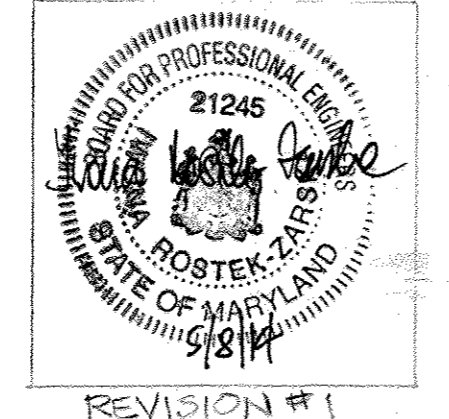


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
- APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES WHICH MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTORS OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
- THE CONTRACTOR SHALL NOTIFY "MSS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE, AND SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS / BUREAU OF ENGINEERING / CONSTRUCTION INSPECTION DIVISION AT 410-515-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EX. PAVING, EX. CURB & GUTTER, EX. UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- EXISTING PUBLIC WATER CONTRACT IS "M" AND PUBLIC SEWER CONTRACT IS "M30-3". THE PROPOSED 6" WATER HOUSE CONNECTION SHALL BE CONSTRUCTED UNDER AN ADVANCE DEPOSIT ORDER (ADO) AGREEMENT. THE 6" SERVICE SHALL BE FOR A COMBINED FIRE/DOMESTIC SERVICE WITH INSIDE METER SETTINGS PER DETAIL W-3.44.
- THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE ON FEBRUARY 9, 2010 BY GILES ENGINEERING ASSOCIATES, INC.
- ALL FILL AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED AND VERIFIED IN ACCORDANCE WITH ASHTO T-180, OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
- OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
- TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND DRAIN HOUSE CONNECTIONS WITH THE MECHANICAL DRAWINGS.
- THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
- THERE ARE NO KNOWN CEMETERIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL SLOPES 2:1 MIN. MAX.
- THIS SITE IS IN ZONE C ACCORDING TO FEMA FLOOD PLAN MAP 2400440023 B DATED DECEMBER 4, 1996.
- PAVING MARKINGS TO BE "TRAFFIC WHITE".
- CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
- ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE UL LISTED, FM APPROVED AND MEET THE ANWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH THE PIPE USED.
- THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.5 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRIMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
- THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THESE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
- THE SUBJECT PROPERTY IS ZONED B-2-TNC PER THE 2-2-04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS EFFECTIVE 7/28/06.
- NO GRADING OR REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN ANY EXISTING WETLAND(S), STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$8,370.00.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MARYLAND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY BOHLER ENGINEERING, INC. DATED OCTOBER 31, 2009.
- THE COURSES AND COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 24BA AND 24CA WERE USED FOR THIS PROJECT.
- ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
- LIGHT TRESPASS ONTO ADJACENT RESIDENTIAL PROPERTIES SHALL BE LIMITED TO 0.5 FOOT CANDLES PER SECTION 134D OF THE HOWARD COUNTY ZONING REGULATIONS.
- A TRAFFIC STUDY IS NOT REQUIRED AS THE NUMBER OF SEATS IS BEING REDUCED FROM 102 TO 80. A JUSTIFICATION LETTER WAS SUBMITTED BY STREET TRAFFIC STUDIES, LTD.
- NOISE STUDY IS NOT REQUIRED FOR THIS COMMERCIAL ZONED PROPERTY.
- CONTRACTOR TO PLACE A WITNESS POST AT THE TERMINUS OF ALL UTILITY STUBS.
- CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS AT THE BUILDING WITH THE MECHANICAL CONTRACTOR BEFORE BEGINNING CONSTRUCTION OF SERVICE CONNECTIONS TO SERVE THE BUILDING.
- CONCRETE WHEEL STOPS SHALL BE INSTALLED WHERE SHOWN ON THE PLAN AND SHALL BE PRECAST, STANDARD CONCRETE, ANCHORED TO THE PAVEMENT WITH 2 STEEL RODS PER EACH WHEEL STOP DRIVEN A MINIMUM OF 8" IN BITUMINOUS CONCRETE PAVEMENT OR TWO DOWELS PER EACH WHEEL STOP GROUTED A MINIMUM OF 4" INTO CEMENT PAVEMENT.
- THE SITE FALLS UNDER REDEVELOPMENT. WATER QUALITY WILL BE PROVIDED VIA A STORMCEPTOR. THE STORMCEPTOR WILL BE OWNED AND MAINTAINED BY THE OWNER.
- HANDICAP PARKING DETAILS SHALL BE IN ACCORDANCE WITH "M" BUILDING CODE FOR THE HANDICAPPED" SECTION 5.01-7.05.
- ANY DAMAGE TO THE COUNTY OWNED RIGHT-OF-WAY OR THE MSHA OWNED RIGHT-OF-WAY SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALKS SHALL BE CROSS SLOPED AT 1/4 INCH PER FOOT.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV.
- ALL ON SITE DRIVEWAYS AND PARKING AREAS TO BE PRIVATELY MAINTAINED.
- ALL PROPOSED HC RAMPS SHALL BE IN ACCORDANCE WITH CURRENT ADA STANDARDS.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- ELECTRIC, GAS, CABLE, TELEPHONE AND LIGHTING LINES DESIGNED BY OTHERS.
- THE PROJECT WILL BE REQUIRED TO COMPLY WITH HOWARD COUNTY FOREST CONSERVATION ACT. COMPLIANCE WITH THE FCA REQUIRES MEETING THE AFFORESTATION OBLIGATION SINCE NO FOREST EXISTS ONSITE. THE PROJECT IS 0.17 AC OF AFFORESTATION. THIS FOREST CONSERVATION OBLIGATION HAS BEEN MET BY A FEE-IN-LIEU PAYMENT OF \$5,553.90 MADE TO THE HOWARD COUNTY FOREST CONSERVATION FUND.
- THERE ARE NO SLOPES 15-24.9%, SLOPES 25% OR GREATER, WETLANDS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS AND 100-YR FLOODPLAIN WITHIN THE NET TRACT AREA.
- THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND THE AMENDED ZONING REGULATIONS PER COUNCIL NO. 75-2003 AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/28/06. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- MCDONALD'S CORPORATION HAS GRANTED ACCESS TO PART OF PARCEL D-1 FROM NORTH CHATHAM ROAD VIA AN ACCESS EASEMENT (LIBER 6, FOLIO 20). USE-IN-COMMON ACCESS AND MAINTENANCE AGREEMENTS HAVE BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY IN L.583/F.189 (PARCEL A-1 & F) AND L.3130/F.644 (PARCEL D-1).
- ALL WORK WITHIN U.S. ROUTE 40 RIGHT-OF-WAY WILL BE DONE UNDER SHA ACCESS PERMIT.
- THE ENVIRONMENTAL CONCEPT PLAN (ECP-10-009) WAS APPROVED ON JUNE 17, 2010.
- THE DESIGN ADVISORY PANEL APPROVED THIS PLAN (PLAN 10-07) ON DECEMBER 7, 2010.
- WAIVER PETITION (WP-11-189) WAS APPROVED ON JULY 11, 2011. THE PLANNING DIRECTOR APPROVED THE REQUEST TO WAIVE SUBDIVISION SECTION 16.156(g)(2), AND GRANTED A SIXTY (60) DAY EXTENSION FROM THE DEADLINE DATE OF JUNE 11, 2011 UNTIL AUGUST 10, 2011 TO SUBMIT THE REQUIRED, REVISED SDP-10-088 PLANS/INFORMATION FOR RE-REVIEW. THE APPROVAL OF THIS WAIVER PETITION IS SUBJECT TO COMPLIANCE WITH THE FOLLOWING CONDITIONS OF APPROVAL:
THE PETITIONER/OWNER OR BUILDER SHALL SUBMIT THE REQUIRED, REVISED SDP-10-088 PLANS/INFORMATION FOR RE-REVIEW BY THE EXTENDED DEADLINE DATE OF AUGUST 10, 2011 OR SDP-10-088 SHALL BECOME VOID IN ACCORDANCE WITH SUBDIVISION SECTION 16.156(g)(2).
- WAIVER PETITION (WP-12-089) WAS APPROVED ON DECEMBER 7, 2011. THE PLANNING DIRECTOR APPROVED THE REQUEST TO WAIVE SUBDIVISION SECTION 16.144(g), FOR RESUBDIVISION PLAN, F-12-005, AND GRANTED A ONE (1) YEAR EXTENSION FROM THE DEADLINE DATE OF 12/24/11 UNTIL 12/24/12 TO SUBMIT THE DEED FOR THE DEDICATION OF PUBLIC ROAD RIGHT-OF-WAY FOR ROAD WIDENING TO THE REAL ESTATE SERVICES DIVISION OF THE DPW, AND SECTIONS 16.144(g)(1), 16.144(g)(3) AND (b), FOR RESUBDIVISION PLAN, F-12-005, AND GRANTED A ONE (1) YEAR EXTENSION FROM THE DEADLINE DATE OF 02/22/12 UNTIL 02/22/13 TO PAY ALL REQUIRED FEES AND SUBMIT THE RESUBDIVISION PLAN ORIGINALS FOR SIGNATURE PROCESSING AND RECORDING, AND SECTION 16.156(g), (i) AND (m), FOR SITE DEVELOPMENT PLAN, SDP-10-088, AND GRANTED A ONE (1) YEAR EXTENSION FROM THE DEADLINE DATE OF 03/05/12 UNTIL 03/05/13 TO EXECUTE THE DEVELOPERS AGREEMENTS, PAY ALL REQUIRED FEES, POST ALL REQUIRED SURETIES AND SUBMIT THE SITE DEVELOPMENT PLAN ORIGINALS FOR SIGNATURE APPROVAL.
- WAIVER PETITION (WP-13-150) WAS APPROVED ON FEBRUARY 14, 2013. THE PLANNING DIRECTOR APPROVED THE REQUEST TO WAIVE SUBDIVISION SECTIONS 16.144(g) & (i), FOR RESUBDIVISION PLAN, F-12-005, AND GRANTED A ONE (1) YEAR EXTENSION FROM THE DEADLINE DATE OF 02/22/13 UNTIL 02/22/14 TO PAY ALL REQUIRED FEES AND SUBMIT THE RESUBDIVISION PLAN ORIGINALS FOR SIGNATURE PROCESSING AND RECORDING, AND SECTION 16.156(g), (i) AND (m), FOR SITE DEVELOPMENT PLAN, SDP-10-088, AND GRANTED A ONE (1) YEAR EXTENSION FROM THE DEADLINE DATE OF 03/05/14 UNTIL 03/05/15 TO EXECUTE THE DEVELOPERS AGREEMENTS, PAY ALL REQUIRED FEES, POST ALL REQUIRED SURETIES AND SUBMIT THE SITE DEVELOPMENT PLAN ORIGINALS FOR SIGNATURE APPROVAL.
- THE FOLLOWING STANDARDS (CONSTRUCTION AND TEMPORARY TRAFFIC CONTROL) ARE REQUIRED FOR THIS PROJECT:
MD-655.11 - SIDEWALK RAMPS (PERPENDICULAR)
MD-655.12 - SIDEWALK RAMPS (PARALLEL)
MD-655.40 - DETECTABLE WARNING SURFACES
FOR ALL STANDARDS REFERRED TO ON THE PLANS THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSSED AT:
http://apps.oads.maryland.gov/businesswitha/bizStateSpecs/deaManualStdPub/publicationsonline/ohd/bookstd/index.asp
ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.
- HEALTH DEPARTMENT APPROVAL OF THIS SITE DEVELOPMENT PLAN (SDP) DOES NOT ENSURE APPROVAL OF BUILDING PERMIT APPLICATIONS ASSOCIATED WITH THIS PLAN. PLANS FOR THE RESTAURANT FACILITY TO BE CONSTRUCTED WITHIN THE LIMITS DESCRIBED BY THIS SDP WILL REQUIRE REVIEW AND APPROVAL BY THE HEALTH DEPARTMENT. BUC, INC. VAG

APPROVED: FOR PUBLIC WATER & PUBLIC SEWERAGE
 B. N. ... MAURA ROSSMAN 3/25/2014
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

PER THE LETTER DATED JANUARY 20, 2010, DPZ APPROVED THE REDEVELOPMENT OF PARKING SPACES WITHIN THE 10 FT. PARKING SETBACK ALONG ROUTE 40 AND NORTH CHATHAM ROAD USING A 2-5 FT PARKING SETBACK CONDITIONED UPON STREET TREE PLANTING ALONG ROUTE 40. HOWEVER, MARYLAND STATE HIGHWAY ADMINISTRATION WOULD NOT PERMIT STREET TREES WITHIN THE R/W ALONG ROUTE 40.



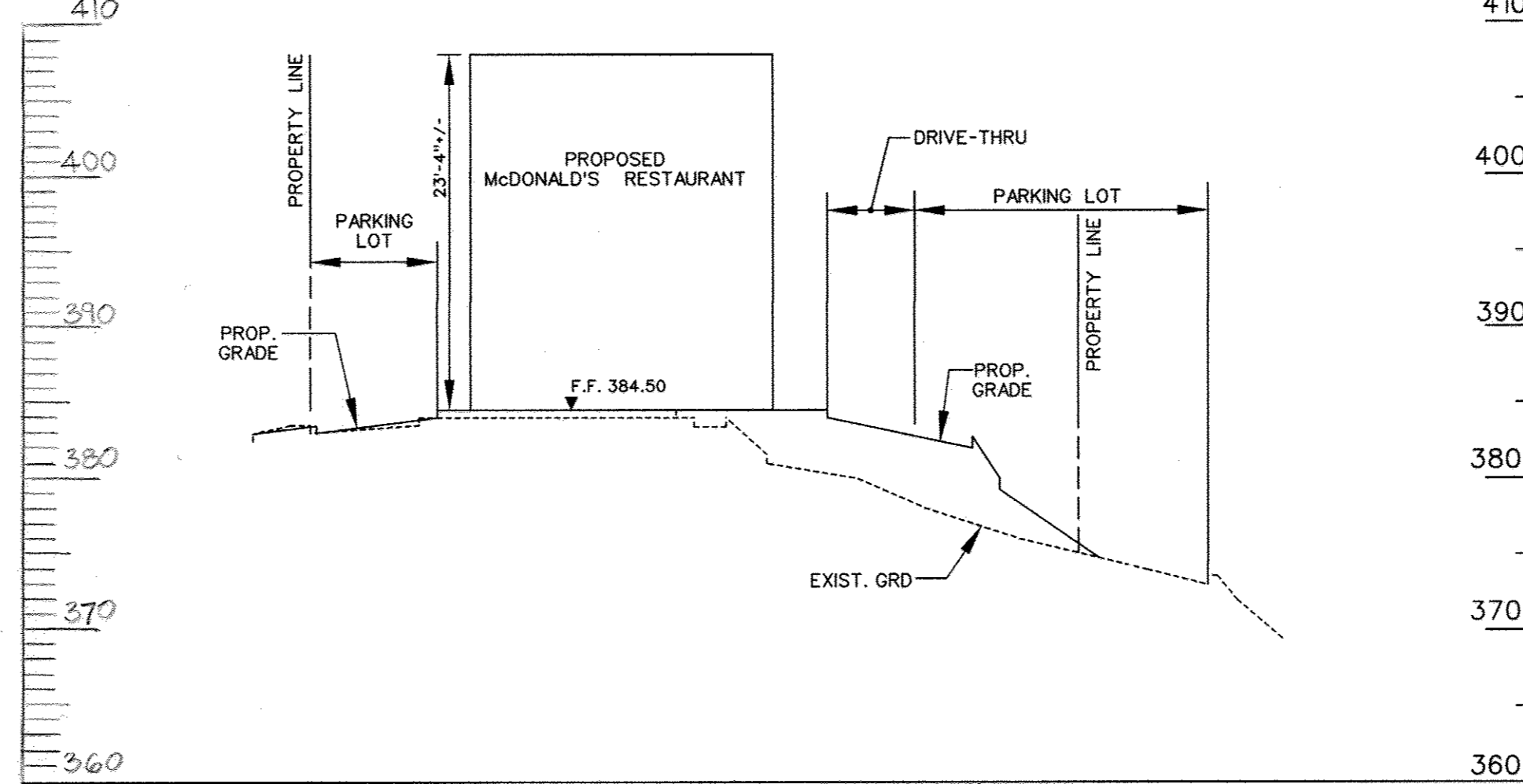
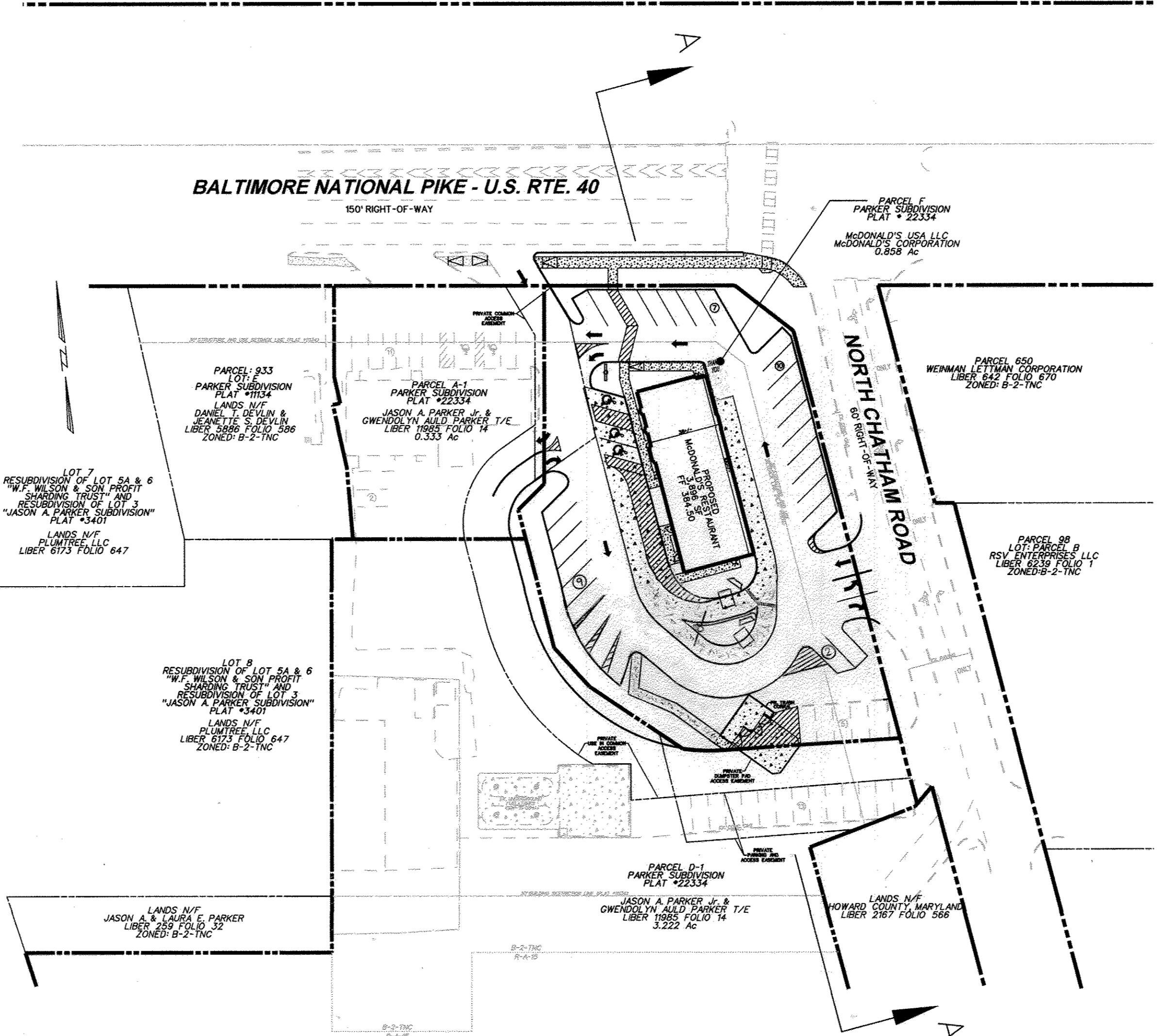
SITE DEVELOPMENT PLAN

for

McDONALD'S RESTAURANT

9303 BALTIMORE NATIONAL PIKE

ELLCOTT CITY, MARYLAND



SITE DATA

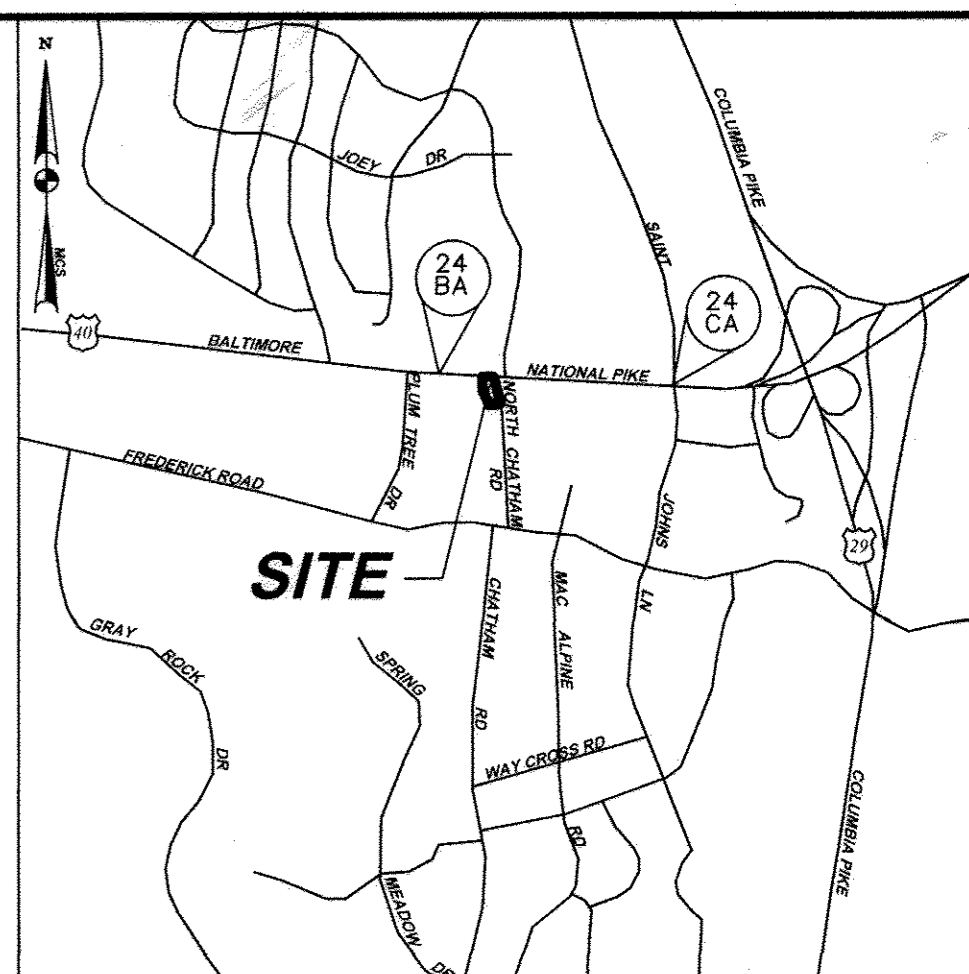
- GENERAL SITE DATA:
 - TOTAL SITE AREA: 4.413 Ac
 - PARCEL A-1: 14,486 SF or 0.333 Ac
 - PARCEL D-1: 140,342 SF or 3.222 Ac
 - F-12-TNC: 48,385 SF or 1.111 Ac
 - R-A-15: 91,957 SF or 2.111 Ac
 - PARCEL F: 37,357 SF or 0.858 Ac
 - R/W DEDICATION: 845 SF or 0.019 Ac
- PLAT REFERENCE: H134
- DEED REFERENCES: H185/14, H136/205, H11/243
- TAX ACCOUNT NUMBERS:
 - PARCEL A-02-235854, PARCEL B-02-229102
 - PARCEL C-02-370905, PARCEL D-02-370915
- PRESENT ZONING: B-2-TNC AND R-A-15
- APPLICABLE DPZ FILE REFERENCES:
 - F-93-72, F-102, F-12-005, ECP-10-009
 - SDP-72-78, SDP-85-78, SDP-89-90, SDP-10-084
 - WP-11-189, WP-12-089, WP-13-150
- EXISTING USE: FAST FOOD RESTAURANT (4,503 SF)
- PROPOSED USE: FAST FOOD RESTAURANT (3,896 SF)
- EXISTING WATER PUBLIC (CONTRACT #1W)
- EXISTING SEWER: PUBLIC (CONTRACT #130-3)
- MAXIMUM BUILDING HEIGHT:
 - ALLOWED: 40'; PROPOSED: 23'-4"

AREA TABULATION:

- TOTAL SITE AREA: 193,030 SF or 4.432 Ac
- TOTAL DISTURBED AREA: 49,050 SF or 1.13 Ac
- TOTAL IMPERVIOUS AREA: 35,719 SF or 0.82 Ac
- 72.8% - BASED ON LIMIT OF DISTURBANCE
- BUILDING COVERAGE TO SITE: 3,896 SF or 0.089 Ac
- 7.88% - BASED ON LIMIT OF DISTURBANCE

PARKING SPACE DATA:

- PARKING REQUIRED: FAST FOOD RESTAURANTS - 3,896 SF @ 14 PS/1,000 SF - 55 PS
- PARKING PROVIDED: 49
- TOTAL INCLUDES:
 - 46 STANDARD SPACES @ 9' x 18'
 - 2 VAN ACCESSIBLE HANDICAP SPACES @ 24' x 18' TWO SIDE BY SIDE
 - HANDICAP SPACE @ 13' x 18'



VICINITY MAP
 SCALE: 1"=2000'
 ADC MAP NUMBER: 4815, GRID: G6
 ADC MAP COORDINATES: 76° 50' 00" / 39° 17' 00"

BENCHMARKS
 COORDINATES IN MARYLAND NAD83 (91) (HORIZONTAL) AND NAVD88 (VERTICAL) DATUMS

24BA	24CA
N 586,783.2894	N 586,506.2243
E 1,359,211.6335	E 1,361,634.2707
ELEV. 385.584 FT.	ELEV. 398.251 FT.

