

MATCH LINE SEE SHEET 2

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2695



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Cranko, Sr.
 CHARLES J. CRANKO, SR., P.E.

5/31/11
 DATE

DATE	DESCRIPTION	REVISION BLOCK
10/19/14	CHANGE BUILDING ADDRESS	
9/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Thomas S. Butler</i> Director - Department of Planning and Zoning		
<i>Kent Schelhorn</i> Chief, Division of Land Development		
<i>William J. ...</i> Chief, Development Engineering Division		

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10029 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT		
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A		
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21030 & 21037	2	B-1 B-2	24	SECOND	6023.01

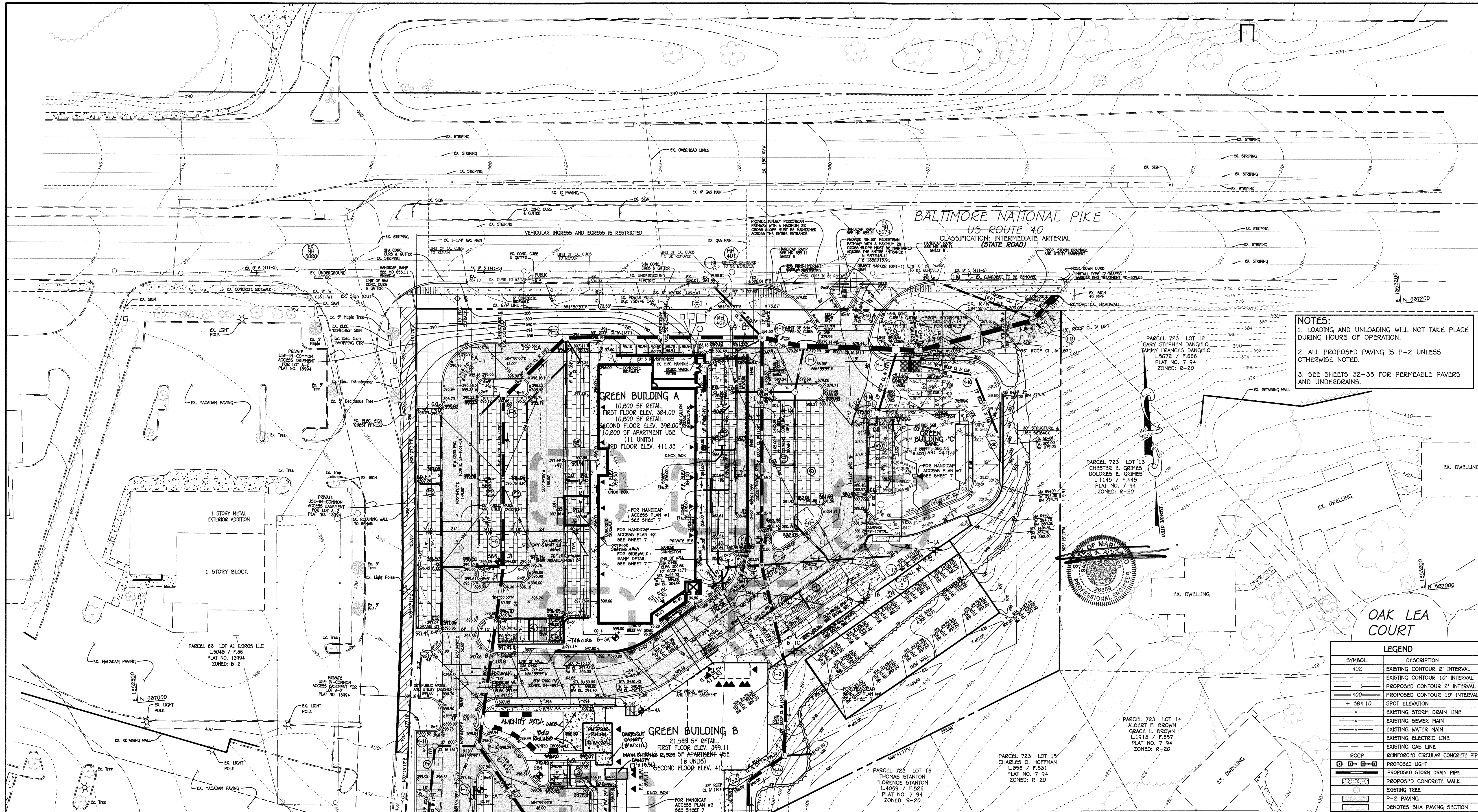
DEMOLITION PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No. 24 GRID No. 2
 PLAT NOS 21030 & 21037

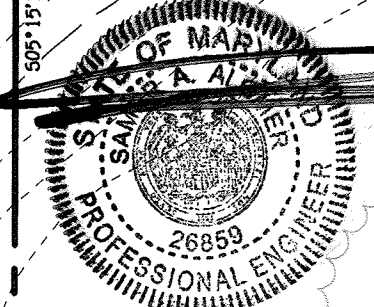
PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: DECEMBER 2, 2010

SHEET 3 OF 42 SDP-10-036

1:\2008\06067\dwg\06067-001 (SHEET 2-3) DEMO PLAN.dwg, SHEET 3, 11



NOTES:
 1. LOADING AND UNLOADING WILL NOT TAKE PLACE DURING HOURS OF OPERATION.
 2. ALL PROPOSED PAVING IS P-2 UNLESS OTHERWISE NOTED.
 3. SEE SHEETS 32-35 FOR PERMEABLE PAVERS AND UNDERDRAINS.



LEGEND	
SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 364.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
○	RCCP REINFORCED CIRCULAR CONCRETE PIPE
□	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	P-2 PAVING
---	DENOTES SHA PAVING SECTION
---	PERVIOUS PAVERS
---	PRIVATE ACCESS EASEMENT
---	PRIVATE GRADING EASEMENT

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' & RELATED SITE CHANGES

MATCH LINE SEE SHEET 4

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' & 'C' & RELATED SITE CHANGES. (SEE REVISION BLOCK FOR DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 441-2899

DATE	DESCRIPTION
10/6/15	Revise Bldg. 'B' Sq. Ft. Use to Reflect 3 Additional Apartments
8/7/15	REVISE CANNOPY DIMENSIONS TO BUILDING 'B'
7/10/15	REVISE CANNOPY DIMENSIONS TO BUILDING 'B'
5/17/15	REVISE PLAY ENCLOSURE, CANNOPY W/DRIVE, REVISE PARKING & AMENITY AREA
10/24/14	REVISE BUILDING 'C' ARCHITECTURE, ADD ADDITIONAL SWH & EXTEND RETAINING WALL #6.
5/2/14	REVISE NUMBER OF PROPOSED APARTMENTS & ASSOCIATED PARKING DATA, REVISE L.O.D. TO REFLECT PLAY AREA ADDITION, REVISE PLAN TO REFLECT BUILDING 'C' ARCHITECTURE.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13204. Expiration Date: November 3, 2016.
 Charles J. Cravo, Sr., P.E.
 2/15 DATE

DATE	DESCRIPTION	REVISION BLOCK
2/12/14	REVISE PLAN TO PROVIDE PLAYGROUND AREA, SIDEWALK AND AND REVISE FOREST CONSERVATION INFORMATION.	
3/15/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.	
12/17/12	REVISED WATER AND SEWER CONNECTIONS TO BUILDING 'A'.	
9/21/12	REVISE BUILDINGS 'A' & 'C' TO PROVIDE NEW ARCHITECTURE, SHOW ADDITIONAL WALL FOR BUILDING 'A', ADD SHA SIDEWALK RAMPS TO PLAN & REVISE ROOF LEADER FOR BUILDING 'C'.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
11335/618, 479/642	2	B-1	24	SECOND	6023.01
11334/606, 2316/614		B-2			

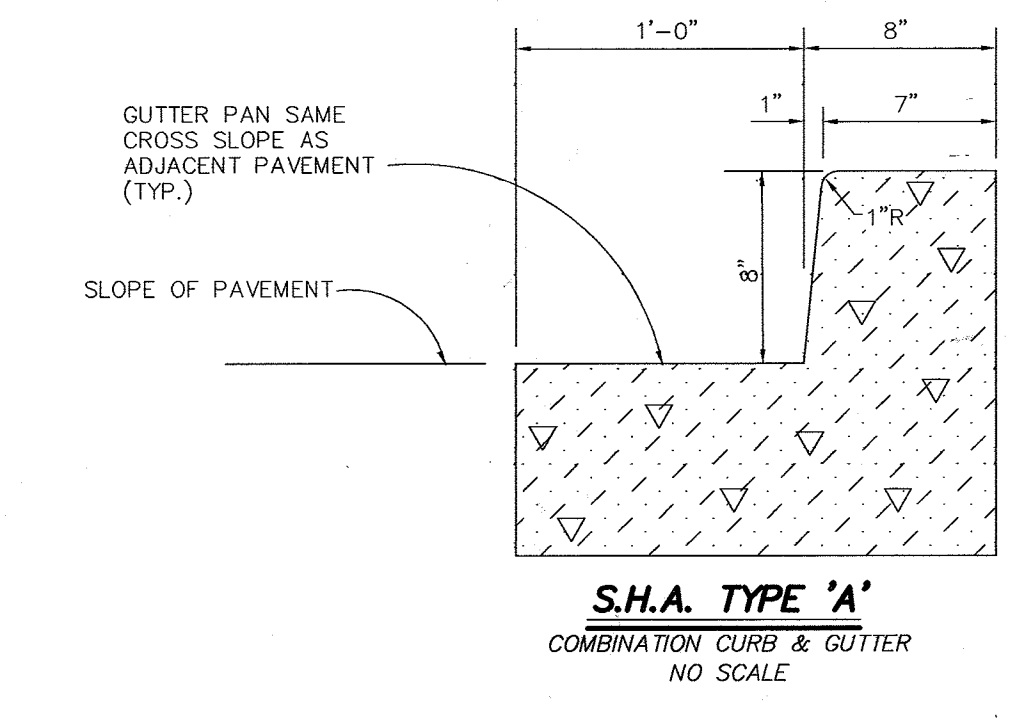
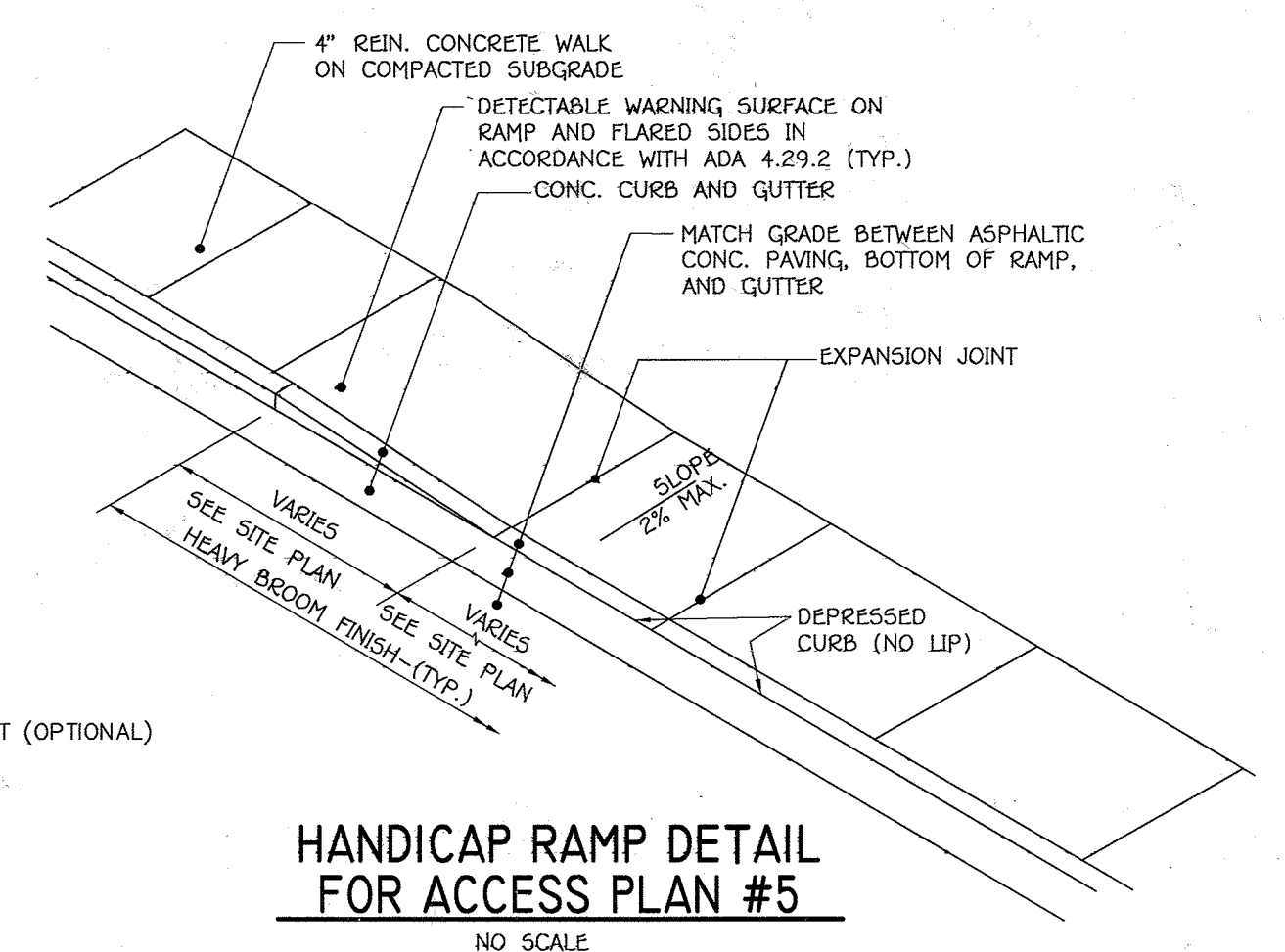
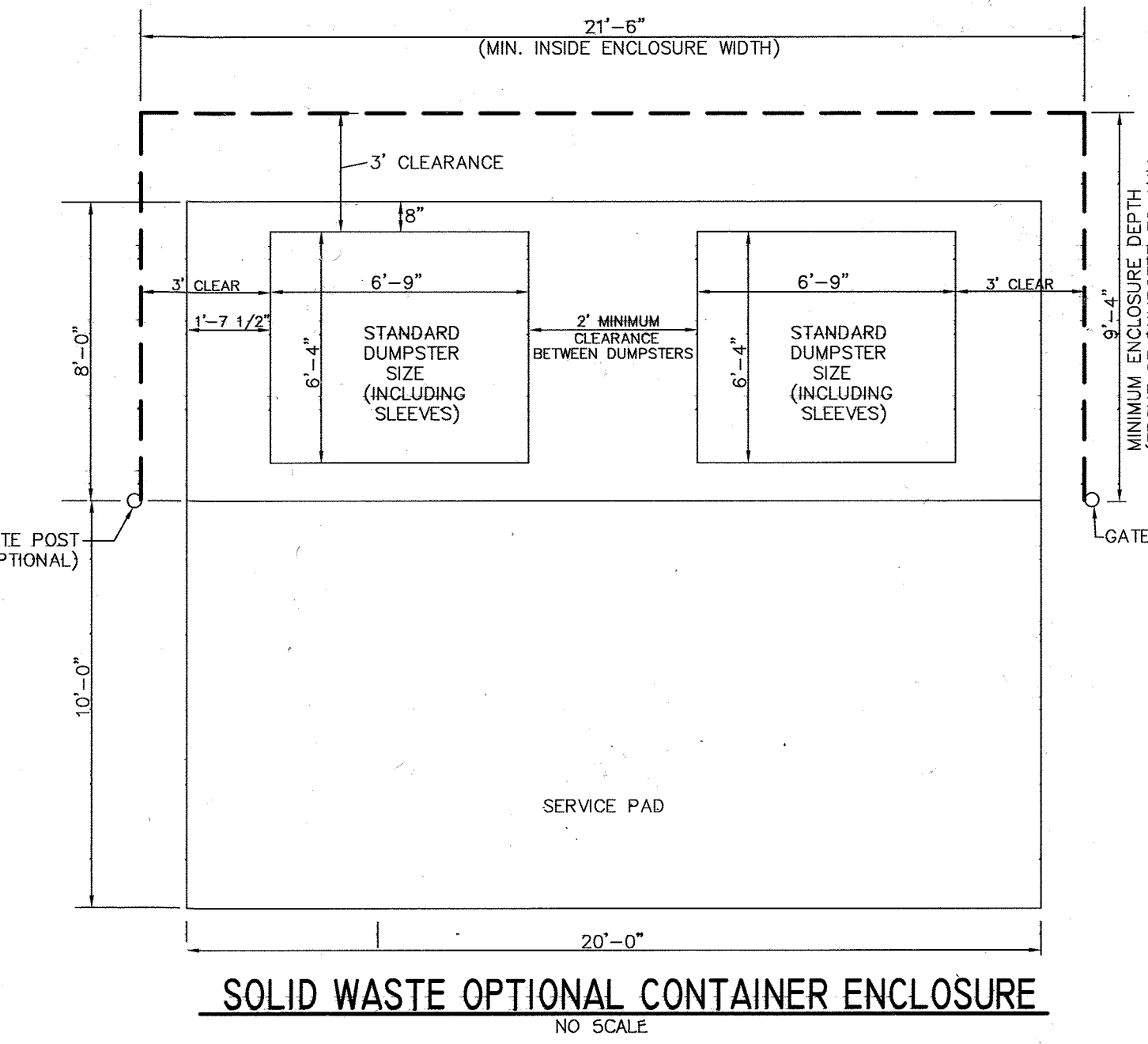
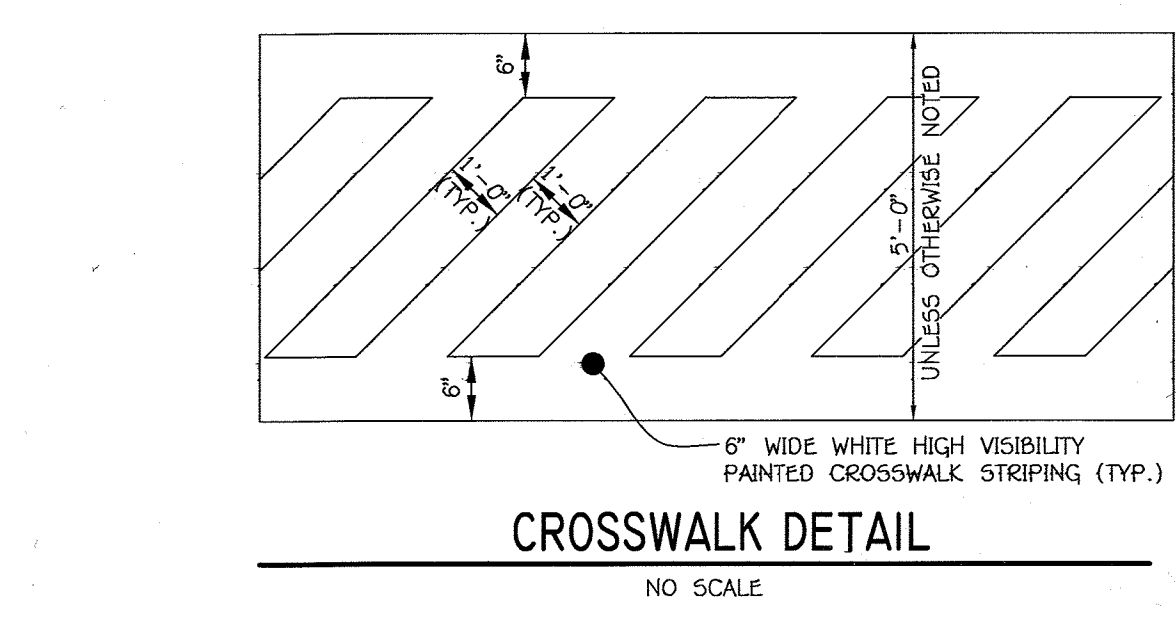
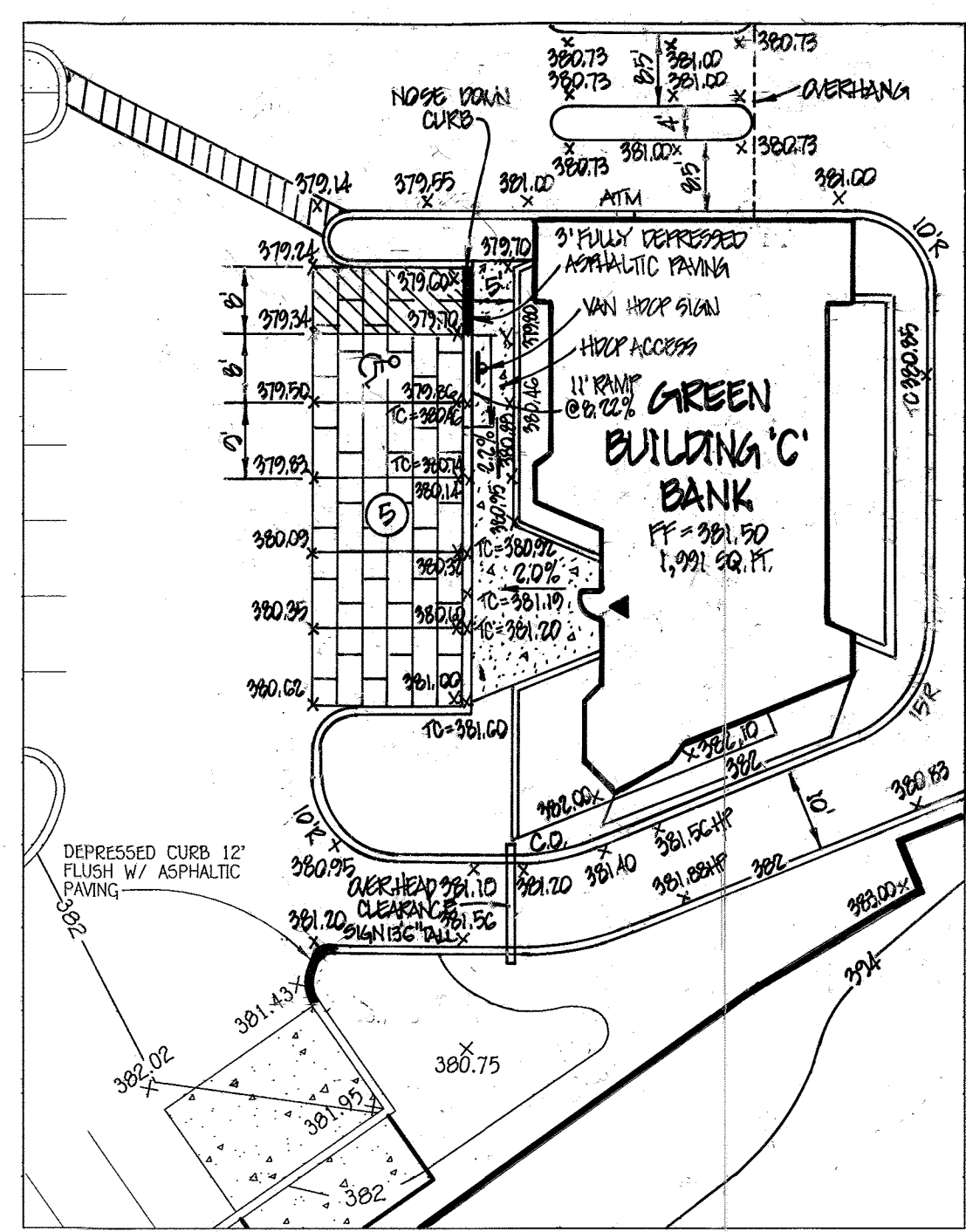
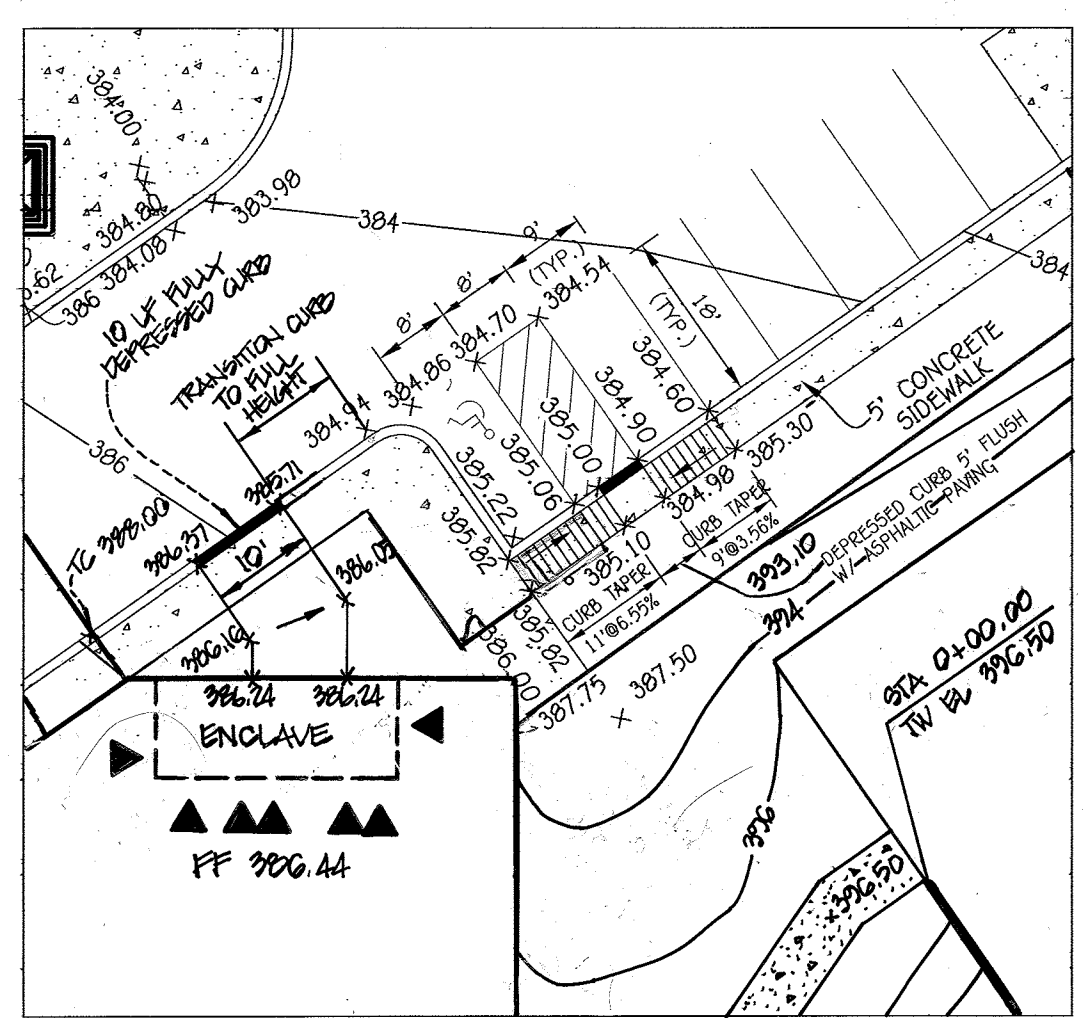
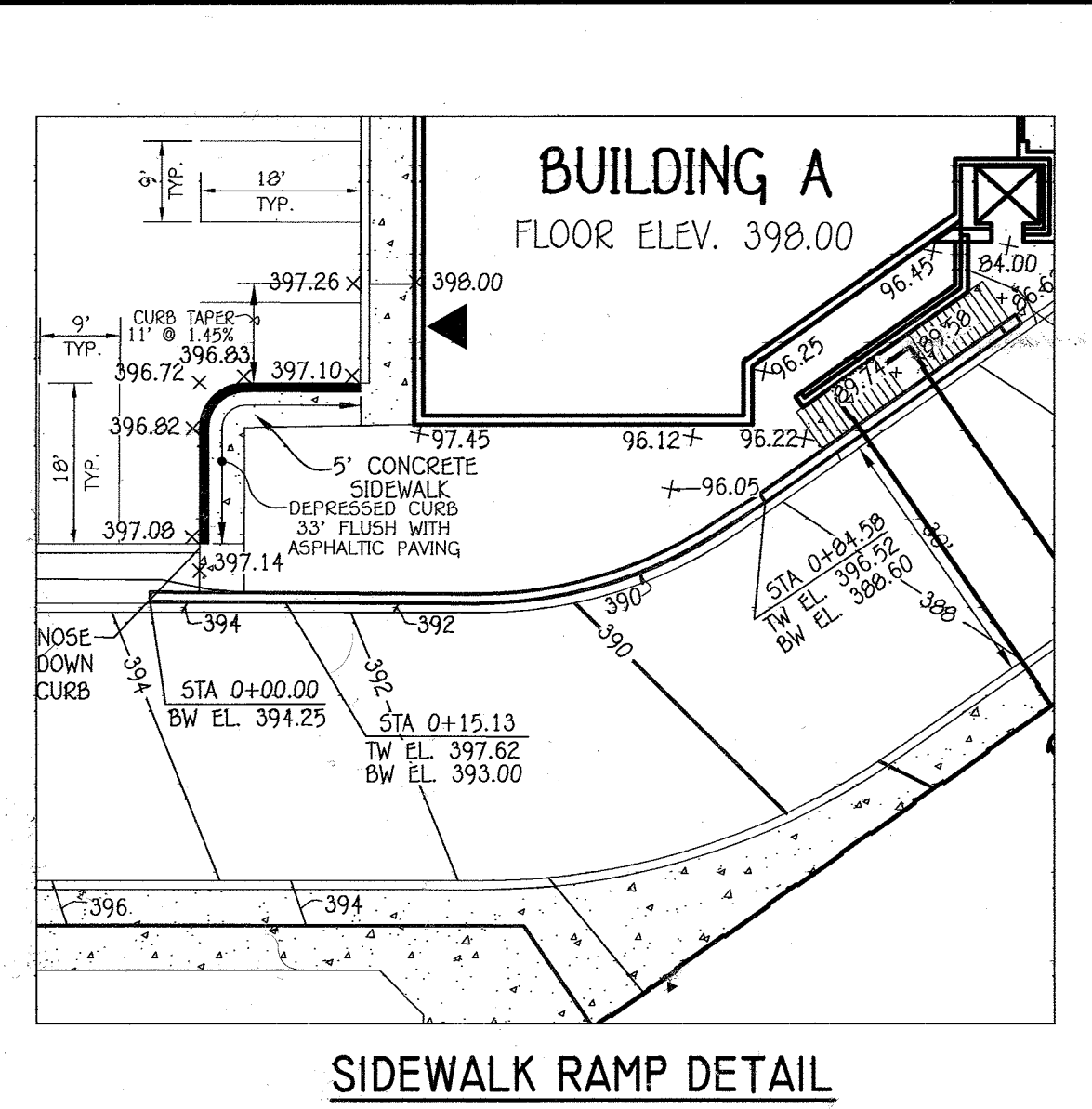
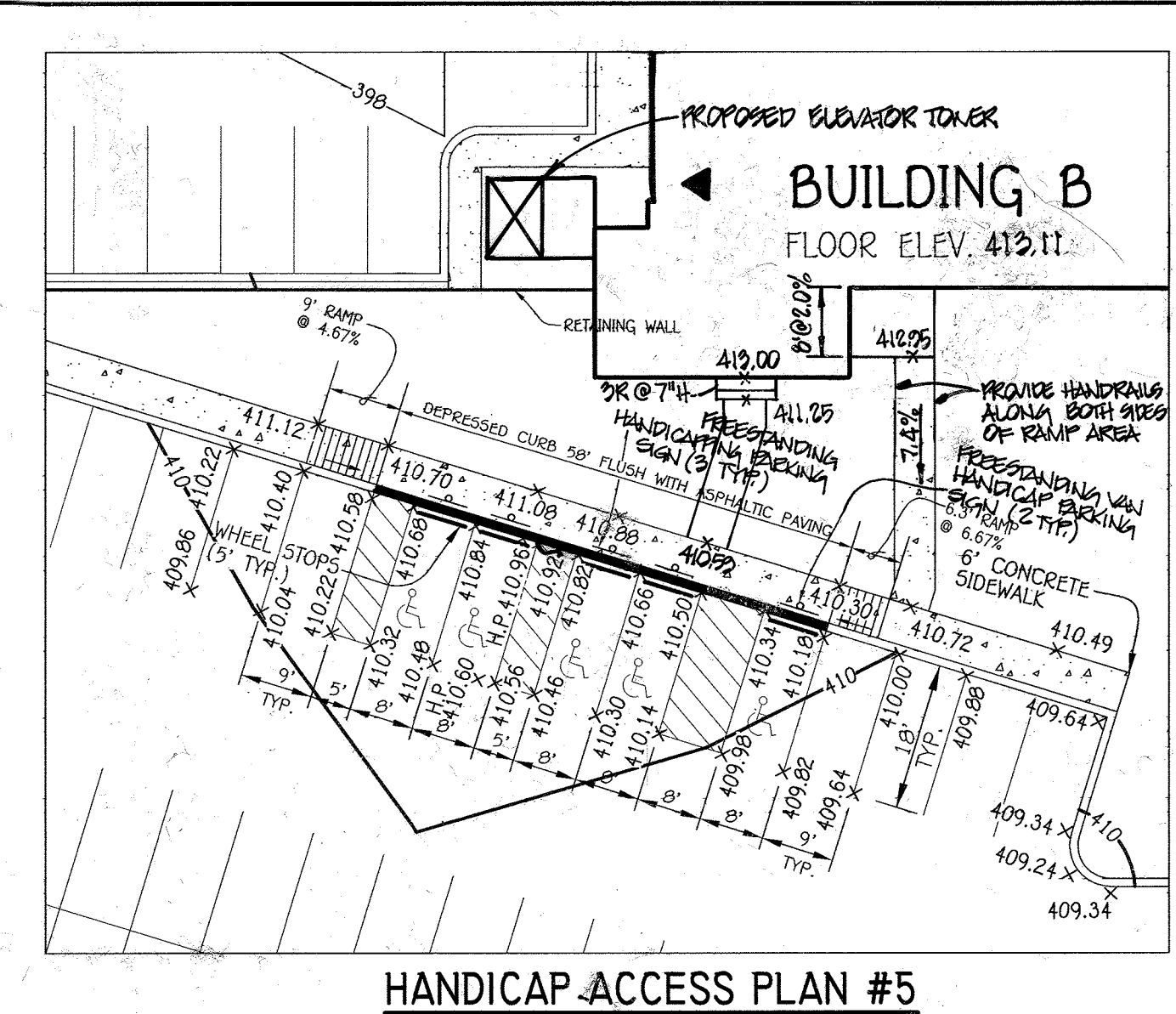
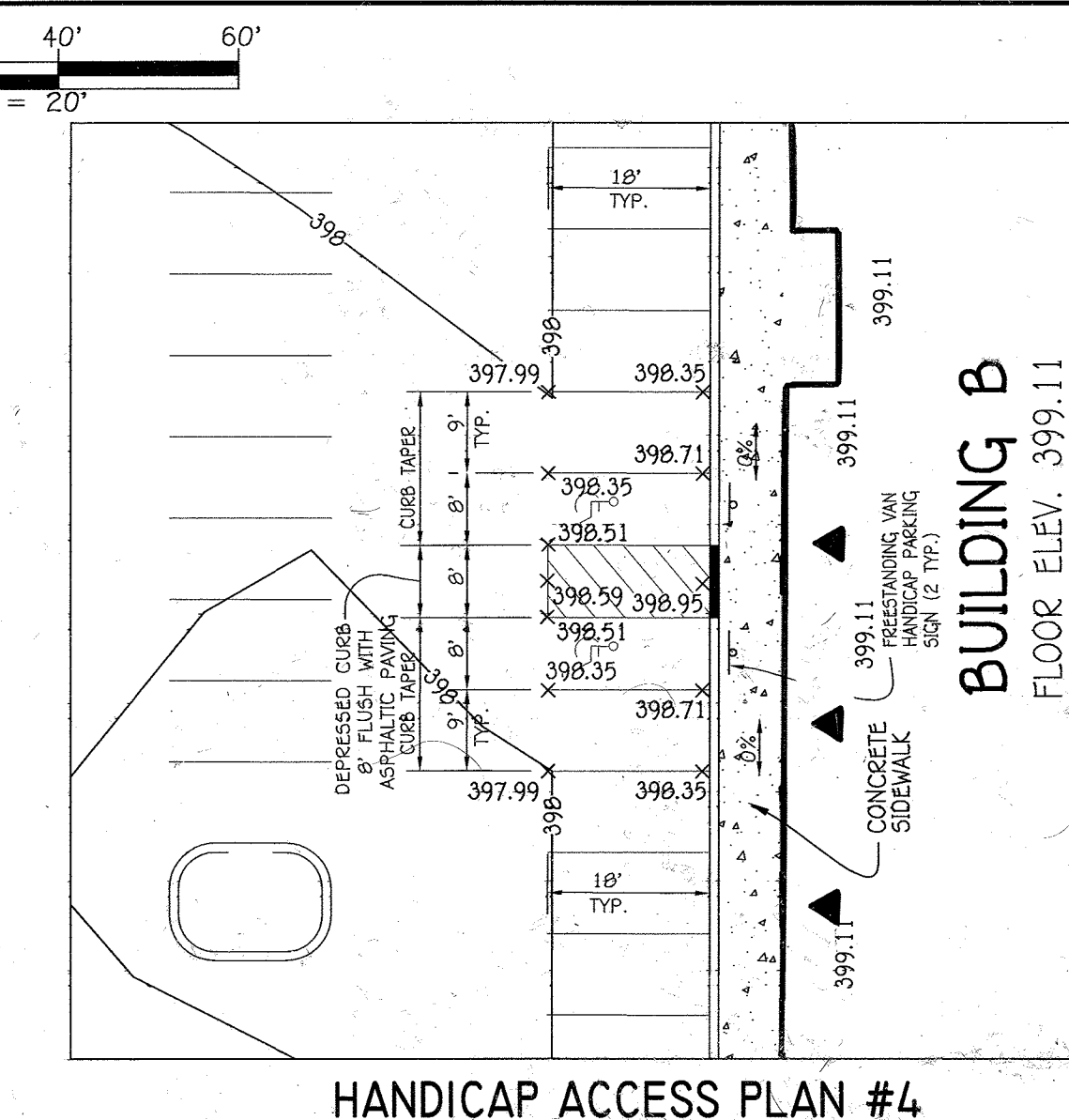
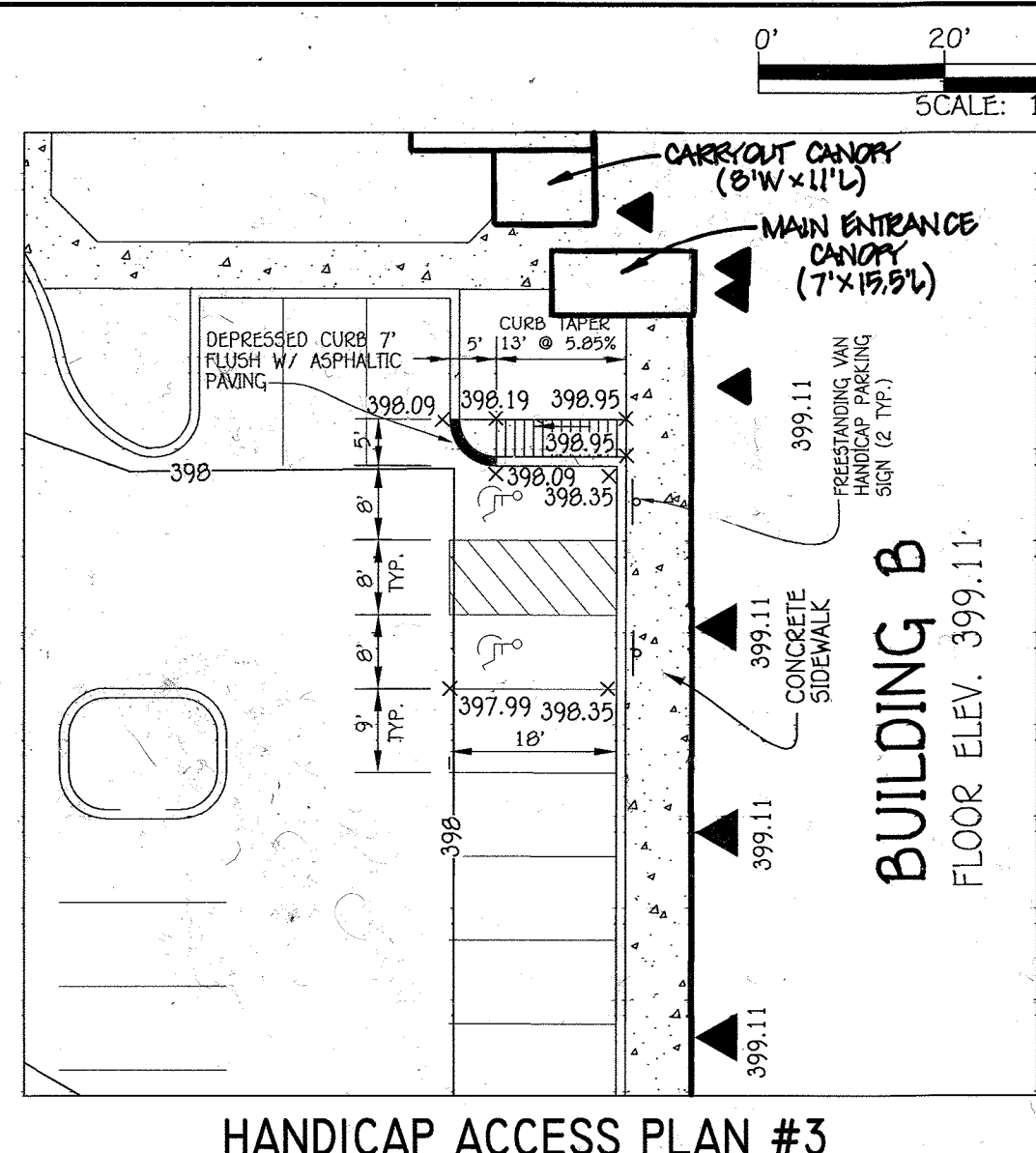
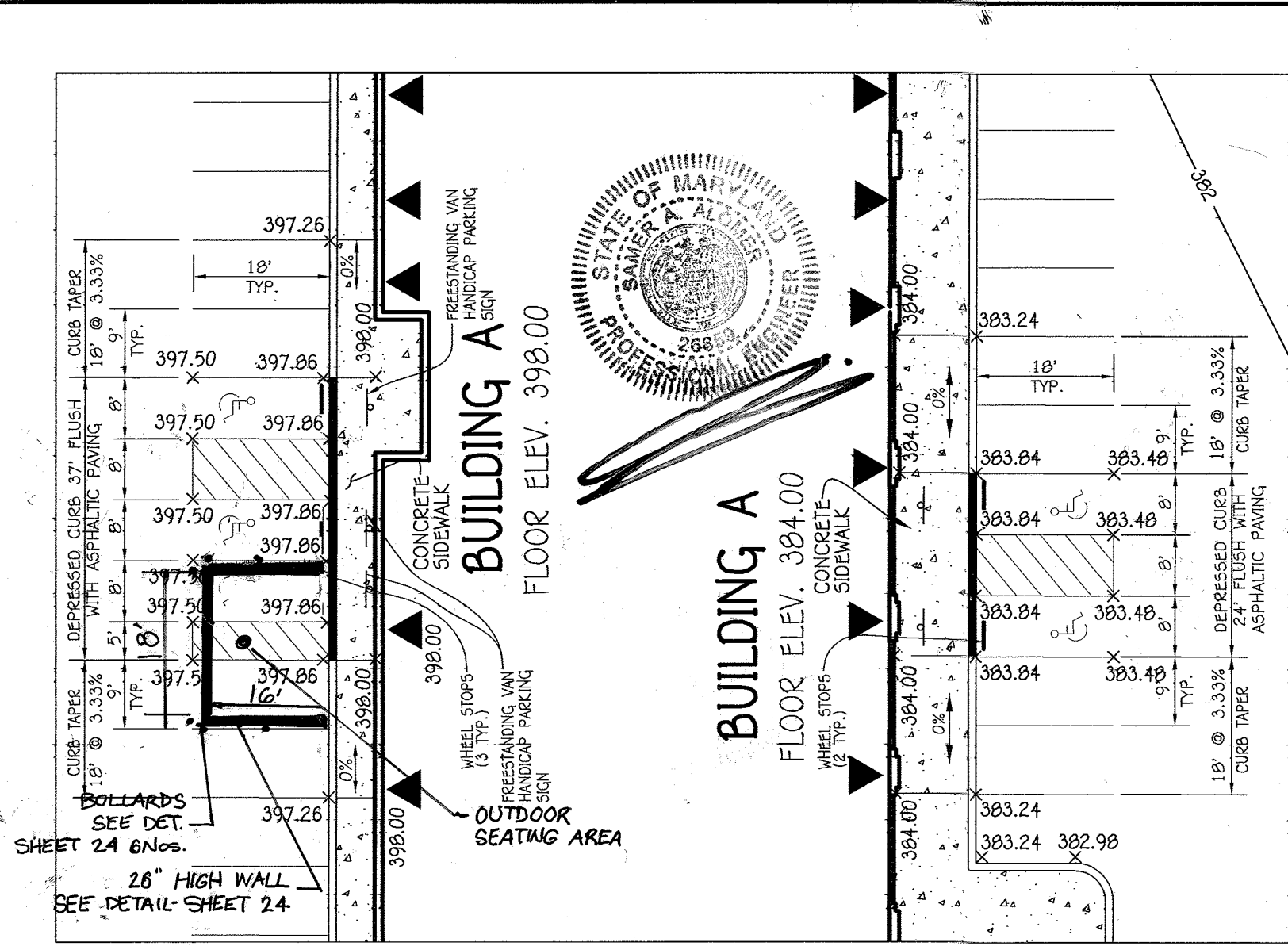
REVISED SITE DEVELOPMENT PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 Grid No.: 2
 DEED REF. 11335/618, 479/601, 11334/606, 2316/614
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: FEBRUARY 4, 2015

SHEET 5 OF 42
 SDP-10-036

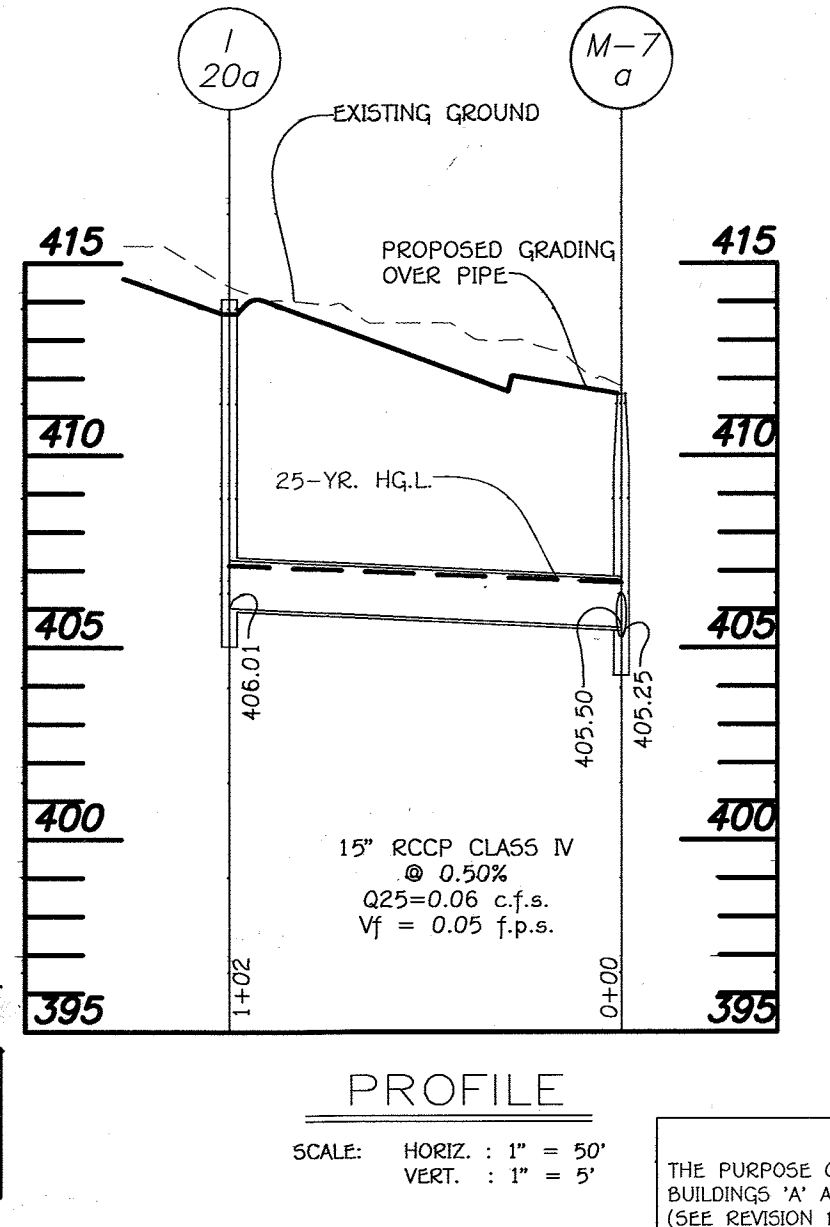
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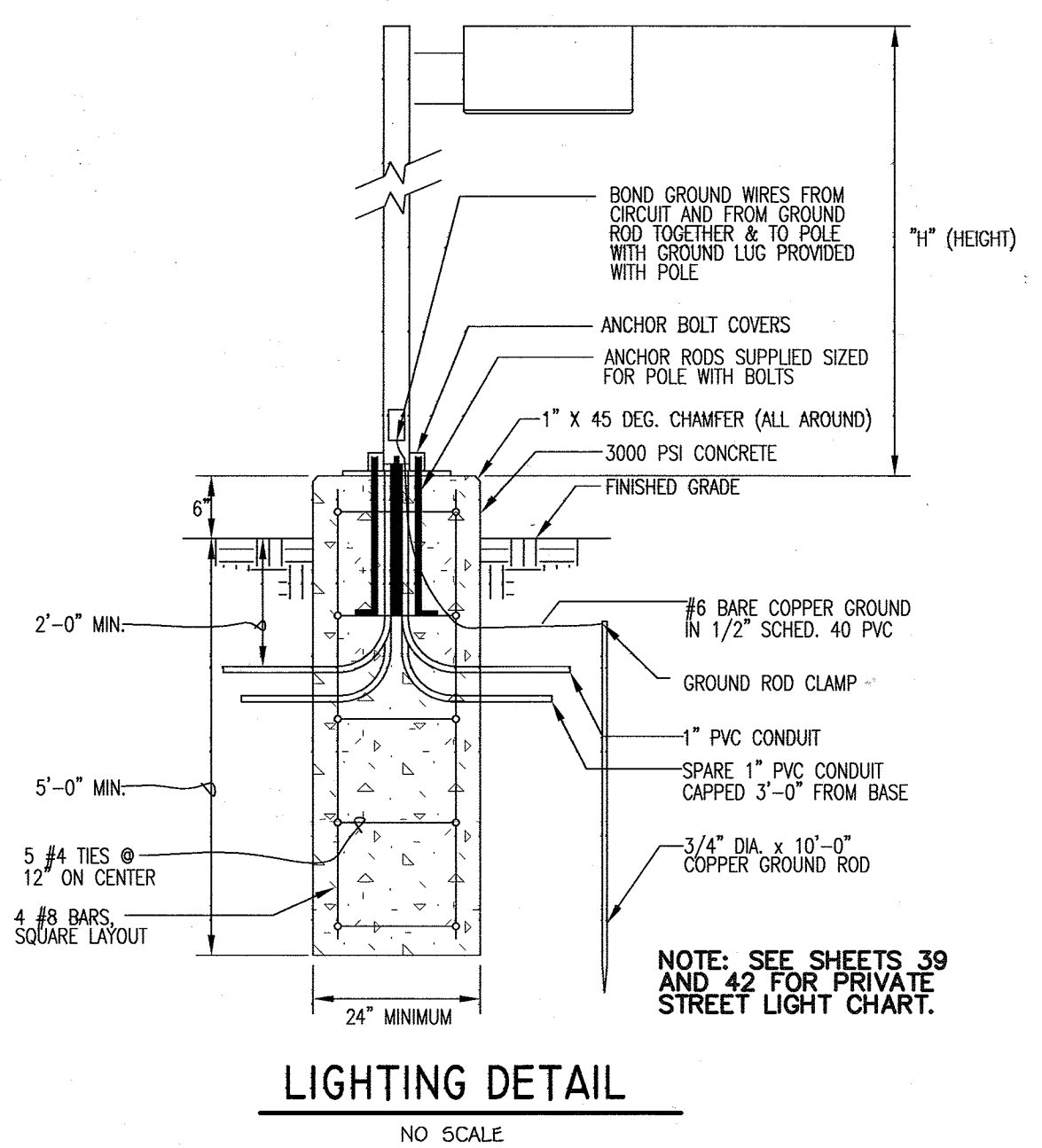
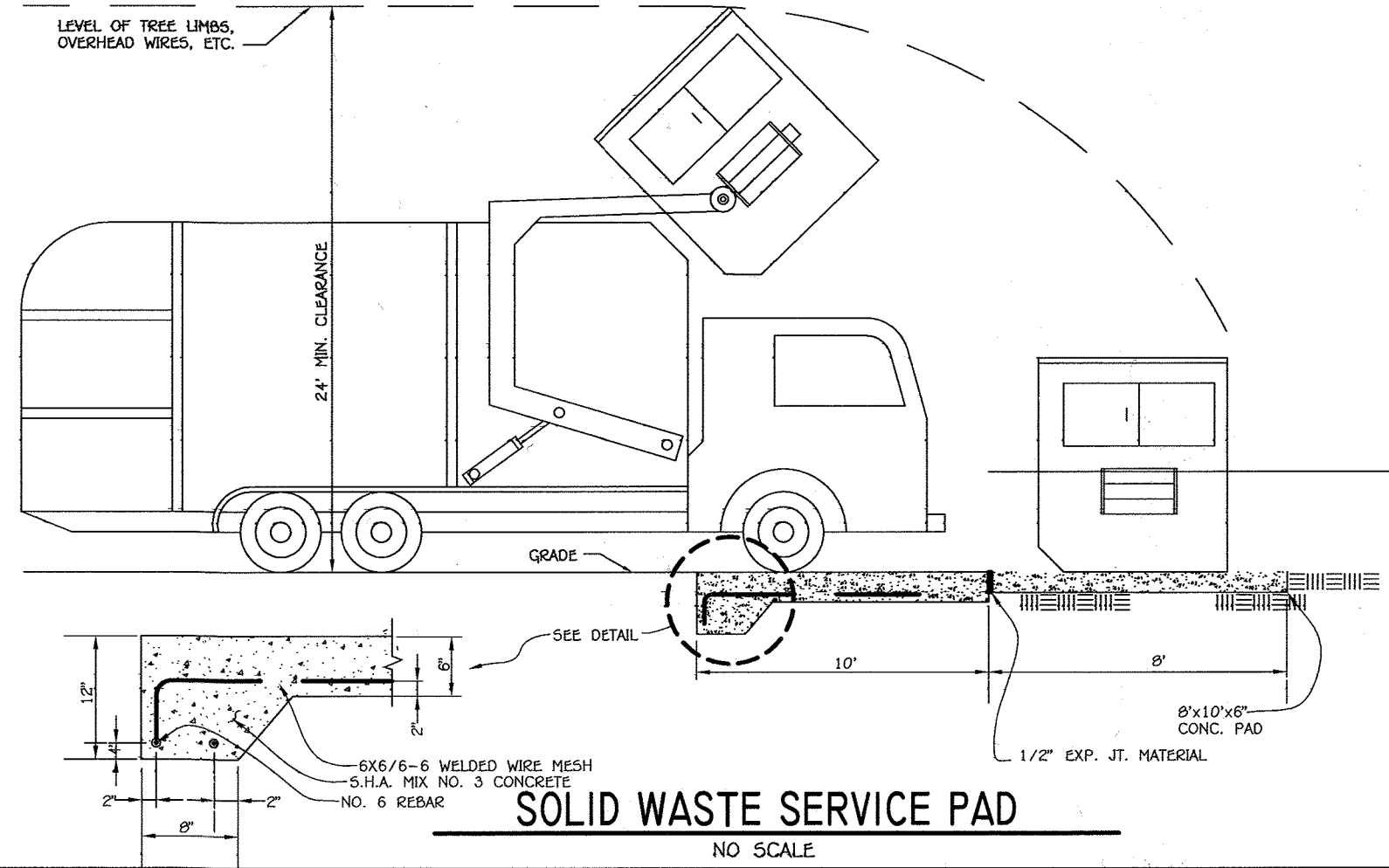
REVISION BLOCK

01/16/11	REV. PARALLEL FRONT OF BLDG. A TO CREATE OUTDOOR SEATING. REPAIR & HC STAIRS FRONT OF BLDG. B WITH STD BUILDING STAIRS
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NOTE: CONTRACTOR TO TEST PIT THE DEPTH OF THE EX. WATER MAIN AND ADJUST STORM DRAIN TO CLEAR THE WATER MAIN BY 12".

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ELEVATOR FOR BUILDING 'B'



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

REVISED SITE DEVELOPMENT PLAN

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10272 BALDWIN NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-1000

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Orkio, Sr., P.E.
10/16/12
DATE

REVISION BLOCK

07/15	REVISE CANOPY DIMENSIONS TO BUILDING 'B'
09/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE FILE BLOCK. SHOW STORM DRAIN PROFILE FOR 1-20A TO 1-20. REVISE THE HANDICAP PLAN FOR BUILDING 'C' TO SHOW ADDITIONAL WALK.
01/16/11	REV. PARALLEL FRONT OF BLDG. A TO CREATE OUTDOOR SEATING. REPAIR & HC STAIRS FRONT OF BLDG. B WITH STD BUILDING STAIRS

REVISION BLOCK

7/10/15	APPROX CANOPY CANOPY TO BUILDING 'B'
8/14/14	ADD ELEVATOR TO BUILDING 'B'
2/16/14	REVISE PLAN TO PROVIDE PLAY GRASS AREA, SIDEWALK AND REMOVE FOREST COOPERATION INFORMATION
2/15/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'
09/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE FILE BLOCK. SHOW STORM DRAIN PROFILE FOR 1-20A TO 1-20. REVISE THE HANDICAP PLAN FOR BUILDING 'C' TO SHOW ADDITIONAL WALK.

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10022 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042

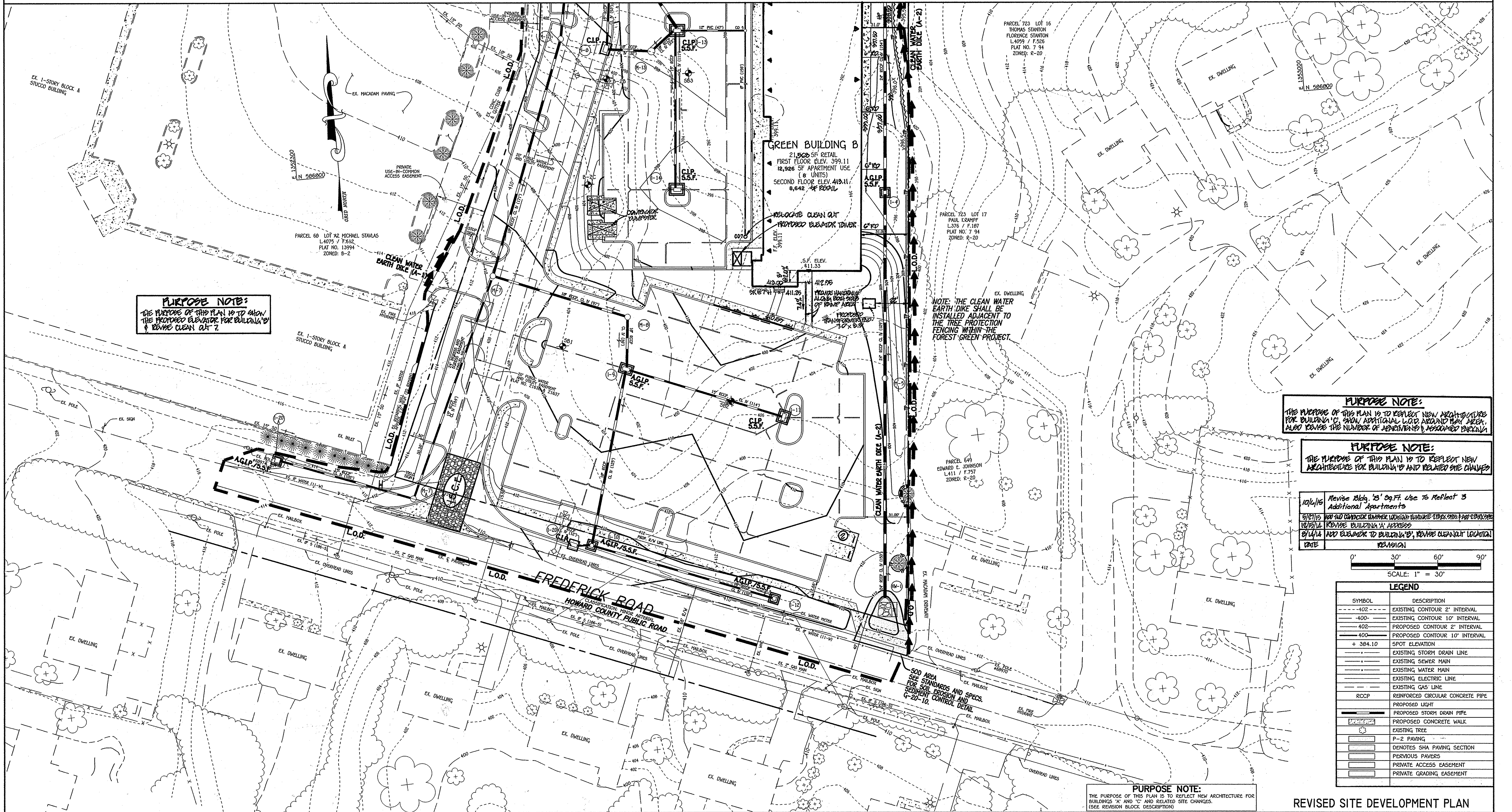
PROJECT
FOREST GREEN

PLAT	BLOCK NO.	ZONE	TAX MAP	SECTION/AREA	PARCELS	LOT
21636 & 21637	2	B-1 B-2	24	SECOND	69, 72, 453, 497 AND 1172	A

HANDICAP ACCESS PLAN AND SITE DETAILS
FOREST GREEN

PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 7 OF 42 SDP-10-036



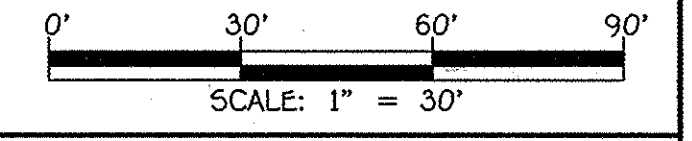
PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ELEVATOR FOR BUILDING 'B' & REMOVE CLEAN OUT 7.

NOTE: THE CLEAN WATER EARTH DIKE SHALL BE INSTALLED ADJACENT TO THE TREE PROTECTION FENCING WITHIN THE FOREST GREEN PROJECT.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'C' SHOW ADDITIONAL LOT AREA AND PLANT AREA. ALSO REMOVE THE NUMBER OF APARTMENTS ASSOCIATED THEREWITH.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

10/14/12	Revise Bldg. 'B' Sq. Ft. Use To Reflect 3 Additional Apartments
8/21/12	ADD AND REMOVE NUMBER LOCATIONS WITHIN OVERHEAD PIPE EXPOSURE
10/10/12	REMOVE BUILDING 'A' ADDRESS
8/14/12	ADD ELEVATOR TO BUILDING 'B', REMOVE CLEANOUT LOCATION
DATE	REVISION



LEGEND	
SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---400---	EXISTING CONTOUR 10' INTERVAL
-402-	PROPOSED CONTOUR 2' INTERVAL
-400-	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	RCCP REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	P-2 PAVING
---	DENOTES SHA PAVING SECTION
---	PERVIOUS PAVES
---	PRIVATE ACCESS EASEMENT
---	PRIVATE GRADING EASEMENT

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

REVISED SITE DEVELOPMENT PLAN

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2292

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Crow, Sr.* Date: 10/18/12

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *John R. Robertson* Date: 10/18/12

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Signature: *Charles J. Crow, Sr.* Date: 10/18/12

CHARLES J. CROW, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John R. Robertson* Date: 10/18/12

John R. Robertson
Howard SCD

DATE	DESCRIPTION	DATE
8/2/12	REMOVE NUMBER OF PROPOSED APARTMENTS & ASSOCIATED PARKING SPACES. REMOVE LOT TO REFLECT PLANT AREA ADDITION. REVISE PLAN TO REFLECT BUILDING 'C' ARCHITECTURE.	
8/15/12	REVISE PLAN TO PROVIDE PARKING SPACES, PARKWAY AND REMOVE PROPOSED CONCRETE INTERLOCK PAVEMENT.	
10/21/12	ADD ADDITIONAL STORM DRAIN THAT SHA WANTED TO ADD.	
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Signature: <i>Mark J. Coyle</i> Date: 11/2/12		
Director - Department of Planning and Zoning		
Signature: <i>John R. Robertson</i> Date: 10/18/12		
Chief, Division of Land Development		
Signature: <i>John R. Robertson</i> Date: 10/18/12		
Chief, Development Engineering Division		

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

SEDIMENT AND EROSION CONTROL PLAN

FOREST GREEN

PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 8 OF 42 SDP-10-036

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from forces that cause erosion.

Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to erode and more likely to retain, thereby reducing sediment loads and run-off to downstream areas, and improving wildlife habitat and visual resources.

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- Incremental Stabilization - Cut Slopes
 - All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in increments not to exceed 15'.
 - Construction sequence (Refer to Figure 3 below):
 - Excavate and stabilize all temporary ditches, side ditches, or berms that will be used to convey runoff from the excavation.
 - Perform Phase 1 excavation, dress and stabilize.
 - Perform Phase 2 excavation, dress and stabilize. Overseed Phase 1 areas as necessary.
 - Final phase excavation, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once excavation has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions to the operation of completing the operation out of the seeding season will necessitate the application of temporary stabilization.

- Incremental Stabilization of Embankments - Fill Slopes
 - Slopes shall be stabilized incrementally from the vertical height of the multiple lifts reaches.
 - Excavate and stabilize all temporary ditches, side ditches, or berms that will be used to convey runoff from the excavation.
 - At the end of each day, temporary berms and pipe slope drains should be constructed along the top edge of an embankment to intercept surface runoff and convey it down the slope in a non-erosive manner to a sediment trapping device.
 - Construction sequence (Refer to Figure 4 below):
 - Excavate and stabilize all temporary ditches, side ditches, or berms that will be used to divert runoff around the fill. Construct slope side fence on low side of fill as shown in Figure 4.
 - Place Phase 1 embankment, dress and stabilize.
 - Place Phase 2 embankment, dress and stabilize.
 - Place final phase embankment, dress and stabilize. Overseed previously seeded areas as necessary.

Note: Once the placement of fill has begun the operation should be continuous from grubbing through the completion of grading and placement of topsoil (if required) and permanent seed and mulch. Any interruptions in the operation or completing the operation out of the seeding season will necessitate the application of temporary stabilization.

SECTION 2 - TEMPORARY SEEDING

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required.

A. Seed Mixtures - Temporary Seeding

- Select one or more of the species or mixtures listed in Table 26 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Temporary Seeding summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the plans, the contractor must complete Table 26 and put it on the plans.
- For sites having soil types, pH, or other factors not listed on this table shall be deleted and the rates recommended by the testing agency shall be written in. Soil tests are not required for Temporary Seeding.

Seed Mixture (Hardiness Zone 6a)				Fertilizer Rate (10-10-10)		Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	Seeding Depth (in)	N	P2O5
1	RYE	140	3/15 - 5/31, 8/1 - 10/31	1" - 2"	600 lb/acre	2 tons/acre
2	BARLEY OR RYE PLUS FOXTAIL MILLET	150	6/1 - 7/31	1"	15 lb/1000sq ft	100 lb/1000sq ft

SECTION 3 - PERMANENT SEEDING

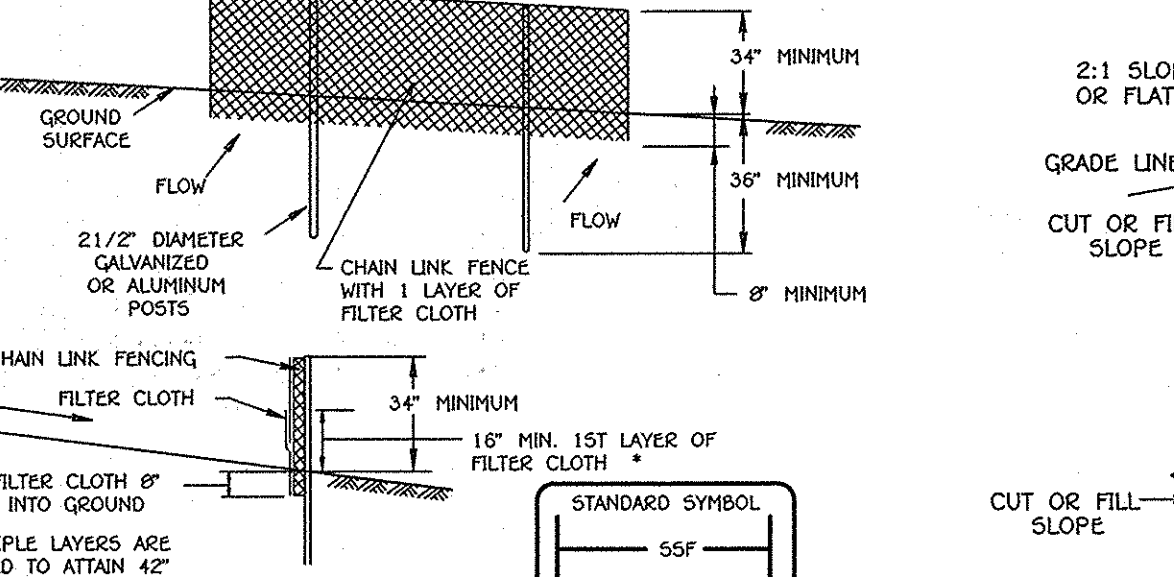
Seeding rates and frequencies to establish young cover for a minimum of one year on disturbed areas generally receiving low maintenance.

A. Seed Mixtures - Permanent Seeding

- Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardiness Zone (from Figure 5) and enter them in the Permanent Seeding summary below, along with application rates and seeding dates. Seeding rates can be estimated using Table 25. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planning is required for exceptional sites such as abandoned streets, ditches, or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special beam maintenance areas, see Sections 9.5 and 9.6.
- For sites having disturbed areas over 5 acres, the other data on this table shall be deleted and the rates recommended by the soil testing agency shall be written in.
- For areas receiving low maintenance, apply amendments (Fertilizer (46-0-0) at 3 1/2 lbs/1000 sq. ft. (100 lbs/acre), in addition to the above soil amendments shown in the table below, to be performed at the time of seeding.

Seed Mixture (Hardiness Zone 6a)				Fertilizer Rate (10-20-20)			Lime Rate
No.	Species	Application Rate (lb/acre)	Seeding Dates	N	P2O5	K2O	Rate
1	TALL FESCUE (95%) PERENNIAL RYEGRASS (5%)	125	3/15 - 6/1, 8/1 - 10/31	90 lb/acre	175 lb/acre	175 lb/acre	2 tons/acre
2	TALL FESCUE (80%) HARD FESCUE (20%)	120	3/15 - 6/1, 8/1 - 10/31	10 lb/1000sq ft	14 lb/1000sq ft	1000sq ft	1000sq ft

Note: FENCE POST SPACING SHALL NOT EXCEED 10' CENTER TO CENTER.



CONSTRUCTION SPECIFICATIONS

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, brace and stress rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be fastened to a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and all bulges removed when "bulges" develop in the fill fence, or when soil reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in. (min.)	Test: MSHT 509
Tensile Modulus	20 lbs/in. (min.)	Test: MSHT 509
Flow Rate	0.3 gal/ft. minute (max.)	Test: MSHT 322
Filtration Efficiency	75% (min.)	Test: MSHT 322

SUPER SILT FENCE

NOT TO SCALE

TOPSOIL SPECIFICATIONS

Definition: Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose: To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies: This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant growth.
- The original soil to be vegetated contains material toxic to plants.
- The soil is so acidic that treatment with limestone is not feasible.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and grading for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.

Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnsongrass, nutgrass, poison ivy, thistle, or other as specified in the Temporary Seeding summary below, along with application rates, seeding dates and seeding depths. If this summary is not put on the construction plans and completed, then Table 25 must be put on the plans. Additional planning is required for exceptional sites such as abandoned streets, ditches, or for special purposes such as wildlife or aesthetic treatment may be found in USDA-SCS Technical Field Office Guide, Section 342 - Critical Area Planting. For special beam maintenance areas, see Sections 9.5 and 9.6.

III. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at a rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures:

- For sites having disturbed areas over 5 acres:
 - Place topsoil (if required) and apply soil amendments as specified in 10.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.
 - For sites having disturbed areas over 5 acres:

IV. Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.

V. Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below.

1. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to provide amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

- Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) at the Maryland Department of the Environment under COMAR 26.04.06.
- Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

For sites having disturbed areas over 5 acres:

SEDIMENT CONTROL NOTES

I. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
- Organic content of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt content greater than 500 parts per million shall not be used.
- No soil or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 10.0 Vegetative Stabilization - Section 1 - Vegetative Stabilization Methods and Materials.

III. Topsoil Application

- When topsoil, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Oiles, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

IV. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Seeding can proceed with a minimum of additional soil preparation and tillage.

Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

V. Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below.

1. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to provide amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:

- Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) at the Maryland Department of the Environment under COMAR 26.04.06.
- Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a pH of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
- Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

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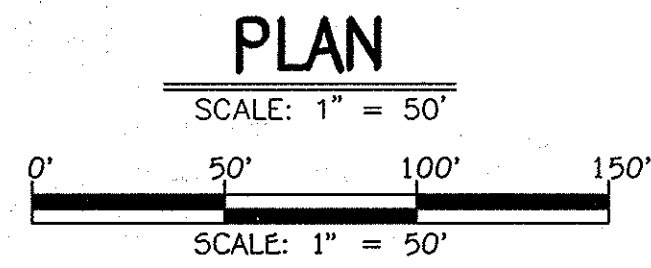
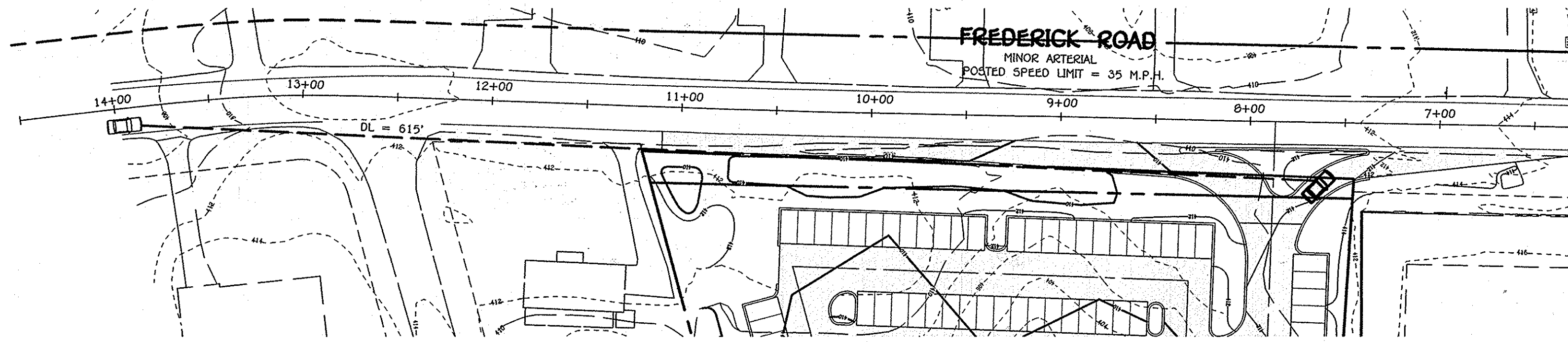
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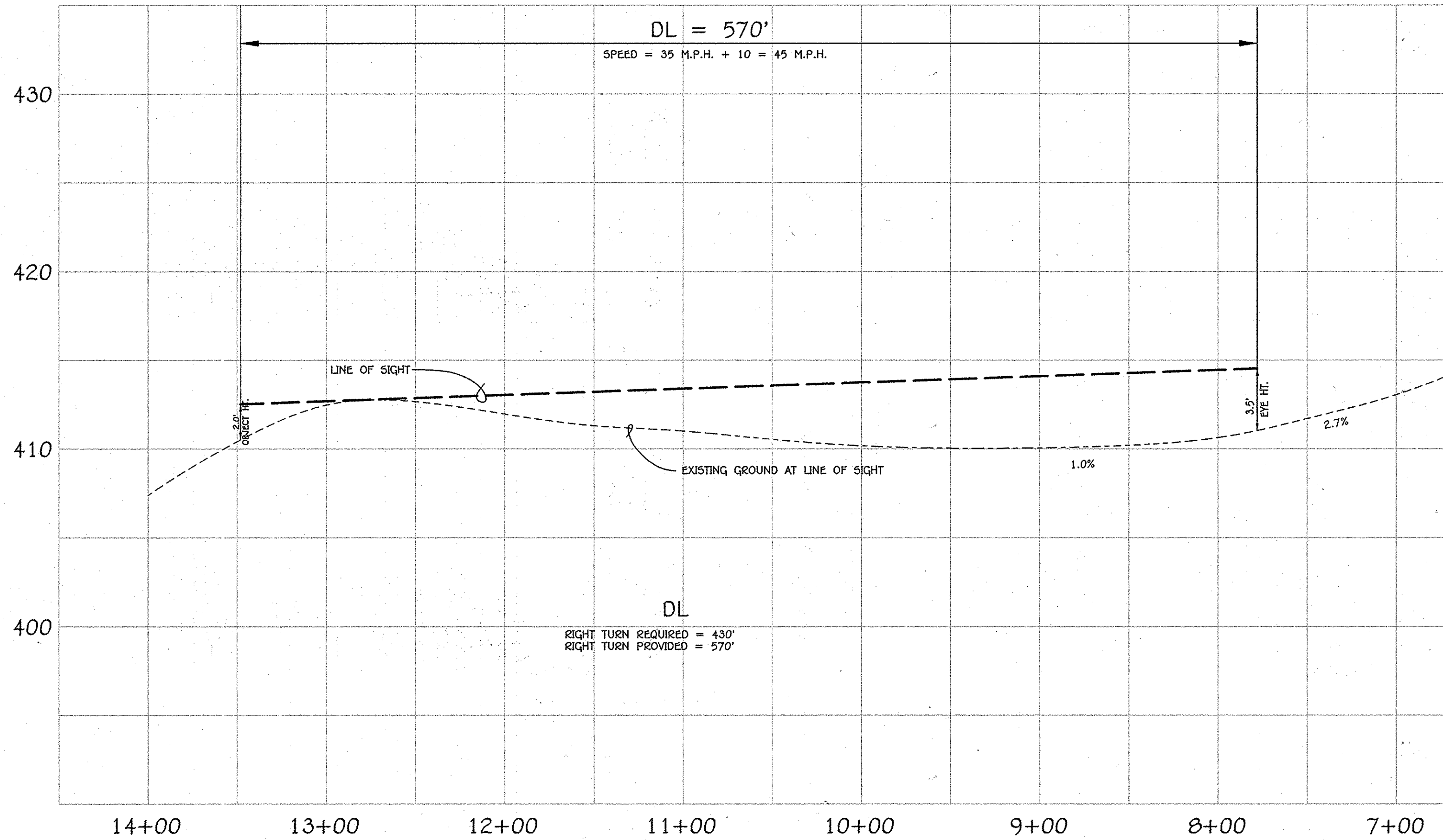
For sites having disturbed areas over 5 acres:

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FREDERICK ROAD
MINOR ARTERIAL
POSTED SPEED LIMIT = 35 M.P.H.

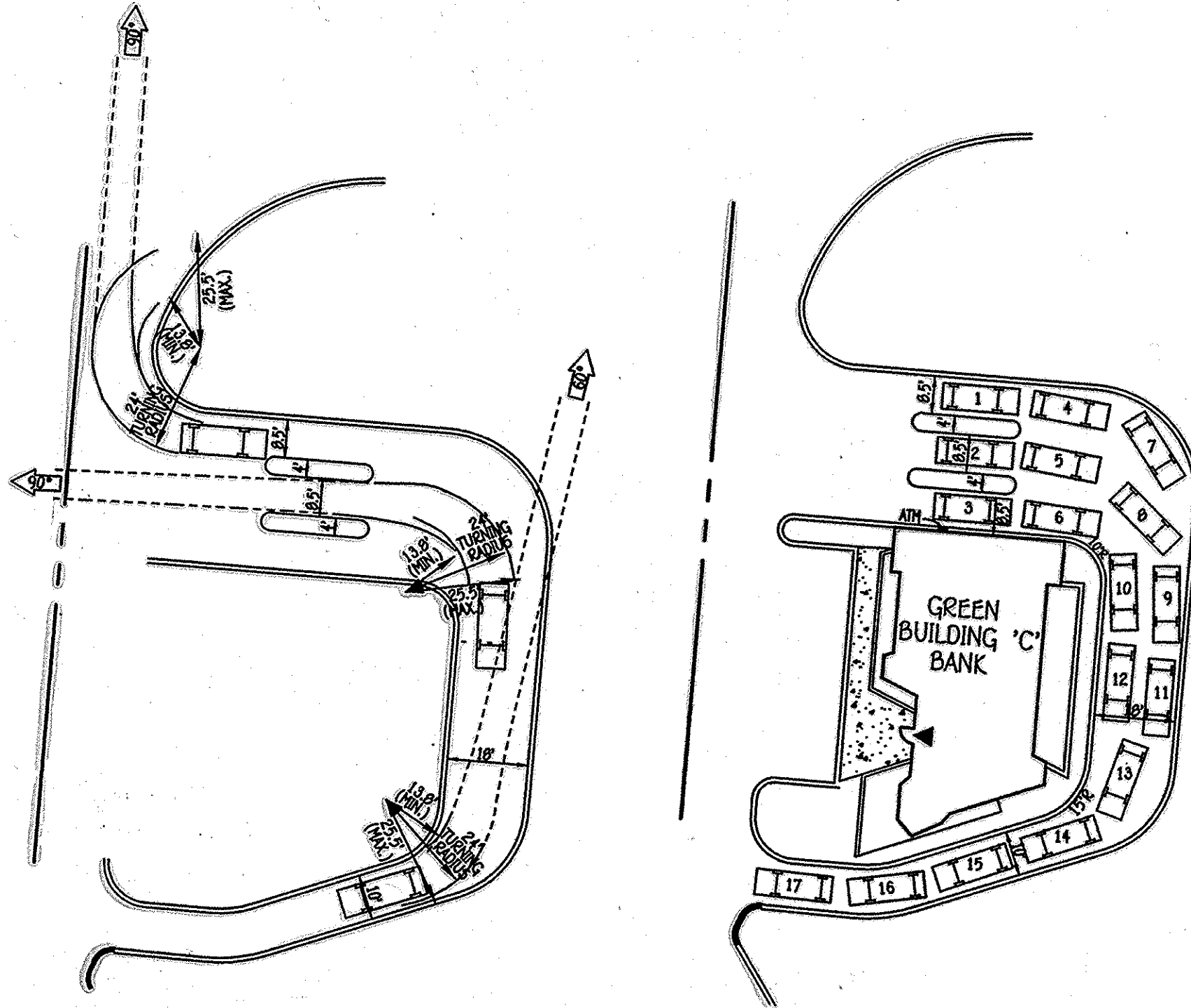


PROFILE

SCALE: HOR. : 1" = 50'
VER. : 1" = 5'

GENERAL MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

1. MAINTENANCE OF TRAFFIC SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN SECTION 104 OF THE SHA "STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS" (JULY 2006), THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUMTCD - 2006 EDITION), AND THE SHA "BOOK OF STANDARD AND SPECIFICATIONS FOR HIGHWAYS AND INCIDENTAL STRUCTURES."
2. MAINTENANCE OF TRAFFIC ALONG MD. 99 SHALL CONFORM TO THE APPROPRIATE MSHA TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATIONS (TTCTA) REFER TO SHA STANDARDS MD 104.00-01 THROUGH MD 104.01-18 FOR MAINTENANCE OF TRAFFIC GENERAL NOTES.



TURNING TEMPLATE ANALYSIS

SCALE: 1" = 30'

STACKING ANALYSIS

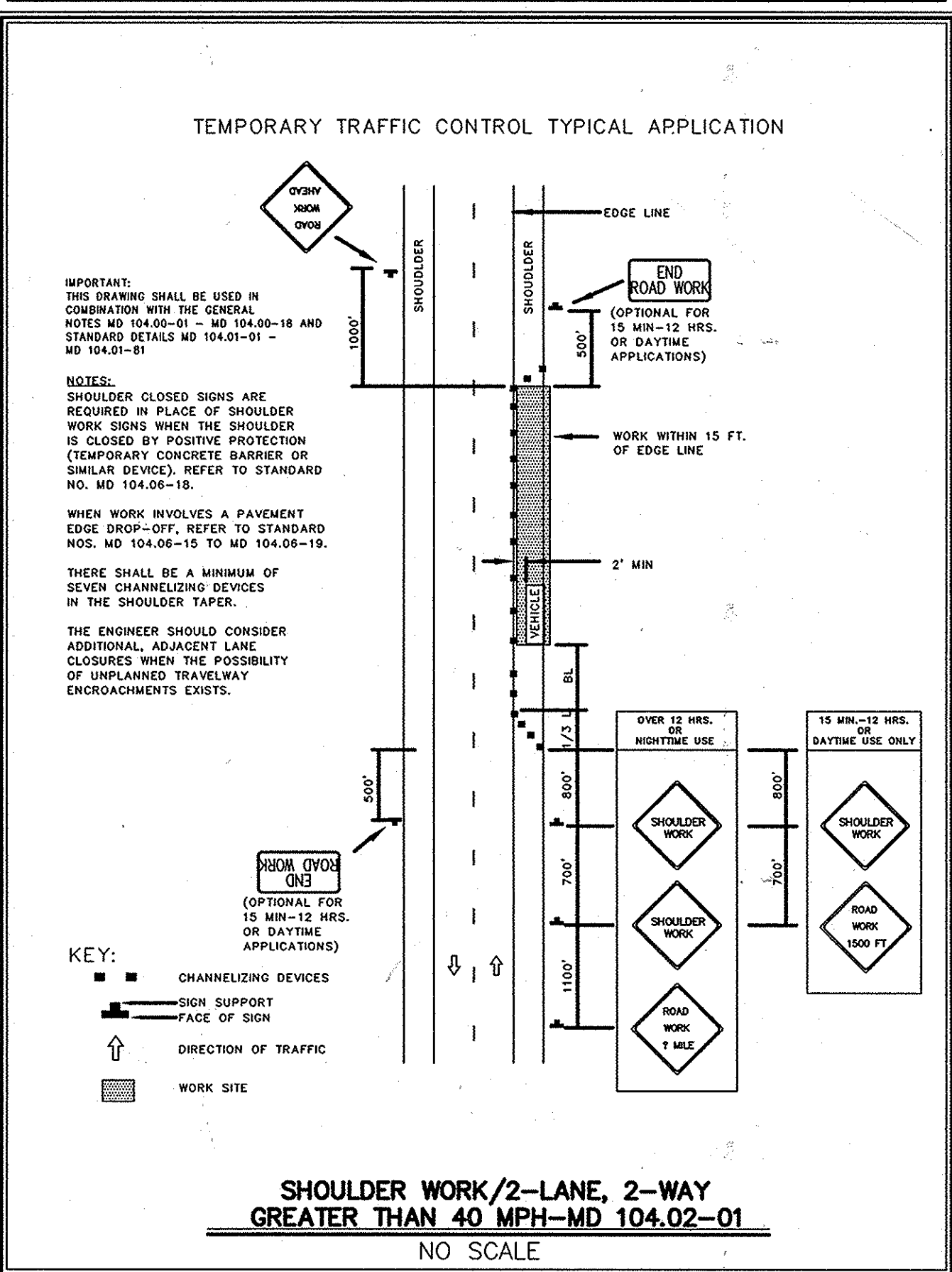
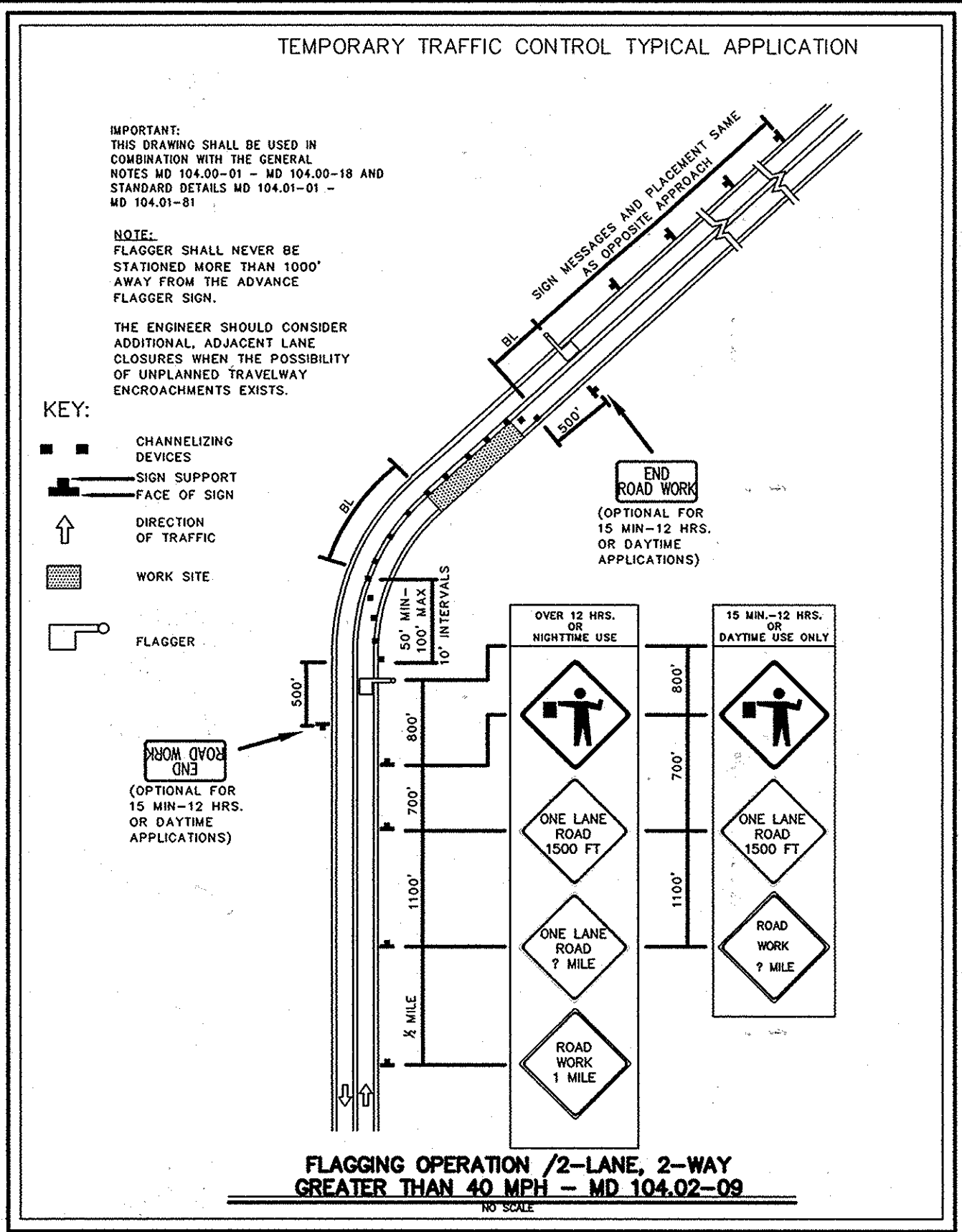
SCALE: 1" = 30'

BANK SEQUENCE OF CONSTRUCTION:

1. OBTAIN A GRADING PERMIT.
2. NOTIFY "MISS UTILITY" AT LEAST 48 HOURS BEFORE BEGINNING ANY WORK AT 1-800-257-7777. NOTIFY THE HOWARD COUNTY OFFICE OF CONSTRUCTION/INSPECTION AT 410-313-1330 24-HOURS BEFORE STARTING WORK.
3. CLEAR AND GRUB FOR SEDIMENT CONTROL MEASURES ONLY. INSTALL STABILIZED CONSTRUCTION ENTRANCE. INSTALL PROPOSED SUPER SILT FENCE AS SHOWN ON THE PLAN (1 WEEK).
4. INSTALL THE REMAINING SEDIMENT CONTROL MEASURES. THIS WOULD INCLUDE TREE PROTECTION FENCE, THE PERIMETER SUPER-SILT FENCE AND CLEAN WATER DIVERSION EARTH DIKES ALONG PERIMETER WHERE NECESSARY. (1 WEEK).
5. OBTAIN PERMISSION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING.
6. INSTALL STORM DRAIN SYSTEM AND BEGIN RETAINING WALL CONSTRUCTION.
 - A. REMOVE THE EXISTING HEADWALL AND EXTEND THE PIPE AS SHOWN ON THE PROFILE TO THE NEW MANHOLE M-1B. CONSTRUCT THE REMAINING STORM DRAIN AS SHOWN ON THE PLAN AND PROFILES TO ENCLOSE THE SYSTEM. (2 WEEKS)
7. GRADE THE REMAINING BANK SITE TO SUBGRADE. (1 WEEK)
8. INSTALL THE PERMEABLE PAVEMENT LOCATED IN THE FRONT PORTION OF THE SITE. (2 WEEKS)
9. INSTALL STORM DRAIN CONNECTION FROM PERMEABLE PAVEMENT TO M-1d AND FROM M-1d TO THE EXISTING MANHOLE M-1. INSTALL THE PROPOSED INLET I-19 TO M-1. ALSO EXTEND THE EXISTING 12" CIP PIPE FROM THE CUTOFF AT 8+40 TO PROPOSED M-1B. (1 WEEK)
10. STABILIZE ALL SLOPES IMMEDIATELY UPON COMPLETION OF GRADING AS SHOWN. (1 DAY)
11. CONTACT CONTECH TO BEGIN THE INSTALLATION OF THE PROPOSED UNDERGROUND STORM FILTER DEVICE LOCATED JUST BEYOND THE DRIVE THRU LANES. (2 WEEKS)
12. INSTALL THE PROPOSED INLET I-22 TO M-1c AND THEN ONTO THE STORM FILTER CONNECTION. (1 WEEK)
13. STABILIZE ALL AREAS AND OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING. (1 DAY)
14. INSTALL THE BASE COURSE OF PAVING FOR THE AREA OUTSIDE OF THE PERMEABLE PAVEMENT AND THE BANK DRIVE THRU LANES. (1 WEEK)
15. BEGIN CONSTRUCTION OF THE BANK BUILDING AND CONNECT THE PROPOSED UTILITIES TO THE BUILDING. (3 MONTHS)
16. INSTALL THE PROPOSED ROOF LEADERS FROM THE BANK INTO THE PROPOSED CLEANOUT SYSTEM AND INTO THE PERMEABLE PAVEMENT AS SHOWN ON THE PLAN (2 WEEKS).
17. FOLLOWING THE BUILDING CONSTRUCTION, FINE GRADE THE BANK SITE AND STABILIZE WITH PERMANENT SEEDING. (1 WEEK)
18. REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES AND PLACE PERMANENT SEEDING AS NEEDED. (1 WEEK)
19. NOTIFY HOWARD COUNTY OFFICE OF INSPECTIONS AND PERMITS FOR A FINAL INSPECTION OF THE COMPLETED PROJECT. (1 DAY)

SEQUENCE NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL EVENT AND ON A DAILY BASIS.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS "A" AND "C" AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE: P.O. BOX 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2999



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
Charles J. Crovick, Sr., P.E.
CHARLES J. CROVICK, SR., P.E.

DATE	DESCRIPTION	DATE
10/19/14	REMOVE BUILDING ADDRESS, ADD DRAINING TEMPLATE ADDRESS	
9/21/12	Remove the office reference within the title block. Provide SHA traffic maintenance details.	
	REVISION BLOCK	
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	Director - Department of Planning and Zoning	11/16/12
	Chief, Division of Land Development	11/16/12
	Chief, Development Engineering Division	11/16/12

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10099	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
B	10035	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
C	10025	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

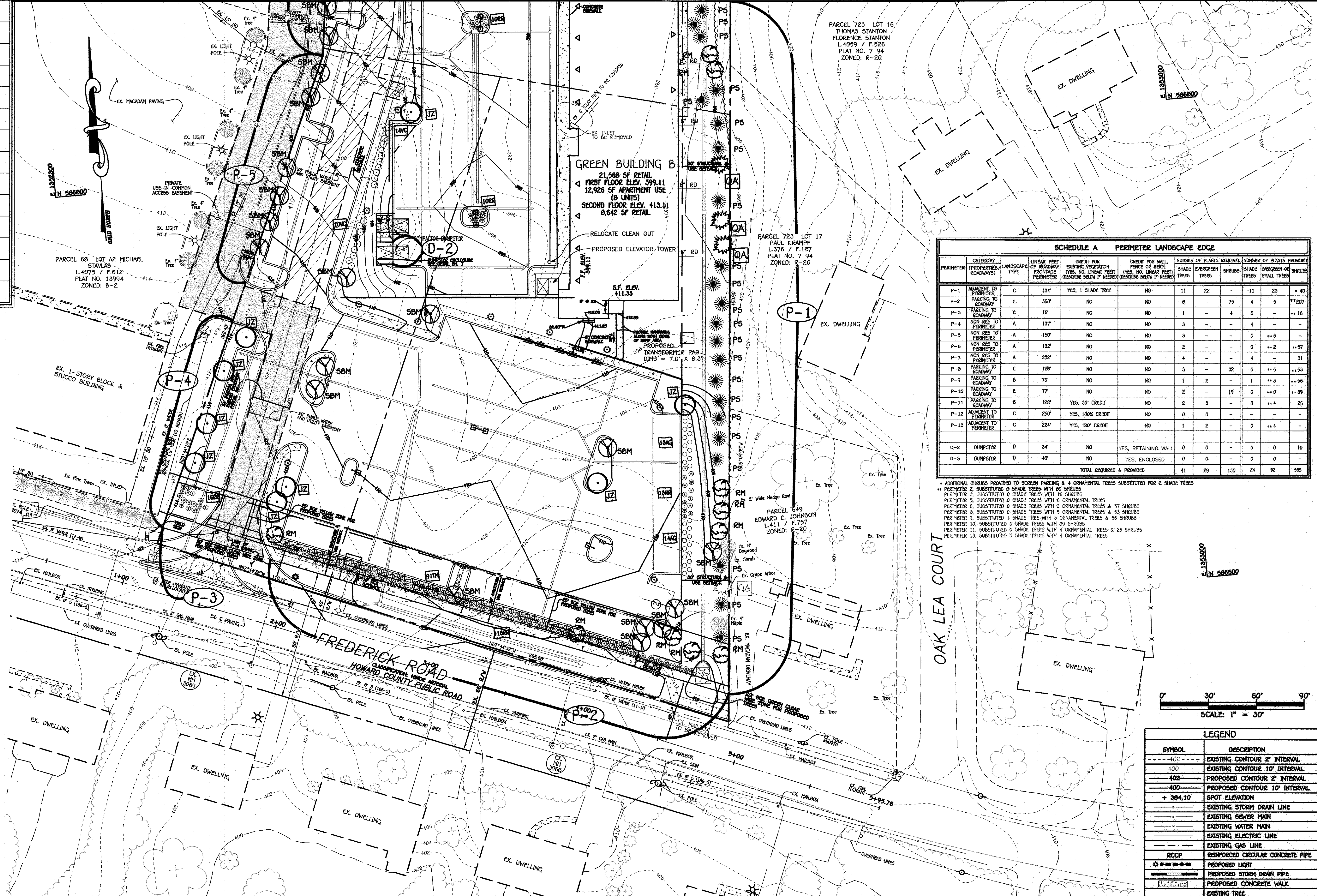
**REVISED SITE DEVELOPMENT PLAN
STOPPING SIGHT DISTANCE PLAN &
PROFILE & TRAFFIC CONTROL DETAILS**

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

LANDSCAPE LEGEND					
PARKING/PERIMETER	SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
PERIMETER SHRUB	AQ	22	ABELIA X GRANDIFLORA 'GLOSSY ABELIA'	30" - 36" HEIGHT	18" - 24" SPACING
PERIMETER SHRUB	JC	49	JUNIPERUS CHINENSIS JUNIPER	18"-24" SPREAD	18" - 24" SPACING
PERIMETER SHRUB	BM	6	BUXUS MICROPHYLLA BOXWOOD	2.5'-3' HT.	
PERIMETER SHRUB	RR	289	ROSA 'RADRAZZ' KNOCKOUT ROSE	2.5'-3' HT.	
PERIMETER SHRUB	SB	102	SPIREA X BUMALDA SPIREA	2.5'-3' HT.	
PERIMETER SHRUB	TM	133	TAXUS MEDIA YEW	2.5'-3' HT.	
PERIMETER SHRUB	VC	53	VIBURNUM CARLESII KOREAN SPICE VIBURNUM	2.5'-3' HT.	
PERIMETER & STREET SHADE	RM	10	TILIA CORDATA 'GREENSPIRE' 'LITTLELEAF LINDEN'	2 1/2 - 3' CAL.	
PERIMETER STREET & PARKING ORNAMENTAL	SBM	18	MAGNOLIA VIRGINIANA SWEETBAY MAGNOLIA	6'-8' HT.	
PERIMETER SHADE	QA	4	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2 - 3' CAL.	
PARKING	JZ	21	ZELKOVA SERRATA 'VILLAGE GREEN' 'VILLAGE GREEN JAPANAZE' ZELKOVA	2 1/2 - 3' CAL.	
PERIMETER	PS	22	PINUS STROBUS EASTERN WHITE PINE	6' - 8' HEIGHT	
PERIMETER	TC	8	CEDRUS DEODARA 'DEODAR CEDAR'	6' - 8' HEIGHT	
PERIMETER	CM	9	LAGERSTROEMIA INDICA 'GRAPE MYRTLE'	6' - 8' HEIGHT	

JZ SBM DENOTES INTERNAL LANDSCAPING

MATCH LINE SEE SHEET 13

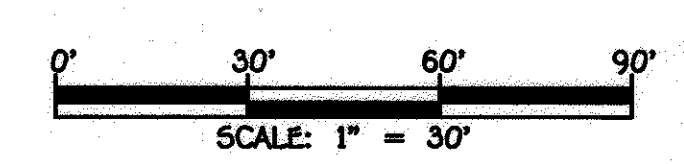


SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	307
NUMBER OF TREES REQUIRED (1/20 SP)	15
NUMBER OF TREES PROVIDED	
SHADE TREES	10
OTHER TREES (2:1 SUBSTITUTION)	5
OTHER SHRUBS (10:1 SUBSTITUTION)	60

THE PURPOSE OF THIS REPLACEMENT SHEET IS TO SHOW AS-BUILT AND REVISIONS TO THE PROPOSED LANDSCAPING.

SCHEDULE A PERIMETER LANDSCAPE EDGE									
PERIMETER	CATEGORY	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, POLE OR SIGN (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NUMBER OF PLANTS REQUIRED	SHADE TREES	EVERGREEN TREES	NUMBER OF PLANTS PROVIDED
P-1	ADJACENT TO PERIMETER	C	434'	YES, 1 SHADE TREE	NO	11	22	-	11 23 + 40
P-2	PARKING TO ROADWAY	E	300'	NO	NO	8	-	75	4 5 **207
P-3	PARKING TO ROADWAY	E	18'	NO	NO	1	-	4	0 - + 16
P-4	NON RES TO PERIMETER	A	137'	NO	NO	3	-	-	4 - -
P-5	NON RES TO PERIMETER	A	150'	NO	NO	3	-	-	0 + 6 -
P-6	NON RES TO PERIMETER	A	132'	NO	NO	2	-	-	0 + 2 + 57
P-7	NON RES TO PERIMETER	A	232'	NO	NO	4	-	-	4 - 31
P-8	PARKING TO ROADWAY	E	128'	NO	NO	3	-	32	0 + 53
P-9	PARKING TO ROADWAY	B	70'	NO	NO	1	2	-	1 + 3 + 56
P-10	PARKING TO ROADWAY	E	77'	NO	NO	2	-	19	0 + 0 + 39
P-11	PARKING TO ROADWAY	B	128'	YES, 30' CREDIT	NO	2	3	-	0 + 4 + 25
P-12	ADJACENT TO PERIMETER	C	230'	YES, 100% CREDIT	NO	0	0	-	- - -
P-13	ADJACENT TO PERIMETER	C	224'	YES, 100% CREDIT	NO	1	2	-	0 + 4 - -
D-2	DUMPSTER	D	34'	NO	YES, RETAINING WALL	0	0	-	0 0 10
D-3	DUMPSTER	D	40'	NO	YES, ENCLOSED	0	0	-	0 0 - -
TOTAL REQUIRED & PROVIDED						41	29	130	24 52 535

* ADDITIONAL SHRUBS PROVIDED TO SCREEN PARKING & 4 ORNAMENTAL TREES SUBSTITUTED FOR 2 SHADE TREES
 ** PERIMETER 2, SUBSTITUTED 0 SHADE TREES WITH 80 SHRUBS
 PERIMETER 3, SUBSTITUTED 0 SHADE TREES WITH 16 SHRUBS
 PERIMETER 5, SUBSTITUTED 0 SHADE TREES WITH 6 ORNAMENTAL TREES
 PERIMETER 6, SUBSTITUTED 0 SHADE TREES WITH 2 ORNAMENTAL TREES & 57 SHRUBS
 PERIMETER 8, SUBSTITUTED 0 SHADE TREES WITH 5 ORNAMENTAL TREES & 53 SHRUBS
 PERIMETER 9, SUBSTITUTED 1 SHADE TREE WITH 3 ORNAMENTAL TREES & 56 SHRUBS
 PERIMETER 10, SUBSTITUTED 0 SHADE TREES WITH 39 SHRUBS
 PERIMETER 11, SUBSTITUTED 0 SHADE TREES WITH 4 ORNAMENTAL TREES & 26 SHRUBS
 PERIMETER 13, SUBSTITUTED 0 SHADE TREES WITH 4 ORNAMENTAL TREES



LEGEND	
--- 402 ---	EXISTING CONTOUR 2' INTERVAL
--- 400 ---	EXISTING CONTOUR 10' INTERVAL
--- 402 ---	PROPOSED CONTOUR 2' INTERVAL
--- 400 ---	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	RCCP REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2255

DATE	DESCRIPTION
12/20/16	REPLACEMENT SHEET TO SHOW AS-BUILT & REVISIONS TO THE PROPOSED LANDSCAPING
10/6/15	REVISE BLDG 'B' SQ.FT. SQ.FT. USE TO REFLECT 3 ADDITIONAL APARTMENTS
3/27/15	ADDED PATIO ENCLOSURE, CANOPY & GATE, REVISE DUMPSTER AND AMENITY AREA
5/7/14	ADDED BUILDING 'C'/BANK, GRADING PER NEW ARCHITECTURAL
5/27/15	ADD TWO COMPACTOR DUMPSTER LOCATIONS, ELIMINATE 2 PARKING SPACES & ADD 2 PARKING SPACES
12/15/14	REVISE BUILDING 'A' ADDRESS
08/14/14	ADD ELEVATOR TO BUILDING 'B', REVISE C/O LOCATION
DATE	DESCRIPTION
	REVISION BLOCK

5/2/14 REVISE NUMBER OF PROPOSED APARTMENTS & ASSOCIATED PARKING DATA. REVISE L.L.D. TO REFLECT PLAY AREA ADDITION, REVISE PLAN TO REFLECT BUILDING 'C' ARCHITECTURE.

2/2/14 REVISE PLAN TO PROVIDE PLAY GROUND AREA, SIDEWALK AND REVISE FOREST GREEN CONSERVATION INFORMATION.

3/15/13 PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.

09/21/12 Add additional storm drain that SWA wanted to add. Remove the reference to office in the title.

DATE DESCRIPTION

REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

William J. Carter 1-25-17 Date

Director - Department of Planning and Zoning

W. J. Carter 1-25-17 Date

Chief, Division of Land Development

W. J. Carter 1-23-17 Date

Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

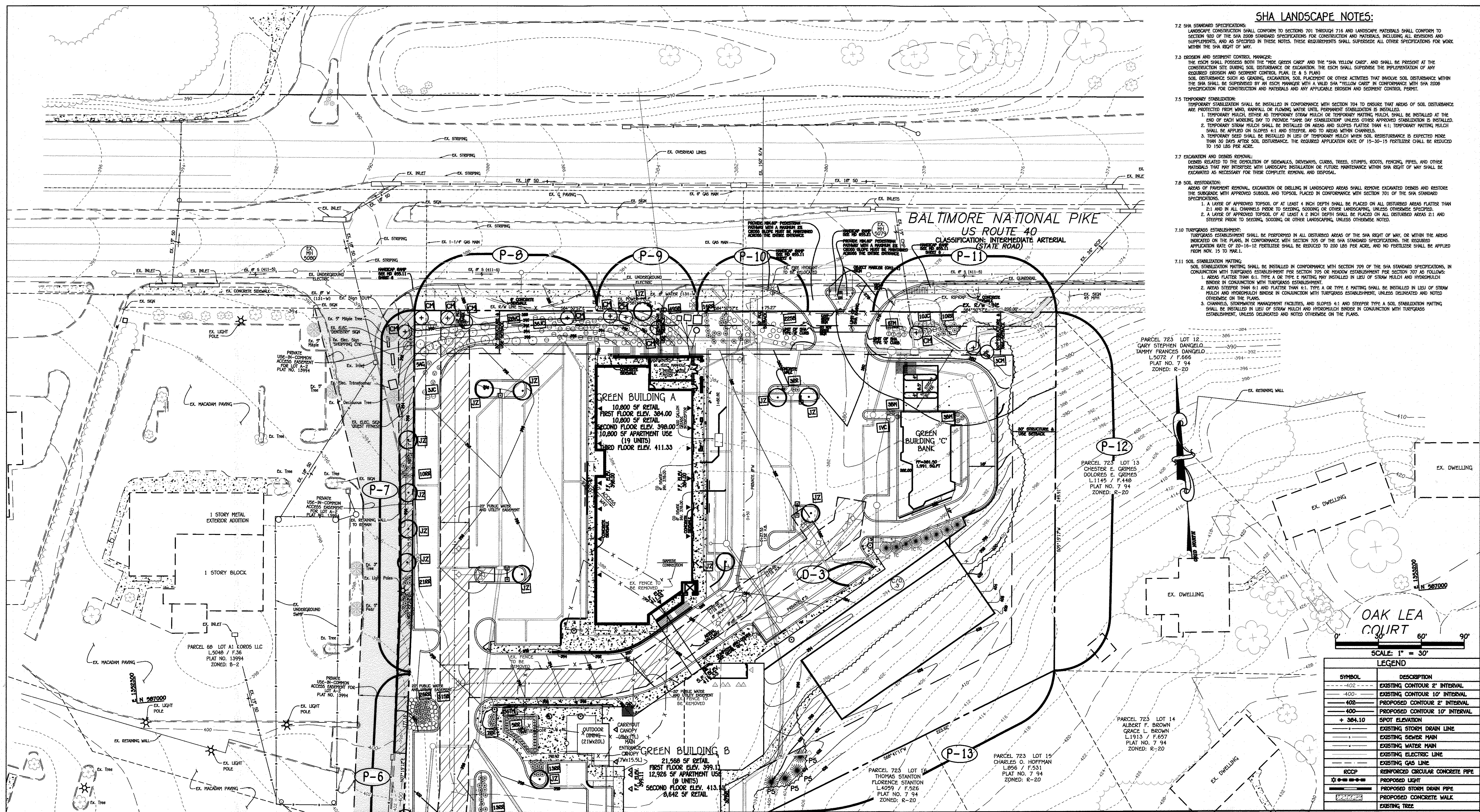
Address Chart			
BUILDING NO.	STREET ADDRESS	SECTION/AREA	PARCELS
A	10039 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042		69, 72, 453, 497 AND 1172
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042		A
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042		

REVISED SITE DEVELOPMENT PLAN LANDSCAPE PLAN
FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012

SHEET 12 OF 42 SDP-10-036

SHA LANDSCAPE NOTES:

- 7.2 SHA STANDARD SPECIFICATIONS: LANDSCAPE CONSTRUCTION SHALL CONFORM TO SECTIONS 701 THROUGH 716 AND LANDSCAPE MATERIALS SHALL CONFORM TO SECTION 920 OF THE SHA 2008 STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS, INCLUDING ALL REVISIONS AND SUPPLEMENTS, AND AS SPECIFIED IN THESE NOTES. THESE REQUIREMENTS SHALL SUPERSEDE ALL OTHER SPECIFICATIONS FOR WORK WITHIN THE SHA RIGHT OF WAY.
- 7.3 EROSION AND SEDIMENT CONTROL: THE EROSION CONTROL PLAN SHALL BE PRESENT AT THE CONSTRUCTION SITE DURING SOIL DISTURBANCE OR EXCAVATION. THE EROSION CONTROL PLAN SHALL SUPERSEDE THE IMPLEMENTATION OF ANY REQUIRED EROSION AND SEDIMENT CONTROL PLAN (C & S PLAN) SOIL DISTURBANCE SUCH AS GRADING, EXCAVATION, SOIL PLACEMENT OR OTHER ACTIVITIES THAT INVOLVE SOIL DISTURBANCE WITHIN THE SHA SHALL BE SUPERVISED BY A VALED SHA "YELLOW CARD" IN CONFORMANCE WITH SHA 2008 SPECIFICATION FOR CONSTRUCTION AND MATERIALS AND ANY APPLICABLE EROSION AND SEDIMENT CONTROL PERMIT.
- 7.5 TEMPORARY STABILIZATION: TEMPORARY STABILIZATION SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 704 TO ENSURE THAT AREAS OF SOIL DISTURBANCE ARE PROTECTED FROM WIND, GANFALL, OR FLOODING WATER UNTIL PERMANENT STABILIZATION IS INSTALLED.
 1. TEMPORARY MULCH, EITHER AS TEMPORARY STRAW MULCH OR TEMPORARY MATTING MULCH, SHALL BE INSTALLED AT THE END OF EACH WORKING DAY TO PROVIDE "GAME DAY" STABILIZATION UNLESS OTHER APPROVED STABILIZATION IS INSTALLED.
 2. TEMPORARY STRAW MULCH SHALL BE INSTALLED ON AREAS AND SLOPES FLATTER THAN 4:1. TEMPORARY MATTING MULCH SHALL BE APPLIED ON SLOPES 4:1 AND STEEPER, AND TO AREAS WITHIN CHANNELS.
 3. TEMPORARY SEED SHALL BE INSTALLED IN LIEU OF TEMPORARY MULCH WHEN SOIL RESTORATION IS EXPECTED MORE THAN 30 DAYS AFTER SOIL DISTURBANCE. THE REQUIRED APPLICATION RATE OF 15-30-15 FERTILIZER SHALL BE REDUCED TO 150 LBS PER ACRE.
- 7.7 EXCAVATION AND DEBRIS REMOVAL: DEBRIS RELATED TO THE REMOVAL OF SIDEWALKS, DRIVEWAYS, CURBS, TREES, STUMPS, ROOTS, FENCING, PIPES, AND OTHER MATERIALS THAT MAY INTERFERE WITH LANDSCAPE INSTALLATION OR FUTURE MAINTENANCE WITHIN SHA RIGHT OF WAY SHALL BE EXCAVATED AS NECESSARY FOR THEIR COMPLETE REMOVAL AND DISPOSAL.
- 7.8 SOIL RESTORATION: AREAS OF PAVEMENT REMOVAL, EXCAVATION OR DRILLING IN LANDSCAPED AREAS SHALL REMOVE EXCAVATED DEBRIS AND RESTORE THE SUBGRADE WITH APPROVED SUBSOIL AND TOPSOIL PLACED IN CONFORMANCE WITH SECTION 701 OF THE SHA STANDARD SPECIFICATIONS.
 1. A LAYER OF APPROVED TOPSOIL OF AT LEAST 4 INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS FLATTER THAN 2:1 AND IN ALL CHANNELS PRIOR TO SEEDING, SOODING, OR OTHER LANDSCAPING, UNLESS OTHERWISE SPECIFIED.
 2. A LAYER OF APPROVED TOPSOIL OF AT LEAST 4 INCH DEPTH SHALL BE PLACED ON ALL DISTURBED AREAS 2:1 AND STEEPER PRIOR TO SEEDING, SOODING, OR OTHER LANDSCAPING, UNLESS OTHERWISE NOTED.
- 7.10 TURFGRASS ESTABLISHMENT: TURFGRASS ESTABLISHMENT SHALL BE PERFORMED IN ALL DISTURBED AREAS OF THE SHA RIGHT OF WAY, OR WITHIN THE AREAS INDICATED ON THE PLANS, IN CONFORMANCE WITH SECTION 705 OF THE SHA STANDARD SPECIFICATIONS. THE REQUIRED APPLICATION RATE OF 20-18-12 FERTILIZER SHALL BE REDUCED TO 200 LBS PER ACRE, AND NO FERTILIZER SHALL BE APPLIED FROM NOV. 15 TO MAR. 1.
- 7.11 SOIL STABILIZATION MATTING: SOIL STABILIZATION MATTING SHALL BE INSTALLED IN CONFORMANCE WITH SECTION 709 OF THE SHA STANDARD SPECIFICATIONS, IN CONJUNCTION WITH TURFGRASS ESTABLISHMENT PER SECTION 705 OR MEADOW ESTABLISHMENT PER SECTION 707 AS FOLLOWS:
 1. AREAS FLATTER THAN 6:1. TYPE A OR TYPE E MATTING SHALL BE INSTALLED IN LIEU OF STRAW MULCH AND HYDROMULCH/ BINDER IN CONJUNCTION WITH TURFGRASS ESTABLISHMENT.
 2. AREAS STEEPER THAN 6:1 AND FLATTER THAN 4:1. TYPE A OR TYPE E MATTING SHALL BE INSTALLED IN LIEU OF STRAW MULCH AND HYDROMULCH/ BINDER IN CONJUNCTION WITH TURFGRASS ESTABLISHMENT, UNLESS DELINEATED AND NOTED OTHERWISE ON THE PLANS.
 3. CHANNELS, STORMWATER MANAGEMENT FACILITIES, AND SLOPES 4:1 AND STEEPER TYPE A SOIL STABILIZATION MATTING SHALL BE INSTALLED IN LIEU OF STRAW MULCH AND HYDROMULCH/ BINDER IN CONJUNCTION WITH TURFGRASS ESTABLISHMENT, UNLESS DELINEATED AND NOTED OTHERWISE ON THE PLANS.



SCALE: 1" = 30'

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE

THE PURPOSE OF THIS REPLACEMENT SHEET IS TO SHOW AS-BUILT AND REVISIONS TO THE PROPOSED LANDSCAPING. MATCH LINE SEE SHEET 12

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SERVICE OFFICE: PARC 10776 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 (410) 461-2995

DATE	DESCRIPTION
12/20/16	REPLACEMENT SHEET TO SHOW AS-BUILT & REVISIONS TO THE PROPOSED LANDSCAPING
10/6/15	REVISE BLDG 'B' SQ.FT. USE TO REFLECT 3 ADDITIONAL APARTMENTS
3/27/15	ADDED PATIO ENCLOSURE, CANOPY & GATE, REVISE DUMPSTER AND AMENITY AREA
5/7/14	ADDED BUILDING 'C'/BANK, GRADING PER NEW ARCHITECTURAL
5/27/15	ADD TWO COMPACTOR DUMPSTER LOCATIONS, ELIMINATE 2 PARKING SPACES & ADD 2 PARKING SPACES
12/15/14	REVISE BUILDING 'A' ADDRESS
08/14/14	ADD ELEVATOR TO BUILDING 'B', REVISE C/O LOCATION
	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

1-25-17
 1-25-17
 1-23-17

DATE	DESCRIPTION
5/2/14	REVISE NUMBER OF PROPOSED APARTMENTS & ASSOCIATED PARKING DATA
2/2/14	REVISE L.L.D. TO REFLECT PLAY AREA ADDITION, REVISE PLAN TO REFLECT BUILDING 'C' ARCHITECTURE
3/15/13	REVISE PLAN TO PROVIDE PLAY GROUND AREA, SIDEWALK AND REVISE FOREST CONSERVATION INFORMATION
09/21/12	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'
	ADD ADDITIONAL STORM DRAIN THAT SHA WANTED TO ADD. REMOVE THE REFERENCE TO OFFICE IN THE TITLE.

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10043 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-2	24	SECOND	6023.01

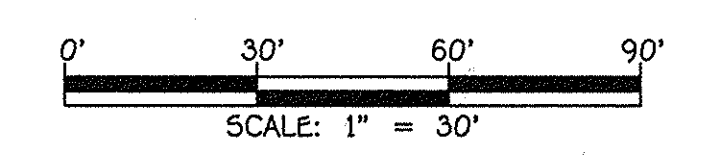
REVISED SITE DEVELOPMENT PLAN
 LANDSCAPE PLAN
FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012

SHEET 13 OF 42 SDP-10-036

SOILS LEGEND

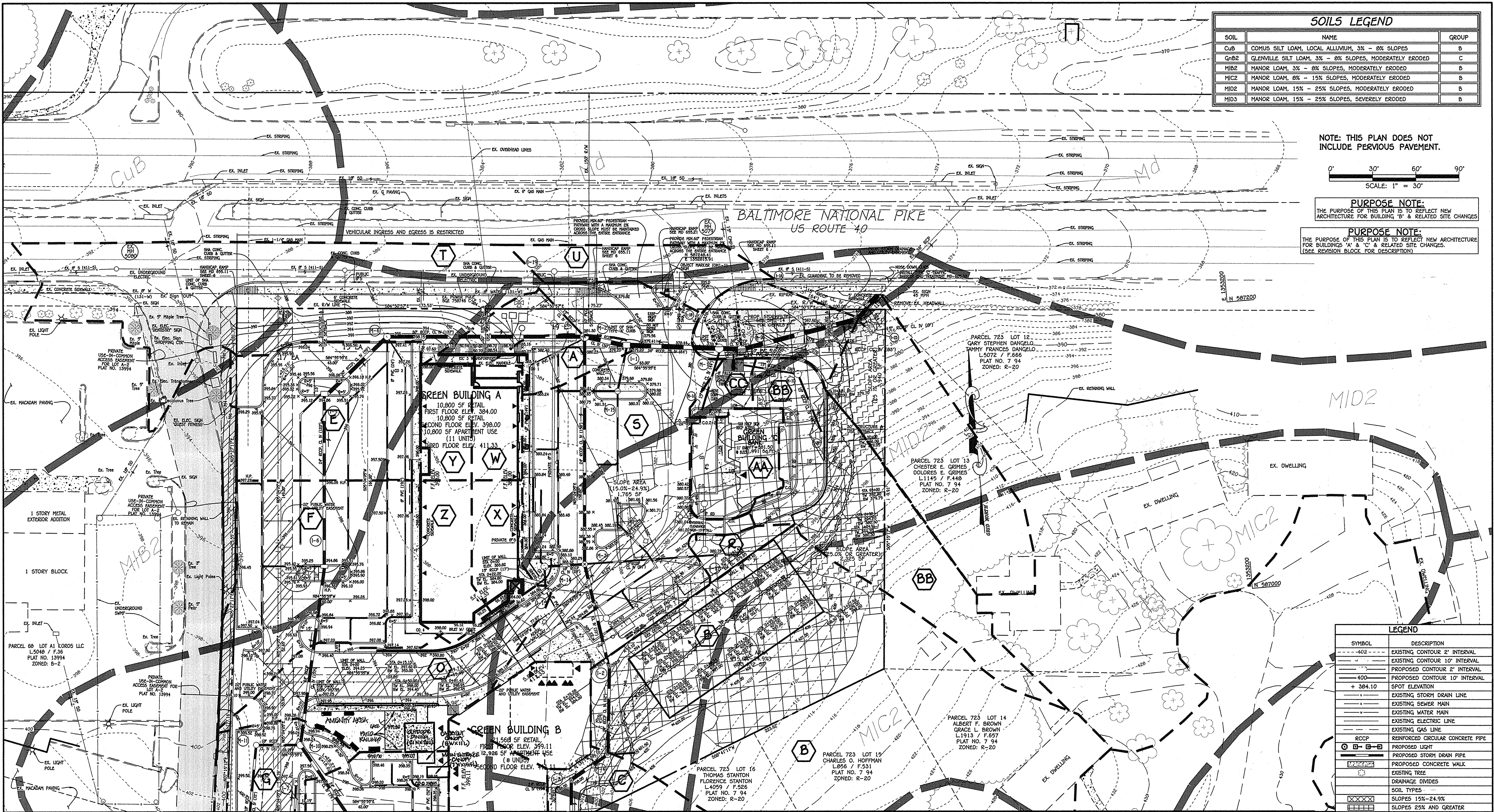
SOIL	NAME	GROUP
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3% - 8% SLOPES	B
GnB2	GLENVILLE SILT LOAM, 3% - 8% SLOPES, MODERATELY ERODED	C
MIB2	MANOR LOAM, 3% - 8% SLOPES, MODERATELY ERODED	B
MIC2	MANOR LOAM, 8% - 15% SLOPES, MODERATELY ERODED	B
MID2	MANOR LOAM, 15% - 25% SLOPES, MODERATELY ERODED	B
MID3	MANOR LOAM, 15% - 25% SLOPES, SEVERELY ERODED	B

NOTE: THIS PLAN DOES NOT INCLUDE PERVIOUS PAVEMENT.



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' & RELATED SITE CHANGES

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' & 'C' & RELATED SITE CHANGES. (SEE REVISION BLOCK FOR DESCRIPTION)



MATCH LINE SEE SHEET 15

LEGEND

SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---400---	EXISTING CONTOUR 10' INTERVAL
---400---	PROPOSED CONTOUR 2' INTERVAL
---400---	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	REINFORCED CIRCULAR CONCRETE PIPE
○	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	DRAINAGE OVDRES
---	SOIL TYPES
---	SLOPES 15%-24.9%
---	SLOPES 25% AND GREATER

REVISED SITE DEVELOPMENT PLAN

SOILS MAP AND STORM DRAIN DRAINAGE DRAINAGE AREA MAP

FOREST GREEN PARCEL A

RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
DEED REF. 11335/618, 479/581, 11334/606, 2316/614
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: FEBRUARY 4, 2015

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2855

DATE	DESCRIPTION	REVISION BLOCK
10/6/15	Revise Bldg. 'B' Sq.Ft. Use to Reflect 3 Additional Apartments	
8/7/15	REVISE CANOPY DIMENSIONS TO BUILDING 'B'	
7/10/15	ADDED CHASSIS CANOPY TO BUILDING 'B'	
8/17/15	ADDED PATIO ENCLOSURE, CANOPY & AWNINGS, REVISED DIMENSIONS & AMENITY AREA	
10/24/14	REVISE BUILDING 'C' ARCHITECTURE, ADD ADDITIONAL SWM & EXTEND RETAINING WALL #6	

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2014.

Charles J. Gajdo
CHARLES J. GAJDO, SR., P.E.
2/1/15 DATE

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'C'. SHOW STORM DRAIN TO ENCLOSE THE LOW AREA, EXTEND RETAINING WALL #6 AND PROVIDE FILL FOR THE ROUTE 40 AREA.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'C'. SHOW ADDITIONAL LOO AROUND PLAY AREA. ALSO REVISE THE NUMBER OF APARTMENTS & ASSOCIATED PARKING.

