

SHEET INDEX

SHEET NUMBER	DESCRIPTION
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LEGEND

SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	DENOTES PAVING OVERLAY

SITE DEVELOPMENT PLAN FOREST GREEN ZONING: B-1 & B-2 TAX MAP No. 24 GRID No. 2 PARCEL Nos. 69, 72, 453, 497 and 1172 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND

CONDITIONS OF APPROVAL UNDER WP-10-132

- THE OFF-SITE FOREST CONSERVATION EASEMENT OBLIGATION FOR THIS PROJECT MUST BE PROVIDED WITHIN THE LITTLE PATENT RIVER WATERSHED CORRIDOR WITHIN A PRIORITY RETENTION AREA TO BE DETERMINED WITH THE PROCESSING OF SDP-10-036. THE DEVELOPER'S FIRST PRIORITY FOR THE FOREST MITIGATION SHOULD BE AT AN OFF-SITE, HIGH PRIORITY RETENTION AREA IF A SITE IS AVAILABLE FOR USE. IF AN OFF-SITE RETENTION AREA IS NOT AVAILABLE, THE DEVELOPER SHALL PROVIDE OFF-SITE FOREST PLANTING AS AN ALTERNATIVE OR THE PURCHASE OF CREDITS AT A FOREST MITIGATION BANK.
- LARGER CALIBER TREES ARE TO BE USED TO FULFILL A PORTION OF THE OFF-SITE FOREST CONSERVATION PLANTING OBLIGATION AND/OR THROUGH RETENTION OF PRIORITY FOREST AREA, PREFERABLY WITH STATUS OF SPECIMEN TREES TO PROVIDE THE DISPLACED HABITAT FOR THIS PROJECT.
- PROVIDE STREAM STABILIZATION DETAILS AS PART OF THE SDP-10-036 SIGNED PLAN SET OF DRAWINGS.
- COMPLIANCE WITH THE SRC COMMENTS FOR SDP-10-036.
- THE WAIVER PETITION APPROVAL PERTAINS ONLY TO THE LIMITS OF DISTURBANCE (LOD) WITHIN THE 50' STREAM BUFFER AND WOODEN STEEP SLOPE AREAS AS SHOWN ON THE HIGHLIGHTED WP PLAN EXHIBIT AND SDP-10-036. THE LOD SHALL BE THE MINIMUM LENGTH NECESSARY FOR THE PROPOSED SITE IMPROVEMENTS.

THIS PLAN IS SUBJECT TO BA CASE NO. 10-026C. THE PLAN WAS APPROVED BY THE HOWARD COUNTY BOARD OF APPEALS HEARING EXAMINER ON JANUARY 19, 2011. THE CONDITIONAL USE WAS FOR A RESIDENTIAL/COMMERCIAL BUILDINGS IN A B-1 AND B-2 ZONING DISTRICT.

PUBLIC STREET LIGHT CHART

SYMBOL	LOCATION	FIXTURE/POLE TYPE
☉	N 506950.33 E 1352429.75	150 WATT HPS VAPOR COLONIAL POST-TOP MOUNTED ON 14" BLACK FIBERGLASS POLE

PARKING DATA CHART:

RETAIL USE:
GREEN BUILDING A: 21,600 SF
NUMBER OF PARKING SPACES REQUIRED: 5.0 SP. PER 1000 SF
5.0 x 21.6 = 108 SPACES

RETAIL USE:
GREEN BUILDING B: 21,500 SF
NUMBER OF PARKING SPACES REQUIRED: 5.0 SP. PER 1000 SF
5.0 x 21.5 = 108 SPACES

RETAIL USE:
GREEN BUILDING C: 5,000 SF
NUMBER OF PARKING SPACES REQUIRED: 5.0 SP. PER 1000 SF
5.0 x 5.0 = 25 SPACES

APARTMENT USE:
GREEN BUILDING A: 19 UNITS
NUMBER OF PARKING SPACES REQUIRED: 1.0 SP. PER 1 UNIT
19 x 1.00 = 19 SPACES

APARTMENT USE:
GREEN BUILDING B: 19 UNITS
NUMBER OF PARKING SPACES REQUIRED: 1.0 SP. PER 1 UNIT
19 x 1.00 = 19 SPACES

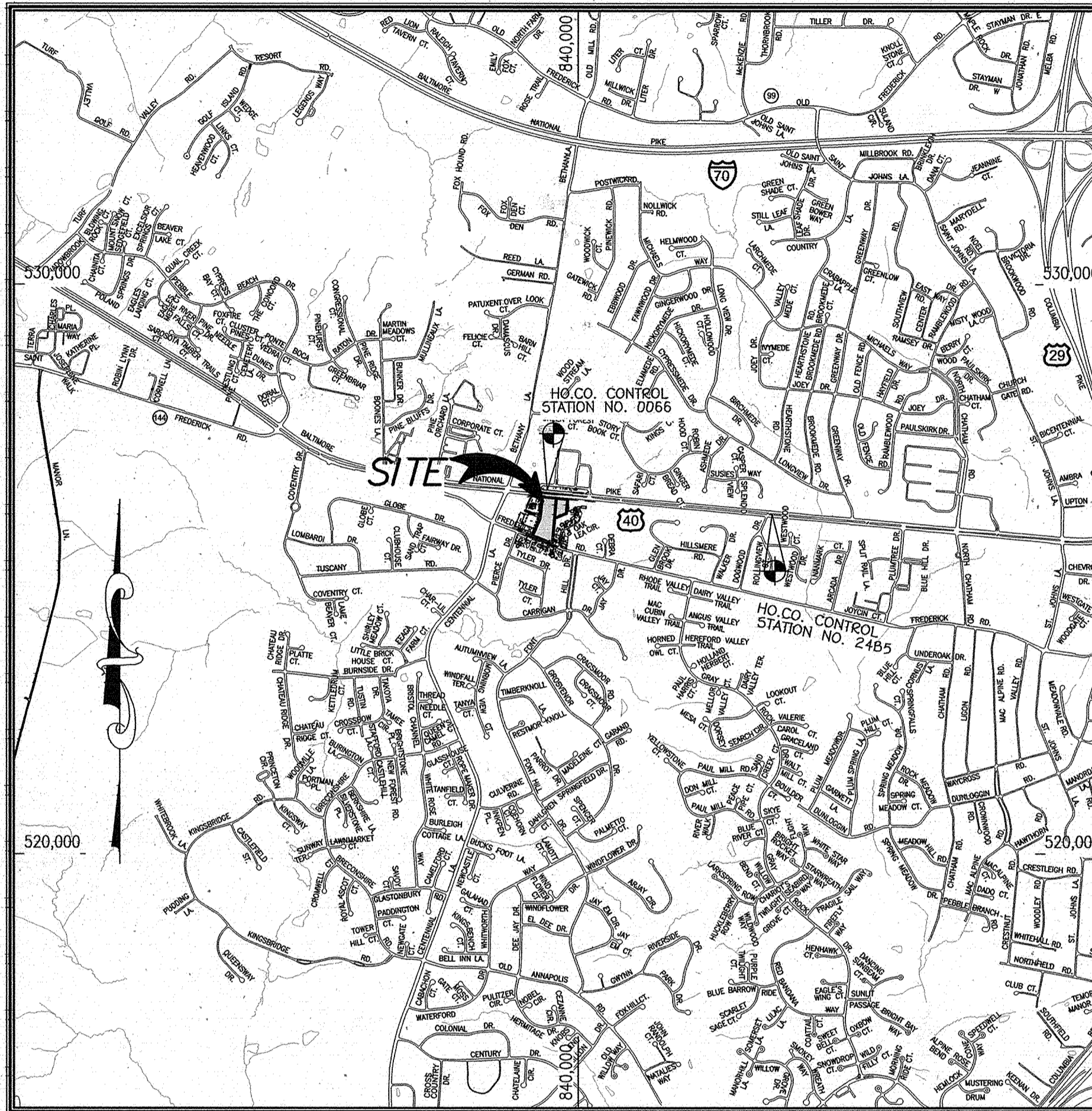
SITE ANALYSIS DATA:

TOTAL SITE AREA: 265,067 SF = 6.201 AC.
TOTAL LIMIT OF DISTURBANCE = 283,905 SF (6.52 AC.)
ZONING = B-1 & B-2
PREVIOUS FILE NO'S: WP-10-110, ZB-1084-M, WP-10-132, F-10-062, BA10-026c, F-10-062
PROPOSED USE = RETAIL = 48,454 SF
APARTMENT = 38 UNITS

BUILDING COVERAGE OF SITE:
GREEN BUILDING A = 10,800 SF
GREEN BUILDING B = 21,500 SF
GREEN BUILDING C = 5,000 SF
TOTAL = 37,654 SF (0.86 AC.) OR 0.86/6.09 = 14.2%

- APPROVAL OF THIS SITE DEVELOPMENT PLAN IS BASED ON THE FOLLOWING:
- PRIVATE PERPETUAL EASEMENT ON THE MICHAEL STAVLAS PROPERTY TO BE EXECUTED.
 - PRIVATE GRADING EASEMENT DESIGNATED AS PART ONE AND TWO TO BE EXECUTED.
 - THE SITE DEVELOPMENT PLAN WILL BE REQUIRED TO BE SLD LINED SHOULD THE ABOVE MENTIONED EASEMENTS ARE NOT EXECUTED. THE RED LINE PLAN WILL REMOVE THE EASEMENTS, ASSOCIATED GRADING AND THE ENTRANCE THAT IS SHOWN ON THE MICHAEL STAVLAS PROPERTY.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES



VICINITY MAP
SCALE: 1" = 2000'

ULI PARKING REQUIREMENT CHART NOTES:

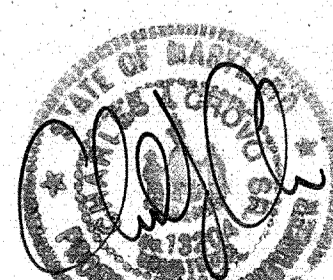
- THE PARKING REQUIREMENTS FOR THIS SITE HAVE BEEN CALCULATED USING THE URBAN LAND INSTITUTE'S SHARED PARKING MODEL (SHARED PARKING, 2ND ED., URBAN LAND INSTITUTE, 2005).
- THE ULI SHARED PARKING MODEL CALCULATES THE REQUIRED PARKING FOR MIXED-USE DEVELOPMENTS BY IDENTIFYING PARKING RATIOS FOR EACH PLANNED USE IN THE PROJECT BASED ON NATIONAL AVERAGES AND ESTIMATING THE DEMAND OF THE VARIOUS USES OVER PEAK HOURS, DAYS AND SEASONS AND IDENTIFYING RELATIONSHIPS BETWEEN USES THAT FOSTER DEVELOPMENT PROGRESS ON STEEP SLOPES 25% OR GREATER OR IN AN UNDISTURBED CONDITION. THE CONDITIONS OF APPROVAL ARE:
- THE SHARED PARKING MODEL USES THE PARKING RATIOS FOR THE PROJECTED USES ON THIS SITE:
A. SHOPPING CENTER (LESS THAN 400,000 SF OF GROSS AREA): 5 SPACES PER 1000 SF (RATIO PER HOWARD COUNTY ZONING REGULATIONS)
B. RESIDENTIAL-RENTAL: 1.65 SPACES PER UNIT, OF WHICH 1 SPACE IS TO BE RESERVED PER UNIT (RATIO PER ULI)
- THE MAXIMUM PEAK REQUIRED PARKING IS 305 SPACES (WEEKEND PEAK DEMAND AT 2PM IN THE PEAK MONTH OF DECEMBER), INCLUDING 7 HANDICAP SPACES.
- THE NUMBER OF SPACES PROVIDED IS 307 SPACES, INCLUDING 16 HANDICAP SPACES.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES.

GENERAL NOTES:

- THIS PLAN IS SUBJECT TO THE AMENDED 5TH EDITION OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS COUNCIL BILL 45-2003, THE 2/2/04 COMPREHENSIVE PLAN AND THE JULY 28, 2006 UPDATE OF THE HOWARD COUNTY ZONING REGULATIONS. DEVELOPMENT OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST (5) FIVE WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "HES UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY DIGGING AND EXCAVATION WORK.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE 2/2/2004 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 7/28/06. PARCEL 1172 WAS REZONED FROM R-20 TO B-1 IN ZONING BOARD CASE ZB-1084-M ON JULY 2, 2010. THE HOWARD COUNTY BOARD OF APPEALS HEARING EXAMINER ON JANUARY 19, 2011 IN BOARD OF APPEALS CASE BA10-026C APPROVED THE CONDITIONAL USE FOR RESIDENTIAL/COMMERCIAL BUILDINGS IN B-1 (BUSINESS-LOCAL) AND B-2 (BUSINESS-GENERAL) ZONING DISTRICTS FOR THIS PROJECT.
- PROJECT BACKGROUND:
A. LOCATION: TAX MAP 24, GRID 2, PARCEL NO. 69, 72, 453, 497, 1172
B. THE SUBJECT PROPERTY IS ZONED B-1 AND B-2
C. ELECTION DISTRICT: SECOND
D. SECTION: N/A AREA: N/A
E. SITE AREA: 265,067 SF
F. PROPOSED USE FOR THIS SITE AND STRUCTURES: RETAIL AND APARTMENT USE
G. PARKING REQUIREMENTS: (SEE PARKING DATA CHART AND SHARED PARKING REQUIREMENTS ON THIS SHEET).
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- THE EXISTING TOPOGRAPHY AND FEATURES WERE DERIVED FROM A FIELD RUN MONUMENTAL BOUNDARY SURVEY BY FISHER COLLINS & CARTER, INC. AND HARPOED AERIAL SURVEYS, INC. ON OR ABOUT OCTOBER 2009.
- HORIZONTAL AND VERTICAL CONTROL DATUM IS BASED ON HOWARD COUNTY GEODETIC CONTROL STATIONS: (NAD 27 MARYLAND COORDINATE SYSTEM)
HOWARD COUNTY MONUMENT 0066 - N 587380.4925 E 1352603.4993 ELEV. 386.589
HOWARD COUNTY MONUMENT 2485 - N 508956.2263 E 1358570.8034 ELEV. 390.253
- PUBLIC WATER AND SEWER IS TO BE UTILIZED FOR THIS PROJECT (CONTRACT NOS. 111-W-106-5, 131-W-411-5, 24-4651-0).
- ALL ON-SITE STORM DRAINS UNDER THIS SITE DEVELOPMENT PLAN ARE PRIVATE.
- THE EXISTING UTILITIES SHOWN HEREON WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST DIG TEST FITS BY HAND AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY THE EXACT LOCATIONS.
- ALL PROPOSED RAMP SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS ACCESSIBILITY GUIDELINES. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE TWO PERCENT. PROVIDED A (5x5) FIVE FOOT BY FIVE FOOT LEVEL RAMPING (MAX. SLOPE 2%) AT THE TOP AND BOTTOM OF ALL RAMP AND BUILDING ENTRANCES AND EXITS. HANDRAILS SHALL BE PROVIDED ON ALL RAMP IN ACCORDANCE WITH SECTION 4.8.5 OF THE A.D.A. STANDARDS ACCESSIBILITY GUIDELINES.
- ALL DRIVEWAYS AND PARKING TO BE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO STATE OWNED RIGHT OF WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BEDDING FOR STORM DRAIN STRUCTURES SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY STANDARD G2.01 CLASS 'C' BEDDING UNLESS OTHERWISE NOTED.
- CUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERNS OF THE ADJOINING PAVING FOR VEHICULAR USE. SEE DETAIL ON SHEET 6.
- FOR HANDICAP PARKING AND CONSTRUCTION DETAILS, SEE SHEETS 6 & 7.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE BASED ON A VISUAL SITE VISIT AND BASED ON AN EXAMINATION OF THE HOWARD COUNTY CEMETERY INVENTORY MAP.
- THIS PROJECT IS RECORDED AMONG THE LAND RECORDS IN HOWARD COUNTY, MARYLAND AS LIBER 11335 FOLIO 618 PARCEL 69, LIBER 642 PARCEL 72, LIBER 11334 FOLIO 606 PARCEL 497, LIBER 11334 FOLIO 612 PARCEL 612 AND LIBER 2316 FOLIO 614.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH ZONING REGULATIONS SECTION 13.4 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON THE SITE AND AWAY FROM ALL PUBLIC STREETS AND RESIDENTIAL AREAS. SEE EXTERIOR LIGHT DETAIL ON SHEET 7.
- THE BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG A-GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- SOIL ANALYSIS PREPARED BY HILLS-CARNE ENGINEERING ASSOCIATES, INC. DATED OCTOBER 20, 2009.
- THE TRAFFIC STUDY REQUIRED FOR THIS PROJECT WAS PREPARED BY MARS GROUP DATED OCTOBER 2009.
- NOISE STUDY IS NOT REQUIRED SINCE THE RESIDENTIAL UNITS ARE ON THE SECOND FLOOR AND HUD DOES NOT REQUIRE THE NOISE STUDY.
- STORM WATER MANAGEMENT FOR THE ENTIRE SUBDIVISION IS BASED ON PROPOSED REDEVELOPMENT OF THE SUBJECT PROPERTY IN ACCORDANCE WITH THE 2009/2010 MARYLAND DEPARTMENT OF ENVIRONMENT (MDE) AND HOWARD COUNTY GUIDELINES. PERMEABLE PAVES AND GRASS SWALES ARE BEING UTILIZED FOR STORM WATER MANAGEMENT PRACTICES.
- THERE IS NO FLOODPLAIN ON THIS SITE.
- THERE ARE NO WETLANDS ON THIS SITE.
- THERE ARE NO HISTORIC STRUCTURES LOCATED ON THIS SITE.
- SNOW REMOVAL AND ROAD MAINTENANCE TO BE PRIVATE.
- CONTRACTOR TO VERIFY THE SIZE, LOCATION AND ELEVATION OF ALL WATER, SEWER AND STORM DRAIN CONNECTIONS PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHOWN IS FROM BEST AVAILABLE INFORMATION.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME II (2006), SECTION 5.5.A. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- THE KNOX BOX LOCATION SHOWN ON SHEETS 4 AND 5 SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4-5 FEET IN HEIGHT AND NO MORE THAN 6 FEET LATERALLY FROM THE DOOR. THE KNOX BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED AND INTEGRATED WITH THE FIRE ALARM SYSTEM (NFPA-1 18.2.1.1).
- THE FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR THIS SUBDIVISION WILL BE FULFILLED BY PROVIDING 0.3 ACRES OF ON-SITE FOREST RETENTION @ \$0.20/SF FOR 13,068 SF = \$2,614.00. THE REFORESTATION REQUIREMENT OF 1.3 ACRES WILL BE PROVIDED AT THE TOTAL FOREST CONSERVATION SURETY = \$30,928.00.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISION OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED 581 SHADE TREES, 5 ORNAMENTAL TREES, 63 EVERGREEN TREES AND 161 SHRUBS HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$32,430.00. IN ADDITION, FINANCIAL SURETY FOR THE 21 REQUIRED SPECIMEN TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,500.00.
- THIS PROJECT SITE CONSISTS OF SEVERAL ADJOINING PARCELS. SETBACKS FROM PARCELS/LOT LINES INTERNAL TO THE DEVELOPMENT SHALL NOT APPLY PER SECTION 18.2A.10 OF THE ZONING REGULATIONS. PROVIDED THAT A SITE DEVELOPMENT PLAN IS APPROVED FOR THE DEVELOPMENT THROUGH AN INTEGRATED DESIGN. THE CONTIGUOUS LOTS/PARCELS, THE LOTS/PARCELS ARE DEVELOPED AND MAINTAINED AS AN INTEGRATED DEVELOPMENT. ALL OF THE LOTS/PARCELS ARE INTEGRAL AND NECESSARY TO THE PROJECT. IMPROVEMENTS ARE PLANNED AND CONSTRUCTED WITHOUT REGARD TO THE INTERNAL LOT LINES, AND PERMIETER SETBACKS TO ADJOINING PARCELS (NOT PART OF THE PROJECT) SHALL BE MAINTAINED.
- NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S), OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND THE 100 YEAR FLOODPLAIN EXCEPT AS APPROVED PER WAIVER WP 10-132.
- ZB CASE NO. 1084-M TO RECLASSIFY R-20 (RESIDENTIAL-SINGLE) ZONING DISTRICT TO A B-1 (BUSINESS-LOCAL) ZONING DISTRICT, ON THAT LAND BELONGING TO FOREST MOTEL, INC. CONTAINING ABOUT 1.37 ACRES. APPROVED FEBRUARY 4, 2010 BY THE PLANNING BOARD.
- IN ACCORDANCE WITH SECTION 12B OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED, MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- WP-10-110 IS TO WAIVE SECTION 16.156(a)(2), WHICH STATES THAT IF THE DEPARTMENT OF PLANNING AND ZONING OR THE REVIEW COMMITTEE INDICATES THAT ADDITIONAL INFORMATION IS NEEDED IN ORDER TO APPROVE TO APPROVE THE PLAN, THE DEVELOPER SHALL PROVIDE THE INFORMATION WITHIN 45 DAYS OF RECEIVING SUCH INDICATION.
- THE DEVELOPER SHALL RESUBMIT THE SITE DEVELOPMENT PLAN TO THE DEPARTMENT OF PLANNING AND ZONING WITHIN 60 DAYS FROM THE PREVIOUS DUE DATE OF MARCH 11, 2010 (ON OR BEFORE MAY 10, 2010).
- ADDITIONAL EXTENSIONS OF TIME TO COMPLETE DEADLINES WILL REQUIRE ADDITIONAL WAIVER PETITIONS, UNLESS PROOF OF GOVERNMENT DELAY CAN BE ESTABLISHED.
- PROPERTY SUBJECT TO PRIOR DEPARTMENT OF PLANNING AND ZONING FILE NOS: WP-10-110, ZB-1084-M, WP-10-132. CONDITIONAL USE PLAN FOR APARTMENT USE (BA10-026c). RECORD PLAT FOR PARCEL LINES TO BE FILED (F11-020) AND RECORD PLAT FOR OFFSITE CONSERVATION EASEMENT, F11-020 (FC).
- THIS PROJECT HAS BEEN REGISTERED IN LEED (RATING SYSTEM: LEED-LEED V2009) DATED FEB. 23, 2010.
- WP-10-132 IS TO WAIVE SECTION 16.116(a)(2)(i) AND SECTION 16.116(b), WHICH PROHIBIT GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURE WITHIN 50 FEET OF AN INTERMITTENT STREAM BANK. ON OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- THE PLANNING DIRECTOR ON MAY 4, 2010 APPROVED THE REQUEST TO WAIVE SECTIONS 16.116(a)(2)(i), WHICH STATES THAT GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, PAVING AND NEW STRUCTURES SHALL NOT BE PERMITTED WITHIN 50' OF AN INTERMITTENT STREAM. THE PROPOSED DEVELOPMENT WILL IMPACT THE STREAM BUFFER TO PROVIDE A SUITABLE OUTFALL FOR THE SWM FACILITY. SECTION 16.116(b), WHICH STATES THAT GRADING, REMOVAL OF VEGETATIVE COVER AND TREES, NEW STRUCTURES AND PAVING SHALL NOT BE PERMITTED ON STEEP SLOPES 25% OR GREATER OR 10 VERTICAL FEET. THE PROPOSED DEVELOPMENT PROPOSES GRADING ON STEEP SLOPES 25% OR GREATER ON PARCEL 1172 TO ACCOMMODATE THE CONSTRUCTION FOR A FUTURE COMMERCIAL BUILDING ON THAT PARCEL AND SECTION 16.1200(a)(8) & (10), WHICH OUTLINES THE FOREST RETENTION PRIORITIES WHEN ADHERING TO THE FOREST CONSERVATION ACT, INCLUDING AREAS OF FLOODPLAIN, STREAM BUFFERS, WETLANDS AND BUFFERS, STEEP SLOPES, AREAS OF STATE CHAMPION TREES, TREES 75% OF THE DIAMETER OF STATE CHAMPION TREES AND TREES 30" IN DIAMETER OR LARGER, AND MANY OTHER PROVISIONS. PER STATE SENATE BILL 566, STATE CHAMPION TREES OR TREES 30" DIAMETER OR LARGER CANNOT BE DISTURBED WITHOUT A WAIVER. THE PROPOSED DEVELOPMENT WILL REQUIRE THE REMOVAL OF 4 OF THE 5 ON-SITE SPECIMEN TREES LOCATED ON THIS PROPERTY TO ACCOMMODATE THE COMMERCIAL USE DEVELOPMENT SITE IMPROVEMENTS.
- A MINIMUM CANOPY HEIGHT OF 13 FEET 6 INCHES IS REQUIRED FOR EMERGENCY EQUIPMENT ACCESS. NFPA-1 18.2.3.4.1.2.
- THE ZONING BOARD APPROVED THE REZONING OF PARCEL 1172 FROM R-20 TO B-1 ON JULY 2, 2010. THE ZONING BOARD CASE WAS ZB1084M.
- A COMMUNITY MEETING WAS HELD ON SEPTEMBER 30, 2009 AT THE ELICOTT CITY SENIOR CENTER IN ELICOTT CITY, MARYLAND. THE COMMUNITY MEETING NOTES ARE AVAILABLE ON FILE AT THE HOWARD COUNTY PLANNING AND ZONING OFFICE.
- NO LOADING OR UNLOADING AREAS ARE PROVIDED ON THIS SITE. LOADING AND UNLOADING WILL NOT TAKE PLACE DURING HOURS OF OPERATION.
- SO A SITE INSPECTION FOR FILE NUMBER F-11-020, WHICH CONTAINED PARCELS 453, 1172, 497, 69, AND 72 WAS COMPLETED ON OCTOBER 2009 BY FISHER, COLLINS AND CARTER, INC. AND TO THE BEST OF MY KNOWLEDGE THERE IS NO EVIDENCE THAT WELLS OR SEPTICS EXISTS ON ANY OF THESE PARCELS. IF DISCOVERED DURING THE DEMOLITION OR CONSTRUCTION PROCESS, THEY WILL BE PROPERLY ABANDONED/SEALED AND THE HOWARD COUNTY HEALTH DEPARTMENT WILL BE NOTIFIED.
- AS PROPOSED CLOCK TOWER AT BUILDING 'B' IS EXEMPT FROM THE HEIGHT LIMITATIONS PER SECTION 12B.3.3 OF THE HOWARD COUNTY ZONING REGULATIONS BECAUSE IT WILL SCREEN MECHANICAL UNITS SUCH AS AIR CONDITIONING UNITS.
- OFF-SITE IMPROVEMENTS AND THE FUTURE ON-GOING MAINTENANCE AGREEMENTS FOR THE ACCESS DRIVE ON PARCEL 68 (LOTS A-1 AND A-2) ARE APPROVED ON PLAN NO. 13994.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALDORNE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2299



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Grovo, Sr., P.E.
DATE: 10/16/12

DATE	DESCRIPTION	REVISION BLOCK
9/19/12	REVISED REQUIRED PARKING TO ADJUST FOR NEW BUILDING 'B' ARCHITECTURE	
9-21-12	Rev. Required Parking to Adjust For Use Changes	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
Director - Department of Planning and Zoning		
Chief, Division of Land Development		
Chief, Development Engineering Division		

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

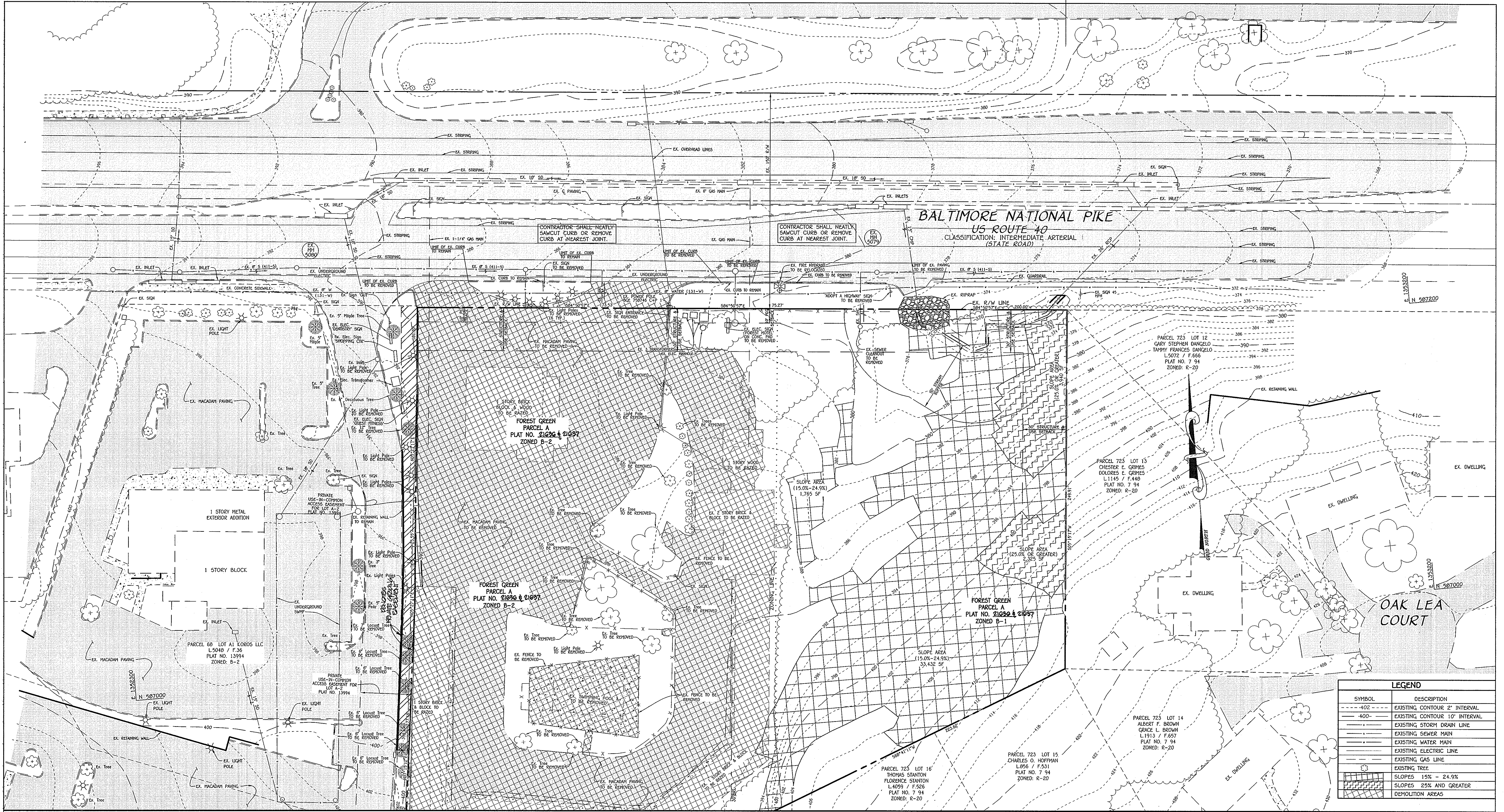
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	
DEED REF.	BLOCK NO.	ZONE	TAX MAP
11335/618, 479/642 11334/606, 2316/614	2	B-1 B-2	24
ELC. DIST.	CENSUS TR.	SECTION	PROJ. CD.
SECOND	6023.01		

TITLE SHEET

**REVISED SITE DEVELOPMENT PLAN
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2**

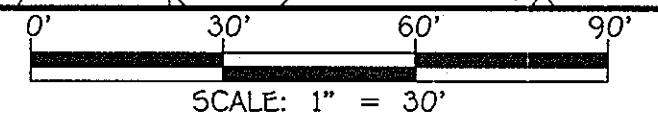
TAX MAP No.: 24 GRID No.: 2
DEED REF. 11335/618, 479/581, 11334/606, 2316/614
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2010

SHEET 1 OF 42 SDP-10-036



MATCH LINE SEE SHEET 2

LEGEND	
SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---400---	EXISTING CONTOUR 10' INTERVAL
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING TREE
---	SLOPES 15% - 24.9%
---	SLOPES 25% AND GREATER
---	DEMOLITION AREAS



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CORPORAL SQUARE OFFICE PARK - 10232 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2895



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
Charles J. Cravo, Sr.
 CHARLES J. CRAVO, SR., P.E.

DATE	DESCRIPTION	DATE
2/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	5/31/11
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Thomas J. Kuttler</i>	Director	Date
<i>Kat Shulman</i>	Chief, Division of Planning and Zoning	5/31/11
<i>Tommy G. Goff</i>	Chief, Division of Development	5/31/11
<i>Tommy G. Goff</i>	Chief, Development Engineering Division	7/26/11

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart			
BUILDING NO.	STREET ADDRESS		
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
PROJECT			
FOREST GREEN	SECTION/AREA	PARCELS	LOT
21030 & 21037	24	69, 72, 453, 497 AND 1172	A
PLAT	BLOCK NO.	ZONE	TAX MAP
21030 & 21037	2	B-1 B-2	24
ELEC. DIST.		CENSUS TR.	
SECOND		6023.01	

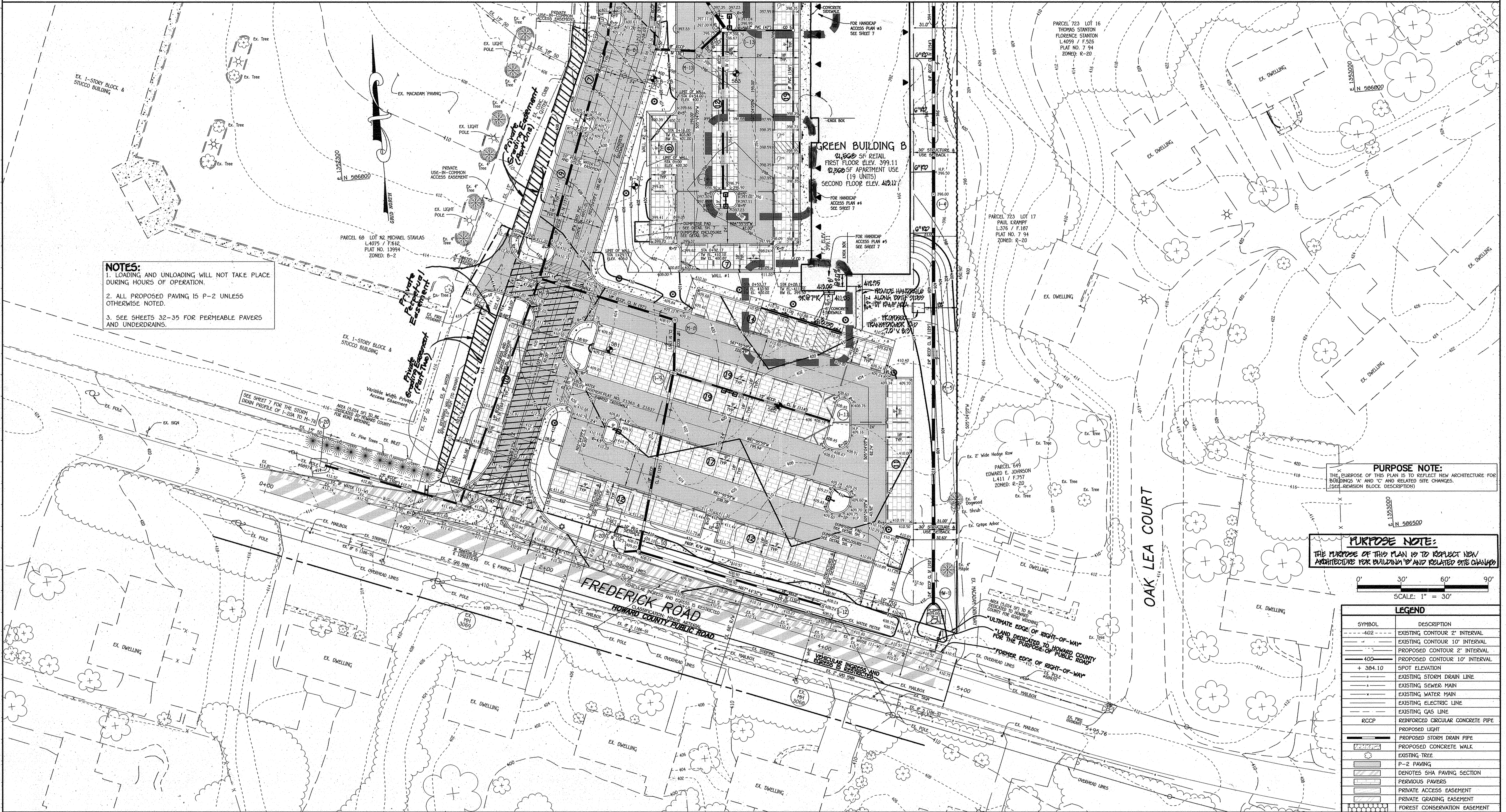
DEMOLITION PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No. 24 GRID No. 2
 PLAT NO'S 21030 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: DECEMBER 2, 2010

SHEET 3 OF 42 SDP-10-036

1:\2006\06057\04\05057-001 (SHEET 2-3) DEMO PLAT2.dwg, SHEET 3, 1:1

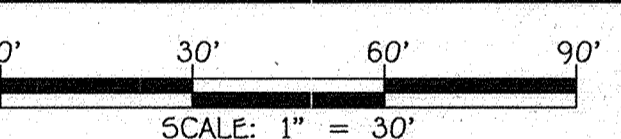
MATCH LINE SEE SHEET 5



NOTES:
 1. LOADING AND UNLOADING WILL NOT TAKE PLACE DURING HOURS OF OPERATION.
 2. ALL PROPOSED PAVING IS P-2 UNLESS OTHERWISE NOTED.
 3. SEE SHEETS 32-35 FOR PERMEABLE PAVERS AND UNDERDRAINS.

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.



LEGEND	
SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
- - -	PROPOSED CONTOUR 2' INTERVAL
- - -	PROPOSED CONTOUR 10' INTERVAL
+ 304.10	SPOT ELEVATION
- - -	EXISTING STORM DRAIN LINE
- - -	EXISTING SEWER MAIN
- - -	EXISTING WATER MAIN
- - -	EXISTING ELECTRIC LINE
- - -	EXISTING GAS LINE
---RCCP---	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	P-2 PAVING
---	DENOTES SHA PAVING SECTION
---	PERVIOUS PAVERS
---	PRIVATE ACCESS EASEMENT
---	PRIVATE GRADING EASEMENT
---	FOREST CONSERVATION EASEMENT

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2999

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Cravo, Sr., P.E.
 CHARLES J. CRAVO, SR., P.E.
 DATE: 10/16/12

DATE	DESCRIPTION	DATE
9/15/12	PRIVATE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'	10/7/12
09/21/12	ADD ADDITIONAL STORM DRAIN THAT SHA WANTED TO ADD AND REVISE THE CURB AT THE ISLAND TO SAVE THE EX. POLE.	11/07/12

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

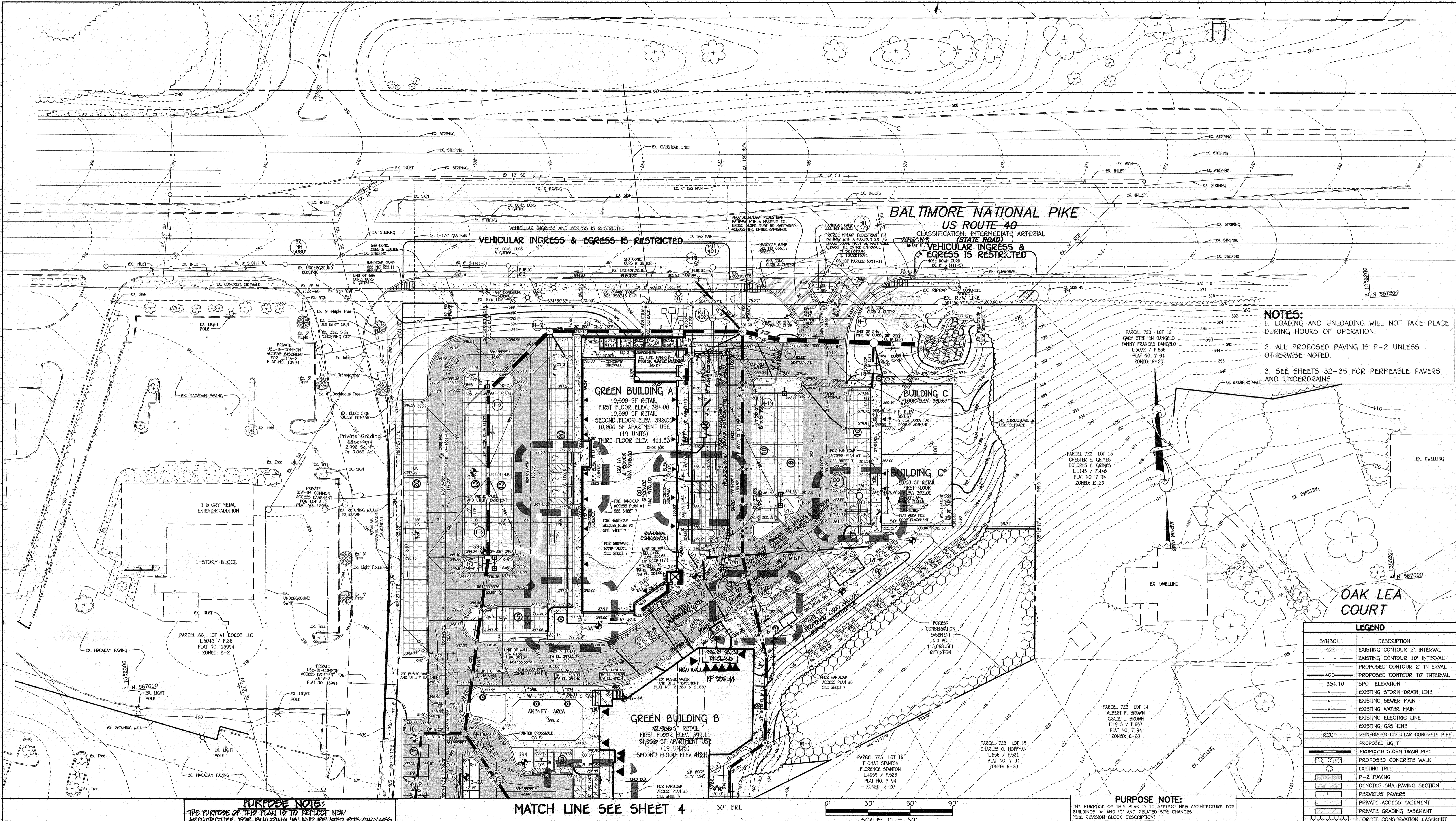
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		68, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 4 OF 42 SDP-10-036



NOTES:
 1. LOADING AND UNLOADING WILL NOT TAKE PLACE DURING HOURS OF OPERATION.
 2. ALL PROPOSED PAVING IS P-2 UNLESS OTHERWISE NOTED.
 3. SEE SHEETS 32-35 FOR PERMEABLE PAVERS AND UNDERDRAINS.

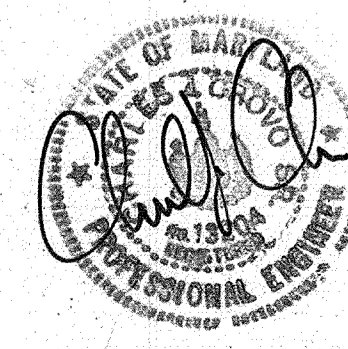
LEGEND	
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+	SPOT ELEVATION
+	EXISTING STORM DRAIN LINE
+	EXISTING WATER MAIN
+	EXISTING ELECTRIC LINE
+	EXISTING GAS LINE
---	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	P-2 PAVING
---	DENOTES SHA PAVING SECTION
---	PERVIOUS PAVERS
---	PRIVATE ACCESS EASEMENT
---	PRIVATE GRADING EASEMENT
---	FOREST CONSERVATION EASEMENT

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'A' AND RELATED SITE CHANGES

MATCH LINE SEE SHEET 4

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 401-3895



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Groves
 CHARLES J. GROVES, P.E.

10/16/12 DATE

DATE	DESCRIPTION
9/15/10	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'
10/17/10	REVISED WATER AND SEWER CONNECTIONS TO BUILDING 'A'
09/21/12	REVISE BUILDINGS 'A' & 'C' TO SHOW NEW ARCHITECTURE. SHOW ADDITIONAL WALL FOR BUILDING 'A'. ADD SHA SIDEWALK RAMPS TO PLAN & REVISE ROOF LEADER FOR BUILDING 'C'.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 REVISION BLOCK

Mark A. Coyle
 Director - Department of Planning and Zoning

Vicki Stuebel
 Chief, Division of Land Development

John J. ...
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042-3611
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OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
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 410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L. PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L. PIKE, ELICOTT CITY, MD. 21042
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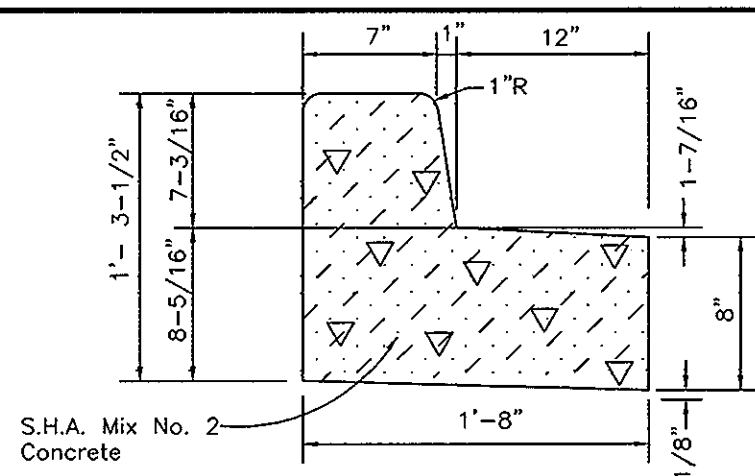
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 22, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

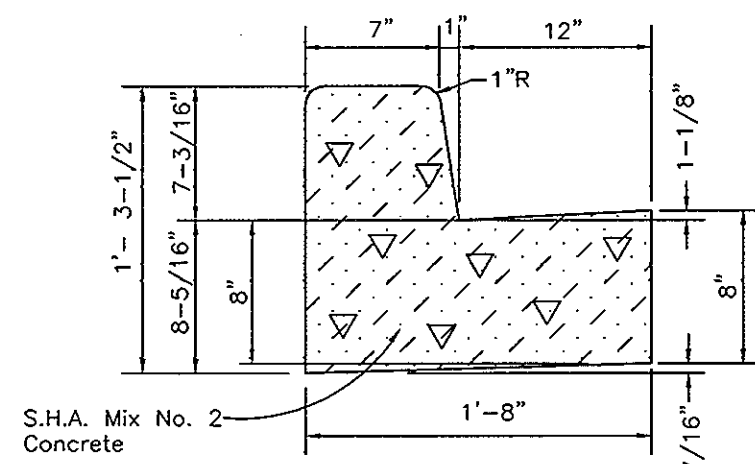
REVISED SITE DEVELOPMENT PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 22, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

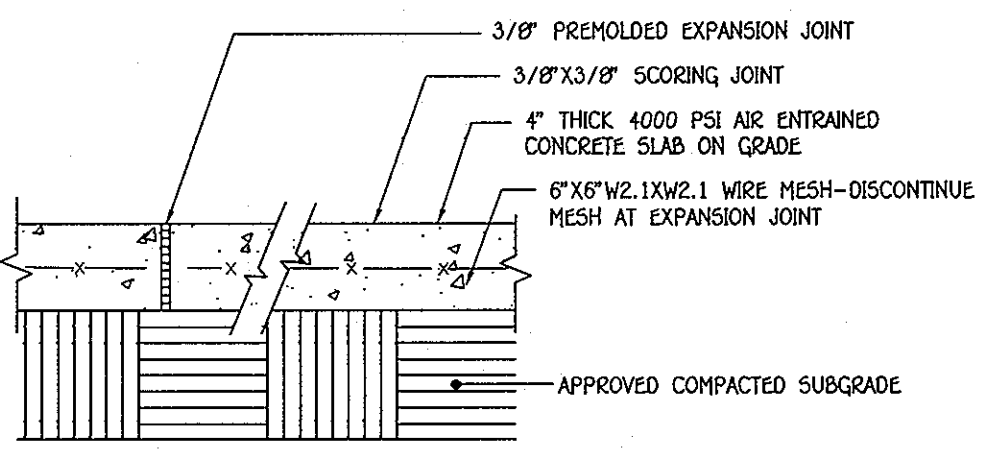
SHEET 5 OF 42 SDP-10-036



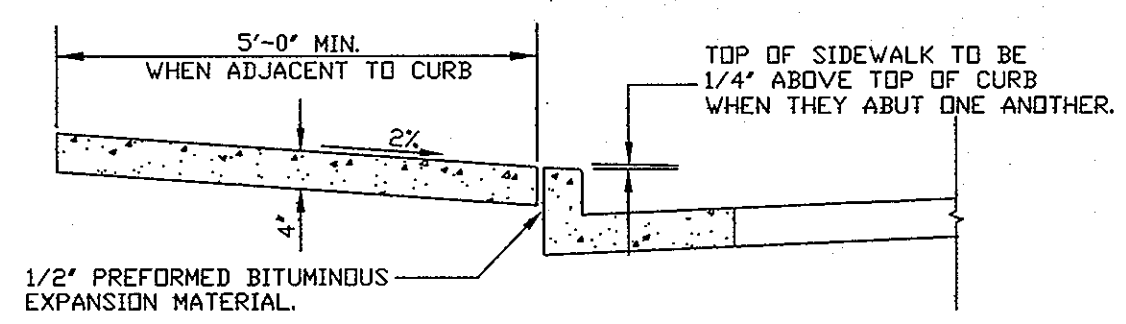
REVERSE 7" COMB. CONC. CURB AND GUTTER
NO SCALE



STANDARD 7" COMB. CONC. CURB AND GUTTER
NO SCALE

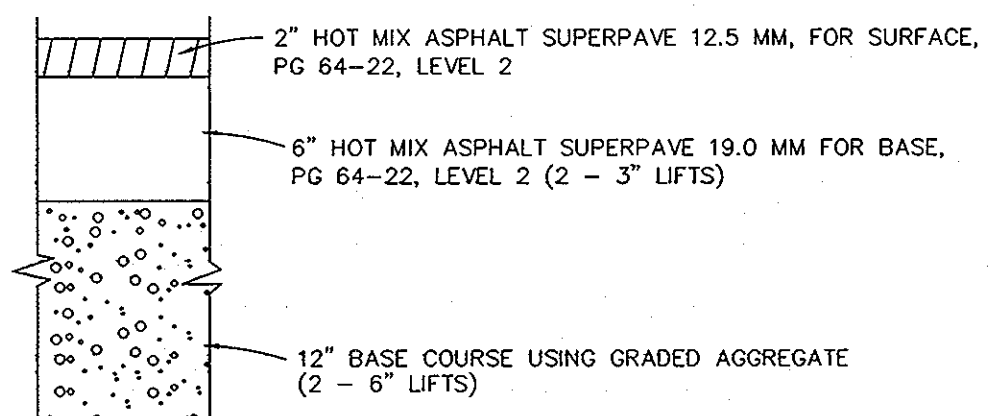


CONCRETE WALK DETAIL
HOWARD COUNTY DETAIL NOTED IS FOR REFERENCE ONLY
SCALE: 1/2"=1'-0"

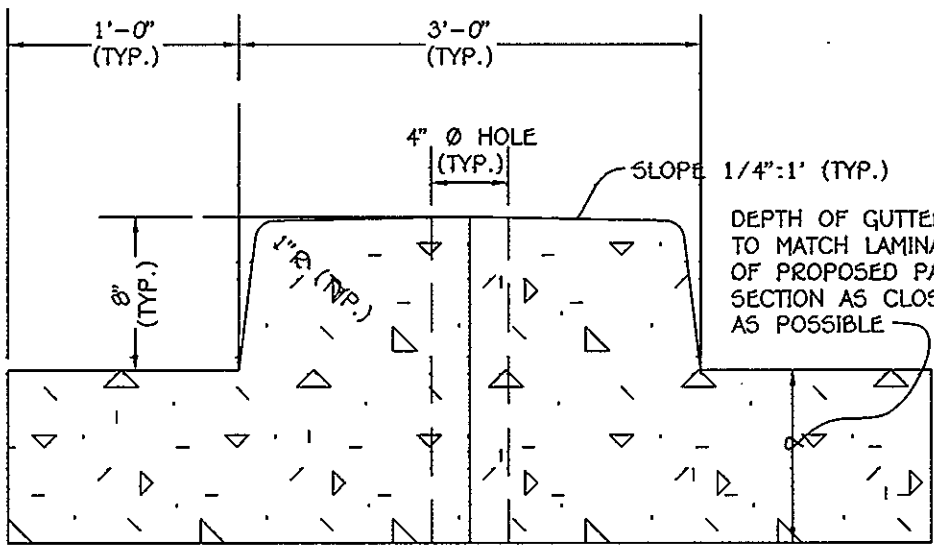


- NOTES:**
- SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
 - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.
 - 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 - CONCRETE TO BE MIX NO. 2.
 - WHEN SIDEWALK ABUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB.
 - ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.
 - SIDEWALK WIDTH ADJACENT TO CURB SHALL BE 5'-0" MIN.
 - SIDEWALK LOCATED 2' OR MORE FROM CURB MAY BE 4'-0" IN WIDTH WITH A 5' X 5' PAVED SECTION PLACED 200' APART.

CONCRETE SIDEWALK DETAIL
NO SCALE



S.H.A. PAVING SECTION
NO SCALE



STD. MONOLITHIC CONC. MEDIAN TYPE A-1
PLACED WITH BITUMINOUS CONCRETE PAVEMENT

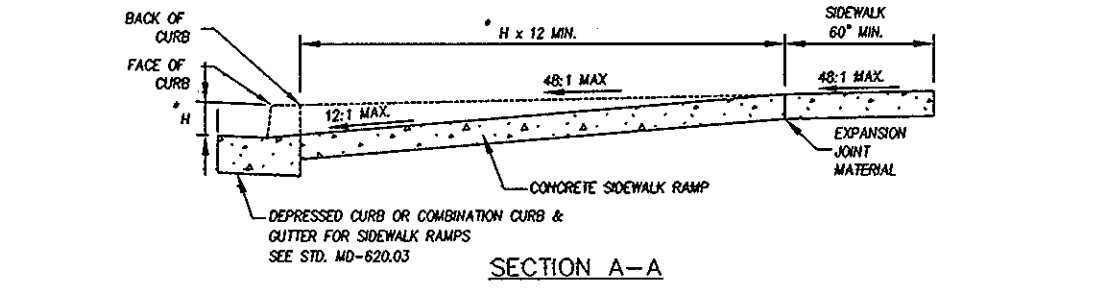
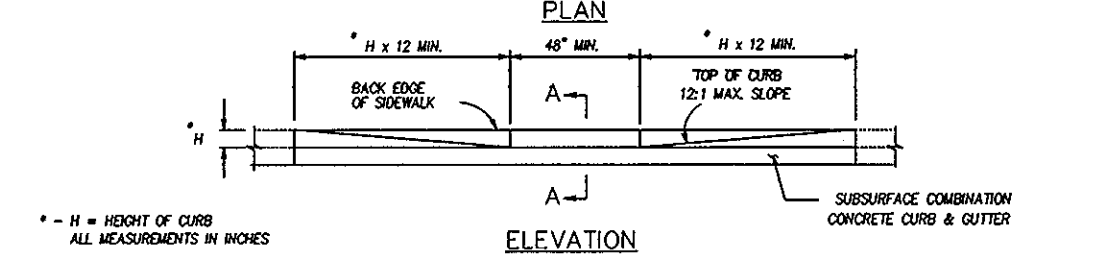
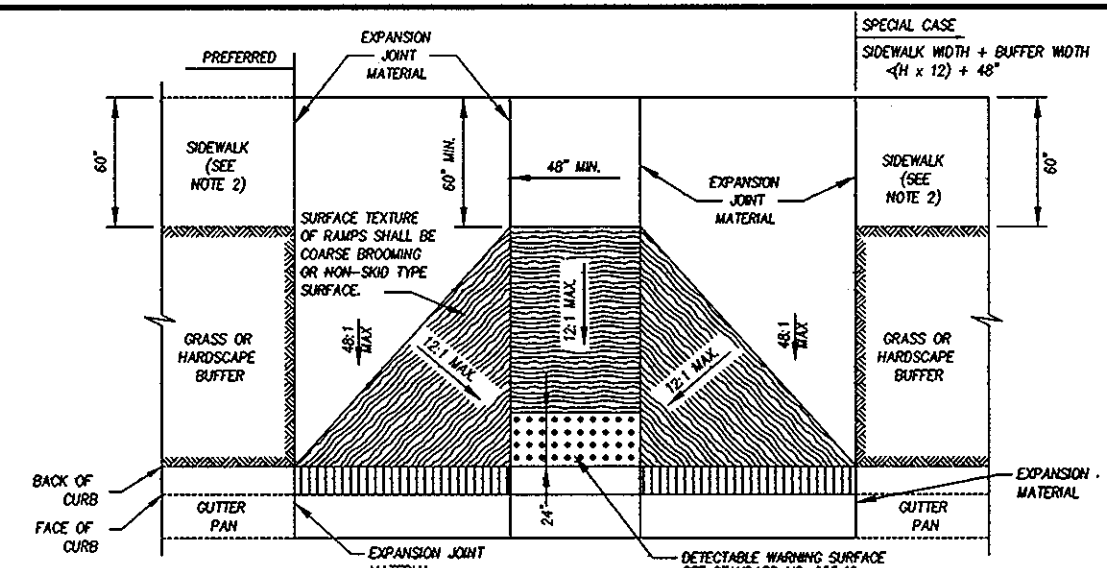
- NOTES:**
- JOINT SPACING WILL BE A MAXIMUM OF 10'-0" APART. SEE SPECIFICATIONS FOR LOCATION AND DESCRIPTION OF TREATMENT FOR THE TYPES OF JOINTS USED. IN THE CASE OF RIGID PAVEMENT, JOINTS SHALL MATCH PAVEMENT JOINTS.
 - ALLOW 4" DIA. HOLES IN MEDIAN FOR SIGNS, SPACED AS SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER.

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7
P-2	PARKING DRIVE AISLES; RESIDENTIAL AND NON-RESIDENTIAL WITH NO MORE THAN 10 HEAVY TRUCKS PER DAY; LOCAL ROADS; ACCESS PLACE, ACCESS STREET; CUL-DE-SACS; RESIDENTIAL	PAVEMENT MATERIAL (INCHES)					
		HMA SUPERPAVE FINAL SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE INTERMEDIATE SURFACE 9.5 MM, PG 64-22, LEVEL 1 (ESAL)					
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 1 (ESAL)					
		8.0	4.0	3.0	4.0	4.0	4.0

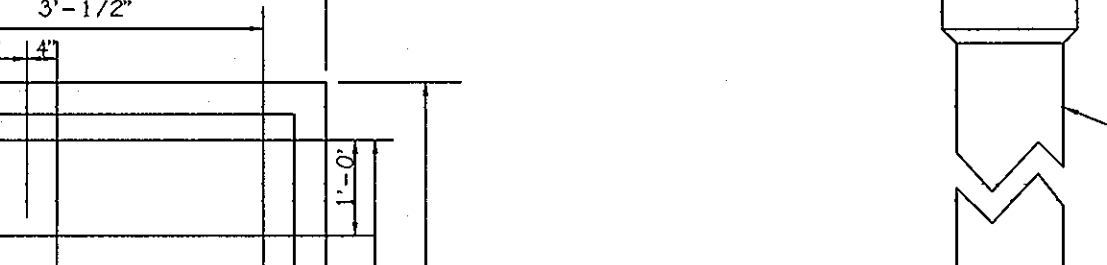
P-2 PAVING SECTION
NO SCALE

SECTION NUMBER	ROAD AND STREET CLASSIFICATION	CALIFORNIA BEARING RATIO (CBR)					
		3 TO <5	5 TO <7	>7	3 TO <5	5 TO <7	>7
P-5	FREDERICK ROAD MINOR ARTERIAL	PAVEMENT MATERIAL (INCHES)					
		HMA SUPERPAVE FINAL SURFACE 12.5 MM, PG 70-22, LEVEL 3 (HIGH ESAL)					
		HMA SUPERPAVE INTERMEDIATE SURFACE 12.5 MM, PG 70-22, LEVEL 3 (HIGH ESAL)					
		HMA SUPERPAVE BASE 19.0 MM, PG 64-22, LEVEL 3 (HIGH ESAL)					
		11.0	5.0	4.0	8.0	8.0	8.0

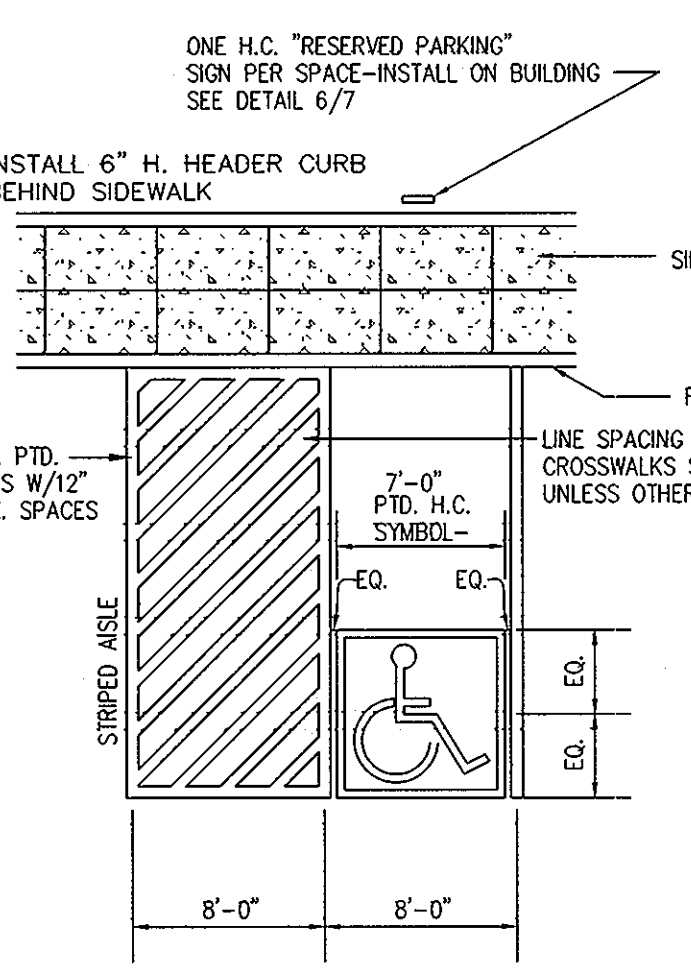
P-5 PAVING SECTION
NO SCALE



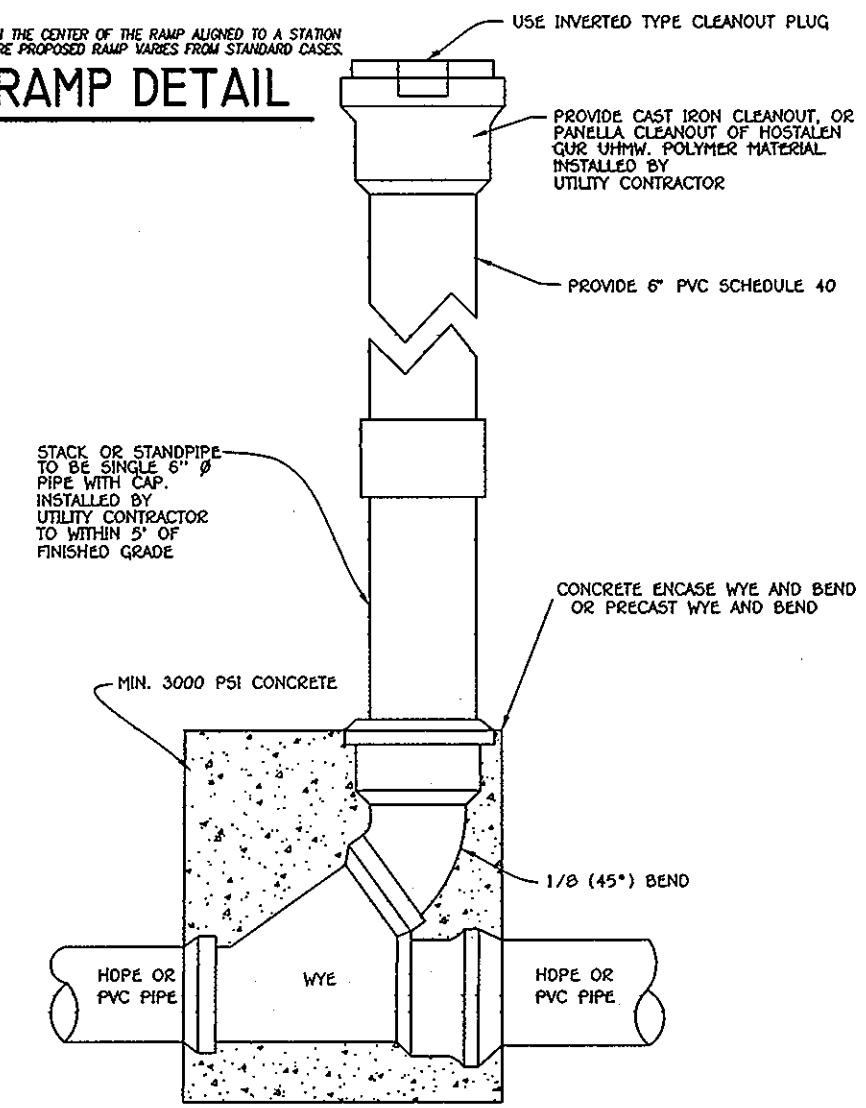
- NOTES:**
- TO BE USED ON WIDE SIDEWALKS OR SIDEWALKS WITH SIGNIFICANT SEPARATION FROM THE ROADWAY WHERE THE GEOMETRY SPECIFIED IN THE DETAILS ABOVE CAN BE OBTAINED. MAY BE MODIFIED TO SUIT A PARTICULAR LOCATION.
 - WHERE 6" SIDEWALK IS NOT PROVIDED, A DESIGN WALKER MUST BE REQUESTED.
 - NO TRAVELER SHOULD BE ON THE RAMP OR SIDEWALK SHALL EXCEED 12:1 IN THE DIRECTION OF PEDESTRIAN TRAVEL, OR 40:1 PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAVEL.
 - EXPANSION JOINT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH STD. 40-800.00.
 - SIDEWALK RAMP SHALL BE INCLUDED IN PRICE FOR CONCRETE SIDEWALK. EXPANDED CURB AND CURB TRANSITION SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 0110 OF THE SPECIFICATIONS.
 - SIDEWALK RAMP SHALL BE SHOWN ON PLANS EMPLOYING AND REPRESENTED WITH THE CENTER OF THE RAMP ADJACENT TO A STATION ON THE CONSTRUCTION PLAN. THE SPACING SHALL BE SHOWN WHERE PAVED WITH STANDARD GAUGES.



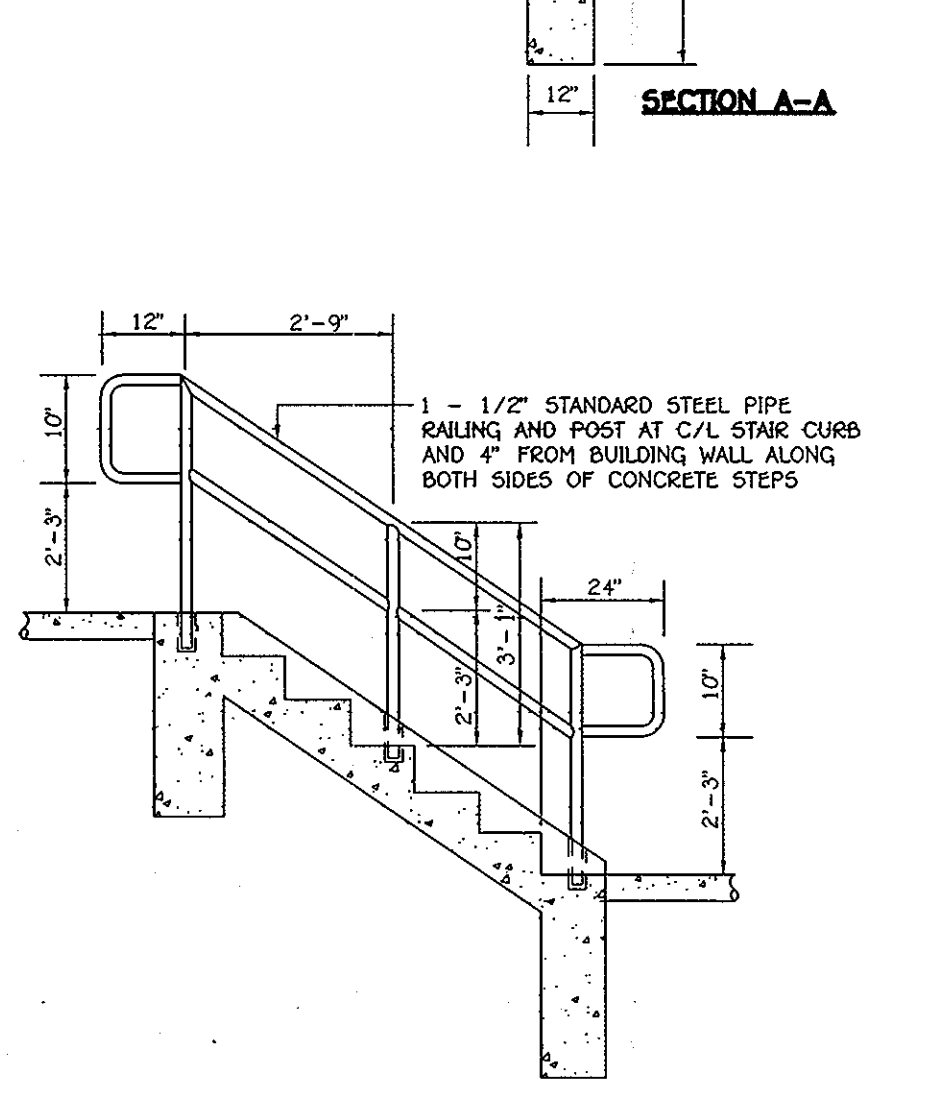
HANDICAP SPACE STENCIL LAYOUT
SCALE: 1" = 20"



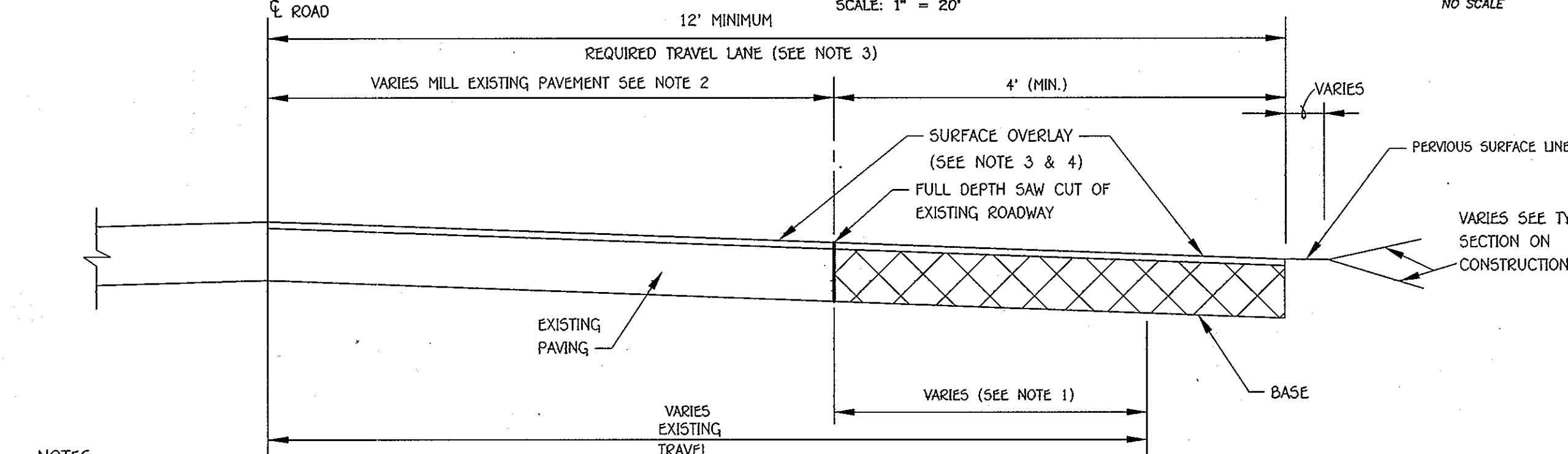
ACCESSIBLE SPACE LAYOUT
NO SCALE



TYPICAL ROOF LEADER CLEAN-OUT
NO SCALE



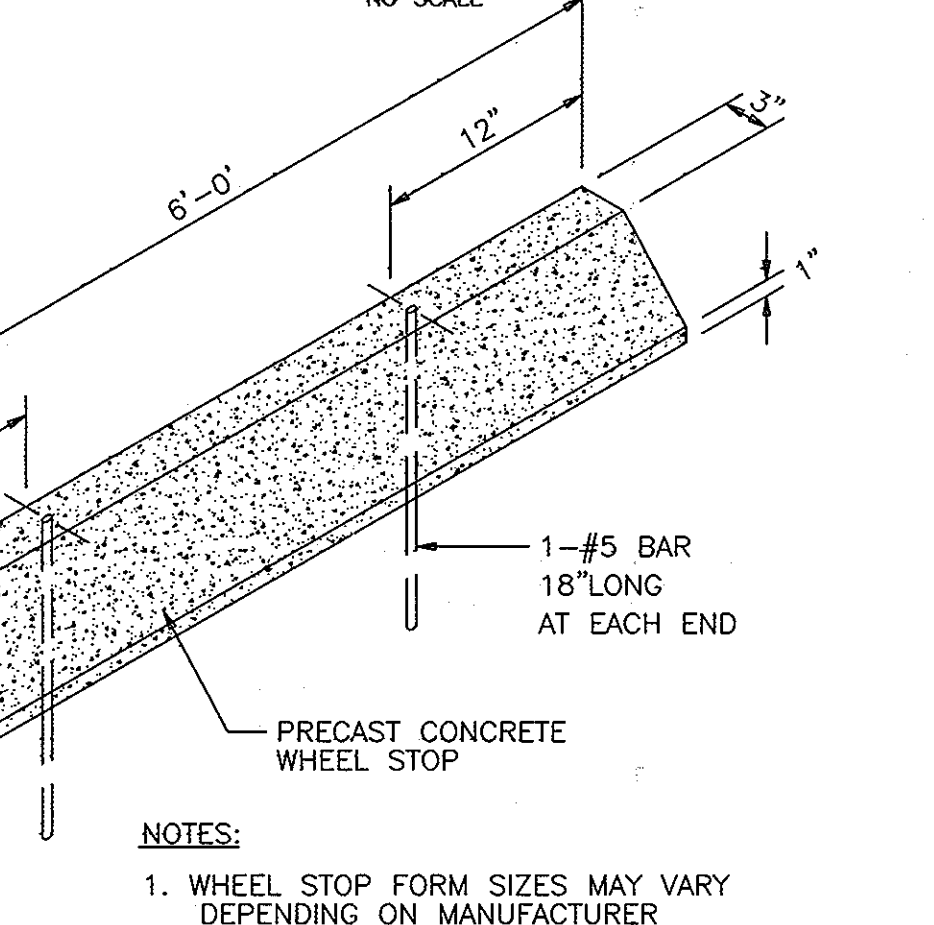
CONCRETE STEPS AND HANDRAIL DETAIL
NO SCALE



- NOTES:**
- WHEN EXISTING TRAVEL LANE IS LESS THAN THE REQUIRED 12" LANE CONTRACTOR SHALL REMOVE A MINIMUM OF 1" FULL DEPTH OF THE EXISTING ROADWAY.
 - IF CURB AND GUTTER IS INSTALLED, PROVIDE A MINIMUM OF 4" OF WIDENING FROM FACE OF GUTTER PAN.
 - THE EXISTING PAVEMENT TO BE RESURFACED SHALL BE MILLED AT DEPTH OF 2" (MINIMUM).
 - THE RESURFACING SHALL BE PLACED TO THE CENTERLINE OF THE ROADWAY.
 - RESURFACING COURSE TO BE EQUAL TO THE SURFACE COURSE OF THE TYPICAL PAVEMENT SECTION.