AS-BUILT CERTIFICATION FOR PSWM
 NOTE THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

IWO: NAROSTEK-ZARSKA 21245 JUNE 9, 2012 DECEMBER 15, 2017
 NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT

SHEET INDEX	
NO.	SHEET TITLE
1	COVER SHEET
2	EXISTING CONDITION & DEMOLITION PLAN
3	SITE PLAN
4	SITE DETAILS I
5	SITE DETAILS II
6	GRADING AND UTILITY PLAN
7	STORM DRAIN DRAINAGE AREA MAP
8	UTILITY PROFILES
9	EROSION AND SEDIMENT CONTROL PLAN
10	EROSION AND SEDIMENT CONTROL DETAILS
11	EROSION AND SEDIMENT CONTROL NOTES
12	STORMWATER MANAGEMENT PLAN - REDEVELOPMENT (EXISTING CONDITION)
13	STORMWATER MANAGEMENT PLAN - REDEVELOPMENT (PROPOSED CONDITION)
14	STORMWATER MANAGEMENT PLAN - DETAILS AND SPECIFICATIONS
15	LANDSCAPE PLAN

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division: *[Signature]* Date: 2/27/14
 Chief, Division of Land Development: *[Signature]* Date: 3-26-14
 Director: *[Signature]* Date: 3/27/14

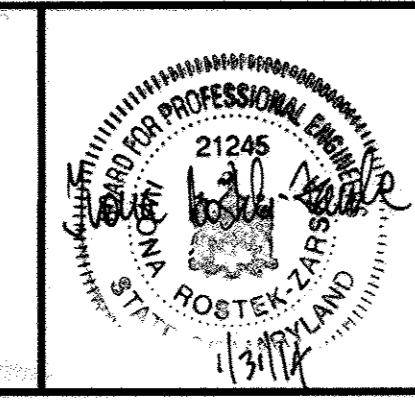
ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
PARKER SUBDIVISION	N/A	A-1, D-1 & F			
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
22334	4	B-2-TNC/R-A-15	24	2ND	6023-06

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



THE DEPARTMENT OF PLANNING AND ZONING HAS APPROVED THE PARKING STUDY PREPARED BY TRAFFIC CONCEPTS, INC. DATED APRIL 2, 2014 TO REMOVE THE PROVIDED PARKING FROM THE REQUIRED 55 SPACES TO 49 SPACES. THE OWNER/MANAGEMENT OF THIS PROPERTY SHALL MONITOR THE PARKING SPACES FOR THIS PROJECT AND RESOLVE ANY PARKING INCONVENIENCES SHOULD THEY ARISE.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

OWNER	DEVELOPER / APPLICANT
McDONALD'S USA, LLC BALTIMORE - WASHINGTON REGION 6903 ROCKLEDGE DRIVE SUITE 1100 BETHESDA, MD 20817 (240) 497-3626	McDONALD'S USA, LLC BALTIMORE - WASHINGTON REGION 6903 ROCKLEDGE DRIVE SUITE 1100 BETHESDA, MD 20817 (240) 497-3626

DATE	ITEM	BY
04/02/14	REVISED DRIVE THRU CONFIGURATION	KU

COVER SHEET

McDONALD'S RESTAURANT

9303 BALTIMORE NATIONAL PIKE

AS-BUILT

HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN

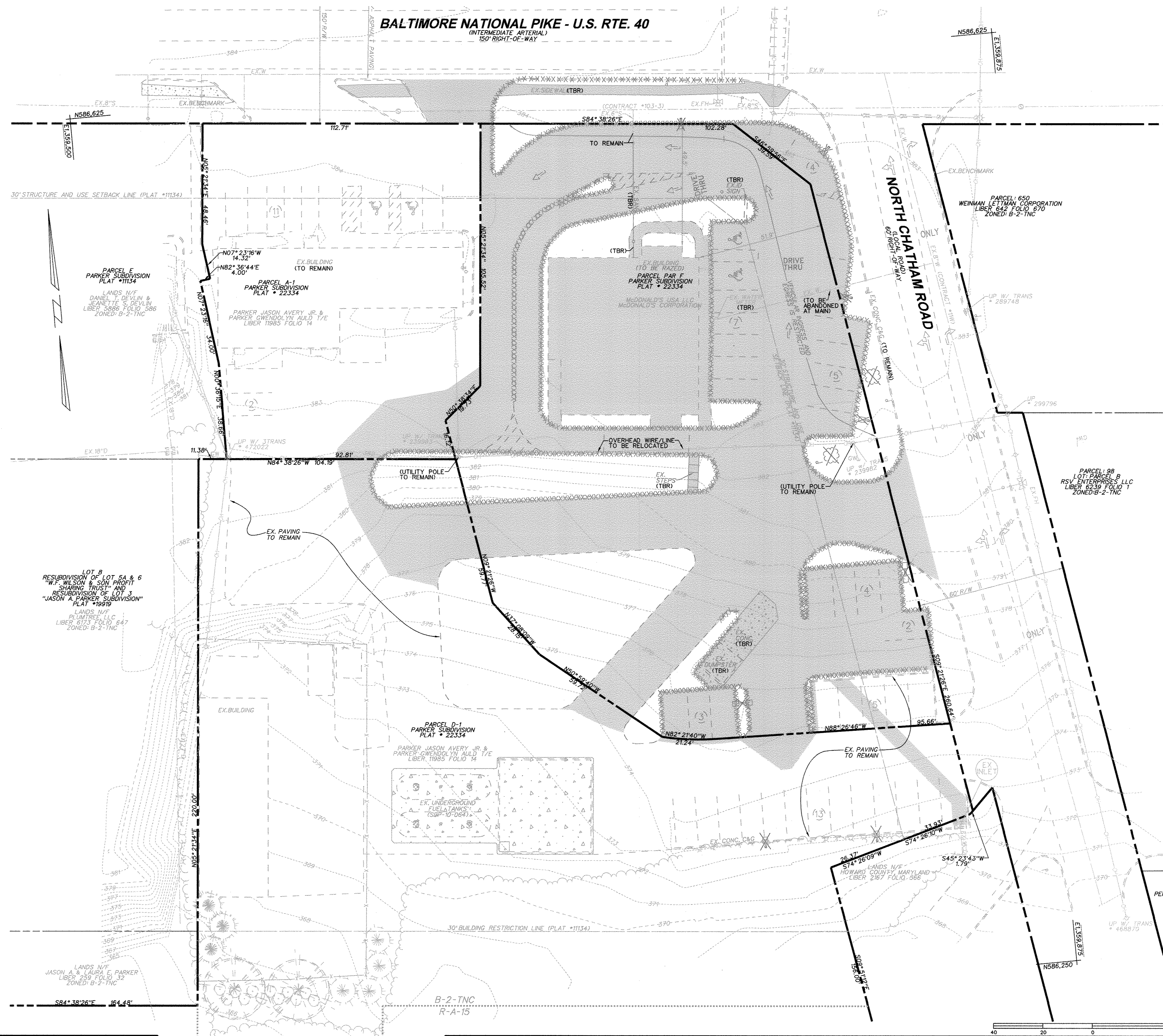
SHEET 1 OF 15
 DATE: JANUARY 24, 2014
 SDP-10-088

LEGEND

RIGHT-OF-WAY LINE	
PROPERTY LINE	
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	
EX. TREE LINE	
EX. INDEX CONTOURS	300
EX. INTERMEDIATE CONTOURS	298
ZONING LINE	B-2-TNC R-A-15

DEMOLITION LEGEND

EX. PAVING, CONCRETE/SIDEWALK TO BE REMOVED (STONE SUBBASE TO REMAIN)	
EX. CONCRETE CURB & GUTTER TO BE REMOVED	
EX. SANITARY SEWER TO BE REMOVED	EX. 8" S (TBR)
EX. TREES TO BE REMOVED	
EX. LIGHTPOLE TO BE REMOVED	
TO BE REMOVED LABEL	(TBR)



AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

WONA ROSTEK-ZARSKA 21245 JUNE 9, 2013 DECEMBER 15, 2017
 NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 2/27/14
 Chief, Development Engineering Division Date
[Signature] 3-26-14
 Chief, Division of Land Development Date
[Signature] 4/21/14
 Director Date

ADDRESS CHART

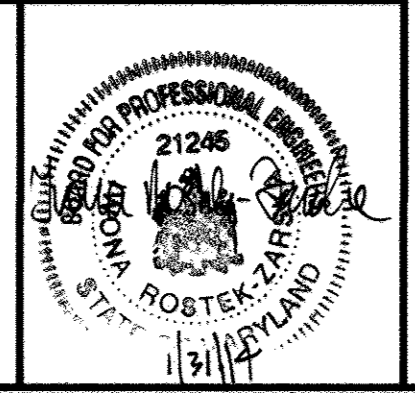
LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
PARKER SUBDIVISION	N/A	A-1, D-1 & F
PLAT NO. or L/F	GRID NO.	ZONING
22334	4	B-2-TNC/R-A-15
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
24	2ND	6023-06

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers

230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGCNC.COM



PROFESSIONAL CERTIFICATION

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

OWNER

McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DEVELOPER / APPLICANT

McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY

EXISTING CONDITION AND DEMOLITION PLAN

McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT

HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'

SHEET 2 OF 15
 DATE: JANUARY 24, 2014
 SDP-10-088

LEGEND

RIGHT-OF-WAY LINE	---
PROPERTY LINE	---
EX. STORM DRAIN	EX. 18" D
EX. SANITARY SEWER, MANHOLE & CLEANOUT	EX. 8" S
EX. WATER MAIN, VALVE & FIRE HYDRANT	EX. 8" W
EX. ELECTRIC LINE	E
EX. TREE LINE	---
EX. INDEX CONTOURS	---
EX. INTERMEDIATE CONTOURS	---
ZONING LINE	B-2-TNC R-A-15
PR. TREE LINE	---
PR. STORM DRAIN	PR. 15" D
PR. SANITARY SEWER & CLEANOUT	PR. 6" S
PR. WATER MAIN, VALVE & FIRE HYDRANT	PR. 8" W
PR. EASEMENT LINE	---
PR. INDEX CONTOURS	---
PR. INTERMEDIATE CONTOURS	---
PR. CONC. CURB & GUTTER	---
PR. PARKING COUNT	8
PR. ON-SITE LIGHTS	RSB - RCS/L SERIES

PAVEMENT SECTION LEGEND

LIGHT DUTY PAVING	---
CONCRETE	---

PAVEMENT SECTION DETAILS

LIGHT DUTY PAVING P-3	1.5" BIT. CONC. SURFACE 4.5" BIT. CONC. BASE 5" GRADED AGGREGATE BASE (GAB)
-----------------------	---

FOREST CONSERVATION WORKSHEET

Version 1.0

Project: McDonald's - 9309 Baltimore National Pike
Date: September 7, 2011

NET TRACT AREA		Acres
A. Total tract area		4.4
B. Area within R-A-15 zoning		2.1
C. Area of site included in net tract area of former Lot Parcels C & D		1.2*
D. Net Tract Area		1.1

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)

ARA	MDR	IDA	HDR	MFD	X
-----	-----	-----	-----	-----	---

E. Afforestation Threshold (percentage)	0.15	0.17
F. Conservation Threshold (percentage)	0.15	0.17

EXISTING FOREST COVER:

G. Existing forest cover (excluding floodplain)	0
H. Area of forest above afforestation threshold	0
I. Area of forest above conservation threshold	0

BREAK EVEN POINT:

J. Forest retention above threshold with no mitigation	Break-Even Point	--
K. Clearing permitted without mitigation	Break-Even Point	--

PROPOSED FOREST CLEARING

L. Total area of forest to be Cleared or Retained Outside FCE	0.0
M. Total area of forest to be Retained in FCE	0.0

PLANTING REQUIREMENTS

N. Reforestation for clearing above Conservation Threshold	0
F. Reforestation for clearing below Conservation Threshold	0
Q. Credit for retention above conservation threshold	0
R. Total reforestation required	0
S. Total afforestation required	0.17
T. Total reforestation and afforestation required	0.17

*THE 1.2 AC AREA ON LINE C OF THE ABOVE WORKSHEET WAS ADDRESSED BY SDP-10-064.

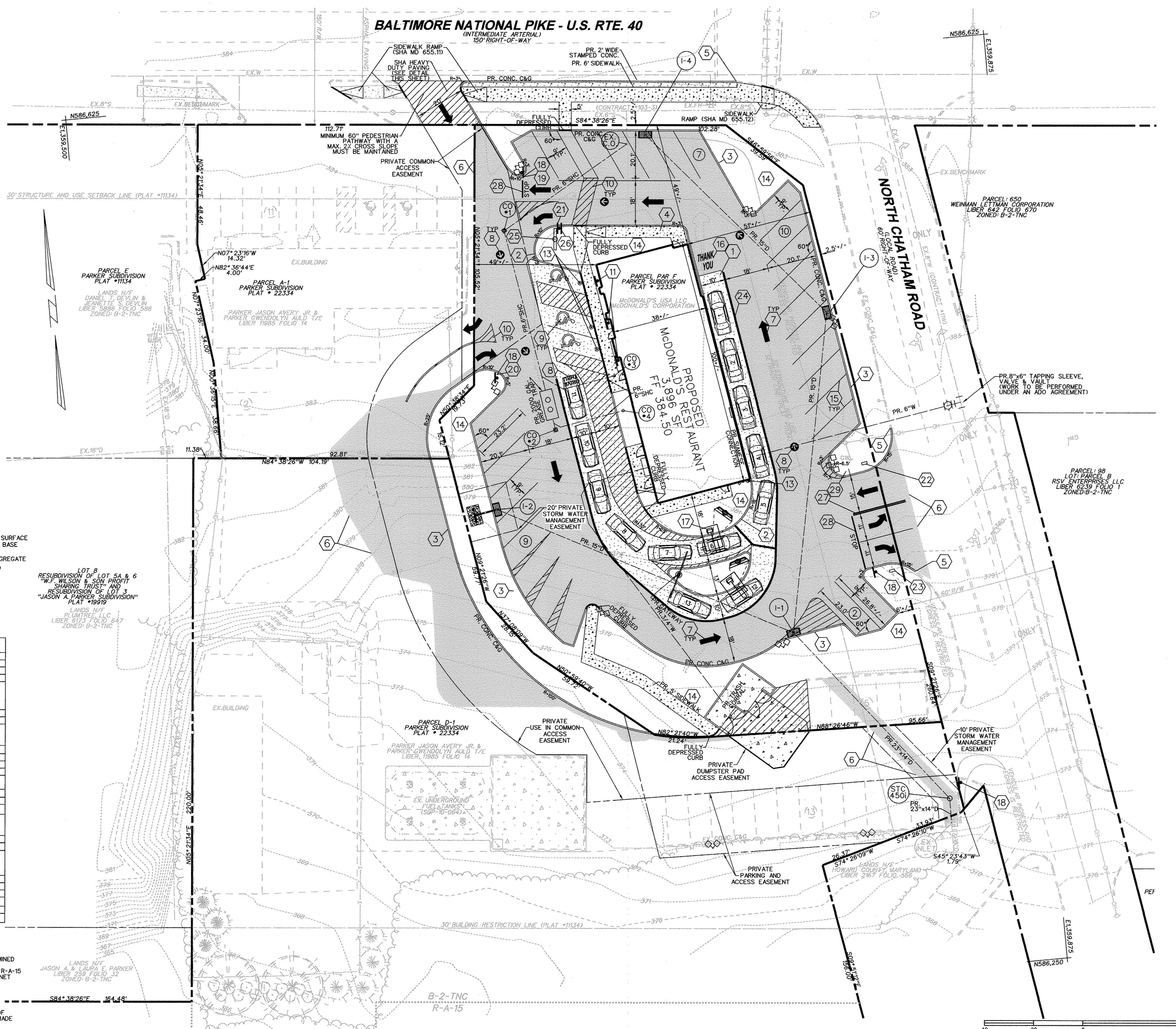
NOTE

1. THE FOREST CONSERVATION ACT REQUIREMENTS HAVE BEEN DETERMINED ON THE BASIS OF THE FOLLOWING CALCULATIONS. THE GROSS SITE AREA OF LOTS A-1, D-1 AND F INCLUDES 4.4 ACRES. OF THIS, THE R-A-15 ZONED LAND ON LOT D-1 IS 2.1 ACRES, AND THE LAND INCLUDED IN THE NET TRACT OF THE PREVIOUS SITE DEVELOPMENT PLAN FOR PARKER FUEL (THE B-2-TNC ZONED LAND IN PREVIOUSLY EXISTING LOTS C AND D) IS 1.2 ACRES. HAVE BEEN DEDUCTED FROM THE GROSS SITE AREA TO DETERMINE THE NET TRACT AREA FOR THIS PHASE OF THE PROJECT. ACCORDINGLY, THE NET TRACT AREA IS 1.1 ACRES.

2. THE OUTSTANDING FOREST CONSERVATION OBLIGATION OF 0.17 AC OF AFFORESTATION WAS MET BY A FEE-IN-LIEU PAYMENT OF \$5,553.90 MADE TO THE HOWARD COUNTY FOREST CONSERVATION FUND.

BLDG
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230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21081
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



- ### SITE CONSTRUCTION NOTES
- CONSTRUCT 6" THICK CONCRETE PAVEMENT, 4,000 PSI, 5% AIR ENTRAINED WITH 6" X 6" X 6" W/M (CONST. ITS @ 12" O.C. 1" DEEP MIN. FILLED WITH ELASTOMERIC SEALANT) ON COMP. 6" MIN. AGGREGATE BASE.
 - CONSTRUCT 6" CURB - DETAIL 11 SHEET 4.
 - CONSTRUCT 7" STANDARD COMBINATION CONCRETE CURB & GUTTER AS PER HOWARD COUNTY STANDARD DETAIL R-3.01.
 - CONSTRUCT CURB EDGE WALK - DETAIL 12 SHEET 4.
 - MATCH EXISTING CONCRETE CURB & GUTTER FOR GRADE & LINE.
 - SAW CUT AND REMOVE EX. PAVING. INSTALL PR. PAVING AND SEAL JOINTS. MATCH EX. PAVING FOR GRADE.
 - PAINT TRAFFIC ARROWS - WHITE ON ASPHALT, YELLOW ON CONCRETE PER DETAIL 5, SHEET 4.
 - PAINT LETTERS - YELLOW PER DETAIL 7 SHEET 4.
 - PAINT HANDICAP SYMBOL PER ADA SPECIFICATION.
 - PAINT 4" WIDE SOLID LINES @ 45°, 2" O.C., WHITE ON ASPHALT/YELLOW ON CONCRETE.
 - INSTALL HANDICAP SIGN PER DETAIL 1, SHEET 4.
 - INSTALL HANDICAP RAMP - DETAIL 8 SHEET 4.
 - INSTALL GUARD POST BOLLARD PER DETAIL 3, SHEET 4.
 - LANDSCAPE AREA, GRADE TO DRAIN, PLACE TOPSOIL SEED AND MULCH.
 - PAINT 4" WIDE SOLID STRIPE, WHITE ON ASPHALT, YELLOW ON CONCRETE.
 - PAINT LETTERS - YELLOW PER DETAIL 6 SHEET 4.
 - PROPOSED MENU BOARD AND SPEAKER PEDESTAL PER SIGN SUPPLIER SPECIFICATIONS. CONTRACTOR SHALL INSTALL FOUNDATION FOR SPEAKER PEDESTAL AND MENU BOARD PER SIGN SUPPLIER DESIGN - DETAIL 21 AND 22 SHEET 5.
 - "STOP" SIGN
 - "NO RIGHT TURN" SIGN
 - "NO LEFT TURN" SIGN
 - "DO NOT ENTER" SIGN
 - "ENTRANCE" SIGN
 - "EXIT" SIGN
 - PAINT 6" WIDE YELLOW SOLID LINE
 - PROPOSED ID SIGN
 - "YIELD" SIGN
 - 5" DOUBLE YELLOW LINE
 - 24" WIDE STOP BAR
 - "RIGHT TURN ONLY" SIGN

SHA PAVING SECTION

2" HOT MIX ASPHALT SUPERPAVE 12.5MM FOR SURFACE, PG 64-22, LEVEL 2
6" HOT MIX ASPHALT SUPERPAVE 19.0MM FOR BASE, PG 64-22, LEVEL 2 (2-3" LIFTS)
12" BASE COURSE USING GRADED AGGREGATE (2-6" LIFTS)

FOR ALL SHA STANDARDS REFERRED TO ON THIS PLAN, THE CONTRACTOR MUST GO TO THE BOOK OF STANDARDS WHICH WILL HAVE THE MOST CURRENT VERSION. THE BOOK OF STANDARDS CAN BE ACCESSED AT:
[HTTP://apps.roads.maryland.gov/businesswithsho/bizStdSpecs/desManualStdPub/publicationsonline/ohd/books10/index.asp](http://apps.roads.maryland.gov/businesswithsho/bizStdSpecs/desManualStdPub/publicationsonline/ohd/books10/index.asp)

ALL ITEMS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT VERSION OF THE REFERENCED STANDARD AT THE TIME OF CONSTRUCTION.

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division HSP 5/2/14
Date 5/2/14
Chief, Division of Land Development qb
Date 5/2/14
Director

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9309 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.			
PARKER SUBDIVISION	N/A	A-1, D-1 & F			
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
22334	4	B-2-TNC/R-A-15	24	2ND	6023-06

REVISED SITE PLAN

McDONALD'S RESTAURANT
9303 BALTIMORE NATIONAL PIKE
AS-BUILT

HOWARD COUNTY, MARYLAND
SCALE: 1"=20'

SHEET 3 OF 15
DATE: MAY 9, 2014
SDP-10-088

AS-BUILT CERTIFICATION FOR PWSM
NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

WJONA ROSTEK-ZARSKA 21245 JUNE 9, 2018 DECEMBER 15, 2017
NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2018.