DATE	DESCRIPTION	REVISION BLOCK
5/2/14	REVISE NUMBER OF PROPOSED APARTMENTS & ASSOCIATED PARKING DATA. REVISE L.O.D. TO REFLECT PLAY AREA ADDITION. REVISE PLAN TO REFLECT BUILDING 'C' ARCHITECTURE.	
3/15/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.	
9/21/12	REVISE BUILDINGS 'A' & 'C' TO PROVIDE NEW ARCHITECTURE. SHOW ADDITIONAL WALL FOR BUILDING 'A'. ADD SHA SIDEWALK RAMPS TO PLAN & REVISE ROOF LEADER FOR BUILDING 'C'.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Marisa A. Lewis
Director - Department of Planning and Zoning

Paul E. Smith
Chief, Division of Land Development

Paul E. Smith
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

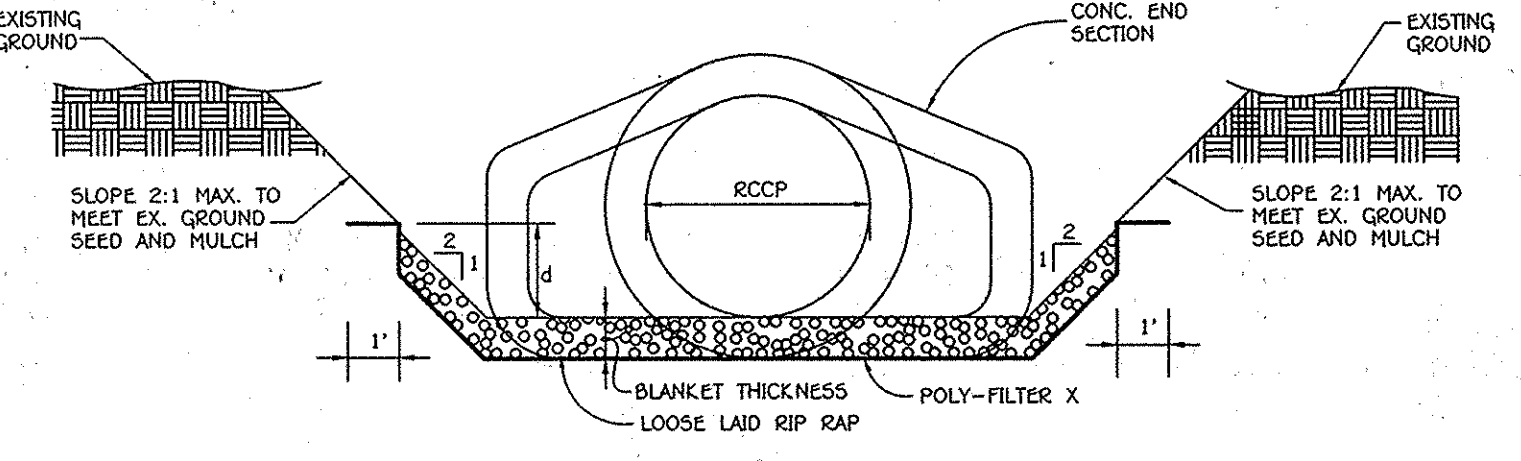
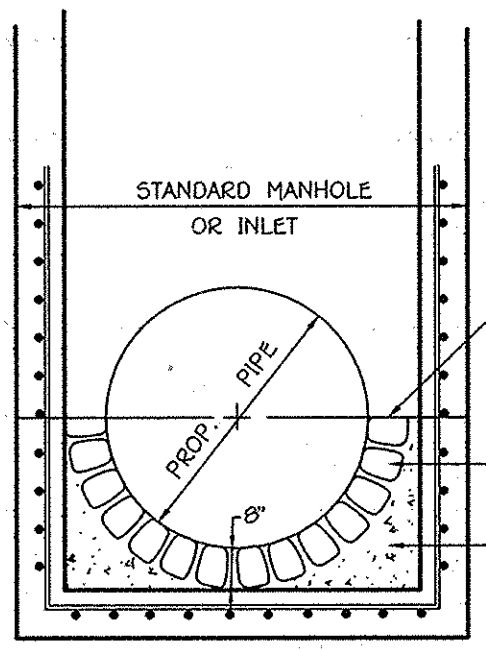
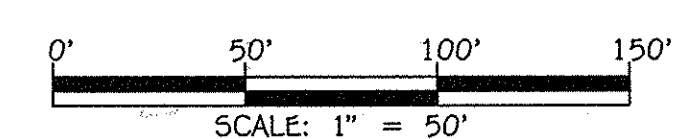
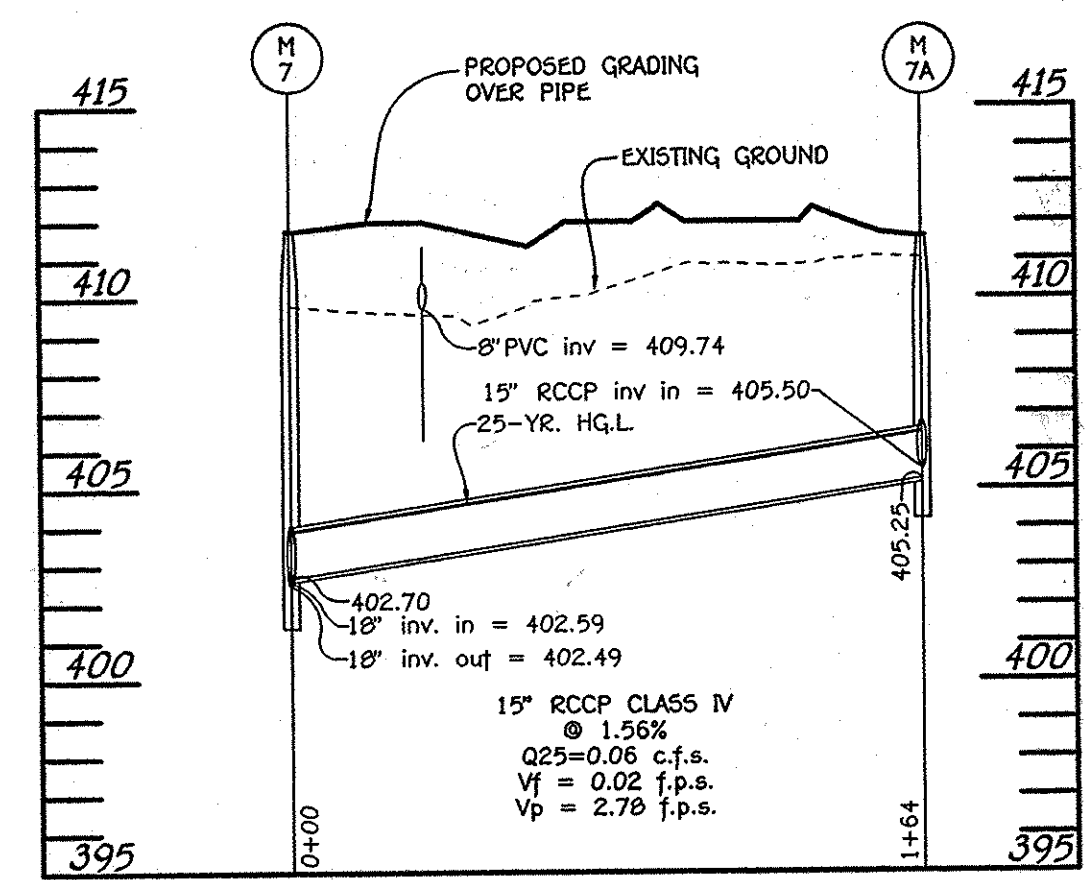
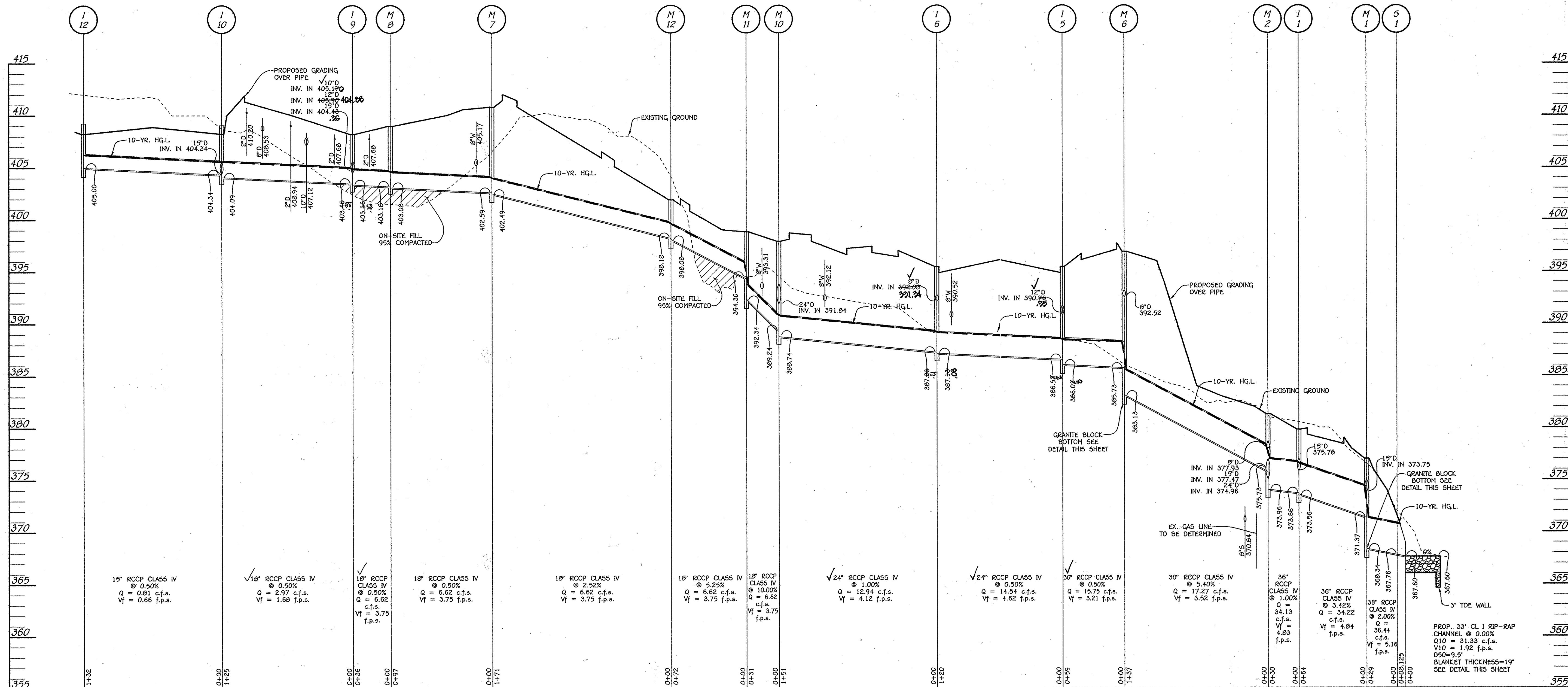
OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	-

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
11335/618, 479/642, 11334/606, 2316/614	2	B-1 B-2	24	SECOND	6023.01



CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS

- The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the riprap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogenous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.

RIP-RAP CHANNEL DESIGN DATA												
STRUCTURE	AREA	WETTED PERIMETER	R	R 2/3	S	S 1/2	W * d	n	V	Q	BLANKET THICKNESS	
S-1	563	26.00'	7.51	3.78	0.0050	0.0707	23'	0.03	0.04	1.92	31.33	9.5" 15"
HW-1	90	11.90'	0.4177	0.4177	0.0050	0.0707	10'	0.03	0.04	1.10	9.25	9.5" 15"

* - DENOTES WIDTH AT END OF 20' RIPRAP CHANNEL.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2099

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Grovo, Sr., P.E.
 CHARLES J. GROVO, SR., P.E.

DATE	DESCRIPTION	DATE
12/19/14	REVISION: CHANGE ADDRESS	
01/21/15	REMOVE THE OFFICE REFERENCES WITHIN THE TITLE BLOCK, AND REVISION DATA, BY REV. 1. DESIGN THE STORM DRAIN RECEIVE FROM VERT. 12.14.7	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas R. Suttler 8/1/11
 Director - Department of Planning and Zoning
Kevin DeLore 8/1/11
 Chief, Division of Land Development
William Danner 7/28/11
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
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 443-367-0422

OWNER
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Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

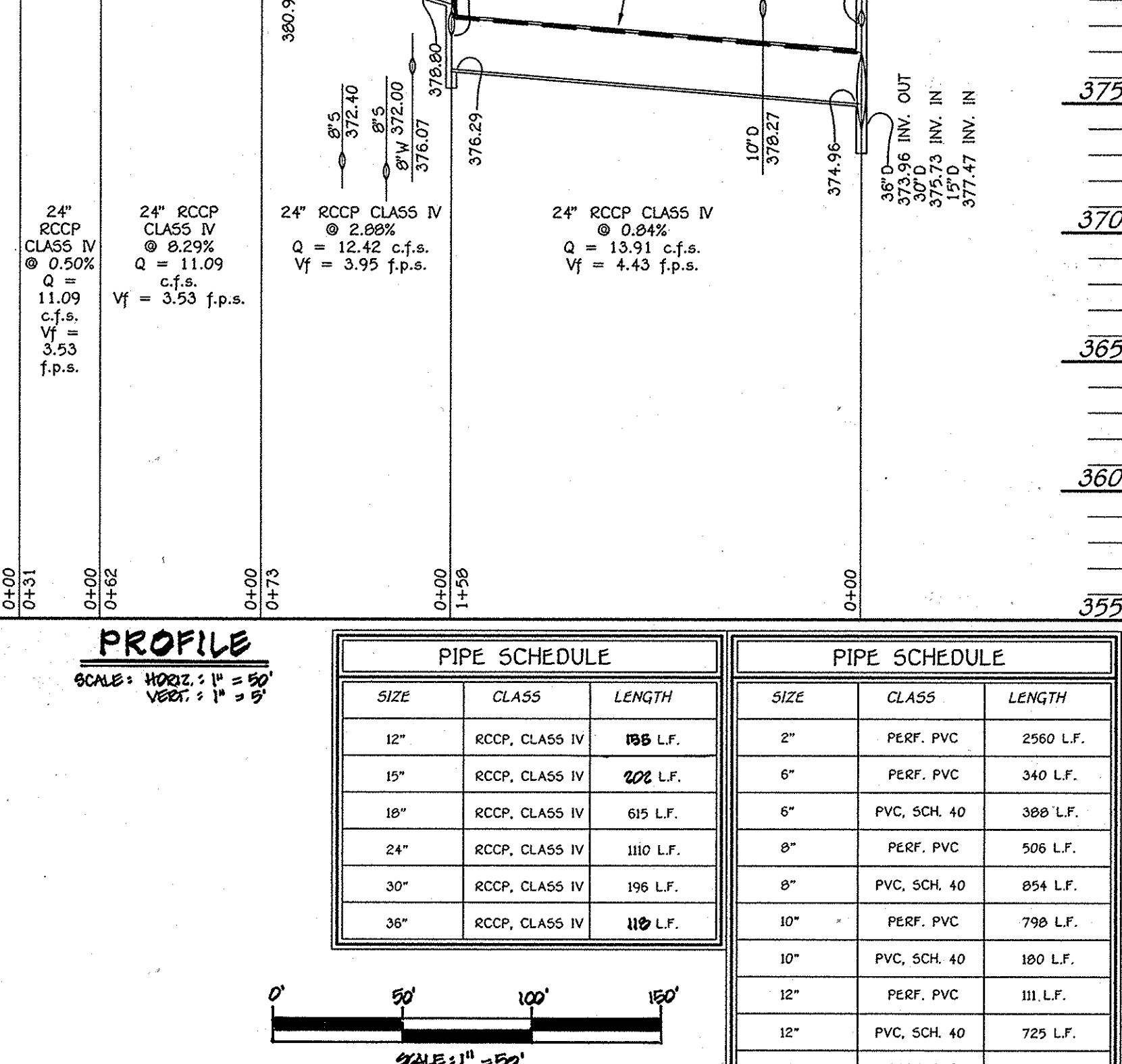
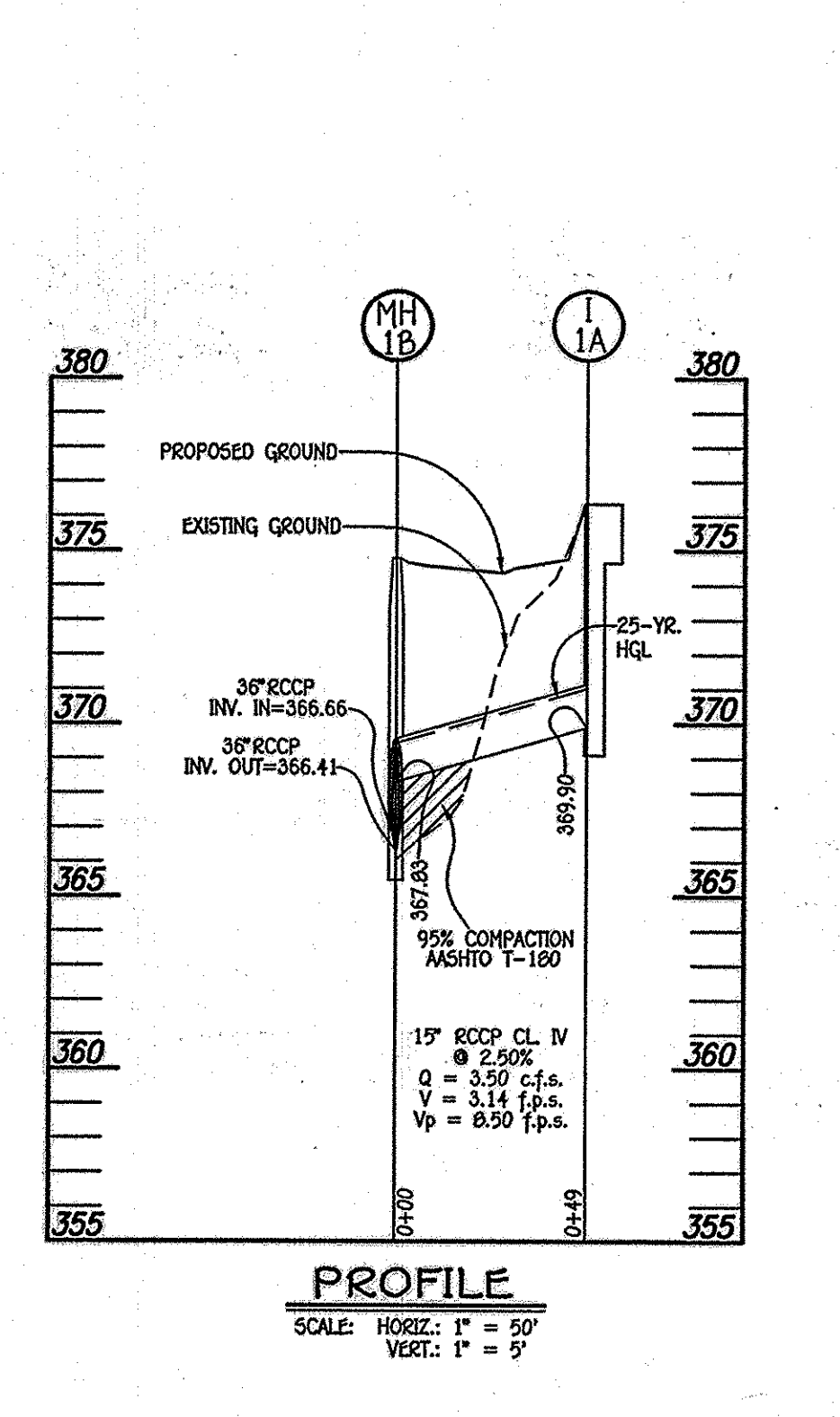
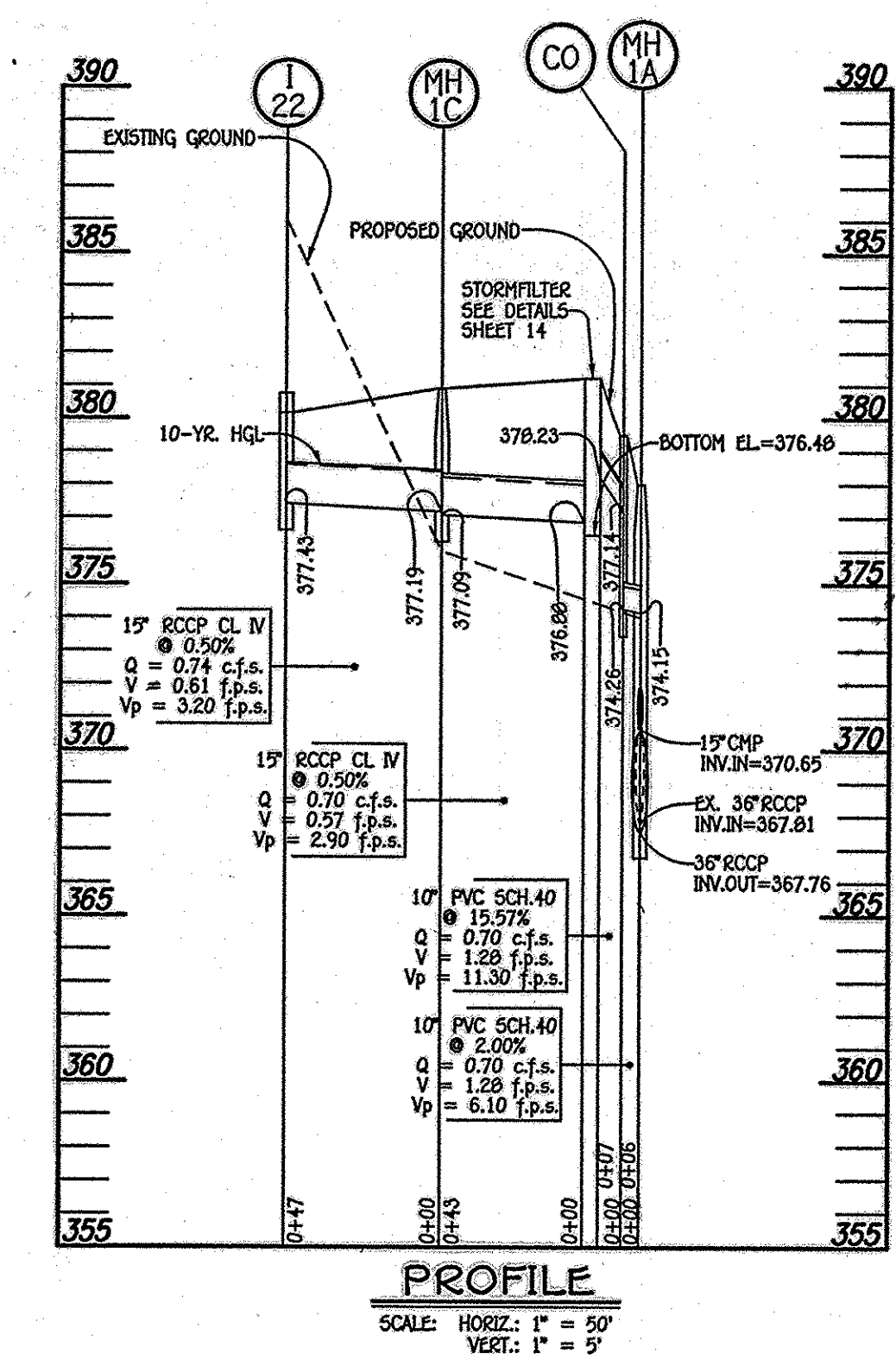
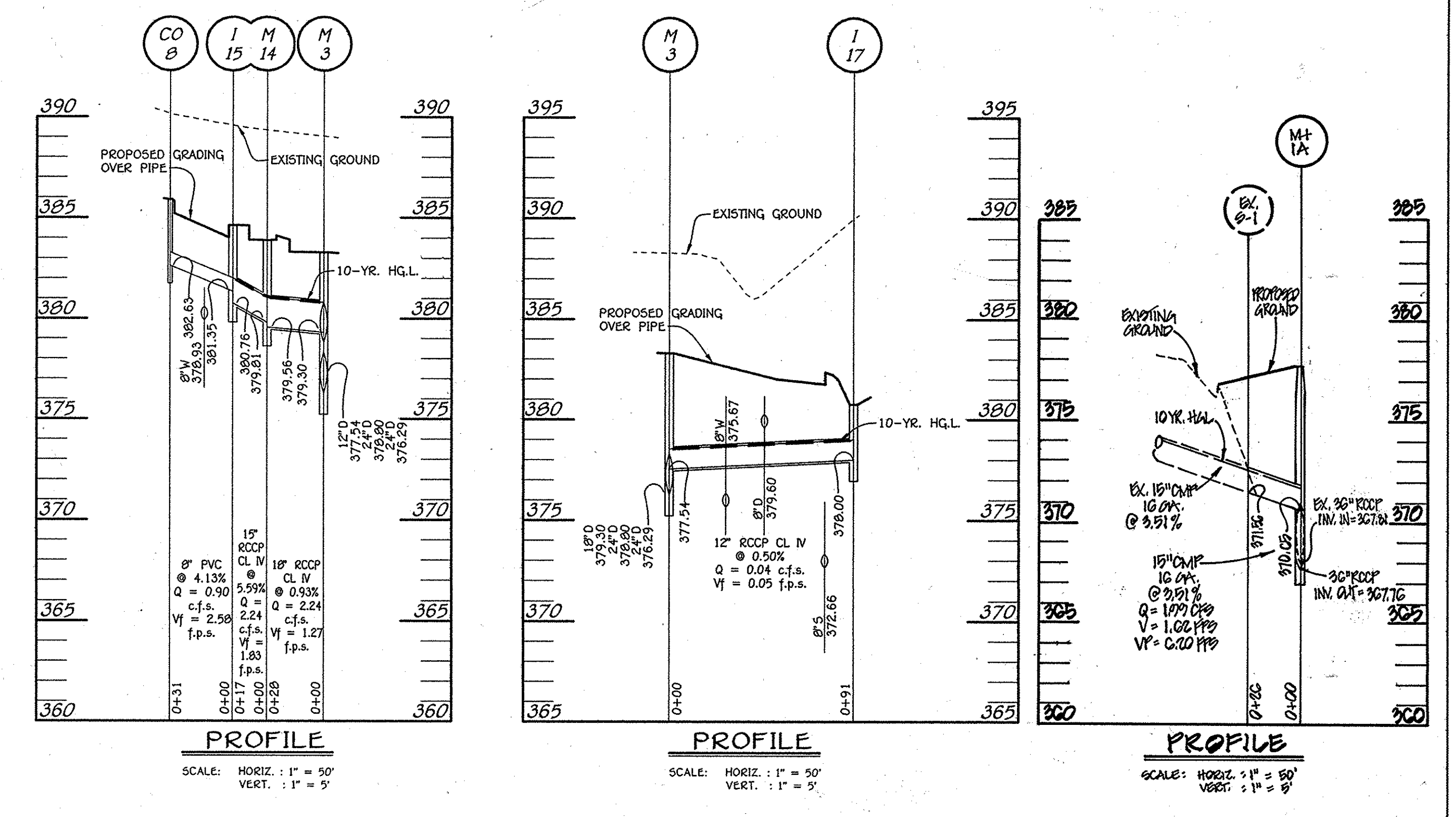
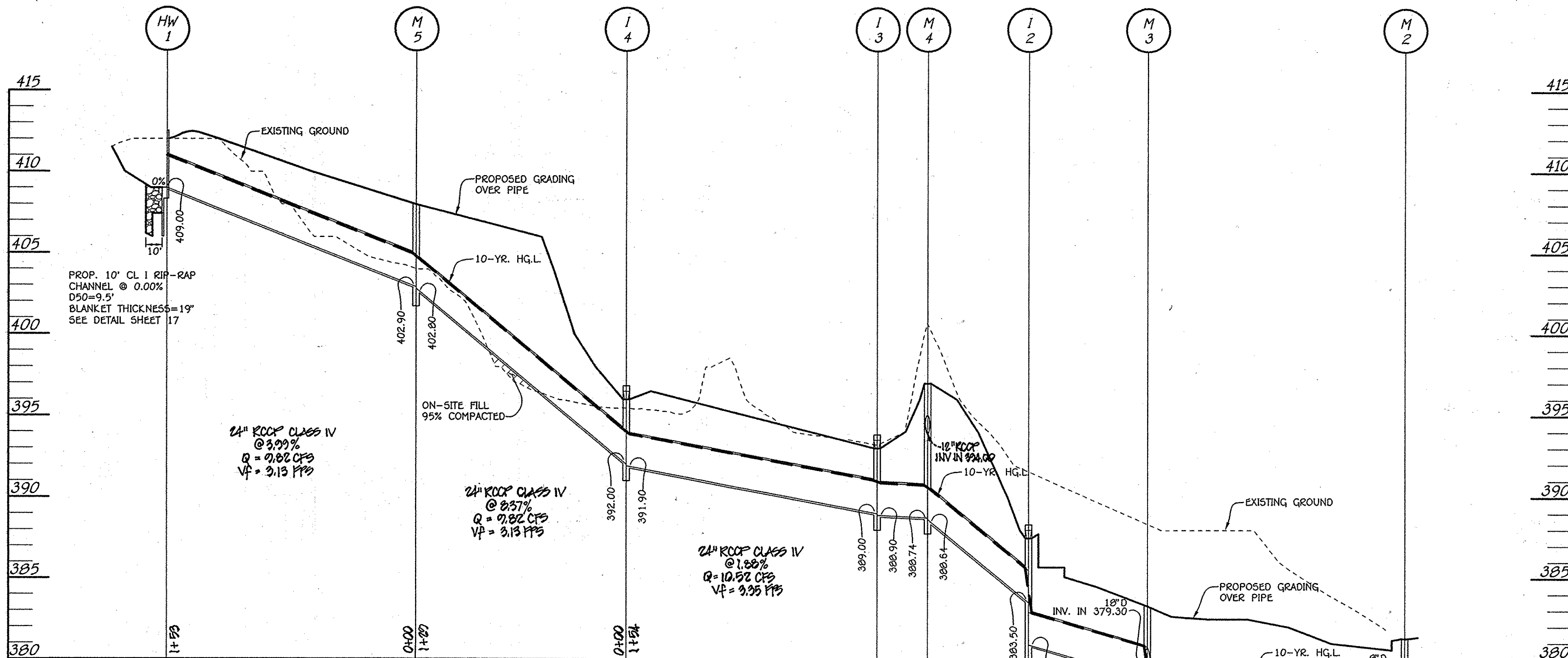
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

STORM DRAIN PROFILES AND DETAILS

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NOS. 21096 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

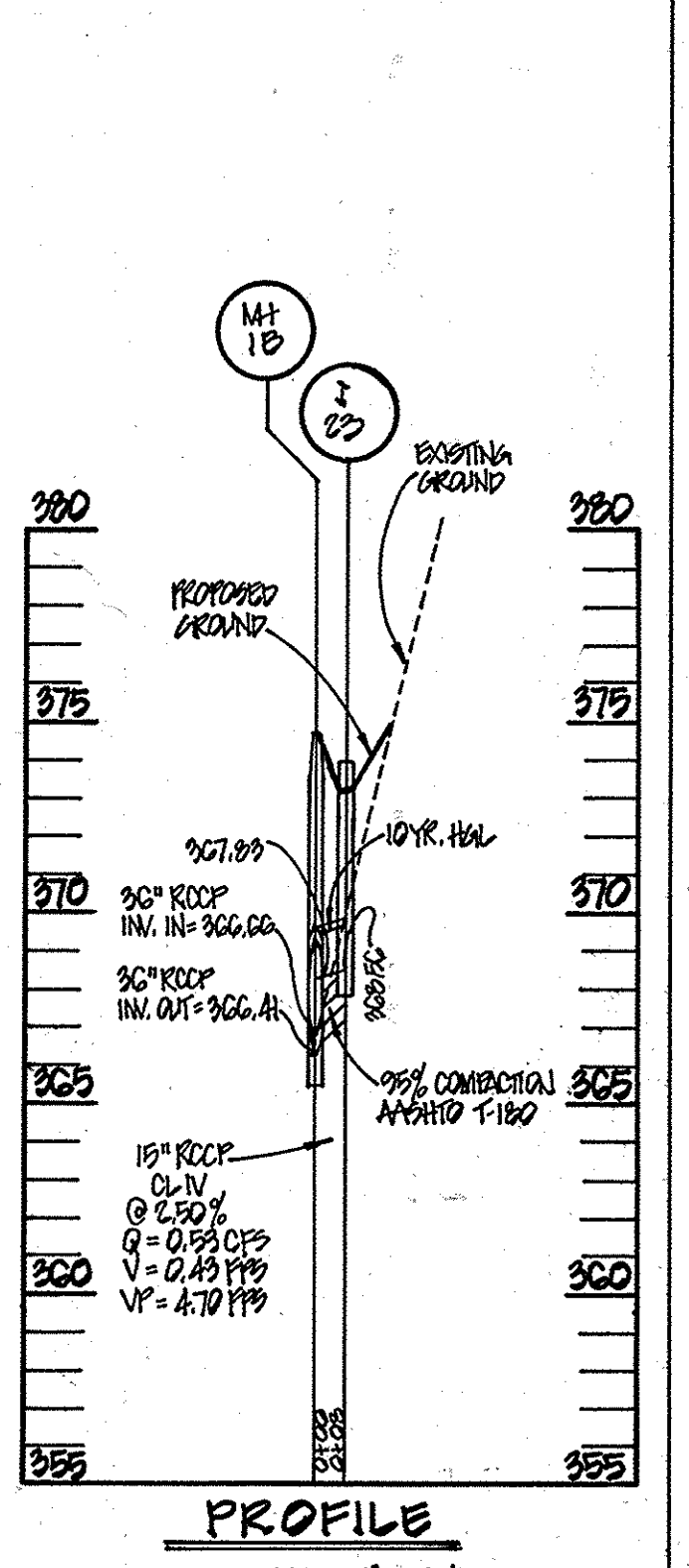
SHEET 17 OF 42 SDP-10-036

AS-BUILT



STRUCTURE SCHEDULE

STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS
I-1	379.80**	373.66 (36") 375.76 (15")	373.56 (36")	N 587204.59 E 1352783.12	4.0'	A-5	D - 4.01
I-2	387.50 *	383.50 (24")	380.90 (24")	N 586985.34 E 1352751.91	3.0'	D INLET	D - 4.10
I-3	393.00 *	389.00 (24")	388.90 (24")	N 586908.55 E 1352718.57	3.0'	D INLET	D - 4.10
I-4	396.00 *	392.00 (24")	391.90 (24")	N 586755.29 E 1352704.92	3.0'	D INLET	D - 4.10
I-5	395.46**	386.53 (24") 390.76 (12")	386.03 (30")	N 587189.56 E 1352571.76	3.5'	A-5	D - 4.01
I-6	395.46**	387.23 (24") 392.08 (8")	387.13 (24")	N 587073.01 E 1352561.42	2.5'	A-5	D - 4.01
I-7	398.02**	-	394.17 (17")	N 586924.10 E 1352530.15	3.42'	DOUBLE WR INLET	D - 4.35
I-8	401.15**	393.64 (15")	393.39 (19")	N 586971.30 E 1352522.53	3.42'	DOUBLE WR INLET	D - 4.35
I-9	408.19**	404.43(15") 403.46(18") 405.17(10") 405.90(12")	403.36 (19")	N 586648.73 E 1352515.49	2.58'	DOUBLE S	D - 4.23
I-10	408.24**	404.34 (15") 404.34 (15")	404.09 (19")	N 586528.62 E 1352480.95	2.58'	D INLET	D - 4.10
I-11	408.79**	405.00 (12") 405.00 (12") 408.00 (8")	405.00 (15")	N 586606.34 E 1352620.06	2.5'	A-5	D - 4.01
I-12	408.24**	-	405.00 (15")	N 586480.75 E 1352603.65	2.58'	D INLET	D - 4.22
I-13	397.27**	393.23(12") 392.98(15") 392.74(18") 393.17(15")	392.24 (24")	N 586878.77 E 1352571.49	2.5'	A-5	D - 4.01
I-14	397.39**	-	393.54 (15")	N 586771.20 E 1352581.95	2.5'	A-5	D - 4.01
I-15	384.62**	381.35 (8")	380.76 (15")	N 587041.95 E 1352711.69	2.5'	DOUBLE WR INLET	D - 4.35
I-17	380.75**	-	378.00 (12")	N 587055.84 E 1352831.79	2.58'	S INLET	D - 4.22 & D-4.93
I-18	380.00**	376.33 (8") 376.66 (10")	375.80 (15")	N 587193.50 E 1352888.99	2.5'	A-5	D - 4.01
I-19	380.00**	-	375.80 (15")	N 587193.50 E 1352888.99	2.5'	A-5	D - 4.01
I-20	410.23**	-	404.58 (15")	N 586529.02 E 1352487.89	2.5'	A-5	D - 4.01
M-1	377.00	371.37 (36") 373.75 (15")	373.75 (15")	N 587118.78 E 1352874.00	2.5'	6" STD. MANHOLE	G - 5.13
M-2	381.30	377.93(8") 374.98(24") 375.73(30") 377.47(15")	373.96 (36")	N 587214.98 E 1352754.90	-	6" STD. MANHOLE	G - 5.13
M-2E	380.76**	-	377.45 (15")	N 587193.02 E 1352894.14	2.58'	6" INLET	D - 4.12 & D-4.93
M-4	378.00	380.74 (24") 394.00 (18")	388.64 (24")	N 586923.99 E 1352745.29	-	4" STD. MANHOLE	G - 5.12
M-1A	378.00	374.15 (10") 367.81 (8") 370.05 (15")	367.70 (20")	N 587197.86 E 1352883.96	-	6" STD. MANHOLE	G - 5.18
M-1B	374.86	367.83 (15") 366.66	366.41 (30")	N 587211.50 E 1352845.18	-	6" STD. MANHOLE	G - 5.13
M-1C	380.00	377.00 (15")	377.00 (15")	N 587211.50 E 1352845.18	-	6" STD. MANHOLE	G - 5.13
M-2A	410.23**	-	404.58 (15")	N 586529.02 E 1352487.89	2.5'	A-5	D - 4.01
M-2B	410.23**	-	404.58 (15")	N 586529.02 E 1352487.89	2.5'	A-5	D - 4.01
M-2C	377.00	369.24 (15") 371.84 (12")	368.74 (24")	N 587197.86 E 1352883.96	-	6" STD. MANHOLE	G - 5.18
M-11	398.82	394.30 (18")	392.34 (18")	N 586952.07 E 1352503.51	-	4" STD. MANHOLE	G - 5.12
M-12	401.90	398.18 (18")	392.87 (18")	N 586681.42 E 1352490.60	-	4" STD. MANHOLE	G - 5.12
M-13	397.58	393.07 (18") 393.18 (8")	392.87 (18")	N 586867.32 E 1352552.34	-	5" MOD. MANHOLE	MD-384.03 & SHEET 39
M-14	383.90	379.81 (15")	379.56 (18")	N 587058.10 E 1352713.11	-	5" MOD. MANHOLE	MD-384.03 & SHEET 39
M-15	381.50	377.53 (12") 378.11 (10")	376.28 (15")	N 587175.28 E 1352774.29	-	4" STD. MANHOLE	G - 5.12
S-1	370.60	-	367.60 (36")	N 587195.23 E 1352875.89	-	38" CONC. END SECT	D - 5.51
HW-1	412.50	-	409.00 (24")	N 586474.35 E 1352660.02	-	TYPE A HEADWALL	D - 2.11



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10722 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2895

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 3, 2012."

Charles J. Capvo, Sr., P.E.
 CHARLES J. CAPVO, SR., P.E.



5/31/11
 DATE

REVISION BLOCK

DATE	DESCRIPTION
10/19/11	REMOVE BUILDING ADDRESS FROM GREEN BUILDINGS TO SHOW NEW ARCHITECTURE, REMOVE EXISTING VEGETATION
2/16/12	ADD ADDITIONAL INLET FROM NEW I-21 TO M-1
9/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK, ADD 2-DIMED STRUCTURE SCHEDULE, ADD VEGETATION INFORMATION TO THE STRUCTURE SCHEDULE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Dorcas Z. Siddle
 Director - Department of Planning and Zoning
 Date: 8/16/11

Kevin S. Shulman
 Chief, Division of Land Development
 Date: 8/21/11

Charles J. Capvo, Sr.
 Chief, Development Engineering Division
 Date: 7/28/11

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10022 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

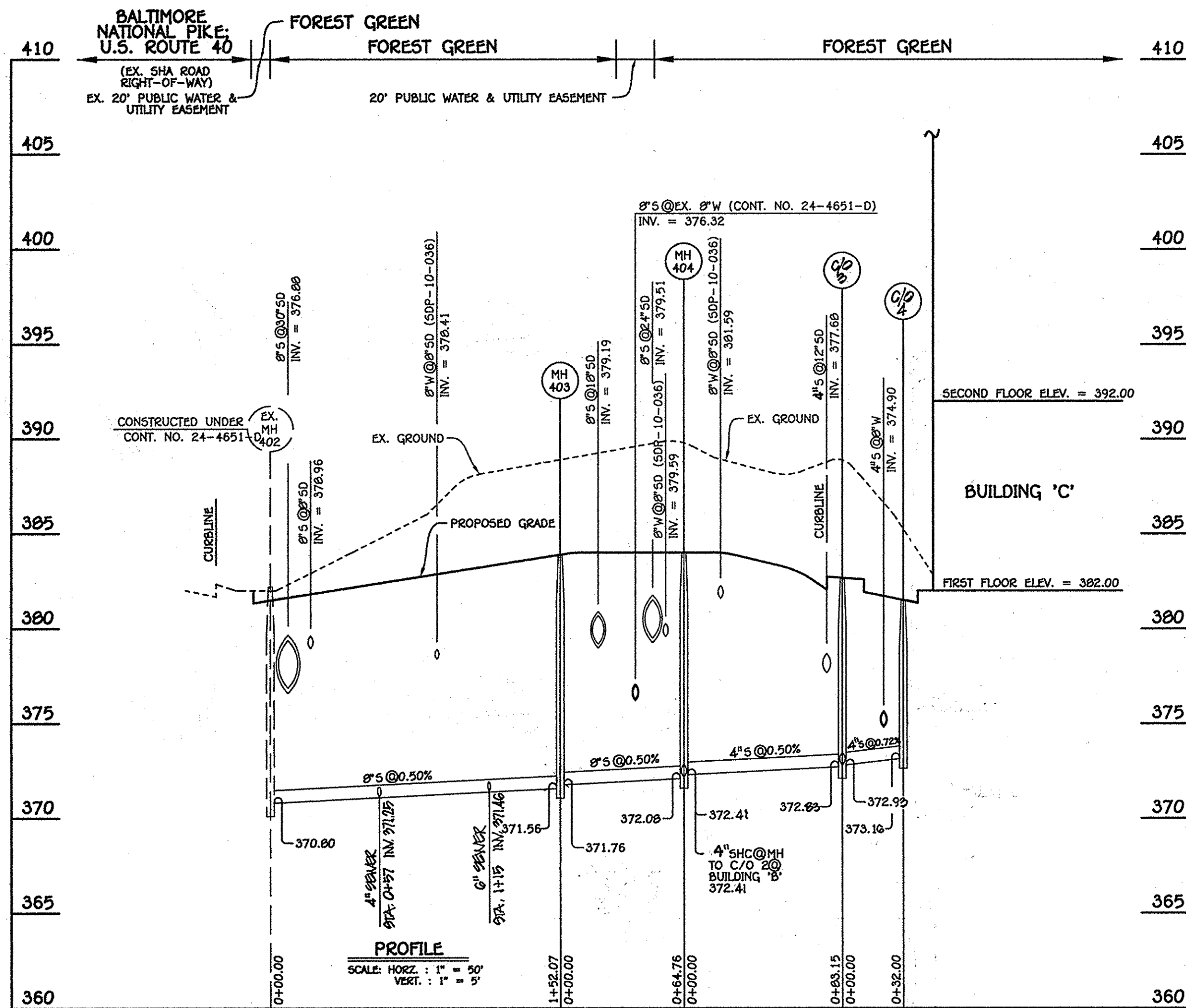
PROJECT: FOREST GREEN
 FLAT: 21029 & 21037
 BLOCK NO.: 2
 ZONE: B-1, B-2
 TAX MAP: 24
 ELEC. DIST.: SECOND
 CENSUS TR.: 6023.01

STORM DRAIN PROFILES AND STRUCTURE SCHEDULE

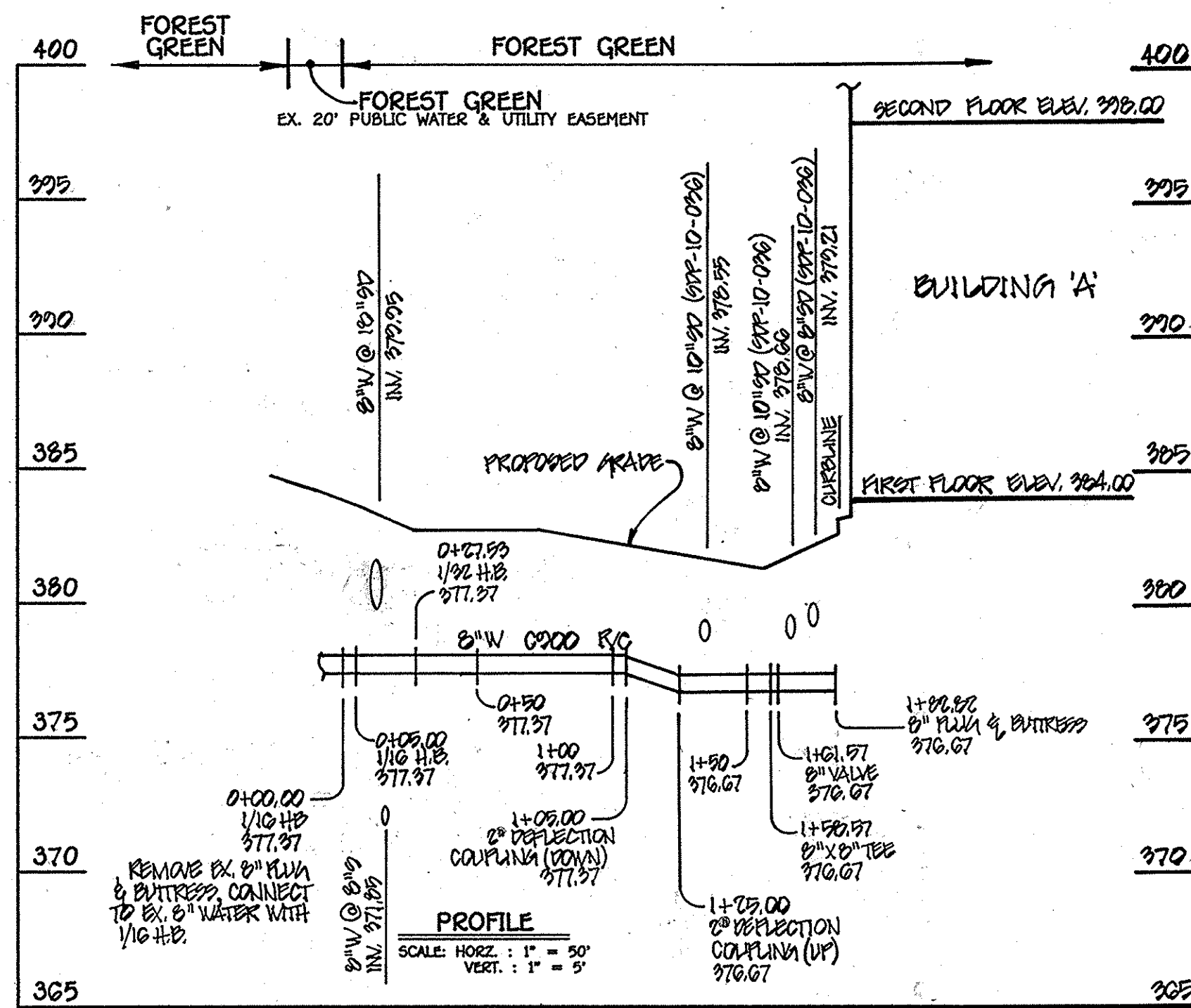
FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2

TAX MAP No.: 24 GRID No.: 2
 PLAT No.: 21029 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

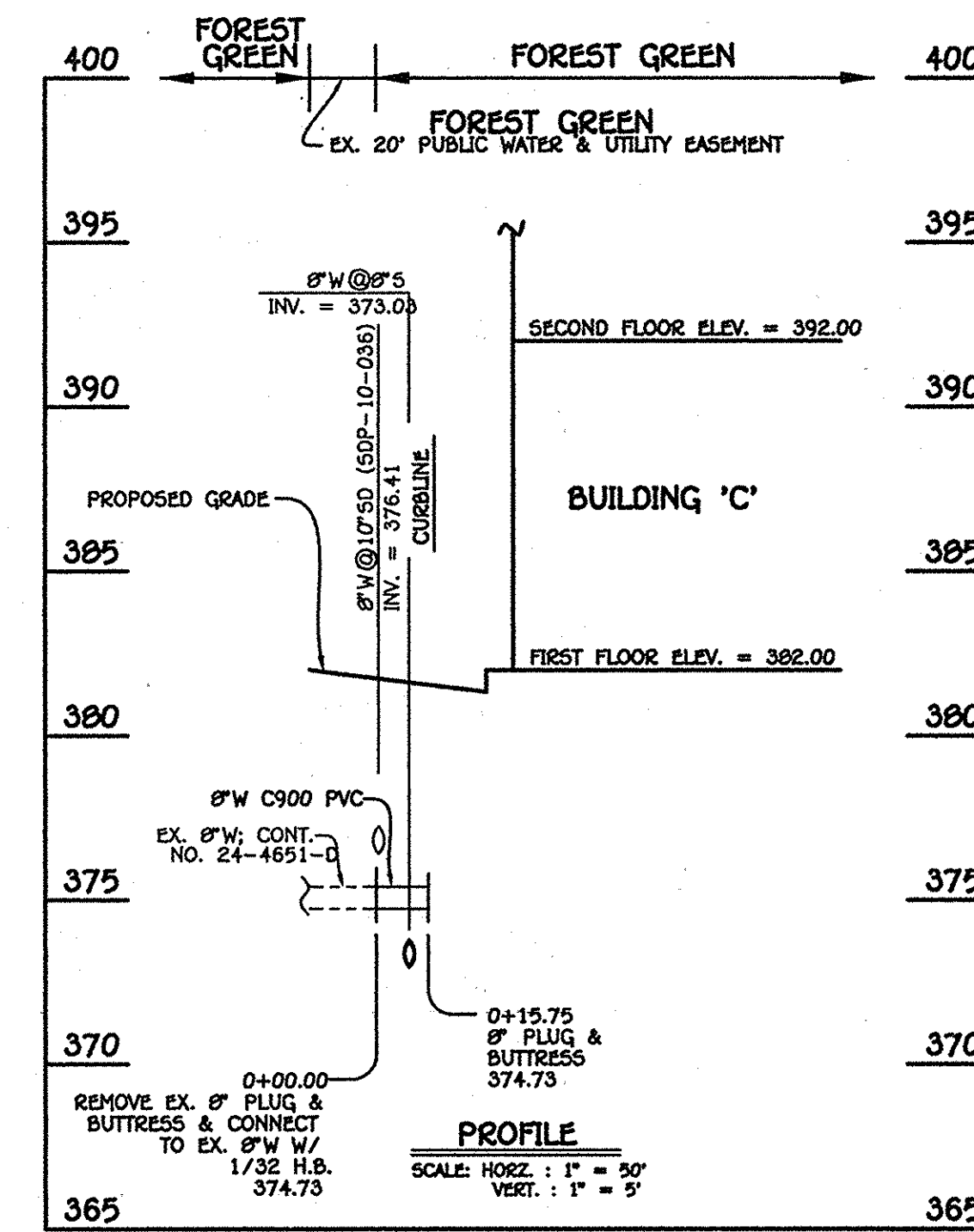
SHEET 18 OF 42 SDP-10-036



8" TO BUILDING 'A', BUILDING 'B' & BUILDING 'C'



8" WATER MAIN: TO BUILDING 'A'



8" WATER MAIN: BUILDING 'C'

M.C.E.	
BUILDING	M.C.E.
C/O 1 @ BUILDING 'A'	377.60
C/O 2 @ BUILDING 'B'	378.20
C/O 4 @ BUILDING 'C'	378.13

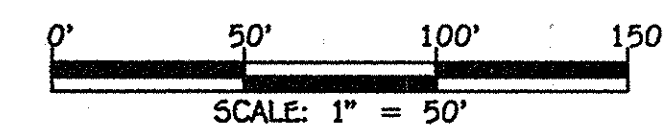
MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
EX. MH 402	587226.20	1352734.56	381.50
403	587074.80	1352720.30	383.85
404	587018.68	1352752.62	384.00
C/O 2	587060.17	1352824.67	382.65
C/O 4	587092.04	1352827.50	381.50

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT @ BUILDING CHART		
STATION	C/O NO. & BUILDING	ELEVATION
MH 402 TO MH 403		
STA. 0+97	C/O 4 @ BUILDING 'A'	372.85
STA. 1+15	C/O 1 @ BUILDING 'A'	371.64
MH 403 TO MH 404		
@ MH 403 RT.	C/O 2 @ BUILDING 'B'	372.85

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN: TO BUILDING 'A'			
0+00.00	1/10 H.B.	587044.39	1352726.30
0+08.00	1/16 H.B.	587049.30	1352725.65
0+27.93	1/32 H.B.	587070.00	1352732.00
1+58.87	8" x 8" TEE	587201.42	1352728.85
1+61.87	8" VALVE	587201.70	1352728.67
1+62.82	8" PLUG & BUTTRESS	587209.97	1352719.50

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN: BUILDING 'C'			
0+00.00	EX. 8" PLUG & BUTTRESS	587082.70	1352816.66
0+00.00	1/32 H.B.	587082.70	1352816.66
0+15.75	8" PLUG & BUTTRESS	587081.30	1352832.34



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Charles J. Grovo, Sr., P.E.
CHARLES J. GROVO, SR., P.E.



DATE	DESCRIPTION	DATE
10/15/11	REMOVE BUILDING 'A' ADDRESS	
10/17/12	REMOVE WATER AND POWER CONNECTIONS TO BUILDING 'A'	
9/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Domenic S. Kuitert</i>	8/1/11	DATE
Director - Department of Planning and Zoning		
<i>Kent Schuchman</i>	8/1/11	DATE
Chief, Division of Land Development		
<i>William J. ...</i>	7/20/11	DATE
Chief, Development Engineering Division		

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
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Address Chart	
BUILDING NO.	STREET ADDRESS
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B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
PROJECT	
FOREST GREEN	
SECTION/AREA	
2	
PARCELS	
69, 72, 453, 497 AND 1172	
LOT	
A	
TAX MAP	
21096 & 21097	
BLOCK NO.	
2	
ZONE	
B-1 B-2	
TAX MAP	
24	
ELEC. DIST.	
SECOND	
CENSUS TR.	
6023.01	

PRIVATE WATER AND SEWER MAINS: PROFILES & CHARTS

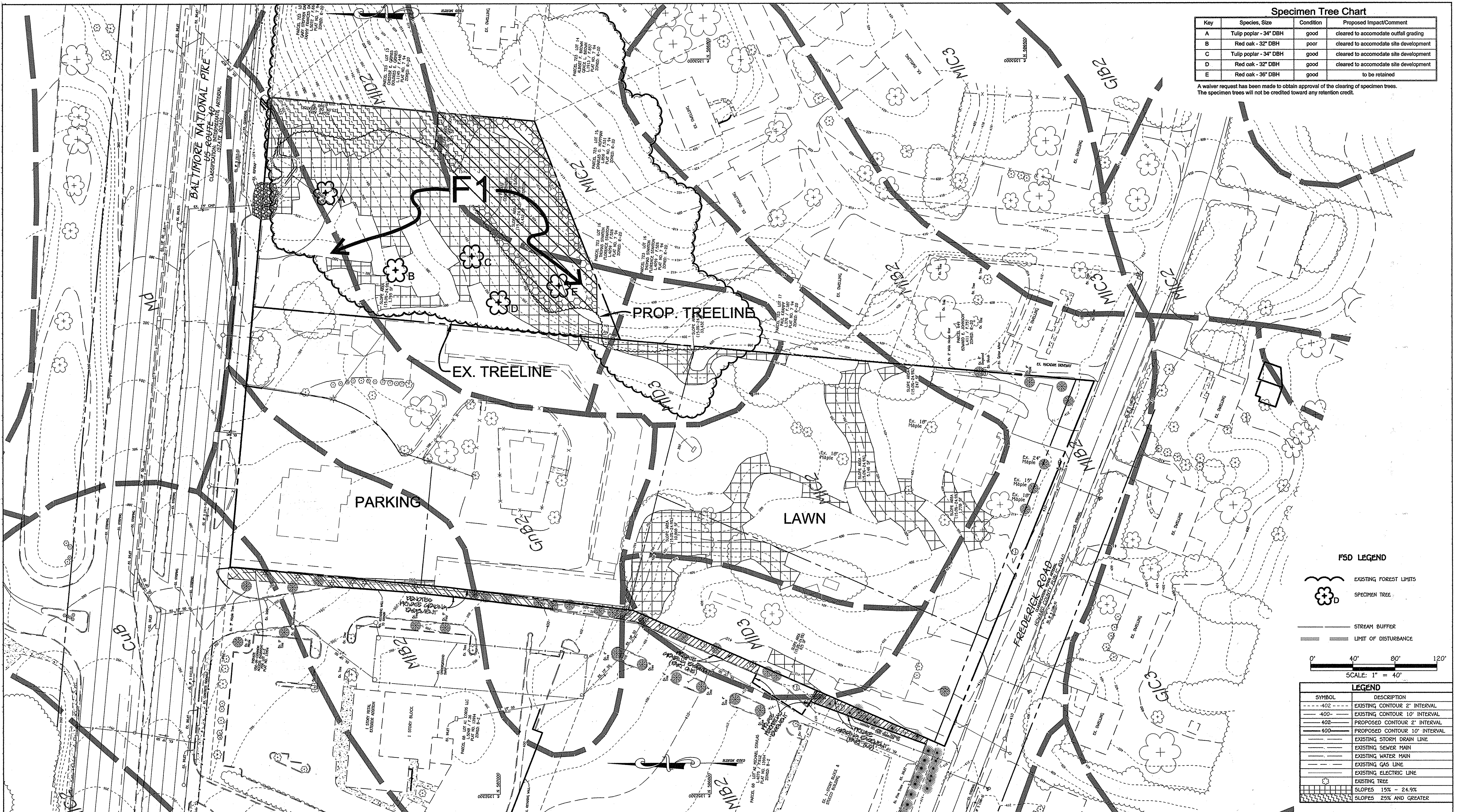
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT No's: 21096 & 21097
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 20 OF 42 SDP-10-036

Specimen Tree Chart

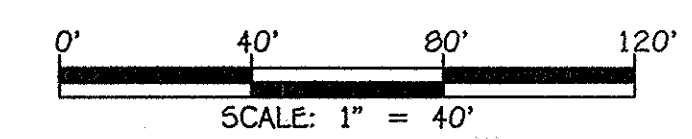
Key	Species, Size	Condition	Proposed Impact/Comment
A	Tulip poplar - 34" DBH	good	cleared to accommodate outfall grading
B	Red oak - 32" DBH	poor	cleared to accommodate site development
C	Tulip poplar - 34" DBH	good	cleared to accommodate site development
D	Red oak - 32" DBH	good	cleared to accommodate site development
E	Red oak - 36" DBH	good	to be retained

A waiver request has been made to obtain approval of the clearing of specimen trees. The specimen trees will not be credited toward any retention credit.



FSD LEGEND

- EXISTING FOREST LIMITS
- SPECIMEN TREE
- STREAM BUFFER
- LIMIT OF DISTURBANCE



LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	EXISTING STORM DRAIN LINE
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	EXISTING TREE
	SLOPES 15% - 24.9%
	SLOPES 25% AND GREATER

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2955

Eco-Science Professionals, Inc.
 CONSULTING ENGINEERS
 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2955

MD DNR Qualified Professional
 USACE Wetland Disturbance Certification # WDCP-MD0010044BZ
 JOHN P. CANOLES

*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 3, 2012.

Charles J. Provo, Sr., P.E.
 CHARLES J. PROVO, SR., P.E.
 DATE: 5/21/11

STATE OF MARYLAND
 PROFESSIONAL ENGINEER

DATE	DESCRIPTION	REVISION BLOCK
10/10/14	REMOVE BUILDING W/ ADDRESS	
01/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas E. Butler
 Director - Department of Planning and Zoning
 Date: 8/11/11

Ket Shelewood
 Chief, Division of Land Development
 Date: 8/11/11

John P. Canoles
 Chief, Development Engineering Division
 Date: 7/26/11

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10099 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

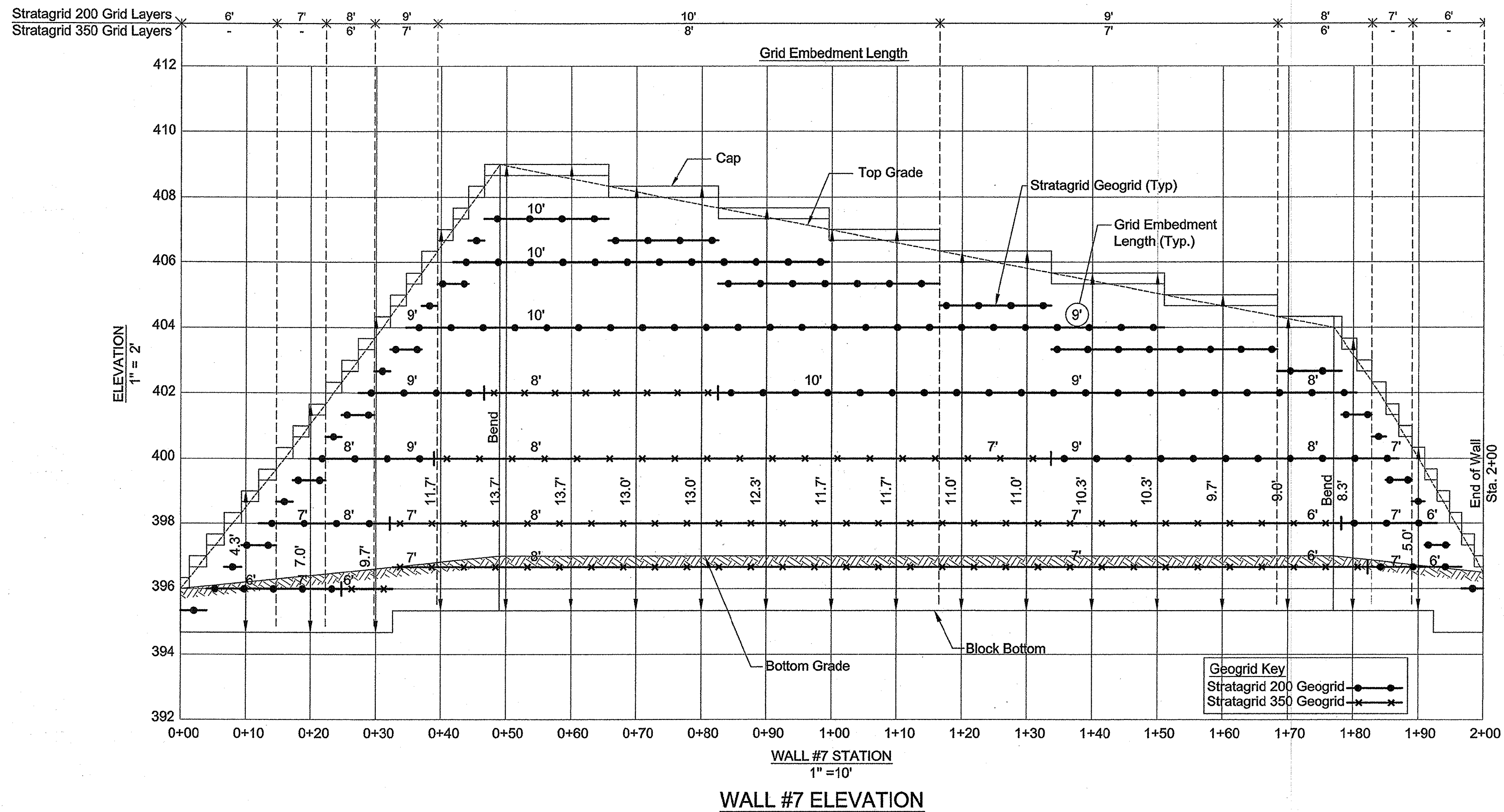
FLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21029 & 21037	2	B-1 B-2	24	SECOND	6023.01

FOREST STAND DELINEATION PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 FLAT No's: 21029 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: DECEMBER 2, 2010

SHEET 21 OF 42 SDP-10-036

E:\2006\0607\0607\0607-001 (SHEET 21-23) FOREST PLAN2.DWG, SHEET 21, 11



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT THE CORRECTED
RETAINING WALL LOCATIONS AND ADD RETAINING WALL #7 FOR THE PLAY AREA.

REVISED SITE DEVELOPMENT PLAN

RETAINING WALL #7
ELEVATION

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY, 2013
HCEA PROJECT # 07430-G
SHEET 23 OF 42 SDP-10-036

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10272 BALTIMORE NATIONAL PIKE
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(410) 980-4788

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 980-4788 Fax: (410) 980-4098

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 14434,
EXPIRATION DATE: 05/13/15.



DATE	REVISION DESCRIPTION
10/15/14	REVISED BUILDING ADDRESS
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Paul A. Gagliardi</i>	3/11/14
Director - Department of Planning and Zoning	Date
<i>Katherine...</i>	3/11/14
Chief, Division of Land Development	Date
<i>Paul...</i>	3-11-14
Chief, Development Engineering Division	Date

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422
OWNER
FOREST MOTEL, INC.
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OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart					
BUILDING NO.	STREET ADDRESS				
A	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042				
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042				
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042				
D	BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042				
E	BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042				
PROJECT	SECTION/AREA				
FOREST GREEN					
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

SPECIFICATIONS
MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description

A. Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
 B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
 C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling

A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
 B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units

A. Modular concrete units shall conform to the following architectural requirements:
 face color - concrete gray - standard manufacturers' color may be specified by the Owner.
 face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
 bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
 B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
 C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 compressive strength = 3000 psi minimum;
 absorption = 8% maximum (6% in northern states) for standard weight aggregates;
 dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;
 unit size - 8" (H) x 18" (W) x 12" (D) minimum;
 unit weight - 75 lbs/unit minimum for standard weight aggregates.

Inter-unit shear strength - 1000 pif minimum at 2 psi normal pressure;
 geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.
 D. Modular concrete units shall conform to the following constructability requirements: (If applicable)
 vertical setback = 1/8"± per course (near vertical) or 1"± per course per the design;
 alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 maximum horizontal gap between erected units shall be 1/2 inch.

2.02 Shear Connectors (If applicable)

A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units.
 Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
 B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material

A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

2.04 Unit Drainage Fill

A. Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill

A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:

Slieve Size	Percent Passing
2 inch	100-75
3/4 inch	100-75
No. 40	0-60
No. 200	0-40

Plasticity Index (PI) <10 and Liquid Limit <40 per ASTM D-4318.
 B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement

A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement

applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe

A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3 EXECUTION

3.01 Excavation

A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad

A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
 B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation

A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
 B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
 C. Install shear/connecting devices per manufacturer's recommendations.
 D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
 E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation

A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
 B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
 C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.