EXISTING ROADWAY WIDENING STRIP (R-1.08)
NO SCALE

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS "A" AND "C" AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)



WHEEL STOP DETAIL
NO SCALE

- GENERAL NOTES:**
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL 27-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE IMPROVEMENT PLAN.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/TOP OF SIGNS 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
 - CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-3655

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Orsino, Sr., P.E.
DATE: 10/16/12

Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

DATE	DESCRIPTION	REVISION BLOCK
09/21/12	REVISE HANDICAP RAMP DETAIL TO INDICATE THE SHA HANDICAP RAMP.	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
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OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
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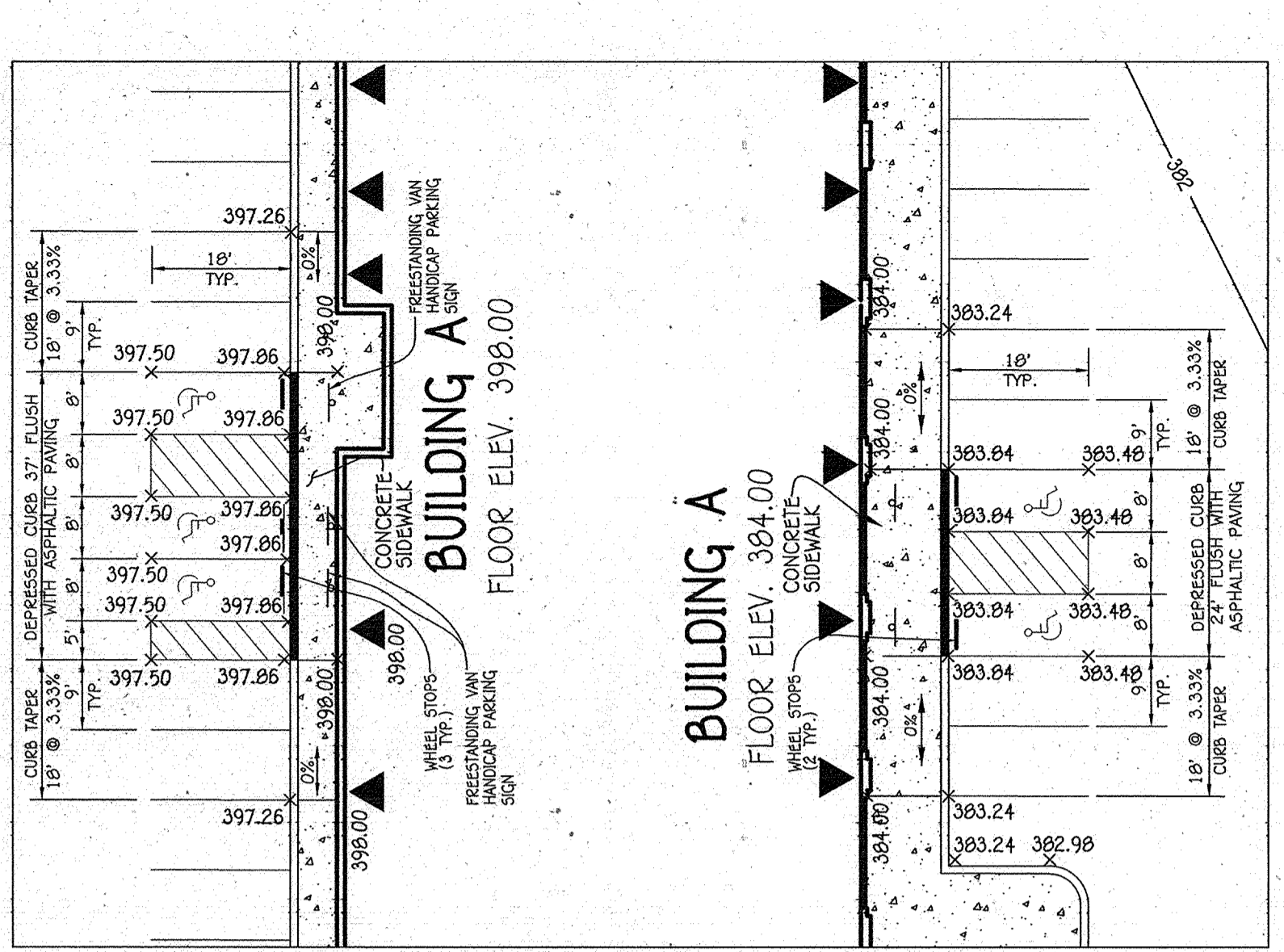
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

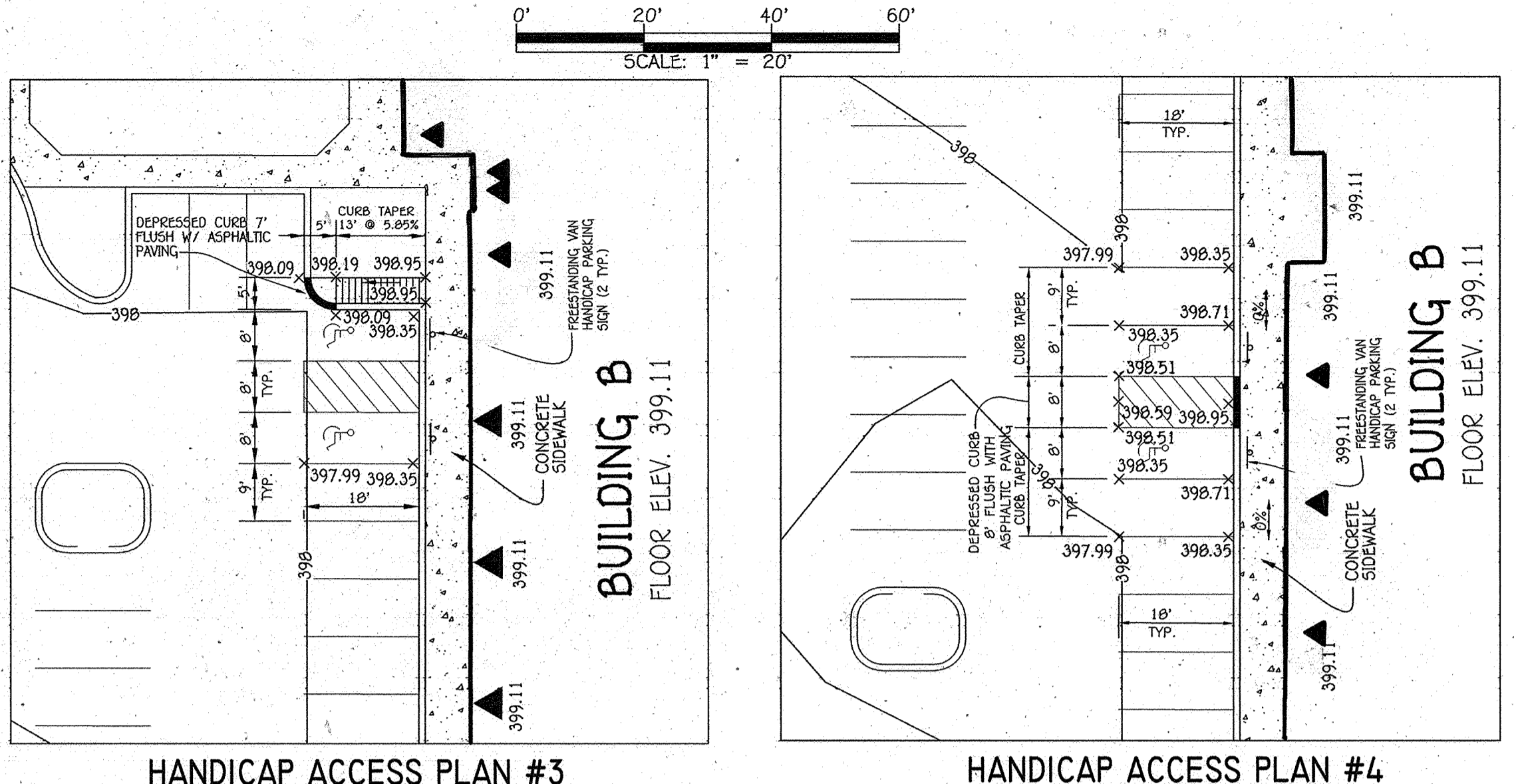
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN SITE DETAILS
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 6 OF 42 SDP-10-036

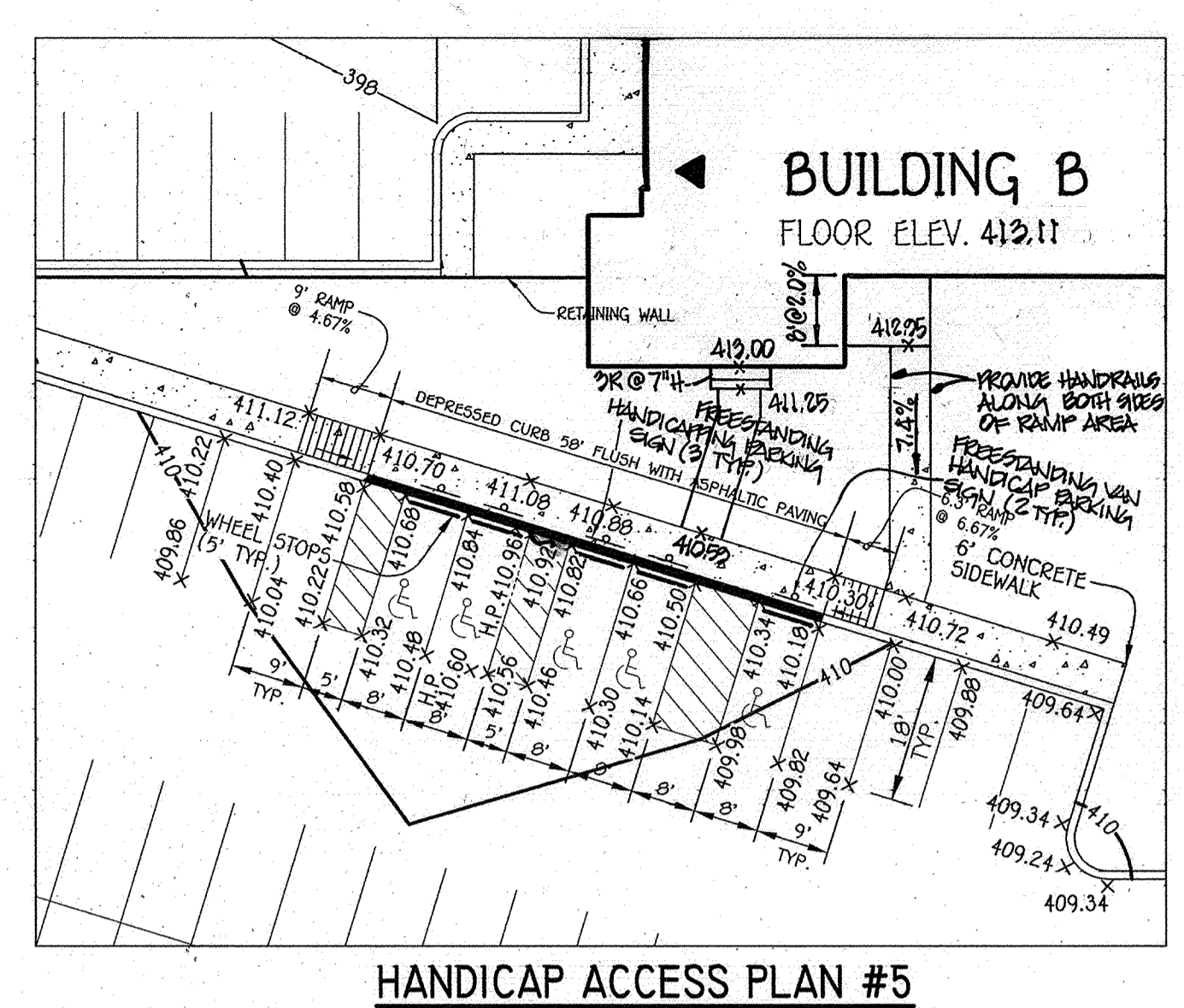


HANDICAP ACCESS PLAN #1 AND #2
SCALE: 1" = 20'

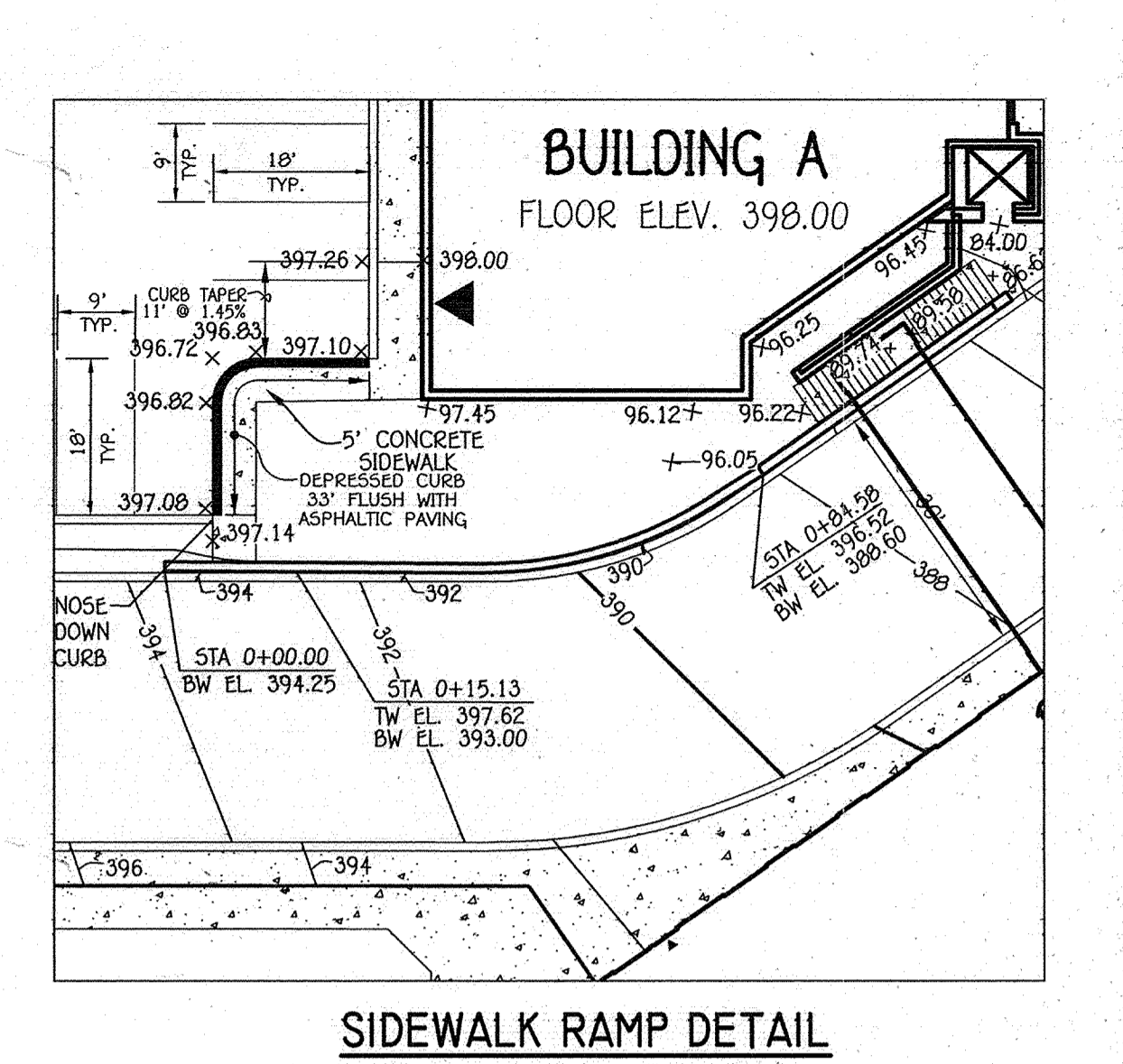


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SCALE: 1" = 20'

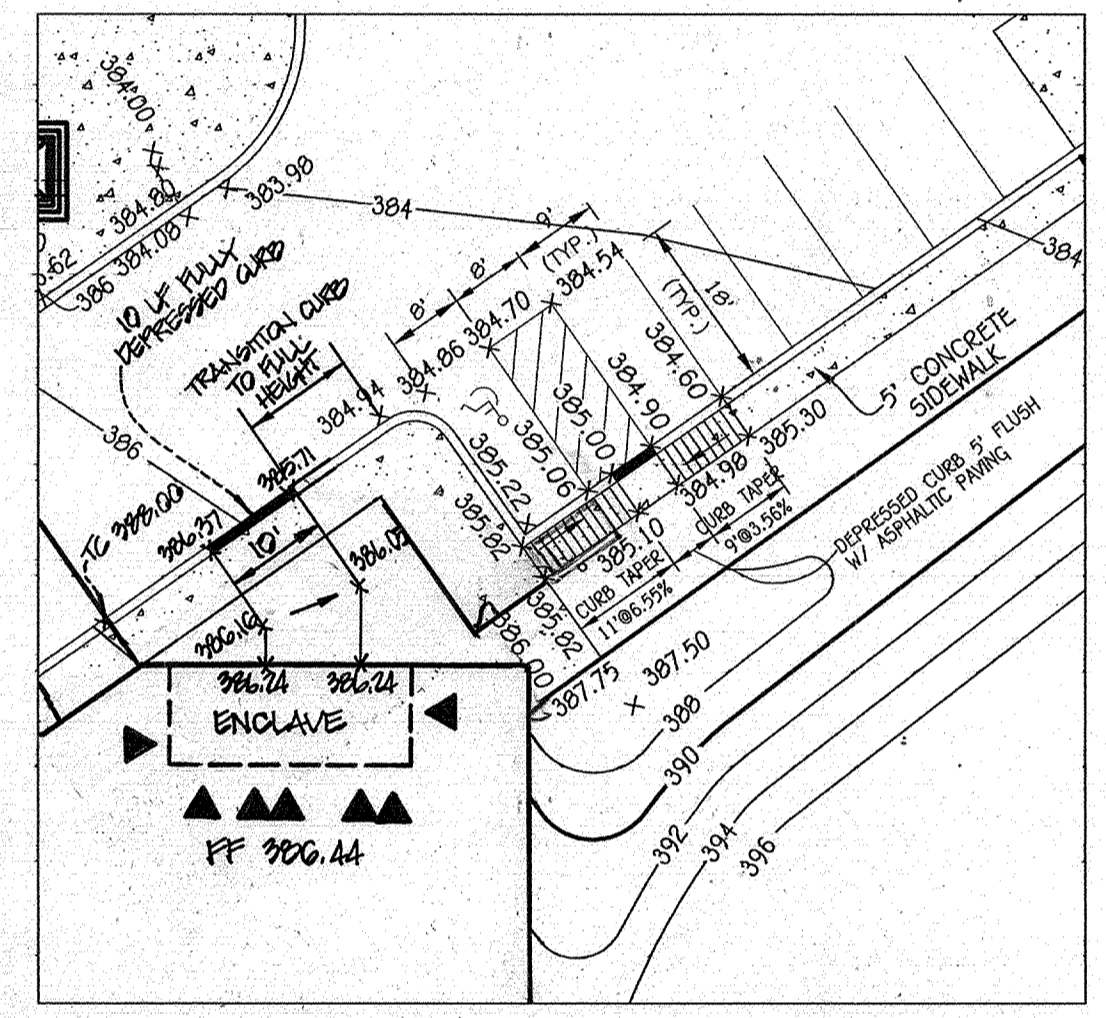
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SCALE: 1" = 20'



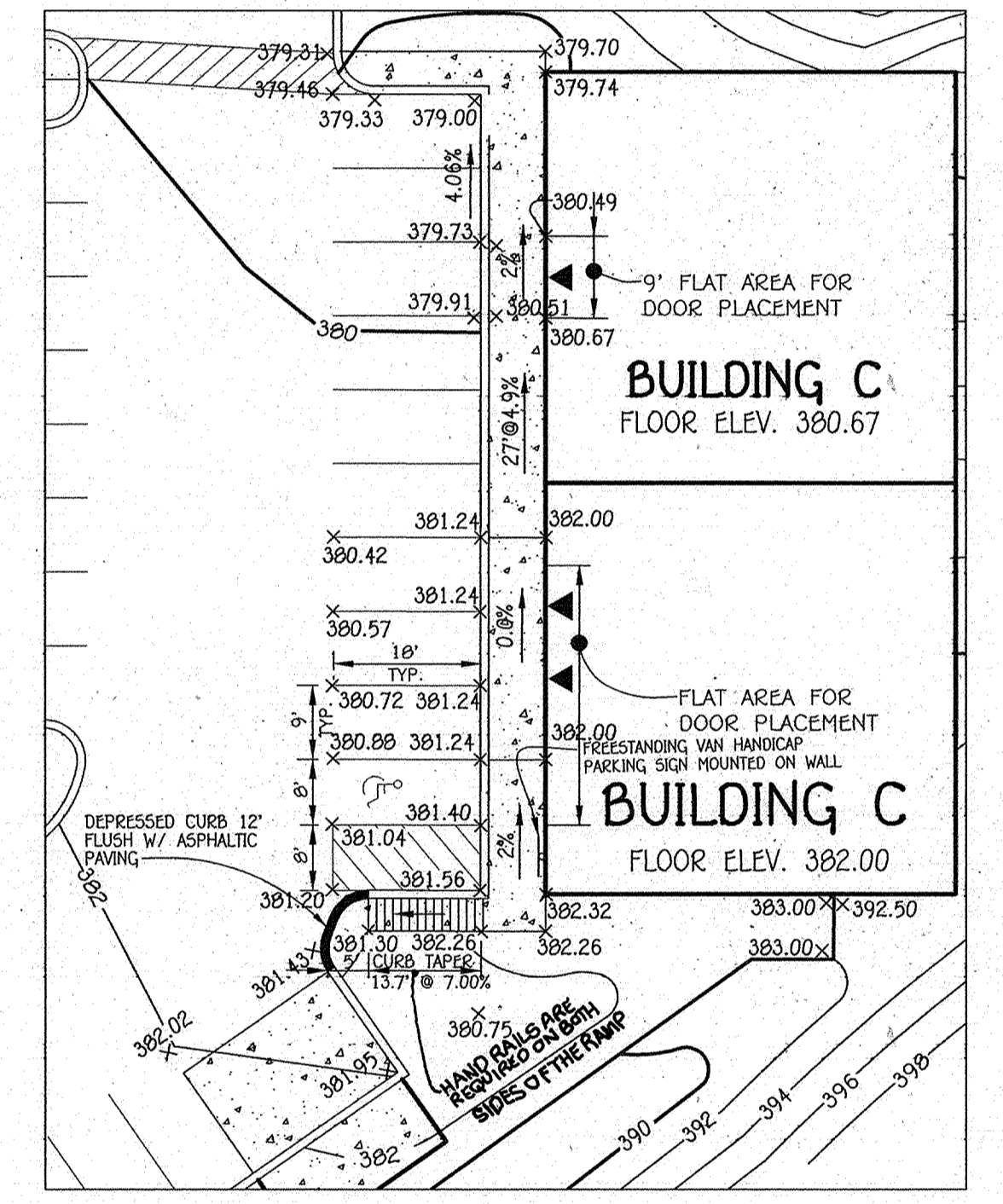
HANDICAP ACCESS PLAN #5
SCALE: 1" = 20'



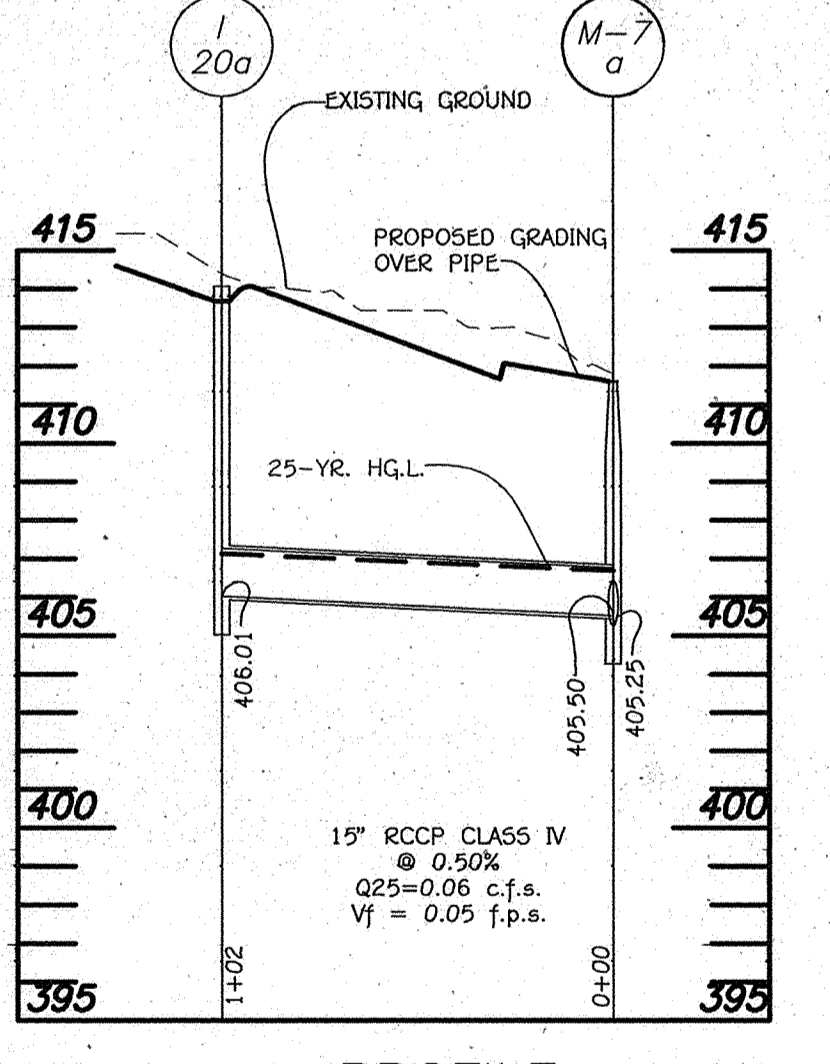
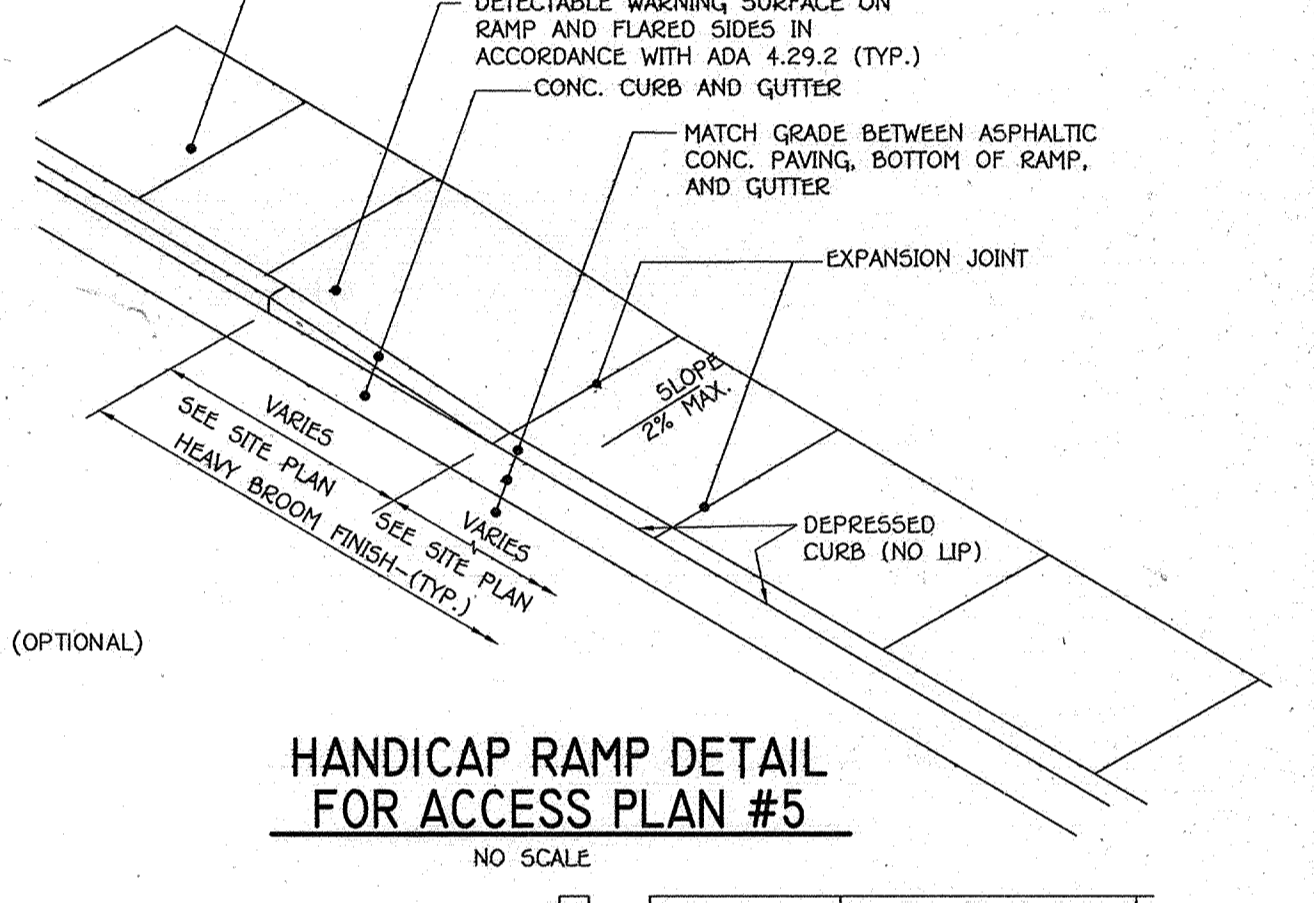
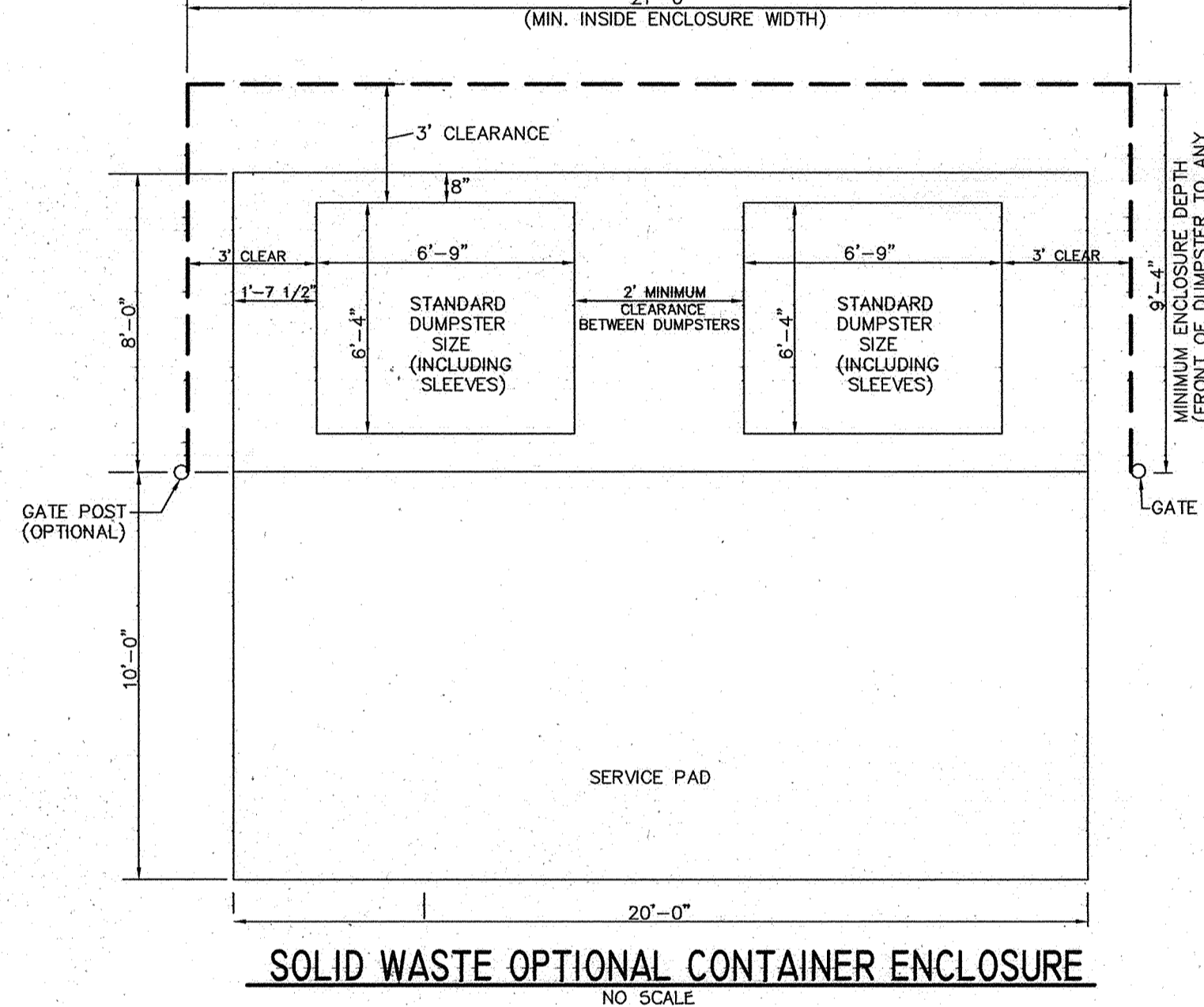
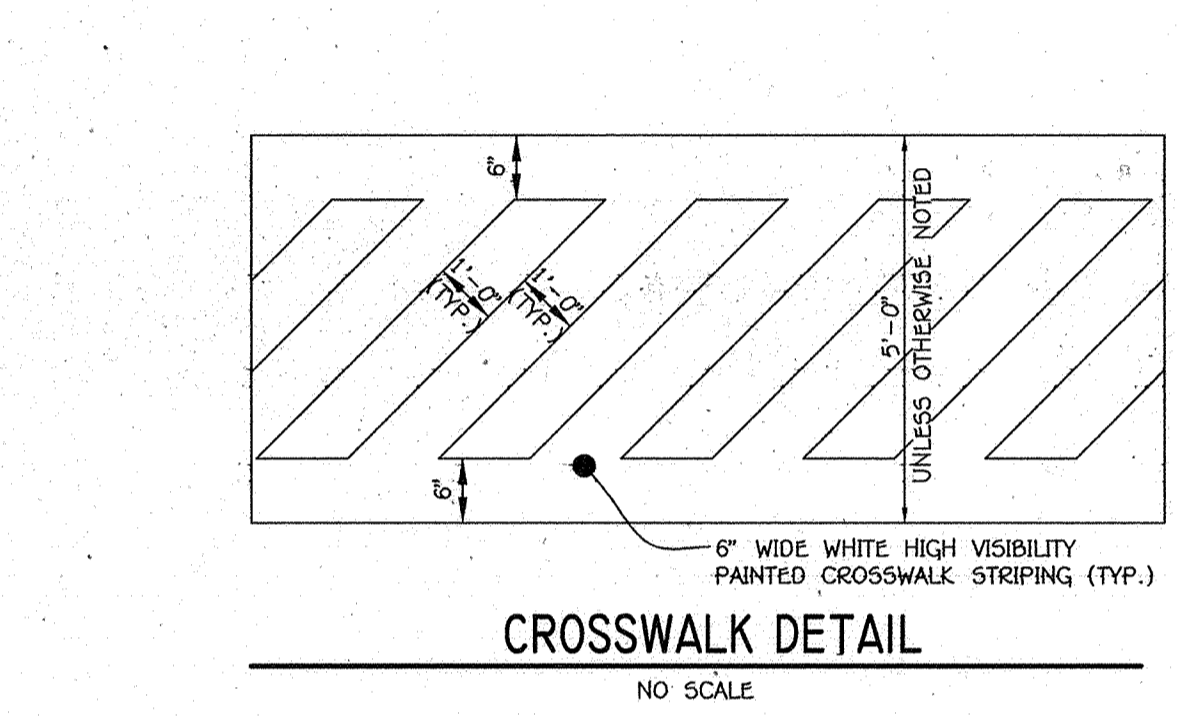
SIDEWALK RAMP DETAIL
SCALE: 1" = 20'



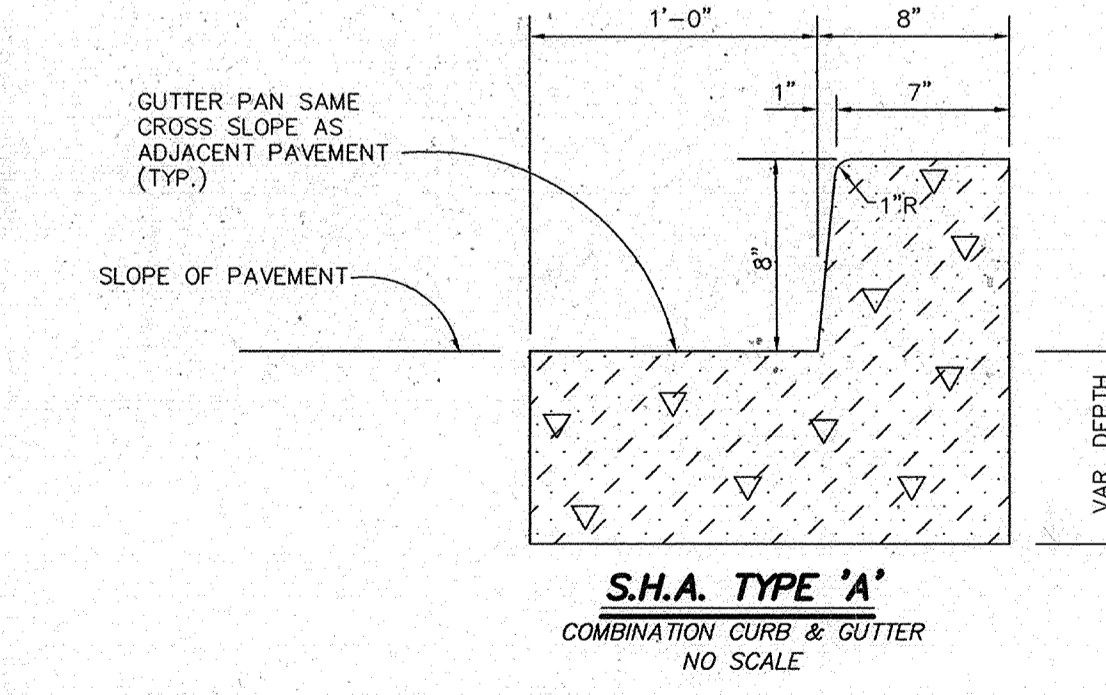
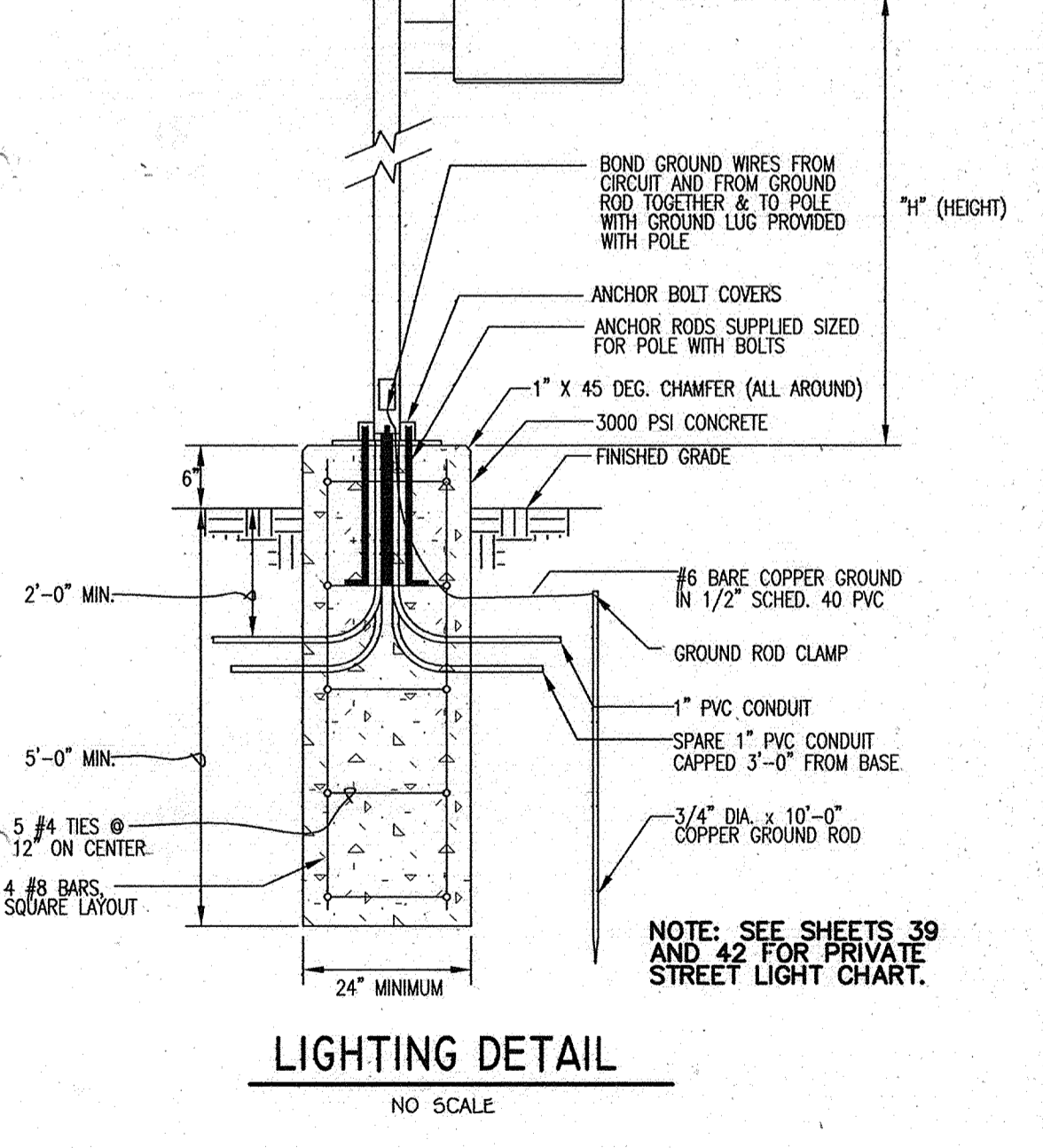
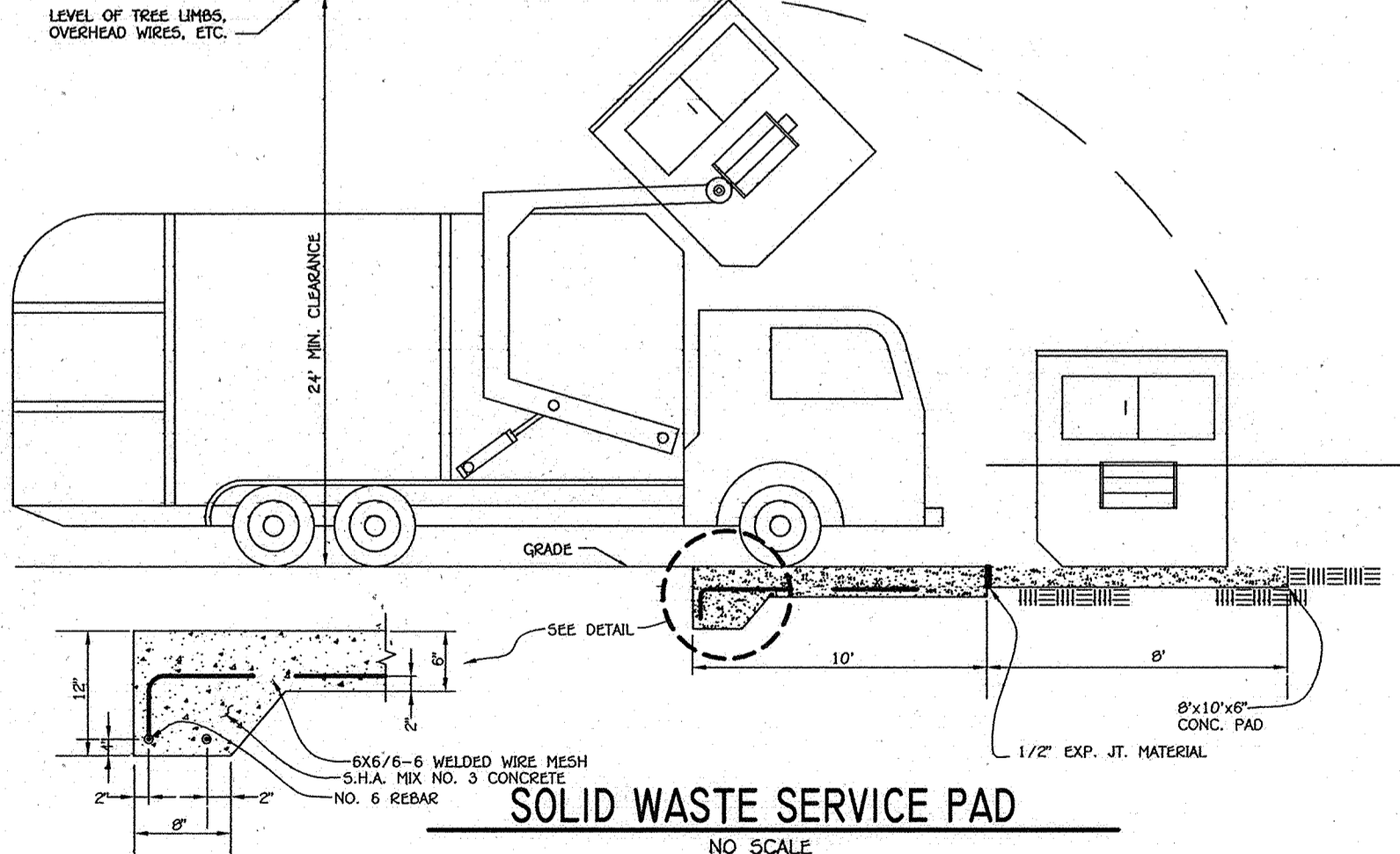
HANDICAP ACCESS PLAN #6
SCALE: 1" = 20'



HANDICAP ACCESS PLAN #7
SCALE: 1" = 20'



NOTE: CONTRACTOR TO TEST PIT THE DEPTH OF THE EX. WATER MAIN AND ADJUST STORM DRAIN TO CLEAR THE WATER MAIN BY 12".



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

REVISED SITE DEVELOPMENT PLAN

HANDICAP ACCESS PLAN AND SITE DETAILS
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012
SHEET 7 OF 42 SDP-10-036

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
NATIONAL SQUARE OFFICE PARK - 10775 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2899



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.
Charles J. Cravo, Sr., P.E.
10/16/12 DATE

DATE	DESCRIPTION	DATE
07/15/10	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'	
09/21/12	Remove the office reference within the title block. Show storm drain profile for 1-20A to 1-20B. Revise the Handicap Plan to for building 'C' to show additional walk.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
David A. Lewis
Director - Department of Planning and Zoning
Vet Sheehan
Chief, Division of Land Development
Michael J. ...
Chief, Development Engineering Division

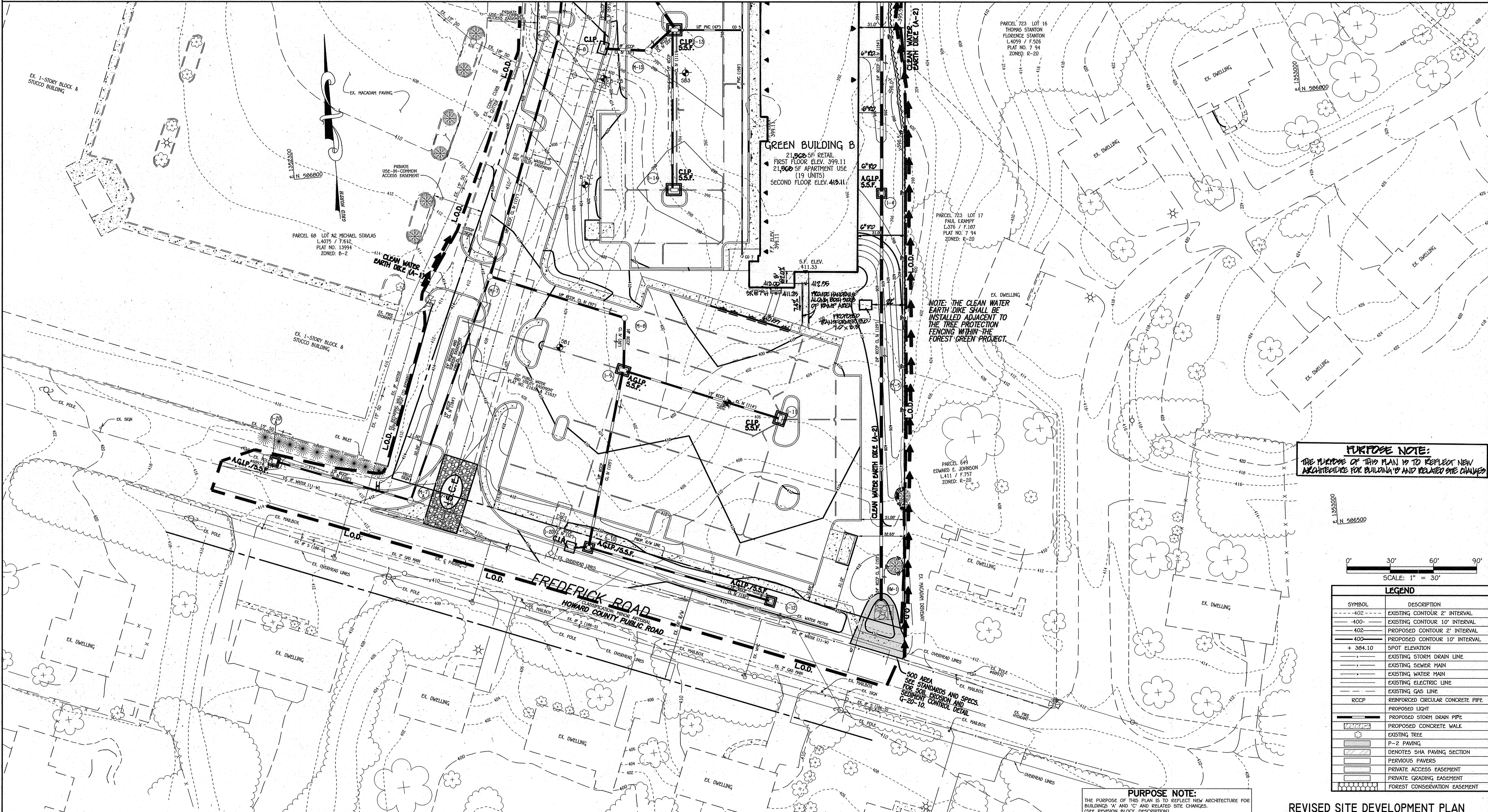
DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

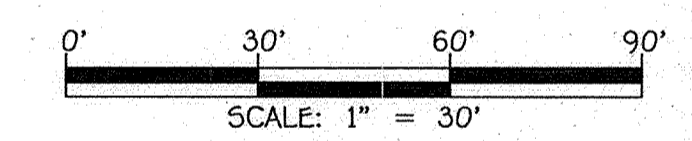
OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L. PIKE, ELLICOTT CITY, MD. 21042

MATCH LINE SEE SHEET 9



PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS A AND RELATED SITE CHANGES.



LEGEND	
SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
---400---	EXISTING CONTOUR 10' INTERVAL
---402---	PROPOSED CONTOUR 2' INTERVAL
---400---	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
ROCP	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE
---	P-2 PAVING
---	DENOTES SHA PAVING SECTION
---	PERVIOUS PAVERS
---	PRIVATE ACCESS EASEMENT
---	PRIVATE GRADING EASEMENT
---	FOREST CONSERVATION EASEMENT

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS A AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

REVISED SITE DEVELOPMENT PLAN

SEDIMENT AND EROSION CONTROL PLAN

FOREST GREEN

PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST HOTEL, INC.
SUITE 102
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

DATE	DESCRIPTION	REVISION BLOCK
09/21/12	ADD ADDITIONAL STORM DRAIN TO ADD	
09/15/12	PRIVATE REARER BUILDING ARCHITECTURE FOR BUILDING 'B'	

DATE	DATE
11/2/12	10/18/12
4/10/12	10/18/12
11/1/12	10/18/12

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Signature: *Charles J. Cronk, Sr., P.E.* DATE: 10/18/12

Signature: *John R. Robertson* DATE: 10/18/12

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature: *Cheryl A. ...* DATE: 10/18/12

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

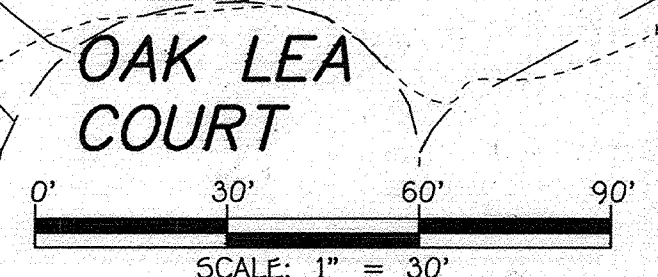
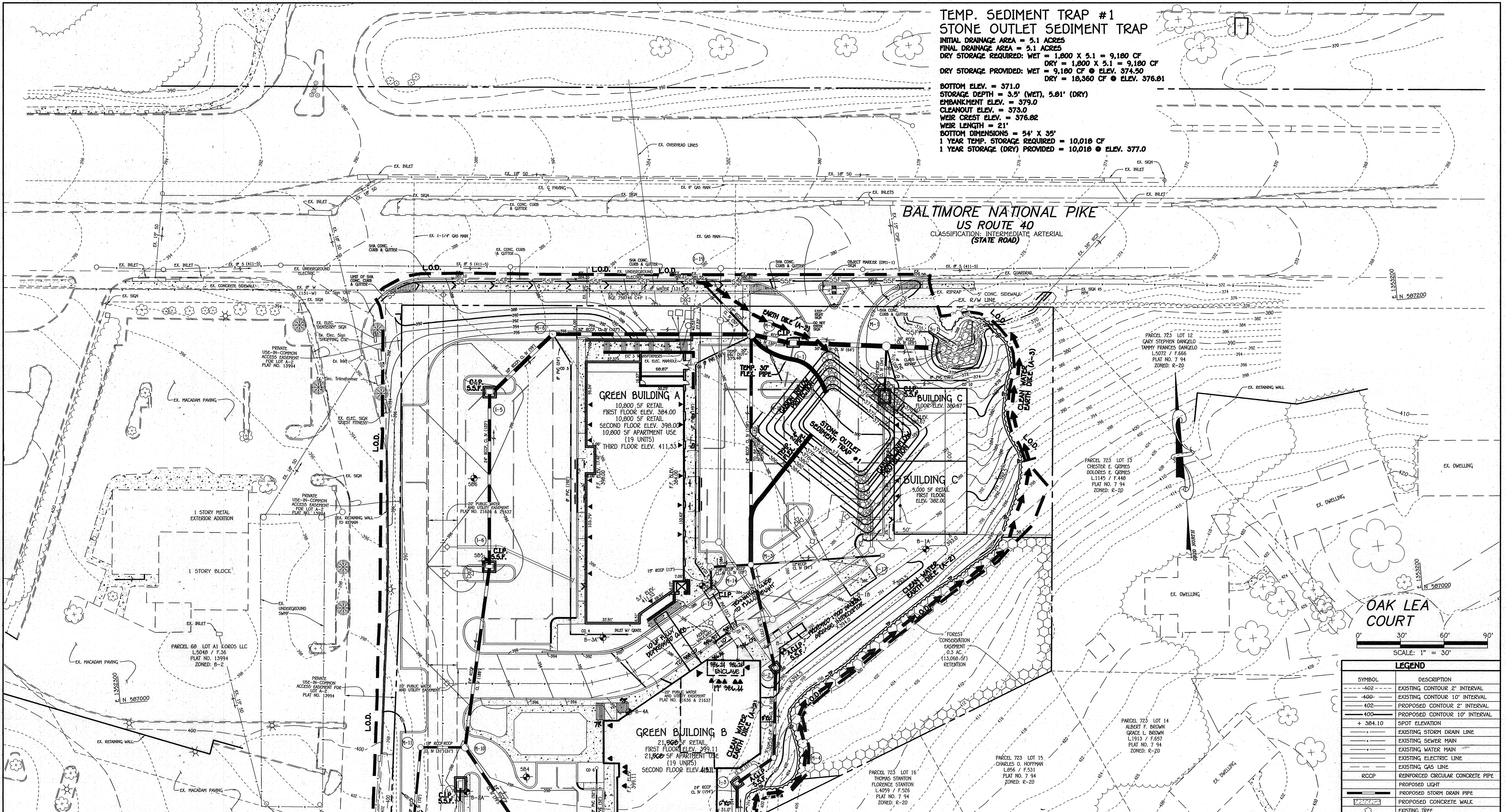
Signature: *Charles J. Cronk, Sr., P.E.* DATE: 10/18/12

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORATE OFFICE: 10725 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2999

1:000000007/000000007-0001 (SHEET 8) SEDIMENT PLAN/SDP SHEET 8 (INT'L) 10/10/2012 10:27:16 AM, L1

TEMP. SEDIMENT TRAP #1
STONE OUTLET SEDIMENT TRAP
 INITIAL DRAINAGE AREA = 5.1 ACRES
 FINAL DRAINAGE AREA = 5.1 ACRES
 DRY STORAGE REQUIRED: WET = 1,800 X 5.1 = 9,180 CF
 DRY = 1,800 X 5.1 = 9,180 CF
 DRY STORAGE PROVIDED: WET = 9,180 CF @ ELEV. 374.50
 DRY = 18,360 CF @ ELEV. 376.81
 BOTTOM ELEV. = 371.0
 STORAGE DEPTH = 3.5' (WET), 5.81' (DRY)
 EMBANKMENT ELEV. = 379.0
 CLEANOUT ELEV. = 373.0
 WEIR CREST ELEV. = 376.82
 WEIR LENGTH = 21'
 BOTTOM DIMENSIONS = 54' X 35'
 1 YEAR TEMP. STORAGE REQUIRED = 10,018 CF
 1 YEAR STORAGE (DRY) PROVIDED = 10,018 @ ELEV. 377.0

BALTIMORE NATIONAL PIKE
US ROUTE 40
 CLASSIFICATION: INTERMEDIATE ARTERIAL
 (STATE ROAD)



LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
---	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
---	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE

MATCH LINE SEE SHEET 8

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING B AND RELATED SITE CHANGES

PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS A AND C AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

REVISED SITE DEVELOPMENT PLAN

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10732 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2255

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: *Charles J. Cravo*
 Date: 10/18/12

DEVELOPER'S CERTIFICATE
 "I/We certify that all development and construction will be done according to this plan for sediment and erosion control; and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: *John R. Roberson*
 Date: 10-15-12

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13264, Expiration Date: November 3, 2012."
 Signature: *Charles J. Cravo, Sr., P.E.*
 Date: 10/18/12

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John R. Roberson*
 Date: 10/18/12

DATE	DESCRIPTION	DATE
9/19/12	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING B	11/19/12
09/21/12	Revise buildings A and C to show new architecture. Show additional wall for building A. Add sidewalk ramps to plans and revise roof leader on bldg. C.	11/02/12
	REVISION BLOCK	11/1/12

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: *Mark J. Layton*
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST HOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE-BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A
PLAT	BLOCK NO.	TAX MAP	ELEC. DIST. CENSUS TR.
21636 & 21637	2	B-1 B-2	24 SECOND 6023.01

SEDIMENT AND EROSION CONTROL PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT Nos. 21636 & 21637
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 9 OF 42 SDP-10-036

20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

DEFINITION
Using vegetation as cover for barren soil to protect it from forces that cause erosion.

PURPOSE
Vegetative stabilization specifications are used to promote the establishment of vegetation on exposed soil. When soil is stabilized with vegetation, the soil is less likely to lose topsoil or nutrients, thereby reducing sediment loads and runoff to downstream areas, and improving wildlife habitat and visual resources.

CONDITIONS WHERE PRACTICE APPLIES

This practice shall be used on denuded areas as specified on the plans and may be used on highly erodible or critically eroding areas. This specification is divided into Temporary and Permanent Seeding. Temporary Seeding is for short duration (0 to 1 year), and Permanent Seeding for long term vegetative cover. Examples of applicable areas for Temporary Seeding are temporary soil stabilization, erosion control, and areas with high erosion potential. Permanent Seeding shall be used on areas that are to be permanently stabilized, such as riparian areas, stream banks, and other areas of long-term erosion control.

EFFECTS ON WATER QUALITY AND QUANTITY
Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff, infiltration, transpiration, percolation, and evaporation. Vegetation, over time, will increase organic matter content and improve the water holding capacity of the soil and subsequent plant growth. Vegetation will reduce the movement of sediment, nutrients, and other chemicals retained by runoff to receiving waters. Plants will also help protect groundwater supplies by desaturating those substances present within the root zone.

Sediment control devices must remain in place during seeding, seedbed preparation, seeding, mulching and vegetative establishment to prevent large quantities of sediment and associated chemicals and nutrients from washing into surface waters.

SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

A. Site Preparation
1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, windbreaks, or sediment traps. Final grading and shaping, if not usually necessary for temporary seeding.

2. Schedule required soil tests to determine soil amendment composition and application rates for sites having disturbed areas over 5 acres.

B. Soil Amendments (Fertilizer and Lime Specifications)
1. Soil tests must be performed to determine the exact ratios and application rates for both lime and fertilizer on sites having disturbed areas over 5 acres. Soil analysis may be performed by the University of Maryland or a recognized commercial laboratory. Samples taken for engineering purposes may also be used for chemical analysis.

2. Fertilizers shall be uniform in composition, free flowing and suitable for accurate application by approved equipment. Fertilizer shall be substituted for fertilizer with prior approval from the appropriate approval authority. Fertilizers shall be all delivered to the site fully bagged according to the applicable state fertilizer laws and shall bear the name, trade name or trademark and warranty of the producer.

3. Lime materials shall be ground limestone (hydrated or burnt lime may be substituted) which contains at least 90% total calcium oxide. Limestone shall be applied to each inch of soil at a rate of 100 lbs/1000 sq ft. Limestone shall be applied to each inch of soil at a rate of 100 lbs/1000 sq ft. Limestone shall be applied to each inch of soil at a rate of 100 lbs/1000 sq ft.

C. Seeded Preparation
1. Seeded preparation shall consist of loosening soil to a depth of 3" to 5" by means of suitable equipment at construction site. Seeding shall be done by hand or by ripper mounted on construction equipment. After the soil is loosened it should not be rolled or dragged smooth, but left in the roughened condition. Seeded areas greater than 2 1/2 acres shall be prepared by the use of a ripper or similar equipment with ridges running parallel to the contour of the slope.

2. Apply fertilizer and lime as prescribed on the plans.
3. In erodible areas, fertilizer and lime shall be applied to the top 3" to 5" of soil by disk or other suitable means.

D. Permanent Seeding
1. Minimum soil conditions required for permanent vegetative establishment:
a. Soil pH shall be between 6.0 and 7.0.
b. Soil shall contain less than 500 parts per million (ppm) lead.
c. Soil shall contain less than 40% clay, and (ppm) fine grained material (<200 mesh plus clay) to provide the capability to hold water and nutrients. An exception is if vegetative or serotinous species are to be planted, then a sandy soil (<200 mesh plus clay) would be acceptable.

2. Soil shall contain 1.5% minimum organic matter by weight.
3. Soil must contain sufficient pore space to permit seedbed root penetration.
4. If these conditions cannot be met by soils on site, topsoil to be replaced in accordance with Section 21 Standard and Specification for Topsoil.

E. Areas prepared and seeded in accordance with the above specifications shall be maintained in a true and even grade, then scarified or otherwise loosened to a depth of 3" to 5" to permit bonding of the topsoil to the surface area and to create horizontal erosion check slots to prevent topsoil from sliding down a slope.

F. Soil Amendments as per soil test or as included on the plans.
1. Apply soil amendments into the top 3" to 5" of topsoil by disk or other suitable means. Lawn areas should be raked to smooth the surface, remove large objects like stones and branches, and reseed the area for seed application, where site conditions will permit normal seed preparation, loosen surface soil by dragging with a heavy chain or other equipment to roughen the surface. Seed slopes (steeper than 2:1) should be raked by a dozer leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1" to 3" of soil should be loose and friable. Seeded loosening may not be necessary on newly disturbed areas.

G. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

H. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

3. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

I. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

J. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

K. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
2. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
3. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
4. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
7. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

L. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
1. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
2. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
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5. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

M. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods (tested by applicant), depending upon size of area and erosion hazard.
1. A mulch anchoring tool is a tractor draw implement designed to punch and anchor mulch into the soil surface. The tool shall be used on slopes steeper than 2:1. If used on sloping areas, but is limited to flatter slopes where equipment can operate safely.
2. This practice should be used on the contour. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre.

N. Application of liquid binders should be heavier at the edges where wind catches much, such as in valleys and crests of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acryl (US Acryl-TAC), TAC-70 Polymer, Terk (Terk Tack AC or other approved equal may be used at rates recommended by the manufacturer to assist mulch adhesion.
1. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

O. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

P. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

3. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

Q. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

R. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

S. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
2. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
3. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
4. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
7. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

T. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods (tested by applicant), depending upon size of area and erosion hazard.
1. A mulch anchoring tool is a tractor draw implement designed to punch and anchor mulch into the soil surface. The tool shall be used on slopes steeper than 2:1. If used on sloping areas, but is limited to flatter slopes where equipment can operate safely.
2. This practice should be used on the contour. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre.

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1. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

V. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

W. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

X. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

Y. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

Z. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

AA. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
2. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
3. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
4. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
7. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

AB. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods (tested by applicant), depending upon size of area and erosion hazard.
1. A mulch anchoring tool is a tractor draw implement designed to punch and anchor mulch into the soil surface. The tool shall be used on slopes steeper than 2:1. If used on sloping areas, but is limited to flatter slopes where equipment can operate safely.
2. This practice should be used on the contour. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre.

AC. Application of liquid binders should be heavier at the edges where wind catches much, such as in valleys and crests of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acryl (US Acryl-TAC), TAC-70 Polymer, Terk (Terk Tack AC or other approved equal may be used at rates recommended by the manufacturer to assist mulch adhesion.
1. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

AD. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

AE. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

AF. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

AG. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

AH. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

AI. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
2. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
3. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
4. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
7. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

AJ. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods (tested by applicant), depending upon size of area and erosion hazard.
1. A mulch anchoring tool is a tractor draw implement designed to punch and anchor mulch into the soil surface. The tool shall be used on slopes steeper than 2:1. If used on sloping areas, but is limited to flatter slopes where equipment can operate safely.
2. This practice should be used on the contour. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre.

AK. Application of liquid binders should be heavier at the edges where wind catches much, such as in valleys and crests of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acryl (US Acryl-TAC), TAC-70 Polymer, Terk (Terk Tack AC or other approved equal may be used at rates recommended by the manufacturer to assist mulch adhesion.
1. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

AL. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

AM. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

AN. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

AO. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

AP. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

AQ. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
2. Wood Cellulose Fiber Mulch (WCFM): WCFM shall consist of specially prepared wood cellulose processed into a uniform fibrous physical structure.
3. WCFM shall be dry, green or contain a green dye that will provide an appropriate color to facilitate visual inspection of the uniform spread during application. WCFM shall contain no germination growth inhibiting factors.
4. WCFM materials shall be manufactured and processed in such a manner that the wood cellulose fiber mulch will remain in uniform suspension in water under agitation and will blend with seed, fertilizer and other additives to form a homogeneous slurry. The mulch material shall form a butter-like ground cover, on application, having moisture absorption and retention properties and ability to form a homogeneous seed in contact with the soil without inhibiting the growth of the grass seedlings.
5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
7. Only straw mulch should be used on slopes steeper than 2:1. A mulch anchoring tool is to be used, the rate should be increased to 2.5 tons/acre.

AR. Securing Straw Mulch (Mulch Anchoring): Mulch anchoring shall be performed immediately following application to minimize loss by wind or water. This may be done by one of the following methods (tested by applicant), depending upon size of area and erosion hazard.
1. A mulch anchoring tool is a tractor draw implement designed to punch and anchor mulch into the soil surface. The tool shall be used on slopes steeper than 2:1. If used on sloping areas, but is limited to flatter slopes where equipment can operate safely.
2. This practice should be used on the contour. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre. The fiber anchor shall be applied at a rate of 100 lbs/acre.

AS. Application of liquid binders should be heavier at the edges where wind catches much, such as in valleys and crests of banks. The remainder of area should be applied uniform after binder application. Synthetic binders - such as Acryl (US Acryl-TAC), TAC-70 Polymer, Terk (Terk Tack AC or other approved equal may be used at rates recommended by the manufacturer to assist mulch adhesion.
1. Lightweight plastic netting may be stapled over the mulch according to manufacturer's recommendations. Netting is usually available in rolls 4' to 15' feet wide and 300 to 3,000 feet long.

AT. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
2. Note: Seed lots shall be made available to the inspector to verify type and rate of seed used.

AU. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

AV. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
4. Seed and fertilizer shall be mixed on site and seeding shall be done immediately and without interruption.

AW. Dry Seeding: This includes use of conventional drop or broadcast spreaders.
1. Seed spread dry shall be incorporated into the soil at the rates prescribed on the Temporary or Permanent Seeding Summaries or Tables 25 or 26. The seeded area shall then be rolled with a weighted roller to provide good seed to soil contact.
2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

AX. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

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BB. Seed Specifications
1. All seed must meet the requirements of the Maryland State Seed Law. All seed shall be subject to re-testing at a minimum of 6 months after the date of sowing such material on the job.
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BC. Methods of Seeding
1. Broadcast Seeding: Apply seed uniformly with hydroseeder (slurry includes seed and fertilizer), broadcast or drop seeded, or a cultipacker seeder.
2. If fertilizer is being applied at the time of seeding, the application rates amounts will not exceed the following: Nitrogen: minimum of 100 lbs. per acre total of soluble nitrogen; P2O5 (phosphorus); 200 lbs/acre; K2O (potassium); 200 lbs/acre.

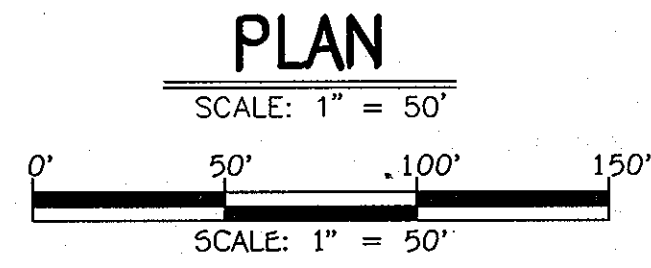
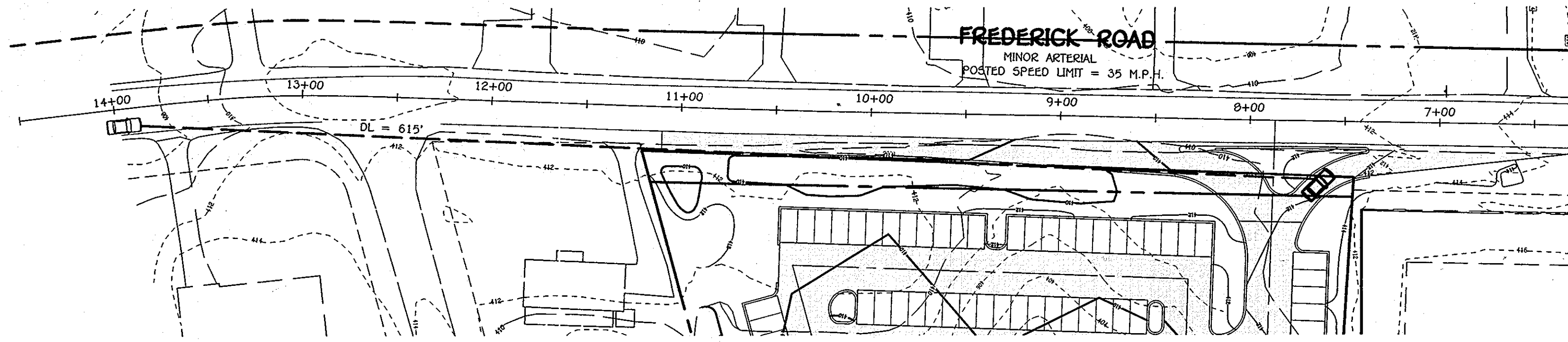
BD. Line Seeding: Use only ground spherical limestone (10 to 30 mesh) per acre may be applied by hydroseeder. Normal, not more than 2 tons are applied by hydroseeder at any one time.
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2. Where applicable, seed shall contain no germination growth inhibiting factors.
3. Apply half the seeding rate in each direction.

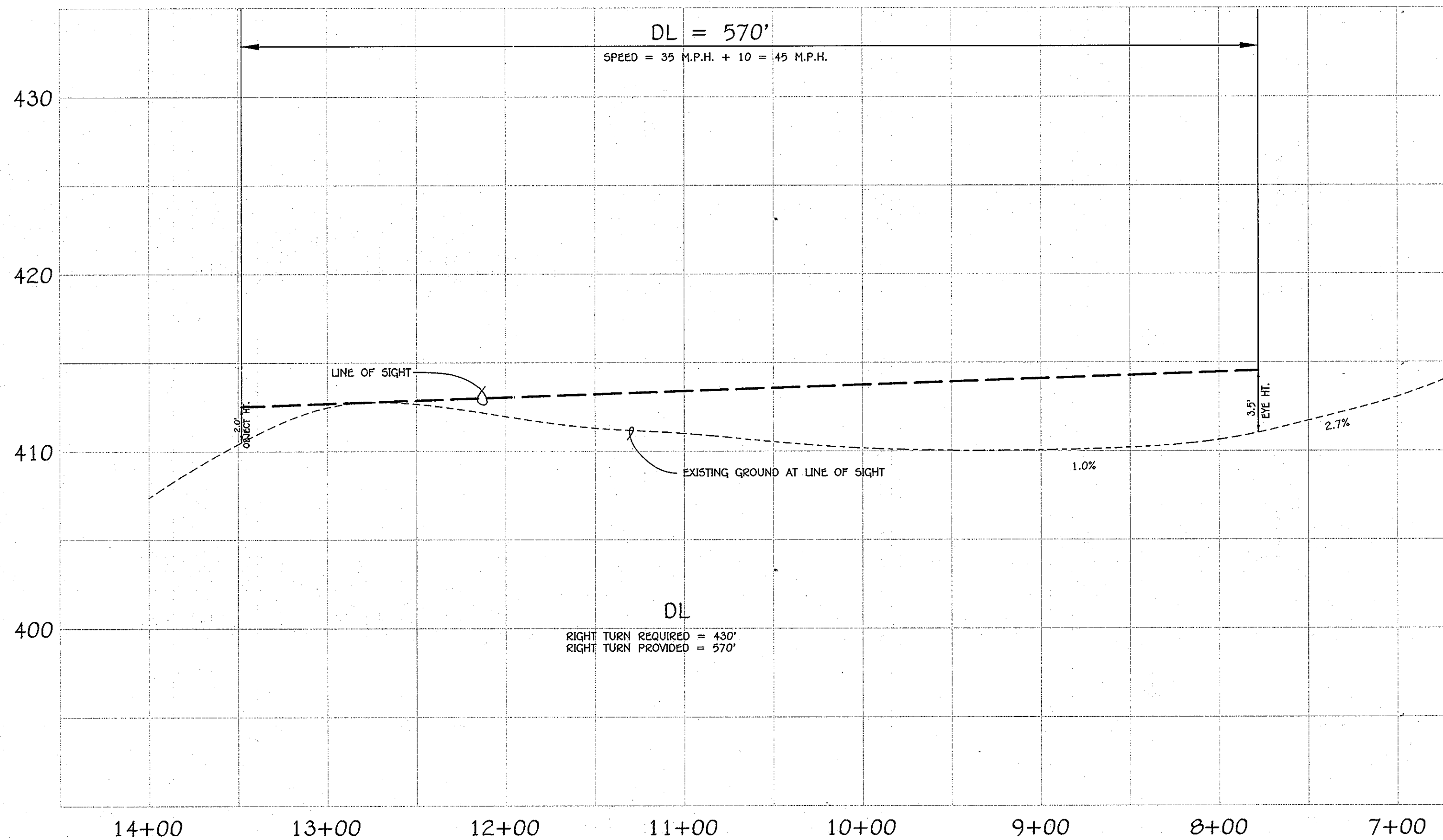
BF. Drill or Combination Seeding: Hydroseeder shall be used to apply seed and soil.
1. Cultipacker seeders are required to bury the seed in such a fashion as to provide at least 1/4" of soil covering. Seeded must be firm after planting.
2. Where practical, seed should be applied in two directions perpendicular to each other, applying half the seeding rate in each direction.

BG. Mulch Specifications
1. Straw shall consist of thoroughly threshed wheat, rye or oat straw, reasonable free in color, and shall not be treated with herbicides, pesticides, or excessively dried, and shall be free of noxious weed seeds as defined in the Maryland Seed Law.
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5. WCFM shall contain no elements or compounds of concentration levels that will be phytotoxic.
6. WCFM must conform to the following physical requirements: Fiber length to approximately 12 mm., diameter approximately 1.5 mm., pH 5.0 to 8.5, ash content of 1.0% maximum and water holding capacity of 90% minimum.
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2. This practice should be used on the contour. The fiber anchor shall be applied at a rate



FREDERICK ROAD
MINOR ARTERIAL
POSTED SPEED LIMIT = 35 M.P.H.