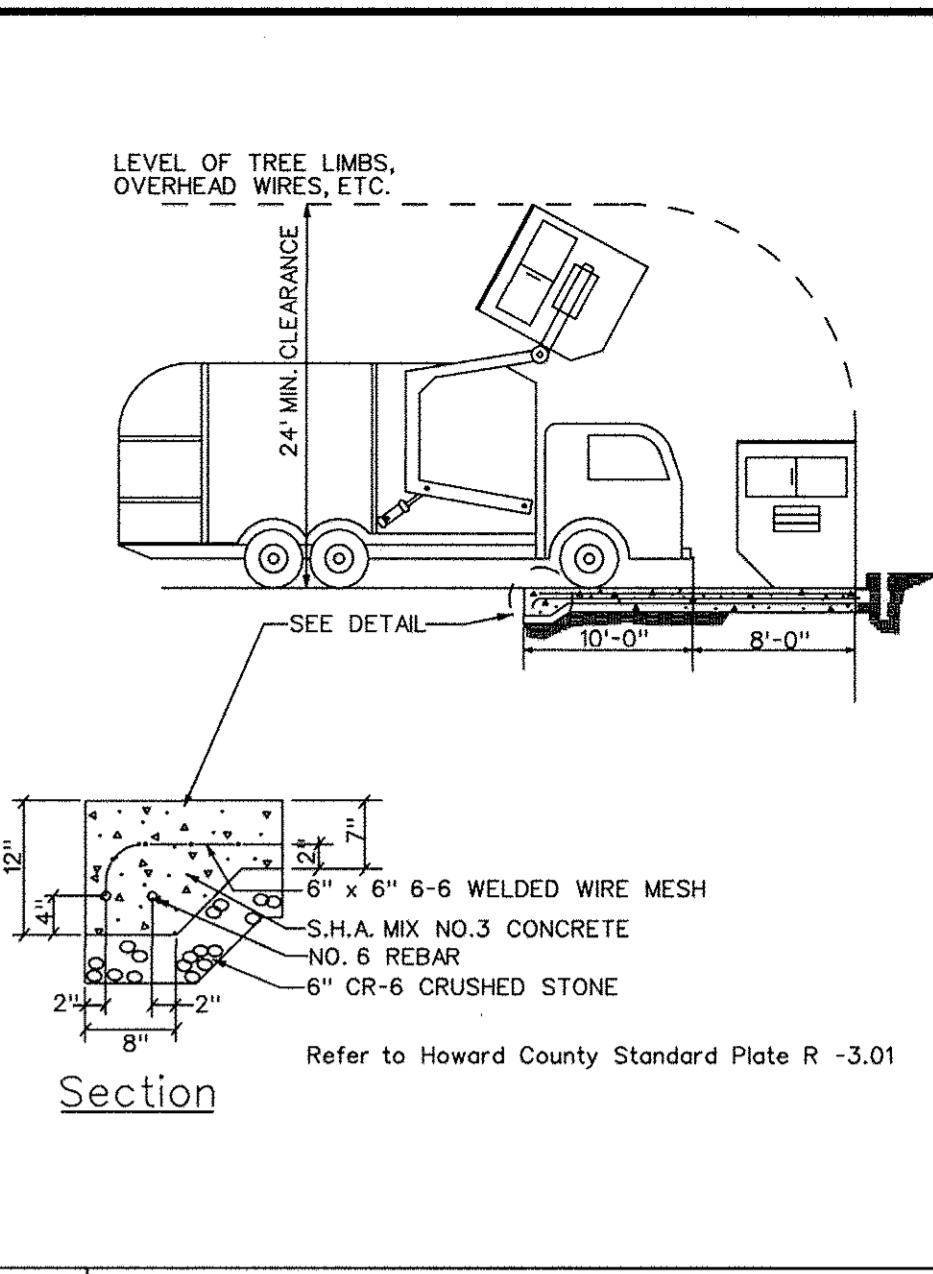
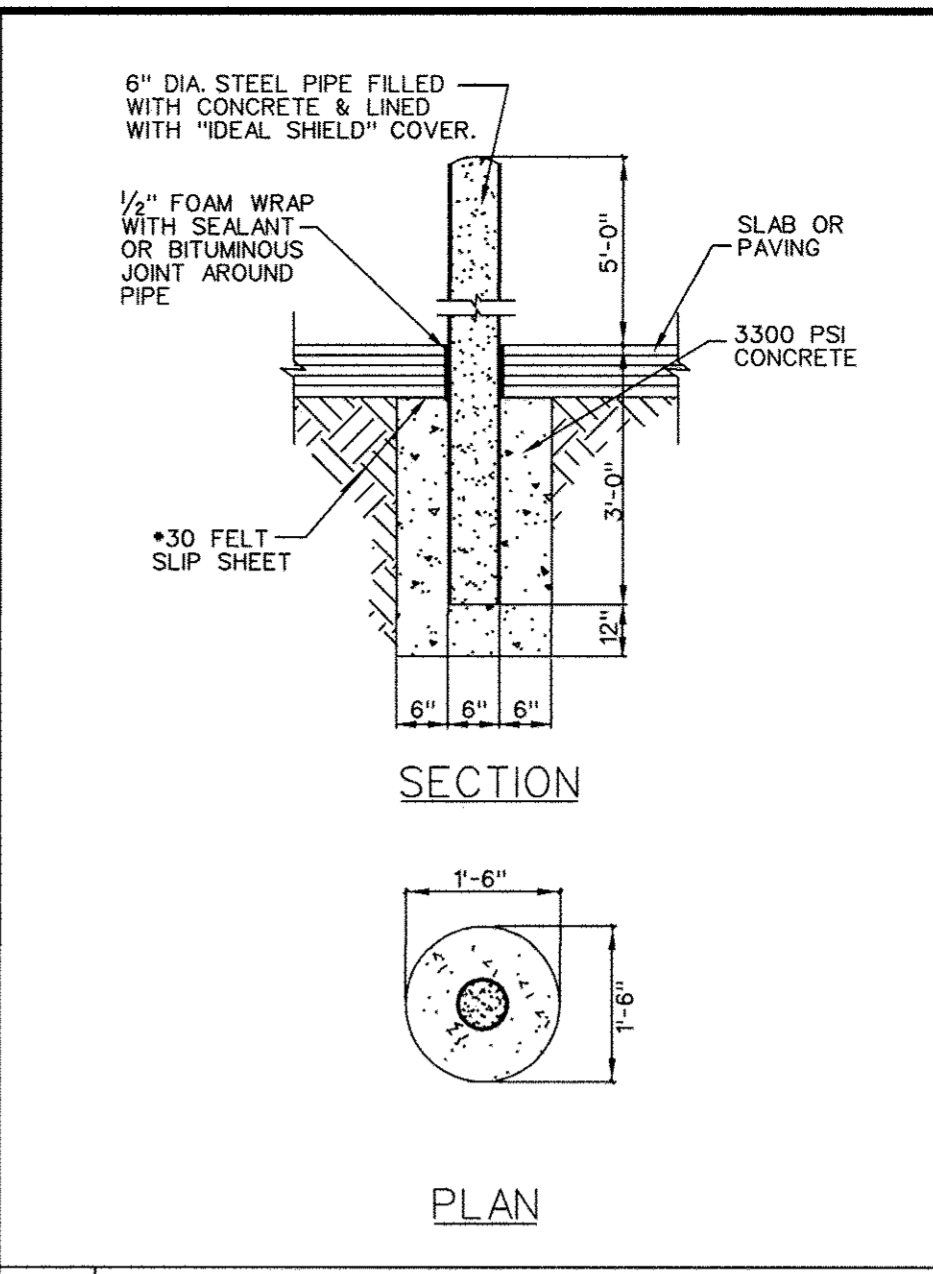
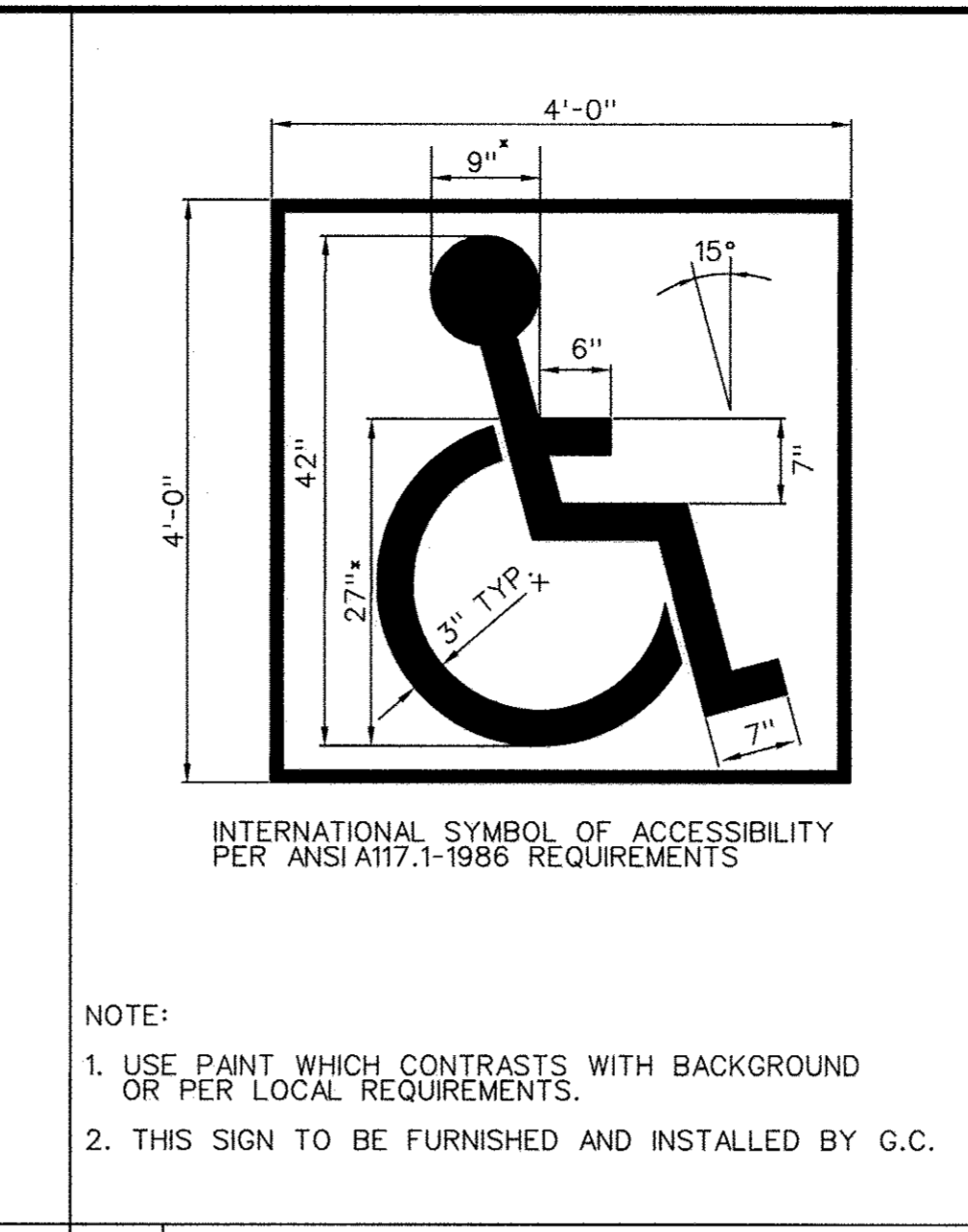
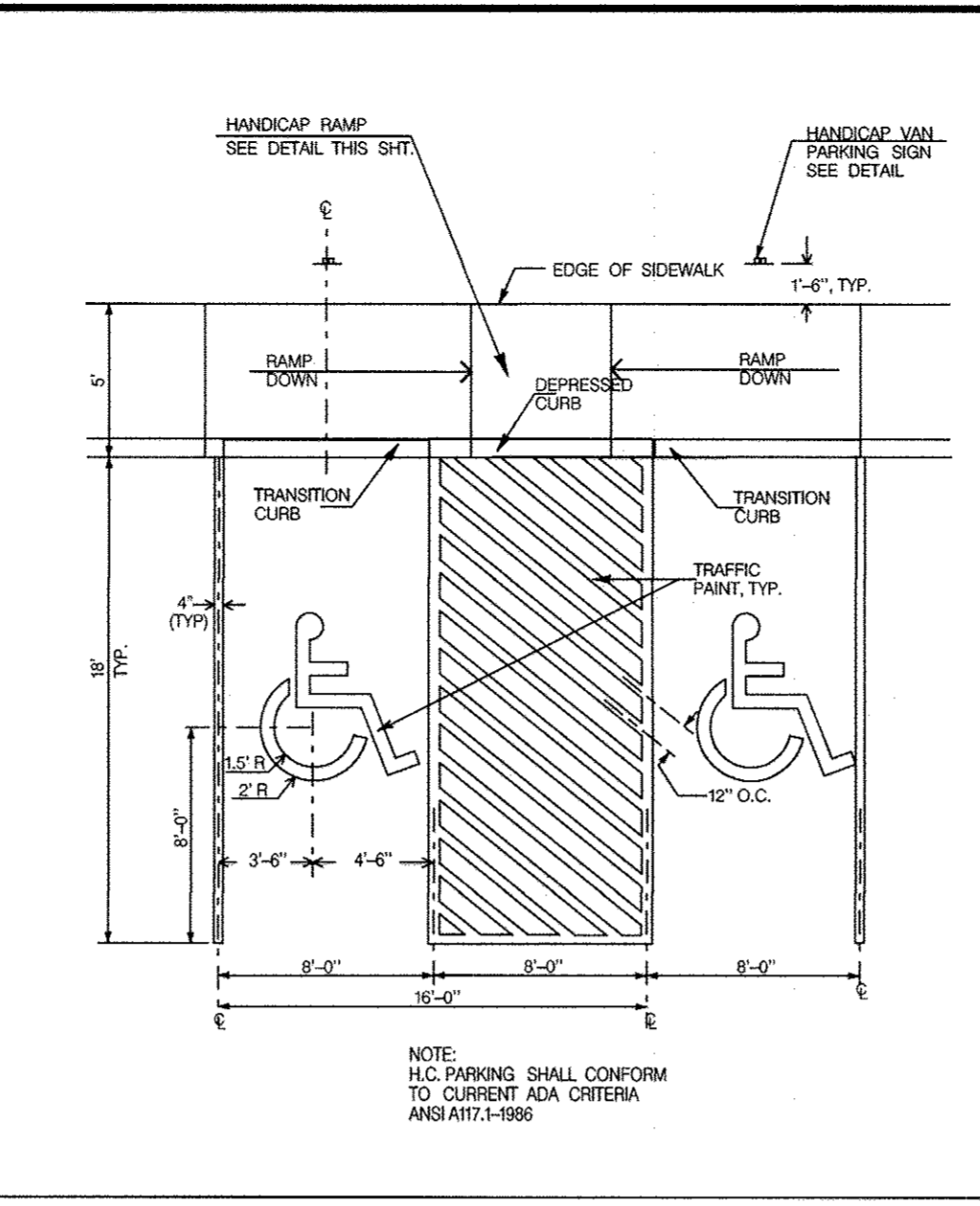
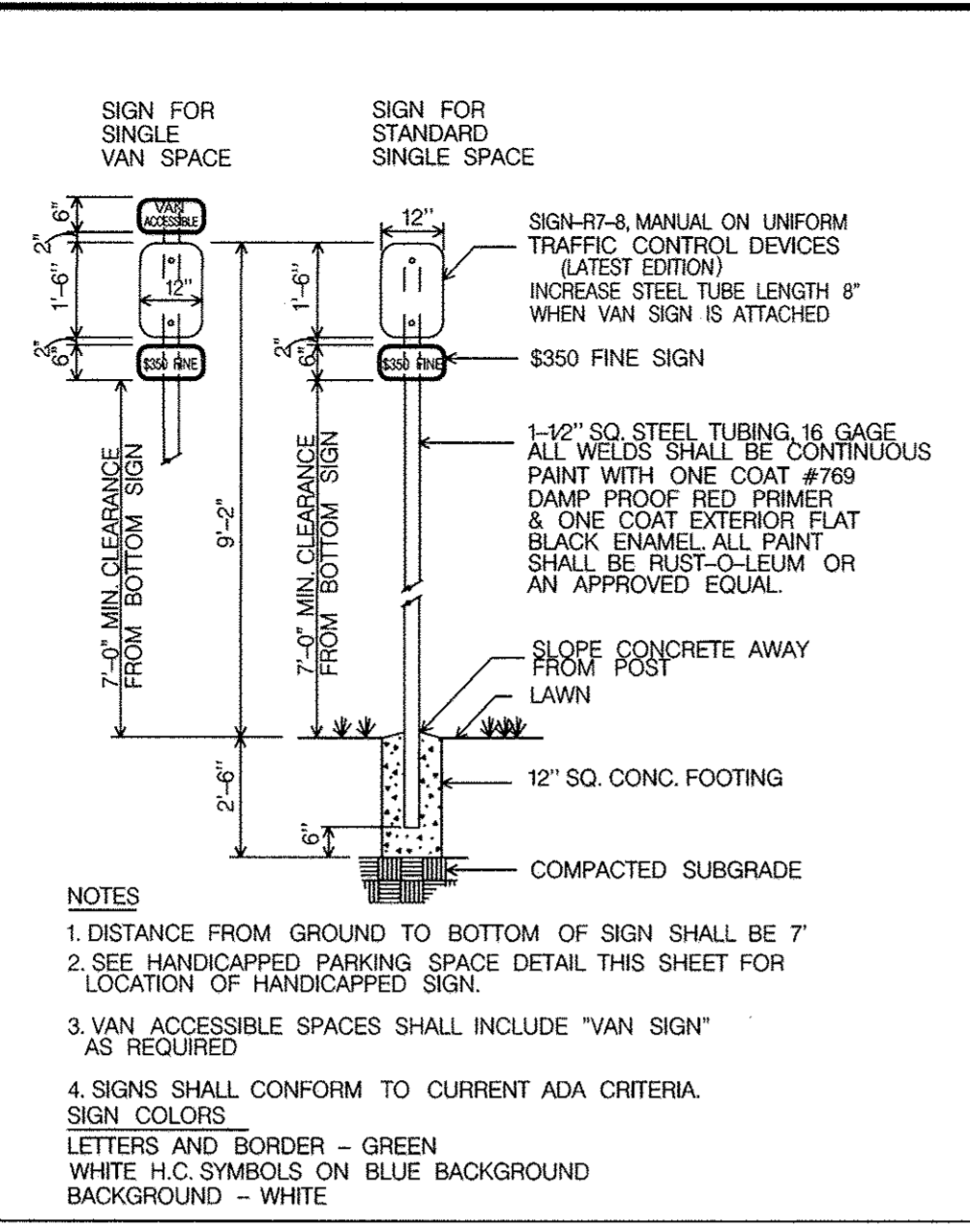
OWNER

McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DEVELOPER / APPLICANT

McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DATE	ITEM	BY
05/09/14	REVISED DRIVE THRU CONFIGURATION	KU

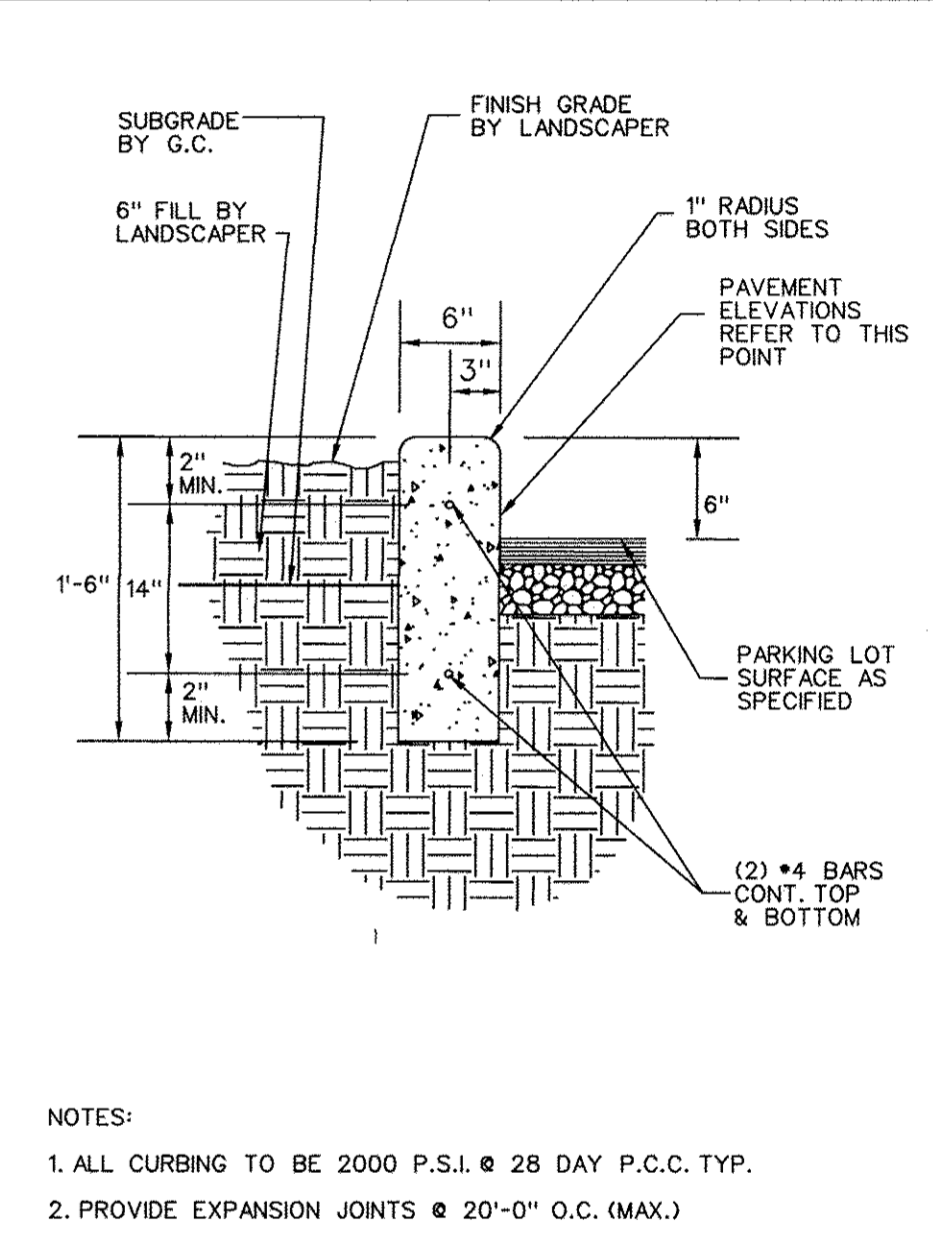
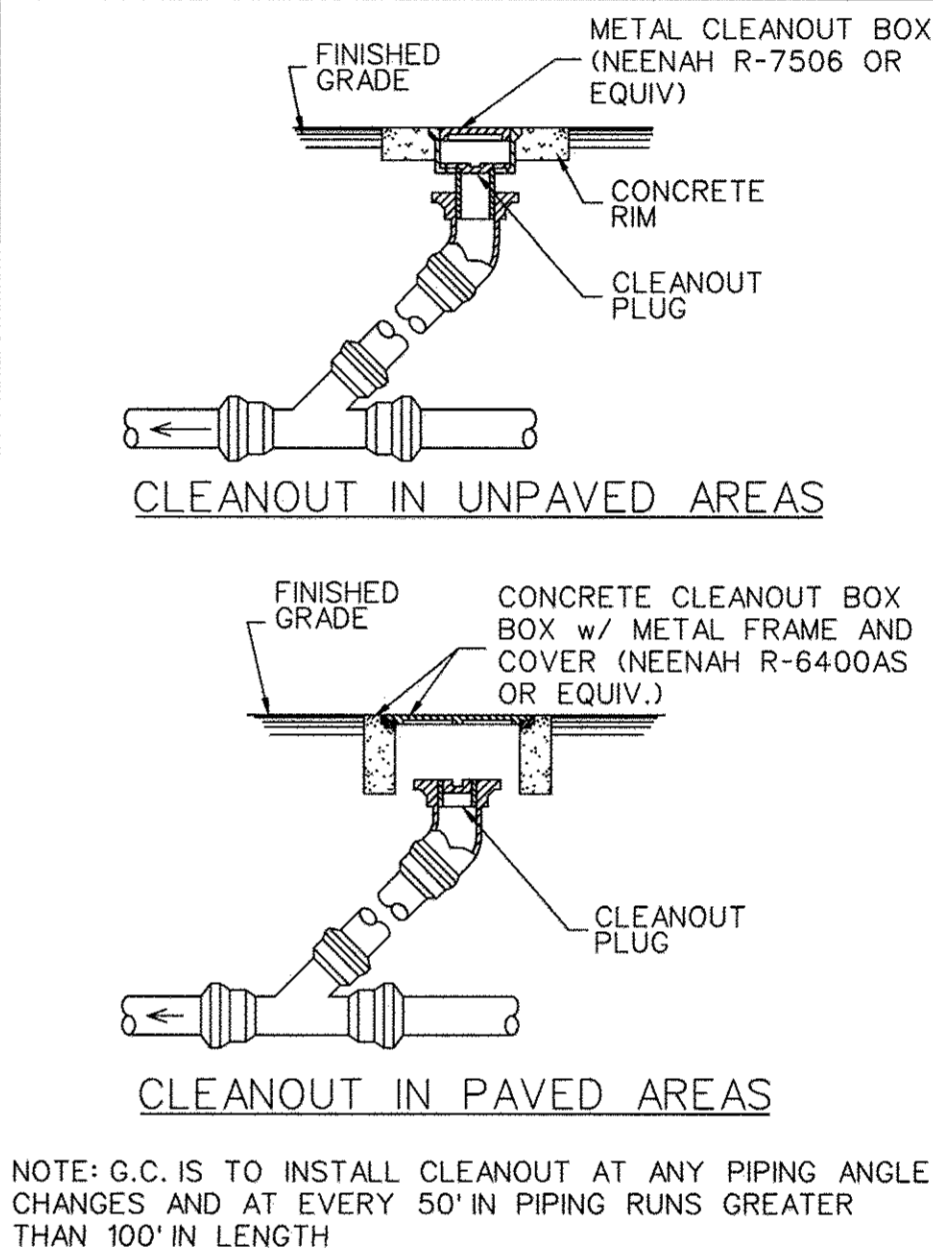
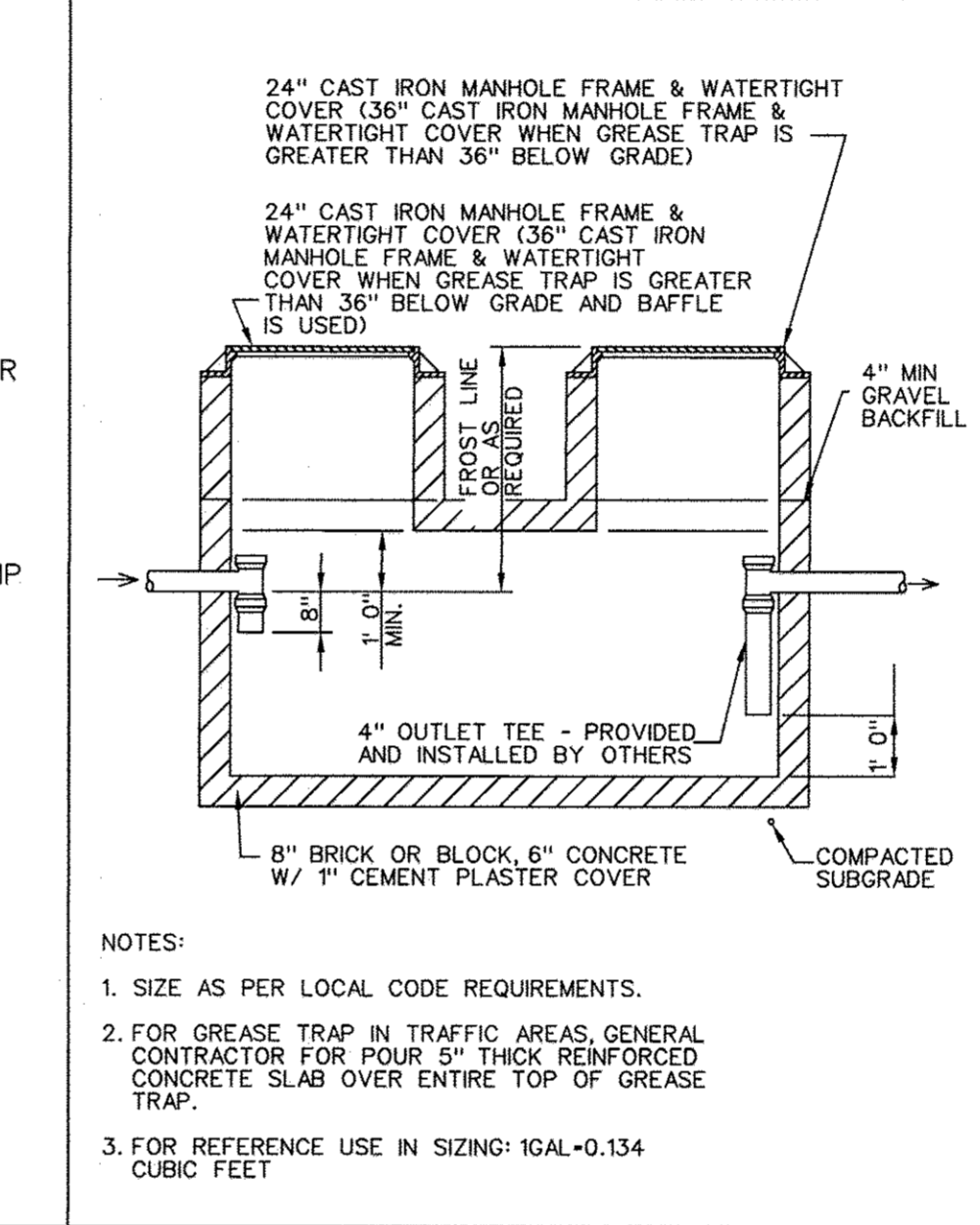
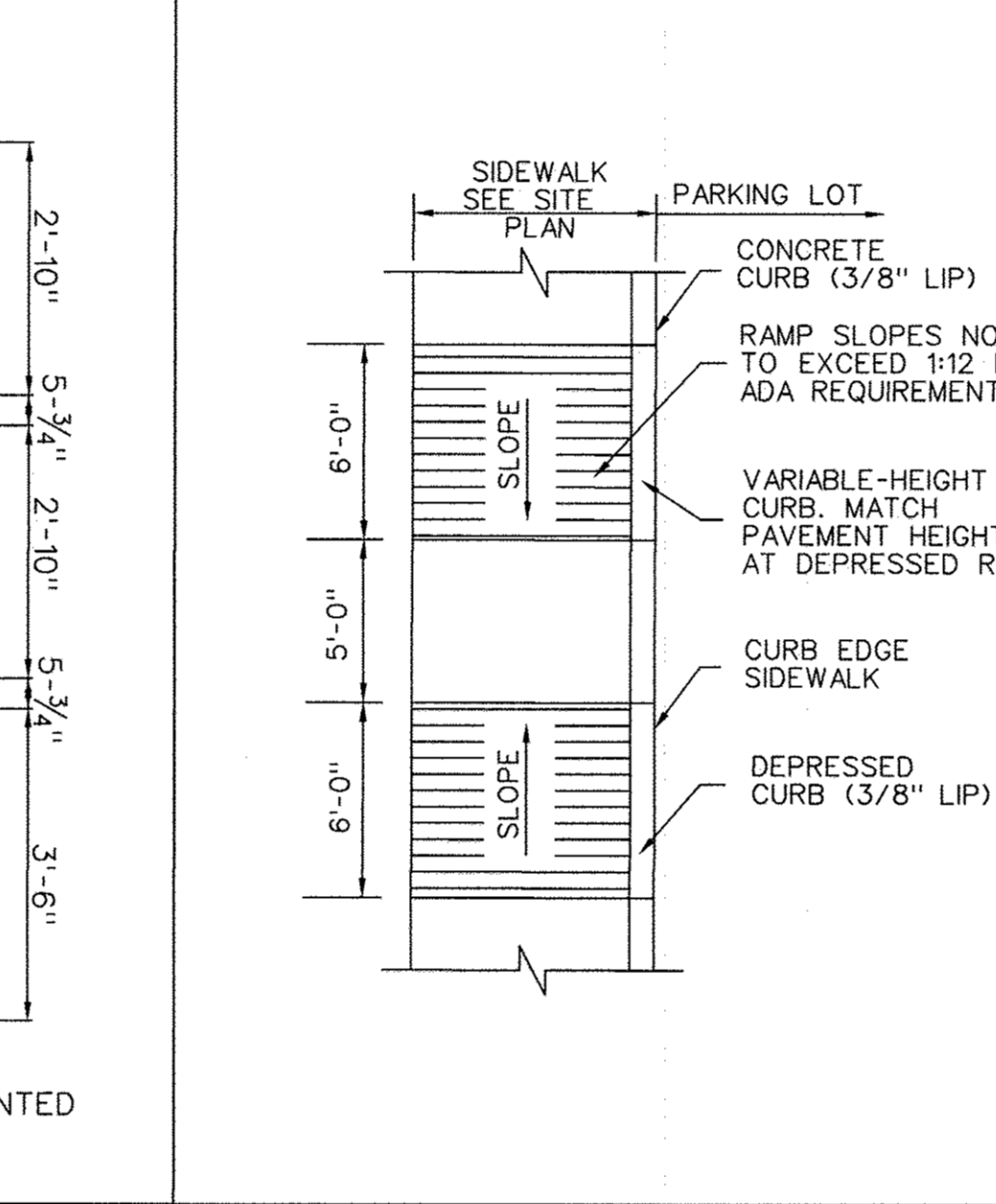
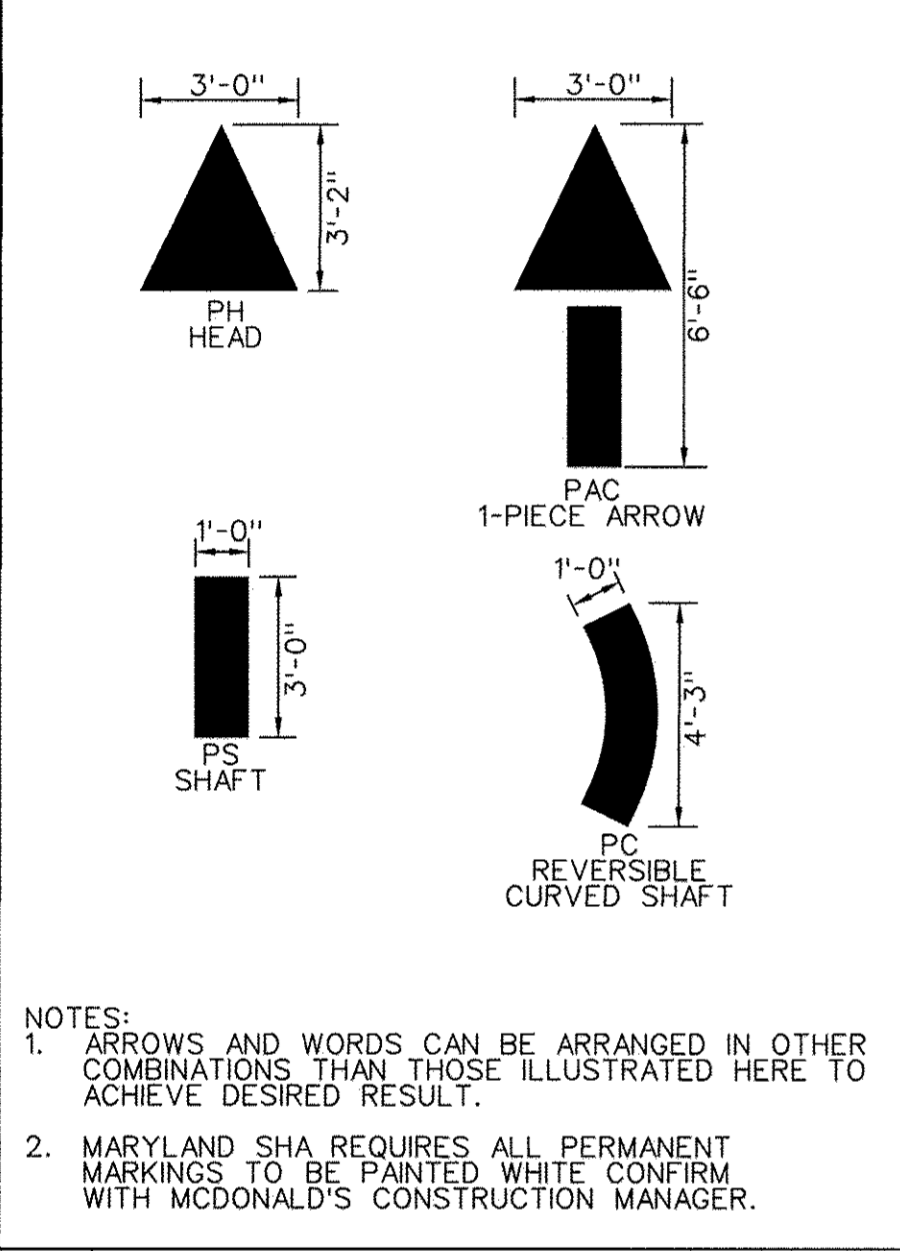