D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

3.05 Reinforced Backfill Placement

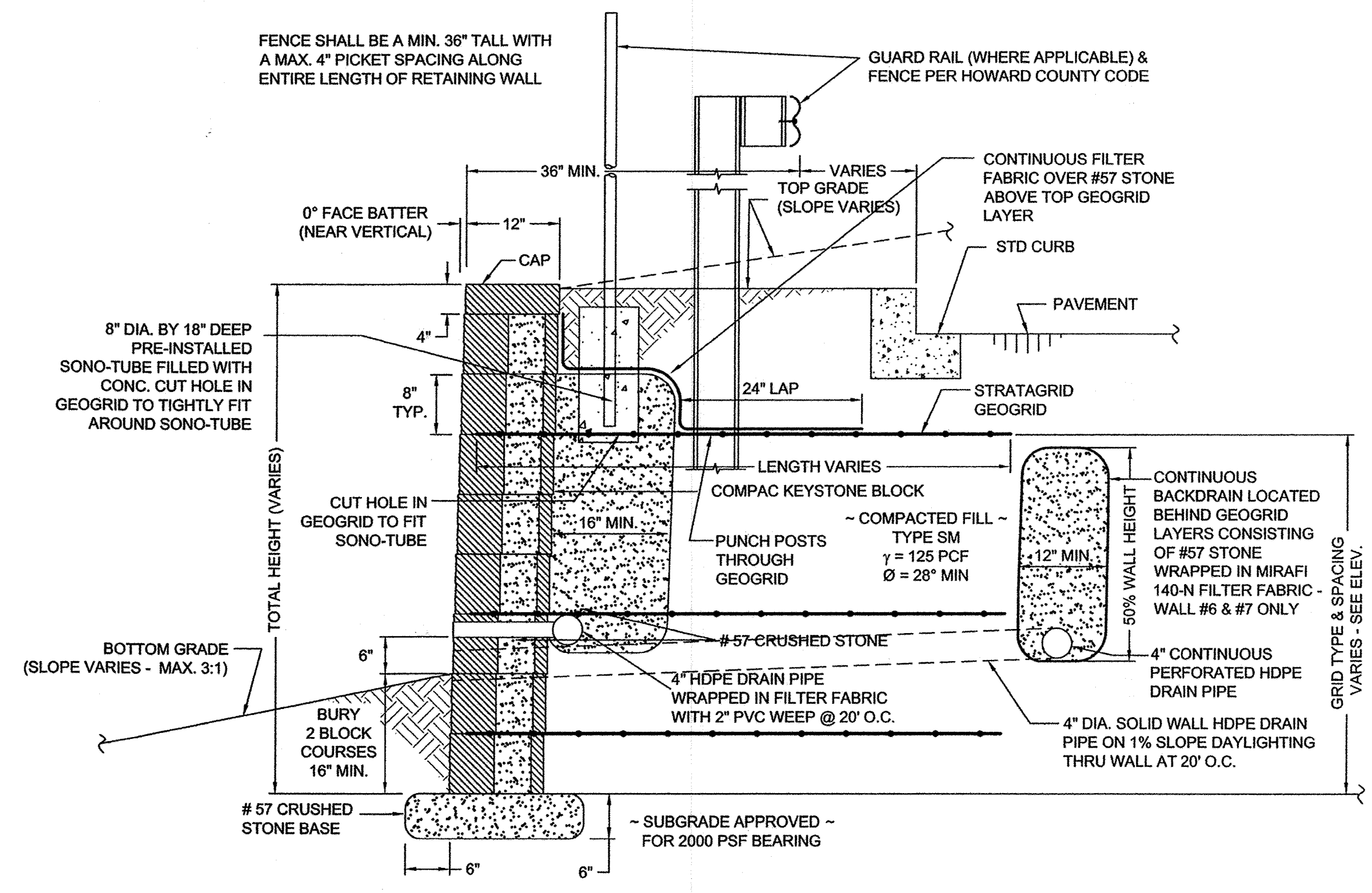
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
 B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
 C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
 D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
 E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
 F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
 G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

3.06 Cap Installation

A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control

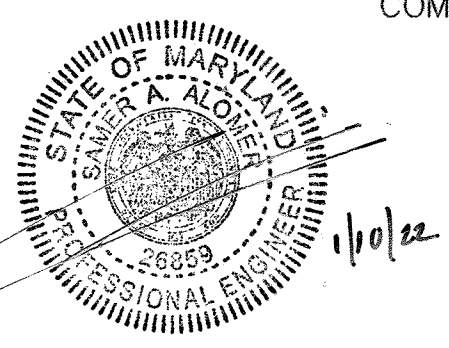
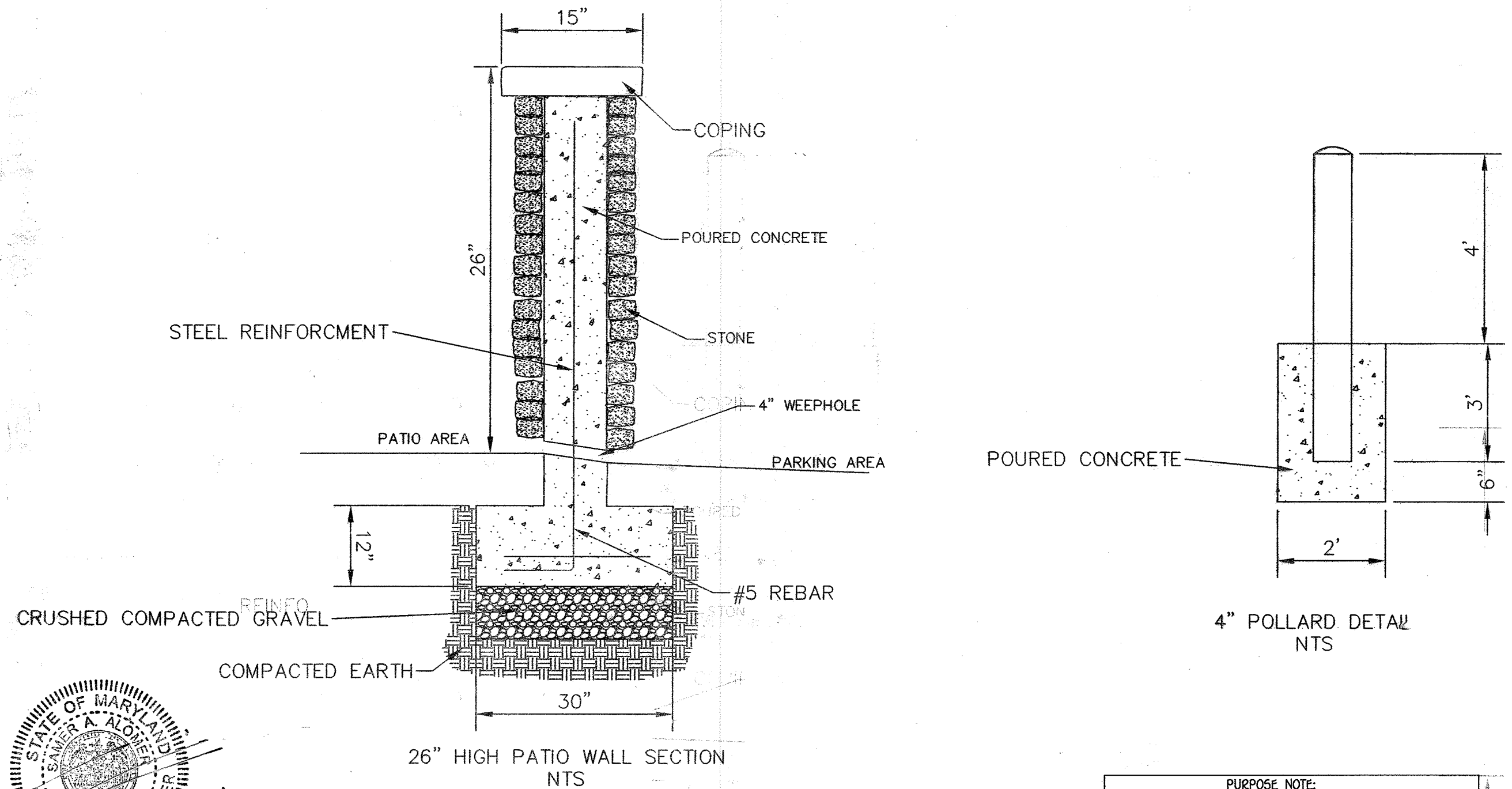
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
 B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL SECTION
N.T.S.

NOTES:

- No trees shall be planted within 10 feet of the top of the retaining wall.
- Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
- One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
- The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
- The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
- Walls shall not be constructed on uncertified fill materials.
- Walls shall not be constructed within a Howard Co. right-of-way or easement.

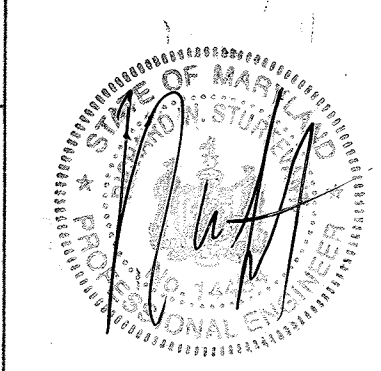


PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT THE CORRECTED RETAINING WALL LOCATIONS AND ADD RETAINING WALL #7 FOR THE PLAY AREA.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 890-4788

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, MD
 (410) 890-4788 Fax: (410) 890-4098

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14434, EXPIRATION DATE: 05/13/15.



DATE	DESCRIPTION	DATE
1/10/22	ADD TYPICAL WALL SECTION	
2/18/21	REV. PARKING FRONT OF BLDG A TO CREATE DORMER SPACING, REINFORCE & ILL. SPACES FRONT OF BLDG B WITH STANDARD PARKING SPACES.	
12/10/14	REVISE BUILDING ADDRESS	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Date: 3-14-14
 Date: 3-11-14

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

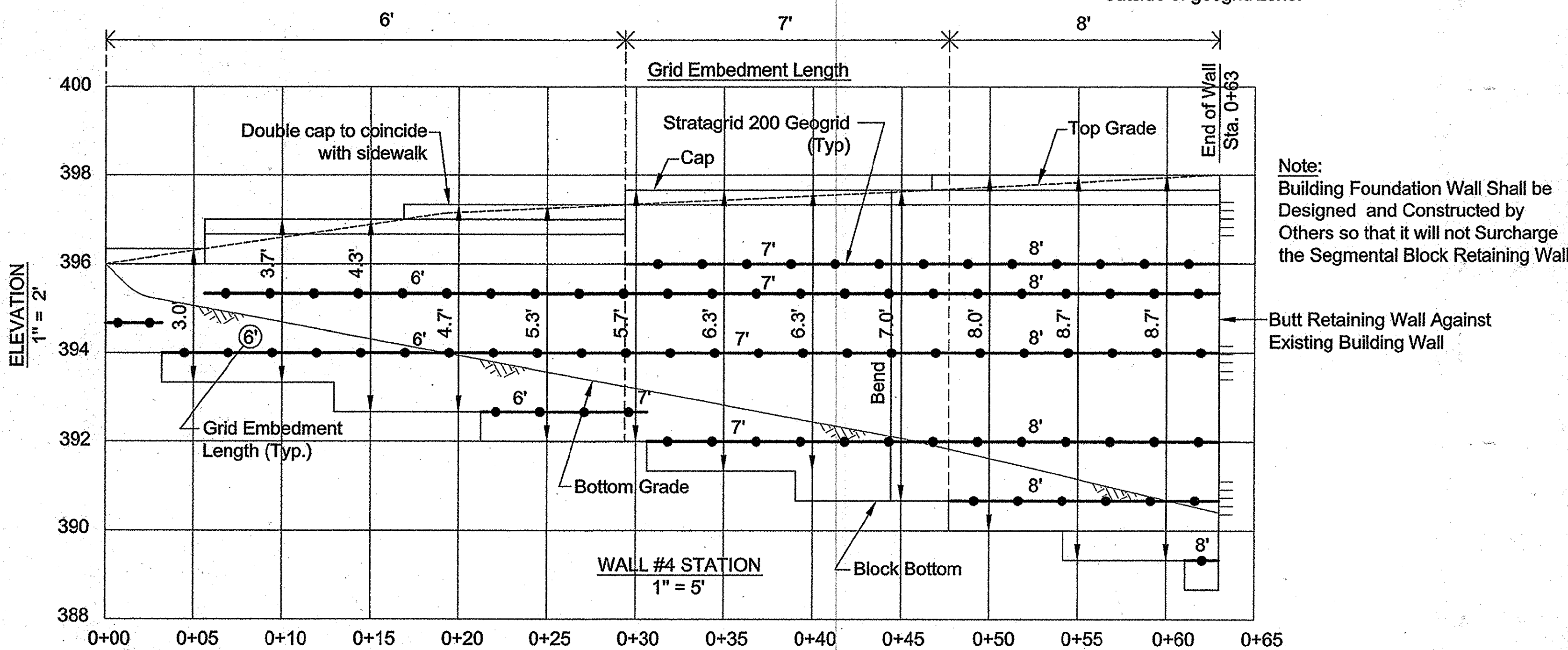
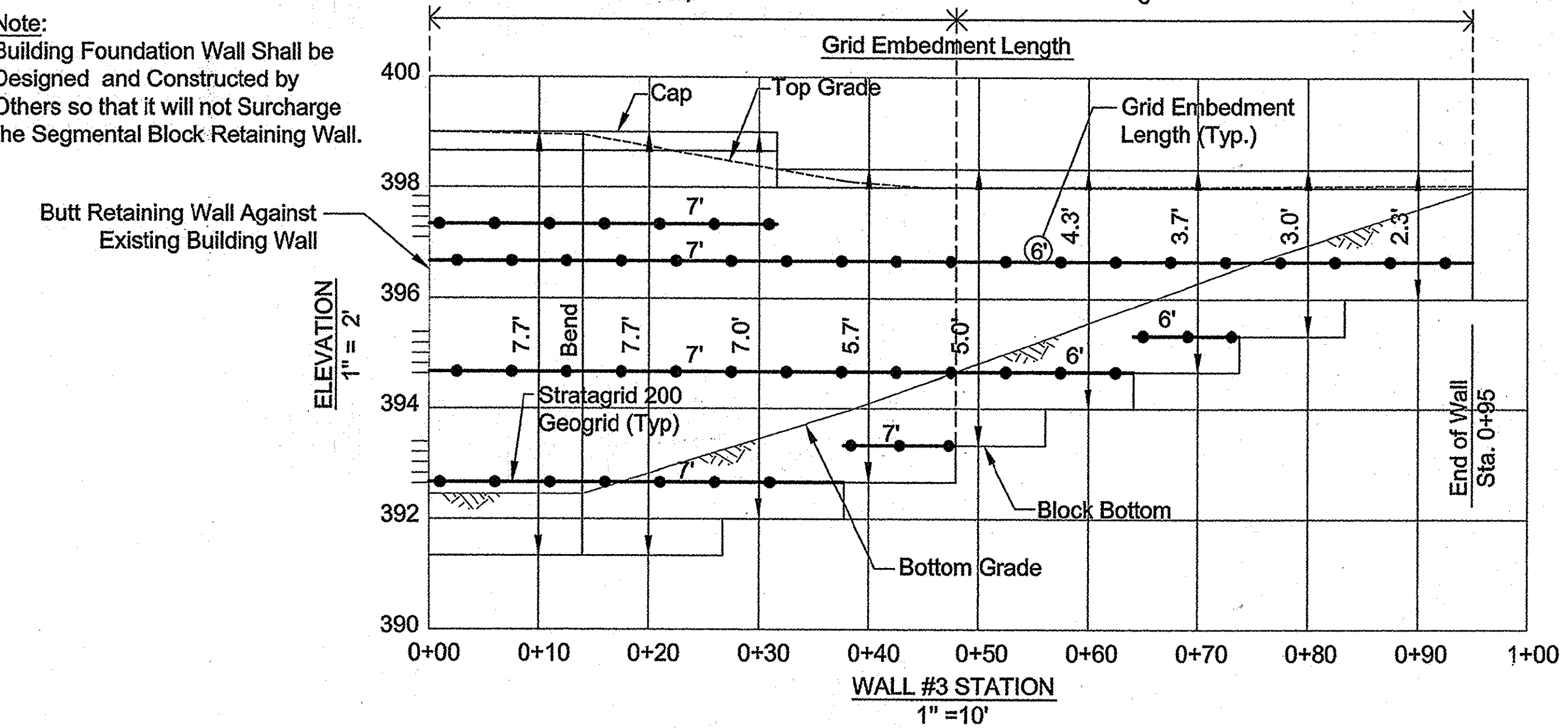
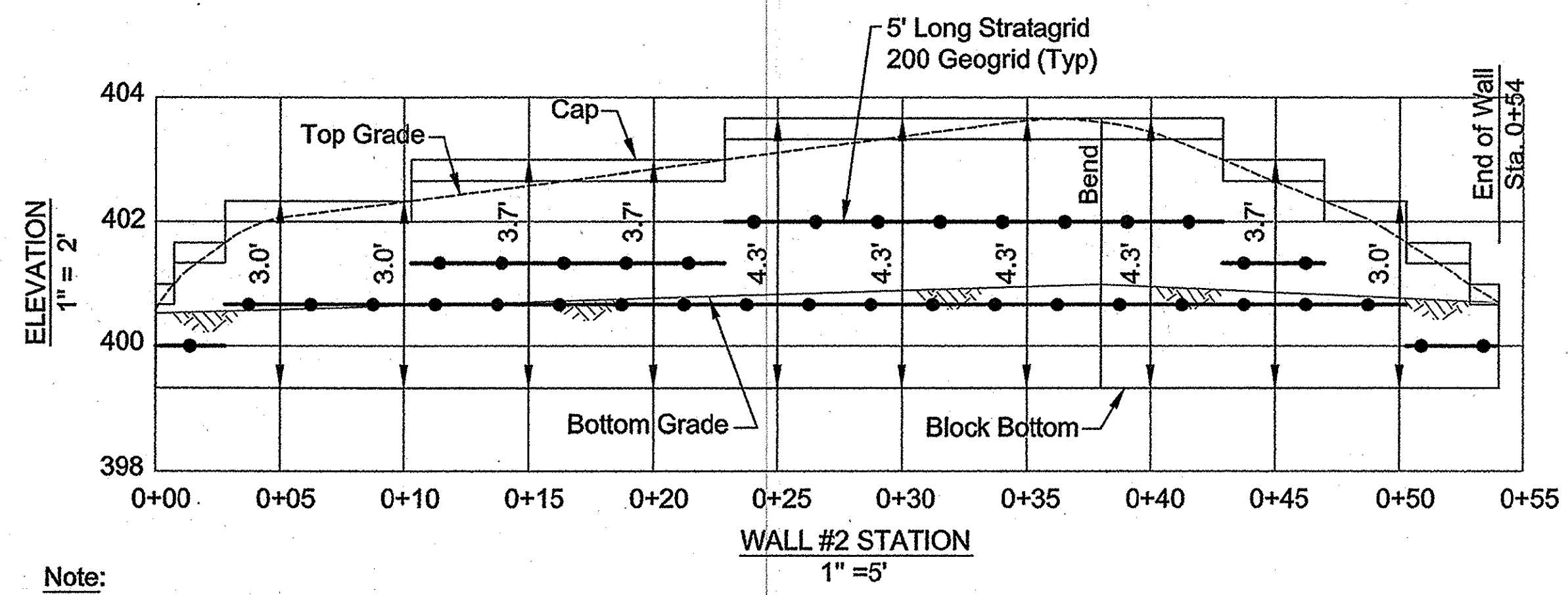
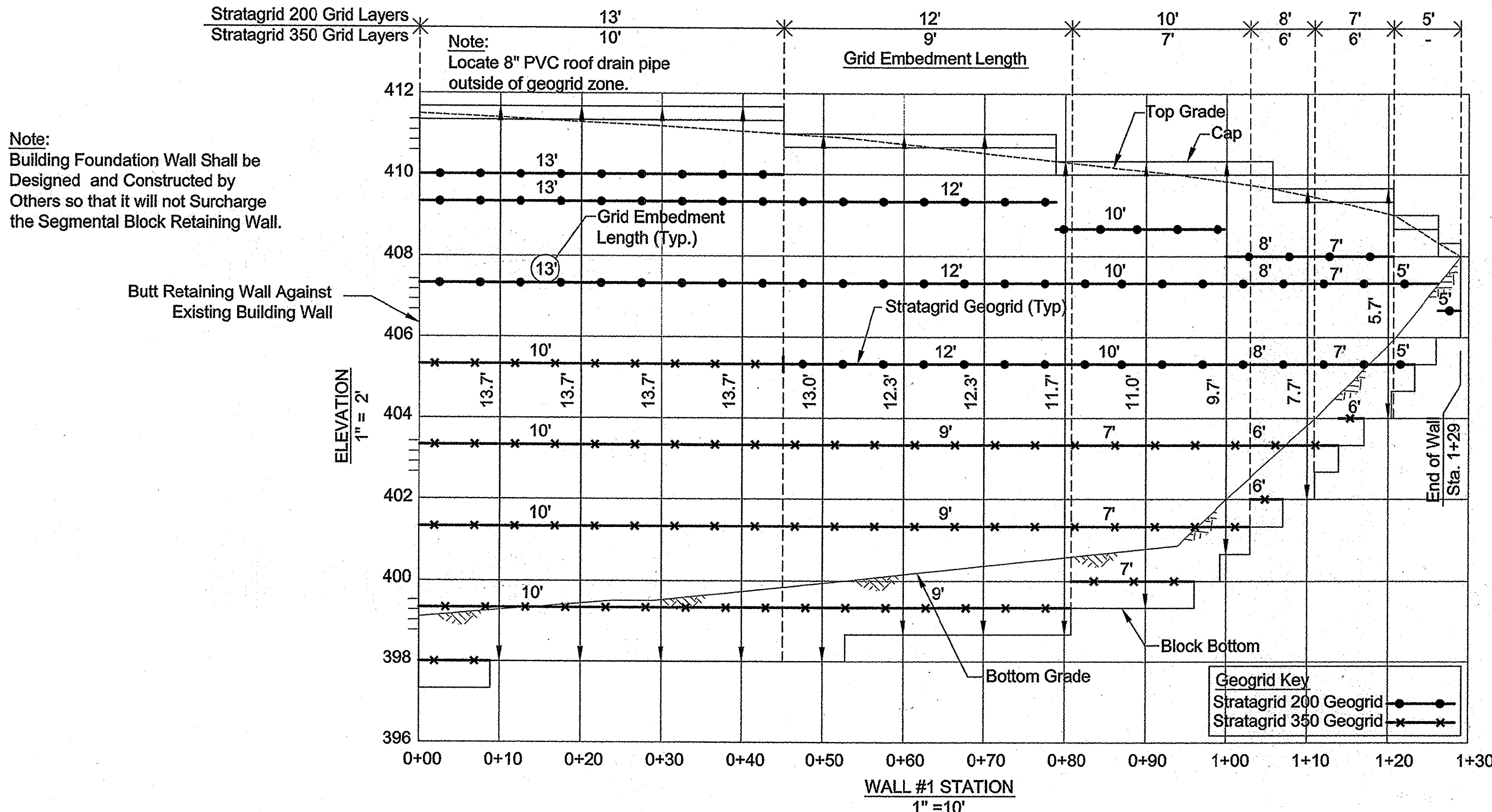
Address Chart	
BUILDING NO.	STREET ADDRESS
A	10020 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
D	BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
E	BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

RETAILING WALL CONSTRUCTION DETAILS

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: JULY, 2013
 HCEA PROJECT # 07430-G
 SHEET 24 OF 42 SDP-10-036



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10222 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2555

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788 Fax: (410) 880-4098

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14434
EXPIRATION DATE: 09/13/15

REVISION BLOCK

DATE	DESCRIPTION
10/15/14	ISSUE FOR BIDDING

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10022 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
D	BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
E	BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

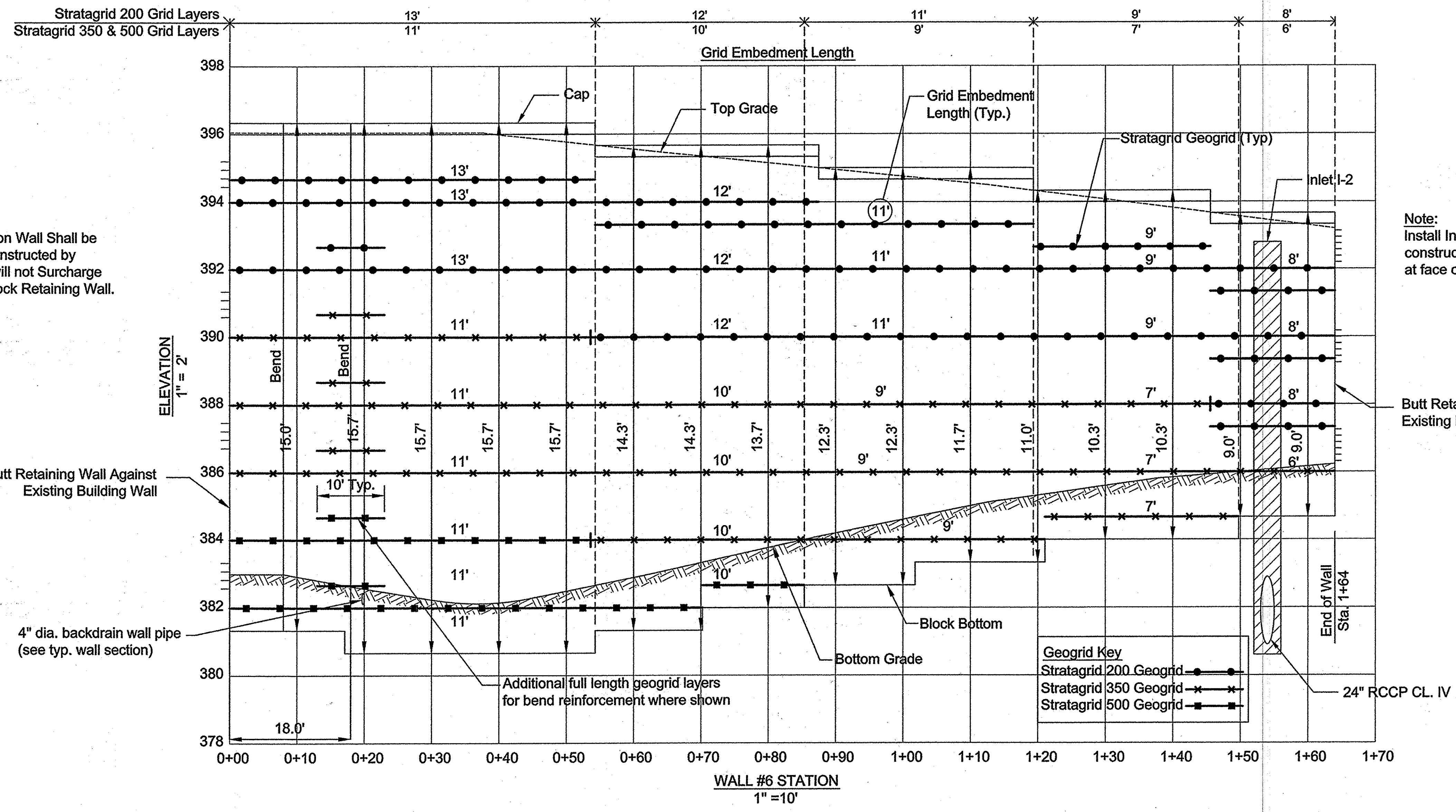
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN
RETAINING WALL #1, #2, #3 & #4 ELEVATIONS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY, 2013
HCEA PROJECT # 07430-G
SHEET 25 OF 42 SDP-10-036

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT THE CORRECTED RETAINING WALL LOCATIONS AND ADD RETAINING WALL #7 FOR THE PLAY AREA.



Note:
Building Foundation Wall Shall be
Designed and Constructed by
Others so that it will not Surcharge
the Segmental Block Retaining Wall.

Note:
Install Inlet Structure I-2 during wall
construction. Trim full length geogrid
at face of inlet structure as needed.

Butt Retaining Wall Against
Existing Building Wall

Butt Retaining Wall Against
Existing Building Wall

4" dia. backdrain wall pipe
(see typ. wall section)

Geogrid Key
Stratagrid 200 Geogrid
Stratagrid 350 Geogrid
Stratagrid 500 Geogrid

End of Wall
Sta. 1+64

WALL #6 ELEVATION


PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT THE CORRECTED
RETAINING WALL LOCATIONS AND ADD RETAINING WALL #7 FOR THE PLAY AREA.

REVISED SITE DEVELOPMENT PLAN

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 14434,
EXPIRATION DATE: 05/13/15.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Date: 3-11-14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Division of Land Development
Date: 3-11-14

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Chief, Development Engineering Division
Date: 3-11-14

NO.	DATE	REVISION	DESCRIPTION
10/15/14		REVISED BUILDING WALL ADDRESS	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3811
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3811
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 398
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10029	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
B	10035	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
C	10025	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
D		BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
E		BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

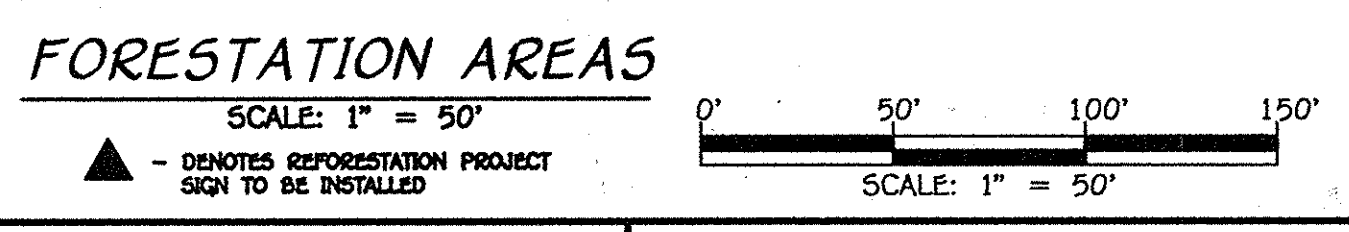
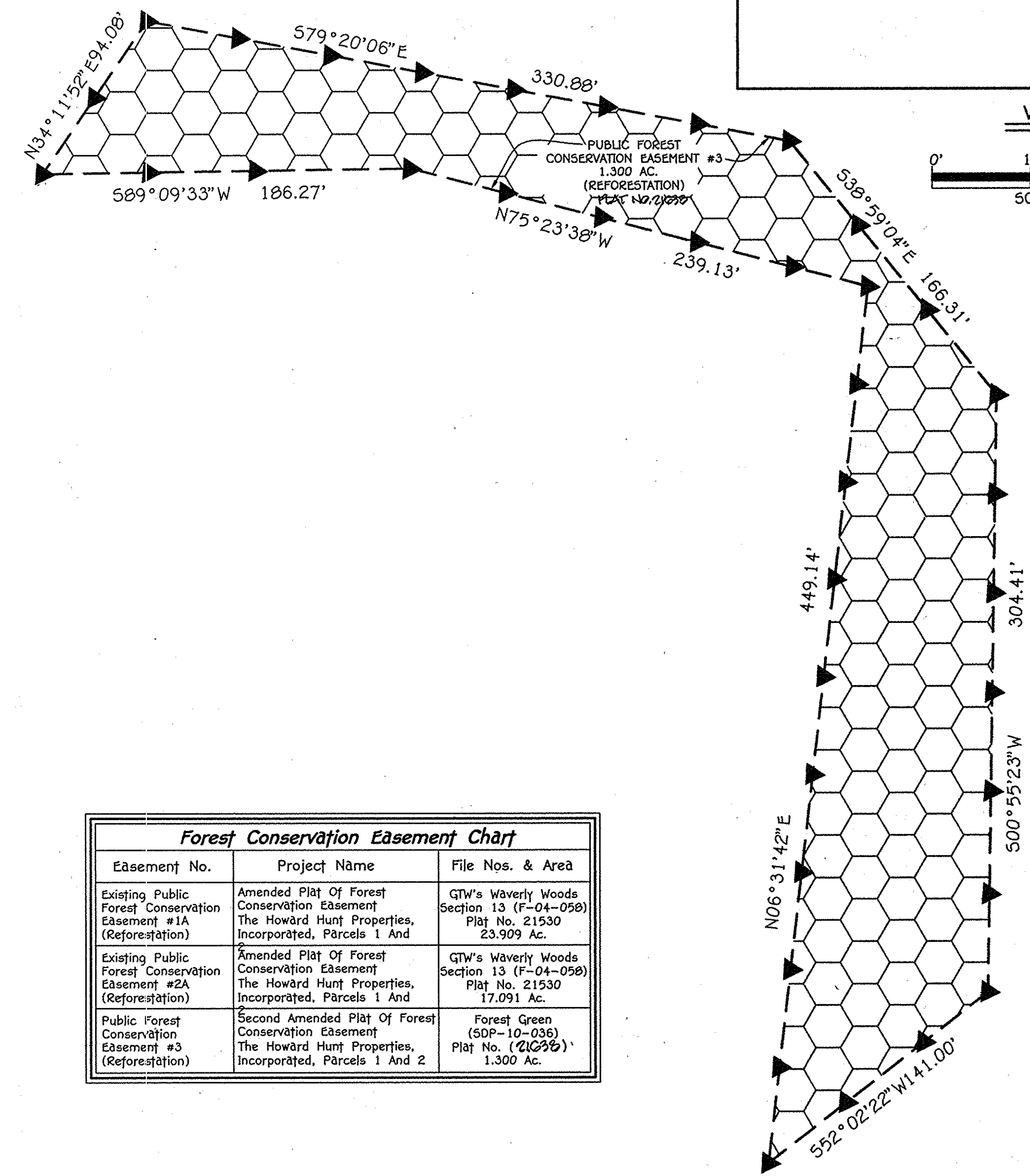
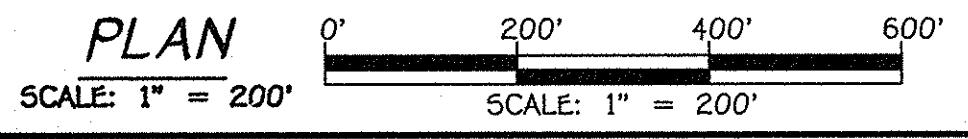
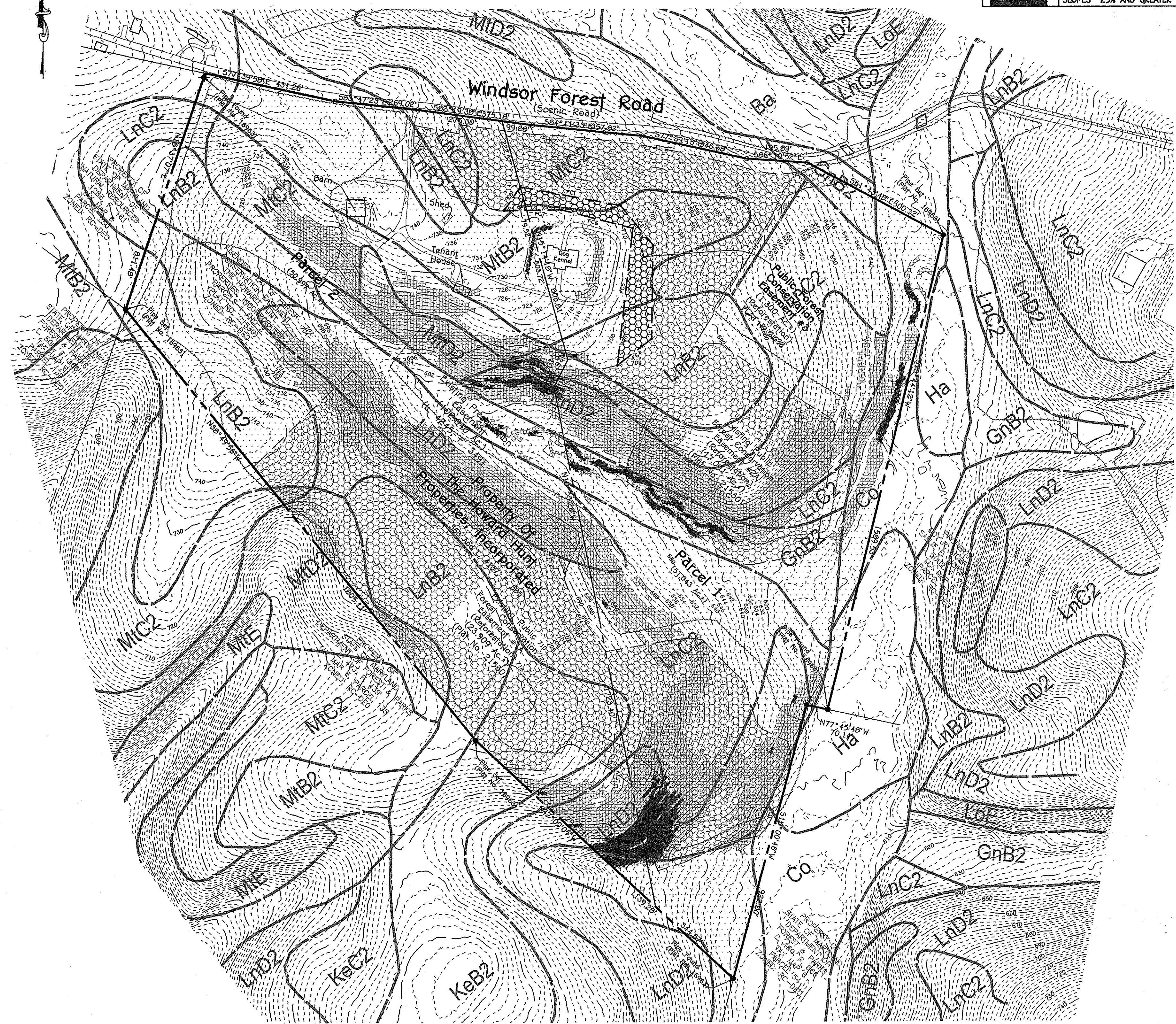
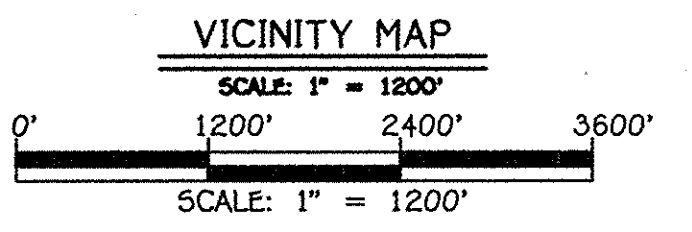
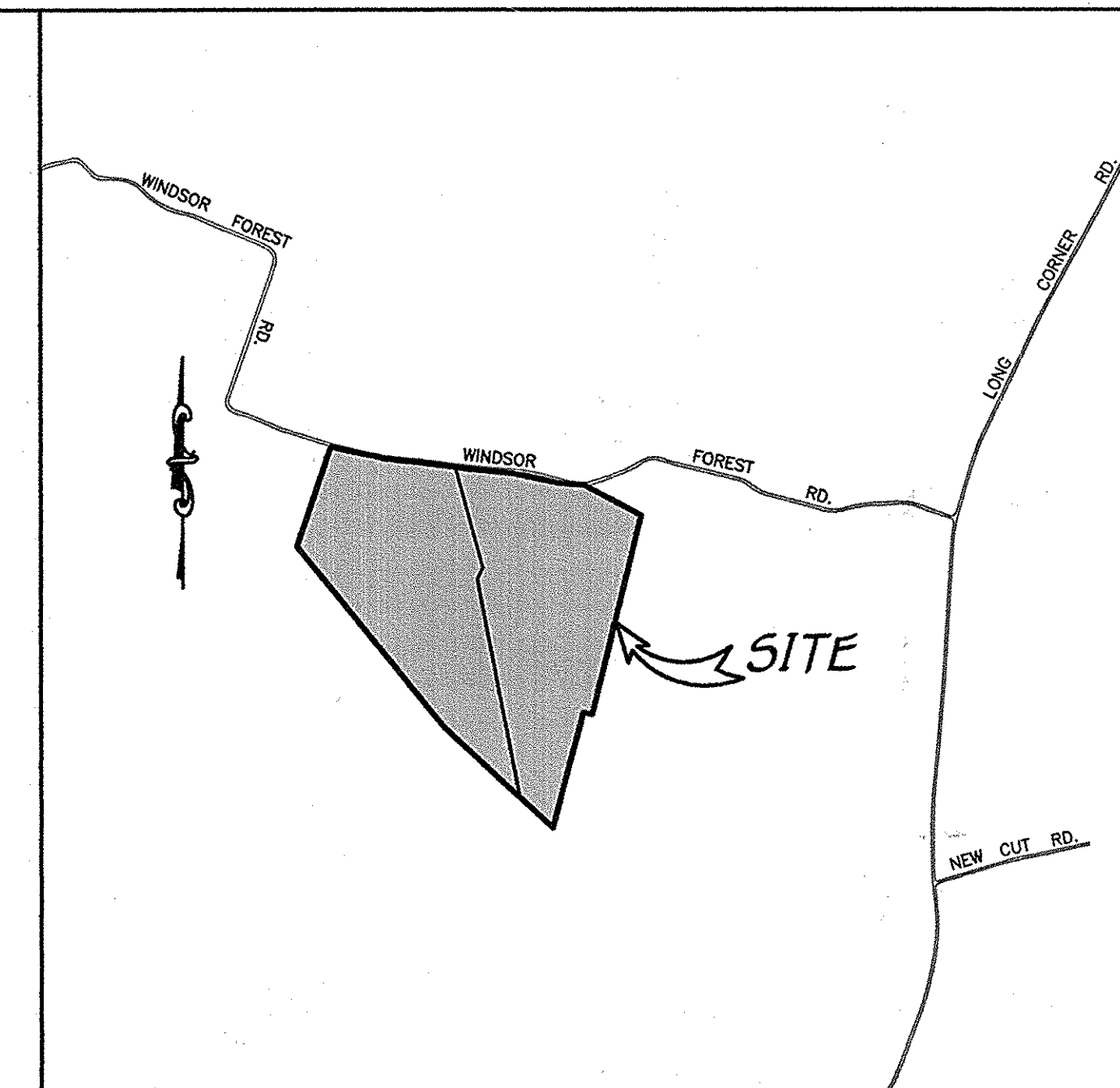
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

RETAINING WALL #6
ELEVATION
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: JULY, 2013
HCEA PROJECT # 07430-G
SHEET 26 OF 42 SDP-10-036

LEGEND	
SYMBOL	DESCRIPTION
--- 672 ---	EXISTING CONTOUR 2' INTERVAL
--- 670 ---	EXISTING CONTOUR 10' INTERVAL
[Pattern]	EXISTING SEPTIC AREA
[Pattern]	FOREST CONSERVATION EASEMENT
[Pattern]	EXISTING TREE
[Pattern]	SLOPES 15% - 24.9%
[Pattern]	SLOPES 25% AND GREATER

SOILS LEGEND		
SOIL	NAME	CLASS
** Ba	Baile silt loam	D
* Co	Codorus silt loam	C
* Gnb2	Glenville silt loam, 3 to 8 percent slopes, moderately eroded	C
** Ha	Harboro silt loam	D
* KeB2	Kelly silt loam, 3 to 8 percent slopes, moderately eroded	D
* KeC2	Kelly silt loam, 8 to 15 percent slopes, moderately eroded	D
LnB2	Linganore channery loam, 3 to 8 percent slopes, moderately eroded	C
LnC2	Linganore channery loam, 8 to 15 percent slopes, moderately eroded	C
LnD2	Linganore channery loam, 15 to 25 percent slopes, moderately eroded	C
LoE	Linganore channery silt loam, 25 to 45 percent slopes	C
MtB2	Mt. Airy channery loam, 3 to 8 percent slopes, moderately eroded	A
MtC2	Mt. Airy channery loam, 8 to 15 percent slopes, moderately eroded	A
MtD2	Mt. Airy channery loam, 15 to 25 percent slopes, moderately eroded	A
MtE	Mt. Airy channery loam, 25 to 45 percent slopes	A

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



Forest Conservation Easement Chart		
Easement No.	Project Name	File Nos. & Area
Existing Public Forest Conservation Easement #1A (Reforestation)	Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	GTW's Waverly Woods Section 13 (F-04-058) Plat No. 21530 23.909 Ac.
Existing Public Forest Conservation Easement #2A (Reforestation)	Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	GTW's Waverly Woods Section 13 (F-04-058) Plat No. 21530 17.091 Ac.
Public Forest Conservation Easement #3 (Reforestation)	Second Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	Forest Green (SDP-10-036) Plat No. (21099) 1.300 Ac.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTURIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELKLOTT CITY, MARYLAND 21042
 (410) 461-2955

Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS
 MD DMC Qualified Professional
 USACE Wetland Delimitation
 Certification # WDCP93MD0610044B
 JOHN P. CANOLES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Grovo
 CHARLES J. GROVO, SR., P.E.
 5/31/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas J. Suter 8/1/11 Date
 Director - Department of Planning and Zoning
Neil Schuchman 3/01/11 Date
 Chief, Division of Land Development
William J. ... 7/20/11 Date
 Chief, Development Engineering Division

DATE	DESCRIPTION

OWNER
 THE HOWARD HUNT PROPERTIES, INC.
 P.O. Box 823
 Mount Airy, MARYLAND 21771-0823
 Tel. No.: 443-367-0422

DEVELOPER
 FOREST VENTURES II, LLC
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042

Address Chart			
PARCEL NO.	STREET ADDRESS		
51	WINDSOR FOREST ROAD, MT. AIRY, MARYLAND 21771		
159	18821 WINDSOR FOREST RD, MT. AIRY, MARYLAND 21771		
OFF-SITE AFFORESTATION PLAN	SECTION/AREA	P.O. PARCEL	LOT
PLAT NO. 21099	RC-DEO	51 & 159	A
TAX MAP	TAX MAP	ELEC. DIST.	CENSUS TR.
21099	6	FOURTH	

OFF-SITE AFFORESTATION PLAN
 @ THE HOWARD HUNT PROPERTIES, INC.
 PLAT NO. 21099

TAX MAP No. 6, P/O Parcel No. 51, GRID No.: 15
 TAX MAP No. 6, P/O Parcel No. 159, GRID No. 14
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 200' DATE: OCTOBER 22, 2010

SHEET 27 OF 42 SDP-10-036

THE PROPERTY OF THE HOWARD HUNT PROPERTIES, INC. OFFSITE PLANTING SCHEDULE

FCE # 3 - 130 acres
Planting units Required: 910 Whips Required: 455
Planting units Provided: 910 Whips Provided: 455

Qty	Species	Size	Spacing	Total FCA Units
50	Acer rubrum - Red maple	2-3' whip	11' o.c.	
75	Cornus florida - Flowering dogwood	2-3' whip	11' o.c.	
55	Diospyros virginiana - Persimmon	2-3' whip	11' o.c.	
75	Liriodendron tulipifera - Tulip poplar	2-3' whip	11' o.c.	
25	Platanus occidentalis - Sycamore	2-3' whip	11' o.c.	
50	Prunus serotina - Black Cherry	2-3' whip	11' o.c.	
50	Quercus palustris - White oak	2-3' whip	11' o.c.	
25	Black locust - Robinia pseudo-acacia	2-3' whip	11' o.c.	
50	Viburnum prunifolium - Blackhaw	2-3' whip	11' o.c.	
455	Total whip plantings x 2 units/tree = FCA unit credit			910
	Total Unit Credit			910

Planting Notes:

- Planting units defined by the spacing requirements established in the FCA Manual. One plant unit is defined as 1 seedling or whip without shelter. The Manual states that 700 seedlings/whips without shelters are required per acre, or 350 whips with shelters, or 200 1" caliper trees, or 100 2" caliper trees. By conversion it has been determined that a seedling or whip without shelter = 1 unit, whip with shelter = 2 units, 1" caliper tree = 3.5 units and 2" caliper tree = 7 units. The use of plant units simplifies the plant density calculations when mixing stock size.
- Planting may be made in a curvilinear fashion along contour. The planting should avoid a grid appearance but should be spaced to facilitate maintenance.
- Multiflora rose/heavy brush removal/control may be required prior to installation of planting.
- All whips are required to be installed with tree shelters per Howard County FCA requirements.

OFF-SITE PLANTING AREA CONSTRUCTION PERIOD PROTECTION PROGRAM

- A. Forest Protection Techniques**
- Soil Protection Area (Critical Root Zone)
The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface. Temporary fencing shall be placed around the critical root zone of the forest in areas where the forest limits occur within 25 feet of the limit of disturbance.
 - Fencing and Signage
Existing forest limits occurring within 25 feet of the limits of disturbance shall be protected using temporary protective fencing. Permanent signage shall be placed around the afforestation area prior to plant installation, as shown on the plan.
- B. Pre-Construction Meeting**
Upon staking of limits of disturbance a pre-construction meeting will be held between the developer, contractor and appropriate County inspector. The purpose of the meeting will be to verify that all sediment control is in order, and to notify the contractor of possible penalties for non-compliance with the FCP.
- C. Storage Facilities/Equipment Cleaning**
All equipment storage, parking, sanitary facilities, material stockpiling, etc. associated with construction of the project will be restricted to those areas outside of the proposed Forest Conservation Easement. Cleaning of equipment will be limited to areas within the LOD of the proposed homesites. Wastewater resulting from equipment cleaning will be controlled to prevent runoff into environmentally sensitive areas.
- D. Sequence of Construction**
The following timetable represents the proposed timetable for development. The items outlined in the Forest Conservation Plan will be enacted within two (2) years of subdivision approval.
Below find a sequence of construction.
- Install all signage and sediment control devices.
 - Hold pre-construction meeting between developer, contractor and County inspector.
 - Begin multiflora rose removal. Install permanent protective signage for Easements and initiate plantings in accordance with Forest Conservation Plan.
 - Remove sediment control.
 - Hold post-construction meeting with County inspectors to assure compliance with FCP. Submit Certification of Installation.
 - Monitor and maintain plantings for 2 years.
- E. Construction Monitoring**
Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan.
- F. Post-Construction Meeting**
Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and arrange for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that afforestation plantings have been installed.

OFF-SITE PLANTING AREA POST-CONSTRUCTION MANAGEMENT PLAN

Howard County requires a two year post-construction management plan to be prepared as part of the forest conservation plan. The plan goes into effect upon acceptance of the construction certification of completion by the County. Eco-Science Professionals, or another qualified professional designated by the developer, will be responsible for implementation of the post-construction management plan. The following items will be incorporated into the plan:

A. Fencing and Signage
Permanent signage indicating the limits of the retention/afforestation areas shall be maintained.

B. General Site Inspections/Maintenance of Plantings

Site inspections will be performed a minimum of three times during the growing season. The purpose of the inspections will be to assess the health of the afforestation plantings. Appropriate measures will be taken to rectify any problems which may arise.

In addition, maintenance of the afforestation plantings will involve the following steps:

- Watering - All plant material shall be watered twice a month during the 1st growing season, more or less frequently depending on weather conditions. During the second growing season, once a month during May - September, if needed.
- Removal of invasive exotics and noxious weeds. Old field successional species will be retained.
- Identification of serious plant pests and diseases, treatment with appropriate agent.
- Pruning of dead branches.
- After 12 and 24 months, replacements of plants, if required, in accordance with the Guarantee Replacements shown on the FCP.

C. Education

The developer will provide appropriate materials to property owners informing them of the location and purpose of the afforestation area. Materials may include site plans and information explaining the intent of the forest conservation law.

D. Final Inspection

At the end of the two year post-construction management period, Eco-Science Professionals, or another qualified professional, will submit to administrator of the Howard County Forest Conservation Program certification that all retention/afforestation requirements have been met. Upon acceptance of this certification, the County will release the developer from all future obligations and release the developer's bond.

Project Notes - Forest Green

- Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
- Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
- Limits of disturbance shall be restricted to areas outside the limit of temporary fencing or the FCE boundary, whichever is greater.
- There shall be no clearing, grading, construction or disturbance of vegetation in the Forest Conservation Easement, except as permitted by Howard County DPZ.
- No stockpiles, parking areas, equipment-cleaning areas, etc. shall occur within areas designated as Forest Conservation Easements.
- Temporary fencing shall be used to protect forest resources during construction. The fencing shall be placed along all FCE boundaries that occur within 15 feet of the proposed limits of disturbance.
- The Forest Conservation Act requirements for this project include 1.3 acres of afforestation. The afforestation obligation for this project shall be met through reforestation on the property of The Howard Hunt Properties, Inc.

The Property Of The Howard Hunt Properties, Inc. Offsite Planting Area Existing Condition Note:

The offsite planting area is located on property of The Howard Hunt Properties, Inc. located off of Windsor Forest Road in the Mt. Airy section of Howard County, Maryland. The site is currently utilized as a single family farm property with lawn, field and forest present. Forest resources are generally limited to the east and west of the property. The forest varies from young successional to mixed mature oak/poplar.

The planting area is currently maintained as grassed field, forest and hedgerows. The planting area will enhance and expand the existing forest resources on the site.

The property of the Howard Hunt Properties, Inc. is subject to agricultural preservation easement. The plantings have been designed in accordance with the Forest Conservation Planting Policy of the Howard County Agricultural Land Preservation Program, revised 2/13/08.

Planting/Soil Specifications

- Installation of bareroot/plug plant stock shall take place between March 15 - April 20; b&b/container stock March 15 - May 30 or September 15 - November 15. Fall planting of B&B stock is not recommended.
- Disturbed areas shall be seeded and stabilized as per general construction plan for project. Planting areas not impacted by site grading shall have no additional topsoil installed.
- Bareroot plants shall be installed so that the top of root mass is level with the top of existing grade. Roots shall be dipped in an anti-desiccant gel prior to planting. Backfill in the planting pits shall consist of 3 parts existing soil to 1 part pine fines or equivalent.
- Fertilizer shall consist of Agriform 22-8-2, or equivalent, applied as per manufacturer's specifications, for woody plants. Herbaceous plant shall be fertilized with Osmocote 8-6-12.
- Plant material shall be transported to the site in a tarped or covered truck. Plants shall be kept moist prior to planting.
- The contractor shall remove all non-organic debris associated with the planting operation from the site.

Maintenance of Plantings

- Maintenance of plantings shall last for a period of (3) years.
- Plantings must receive 2 gallons of water, either through precipitation or watering, weekly during the 1st growing season, as needed. During second growing season, once a month during May-September, if needed.
- Invasive exotics and noxious weeds will be removed, as required, from planting areas mechanically and/or with limited herbicide. Old field successional species will be retained.
- Plants shall be examined a minimum two times during the growing season for serious plant pests and diseases. Serious problems will be treated with the appropriate agent.
- Dead branches will be pruned from plantings.

Guarantee Requirements

- A 75 percent survival rate of forestation plantings will be required at the end of two growing seasons. All plant material below the 75 percent threshold will be replaced at the beginning of the next growing season. Wild trees arising from natural regeneration may be counted up to 50 percent towards the total survival number if they are healthy, native species at least 12 inches tall.

REFORESTATION PLAN

A. Planting Plan and Methods

Plant species selection was based on our knowledge regarding plant communities in Maryland's Piedmont Plateau and information provided in the soil survey on typical vegetation for the soil type on the planting site. Species selection was also based on our knowledge of plant availability in the nursery industry.

Reforestation will be accomplished through a mixed planting of whips and branched transplants. Container grown stock is recommended but bareroot stock may be used to help control afforestation costs. If bareroot stock is used the root systems of all plants will be dipped in an anti-desiccant gel prior to planting to improve moisture retention in the root systems.

Prior to planting the proposed Forest Conservation Easements all multiflora rose in the planting area shall be removed. Removal of the rose may be performed with mowing and herbicide treatments. Physical removal of all top growth following by a periodic herbicide treatment of stump sprouts is recommended. Native tree and shrub species occurring within the rose thickets should be retained wherever possible. Herbicides treatments shall occur on 2 month intervals during the first growing season and once each in the spring and fall for subsequent years. Herbicide used shall be made specifically to address woody plant material and shall be applied as per manufacturers specifications. Care should be taken not to spray planted trees or naturally occurring native tree/shrub seedlings. It is recommended that initiation of rose removal begin at least six months prior to planting.

B. Planting and Soil Specifications

Plant material will be installed in accordance with the Planting Detail and Planting Specifications shown on the Forest Conservation Plan.

Amendments to existing soil will be in accordance with the Planting Specifications shown on the Forest Conservation Plan. Soil disturbance will be limited to individual planting locations.

C. Maintenance of Plantings

For information regarding maintenance of the reforestation plantings, see Post Construction Management Plans.

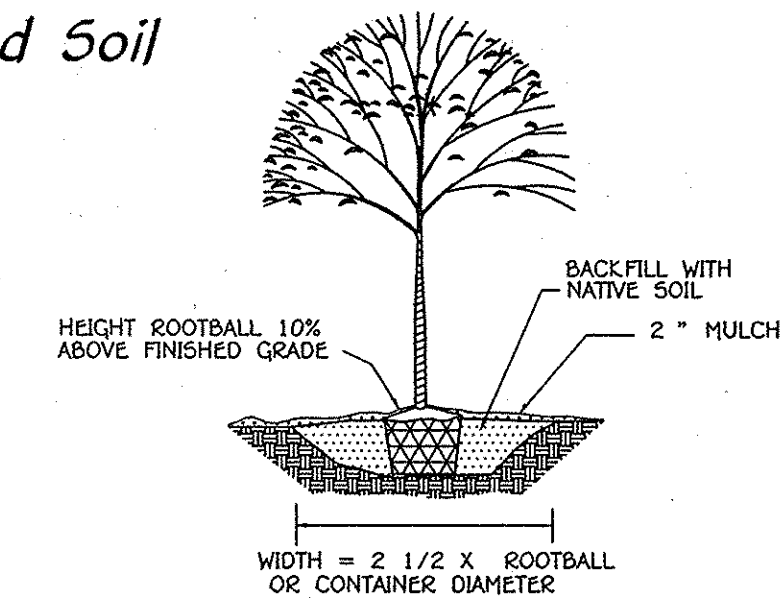
D. Guarantee Requirements

A 90 percent survival rate of the reforestation plantings will be required after one growing season. All plant material below the 90 percent survival threshold will be replaced at the beginning of the second growing season. At the end of the second growing season, a 75 percent survival rate will be required. All plant material below the 75 percent survival threshold will be replaced by the beginning of the next growing season.

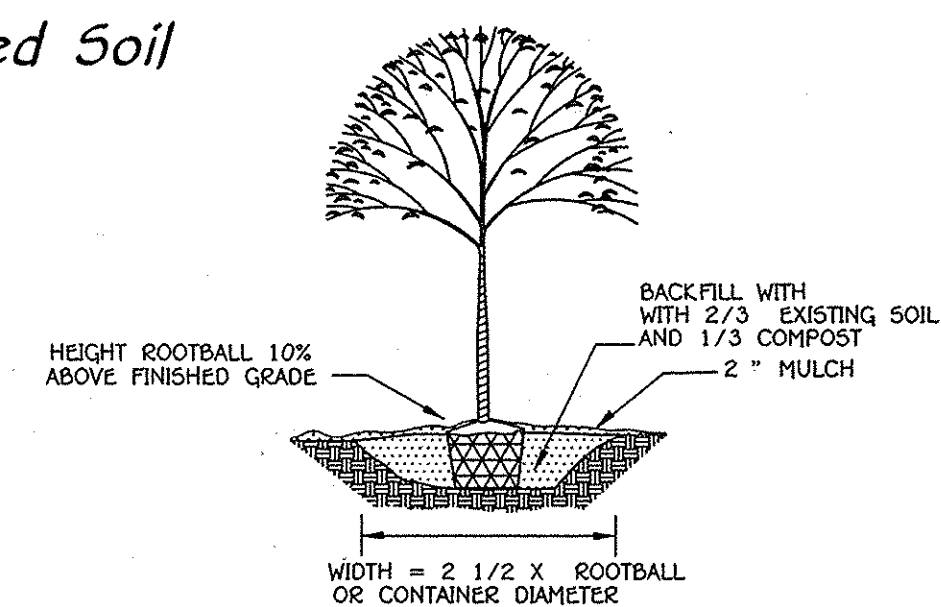
E. Security for Reforestation

Section 16-1209 of the Howard County Forest Conservation Act requires that a developer shall post a security (bond, letter of credit, etc.) with the County to insure that all work is done in accordance with the FCP.

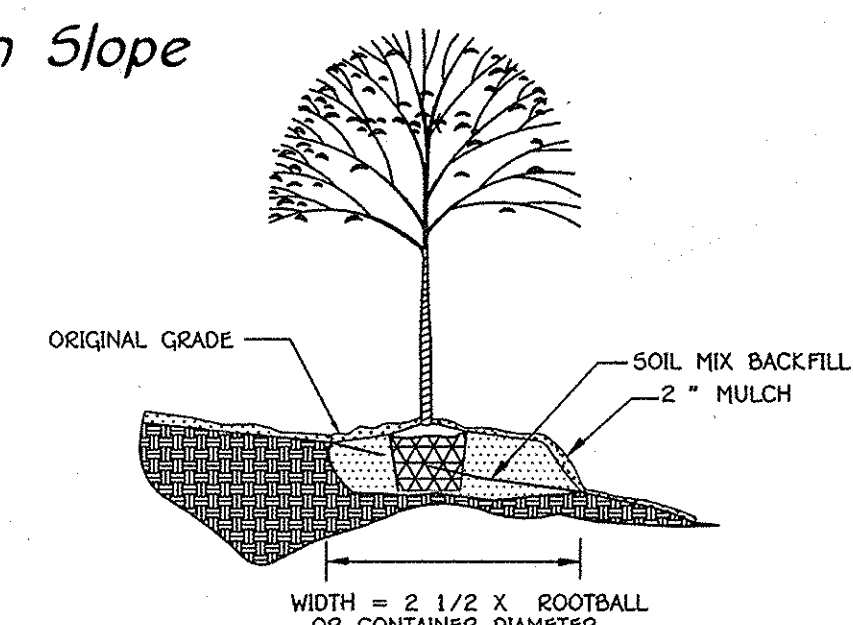
Undisturbed Soil



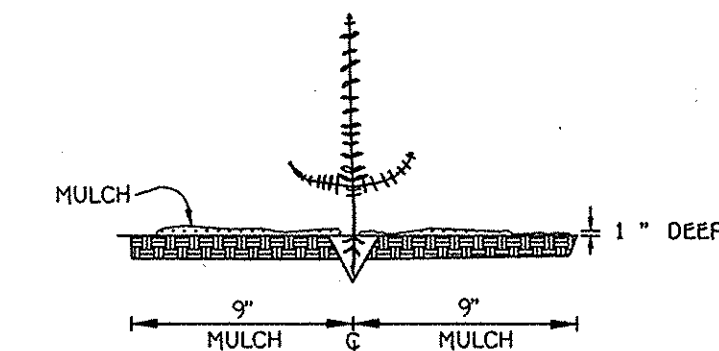
Disturbed Soil



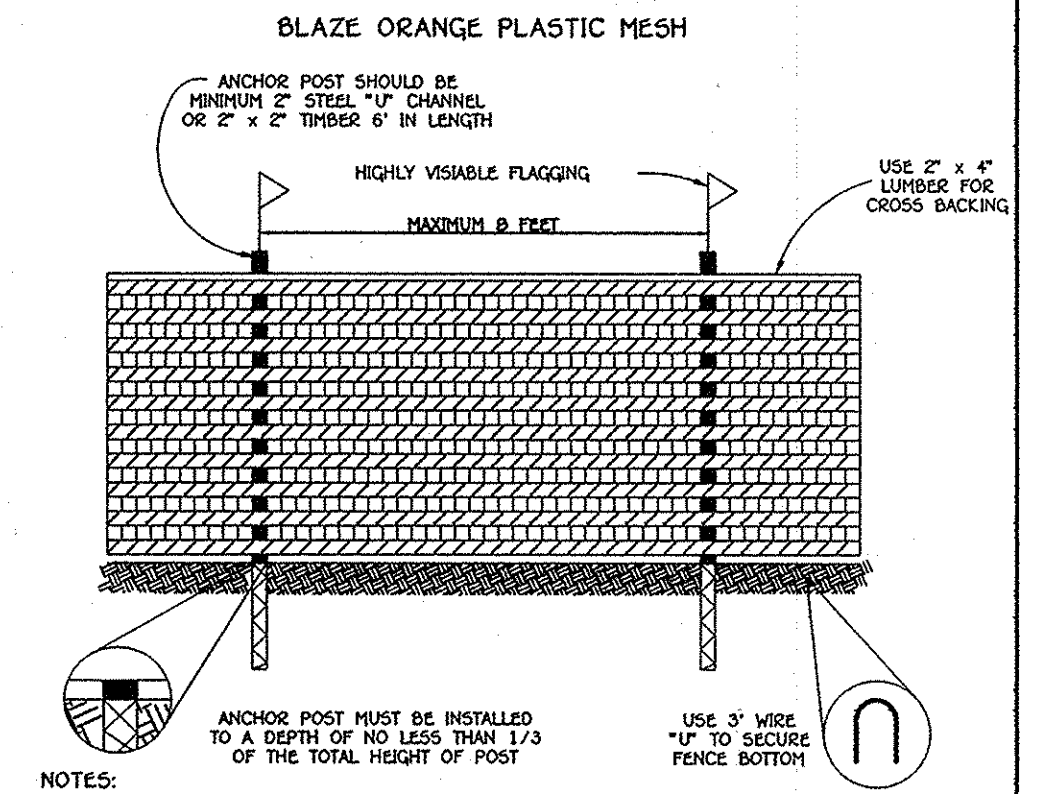
Planting on Slope



CONTAINER GROWN AND B & B PLANTING TECHNIQUES



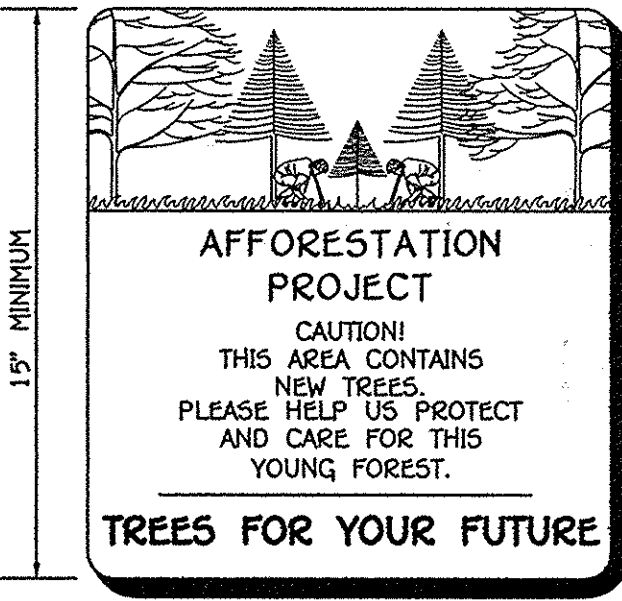
Seeding and Whip Planting Specification



- NOTES:
- FOREST PROTECTION DEVICE ONLY.
 - RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 - BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 - SOIL DAMAGE SHOULD BE AVOIDED.
 - PROTECTIVE SIGNAGE MAY ALSO BE USED.
 - DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

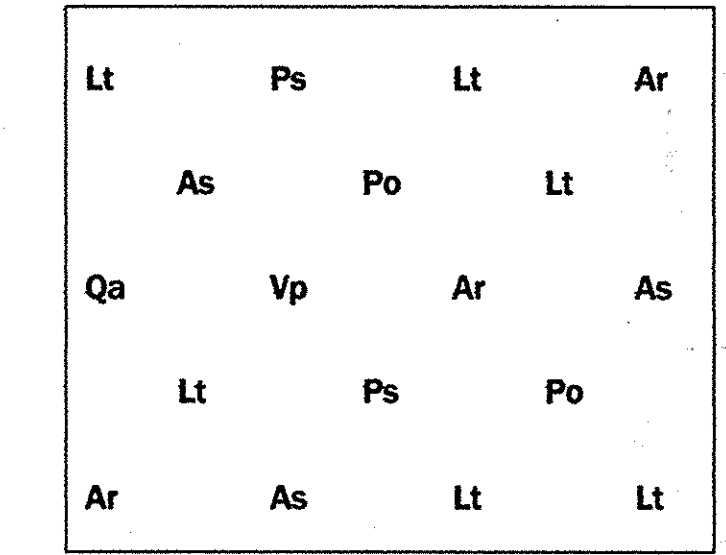
TREE PROTECTION DETAIL

NOT TO SCALE



- ▲ - DENOTES REFORESTATION PROJECT SIGN TO BE INSTALLED
- PROTECTIVE SIGNAGE SHALL BE IN PLACE FOR PERPETUITY.