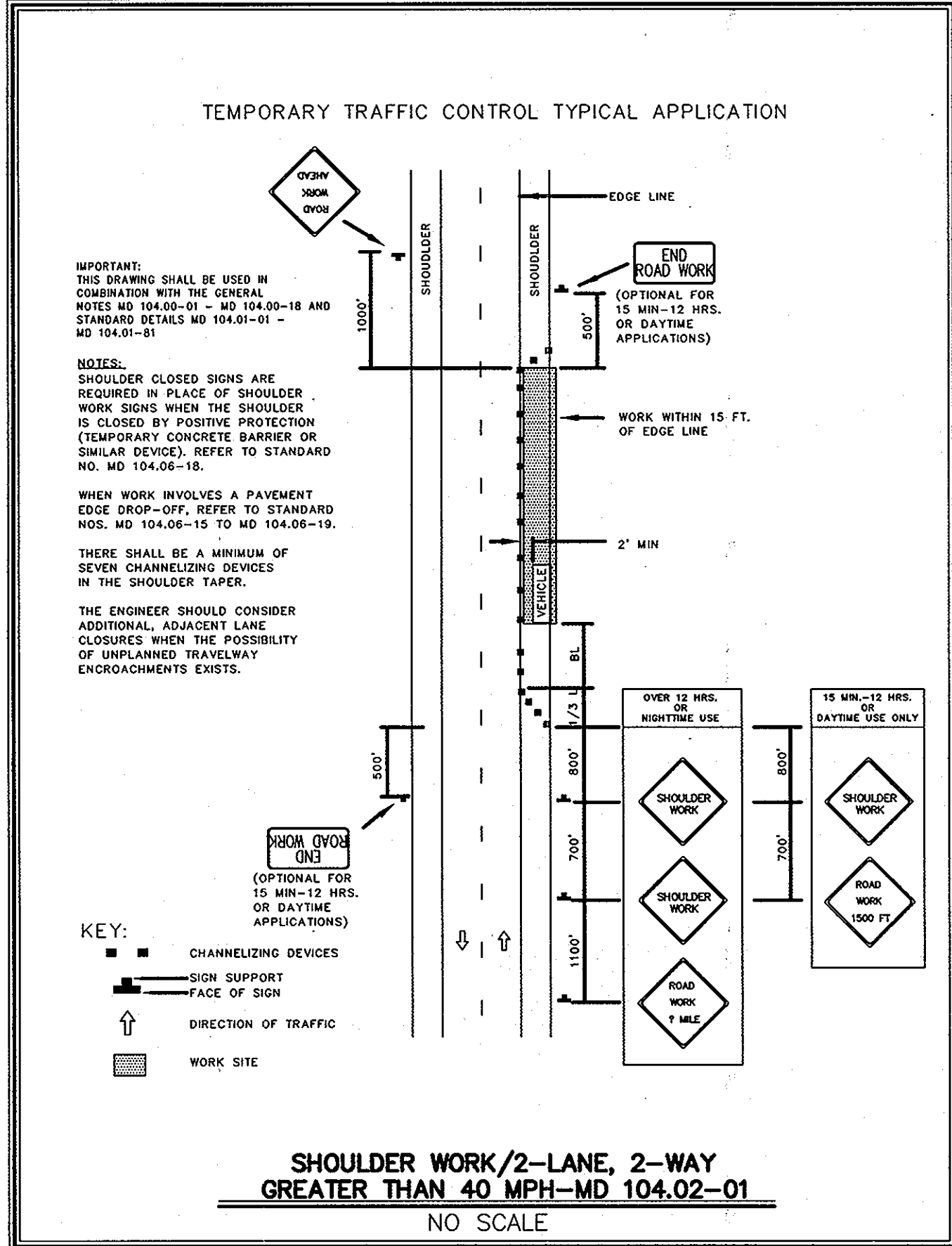
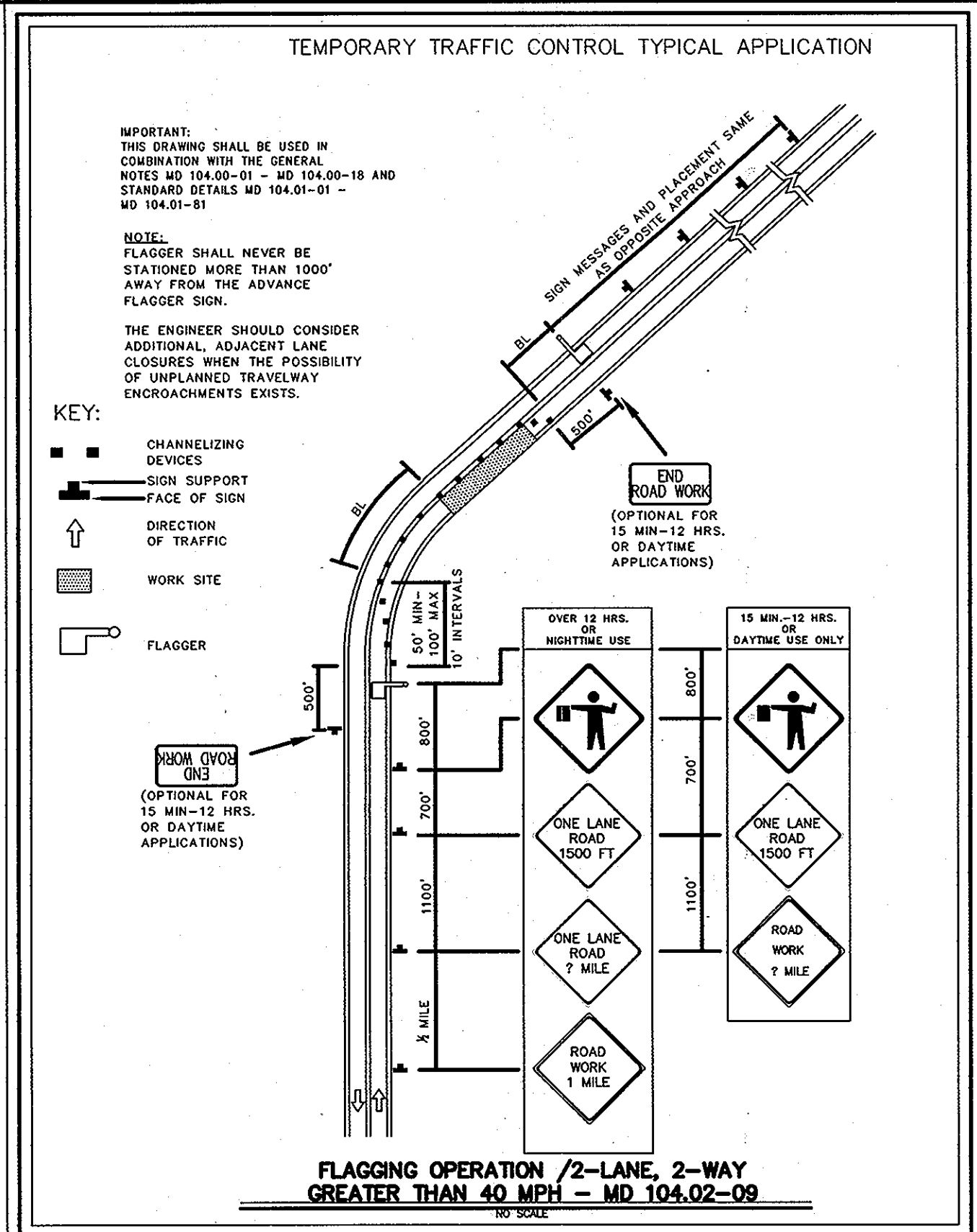


PROFILE
SCALE: HOR. : 1" = 50'
VER. : 1" = 5'

GENERAL MAINTENANCE OF TRAFFIC SPECIAL PROVISIONS

1. MAINTENANCE OF TRAFFIC SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS SET FORTH IN SECTION 104 OF THE SHA "STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS" (JULY 2008), THE "MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUMUCD - 2006 EDITION), AND THE SHA "BOOK OF STANDARD AND SPECIFICATIONS FOR HIGHWAYS AND INCIDENTAL STRUCTURES."
2. MAINTENANCE OF TRAFFIC ALONG MD. 99 SHALL CONFORM TO THE APPROPRIATE MSHA TEMPORARY TRAFFIC CONTROL, TYPICAL APPLICATIONS (TTCTA) REFER TO SHA STANDARDS MD 104.00-01 THROUGH MD 104.01-18 FOR MAINTENANCE OF TRAFFIC GENERAL NOTES.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE, SUITE 1000 - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2999



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Crova, Sr.
CHARLES J. CROVA, SR., P.E.

10/16/12
DATE

DATE	DESCRIPTION	REVISION BLOCK
9/21/12	Remove the office reference within the title block. Provide SHA traffic maintenance details.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Mark A. Leple 11/2/12
Director - Department of Planning and Zoning Date

Victoria Lewis 11/2/12
Chief, Division of Land Development Date

Charles J. Crova, Sr. 11/2/12
Chief, Development Engineering Division Date

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

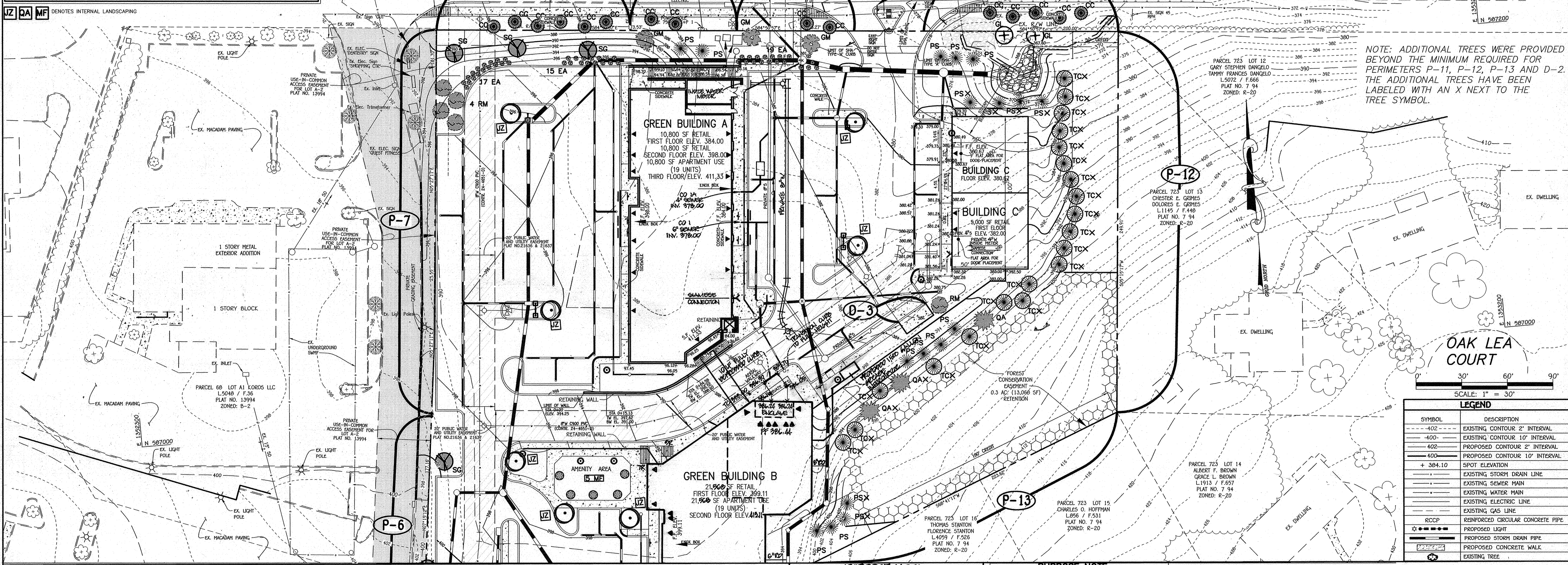
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

**REVISED SITE DEVELOPMENT PLAN
STOPPING SIGHT DISTANCE PLAN &
PROFILE & TRAFFIC CONTROL DETAILS**

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

LANDSCAPE LEGEND					
PARKING/PERIMETER	SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
PERIMETER	EA	110	ABELIA X GRANDIFLORA 'GLOSSY ABELIA'	30" - 36" HEIGHT	18" - 24" SPACING
PERIMETER	AZ	92	AZALEA 'GUMPO PINK' GUMPO PINK AZALEA	24" - 30" HEIGHT	18" - 24" SPACING
PERIMETER SHADE	QA	6	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2 - 3" CAL.	
PERIMETER SHADE	LP	4	PLATANUS OCCIDENTALIS 'BLOODGOOD' LONDON PLANETREE	2 1/2 - 3" CAL.	
PERIMETER SHADE	GM	7	ACER SACCHARUM 'GREEN MOUNTAIN' GREEN MOUNTAIN SUGAR MAPLE	2 1/2 - 3" CAL.	
PERIMETER SHADE	SG	12	LIIQUIDAMBAR STRYACIFLUA SWEET GUM	2 1/2 - 3" CAL.	
PERIMETER SHADE	GL	8	CARPINUS CAROLINIANA 'AMERICAN HORNBEAM'	2 1/2 - 3" CAL.	
PERIMETER SHADE	RM	7	TILIA CORDATA 'GREENSPIRE' 'LITTLELEAF LINDEN'	2 1/2 - 3" CAL.	
PERIMETER ORNAMENTAL	MF	5	MALUS FLORIBUNDA 'HARVEST GOLD' FLOWERING CRABAPPLE	1 1/2 - 2" CAL.	
PARKING	QA	7	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2 - 3" CAL.	
PARKING	JZ	8	ZELKOVA SERRATA 'VILLAGE GREEN' VILLAGE GREEN JAPANAZE ZELKOVA	2 1/2 - 3" CAL.	
PERIMETER	PS	46	PINUS STROBUS EASTERN WHITE PINE	6" - 8" HEIGHT	
PERIMETER	TC	20	CEDRUS DEODARA 'DEODAR CEDAR'	6" - 8" HEIGHT	

SCHEDULE A PERIMETER LANDSCAPE EDGE											
PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	SHADE TREES	EVERGREEN TREES	SHRUBS	SHADE TREES	NUMBER OF PLANTS PROVIDED	
P-1	ADJACENT TO PERIMETER	C	434'	YES, 1 SHADE TREE	NO	11	22	-	10	22	
P-2	PARKING TO ROADWAY	E	300'	NO	NO	8	-	75	5	**105	
P-3	PARKING TO ROADWAY	E	16'	NO	NO	1	-	4	1	5	
P-4	NON RES TO PERIMETER	A	137'	NO	NO	3	-	-	3	-	
P-5	NON RES TO PERIMETER	A	150'	NO	NO	3	-	-	3	-	
P-6	NON RES TO PERIMETER	A	132'	NO	NO	2	-	-	2	-	
P-7	NON RES TO PERIMETER	A	252'	NO	NO	4	-	-	4	-	
P-8	PARKING TO ROADWAY	E	128'	NO	NO	3	-	-	3	32	
P-9	PARKING TO ROADWAY	B	70'	NO	NO	1	2	-	1	2	
P-10	PARKING TO ROADWAY	E	77'	NO	NO	2	-	19	2	19	
P-11	PARKING TO ROADWAY	B	128'	YES, 30' CREDIT	NO	2	3	-	2	7	
P-12	ADJACENT TO PERIMETER	C	250'	YES, 100% CREDIT	NO	0	0	-	-	12	
P-13	ADJACENT TO PERIMETER	C	224'	YES, 100% CREDIT	NO	1	2	-	3	12	
D-1	DUMPSTER	D	40'	NO	NO	1	4	-	1	4	
D-2	DUMPSTER	D	34'	NO	NO	1	3	-	3	3	
D-3	DUMPSTER	D	40'	NO	NO	1	4	-	1	4	
TOTAL REQUIRED & PROVIDED						44	40	130	44	66	202



NOTE: ADDITIONAL TREES WERE PROVIDED BEYOND THE MINIMUM REQUIRED FOR PERIMETERS P-11, P-12, P-13 AND D-2. THE ADDITIONAL TREES HAVE BEEN LABELED WITH AN X NEXT TO THE TREE SYMBOL.

LEGEND	
SYMBOL	DESCRIPTION
---	EXISTING CONTOUR 2' INTERVAL
- - - -	EXISTING CONTOUR 10' INTERVAL
---	PROPOSED CONTOUR 2' INTERVAL
- - - -	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
RCCP	REINFORCED CIRCULAR CONCRETE PIPE
---	PROPOSED LIGHT
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED CONCRETE WALK
---	EXISTING TREE

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10712 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2899

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Crovo, P.E.
CHARLES J. CROVO, P.E.

REVISION BLOCK

DATE	DESCRIPTION	DATE
2/15/12	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'	
10/17/12	REVISED WATER AND POWER CONNECTIONS TO BUILDING 'A'	
09/21/12	REVISE BUILDINGS 'A' AND 'C' TO SHOW NEW ARCHITECTURE. SHOW ADDITIONAL WALL FOR BUILDING 'A'. ADD SHA SIDEWALK RAMP TO PLAN AND REVISE ROOF LEADER ON BLDG. 'C'	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director = Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HILL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 398
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
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PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012

SHEET 13 OF 42 SDP-10-036

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug or heeled-in plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Areas", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all agenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 Foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

Positive drainage shall be maintained in planting beds 2 percent slope).

Planting mix shall be as follows: Deciduous Plants - Two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

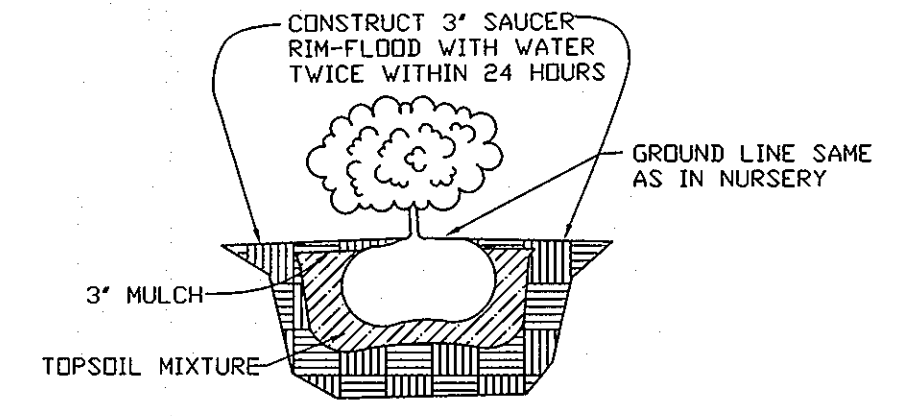
This plan is intended for landscape use only. see other plan sheets for more information on grading, sediment control, layout, etc.

NOTE: AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

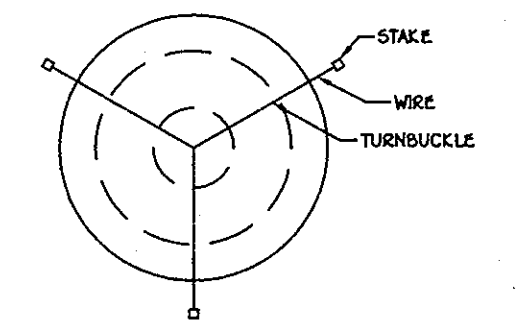
THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 59 SHADE TREES, 5 ORNAMENTAL TREES, 66 EVERGREEN TREES AND 202 SHRUBS PROVIDED WITH LANDSCAPE SURETY IN THE AMOUNT OF \$34,410.00 WITH THE DPW, DEVELOPER'S AGREEMENT.

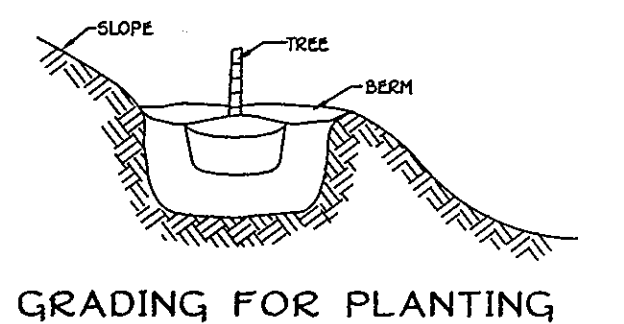
FINANCIAL SURETY FOR THE 25 REQUIRED STREET TREES HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$7,500.00.



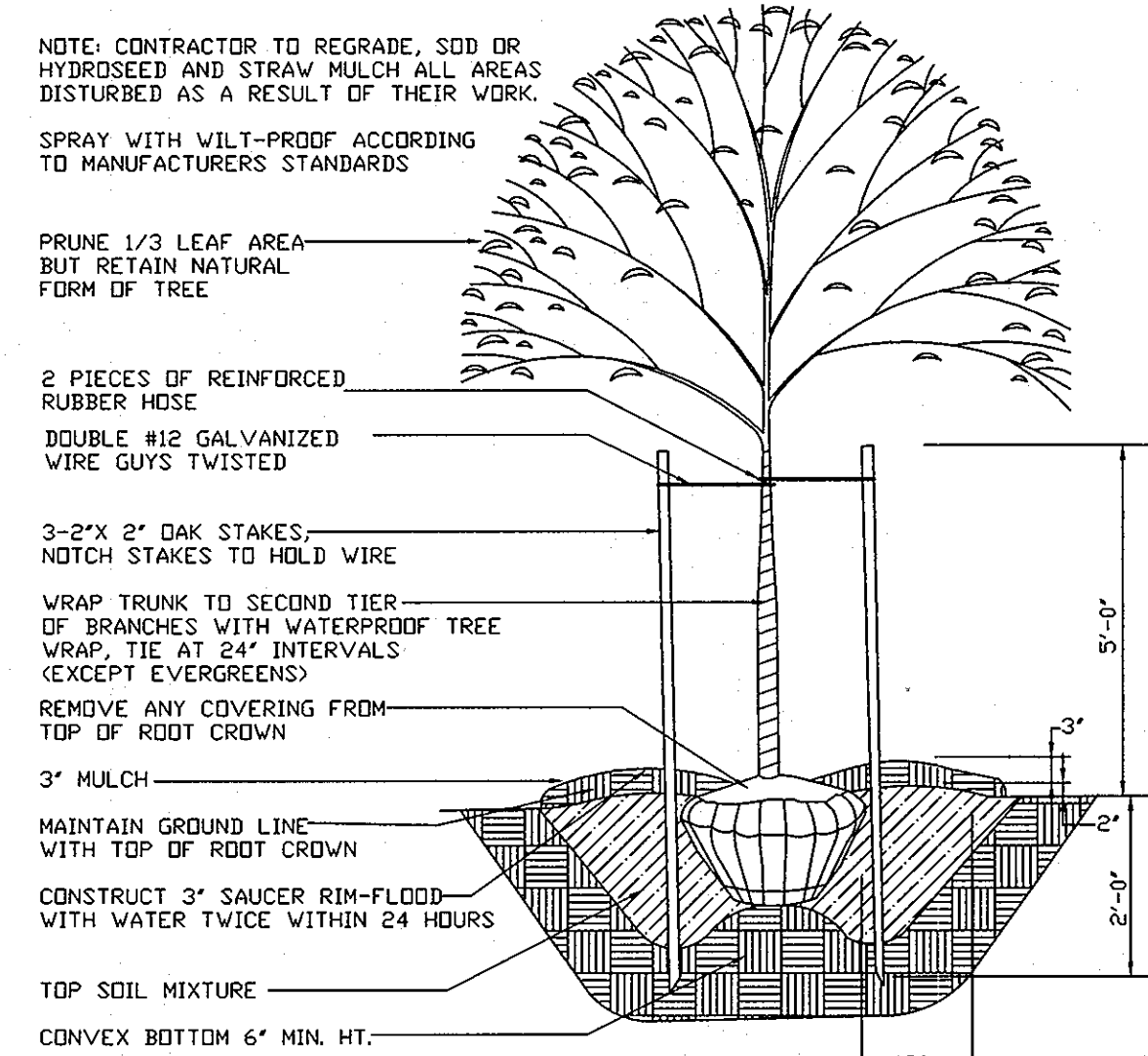
SHRUB PLANTING DETAIL



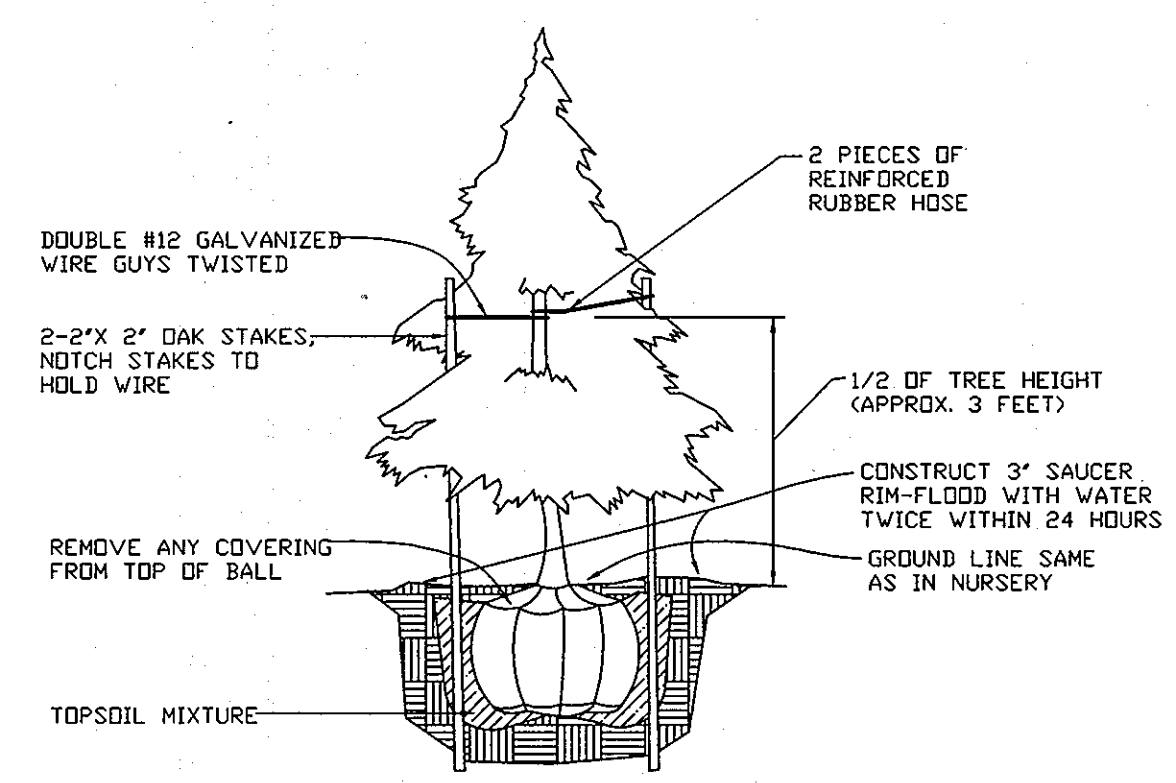
STAKING DETAIL
NOT TO SCALE



GRADING FOR PLANTING ON SLOPES
NOT TO SCALE



TREE PLANTING DETAIL



EVERGREEN PLANTING DETAIL

NOTE: CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THEIR WORK.
SPRAY WITH VILT-PROOF ACCORDING TO MANUFACTURERS STANDARDS
PRUNE 1/3 LEAF AREA BUT RETAIN NATURAL FORM OF TREE

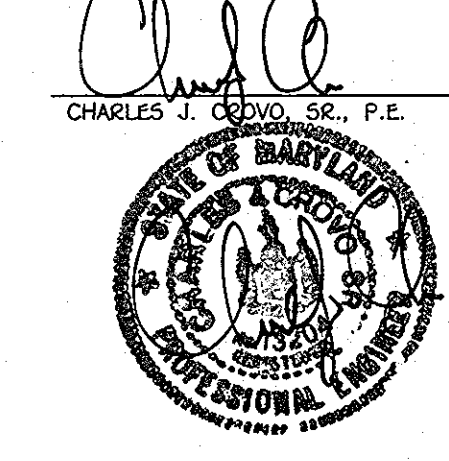
LANDSCAPE DEVELOPER'S CERTIFICATE
I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual. I/We further certify that upon completion a certification of landscaping accompanied by an executed one-year guarantee of plant materials will be submitted to the Department of Planning and Zoning.

[Signature] Date: 6/1/11

This plan has been prepared in accordance with the provision of Section 16.124 of the Howard County Code and Landscape Manual. Financial surety for the required landscaping will be posted as part of the grading permit.

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTURION SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2955

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.



DATE	DESCRIPTION	REVISION BLOCK
9/21/10	REPLACE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
5/31/11		
8/1/11		
8/10/11		
7/28/11		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas S. Butler 8/1/11 Date
 Director - Department of Planning and Zoning
Net Shadlow 8/10/11 Date
 Chief, Division of Land Development
John P. ... 7/28/11 Date
 Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
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C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21690 & 21697	2	B-1 B-2	24	SECOND	6023.01

LANDSCAPING SPECIFICATIONS AND DETAILS

FOREST GREEN
 ▲ PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NO'S: 21690 & 21697
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 14 OF 42 SDP-10-036

E:\1006\06067\dwg\06067-001 (SHEET 14) LANDSCAPE DETAILS.dwg, SHEET 14, 1:1

SOILS LEGEND		
SOIL	NAME	GROUP
CuB	COMUS SILT LOAM, LOCAL ALLUVIUM, 3% - 8% SLOPES	B
GnB2	GLENVILLE SILT LOAM, 3% - 8% SLOPES, MODERATELY ERODED	C
MIB2	MANOR LOAM, 3% - 8% SLOPES, MODERATELY ERODED	B
MIC2	MANOR LOAM, 8% - 15% SLOPES, MODERATELY ERODED	B
MID2	MANOR LOAM, 15% - 25% SLOPES, MODERATELY ERODED	B
MID3	MANOR LOAM, 15% - 25% SLOPES, SEVERELY ERODED	B

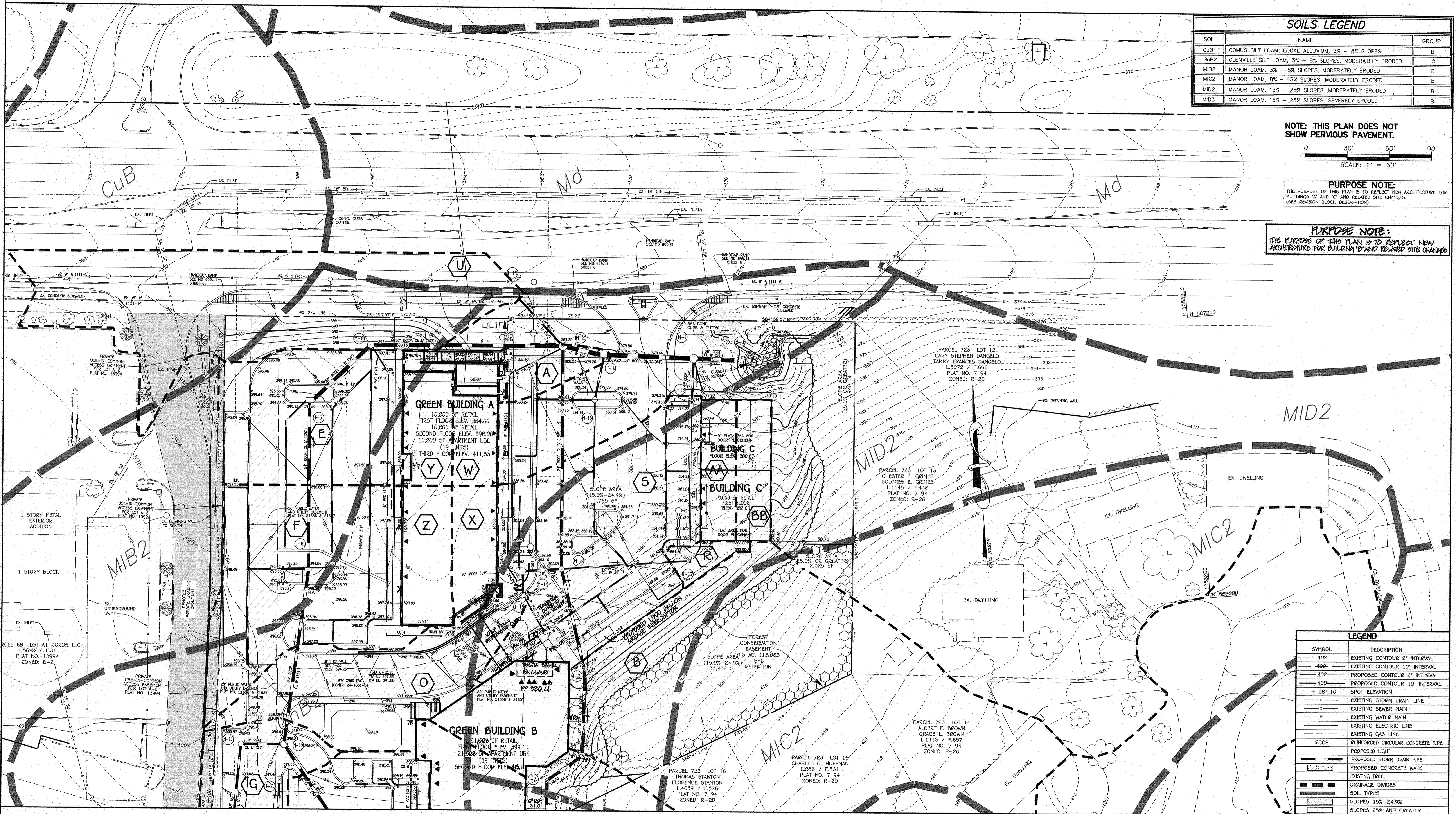
NOTE: THIS PLAN DOES NOT SHOW PERVIOUS PAVEMENT.

0' 30' 60' 90'

SCALE: 1" = 30'

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

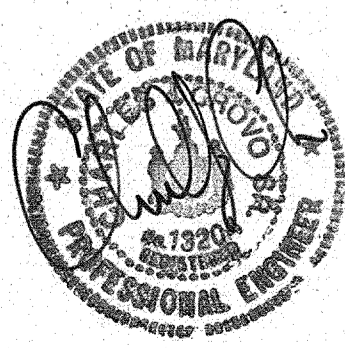
PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.



LEGEND	
SYMBOL	DESCRIPTION
- - - - -	EXISTING CONTOUR 2' INTERVAL
- - - - -	EXISTING CONTOUR 10' INTERVAL
- - - - -	PROPOSED CONTOUR 2' INTERVAL
- - - - -	PROPOSED CONTOUR 10' INTERVAL
+ 384.10	SPOT ELEVATION
- - - - -	EXISTING STORM DRAIN LINE
- - - - -	EXISTING SEWER MAIN
- - - - -	EXISTING WATER MAIN
- - - - -	EXISTING ELECTRIC LINE
- - - - -	EXISTING GAS LINE
- - - - -	RCCP REINFORCED CIRCULAR CONCRETE PIPE
- - - - -	PROPOSED LIGHT
- - - - -	PROPOSED STORM DRAIN PIPE
- - - - -	PROPOSED CONCRETE WALK
- - - - -	EXISTING TREE
- - - - -	DRAINAGE DIVIDES
- - - - -	SOIL TYPES
- - - - -	SLOPES 15%-24.9%
- - - - -	SLOPES 25% AND GREATER

MATCH LINE SEE SHEET 15

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-1299



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 1, 2012.

Charles J. Crowl
CHARLES J. CROWL, SR., P.E.

DATE	DESCRIPTION	DATE
09/21/12	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'	
09/21/12	Revise buildings 'A' and 'C' to show new architecture. Show additional wall for building 'A'. Add sidewalk ramps to plan and revise roof leader on bldg. 'C'	
	REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Mark A. Taylor</i>	Director - Department of Planning and Zoning	10/2/12
<i>Neil Schuchman</i>	Chief, Division of Planning and Development	10/7/12
<i>William J. ...</i>	Chief, Development Engineering Division	10/11/12

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

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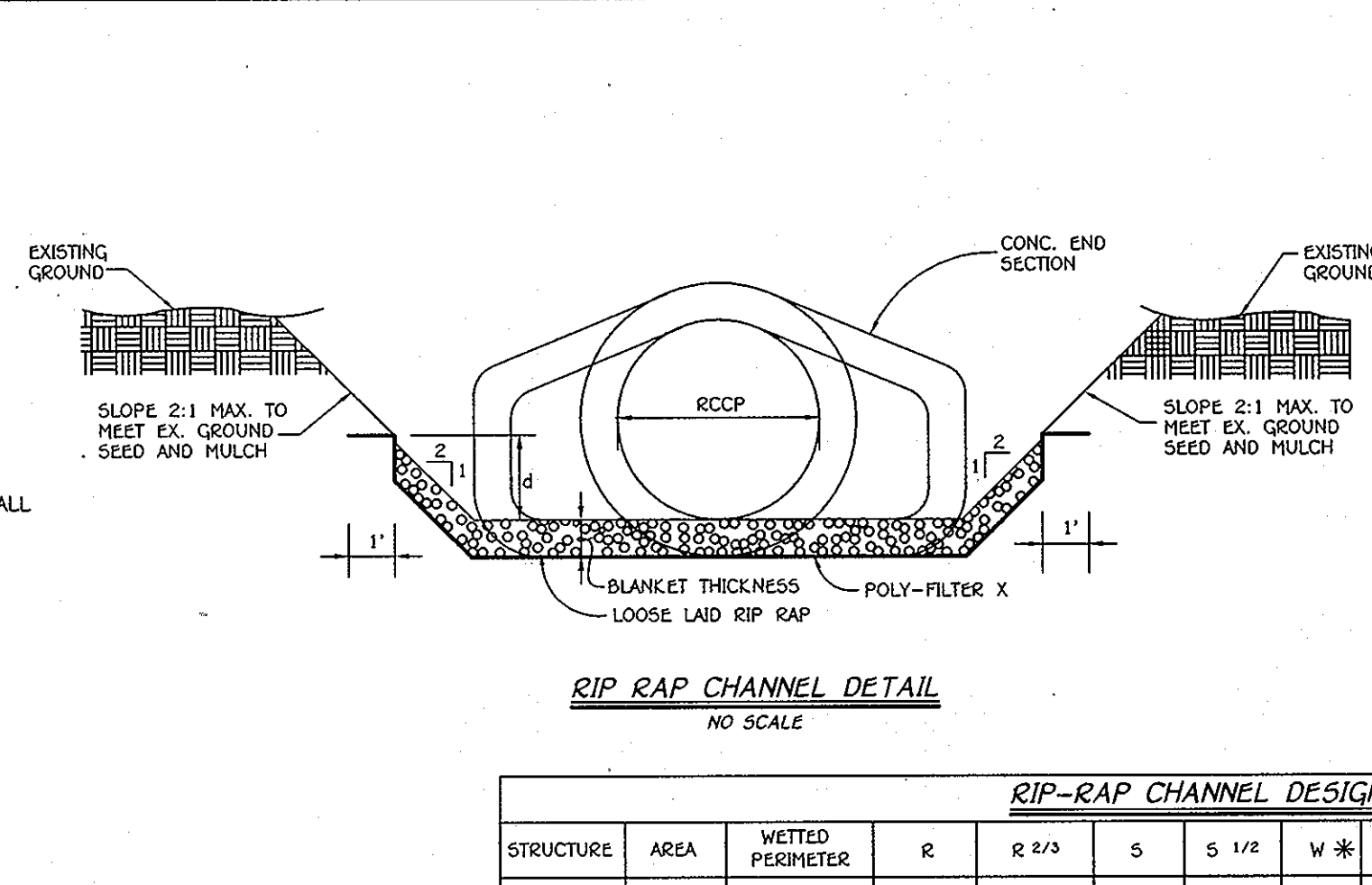
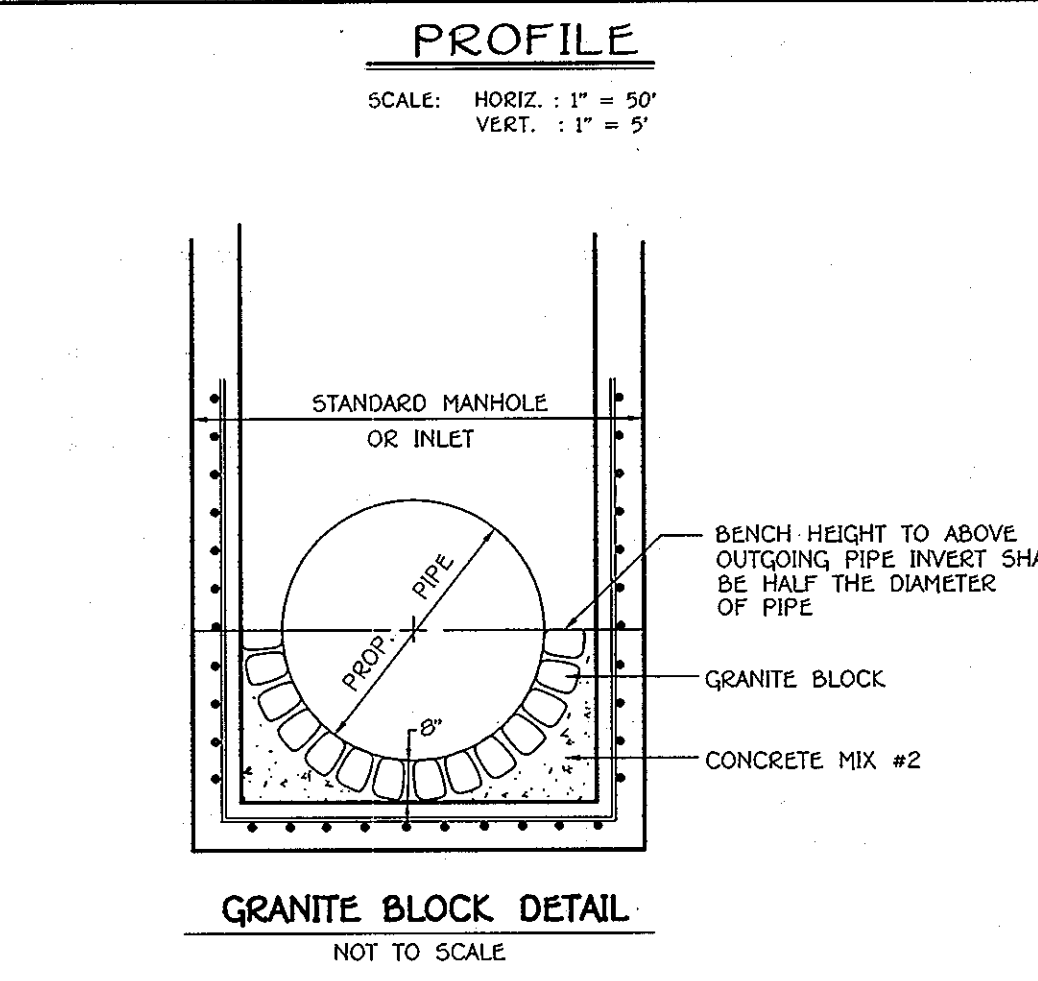
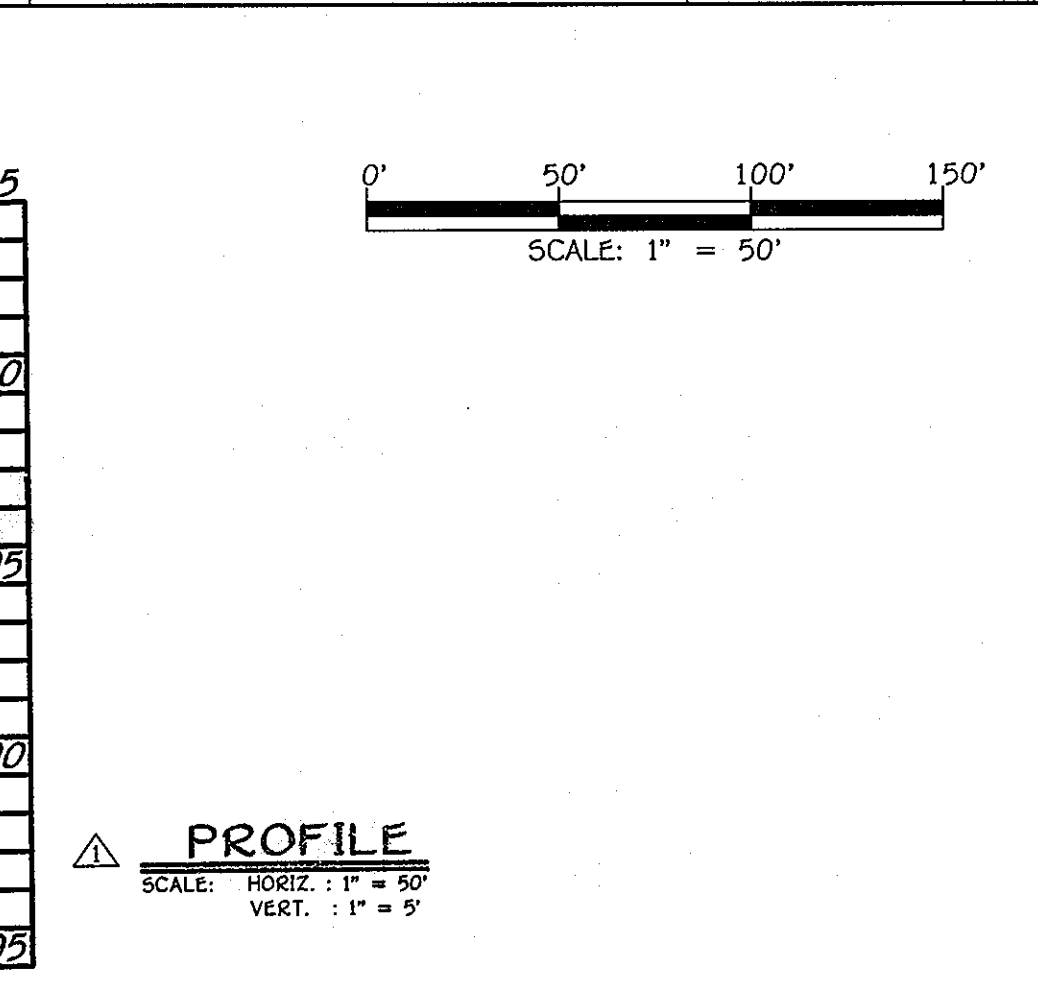
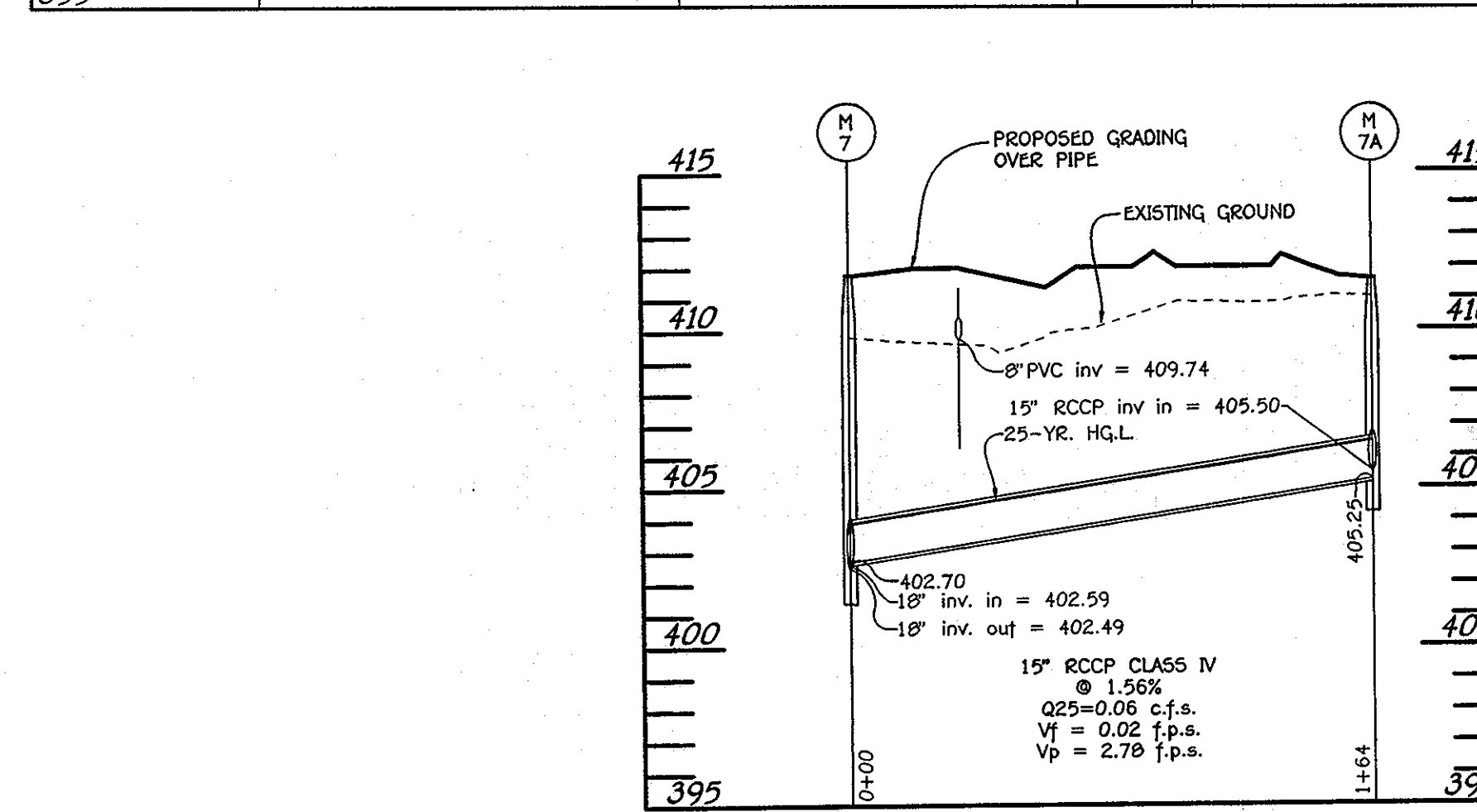
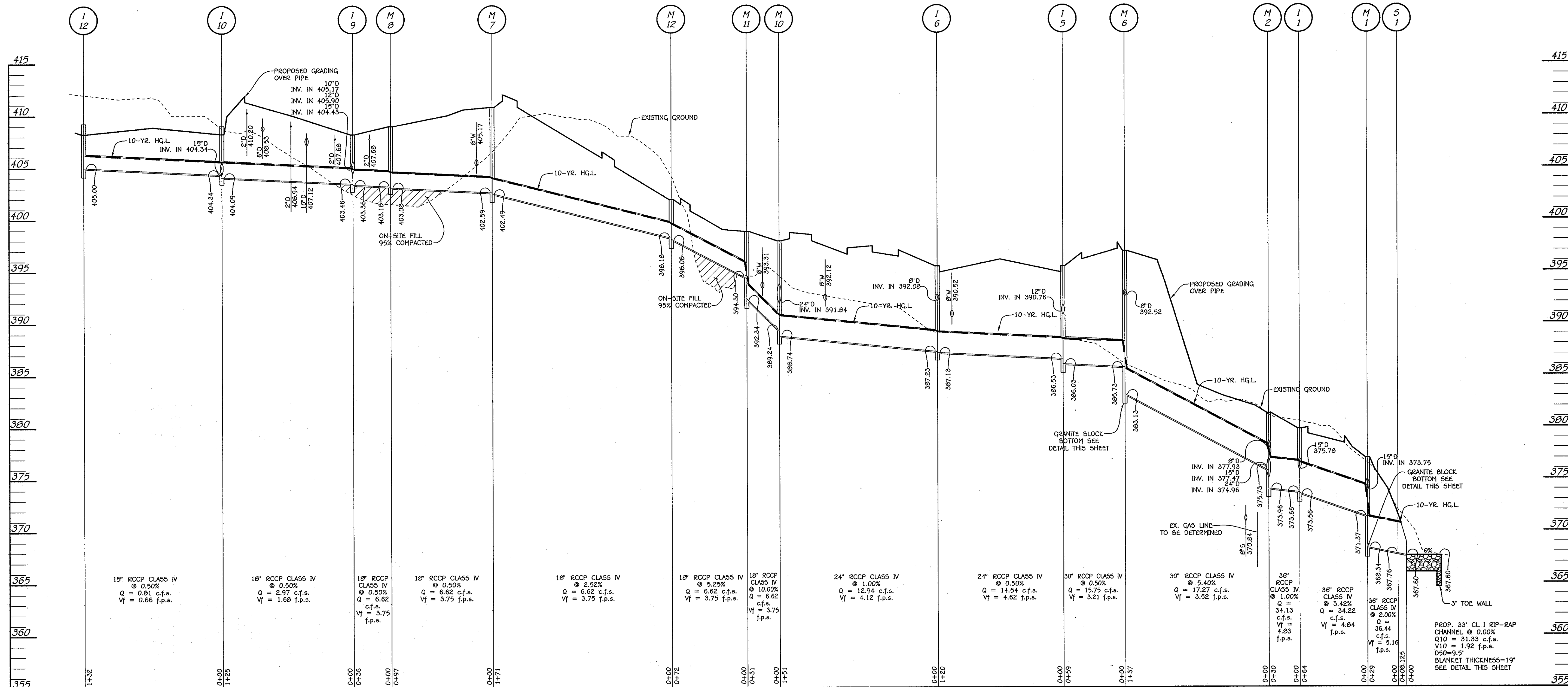
Address Chart	
BUILDING NO.	STREET ADDRESS
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B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN
SOILS MAP AND STORM DRAIN DRAINAGE
DRAINAGE AREA MAP
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012

SHEET 16 OF 42 SDP-10-036



- CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS**
- The subgrade for the filter, riprap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
 - The rock or gravel shall conform to the specified grading limits when installed respectively in the riprap or filter.
 - Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
 - Stone for the riprap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for riprap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogenous with the smaller stones and spalls filling the voids between the larger stones. Riprap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.

RIP-RAP CHANNEL DESIGN DATA

STRUCTURE	AREA	WETTED PERIMETER	R	R 2/3	S	S 1/2	W	d	n	V (f.p.s.)	Q (c.f.s.)	RIIP-RAP SIZE (D ₅₀ D _{max})	BLANKET THICKNESS
S-1	563	26.00'	7.51	3.78	0.0050	0.0707	23'	0.03	0.04	1.92	31.33	9.5" 15"	19"
HW-1	90	11.30'	0.2117	0.4177	0.0050	0.0707	10'	0.02	0.04	1.10	9.28	9.5" 15"	19"

* - DENOTES WIDTH AT END OF 20' RIPRAP CHANNEL

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CONTINENTAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Brown, Sr., P.E.
 CHARLES J. BROWN, SR., P.E.
 5/31/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas R. Butler 8/1/11 DATE
 Director - Department of Planning and Zoning

Victor S. Smith 8/1/11 DATE
 Chief, Division of Land Development

William J. ... 7/28/11 DATE
 Chief, Development Engineering Division

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

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OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

Address Chart

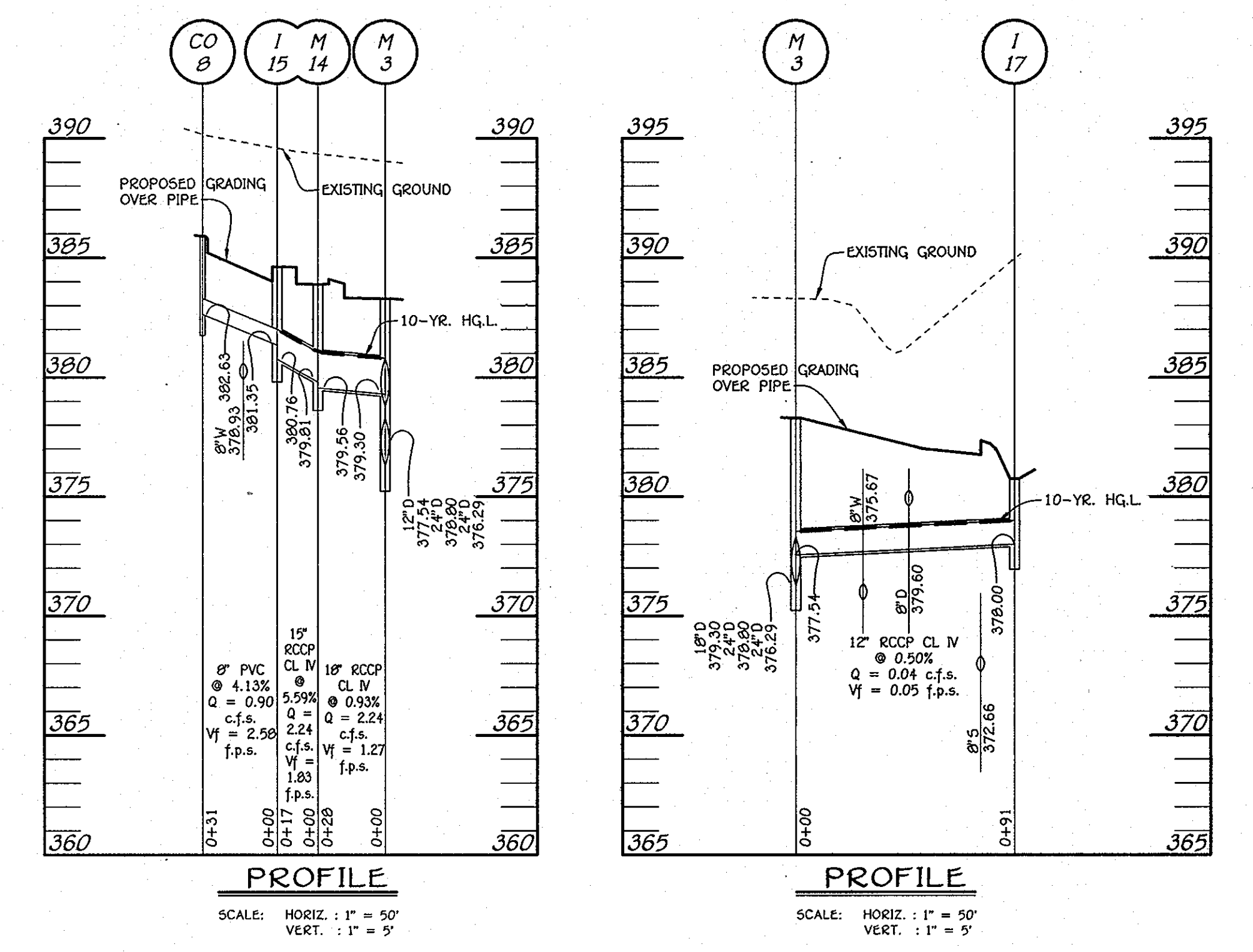
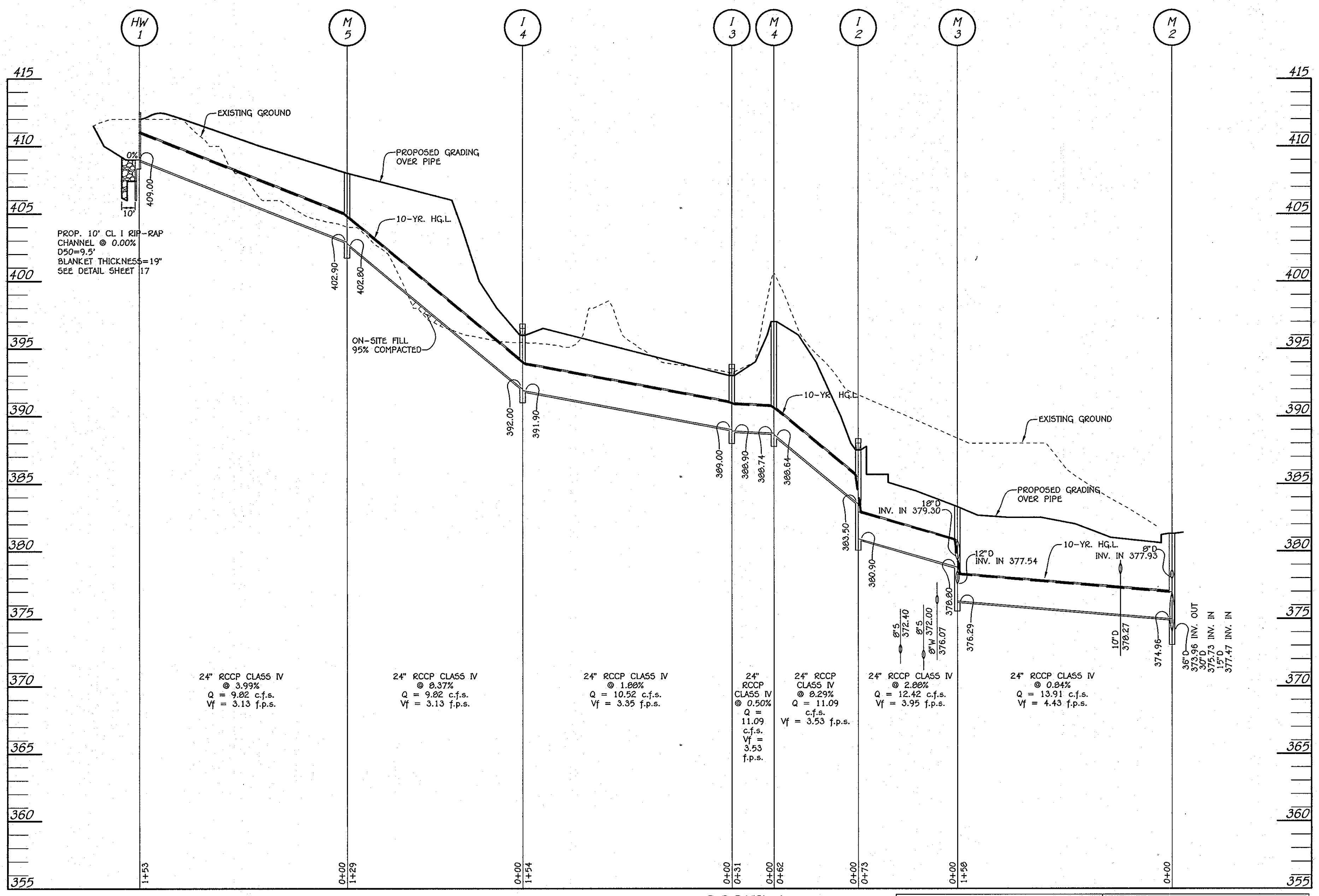
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT: FOREST GREEN SECTION/AREA: PARCELS: 69, 72, 453, 497 AND 1172 LOT: A
 PLAT: 21090 & 21097 BLOCK NO.: 2 ZONE: B-1 B-2 TAX MAP: 24 ELEC. DIST.: SECOND CENSUS TR.: 6023.01

STORM DRAIN PROFILES AND DETAILS

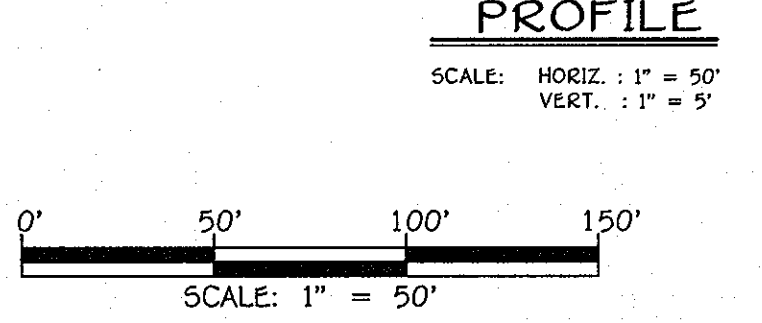
FOREST GREEN
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NOS: 21090 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 17 OF 42 SDP-10-036



STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS	
I-1	379.80**	373.66 (36")	375.78 (15")	373.56 (36")	N 587204.59 E 1352783.12	4.0'	A-5 D - 4.01	
I-2	387.50 *	383.50 (24")	380.90 (24")	N 586985.34 E 1352751.91	3.0'	D INLET D - 4.10		
I-3	393.00 *	389.00 (24")	386.90 (24")	N 586908.55 E 1352718.57	3.0'	D INLET D - 4.10		
I-4	396.00 *	392.00 (24")	391.90 (24")	N 586755.29 E 1352704.92	3.0'	D INLET D - 4.10		
I-5	395.46**	386.55 (24")	390.76 (12")	N 587189.56 E 1352571.76	3.5'	A-5 D - 4.01		
I-6	395.46**	387.23 (24")	392.08 (8")	N 587073.01 E 1352561.42	2.5'	A-5 D - 4.01		
I-7	398.02**	-	394.17 (15")	N 586924.10 E 1352530.15	3.42'	DOUBLE WR INLET D - 4.35		
I-8	401.15**	393.64 (15")	393.39 (18")	N 586871.30 E 1352522.53	3.42'	DOUBLE WR INLET D - 4.35		
I-9	408.19**	404.43(15")	403.46(18")	405.17(10")	405.90(12")	N 586648.73 E 1352515.49	2.58'	DOUBLE S D - 4.23
I-10	408.24*	404.34 (15")	404.34 (15")	N 586528.62 E 1352480.95	2.58'	D INLET D - 4.10		
I-11	408.79**	405.00 (12")	405.00 (12")	406.00 (8")	N 586606.34 E 1352620.06	2.5'	A-5 D - 4.01	
I-12	408.24*	-	405.00 (15")	N 586480.75 E 1352603.65	2.58'	D INLET D - 4.22		
I-13	397.27**	393.23(12")	392.98(15")	392.74(18")	393.17(15")	N 586878.77 E 1352571.49	2.5'	A-5 D - 4.01
I-14	397.39**	-	393.54 (15")	N 586771.20 E 1352561.95	2.5'	A-5 D - 4.01		
I-15	384.62**	381.35 (8")	380.76 (15")	N 587041.95 E 1352711.69	2.5'	DOUBLE WR INLET D - 4.35		
I-17	380.75**	-	378.00 (12")	N 587055.84 E 1352831.79	2.58'	5 INLET D - 4.22 & D-4.93		
I-18	379.60**	376.33 (8")	376.66 (10")	N 587165.01 E 1352841.64	2.5'	A-5 D - 4.01		
I-19	382.48**	-	378.47 (15")	N 587255.66 E 1352724.78	2.5'	COQ-20 MD-374.62 & MD-374.64		
I-20	410.23**	-	404.58 (15")	N 586529.08 E 1352467.89	2.5'	A-5 D - 4.01		
M-1	379.30	371.37 (36")	373.75 (15")	400.00 (18")	N 586500.29 E 1352467.89	2.5'	5' STD. MANHOLE G - 5.13	
M-2	381.30	377.93(8")	374.96(24")	375.73(30")	377.47(15")	N 587214.98 E 1352754.90	-	6' STD. MANHOLE G - 5.13
M-3	383.29	377.54 (12")	379.30 (18")	378.80 (24")	N 587057.35 E 1352740.92	-	4' STD. MANHOLE G - 5.12	
M-4	397.00	388.74 (24")	388.64 (24")	N 586923.99 E 1352745.29	-	4' STD. MANHOLE G - 5.12		
M-5	408.00	402.90 (24")	402.80 (24")	N 586626.56 E 1352693.52	-	4' STD. MANHOLE G - 5.12		
M-6	396.90	392.52 (8")	385.73 (30")	383.13 (30")	N 587227.05 E 1352618.75	-	5' STD. MANHOLE G - 5.13	
M-7	411.78	402.93 (18")	402.93 (18")	N 586721.45 E 1352467.89	-	4' STD. MANHOLE G - 5.12		
M-8	408.97	403.18 (18")	403.08 (18")	N 586684.80 E 1352519.67	-	4' STD. MANHOLE G - 5.12		
M-10	397.91	389.24 (18")	391.84 (24")	388.74 (24")	N 586949.36 E 1352533.97	-	5' STD. MANHOLE G - 5.13	
M-11	398.82	394.30 (18")	392.34 (18")	N 586952.07 E 1352503.51	-	4' STD. MANHOLE G - 5.12		
M-12	401.90	398.18 (18")	398.08 (18")	N 586881.42 E 1352490.60	-	4' STD. MANHOLE G - 5.12		
M-13	397.58	393.07 (18")	393.18 (8")	392.87 (18")	N 586867.32 E 1352552.34	-	5' MOD. MANHOLE MD-384.03 & SHEET 38	
M-14	383.90	379.81 (15")	379.56 (18")	N 587058.10 E 1352713.11	-	5' MOD. MANHOLE MD-384.03 & SHEET 39		
M-15	381.50	377.53 (12")	378.11 (10")	376.28 (15")	N 587175.26 E 1352774.29	-	4' STD. MANHOLE G - 5.12	
S-1	370.60	-	367.60 (36")	N 587195.23 E 1352875.69	-	36" CONC. END SECT D - 5.11		
HW-1	412.50	-	409.00 (24")	N 586474.35 E 1352680.02	-	TYPE A HEADWALL D - 5.11		

SIZE	CLASS	LENGTH	SIZE	CLASS	LENGTH
12"	RCCP, CLASS IV	138 L.F.	2"	PERF. PVC	2980 L.F.
15"	RCCP, CLASS IV	609 L.F.	6"	PVC, SCH. 40	340 L.F.
18"	RCCP, CLASS IV	615 L.F.	6"	PVC, SCH. 40	388 L.F.
24"	RCCP, CLASS IV	1110 L.F.	8"	PERF. PVC	506 L.F.
30"	RCCP, CLASS IV	196 L.F.	8"	PVC, SCH. 40	854 L.F.
36"	RCCP, CLASS IV	123 L.F.	10"	PERF. PVC	798 L.F.
			10"	PVC, SCH. 40	180 L.F.
			12"	PERF. PVC	111 L.F.
			12"	PVC, SCH. 40	725 L.F.
			15"	PERF. PVC	107 L.F.



FISHER, COLLINS & CARTER, INC.
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"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

CHARLES J. CRIVELLO, SR., P.E.

 5/31/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

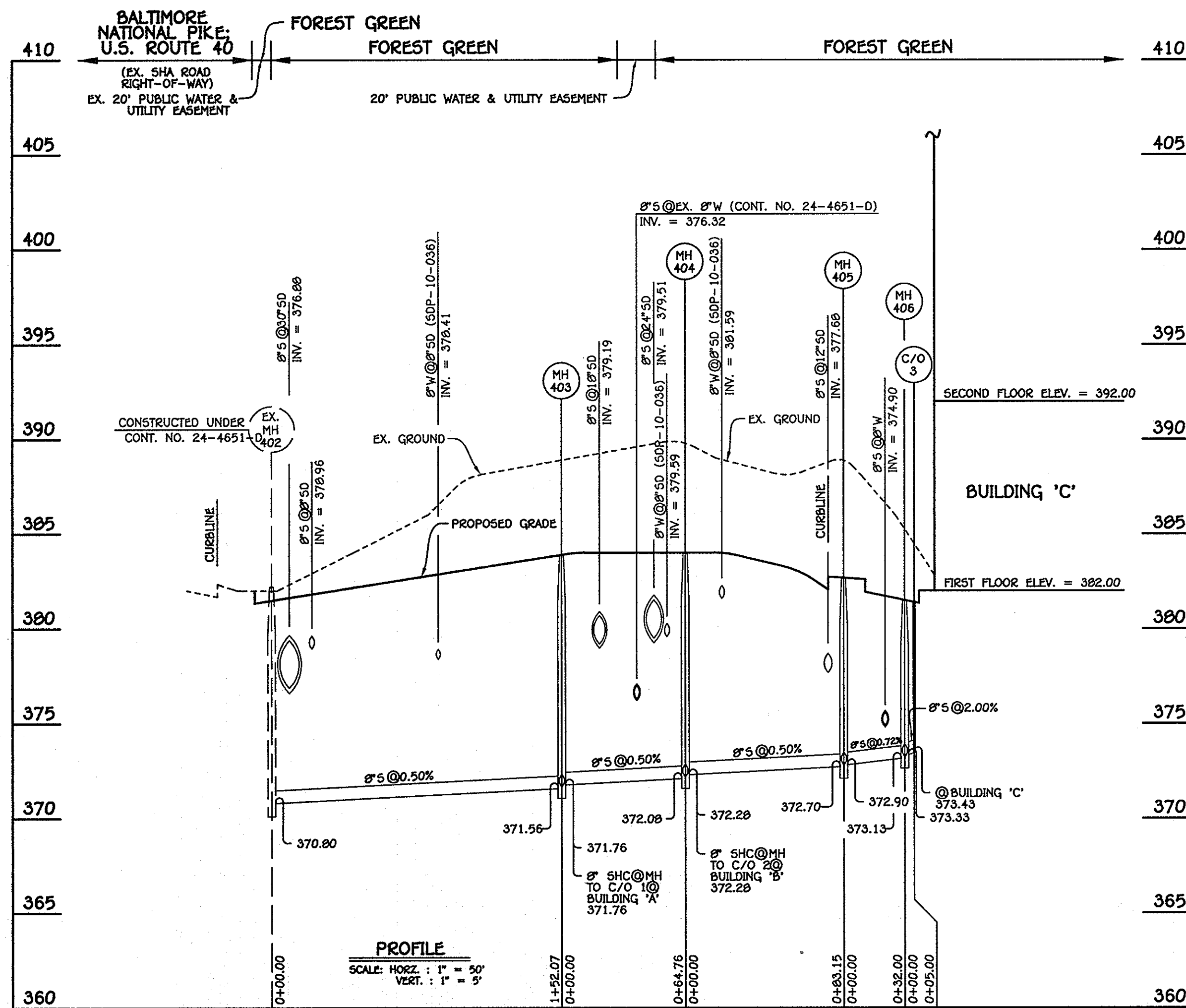
DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422
 OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422
 OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

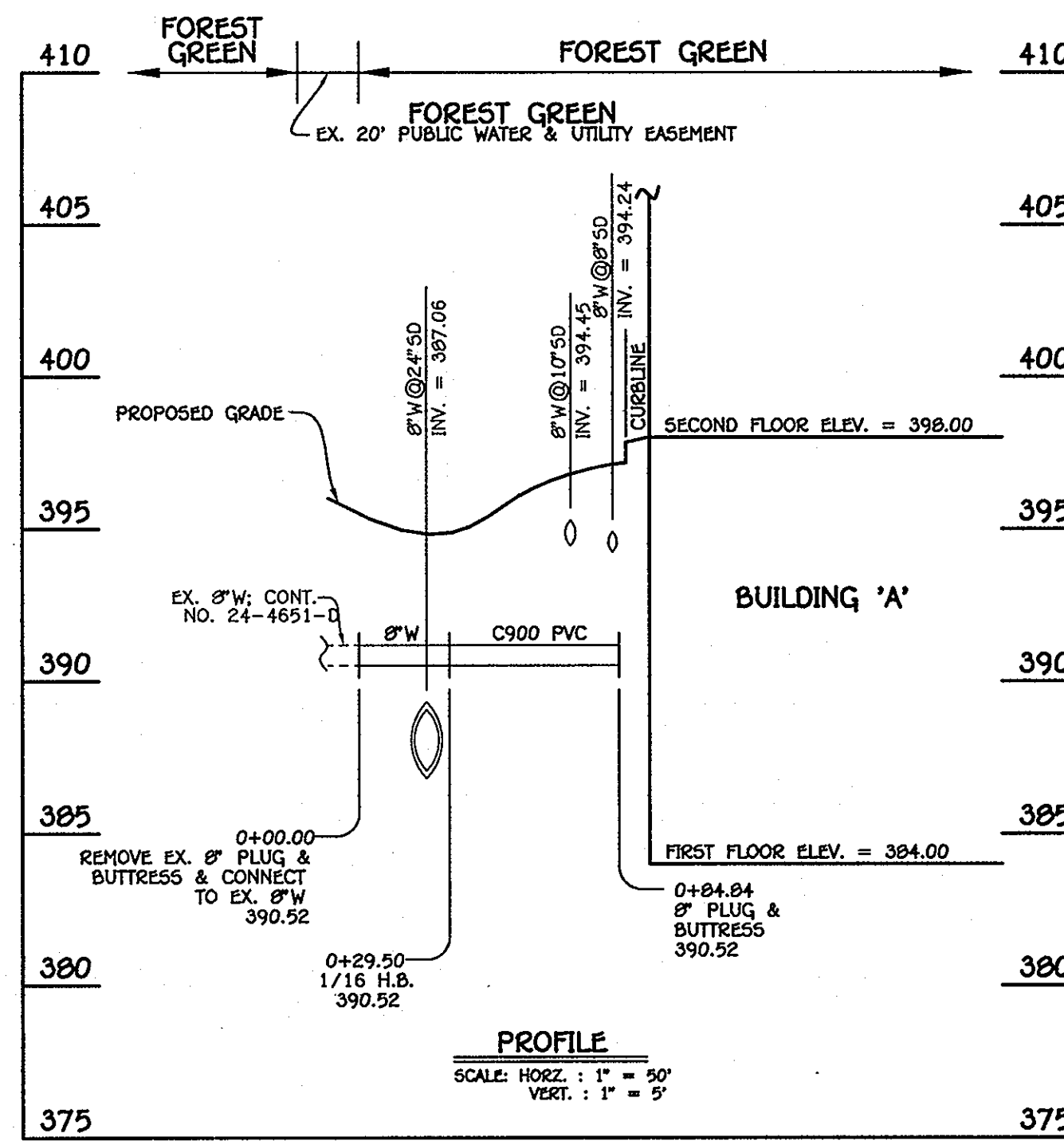
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

FLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

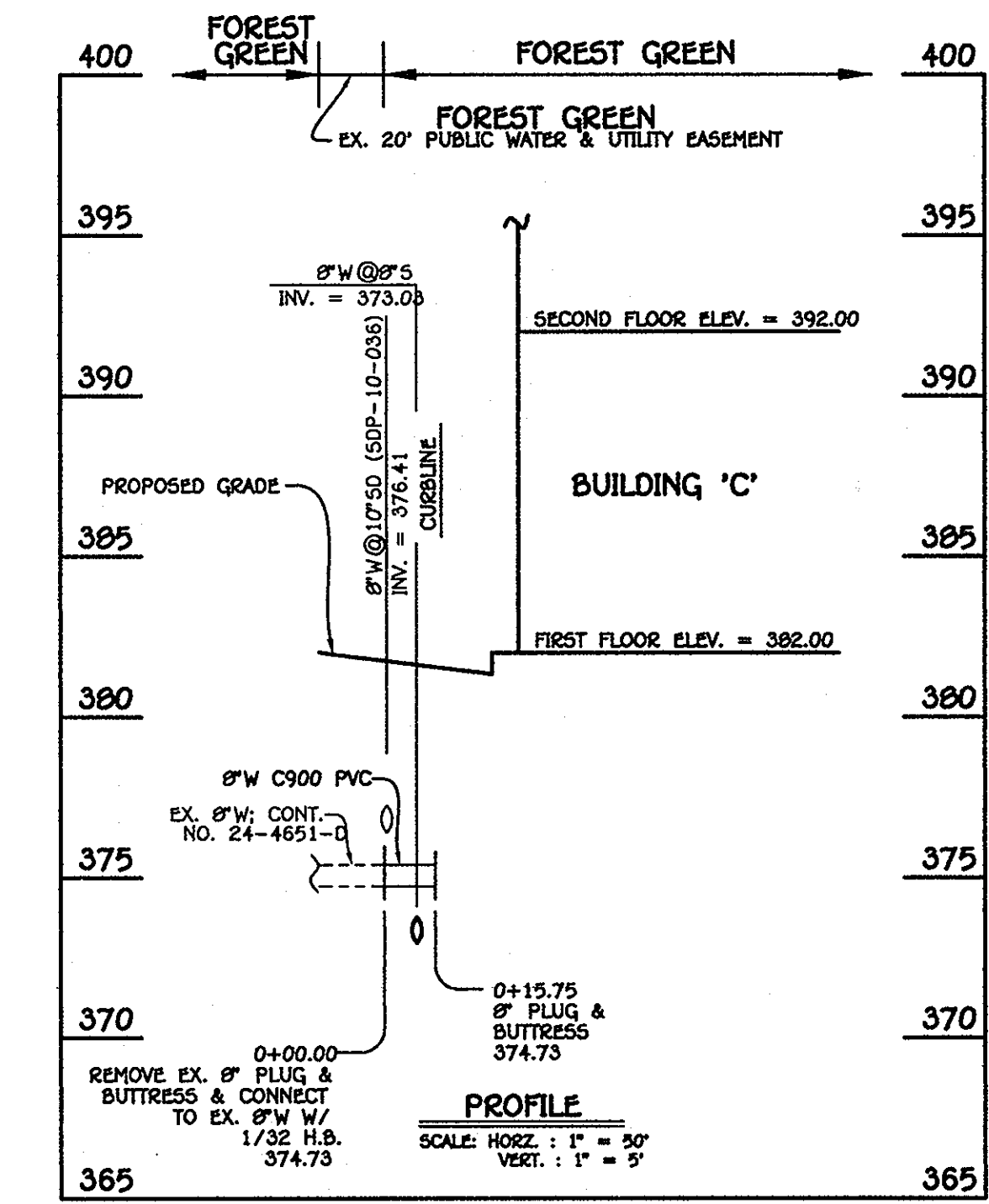
STORM DRAIN PROFILES AND STRUCTURE SCHEDULE
 FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT No's: 21096 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010



8" TO BUILDING 'A', BUILDING 'B' & BUILDING 'C'



8" WATER MAIN: TO BUILDING 'A'



8" WATER MAIN: BUILDING 'C'

M.C.E.	
BUILDING	M.C.E.
C/O 1 @ BUILDING 'A'	378.76
C/O 2 @ BUILDING 'B'	378.20
C/O 3 @ BUILDING 'C'	378.13

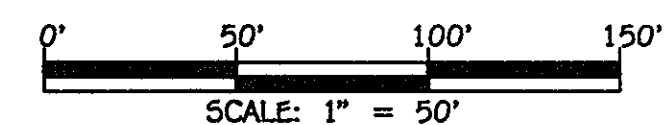
WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN: TO BUILDING 'A'			
0+00.00	EX. 8" PLUG & BUTTRESS	587087.00	1352540.57
0+29.50	1/16 H.B.	587084.39	1352569.96
0+84.84	8" PLUG & BUTTRESS	587057.17	1352618.14

WATER MAIN TABULATION CHART			
W.M. STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN: BUILDING 'C'			
0+00.00	EX. 8" PLUG & BUTTRESS	587082.70	1352816.66
0+00.00	1/32 H.B.	587082.70	1352816.66
0+15.75	8" PLUG & BUTTRESS	587081.30	1352832.34

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
EX. MH 402	587226.20	1352734.56	381.50
403	587074.00	1352720.30	383.85
404	587018.68	1352752.62	384.00
405	587060.17	1352824.67	382.65
406	587092.04	1352827.50	381.50

NOTE: SET MH RIMS FLUSH W/PROPOSED GRADE.

