

INDEX OF DRAWINGS

ADDRESS CHART

NO.	DESCRIPTION
1	COVER SHEET
2	SITE DEVELOPMENT, SEDIMENT CONTROL PLANS AND SOIL MAP
3	SEDIMENT CONTROL NOTES AND DETAILS

LOT #	ADDRESS
1	5803 MARBUCK WAY
2	6229 MONTGOMERY ROAD
3	5811 MARBUCK WAY
4	5815 MARBUCK WAY
5	5819 MARBUCK WAY
6	5823 MARBUCK WAY
7	5827 MARBUCK WAY
8	5831 MARBUCK WAY

# SITE DEVELOPMENT PLAN

## MARBUCK ESTATES

### LOTS 1 THRU 8

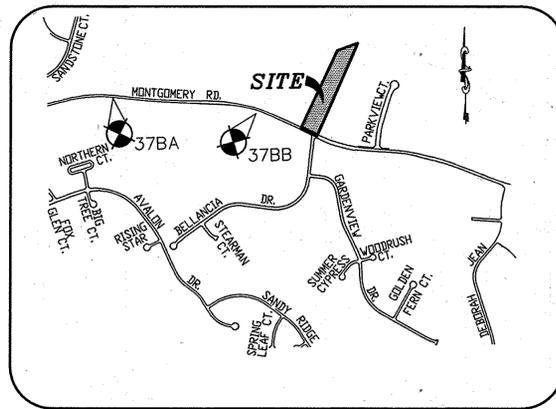
### FIRST ELECTION DISTRICT

### HOWARD COUNTY, MARYLAND

PERMIT INFORMATION BLOCK					
SUBDIVISION NAME:	MARBUCK ESTATES	SECTION/AREA:	N/A	PARCEL:	47
PLAT NO.	21546-47	BLOCK(S)	5	ZONING	R-20
TAX MAP NO.	37	ELECTION DISTRICT	1ST	CENSUS TRACT	601101

LEGEND

- USE IN COMMON PUBLIC ROAD AND PRIVATE DRIVEWAY
- PRIVATE USE-IN-COMMON ACCESS EASEMENT FOR LOTS 3-8 & PRIVATE WATER, SEWER AND UTILITY EASEMENT FOR LOTS 7 & 8. PRIVATE INGRESS & EGRESS EASEMENT TO OPEN SPACE LOT 9 FOR LOTS 1-6. PRIVATE DRAINAGE, STORMWATER MANAGEMENT AND RETAINING WALL EASEMENT.
- PUBLIC WATER, SEWER AND UTILITY EASEMENT
- EROSION CONTROL MATTING
- TREES PROVIDED UNDER F-10-107
- EXISTING TREELINE
- DENOTES EXISTING POWER POLE
- LIMIT OF DISTURBANCE
- EXISTING SUPER SILT FENCE
- RAINGARDEN
- EXISTING STREET TREES PROVIDED UNDER F-10-107

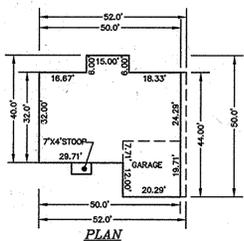


VICINITY MAP

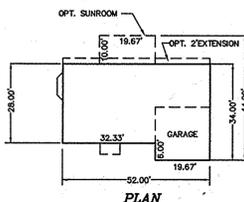
SCALE: 1"=1000'  
ADC MAP: 4936 H6

STORMWATER MANAGEMENT PRACTICES																
LOT #	ADDRESS	GREEN ROOF A-1 (Y/N)	PERMEABLE PAVEMENTS A-2 (Y/N)	REINFORCED TURF A-3 (Y/N)	DISCONNECTION OF ROOFTOP RUNOFF N-1 (NUMBER)	DISCONNECTION OF NON-ROOFTOP RUNOFF N-2 (Y/N)	SHEETFLOW TO CONSERVATION AREAS N-3 (Y/N)	RAINWATER HARVESTING M-1 (NUMBER)	SUBMERGED GRAVEL WETLANDS M-2 (NUMBER)	LANDSCAPE INFILTRATION M-3 (NUMBER)	INFILTRATION BERMS M-4 (NUMBER)	DRY WELLS M-5 (NUMBER)	MICRO-BIORETENTION M-6 (NUMBER)	RAIN GARDENS M-7 (NUMBER)	SWALES M-8 (NUMBER)	ENHANCED FILTERS M-9 (NUMBER)
1	MONTGOMERY ROAD	N	N	N	1.5	N	N	0	0	0	0	0	0	1	0	0
2	MONTGOMERY ROAD	N	N	N	0	Y	N	0	0	0	0	0	0	0	0	0
3	MONTGOMERY ROAD	N	N	N	0	N	N	0	0	0	0	0	0	1	1	0
4	MONTGOMERY ROAD	N	N	N	0	N	N	0	0	0	0	0	0	1	1	0
5	MONTGOMERY ROAD	N	N	N	0	N	N	0	0	0	0	0	0	1	1	0
6	MONTGOMERY ROAD	N	N	N	0	Y	N	0	0	0	0	0	0	2	0	0
7	MONTGOMERY ROAD	N	N	N	0	Y	N	0	0	0	0	0	0	2	0	0
8	MONTGOMERY ROAD	N	N	N	0	Y	N	0	0	0	0	0	0	2	0	0

