIMUM WATER/CEMENT RATIO MUST BE MAINTAINED. IF ADDITIONAL WORKABILITY IS REQUIRED FOR PUMPED PLACEMENT, THE HIGH OR MID-RANGE WATER REDUCERS SHALL BE USED IN LIEU OF ADDITIONAL WATER. WATER HELD BACK AT THE PLANT SHALL BE NOTED ON THE BATCH TICKET AND RECORDED ON THE INSPECTOR'S REPORT WHEN SAMPLE CYLINDERS ARE MADE.

- b. CEMENT: ASTM C150, TYPE II FOR CONCRETE IN CONTACT WITH EARTH
- c. CEMENT SUBSTITUTES: ASTM C595, TYPE 15 (LIMIT TO 50% MAX OF CEMENTITIOUS CONTENT BY WEIGHT) ASTM C83 (NORMAL WEIGHT)
- d. AGGREGATES: ALL CONCRETE 5% ± 1% \*AIR CONTENT OF TROWEL FINISHED FLOORS SHALL NOT EXCEED 3%
- e. AIR: AIR-ENTRAINING ADMIXTURE TO COMPLY WITH ASTM C260.
- f. REINFORCING: DEFORMED REINFORCING BARS ASTM A615, GRADE 60

**3. CAST-IN-PLACE**

- a. REINFORCING STEEL CLEAR COVER SHALL BE AS FOLLOWS UNLESS NOTED OTHERWISE:
  - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
  - CONCRETE EXPOSED TO EARTH OR WEATHER #6 BARS AND LARGER 1 1/2"
  - #5 BARS AND SMALLER 2"

- b. ALL FORMWORK SHALL BE DESIGNED BY THE CONTRACTOR'S ENGINEER REGISTERED IN THE PROJECT'S JURISDICTION.

**1. INSPECTION AND TESTING**

- a. A TESTING AGENCY SHALL BE ENGAGED TO PROVIDE SERVICES AS INDICATED BELOW AND SUBMIT REPORTS.
- b. CAST-IN-PLACE CONCRETE:
  - (1) THE AGENCY SHALL INSPECT THE FORM WORK AND REINFORCING STEEL PLACEMENT FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS AND SHOP DRAWINGS. THE AGENCY SHALL MONITOR ALL STRUCTURAL CONCRETE PLACEMENT FOR COMPLIANCE WITH APPLICABLE ACI REQUIREMENTS.
  - (2) SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. MOLD TEST CYLINDERS IN ACCORDANCE WITH ASTM C31.
  - (3) THE FOLLOWING NUMBER OF TEST CYLINDERS SHALL BE CAST FOR EACH DAY'S POUR OR EACH 50 CUBIC YARDS, WHICHEVER RESULTS IN MORE TEST CYLINDERS.