SHC INVERT @ BUILDING CHART		
STATION	C/O NO. & BUILDING	ELEVATION
MH 401 TO MH 402		
@MH 402 RT.	C/O 1 @ BUILDING 'A'	374.11
MH 402 TO MH 403		
@MH 403 RT.	C/O 2 @ BUILDING 'B'	374.83
MH 404 TO MH 405		
@MH 405 RT.	C/O 3 @ BUILDING 'C'	375.55



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Charles J. Grovo
CHARLES J. GROVO, SR., P.E.



DATE	DESCRIPTION	DATE
9/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Diana Z. Butler</i>	8/1/11	DATE
Director - Department of Planning and Zoning		
<i>Kevin Schaefer</i>	8/1/11	DATE
Chief, Division of Land Development and Planning		
<i>William J. ...</i>	7/20/11	DATE
Chief, Development Engineering Division		

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
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Address Chart	
BUILDING NO.	STREET ADDRESS
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PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

PRIVATE WATER AND SEWER MAINS: PROFILES & CHARTS

FOREST GREEN
△ PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S 21096 & 21097
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

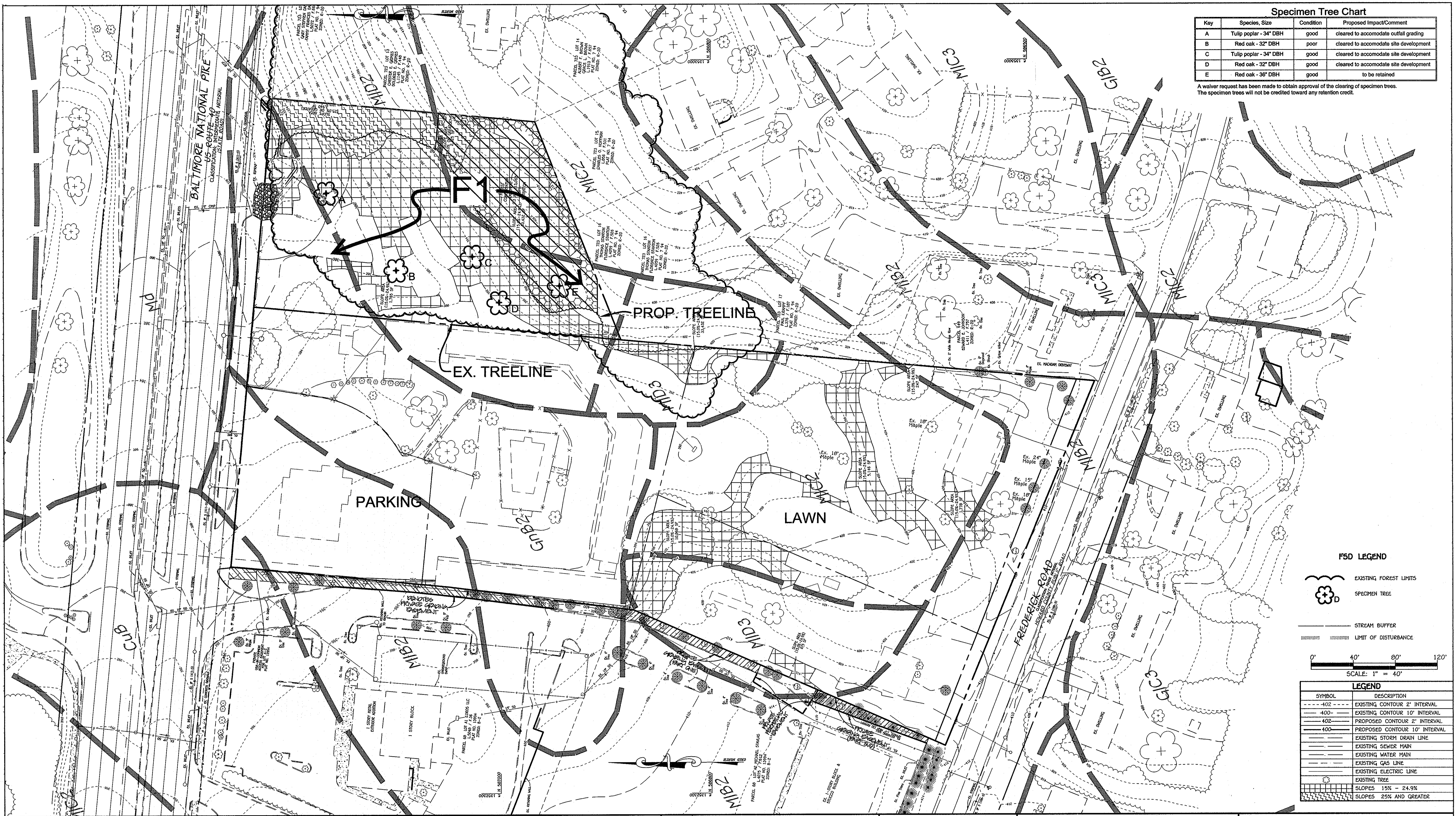
SHEET 20 OF 42 SDP-10-036

E:\1006\06657\dwg\06657 Water And Sewer Base Plan.dwg, Private Profile Sheet 20, 1:1

Specimen Tree Chart

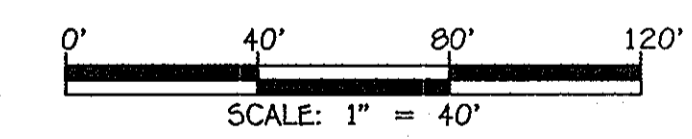
Key	Species, Size	Condition	Proposed Impact/Comment
A	Tulip poplar - 34" DBH	good	cleared to accommodate outfall grading
B	Red oak - 32" DBH	poor	cleared to accommodate site development
C	Tulip poplar - 34" DBH	good	cleared to accommodate site development
D	Red oak - 32" DBH	good	cleared to accommodate site development
E	Red oak - 36" DBH	good	to be retained

A waiver request has been made to obtain approval of the clearing of specimen trees. The specimen trees will not be credited toward any retention credit.



FSD LEGEND

- EXISTING FOREST LIMITS
- SPECIMEN TREE
- STREAM BUFFER
- LIMIT OF DISTURBANCE



LEGEND

SYMBOL	DESCRIPTION
---402---	EXISTING CONTOUR 2' INTERVAL
-400-	EXISTING CONTOUR 10' INTERVAL
-402-	PROPOSED CONTOUR 2' INTERVAL
-400-	PROPOSED CONTOUR 10' INTERVAL
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING GAS LINE
---	EXISTING ELECTRIC LINE
	EXISTING TREE
---	SLOPES 15% - 24.9%
---	SLOPES 25% AND GREATER

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE: P.O. BOX 10772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2055

Eco-Science Professionals, Inc.
 CONSULTING ENGINEERS
 10000 WOODBRIDGE DRIVE
 WOODBRIDGE, MARYLAND 21785
 (410) 528-0800

MD DNR Qualified Professional
 USACOE Wetland Delimitator
 Certification # W002340061004482
 JOHN P. GAVOLES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204. Expiration Date: November 3, 2012.

Charles J. Provo, Sr.
 CHARLES J. PROVO, SR., P.E.

8/1/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Norman E. Butler 8/1/11 DATE
 Director - Department of Planning and Zoning

Kevin Schabinger 8/1/11 DATE
 Chief, Division of Land Development

John P. Gavoles 7/26/11 DATE
 Chief, Development Engineering Division

DEVELOPER
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Address Chart

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PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

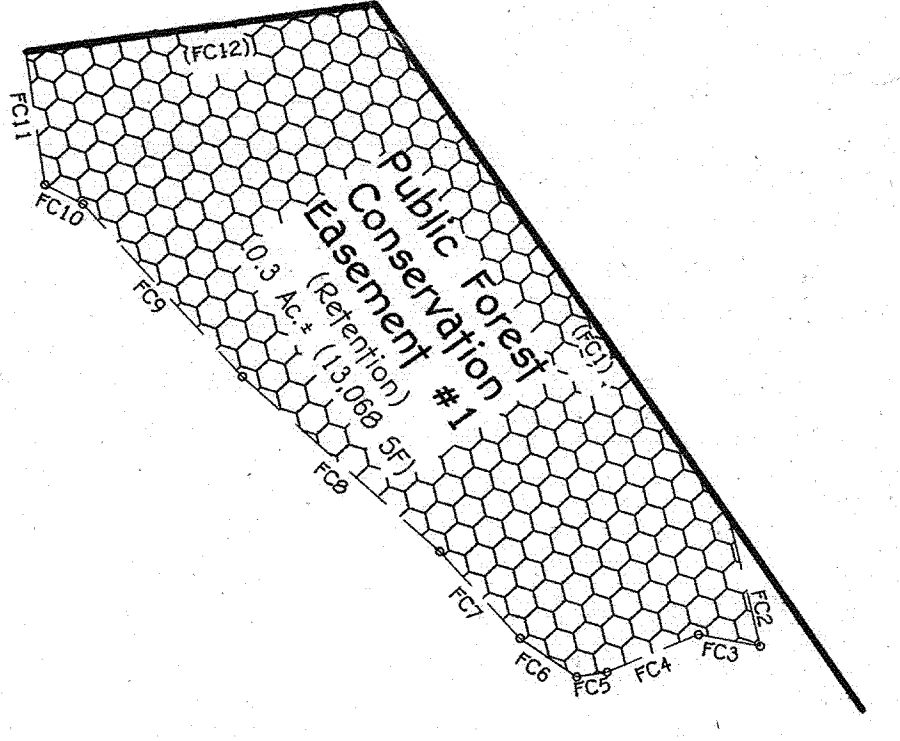
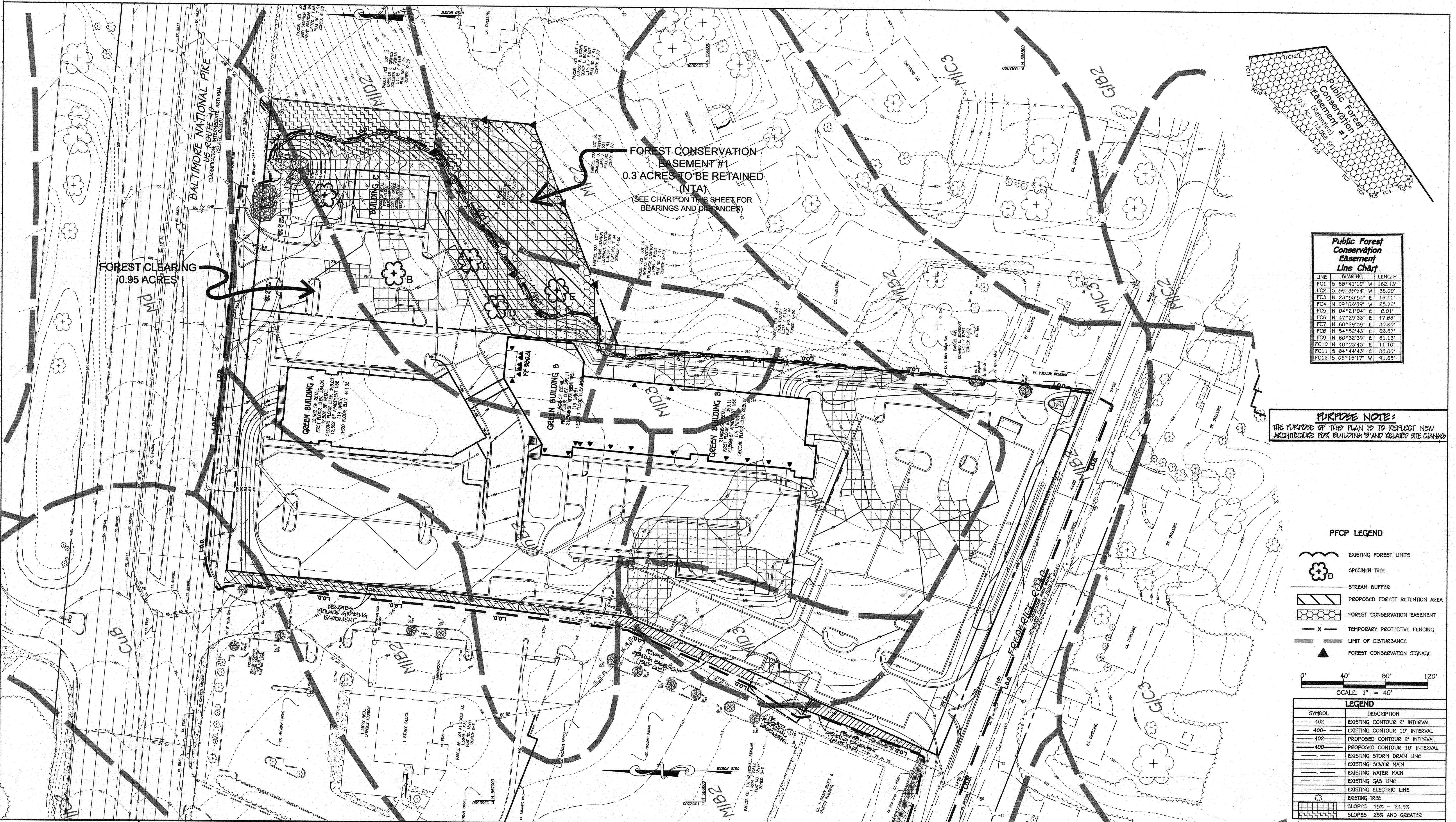
FOREST STAND DELINEATION PLAN

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2

TAX MAP No.: 24 GRID No.: 2
 PLAT No.: 21096 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40' DATE: DECEMBER 2, 2010

SHEET 21 OF 42 SDP-10-036

E:\3006\06067\06067-001 (SHEET 21 OF 42) FOREST PLAN2.DWG, SHEET 21, 11



Public Forest Conservation Easement Line Chart

LINE	BEARING	LENGTH
FC1	S 68°41'10" W	162.13'
FC2	S 09°38'54" W	35.00'
FC3	N 23°53'54" E	16.41'
FC4	N 09°08'59" W	25.72'
FC5	N 04°21'04" E	8.01'
FC6	N 47°29'33" E	17.83'
FC7	N 60°29'39" E	30.80'
FC8	N 54°52'43" E	68.57'
FC9	N 60°32'39" E	61.13'
FC10	N 40°03'43" E	11.10'
FC11	S 84°44'43" E	35.00'
FC12	S 09°15'17" W	91.65'

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

PFCE LEGEND

- EXISTING FOREST LIMITS
- SPECIMEN TREE
- STREAM BUFFER
- PROPOSED FOREST RETENTION AREA
- FOREST CONSERVATION EASEMENT
- TEMPORARY PROTECTIVE FENCING
- LIMIT OF DISTURBANCE
- FOREST CONSERVATION SIGNAGE

0' 40' 80' 120'
SCALE: 1" = 40'

LEGEND

SYMBOL	DESCRIPTION
	EXISTING CONTOUR 2' INTERVAL
	EXISTING CONTOUR 10' INTERVAL
	PROPOSED CONTOUR 2' INTERVAL
	PROPOSED CONTOUR 10' INTERVAL
	EXISTING STORM DRAIN LINE
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	EXISTING TREE
	SLOPES 15% - 24.9%
	SLOPES 25% AND GREATER

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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2895

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
17348 DORSEY HALL, SUITE 200
Telephone: (410) 823-0800 Fax: (410) 823-0268

MD DNR Qualified Professional
USFWS Wetland Delineator
Certification # WDCP93MD061004482
JOHN P. CANOLES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Groves, Sr., P.E.
CHARLES J. GROVES, SR., P.E.
DATE: 6/31/11

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Norman S. Ruttler 8/1/11
Date
Chief, Division of Land Development
Victor S. Sulewski 8/1/11
Date
Chief, Development Engineering Division
William J. ... 7/20/11
Date

DATE	DESCRIPTION	REVISION BLOCK
7/15/10	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'	
7/21/10	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

FOREST CONSERVATION PLAN

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S 21096 & 21097
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 40' DATE: DECEMBER 2, 2010

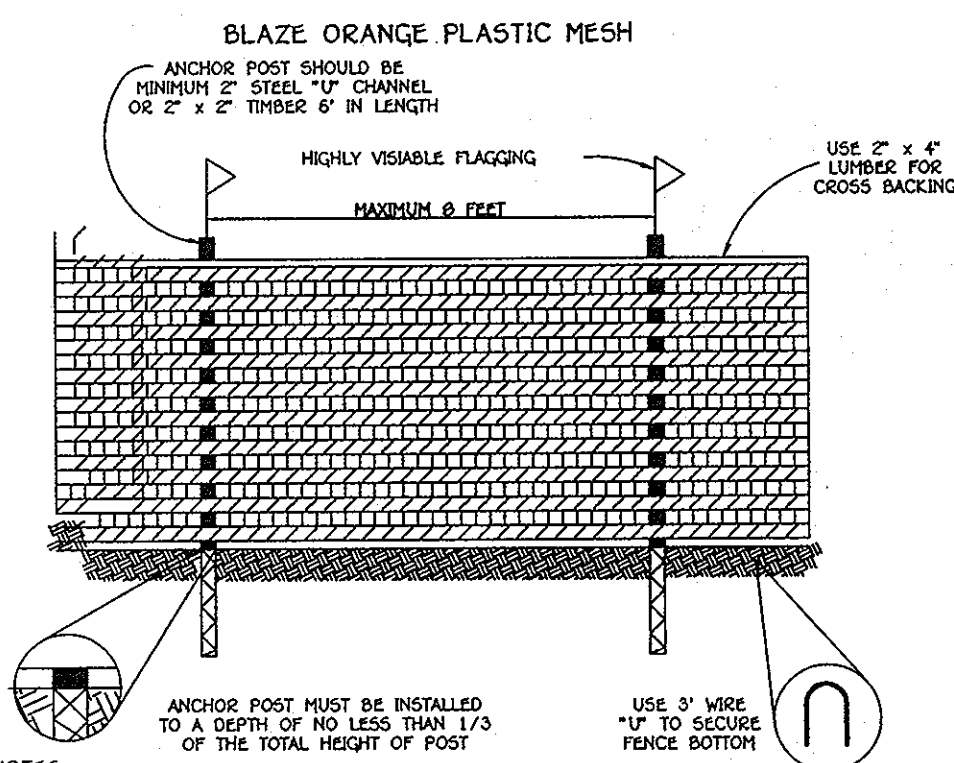
SHEET 22 OF 42
5DP-10-036

FOREST CONSERVATION WORKSHEET

Version 1.0

Project: FOREST GREEN
Date: April 22, 2010

NET TRACT AREA	Acres					
A. Total tract area	6.2					
B. Area within 100 Year Floodplain	0					
C. Area to remain in agricultural production	0					
D. Net Tract Area	6.2					
LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)						
AREA	MOR	IDA	HR	MPD	CA	X
E. Afforestation Threshold (percentage)	15	0.9				
F. Conservation Threshold (percentage)	15	0.9				
EXISTING FOREST COVER:						
G. Existing forest cover (excluding floodplain)	1.2					
H. Area of forest above afforestation threshold	0.3					
I. Area of forest above conservation threshold	0.3					
BREAK-EVEN POINT:						
J. Forest retention above threshold with no mitigation	0.1					
K. Clearing permitted without mitigation	Break-Even Point	1.0				
PROPOSED FOREST CLEARING:						
L. Total area of forest to be Cleared or Retained Outside FCE	0.9					
M. Total area of forest to be Retained in FCE	0.3					
PLANTING REQUIREMENTS:						
N. Reforestation for clearing above Conservation Threshold	0.1					
P. Reforestation for clearing below Conservation Threshold	1.2					
Q. Credit for retention above conservation threshold	0					
R. Total reforestation required	1.3					
S. Total afforestation required	0					
T. Total reforestation and afforestation required	1.3					

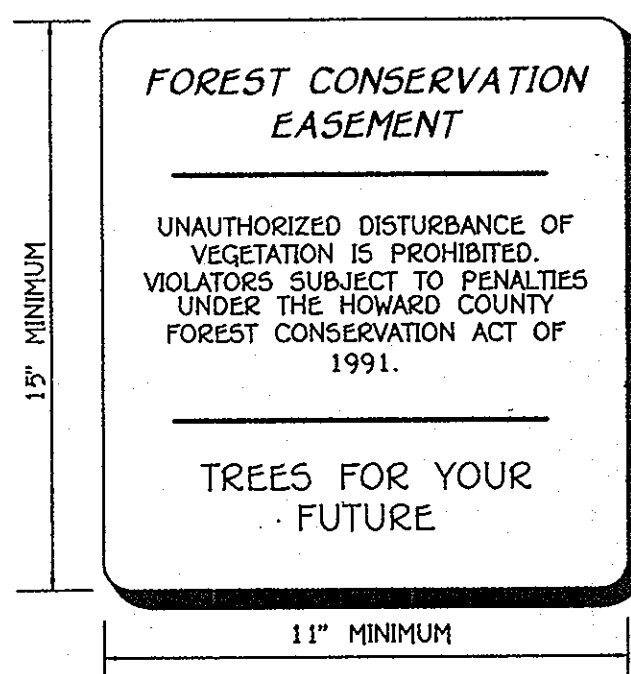


- NOTES:
1. FOREST PROTECTION DEVICE ONLY
 2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
 3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 4. SOOT DAMAGE SHOULD BE AVOIDED.
 5. PROTECTIVE SIGNAGE MAY ALSO BE USED.
 6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION DETAIL

NOT TO SCALE

ON-SITE SIGNAGE



- DENOTES FOREST CONSERVATION EASEMENT SIGN TO BE INSTALLED.
- PROTECTIVE SIGNAGE SHALL BE IN PLACE FOR PERPETUITY.

FCP NOTES

1. Any Forest Conservation Easement (FCE) area shown hereon is subject to protective covenants which may be found in the Land Records of Howard County which restrict the disturbance and use of these areas.
2. Limit of disturbance shall be restricted to areas outside the limit of temporary fencing.
3. There shall be no clearing, grading, construction or disturbance of vegetation beyond the depicted limits of disturbance, except as permitted by Howard County DPZ.
4. No stockpiles, parking areas, equipment cleaning areas, etc. shall occur within areas designated as non-disturbance areas.
5. Temporary fencing shall be used to protect forest resources during construction. Fencing shall be installed along limits of disturbance occurring within 50 feet of the proposed forest retention limits.
6. The Forest Conservation Act requirements for this project will be met through the retention of 0.3 acre of forest in an easement and the offsite reforestation of 1.3 acres on the Howard Hill Properties on Penn Shop Road.
7. The onsite retention and offsite planting required to meet the Forest Conservation requirements are subject to the security requirements. Security requirements are:
Onsite retention 0.3 acres @ \$0.20/sq. ft. = \$26,144
Planting 1.3 acres @ \$0.50/sq. ft. = \$28,314
Total security required = \$30,928
8. The Forest Conservation Easements have been established to fulfill the requirements of section 16.1200 of the Howard County Code, Forest Conservation Act. No clearing, grading, or construction is permitted within the Forest Conservation Easements, however, forest management practices as defined in the deed of Forest Conservation Easement are allowed.
9. Forested areas occurring outside of the FCE shall not be considered part of the FCE and shall not be subject to protective land covenants.
10. Temporary fencing shall be used to protect forest resources during construction. The fencing shall be placed along all FCE boundaries which occur within 15 feet of the proposed limits of disturbance.
11. Permanent signage shall be placed 50' - 100' apart along boundaries of all areas included in Forest Conservation Easements. The Forest Conservation requirements per section 16.1200 of the Howard County Code.
12. There are no wetlands or wetland buffers, floodplain, state champion trees, historic sites and historical structures within the proposed subdivision.

ON-SITE CONSTRUCTION PERIOD PROTECTION PROGRAM

A. Forest Protection Techniques

1. Soil Protection Area (Critical Root Zone)

The soil protection area, or critical root zone, of a tree is that portion of the soil column where most of its roots may be found. The majority of roots responsible for water and nutrient uptake are located just below the soil surface. Temporary fencing shall be placed around the critical root zone of the forest in areas where the forest limits occur within 25 feet of the limits of disturbance.

The limit of disturbance (LOD) line depicted on the plan shows the proposed extent of construction activities. Eco-Science Professionals or another qualified professional designated by the developer, will assist in the field flagging of the LOD to ensure that the Critical Root Zone for the Forest Retention Area is determined in accordance with the In-Field Edge Determination Guidelines in Appendix B. Eco-Science Professionals, or another qualified professional, will also assess the condition of the new forest edge to determine if selective thinning or pruning is needed to improve the condition of the edge.

2. Fencing and Signage

All forest retention areas will be protected from unauthorized intrusion by appropriate signage and fencing. Signage and fencing will be installed prior to any construction activity. Installation of these devices will be supervised by Eco-Science Professionals or another qualified professional. Fencing will be placed along all LOD lines that occurs within 25 feet of existing tree lines. Signage will be placed along the edge of the FCE every 100 feet. Fencing will consist of blaze orange mesh fence or super silt fence. See Forest Conservation Plan for standard specifications.

B. Pre-Construction Meeting

Upon staking of limits of disturbance and installation of all signage, a pre-construction meeting will be held between the developer, contractor and appropriate County inspector. The purpose of the meeting will be to verify that all tree protection measures outlined in the FCP are in place, that all sediment control is in order, and to notify the contractor of possible penalties for non-compliance with the FCP.

C. Storage Facilities/Equipment Cleaning

All equipment storage, parking, sanitary facilities, material stockpiling, etc. associated with construction of the project will be restricted to those areas shown within the limit of disturbance. Cleaning of equipment will be prohibited from all forest retention areas. Wastewater resulting from equipment cleaning will be controlled to prevent runoff into wetlands, streams and other environmentally sensitive areas.

D. Sequence of Construction

The following timetable represents the proposed timetable for construction of the proposed project. The construction start date for this project has not been formalized. The actual project start date is predicated on the issuance of all necessary permits and approvals for the project. The items outlined in the Forest Conservation Plan will be enacted upon commencement of the project.

Below find a sequence of construction:

1. Install all tree protection signage, fencing, and sediment control devices.
2. Hold pre-construction meeting between developer, contractor and County inspector.
3. Grade site and construct improvements. Stabilize all disturbed areas in accordance with grading plan.
4. Remove sediment control. Replace any forest retention signage in poor condition.
5. Hold post-construction meeting with County inspector to assure compliance with FCP.

E. Construction Monitoring

Eco-Science Professionals, or another qualified professional designated by the developer, will monitor construction of the project to ensure that all activities are in compliance with the Forest Conservation Plan. This will include inspections to ensure that signage is properly maintained and that no unauthorized intrusions have been made into retention areas.

F. Activities Permitted During Construction

The forest conservation plan will allow the following activities within forest resources during the construction phase of the project:

1. Passive recreation (birdwatching, hiking, etc.)
- These activities will not damage or negatively impact the forest resources on the property.

G. Post-Construction Meeting

Upon completion of construction, Eco-Science Professionals, or another qualified professional designated by the developer, will notify the County that construction has been completed and arrange for a post-construction meeting to review the project site. The meeting will allow the County inspector to verify that all Forest Conservation Easement areas have been properly retained and that all post construction protection measures (permanent signage) have been installed.

POST-CONSTRUCTION MANAGEMENT PLAN

The post-construction management plan will further ensure that all Forest Conservation Easement Areas are maintained. The developer will be responsible for implementation of the post-construction management plan. Howard County requires a two year post construction management plan be prepared as part of the Forest Conservation Plan. The plan goes into effect upon acceptance of the construction certification of completion by the County, Eco-Science Professionals, or another qualified professional designated by the developer, will be responsible for implementation of the post construction management plan.

The following items will be incorporated into the plan for the subject property.

A. Signage and Fencing

Permanent signage indicating the limits of the forest retention/planting areas shall be maintained.

B. General Site Inspections

Site inspections will be performed to insure that retention of the forest is met in accordance with this plan and that the forest edge remains healthy and stable.

C. Education

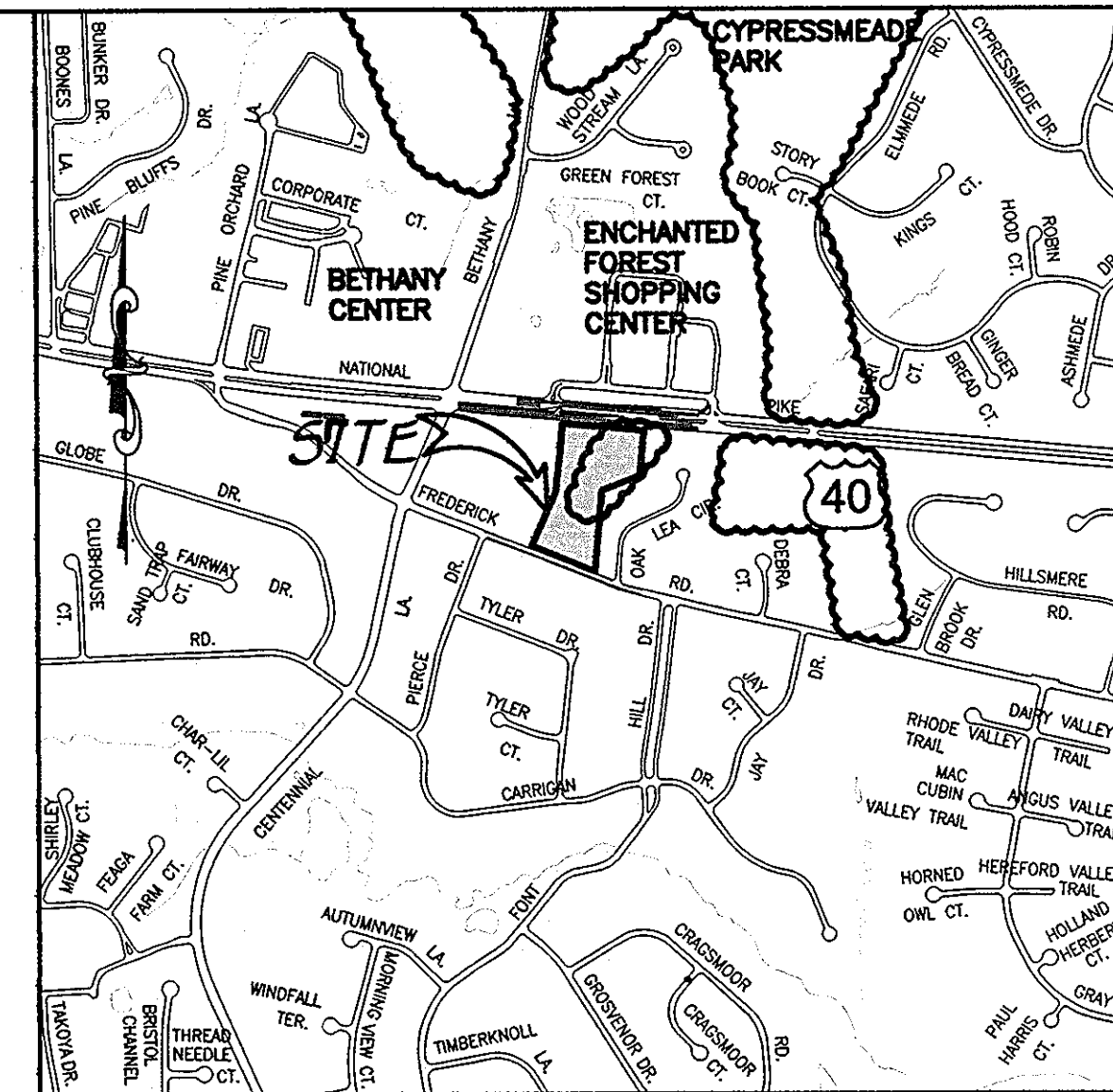
The developer will provide appropriate materials to property owners informing them of the location and purpose of the forest conservation easement. Materials may include site plans and information explaining the intent of the forest conservation law.

D. Final Inspection

At the end of the two year post construction management period, Eco-Science Professionals, or another qualified professional, will submit to the administrator of the Howard County Forest Conservation Program certification that all retention/afforestation requirements have been met. Upon acceptance of this certification, the County will release the developer from all future obligations and release the developer's bond.

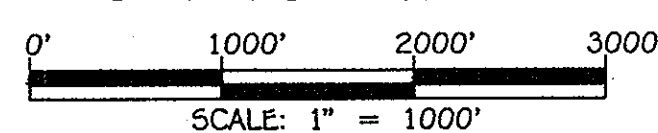
FOREST CONSERVATION EASEMENTS

Easements are a legal means of providing permanent protection of forests, farmland and open space. In accordance with the criteria outlined in the Howard County Forest Conservation Manual, a forest conservation easement will be recorded for the retention areas the subject property. Submission of the easements for recordation will occur prior to commencement of construction activities.



VICINITY MAP

SCALE: 1" = 1000'



Forest Stand Data

Key	Community Type	Acroage	Dominant Vegetation	General Condition	Priority Acreage
F1	Mixed Oak-Poplar	1.2	Quercus velutina, Quercus Alba, Liriodendron tulipifera, Quercus rubra, Acer rubrum	Good	0.2 slopes

See accompanying report for complete stand descriptions. Approximately 0.8 acres of offsite forest area is present within 100 feet of the property.

FSD NOTES:

1. No rare, threatened or endangered species or their appropriate habitat were observed on the property.
2. Surrounding land use is mixed commercial and high density residential development.
3. All forest on the site is in stand F-1.
4. No State champion trees are present on the site.
5. No floodplain is present on the site.

Specimen Tree Chart

Key	Species, Size	Condition	Proposed Impact/Comment
A	Tulip poplar - 34" DBH	good	cleared to accommodate outfall grading
B	Red oak - 32" DBH	poor	cleared to accommodate site development
C	Tulip poplar - 34" DBH	good	cleared to accommodate site development
D	Red oak - 32" DBH	good	cleared to accommodate site development
E	Red oak - 36" DBH	good	to be retained

A waiver request has been made to obtain approval of the clearing of specimen trees. The specimen trees will not be credited toward any retention credit.

The planning director on may 4, 2010 approved the request to waive sections 16.116(a)(2)(i), which outlines the forest retention priorities when adhering to the forest conservation act, including areas of floodplain, stream buffers, wetlands and buffers, steep slopes, areas of state champion trees, trees 75% of the diameter of state champion trees and trees 30' in diameter or larger, and many other provisions. Per state senate bill 666, state champion trees or trees 30' diameter or larger cannot be disturbed without a waiver. The proposed development will require the removal of 4 of the 5 on-site specimen trees located on this property to accommodate the commercial use development site improvements.

PLEASE NOTE THAT PER THE NOVEMBER 30, 2009 POLICY MEMO OUTLINING CHANGES EFFECTIVE OCTOBER 1, 2009 IN THE FOREST CONSERVATION PROGRAM (STATE BILL #686), FORESTS THAT INCLUDE TREES WITH 30" DIAMETER OR GREATER TRUNKS AT BREAST HEIGHT CANNOT BE CLEARED WITHOUT A WAIVER TO SECTION 16.1205(A) OF THE REGULATIONS.

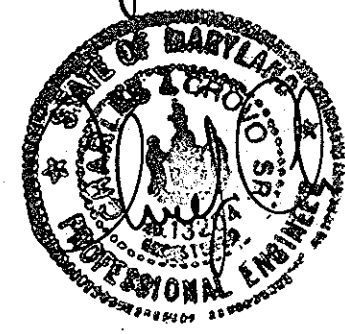
FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE: 10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2995

Eco-Science Professionals, Inc.
CONSULTING ECOLOGISTS
11000 WOODBURN RD., SUITE 200
ELICOTT CITY, MD 21042
Tel: (410) 832-2400 Fax: (410) 832-2405

MD DNR Qualified Professional
USDCOE Wetland Delineator
Certification # W0009340061004482
JOHN P. CANOLES

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Cervo, Sr., P.E.
CHARLES J. CERVO, SR., P.E.



5/31/11
DATE

DATE	DESCRIPTION	REVISION BLOCK
2/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
8/1/11		
9/01/11		
7/28/11		

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas R. Buttle
Director - Department of Planning and Zoning
Jeff Stedman
Chief, Division of Land Development
Mark D. ...
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST HOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

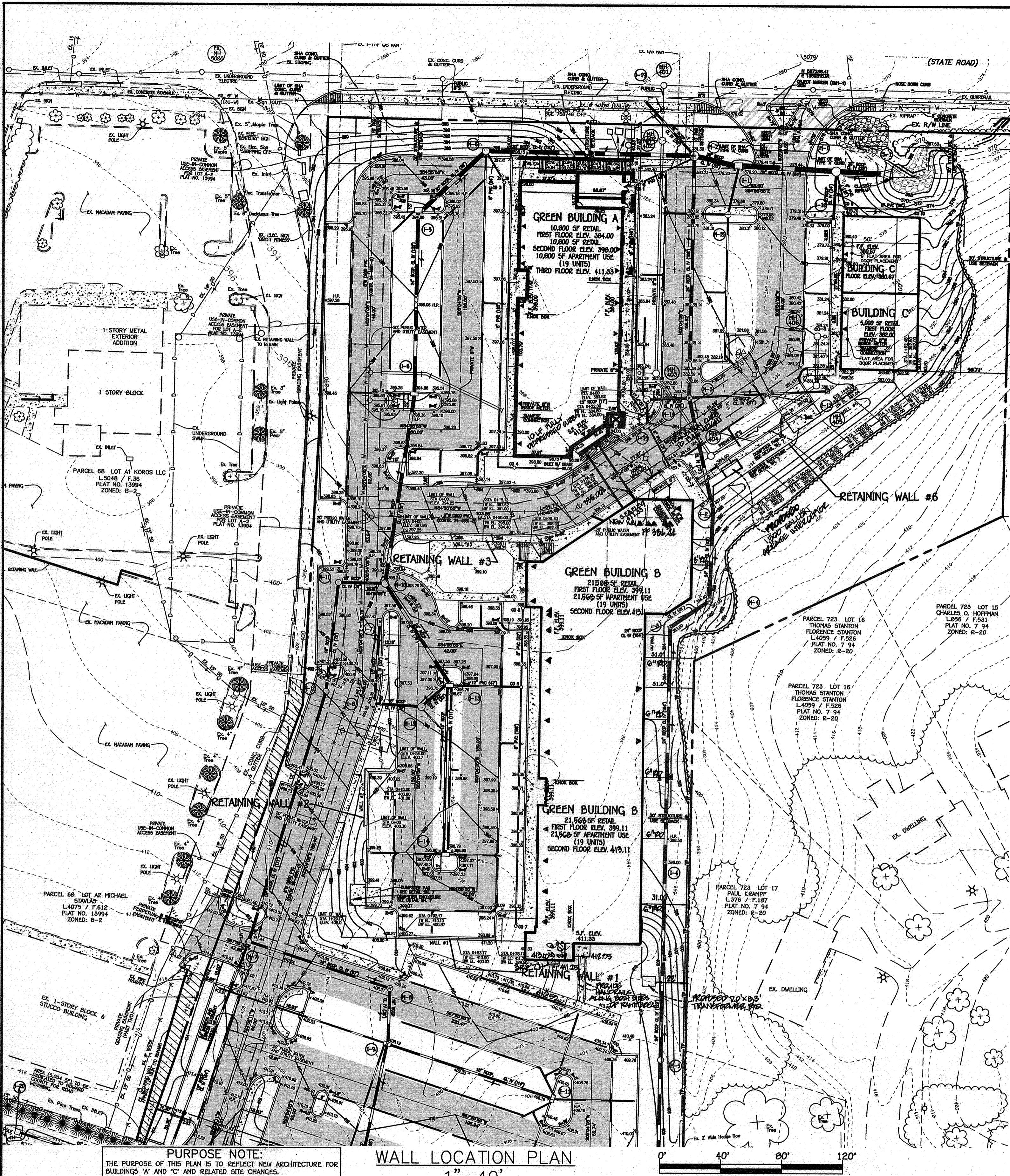
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21026 & 21027	2	B-1 B-2	24	SECOND	6023.01

FOREST CONSERVATION INFORMATION

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S 21026 & 21027
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 23 OF 42 SDP-10-036



WALL LOCATION PLAN
1" = 40'
SCALE: 1" = 40'

SPECIFICATIONS
MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

1.01 Description
A. Work shall consist of furnishing and construction of a Modular Retaining Wall System in accordance with these specifications and in necessary close conformity with the lines, grades, design, and dimensions shown on the plans.
B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

1.02 Delivery, Storage and Handling
A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

2.01 Modular Concrete Retaining Wall Units
A. Modular concrete units shall conform to the following architectural requirements:
Face color: concrete gray - standard manufacturer's color may be specified by the Owner.
Face finish - equipped rock face in regular brick pattern configuration. Other face finishes will not be allowed without written approval of Owner.
Joint configuration - running with joints normally located at midpoints vertically adjacent units, in both straight and curved alignments.
Exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
B. Modular concrete units shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate reference:
compressive strength = 3000 psi minimum;
absorption = 8 % maximum (9% in northern states) for standard weight aggregates;
dimensional tolerances = ± 1/8" from nominal unit dimensions - not including rough cast face, ± 1/16" unit height - top and bottom planes;
unit size - 8" (H) x 16" (W) x 12" (D) minimum;
unit weight - 75 lb/blk minimum for standard weight aggregates.

2.02 Shear Connectors (if applicable)
A. Shear connectors shall be 1/2 inch diameter threaded rebar or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertically adjacent units shall be applicable over a design temperature of 10 degrees F to +100 degrees F.
B. Shear connectors shall be capable of holding the geogrid to the proper design position during grid pre-tensioning and backfilling.

2.03 Base Leveling Pad Material
A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawing.

2.04 Unit Drainage Fill
A. Unit drainage fill shall consist of #57 crushed stone

2.05 Reinforced Backfill
A. Reinforced backfill shall type SM, be free of debris and meet the following gradation listed in accordance with ASTM D-422 and meet other properties shown on the plan:

Sieve Size	Percent Passing
2 inch	100-75
3/8 inch	100-75
No. 40	0-40
No. 200	0-0

Flexibility Index (PI) <10 and Liquid Limit <40 per ASTM D-4318.
B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plasticity clays or organic soils) shall not be used in the reinforced soil mass.

2.06 Geogrid Soil Reinforcement
A. Geogrids shall consist of geogrids manufactured specifically for soil reinforcement applications and shall be manufactured from high tenacity polyester yarn.

2.07 Drainage Pipe
A. The drainage pipe shall be perforated corrugated HDPE pipe manufactured in accordance with ASTM D-1248.

PART 3: EXECUTION

3.01 Excavation
A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

3.02 Base Leveling Pad
A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 8 inches and extend laterally a minimum of 6' in front and behind the modular wall unit.
B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

3.03 Modular Unit Installation
A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and ensure that all units are in full contact with the base and properly seated.
B. Place the front of units side-to-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
C. Install shearing devices per manufacturer's recommendations.
D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

3.04 Structural Geogrid Installation
A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
B. Geogrid reinforcement shall be placed at the strengths, lengths, and spacings shown on the construction design drawings or as directed by the Engineer.
C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to backfill placement on the geogrid.

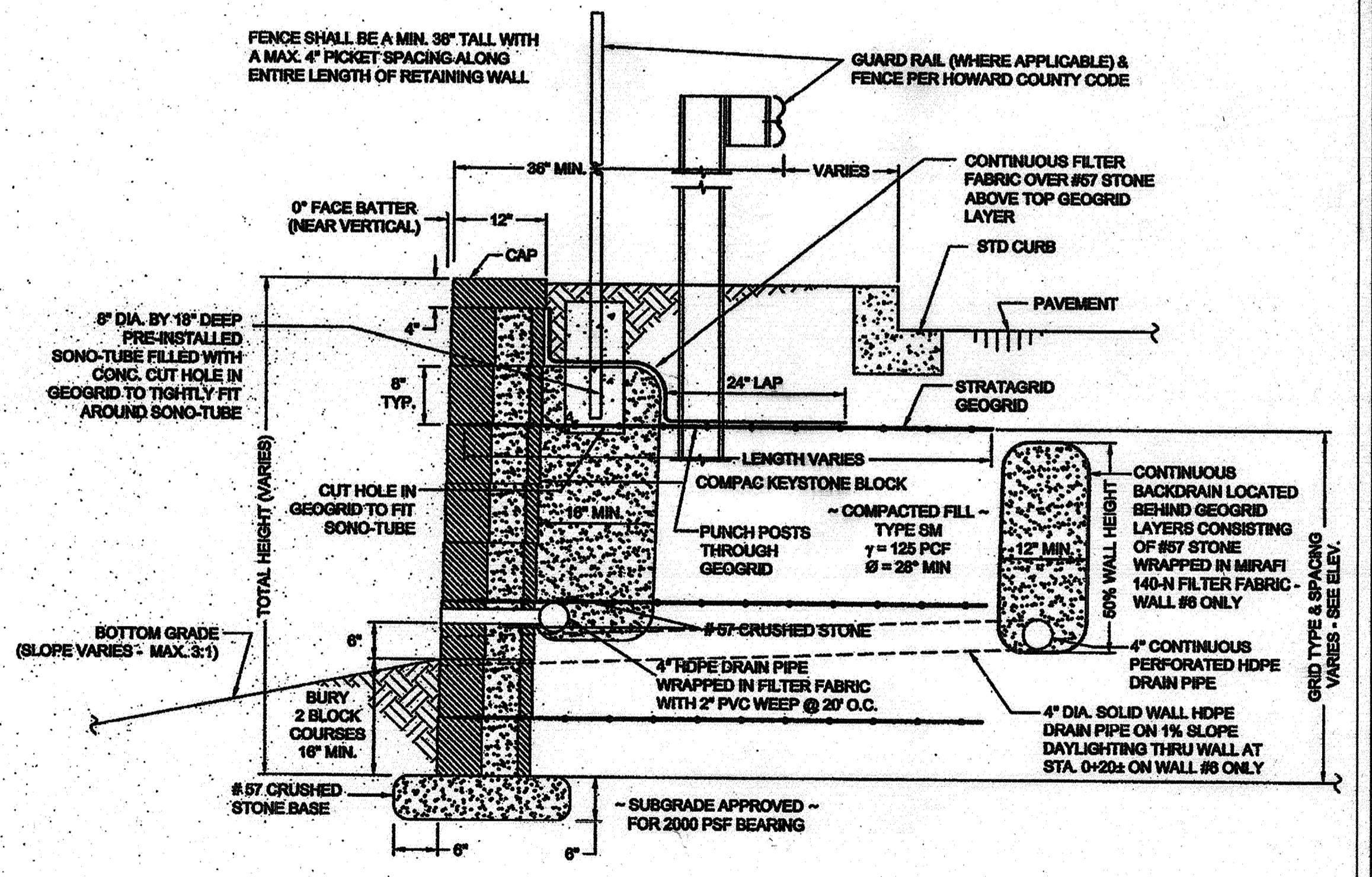
3.05 Reinforced Backfill Placement
A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
B. Reinforced backfill shall be placed and compacted in lifts not to exceed 8 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.
E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum lift thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
G. At the end of each day's operation, the Contractor shall slope the tail of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction area.

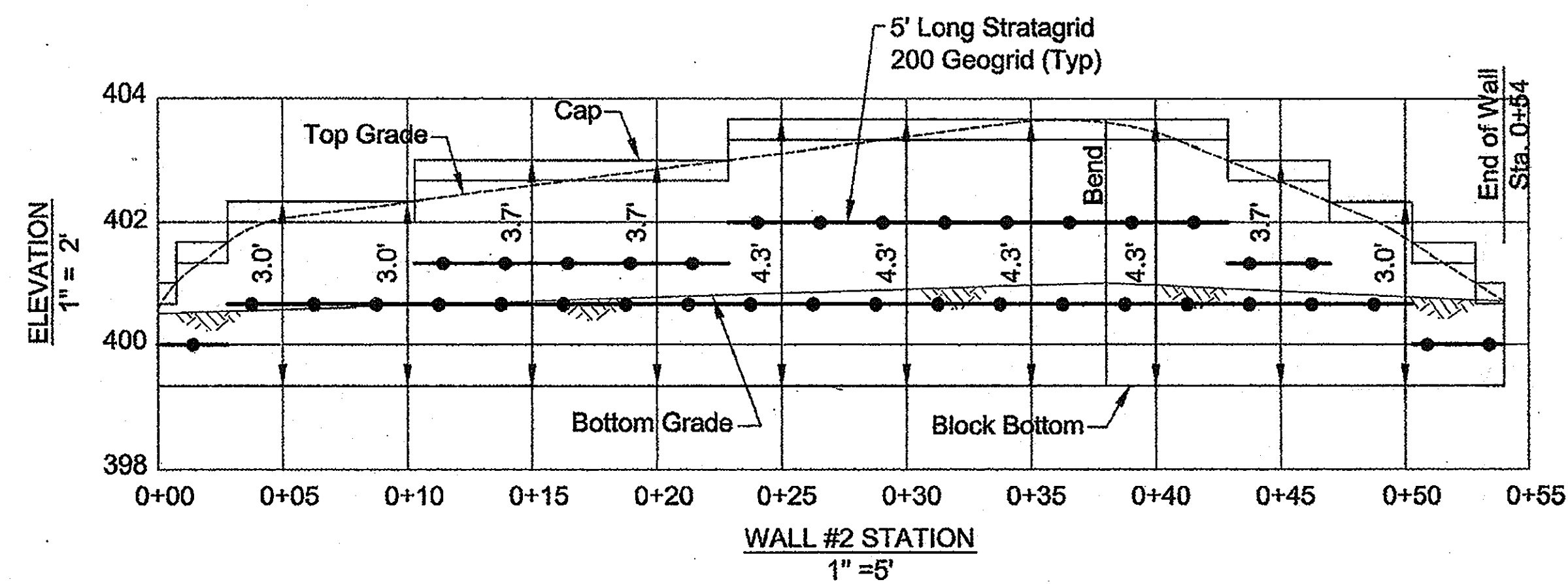
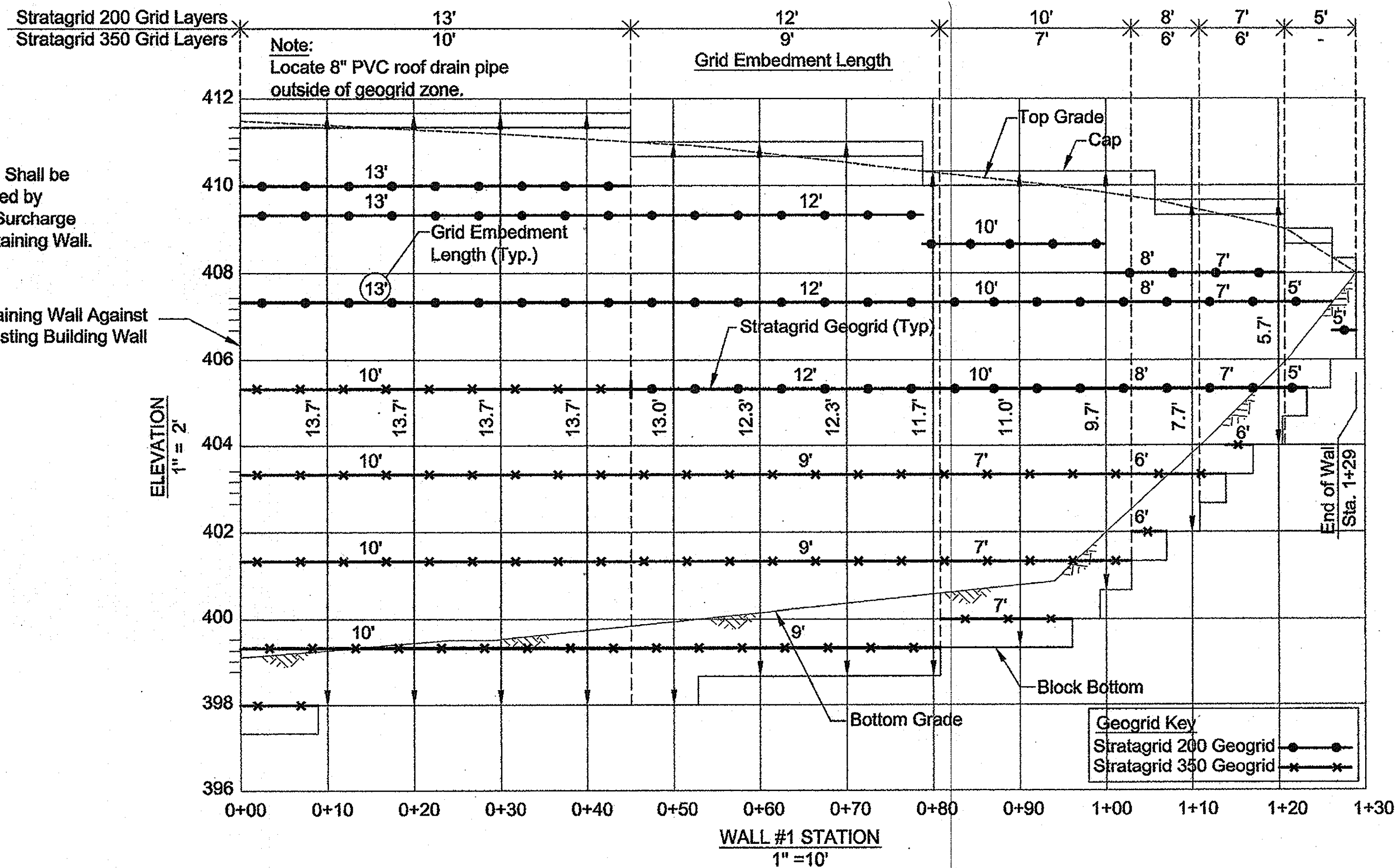
3.06 Cap Installation
A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

3.07 Field Quality Control
A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.

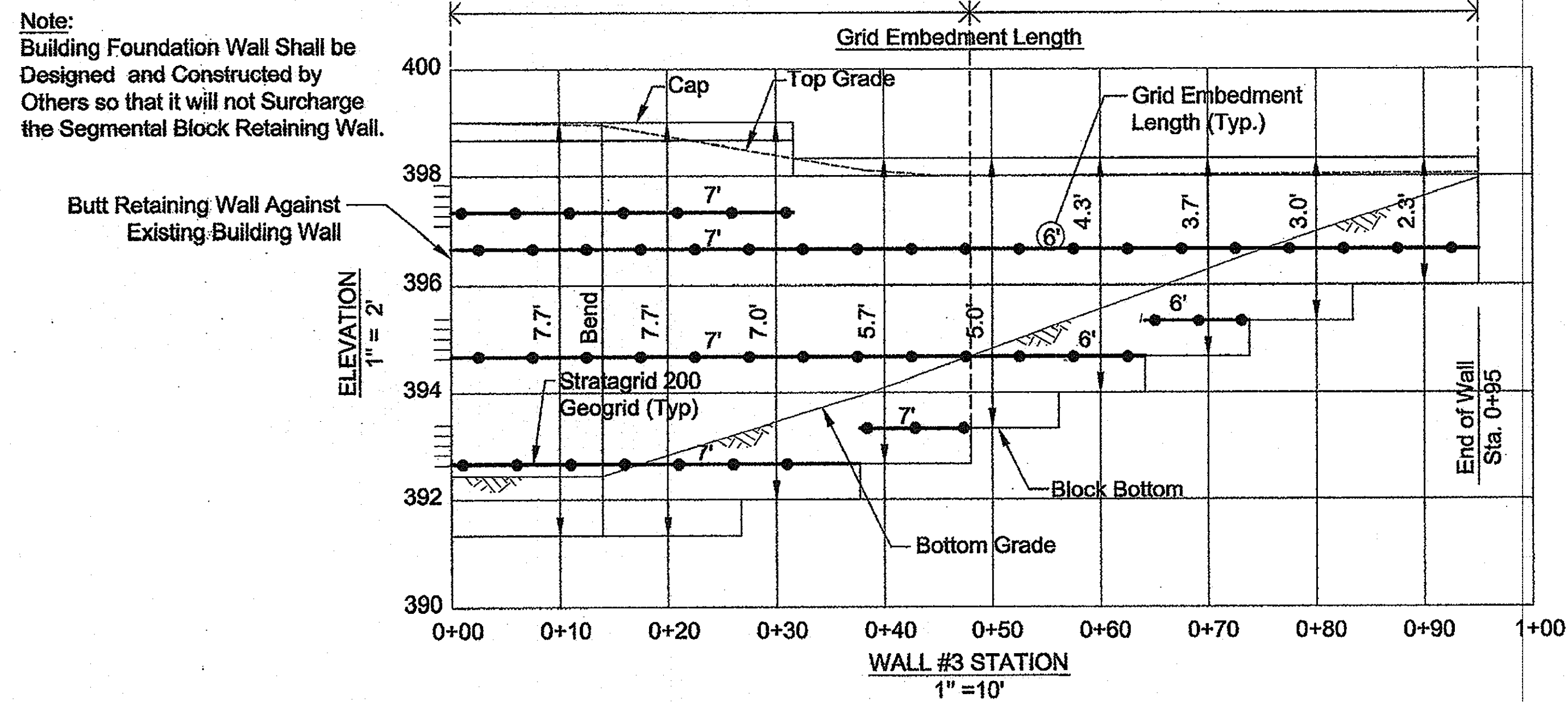
- NOTES:**
- No trees shall be planted within 10 feet of the top of the retaining wall.
 - Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - One soil boring shall be required every one hundred feet along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector Prior to the start of construction.
 - The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
 - The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - Walls shall not be constructed on uncertified fill materials.
 - Walls shall not be constructed within a Howard Co. right-of-way or easement.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES

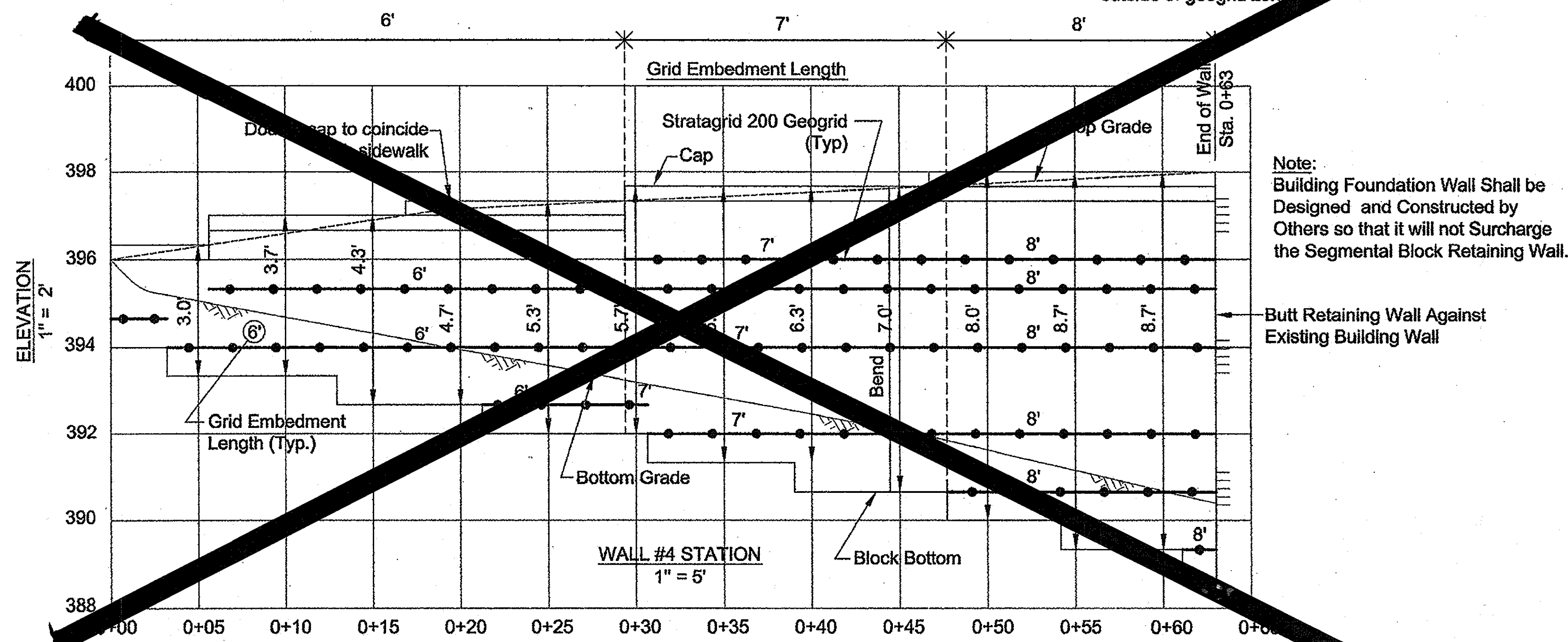




WALL #2 ELEVATION



WALL #3 ELEVATION



WALL #4 ELEVATION

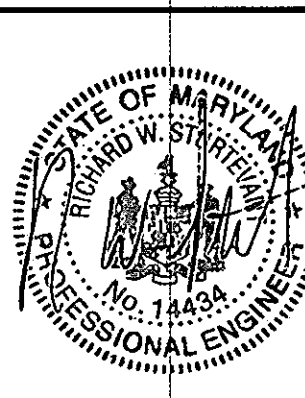
RETAINING WALL ELEVATIONS

FOREST GREEN
 △ PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NOS. 21026 & 21027
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10975 GULLFORD ROAD, SUITE A ANNAPOLIS, MARYLAND 21403
 (410) 860-4788

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 GULLFORD ROAD, SUITE A ANNAPOLIS, MARYLAND 21403
 (410) 860-4788

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS
 WERE PREPARED OR APPROVED BY ME,
 AND THAT I AM DULY LICENSED
 PROFESSIONAL ENGINEER UNDER THE
 LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 14434
 EXPIRATION DATE: 05/13/11



DATE	DESCRIPTION	REVISION BLOCK
9/21/10	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK, REMOVE WALL #4 ELEVATION VIEW.	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Thomas E. Butler</i>	Director - Department of Planning and Zoning	8/1/11
<i>Kevin Sheehan</i>	Chief, Division of Land Development	8/1/11
<i>Michael J. ...</i>	Chief, Development Engineering Division	8/1/11

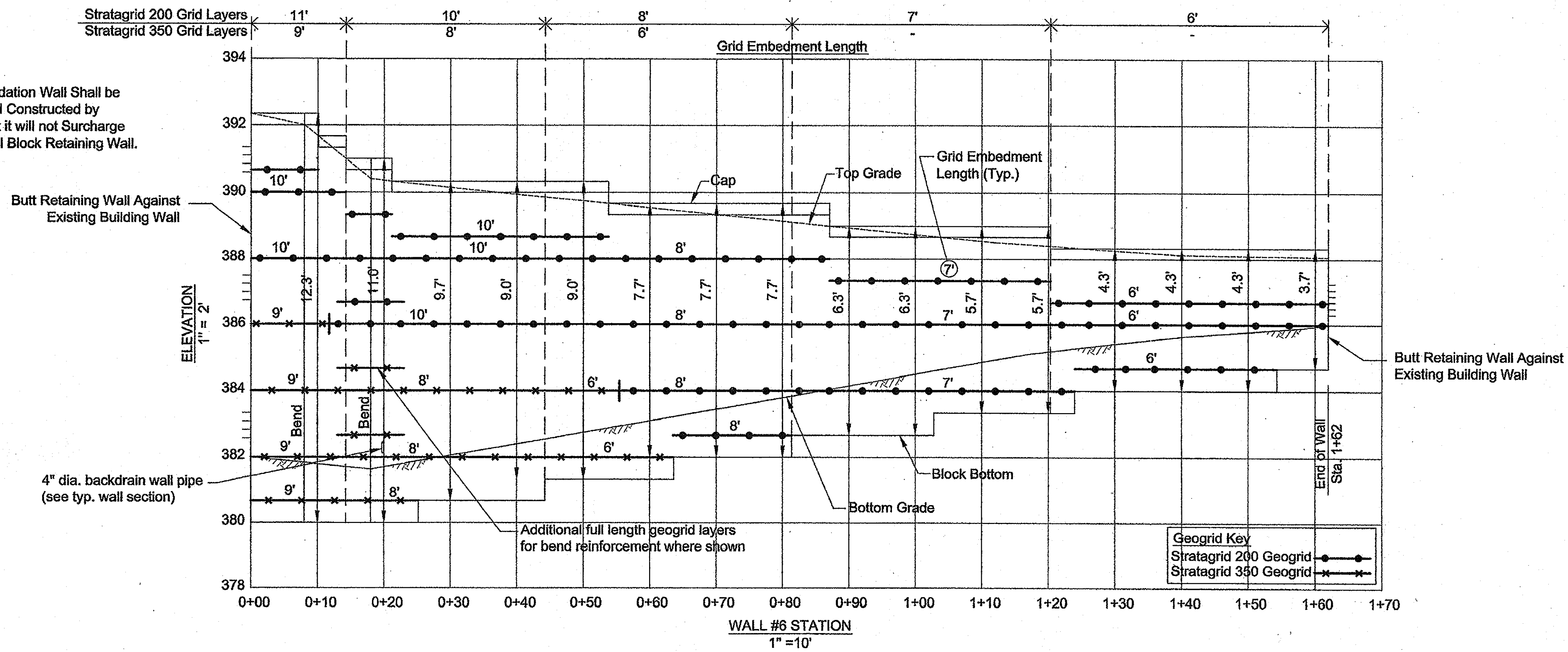
DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
PROJECT		SECTION/AREA	PARCELS
FOREST GREEN			69, 72, 453, 497 AND 1172
PLAT	BLOCK NO.	ZONE	TAX MAP
21026 & 21027	2	B-1 B-2	24
ELEC. DIST.		CENSUS TR.	LOT
SECOND			6023.01

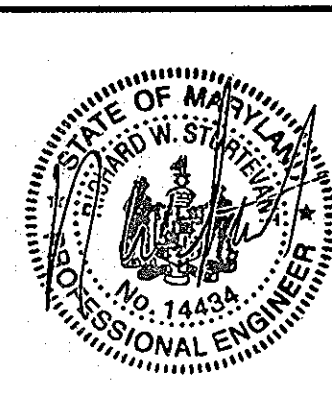
Note:
Building Foundation Wall Shall be
Designed and Constructed by
Others so that it will not Surcharge
the Segmental Block Retaining Wall.