1 Not To Scale Detail Handicap Parking Signs

2 Not To Scale PAINTED HANDICAPPED PARKING SYMBOL N.T.S.

3 Not To Scale BOLLARD DETAIL N.T.S.

4 Not To Scale CONCRETE PAD DETAIL @ TRASH CORRAL N.T.S.



5 PAINTED PAVEMENT MARKING N.T.S.

6 PAINTED 'THANK YOU' N.T.S.

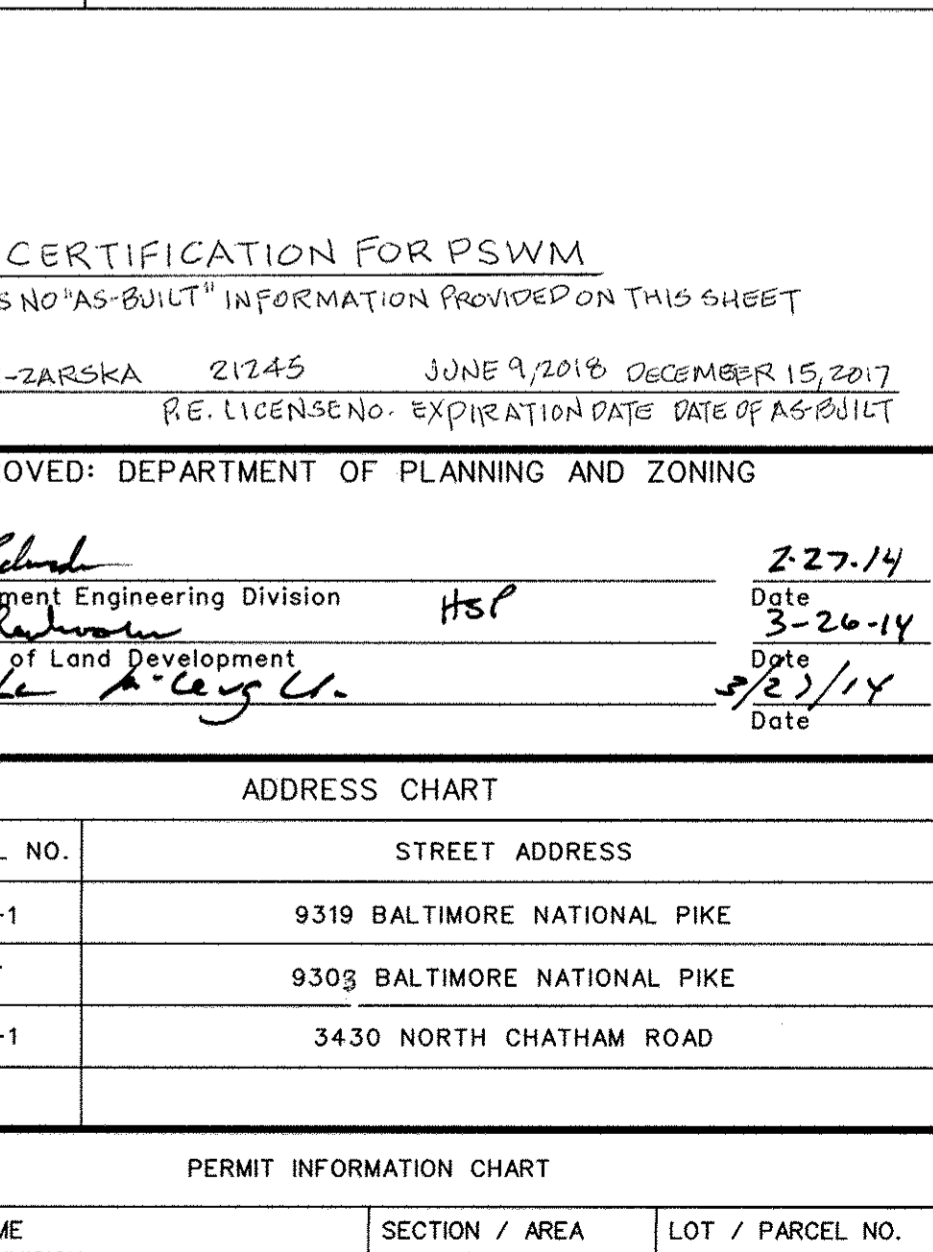
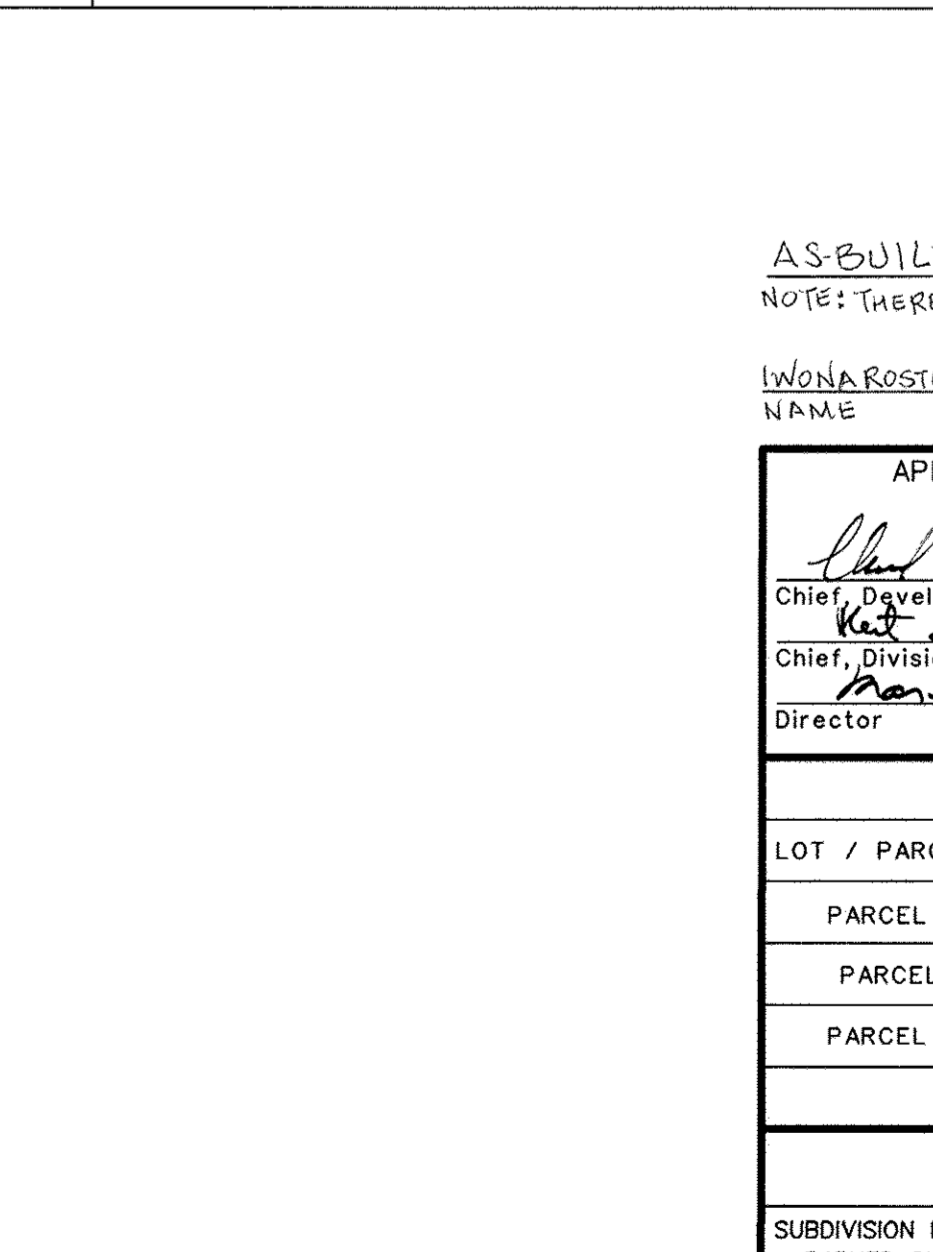
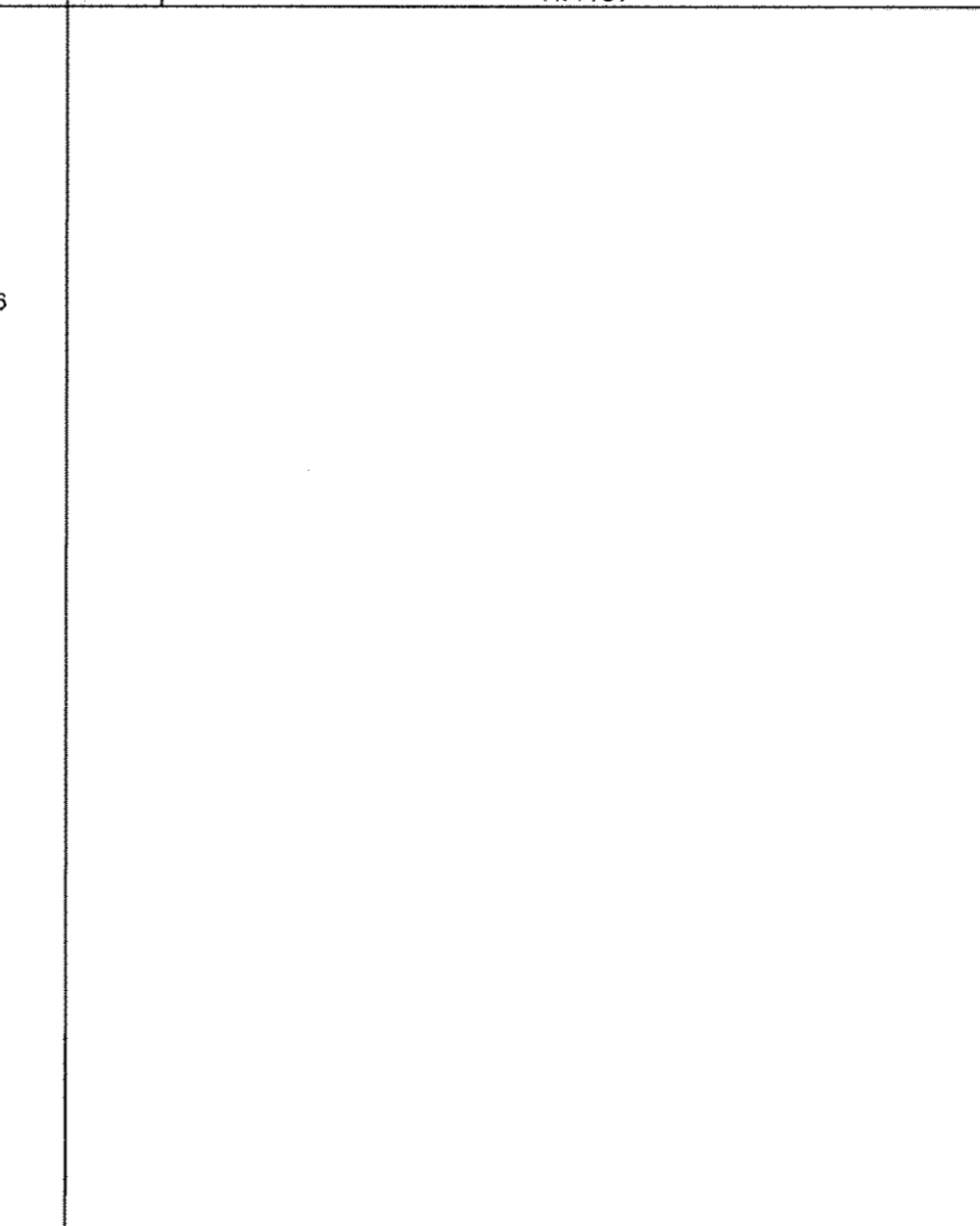
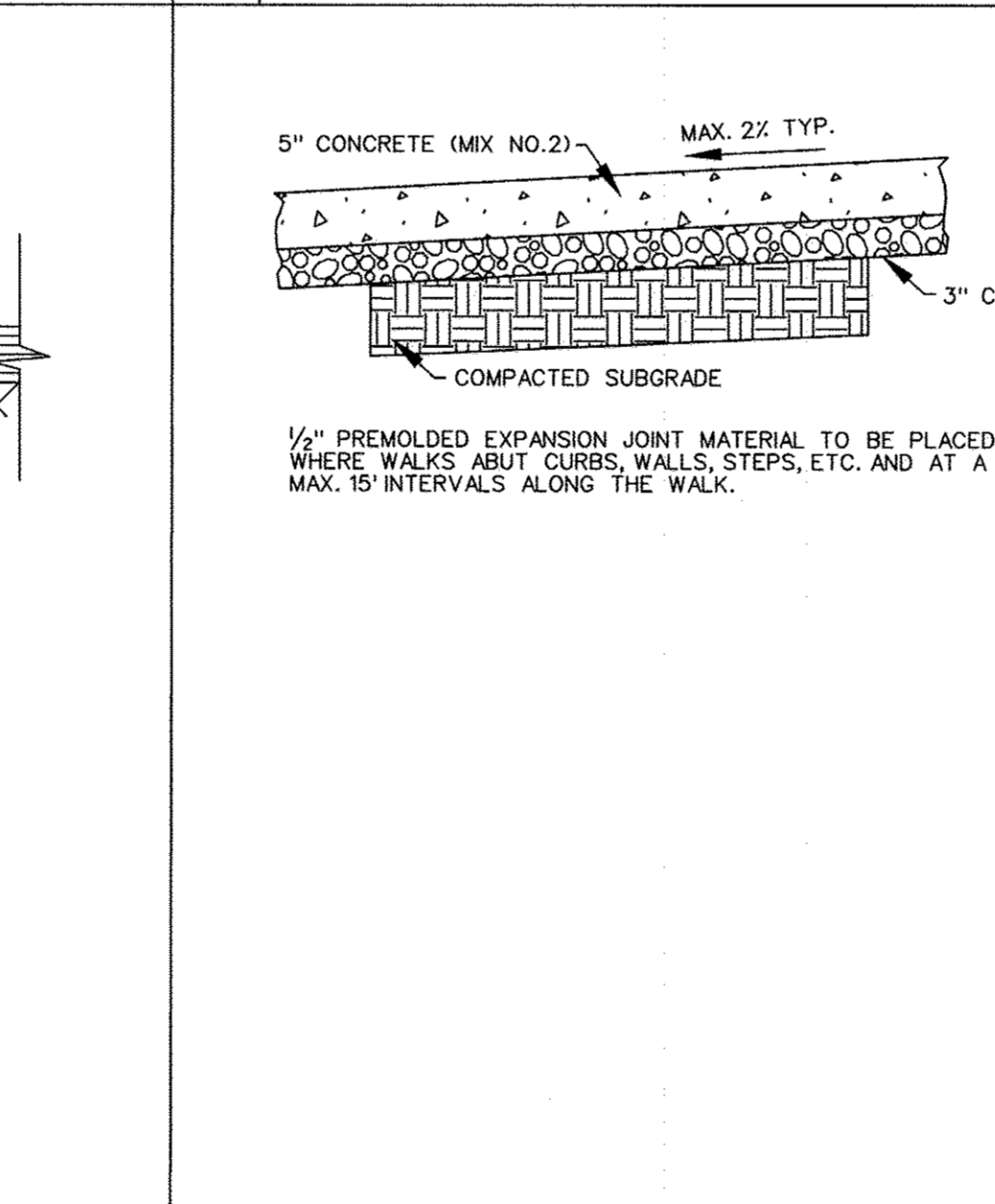
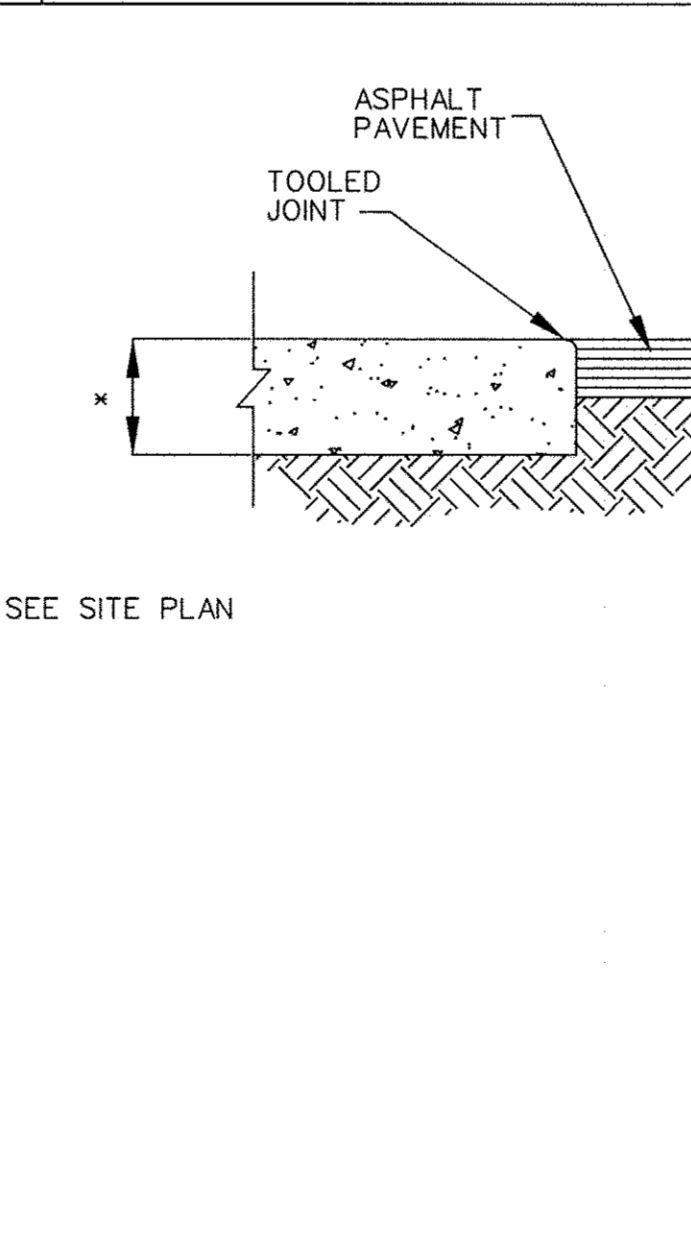
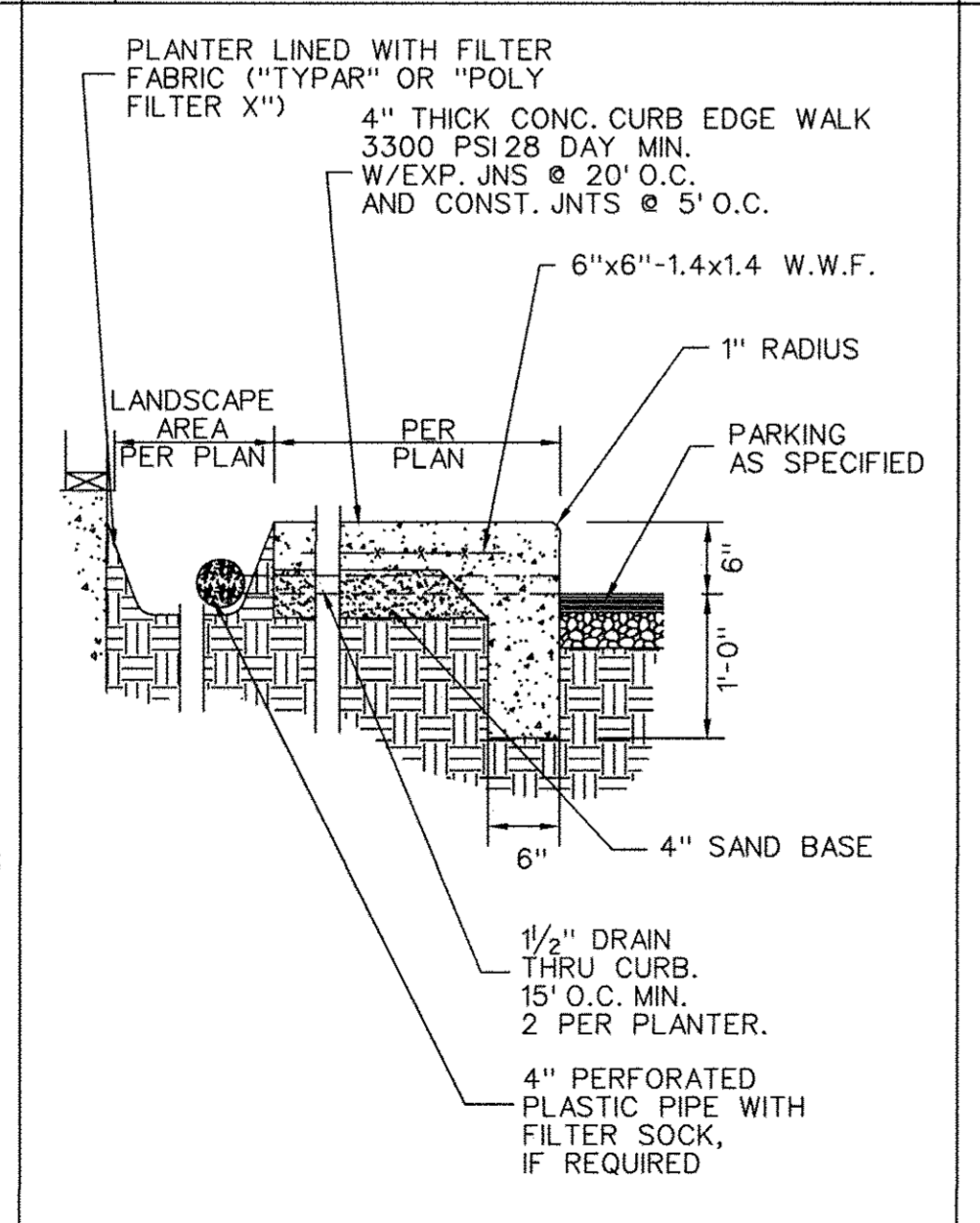
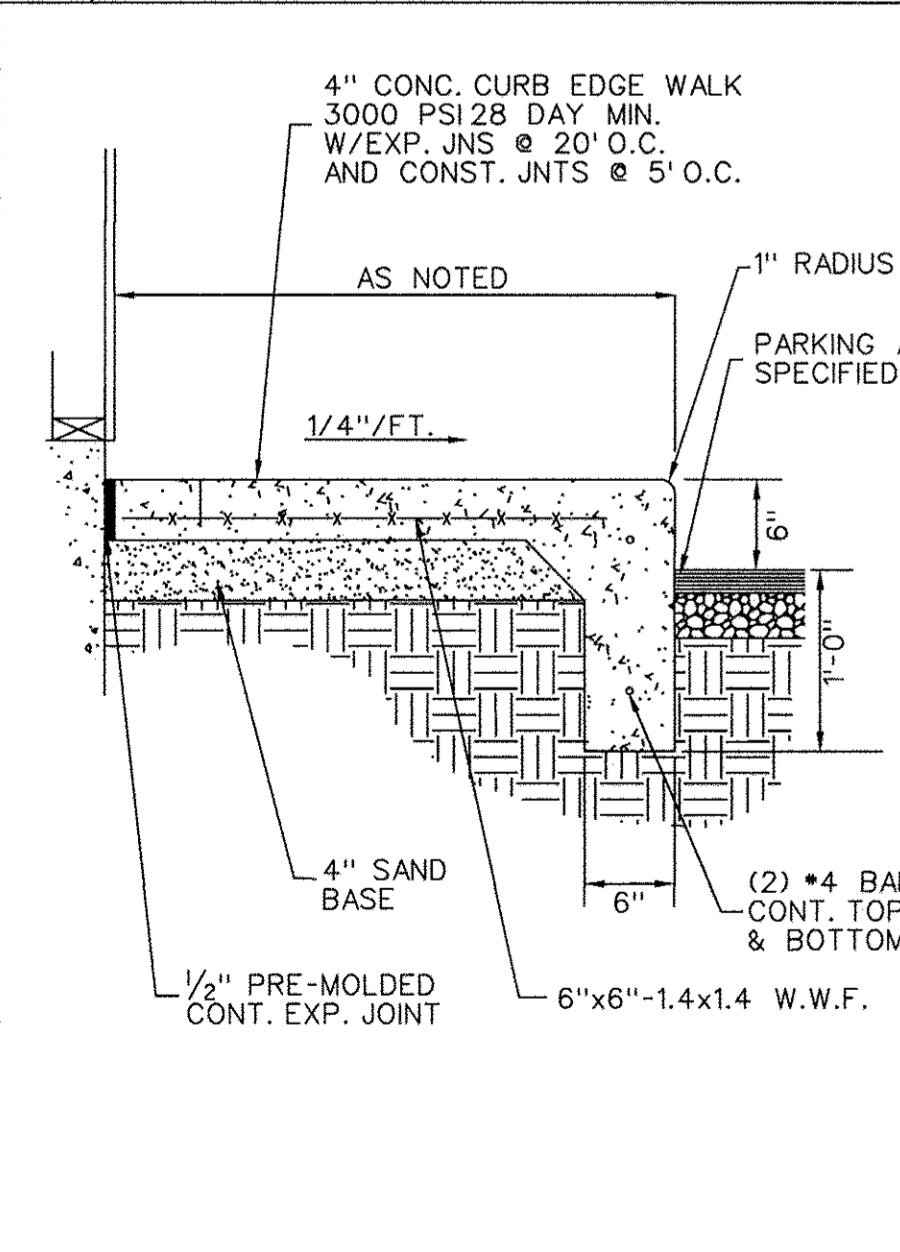
7 PAINTED 'DRIVE THRU' WITH ARROW N.T.S.