FOR FOOTINGS AND WALLS:  
2 @ 7 DAYS, LAB CURED  
2 @ 28 DAYS, LAB CURED

**E. MASONRY**

**1. CODES**

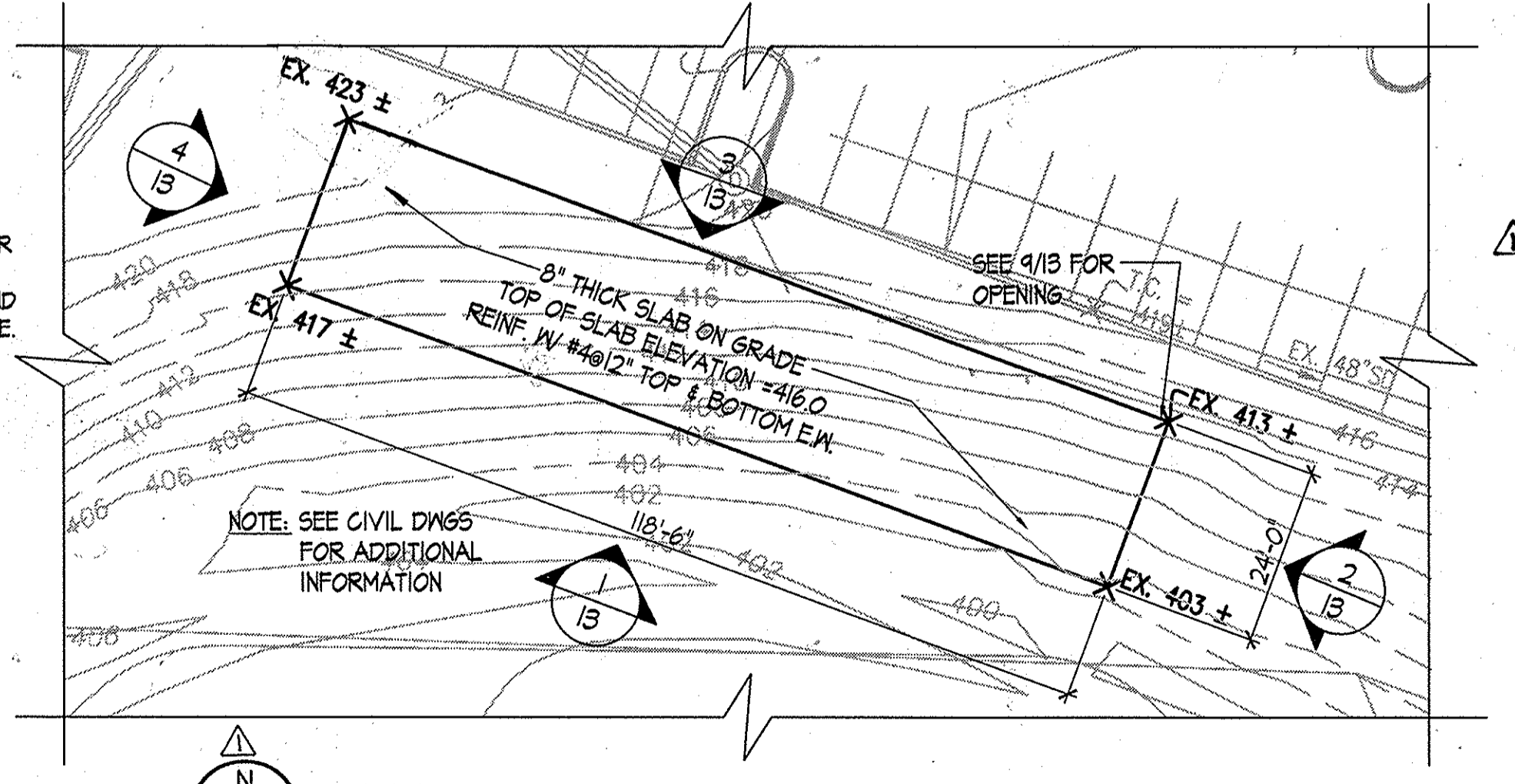
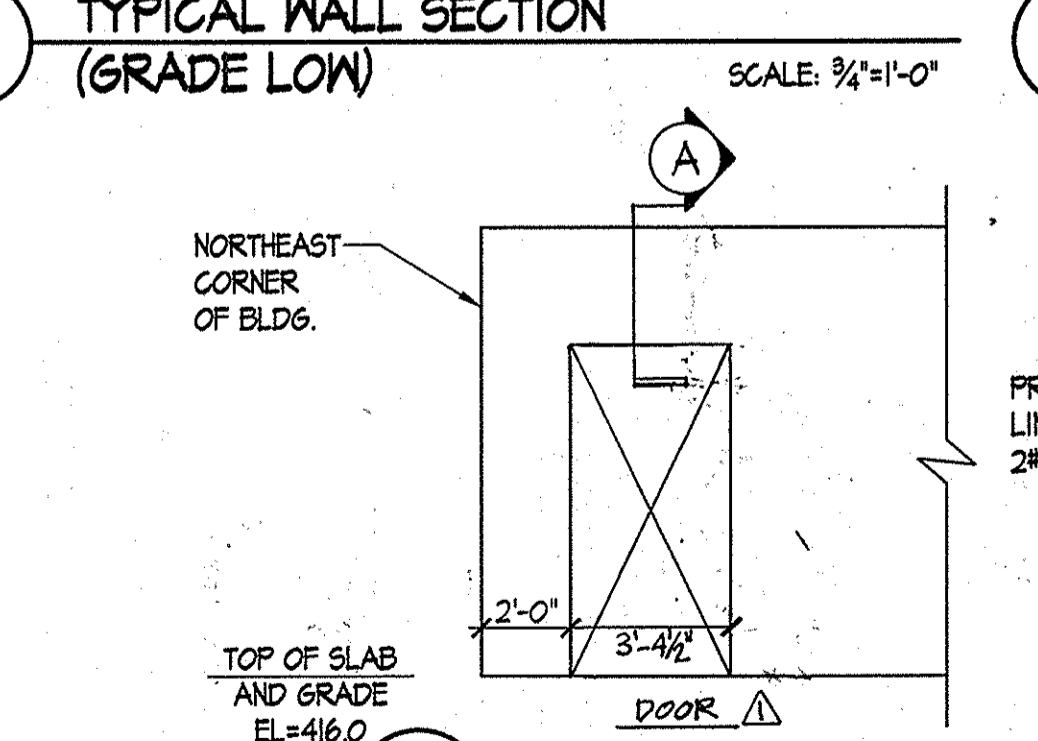
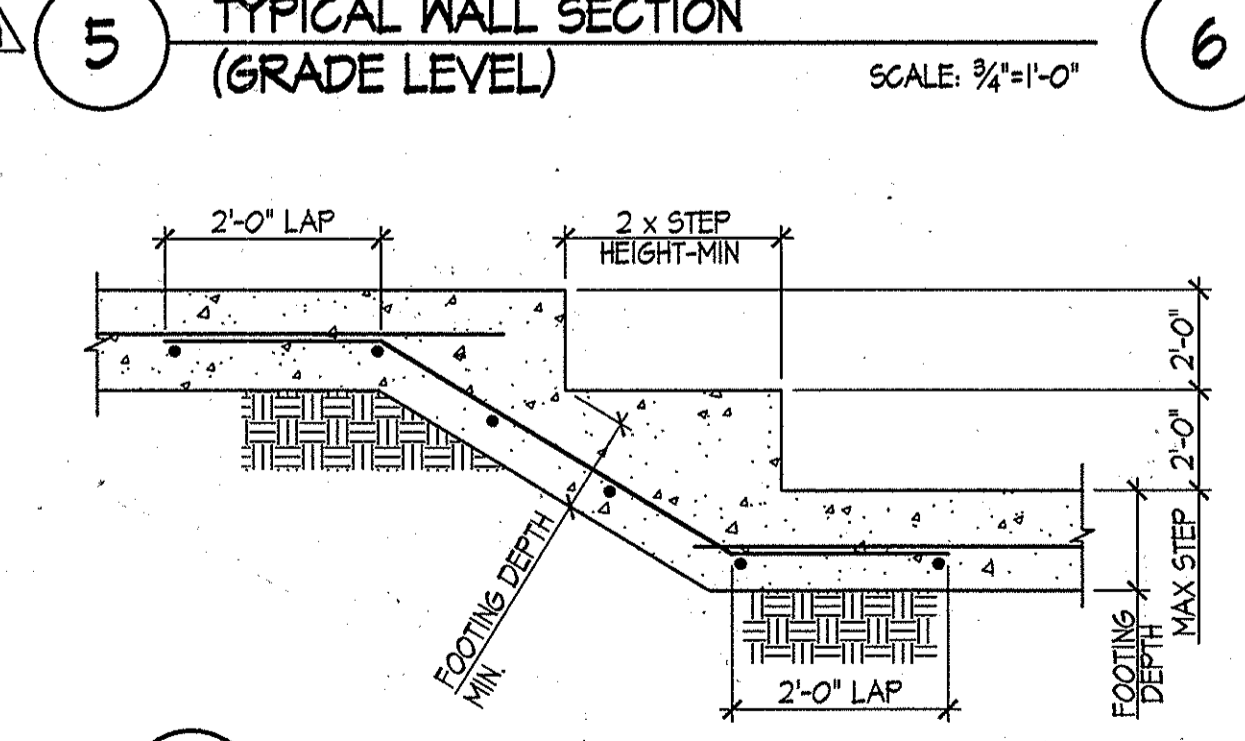