Typical Planting Layout



This diagram shows a typical dispersal of species within planting area. The spacing shall be in accordance with the approved planting schedule. Where the size of the planting stock varies, the planting units shall be installed at averaged spacing to provide approximately uniform coverage.

Agricultural Land Preservation Program Howard County, Maryland

FOREST CONSERVATION PLANTING

The purpose of this policy is to allow for the enhancement of environmental conditions on preserved farmland while protecting the purpose of the agricultural easement, and to recognize changes to County, State and Federal farmland conservation programs. This policy is based upon the Agricultural Land Preservation Board Forest Conservation Policy of July 8, 1996, as revised February 13, 2006.

POLICY: Forest Conservation planting is the fulfillment of a developer's forest conservation obligation by planting off-site. Properties encumbered by an agricultural land preservation easement may be allowed to establish reforestation plantings, including off-site mitigation for a single site or multiple sites, and reforestation banks. Forest retention banks, however, are not permitted on easement sites. Planting may occur on County agricultural easement properties only in the following limited areas:

- Stream buffers - trees may be planted no more than 100 ft. on either side of a stream.
- Wetland and pond buffers - trees may be planted no more than 35 ft. from the edge of a wetland or a pond.
- Slopes - 25% or greater may be planted to prevent erosion.
- Buffer from existing development - a maximum 35 ft. "hedgerow" of planting against existing or proposed residential development may be planted.
- Land proposed for the Conservation Reserve Enhancement Program (CREP) or other protection - larger buffers and slopes 15 percent or greater that are subject to a CREP or other conservation protection plan approved by the Soil Conservation District may be planted if the soils have a soil erodibility factor (K) greater than 0.35, or an erodibility index (EI) greater than 16. The EI value is what is used to determine eligibility for CREP, where the EI=(KxRxLS)/T. In this equation, R is the rainfall factor, LS is the slope factor and T is the tolerable loss.

Note that the areas listed above are maximums to avoid incursions onto productive land. The reforestation criteria not considered to be sufficient reasons, by themselves, to reforest portions of each easement are a) wildlife habitat, b) areas adjacent to existing forest stands, and c) afforestation plantings between small forest and tree stands. A complete Soil Conservation and Water Quality (SCWQ) Plan, prepared by the Soil Conservation District, is required on any easement farm proposing to establish off-site forest conservation mitigation plantings or a reforestation bank. The SCWQ Plan must delineate the replanting areas, using the above criteria.

This Policy applies to both County and State agricultural easement properties. For all properties in the State agricultural preservation program, final approval for the Forest Conservation mitigation easement is required by the Maryland Agricultural Land Preservation Foundation (MALPF) prior to reforestation. The County will forward the proposal to MALPF for review only if all County requirements are met.

For More Information
Joy Levy, Agricultural Land Preservation Program Administrator
Howard County Department of Planning and Zoning
3430 Court House Drive
Ellicott City, Maryland 21043
410-313-5407

Revised Forest Conservation Policy Revised 02/13/06

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

CHARLES J. BROOK, SR., P.E.

5/31/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning

Chief, Division of Development

Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10029	BALTIMORE NAT'L PIKE,	ELLICOTT CITY, MD. 21042
B	10035	BALTIMORE NAT'L PIKE,	ELLICOTT CITY, MD. 21042
C	10025	BALTIMORE NAT'L PIKE,	ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21029 & 21027	2	B-1 B-2	24	SECOND	6023.01

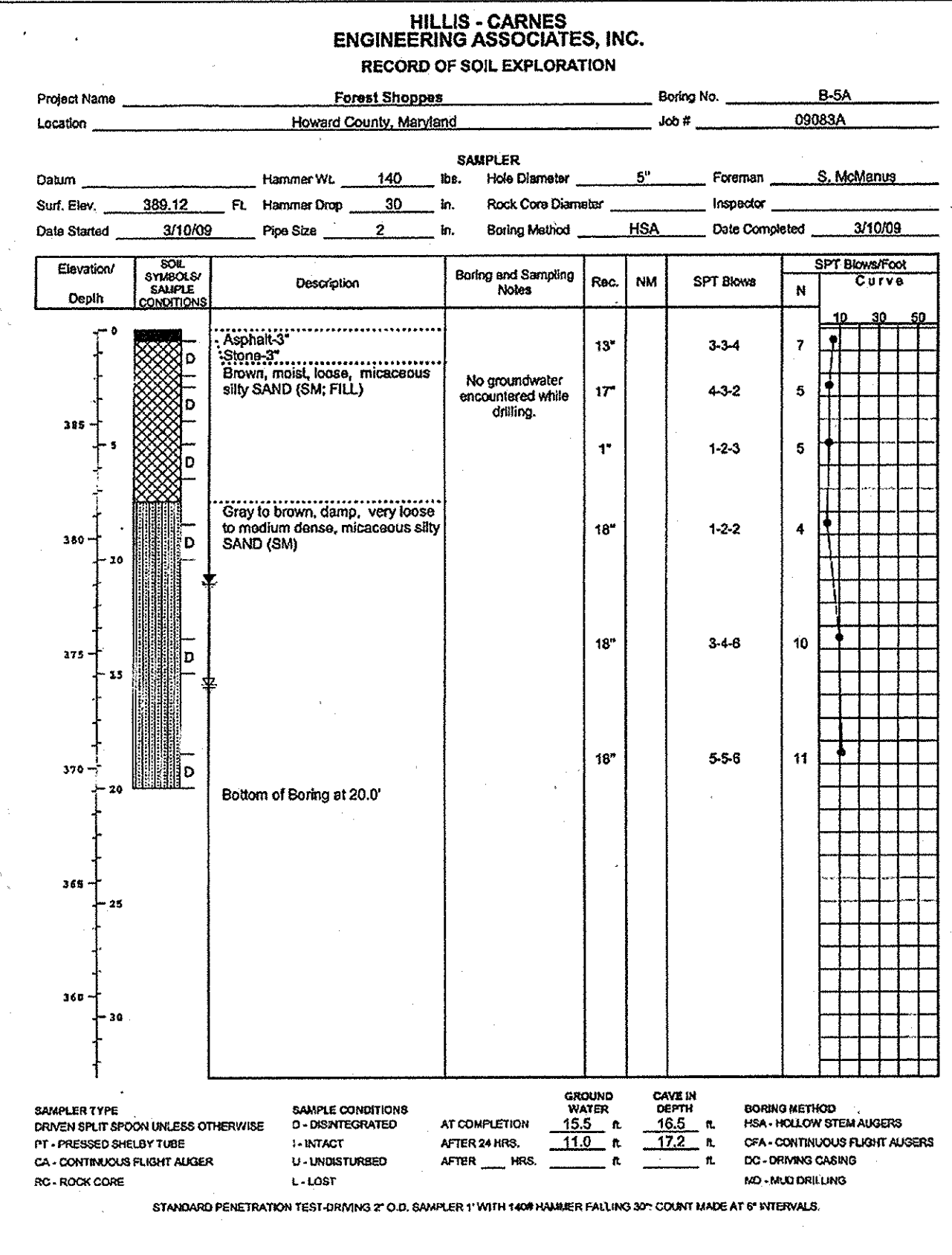
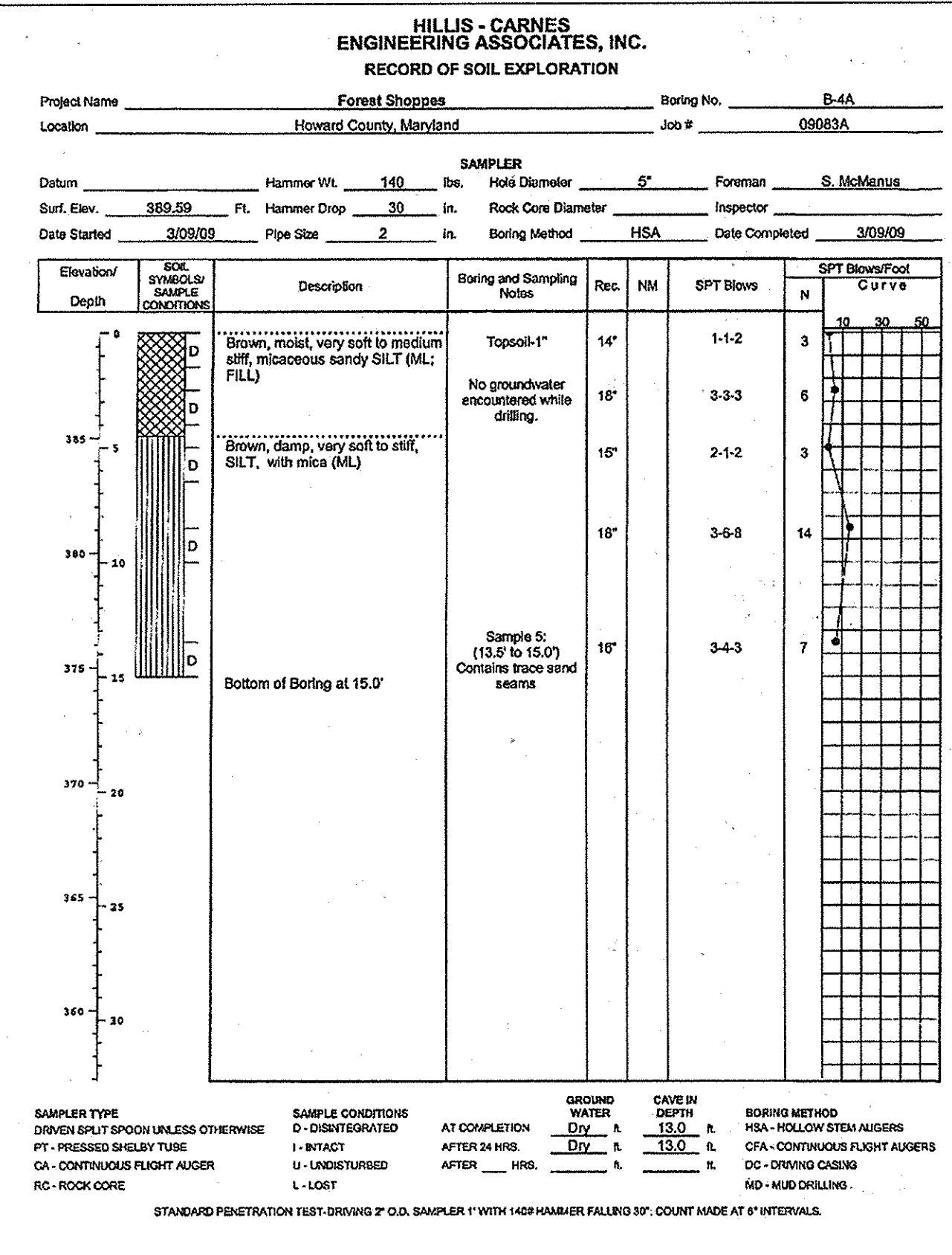
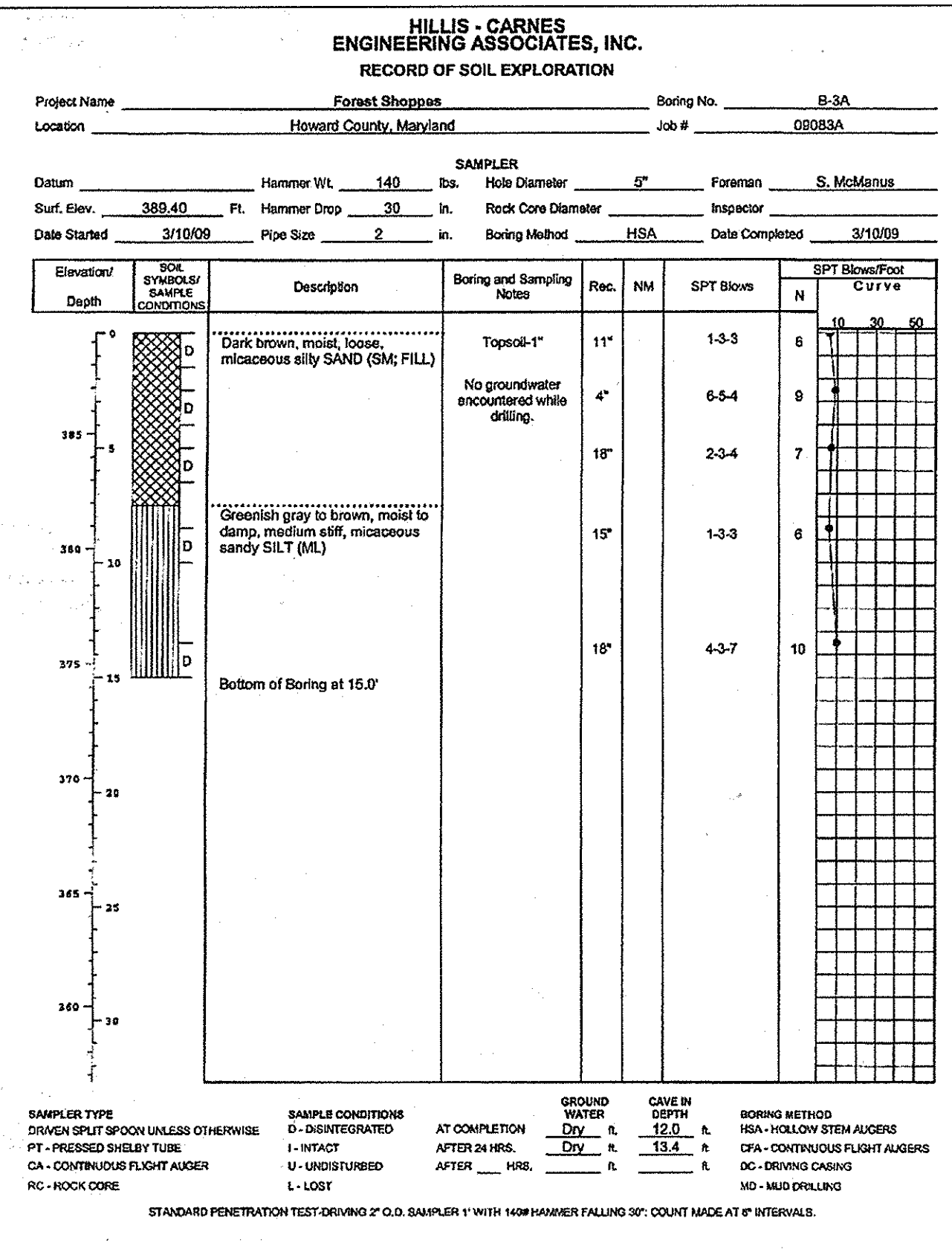
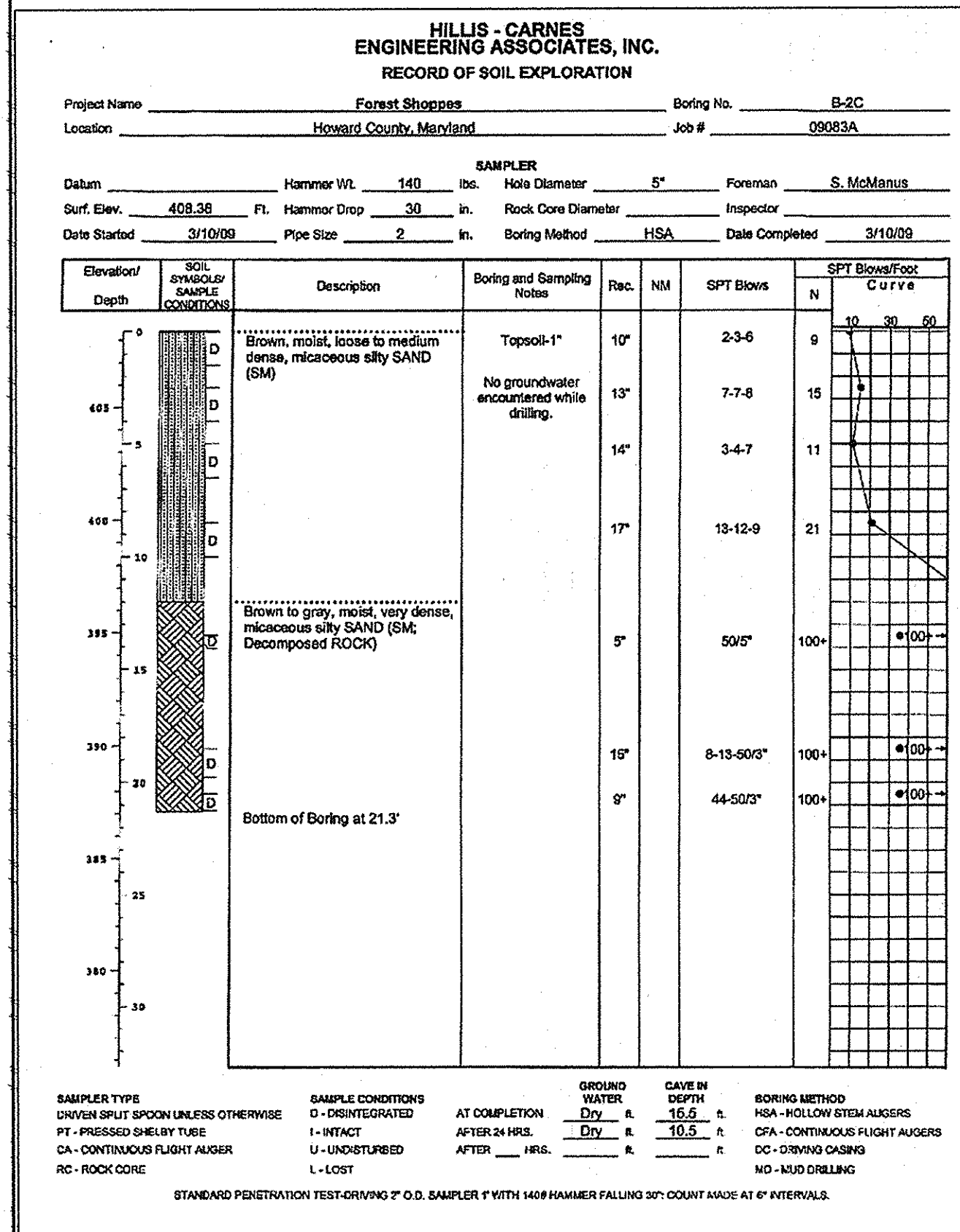
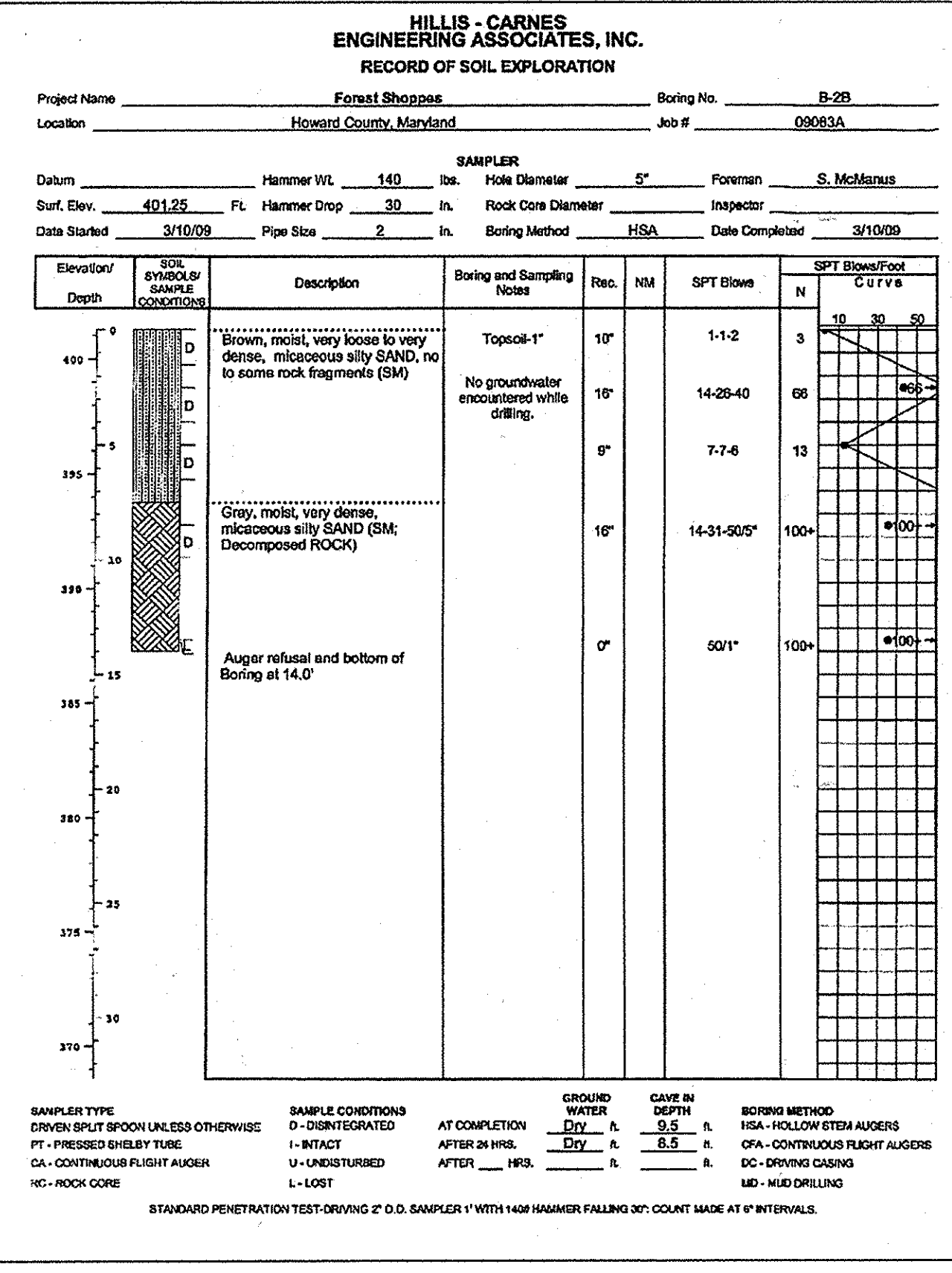
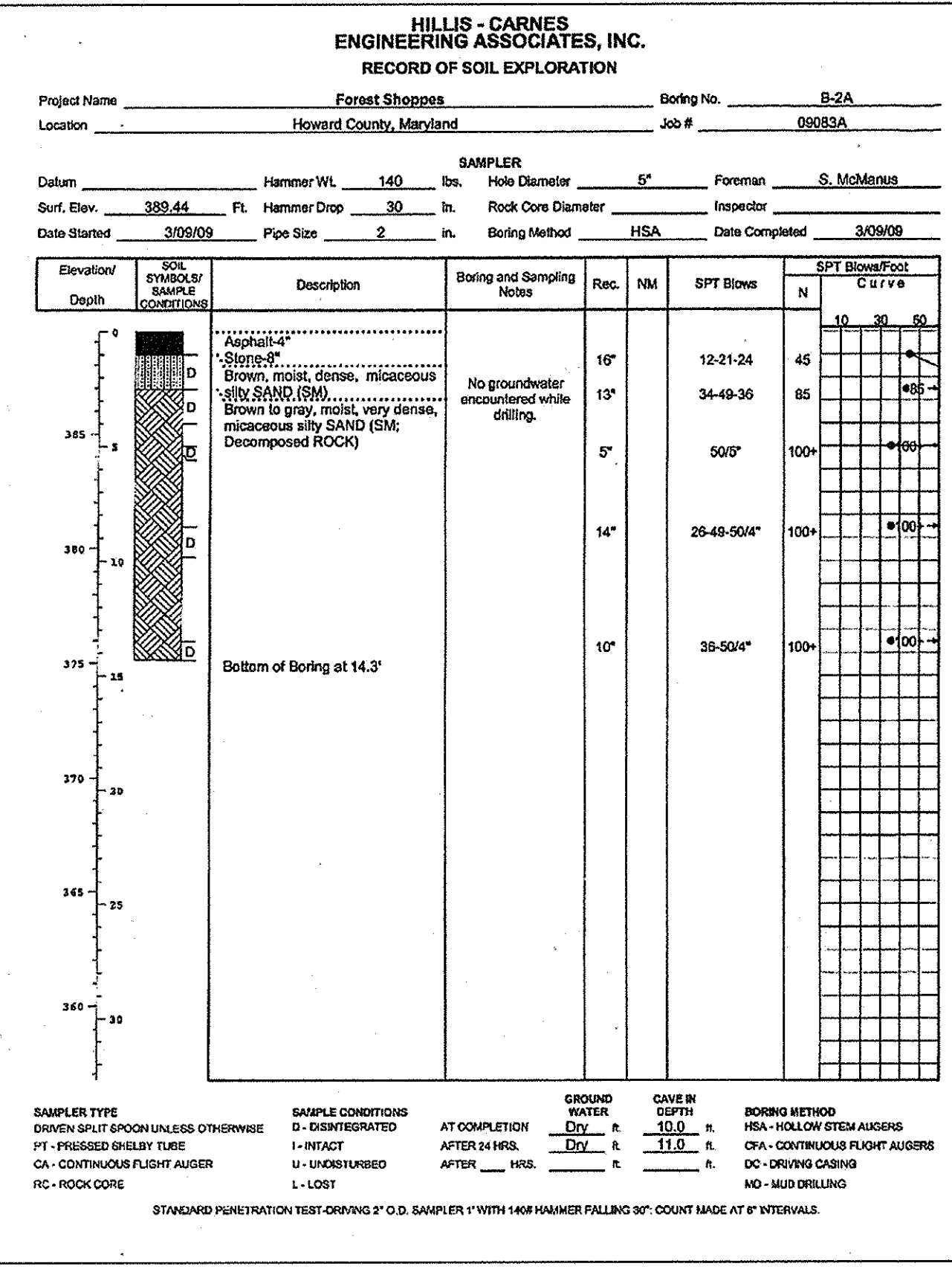
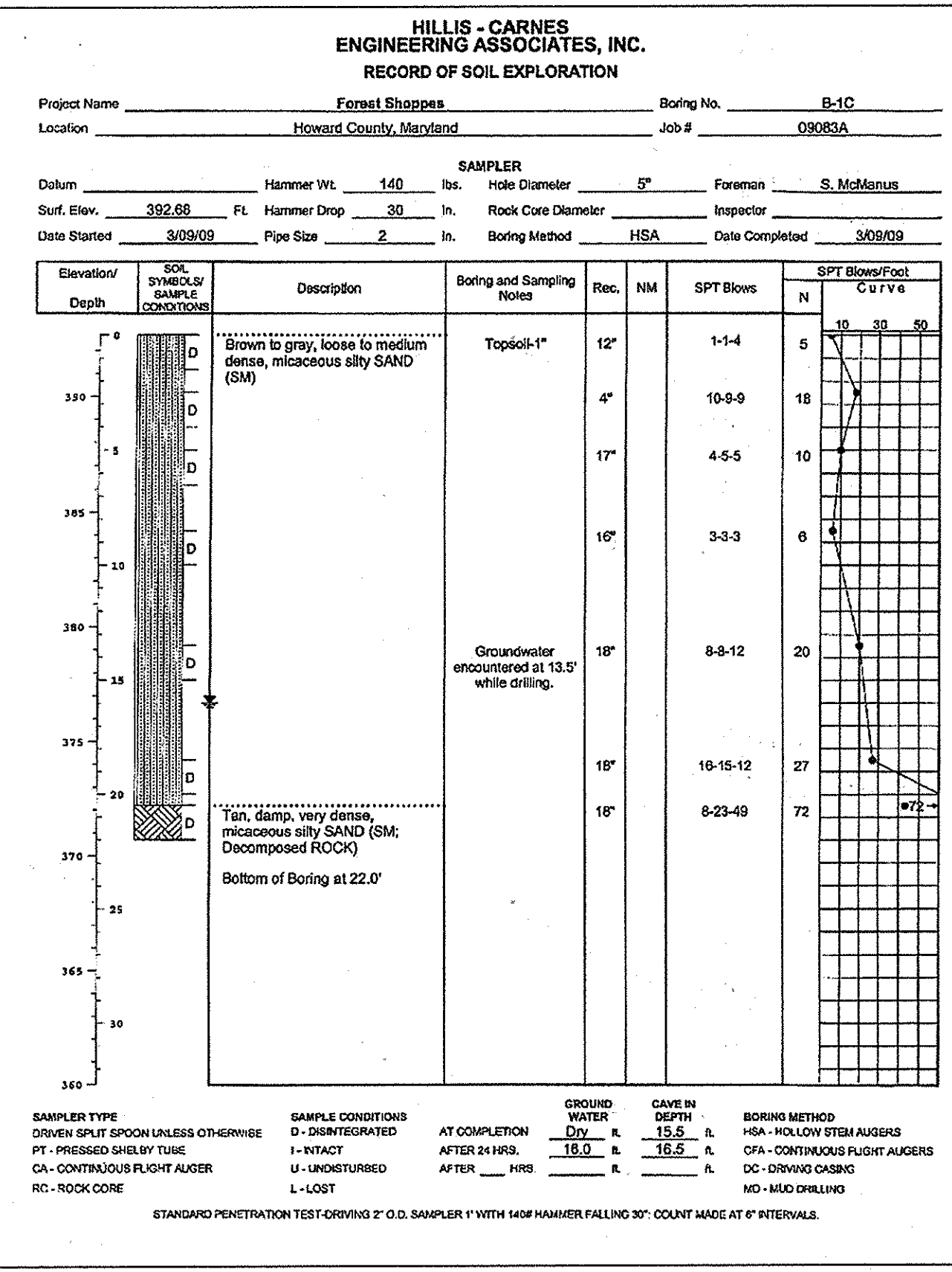
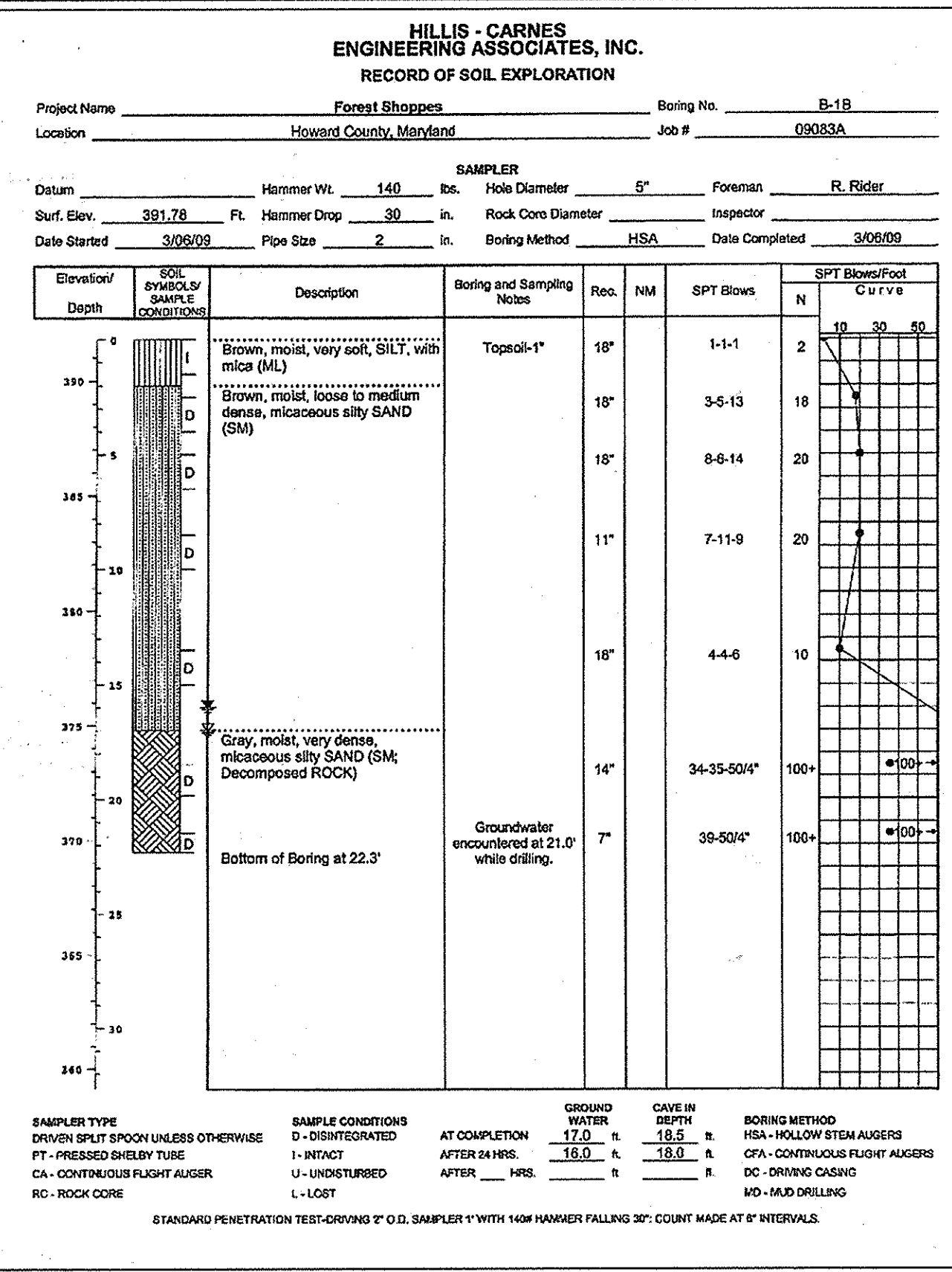
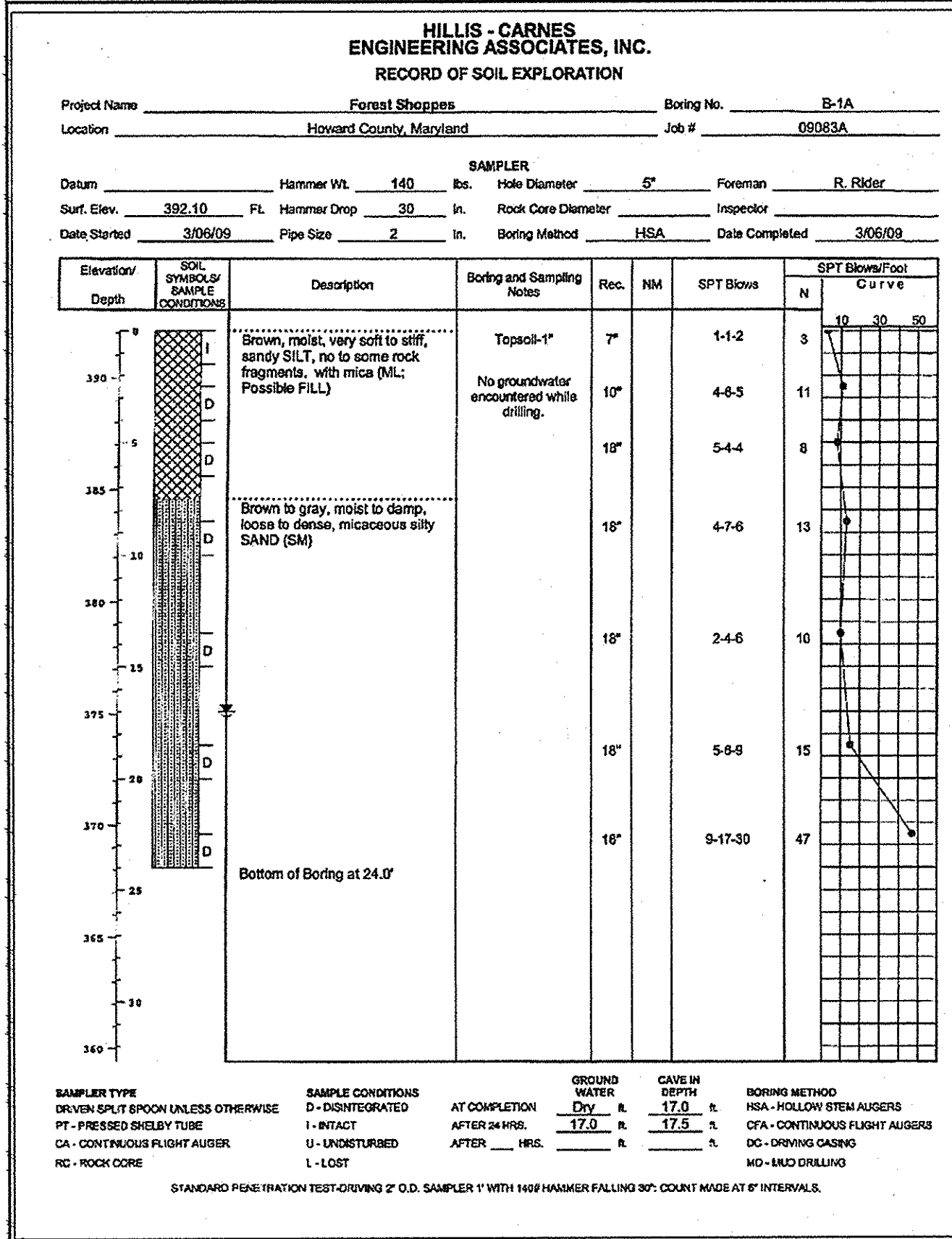
AFFORESTATION NOTES

FOREST GREEN
▲ PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S: 21029 & 21027
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 28 OF 42 SDP-10-036

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CONSULTING ECOLOGISTS
Eco-Science Professionals, Inc.
NO ONE Qualified Professional USACE Wetland Delimitation Certification # WDCP93MD06100448
JOHN P. CANOLES



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1022 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *Charles J. Krovo* Date: 5/31/11
Signature of Developer: *John J. ...* Date: 6/1/11

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic site inspection by the Howard Soil Conservation District."
Signature of Developer: *John J. ...* Date: 6/1/11

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
Signature: *Charles J. Krovo* Date: 5/31/11
Signature: *John J. ...* Date: 6/1/11

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Signature: *Thomas S. ...* Date: 6/1/11
Signature: *John J. ...* Date: 7/28/11

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST HOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10099 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

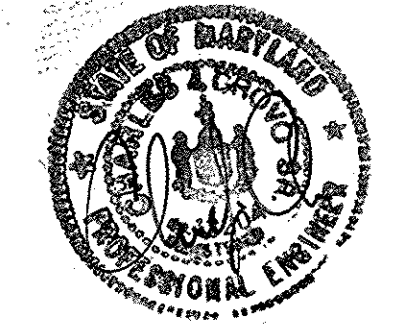
PROJECT: FOREST GREEN
SECTION/AREA: -
PARCELS: 69, 72, 453, 497 AND 1172
LOT: A

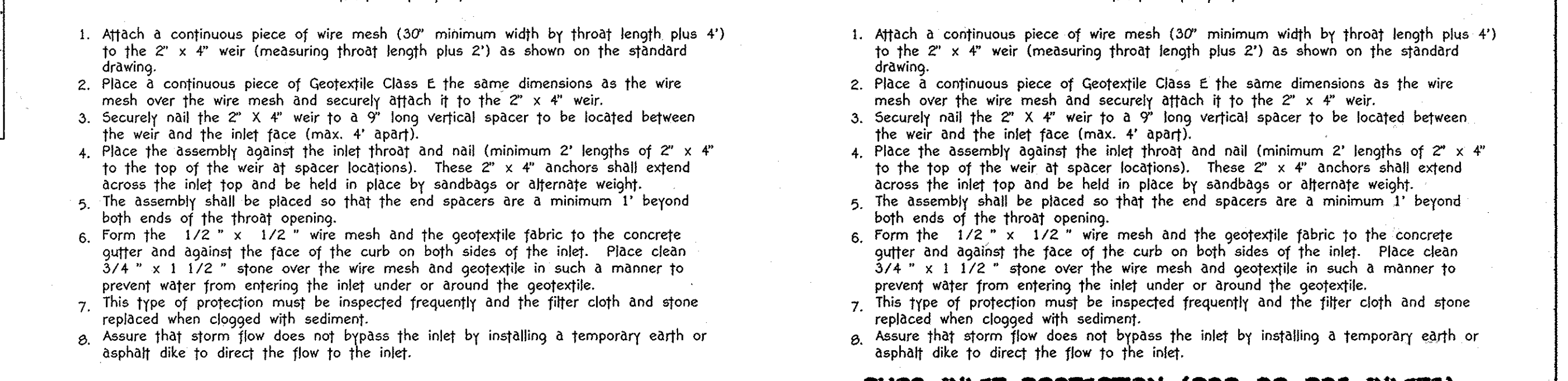
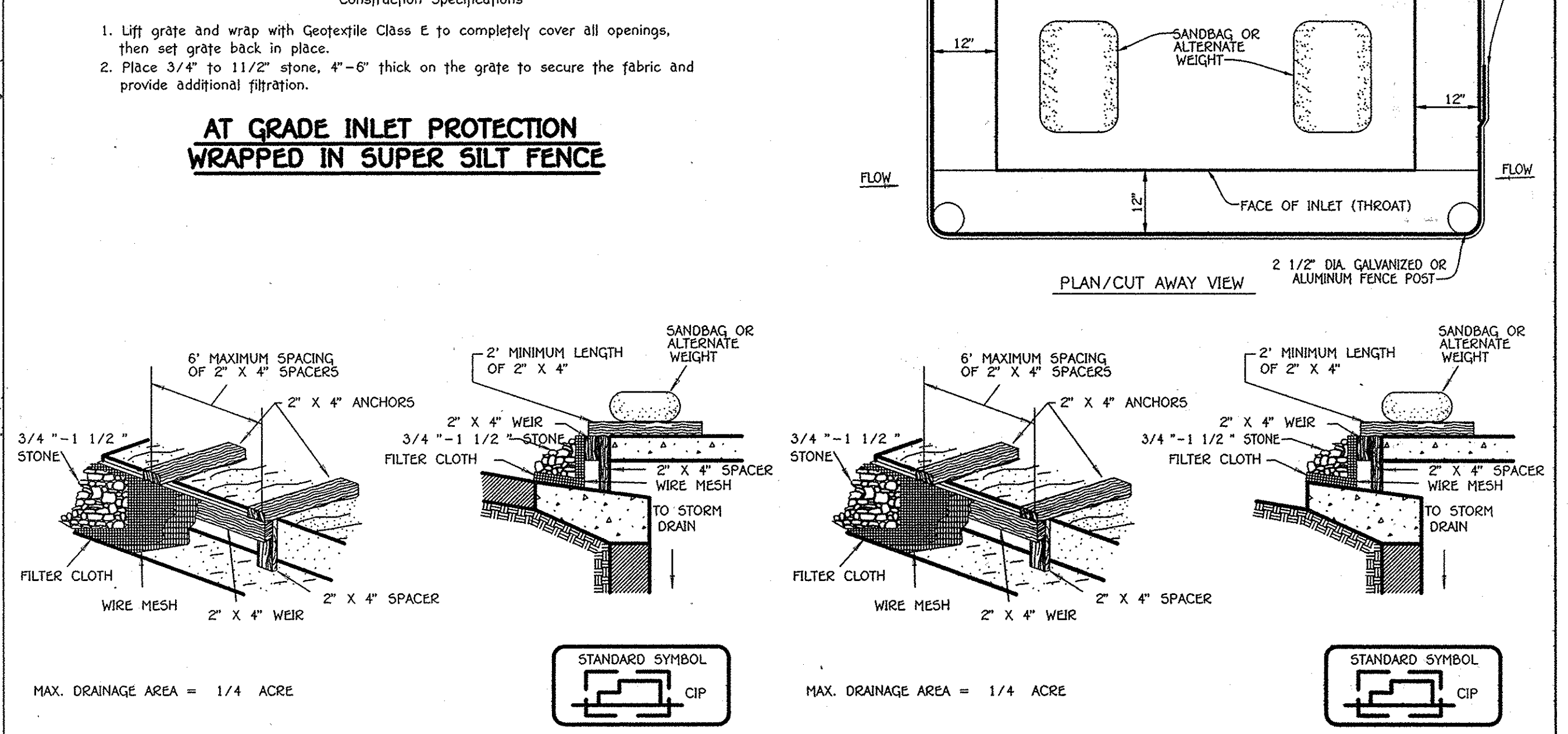
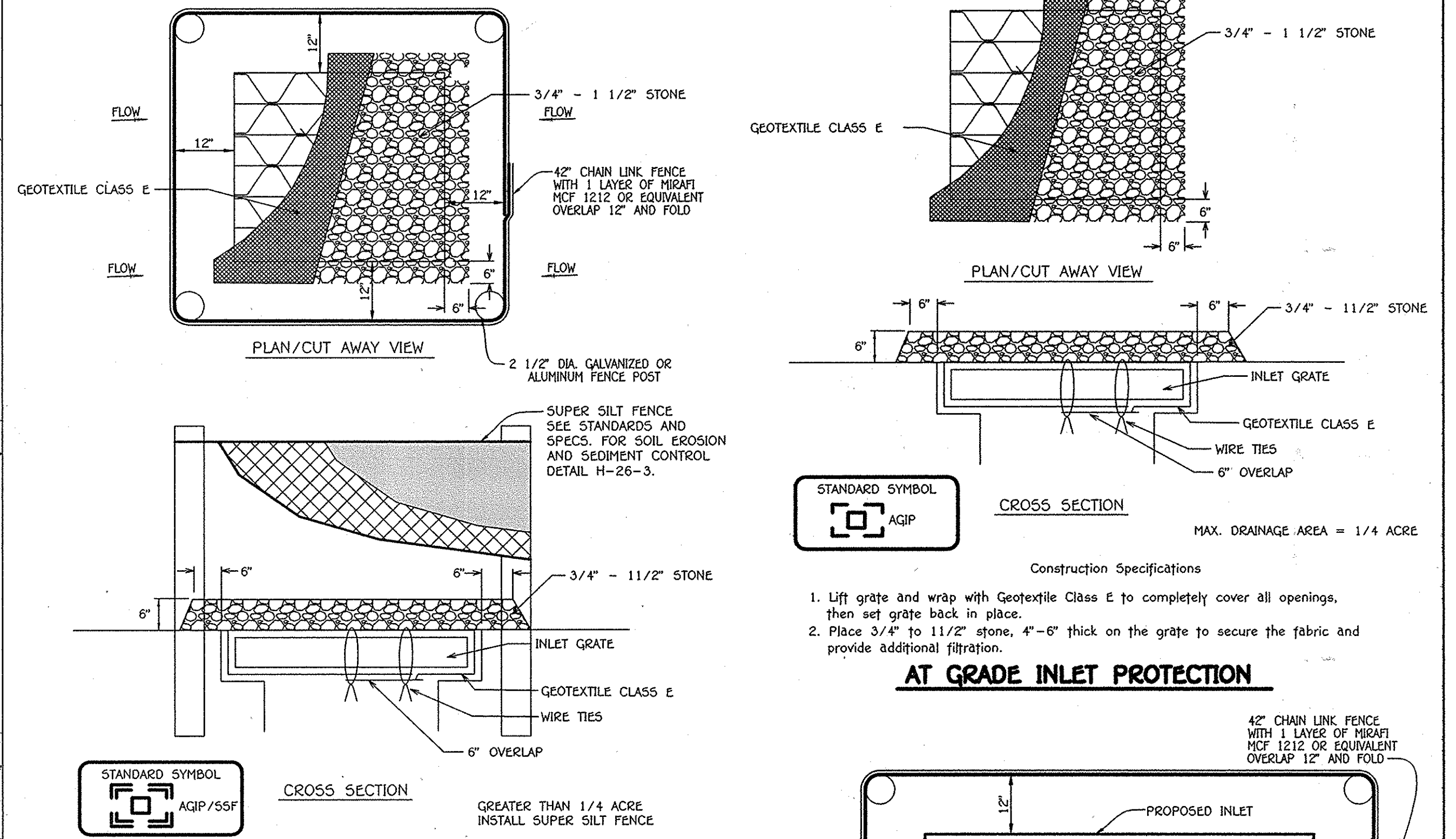
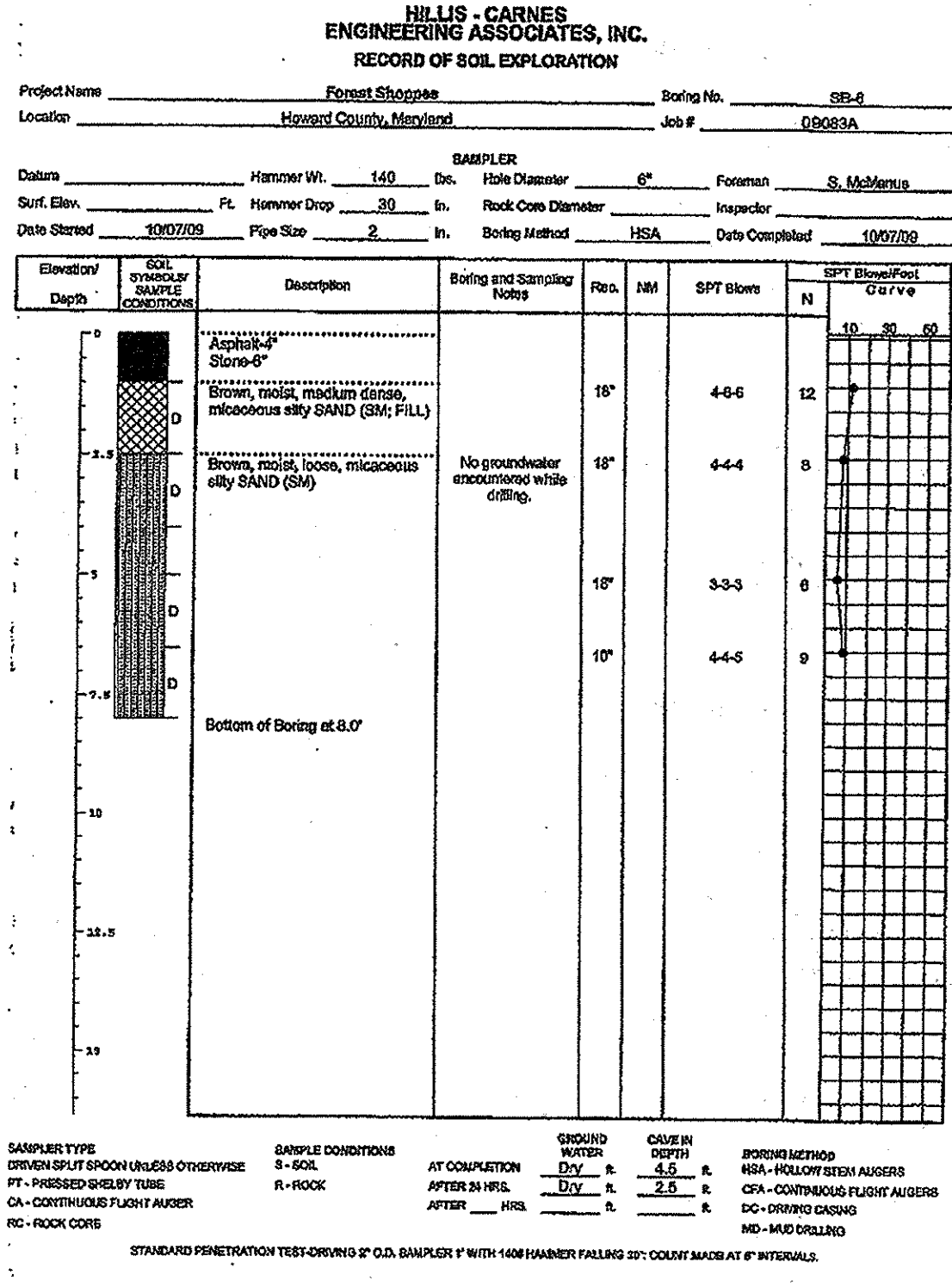
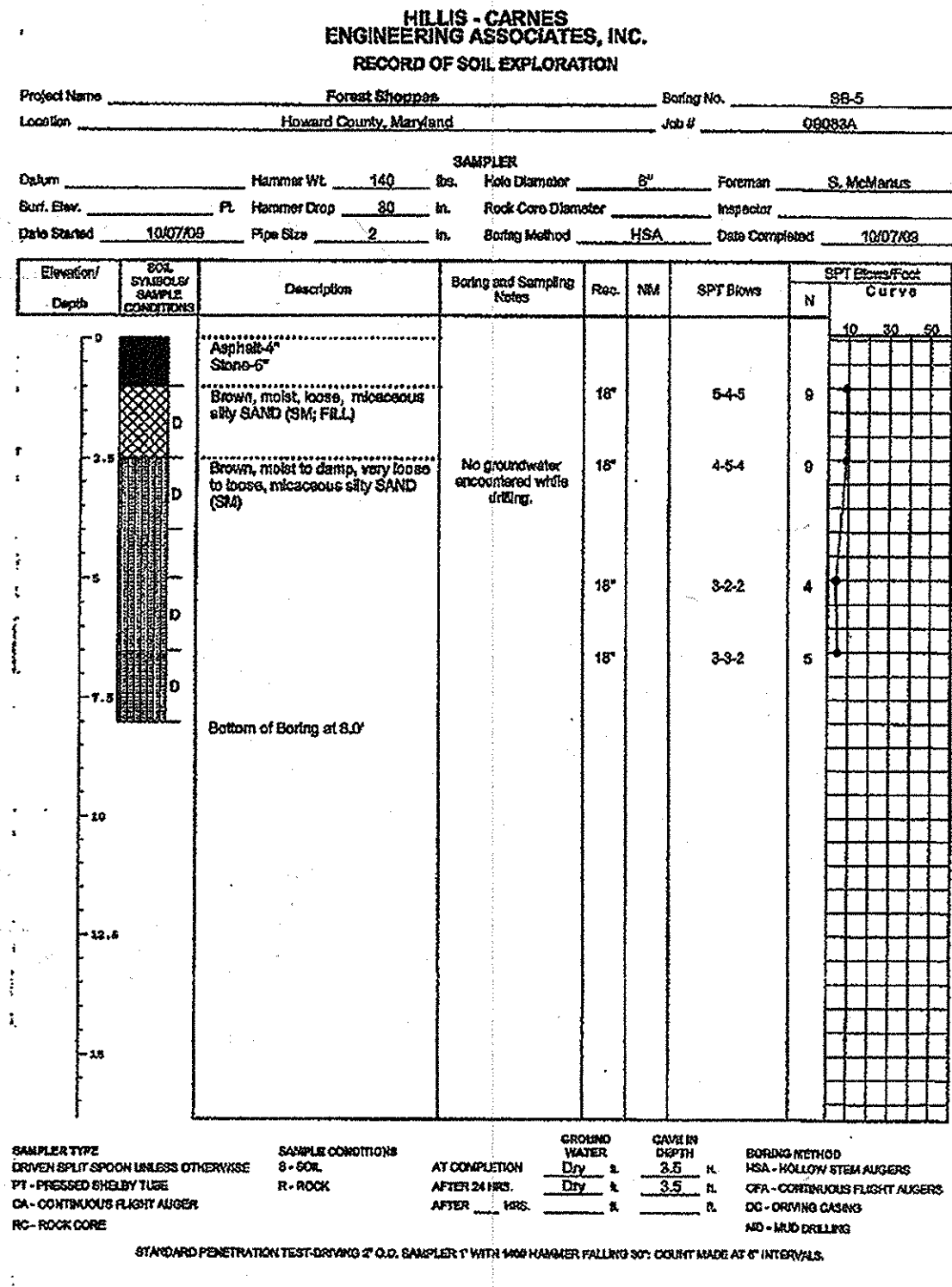
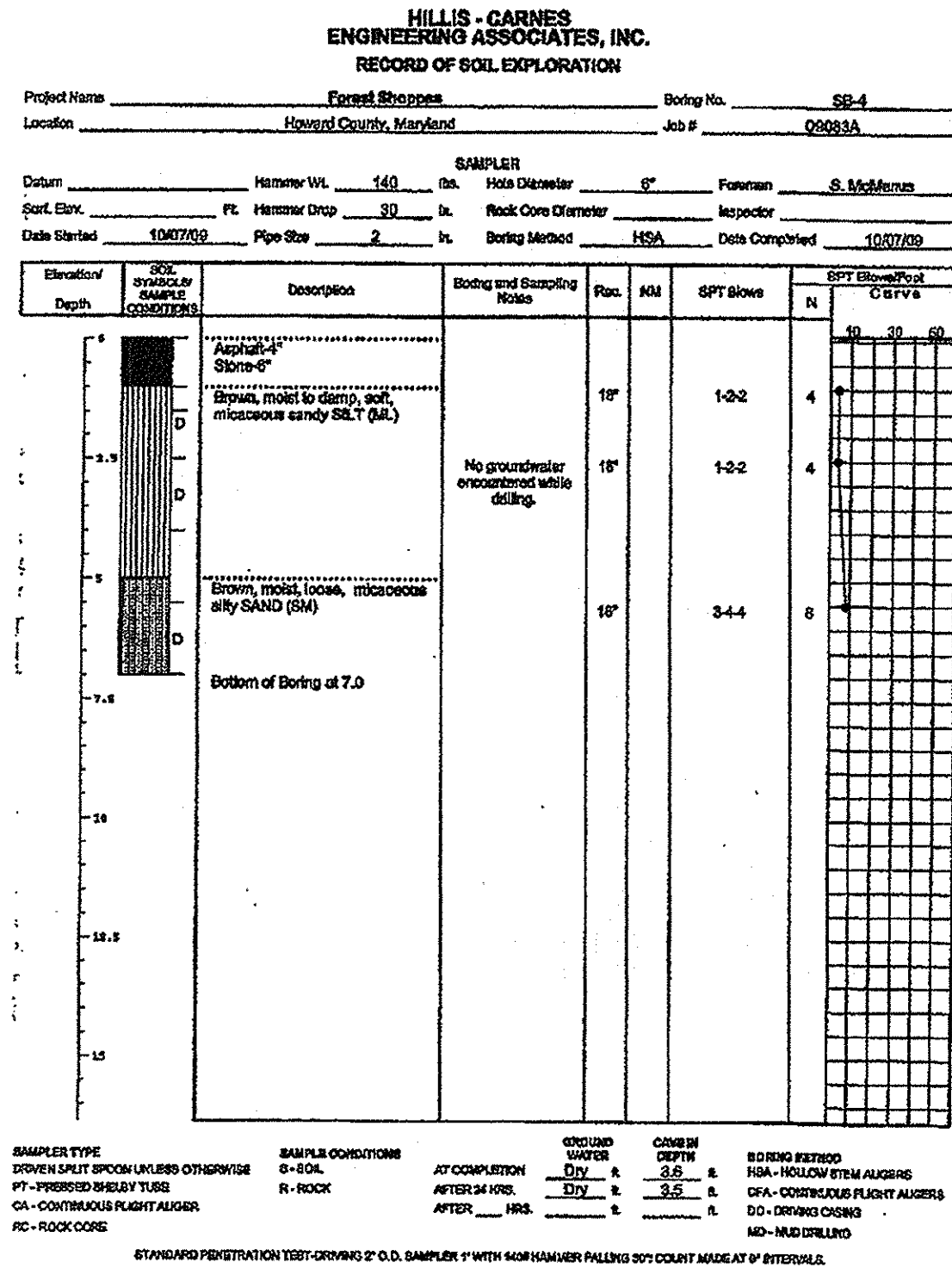
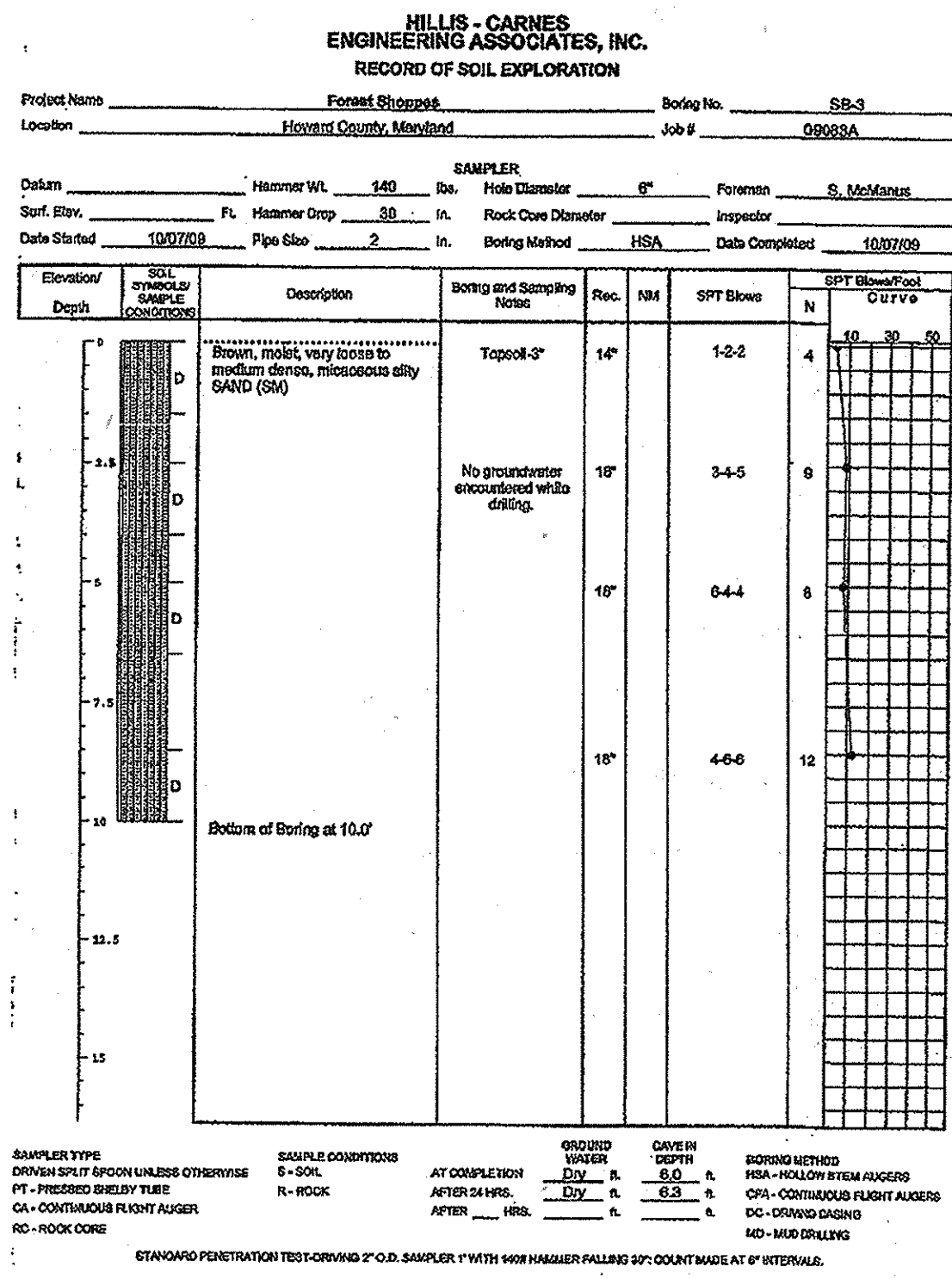
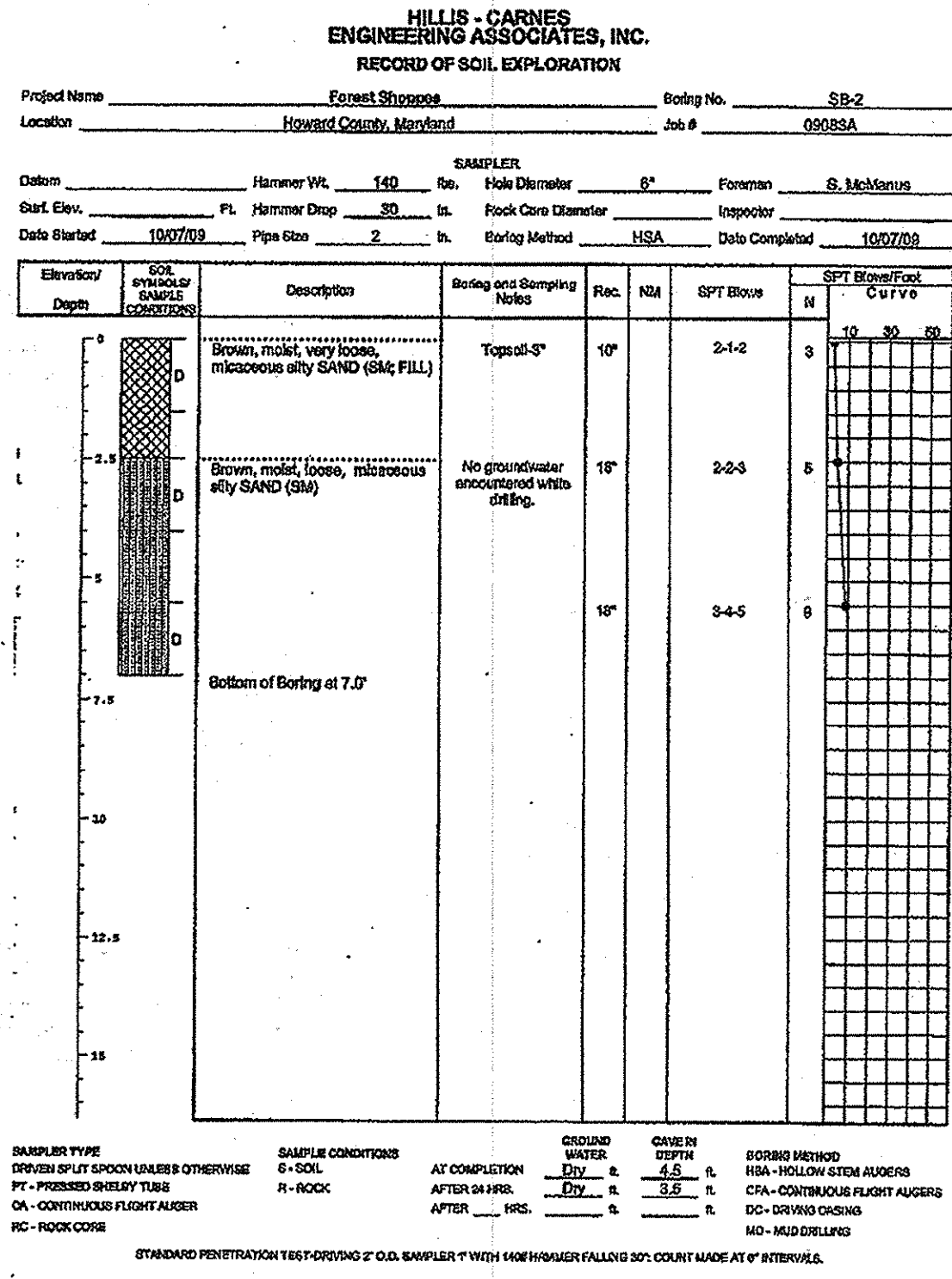
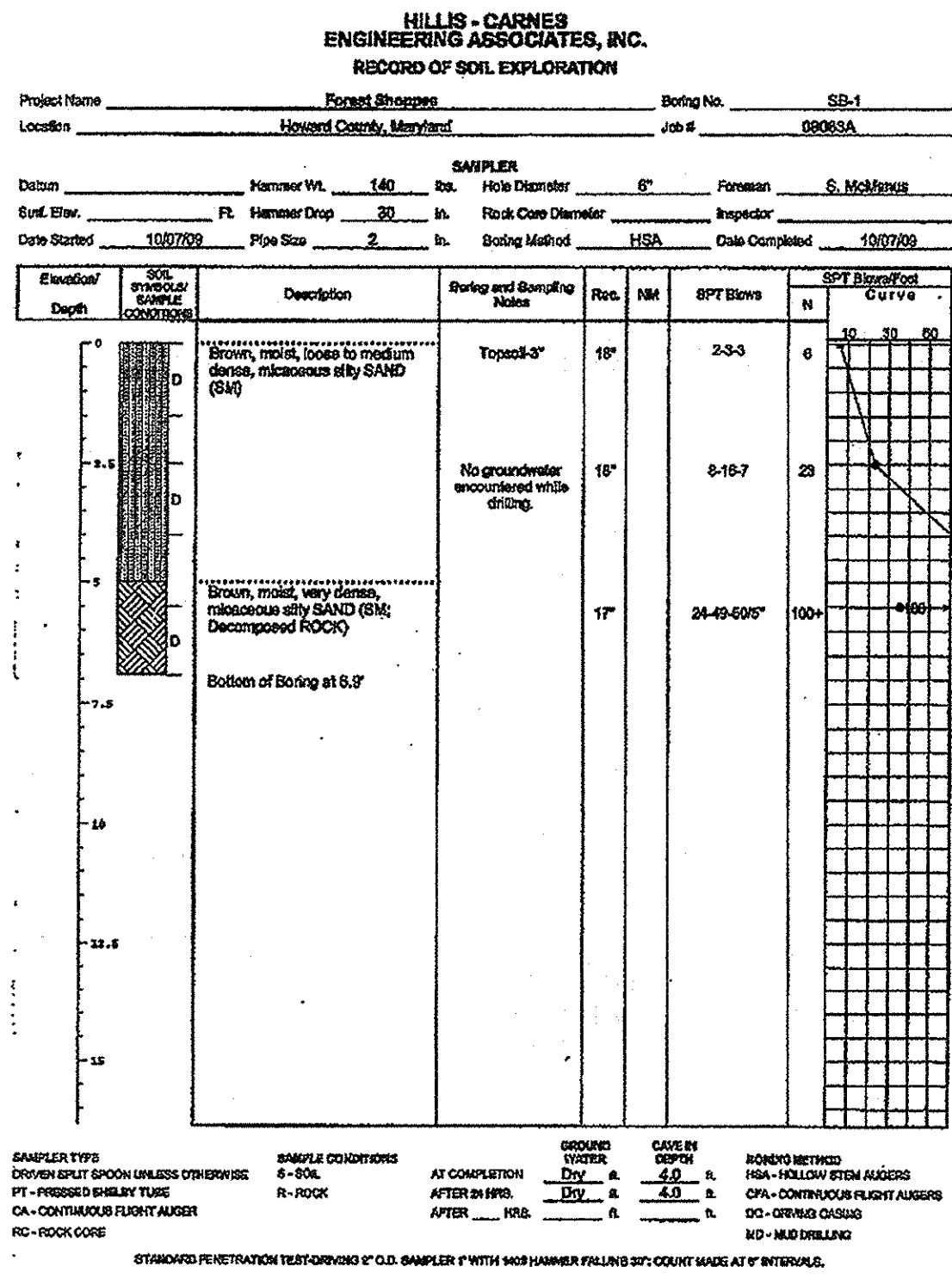
FLAT: 21096 & 21097
BLOCK NO.: 2
ZONE: B-1 B-2
TAX MAP: 24
ELEC. DIST.: SECOND
CENSUS TR.: 6023.01

