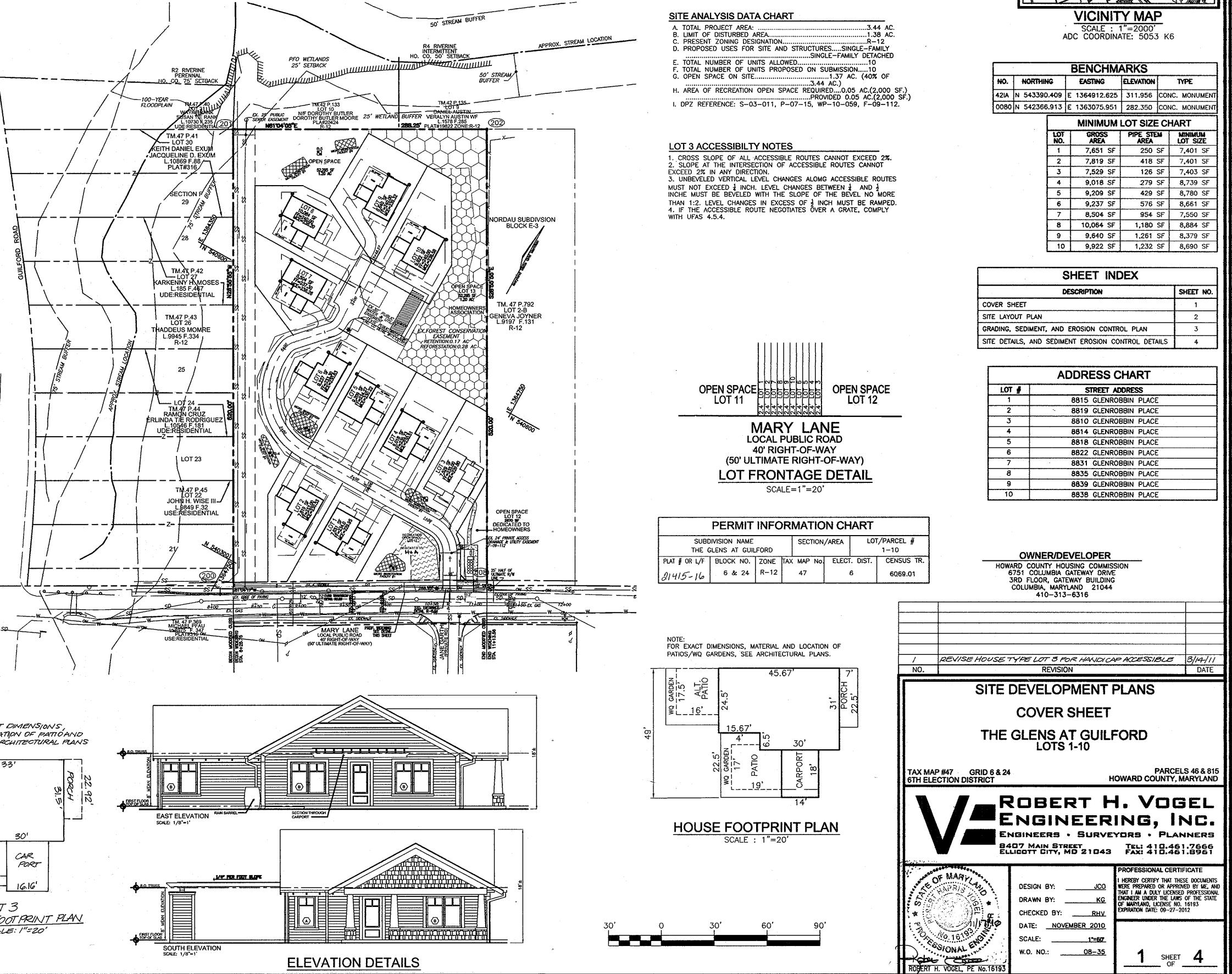
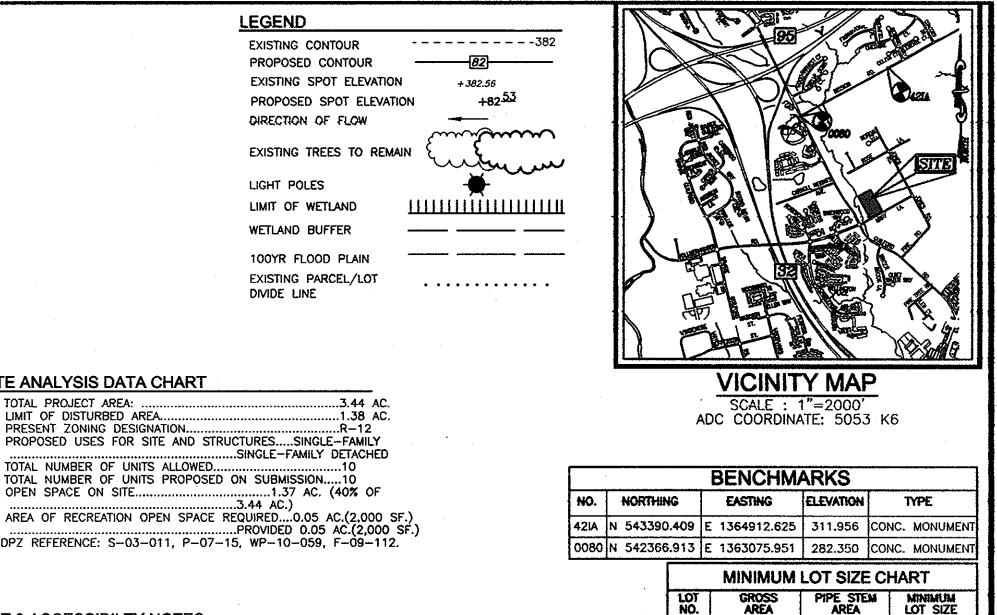
GENERAL NOTES 1. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY		
EXCAVATION WORK. 2. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING		
WORK ON THESE DRAWINGS:		
MISS UTILITY: VERIZON TELEPHONE COMPANY: HOWARD COUNTY BUREAU OF UTILITIES: AT&T CABLE LOCATION DIVISION: B.G.&E. CO. CONTRACTOR SERVICES: B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: STATE HIGHWAY ADMINISTRATION: HIGHWAY ADMINISTRATION HIGHWAY ADMINISTRATION HIGHWAY		
B.G.&E. CO. CONTRACTOR SERVICES: 410-637-6713 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 410-685-0123 STATE HIGHWAY ADMINISTRATION: 410-531-5533		
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.		
4. ANY DAMAGE TO THE COUNTY'S RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.		
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.		
6. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).		· .
7. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY		
SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT FRONT OR REAR YARD SETBACK.		
8. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:		:
<ul> <li>A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)</li> <li>B) SURFACE - 7 INCHES OF PERMEABLE CONCRETE WITH 12 INCHES ASTM C-33 3/4" TO 2" STONE SUB-BASE</li> <li>C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS</li> </ul>		
<ul> <li>D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)</li> <li>E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT</li> </ul>		
DEPTH OVER DRIVEWAY SURFACE F) STRUCTURE CLEARANCES - MINIMUM 12 FEET		
G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE 9. DEED REFERENCE: L.5125/F.672 .		
10. THE PROJECT BOUNDARY AND TOPOGRAPHY IS TAKEN FROM FIELD SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY CLARK, FINEFROCK, & SACKET, AUGUST 2002 OF PARCEL 46 AND 815.		
11. MARY LANE IS A LOCAL PUBLIC ROAD.		
12. DPZ REFERENCE: P-07-15, S-03-011, WP-10-059, F-09-112. 13. STORM WATER MANAGEMENT (CPV, REV AND WQV) HAS BEEN PROVIDED FOR THIS DEVELOPMENT BY ENVIRONMENT.	AL SITE DESIGN	
UTILIZING 6 MICRO-BIORETENTION, RAIN BARRELS FOR ROOF DOWNSPOUTS, PERVIOUS PAVEMENT FOR DRIVEWAYS AND GREEN ROOFS FOR CARPORTS. THESE MEASURES TO BE MAINTAINED BY THE HOA, APPROVED UNDER F-09-	AND SIDEWALKS,	
14. THE OFFSITE 100-YR FLOODPLAIN INDICATED IS TAKEN FROM HOWARD COUNTY FEMA PANELS #240044-0039 AND #240044-0043. THERE ARE NO FLOODPLAINS ON THIS SITE.	<b>)</b> 	·.
15. FOREST STAND DELINEATION PLAN AND WETLAND REPORT PREPARED BY ENVIRONMENTAL SYSTEMS ANALYSIS, DATED DECEMBER, 2002. THERE ARE NO WETLANDS ON THIS SITE.	<b>)</b>	· · · · · · · · · · · · · · · · · · ·
16. THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.200 OF THE HOWARD COUNTY CODE; FOREST CONSERVATION ACT FOR THIS SUBDIVISION HAVE BEEN FULFILLED BY 0.17 AC. OF RETENTION AND 0.28 AC. OF		
REFORESTATION PROVIDED ONSITE. SURETY IN THE AMOUNT OF \$7,579.44 HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT UNDER F-09-112. THE REMAINING 0.89 AC. TO BE PROVIDED BY AN OFF-SITE FORES NORDAU SUBDIVISION, LOTS 8 & 9.	ST EASEMENT.	
17. APFO TRAFFIC STUDY PREPARED BY STREET TRAFFIC STUDIES, LTD., DATED DECEMBER, 2002 AND APPROVED BY SKETCH PLAN 4/28/03.		
18. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.		•
19. NOISE STUDY IS NOT REQUIRED BASED ON DESIGN MANUAL, SECTION 5.2.F GUIDELINES. 20. THE SUBJECT PROPERTY IS ZONED "R-12" IN ACCORDANCE WITH THE $2/2/04$ COMPREHENSIVE ZONING PLAN		
AND THE COMP. LITE ZONING REGULATIONS EFFECTIVE ON 7/28/06, AND IS SUBJECT TO THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS EFFECTIVE 10/2/03 PER COUNCIL BILL 75-2003.		
21. ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE RUBE SLEEVE (12 GUAGE-3' LONG. A GALVANIZED STEEL POLE CAP		
SHALL BE MOUNTED ON TOP OF EACH POST. 22. THE FINAL PAVING SECTION TO BE CONFIRMED BY HOWARD COUNTY CONSTRUCTION INSPECTION DESIGN.	•	
23. SHC ELEVATIONS ARE LOCATED AT THE PROPERTY LINE.	· ·	
24. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 0080 AND 421A WERE USED FOR THIS PROJECT.		
5. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL	R-6.06 .	
6. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COU AND THE LANDSCAPE MANUAL.	NTY CODE	
7. LANDSCAPING HAS BEEN PROVIDED FOR UNDER F-09-112, IN ACCORDANCE WITH SECTION 16.124(a)(1) OF THE S REGULATIONS AND THE LANDSCAPE MANUAL SURETY IN THE AMOUNT OF \$13,350.00, HAS BEEN PROVIDED UNDER	UBDIVISION F-09-112.	
28. THE PROJECT IS IN CONFORMANCE WITH THE 5TH EDITION OF THE HOWARD COUNTY SUBDIVISION REGULATIONS. 29. SOILS INFORMATION WAS TAKEN FROM THE USDA WEB SOIL SURVEY.		
30. ALL LOTS TO BE SERVED BY THE PRIVATE ACCESS PLACE. (GLENROBBIN PLACE) 31. FOR FLAG OR PIPESTEM LOT, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO TH	E	
JUNCTION OF THE PRIVATE FLAG OR PIPESTEM AND THE PUBLIC ROAD RIGHT-OF-WAY, AND NOT ONTO THE FLAG PIPESTEM LOT DRIVEWAY.	OR	
32. THE OPEN SPACE LOTS (11-13) WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION. 33. THERE ARE NO SLOPES IN EXCESS OF 15% ON THE PROPERTY.		
34. THE SITE IS LOCATED IN THE METROPOLITAN DISTRICT. 35. THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLES-CARNES, DATED NOVEMBER 3, 2006		
36. THIS CONCRETE TRASH PAD (6 INCHES IN DEPTH) WILL BE MAINTAINED BY THE OWNERS OF LOTS 1-10 PURSUANT TO THE DECLARATION OF RIGHT OF ACCESS AND MAINTENANCE OBLIGATIONS RECORDED AMONG THE LAN	ID	