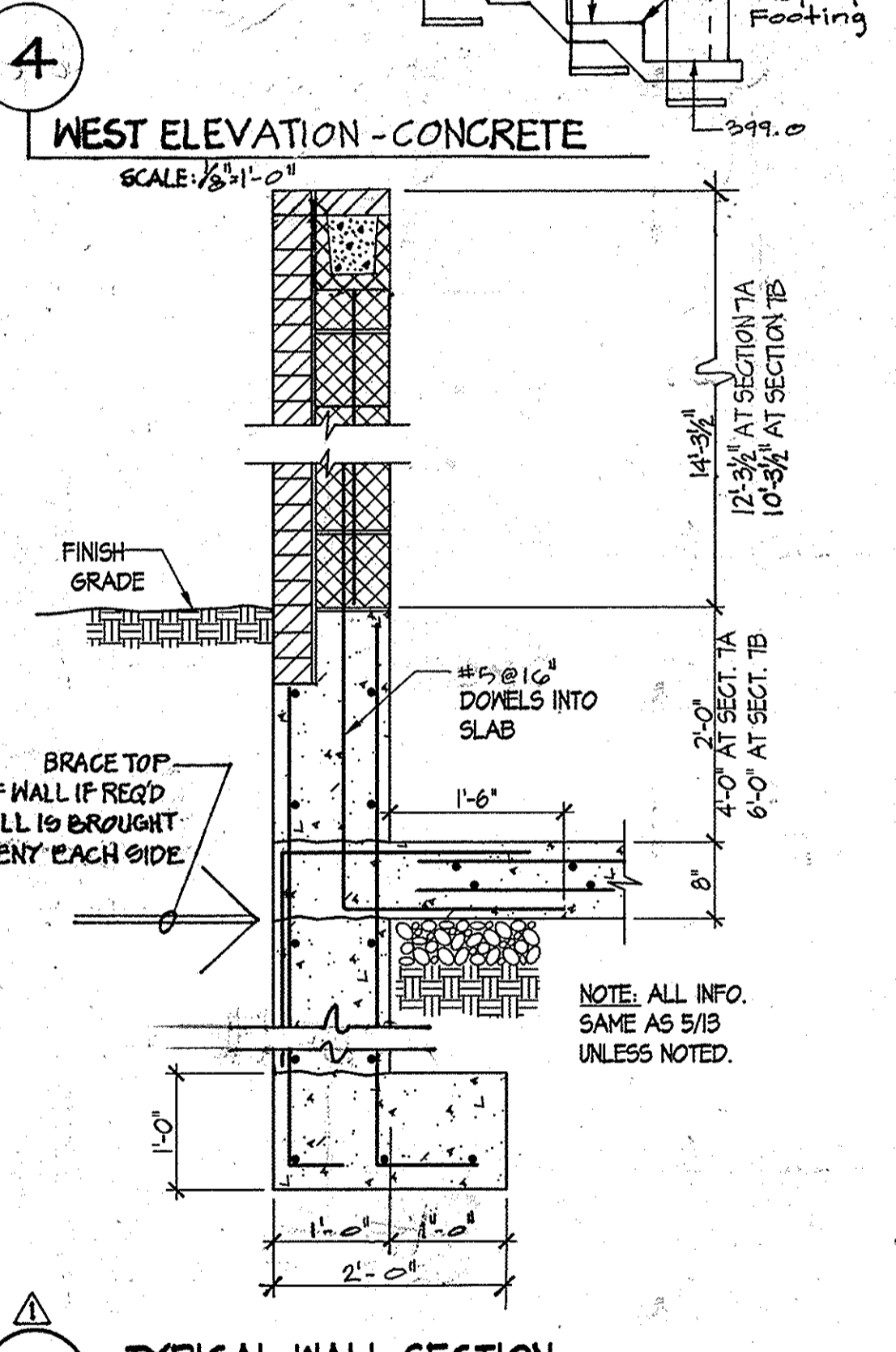
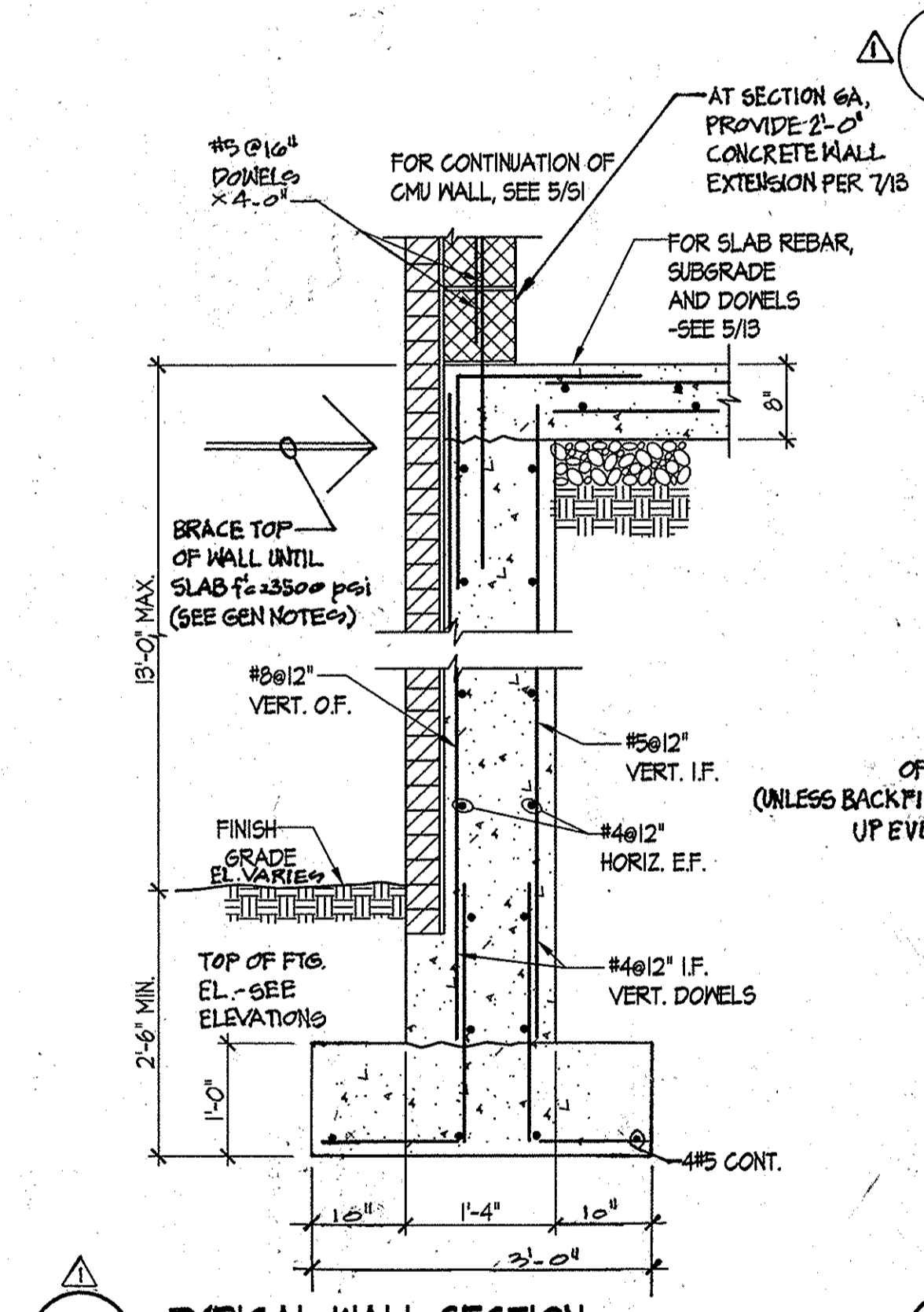
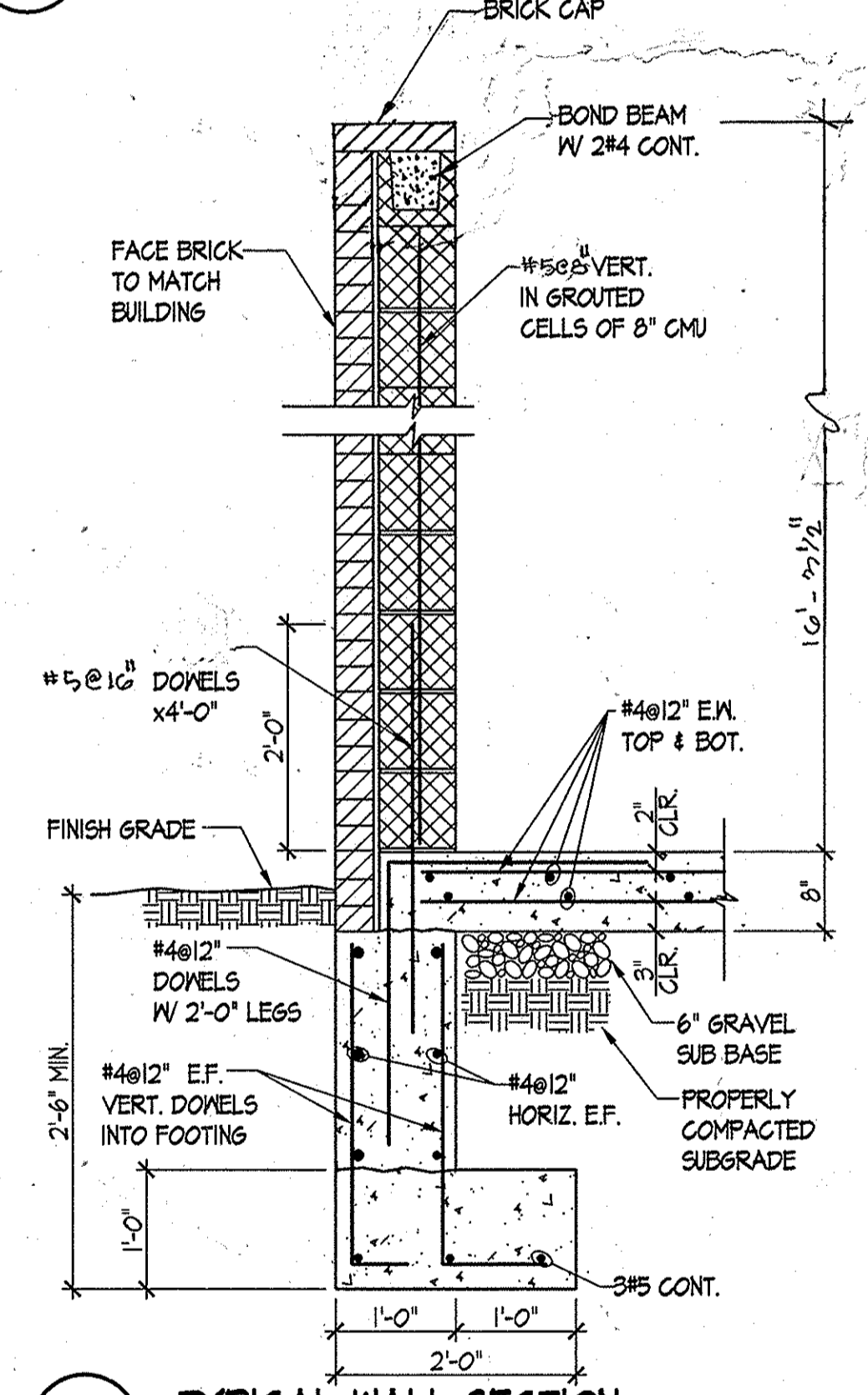