SOIL BORING PROFILES

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT No.: 21096 & 21097
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 29 OF 42 SDP-10-036





FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2095

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Crovo* Date: 5/31/11

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *John R. Kobutan* Date: 6/21/11

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Signature: *Charles J. Crovo* Date: 5/31/11

CHARLES J. CROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *John R. Kobutan* Date: 6/21/11

John R. Kobutan
Howard SCD

10/10/10 CHANGE BUILDING A ADDRESS
9/21/11 REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK

DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Dennis E. Butler* Date: 8/1/11
Director - Department of Planning and Zoning

Signature: *K. J. DeLoach* Date: 9/10/11
Chief, Division of Land Development

Signature: *Michael J. Williams* Date: 7/20/11
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

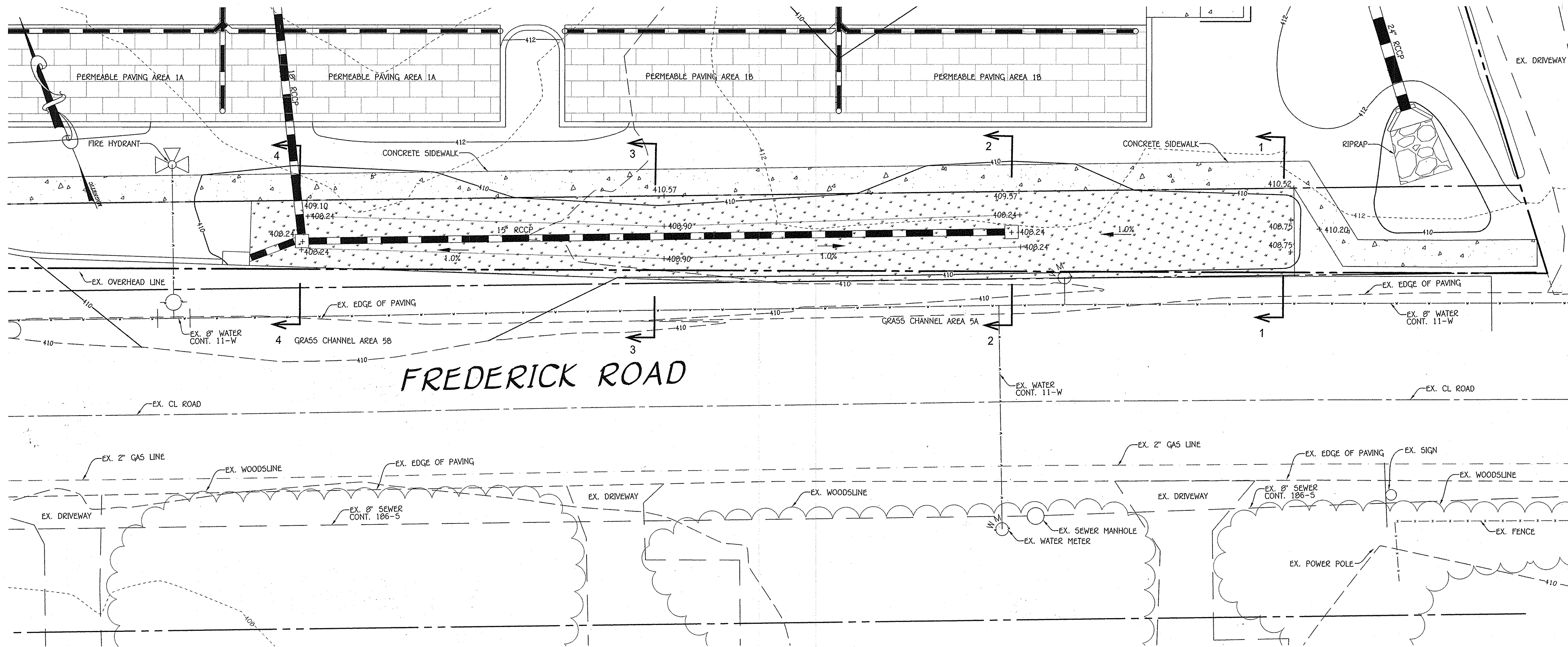
Address Chart	
BUILDING NO.	STREET ADDRESS
A	10021 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 457 AND 1172	A
PLAT 21036 & 21037	BLOCK NO. 2	ZONE B-1 B-2	TAX MAP ELEC. DIST. CENSUS TR.
		24	SECOND 6023.01

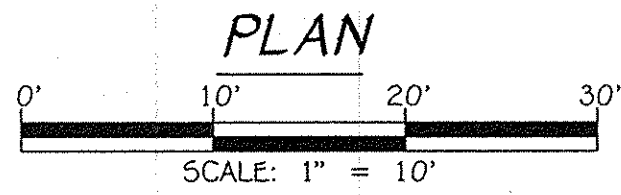
SOIL BORING PROFILES AND SEDIMENT CONTROL DETAILS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT No's: 21036 & 21037
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 30 OF 42 SDP-10-036



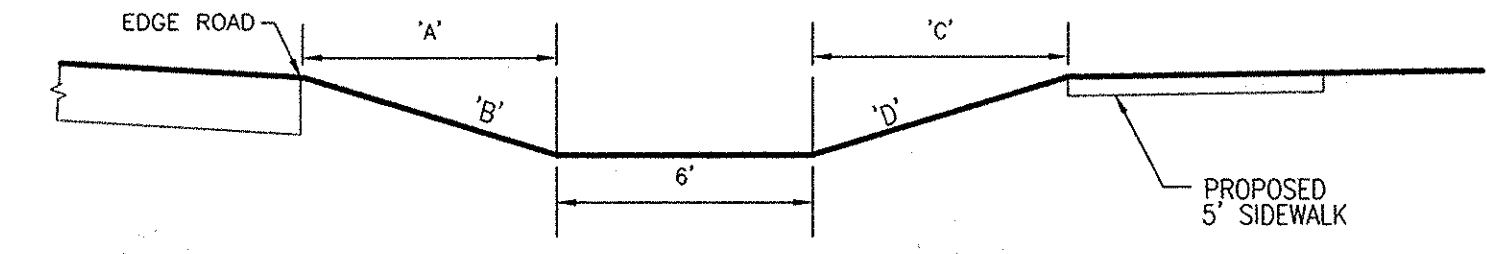
FREDERICK ROAD



DRAINAGE AREA DATA					
GRASS SWALE AREA	DRAINAGE AREA SQ. FT. (A)	IMP. AREA SQ. FT.	% IMP. (I)	TARGET SURFACE AREA SQ. FT.	PROPOSED SURFACE AREA SQ. FT.
5	10454	6098	58.3	2319	648

ESD_v = ((PE)(R_v)(A)) / 12
 Where: PE = Rainfall Target from Chapter 5 Table 5.3
 and R_v = 0.05 + 0.009(I)
 and I = percent impervious cover.
 The target PE for design = 1.8 inches.

GRASS CHANNEL DATA							
LOCATION	EDGE RD ELEV	CHANNEL INVERT	DIM 'A'	SIDE SLOPE 'B'	DIM 'C'	SIDE SLOPE 'D'	CHANNEL SLOPE
GRASS CHANNEL #1 CROSS SECTION #1	410.52	408.75	5.3'	3:1	5.3'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #2	410.35	408.24	6.3'	3:1	4.0'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #3	410.06	408.90	4.6'	4:1	5.0'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #4	410.52	408.75	3.9'	3:1	5.3'	3:1	1.0%



NOTE: 4" OF TOPSOIL MUST BE PLACED ON ALL AREAS WITH SLOPES LESS THAN 2:1.

- STABILIZATION LEGEND
- CC SEED AND MULCH
 - CC SEED AND COVER WITH EROSION CONTROL MATING
 - CC OR LINE WITH SOD

- CONSTRUCTION SPECIFICATIONS
- GRASS CHANNEL SHALL HAVE AN UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 - ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
 - THE GRASS CHANNEL SHALL BE EXCAVATED TO THE LINE AND GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA HEREIN AND BE FREE OF BANK PROJECTIONS OF OTHER IRREGULARITIES WHICH MAY IMPEDER NORMAL FLOW.
 - FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 - RUNOFF DIVERTED FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT A NON-EROSIVE VELOCITY.

GRASS CHANNEL W/O BERM

TYPICAL CROSS SECTIONS
NOT TO SCALE



ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *[Signature]* Date: 5/31/11

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Signature: *[Signature]* Date: 5/31/11
 CHARLES J. CROW, SR., P.E.

DEVELOPER'S CERTIFICATE

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have Certificates of Attendance of a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 6/1/11

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* Date: 6/1/11
 Howard SCD

DATE	DESCRIPTION	DATE
10/19/14	REMOVE BUILDING ADDRESS	
01/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>[Signature]</i>	Director - Department of Planning and Zoning	8/1/11
<i>[Signature]</i>	Chief, Division of Land Development	8/1/11
<i>[Signature]</i>	Chief, Development Engineering Division	7/20/11

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

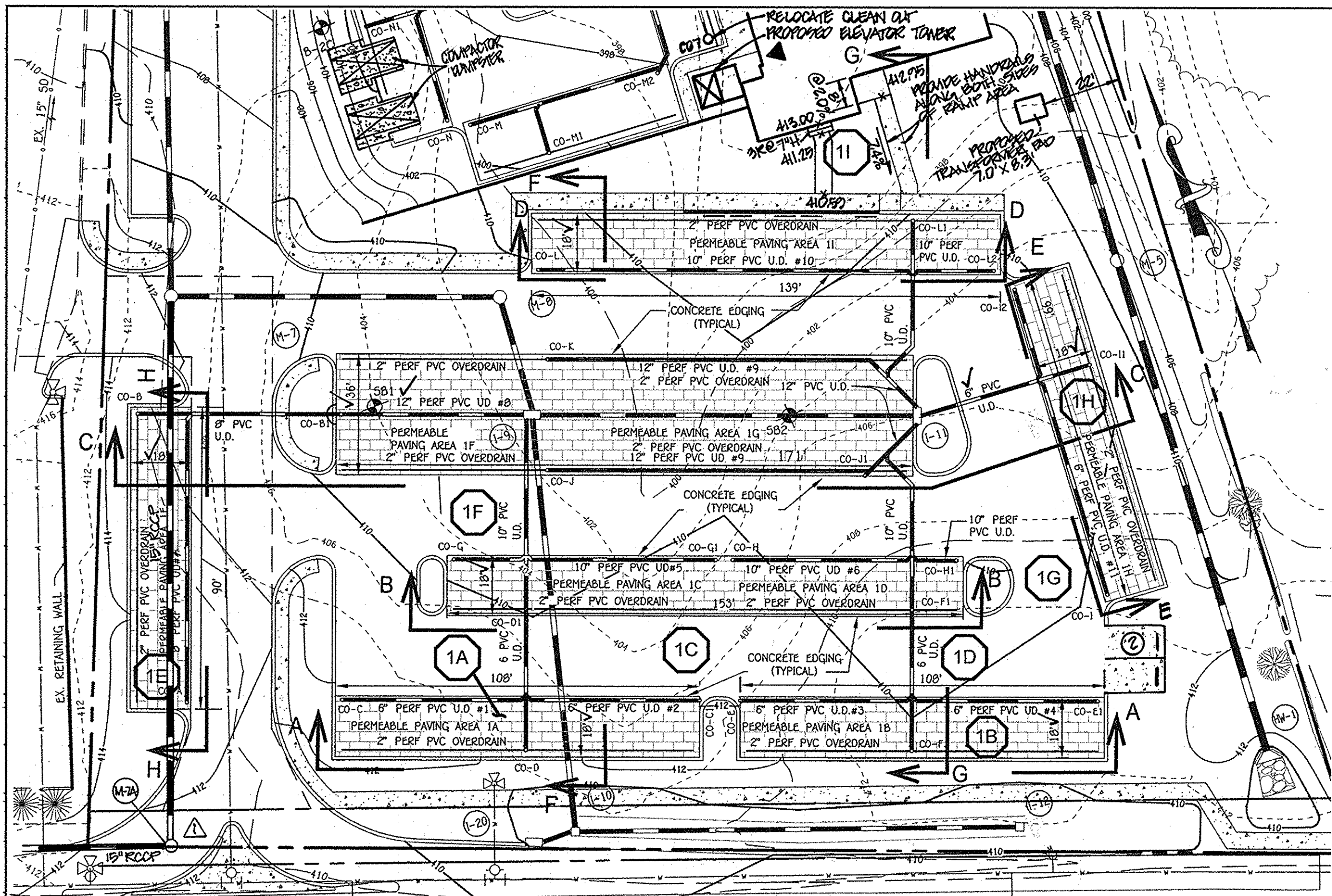
OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
PROJECT	
FOREST GREEN	
SECTION/AREA	
FLAT 21036 & 21037	2
PARCELS	
69, 72, 453, 497 AND 1172	A
LOT	
6023.01	
TAX MAP	
2	B-1 B-2
ELEC. DIST. CENSUS TR.	
24	SECOND

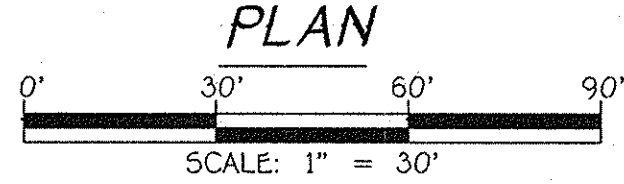
STORMWATER MANAGEMENT PLAN & PROFILE PERMEABLE PAVING AREA 1

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT No's: 21036 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010



UNDERDRAIN FLOW COMPUTATIONS

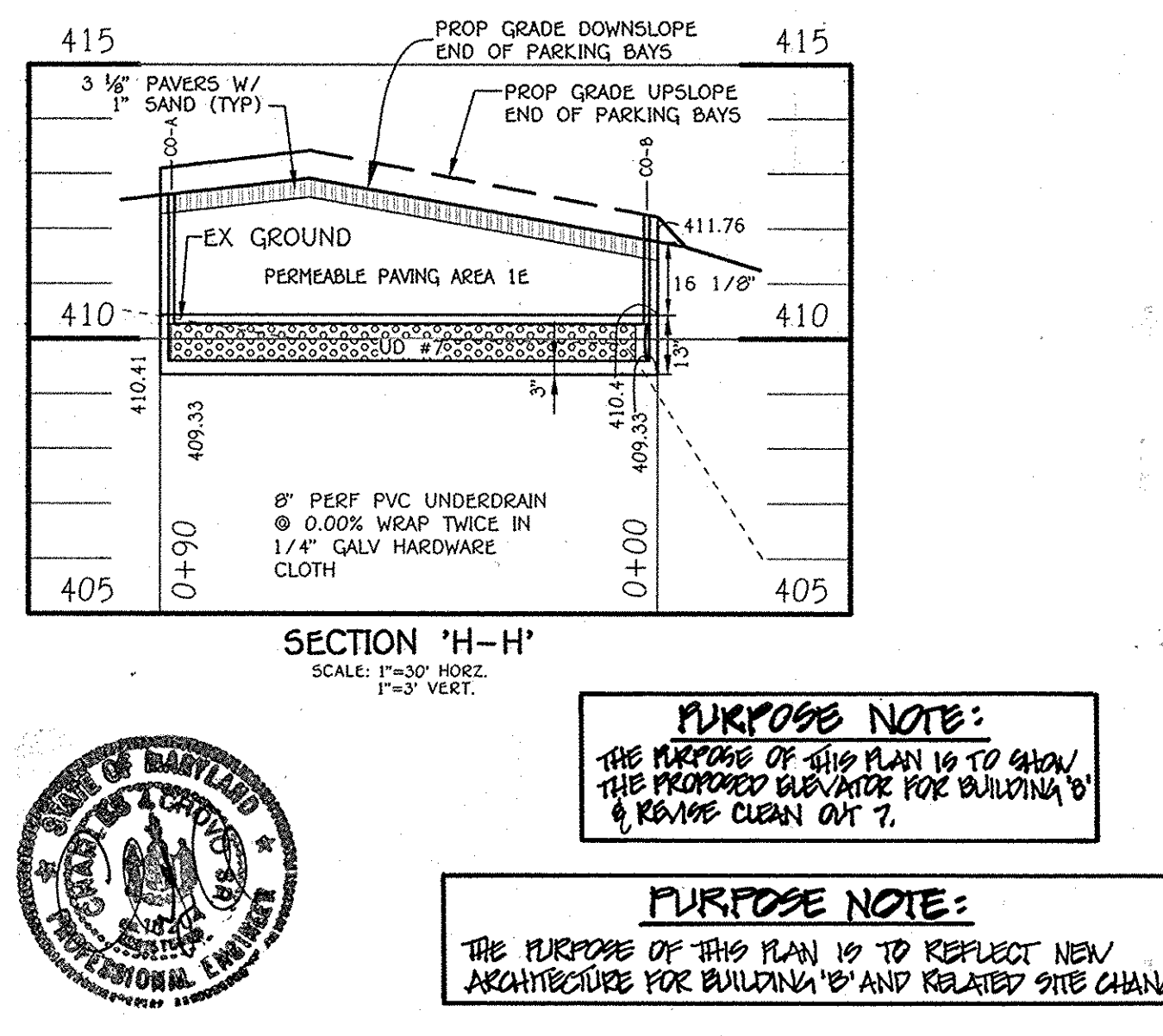
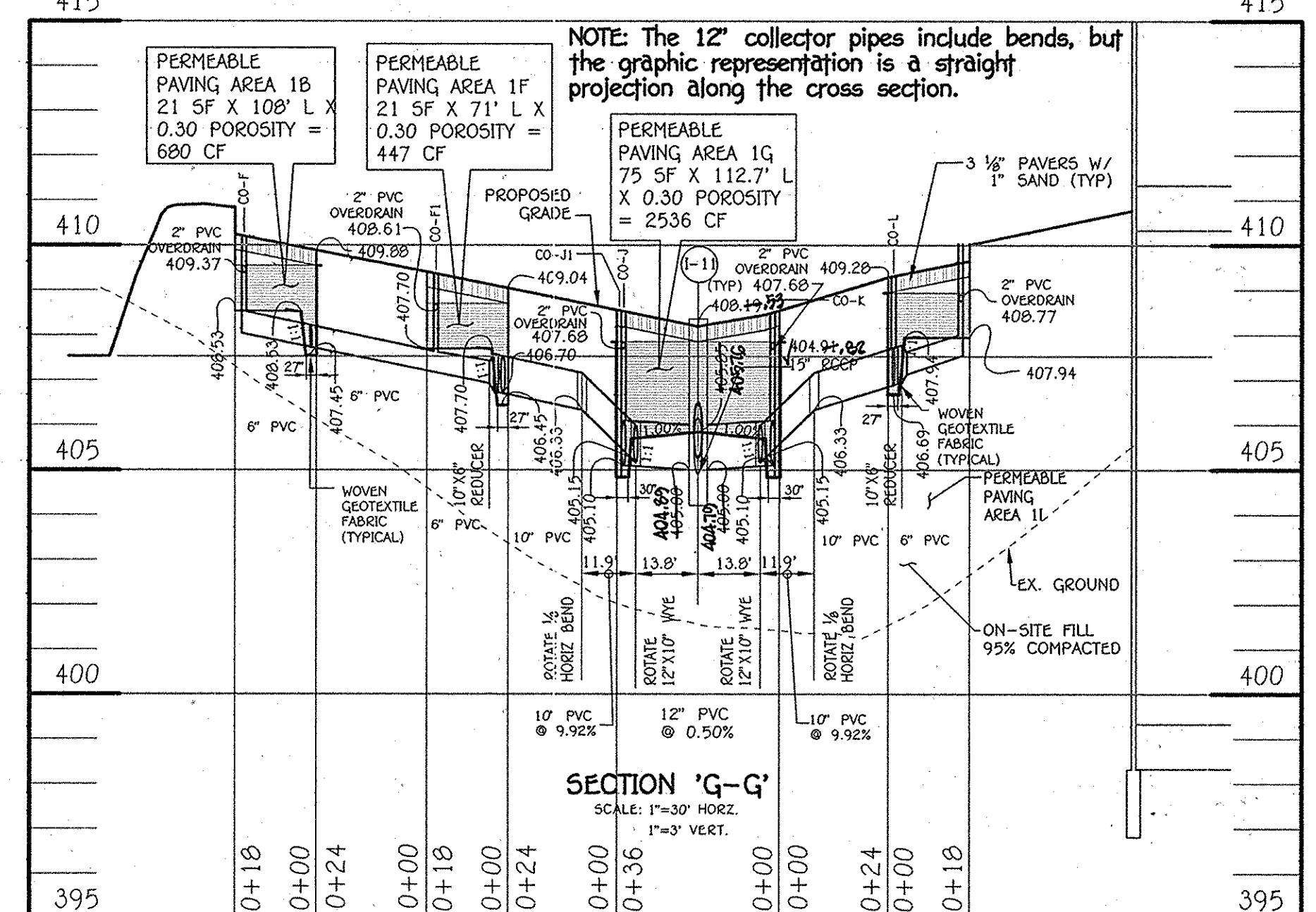
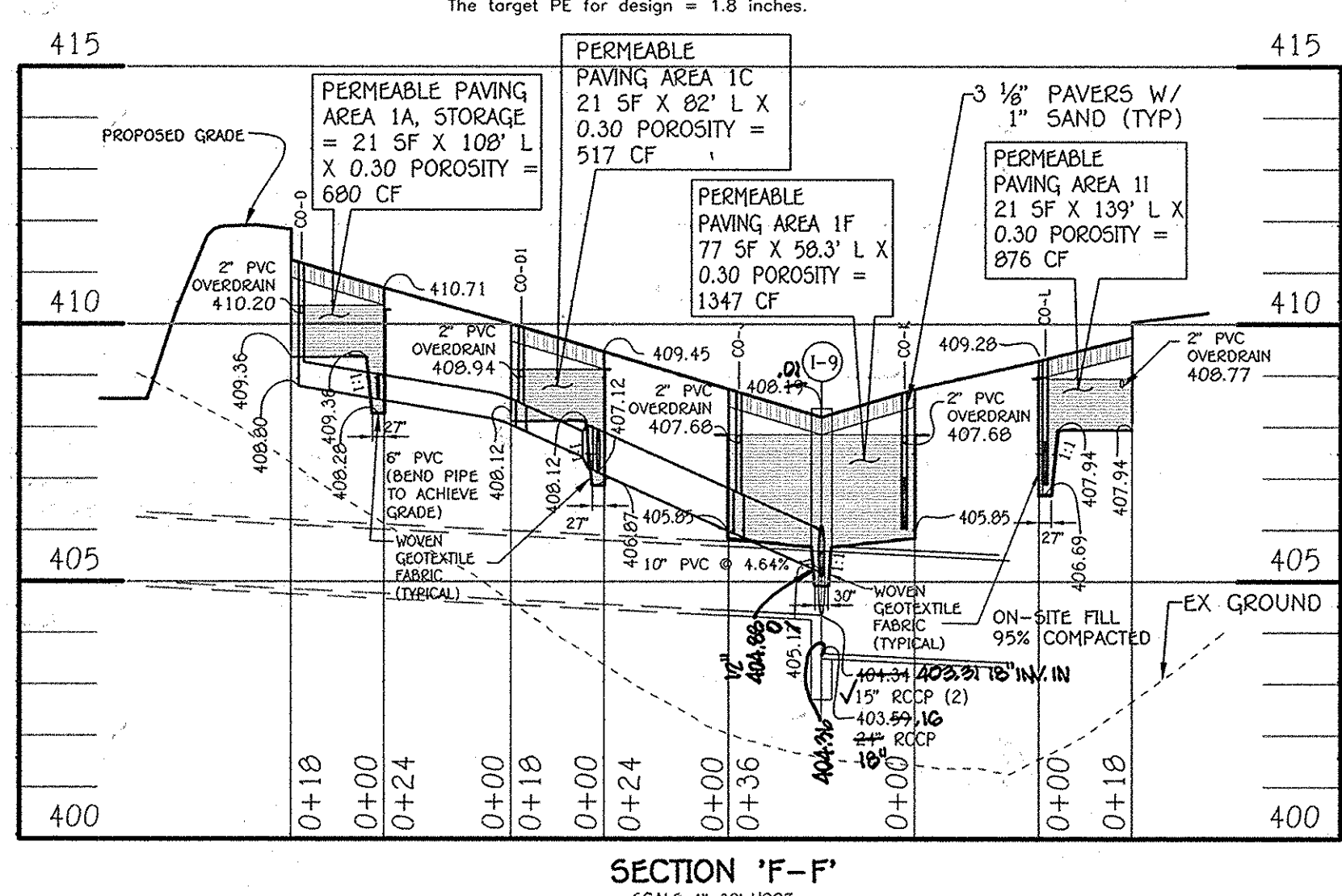
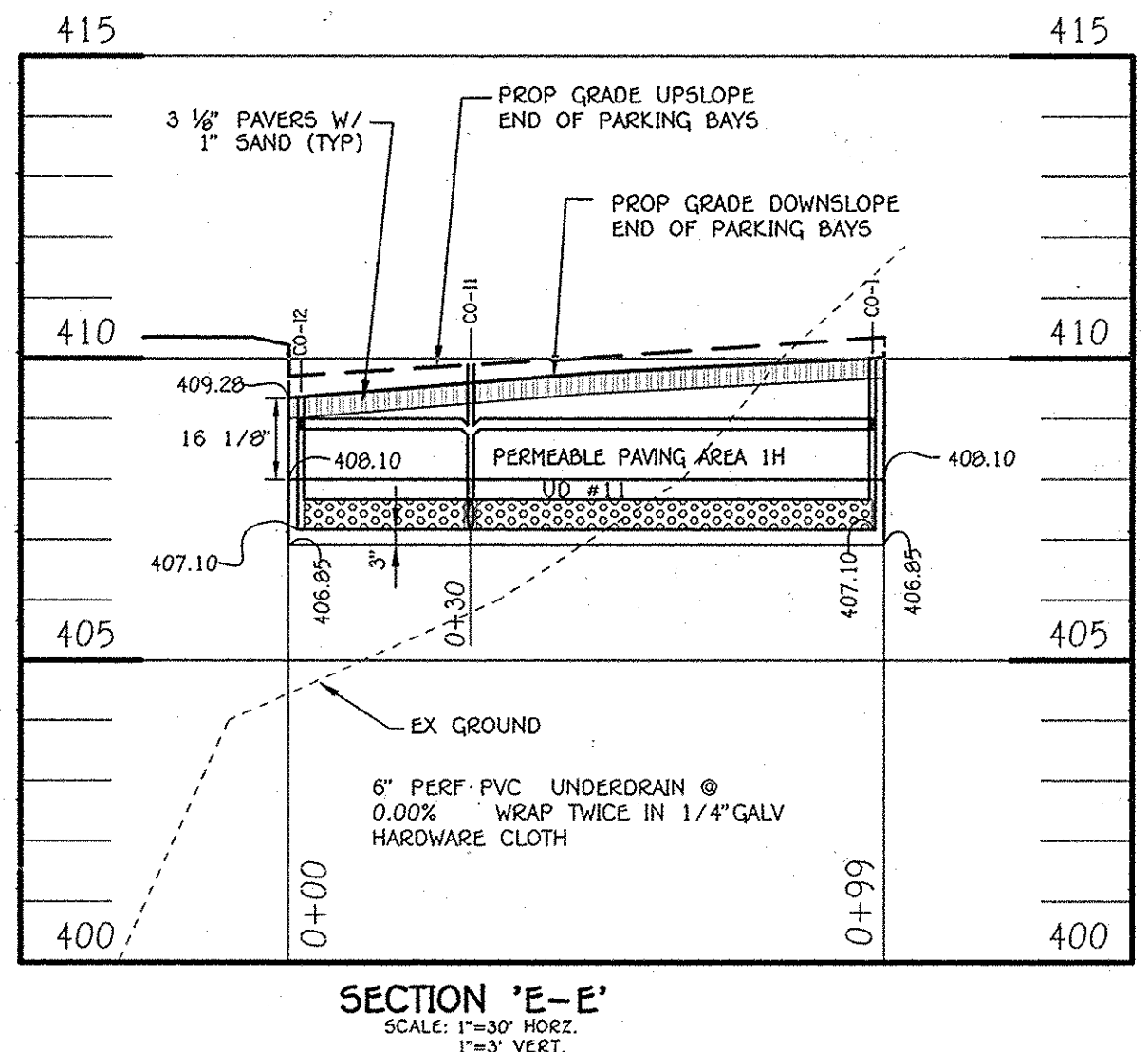
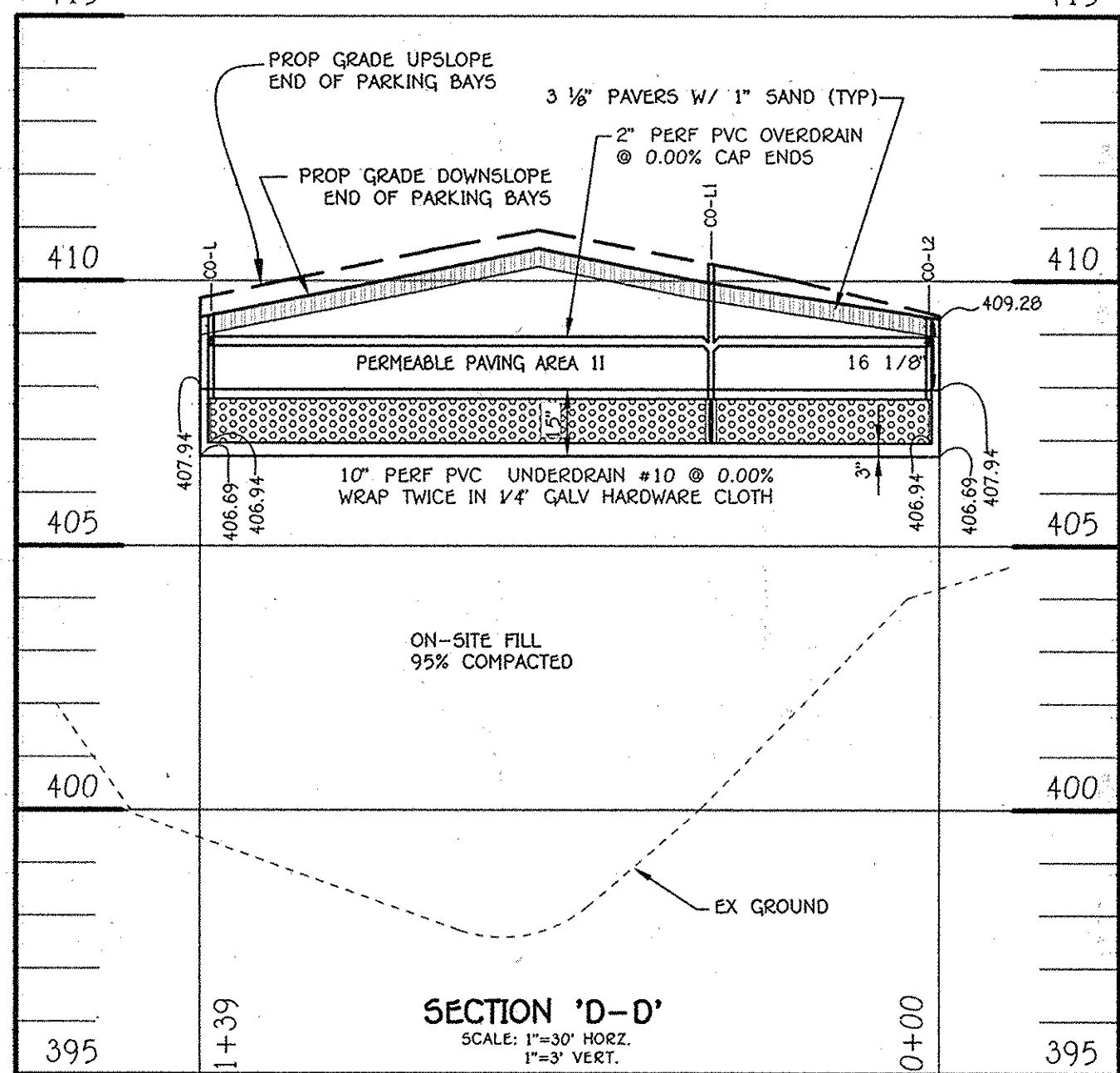
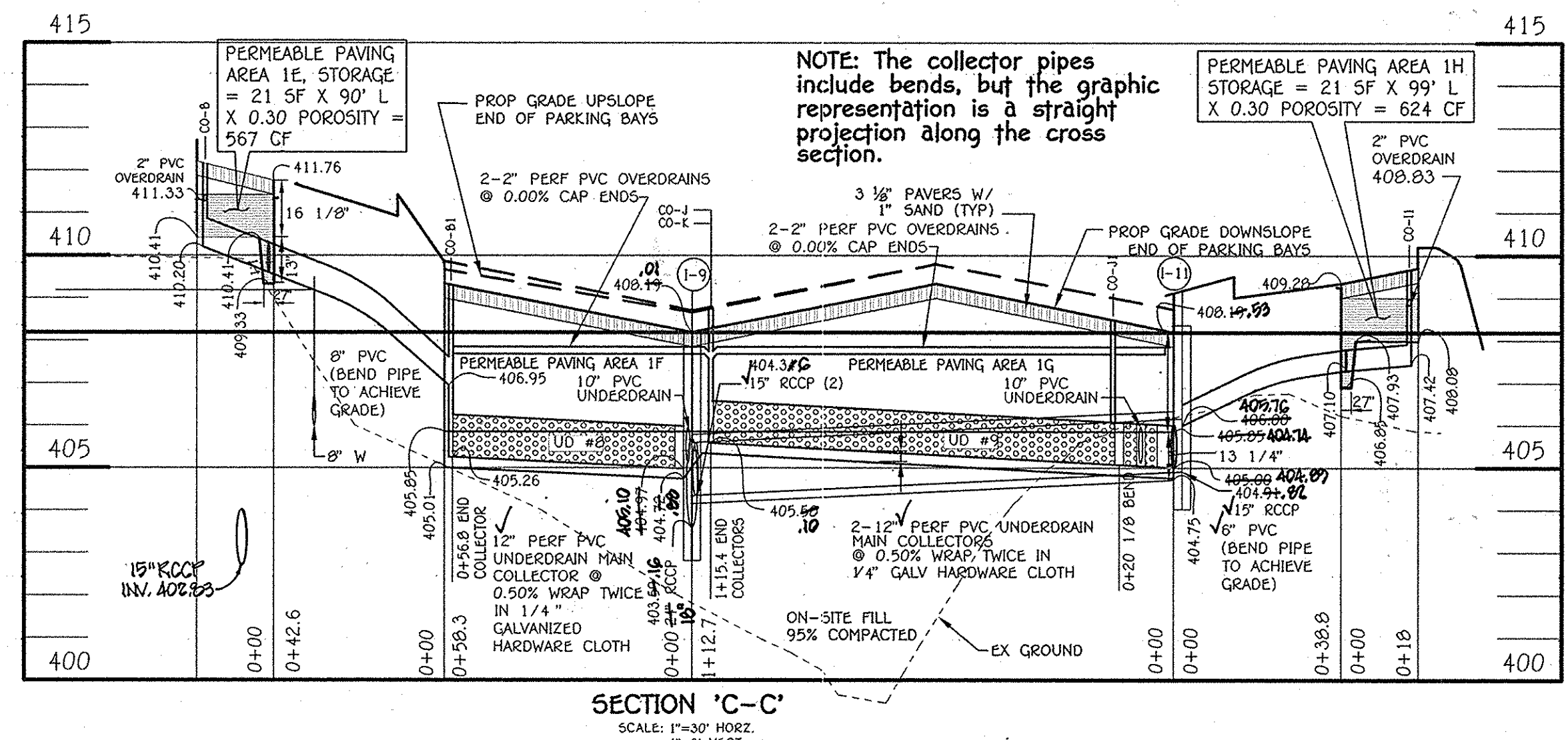
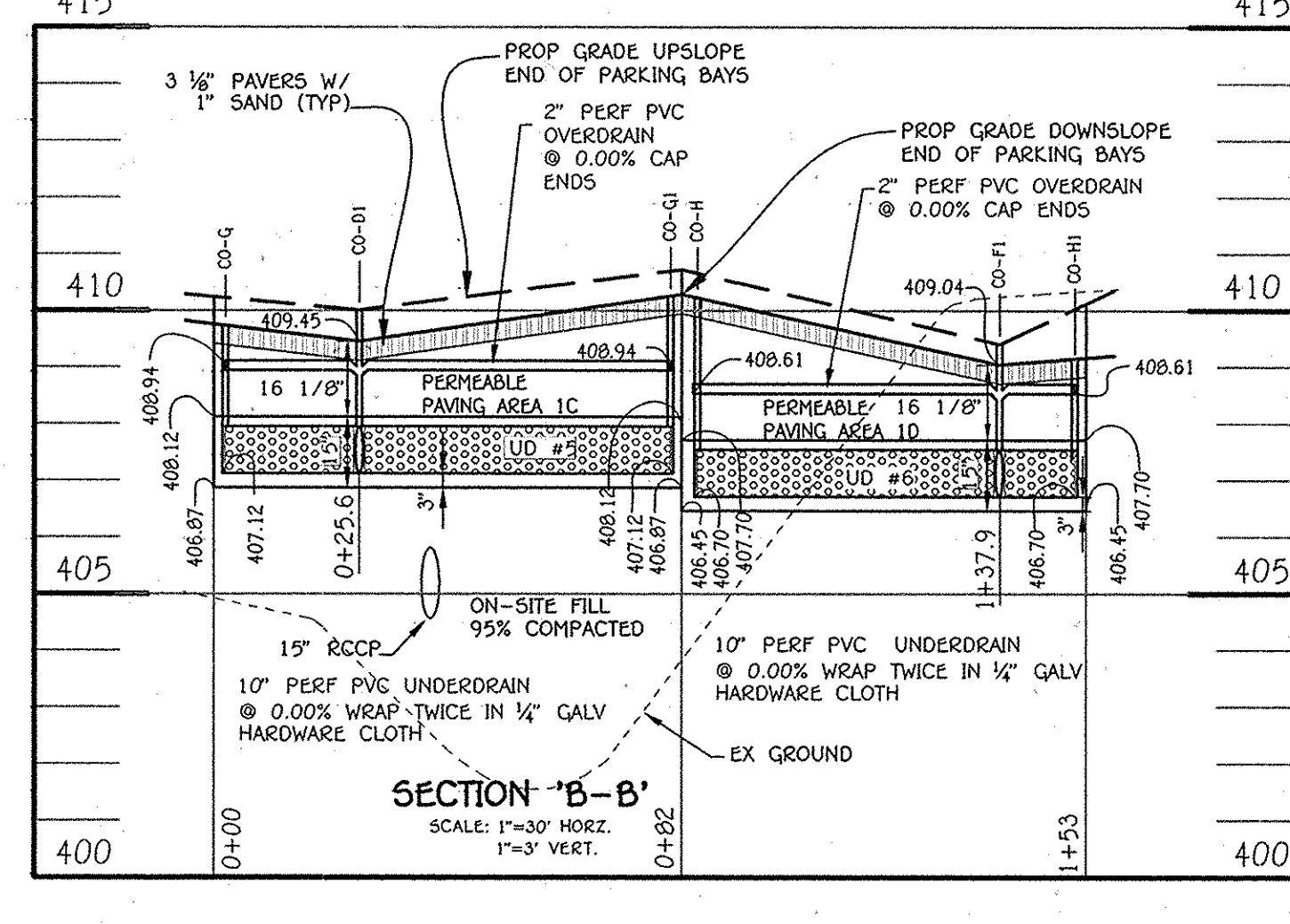
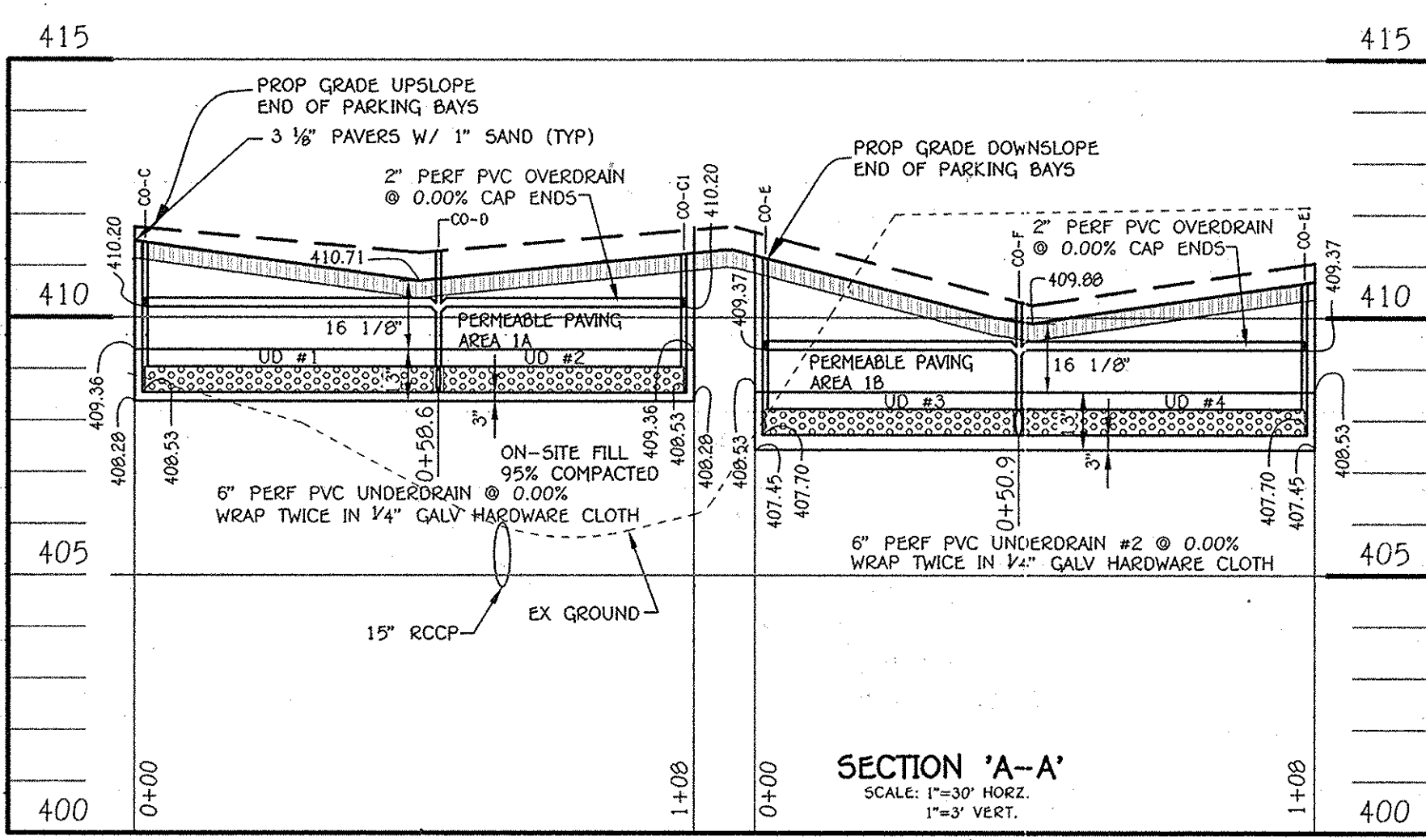
NO	STR NO	AREA ACRES	C'	% IMP	CA	TIME CONC. (MIN)	I (IN/HR)	Q (CFS)
UD1	-	0.025	0.96	99.9	0.024	5.0	8.5	0.20
UD2	-	0.025	0.96	99.9	0.024	5.0	8.5	0.20
UD3	-	0.028	0.87	88.4	0.024	5.0	8.5	0.20
UD4	-	0.041	0.85	59.1	0.027	5.0	8.5	0.23
UD5	-	0.08	0.96	100	0.08	5.0	8.5	0.68
UD6	-	0.08	0.96	100	0.08	5.0	8.5	0.68
UD7	-	0.08	0.60	52.4	0.05	5.0	8.5	0.42
UD8	1-9	0.53	0.90	94.9	0.48	5.0	8.5	4.08
UD9	1-11	0.67	0.82	81.3	0.55	5.0	8.5	4.68
UD10	-	0.15	0.66	56.9	0.10	6.5	7.8	0.78
UD11	1-11	0.06	0.71	73.3	0.04	5.0	8.5	0.34



DRAINAGE AREA DATA

PERMEABLE PAVING AREA	DRAINAGE AREA SQ FT (A)	IMP AREA SQ FT (B)	% IMP (C)	TARGET ESD VOL CU FT (D)	PROPOSED ESD VOL CU FT (E)
1A	2145	2143	99.9	306	680
1B	3009	2143	71.2	312	680
1C	3655	3655	100.0	520	517
1D	3523	3523	100.0	502	447
1E	3665	1919	52.4	287	567
1F	13897	12947	93.2	1852	1347
1G	13503	13067	96.8	1865	2536
1H	2715	1990	73.3	289	624
1I	6516	3709	56.9	550	876
TOTAL	52453	43952	84.2	6482	8274

ESDv = [(PE)(Rv)(A)]/12
 Where: PE = Rainfall Target from Chapter 5 Table 5.3
 and Rv = 0.05 + 0.009(I)
 and I = percent impervious cover.
 The target PE for design = 1.8 inches.



PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ELEVATE FOR BUILDING 'B' & REMOVE CLEAN OUT '2'.

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 1223 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2995

T.E. SCOTT & ASSOCIATES
 LANDSCAPE ARCHITECTURE & ENVIRONMENT
 128 Cockeville Road, Ste 200 P.O. Box 458,2651
 Hunt Valley, MD 21030 P.O. Box 443,269,0216
 tes@tds.com www.tdsv.com

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

[Signature]
 Signature of Engineer
 5/31/11
 Date

DEVELOPER'S CERTIFICATE
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[Signature]
 Signature of Developer
 6/1/11
 Date

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

[Signature]
 CHARLES J. CROVO, SR., P.E.
 5/31/11
 DATE

This development plan is Approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 Howard SCD
 DATE

REVISION BLOCK

DATE	DESCRIPTION
9/21/10	ADD AND CHANGE UNDER LAYOUT, CHANGE CROSS SECTION 'A-A'
10/10/10	REMOVE BUILDING 'A' ADDRESS
11/11/10	ADD ELEVATOR TO BUILDING 'B', REMOVE CLEAN OUT LOCATION
2/10/11	REMOVE BUILDING ARCHITECTURE FOR BUILDING 'B'
2/10/11	REMOVE THE REFERENCE TO OFFICE FROM THE TITLE BLOCK, ADD SYMBOL TO PLAN FROM 2-20A TO 2-20B AND 2-20C

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature]
 Director - Department of Planning and Zoning
 8/1/11
 DATE

[Signature]
 Chief, Division of Land Development
 8/1/11
 DATE

[Signature]
 Chief, Development Engineering Division
 7/28/11
 DATE

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10022 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT: FOREST GREEN
 FLAT: 21020 & 21027

BLOCK NO.	ZONE	TAX MAP	SECTION/AREA	PARCELS	LOT
2	B-1 B-2	24	SECOND	69, 72, 453, 497 AND 1172	A

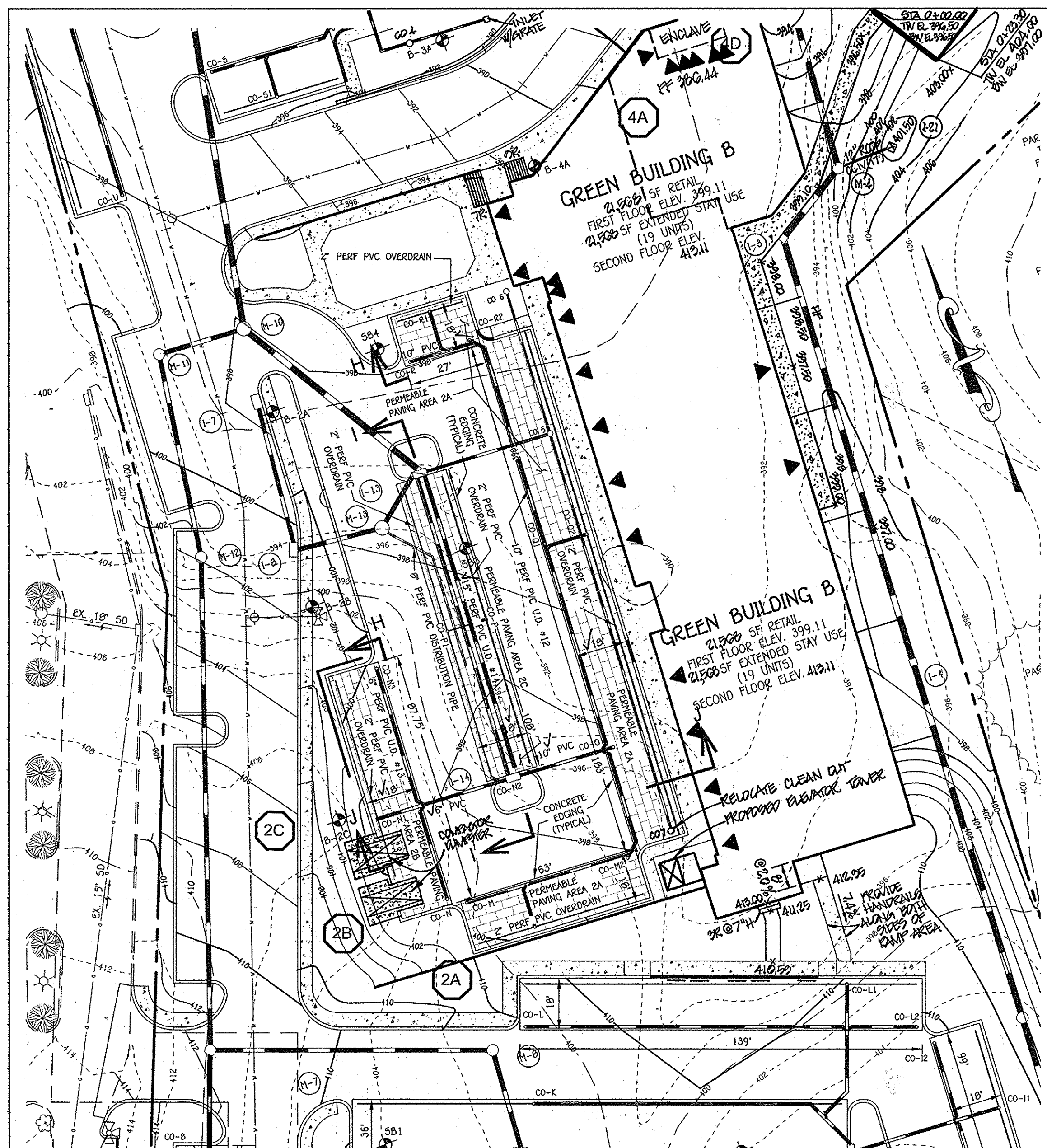
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STORMWATER MANAGEMENT PLAN & PROFILE
 PERMEABLE PAVING AREA 1

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No. 24 GRID No. 2
 FLAT NO'S 21020 & 21027
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 32 OF 42
 SDP-10-036

AS-BUILT



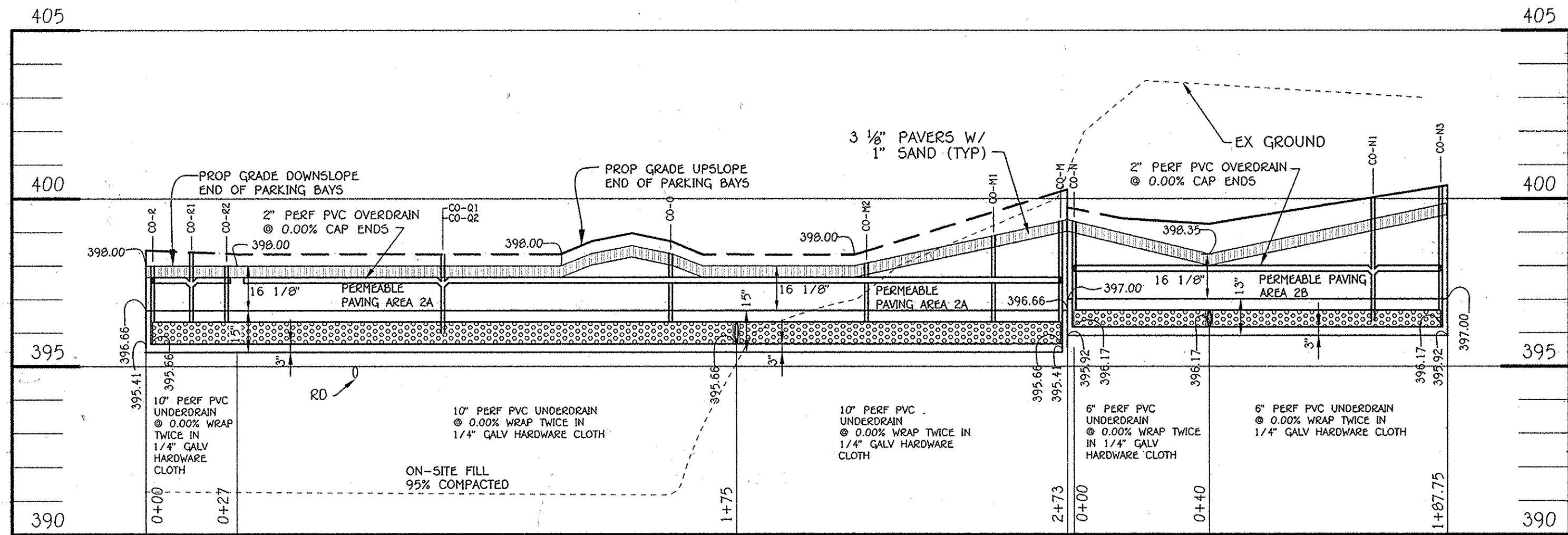
PLAN
SCALE: 1" = 30'

DRAINAGE AREA DATA					
PERMEABLE PAVING AREA	AREA SQ FT (A)	IMP AREA SQ FT (I)	% IMP (I)	ESD VOL REQUIRED CU FT	ESD VOL PROVIDED CU FT
2A	9063	7104	78.3	1027	1720
2B	4227	1915	45.3	290	553
2C	30231	26266	86.9	3772	3856
TOTAL	43521	35285	81.1	5090	6021

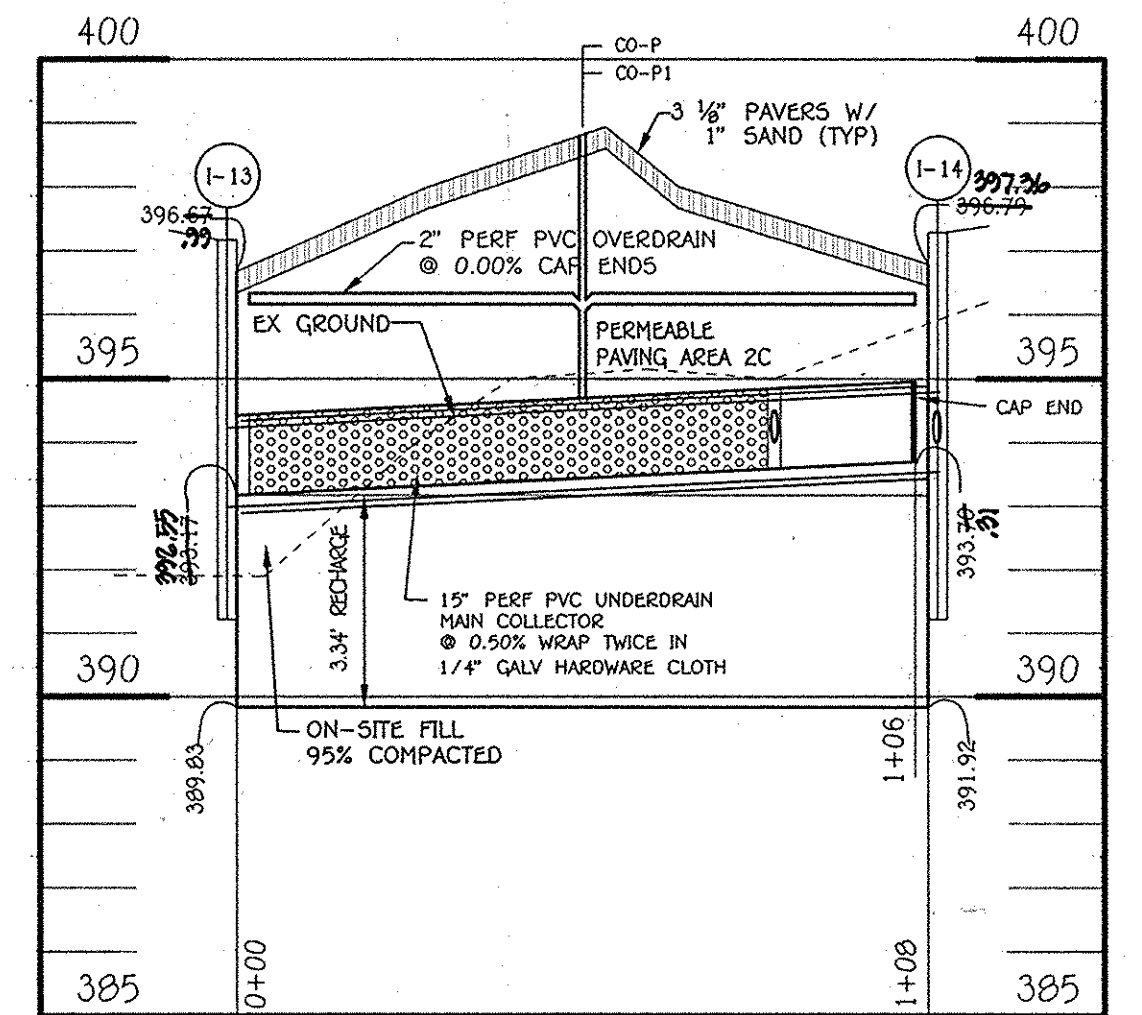
ESDv = ((PE)(R)(A))/12
Where: PE = Rainfall Target from Chapter 5 Table 5.3
and Rv = 0.05 + 0.009(I)
and I = percent impervious cover.
The target PE for design = 2.1 inches.