RECORDS OF HOWARD COUNTY. 37. THE SIDEWALK ADJACENT TO MARY LANE WILL SERVE AS A CHILD STANDING PAD IN ACCORDANCE WITH THE APPRO	VAL	
OF THE BOARD OF EDUCATION. 38. A PRIVATE ROAD STREET NAME SIGN (SNS) THAT NEEDS TO BE INSTALLED AT THE INTERSECTION OF THE PRIVATE		
ROAD WITH A PUBLIC ROAD, SHALL BE FABRICATED AND INSTALLED BY HOWARD COUNTY BUREAU OF HIGHWAYS AT THE DEVELOPERS EXPENSE. CONTACT HOWARD COUNTY TRAFFIC DIVISION AT 410-313-5752 FOR DETAILS AND CO ESTIMATES.	ST	
39. THERE ARE NO STREAMS AND WETLANDS LOCATED WITHIN THE PROPERTY.		• • • • •
40. STREET TREES ARE REQUIRED FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN STREET LIGHTS AND TREES.		
41. EXISTING UTILITY LOCATIONS SHOWN ARE TAKEN FROM AVAILABLE RECORDS.		· · ·
42. ARTICLES OF INCORPORATION FOR THE HOMEOWNER'S ASSOCIATION WERE ACCEPTED BY THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION NO. D13745955 INCORPORATION DATED SEPTEMBER 10, 2010.		
13. THIS PLAN IS SUBJECT WP-10-059 APPROVED NOVEMBER 18, 2009 TO WAIVE SECTION 16.121(a)(3)(III) - PARKII ISLANDS, DRIVEWAY EASEMENTS SERVING NON-OPEN SPACE USES, OVERHEAD UTILITY TRANSMISSION LINES, AND NA UNDER 35 FEET WIDE MAY NOT COUNT TOWARDS MINIMUM OPEN SPACE REQUIREMENTS TO PROVIDE CREDITED OPE	RROW STRIPS	
SPACE AREAS LESS THEN 35' IN WIDTH SUBJECT TO THE OPEN SPACE LOTS MUST BE DEDICATED TO THE HOMEOV 14. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WIT	WNERS ASSOCIATION.	NOTE: FORE.
WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN. 15. UNIVERSAL DESIGN GUIDELINES -		MATERIAL AND WQ GARDENS, SI
FOR SINGLE-FAMILY DETACHED DEVELOPERS, A "NO-STEP" ACCESS TO THE FRONT ENTRANCE TO ALL DWELLINGS I (A NO-STEP ENTRANCE IS DESIRABLE, BUT NOT REQUIRED AT OTHER ENTRANCES). - 36" SIDE FRONT DOOR WITH EXTERIOR LIGHTING OF THE ENTRANCE.	S RECOMMENDED	ſ
<ul> <li>ALL INTERIOR DOORWAYS AT LEAST 32" WIDE (36" IS PREFERABLE).</li> <li>HALLWAYS AT LEAST 36" WIDE (40-42" IS PREFERABLE).</li> </ul>		
- COMPLETE LIVING AREA INCLUDING MASTER BEDROOM AND BATH ON FIRST FLOOR. - LEVEL HANDLES ON INTERIOR AND EXTERIOR DOORS. - BLOCKING FOR GRAB BARS IN WALLS IN BATHROOM WALL NEAR TOILET AND SHOWER.		255
46. THIS SITE MEETS THE REQUIREMENTS FOR A GREEN NEIGHBORHOOD SITE REQUIREMENTS, UNIVERSAL DESIGN STAND MODERATE INCOME HOUSING UNITS.	DARDS AND	16.33'
47. PUBLIC WATER AND SEWER HAVE BEEN PROVIDED UNDER CONTRACT # 24-4454-D.	FLAGSTONE A	
	70 LAWN - (3'x5')	
		ARD 18.
PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING		2
Coordina 2/5/10 COORDINA	TELIST	
CHIEF, DEVELOPMENT ENGINEERING DIMISION DATE	EASTING	House
Vert Strend 103/11 200 540275.8447 201 540730.9603	1364569.1698 1364317.6350	
	70	1
202         540870.3928           508         540415.2772	1364569.9179           1364821.4527	