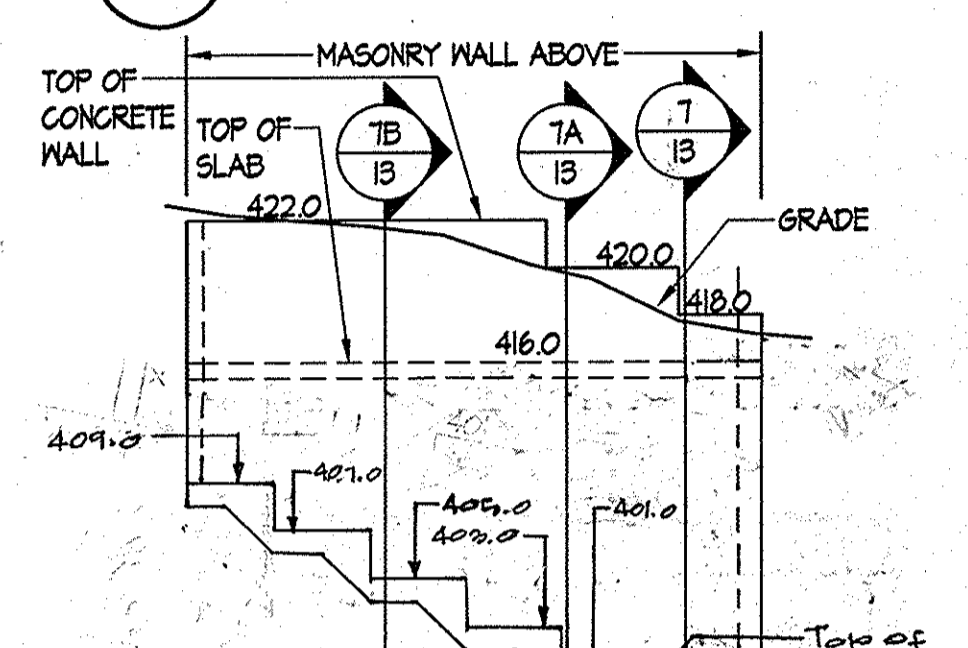
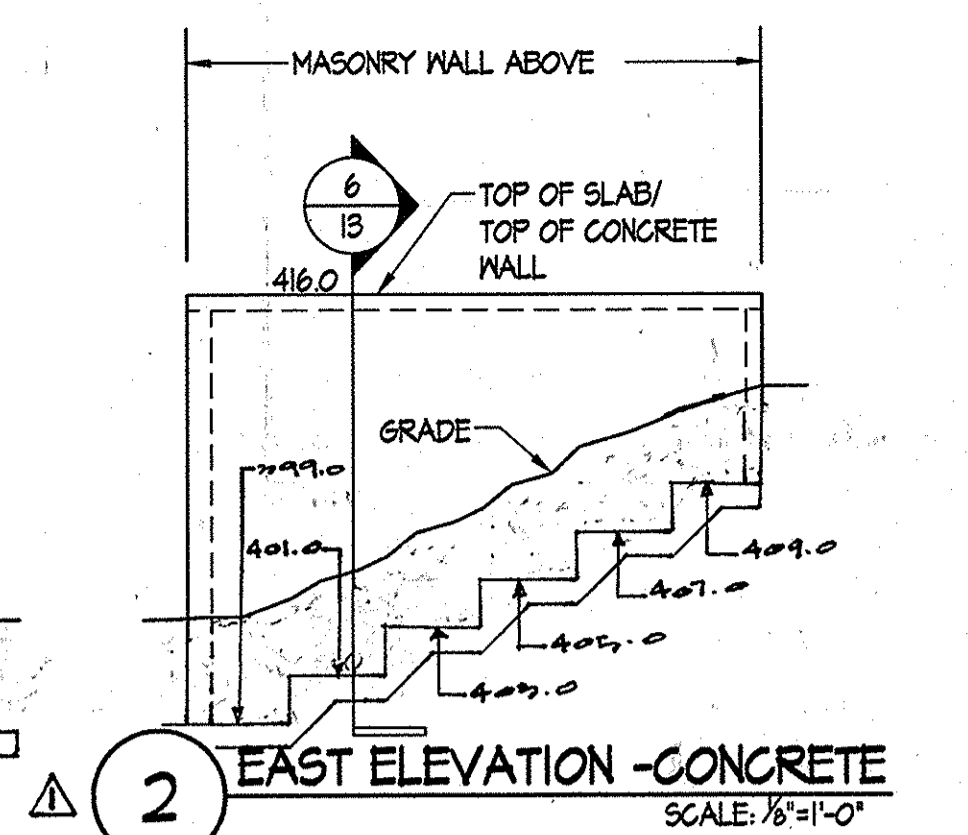
