

GENERAL NOTES


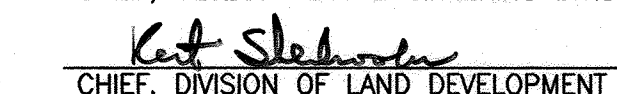

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY STANDARDS AND SPECIFICATIONS. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY 1-800-257-7777
 - VERIZON TELEPHONE COMPANY 1-410-994-6281
 - HOWARD COUNTY BUREAU OF UTILITIES 313-2366
 - AT&T CABLE LOCATION DIVISION 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES 850-4620
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL 787-4620
 - STATE HIGHWAY ADMINISTRATION 531-5533
- SITE ANALYSIS:
 - TOTAL PROJECT AREA: 3.19 AC.
 - PRESENT ZONING: PEC
 - USE OF STRUCTURE: HOTEL & RESTAURANT
 - TOTAL BUILDING FLOOR AREA: 96,664 SF
 - LOBBY LEVEL FLOOR AREA: 26,184 SF
 - 2ND FLOOR AREA: 14,092 SF
 - 3RD FLOOR AREA: 14,092 SF
 - 4TH FLOOR AREA: 14,092 SF
 - 5TH FLOOR AREA: 14,092 SF
 - 6TH FLOOR AREA: 14,092 SF
 - TOTAL BUILDING COVERAGE: 31,535 SF (0.72 AC. OR 22.7% OF GROSS AREA)
 - PAVED PARKING LOT/AREA ON SITE: 67,819 SF (1.56 AC. OR 48.9% OF GROSS AREA)
 - AREA OF LANDSCAPE ISLAND: 2,109 SF (0.05 AC. OR 1.6% OF GROSS AREA)
 - LIMIT OF DISTURBED AREA: 3.19 AC.
 - CUT: 18231 CY FILL: 4390 CY
- PROJECT BACKGROUND:
 - LOCATION: LAUREL, MD.; TAX MAP 41, BLOCK 17, PARCEL 124
 - ZONING: PEC
 - SUBDIVISION: MONTPELIER RESEARCH PARK
 - SECTION/AREA: N/A
 - SITE AREA: 3.19 AC.
 - DPZ REFERENCES: S-88-47, SDP-98-11, F-98-45, F-99-188, SDP-99-145, F-00-94, PLAT 13937, 14251, PLAT 15169, F-02-089, F-10-029 (PLAT 20795)
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, PLUS MSHA STANDARDS AND SPECIFICATIONS APPLICABLE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD TOPOGRAPHICAL SURVEY WITH TWO FOOT CONTOUR INTERVALS PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED APRIL 2002, UPDATED DECEMBER 2008.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON PLAT# 15169.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENTS 41EA AND 41EB.
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED.
- CONTRACTOR RESPONSIBLE FOR CONSTRUCTING ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AVAILABLE THROUGH CONTRACT NO. 36-3654-A AND FIRE HYDRANT BY ADO.
- PUBLIC SEWER AVAILABLE THROUGH CONTRACT NO. 36-3654-B, AND BY ADO.
- BUILDINGS TO HAVE INSIDE WATER METER SETTING.
- ALL STORMDRAIN PIPE BEHIND IS TO BE CLASS "C".
- ALL BUILDINGS TO HAVE ROOF LEADERS WHICH EMPTY INTO STORM DRAIN SYSTEM.
- GEOTECHNICAL REPORT PREPARED BY SPECIALIZED ENGINEERING, DATED NOVEMBER 19, 2008.
- THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 UNLESS OTHERWISE NOTED.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED MARCH 27, 2009; APPROVED 05/21/09.
- THE SUBJECT PROPERTY IS ZONED PEC PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THERE ARE NO NEARBY WETLANDS OR SENSITIVE AREAS LOCATED ON THIS PROPERTY.
- THERE IS NO 100YR FLOODPLAIN, WETLANDS, STREAMS, OR STEEP SLOPES ON THIS PROPERTY.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION UNDER THIS SITE DEVELOPMENT PLAN IN THE AMOUNT OF \$12,990.00 FOR THE REQUIRED 33 SHADE TREES, 2 EVERGREENS, AND 93 SHRUBS.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- THE FOREST CONSERVATION REQUIREMENTS FOR THIS PROJECT HAVE PREVIOUSLY ADDRESSED UNDER SDP-98-11, F-98-45, AND SDP-98-137.
- THIS PROJECT IS SUBJECT TO COMPLIANCE WITH THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS OR CONSTRUCTION ON THIS PROPERTY MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION OR BUILDING/GRADING PERMIT APPLICATIONS.
- A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. ITS LOCATION IS SHOWN ON THESE PLANS. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM).