# SITE DEVELOPMENT PLAN THE GLENS AT GUILFORD LOTS 1-10 HOWARD COUNTY, MARYLAND

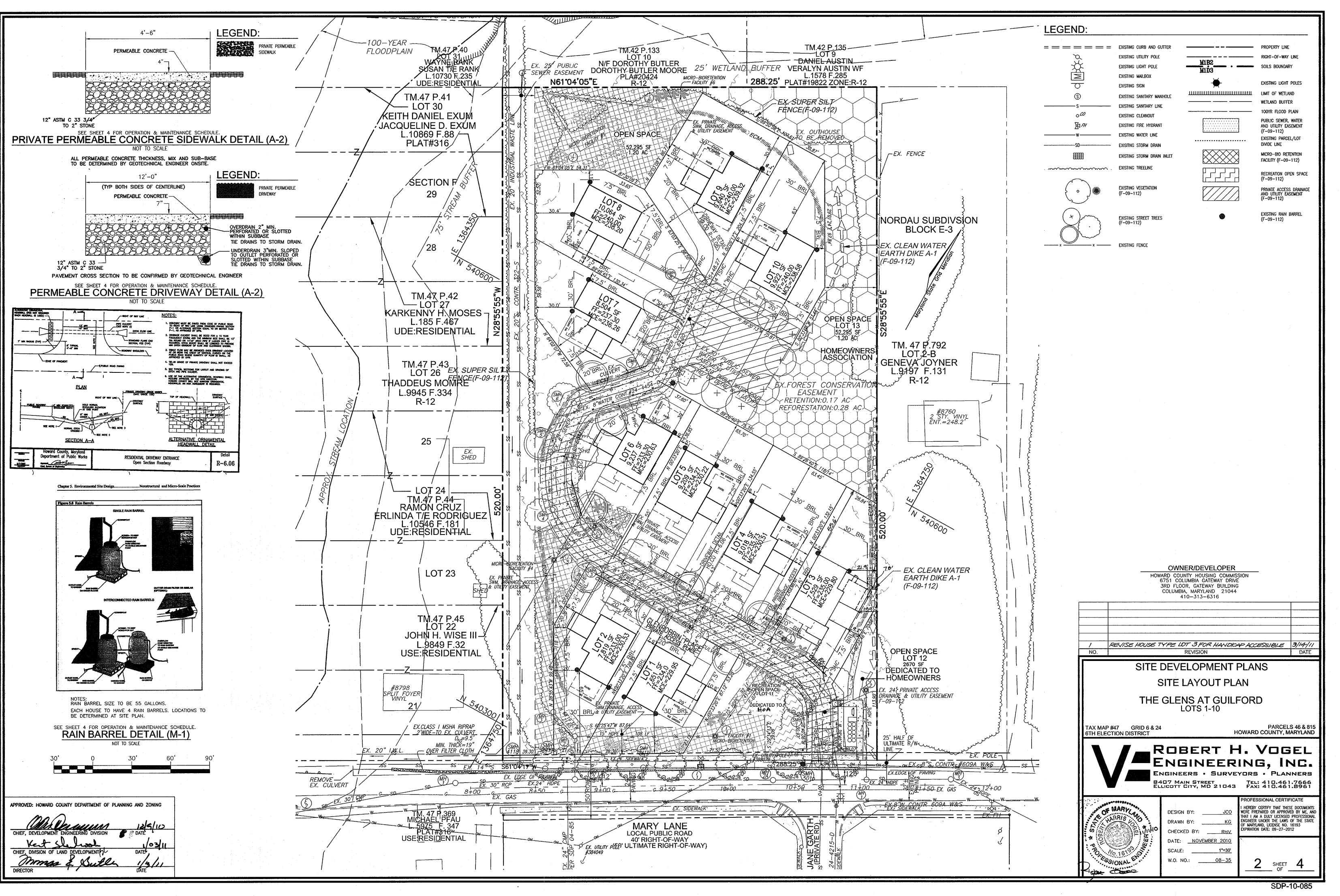


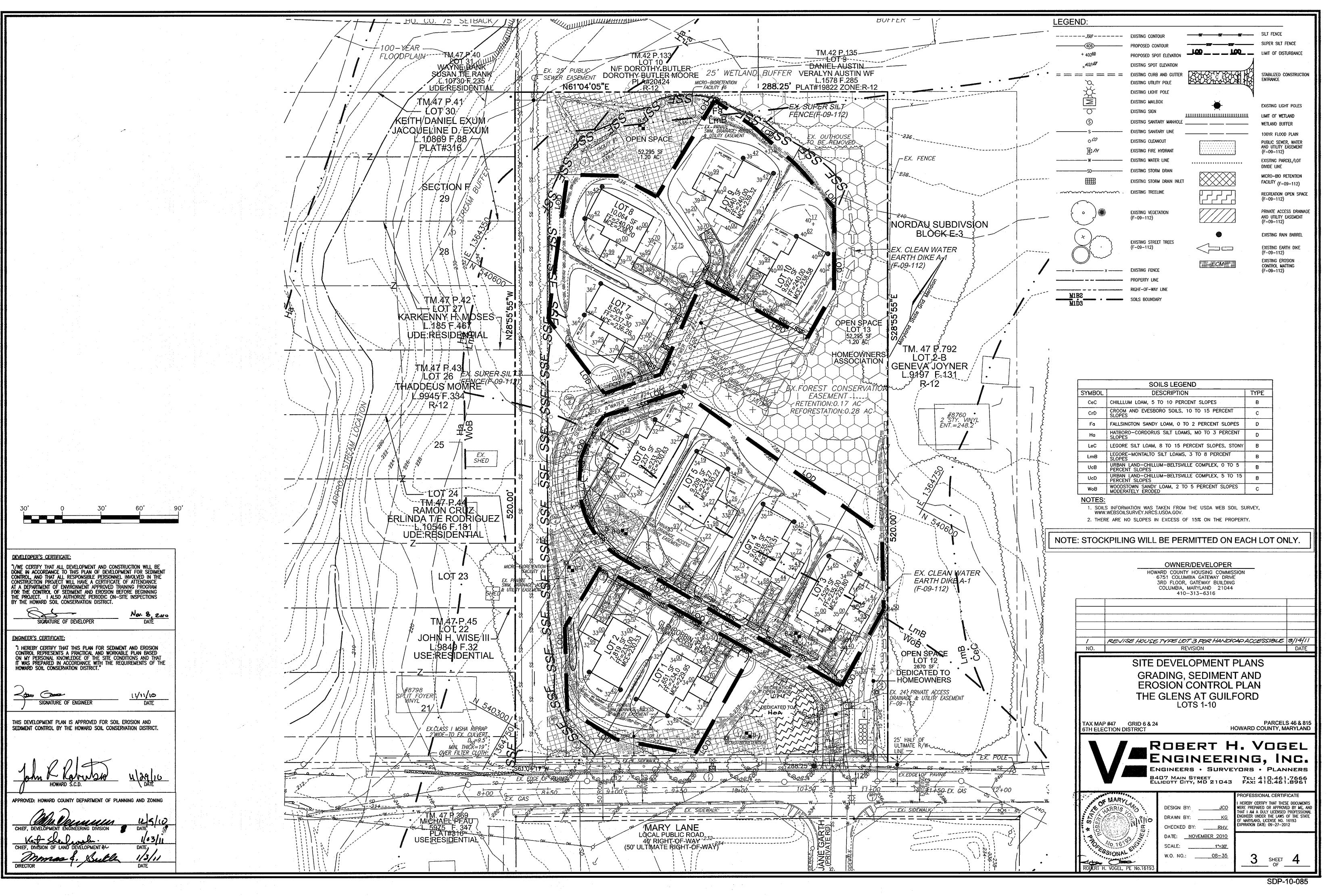


SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	- 1
SITE LAYOUT PLAN	2
GRADING, SEDIMENT, AND EROSION CONTROL PLAN	3
SITE DETAILS, AND SEDIMENT EROSION CONTROL DETAILS	4

	ADDRESS CHART					
LOT #	STREET ADDRESS					
1	8815 GLENROBBIN PLACE					
2	8819 GLENROBBIN PLACE					
3	8810 GLENROBBIN PLACE					
4	8814 GLENROBBIN PLACE					
5	8818 GLENROBBIN PLACE					
6	8822 GLENROBBIN PLACE					
7	8831 GLENROBBIN PLACE					
8	8835 GLENROBBIN PLACE					
9	8839 GLENROBBIN PLACE					
10	8838 GLENROBBIN PLACE					