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORONAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2899

HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 860-4788 Fax: (410) 860-4098

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE PLANS
WERE PREPARED OR APPROVED BY ME,
AND THAT I AM DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 14434
EXPIRATION DATE: 05/13/11



APPROVED: DEPARTMENT OF PLANNING AND ZONING
DATE: 9/21/12 REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK
DESCRIPTION: REVISION BLOCK
APPROVED: *Thomas J. Butler* 8/1/11
Director - Department of Planning and Zoning
APPROVED: *Kurt Schaefer* 8/1/11
Chief, Division of Land Development
APPROVED: *[Signature]* 8/1/11
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422
OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422
OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10045 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
PROJECT: FOREST GREEN			
SECTION/AREA	PARCELS	LOT	
	69, 72, 453, 497 AND 1172	A	
PLAT	21036 & 21037	TAX MAP	24
BLOCK NO.	2	ELEC. DIST.	SECOND
ZONE	B-1 B-2	CENSUS TR.	6023.01

RETAINING WALL ELEVATIONS

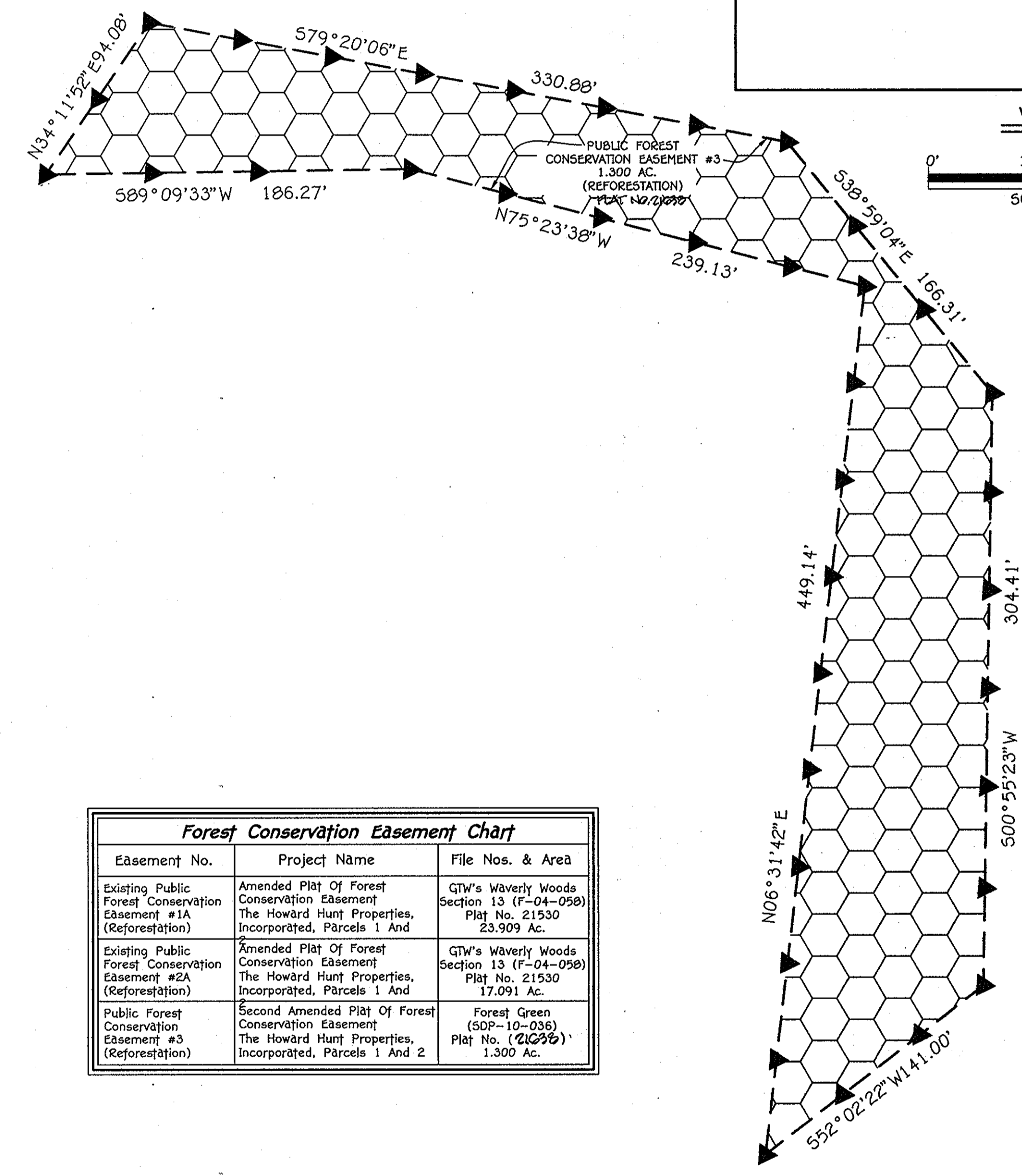
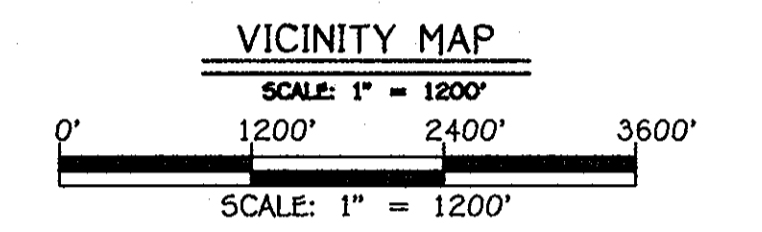
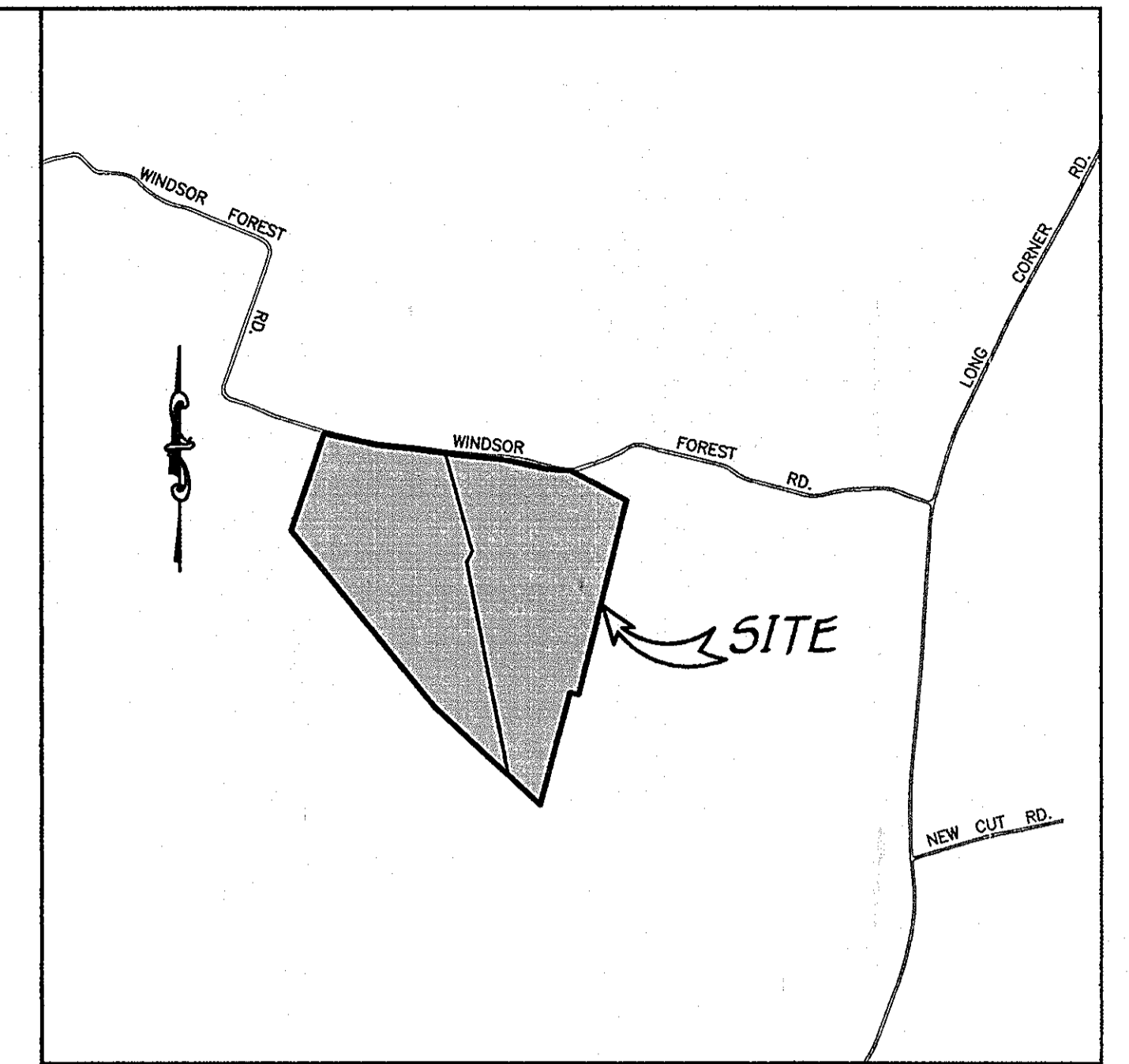
FOREST GREEN
△ PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S: 21036 & 21037
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 26 OF 42 SDP-10-036

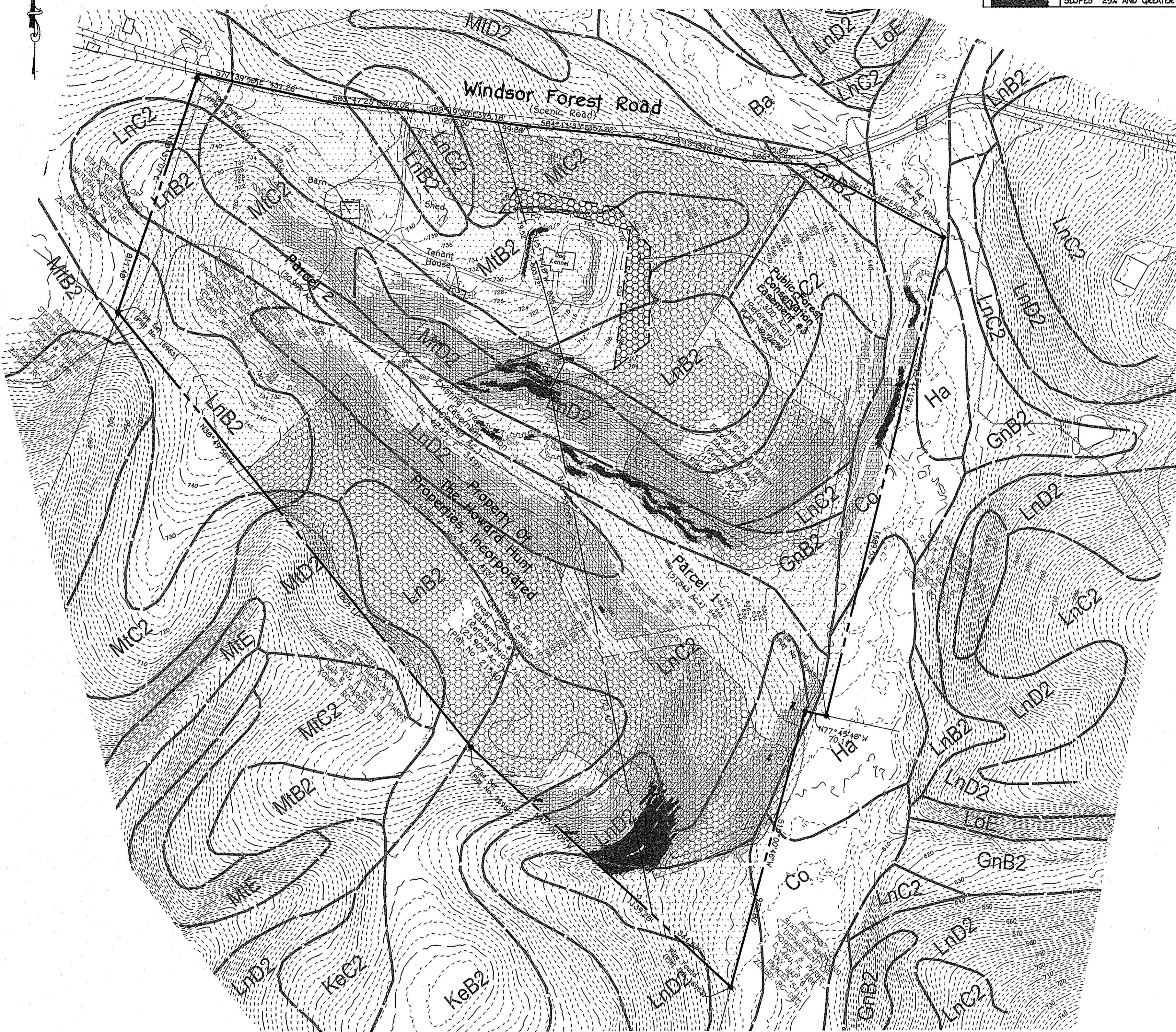
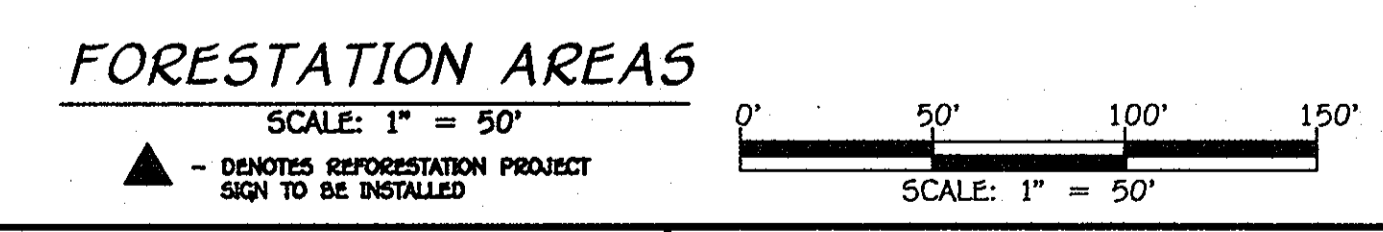
LEGEND	
SYMBOL	DESCRIPTION
--- 672 ---	EXISTING CONTOUR 2' INTERVAL
--- 670 ---	EXISTING CONTOUR 10' INTERVAL
[Hatched Box]	EXISTING SEPTIC AREA
[Dotted Box]	FOREST CONSERVATION EASEMENT
[Cross-hatched Box]	EXISTING TREE
[Stippled Box]	SLOPES 15% - 24.9%
[Solid Black Box]	SLOPES 25% AND GREATER

SOILS LEGEND		
SOIL	NAME	CLASS
** Ba	Baile silt loam	D
* Co	Codorus silt loam	C
* GnB2	Glenville silt loam, 3 to 8 percent slopes, moderately eroded	C
** Ha	Harboro silt loam	D
* KeB2	Kelly silt loam, 3 to 8 percent slopes, moderately eroded	D
* KeC2	Kelly silt loam, 8 to 15 percent slopes, moderately eroded	D
LnB2	Linganore channery loam, 3 to 8 percent slopes, moderately eroded	C
LnC2	Linganore channery loam, 8 to 15 percent slopes, moderately eroded	C
LnD2	Linganore channery loam, 15 to 25 percent slopes, moderately eroded	C
LoE	Linganore channery silt loam, 25 to 45 percent slopes	C
MtB2	Mt. Airy channery loam, 3 to 8 percent slopes, moderately eroded	A
MtC2	Mt. Airy channery loam, 8 to 15 percent slopes, moderately eroded	A
MtD2	Mt. Airy channery loam, 15 to 25 percent slopes, moderately eroded	A
MtE	Mt. Airy channery loam, 25 to 45 percent slopes	A

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



Forest Conservation Easement Chart		
Easement No.	Project Name	File Nos. & Area
Existing Public Forest Conservation Easement #1A (Reforestation)	Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	GTW's Waverly Woods Section 13 (F-04-058) Plat No. 21530 23.909 Ac.
Existing Public Forest Conservation Easement #2A (Reforestation)	Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	GTW's Waverly Woods Section 13 (F-04-058) Plat No. 21530 17.091 Ac.
Public Forest Conservation Easement #3 (Reforestation)	Second Amended Plat Of Forest Conservation Easement The Howard Hunt Properties, Incorporated, Parcels 1 And 2	Forest Green (50P-10-036) Plat No. (2025) 1.300 Ac.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SOURCE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21142
 (410) 461-2899

Eco-Science Professionals, Inc.
 CONSULTING ECOLOGISTS
 MD DNR Qualified Professional
 USACE Regional Designer
 Certification # WDCP93MD06100448
 J.C. CANNON
 JOHN P. CANNON

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Charles J. Grovo
 CHARLES J. GROVO, SR., P.E.
 5/31/11 DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Thomas J. Butler 8/1/11 DATE
 Director - Department of Planning and Zoning
Pat Schaefer 8/1/11 DATE
 Chief, Division of Land Development
John P. Cannon 7/20/11 DATE
 Chief, Development Engineering Division

DATE	DESCRIPTION
	REVISION BLOCK

OWNER
 THE HOWARD HUNT PROPERTIES, INC.
 P.O. Box 823
 Mount Airy, MARYLAND 21771-0823
 Tel. No.: 443-367-0422

DEVELOPER
 FOREST VENTURES II, LLC
 5300 DORSEY HALL DRIVE, SUITE 102
 ELLICOTT CITY, MARYLAND 21042

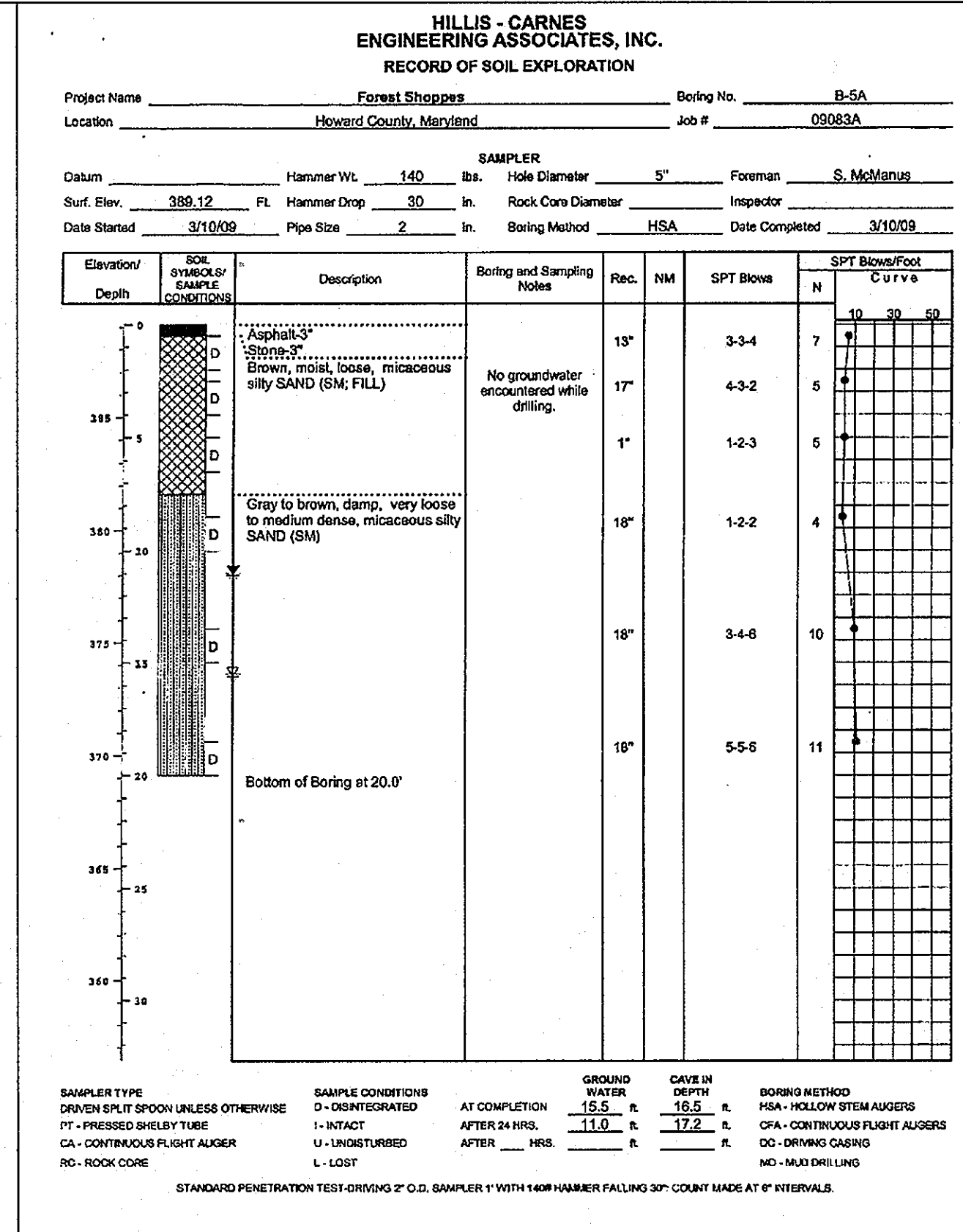
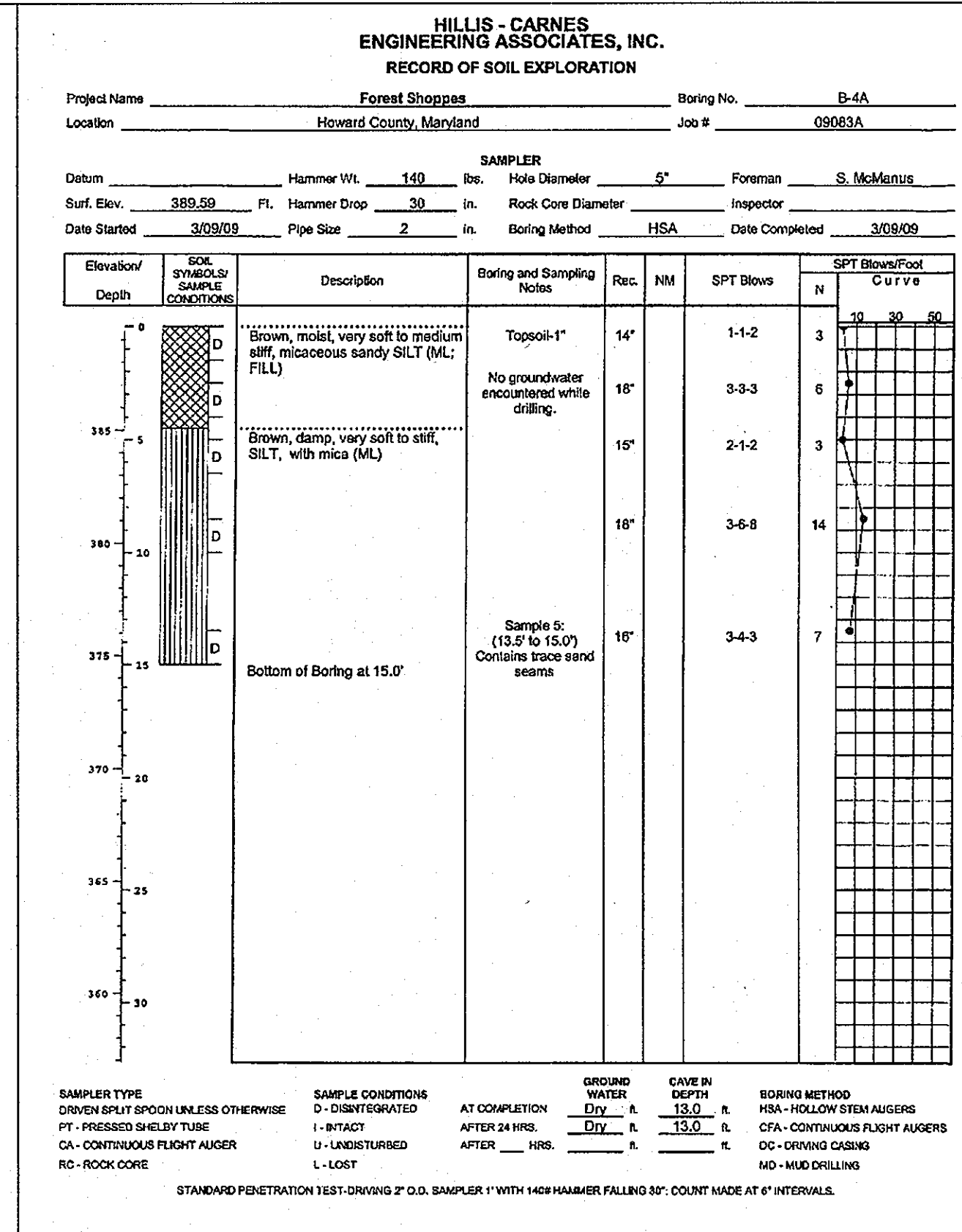
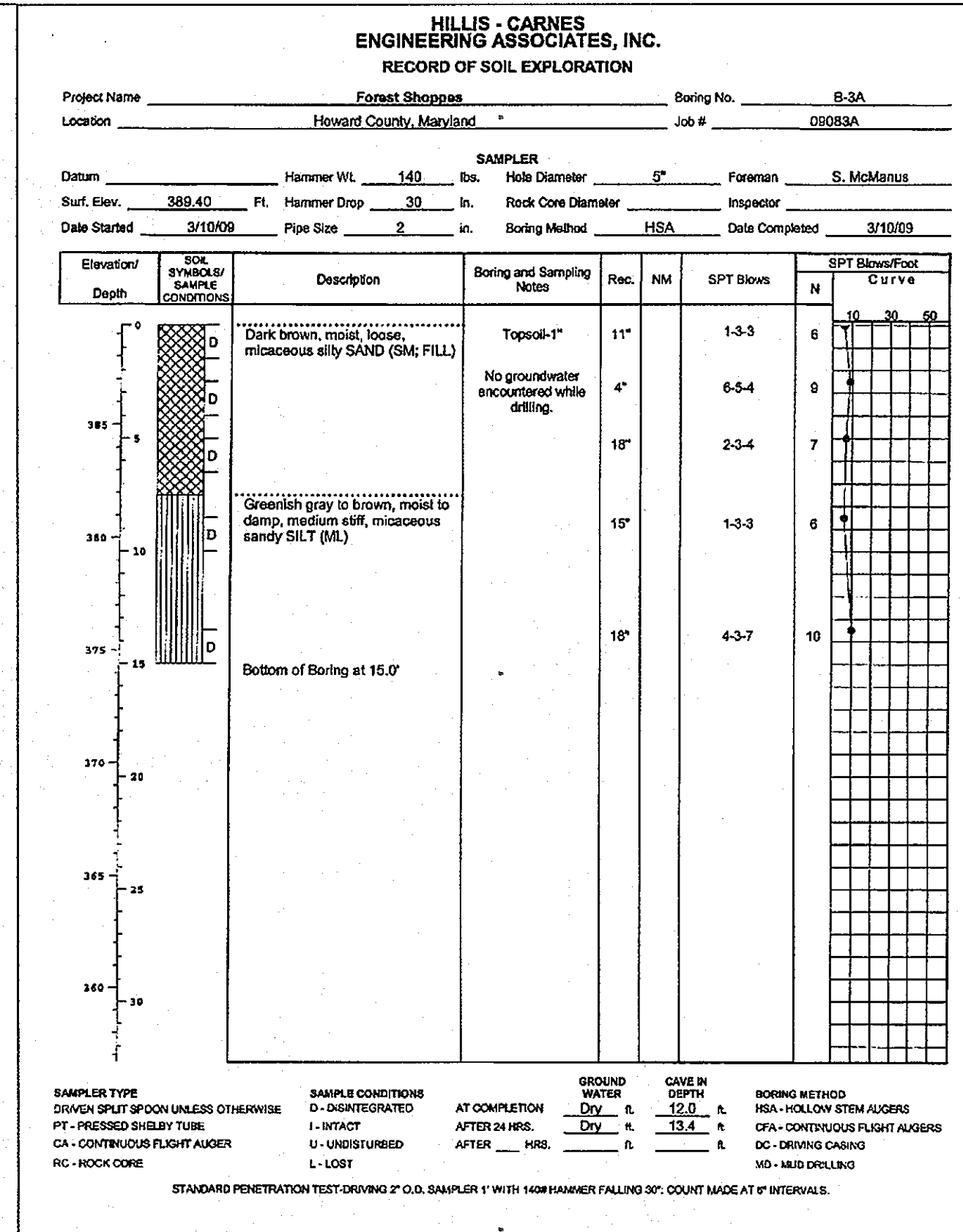
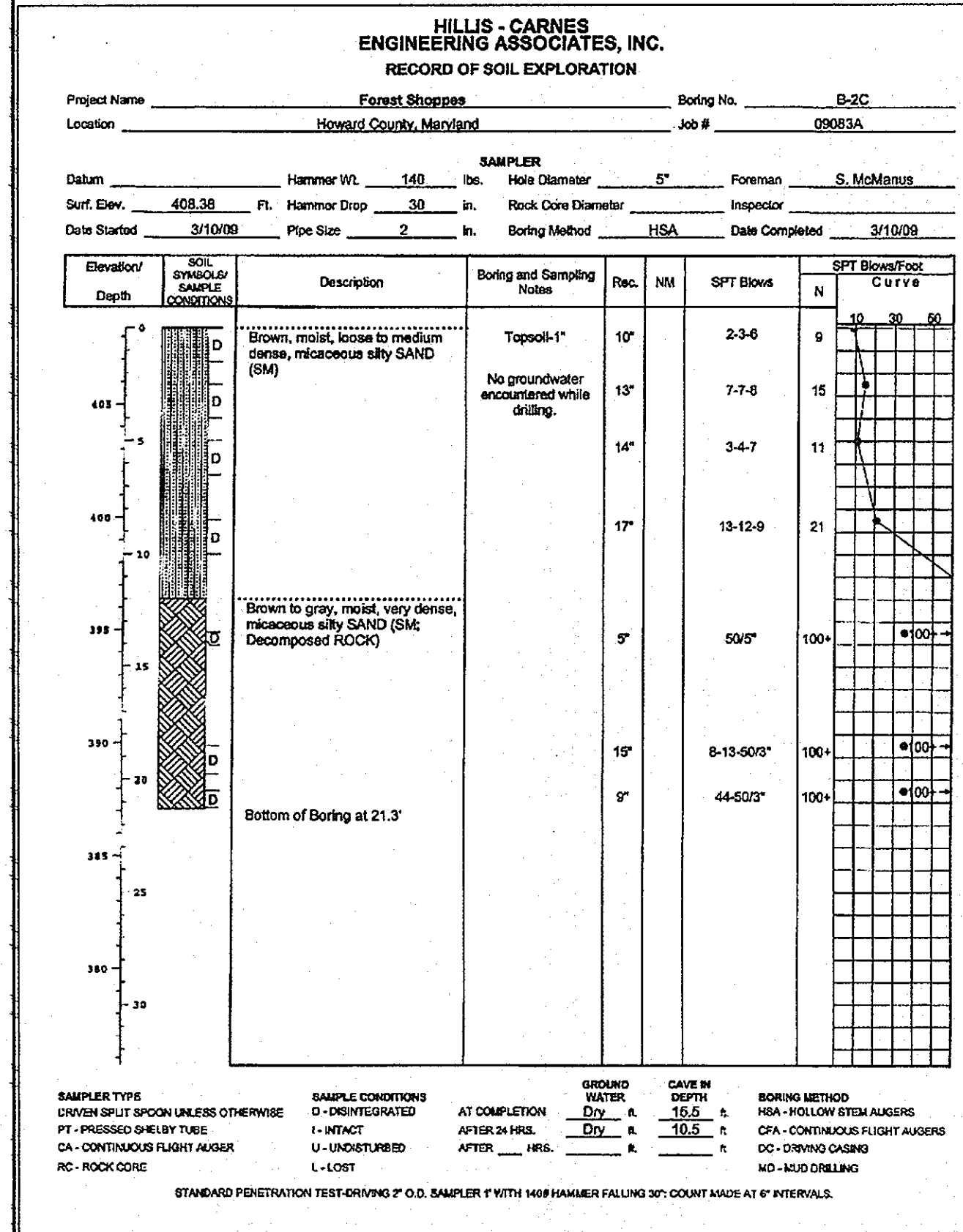
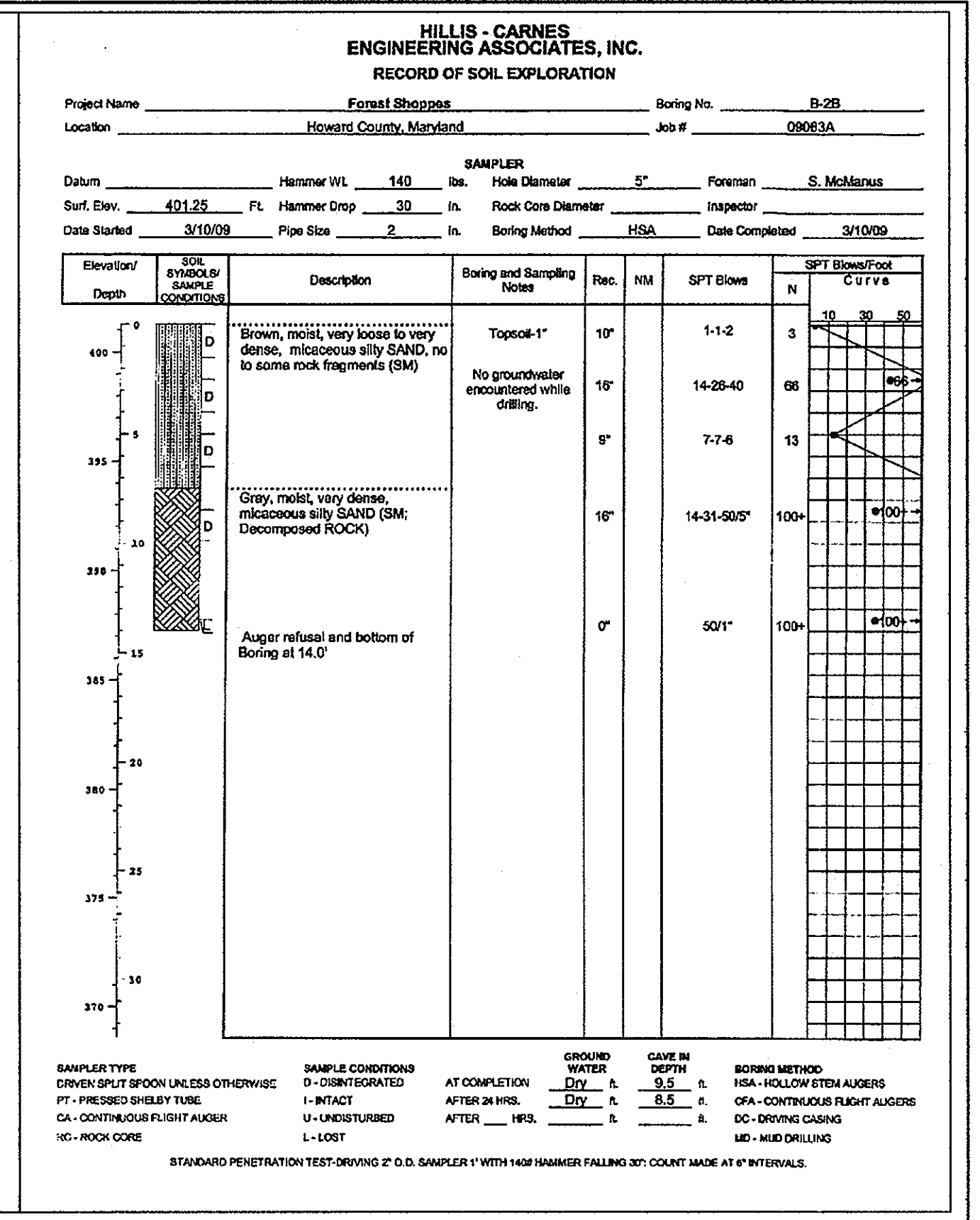
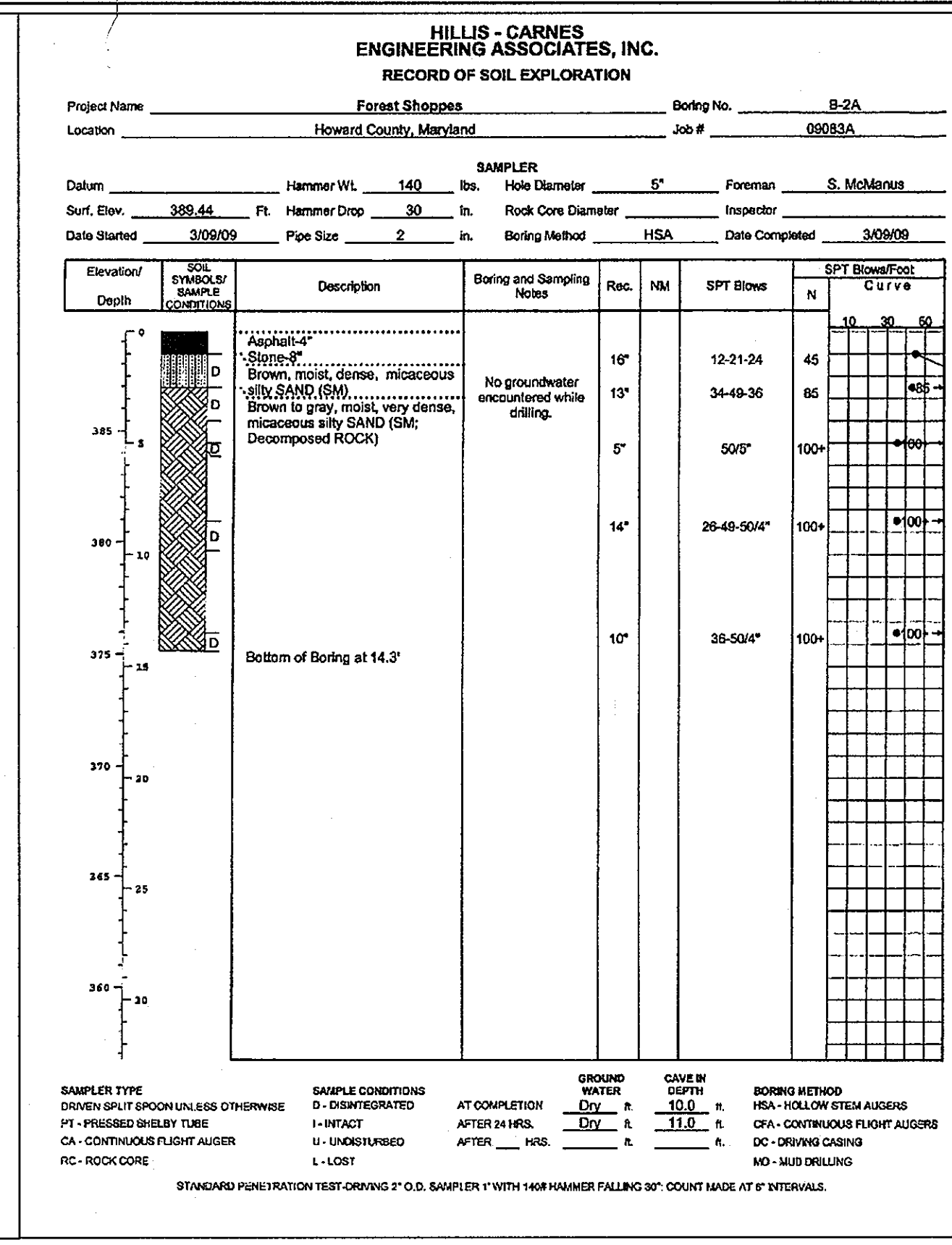
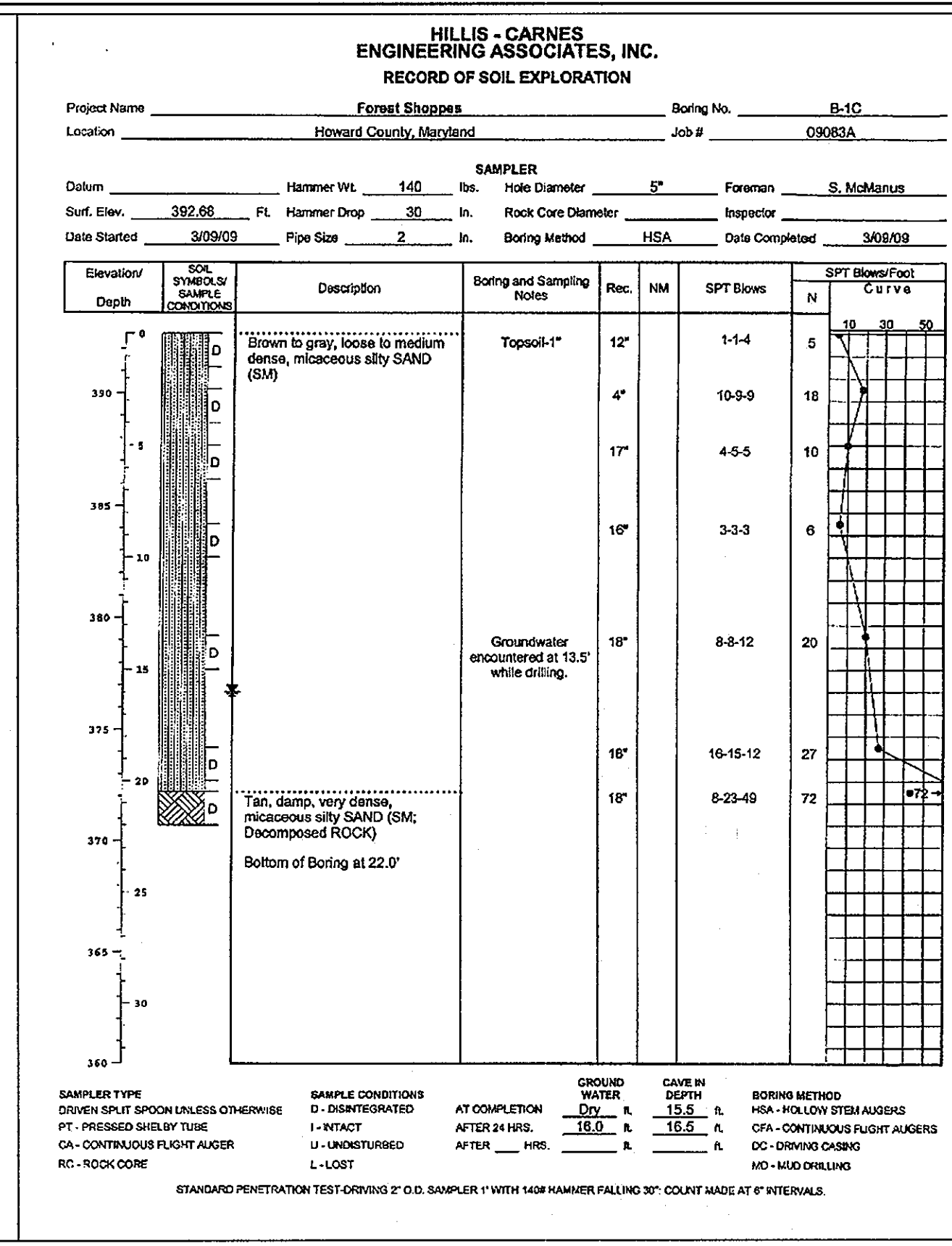
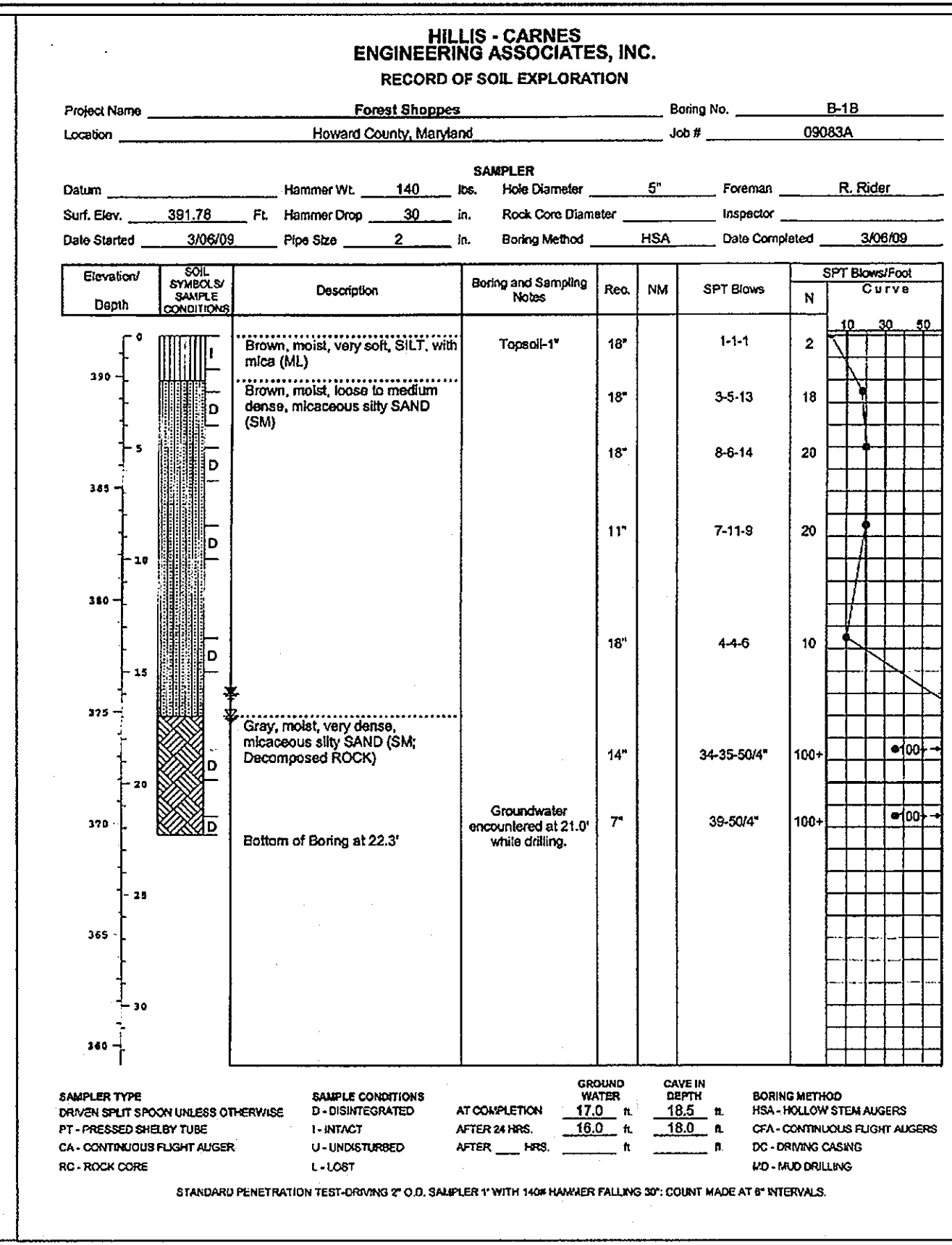
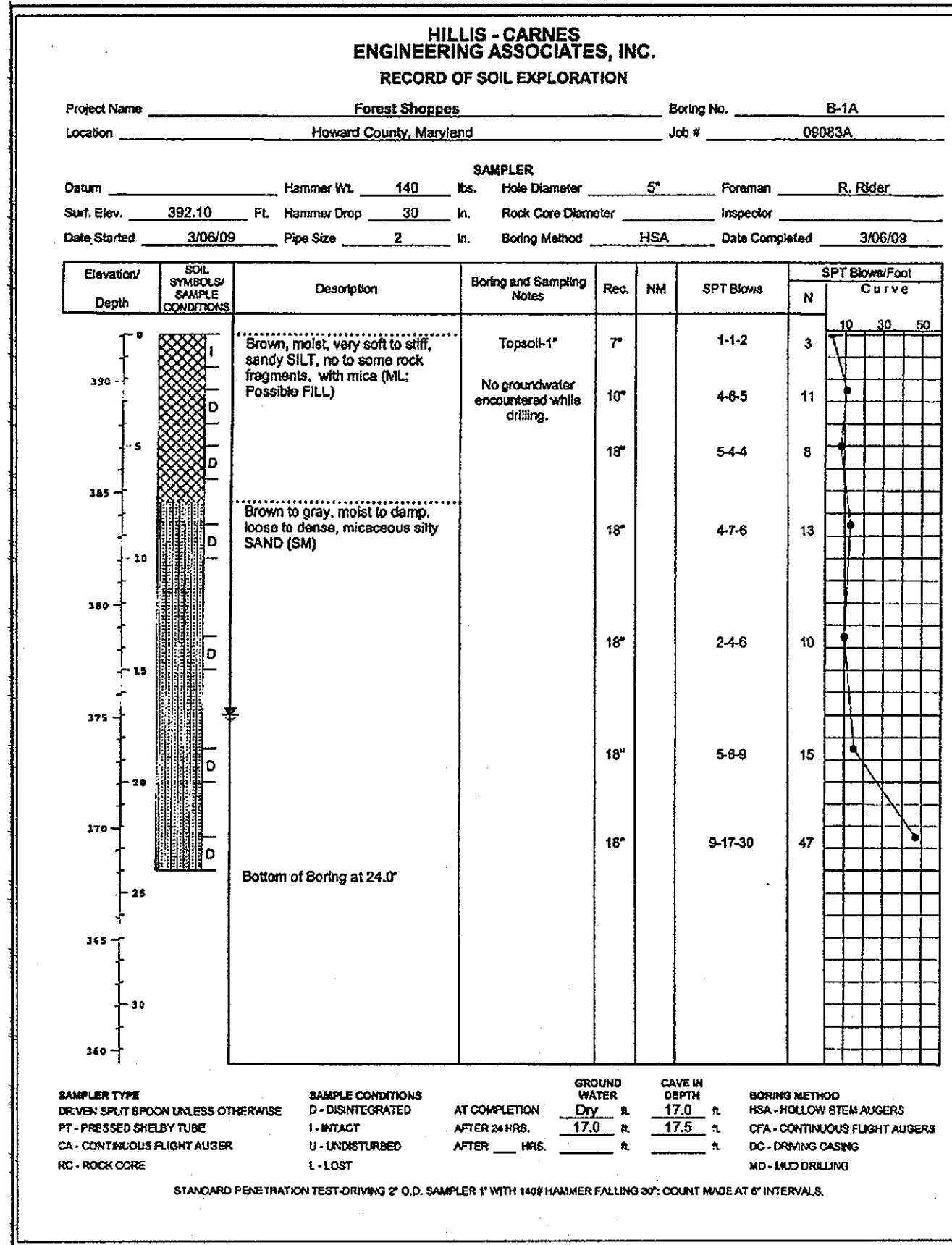
Address Chart	
PARCEL NO.	STREET ADDRESS
51	WINDSOR FOREST ROAD, MT. AIRY, MARYLAND 21771
159	18821 WINDSOR FOREST RD, MT. AIRY, MARYLAND 21771

OFF-SITE AFFORESTATION PLAN	SECTION/AREA	P.O. PARCEL
AT THE HOWARD HUNT PROPERTIES, INC.		51 & 159
PLAT # 21025	BLOCK NO. ZONE	ELEC. DIST. CENSUS TR.
	RC-DEO 6	FOURTH

OFF-SITE AFFORESTATION PLAN
 @ THE HOWARD HUNT PROPERTIES, INC.
 PLAT NO. 21025

TAX MAP No. 6, P/O Parcel No. 51, GRID No.: 15
 TAX MAP No. 6, P/O Parcel No. 159, GRID No. 14
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 200' DATE: OCTOBER 22, 2010

SHEET 27 OF 42 SDP-10-036



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 10722 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *[Signature]* Date: 5/31/11

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize personnel on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *[Signature]* Date: 6/1/11

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Signature: *[Signature]* Date: 5/31/11
 CHARLES J. KROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* Date: *[Date]*

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

DATE: 5/31/11
 DATE: 6/1/11
 DATE: 7/20/11

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT
 FOREST GREEN
 PLAT 21036 & 21037

SECTION/AREA
 -

PARCELS
 69, 72, 453, 497 AND 1172

LOT
 A

TAX MAP
 21036 & 21037

ZONE
 B-1
 B-2

TAX MAP
 24

ELEC. DIST.
 SECOND

CENSUS TR.
 6023.01

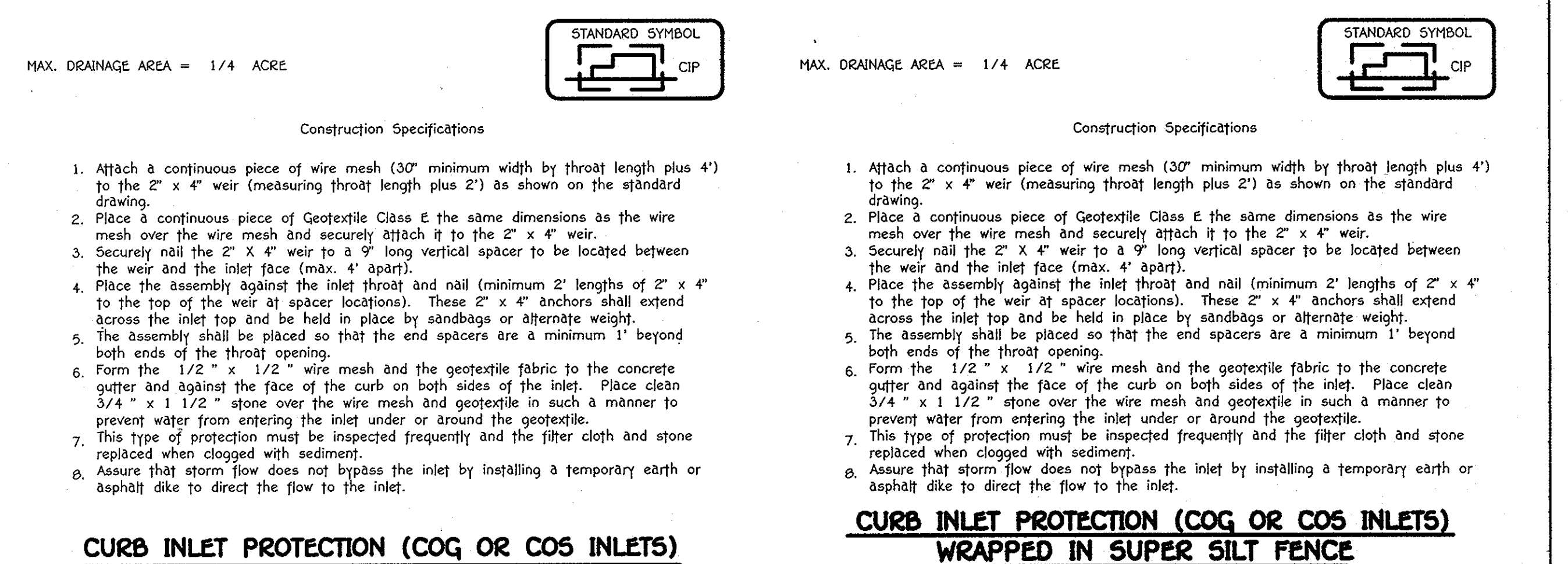
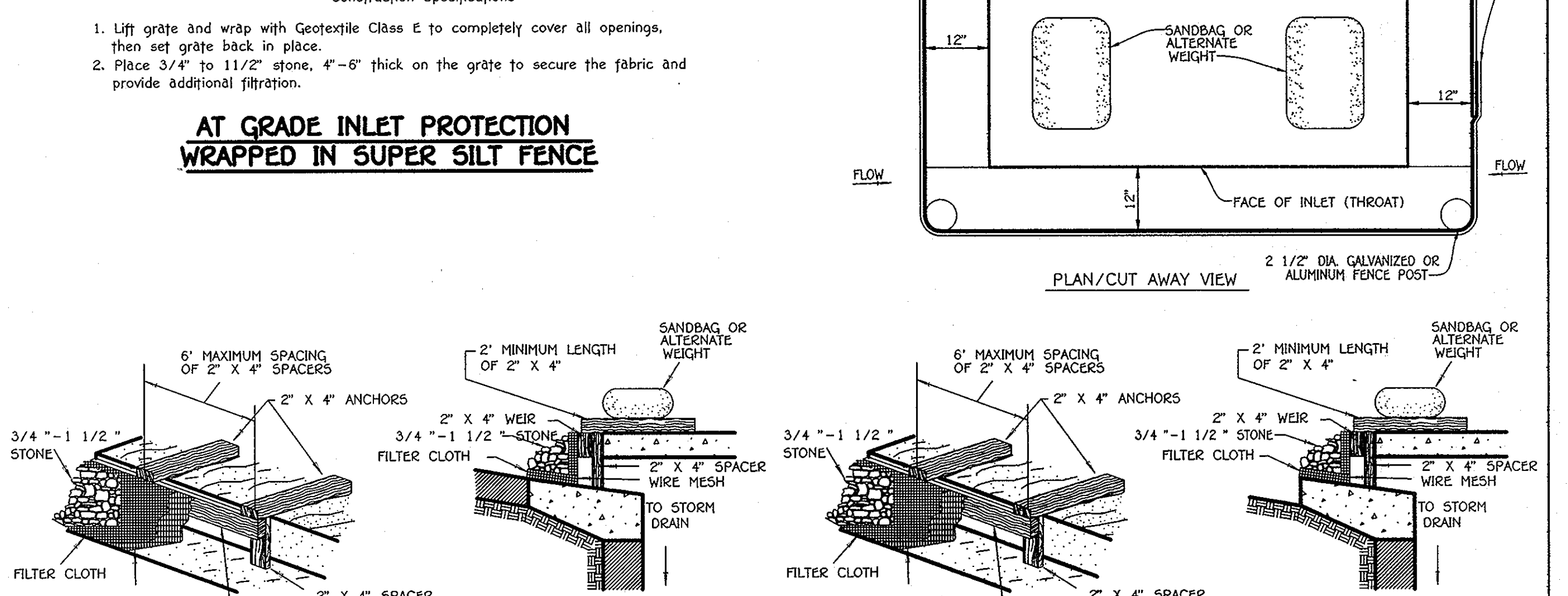
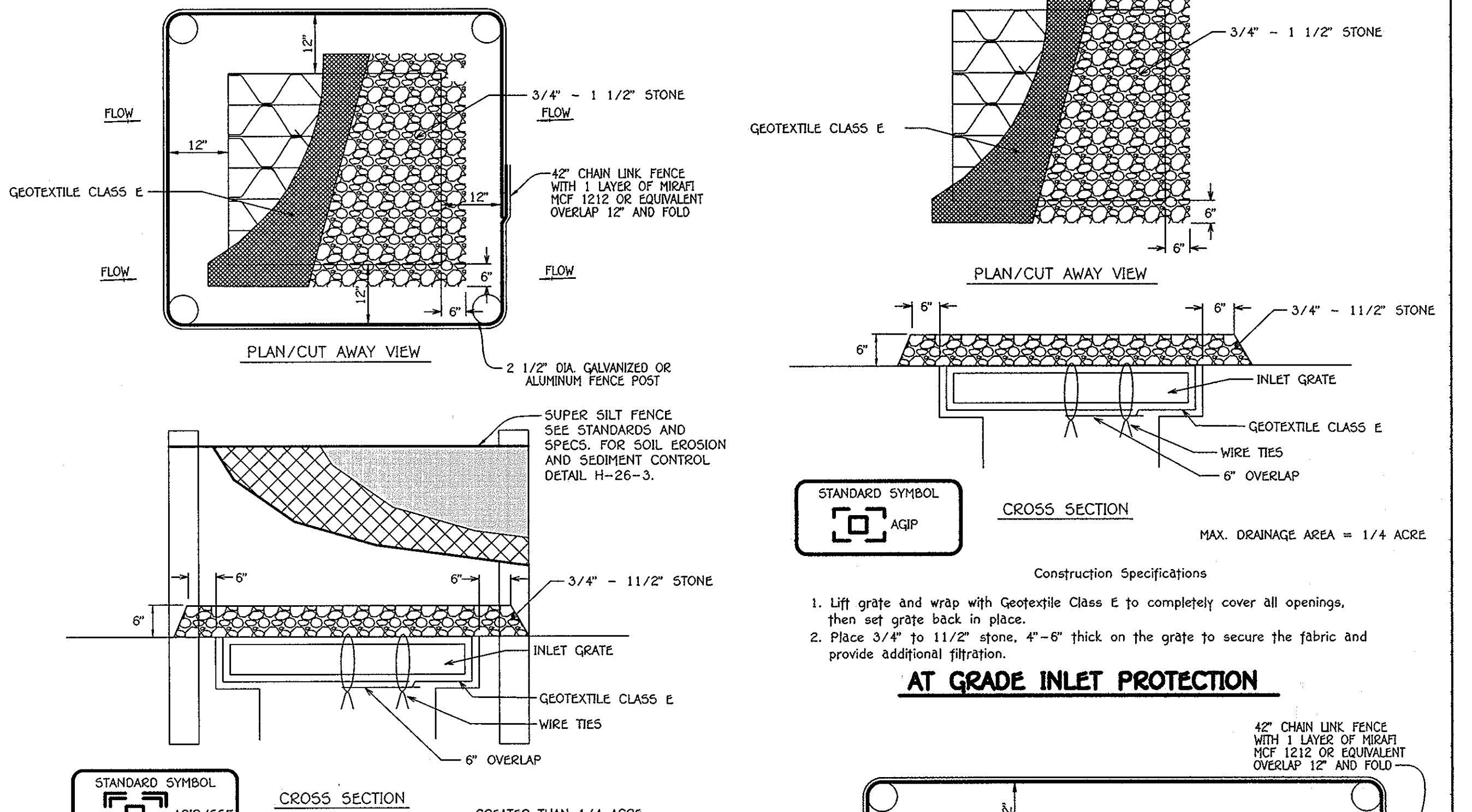
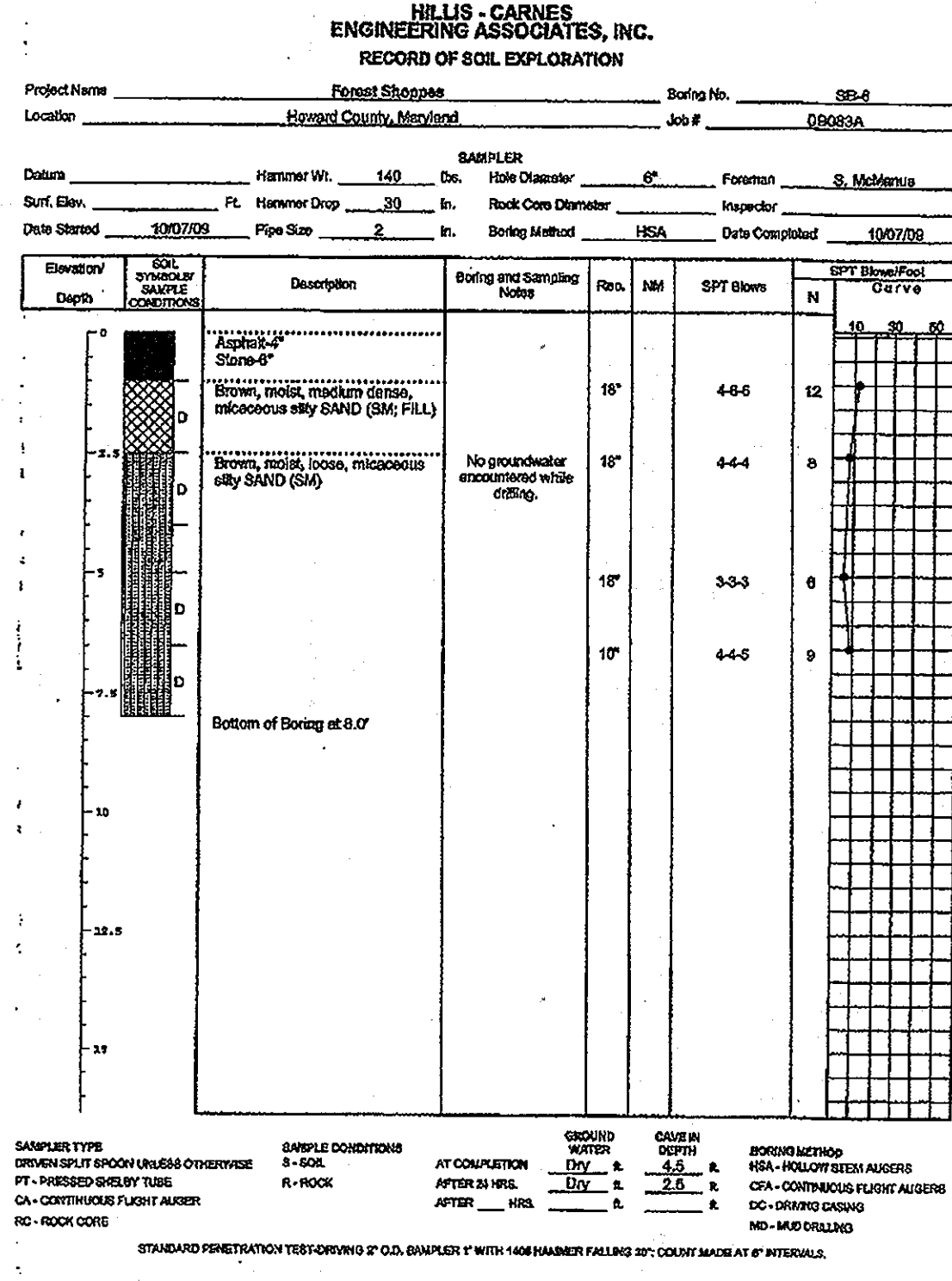
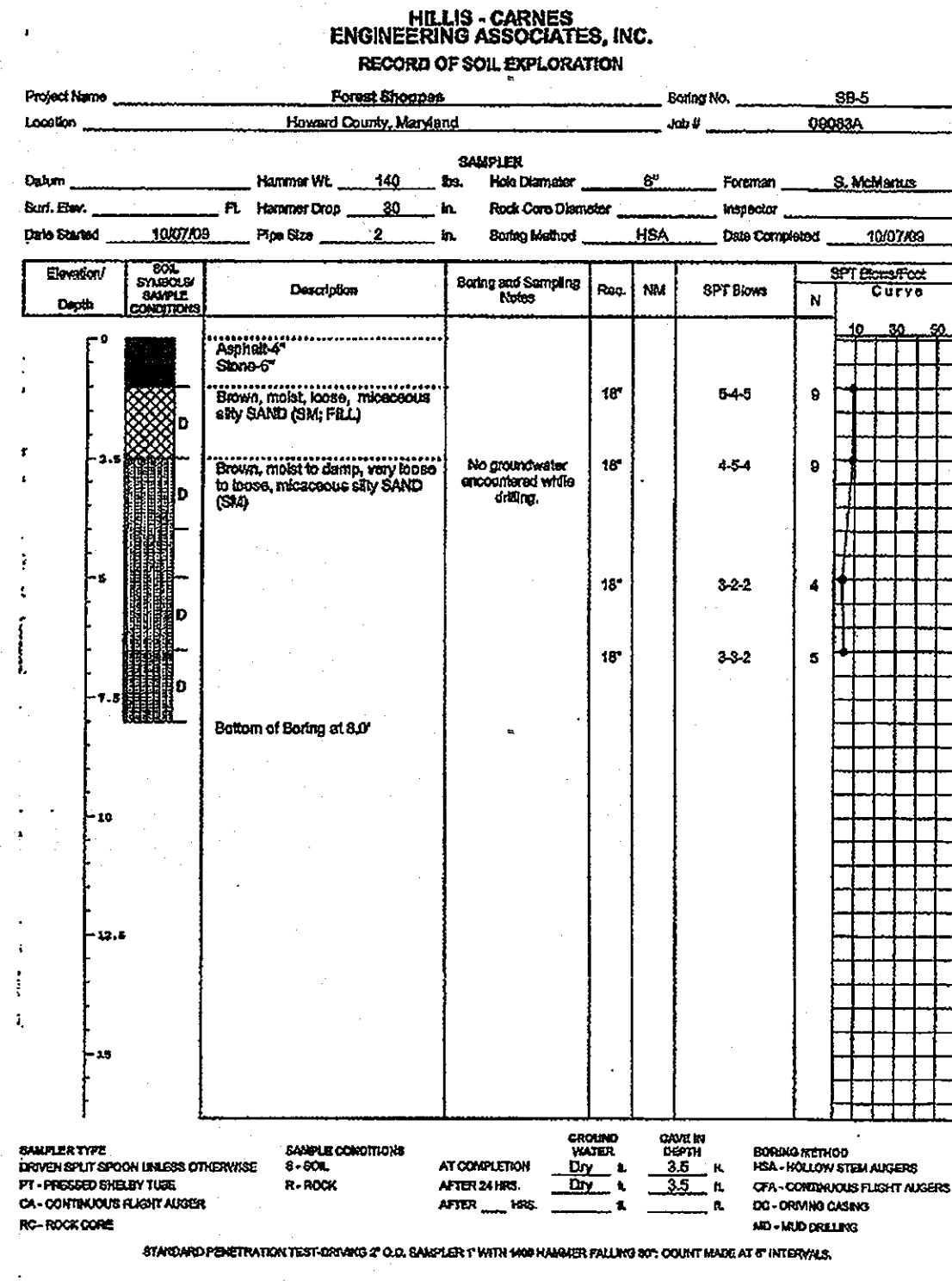
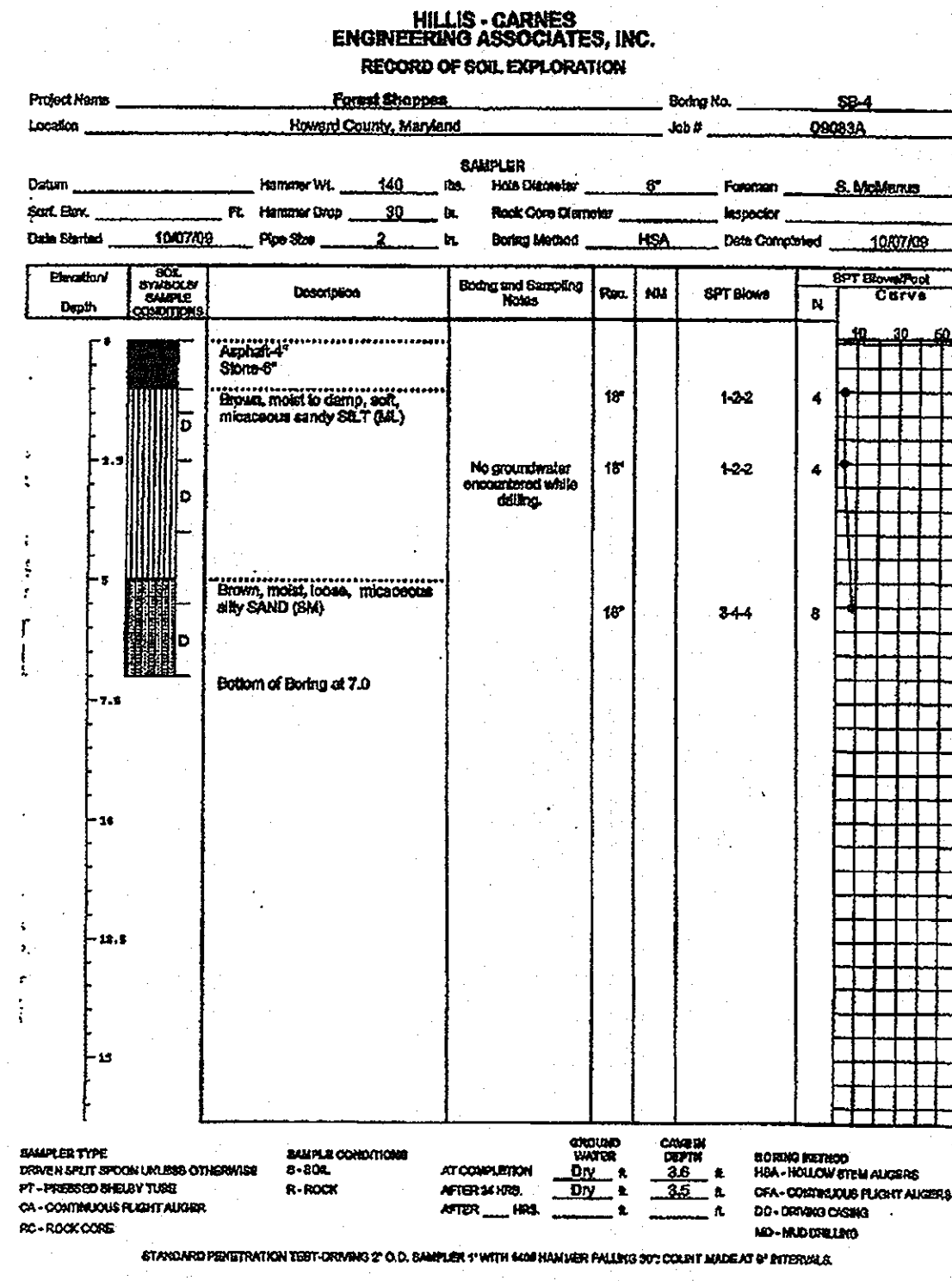
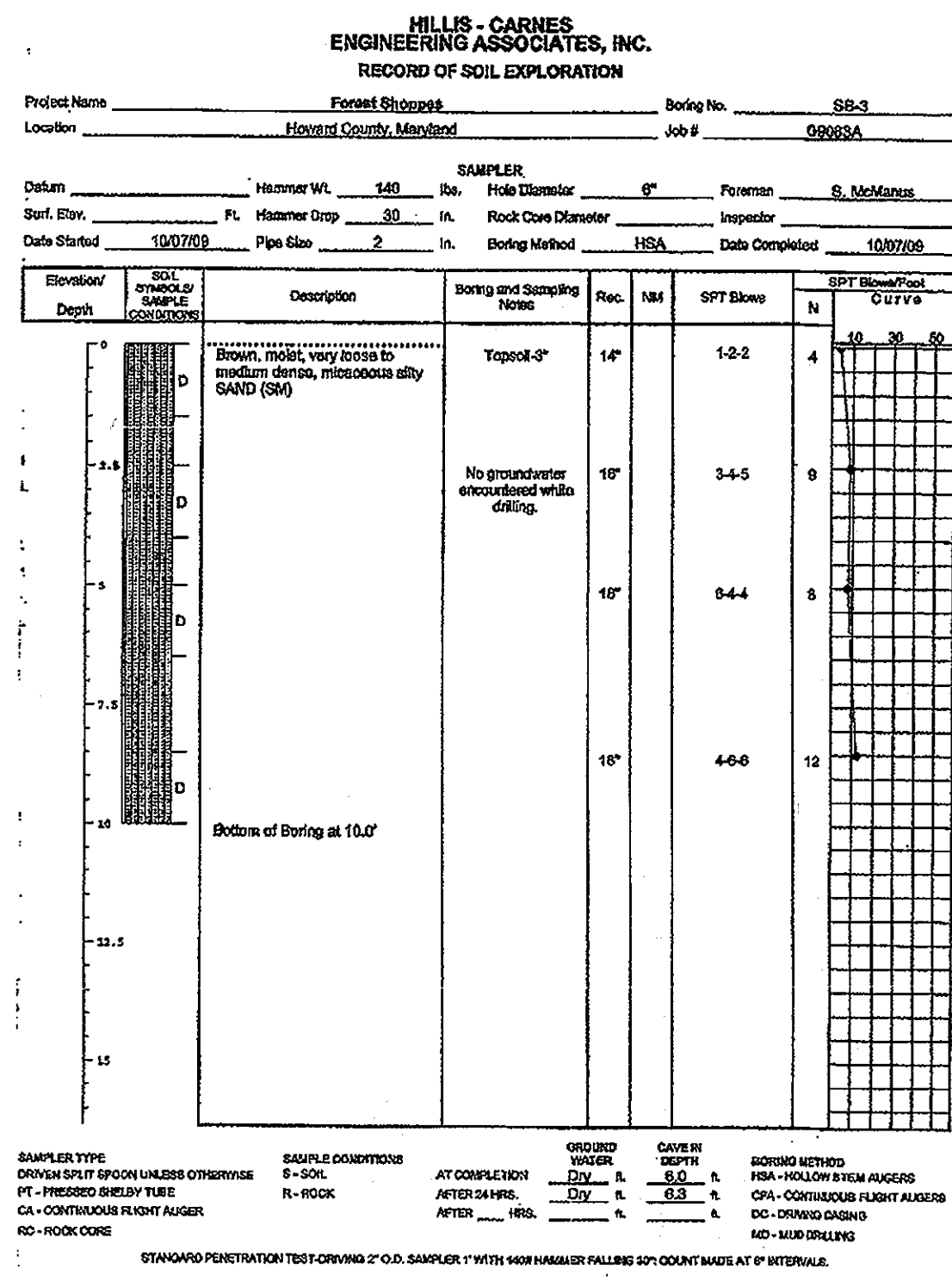
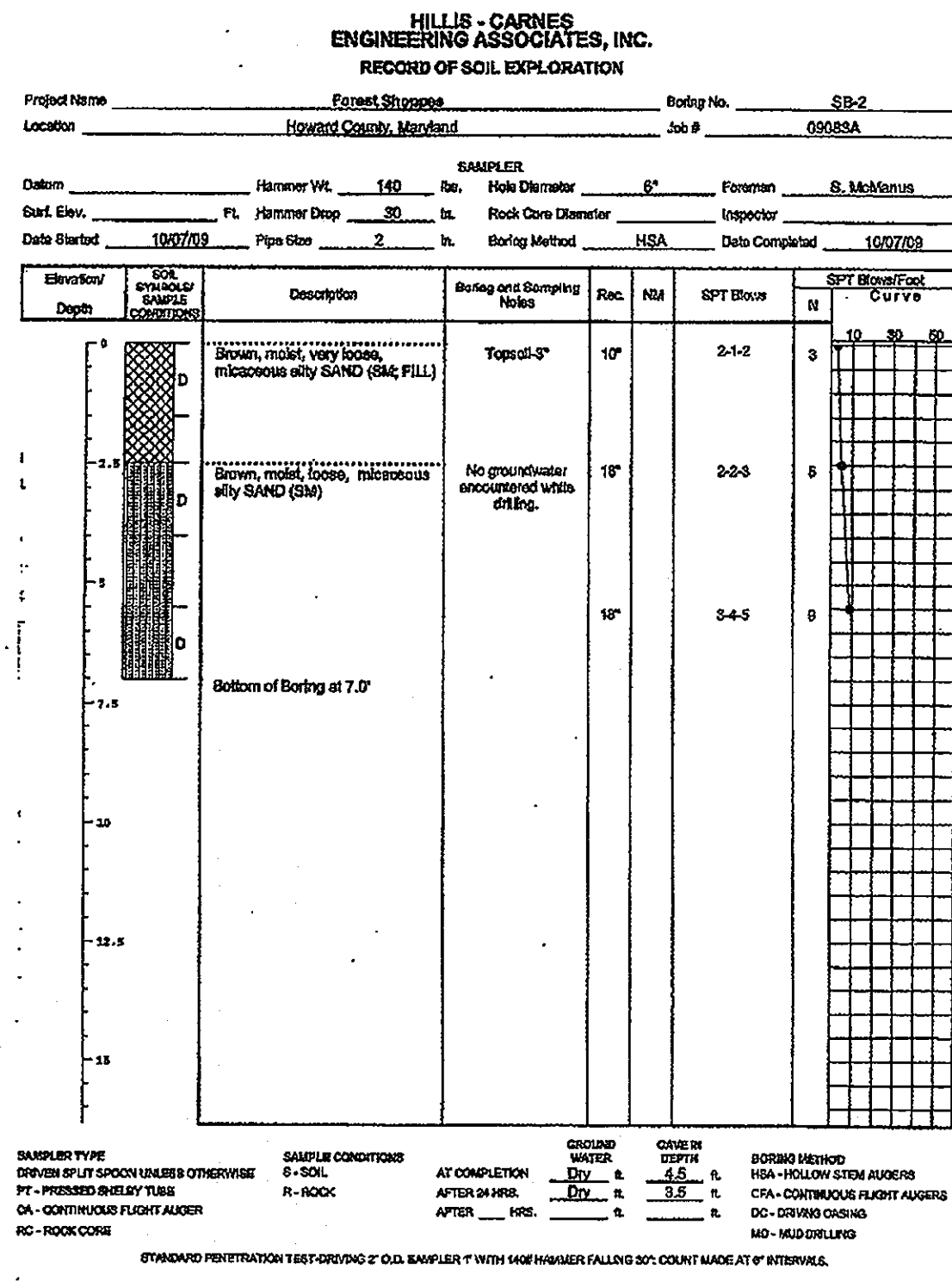
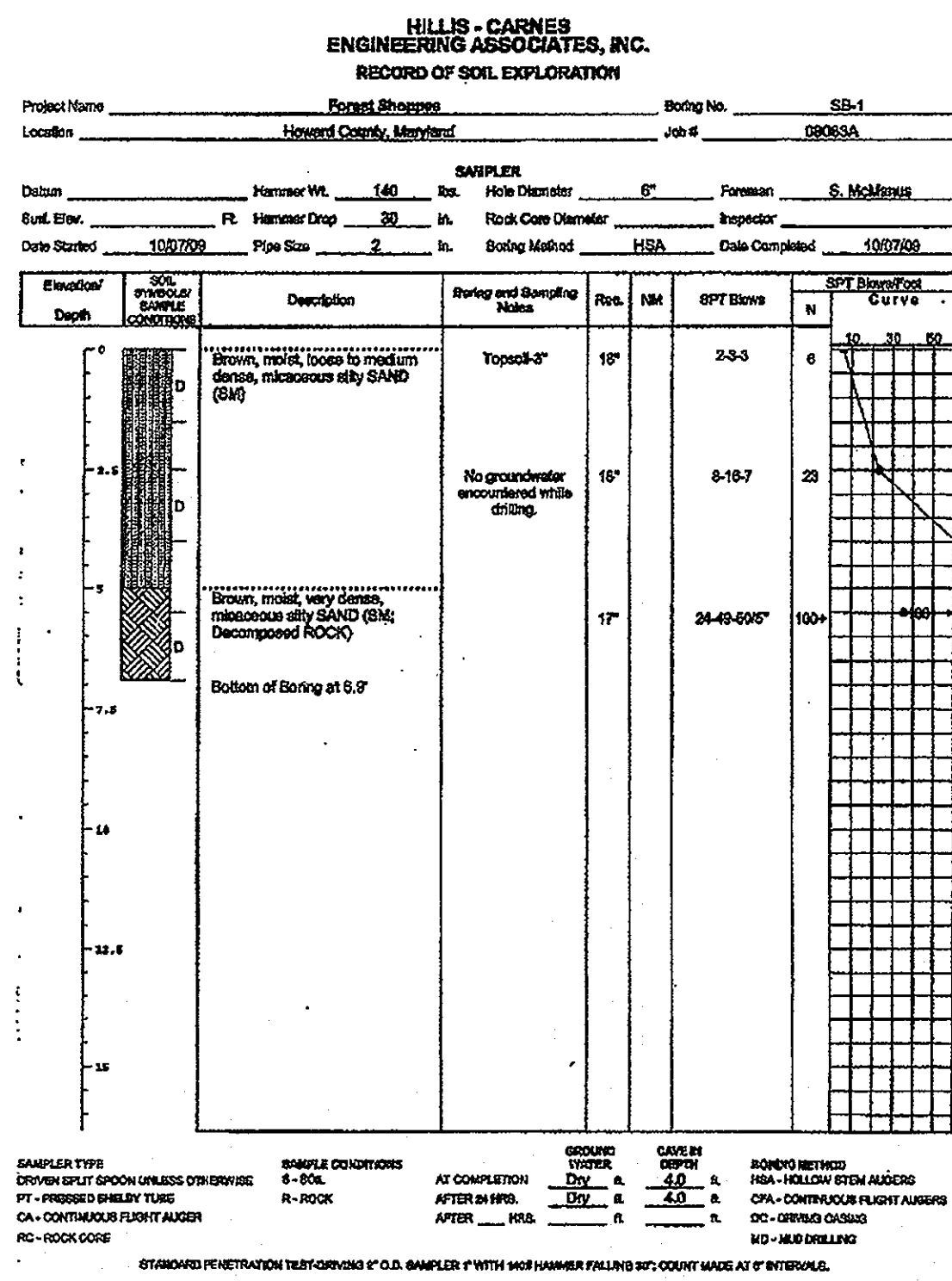
SOIL BORING PROFILES

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2

TAX MAP No.: 24 GRID No.: 2
 PLAT No's: 21036 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 29 OF 42 SDP-10-036





FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2855

ENGINEER'S CERTIFICATE

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Brown, Sr.* Date: 5/31/11

DEVELOPER'S CERTIFICATE

"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *John R. Roberts* Date: 6/21/11

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

Signature: *Charles J. Brown, Sr.* Date: 5/31/11
CHARLES J. BROWN, SR., P.E.

Signature: *John R. Roberts* Date: 6/21/11
John R. Roberts, SCD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning: *Deanna S. Butler* Date: 8/1/11

Chief, Division of Land Development: *K. B. DeLoach* Date: 8/1/11

Chief, Department of Engineering Division: *John R. Roberts* Date: 7/28/11

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

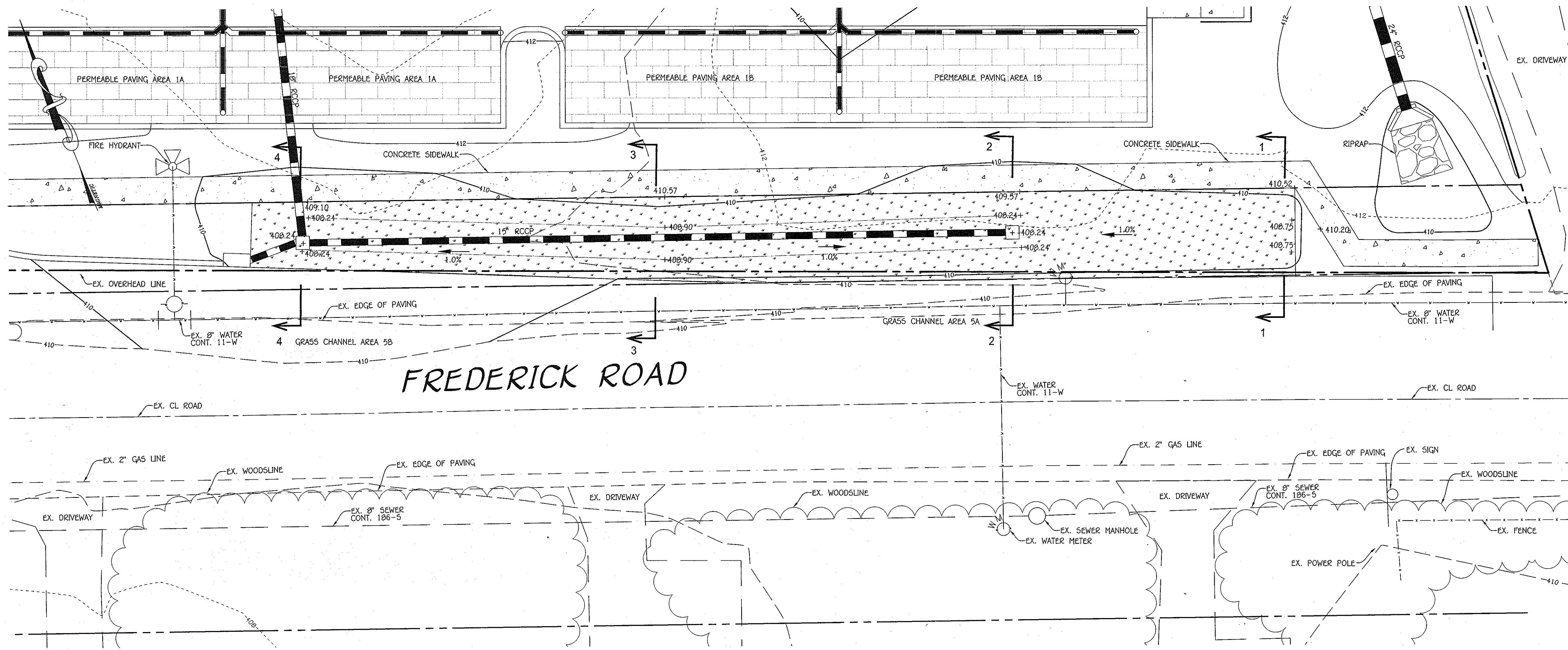
PROJECT: FOREST GREEN

FLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21036 & 21037	2	B-1 B-2	24	SECOND	6023.01

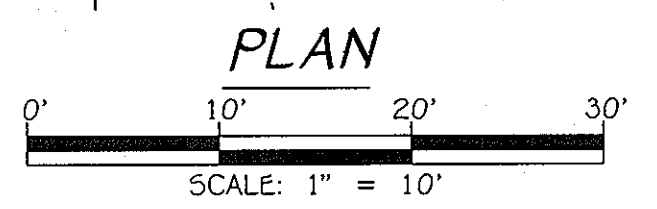
SOIL BORING PROFILES AND SEDIMENT CONTROL DETAILS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT No.: 21036 & 21037
PARCELS 69, 72, 453, 437 AND 1172
SECTION ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 30 OF 42 SDP-10-036



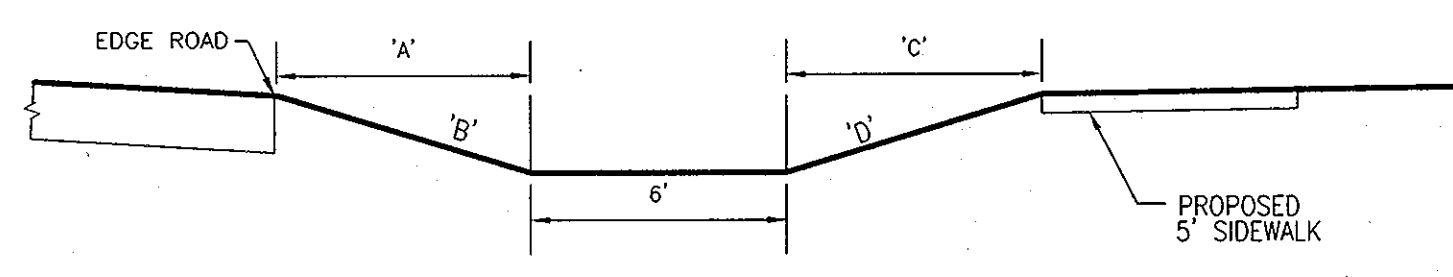
FREDERICK ROAD



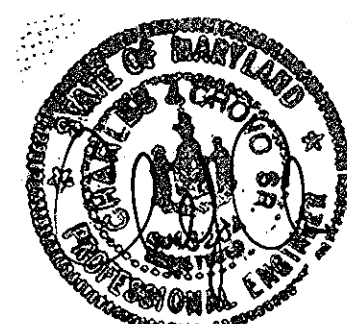
GRASS SWALE AREA	DRAINAGE AREA SQ FT (A)	IMP AREA SQ FT	% IMP (I)	TARGET SURFACE AREA SQ FT*	PROPOSED SURFACE AREA SQ FT*
5	10454	6098	58.3	2319	648

ESD_v = [(PE)(R_v)(A)]/12
 Where: PE = Rainfall Target from Chapter 5 Table 5.3
 and R_v = 0.05 + 0.009(I)
 and I = percent impervious cover.
 The target PE for design = 1.8 inches.