- LANDSCAPING NOT PERMITTED WITHIN 7'-1/2" OF EACH SIDE OF THE FIRE DEPARTMENT CONNECTION. PROVIDE A CLEAR UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NTPA-1 13.1.4
- FIRE LANES SHOULD BE PROVIDED IN THIS SITE TO ALLOW EMERGENCY VEHICLE ACCESS. EITHER FIRE LANE SIGNAGE SHOULD BE INSTALLED, OR THE CURBS SHOULD BE PAINTED IN RED AND STENCILED TO IDENTIFY THE ROAD AS A FIRE LANE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED SQUARE TUBE POST (1 1/2" DIA) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL EXTERIOR LIGHTING TO COMPLY WITH THE REQUIREMENTS FOUND IN ZONING SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (DETAILS ON SHEET 3 AND 6)
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL VOLUME III (1999) AND AS MODIFIED BY LOCATED FOR STREET LIGHTS IN RESIDENTIAL DEVELOPMENTS (JUNE 1993). A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREET LIGHT AND ANY TREE.
- STORMWATER MANAGEMENT IS TO BE PROVIDED BY A REGIONAL FACILITY LOCATED ON PARCEL F-1 AS APPROVED ON SDP-98-11.
- TRASH AND RECYCLABLES COLLECTION WILL BE PRIVATE.
- THIS PLAN IS SUBJECT TO 84-08-0002, APPROVED APRIL 9, 2009, FOR VARIANCES TO REDUCE THE 30-FOOT REAR SETBACK TO 10 FEET FOR A RETAINING WALL, PARKING SPACES, TRASH RECEPTACLES, AND STORAGE BUILDING; AND TO REDUCE THE 30-FOOT SIDE STRUCTURE AND USE SETBACK FROM ALL OTHER ZONING DISTRICTS TO 6 FEET FOR PARKING SPACES IN A PEC (PLANNED EMPLOYMENT CENTER) ZONING DISTRICT. APPROVAL SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE VARIANCES WILL APPLY ONLY TO THE RETAINING WALL, PARKING SPACES, TRASH DUMPSTER, AND STORAGE BUILDING BEING REQUESTED AND NOT TO ANY NEW STRUCTURES, USES, OR CHANGE IN USES ON THE SUBJECT PROPERTY OR TO ANY ADDITIONS THERE TO.
 - THE PETITIONER SHALL INSTALL FOUR-FOOT CHAIN LINK FENCE ATOP THE RETAINING WALL ALONG THE PROPERTY'S WESTERN BOUNDARY.
 - THE PETITIONER SHALL MAINTAINANCE ON THE PETITIONER'S PROPERTY WITHOUT TRESPASSING ON THE APL PROPERTY.
 - THE PETITIONER SHALL USE MODULAR BLOCK MATERIAL TO CONSTRUCT THE RETAINING WALL ON THE PROPERTY'S WESTERN SIDE.
- THIS SITE COMPLIES WITH THE HOWARD COUNTY GREEN BUILDINGS LAW SET FORTH UNDER TITLE 3, SUBTITLE 10 OF THE HOWARD COUNTY CODE AND SECTION 3.1005(A) OF THE CODE. REGISTRATION WITH THE U.S. GREEN BUILDING COUNCIL AND THE APPLICABLE LEED REGISTRATION FEE WAS PAID ON 1/30/09. THE LEED NEW CONSTRUCTION CHECKLIST WAS PREPARED, SIGNED AND DATED BY THE PROJECT LEED ACCREDITED PROFESSIONAL AND WAS RECEIVED BY DPZ ON APRIL 29, 2009. THE PROPOSED BUILDING IS TENTATIVELY CERTIFIED BY LEED WITH THE MINIMUM REQUIRED CERTIFIED LEVEL RATING.
- THE PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM.
- THIS PROPERTY IS SUBJECT TO A USE-IN-COMMON SHARED ACCESS EASEMENT AND MAINTENANCE AGREEMENT FOR PARCELS D-1 AND D-2 (D-3) AS RECORDED UNDER F-99-188 (PLAT 13937) REFERENCE THE DRIVEWAY EASEMENT DECLARATION (L-880,P.0212).
- THIS PLAN IS SUBJECT TO THE FOLLOWING DESIGN MANUAL WAIVERS:
 - WAIVER TO DESIGN MANUAL VOLUME III, SECTION 6.D; DENIED ON JUNE 3, 2009; TO ALLOW THE DRIVEWAY SPACING BETWEEN THE BANK DRIVEWAY AND THE HOTEL DRIVEWAY BE REDUCED FROM THE REQUIRED 110' TO 70'.
 - WAIVER TO DESIGN MANUAL VOLUME III, SECTION 2.5; APPROVED ON JUNE 3, 2009; TO ALLOW THE USE OF THE POSTED SPEED PLUS 10 MPH IN-LIEU OF THE REQUIRED 85TH PERCENTILE SPEED STUDY FOR THE FOR THE STOPPING SIGHT DISTANCE ANALYSIS.
- THERE WILL BE NO HOTEL BUSINESS VEHICLES ALLOWED TO BE PARKED ON-SITE.
- THE INTENDED USE OF THE 4,270 SF "LEED SPACE" AREA WILL BE FOR CORPORATE SEMINARS, CONVENTIONS AND TRAINING PROGRAMS AND THE PRIMARY OCCUPANTS OF THE MEETING SPACE WILL BE HOTEL GUESTS.