SDP-10-085





**DETAIL 1 - EARTH DIKE DETAIL 33 - SUPER SILT FENCE** 2:1 SLOPE OR FLATTER FENCE POST SPACING SHALL NOT EXCEED 10" CENTER TO CENTER \_ 10" NAXIMUM 2:1 SLOPE OR FLATTER EXCAVATE TO PROVIDE 1. OBTAIN GRADIN REQUIRED FLOW WIDTH AT DESIGN FLOW DEPTI GRADE LINE -2. NOTIFY HOWARD AND PERMITS GROUND / CROSS\_SECTION\_ BEFORE STARTIN DIKE A DIKE B S" MINIMUM 3. INSTALL SEDIME -DIKE HEIGHT 18" 30" ON PLAN AND I -Dike width 24 36\* POSITIVE DRAINAGE R ALUMINUM POSTS 4. INSPECT SEDIM SUFFICIENT TO DRAIN -FLOW WIDTH F-09-112 TO d-FLOW DEPTH 12" 24" <u>, v v v v v v v</u> 5. AFTER OBTAININ FILTER CLOTH 34" MINIMUM INSPECTOR TO 16" MIN. 1ST LAYER OF STANDARD SYMBO EMBED FILTER CLOTH 8" MINIMUM INTO GROUND PLAN VIEW 6. CONSTRUCT HO MORE THAN STANDARD STANDOL 'IF MULTIPLE LAYERS AR REQUIRED TO ATTAIN 42 SHOWN ON TH ----- SSF -----FLOW CHANNEL STABILIZATION GRADE 0.5% MIN. 10% MAX 7. UPON STABILIZ SEED AND COVER WITH STRAW MULCH. WITH THE APPF CONSTRUCTION SPECIFICATION 2 SEED AND COVER WITH EROSION CONTROL MATTING OR LINE WITH SOD. REMOVE ALL SEDIMENT CONTROL DEVICES. 1. FENCING SHALL BE 42° IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6' FENCE SHALL BE USED, SUBSTITUTING 42° FABRIC AND 6' LENGTH 3. 4" - 7" STONE OR RECYCLED CONCRETE EQUIVALENT PRESSED INTO THE SOIL 7" MINIMUM CONSTRUCTION SPECIFICATIONS NOTES 2. CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE. 1. ALL TEMPORARY EARTH DIKES SHALL HAVE UNINTERRUPTED POSITIVE GRADE TO AN OUTLET. SPOT ELEVATIONS MAY BE NECESSARY FOR GRADES LESS THAN 1%. 2. RUNOFF DIVERTED FROM A DISTURBED AREA SHALL BE CONVEYED TO A SEDIMENT TRAPPING DEVICE. 3. RUNOFF DIVERTED FROM AN UNDISTURBED AREA SHALL OUTLET DIRECTLY INTO AN UNDISTURBED, STABILIZED AREA AT A NON-EROSIVE VELOCITY. A ALL PEESS BRILSE STUDIES ORSTRUCTIONS AND OTHER DELECTIONAL MATERIAL 3. FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH THES SPACED EVERY 24" AT THE TOP AND MID SECTION. 4. ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS, AND OTHER OBJECTIONAL MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE DIKE. 4. FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 8" INTO THE GROUND. HERFON. 5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED PROPER FUNCTIONING OF THE DIKE. 5. THE DIKE SHALL BE EXCAVATED OR SHAPED TO LINE, GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA SPECIFIED HEREIN AND BE FREE OF BANK PROJECTIONS OR OTHER IRREGULARTIES WHICH WILL IMPEDE NORMAL FLOW. 6. FILL SHALL BE COMPACTED BY EARTH MOMING EQUIPMENT. 7. ALL EARTH REMOVED AND NOT NEEDED FOR CONSTRUCTION SHALL BE PLACED SO THAT IT WILL NOT INTERFERE WITH THE FUNCTIONING OF THE DIKE. 8. INSPECTION AND MAINTENANCE MUST BE PROVIDED PERIODICALLY AND AFTER EACH RAIN EVENT. BY 6" AND FOLDED. 6. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDUPS REMOVED WHEN "BUILGES DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT 7. FILTER CLOTH SHALL BE FASTEMED SECURELY TO EACH FENCE POST WITH WIRE TIES C STAPLES AT TOP AND WID SECTION AND SHALL WEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F: 50 LBS/IN (MIN.) TEST: MSMT 509 20 LBS/IN (MIN.) TEST: MSMT 509 0.3 CAL/FT /MINUTE (MAX.) TEST: MSMT 322 TEST: MSMT 322 TENSILE STRENCTH TENSILE MODULUS FLOW RATE FILTERING EFFICIENCY MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION U.S. DEPARTMENT OF AGRICULTURE SORL CONSERVATION SERVICE PACE H - 26 - 3 U.S. DEPARTMENT OF ACRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONME SOIL CONSERVATION SERVICE A - 1 - 6 WATER MANAGEMENT ADMINISTRATION DETAIL 30 - EROSION CONTROL MATTING **DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE** -- MOUNTABLE BERM (6" MIN.) -50' **N**INAUN----PAVEME CROSS-SECTION - EARTH FIL \*\* GEOTEXTILE CLASS-'C' OR BETTER ------ PIPE AS NECESSARY MINIMUM 6" OF 2"- 3" AGGREGATE OVER LENGTH AND WIDTH OF STRUCTURE EXISTING GROUND PROFILE - \* 50° MINIMUM LENGTH EXISTING PAVEMEN STANDARD SYMBOL PLAN VIEW SCE F MATTING CONSTRUCTION SPECIFICATIO 1. LENGTH - MINIMUM OF 50' (\* 30' FOR A SANGLE RESIDENCE LOT). 12 2. WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS. 3. GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. \*\* THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE. TYPICAL STAPLES NO. 1 GAUGE WIRE 4. STONE - CRUSHED ACCREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE 5. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUCH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERN WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE, PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. WHEN THE SCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY, A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED, A 6" MINIMUM WILL BE REQUIRED. 6. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CON-PAGE MARYLAND DEPARTMENT OF ENVIRONME F - 17 - 3 WATER MANAGEMENT ADMINISTRATION S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE C - 22 - 2 WATER MANAGEMENT ADMINISTRATION EROSION CONTROL MATTING . KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6 2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES. 3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL. 4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER. 5. WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIPLAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE. 5. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES. NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN. DEVELEOPER'S CERTIFICATE: U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMEN SOIL CONSERVATION SERVICE 6 - 22 - 24 WATER MANAGEMENT ADMINISTRATION "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THIS PLAN OF DEVELOPMENT FOR SEDIMENT CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS 1. FINAL ELEVATIONS WILL BE PROVIDED WITH ASSOCIATED BUILDING PERMIT PLANS. BY THE HOWARD SOIL CONSERVATION DISTRICT. 2. SEE ARCHITECTURAL PLANS FOR PLANTING SPECIES AND PLACEMENT. THIS SECTION ONLY NEEDS TO BE INSTALLED Na <u>5 za</u>o SIGNATURE OF DEVELOPER ON THE LOW SIDE OF THE PATIO. THE HIGH SIDES CAN HAVE A NORMAL GARDEN DEPTH. ENGINEER'S CERTIFICATE: "I HEREBY CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT." 2" MULCH LAYER PATIO 12" PLANTING SOIL 12" GRAVEL \_\_\_\_\_ 11/11/10 12" SAND 4 SIGNATURE OF ENGINEER DATE TYPICAL LANDSCAPE INFILTRATION CROSS SECTION THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT. NOT TO SCALE OPERATION AND MAINTENANCE SCHEDULE FOR LANDSCAPE INFILTRATION FACILITIES . ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING 2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DEFICIENT STAKES AND WIRES. 3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YFARS 103/1 4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED WITH A DIVISION OF LAND DEVELOPMENTL MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS. DATE