LOCATION	EDGE RD ELEV	CHANNEL INVERT	DIM 'A'	SIDE SLOPE 'B'	DIM 'C'	SIDE SLOPE 'D'	CHANNEL SLOPE
GRASS CHANNEL #1 CROSS SECTION #1	410.52	408.75	5.3'	3:1	5.3'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #2	410.35	408.24	6.3'	3:1	4.0'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #3	410.06	408.90	4.6'	4:1	5.0'	3:1	1.0%
GRASS CHANNEL #1 CROSS SECTION #4	410.52	408.75	3.9'	3:1	5.3'	3:1	1.0%



- NOTE: 4" OF TOPSOIL MUST BE PLACED ON ALL AREAS WITH SLOPES LESS THAN 2:1.
- CONSTRUCTION SPECIFICATIONS
- GRASS CHANNEL SHALL HAVE AN UNINTERRUPTED POSITIVE GRADE TO AN OUTLET.
 - ALL TREES, BRUSH, STUMPS, OBSTRUCTIONS AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED AND DISPOSED OF SO AS NOT TO INTERFERE WITH THE PROPER FUNCTIONING OF THE WATERWAY.
 - THE GRASS CHANNEL SHALL BE EXCAVATED TO THE LINE AND GRADE AND CROSS SECTION AS REQUIRED TO MEET THE CRITERIA HEREIN AND BE FREE OF BANK PROJECTIONS OF OTHER IRREGULARITIES WHICH MAY IMPED NORMAL FLOW.
 - FILLS SHALL BE COMPACTED BY EARTH MOVING EQUIPMENT.
 - RUNOFF DIVERTED FROM AN UNDISTURBED AREA SHALL OUTLET INTO AN UNDISTURBED STABILIZED AREA AT A NON-EROSIVE VELOCITY.



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 128 Cockeyville Road, Ste 200 P. 410.458.2651
 Hunt Valley, MD 21030 P. 443.269.0216
 tes@ficsdm.com www.ficsdm.com

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: *[Signature]* Date: 5/31/11

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have Certificates of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: *[Signature]* Date: 6/1/11

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.
 Signature: *[Signature]* Date: 5/31/11
 CHARLES J. CROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* Date: 5/31/11
 Howard SCD

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611 443-367-0422

OWNER
 FOREST MOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506 410-465-3674

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Signature: *[Signature]* Date: 8/1/11
 Chief, Division of Land Development
 Signature: *[Signature]* Date: 7/20/11
 Chief, Development Engineering Division

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

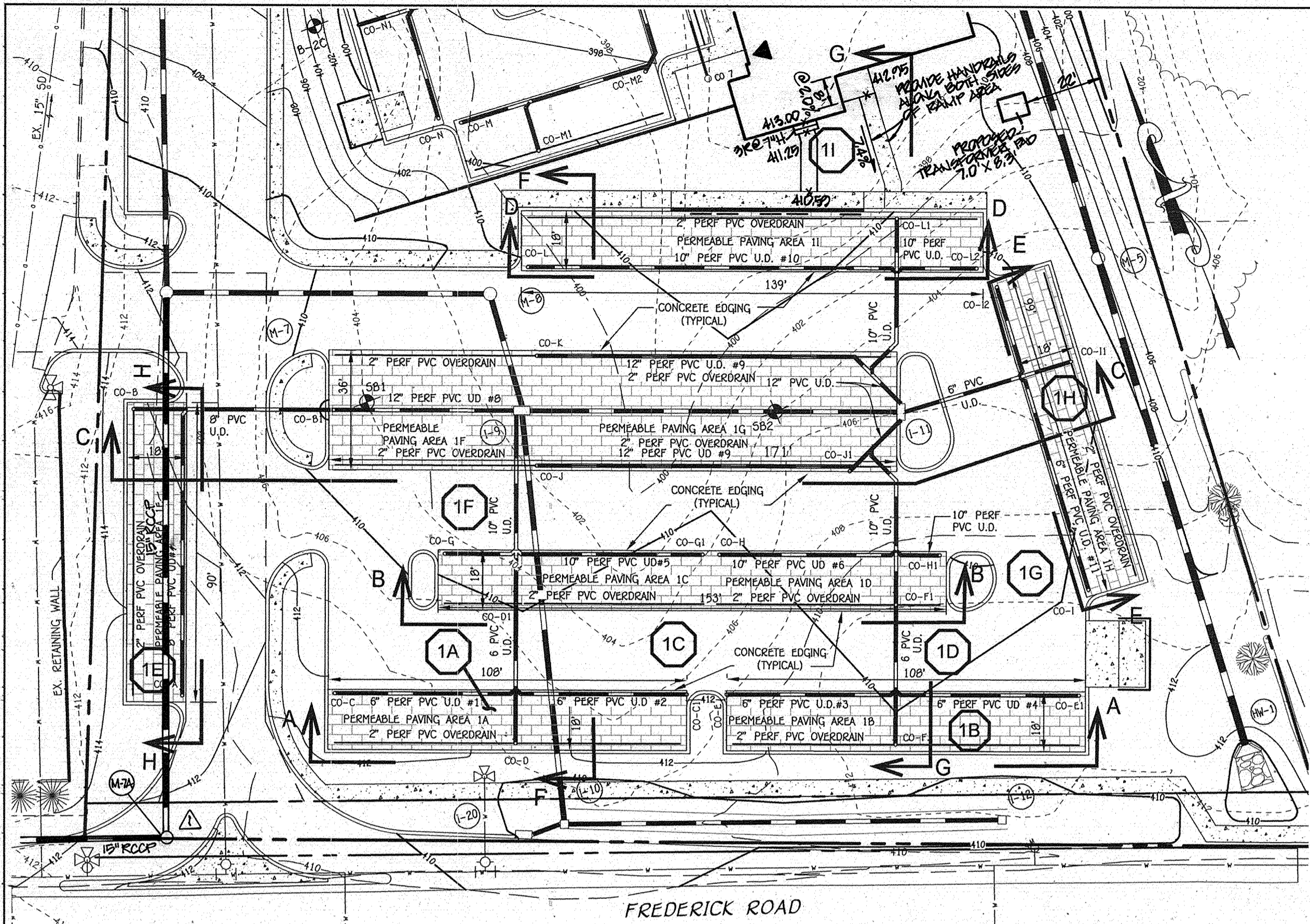
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21096 & 21097	2	B-1 B-2	24	SECOND	6023.01

STORMWATER MANAGEMENT PLAN & PROFILE PERMEABLE PAVING AREA 1

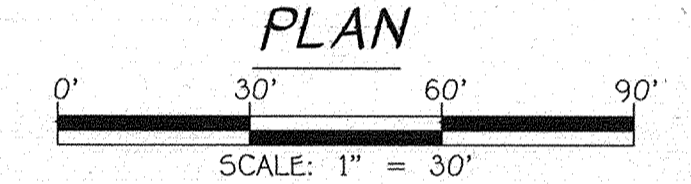
FOREST GREEN
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NO'S: 21096 & 21097
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 31 OF 42 SDP-10-036



UNDERDRAIN FLOW COMPUTATIONS

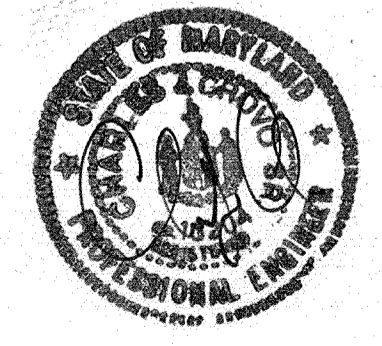
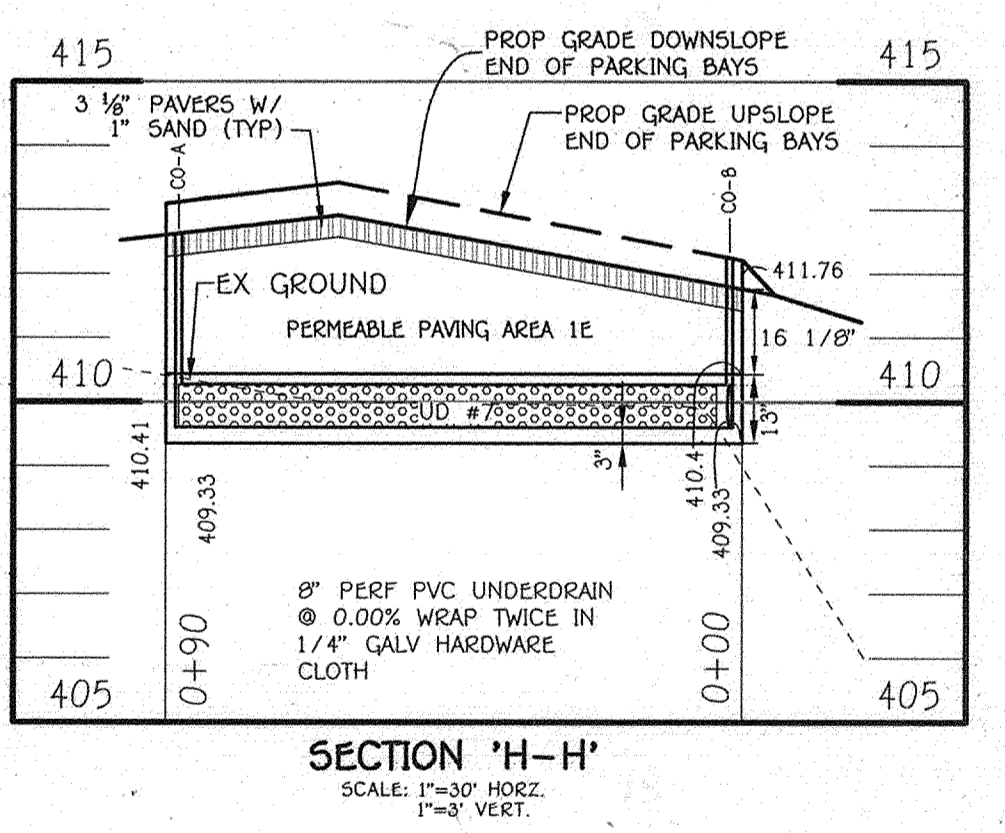
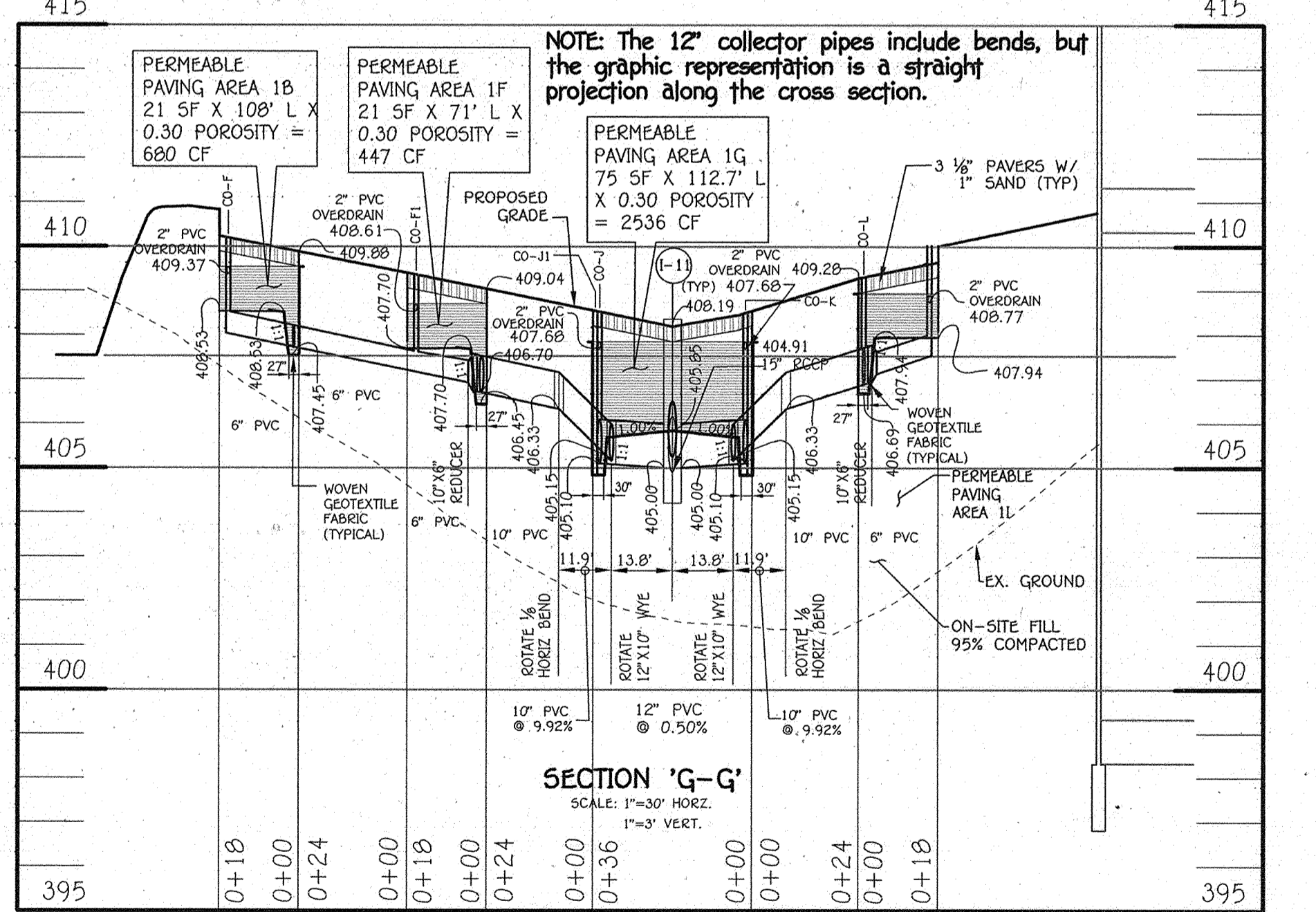
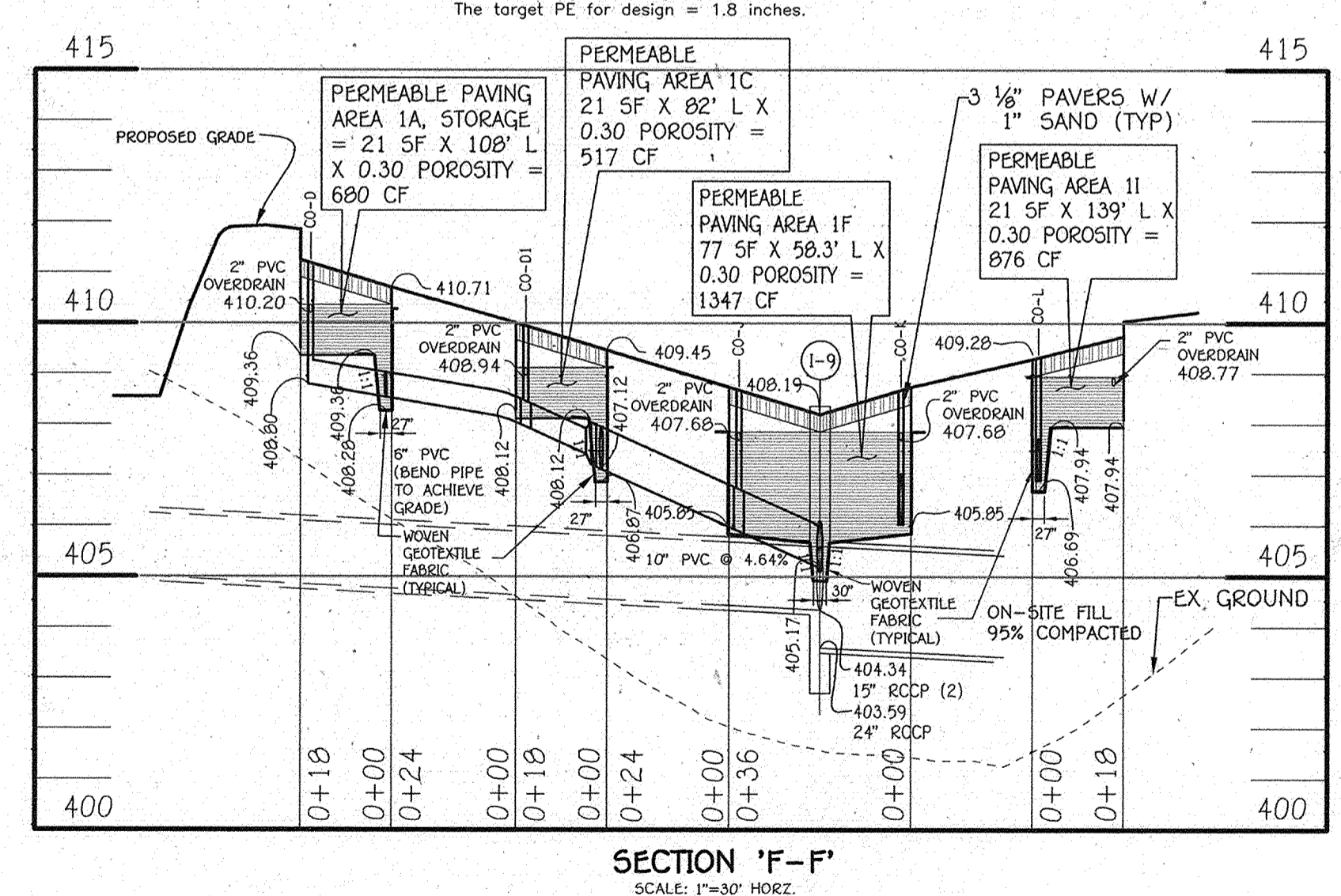
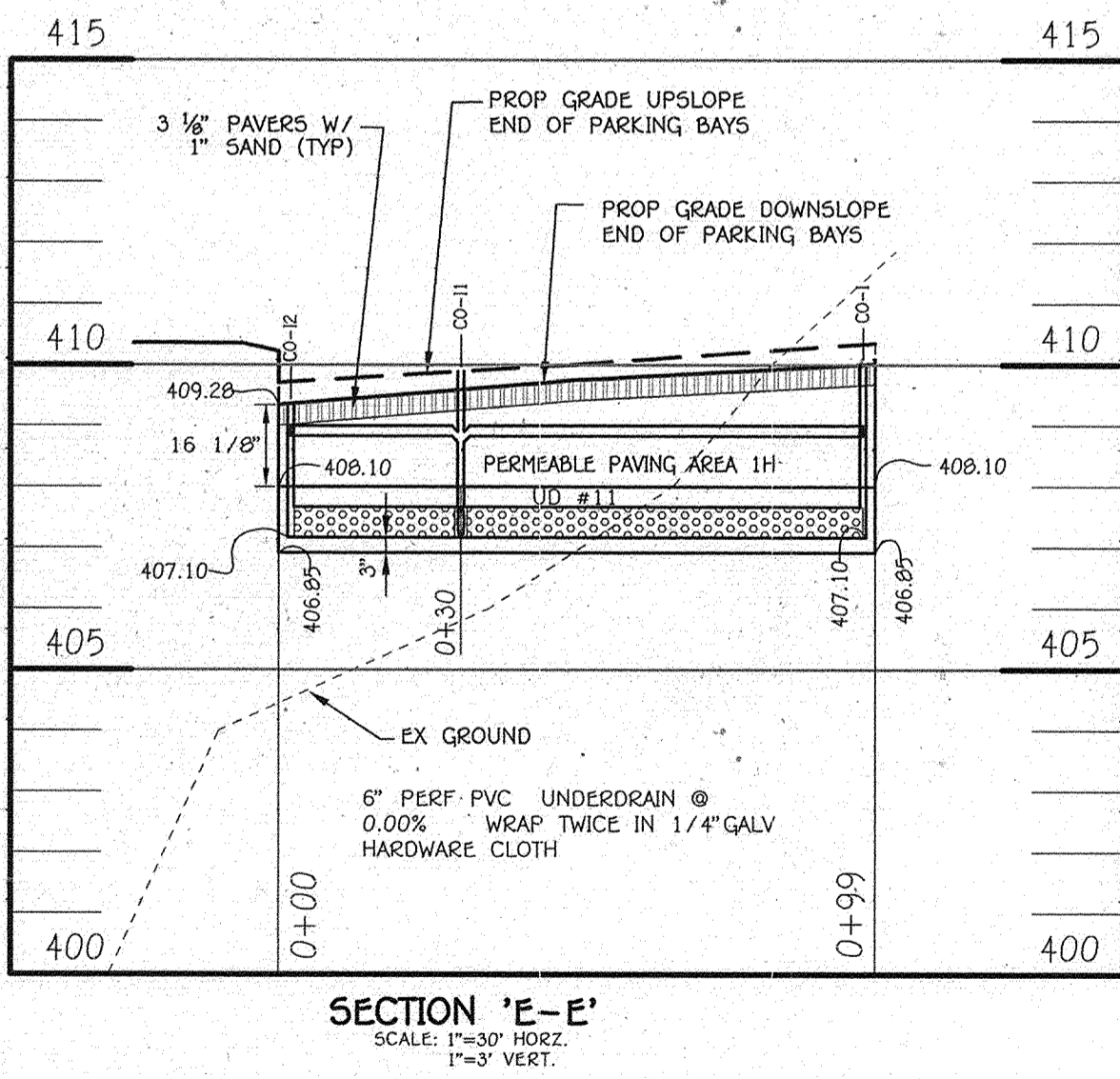
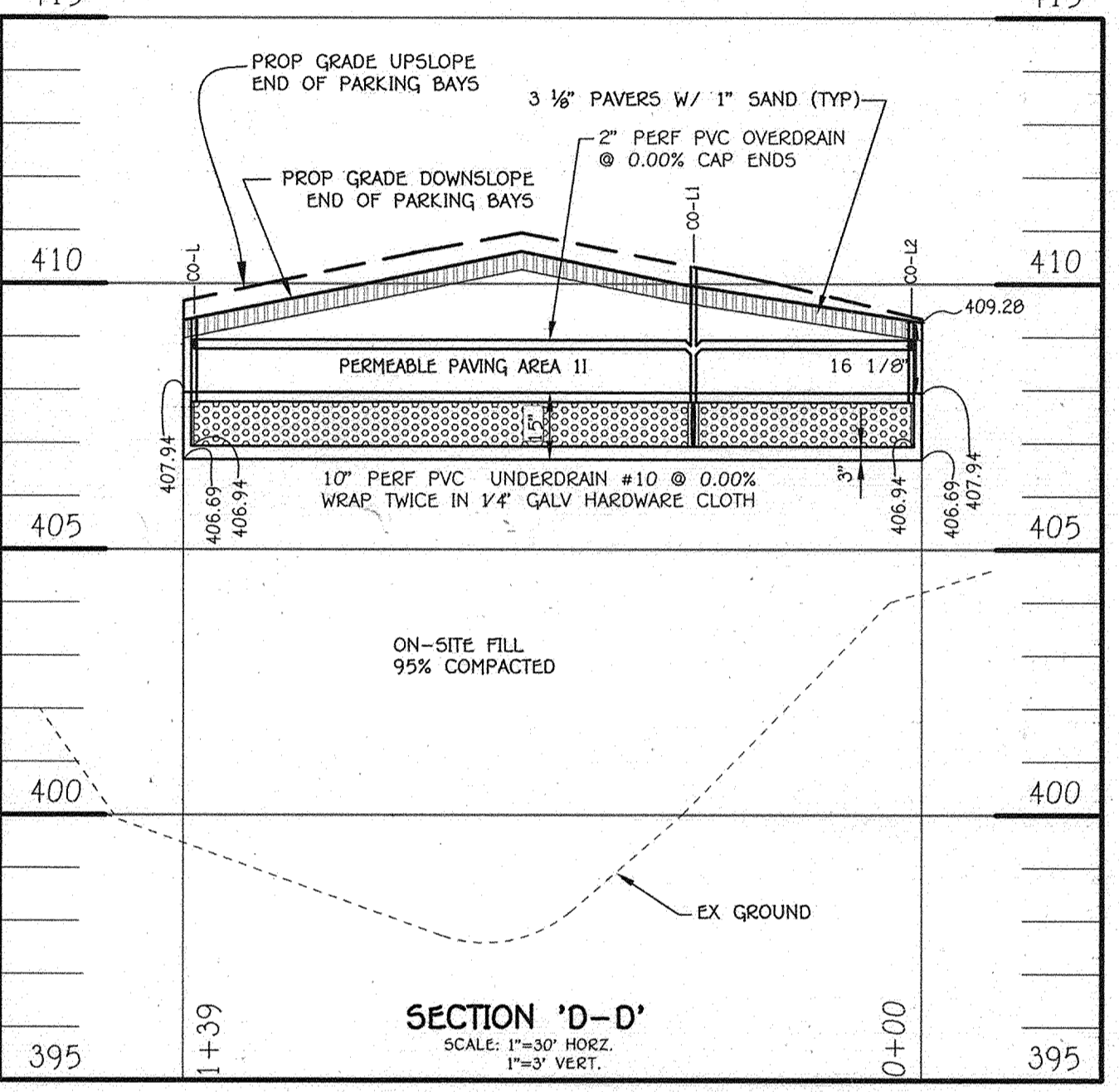
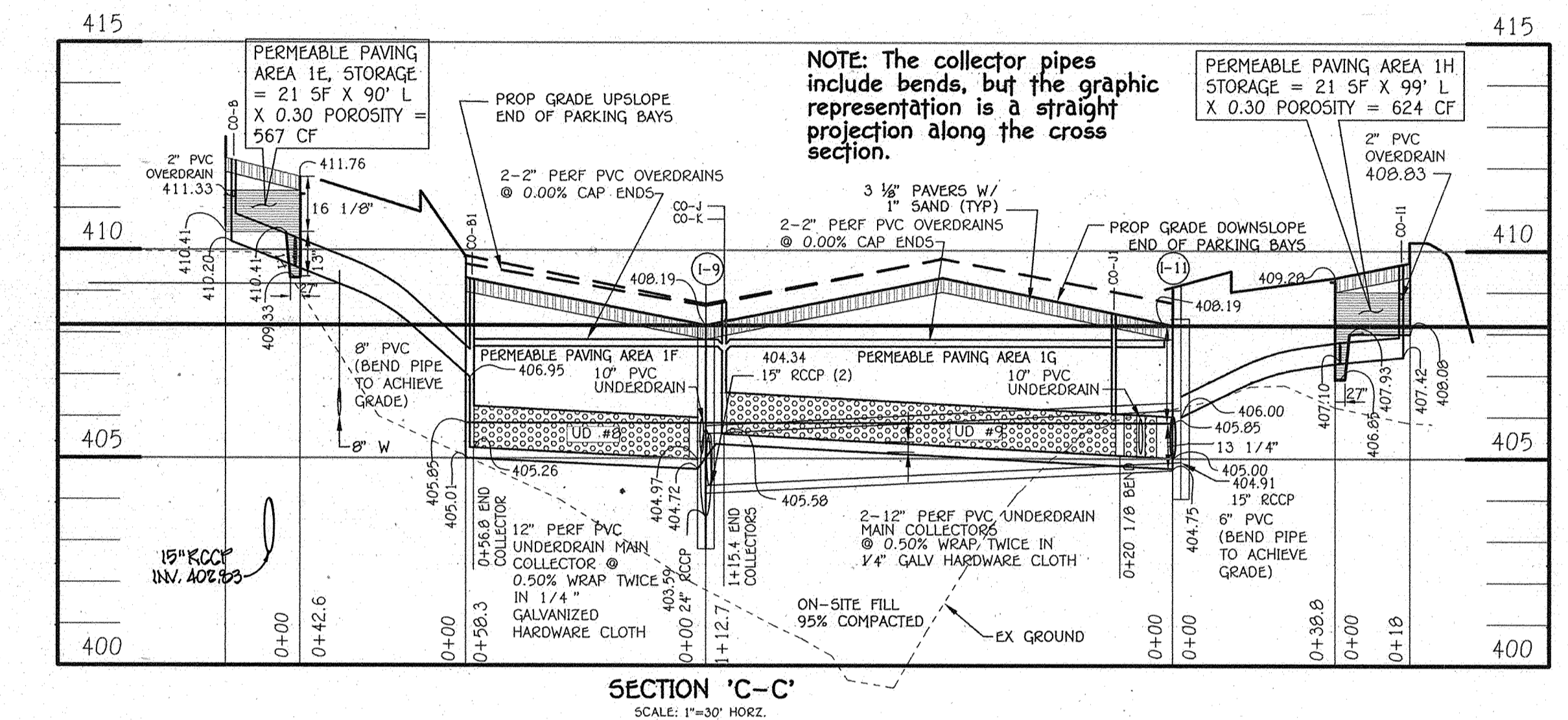
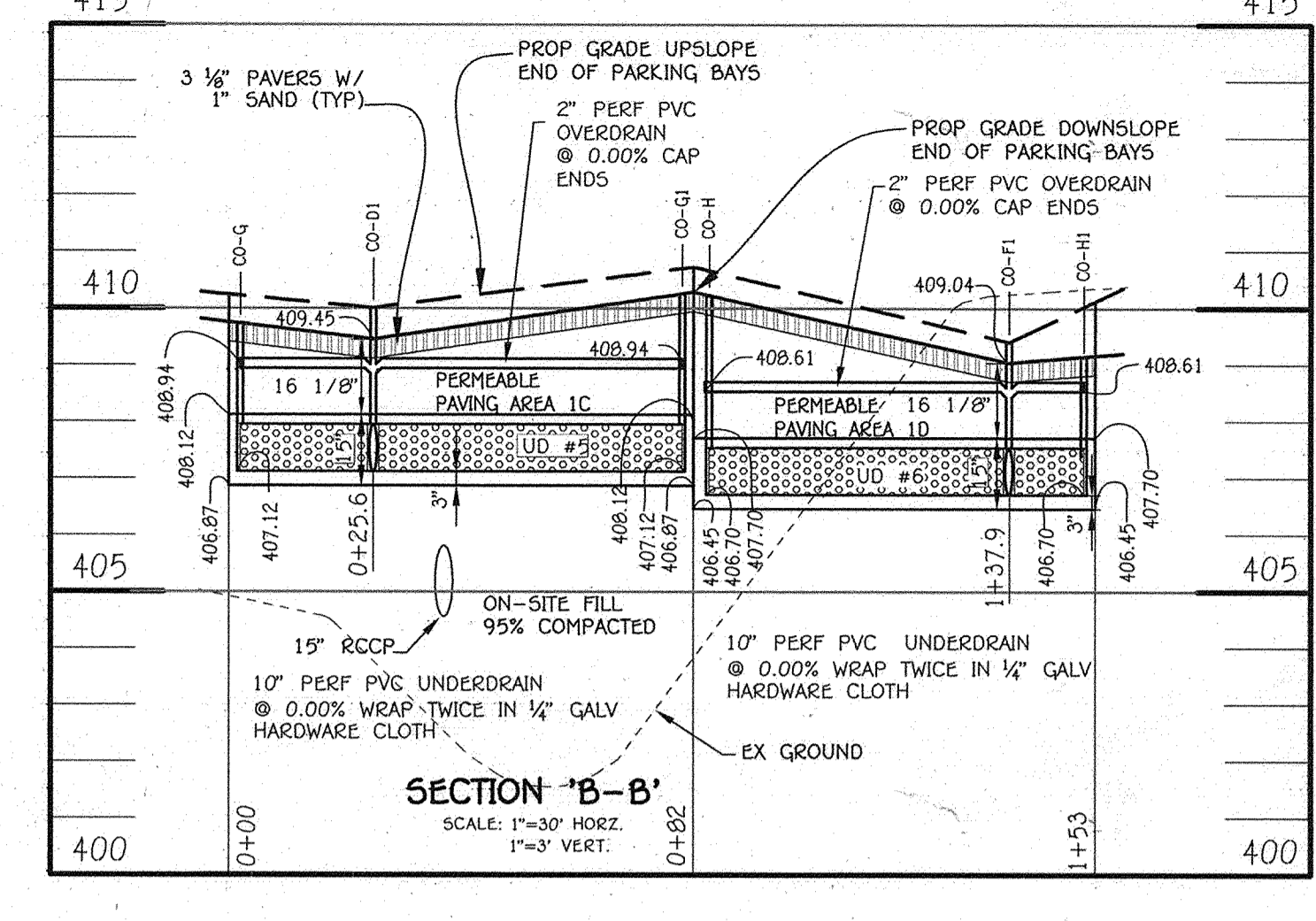
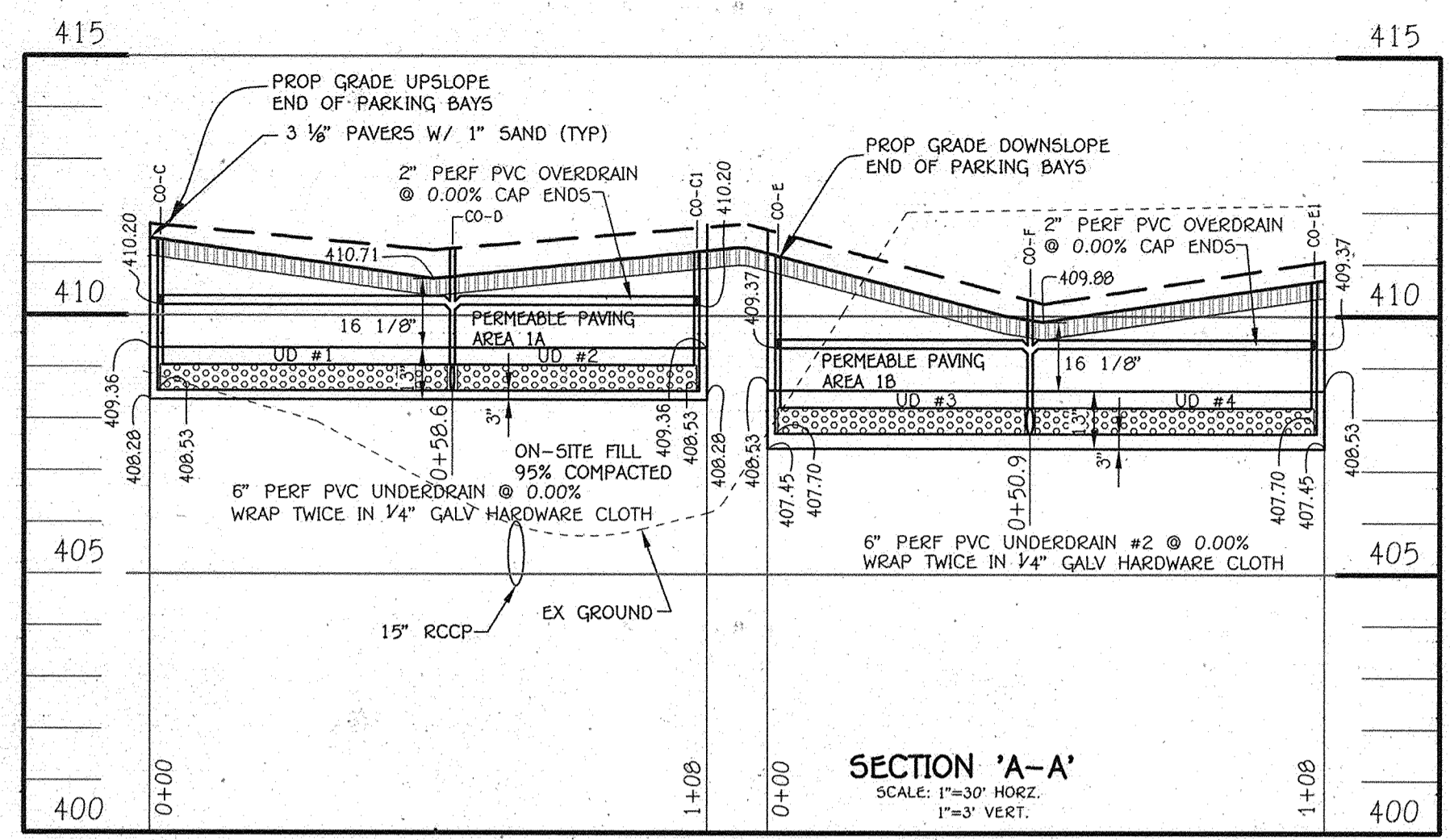
NO	STR NO	AREA ACRES	C'	% IMP	CA	TIME CONC (MIN)	(Rv)(A)/12	Q (CFS)
UD1	-	0.025	0.96	99.9	0.024	5.0	8.5	0.20
UD2	-	0.025	0.98	99.9	0.024	5.0	8.5	0.20
UD3	-	0.028	0.87	88.4	0.024	5.0	8.5	0.20
UD4	-	0.041	0.65	59.1	0.027	5.0	8.5	0.23
UD5	-	0.08	0.96	100	0.08	5.0	8.5	0.68
UD6	-	0.08	0.96	100	0.08	5.0	8.5	0.68
UD7	-	0.08	0.60	52.4	0.05	5.0	8.5	0.42
UD8	I-9	0.53	0.90	94.9	0.48	5.0	8.5	4.08
UD9	I-11	0.67	0.82	81.3	0.55	5.0	8.5	4.68
UD10	-	0.15	0.66	56.9	0.10	6.5	7.8	0.78
UD11	I-11	0.06	0.71	73.3	0.04	5.0	8.5	0.34



DRAINAGE AREA DATA

PERMEABLE PAVING AREA	DRAINAGE AREA SQ FT (A)	IMP AREA SQ FT (I)	% IMP (I/A)	TARGET ESD VOL CU FT	PROPOSED ESD VOL CU FT
1A	2145	2143	99.9	306	680
1B	3009	2143	71.2	312	680
1C	3655	3655	100.0	520	517
1D	3523	3523	100.0	502	447
1E	3665	1919	52.4	287	567
1F	13897	12947	93.2	1852	1347
1G	13503	13067	96.8	1865	2536
1H	2715	1990	73.3	289	624
1I	6516	3709	56.9	550	876
TOTAL	52453	43952		6482	8274

ESDv = [(PE)(Rv)(A)]/12
 Where: PE = Rainfall from Chapter 5 Table 5.3
 and Rv = 0.05 + 0.009(I)
 and I = percent impervious cover.
 The target PE for design = 1.8 inches.



PURPOSE NOTE:
 THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2899

ENGINEER'S CERTIFICATE
 "I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
 Signature of Engineer: Charles J. Grovo, Sr., P.E.
 Date: 5/31/11

DEVELOPER'S CERTIFICATE
 "I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
 Signature of Developer: [Signature]
 Date: 5/31/11

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
 Signature: Charles J. Grovo, Sr., P.E.
 Date: 5/31/11

This development plan approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature]
 Date: [Date]

DEVELOPER
 FOREST VENTURES
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 FOREST HOTEL, INC.
 10021 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042-3611
 443-367-0422

OWNER
 BONNIE BRANCH CORPORATION
 P.O. BOX 396
 4100 COLLEGE AVENUE
 ELLICOTT CITY, MARYLAND 21043-5506
 410-465-3674

REVISION BLOCK

DATE	DESCRIPTION	BY	DATE
7/15/10	REMOVE REMOVED BUILDING ARCHITECTURE FOR BUILDING 'B'	[Signature]	8/1/11
9/21/10	REMOVE THE REFERENCE TO OFFICE FROM THE TRUE BLOCK, AND REMOVE DEPEND FROM 2-20 TO 3-20 THAT SHE WANTED.	[Signature]	8/1/11

Address Chart

BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042

PROJECT
 FOREST GREEN

SECTION/AREA	PARCELS	LOT
-	69, 72, 453, 497 AND 1172	A

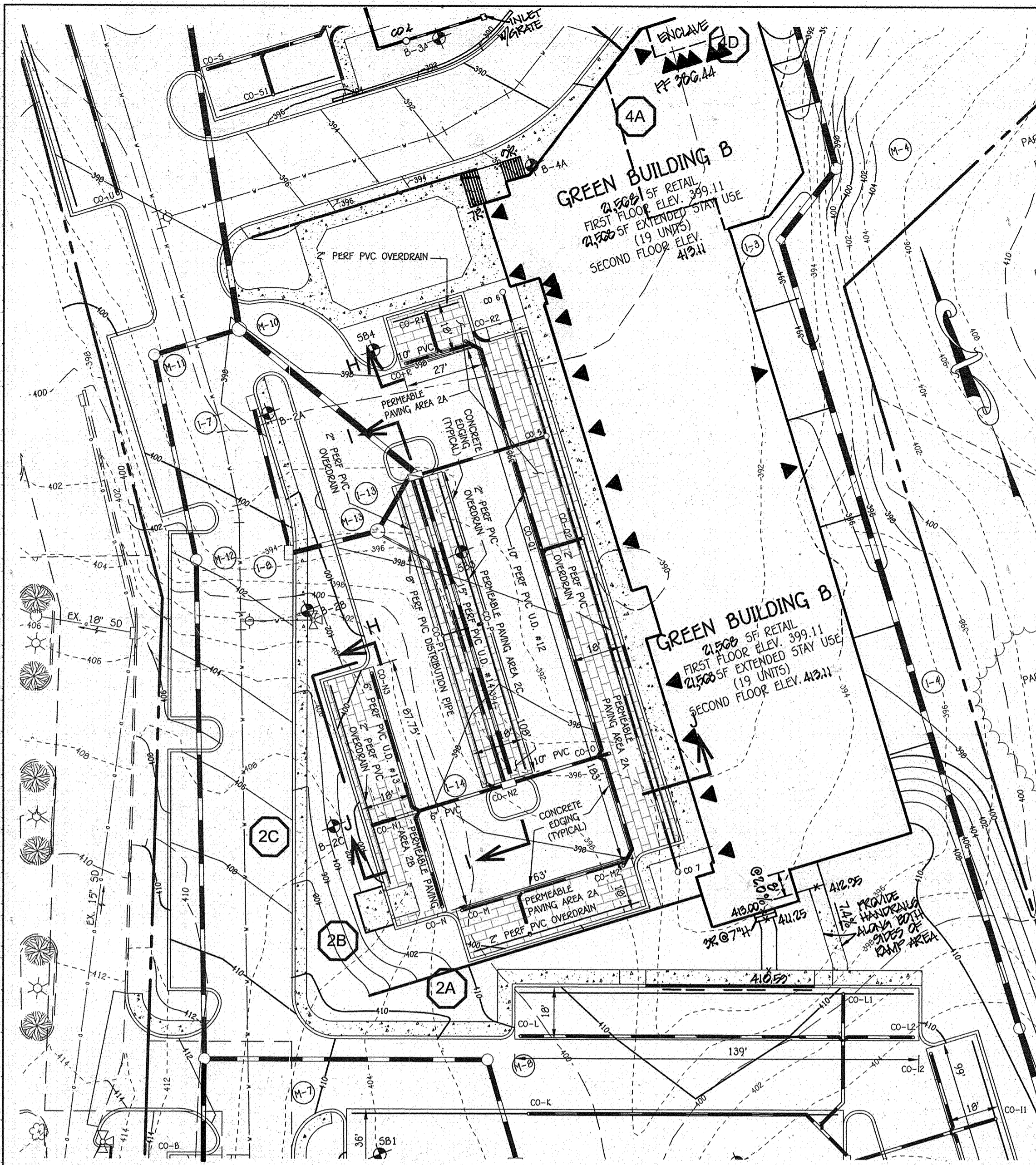
PLAT
 21036 & 21037

BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
2	B-1 B-2	24	SECOND	6023.01

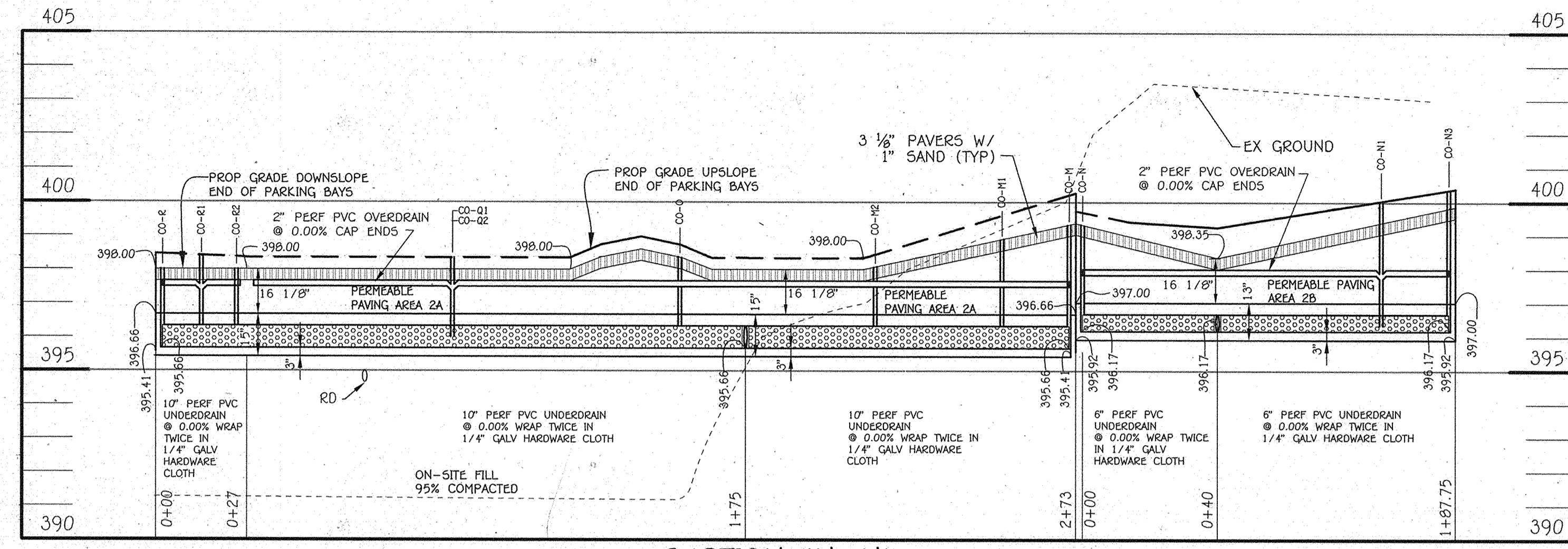
STORMWATER MANAGEMENT PLAN & PROFILE PERMEABLE PAVING AREA 1

FOREST GREEN
 PARCEL A
 RETAIL AND APARTMENT USE
 ZONED B-1 AND B-2
 TAX MAP No.: 24 GRID No.: 2
 PLAT NOS. 21036 & 21037
 PARCEL No.: 69, 72, 453, 497 & 1172
 SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN DATE: DECEMBER 2, 2010

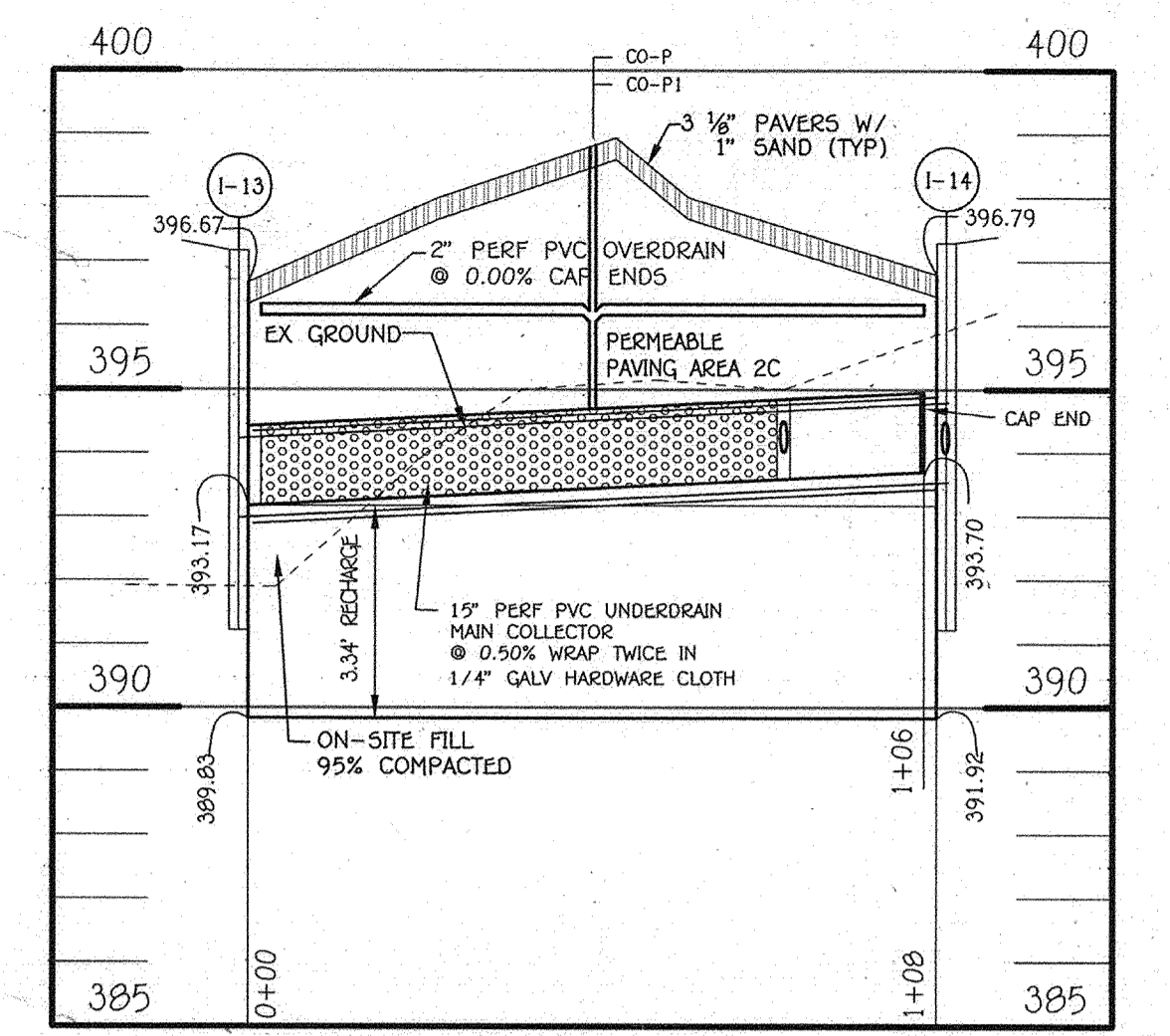
SHEET 32 OF 42 SDP-10-036



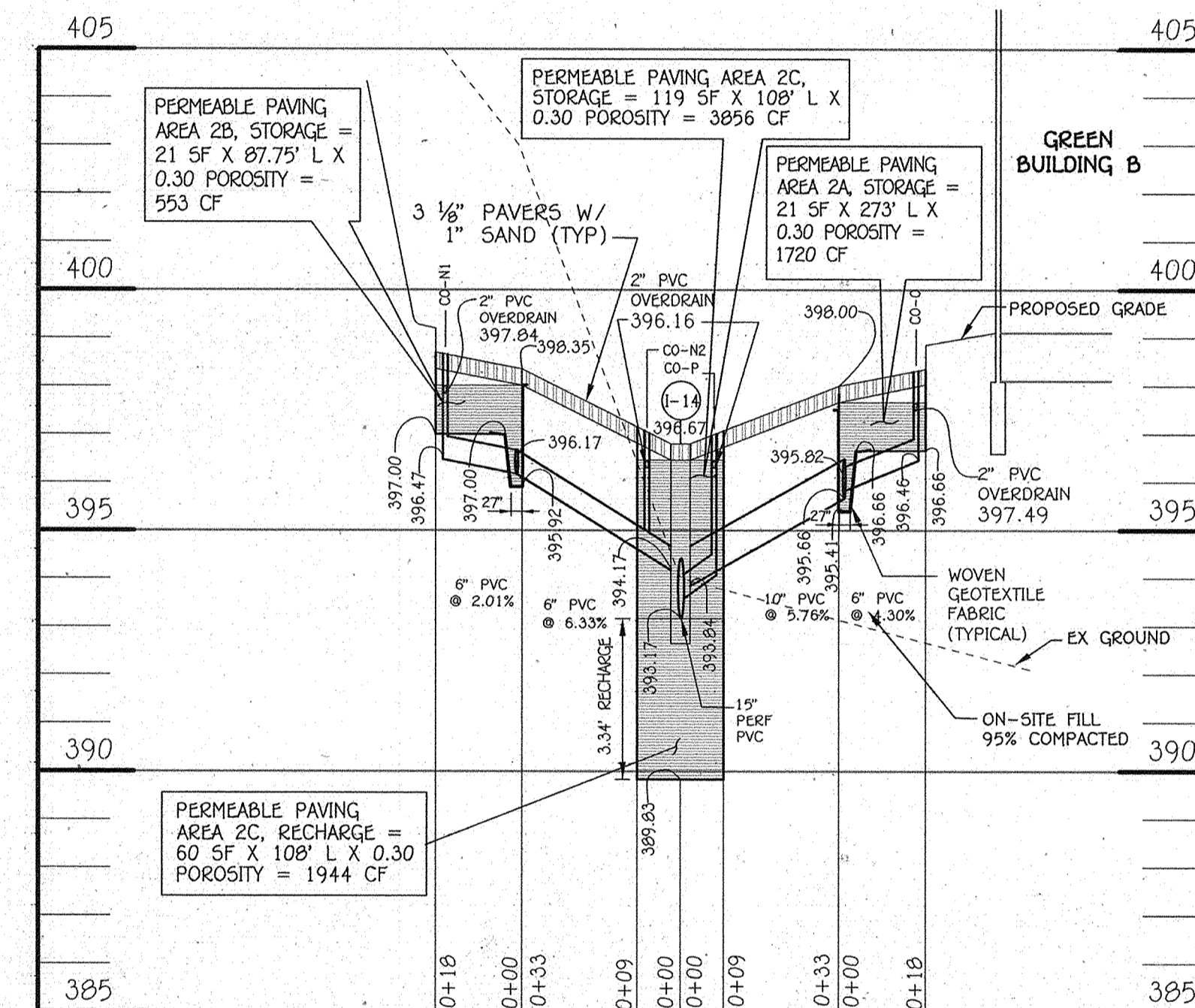
PLAN
SCALE: 1" = 30'



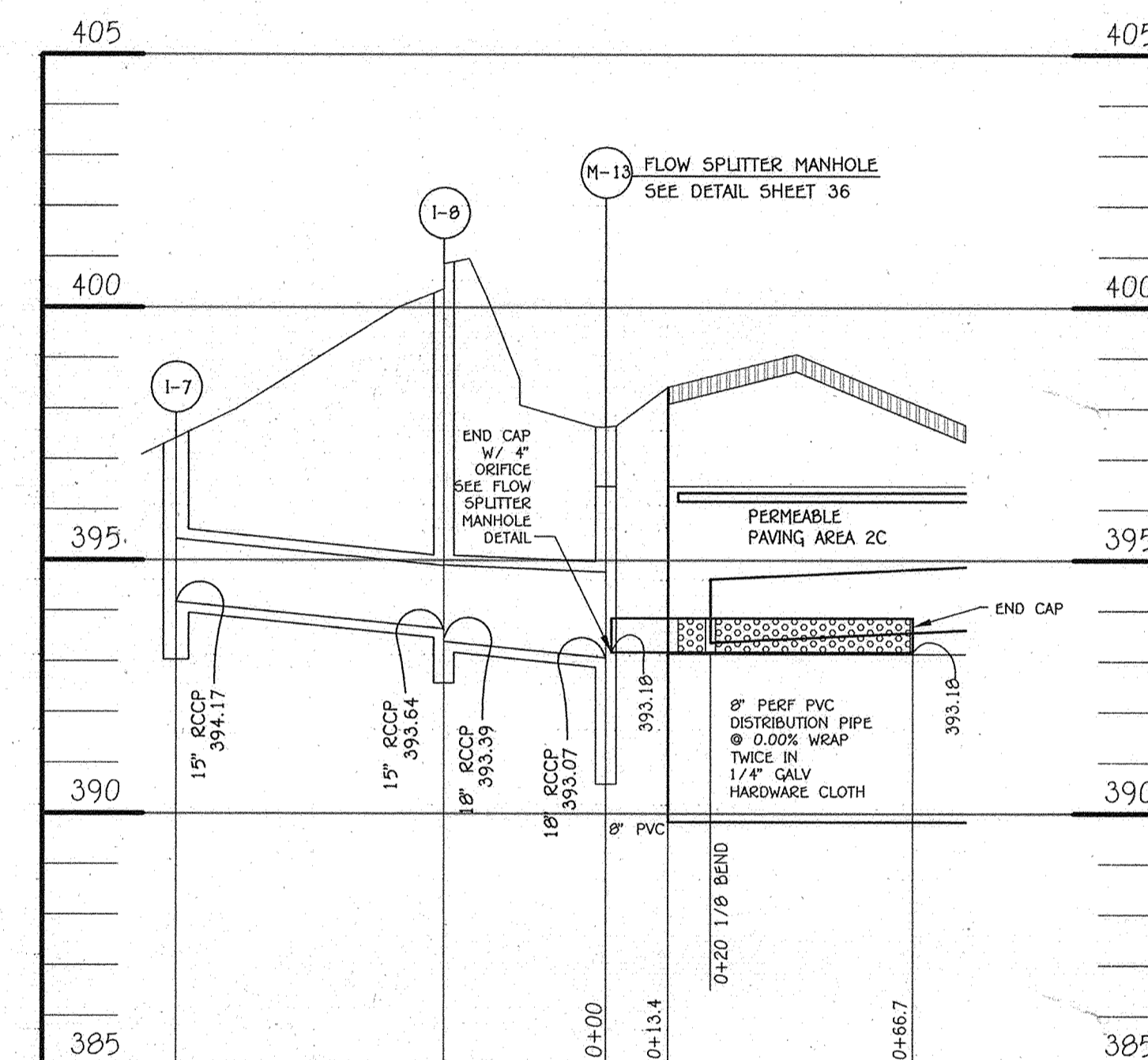
SECTION 'H-H'
SCALE: 1"=30' HORIZ.
1"=3' VERT.



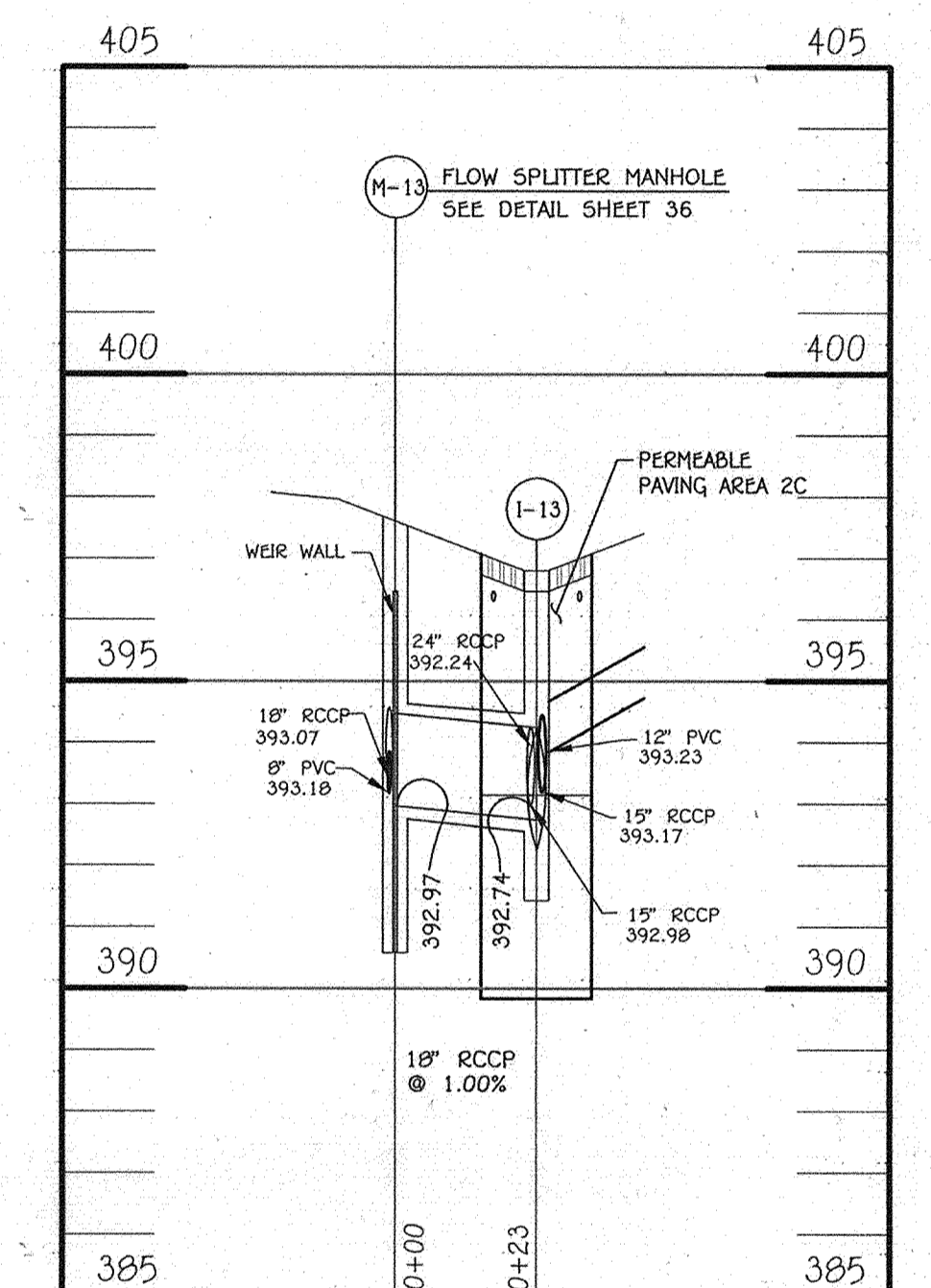
SECTION 'I-I'
SCALE: 1"=30' HORIZ.
1"=3' VERT.



SECTION 'J-J'
SCALE: 1"=30' HORIZ.
1"=3' VERT.



PROFILE-DISTRIBUTION PIPE
SCALE: 1"=30' HORIZ.
1"=3' VERT.



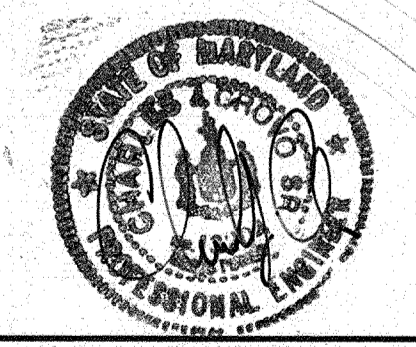
PROFILE M-13 TO I-13
SCALE: 1"=30' HORIZ.
1"=3' VERT.

DRAINAGE AREA DATA						
PERMEABLE PAVING AREA	DRAINAGE AREA SQ. FT. (A)	IMP. AREA SQ. FT. (B)	% IMP. (C)	ESD VOL. REQUIRED CU. FT. (D)	ESD VOL. PROVIDED CU. FT. (E)	
2A	9063	7104	78.3	1027	1720	
2B	4227	1915	45.3	290	553	
2C	30231	26266	86.9	3772	3856	
TOTAL	43521	35285		5090	6021	

UNDERDRAIN FLOW COMPUTATIONS								
NO.	STR. NO.	AREA ACRES	C	% IMP.	CA	TIME CONC. (MIN.)	I (IN/HR) 10-YR	Q (CFS)
UD12	I-14	0.21	0.80	78.3	0.17	5.0	8.5	1.45
UD13	I-14	0.10	0.54	45.3	0.05	5.0	8.5	0.43
UD14	I-13	0.69	0.86	86.9	0.59	5.0	8.5	5.04

FLOW SPLITTER COMPUTATIONS								
NO.	STR. NO.	AREA ACRES	C	% IMP.	CA	TIME CONC. (MIN.)	I (IN/HR) 10-YR	Q (CFS)
I-8	M-13	0.39	0.81	79.5	0.32	5.0	8.5	2.72

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2099

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared and designed in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *Charles J. Grovo, Sr.* Date: 5/31/11

DEVELOPER'S CERTIFICATE
"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer: *Tommas & Butler* Date: 9/1/11

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
Signature: *Charles J. Grovo, Sr.* Date: 5/31/11
CHARLES J. GROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: *[Signature]* Date: *[Date]*
Howard SCD

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST HOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-469-3674

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Tommas & Butler Date: 8/1/11
Neil DeLorenzo Date: 8/1/11
Chief, Development Engineering Division

BUILDING NO.		STREET ADDRESS	
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		

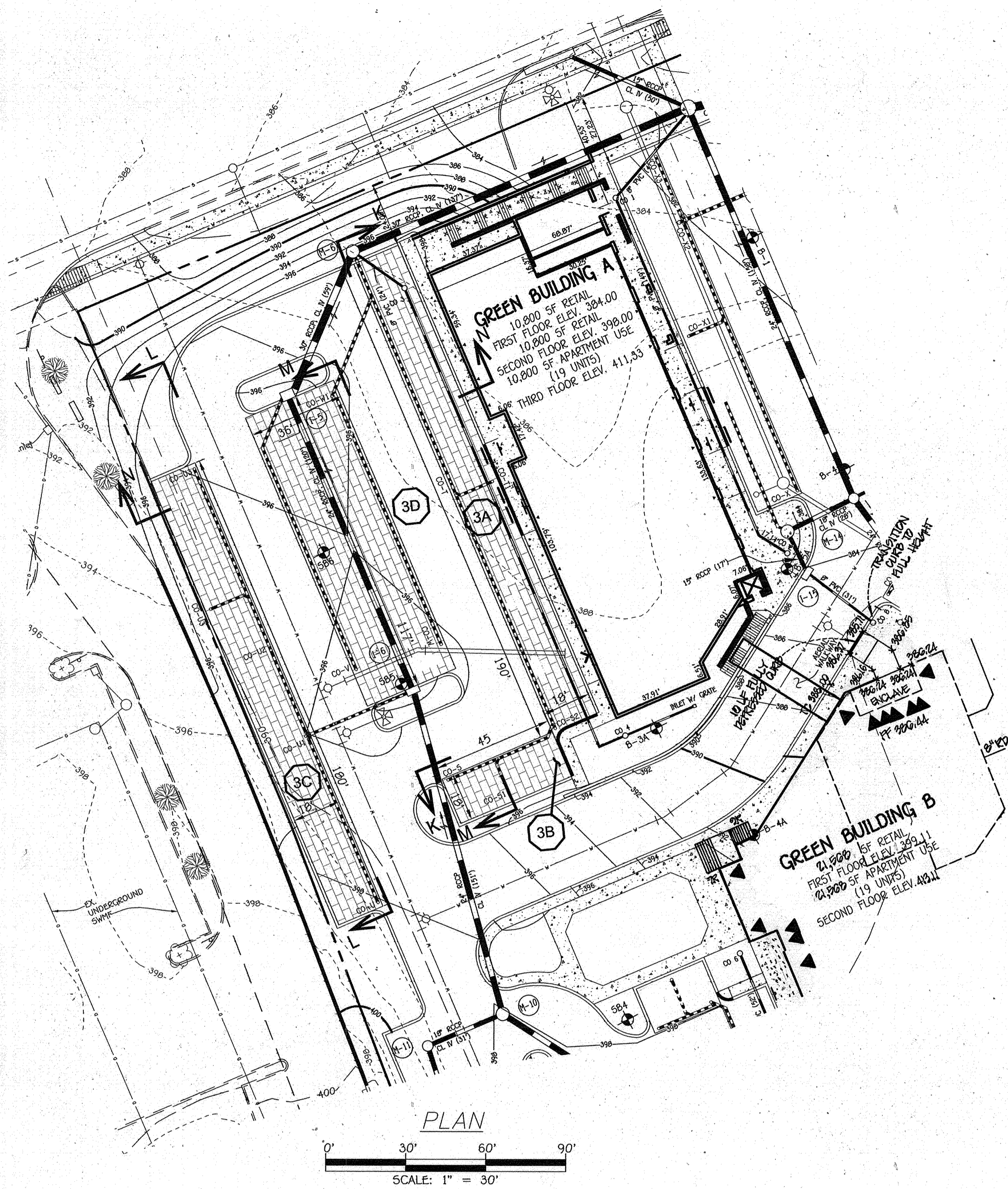
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21030 & 21037	2	B-1 B-2	24	SECOND	6023.01

STORMWATER MANAGEMENT PLAN & PROFILE PERMEABLE PAVING AREA 2

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NOS. 21030 & 21037
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

SHEET 33 OF 42 SDP-10-036

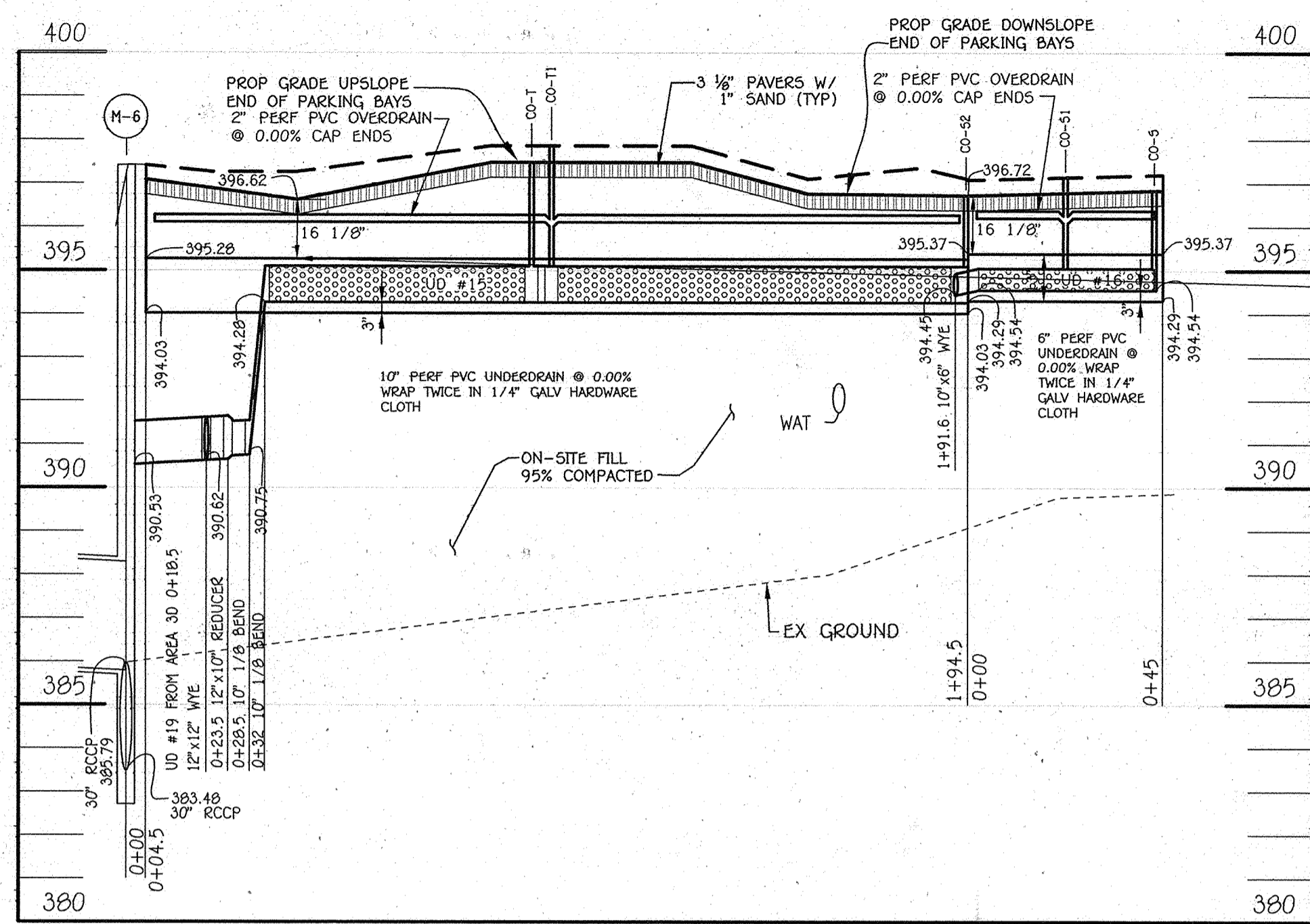


PLAN
SCALE: 1" = 30'

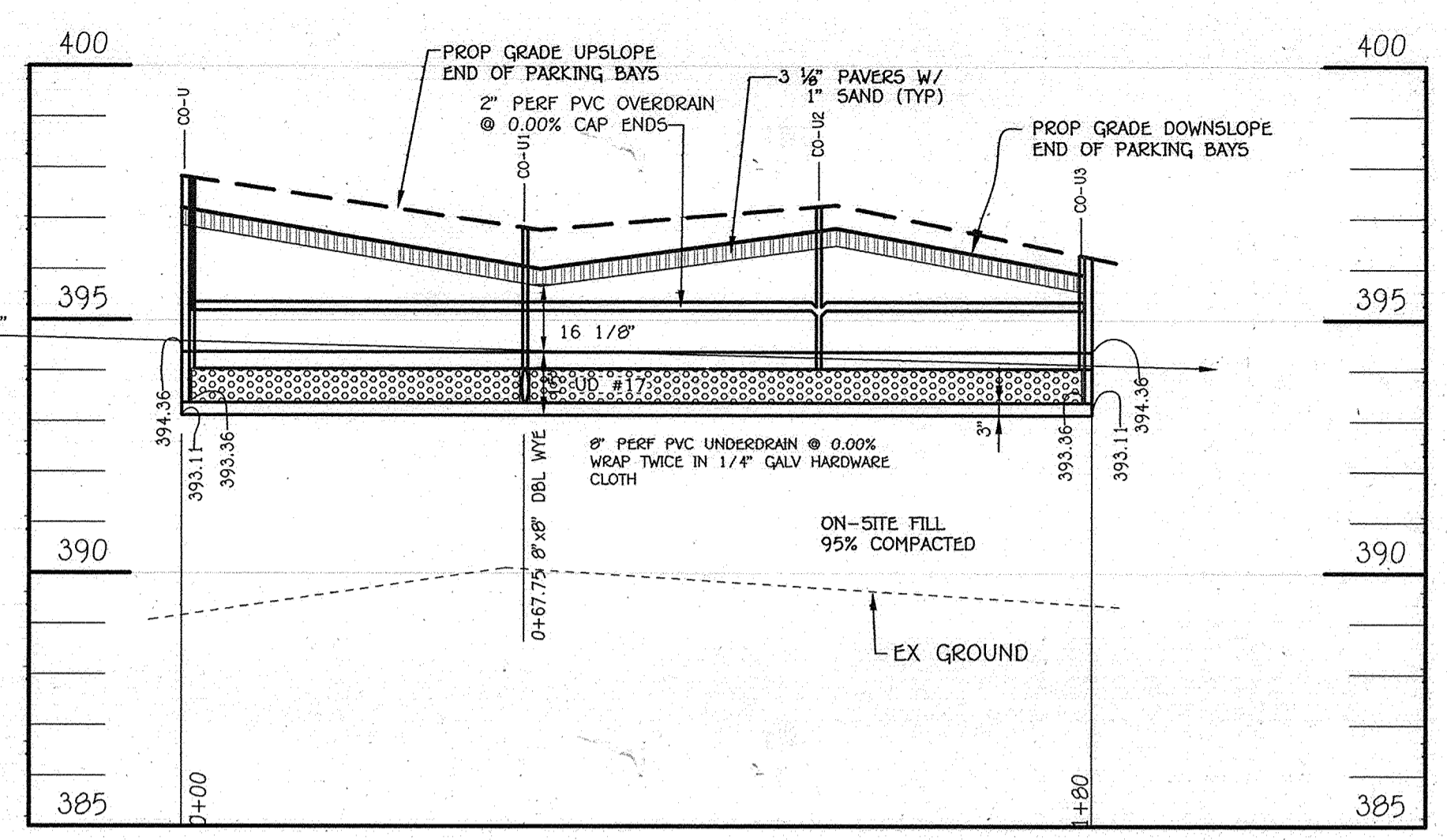
DRAINAGE AREA DATA					
PERMEABLE PAVING AREA	DRAINAGE AREA SQ FT (A)	IMP AREA SQ FT	% IMP (I)	ESD VOL. REQUIRED CU FT	ESD VOL. PROVIDED CU FT
3A	5398	5006	92.7	716	1197
3B	1221	1121	91.8	160	284
3C	3983	3512	88.2	504	1134
3D	18330	17360	94.7	2481	7231

UNDERDRAIN FLOW COMPUTATIONS									
NO	STR NO	AREA ACRES	% IMP	CA	TIME CONC. (MIN)	1 (INHR)	10-YR	Q (CFS)	
UD15	-	0.12	0.91	92.7	0.11	5.0	8.5	0.94	
UD16	-	0.03	0.90	91.8	0.03	5.0	8.5	0.26	
UD17	1-6	0.09	0.88	88.2	0.08	5.0	8.5	0.68	
UD18	1-5	0.26	0.90	92.3	0.23	5.0	8.5	1.96	
UD19	-	0.16	0.95	100	0.15	5.0	8.5	1.27	

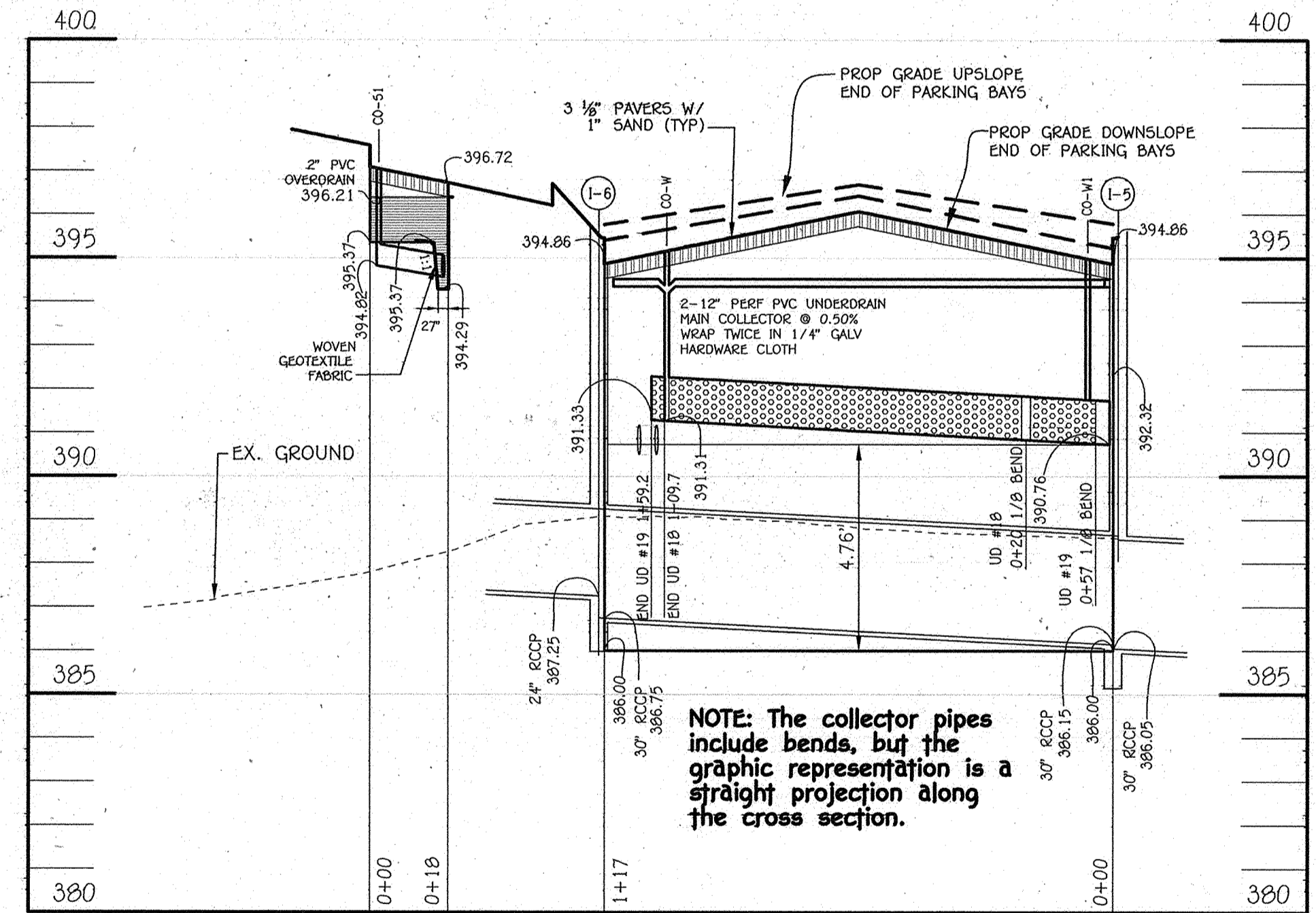
ESDv = [(PE)(Rv)(A)]/12
Where: PE = Rainfall Target from Chapter 5 Table 5.3 and Rv = 0.05 + 0.009(I)
and I = percent impervious cover.
The target PE for design = 2.0 inches.