UNDERDRAIN FLOW COMPUTATIONS									
NO	STR NO	AREA ACRES	C	% IMP	CA	TIME CONC. (MIN.)	(NHFR) 10-YR	Q (CFS)	Q (MGD)
UD12	I-14	0.21	0.80	78.3	0.17	5.0	8.5	1.45	0.43
UD13	I-14	0.10	0.54	45.3	0.05	5.0	8.5	0.43	0.43
UD14	I-13	0.69	0.86	86.9	0.59	5.0	8.5	5.04	1.45

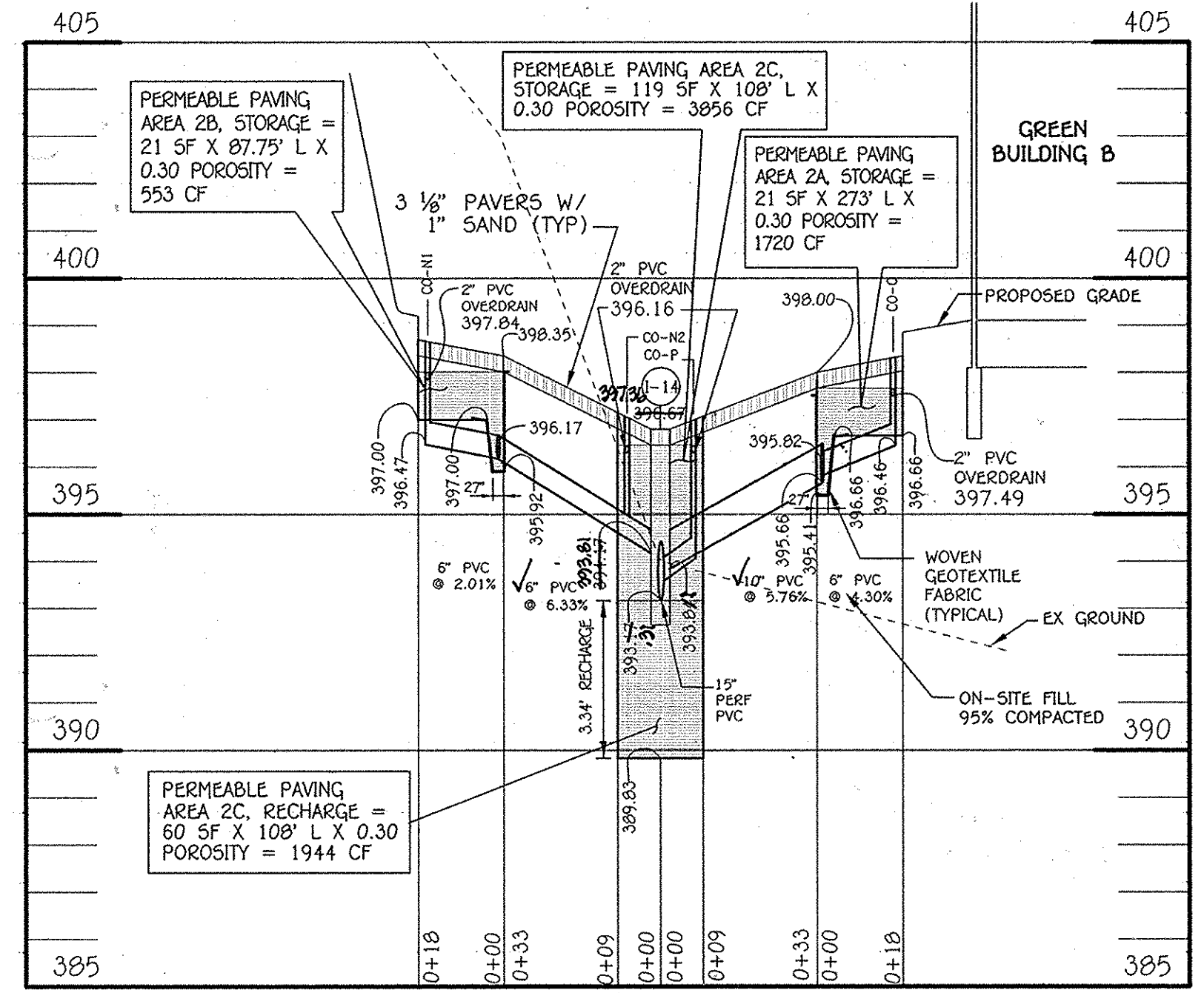
FLOW SPLITTER COMPUTATIONS									
NO	STR NO	AREA ACRES	C	% IMP	CA	TIME CONC. (MIN.)	(NHFR) 10-YR	Q (CFS)	Q (MGD)
I-8	M-13	0.39	0.81	79.5	0.32	5.0	8.5	2.72	0.78



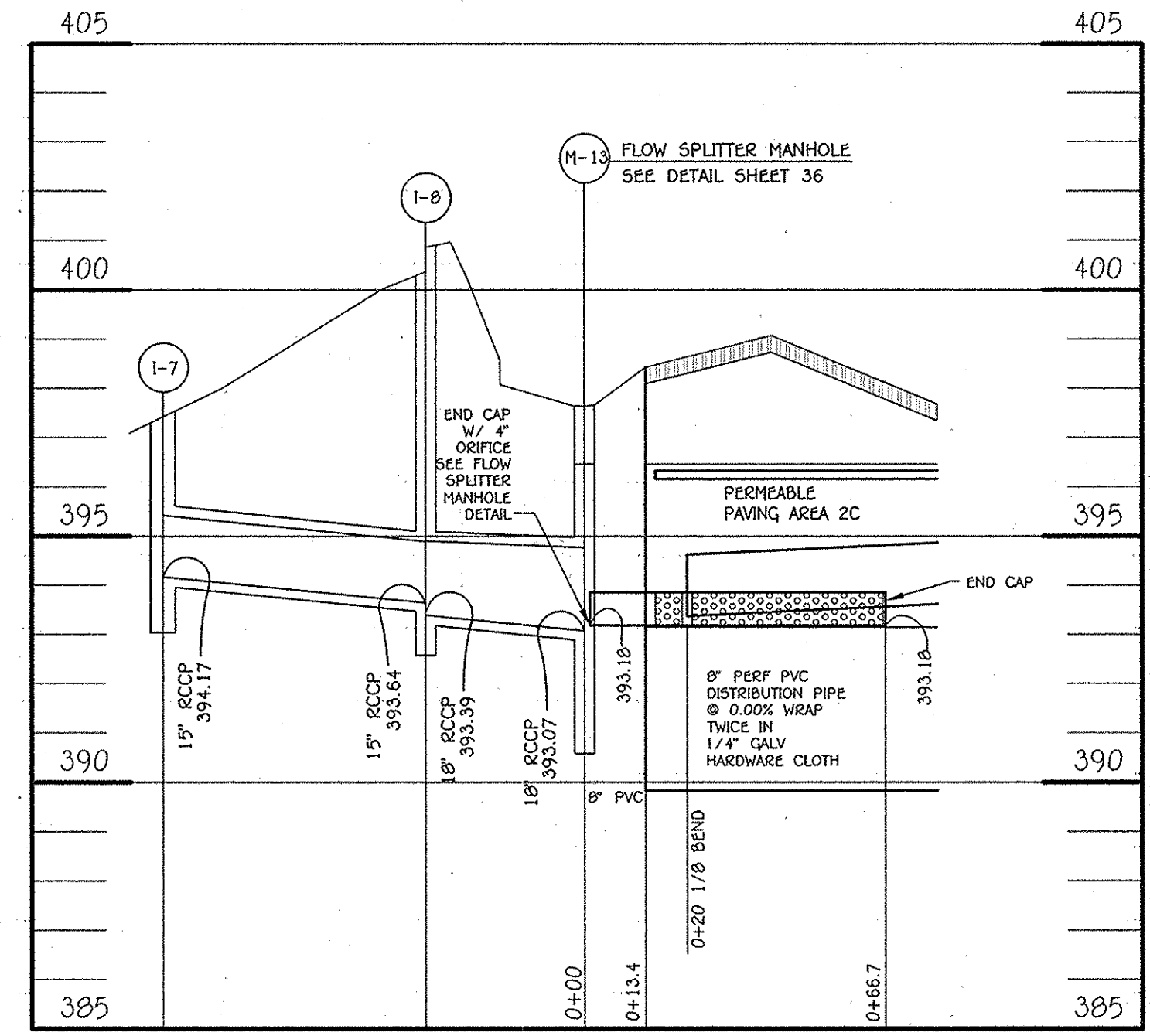
SECTION 'H-H'
SCALE: 1"=30' HORZ.
1"=3' VERT.



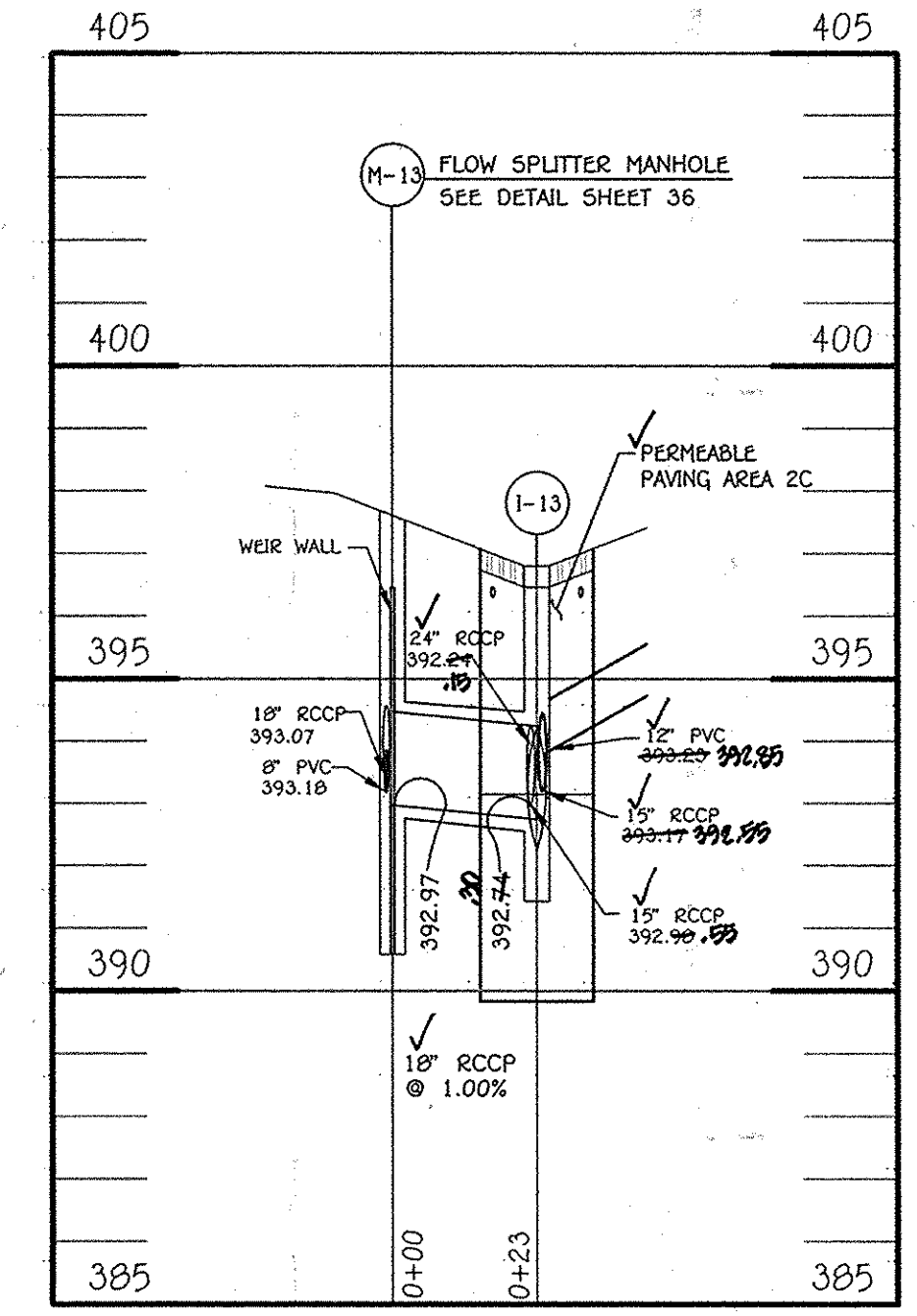
SECTION 'I-I'
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1"=3' VERT.



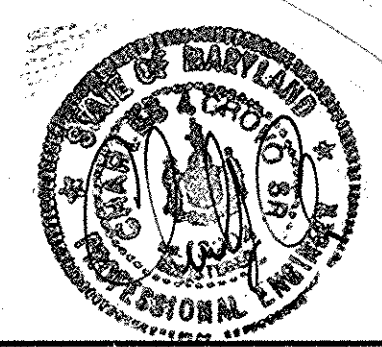
SECTION 'J-J'
SCALE: 1"=30' HORZ.
1"=3' VERT.



PROFILE-DISTRIBUTION PIPE
SCALE: 1"=30' HORZ.
1"=3' VERT.



PROFILE M-13 TO I-13
SCALE: 1"=30' HORZ.
1"=3' VERT.



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING B AND RELATED SITE CHANGES.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ELEVATOR FOR BUILDING B & RELOCATE CLEAN OUT 7.

DATE	DESCRIPTION	REVISION BLOCK
9/21/10	ADD TWO COMPACTOR TRACKER LOCATIONS, ELIMINATE 2 EXISTING SPACES	
10/15/10	REMOVE BUILDING 'A' ADDRESS	
9/16/10	ADD ELEVATOR TO BUILDING 'B', REMOVE CLEAN OUT LOCATION	
9/16/10	REMOVE PLAN TO PROVIDE PLAYGROUND AREA, SIDEWALK AND REMOVE FOREST CONSERVATION INFORMATION	
9/16/10	PROVIDE REARVED BUILDING ARCHITECTURE FOR BUILDING 'B'	
9/21/10	REMOVE THE OFFICE REFERENCE WITHIN THE TREE BLOCK, REMOVE REARVED WALL BUILDING 'A'	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

STORMWATER MANAGEMENT PLAN & PROFILE PERMEABLE PAVING AREA 2

FOREST GREEN
△ PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NOS. 21036 & 21037
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 33 OF 42 SDP-10-036

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
128 Cockeysville Road, Ste 200 P.O. 410-458-2651
Hunt Valley, MD 21030 P. 443-269-0216
tes@fcm.com www.fcm.com

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature of Engineer: *Charles J. Grovo, Sr.* Date: 5/31/11

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature of Developer: *Mark B.* Date: 6/1/11

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 3, 2012.

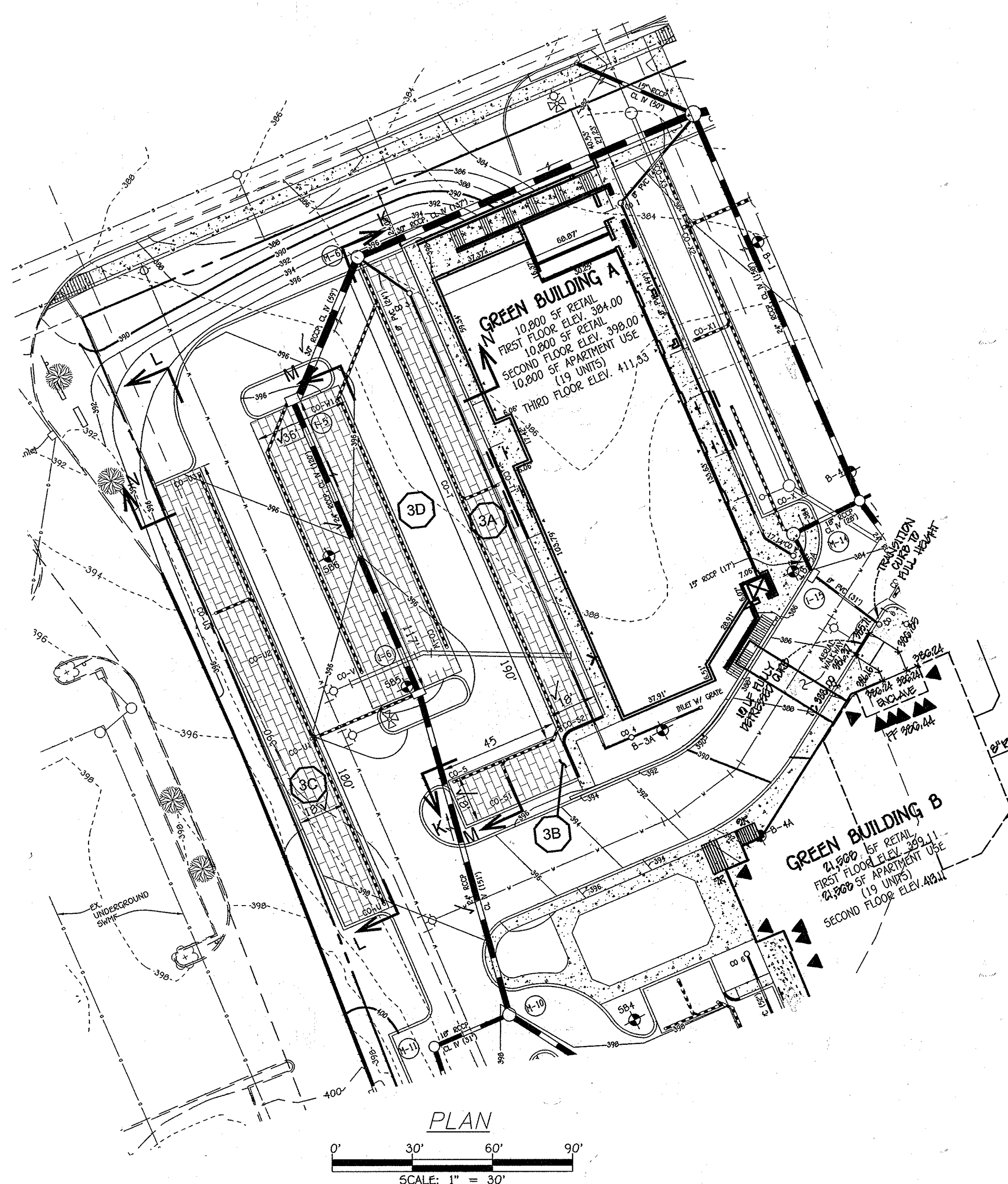
Signature: *Charles J. Grovo, Sr.* Date: 5/31/11
CHARLES J. GROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *Howard SCD* Date: _____

T.E. SCOTT+ASSOCIATES
LANDSCAPE/STORMWATER/ENVIRONMENTAL
128 Cockeysville Road, Ste 200 P.O. 410-458-2651
Hunt Valley, MD 21030 P. 443-269-0216
tes@tdm.com www.tdm.com

E:\10060\06057\dwg\06057-001 (SHEET 3) 3-5) SWM PLANS.dwg, SWM PLAN & PROFILE 33, 1:11



PLAN
SCALE: 1" = 30'

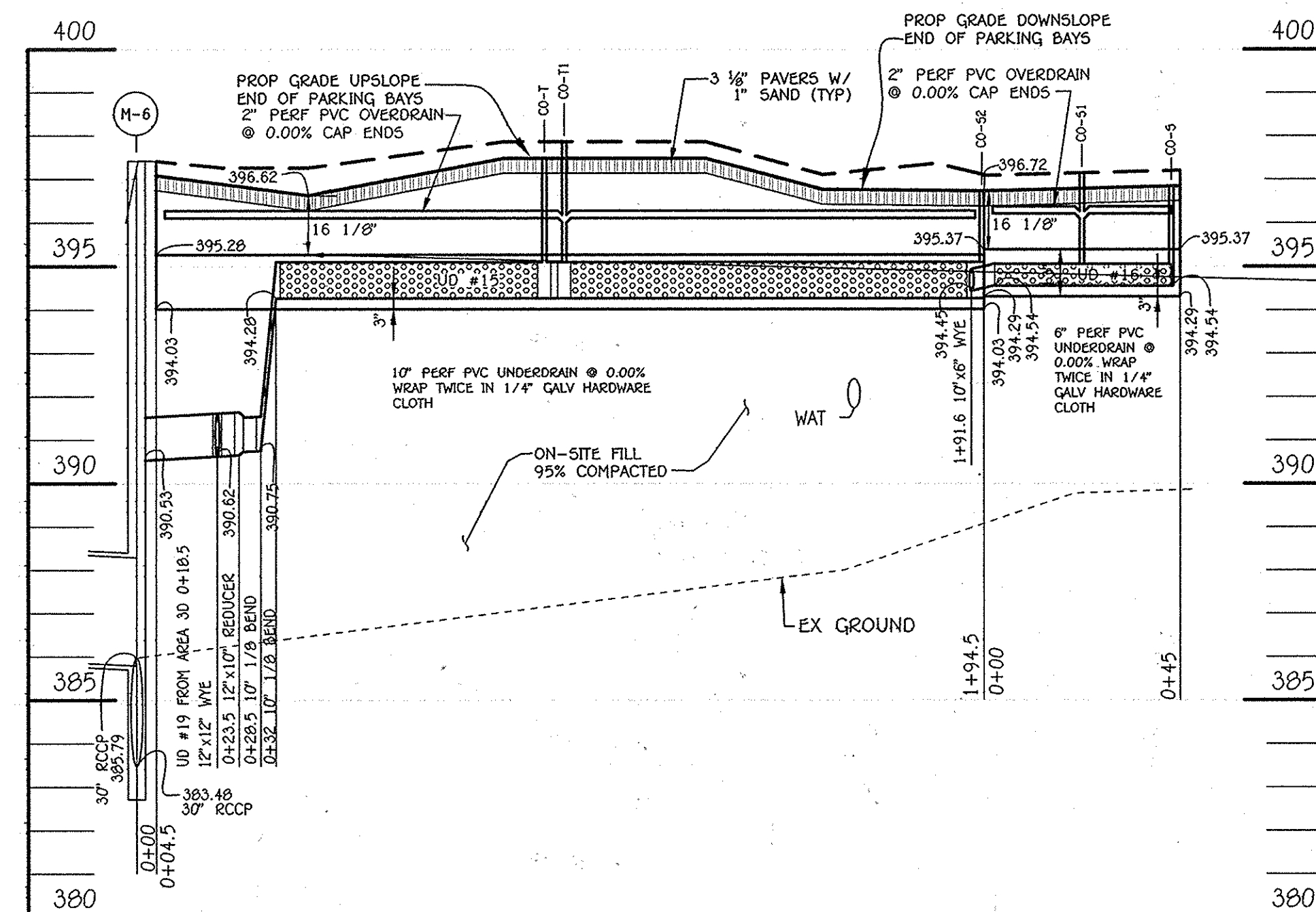
DRAINAGE AREA DATA

PERMEABLE PAVING AREA	DRAINAGE AREA SQ FT (A)	IMP AREA SQ FT	% IMP (I)	ESD VOL REQUIRED CU FT*	ESD VOL PROVIDED CU FT
3A	5398	5006	92.7	716	1197
3B	1221	1121	91.8	160	284
3C	3983	3512	88.2	504	1134
3D	18330	17360	94.7	2481	7231

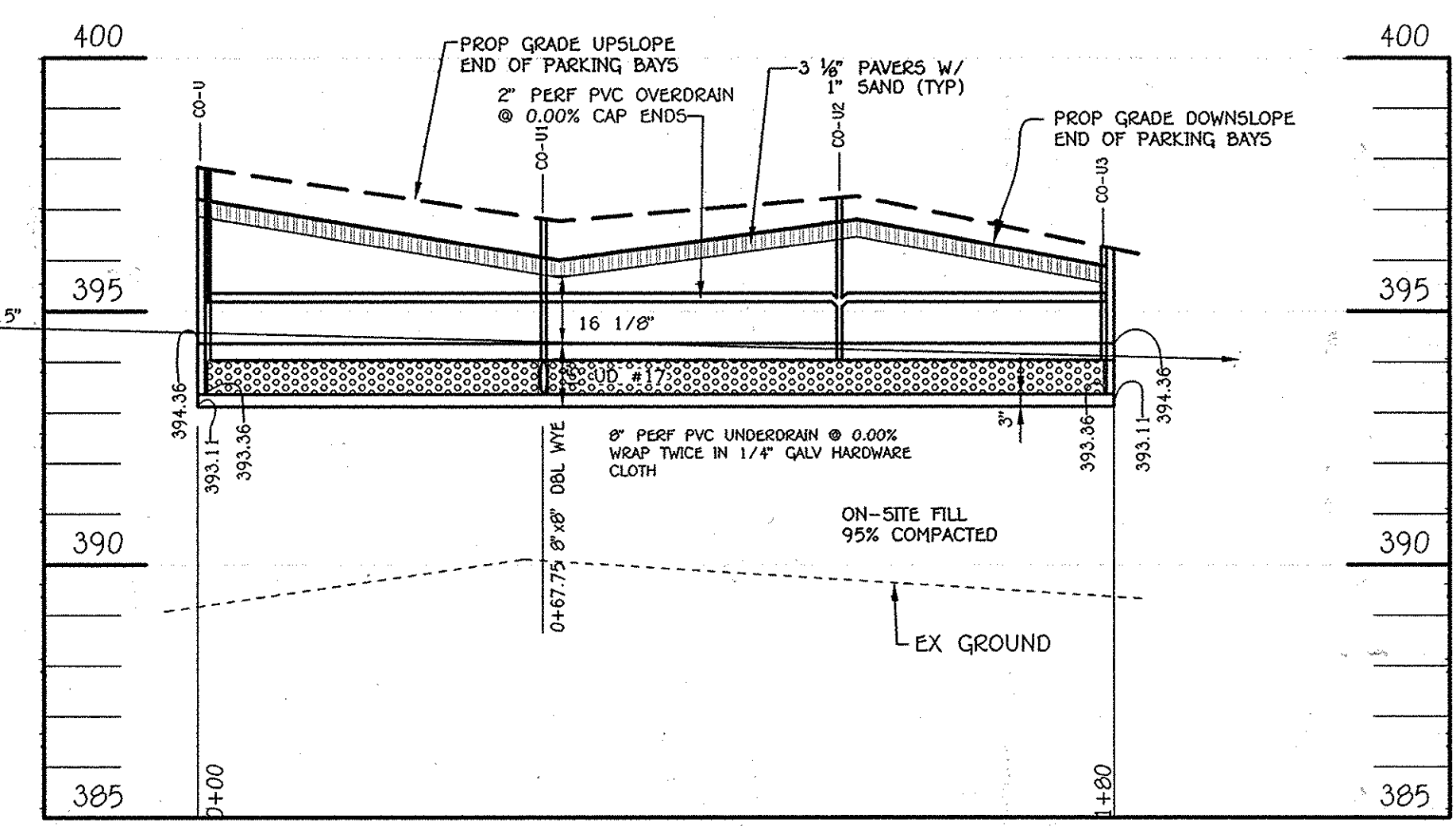
ESDv = ((PE)(Rv)(A))/12
Where: PE = Rainfall Target from Chapter 5 Table 5.3 and Rv = 0.05 + 0.005(I) and I = percent impervious cover.
The target PE for design = 2.0 inches.

UNDERDRAIN FLOW COMPUTATIONS

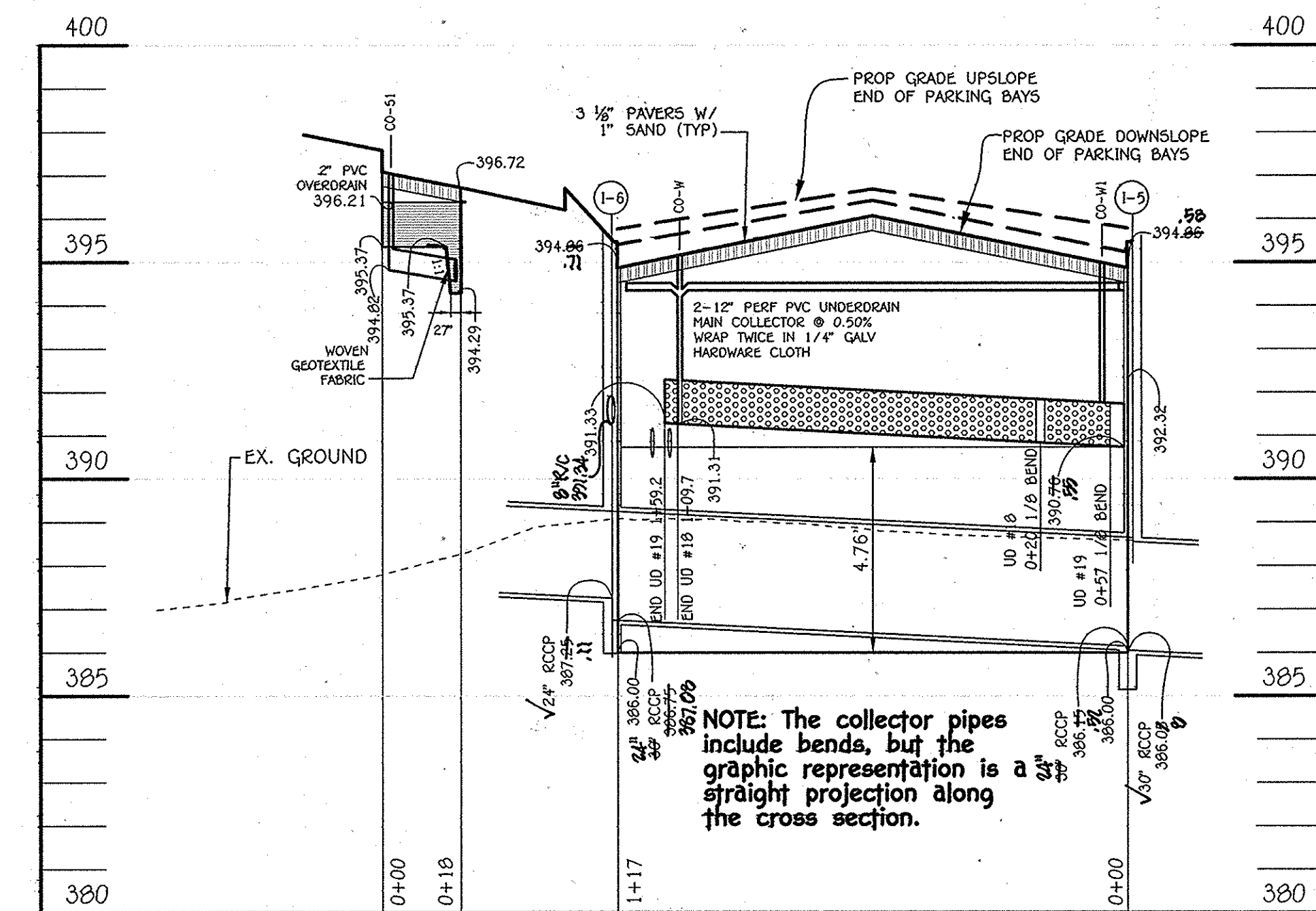
NO	STR NO	AREA ACRES	C	% IMP	CA	TIME CONC. (MIN)	I (IN/HR) 10-YR	Q (CFS)
UD15	-	0.12	0.91	92.7	0.11	5.0	8.5	0.94
UD16	-	0.03	0.90	91.8	0.03	5.0	8.5	0.26
UD17	I-6	0.09	0.88	88.2	0.08	5.0	8.5	0.68
UD18	I-5	0.26	0.90	92.3	0.23	5.0	8.5	1.96
UD19	-	0.16	0.95	100	0.15	5.0	8.5	1.27



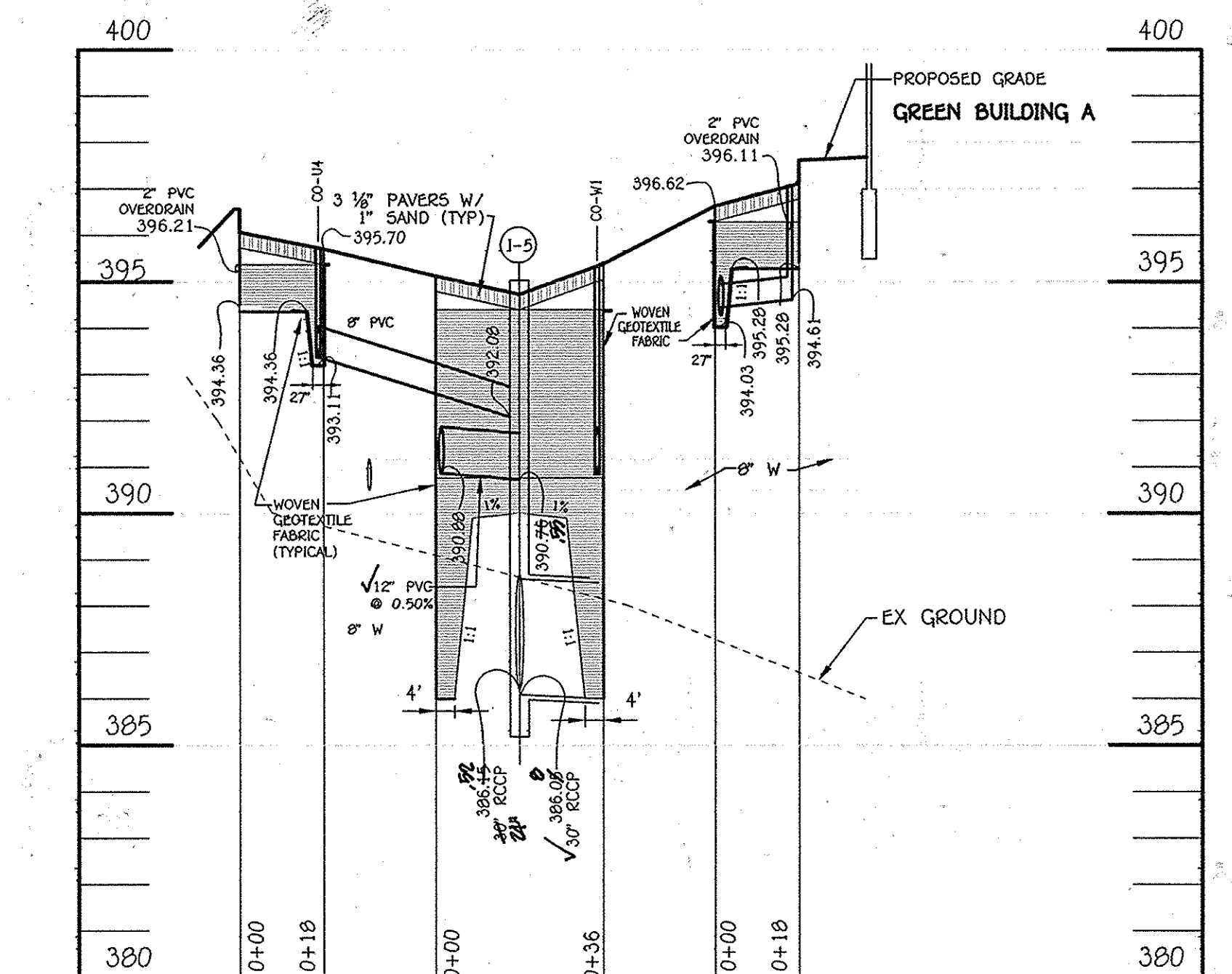
SECTION 'K-K'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.



SECTION 'L-L'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.



SECTION 'M-M'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.



SECTION 'N-N'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.

NOTE: The collector pipes include bends, but the graphic representation is a straight projection along the cross section.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2255

T.E. SCOTT+ASSOCIATES
LANDSCAPE | STORMWATER | ENVIRONMENT
128 Cockeysville Road, Ste 200 p: 410-458-2651
Hunt Valley, MD 21038 f: 410-269-0216
tes@tdsdown.com www.tdsdown.com

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Crowl
CHARLES J. CROWL SR., P.E.

10/16/12
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Mark A. Wiegand 11/7/12
Director - Department of Planning and Zoning Date

Chief, Development Engineering Division 11/1/12
Date

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10099 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 457 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN

STORMWATER MANAGEMENT PLAN & PROFILE

PERMEABLE PAVING AREA 3

FOREST GREEN

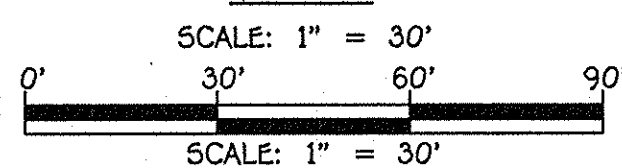
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 34 OF 42 SDP-10-036

AS-BUILT



PLAN



DRAINAGE AREA DATA					
PERMEABLE DRAINAGE AREA (SQ FT)	IMP AREA (SQ FT)	% IMP	ESD VOL REQUIRED (CU FT)	ESD VOL PROVIDED (CU FT)	
4A	22025	17936	81.4	2587	1988
4B	8187	8150	99.5	1162	1021
4C	8865	8250	93.1	1180	698
4D	2481	2044	82.3	295	441

FLOW SPLITTER COMPUTATIONS							
NO	STR NO	AREA ACRES	% IMP	CA	TIME CONC. (MIN.)	I (10-YR)	Q (CFS)
1-15	M-	0.39	0.79	78.9	0.31	5.0	2.64

UNDERDRAIN FLOW COMPUTATIONS									
NO	STR NO	AREA ACRES	% IMP	CA	TIME CONC. (MIN.)	I (10-YR)	Q (CFS)		
UD20	M-	0.17	0.96	100	0.16	5.0	1.36		
UD21	M-	0.24	0.96	99.5	0.23	5.0	1.95		
UD22	I-18	0.09	0.91	93.1	0.08	5.0	0.68		
UD23	-	0.06	0.83	82.4	0.05	5.0	0.43		

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' & RELATED SITE CHANGES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, license No. 9324, Expiration Date: November 3, 2016.
Charles J. Crowl
CHARLES J. CROWL SR., P.E.
2/4/15 DATE

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'C', SHOW STORM DRAIN TO ENCLOSE THE LOW AREA, EXTEND RETAINING WALL AND PROVIDE FILL FOR THE ROUTE 40 AREA.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' & 'C' & RELATED SITE CHANGES. (SEE REVISION BLOCK FOR DESCRIPTION)

DATE	DESCRIPTION	DATE
3/17/10	MOVED PHOTO ENCLOSURE, CHAIRS & TABLE, REMOVE NUMBER OF AMENITY AREA	
10/22/14	ENCLOSE THE STORM DRAIN AND FILL IN THE LAND BY RET. 40, ADD BANK, CHANGE BLDG 'A' ADDRESS.	
2/12/14	REVISE PLAN TO PROVIDE PLAYGROUND AREA, SIDEWALK AND AND REVISE FOREST CONSERVATION INFORMATION.	
3/19/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.	
9/21/12	Revise building 'A' and 'C' to show new architecture. Show additional wall for building 'A'. Add six additional ramps to plan. Set the site block to remove the office reference.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David J. Cowell
Director - Department of Planning and Zoning
2/5/15 Date
Victor Stalder
Chief, Division of Land Development
2-5-15 Date
Chad E. Clark
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST HOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

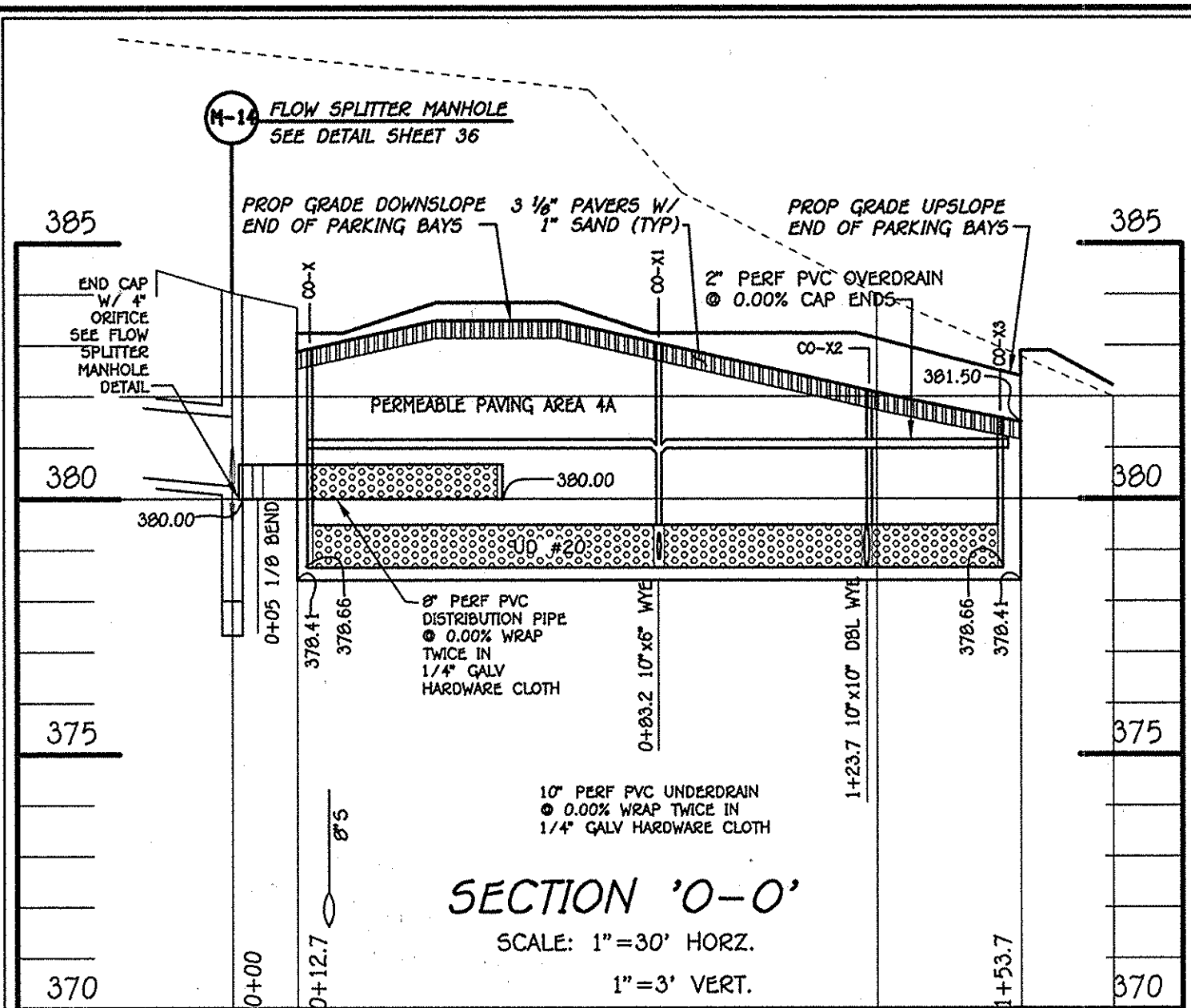
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
11335/618, 479/642, 11334/606, 2316/614	2	B-1 B-2	24	SECOND	6023.01

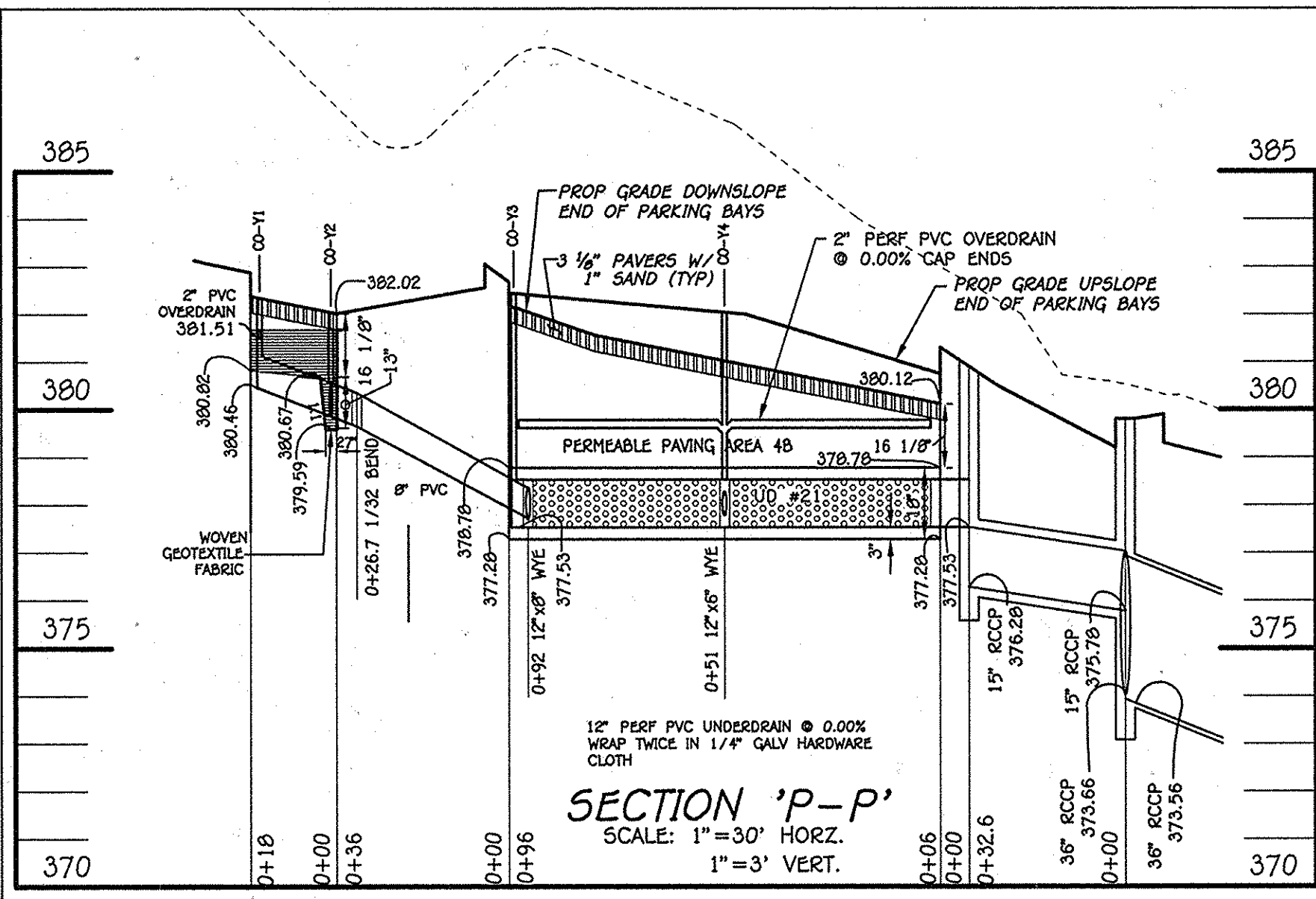
REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT PLAN & PROFILE
PERMEABLE PAVING AREA 4

FOREST GREEN
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
DEED REF. 11335/618, 479/642, 11334/606, 2316/614
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: FEBRUARY 4, 2015

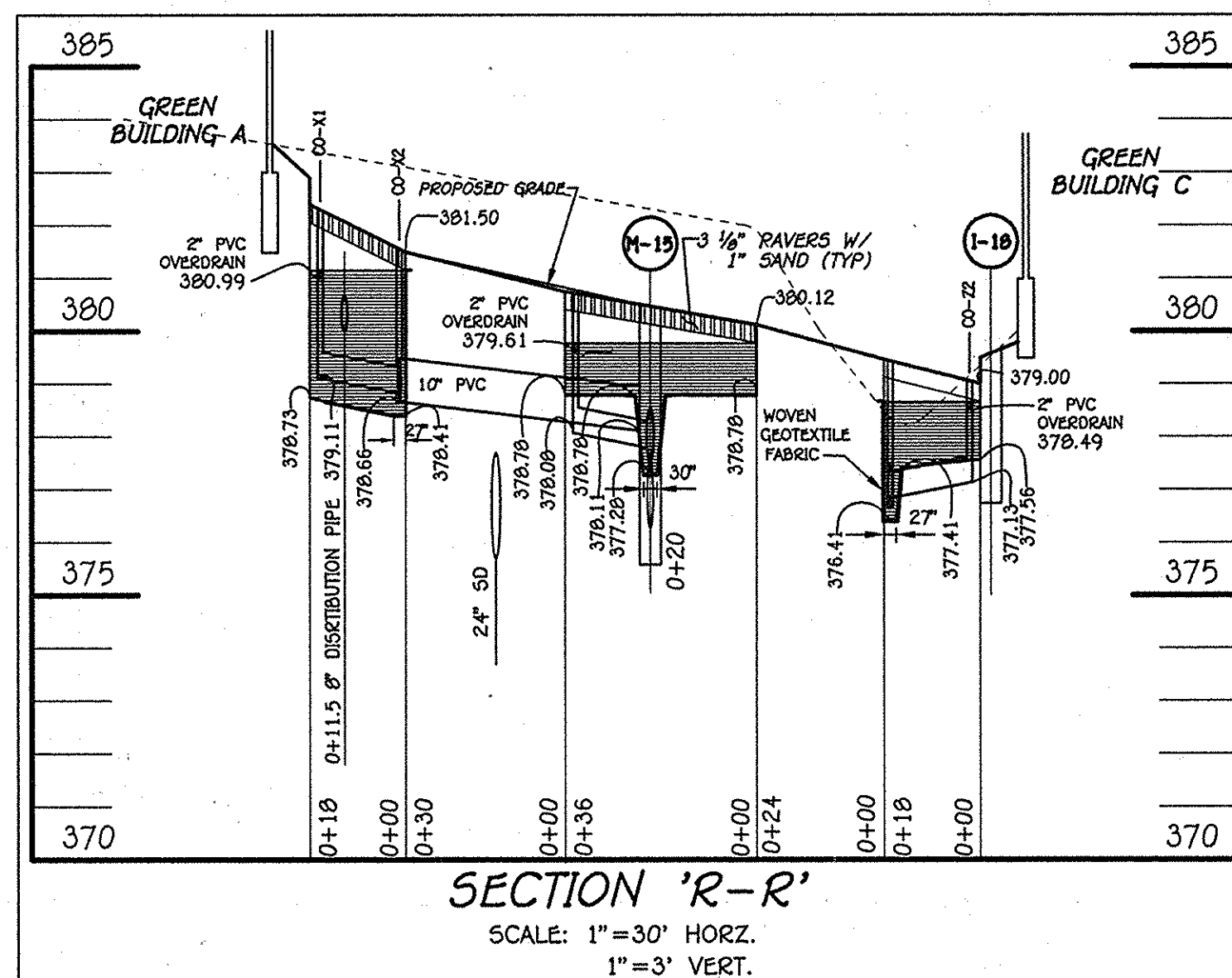
SHEET 35 OF 42 SDP-10-036



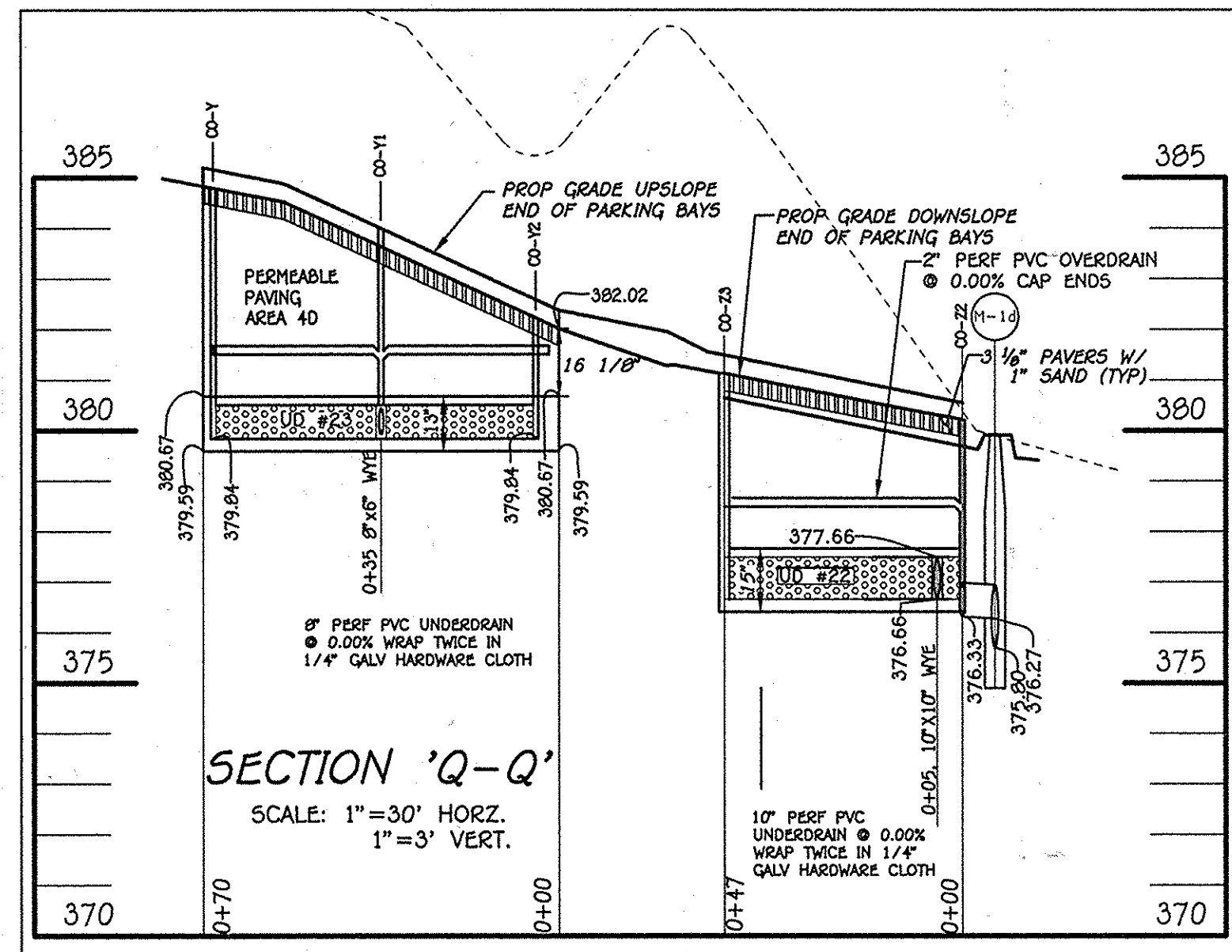
SECTION 'O-O'
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1"=3' VERT.



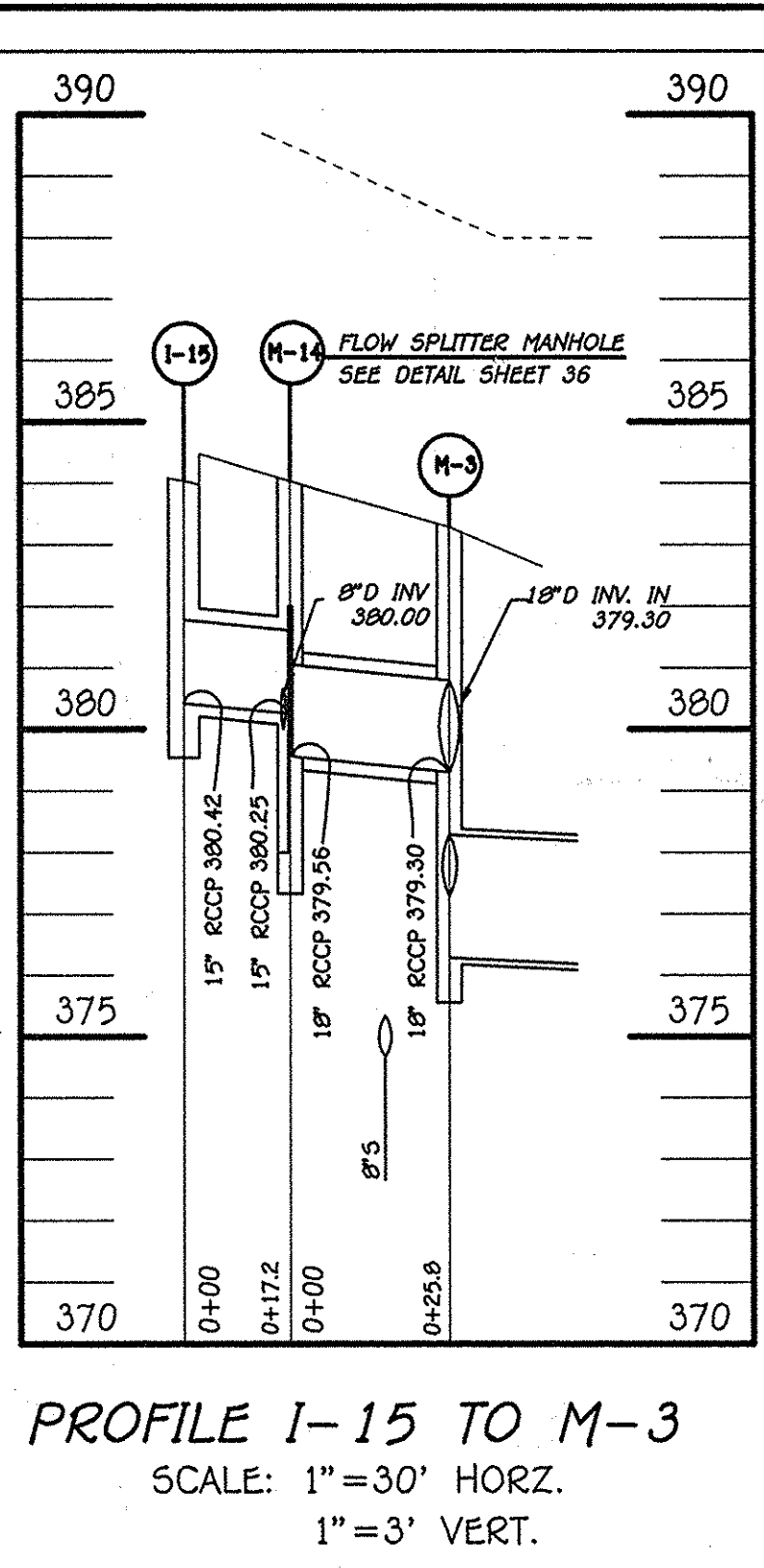
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SCALE: 1"=30' HORIZ.
1"=3' VERT.



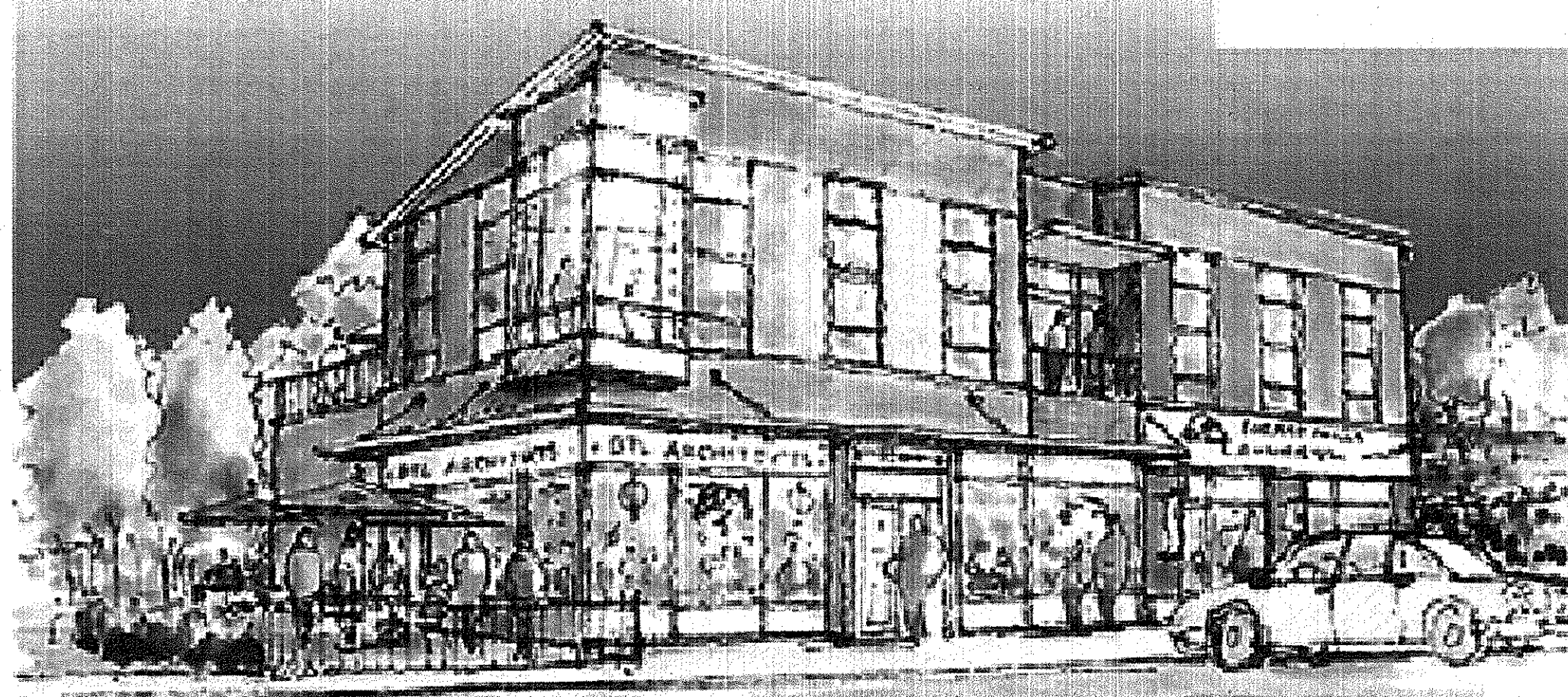
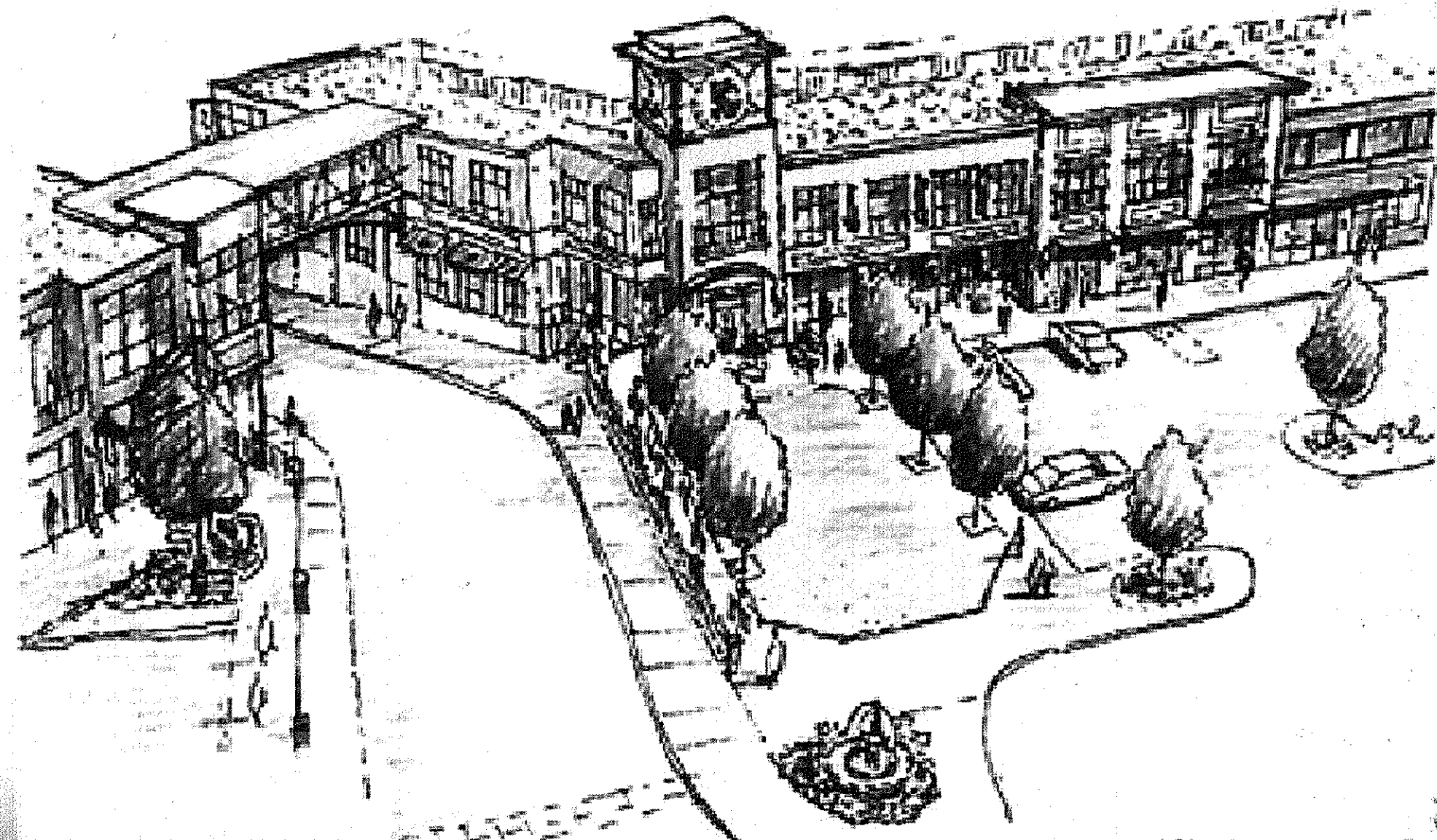
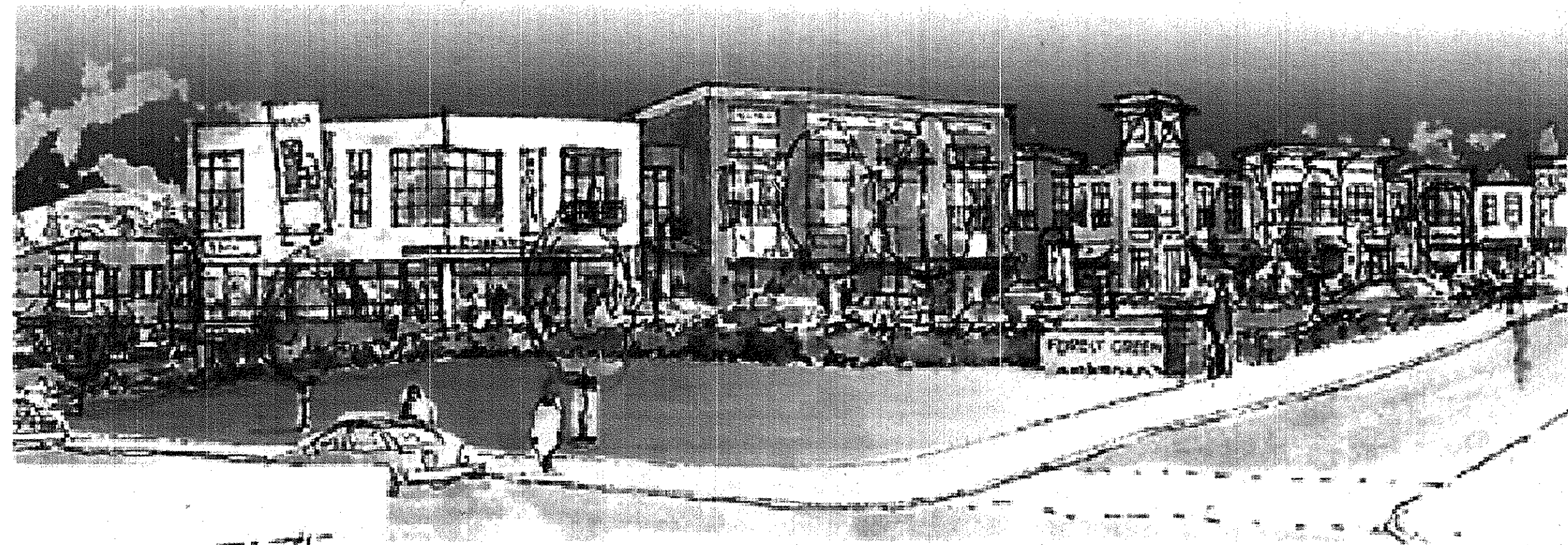
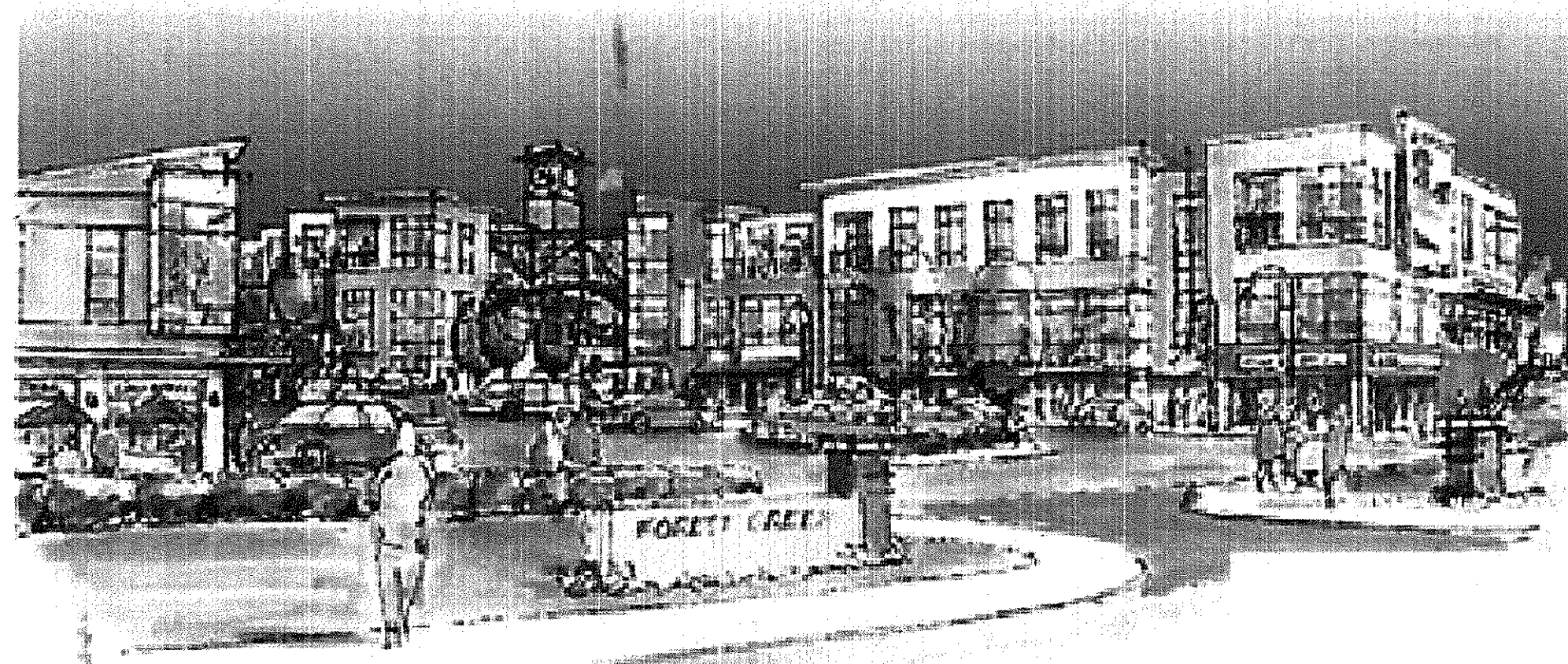
SECTION 'R-R'
SCALE: 1"=30' HORIZ.
1"=3' VERT.