8 HANDICAP ACCESS RAMP N.T.S.

9 TYPICAL EXTERIOR GREASE TRAP N.T.S.

10 EXTERIOR CLEAN-OUT N.T.S.

11 CONCRETE CURB N.T.S.



12 CURB EDGE SIDEWALK N.T.S.

13 PLANTER AND CURBED SIDEWALK N.T.S.

14 TERMINAL JOINT WITH ASPHALT PAVEMENT N.T.S.

15 SHA CONCRETE SIDEWALK DETAIL N.T.S.

16 AS-BUILT CERTIFICATION FOR PSWM

17 APPROVED: DEPARTMENT OF PLANNING AND ZONING

18 ADDRESS CHART

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DEVELOPER / APPLICANT
McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DATE	ITEM	BY

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

SITE DETAILS I
McDONALD'S RESTAURANT
9303 BALTIMORE NATIONAL PIKE
AS-BUILT

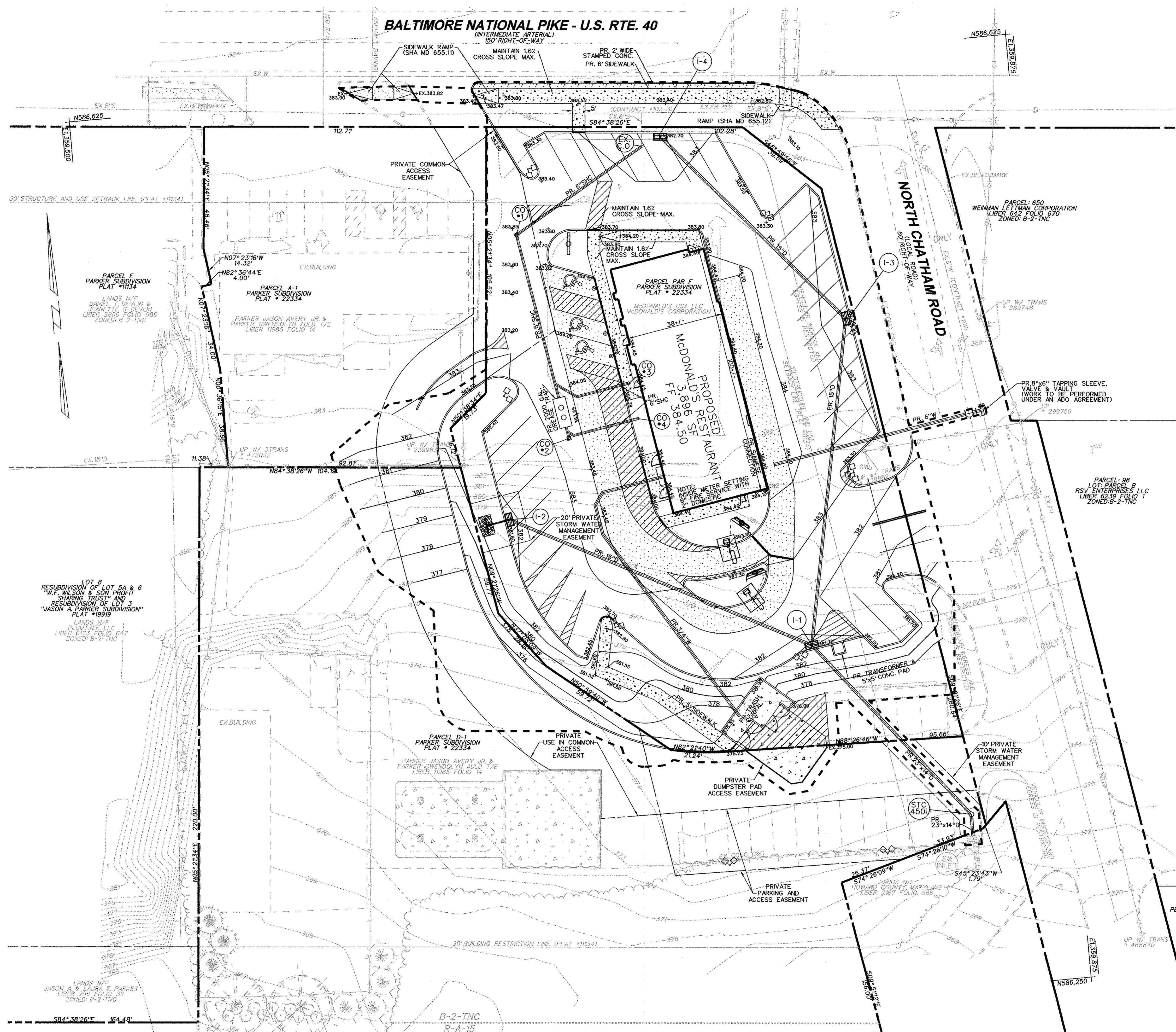
HOWARD COUNTY, MARYLAND
SCALE: N/A

SHEET 4 OF 15
DATE: FEBRUARY, 2014
SDP-10-088

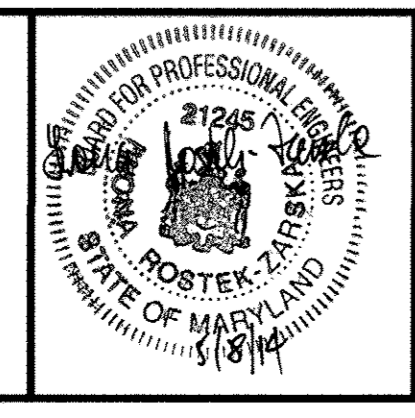
LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. STORM DRAIN EX. 18"Ø
- EX. SANITARY SEWER MANHOLE & CLEANOUT EX. 8"Ø
- EX. WATER MAIN, VALVE & FIRE HYDRANT EX. 8"Ø
- EX. ELECTRIC LINE
- EX. TREE LINE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- ZONING LINE
- PR. TREE LINE
- PR. STORM DRAIN PR. 15"Ø
- PR. SANITARY SEWER & CLEANOUT PR. 6"Ø
- PR. WATER MAIN, VALVE & FIRE HYDRANT PR. 8"Ø
- PR. EASEMENT LINE
- PR. INDEX CONTOURS
- PR. INTERMEDIATE CONTOURS
- PR. CONC. CURB & GUTTER
- PR. PARKING COUNT
- LIMIT OF DISTURBANCE

NOTE: ALL SPOT ELEVATIONS ARE BOTTOM OF CURB ELEVATIONS EXCEPT WHEN OTHERWISE NOTED.



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 Consulting Engineers
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AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET
 WONA ROSTEK-ZARSKA 21245 JUNE 9, 2013 DECEMBER 15, 2017
 NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2016.

OWNER
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

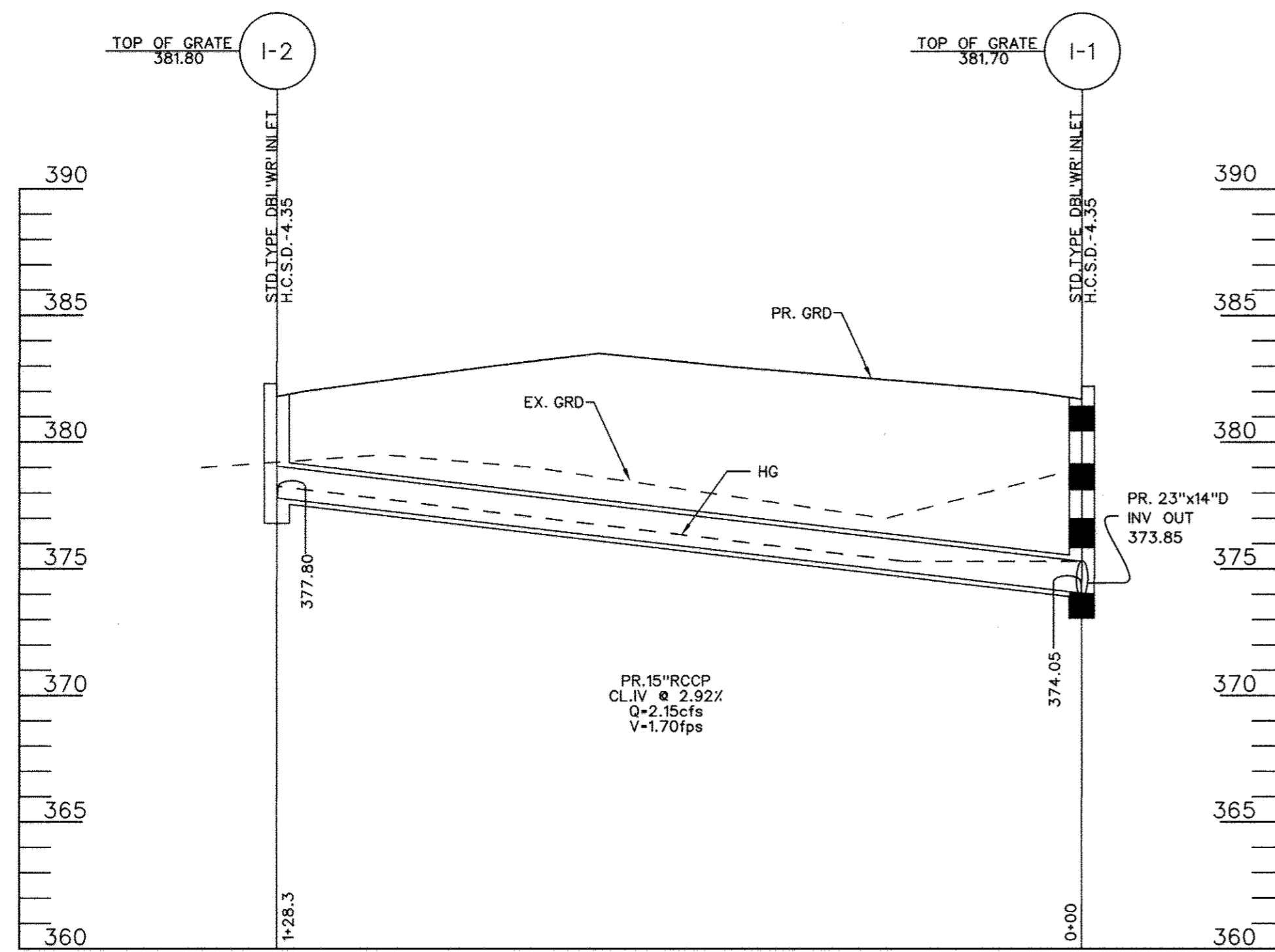
DEVELOPER / APPLICANT
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY
05/09/14	REVISED DRIVE THRU CONFIGURATION	KU

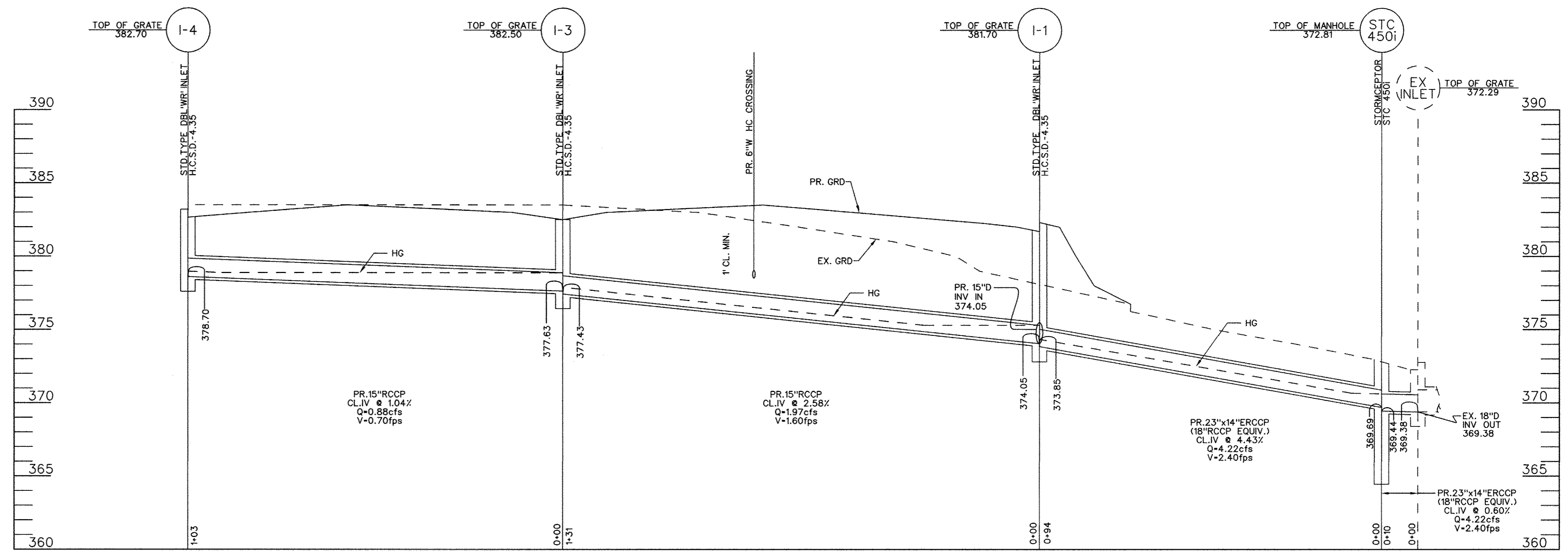
REVISED GRADING AND UTILITY PLAN
McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT

HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'
 SHEET 6 OF 15
 DATE: MAY 9, 2014
 SDP-10-088

APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i> Chief, Development Engineering Division	AS	5/21/14 Date
<i>[Signature]</i> Chief, Division of Land Development	AS	5/22/14 Date
<i>[Signature]</i> Director	AS	5/22/14 Date
ADDRESS CHART		
LOT / PARCEL NO.	STREET ADDRESS	
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE	
PARCEL F	9309 BALTIMORE NATIONAL PIKE	
PARCEL D-1	3430 NORTH CHATHAM ROAD	
PERMIT INFORMATION CHART		
SUBDIVISION NAME PARKER SUBDIVISION	SECTION / AREA N/A	LOT / PARCEL NO. A-1, D-1 & F
PLAT NO. or L/F 22334	GRID NO. 4	ZONING B-2-TNC/R-A-15
TAX MAP NO. 24	ELEC. DIST. 2ND	CENSUS TRACT 6023-06



STORM DRAIN PROFILE
SCALE: 1"=20' HORZ.
1"=5' VERT.



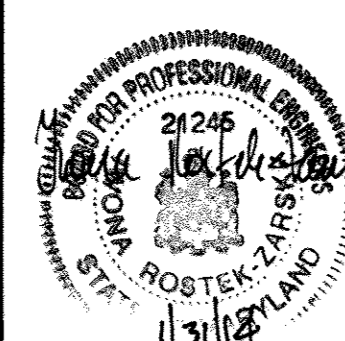
STORM DRAIN PROFILE
SCALE: 1"=20' HORZ.
1"=5' VERT.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division Date 2-27-14
 Chief Division of Land Development Date 3-26-14
 Director Date 3/2/14

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	PLAT NO. or L/F	GRID NO.
PARKER SUBDIVISION	N/A	A-1, D-1 & F	22334	4
ZONING	TAX MAP NO.	ELEC. DIST.	CENSUS TRACT	
B-2-TNC/R-A-15	24	2ND	6023-06	

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 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET
 Wlona ROSTEK-ZARSKA 21245 JUNE 9, 2010 DECEMBER 15, 2017
 NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

OWNER
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DEVELOPER / APPLICANT
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY

UTILITY PROFILES
McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT
 HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 SHEET 8 OF 15
 DATE: JANUARY 24, 2014
 SDP-10-088

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE
- EX. TREE LINE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- ZONING LINE
- PR. TREE LINE
- PR. STORM DRAIN
- PR. SANITARY SEWER & CLEANOUT
- PR. WATER MAIN, VALVE & FIRE HYDRANT
- PR. EASEMENT LINE
- PR. INDEX CONTOURS
- PR. INTERMEDIATE CONTOURS
- PR. CONC. CURB & GUTTER
- PR. PARKING COUNT

SEDIMENT CONTROL LEGEND

- LIMIT OF DISTURBANCE
- SILT FENCE
- SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- MOUNTABLE BERM TYPE A
- STANDARD INLET PROTECTION
- AT GRADE INLET PROTECTION
- CURB INLET PROTECTION
- STONE CHECK DAMS

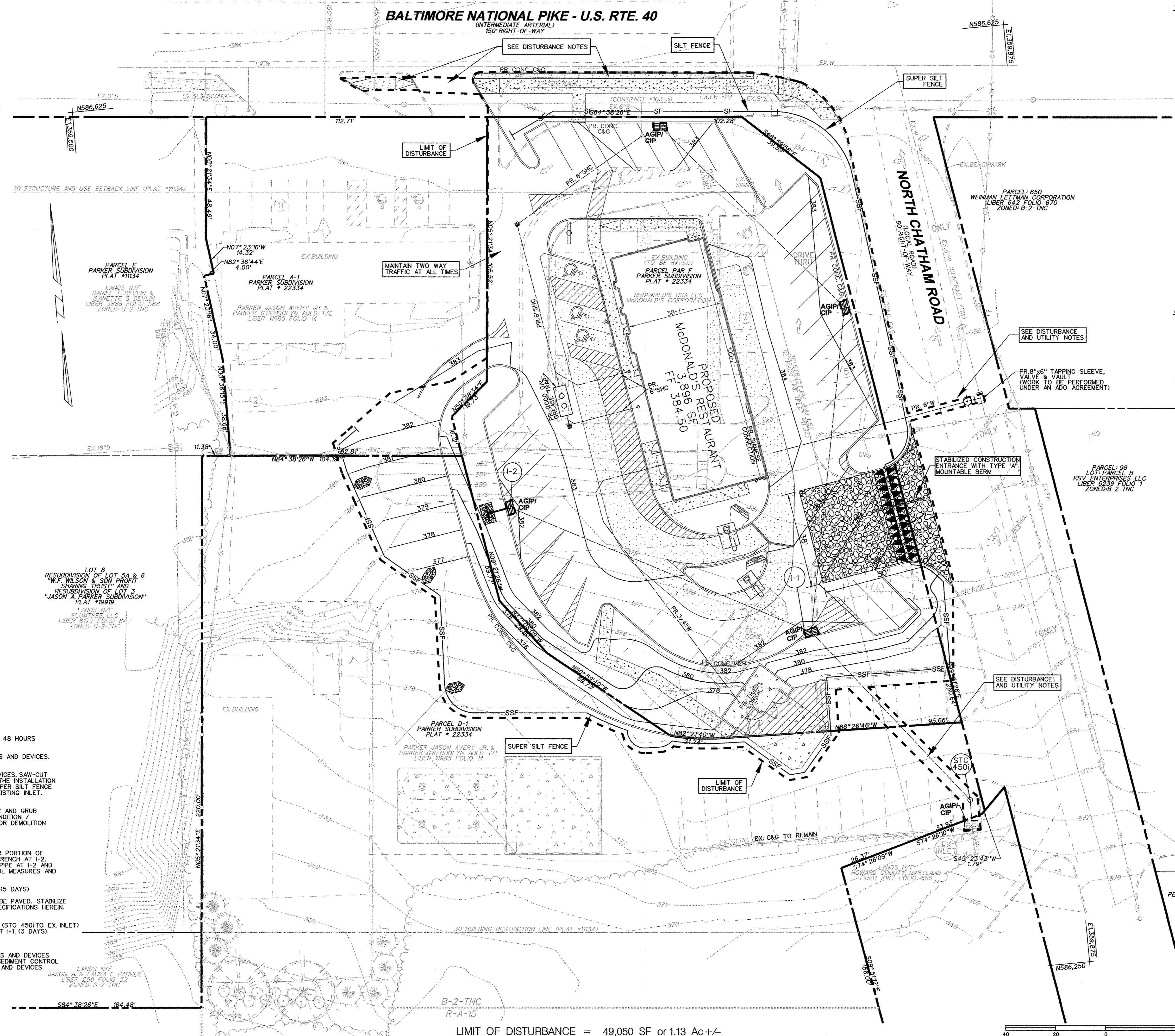
SOIL CLASSIFICATION		
Uub	Urban land - Udorthents complex	C

NOTE: THE URBAN LAND SOIL TYPE ENCOMPASSES AN AREA MUCH LARGER THAN THE SUBJECT SITE. THEREFORE, SOIL LINES ARE NOT SHOWN AT THIS SCALE.

SEQUENCE OF OPERATION

1. OBTAIN GRADING PERMIT. (1 DAY)
2. NOTIFY HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES 48 HOURS PRIOR TO BEGINNING WORK. (1 DAY)
3. CLEAR AND GRUB FOR SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES. (2 DAYS)
4. INSTALL ALL SEDIMENT AND EROSION CONTROL MEASURES AND DEVICES, SAW-CUT AND REMOVE EXISTING PAVING (STONE SUBBASE TO REMAIN) FOR THE INSTALLATION OF THE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE AND SUPER SILT FENCE AS SHOWN ON THE PLAN. PROVIDE INLET PROTECTION FOR THE EXISTING INLET. (2 DAYS)
5. WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB REMAINDER OF SITE. BEGIN BUILDING DEMOLITION PER EXISTING CONDITION / DEMOLITION PLAN. A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR DEMOLITION OF EXISTING BUILDING. (5 DAYS)
6. BEGIN BUILDING CONSTRUCTION. (15 DAYS)
7. BEGIN GRADING OPERATION AND UTILITY INSTALLATION EXCEPT FOR PORTION OF STORM DRAIN SYSTEM FROM STC 45010 EX. INLET AND STONE TRENCH AT I-2. PROVIDE INLET PROTECTION FOR ALL NEW INLETS. PLUG 4" PVC PIPE AT I-2 AND 18" PIPE AT I-1. MAINTAIN POSITIVE DRAINAGE TO SEDIMENT CONTROL MEASURES AND DEVICES AT ALL TIMES. (10 DAYS)
8. CONTINUE WITH GRADING OPERATION AND BUILDING CONSTRUCTION. (5 DAYS)
9. INSTALL STONE SUBBASE AND CURB & GUTTER WITHIN AREAS TO BE PAVED. STABILIZE AREAS OF SITE WITH GRASS IN ACCORDANCE TO THE SEEDING SPECIFICATIONS HEREIN. (3 DAYS)
10. AS WORK PROGRESSES INSTALL REMAINING STORM DRAIN SYSTEM (STC 45010 EX. INLET) AND STONE TRENCH. UNPLUG 4" PVC PIPE AT I-2 AND 18" PIPE AT I-1. (3 DAYS)
11. FINE GRADE ALL AREAS. PROCEED WITH LANDSCAPING. (3 DAYS)
12. AFTER ALL AREAS DRAINING TO THE SEDIMENT CONTROL MEASURES AND DEVICES ARE VEGETATIVELY STABILIZED AND WITH PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES AND DEVICES AND PROCEED WITH PAVING OPERATIONS. (2 DAYS)

BALTIMORE NATIONAL PIKE - U.S. RTE. 40
(INTERMEDIATE ARTERIAL)
60' RIGHT-OF-WAY



SEDIMENT CONTROL STANDARD GENERAL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF PERMITS AND LICENSES, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1301)
2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR PERMANENT SEEDING, SODS, TEMPORARY SEEDING AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES"
3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A. SEVEN CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - B. FOURTEEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDING, SODS, TEMPORARY SEEDING AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
6. SITE ANALYSIS:

TOTAL AREA OF SITE	4.43	ACRES +/-
AREA TO BE ROOFED OR PAVED	1.13	ACRES +/-
AREA TO BE VEGETATIVELY STABILIZED	0.82	ACRES +/-
TOTAL CUT	5,000	CUBIC YARDS +/-
TOTAL FILL	5,000	CUBIC YARDS +/-
OFF-SITE WASTE/BORROW AREA LOCATION WASTE	N/A	
7. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
8. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
9. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
10. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER. 11. STOOPING WILL NOT BE PERMITTED ON SITE. ANY EXCESS MATERIAL WILL BE TAKEN TO A SITE WITH AN OPEN GRADING PERMIT.
12. EARTH QUANTITY VOLUMES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR IS ADVISED TO PERFORM HIS OWN ANALYSIS PRIOR TO PLACING A BID ON THIS ITEM.

DISTURBANCE NOTES

- FOR ANY DISTURBANCE OUTSIDE OF THE PERIMETER SEDIMENT CONTROLS, THE CONTRACTOR SHALL STABILIZE ONLY THE AMOUNT OF AREA THAT CAN BE STABILIZED AT THE END OF (1) WORKING DAY. STABILIZATION SHALL BE AS FOLLOWS:
- A. FOR SIDEWALK AREAS AND AREAS TO BE PAVED THE APPLICATION OF STONE
 - B. FOR ALL OTHER AREAS THE APPLICATION OF PERMANENT SEED AND MULCH
 - C. SILT FENCE SHALL BE PROVIDED DOWNSLOPE OF AREAS THAT CANNOT BE STABILIZED AT THE END OF THE DAY.