SECTION 'K-K'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.

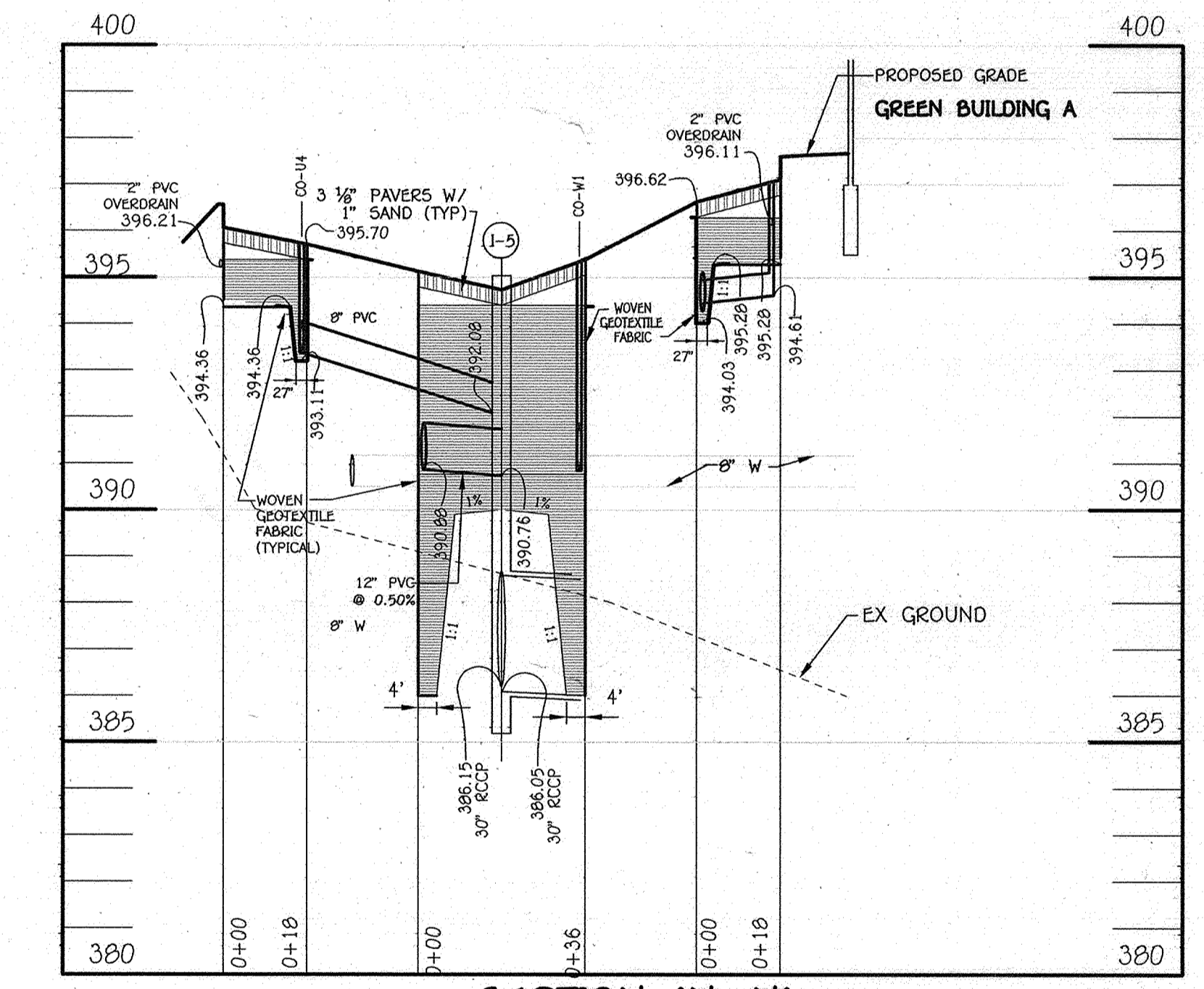


SECTION 'L-L'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.



SECTION 'M-M'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.

NOTE: The collector pipes include bends, but the graphic representation is a straight projection along the cross section.



SECTION 'N-N'
SCALE: 1" = 30' HORZ.
1" = 3' VERT.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
1222 COCKEYVILLE ROAD, SUITE 200, P.O. BOX 410, ELICOTT CITY, MARYLAND 21042
(410) 461-2995

T.E. SCOTT & ASSOCIATES
LANDSCAPE ARCHITECTURE
128 COCKEYVILLE ROAD, SUITE 200, P.O. BOX 410, ELICOTT CITY, MARYLAND 21042
(410) 461-2995



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."
Charles J. Crovo
CHARLES J. CROVO SR., P.E.
10/16/12
DATE

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELICOTT CITY, MARYLAND 21043-5506
410-465-3674

9/19/12 PRORATE RAMPED BUILDING ARCHITECTURE FOR BUILDING 'B'
09/21/12 Review buildings 'A' to show new architecture. Show additional wall for building 'A'. Add SHA sidewalk ramps to plan. Revise the title block to remove office reference.
DATE DESCRIPTION
REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN
STORMWATER MANAGEMENT PLAN & PROFILE
PERMEABLE PAVING AREA 3
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos.: 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: SEPTEMBER 21, 2012
SHEET 34 OF 42 SDP-10-036

Construction Specifications for Environmental Site Design Practices

B.4.A Green Roof Specifications

1. Material Specifications

Because there is significant variation in green roof assemblies and methods, providing comprehensive specifications is not feasible. Material specifications for green roofs will vary based on each roofing system and specific information should be obtained from the appropriate manufacturer or retailer. The following information and specifications, which include acceptable materials for generic applications, is not exclusive or limiting.

2. Planting Media

Planting media should be a soil-like mixture with an organic content of 15% or less. The grain size distribution is necessary for to obtain proper moisture content, permeability, nutrient management and non-capillary porosity, and soil structure. Grain size guidelines vary for single and dual media green roof assemblies.

- The planting media shall be tested and meet the following criteria:
- Non-Capillary Pore Space at Field Capacity, 0.333 bar (TMCC 03.01, A) ≥ 15% (volume)
 - Moisture Content at Field Capacity (TMCC 03.01, A) ≥ 12% (volume)
 - Maximum Media Water Retention (FLL) ≥ 30% (volume)
 - Alkalinity, CaCO3 equivalents (MSA) ≥ 2.5%
 - Total Organic Matter by Wet Combustion (MSA) ≤ 3--15% (dry wt.)
 - pH (RC51P) 6.5--8.0
 - Soluble Salts (DTPA saturated media extraction - RC51P) ≤ 6 mmhos/cm
 - Cation Exchange Capacity (MSA) ≥ 10 meq/100 g
 - Saturated Hydraulic Conductivity (FLL):
 - Single Media Assemblies ≥ 0.05 in./min
 - Dual Media Assemblies ≥ 0.30 in./min

Mineral Fraction Grain Size Distribution (ASTM D422):

Single Media	Dual Media
Clay Fraction (2 micron)	0
% Passing #200 Sieve	≤ 5%
% Passing #60 Sieve	≤ 10%
% Passing #10 Sieve	5-50%
% Passing #4 Sieve	20-70%
% Passing 3/8 inch Sieve	75-100%
% Passing 3/4 inch Sieve	90-100%

3. Green Roof Layers

Root Barriers -- should be thermoplastic membranes with minimum thickness of 30 mils. Membranes certified for use as root barriers are recommended. However, only FLL currently offers a recognized certification test. Many FLL-certified materials are locally available.

- Granular Drainage Media -- should be a non-carbonate mineral aggregate meeting the following specifications:
- Saturated Hydraulic Conductivity ≥ 25 inches/minute
 - Total Organic Matter (by wet combustion) ≤ 1%
 - Abrasion Resistance (ASTM C131-96) ≤ 25% loss
 - Soundness (ASTM C208 or T103 or T103-91) ≤ 5% loss
 - Porosity (ASTM C29) ≥ 25%
 - Alkalinity, CaCO3 equivalents (MSA) ≤ 1%
 - Grain Size Distribution (ASTM C136)
 - Percent Passing #10 Sieve ≤ 1%
 - Percent Passing #4 Sieve ≤ 30%
 - Percent Passing 3/8 inch Sieve ≤ 80%

Separation Fabric -- should be a lightweight, non-woven geotextile that is easily penetrated by roots while providing a durable separation between drainage and growth media layers. Separation fabrics should meet the following:

- Unit Weight (ASTM D3776) ≤ 4.25 ounces per square yard
- Grab Tensile Strength (ASTM D4632) ≥ 90 lbs.
- Mullen Burst Strength (ASTM D4632) ≥ 135 lbs./inch
- Permittivity (ASTM D4491) ≥ 2 sec-1

B.4.B Specifications for Permeable Pavements & Reinforced Turf

These specifications include information on acceptable materials for typical applications and are not exclusive or limiting. The designer is responsible for developing detailed specifications for individual projects and specific conditions.

1. Pervious Concrete Specifications

Design Thickness -- Pervious concrete applications shall be designed so that the thickness of the concrete slab shall support the traffic and vehicle types that will be carried. Applications may be designed using either standard pavement procedures (e.g., AASHTO, ACI 325.9R, ACI 330R) or using structural values derived from flexible pavement design procedures.

Mix & Installation -- Traditional Portland cements (ASTM C 150, C 1157) may be used in pervious concrete applications. Phosphorus admixtures may also be used. Materials should be tested (e.g., trial batching) prior to construction so that critical properties (e.g., setting time, rate of strength development, porosity, permeability) can be determined.

Aggregate -- Pervious concrete contains a limited fine aggregate content. Commonly used gradations include: ASTM C 33 No. 67 (3% in. to No. 4), No. 8 (1/8 in. to No. 16) and No. 89 (3/8 in. to No. 50) sieves. Single-sized aggregate (up to 1 inch) may also be used.

Water Content -- Water-to-cement ratios between 0.27 and 0.30 are used routinely with proper inclusion of chemical admixtures. Water quality should meet ACI 308. As a general rule, potable water should be used although recycled concrete production water meeting ASTM C 94 or AASHTO M 157 may also be used.

Admixtures -- Chemical admixtures (e.g., retarders or hydration-stabilizers) are used to obtain special properties in pervious concrete. Use of admixtures should meet ASTM C 494 (chemical admixtures) and ASTM C 260 (air entraining admixtures) and closely follow manufacturer's recommendations.

Base Course -- The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

2. Permeable Interlocking Concrete Pavements (PICP)

Paver Blocks -- Blocks should be either 3 1/8 in. or 4 in. thick, and meet ASTM C 936 or CSA A23 1.2 requirements. Applications should have 20% or more (40% preferred) of the surface area open. Installation should follow manufacturer's instructions, except that infill and base course materials and dimensions specified in this Appendix shall be followed.

Infill Materials and Leveling Course -- Openings shall be filled with ASTM C-33 graded sand or sandy loam. PICP blocks shall be placed on a one-inch thick leveling course of ASTM C-33 sand.

Base Course -- The base course shall be AASHTO No. 3 or 4 course aggregate with an assumed open pore space of 30% (n = 0.30).

Underdrains -- Underdrains should meet the following criteria:

- Pipe -- should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTM F 756, Type PS 2B, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations -- If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a 1/4" (No. 4 or 4x4) galvanized hardware cloth.
- Gravel -- The gravel layer shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,000 square feet) to provide a clean-out port and monitor performance of the filter section.
- A 4" layer of sand shall be located between the filter media and underdrain to prevent migration of fines into the underdrain.

Note: These practices may not be constructed until all contributing drainage area has been stabilized

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED PERMEABLE PAVEMENT SYSTEMS (A-2)

General:

1. Remove grass clippings when mowing areas adjacent to the permeable pavement system.
2. Use deicers moderation. When used, deicers should be non-toxic and organic and can be applied either as calcium magnesium acetate or as pretreated salt.
3. Snow plowing should be done carefully with blades set one-inch higher than normal.
4. Plowed snow piles and snowmelt should not be directed to permeable pavement.
5. The repair or replacement of components must meet the original design specifications.

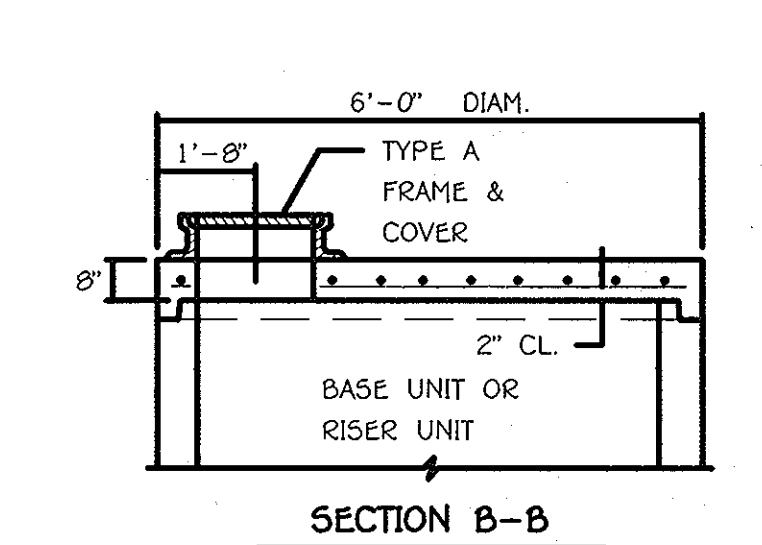
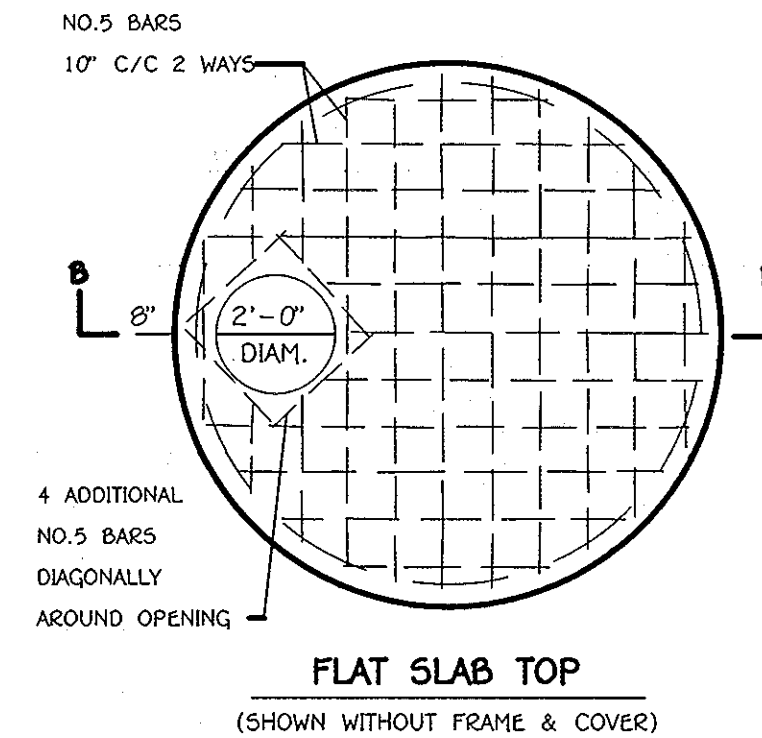
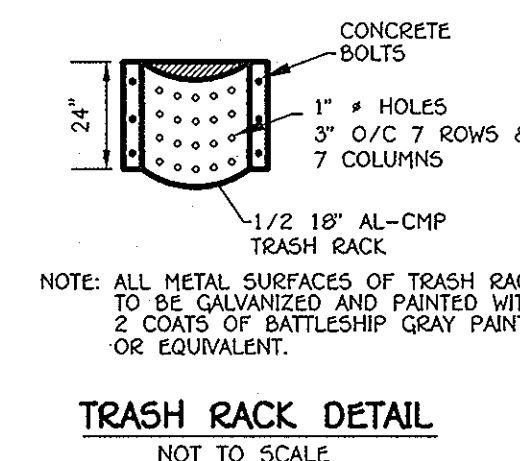
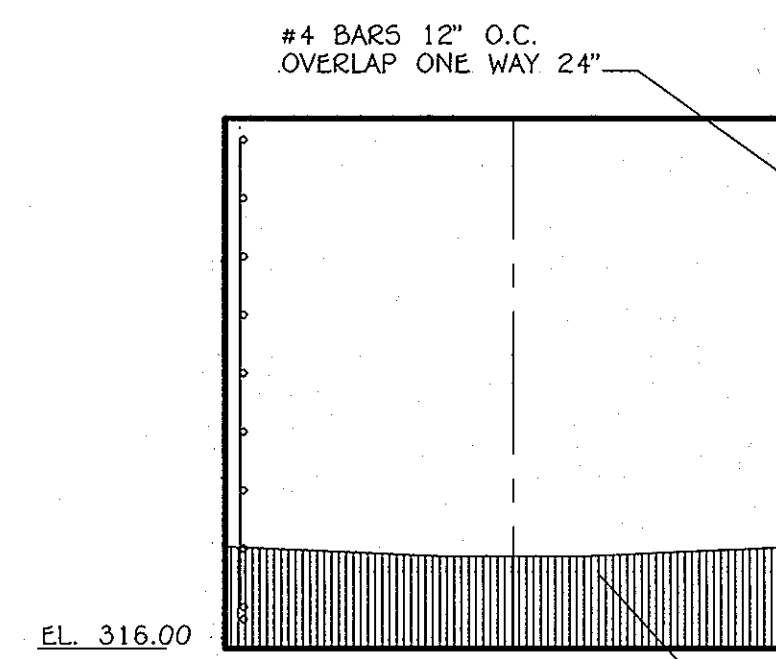
Quarterly and after every large storm event:

1. Ensure that the permeable pavement surface is free of any obstructions such that may clog or inhibit the system from performing as designed, such as sand, sediment, mulch, leaves, branches and other debris.
2. Inspect the permeable pavement system for standing water in order to verify that the system is dewatering between storm events as required.
3. Inspect cleanouts, sampling ports, underdrain outlets, and structures. Clear any obstructions encountered.
4. Maintain stable ground cover must be maintained in areas draining onto the permeable pavement. Inspect lawn and landscape areas contributing drainage to the system. Repair any erosion immediately.

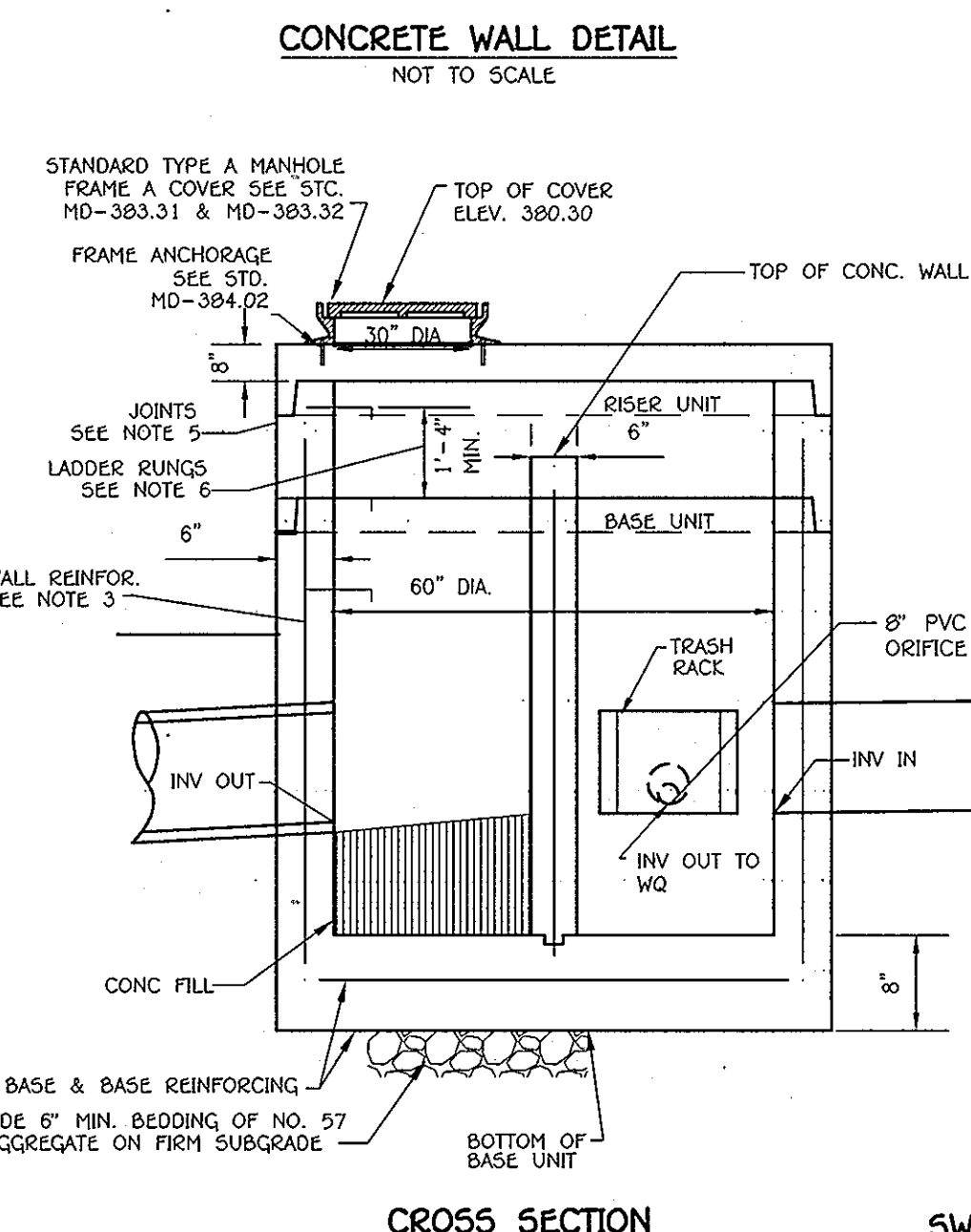
Annually:

1. Vacuum sweep permeable pavement surface with a commercial cleaning unit.
2. Inspect the permeable pavement surface for deterioration.
3. Clean pipes, inlets, underdrains drains, overdrains and other structures within or draining to the permeable pavement system.

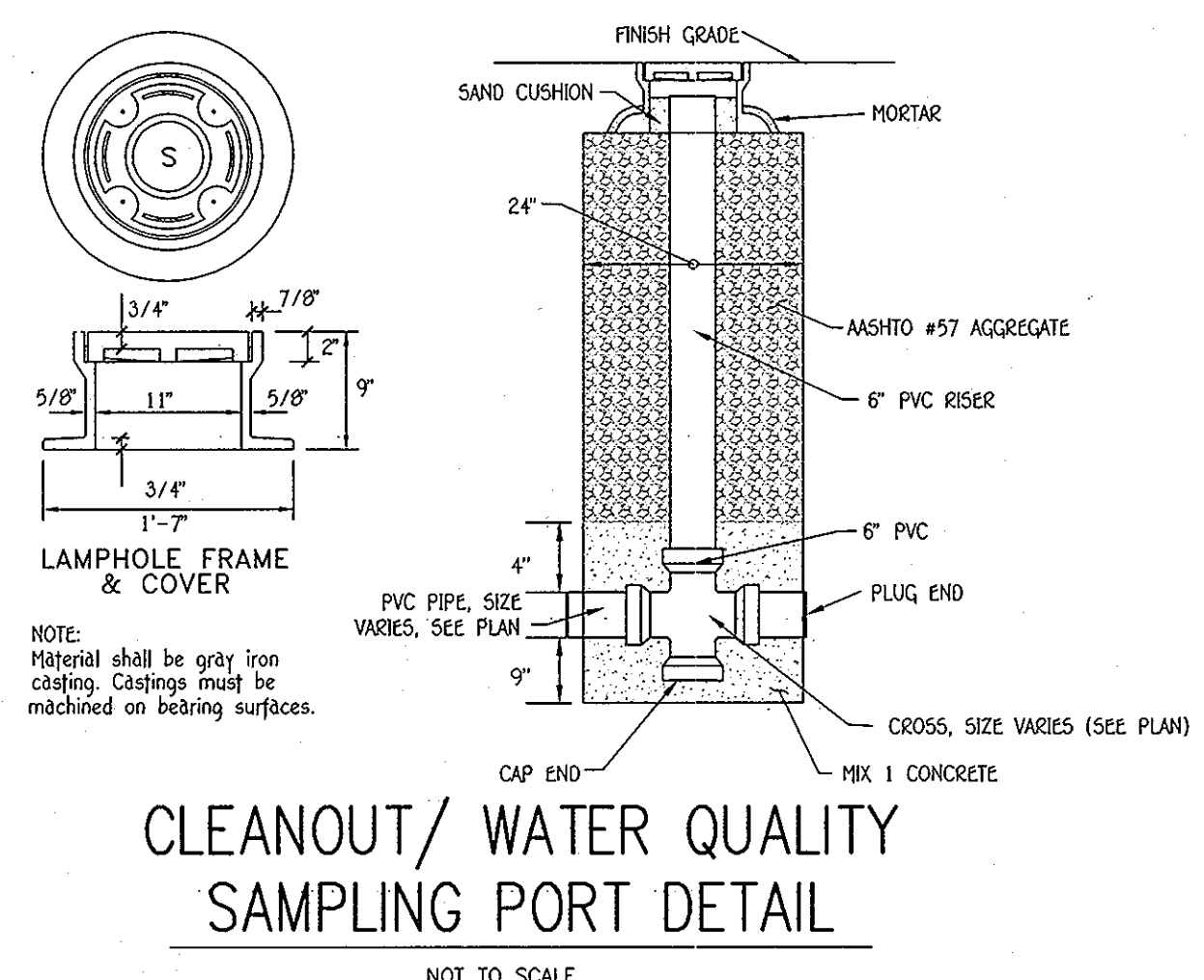
NO.	TYPE	LOCATION	TOP ELEV.	BOTT ELEV.	TOP WEIR WALL	INV. IN	INV. TO WQ	INV. OUT	COMMENTS
M-13	60" MANHOLE	N 586867.3198 E 1352552.3427	397.58	391.00	396.33	393.07	393.18	392.87	MD 384.03 MODIFIED
M-14	60" MANHOLE	N 587058.10 E 1352713.11	383.89	378.00	382.00	380.25	380.00	379.56	MD 384.03 MODIFIED



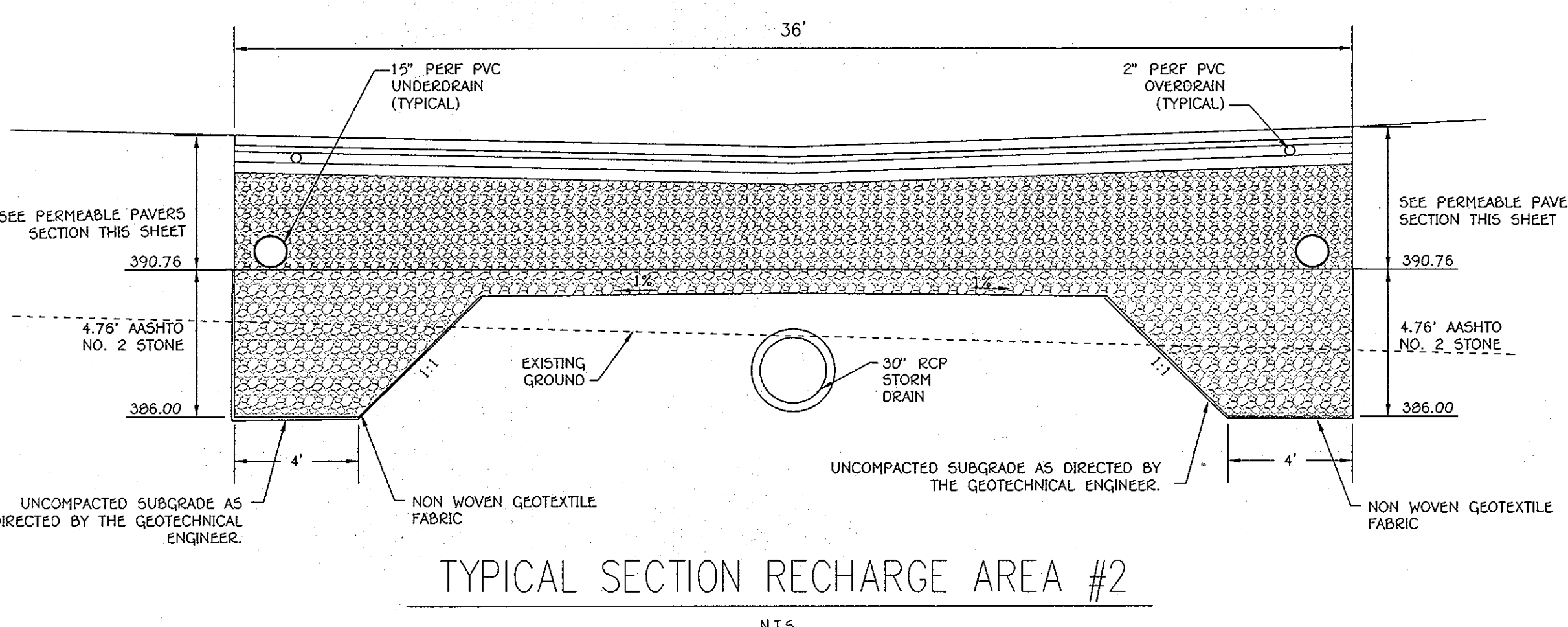
- CONTROL STRUCTURE NOTES:**
1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199.
 2. CONCRETE SHALL BE MIX NO. 6 (4500 P.S.I.)
 3. WALL REINFORCEMENT FOR BASE UNITS AND RISER UNITS SHALL BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.2 IN²/FT FOR THE 6" DIAMETER MANHOLES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND A 62.
 4. BASE REINFORCEMENT TO BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.27 IN²/FT. THE BASE SHALL BE CAST MONOLITHIC WITH THE BASE UNIT OR JOINTED PER MANUFACTURER'S DESIGN.
 5. THE MANUFACTURER SHALL FORM MALE AND FEMALE ENDS OF JOINTS USING THEIR OWN DESIGN. THE JOINTS SHALL BE SEALED BY THE CONTRACTOR AND MADE WATER-TIGHT USING (WHERE APPLICABLE) PORTLAND RUBBER O-RING GASKETS MEETING ASTM C361 AND C 443 OR FLEXIBLE PLASTIC GASKETS MEETING AASHTO M 190 TYPE B.
 6. BASE REINFORCEMENT SHALL BE INSTALLED IN VERTICAL ALIGNMENT AT 1'-4" MAXIMUM C/C. RING TYPES SHALL BE IN ACCORDANCE WITH STANDARDS MD-383.91 OR MD-383.92. LADDER RUNGS SHALL BE INCIDENTAL TO THE COST OF THE MANHOLE.
 7. WHEN THE DISTANCE BETWEEN MULTIPLE PIPE OPENINGS IN THE BASE UNIT OR ANY RISER UNIT IS LESS THEN 6" ADDITIONAL NO. 3 BARS ARE REQUIRED AROUND OPENINGS.
 8. LIFT HOLES OR LIFT EYES SHALL BE PROVIDED IN EACH SECTION FOR HANDLING.
 9. MIX NO. 2 CONCRETE OR BRICK CHANNEL SHALL BE PROVIDED IN THE FIELD AND SHALL SLOPE 2" PER FOOT TOWARD OUTLET OR AS DIRECTED BY THE ENGINEER.
 10. THE DRIP STONE LANDING SHALL BE USED ONLY WHEN THERE ARE PIPES CONNECTED TO THE RISER UNITS. SEE STD-MD-384.13 FOR DETAILS.
 11. MINIMUM DEPTH PAYMENT PER EACH SHALL BE 10'-1" MEASURED FROM THE BOTTOM OF THE BASE UNIT TO THE TOP OF THE MANHOLE COVER. VERTICAL DEPTH PAYMENT PER LINEAR FOOT SHALL INCLUDE ALL DEPTHS IN EXCESS OF 10'-1" THE COST OF THE DRIP STONE LANDING, NO. 57 AGGREGATE GROUT, SEALANT, AND ALL NECESSARY APPURTENANCES SHALL BE INCIDENTAL TO THE PRICE BID.



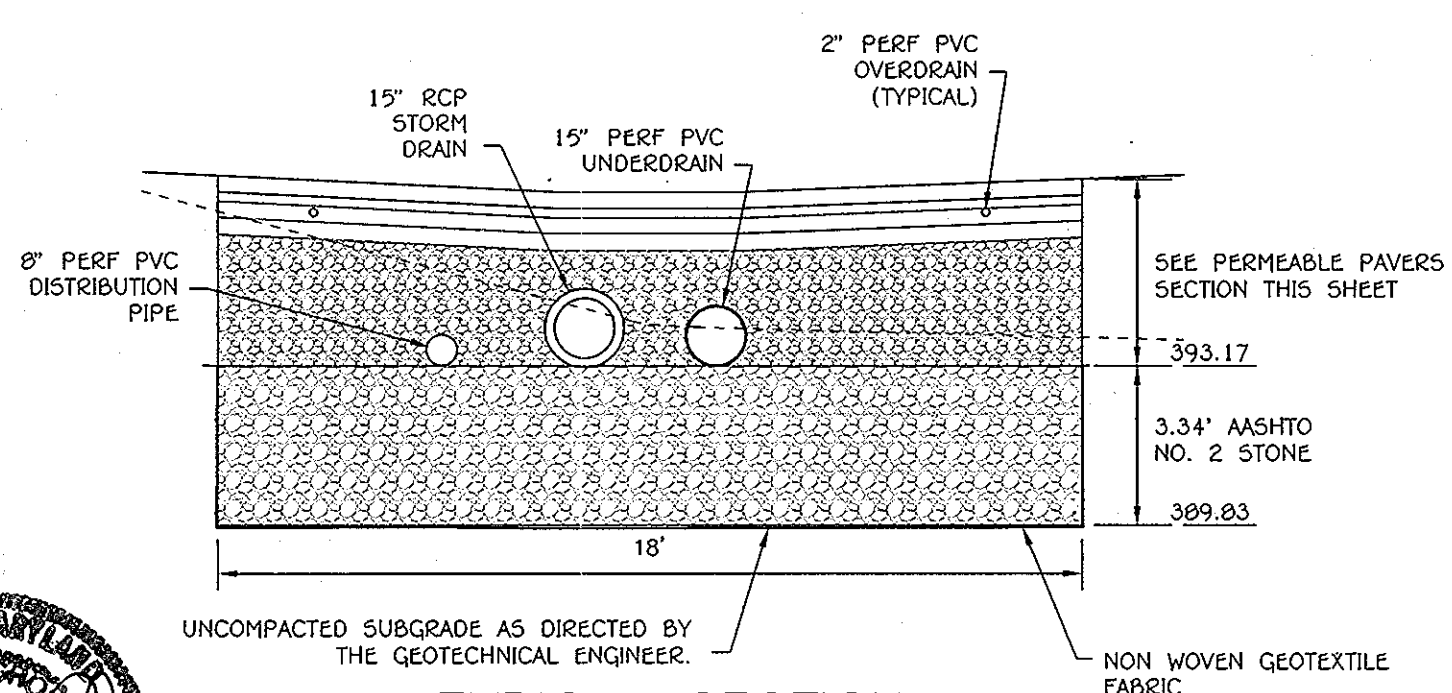
**M-13 & M-14
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SWM CONTROL STRUCTURE
MD SHA STD. 384.03
NOT TO SCALE**



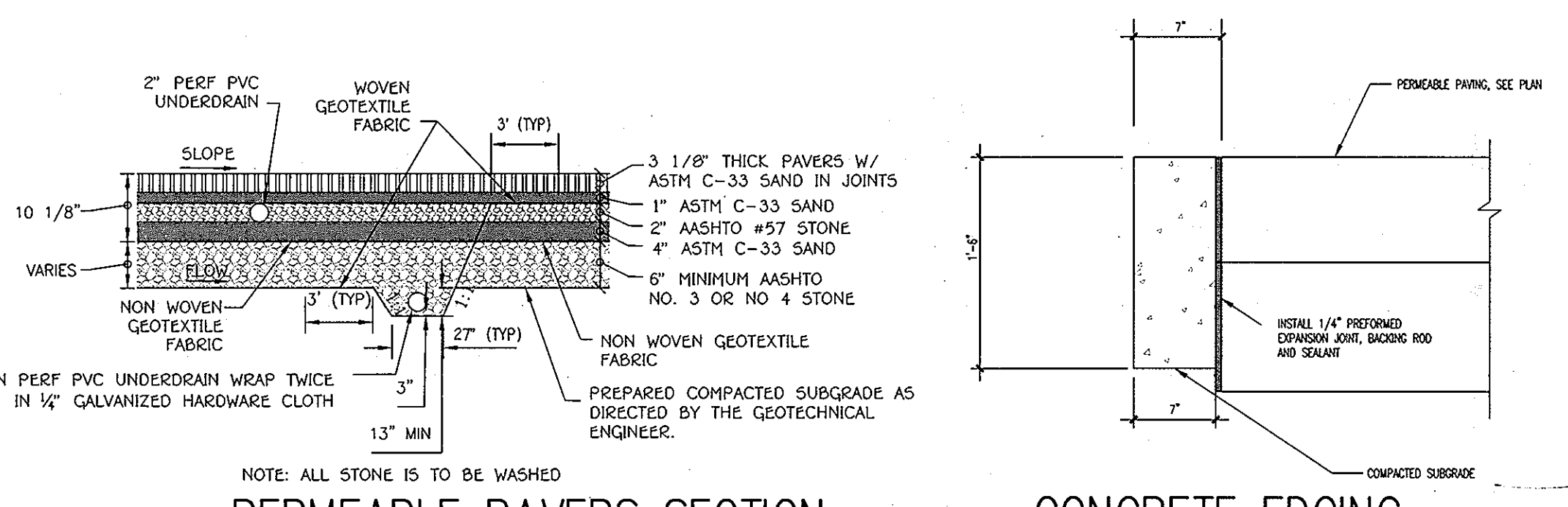
**CLEANOUT/ WATER QUALITY
SAMPLING PORT DETAIL
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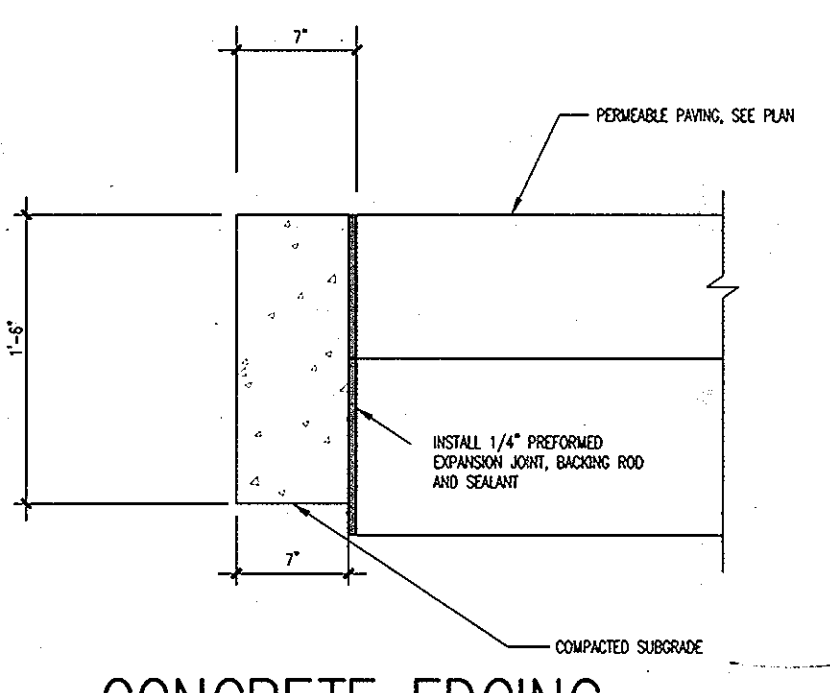
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N.T.S.**



**TYPICAL SECTION
RECHARGE AREA #1
N.T.S.**



**PERMEABLE PAVERS SECTION
N.T.S.**



**CONCRETE EDGING
N.T.S.**

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2855

T.E. SCOTT+ASSOCIATES
LANDSCAPE ARCHITECTS & ENVIRONMENTAL ENGINEERS
128 Cockeysville Road, Ste 200 P: 410-458-2651
Hunt Valley, MD 21030 F: 443-269-0216
tes@tdswn.com www.tdswn.com

ENGINEER'S CERTIFICATE
"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."
Signature of Engineer: *Charles J. Grovo, Sr.* Date: 5/31/11

DEVELOPER'S CERTIFICATE
"I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."
Signature of Developer: *[Signature]* Date: 6/1/11

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.
Signature: *Charles J. Grovo, Sr.* Date: 5/31/11
CHARLES J. GROVO, SR., P.E.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Signature: *[Signature]* Date: _____
Howard SCD

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Signature: *Thomas S. Suttler* Date: 8/1/11
Director - Department of Planning and Zoning

Signature: *Kate Schaefer* Date: 8/1/11
Chief, Division of Land Development

Signature: *[Signature]* Date: 7/28/11
Chief, Development Engineering Division

DATE	DESCRIPTION
9/21/12	REVISE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042

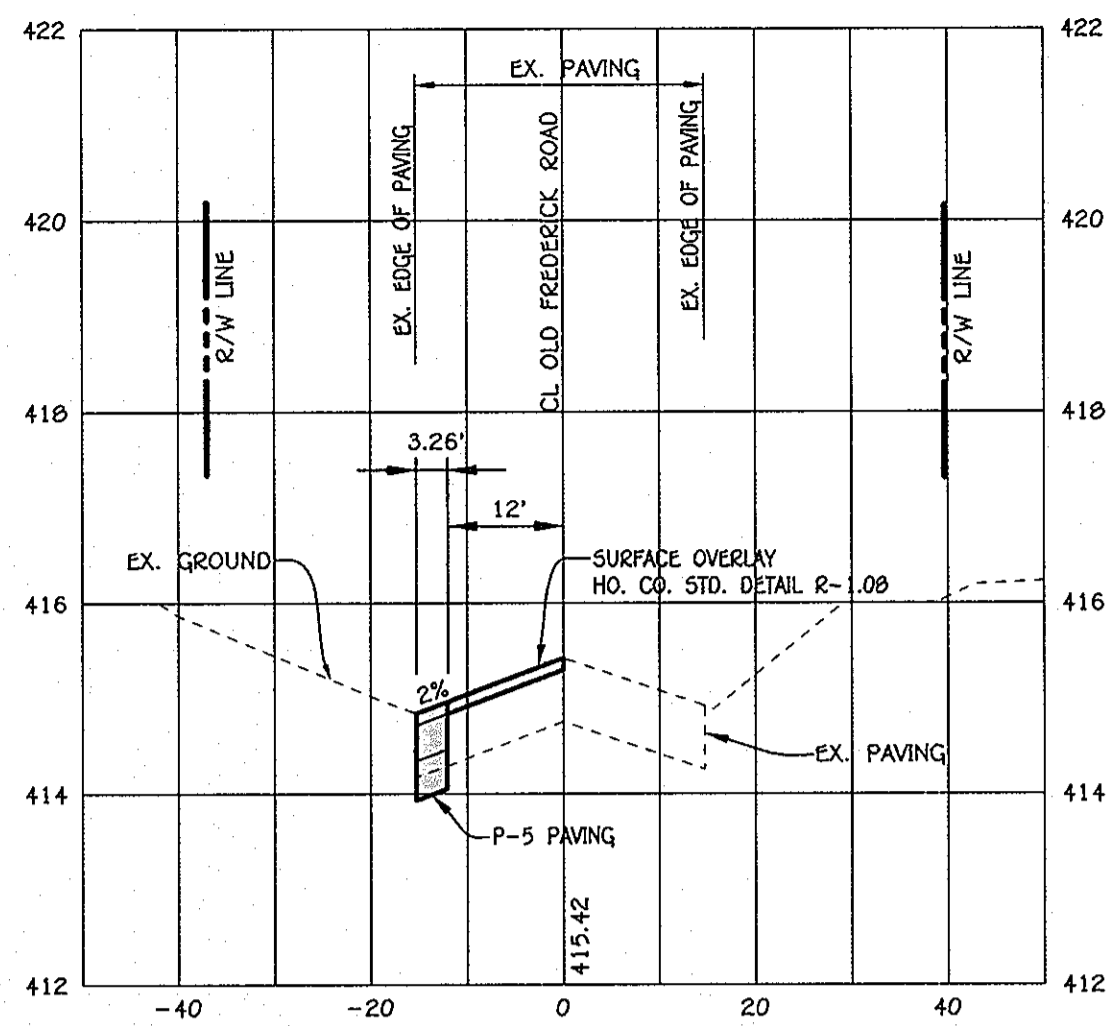
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172Z A	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
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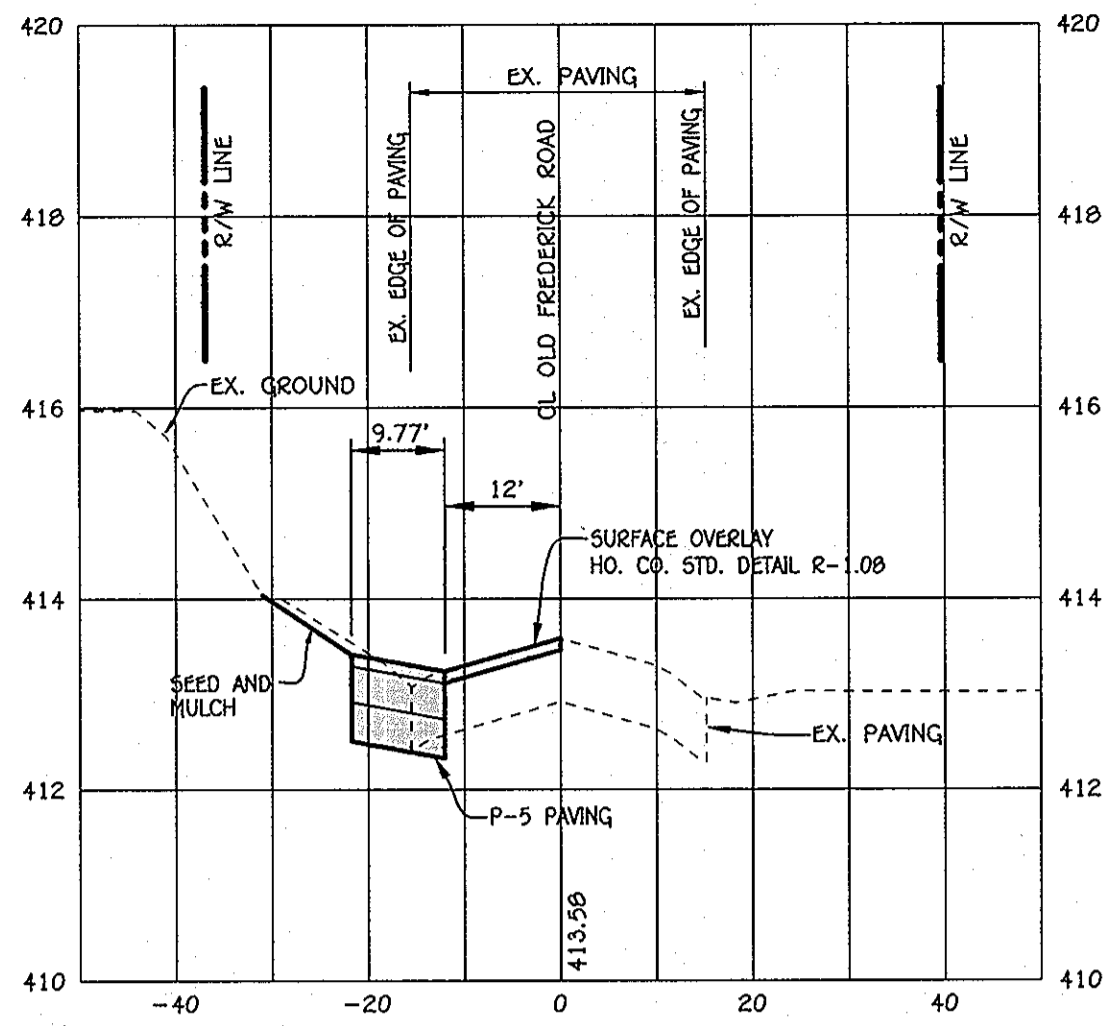
STORMWATER MANAGEMENT SPECIFICATIONS AND DETAILS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S: 21020 & 21097
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: DECEMBER 2, 2010

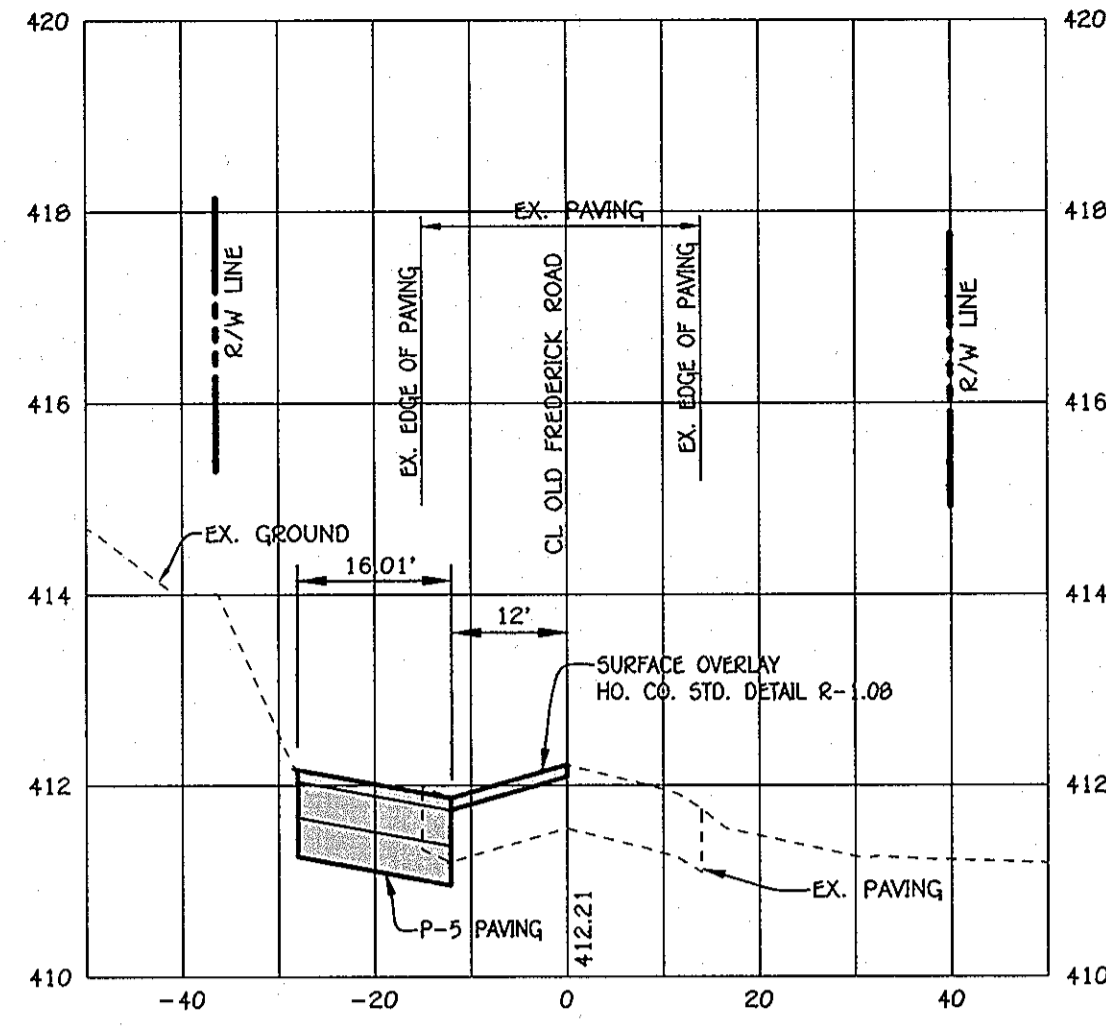
SHEET 36 OF 42 SDP-10-036



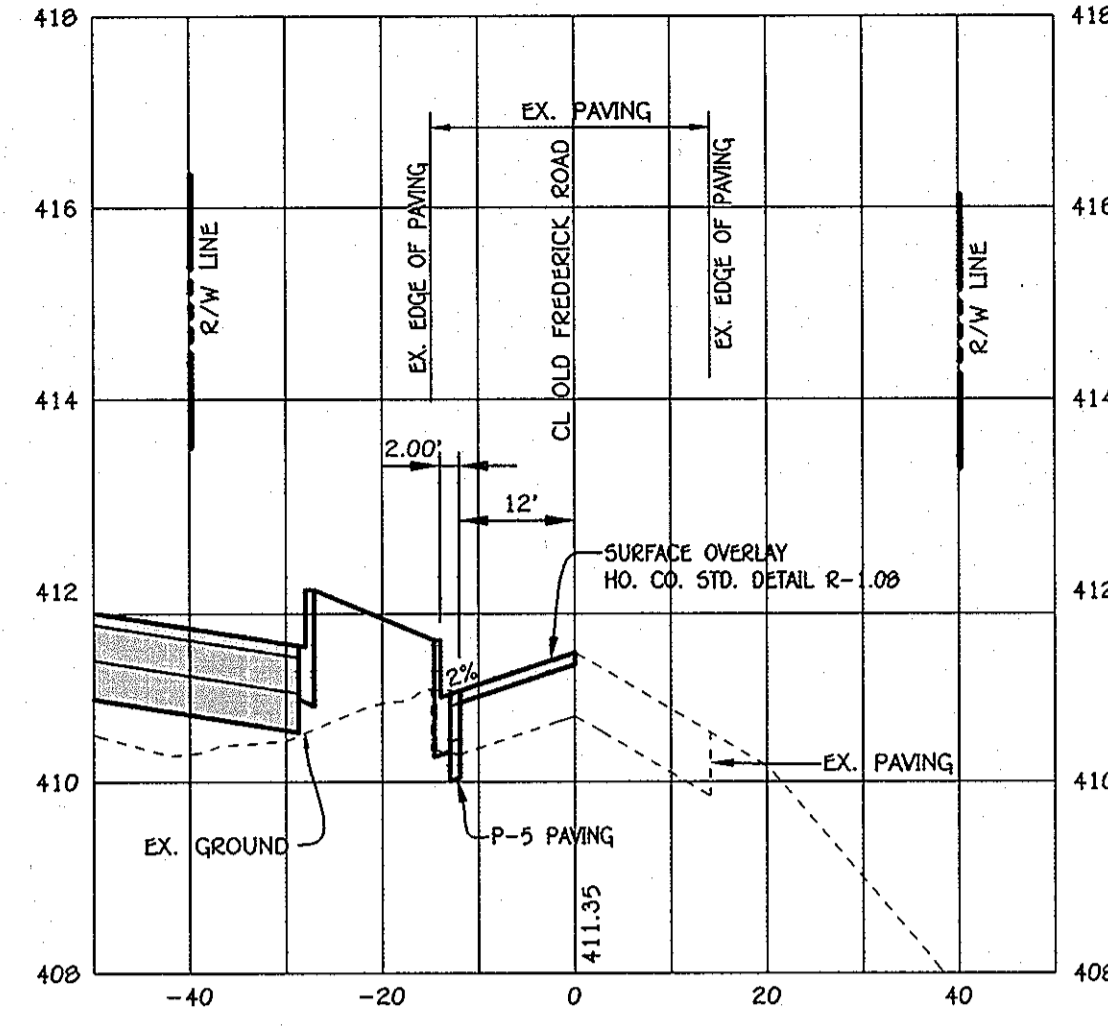
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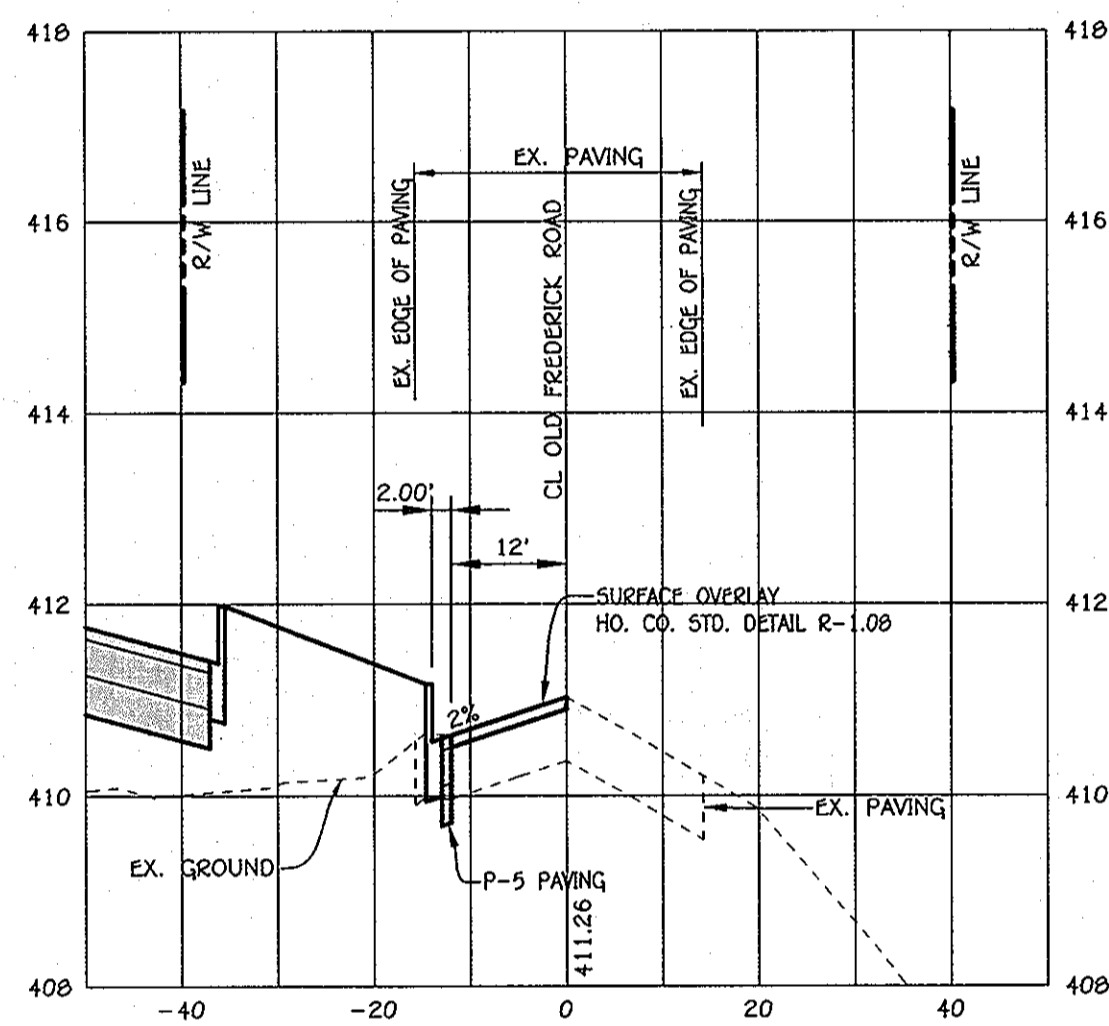
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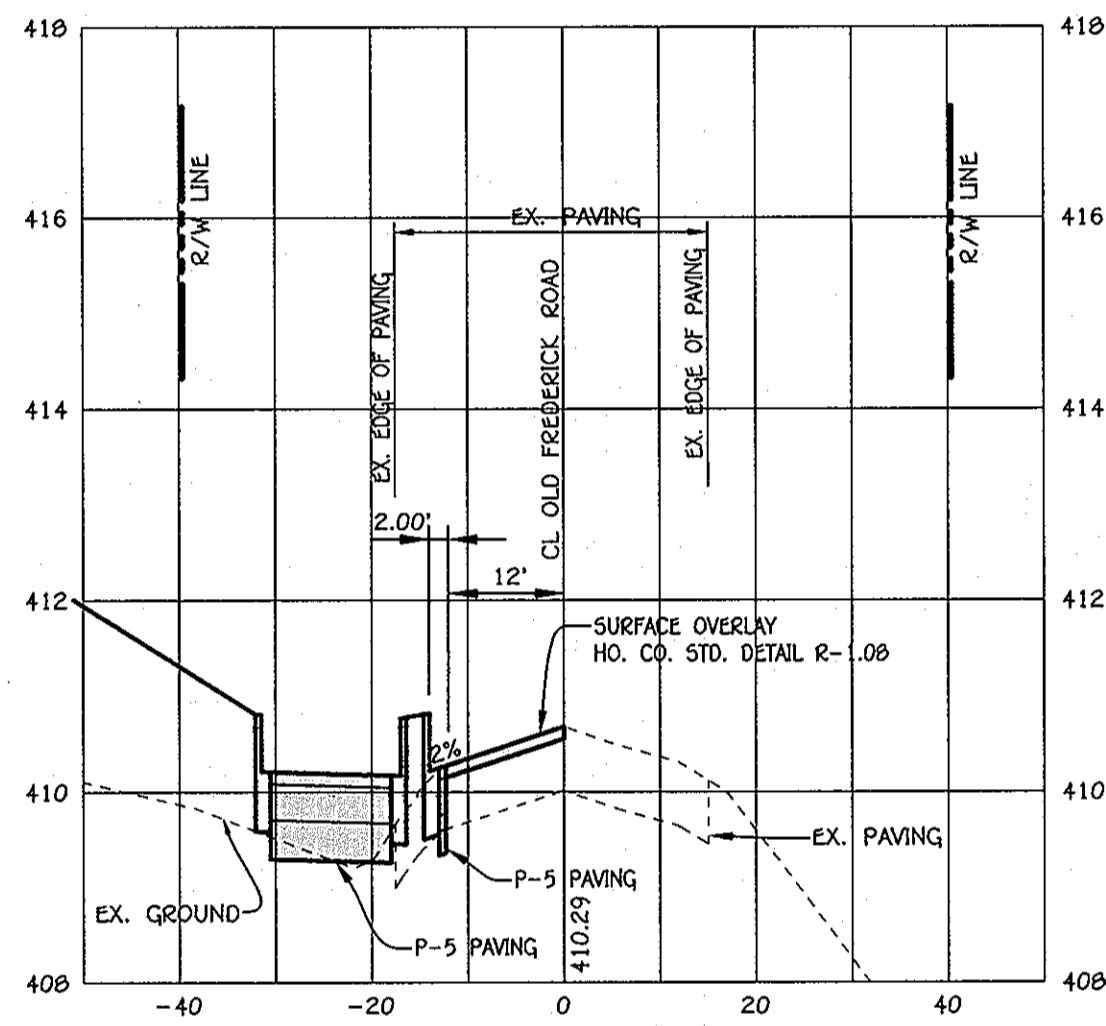
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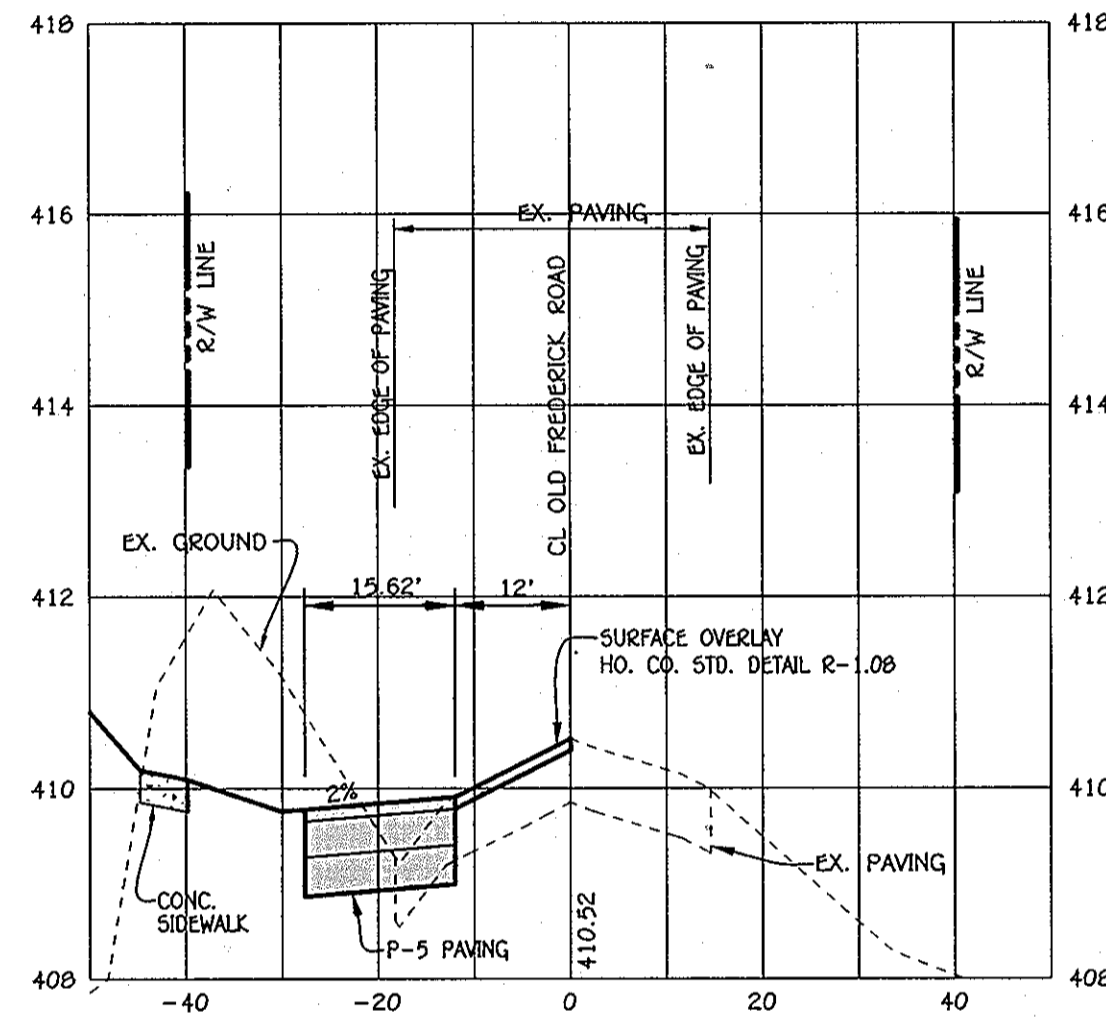
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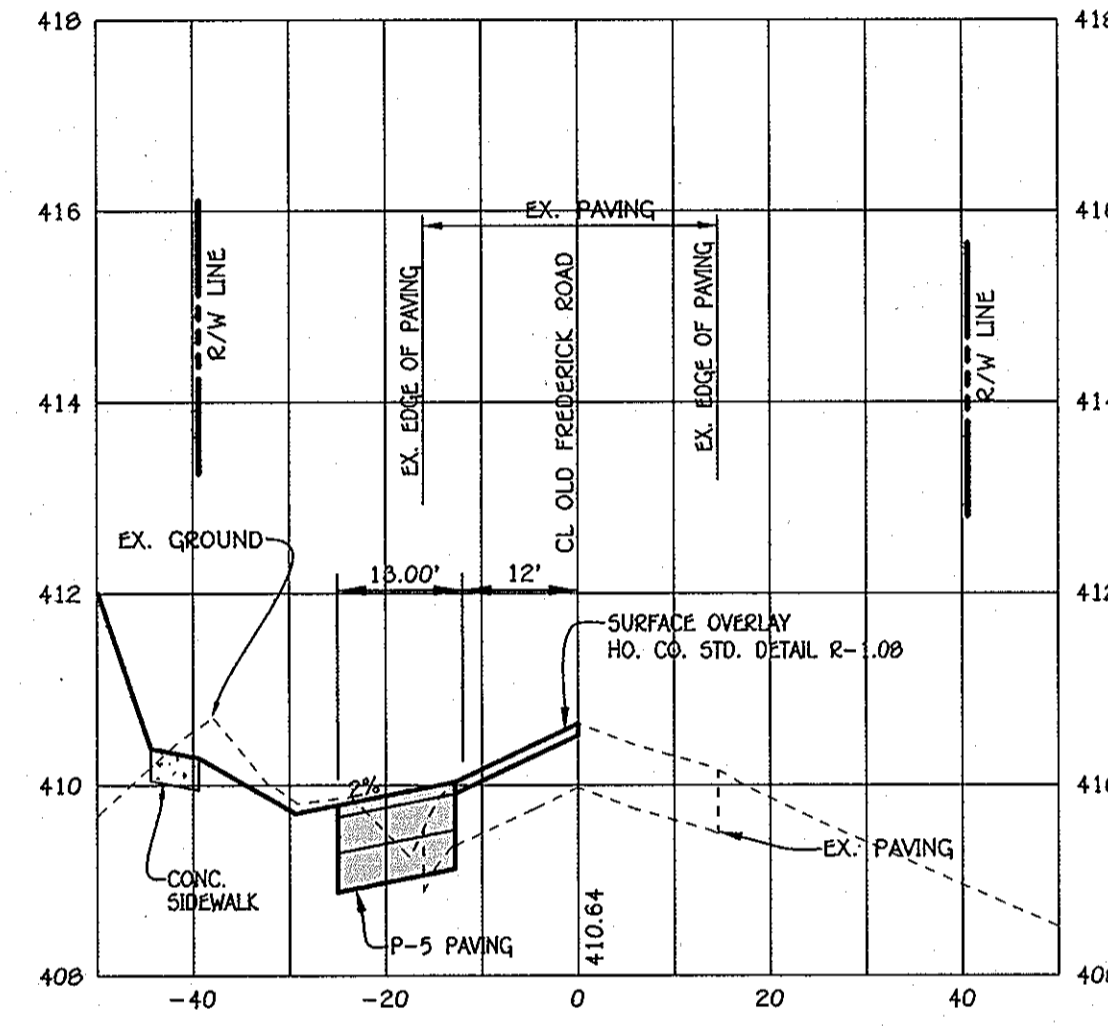
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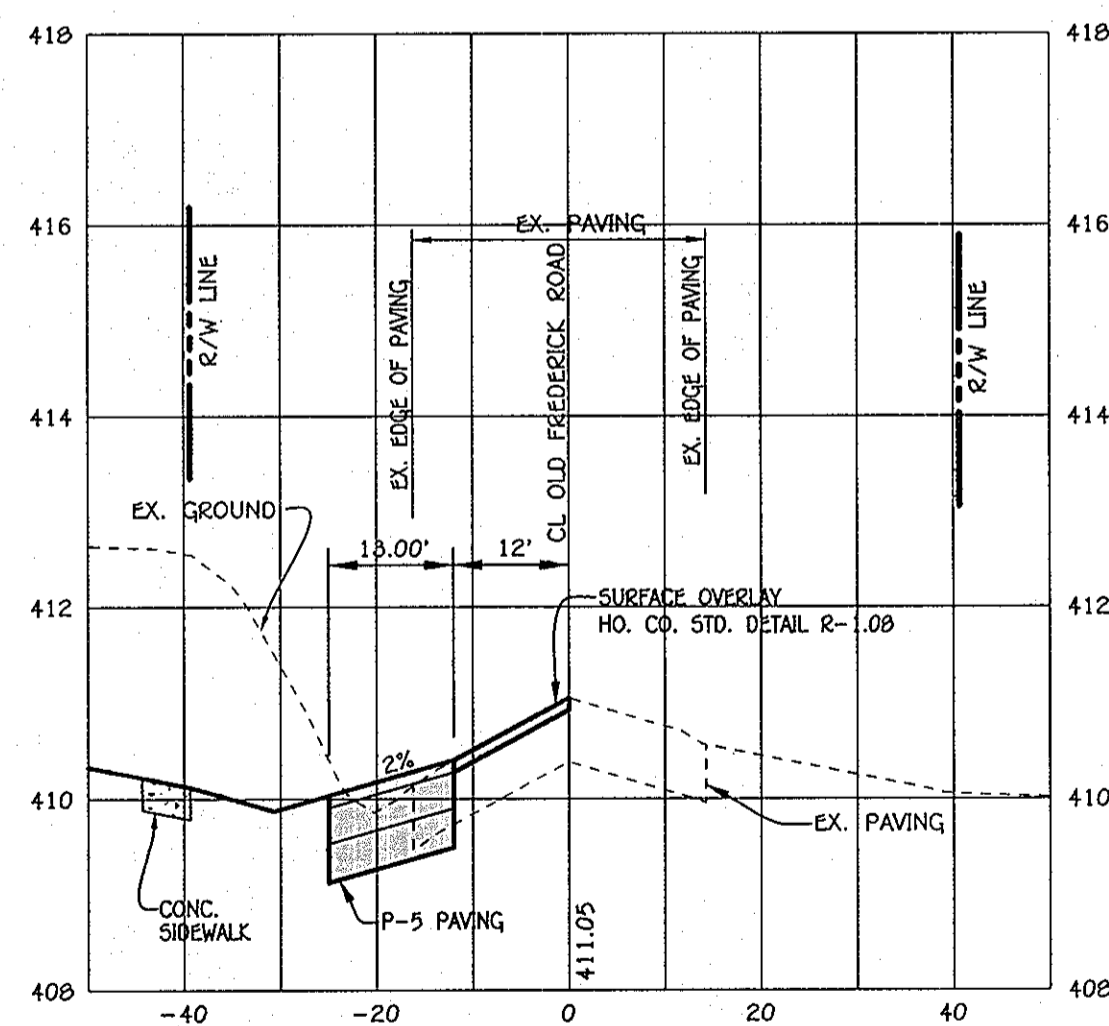
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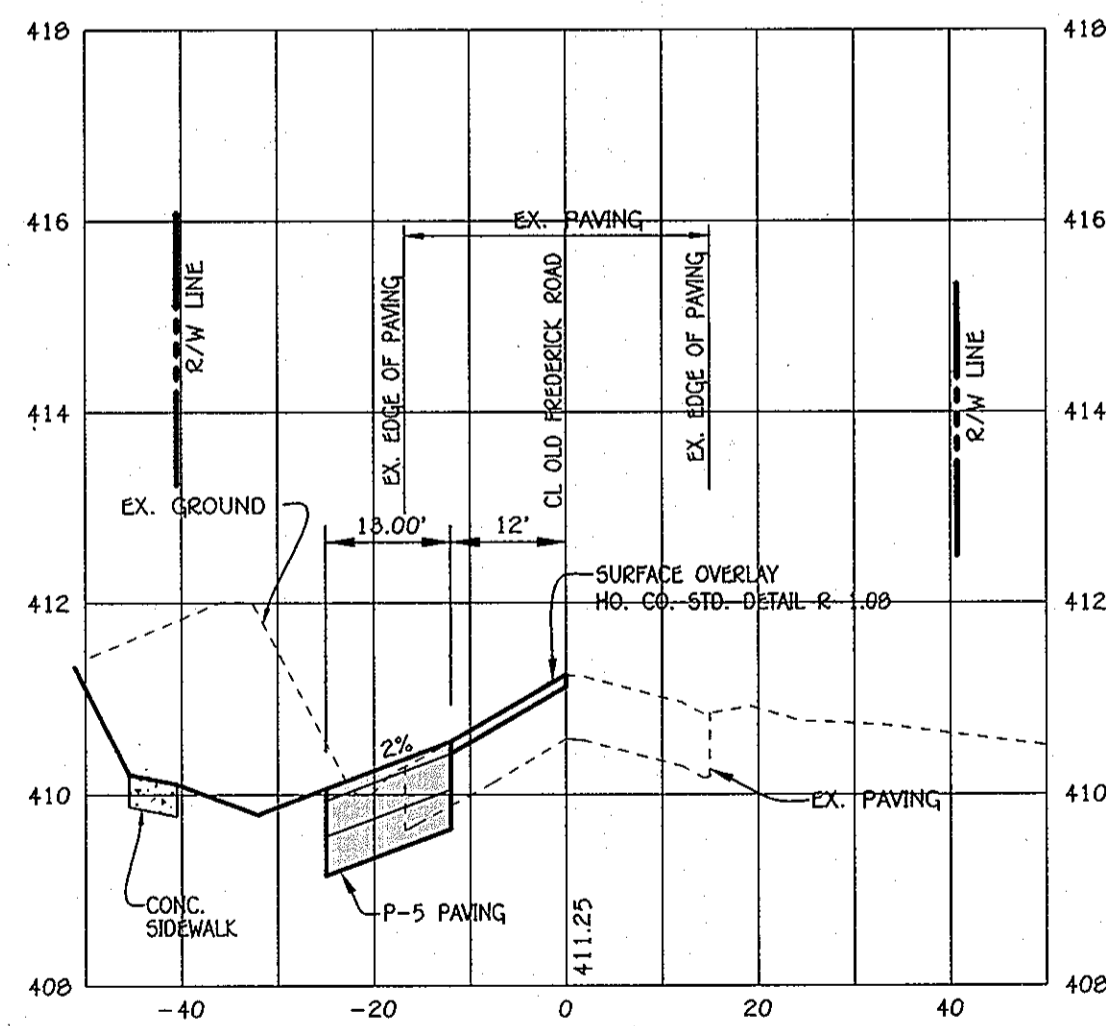
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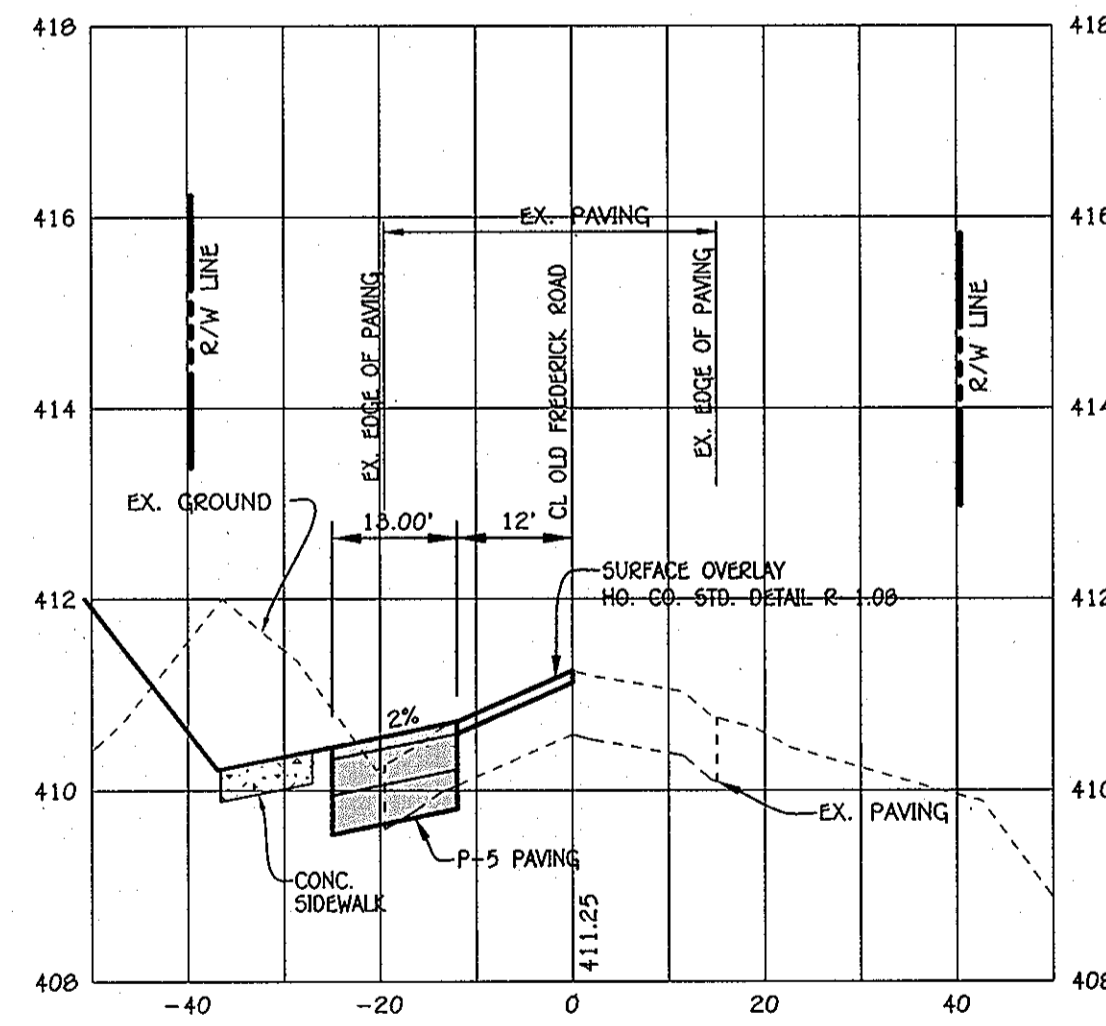
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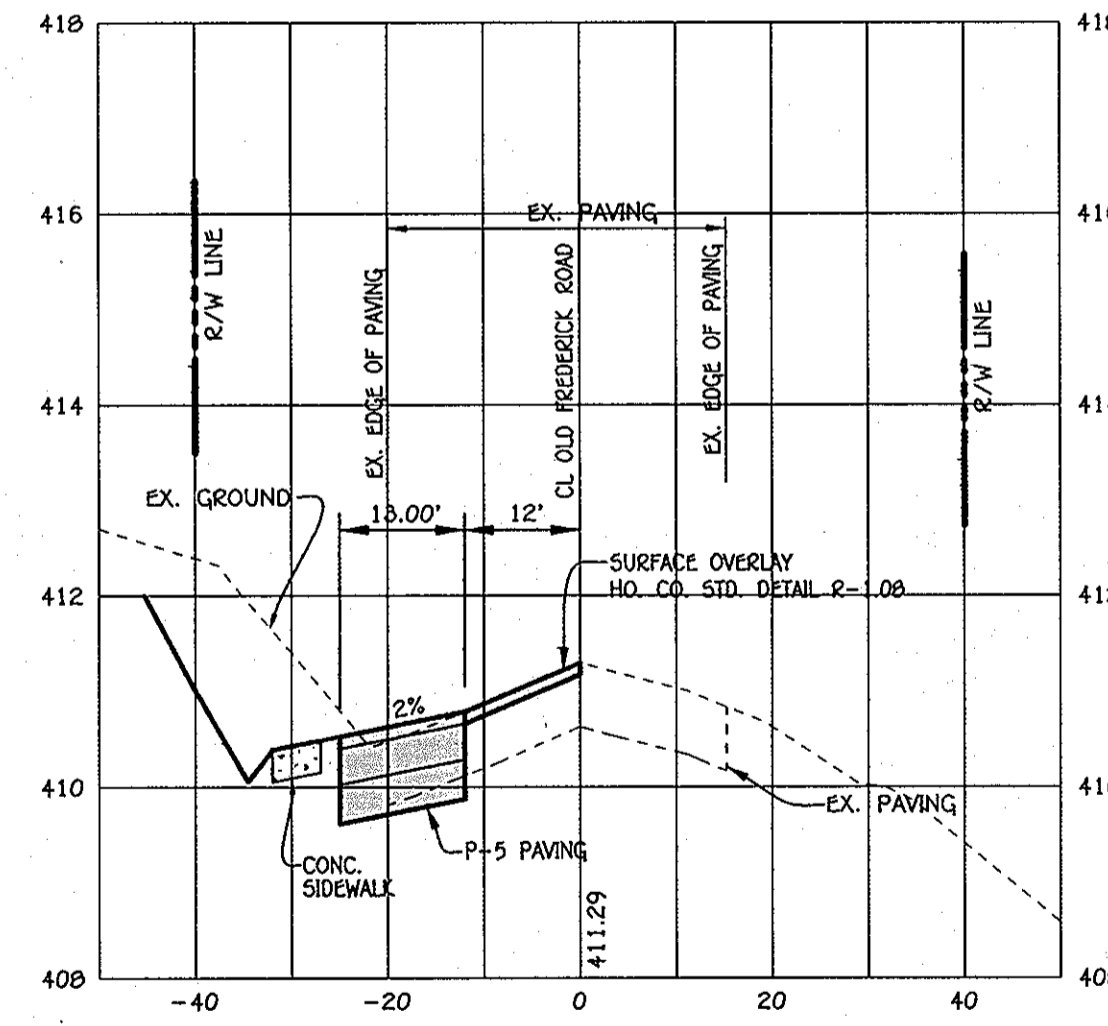
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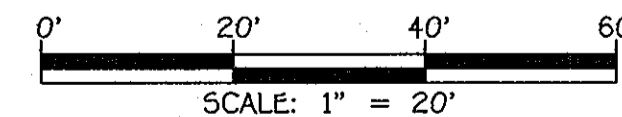
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4+79.10

**FREDERICK ROAD IMPROVEMENTS
CROSS-SECTIONS**

SCALE: HOR. : 1" = 20'
VER. : 1" = 2'



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CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORAL SOURCE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Crovo, Sr., P.E.
CHARLES J. CROVO, SR., P.E.