## SEQUENCE OF CONSTRUCTION

IG PERMIT.		
D COUNTY BUREAU OF INSPECTIONS (410–313–1880) AT LEAST 24 HOURS NG ANY WORK.		
ENT CONTROL MEASURES AS SHOWN		
IN ACCORDANCE WITH DETAILS.	(5	DAYS)
IENT CONTROL MEASURES FROM REMAIN PER SDP. REPAIR AS NEEDED.	(1	DAY)
NG PERMISSION FROM THE SEDIMENT CONTROL PROCEED, ROUGH GRADE SITE.	(2	WEEKS)
DUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE 'HIGHER OR 0.2' LOWER THAN THE ELEVATIONS IIS PLAN.	<b>(</b> 6	MONTHS)
ZATION OF ALL DISTURBED AREAS AND ROVAL OF THE SEDIMENT CONTROL INSPECTOR,	(2	DAYS)

DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN

FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLIED

A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES SLOPES AND ALL SLOPES GREATER THAN 3:1. B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

- 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPI OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- 2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. AND REVISIONS THERETO.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. 7. SITE ANALYSIS

TOTAL AREA	3.44 AC.
AREA DISTURBED	1.38 AC.
AREA TO BE ROOFED OR PAVED	0.56 AC.
AREA TO BE VEGETATIVELY STABILIZED	0.82 AC.
TOTAL CUT	962 CY
TOTAL FILL	962 CY
OFFSITE WASTE/BORROW AREA LOCATION	*

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.

ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY

THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

THE INSPECTION AGENCY IS MADE.

PAVEMENT.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY

- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- \* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT

## OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED

- PERMEABLE PAVEMENT (A-2) 1. PAVEMENT SURFACES SHOULD BE SWEPT AND VACUUMED (IF POROUS CONCRETE) TO REDUCE SEDIMENT ACCUMULATION AND ENSURE CONTINUED SURFACE POROSITY. SWEEPING SHOULD BE
- PERFORMED AT LEAST TWICE ANNUALLY WITH A COMMERCIAL CLEANING UNIT. WASHING OR COMPRESSED AIR UNITS SHOULD NOT BE USED TO PERFORM SURFACE CLEANING. 2. DRAINAGE PIPES, INLETS, STONE EDGE DRAINS AND OTHER STRUCTURES WITHIN OR DRAINING TO THE SUBBASE SHOULD
- BE CLEANED OUT AT REGULAR INTERVALS. 3. DEICERS SHOULD BE USED IN MODERATION DEICERS SHOULD BE NON-TOXIC AND BE APPLIED EITHER AS CALCIUM MAGNESIUM ACETATE OR AS PRETREATED SALT.SNOW PLOWING SHOULD BE DONE CAREFULLY WITH BLADES SET ONE-INCH ABOVE THE SURFACE PLOWED SNOW PILES AND SNOWMELT SHOULD NOT BE DIRECTED TO PERMEABLE

### **OPERATION AND MAINTENANCE SCHEDULE FOR** PRIVATELY OWNED AND MAINTAINED RAINWATER HARVESTING (M-1

1. EMPTY BARRELS ON A MONTHLY BASIS AND CLEAN BARREL WITH A HOSE.

2. VERIFY INTEGRITY OF LEAF SCREENS, GUTTERS, DOWNSPOUTS SPIGOTS, AND MOSQUITO SCREENS. CLEAN AND REMOVE **DEBRIS** DAMAGED COMPONENTS SHALL BE REPLACED AS NEEDED.

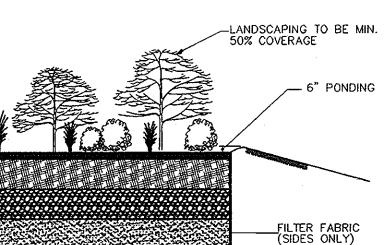
TO AVOID FREEZING, BARREL SHOULD BE EITHER DISCONNECTED OR ALLOWED TO DRAIN BY BOTTOM SPIGOT DURING THE WINTER SEASON.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED GREEN ROOF (A-1)

THE FOLLOWING OPERATION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED TO THE FUNCTION OF THE GREEN ROOF SYSTEM IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE "GREEN ROOF SYSTEM DISTRIBUTOR, REMOVE UNWANTED PLANT MATERIAL, APPLY NUTRIENTS AND IMMIGRATION AS REQUIRED.

WEED - ON AN ANNUAL BASIS REMOVE UNWANTED PLANT MATERIAL. REPLACE - REPLACE FAILED PLANT MATERIAL WHEN THE FAILED PLANT AREA EXCEEDS FIVE PERCENT (5%) OF THE ROOF AREA. IRRIGATE - A NEWLY INSTALLED ROOF SHOULD BE IRRIGATED DURING THE FIRST GROWING SEASON. SATURATE THE GREEN ROOF AT LEAST ONCE A WEEK DURING THIS FIRST GROWING SEASON. AFTER VEGETATION IS ESTABLISHED, IRRIGATION MAY BE REQUIRED PERIODICALLY DURING DRY PERIODS. NUTRIENT - THE APPLICATION OF A SLOW-RELEASE FERTILIZER IN THE SPRING IS RECOMMENDED ON AN ANNUAL BASIS.