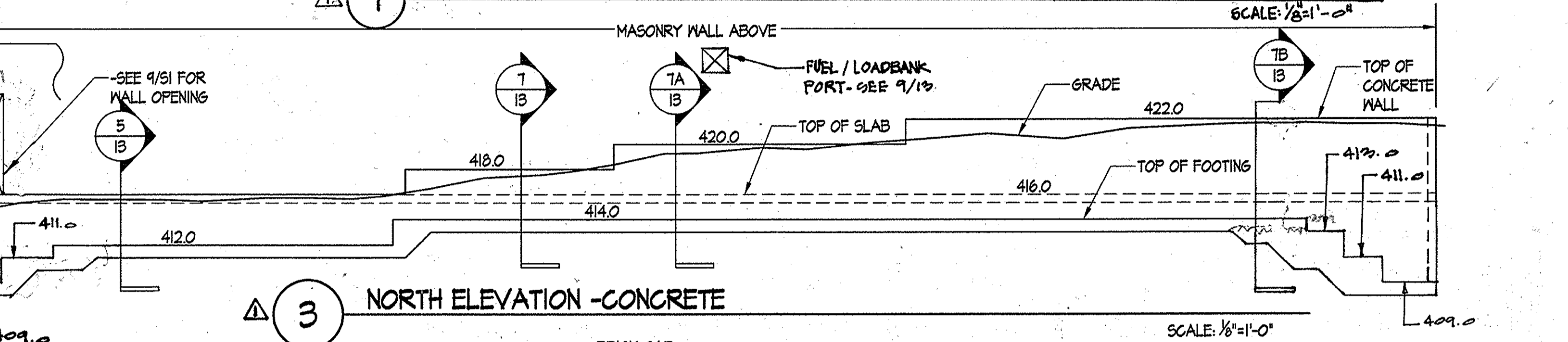
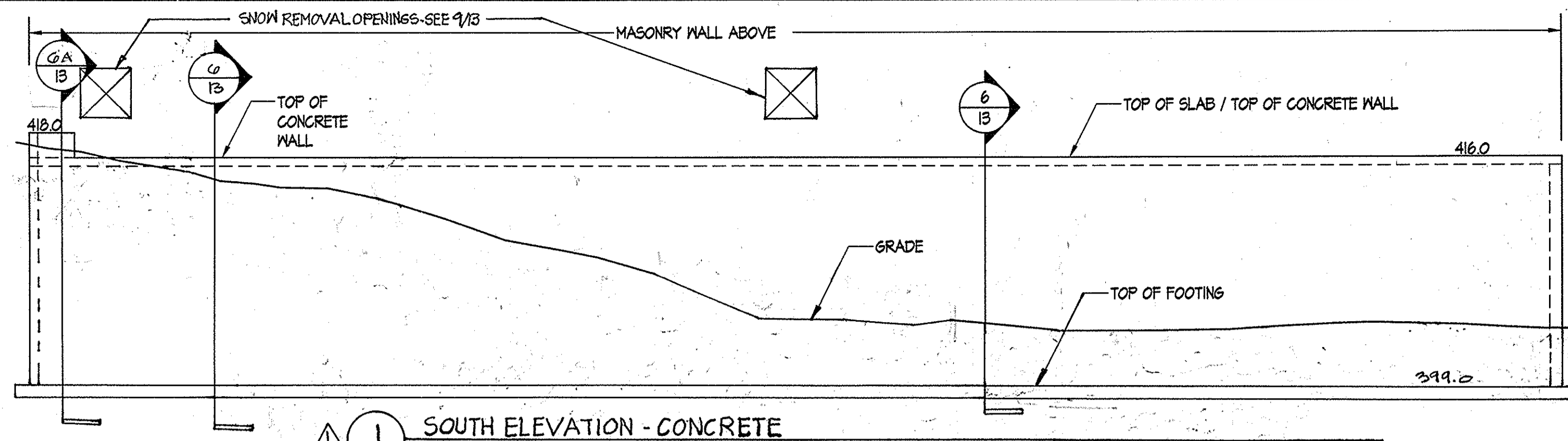
- a. "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES, ACI 530 / ASCE 5" AND "SPECIFICATIONS FOR MASONRY STRUCTURES, ACI 530.1 / ASCE 6".