5/31/11
DATE

DATE	DESCRIPTION	REVISION BLOCK
9/21/12	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Thomas S. Sutler</i>	8/1/11	DATE
Director - Department of Planning and Zoning		
<i>Kent Sanderson</i>	8/1/11	DATE
Chief, Division of Land Development		
<i>John Williams</i>	7/22/11	DATE
Chief, Development Engineering Division		

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

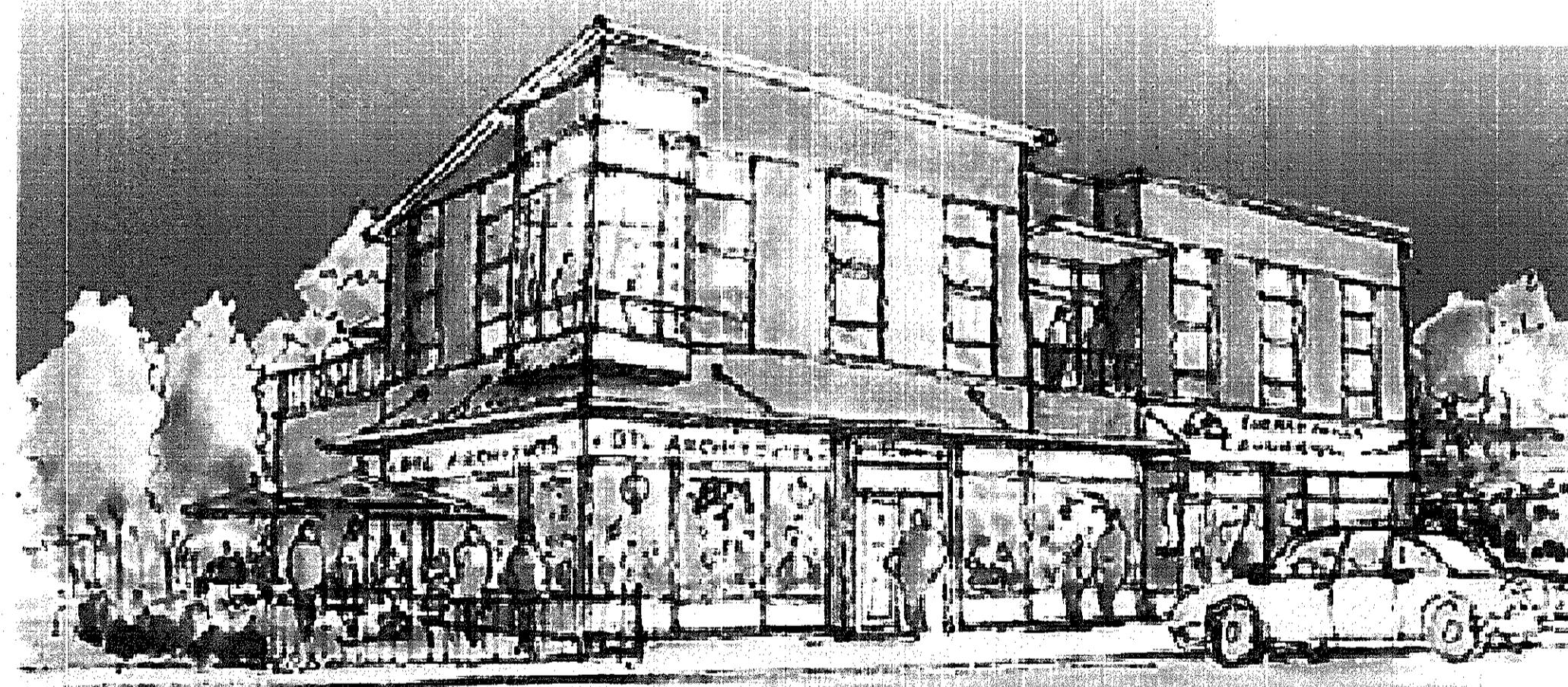
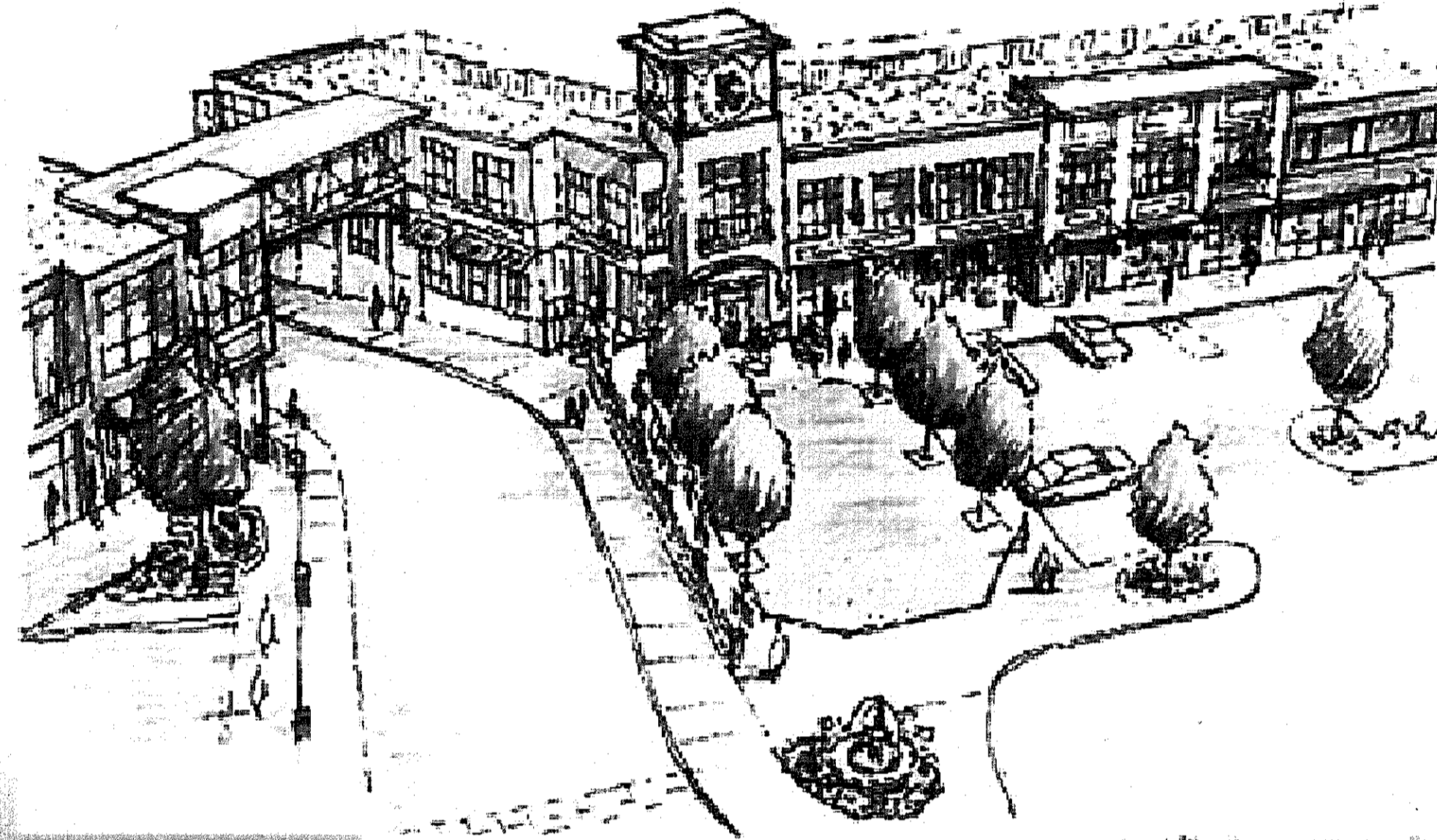
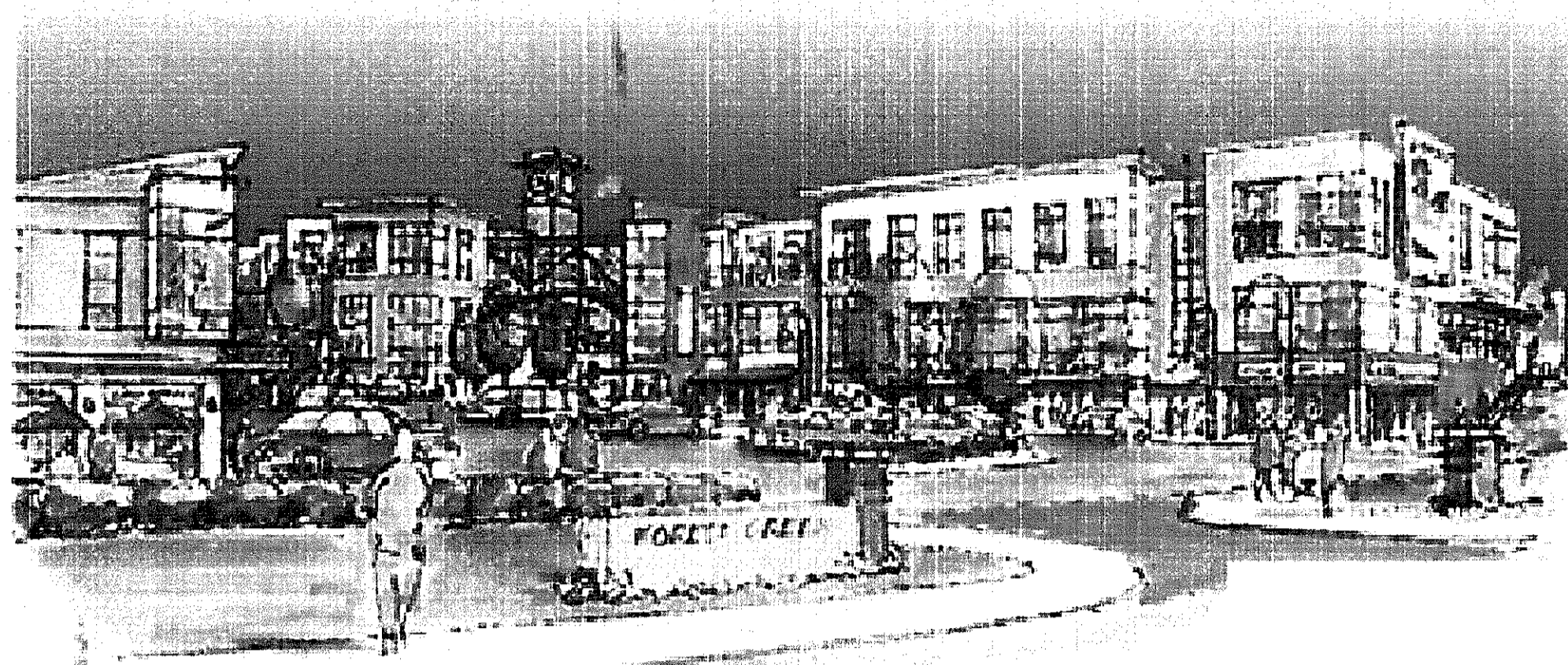
OWNER
FOREST HOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart					
BUILDING NO.	STREET ADDRESS				
A	10045 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042				
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042				
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042				
PROJECT					
FOREST GREEN					
SECTION/AREA	PARCELS	LOT			
	69, 72, 453, 497 AND 1172	A			
PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21026 & 21027	2	B-1 B-2	24	SECOND	6023.01

**FREDERICK ROAD IMPROVEMENT
CROSS-SECTIONS**

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT NO'S. 21026 & 21027
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 20' DATE: DECEMBER 2, 2010



FOREST GREEN

HOWARD COUNTY, MARYLAND

DECEMBER 2009

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750 E. Pratt Street, Suite 1100 Baltimore, MD 21202
410.837.7311 | www.hcm2.com
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CENTRAL SOURCE OFFICE: 10772 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
(410) 461-2099

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Croft, Sr.
CHARLES J. CROFT, SR., P.E.

5/31/11
DATE



DATE	DESCRIPTION	DATE
9/21/10	REMOVE THE OFFICE REFERENCE WITHIN THE TITLE BLOCK	
REVISION BLOCK		
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Mona E. Suttler</i>	Director, Department of Planning and Zoning	8/1/11
<i>Kat Schlorer</i>	Chief, Division of Land Development	5/31/11
<i>William J. ...</i>	Chief, Development Engineering Division	7/20/11

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 395
4100 COLLEGE AVENUE
ELLICOTT CITY, MARYLAND 21043-5506
410-465-3674

BUILDING NO.		STREET ADDRESS	
A	10045 BALTIMORE NAT'L PIKE, ELLICOTT CITY, MD. 21042		
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PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN	-	69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
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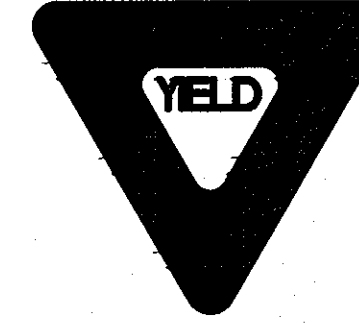
FOREST GREEN CONCEPTUAL DRAWINGS

FOREST GREEN
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RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
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PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: NO SCALE DATE: DECEMBER 2, 2010

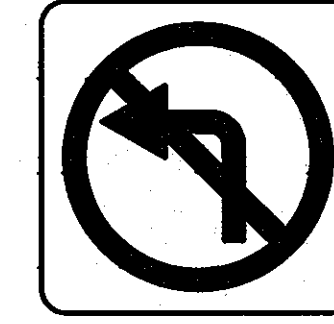
- NOTES:
- SIGN POSTS: ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 - REMOVE ALL EXISTING MARKINGS IN CONFLICT WITH THIS PLAN BY GRINDING ONLY.
 - CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 BEFORE INSTALLING ANY SIGNS, PAVEMENT MARKINGS OR REMOVING ANY EXISTING PAVEMENT MARKINGS.



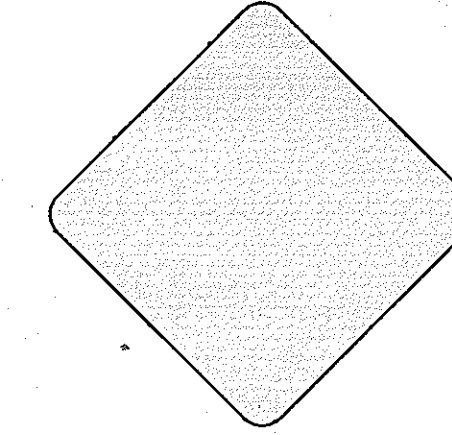
DO NOT ENTER (R5-1)
NO SCALE



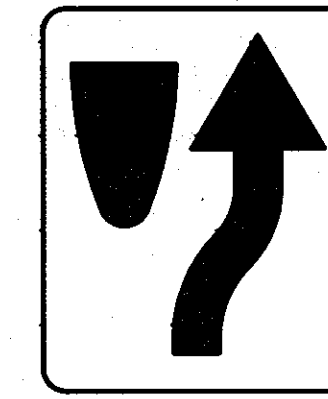
YIELD SIGN (R1-2)
NO SCALE



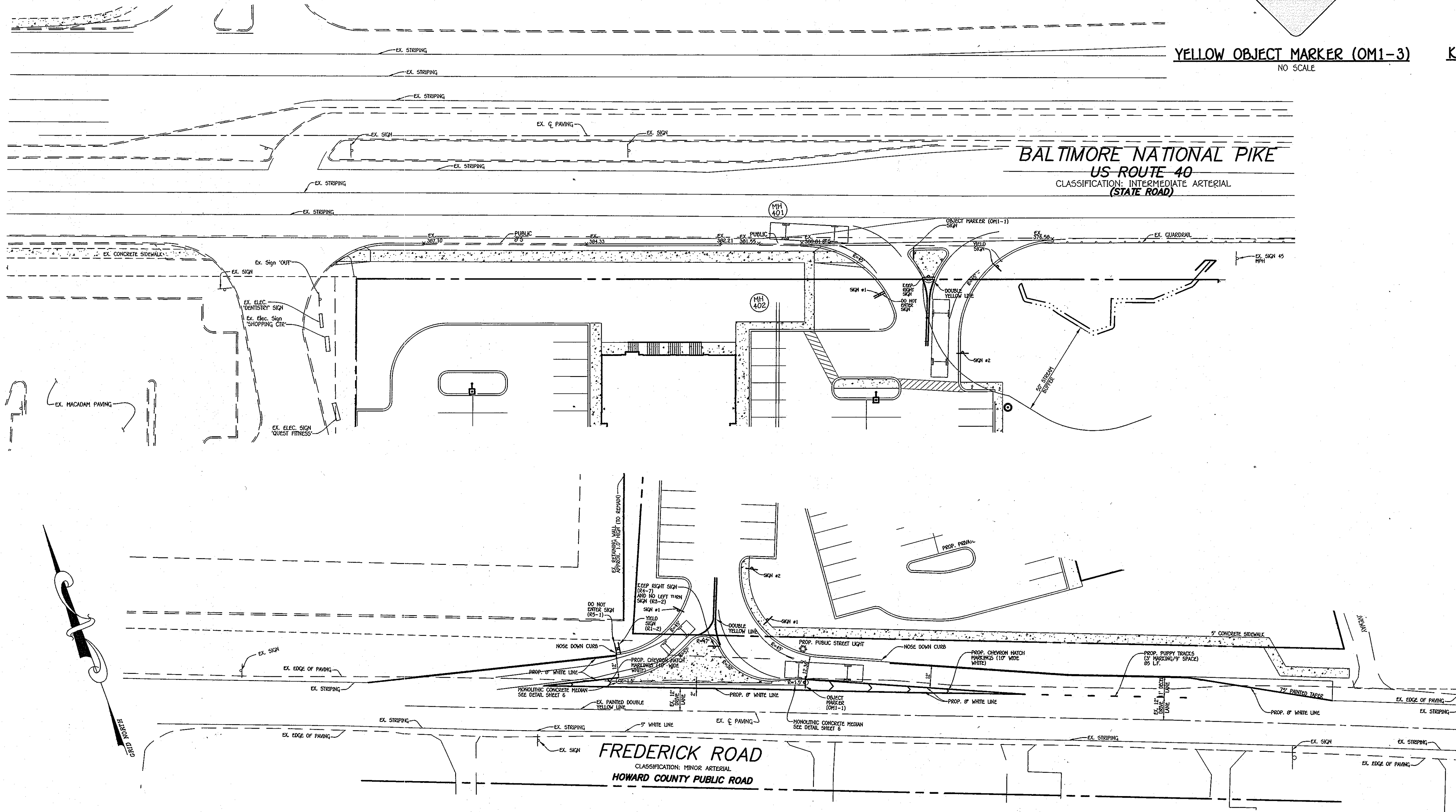
NO LEFT TURN (R3-2)
NO SCALE



YELLOW OBJECT MARKER (OM1-3)
NO SCALE



KEEP RIGHT (R4-7)
NO SCALE



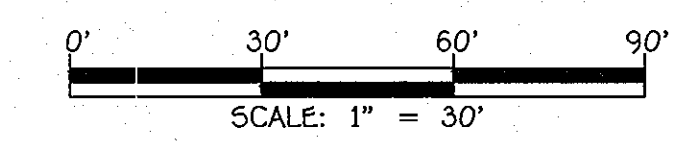
ALL WESTBOUND
U.S. RT. 40
ACCESS PROVIDED
BY
FREDERICK ROAD
ONLY
CUSTOM SIGN #1
NO SCALE

U.S. RT. 40
ENTRANCE IS
RESTRICTED TO
EASTBOUND
U.S. RT. 40
ACCESS ONLY
CUSTOM SIGN #2
NO SCALE

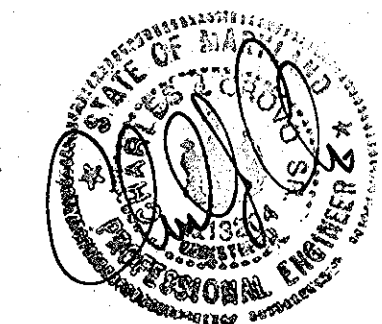
PRIVATE STREET LIGHT CHART (ON-SITE LIGHTING)		
SYMBOL	LOCATION	FIXTURE/POLE TYPE
○	N 587158.69 E 1352848.84	EM Lighting - FM-LED-19-115-150PH-FINISH POLE TOP MTD / 12' O.A.H. (17 EACH) / SINGLE ARRANGEMENT LUMENS 12,000 LFL 0.720 LABEL "A" HEIGHT (12 FEET)
	N 587064.74 E 1352803.28	
	N 587004.09 E 1352759.85	
	N 587023.67 E 1352608.65	
	N 586963.75 E 1352608.29	
	N 586965.60 E 1352596.41	
	N 586973.67 E 1352548.65	
	N 586835.66 E 1352510.66	
	N 586774.66 E 1352483.97	
	N 586714.25 E 1352483.67	
	N 586711.15 E 1352520.87	
	N 586706.86 E 1352495.97	
	N 586651.07 E 1352437.7	
□	N 587172.64 E 1352781.10	HUBBEL SPAULDING RCS-A-H25-H5P (4 EACH) / SINGLE ARRANGEMENT LUMENS 15,100 LFL 0.720 LABEL "B-5" HEIGHT (25 FEET)
	N 587195.70 E 1352571.89	
□	N 586567.71 E 1352512.52	HUBBEL SPAULDING RCS-A-H25-H5P (5 EACH) / BACK-BACK ARRANGEMENT LUMENS 19,100 LFL 0.720 LABEL "B-5" (R 9 180) HEIGHT (25 FEET)
	N 587094.16 E 1352771.49	
	N 587067.29 E 1352565.65	
	N 586805.4 E 1352575.13	
	N 586763.67 E 1352561.87	
	N 586763.96 E 1352524.65	

PUBLIC STREET LIGHT CHART		
SYMBOL	LOCATION	FIXTURE/POLE TYPE
○	N 586550.33 E 1352429.75	150 WATT HPS VAPOR COLONIAL POST-TOP MOUNTED ON 14" BLACK FIBERGLASS POLE

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE: P.O. BOX 10272, BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042
(410) 461-2095



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Crovo, Sr.
CHARLES J. CROVO, SR., P.E.

10/16/12
DATE

DATE	DESCRIPTION	REVISION BLOCK
9/21/12	Provide plan view along RL40 to show sidewalk ramps and custom SMA sign locations. Show detail for the 2 SMA custom signs. Remove the office reference within the title block.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Land Development
Chief, Development Engineering Division

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELICOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELICOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L PIKE, ELICOTT CITY, MD. 21042

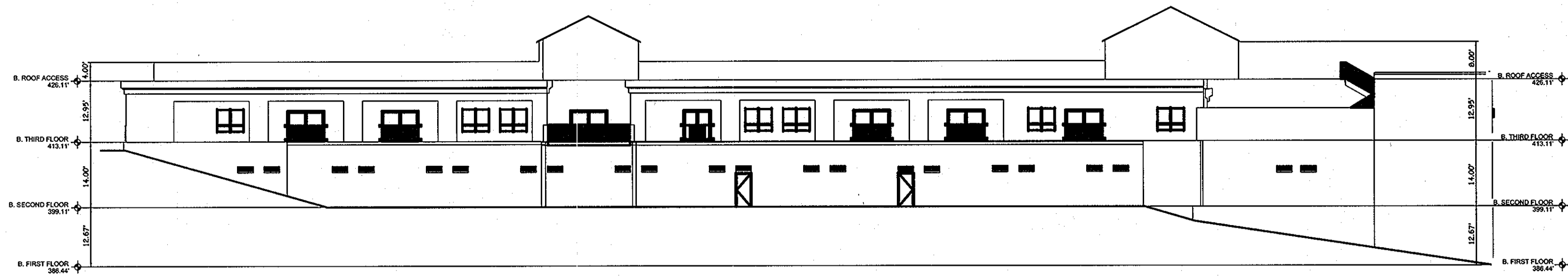
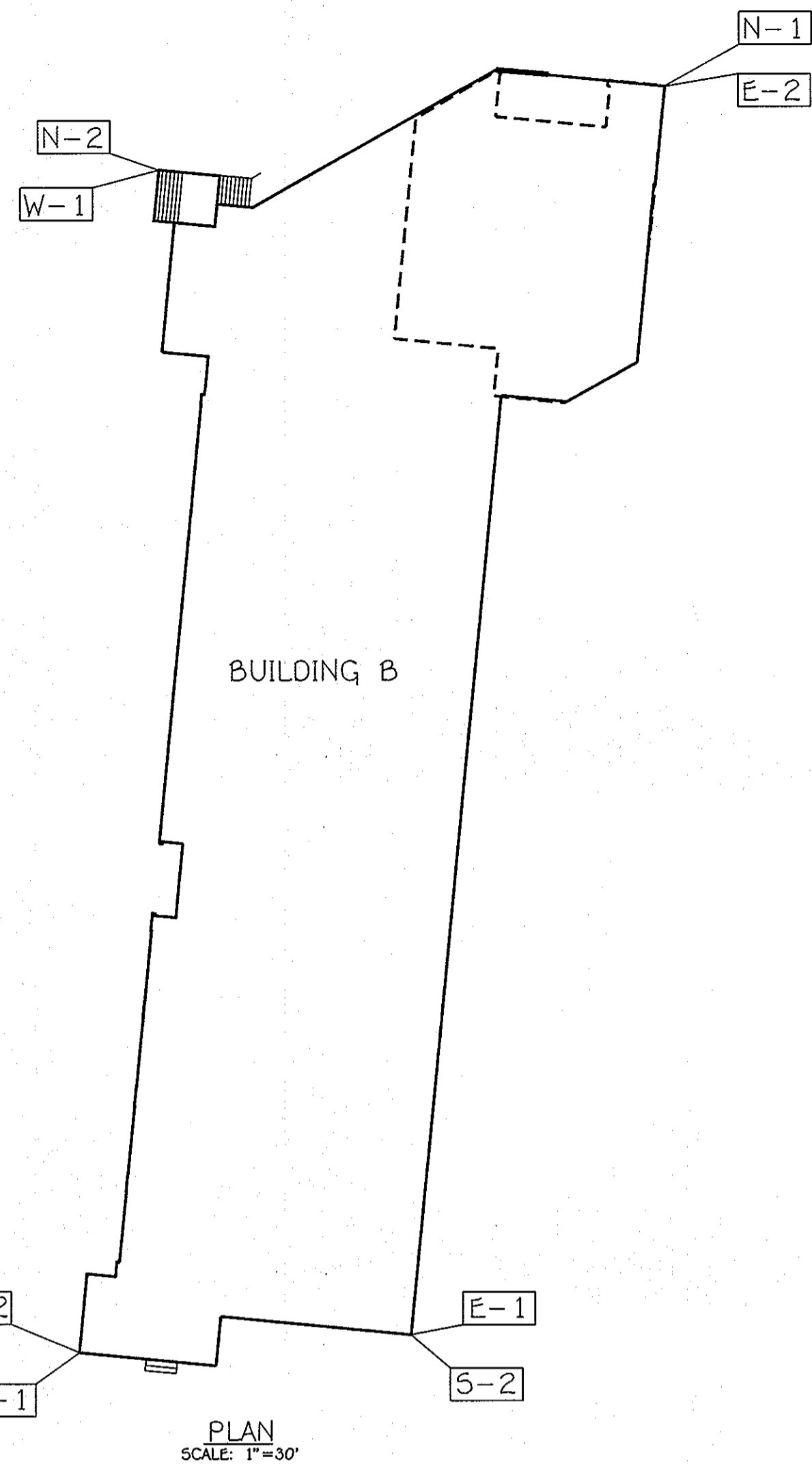
PROJECT	SECTION/AREA	PARCELS	LOT
FOREST GREEN		69, 72, 453, 497 AND 1172	A

PLAT	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
21636 & 21637	2	B-1 B-2	24	SECOND	6023.01

REVISED SITE DEVELOPMENT PLAN
FREDERICK ROAD STRIPING AND SIGNAGE PLAN

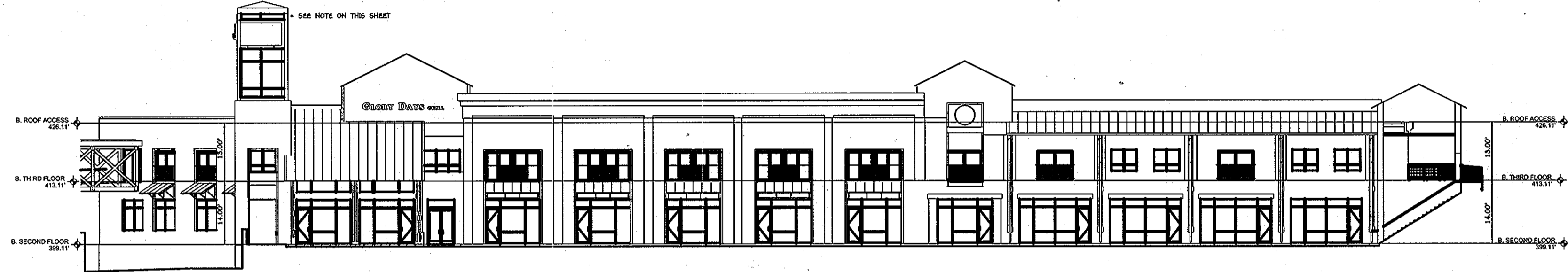
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT: HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012

SHEET 39 OF 42 SDP-10-036

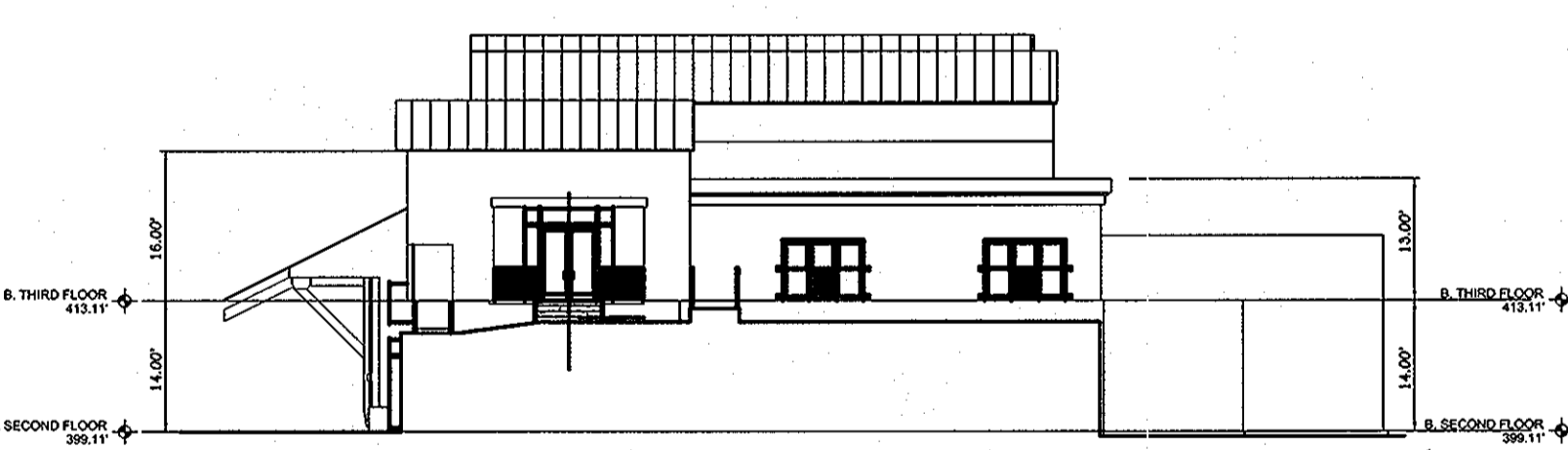


BUILDING 'B' EAST ELEVATION
SCALE: 1"=20'

* THE CLOCK TOWER IS EXEMPTED FROM THE HEIGHT LIMITATIONS PER SECTION 128.A.3.b OF THE HOWARD COUNTY ZONING REGULATIONS BECAUSE IT WILL SCREEN HVAC UNITS.



BUILDING 'B' WEST ELEVATION
SCALE: 1"=20'



BUILDING 'B' SOUTH ELEVATION
SCALE: 1"=20'



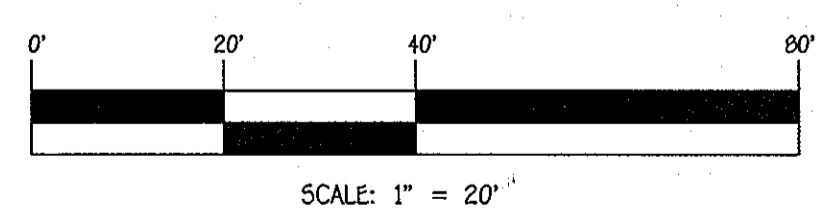
BUILDING 'B' NORTH ELEVATION
SCALE: 1"=20'

NOTE: ANY BUSINESS/BUILDING IDENTIFICATION WHICH MAY BE CONSIDERED SIGNAGE AS SHOWN ON THIS SHEET SHALL BE REQUIRED TO HAVE APPROVAL FROM THE SIGN CODE ADMINISTRATOR AS APPLICABLE.

BUILDING 'B' MEAN HEIGHT CHART

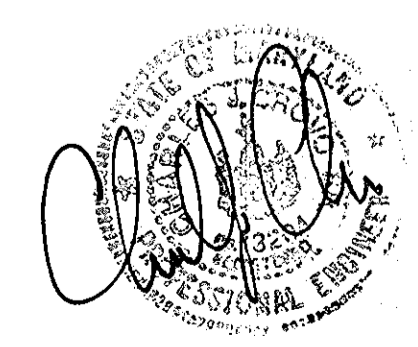
(S-1) SOUTH 1	22.00 FEET
(S-2) SOUTH 2	22.00 FEET
(E-1) EAST 1	35.01 FEET
(E-2) EAST 2	48.00 FEET
(N-1) NORTH 1	48.00 FEET
(N-2) NORTH 2	51.50 FEET
(W-1) WEST 1	51.50 FEET
(W-2) WEST 2	35.01 FEET
TOTAL	313.02 FEET
MEAN HEIGHT:	39.13 FEET

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDING 'B' AND RELATED SITE CHANGES.



REVISED SITE DEVELOPMENT PLAN

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 1072 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2895



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18224, Expiration Date: November 3, 2014."

Charles J. Crovo
CHARLES J. CROVO SR., P.E.
DATE: 4/10/13

01/21/13	PROVIDE REVISED BUILDING ARCHITECTURE FOR BUILDING 'B'.
DATE	DESCRIPTION
REVISION BLOCK	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>David J. Lovell</i>	4/10/13
Director - Department of Planning and Zoning	Date
<i>Kat Reardon</i>	4-10-13
Chief, Division of Land Development	Date
<i>Michael Edwards</i>	4-10-13
Chief, Development Engineering Division	Date

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
10021 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

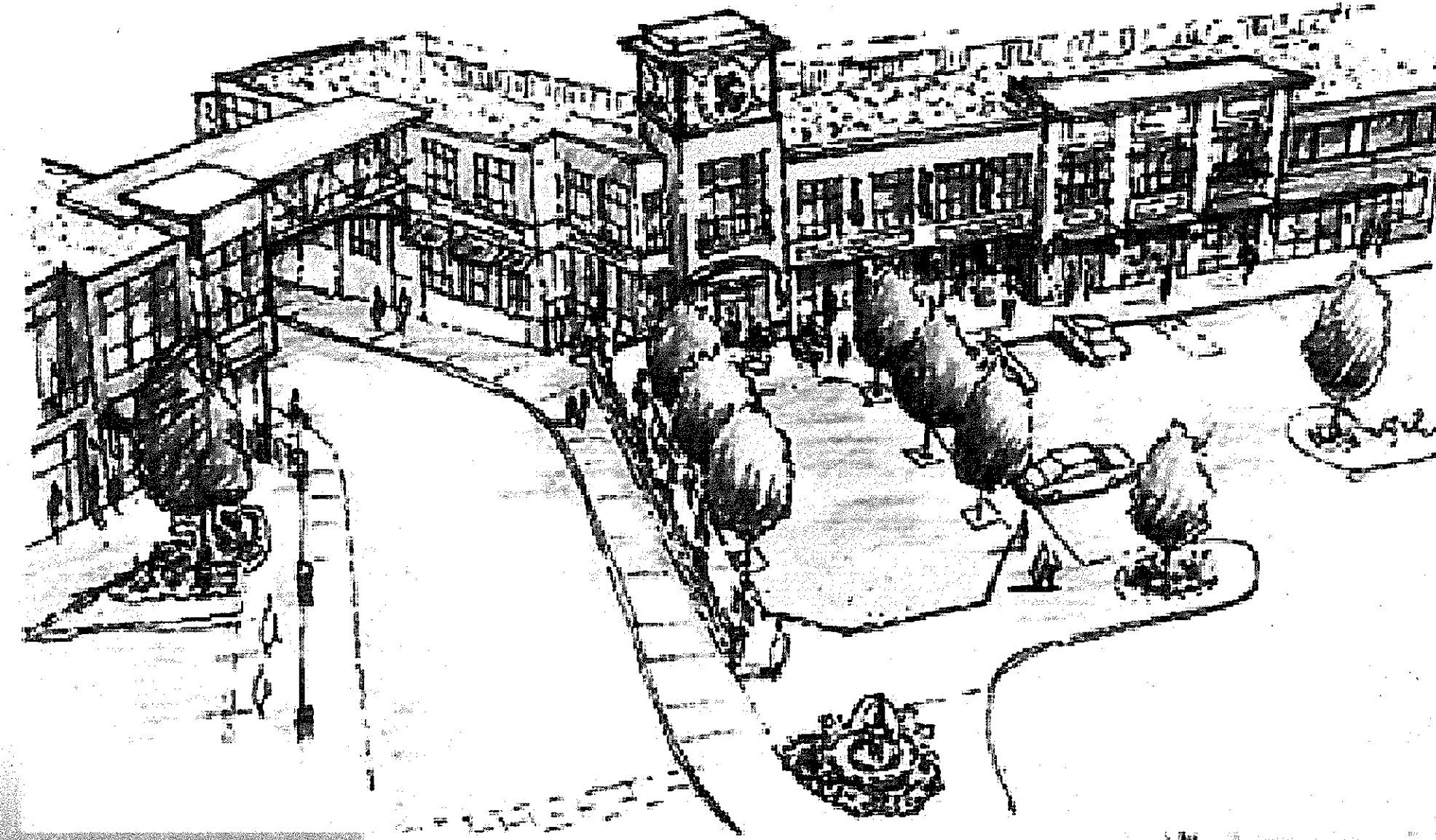
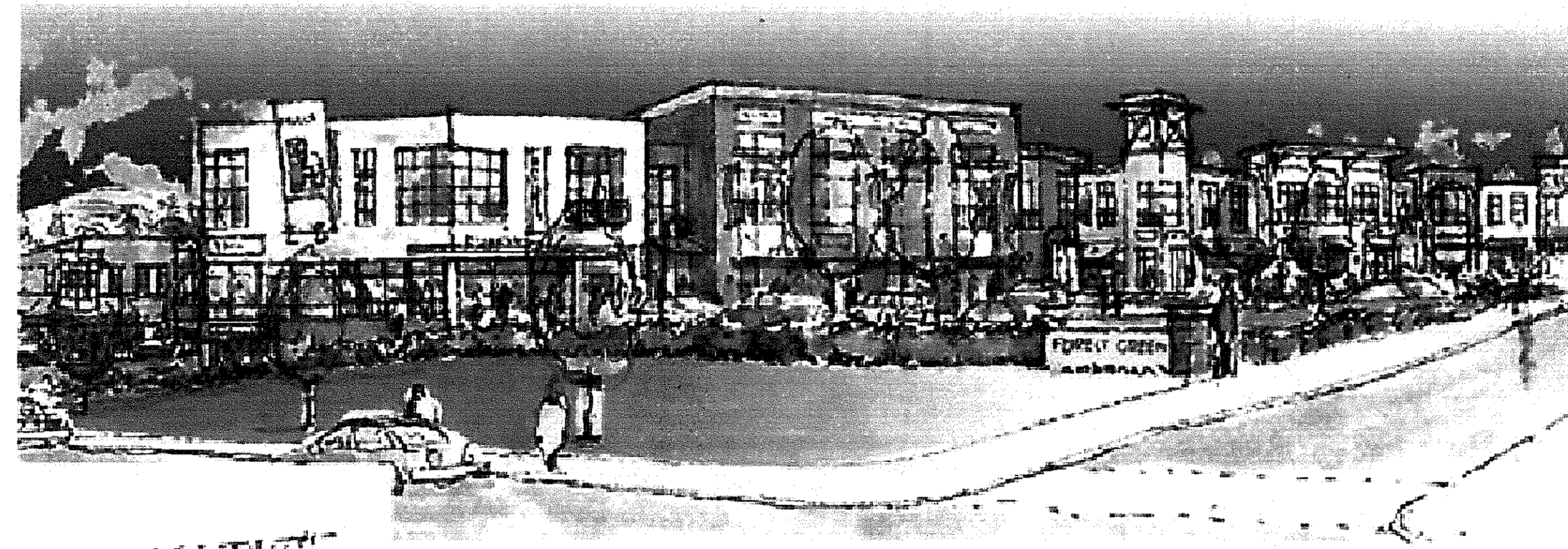
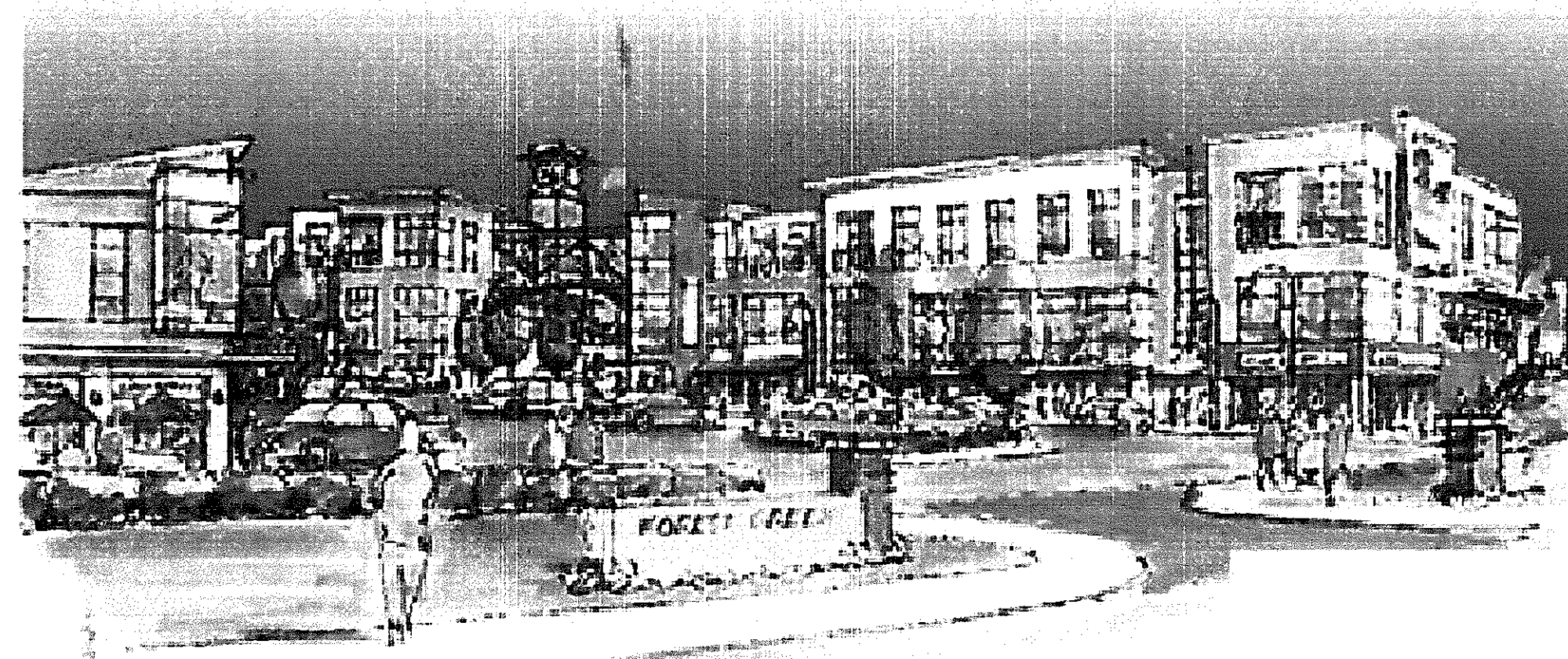
Address Chart	
BUILDING NO.	STREET ADDRESS
A	10045 BALTIMORE NAT'L. PIKE, ELLCOTT CITY, MD. 21042
B	10035 BALTIMORE NAT'L. PIKE, ELLCOTT CITY, MD. 21042
C	10025 BALTIMORE NAT'L. PIKE, ELLCOTT CITY, MD. 21042
PROJECT	
FOREST GREEN	SECTION/AREA
PLAT 21636 & 21637	BLOCK NO. 2
	ZONE B-1 B-2
	TAX MAP 24
	ELEC. DIST. SECOND
	CENSUS TR. 6023.01
	PARCELS 69, 72, 453, 497 AND 1172
	LOT A

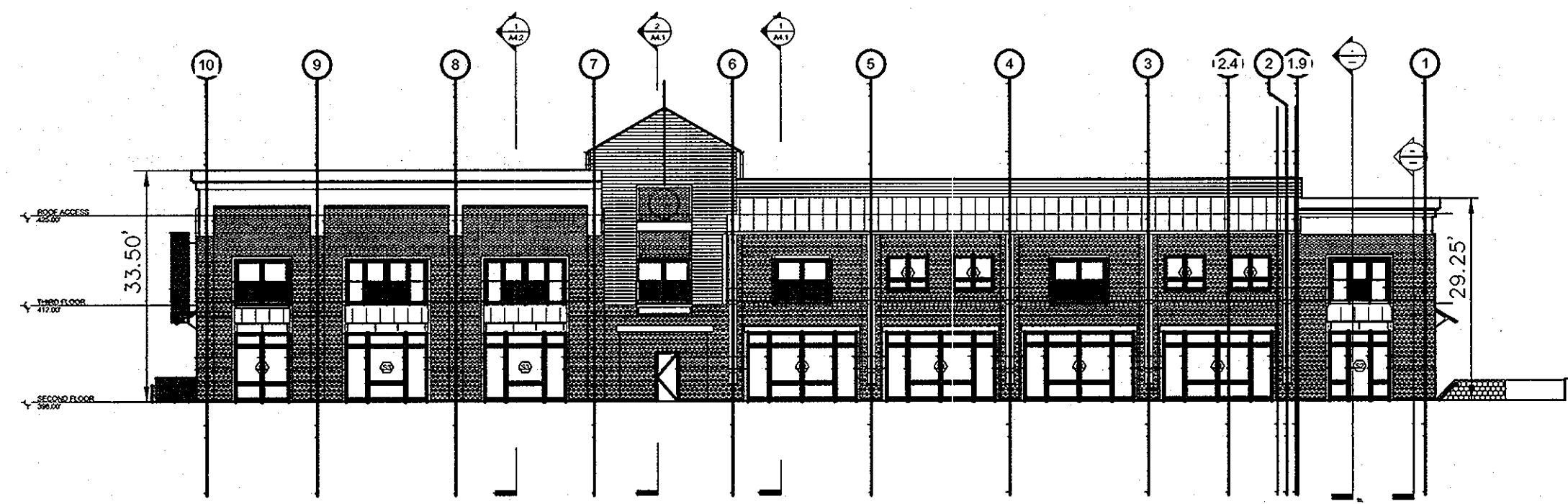
BUILDING "B" ELEVATIONS

FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: MARCH 20, 2013

SHEET 40 OF 42 SDP-10-036

I:\2006\06067\dwg\REDLINE BUILDING 'B' - 01-17-13\Sheet 40 - Building B.dwg, Sheet 40 Replacement Mylar, 4/8/2013 12:01:42 PM, 36 Mylar (Temporary) p31.11

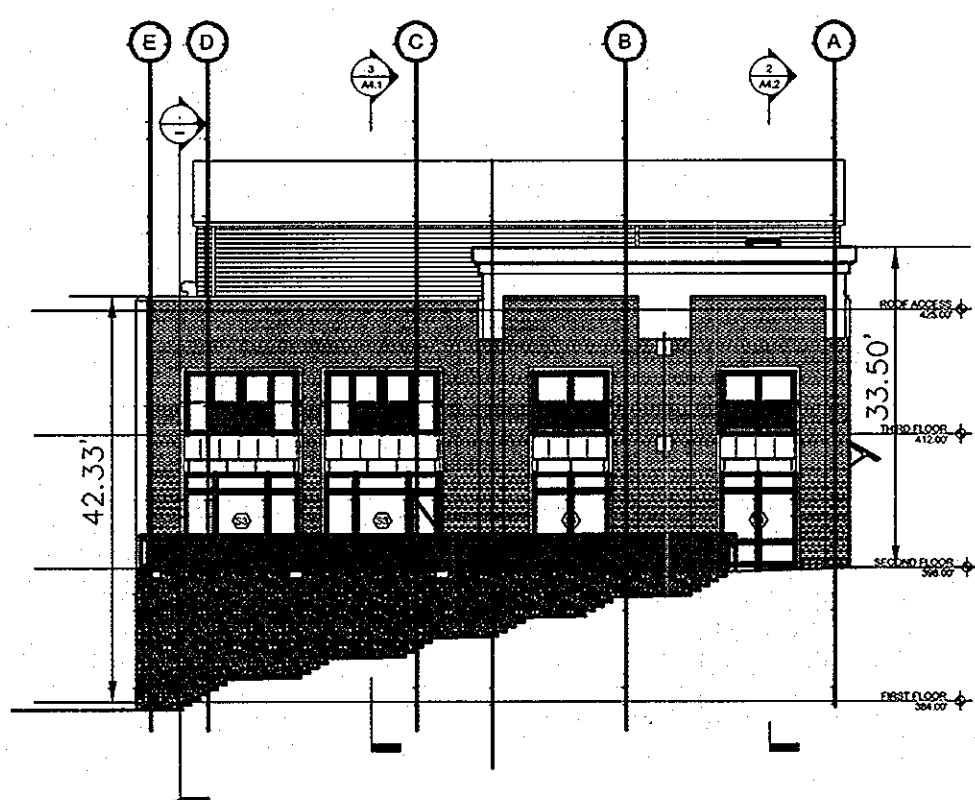




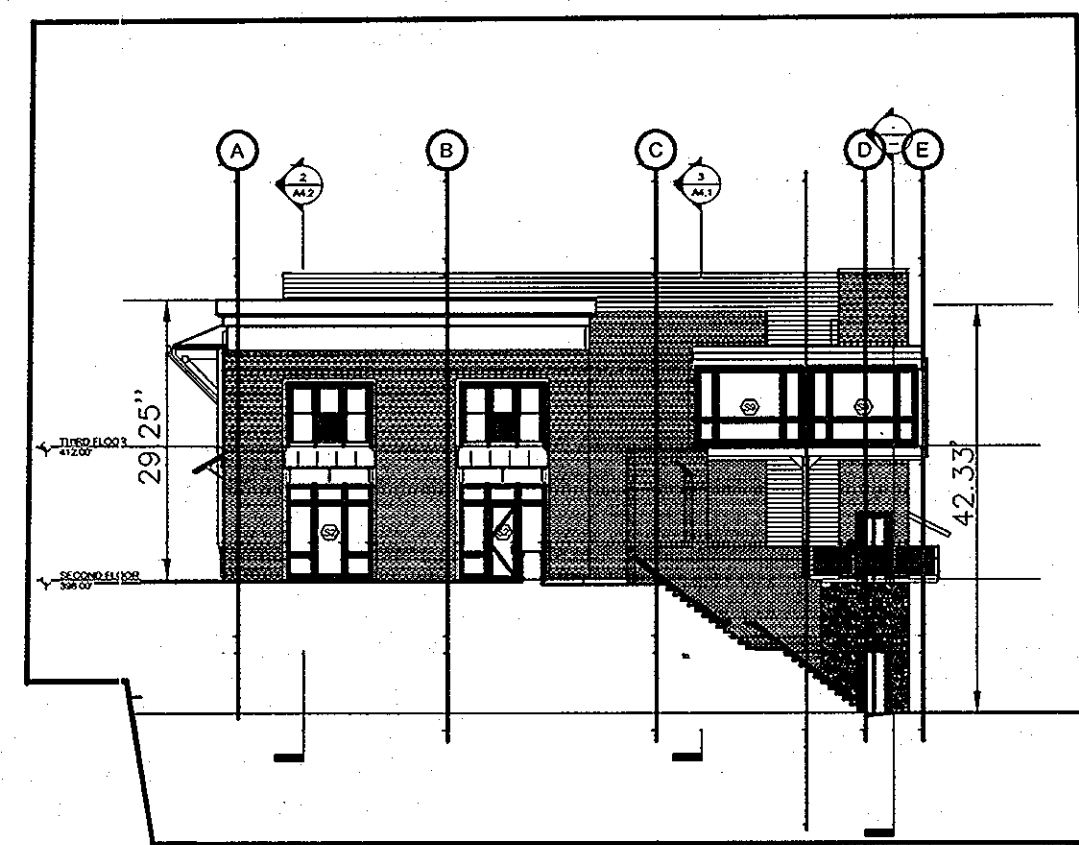
BUILDING 'A' WEST ELEVATION
SCALE 1" = 30'



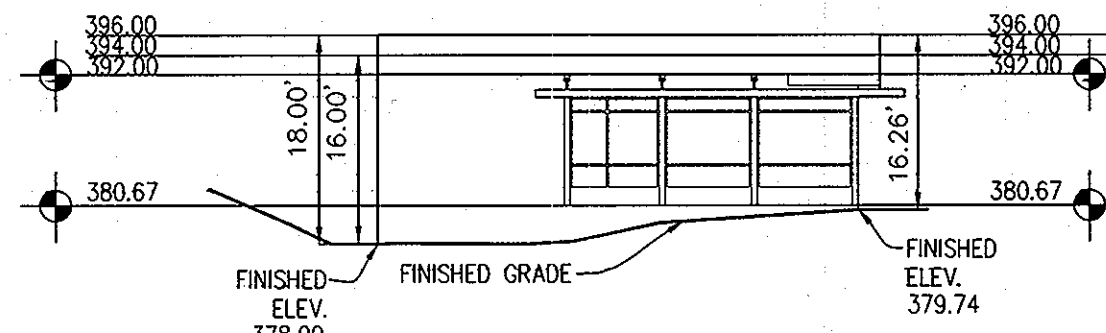
BUILDING 'A' EAST ELEVATION
SCALE 1" = 30'



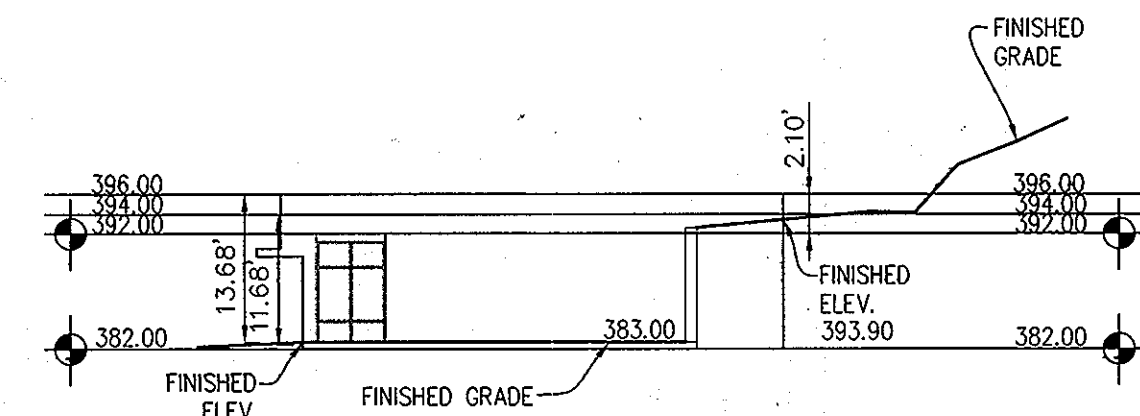
BUILDING 'A' NORTH ELEVATION
SCALE 1" = 30'



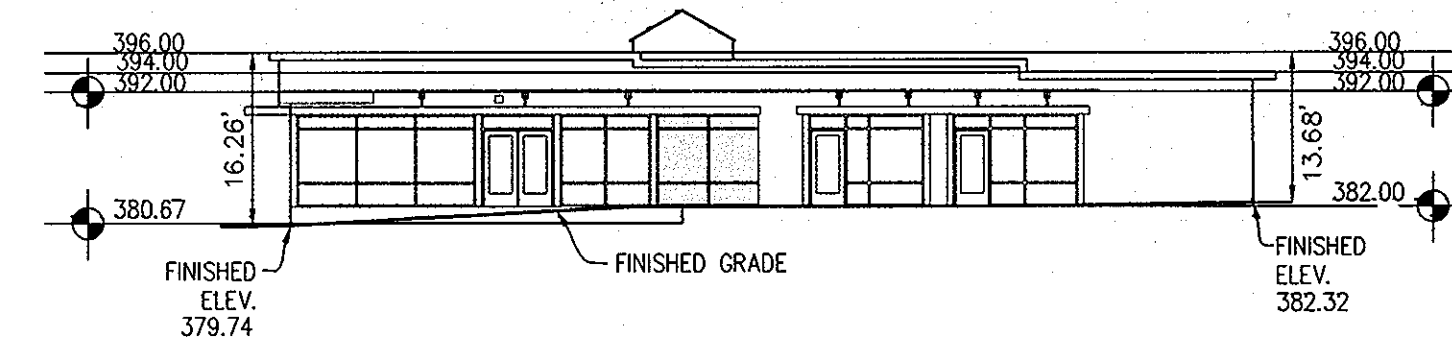
BUILDING 'A' SOUTH ELEVATION
SCALE 1" = 30'



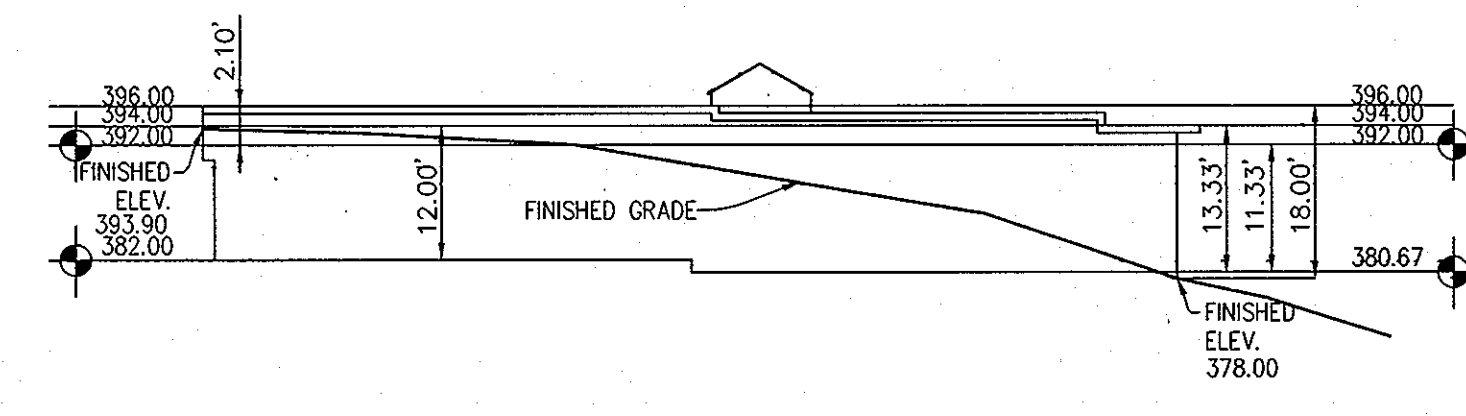
BUILDING 'C' NORTH ELEVATION
SCALE 1" = 30'



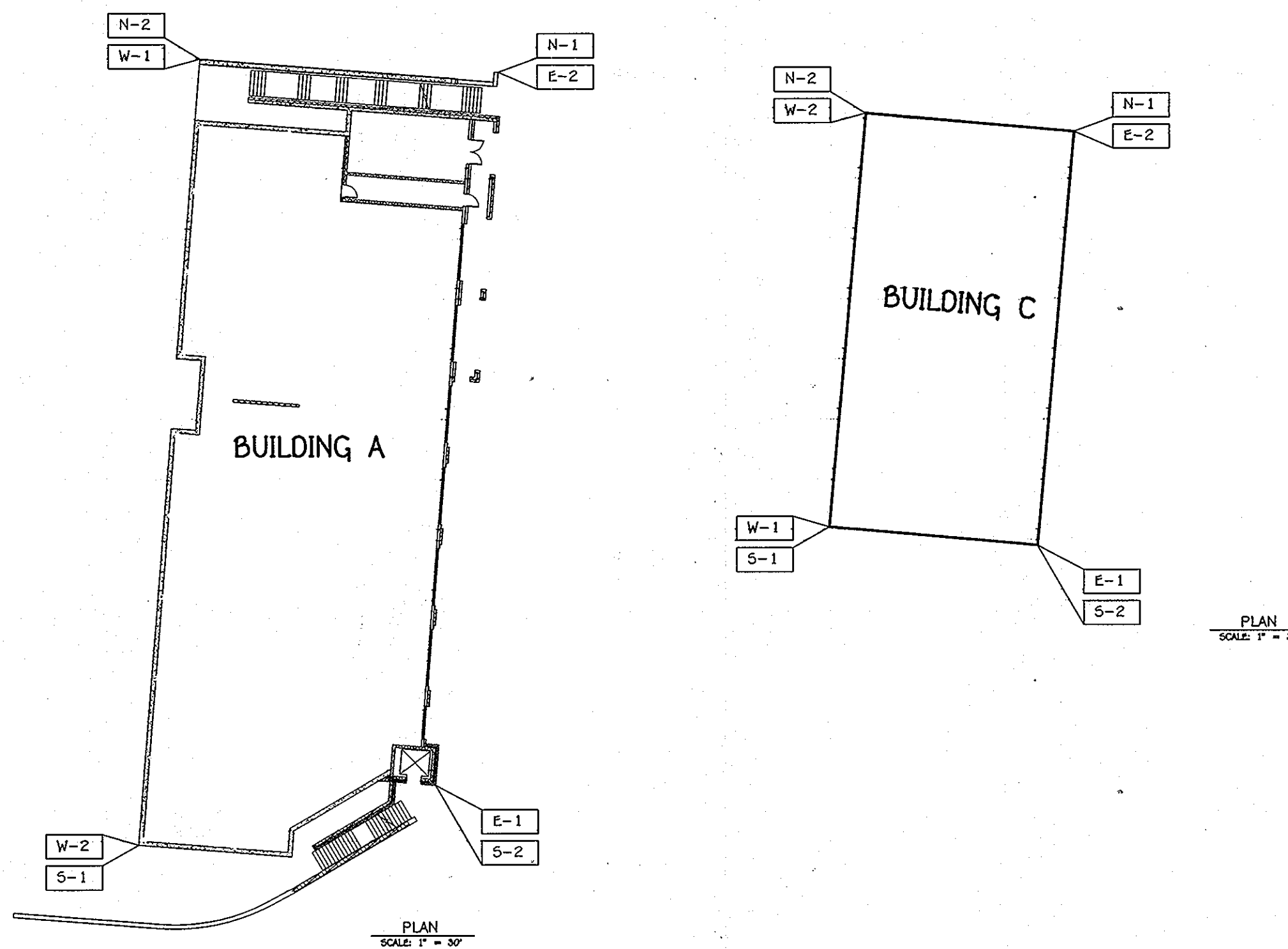
BUILDING 'C' SOUTH ELEVATION
SCALE 1" = 30'



BUILDING 'C' WEST ELEVATION
SCALE 1" = 30'



BUILDING 'C' EAST ELEVATION
SCALE 1" = 30'



BUILDING 'A' MEAN HEIGHT CHART

(S-1) SOUTH 1	29.25 FEET
(S-2) SOUTH 2	42.33 FEET
(E-1) EAST 1	43.25 FEET
(E-2) EAST 2	47.50 FEET
(N-1) NORTH 1	42.33 FEET
(N-2) NORTH 2	33.50 FEET
(W-1) WEST 1	33.50 FEET
(W-2) WEST 2	29.25 FEET
TOTAL	300.91 FEET
MEAN HEIGHT:	37.61 FEET

BUILDING 'C' MEAN HEIGHT CHART

(S-1) SOUTH 1	13.68 FEET
(S-2) SOUTH 2	2.10 FEET
(E-1) EAST 1	2.10 FEET
(E-2) EAST 2	16.26 FEET
(N-1) NORTH 1	16.26 FEET
(N-2) NORTH 2	18.00 FEET
(W-1) WEST 1	13.68 FEET
(W-2) WEST 2	18.00 FEET
TOTAL	100.00 FEET
MEAN HEIGHT:	12.51 FEET

PURPOSE NOTE:
THE PURPOSE OF THIS PLAN IS TO REFLECT NEW ARCHITECTURE FOR BUILDINGS 'A' AND 'C' AND RELATED SITE CHANGES. (SEE REVISION BLOCK DESCRIPTION)

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
(410) 461-2222



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

Charles J. Ciovo, Sr., P.E.

10/10/12
DATE

DATE	DESCRIPTION	DATE
09/21/12	Revise details for buildings 'A' and 'C' to reflect new architecture.	
	REVISION BLOCK	
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	Director - Department of Planning and Zoning	11/2/12
	Chief, Division of Land Development	11/07/12
	Chief, Development Engineering Division	11/12

DEVELOPER
FOREST VENTURES
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21042-3611
443-367-0422

OWNER
FOREST MOTEL, INC.
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ELLCOTT CITY, MARYLAND 21042-3611
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OWNER
BONNIE BRANCH CORPORATION
P.O. BOX 396
4100 COLLEGE AVENUE
ELLCOTT CITY, MARYLAND 21043-5506
410-465-3674

Address Chart			
BUILDING NO.	STREET ADDRESS		
A	10045 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
B	10035 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
C	10025 BALTIMORE NAT'L PIKE, ELLCOTT CITY, MD. 21042		
PROJECT: FOREST GREEN			
FLAT: 21636 & 21637	BLOCK NO.: 2	ZONE: B-1 B-2	TAX MAP: 24
SECTION/AREA: -	PARCELS: 69, 72, 453, 497 AND 1172	LOT: A	ELEC. DIST. CENSUS TR. 6023.01

REVISED SITE DEVELOPMENT PLAN
BUILDINGS 'A' AND 'C' ELEVATIONS
FOREST GREEN
PARCEL A
RETAIL AND APARTMENT USE
ZONED B-1 AND B-2
TAX MAP No.: 24 GRID No.: 2
PLAT Nos. 21636 & 21637
PARCEL No.: 69, 72, 453, 497 & 1172
SECOND ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30' DATE: SEPTEMBER 21, 2012