UTILITY NOTES

1. CONTRACTOR SHOULD OPEN ONLY THAT SECTION OF TRENCH THAT CAN BE BACKFILLED AND STABILIZED EACH DAY. IF TRENCH MUST REMAIN OPEN LONGER THAN ONE DAY, SILT FENCE SHALL BE PLACED BELOW (DOWNSLOPE OF) THE TRENCH.
2. PLACE ALL EXCAVATED MATERIAL ON THE UPHILL SIDE OF TRENCH.
3. ANY SEDIMENT CONTROLS DISTURBED BY UTILITY CONSTRUCTION ARE TO BE REPAIRED IMMEDIATELY.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
John R. Roberson 5/15/14
 Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
Lee May 05/08/14
 Date

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it will not be prepared in accordance with the requirements of the Howard Soil Conservation District.
Monica Rostek-Zarska 5/15/14
 iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Paul E. Ebert 5/21/14
 Chief, Development Engineering Division H&P Date
Neil Starnes 5-22-14
 Chief, Division of Land Development Date
Patrick A. Leight 5/23/14
 Director Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9309 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

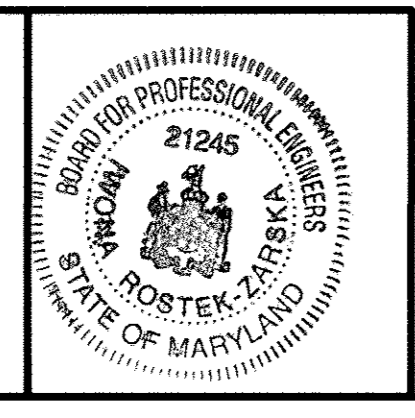
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
PARKER SUBDIVISION	N/A	A-1, D-1 & F
PLAT NO. or L/F	GRID NO.	ZONING
22334	4	B-2-TNC/R-A-15
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
24	2ND	6023-06

REVISED EROSION AND SEDIMENT CONTROL PLAN

McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT

HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21081
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO "AS BUILT" INFORMATION PROVIDED ON THIS SHEET
 iwona ROSTEK-ZARSKA 21245 JUNE 9, 2018 DECEMBER 19, 2017
 NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2018.

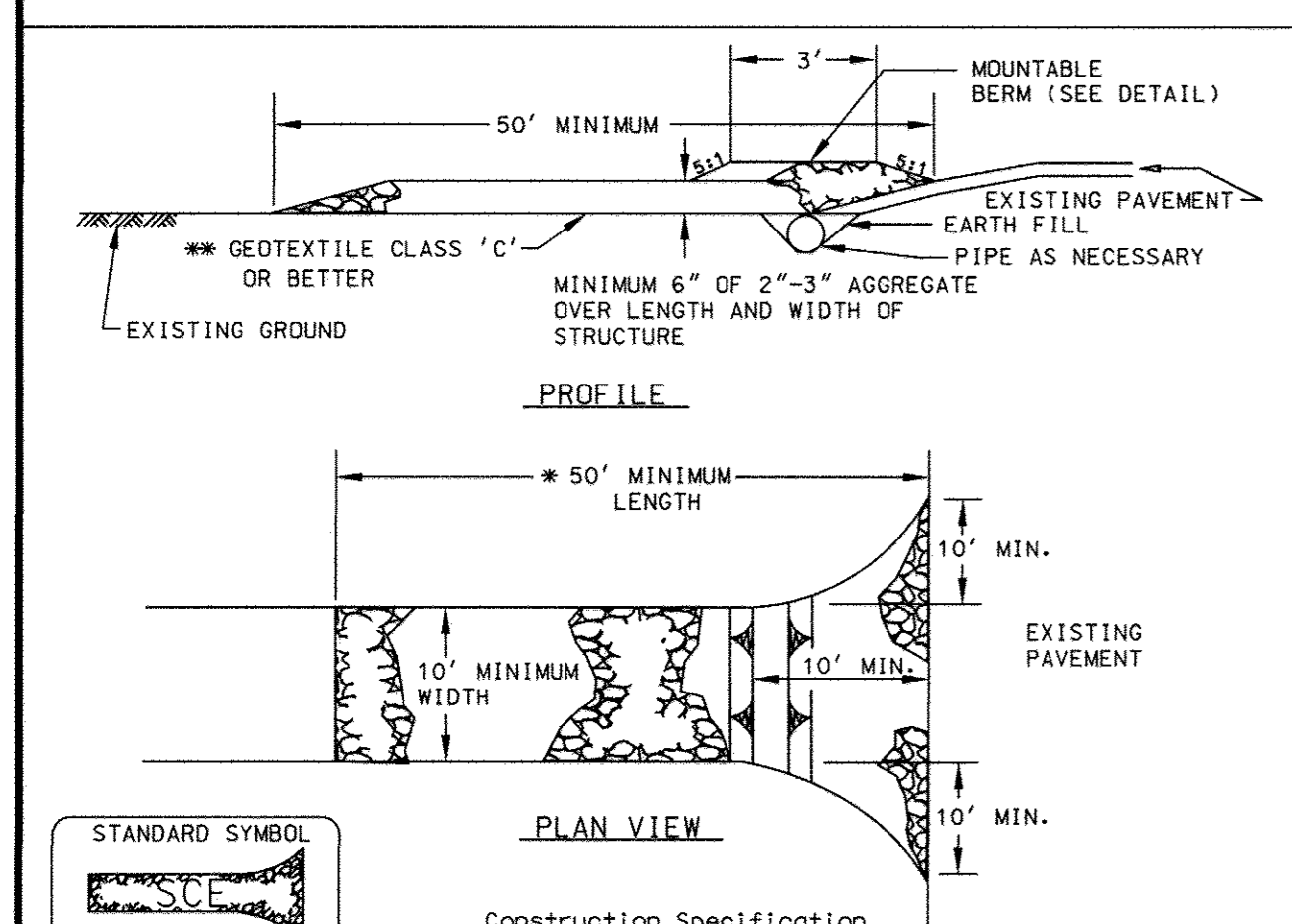
OWNER
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DEVELOPER / APPLICANT
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY
05/09/14	REVISED DRIVE THRU CONFIGURATION	KU

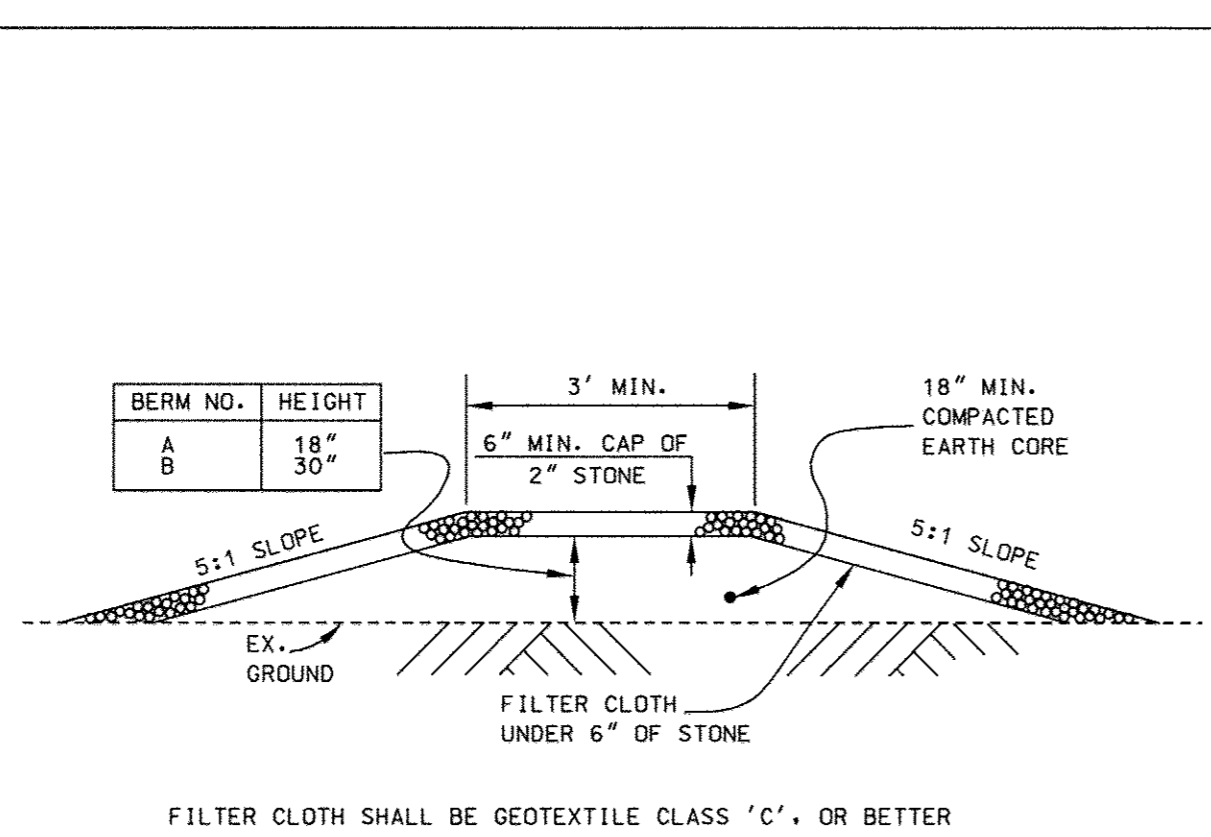
HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



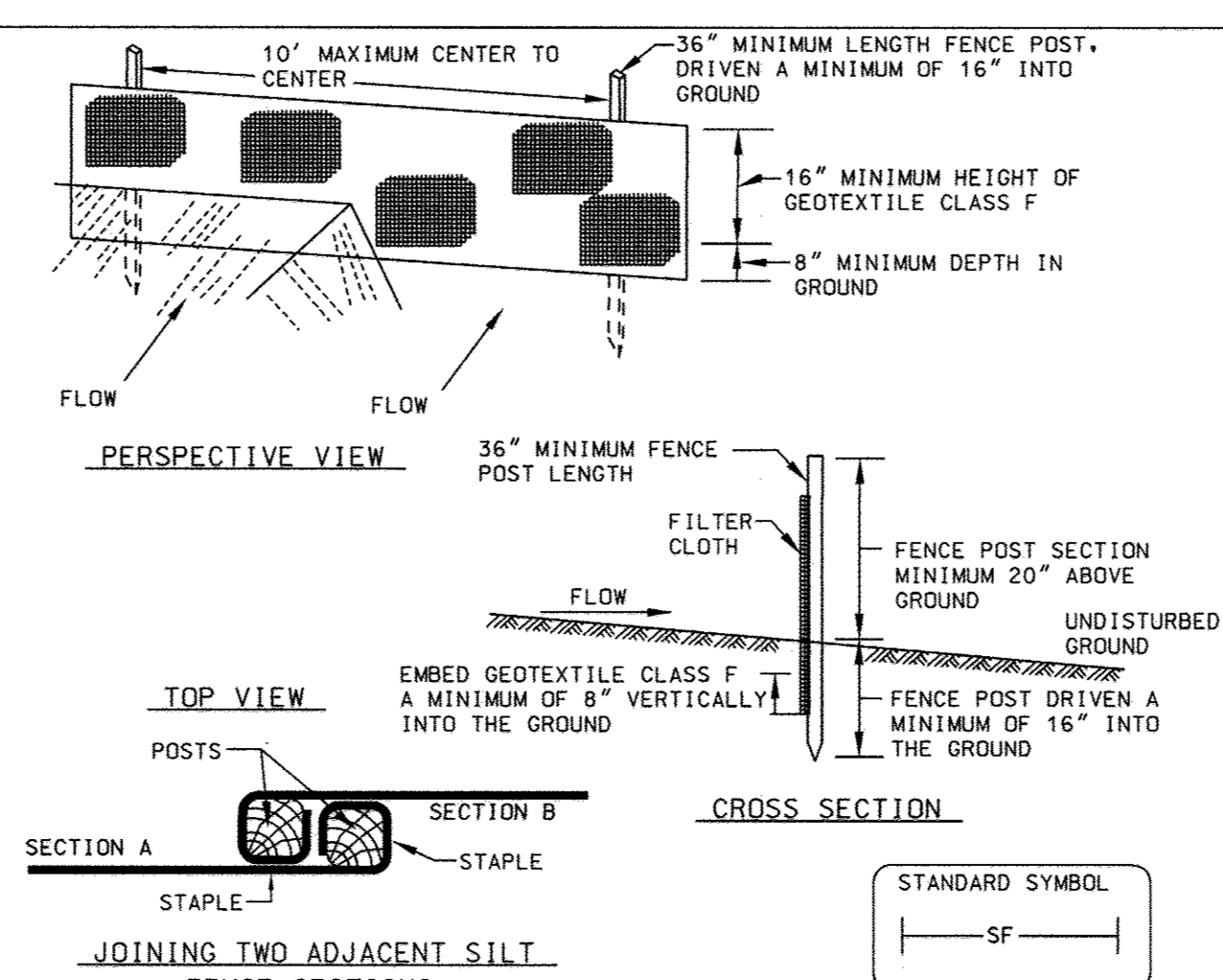
- Construction Specification**
- Length - minimum of 50' (#30' for single residence lot).
 - Width - 10' minimum, should be flared at the existing road to provide a turning radius.
 - Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
 - Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
 - Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mounded top with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
 - Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

DETAIL - MOUNTABLE BERM



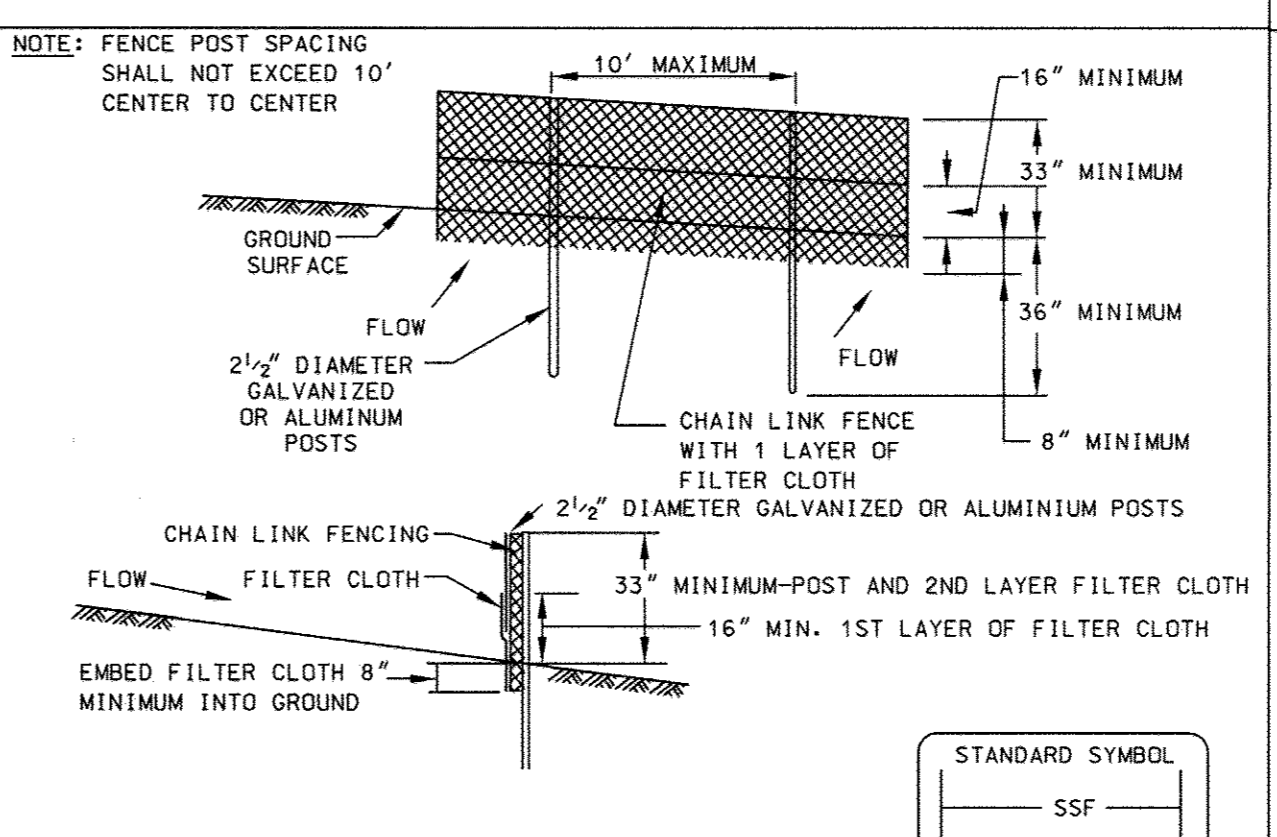
- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|--|----------------|
| Tensile Strength | 50 lbs/in (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal/ft ² /minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

DETAIL 22 - SILT FENCE



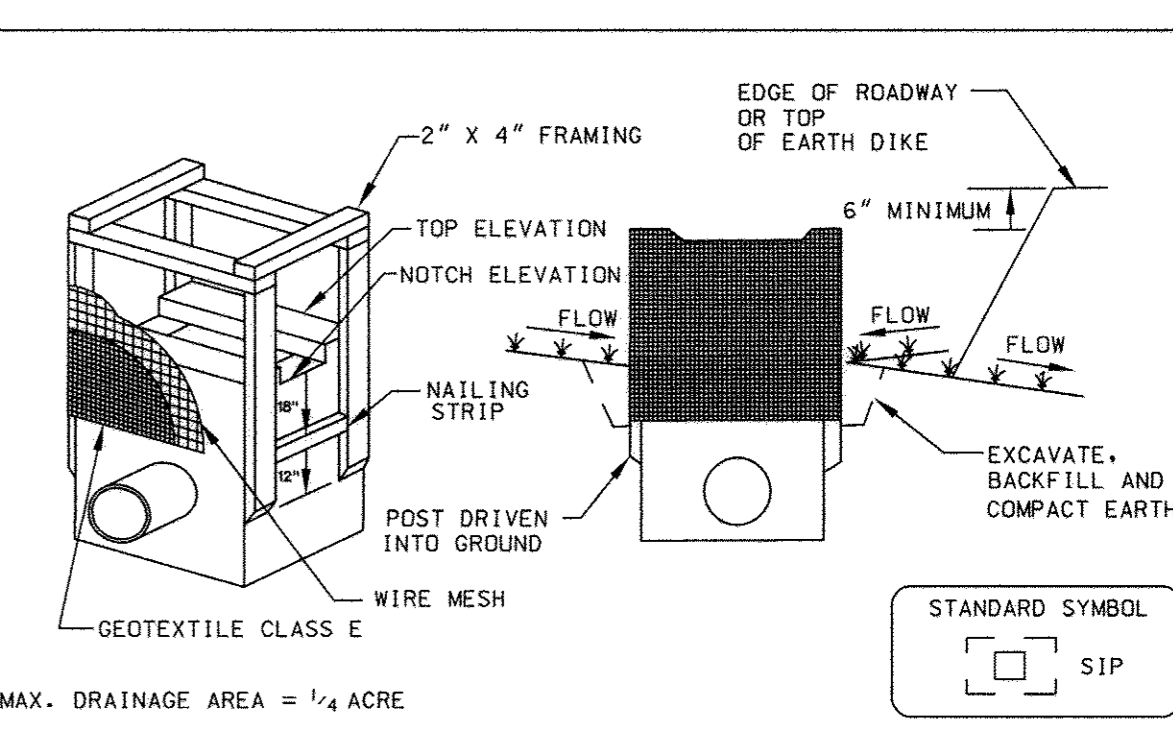
- Construction Specifications**
- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
 - Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|--|----------------|
| Tensile Strength | 50 lbs/in (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal/ft ² /minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
 - Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

DETAIL 33 - SUPER SILT FENCE



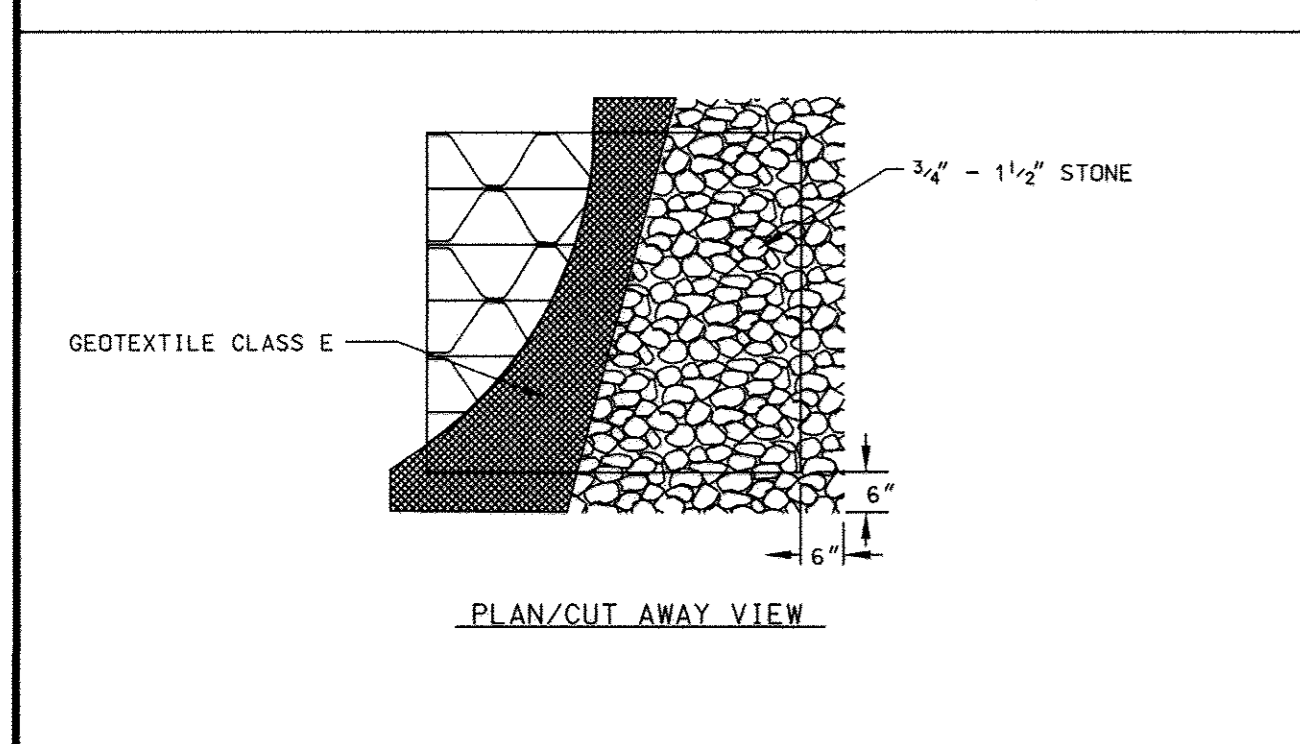
- Construction Specifications**
- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
 - Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wires, brack and truss rods, drive anchors and post caps are not required except on the ends of the fence.
 - Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
 - Filter cloth shall be embedded a minimum of 8" into the ground.
 - Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height.
 - Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:
- | | | |
|----------------------|--|----------------|
| Tensile Strength | 50 lbs/in (min.) | Test: MSMT 509 |
| Tensile Modulus | 20 lbs/in (min.) | Test: MSMT 509 |
| Flow Rate | 0.3 gal/ft ² /minute (max.) | Test: MSMT 322 |
| Filtering Efficiency | 75% (min.) | Test: MSMT 322 |

DETAIL 23A - STANDARD INLET PROTECTION



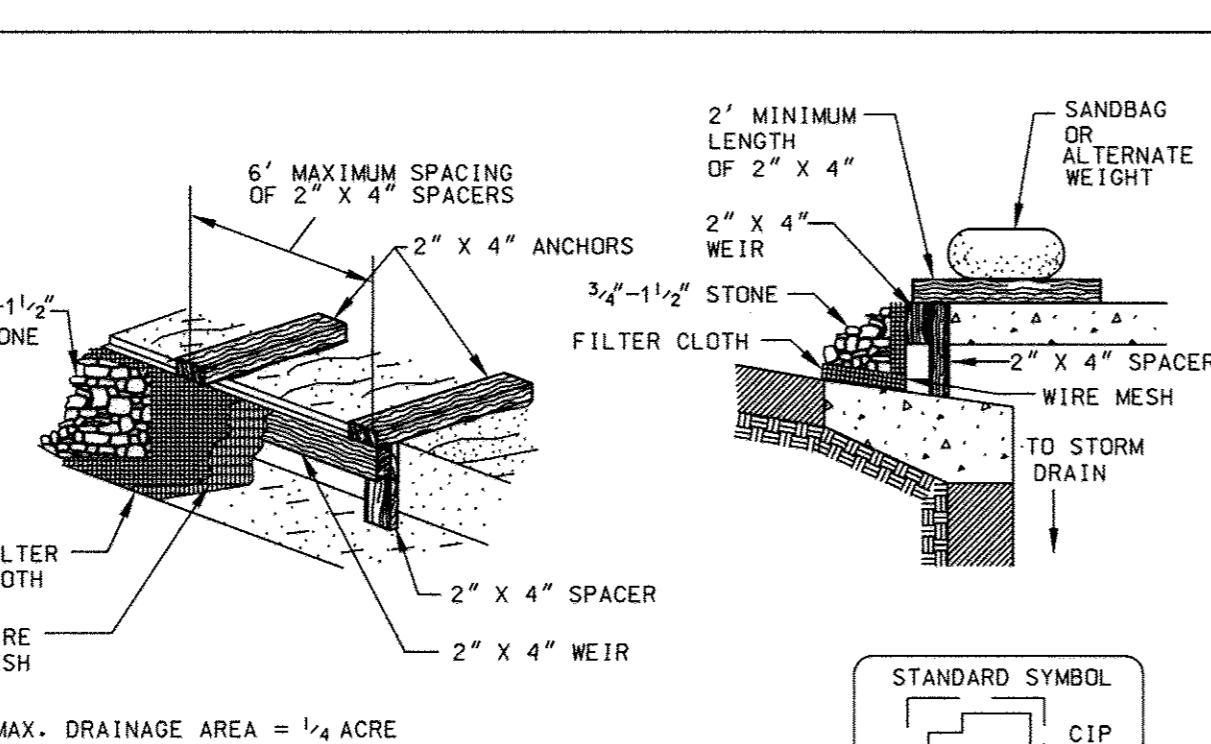
- Construction Specifications**
- Excavate completely around the inlet to a depth of 18" below the notch elevation.
 - Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
 - Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
 - Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
 - Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
 - If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
 - The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