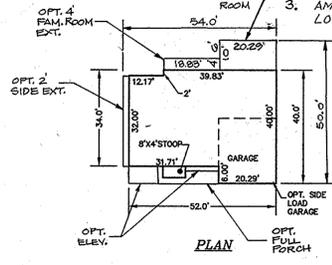
NOTE: NO OPTIONS SHALL BE ALLOWED FOR MODELS: ALEXIS MARIE, CHAMBERLAIN III, UNLESS A REDLINE IS APPROVED SHOWING ADDITIONAL STORMWATER MANAGEMENT MEASURES.



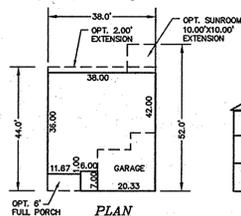
ALEXIS MARIE



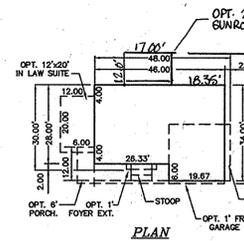
ARMISTEAD III



CHAMBERLAIN III



CARROLL



GILMOR III



GENERIC BOX

- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTIONS AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
  - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
  - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY MILDENBERG, BOENDER AND ASSOC. INC. PERFORMED ON OR ABOUT SEPTEMBER 2003.
  - COORDINATES BASED ON NAD 83 (HORIZONTAL) AND NAD 83 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 378A & 378B  
STA. No. 378A N 563,785.618 E 1,376,343.172 ELEV. 394.786  
STA. No. 378B N 563,663.415 E 1,378,040.471 ELEV. 373.822
  - STORMWATER MANAGEMENT REQUIREMENTS HAVE BEEN SATISFIED VIA ON-SITE, NON-STRUCTURAL CREDIT. THE ROOFTOP DISCONNECTION CREDIT AND USE OF RAINGARDENS IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL AS APPROVED UNDER F-10-107.
  - EXISTING UTILITIES ARE BASED ON ACTUAL FIELD LOCATIONS, IN COMBINATION WITH EXISTING WATER AND SEWER CONTRACTS.
  - ANY DAMAGE TO THE COUNTY RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
  - SEWER HOUSE CONNECTION ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE OR EASEMENT LINE.
  - FOR DRIVEWAY ENTRANCE DETAILS, REFER TO HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06.
  - SITE ANALYSIS DATA CHART:  
LOCATION: TAX MAP 37 PARCEL 47, DEED REFERENCE: L 9862 F. 52  
ZONING: R-20 (ZONING MAP DATED JULY 28, 2006)  
ELECTION DISTRICT: 1ST  
TOTAL PROJECT AREA: 4.99 ACRES ±  
AREA OF PLAN SUBMISSION: 4.09 ACRES ±  
LIMIT OF DISTURBED AREA: 3.97 AC ±  
PROPOSED USE FOR SITE: RESIDENTIAL  
TOTAL NUMBER OF UNITS: 8  
TYPE OF PROPOSED UNIT: SFD  
DPZ FILES: SP-05-007, WP-05-78, WP-10-60, F-10-107
  - a. SUBJECT PROPERTY ZONED R-20 RESIDENTIAL PER THE 02/02/04 COMPREHENSIVE ZONING PLAN AND PER THE COMP LITE ZONING AMENDMENT EFFECTIVE 7/28/06.  
b. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.  
c. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW PAVING OR STRUCTURES IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAM(S), OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100-YEAR FLOODPLAIN.  
d. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:  
- WIDTH - 12 FEET (16 FEET SERVING MORE THAN ONE RESIDENCE).  
- SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" INCH MINIMUM).  
- GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT TURNING RADIUS.  
- STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.  
- MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.
  - PUBLIC WATER AND SEWER WILL BE UTILIZED. LOTS 1 THRU 8 WILL BE SERVICED UNDER CONTRACT # 14-4878-D.
  - FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT ONTO THE PIPESTEM LOT DRIVEWAY RIGHT-OF-WAY LINE.
  - MINIMUM LOT SIZE AND OPEN SPACE REQUIREMENTS SHOWN ABOVE ARE IN ACCORDANCE WITH SECTION 16.12(a)(2) OF THE HOWARD COUNTY SUBDIVISION REGULATIONS, 5th ED.
  - BASED ON AVAILABLE COUNTY DATA, NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON SITE.
  - NO STEEP SLOPES OR FLOODPLAINS EXIST ON SITE.
  - THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE HAVE BEEN SATISFIED UNDER F-10-107.
  - THE LANDSCAPING REQUIREMENTS WERE SATISFIED WITH F-10-107.
  - THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING PLANT MATERIALS, BERMS, FENCES AND WALLS (AS REQUIRED UNDER F-10-107) ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
  - STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME I & II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MDE STORMWATER MANAGEMENT REGULATION GUIDANCE FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND GRANTED A WAIVER. THIS PLAN RECEIVED PRELIMINARY APPROVAL (SP-05-007 ON MARCH 10, 2006). THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THIS WAIVER UNLESS ALL STORMWATER MANAGEMENT IS CONSTRUCTED BY MAY 4, 2017.
  - A PRIVATE RANGE OF ADDRESS SIGN ASSEMBLY SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS/OWNERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND COST ESTIMATES.
  - STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 MARYLAND MANUAL VOLUME I AND II. IT WAS DETERMINED THAT THIS PROJECT MET THE CRITERIA OUTLINED IN THE MDE STORMWATER MANAGEMENT REGULATIONS GUIDANCE FOR IMPLEMENTATION FOR ACCEPTANCE OF THE 2000 DESIGN CRITERIA AND GRANTED AN ADMINISTRATION WAIVER. THIS PLAN RECEIVED PRELIMINARY APPROVAL (SP-05-007) ON MARCH 10, 2006. THIS PLAN RECEIVED PLAT APPROVAL (F-10-107) ON APRIL 18, 2011. EXPIRATION OF ADMINISTRATIVE WAIVERS FOR GRANDFATHERING SHALL BE MAY 04, 2013 IF THE DEVELOPER DOES NOT RECEIVE FINAL APPROVAL (SIGNED BY SOJ) PRIOR TO THIS DATE SO THAT GRADING PERMIT MAY BE OBTAINED AND THE PROJECT CONTINUES TO CONSTRUCTION COMPLETION. THIS PLAN IS ALSO SUBJECT TO THE EXPIRATION OF THE WAIVER UNLESS ALL STORMWATER MANAGEMENT IS CONSTRUCTED BY MAY 04, 2017.
  - THIS PROJECT IS SUBJECT TO A WAIVER TO DESIGN MANUAL, VOLUME III, SECTION 2 APPENDIX A, WHICH REQUIRES THAT "RESIDENTIAL AND USE-IN-COMMON DRIVEWAYS ARE THOSE SERVING SINGLE-FAMILY HOUSES WITH NO MORE THAN (6) DWELLING UNITS" WAS APPROVED ON OCTOBER 13, 2011 SUBJECT TO:  
1. REDLINE SDP-11-022 TO SHOW THE CHANGES OF THE DRIVEWAY AND OF STORMWATER MANAGEMENT FOR LOT 1.  
2. SUBMIT A PLAT OF REVISION TO ADD LOT 1 TO THE USE-IN-COMMON DRIVEWAY.  
3. AMEND THE USE-IN-COMMON MAINTENANCE AGREEMENT TO INCLUDE LOT 1.