**2. MATERIALS**

- a. LOAD BEARING CONCRETE: HOLLOW AND SOLID - ASTM C90, NORMAL MASONRY UNITS WEIGHT, NET AREA COMPRESSIVE STRENGTH OF CONCRETE MASONRY UNITS = 1400 PSI. BRICK - ASTM C55, MINIMUM COMPRESSIVE STRENGTH ON NET AREA = 2000 PSI.
- b. FACE BRICK: ASTM C216 (CLAY OR SHALE), MINIMUM COMPRESSIVE STRENGTH ON NET AREA = 2000 PSI.
- c. MORTAR: ASTM C270 - TYPE S
- d. GROUT: ASTM C478, MINIMUM COMPRESSIVE STRENGTH ON NET AREA = 2000 PSI.
- e. HORIZONTAL JOINT REINFORCING: ASTM A62, 9 GAUGE TRUSS-TYPE GALVANIZED
- f. COMPRESSIVE STRENGTH OF MASONRY: F<sub>m</sub> = 1500 PSI, UNIT STRENGTH METHOD OR PRISM TEST METHOD PER ACI 530/ASCE 5

**3. GENERAL**

- a. PROVIDE STANDARD WEIGHT GALVANIZED HORIZONTAL JOINT REINFORCEMENT IN WALLS AND PARTITIONS AT 16" O.C. UNLESS OTHERWISE SHOWN OR NOTED.
- b. PROVIDE ONE PIECE PREFABRICATED UNITS AT 8" O.C. AT ALL WALL CORNERS AND INTERSECTIONS. LAP REINFORCEMENT A MIN OF 2 BARS.
- c. PROVIDE BOND BEAMS WITH 2#4 HORIZONTAL REINFORCEMENT CONTINUOUS AT TOP OF ALL MASONRY WALLS.



APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE: Jun 19, 2012

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: [Signature] Date: 12-9-15  
Chief, Division of Land Development: [Signature] Date: 12-9-15  
Chief, Development Engineering Division: [Signature] Date: 12-9-15

RATHGEBER/GOSS ASSOCIATES  
Consulting Structural Engineers  
15871 Crabbs Branch Way  
Rockville, Maryland 20855  
Phone: (301) 590-0071 Fax: (301) 590-0073  
www.rath-goss.com  
PROJECT NO. 15014.07

DES.	M.J.G.	DRN.	MAH	CHK.	M.J.G.	DATE	REVISION
1							Rev. Footer Design Per Geotechnical Report and increased screen Wall Height

PREPARED FOR:  
OWNER: MAPLE LAWN FARMS  
DEVELOPER: ST. JOHN PROPERTIES  
C.C. STATUTORY TRUST/2550 LORD  
1829 REISTERSTOWN RD/BALTIMORE DR.  
SUITE 300 BALTIMORE, MD 21208  
PH: 410-484-8400 ATTN: ANDREW ROUD  
ATTN: MARK BENNETT

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 12928 EXPIRATION DATE: April 15, 2018

GENERATOR PAD AND ENCLOSURE  
MAPLE LAWN FARMS  
Business District - Area 2  
Parcel 'C-28' (Office Building No. 6 - A LEED Certified Green Building)  
(Proposed Office Space with possible First Floor Retail)  
PLAT Nos. thru  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
AS SHOWN	MXD-3	11095
DATE	TAX MAP - GRID	SHEET
DECEMBER, 2015	46: 3&4	13 OF 13