DETAIL 23B - AT GRADE INLET PROTECTION



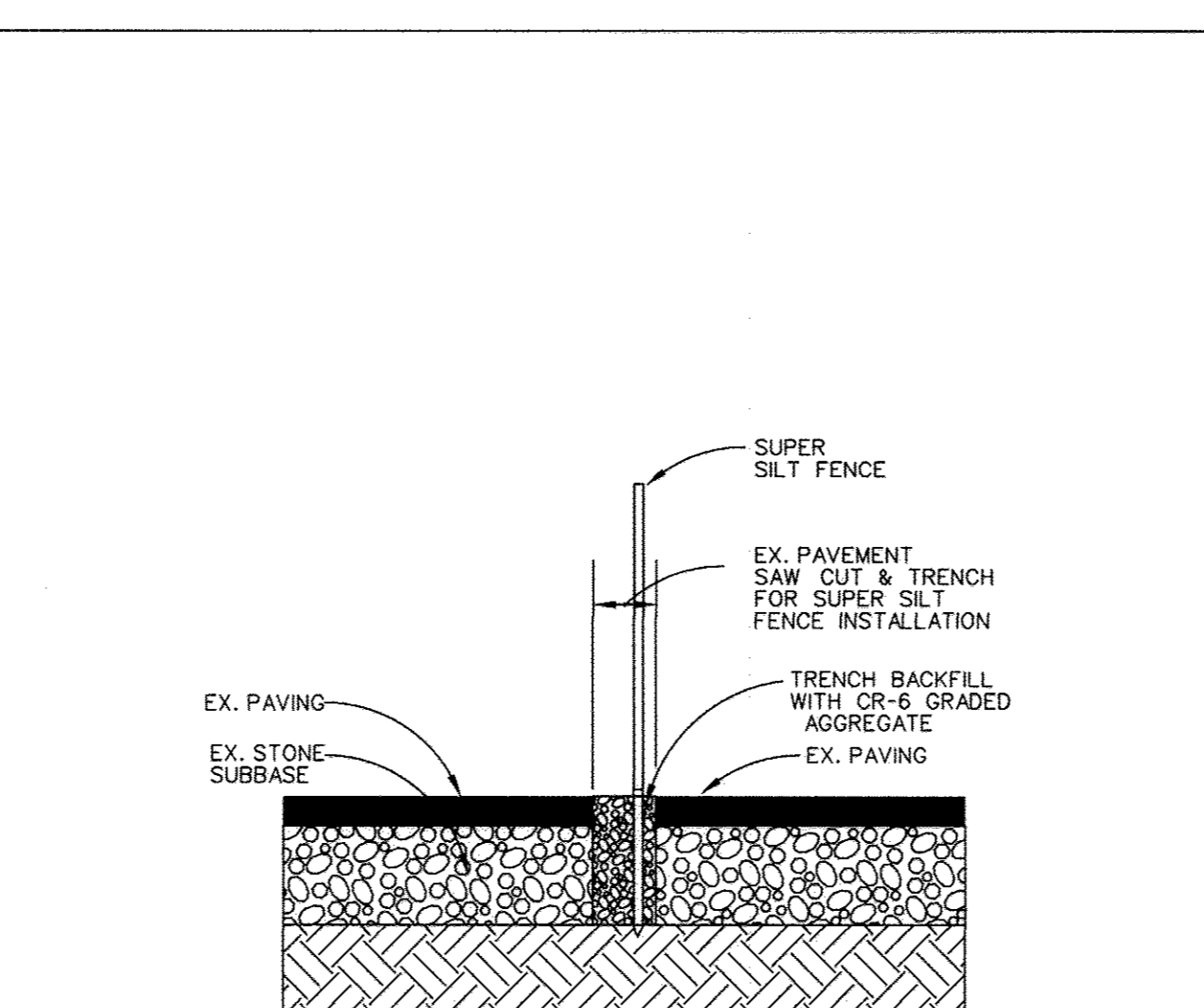
- Construction Specifications**
- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
 - Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

CURB INLET PROTECTION (COG OR COS INLETS)



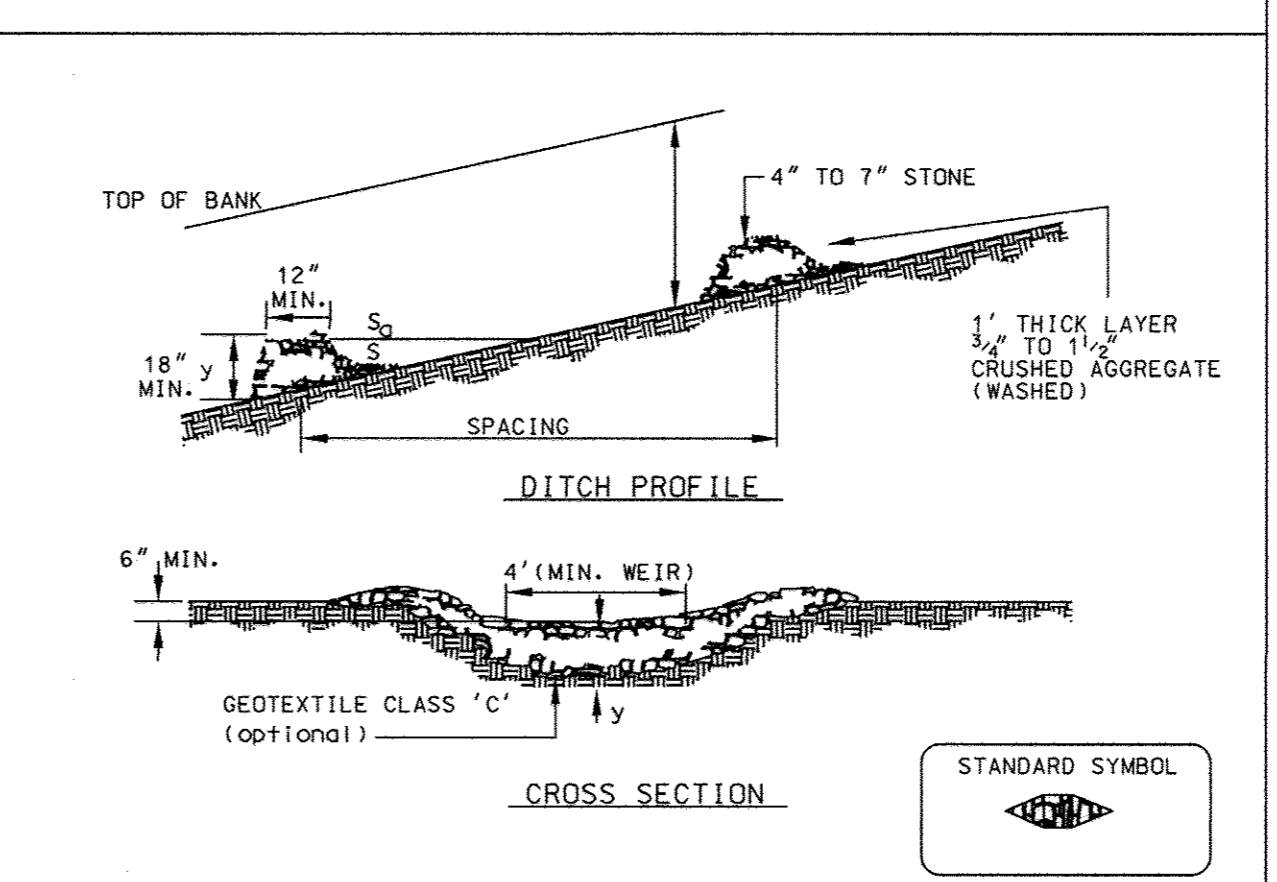
- Construction Specifications**
- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
 - Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
 - Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4' apart).
 - Place the assembly against the inlet throat and nail (minimum 2' lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet and be held in place by sandbags or alternate weight.
 - The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
 - Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
 - This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
 - Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

SUPER SILT FENCE WITHIN EXISTING PAVEMENT



- Construction Specifications**
- Swales and ditches shall be prepared in accordance with the construction specifications described in Section A-2. Standards and Specifications for Temporary Swale.
 - The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and keyed into the channel banks.
 - The top of the check dam shall be constructed so the center is approximately 6" lower than the outer edges, forming a weir that water can flow across.
 - The maximum height of the check dam at the center shall not exceed 2'.
 - The upstream side of the check dam shall be lined with approximately 1' of 3/4" to 1 1/2" crushed aggregate.
 - Accumulated sediment shall be removed when it has built up to 1/2 of the original height of the weir crest.

DETAIL 7 - STONE CHECK DAM



- Construction Specifications**
- Swales and ditches shall be prepared in accordance with the construction specifications described in Section A-2. Standards and Specifications for Temporary Swale.
 - The check dam shall be constructed of 4"-7" stone. The stone shall be placed so that it completely covers the width of the channel and keyed into the channel banks.
 - The top of the check dam shall be constructed so the center is approximately 6" lower than the outer edges, forming a weir that water can flow across.
 - The maximum height of the check dam at the center shall not exceed 2'.
 - The upstream side of the check dam shall be lined with approximately 1' of 3/4" to 1 1/2" crushed aggregate.
 - Accumulated sediment shall be removed when it has built up to 1/2 of the original height of the weir crest.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
John K. Robinson 2/20/14
 Howard Co. SCD Date

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/also authorize periodic on-site inspection by the Howard Soil Conservation District!"
Lee May 1/31/14
 Lee May Date

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District!"
Iwona Rostek-Zarska 1/31/14
 Iwona Rostek-Zarska, P.E. 21245 Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Paul Shindler 2-27-14
 Chief, Development Engineering Division Date
Kevin Shindler 3-26-14
 Chief, Division of Land Development Date
David May 3/23/14
 Director Date

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME PARKER SUBDIVISION	SECTION / AREA N/A	LOT / PARCEL NO. A-1, D-1 & F
PLAT NO. or L/F 22334	GRID NO. 4	ZONING B-2-TWC/R-A-15
TAX MAP NO. 24	ELEC. DIST. 2ND	CENSUS TRACT 6023-06

BLDG
 Baltimore Land Design Group Inc.
 Consulting Engineers
 230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21031
 PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

AS-BUILT CERTIFICATION FOR PSWM
 NOTE: THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET
 IWONA ROSTEK-ZARSKA 21245 JUNE 9, 2018 DECEMBER 13, 2017
 P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

OWNER
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DEVELOPER / APPLICANT
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY

EROSION AND SEDIMENT CONTROL DETAILS
McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT

HOWARD COUNTY, MARYLAND
 SCALE: N/A

SHEET 10 OF 15
 DATE: JANUARY 24, 2014
 SDP-10-088

LEGEND

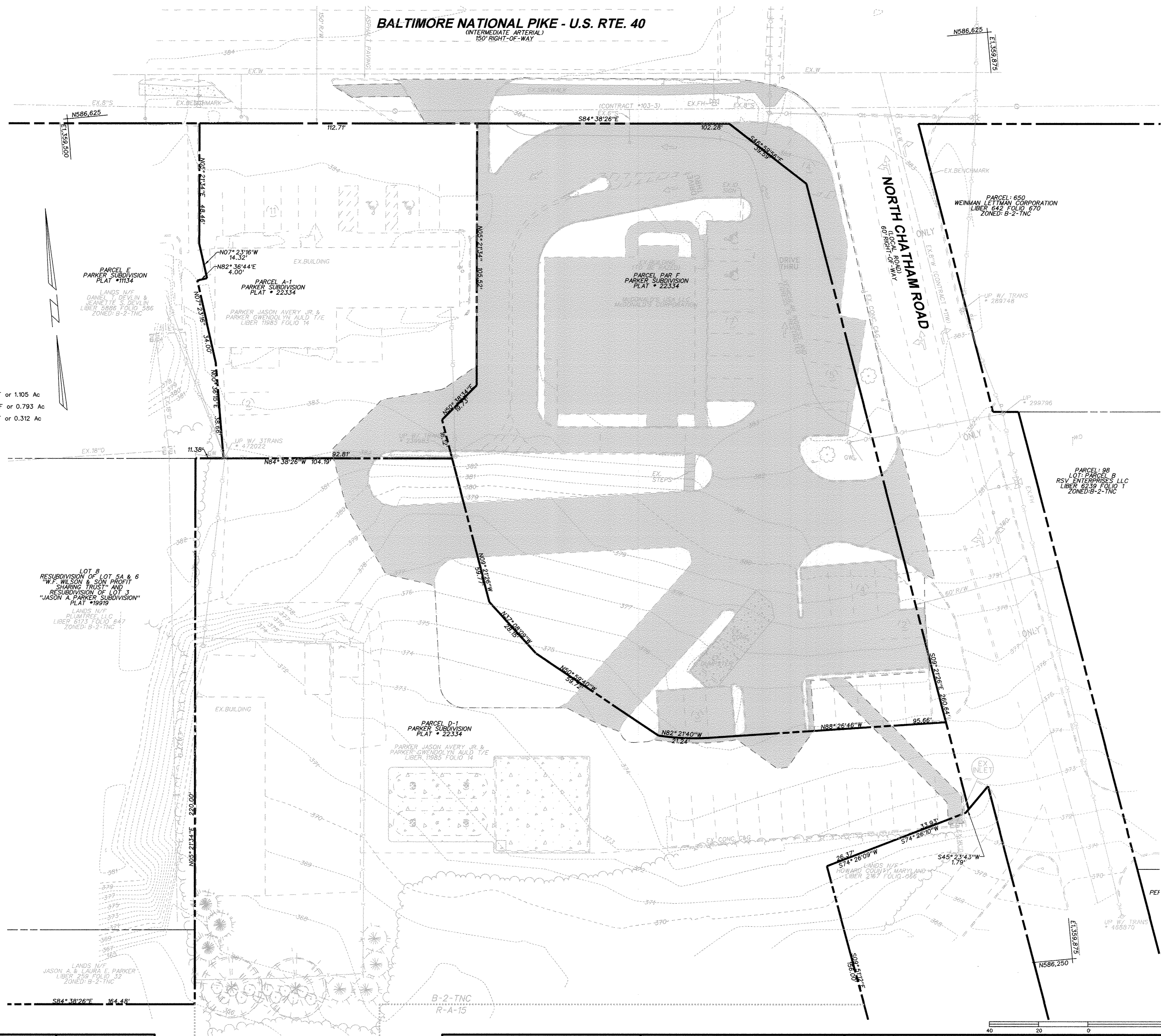
- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE
- EX. TREE LINE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- ZONING LINE
- PR. TREE LINE
- PR. STORM DRAIN
- PR. SANITARY SEWER & CLEANOUT
- PR. WATER MAIN, VALVE & FIRE HYDRANT
- PR. EASEMENT LINE
- PR. INDEX CONTOURS
- PR. INTERMEDIATE CONTOURS
- PR. CONC. CURB & GUTTER
- PR. PARKING COUNT

SWM LEGEND

- TOTAL LIMIT OF DISTURBANCE 48,123 SF or 1.105 Ac
- EXISTING IMPERVIOUS AREA 34,550 SF or 0.793 Ac
- EXISTING GRASS 13,573 SF or 0.312 Ac

SOIL CLASSIFICATION		
UuB	Urban land - Udorthents complex	C

NOTE: THE URBAN LAND SOIL TYPE ENCOMPASSES AN AREA MUCH LARGER THAN THE SUBJECT SITE. THEREFORE, SOIL LINES ARE NOT SHOWN AT THIS SCALE.



APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Paul Chisholm</i> Chief, Development Engineering Division	Date: 2-27-14
<i>Paul Chisholm</i> Chief, Division of Land Development	Date: 3-26-14
<i>Paul Chisholm</i> Director	Date: 3/27/14

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9303 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART					
SUBDIVISION NAME PARKER SUBDIVISION	SECTION / AREA N/A	LOT / PARCEL NO. A-1, D-1 & F			
PLAT NO. or L/F 22334	GRID NO. 4	ZONING B-2-TNC/R-A-15			
TAX MAP NO. 24	ELEC. DIST. 2ND	CENSUS TRACT 6023-06			

AS-BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

INVAR ROSTEK-ZARSKA 21245 June 9, 2016 DECEMBER 15, 2017
NAME P.E. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

OWNER
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BALTIMORE - WASHINGTON REGION
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BETHESDA, MD 20817
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McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DATE	ITEM	BY

STORMWATER MANAGEMENT PLAN
REDEVELOPMENT - EXISTING CONDITION
McDONALD'S RESTAURANT
9303 BALTIMORE NATIONAL PIKE
AS-BUILT

HOWARD COUNTY, MARYLAND
SCALE: 1"=20'

SHEET 12 OF 15
DATE: JANUARY 24, 2014
SDP-10-088

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers

230 SCHILLING CIRCLE, SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM

PROFESSIONAL ENGINEER
STATE OF MARYLAND
21245
INVAR ROSTEK-ZARSKA
1/31/14

LEGEND

- RIGHT-OF-WAY LINE
- PROPERTY LINE
- EX. STORM DRAIN
- EX. SANITARY SEWER, MANHOLE & CLEANOUT
- EX. WATER MAIN, VALVE & FIRE HYDRANT
- EX. ELECTRIC LINE
- EX. TREE LINE
- EX. INDEX CONTOURS
- EX. INTERMEDIATE CONTOURS
- ZONING LINE
- PR. TREE LINE
- PR. STORM DRAIN
- PR. SANITARY SEWER & CLEANOUT
- PR. WATER MAIN, VALVE & FIRE HYDRANT
- PR. EASEMENT LINE
- PR. INDEX CONTOURS
- PR. INTERMEDIATE CONTOURS
- PR. CONC. CURB & GUTTER
- PR. PARKING COUNT

SWM LEGEND

- TOTAL LIMIT OF DISTURBANCE 48,123 SF or 1.105 Ac
- PROPOSED IMPERVIOUS AREA 36,030 SF or 0.827 Ac
- PROPOSED GRASS 12,093 SF or 0.278 Ac

SOIL CLASSIFICATION		
UuB	Urban land - Udorthents complex	C

NOTE: THE URBAN LAND SOIL TYPE ENCOMPASSES AN AREA MUCH LARGER THAN THE SUBJECT SITE. THEREFORE, SOIL LINES ARE NOT SHOWN AT THIS SCALE.

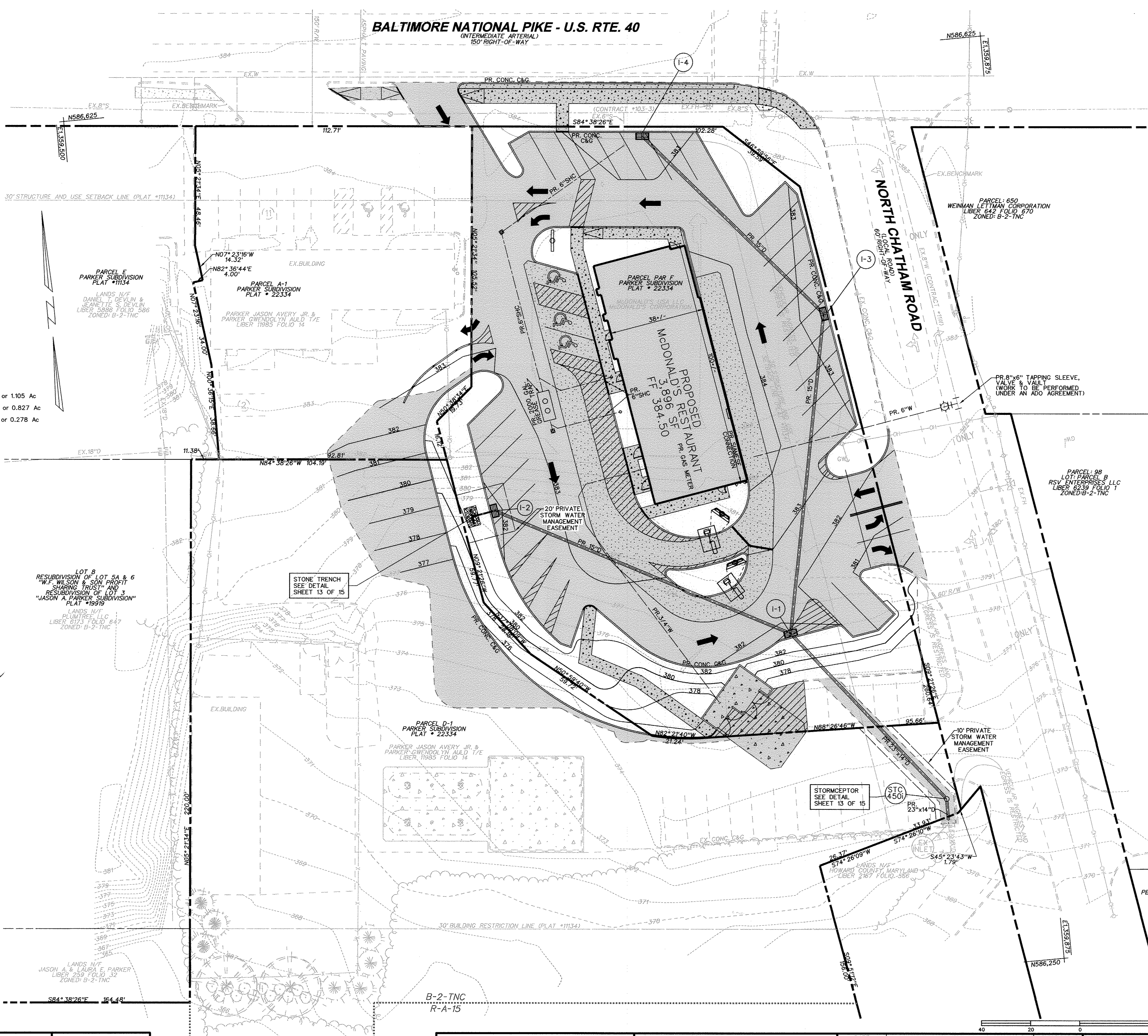
SUMMARY TABLE	
DEVELOPABLE AREA (LOD)	1.105 Ac
EXISTING IMPERVIOUS AREA TO BE DISTURBED	0.793 Ac
PROPOSED IMPERVIOUS AREA	0.827 Ac
INCREASE IN IMPERVIOUS AREA	0.034 Ac
50% OF DISTURBED EXISTING IMPERVIOUS AREA	0.397 Ac
DEVELOPABLE AREA TREATED BY BMP	0.709 Ac
IMPERVIOUS AREA NOT TREATED	0.397 Ac
% IMPERVIOUSNESS	60.8%
ESD VOLUME REQUIRED	2,211 CF
ESD VOLUME PROVIDED	2,211 CF
RECHARGE VOLUME REQUIRED	15 CF
RECHARGE VOLUME PROVIDED	20 CF
WATER QUALITY BMP	STORMCEPTOR (STC 450)

NOTE: FOR DETAILS OF STONE TRENCH (RECHARGE) AND STORMCEPTOR, SEE SHEET 13 OF 15.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS.

WONA ROSTEK-ZARSKA 21245 JUNE 9, 2018
 NAME EXPIRATION DATE
 SIGNATURE DATE OF AS-BUILT



CONSTRUCTION CHECK MARK NOTE:
 ALL ELEMENTS OF THE STORM WATER MANAGEMENT PRACTICE HAVE BEEN CONSTRUCTED AS PER APPROVED STORM WATER MANAGEMENT PLANS, UNLESS NOTED OTHERWISE WITH ACTUAL AS-BUILT DATA.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

ADDRESS CHART	
LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9309 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART			
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.	
PARKER SUBDIVISION	N/A	A-1, D-1 & F	
PLAT NO. or L/F	GRID NO.	ZONING	TAX MAP NO. ELEC. DIST. CENSUS TRACT
22334	4	B-2-TNC/R-A-15	24 2ND 6023-06

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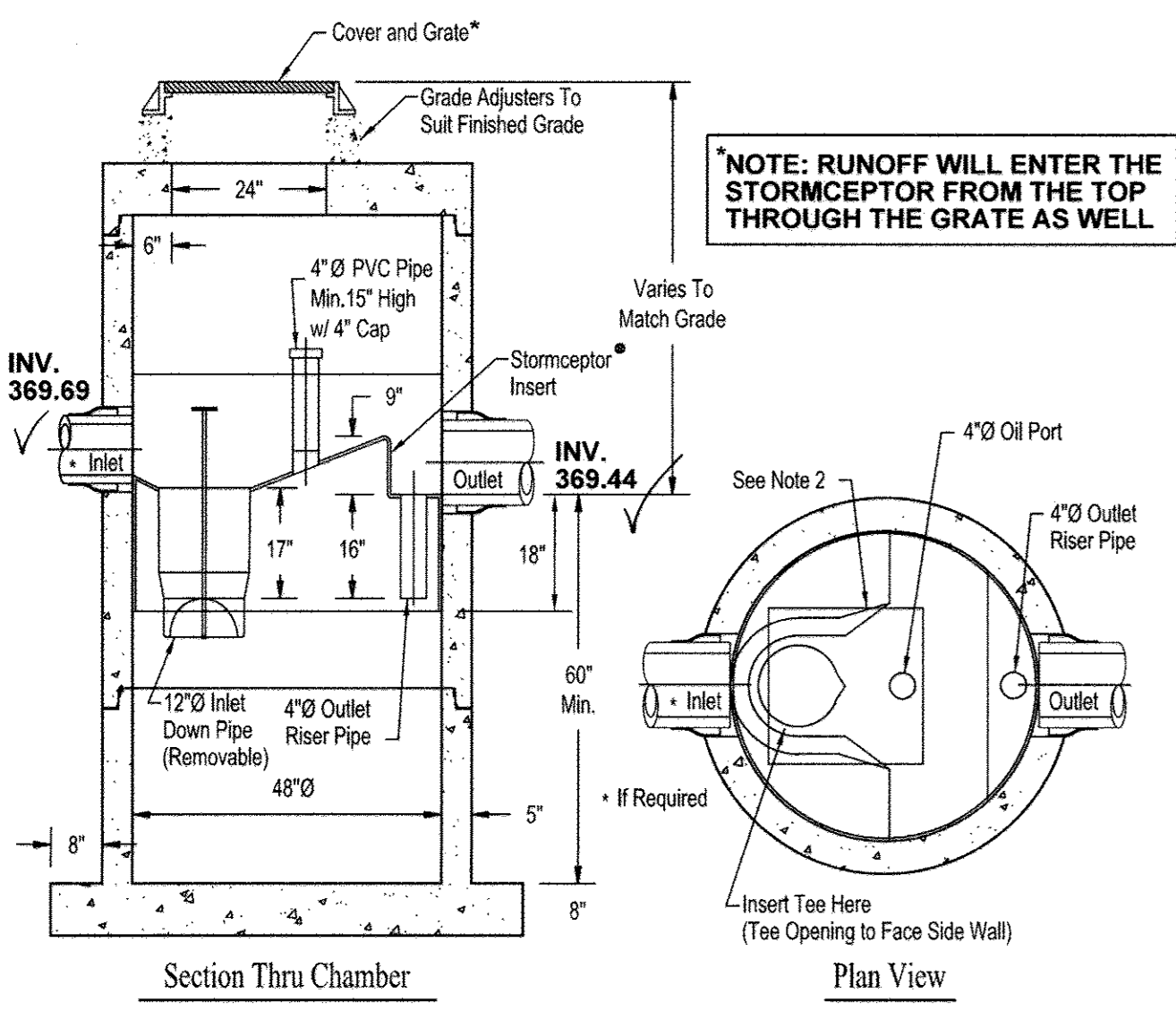
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2018.

OWNER
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DEVELOPER / APPLICANT
 McDONALD'S USA, LLC
 BALTIMORE - WASHINGTON REGION
 6903 ROCKLEDGE DRIVE
 SUITE 1100
 BETHESDA, MD 20817
 (240) 497-3626

DATE	ITEM	BY
05/09/14	REVISED DRIVE THRU CONFIGURATION	KU

REVISED STORM WATER MANAGEMENT PLAN
 REDEVELOPMENT - PROPOSED CONDITION
McDONALD'S RESTAURANT
 9303 BALTIMORE NATIONAL PIKE
 AS-BUILT
 HOWARD COUNTY, MARYLAND
 SCALE: 1"=20'
 SHEET 13 OF 15
 DATE: MAY 9, 2014
 SDP-10-088



10. Installation

The installation of the concrete Stormceptor should conform in general to state highway, or local specifications for the installation of manholes. Selected sections of a general specification that are applicable are summarized in the following sections.

10.1. Excavation

Excavation for the installation of the Stormceptor should conform to state highway, or local specifications. Topsoil removed during the excavation for the Stormceptor should be stockpiled in designated areas and should not be mixed with subsoil or other materials. Topsoil stockpiles and the general site preparation for the installation of the Stormceptor should conform to state highway or local specifications.

The Stormceptor should not be installed on frozen ground. Excavation should extend a minimum of 12 inches (300 mm) from the precast concrete surfaces plus an allowance for shoring and bracing where required. If the bottom of the excavation provides an unsuitable foundation additional excavation may be required.

In areas with a high water table, continuous dewatering may be required to ensure that the excavation is stable and free of water.

10.2. Backfilling

Backfill material should conform to state highway or local specifications. Backfill material should be placed in uniform layers not exceeding 12 inches (300mm) in depth and compacted to state highway or local specifications.