INSPECT FOR DRAINAGE - AFTER EACH SIGNIFICANT RAINFALL INSPECT DOWNSPOUTS OR DRAINAGE CHANNELS/COURSES FOR INSPECT FOR LEAKS - AFTER EACH SIGNIFICANT RAINFALL INSPECT THE GREEN ROOF FOR LEAKS.



## 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

III. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED

- TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN
- 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.

V. TOPSOIL APPLICATION

OR WATER POCKETS.

- B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
- C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
- D. NO SOD OR SEED SHALL BE PLACED ON SOIL SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF

#### PHYTO-TOXIC MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMMENDMENTS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION-SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS.

WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.

III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" -8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS

IV. TOPSOIL SHALL NOT BE PLACE WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

SOIL PROTECTION ZONE NOTES

- I. THE SOIL PROTECTION ZONE INCLUDE ALL AREAS CONTAINED INSIDE THE LIMIT OF DISTURBANCE.
- 2. WHERE POSSIBLE, THE SOIL PROTECTION ZONE SHALL EXTEND TO THE DRIP LINE OF SPECIMEN TREES. FOR OTHER GROUPS OF TREES, THE ZONE SHALL BE THE DRIP LINE OF 40% OF THE HEIGHT OF THE TREE, WHICHEVER IS GREATER.
- NO CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE SOIL 3. PROTECTION ZONE. 4. IF SOIL HAS BEEN COMPACTED OR GRADING HAS TAKEN
- PLACE IN THE VICINITY OF THE SOIL PROTECTION ZONE, ROOT PRUNING SHALL BE IMPLEMENTED PER ROOT PRUNING DETAIL, SHOWN ON THIS PLAN.
- 5. ROOT PRUNING SHALL OCCUR PRIOR TO THE BEGINNING OF CONSTRUCTION. WHERE THE SOIL PROTECTION ZONE MUST ENCROACH INSIDE
- HE CRITICAL ROOT ZONE OF A TREE, SOIL DISTURBANCE SHALL BE MITIGATED WITH VERTICAL MULCHING, OR RADIAL TRENCHING. PRIOR TO CONSTRUCTION, THE LIMITS OF DISTURBANCE SHALL BE MARKED AND THE DETERMINE WHICH TREES WILL NEED
- PREVENTATIVE TREATMENT OF REMOVAL. 8. TREE MAINTENANCE AND REMOVAL SHALL BE UNDERTAKEN BY A QUALIFIED MD TREE EXPERT TO ENSURE DAMAGE TO
- SURROUNDING TREES IS MINIMIZED. 9. BRUSH AND LIMBS REMOVED FOR CONSTRUCTION SHALL BE CHIPPED AND SPREAD AT THE EDGE OF THE SOIL PROTECTION ZONE TO A DEPTH OF 6 INCHES. THIS SHALL OCCUR OUTSIDE THE SOIL PROTECTION ZONE WHERE COMPACTION COULD IMPACT OTHERWISE UNPROTECTED CRITICAL ROOT ZONE.

## DEFINITION

## PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETABLE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER

SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.

THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS. C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS

MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

PERMANENT SEEDING NOTES APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY

- AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES
- 1) PREFERRED-APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/ 100 SQ.FT.) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS./ 1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT THE TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS/1000 SQ.FT.)
- 2) ACCEPTABLE-APPLY 2 TONS PER ACRE DOLOMATIC LIMESTONE (92 LBS/ 1000 SQ.FT.) AND APPLY 1000 LBS. PER ACRE 10-10-10- FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING FOR THE PERIODS MARCH 1 THRU APRIL 30 AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS/1000 SO.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF CTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED

MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING. MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

## TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 TH NOVEMBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (.07 LBS./1000 SQ.FT.). FOR THE PERIOD NOVEMBER 1 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

## MULCHING: APPLY 1 1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ.FT.) FOR ANCHORING (8 GAL/1000 SQ.FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

CONSTRUCTION AND MATERIAL SPECIFICATIONS I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED

PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:

I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS ROOTS, TRASH, OR OTHER MATERIALS LARGER THAT 1 AND 1/2" IN

II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

II. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION -

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

	1	OWNER/DEVELOPER ARD COUNTY HOUSING COMMIS 6751 COLUMBIA GATEWAY DRIVE 3RD FLOOR, GATEWAY BUILDING COLUMBIA, MARYLAND 21044 410-313-6316	Ē		
 NO.		REVISION		DATE	
TAX MAF	EDIMENT & THE 9 #47 GRID 6 & 24	DEVELOPMENT EROSION CONT GLENS AT GUILI LOTS 1-10	ROL DETAIL	S 46 & 815	
HOWARD COUNTY, MARYLAND         ROBERT H. VOGEL         ENGINEERING, INC.         ENGINEERS • SURVEYORS • PLANNERS         8407 MAIN STREET         TEL: 410.461.7666         EL: 410.461.7666					
1014 # 014	F MARY ABRIS OF HAR TTI HE NO. 16193 NONAL END	DESIGN BY: <u>JCO</u> DRAWN BY: <u>KG</u> CHECKED BY: <u>RHV</u> DATE: <u>NOVEMBER 2010</u> SCALE: <u>AS SHOWN</u> W.O. NO.: <u>08-35</u>	PROFESSIONAL CERTIF I HEREBY CERTIFY THAT THES WERE PREPARED OR APPROVE THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS O OF MARYLAND, LICENSE NO. EXPIRATION DATE: 09-27-20 BARYLAND, LICENSE NO. EXPIRATION DATE: 09-27-20	E DOCUMENTS ED BY ME, AND PROFESSIONAL OF THE STATE 16193	

SDP-10-085