SECTION 'Q-Q'
SCALE: 1"=30' HORIZ.
1"=3' VERT.



PROFILE 1-15 TO M-3
SCALE: 1"=30' HORIZ.
1"=3' VERT.



FOREST GREEN

HOWARD COUNTY, MARYLAND

DECEMBER 2009

hord | coplan | macht

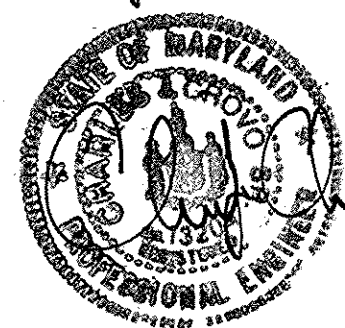
750 E. Pratt Street, Suite 1100 Baltimore, MD 21202
410.837.7311 | www.hcm2.com
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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
REGIONAL SOURCE OFFICE: 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2899

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Crooks, Sr.
CHARLES J. CROOKS, SR., P.E.

5/31/11
DATE



DATE	DESCRIPTION	REVISION BLOCK
10/10/11	REVISE BUILDING W/ ADDRESS	
0/21/10	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Diana E. Ruelker 8/1/11
 Director - Department of Planning and Zoning Date
Kat Schreiner 5/31/11
 Chief, Division of Land Development Date
Charles J. Crooks, Sr. 5/31/11
 Chief, Development Engineering Division Date

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10099	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
B	10035	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042
C	10025	BALTIMORE NAT'L PIKE,	ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A
PLAT	BLOCK NO.	ZONE	TAX MAP
21090 & 21097	2	B-1 B-2	24
		ELEC. DIST.	CENSUS TR.
		SECOND	6023.01

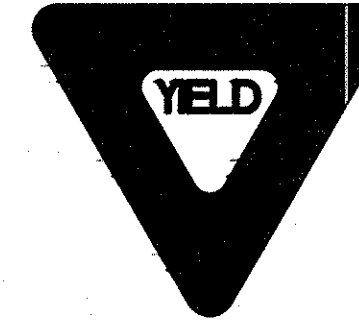
FOREST GREEN CONCEPTUAL DRAWINGS

FOREST GREEN
 ▲ PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NO'S: 21090 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: NO SCALE DATE: DECEMBER 2, 2010

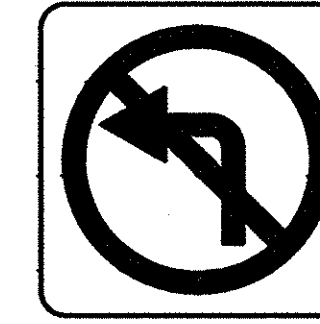
- NOTES:
- SIGN POSTS: ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - REMOVE ALL EXISTING MARKINGS IN CONFLICT WITH THIS PLAN BY GRINDING ONLY.
 - CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 BEFORE INSTALLING ANY SIGNS, PAVEMENT MARKINGS OR REMOVING ANY EXISTING PAVEMENT MARKINGS.



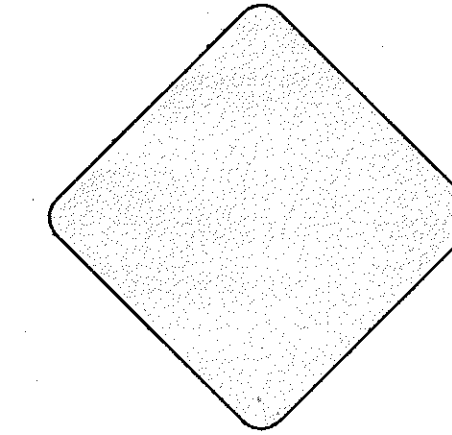
DO NOT ENTER (R5-1)
NO SCALE



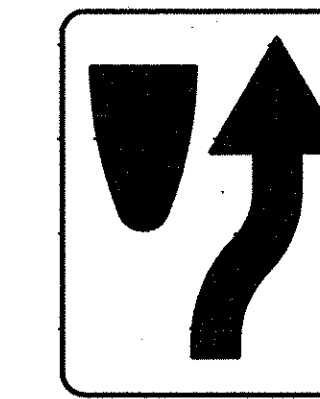
YIELD SIGN (R1-2)
NO SCALE



NO LEFT TURN (R3-2)
NO SCALE



YELLOW OBJECT MARKER (OM1-3)
NO SCALE



KEEP RIGHT (R4-7)
NO SCALE

ALL WESTBOUND
U.S. RT. 40
ACCESS PROVIDED
BY
FREDERICK ROAD
ONLY

CUSTOM SIGN #1
NO SCALE

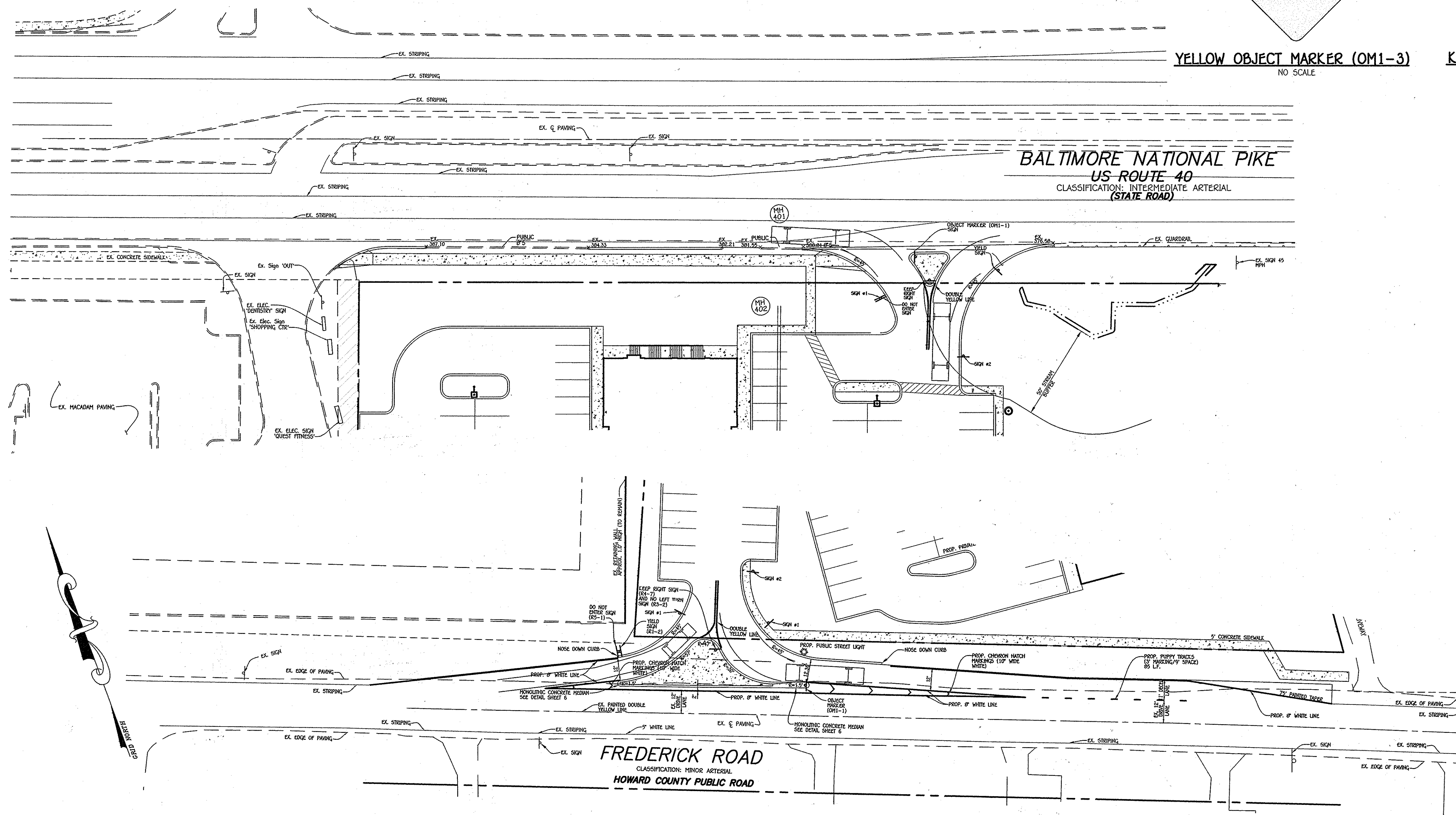
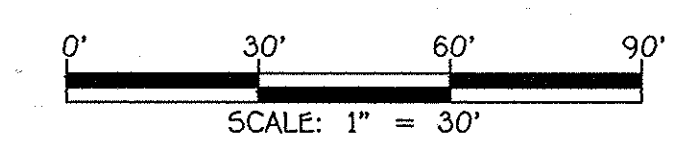
U.S. RT. 40
ENTRANCE IS
RESTRICTED TO
EASTBOUND
U.S. RT. 40
ACCESS ONLY

CUSTOM SIGN #2
NO SCALE

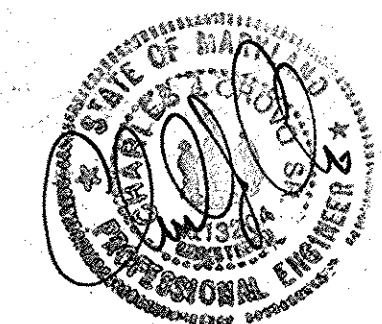
PRIVATE STREET LIGHT CHART (ON-SITE LIGHTING)		
SYMBOL	LOCATION	FIXTURE/POLE TYPE
○	N 587158.69 E 1352948.84	KIM Lighting • FYN-LED-19-HS-150PH-FINISH POLE TOP MTD / 12' O.A.H. (17 EACH) / SINGLE ARRANGEMENT LUMENS 12,050 LFL 0.720 LABEL "A" HEIGHT (12 FEET)
	N 587084.74 E 1352820.28	
	N 587004.09 E 1352759.85	
	N 587023.67 E 1352608.85	
	N 586963.75 E 1352608.29	
	N 586965.68 E 1352596.41	
	N 586973.67 E 1352548.85	
	N 586835.66 E 1352518.66	
	N 586774.66 E 1352493.87	
	N 586714.26 E 1352483.67	
N 586711.19 E 1352520.87	HUBBEL SPANLING RCS-A-H25-H5P (4 EACH) / SINGLE ARRANGEMENT LUMENS 19,100 LFL 0.720 LABEL "B-5" HEIGHT (25 FEET)	
N 586706.88 E 1352565.97		
N 586651.07 E 1352437.7		
N 587172.64 E 1352791.10		
N 587195.78 E 1352571.89		
N 586967.71 E 1352912.52		
N 587094.16 E 1352771.49		
N 587087.29 E 1352565.65		
N 586885.4 E 1352575.13		
N 586763.67 E 1352561.87		
N 586676.98 E 1352544.65	HUBBEL SPANLING RCS-A-H25-H5P (5 EACH) / BACK-BACK ARRANGEMENT LUMENS 19,100 LFL 0.720 LABEL "B-5" (2 @ 180) HEIGHT (25 FEET)	
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		
N 586676.98 E 1352544.65		

PUBLIC STREET LIGHT CHART		
SYMBOL	LOCATION	FIXTURE/POLE TYPE
○	N 586950.33 E 1352429.75	150 WATT HPS VAPOR COLONIAL POST-TOP MOUNTED ON 14" BLACK FIBERGLASS POLE

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21114
(410) 461-2895



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 3, 2012.
Charles J. Crocco, Sr., P.E.
10/16/12 DATE

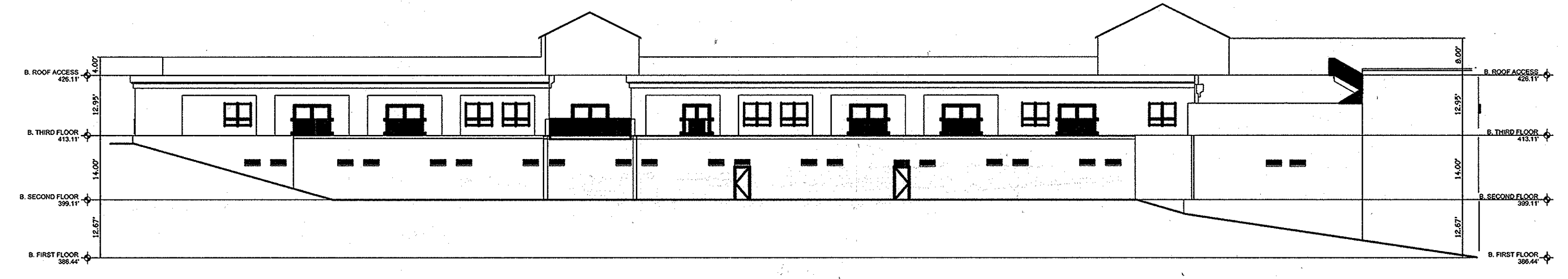
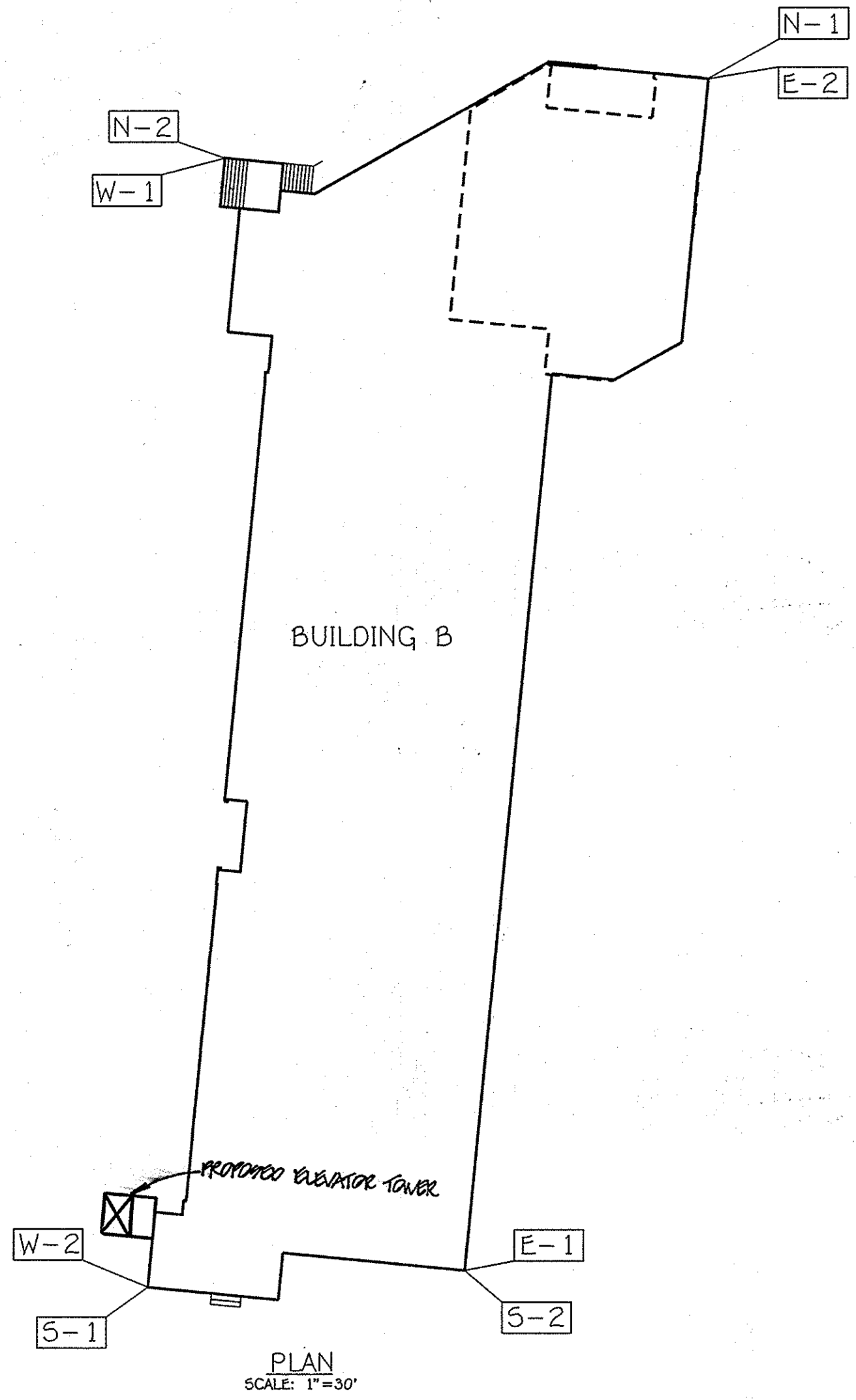
DATE	DESCRIPTION	DATE
10/10/12	REVISE BUILDING ADDRESS	
9/21/12	Provide plan view along RT40 to show sidewalk ramps and custom sign locations. Show detail for the 2 sign custom signs. Remove the office reference within the title block.	
	REVISION BLOCK	
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	Director - Department of Planning and Zoning	
	Chief, Division of Land Development	
	Chief, Development Engineering Division	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422
OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422
OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10039 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
PROJECT	
PROJECT	FOREST GREEN
FLAT	21636 & 21637
BLOCK NO.	2
ZONE	B-1 B-2
TAX MAP	24
ELEC. DIST.	SECOND
CENSUS TR.	6023.01
SECTION/AREA	
PARCELS	69, 72, 453, 497 AND 1172
LOT	A

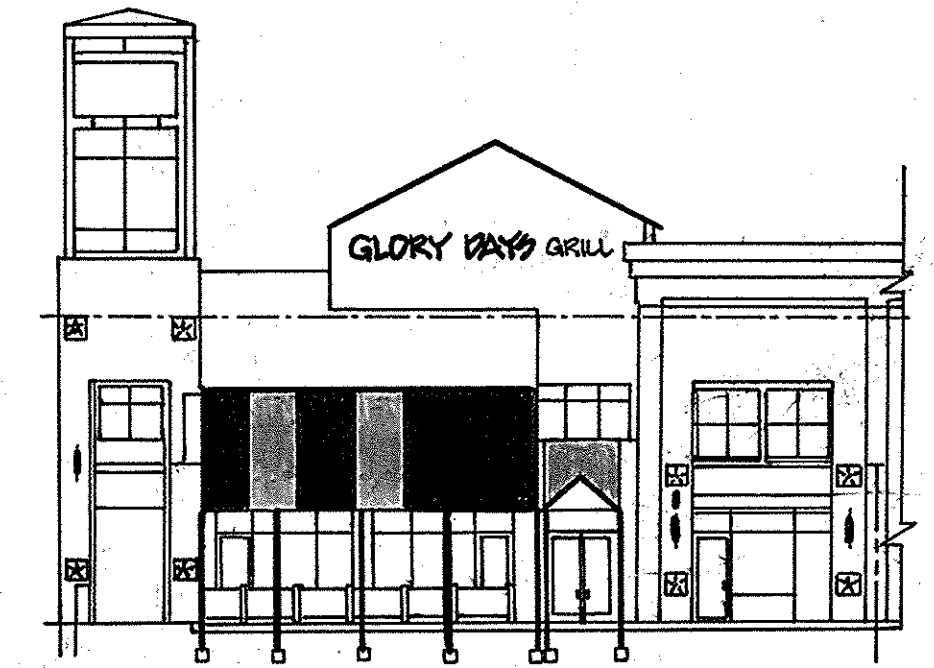
REVISED SITE DEVELOPMENT PLAN
FREDERICK ROAD STRIPING AND SIGNAGE PLAN
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012
SHEET 39 OF 42 SDP-10-036

I:\2010\06067\dwg\SHA INFO ON SIGNED PLANS\06067-4001 (SHEET 39) SIGNAGE PLAN.dwg SHEET 39 NEW mmp/ 10/16/2012 3:47:19 PM, 11

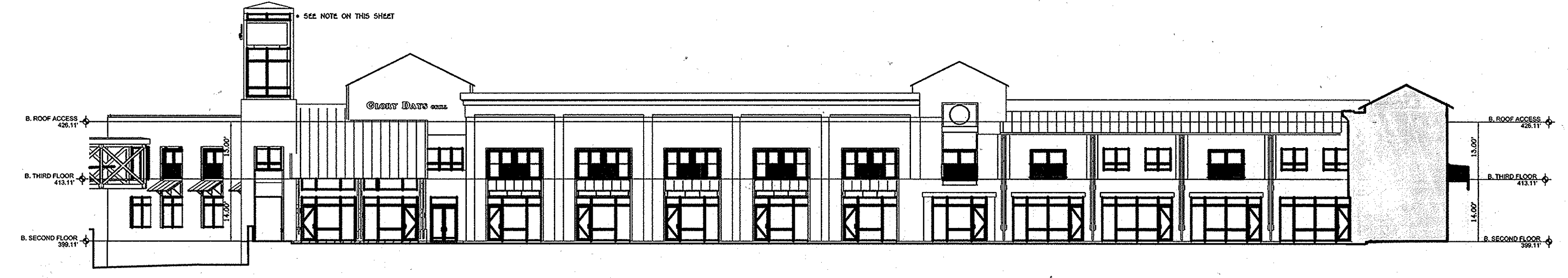


BUILDING 'B' EAST ELEVATION
SCALE: 1"=20'

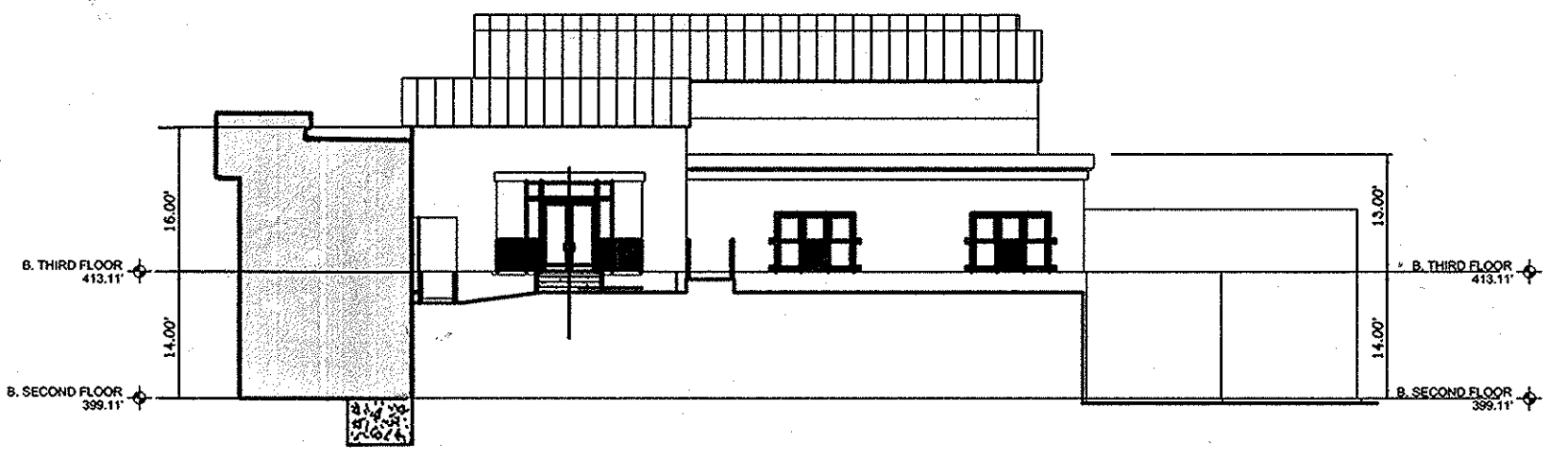
* THE CLOCK TOWER IS EXEMPTED FROM THE HEIGHT LIMITATIONS PER SECTION 128.A.3.b OF THE HOWARD COUNTY ZONING REGULATIONS BECAUSE IT WILL SCREEN HVAC UNITS.



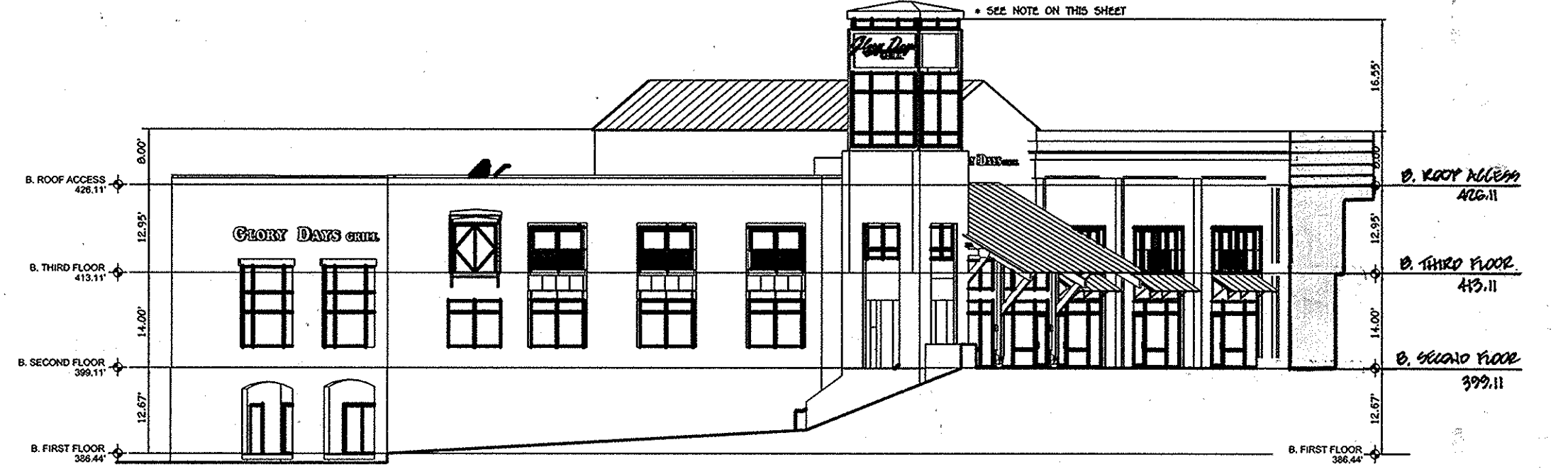
STANDING BEAM METAL CANOPY
EAST BUILDING ELEVATION
NOT TO SCALE



BUILDING 'B' WEST ELEVATION
SCALE: 1"=20'



BUILDING 'B' SOUTH ELEVATION
SCALE: 1"=20'



BUILDING 'B' NORTH ELEVATION
SCALE: 1"=20'

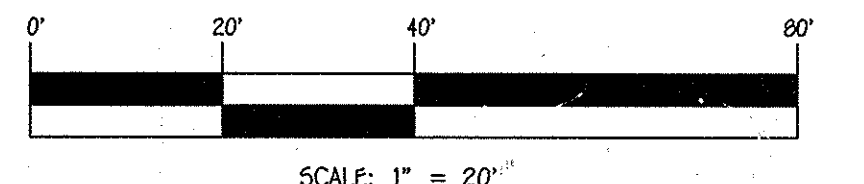
BUILDING 'B' MEAN HEIGHT CHART

(S-1) SOUTH 1	22.00 FEET
(S-2) SOUTH 2	22.00 FEET
(E-1) EAST 1	35.01 FEET
(E-2) EAST 2	48.00 FEET
(N-1) NORTH 1	48.00 FEET
(N-2) NORTH 2	51.50 FEET
(W-1) WEST 1	51.50 FEET
(W-2) WEST 2	35.01 FEET
TOTAL	313.02 FEET
MEAN HEIGHT:	39.13 FEET

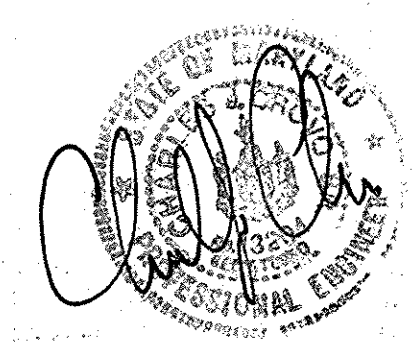
NOTE: ANY BUSINESS/BUILDING IDENTIFICATION WHICH MAY BE CONSIDERED SIGNAGE AS SHOWN ON THIS SHEET SHALL BE REQUIRED TO HAVE APPROVAL FROM THE SIGN CODE ADMINISTRATOR AS APPLICABLE.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED ELEVATION FOR BUILDING 'B'.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10072 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2899



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 128274, Expiration Date: November 3, 2014.

Charles J. Crovi
CHARLES J. CROVI SR., P.E.

4/2/13
DATE

8/27/10	REVISE ELEVATION OF THE CANOPY FOR THE GLORY DAYS GRILL
10/15/11	REVISE BUILDING 'A' ADDRESS
8/14/11	ADD ELEVATION TO BUILDING 'B'
01/21/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.
DATE	DESCRIPTION
REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>David J. Lovell</i>	Date: 4/1/13
Director - Department of Planning and Zoning	
<i>Kate R. Linn</i>	Date: 4-10-13
Chief, Division of Land Development	
<i>Chris Chamber</i>	Date: 4-10-13
Chief, Development Engineering Division	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

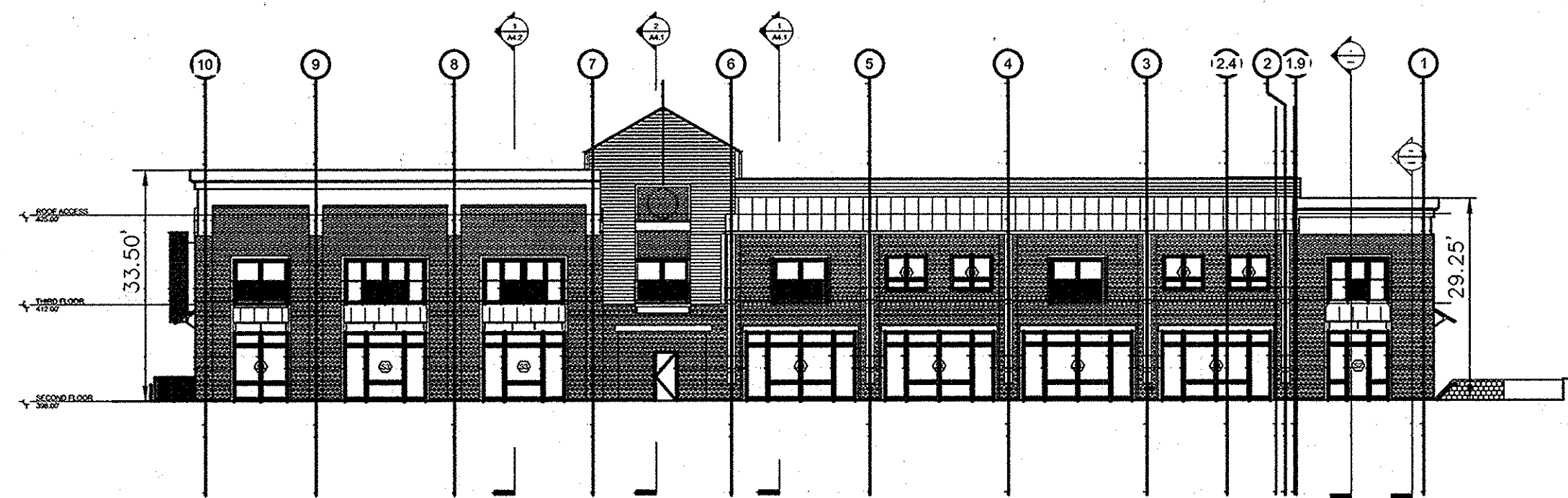
Address Chart						
BUILDING NO.	STREET ADDRESS					
A	10099 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042					
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042					
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042					
PROJECT						
FOREST GREEN						
PLAT	BLOCK NO.	ZONE	TAX MAP	SECTION/AREA	PARCELS	LOT
21636 & 21637	2	B-1 B-2	24	SECOND	69, 72, 453, 497 AND 1172	A
					ELEC. DIST. CENSUS TR.	
					6023.01	

REVISED SITE DEVELOPMENT PLAN

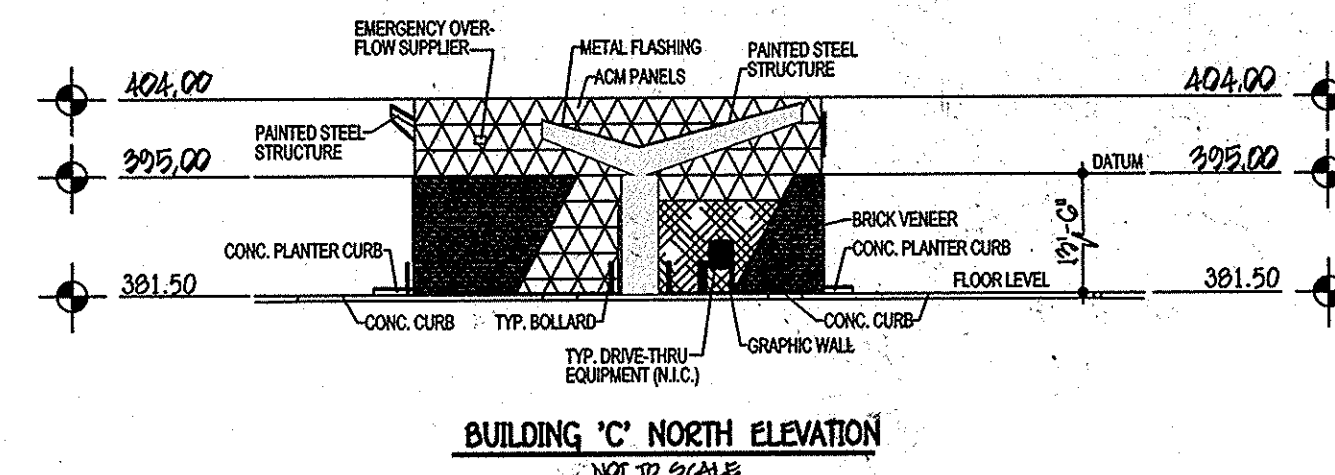
BUILDING "B" ELEVATIONS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH 20, 2013

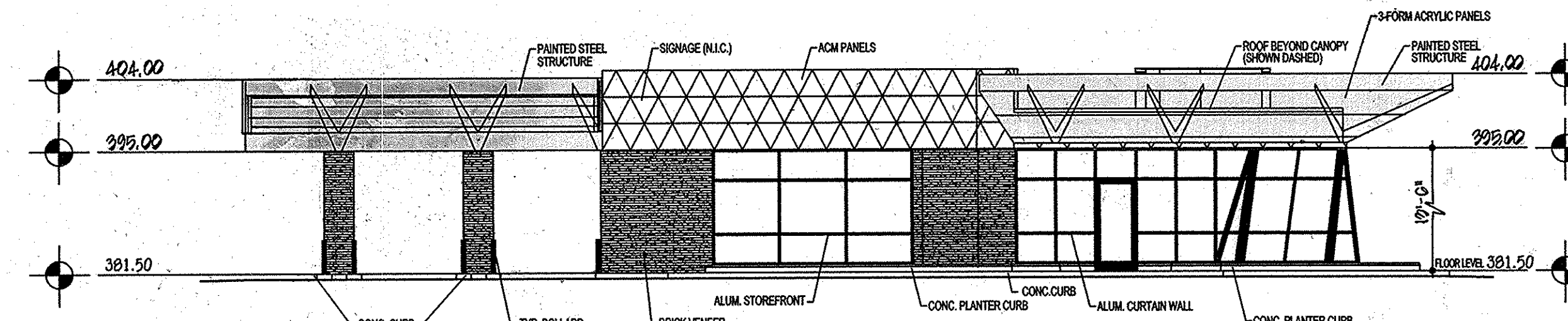
SHEET 40 OF 42 SDP-10-036



BUILDING 'A' WEST ELEVATION
SCALE 1" = 20'



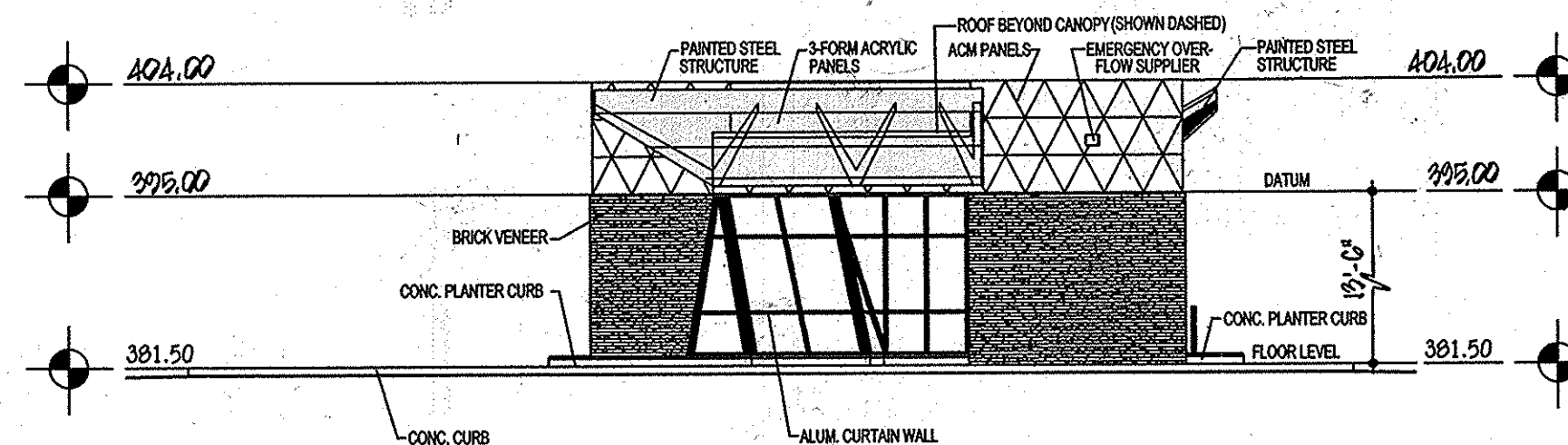
BUILDING 'C' NORTH ELEVATION
NOT TO SCALE



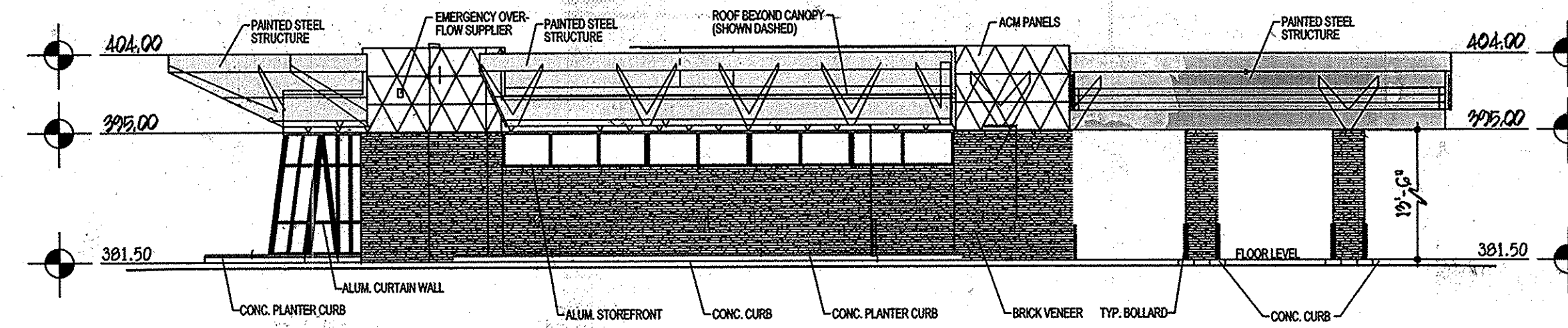
BUILDING 'C' WEST ELEVATION
NOT TO SCALE



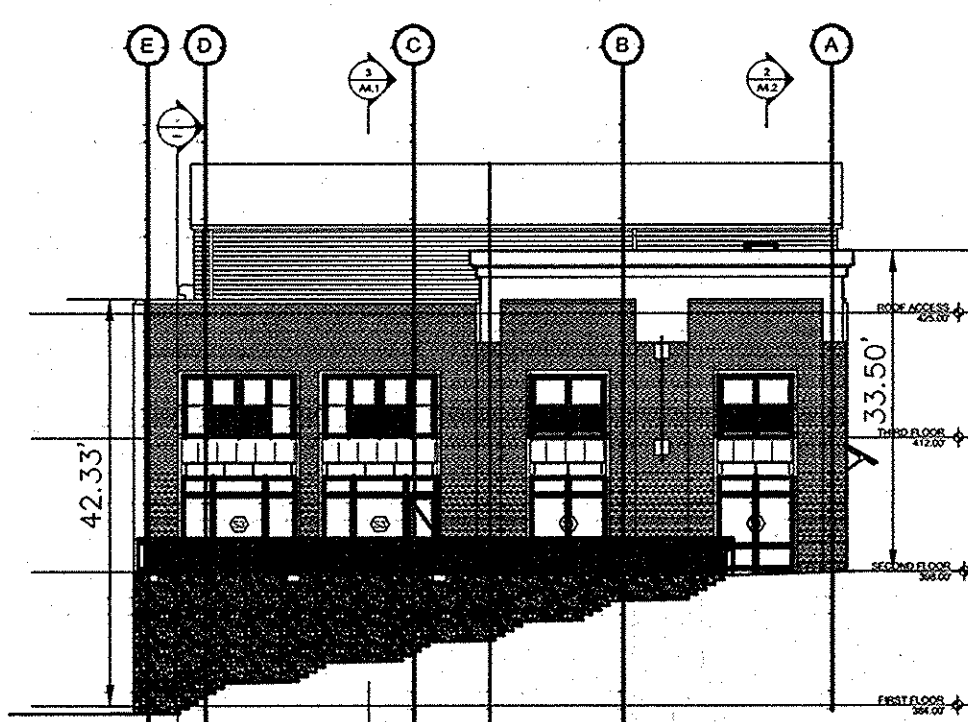
BUILDING 'A' EAST ELEVATION
SCALE 1" = 20'



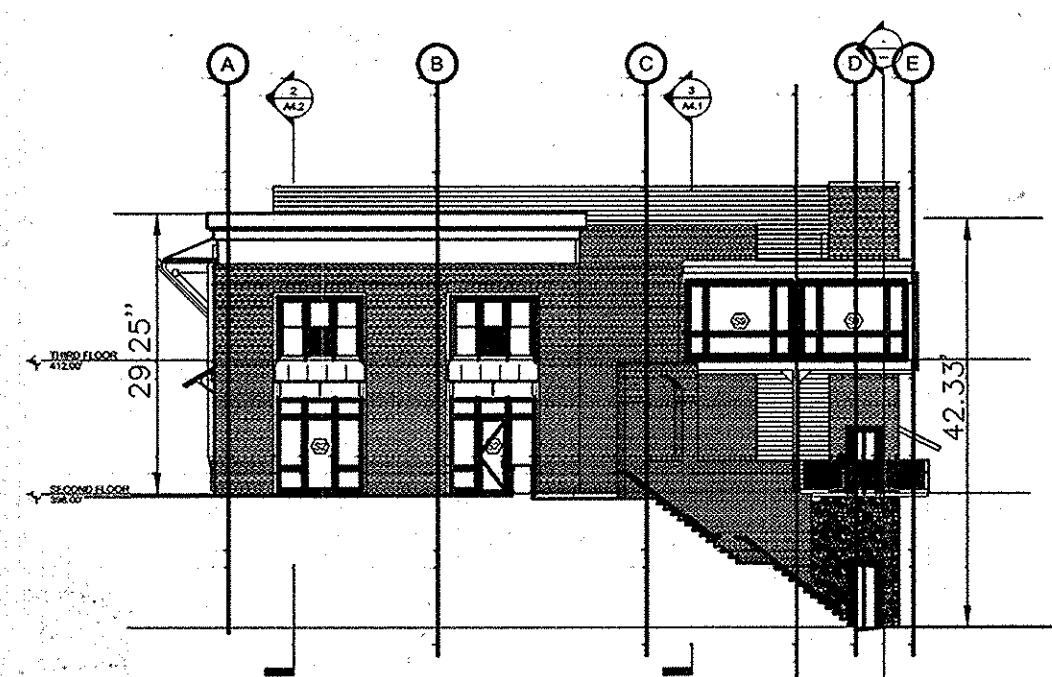
BUILDING 'C' SOUTH ELEVATION
NOT TO SCALE



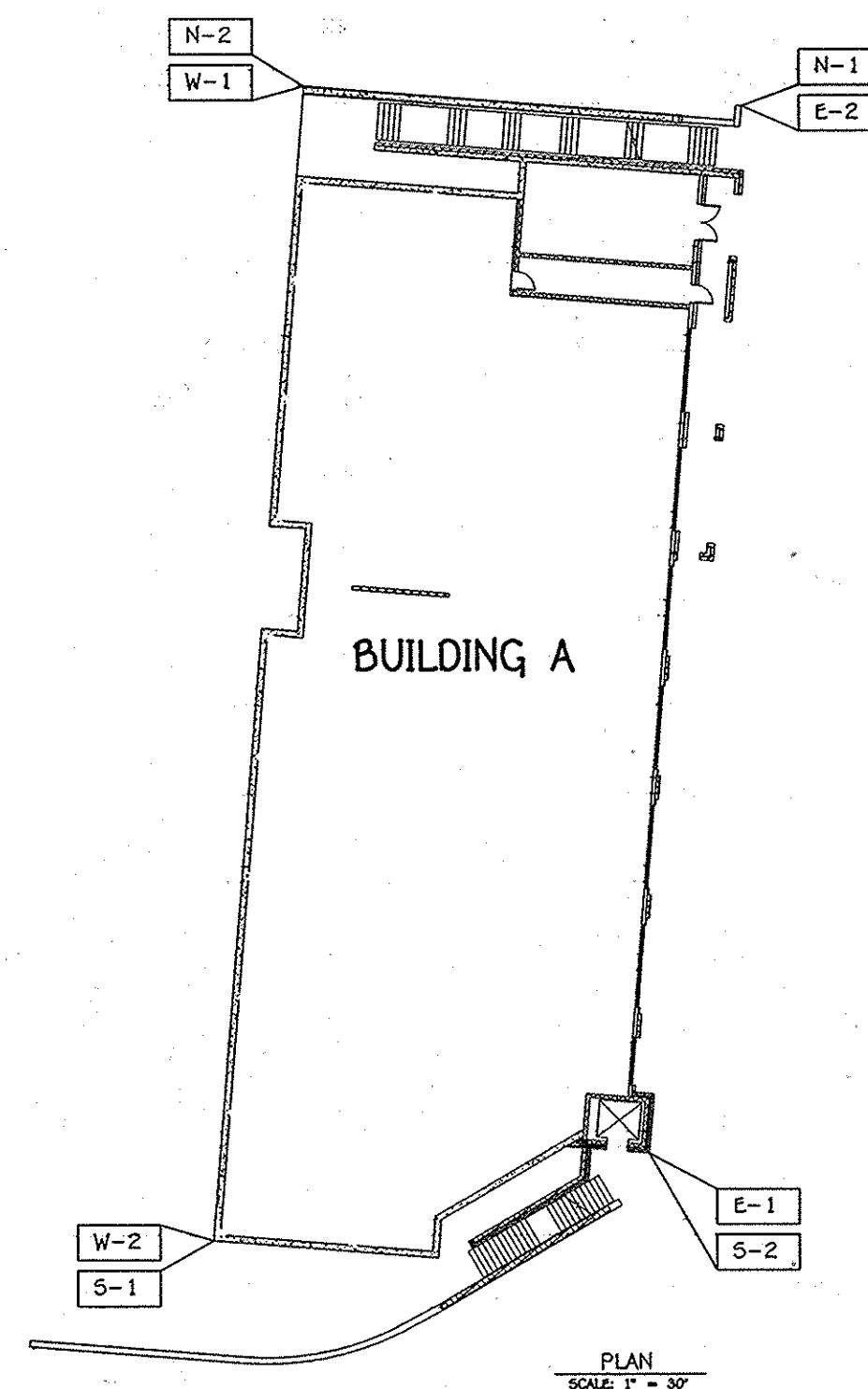
BUILDING 'C' EAST ELEVATION
NOT TO SCALE



BUILDING 'A' NORTH ELEVATION
SCALE 1" = 20'



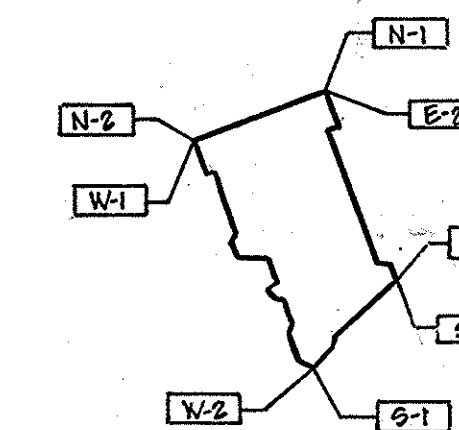
BUILDING 'A' SOUTH ELEVATION
SCALE 1" = 20'



PLAN
SCALE 1" = 30'

BUILDING 'A' MEAN HEIGHT CHART

(S-1) SOUTH 1	29.25 FEET
(S-2) SOUTH 2	42.33 FEET
(E-1) EAST 1	43.25 FEET
(E-2) EAST 2	47.50 FEET
(N-1) NORTH 1	42.33 FEET
(N-2) NORTH 2	33.50 FEET
(W-1) WEST 1	33.50 FEET
(W-2) WEST 2	29.25 FEET
TOTAL	300.91 FEET
MEAN HEIGHT:	37.61 FEET



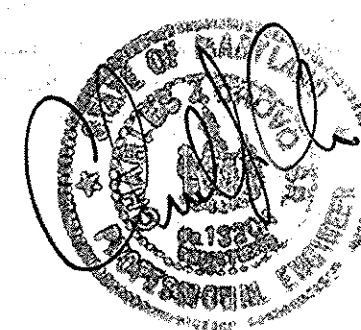
BUILDING 'C' MEAN HEIGHT CHART

(S-1) SOUTH 1	18.00' FEET
(S-2) SOUTH 2	18.00' FEET
(E-1) EAST 1	18.00' FEET
(E-2) EAST 2	18.00' FEET
(N-1) NORTH 1	18.00' FEET
(N-2) NORTH 2	18.00' FEET
(W-1) WEST 1	18.00' FEET
(W-2) WEST 2	18.00' FEET
TOTAL	144.00' FEET
MEAN HEIGHT:	18.00' FEET

PURPOSE NOTE:

THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2022



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Cravo, Sr., P.E.

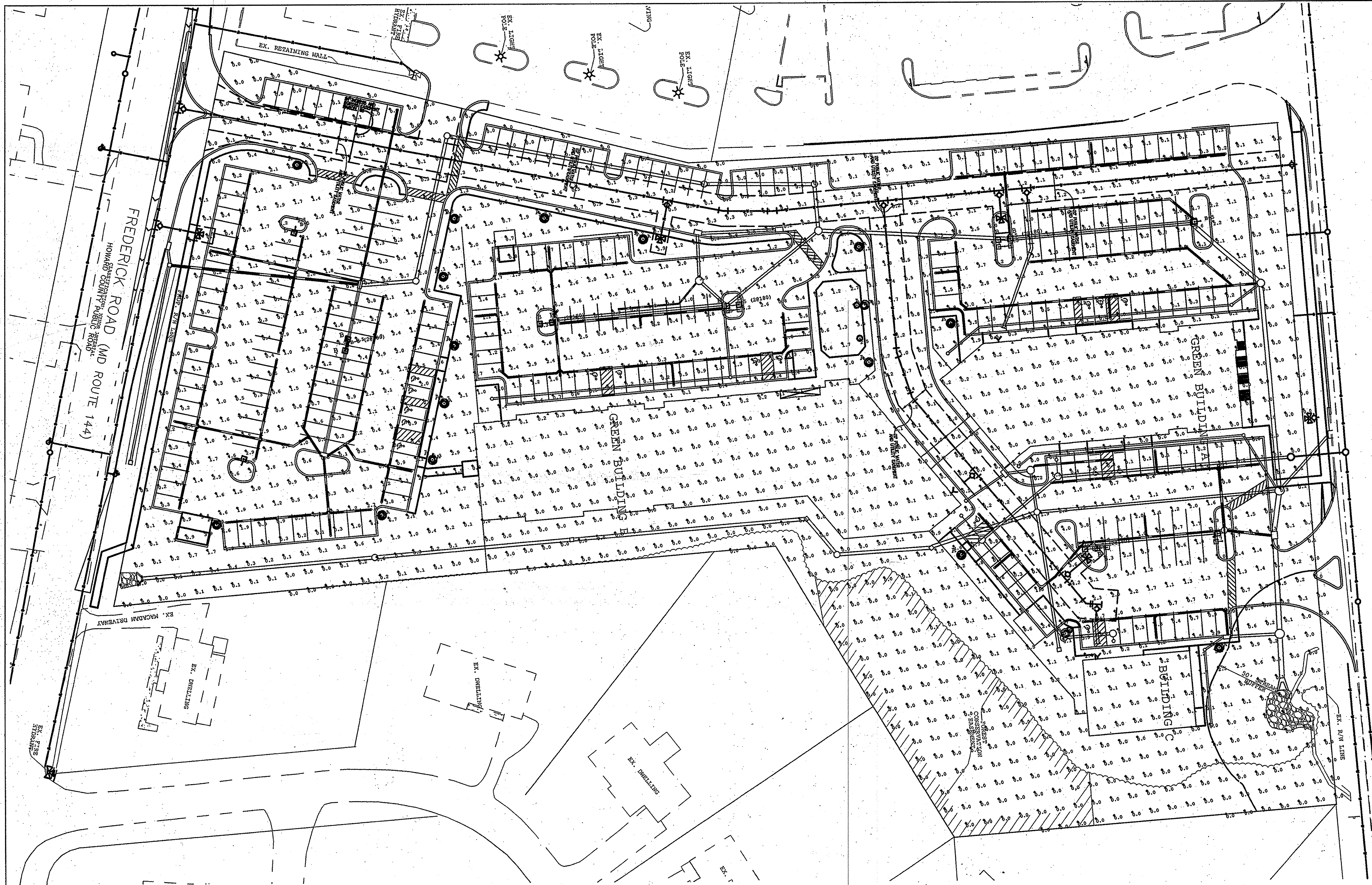
10/6/12
DATE

DATE	DESCRIPTION	DATE
10/19/14	REVISE BUILDING 'A' ADDRESS, REVISE BUILDING 'C' FOR NEW ARCHITECTURE	11/2/12
09/21/12	Revise details for buildings 'A' and 'C' to reflect new architecture.	11/07/12
	REVISION BLOCK	11/12
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	Director - Department of Planning and Zoning	
	Chief, Development Engineering Division	

DEVELOPER	
FOREST VENTURES 5300 DORSEY HALL DRIVE SUITE 102 ELLCOTT CITY, MARYLAND 21042-3611 443-367-0422	
OWNER	
FOREST MOTEL, INC. 10021 BALTIMORE NATIONAL PIKE ELLCOTT CITY, MARYLAND 21042-3611 443-367-0422	
OWNER	
BONNIE BRANCH CORPORATION P.O. BOX 396 4100 COLLEGE AVENUE ELLCOTT CITY, MARYLAND 21043-5506 410-465-3674	

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10022 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
PROJECT: FOREST GREEN	
PLAT: 21636 & 21637	BLOCK NO.: 2
ZONE: B-1, B-2	TAX MAP: 24
SECTION/AREA: -	PARCELS: 69, 72, 453, 497 AND 1172
LOT: A	ELEC. DIST. & CENSUS TR.: 6023.01

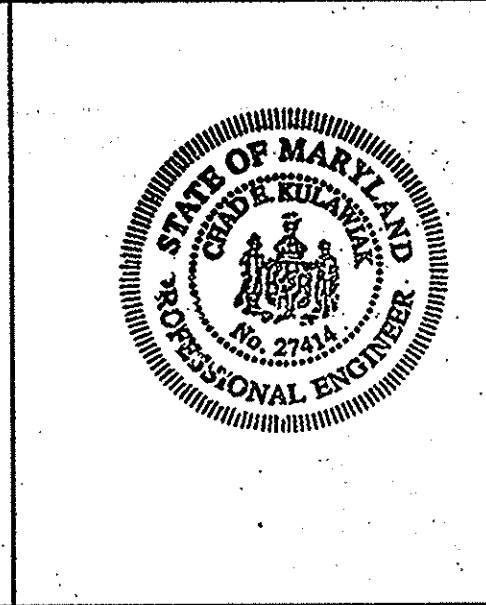
REVISED SITE DEVELOPMENT PLAN	
BUILDINGS 'A' AND 'C' ELEVATIONS	
FOREST GREEN	
PARCEL A	
RETAIL AND APARTMENT USE	
ZONED B-1 AND B-2	
TAX MAP No.: 24	
GRID No.: 2	
PLAT Nos. 21636 & 21637	
PARCEL No.: 69, 72, 453, 497 & 1172	
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND	
SCALE: 1" = 30'	
DATE: SEPTEMBER 21, 2012	



PRIVATE STREET LIGHT CHART (ON-SITE LIGHTING)		
SYMBOL	LOCATION	FIXTURE/POLE TYPE
●	N 50758.69 E 132248.84	EDM Lighting • FM-LED-19-15-150PH-FINISH POLE TOP MTD / 12' O.A.H. Ø7 EACH / SINGLE ARRANGEMENT LUMENS 12,850 LLF 0.720 LABEL "B-2" HEIGHT 62 FEET
	N 50761.66 E 132249.85	
	N 50764.63 E 132250.86	
	N 50767.60 E 132251.87	
	N 50770.57 E 132252.88	
	N 50773.54 E 132253.89	
	N 50776.51 E 132254.90	
	N 50779.48 E 132255.91	
	N 50782.45 E 132256.92	
	N 50785.42 E 132257.93	
	N 50788.39 E 132258.94	
	N 50791.36 E 132259.95	
	N 50794.33 E 132260.96	
	N 50797.30 E 132261.97	
	N 50800.27 E 132262.98	
□	N 50755.70 E 132271.29	HUBBEL SPAULding RCS-A-H25-H2P Ø4 EACH / SINGLE ARRANGEMENT LUMENS 19,100 LLF 0.720 LABEL "B-2" HEIGHT 65 FEET
	N 50772.64 E 132278.10	
	N 50663.71 E 132247.76	
	N 50652.62 E 132236.67	
	N 50641.53 E 132225.58	
□	N 50767.29 E 132265.65	HUBBEL SPAULding RCS-A-H25-H2P Ø4 EACH / BACK-BACK ARRANGEMENT LUMENS 19,100 LLF 0.720 LABEL "B-2" (2 × 180) HEIGHT 65 FEET
	N 50784.24 E 132272.50	
	N 50695.40 E 132275.13	
	N 50684.31 E 132264.04	
	N 50673.22 E 132252.95	

BALTIMORE NATIONAL PIKE
US ROUTE 40
CLASSIFICATION: INTERMEDIATE ARTERIAL
(STATE ROAD)

CENTURY
ENGINEERING
CONSULTING ENGINEERS - PLANNERS
10710 GILROY ROAD
HUNT VALLEY, MD 21031
Phone: 443-589-2400 Fax: 443-589-2401



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 2744, Expiration Date: JULY 10, 2022.

Chad Kulawik
CHAD KULAWIK
DATE: 2/23/11

DATE	DESCRIPTION	REVISION BLOCK
10/10/14	REMOVE BUILDING A ADDRESS	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Thomas J. Butler
Date: 2/10/11
Chief, Division of Land Development
William J. ...
Date: 2/23/11
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-463-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10099 BALTIMORE NATL. PIKE, ELLCOTT CITY, MD. 21042
B	10095 BALTIMORE NATL. PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NATL. PIKE, ELLCOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		159, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21028 & 21027	2	B-1 B-2	24	SECOND	6023.01

SITE PLAN - PHOTOMETRICS

FOREST GREEN
PARCEL A
RETAIL, OFFICE AND EXTENDED STAY USE
ZONED B-1 AND B-2
TAX MAP No: 24 GRID No: 2
PLAT No: 21028 & 21027
PARCEL No: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: DECEMBER 2, 2010

SHEET 42 OF 42 SDP-10-036