11. Stormceptor Construction Sequence

The concrete Stormceptor is installed in sections in the following sequence:

1. Aggregate base
2. Base slab
3. Lower chamber sections
4. Upper chamber section with fiberglass insert
5. Connect inlet and outlet pipes
6. Assembly of fiberglass insert components (drop tee, riser pipe, oil cleanout port and orifice plate)
7. Remainder of upper chamber
8. Frame and access cover

The precast base should be placed level at the specified grade. The entire base should be in contact with the underlying compacted granular material. Subsequent sections, complete with joint seals, should be installed in accordance with the precast concrete manufacturer's recommendations.

Adjustment of the Stormceptor can be performed by lifting the upper sections free of the excavated area, re-leveling the base and re-installing the sections. Damaged sections and gaskets should be repaired or replaced as necessary. Once the Stormceptor has been constructed, any lift holes must be plugged with mortar.

12. Maintenance

12.1. Health and Safety

The Stormceptor System has been designed considering safety first. It is recommended that confined space entry protocols be followed if entry to the unit is required. In addition, the fiberglass insert has the following health and safety features:

- Designed to withstand the weight of personnel
- A safety grate is located over the 24 inch (600 mm) riser pipe opening
- Ladder rungs can be provided for entry into the unit, if required

12.2. Maintenance Procedures

Maintenance of the Stormceptor system is performed using vacuum trucks. No entry into the unit is required for maintenance (in most cases). The vacuum service industry is a well-established sector of the service industry that cleans underground tanks, sewers and catch basins. Costs to clean a Stormceptor will vary based on the size of unit and transportation distances.

The need for maintenance can be determined easily by inspecting the unit from the surface. The depth of oil in the unit can be determined by inserting a dipstick in the oil inspection/cleanout port.

Similarly, the depth of sediment can be measured from the surface without entry into the Stormceptor via a dipstick tube equipped with a ball valve. This tube would be inserted through the riser pipe. Maintenance should be performed once the sediment depth exceeds the guideline values provided in the Table 4.

Table 4. Sediment Depths indicating required servicing.

Sediment Depths indicating Required Servicing *	
Model	Sediment Depth inches (mm)
450	8 (200)
900	8 (200)
1200	10 (250)
1800	15 (381)
2400	12 (300)
3600	17 (430)
4800	15 (380)
6000	18 (460)
7200	15 (381)
11000	17 (380)
13000	20 (500)
16000	17 (380)

* based on 15% of the Stormceptor unit's total storage

Although annual servicing is recommended, the frequency of maintenance may need to be increased or reduced based on local conditions (i.e. if the unit is filling up with sediment more quickly than projected, maintenance may be required semi-annually; conversely once the site has stabilized maintenance may only be required every two or three years).

Oil is removed through the oil inspection/cleanout port and sediment is removed through the riser pipe. Alternatively oil could be removed from the 24 inches (600 mm) opening if water is removed from the lower chamber to lower the oil level below the drop pipes.

The following procedures should be taken when cleaning out Stormceptor:

1. Check for oil through the oil cleanout port
2. Remove any oil separately using a small portable pump
3. Decant the water from the unit to the sanitary sewer, if permitted by the local regulating authority, or into a separate containment tank
4. Remove the sludge from the bottom of the unit using the vacuum truck
5. Re-fill Stormceptor with water where required by the local jurisdiction

12.3. Submerged Stormceptor

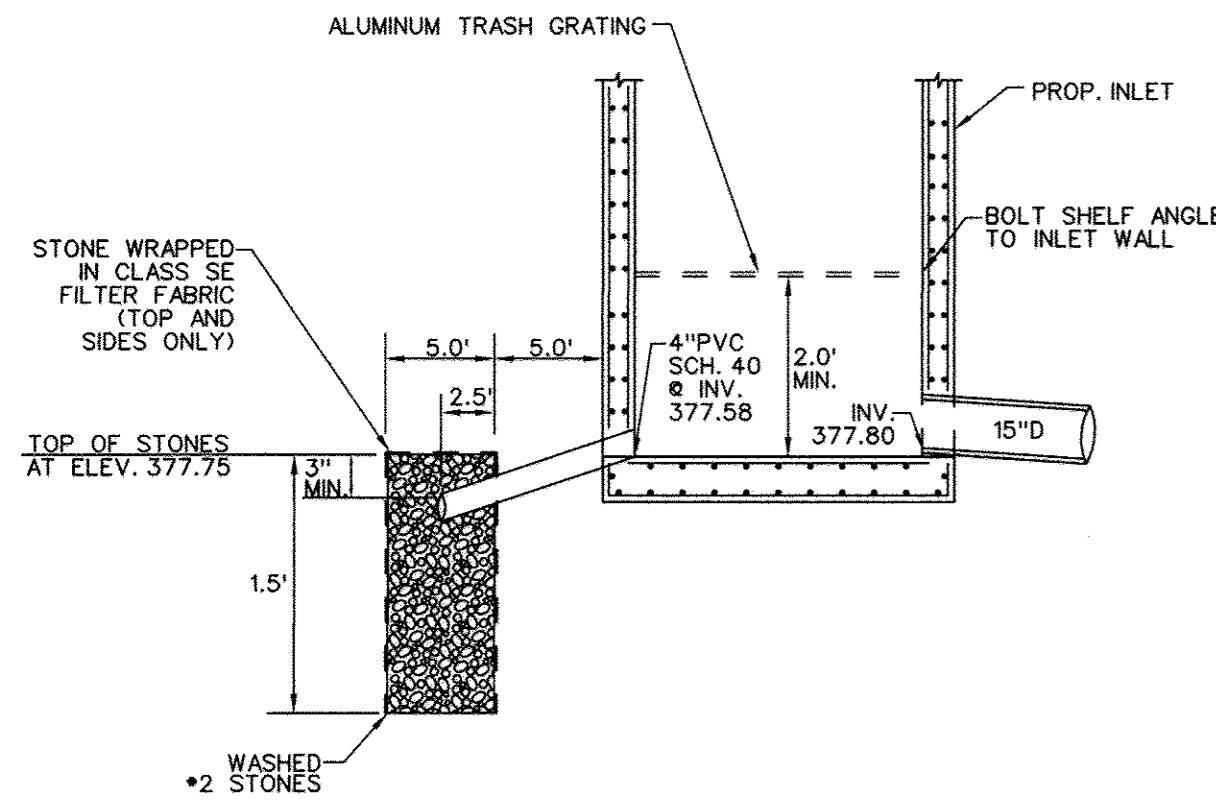
Careful attention should be paid to maintenance of the Submerged Stormceptor System. In cases where the storm drain system is submerged, there is a requirement to plug both the inlet and outlet pipes to economically clean out the unit.

- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Inlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

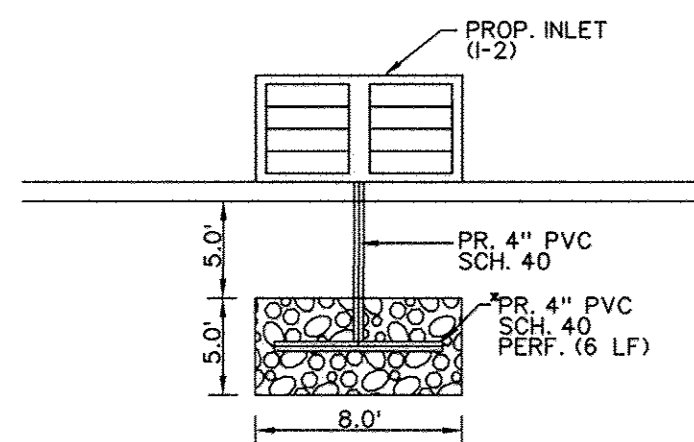
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OPERATION AND MAINTENANCE SCHEDULE FOR RECHARGE FACILITY

1. RECHARGE FACILITY SHALL BE INSPECTED ANNUALLY AND BE REPAIRED OR CLEANED AS NEEDED.
2. REMOVE SEDIMENT AND TRASH FROM SEDIMENT TRAPPING INLET AS NEEDED AND CLEAN OPENINGS AT INLET BOTTOM.
3. INSPECT FACILITY EVERY OTHER MONTH AND AFTER LARGE STORM EVENTS TO OBSERVE WATER ELEVATIONS. IF STANDING WATER IS OBSERVED IN THE FACILITY RE-INSPECT AFTER 72 HOURS AND REPAIR AS NECESSARY.



INLET DETAIL (I-2)
NOT TO SCALE



STONE TRENCH DETAIL
NOT TO SCALE

NOTE: PIPE SHOULD BE 4" DIAMETER PERFORATED RIGID PLASTIC PIPE (ASTM 758, TYPE PS 28 OR ASHTO-M-278). PERFORATIONS SHOULD BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW.

AS-BUILT CERTIFICATION FOR PSWM

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THE PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS

WONA ROSTEK-ZARSKA 21245 JUNE 9, 2018
NAME LICENSE NO. EXPIRATION DATE

WONA ROSTEK-ZARSKA 21245 DECEMBER 15, 2017
SIGNATURE DATE OF AS-BUILT

PROFESSIONAL CERTIFICATION

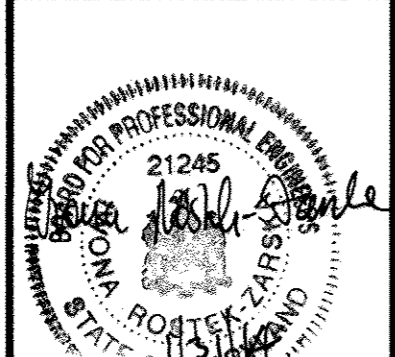
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21245, EXPIRATION DATE: JUNE 9, 2014.

CONSTRUCTION CHECK MARK NOTE:

ALL ELEMENTS OF THE STORM WATER MANAGEMENT PRACTICE HAVE BEEN CONSTRUCTED AS PER APPROVED STORM WATER MANAGEMENT PLANS, UNLESS NOTED OTHERWISE WITH ACTUAL AS-BUILT DATA.

APPROVED: DEPARTMENT OF PLANNING AND ZONING				
Chief, Development Engineering Division		Date		3-26-14
Chief, Division of Land Development		Date		8/22/14
Director		Date		
ADDRESS CHART				
LOT / PARCEL NO.	STREET ADDRESS			
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE			
PARCEL F	9303 BALTIMORE NATIONAL PIKE			
PARCEL D-1	3430 NORTH CHATHAM ROAD			
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.		
PARKER SUBDIVISION	N/A	A-1, D-1 & F		
PLAT NO. of L/F	GRID NO.	ZONING	TAX MAP NO.	ELEC. DIST.
22334	4	B-2-TNC/R-A-15	24	2ND
		CENSUS TRACT	6023-06	

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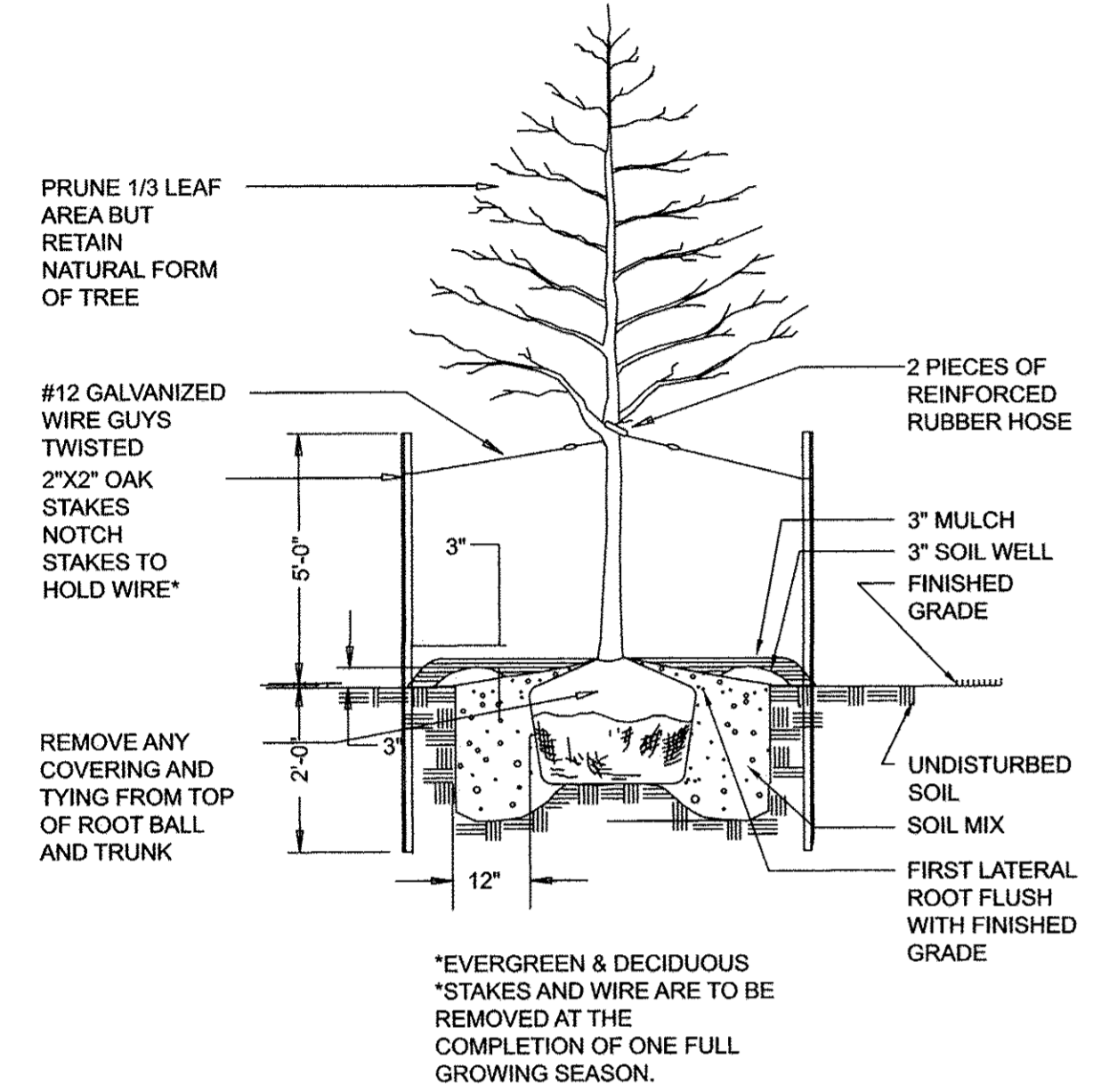
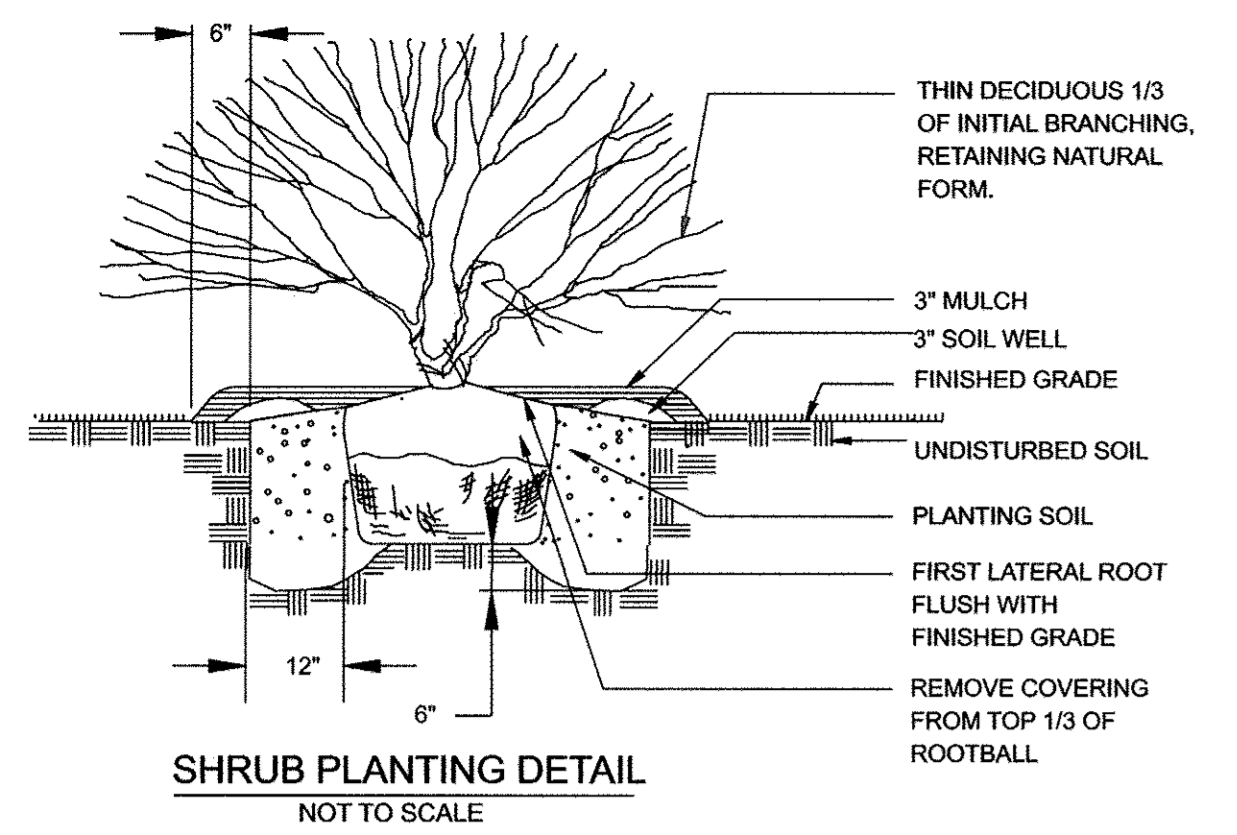
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OWNER
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BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DEVELOPER / APPLICANT
McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DATE	ITEM	BY

STORM WATER MANAGEMENT PLAN
DETAILS AND SPECIFICATIONS
McDONALD'S RESTAURANT
9303 BALTIMORE NATIONAL PIKE
AS-BUILT
HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
SHEET 14 OF 15
DATE: JANUARY 24, 2014
SDP-10-088



PLANTING DETAIL FOR TREES* - 1 - 4" CALIPER
SCALE: NONE

SPECIFICATIONS FOR PLANTING

PLANT IDENTIFICATION:
All plants shall be properly marked for identification and checking.

LIST OF PLANT MATERIALS:
The contractor will verify plant quantities prior to hiding and any discrepancies shall be brought to the attention of the Landscape Architect. The Contractor shall furnish and plant all plants required to complete the work as shown on the drawings. Substitutions shall not be made without the written approval of the Landscape Architect. This contract will be based on the Hilder having verified, prior to hiding, the availability of the required plant materials as specified on the Plant List.

PLANT QUANTITY:
All shrubs shall be dense, heavy to the ground, and well grown, showing evidence of having been sheared regularly, and sound, free of plant disease or insect eggs, and shall have a healthy, normal root system. Plants shall be nursery grown. Plants shall be pruned prior to delivery. The shape of the plant shall in general conform to its natural growth proportions unless otherwise specified. All plants including container grown shall conform to American Standard for Nursery Stock (ANSI Z601 latest edition), and shall have a well-shaped, heavy branch structure for the species. Evergreen trees are to have an internode no greater than 24" and shall be uniformly well-shaped. All plant sizes shall average at least the middle of the range given in the plant list.

PLANT SPACING:
Plant spacing is to scale on the plan or as shown on the plant list.

SOIL MIX:
Soil mix will be 2/3 existing soil and 1/3 leaf mold or equal organic material, thoroughly mixed and homogenized.

BALL SIZE:
The ball size shall conform to the American Association of Nurserymen's publication entitled American Standard for Nursery Stock, ANSI Z601, latest edition.

EXCAVATION:
Holes for all plants shall be 10" larger in diameter than size of ball or container and shall have vertical sides. Hedges shall be planted in a trench 12" wider than ball diameter. Beds for mass planting shall be entirely retotilled to a depth of 8" and shall be 10" beyond the average outside edge of plant balls. A 2" layer of organic material (i.e., leaf mold) will be incorporated into plant beds by tilling again.

GROUND COVER:
All areas of groundcover shall be retotilled a depth of 6". Apply 2" of organic material and retotill until thoroughly mixed. Apply fertilizer as stated above.

GUARANTEE AND REPLACEMENT:
All material shall be unconditionally guaranteed for one (1) year. The Contractor is responsible for watering but not for losses or damage caused by mechanical injury or vandalism.

AS-BUILT CERTIFICATION FOR PSWM
NOTE: THERE IS NO "AS-BUILT" INFORMATION PROVIDED ON THIS SHEET

WANDA ROSTEK-ZARSKA 21245 June 9, 2018 DECEMBER 15, 2017
NAME RE. LICENSE NO. EXPIRATION DATE DATE OF AS-BUILT

BLDG
Baltimore Land Design Group Inc.
Consulting Engineers
230 SCHILLING CIRCLE SUITE 364 • HUNT VALLEY, MARYLAND 21031
PHONE: 410.229.9851 • FAX: 410.229.9865 • BLDG@BLDGINC.COM



SCHEDULE B: PARKING LOT INTERNAL LANDSCAPING

Number of Parking Spaces Existing / Proposed	43 / 55
Number of Trees Required (Less than 50% of Existing)	12 New Spaces = 1 Tree
Number of Trees Provided Shade Trees Other Trees (2:1 substitution)	1
Internal Islands Required	1
Internal Islands Provided (Min. 200 SF)	1

SCHEDULE A: PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadways		Adjacent to Perimeter Properties		Dumpster Plants
	1	2	3	4	
Perimeter Number	1	2	3	4	
Landscape Type	E	E	C	C	C
Linear Feet of Roadway Frontage/Perimeter	128 LF	209 LF	120 LF	272 LF	52 LF
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	NO	NO	NO	NO	NO
Number of Plants Required Shade Trees / Street Trees Evergreen Trees Shrubs	3 / 3	5 / 5	0	0	1
Number of Plants Provided Shade Trees / Street Trees Evergreen Trees Other Trees (2:1 substitution) Shrubs (10:1 substitution)	2 / 3	5 / 5	0	0	0
(Describe plant substitution credits below if needed)					

- Street trees along US 40 have been relocated elsewhere on site per SHA request due to the location of the existing sanitary line.
- Because of lack of room to provide all (10) of the required trees along North Chatham Road (2) of the trees are located elsewhere on site. Trees are less than 30 feet on center, for proper growth they should not be closer.
- Perimeters 3 & 4 about internal lots. Existing trees to remain on the far south edge of the site.
- 2 small trees substituted for (1) large deciduous tree.

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COND.	REMARKS
⊕	9	ACER RUBRUM 'RED SUNSET' 'RED SUNSET' RED MAPLE	2 1/2"-3" CAL.	B & B	AS SHOWN
⊕	10	ZELKOVA SERRATA 'GREEN VASE' 'ZELKOVA'	2 1/2"-3" CAL.	B & B	AS SHOWN
⊕	2	LAGERSTROEMIA INDICA 'NATCHEZ' 'NATCHEZ CRAPENMYRTLE	8-10' HT.	B & B	MULTI STEM 5 MAX.
⊕	2	PRUNUS X 'OKAME' 'OKAME' CHERRY	1 3/4"-2" CAL.	B & B	AS SHOWN
⊕	3	THUJA X 'GIGANTEOIDES' 'GREEN GIANT' ARBORVITAE	6-8' HT.	B & B	SPACE 10' O.C.
⊕	87	EUONYMUS KIAUTSCHOVICUS 'MANHATTAN' 'MANHATTAN EUONYMUS	2.5-3' HT.	#7 CONT.	SPACE 4' O.C.
⊕	15	PRUNUS LAUROCERASUS 'OTTO LUYKEN' 'OTTO LUYKEN' CHERRY LAUREL	2-2.5' HT.	#7 CONT.	SPACE 4' O.C.
⊕	7	VIBURNUM X RHYTIDOPHYLLOIDES 'ALLEGHANY' 'ALLEGHANY' VIBURNUM	3-4' HT.	#7 CONT.	SPACE 5' O.C.
⊕	17	JUNIPERUS CHINENSIS SARGENTII 'SARGENT JUNIPER'	18"-24" SPD	#3 CONT.	SPACE 3' O.C.
⊕	697	LIRIODENDRON 'VAREGATA' 'VAREGATED LIRIOPE'	#1	CONT.	SPACE 18" O.C. STAGGER
⊕	19	PENNISSETUM ORIENTALE 'ORIENTAL FOUNTAIN GRASS'	#1	CONT.	SPACE 2.5' O.C. STAGGER
⊕	50	CERATOSTIGMA PLUMBAGINOIDES 'PLUMBAGO'	#1	CONT.	SPACE 18" O.C. STAGGER
⊕	12	RUDEBECKIA FULGIDA 'GOLDSTURM' 'BLACK-EYED SUSAN'	#1	CONT.	SPACE 18" O.C. STAGGER

PLANTING NOTES:

- This Plan is for planting purposes only.
- This Plan has been prepared in accordance with the provisions of section 16.124 of the Howard County Code and the Landscape Manual.
- All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
- Contractor is to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plant material is to be approved in field by the Landscape Architect.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into matched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.
- Soil is to be: Kentucky bluegrass mix.

DEVELOPER'S / BUILDER'S CERTIFICATE

I / We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.

I / We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

[Signature] (AREA CONSTRUCTION MANAGER)

NOTE:
THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

LANDSCAPE SURETY NOTE:
FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF:
(18) SHADE TREES @ \$300 EACH = \$5,400
(3) EVERGREEN TREES @ \$150 = \$450
(84) SHRUBS @ \$30 EACH = \$2,520
TOTAL \$8,370

APPROVED: DEPARTMENT OF PLANNING AND ZONING

<i>[Signature]</i> Chief, Development Engineering Division	<i>[Signature]</i>	Date 5-21-14
<i>[Signature]</i> Chief, Division of Land Development	<i>[Signature]</i>	Date 5-23-14
<i>[Signature]</i> Director	<i>[Signature]</i>	Date 5/23/14 06te

ADDRESS CHART

LOT / PARCEL NO.	STREET ADDRESS
PARCEL A-1	9319 BALTIMORE NATIONAL PIKE
PARCEL F	9309 BALTIMORE NATIONAL PIKE
PARCEL D-1	3430 NORTH CHATHAM ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION / AREA	LOT / PARCEL NO.
PARKER SUBDIVISION	N/A	A-1, D-1 & F
PLAT NO. or L/F	GRID NO.	ZONING
22334	4	B-2-TNC/R-A-15
TAX MAP NO.	ELEC. DIST.	CENSUS TRACT
24	2ND	6023-06

HUMAN & ROHDE, INC.
LANDSCAPE ARCHITECTS
512 VIRGINIA AVENUE
TOWSON, MARYLAND 21286
410 825 3885

OWNER
McDONALD'S USA, LLC
BALTIMORE - WASHINGTON REGION
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BALTIMORE - WASHINGTON REGION
6903 ROCKLEDGE DRIVE
SUITE 1100
BETHESDA, MD 20817
(240) 497-3626

DATE	ITEM	BY
3/17/11	REVISED PLAN PER HOWARD CO. COMMENTS	SAM
05/09/14	REVISED DRIVE THRU CONFIGURATION	KU

REVISED LANDSCAPE PLAN
McDONALD'S RESTAURANT
9303 BALTIMORE NATIONAL PIKE
AS-BUILT

HOWARD COUNTY, MARYLAND
SCALE: 1"=20'

SHEET 15 OF 15
DATE: MAY 9, 2014
SDP-10-088