Project	date	description	approval
10-022	JULY 2011	illustration	MMM
		engineering	MMM
		AS SHOWN	MMM

NO.	DATE	DESCRIPTION	REVISIONS
1	10/06/14	REVISE 0.5MM PRACTICES TABLE FOR LOT 1	
2	12/06/12	ADD 2' FENCE & DRIVEWAY EXT. COMBO TO GARAGE III	
3	07/26/12	CORRECT ADDRESS CHART LOT 1	
4	12/10/11	REVISE CHAM. III FOOTPRINT & BEN. BOX	
5	09/21/11	ADDED GENERAL NOTE 2.5.	

**MARBUCK ESTATES**  
 LOTS 1 THRU 8  
 TAX MAP 37 GRID 5, PARCEL 47  
 HOWARD COUNTY, MARYLAND  
 FIRST ELECTION DISTRICT  
 COVER SHEET

**MILDENBERG, BOENDER & ASSOC., INC.**  
 Engineers Planners Surveyors  
 6800 Deerpath Road, Suite 150, ElkrIDGE, Maryland 20775  
 (410) 997-0298 Fax.

H:\10-022 MARBUCK ESTATES (DWG)\SDP11-022-SDP.dwg

**OWNER/DEVELOPER**  
 DORSEY FAMILY HOMES  
 10717 BIRMINGHAM WAY, SUITE B  
 WOODSTOCK, MARYLAND 21163  
 410-465-7200

**DEVELOPERS CERTIFICATE**  
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO PERIODIC ON-SITE INSPECTION.  
 Signature of Developer: Robert I. Dorsey, Jr.  
 DATE: 6-29-2011  
 PRINTED NAME OF DEVELOPER: ROBERT I. DORSEY, JR.

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.  
 Signature of Engineer: R. Jacob Hikmat, PE  
 DATE: 6/29/11  
 PRINTED NAME OF ENGINEER: R. JACOB HIKMAT, PE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.  
 Signature of Director: Mark J. Doyle  
 DATE: 7/12/11  
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Signature of Chief: Chad E. ...  
 DATE: 7-15-11  
 Signature of Chief: ...  
 DATE: 7-19-11  
 Signature of Director: Mark J. Doyle  
 DATE: 7/19/11