PARKING TABULATION


REQUIRED	PROVIDED
114 ROOMS @ 1.0 SPACE PER ROOM	114 SPACES
5177 SF RESTAURANT @ 14 SPACES PER 1,000 SF	72 SPACES
511 SF OUTDOOR SEATING (BECK) @ 7 SPACES PER 1,000 SF	4 SPACES
TOTAL SPACES REQUIRED:	190 SPACES
TOTAL SPACES PROVIDED:	190 SPACES (INCLUDING 6 HANDICAP)

*IN ACCORDANCE WITH THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) 3RD EDITION PARKING GENERATION STUDY, THE DEPARTMENT OF PLANNING AND ZONING DIVISION OF LAND DEVELOPMENT HAS DETERMINED, PER THEIR LETTER DATED FEBRUARY 12, 2009, THAT A REDUCTION IN PARKING FROM THOSE AS REQUIRED UNDER THE ZONING REGULATIONS TO A MINIMUM OF 190 ON-SITE SPACES WILL ADEQUATELY SERVE THE PROPOSED USES.

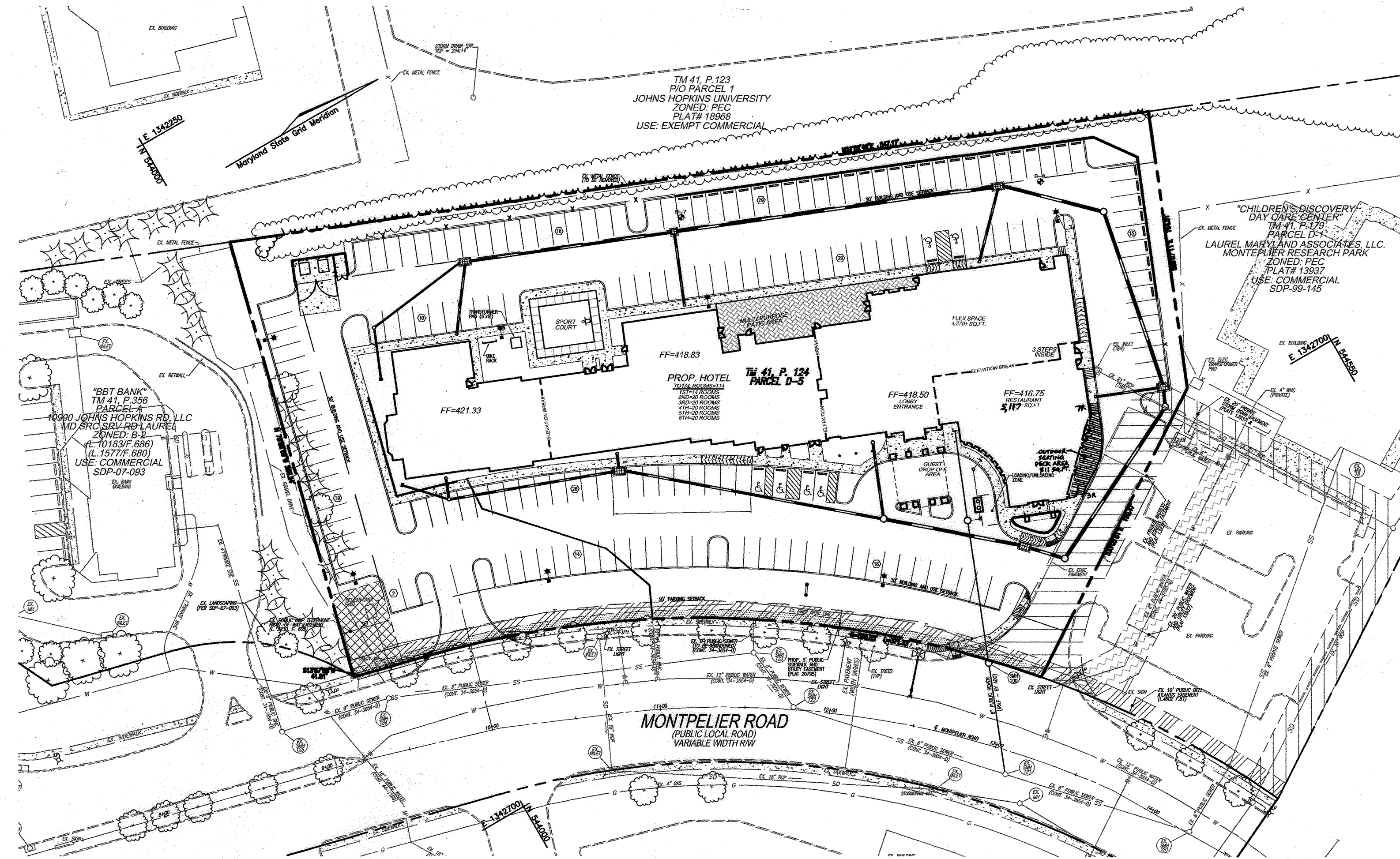
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 4/1/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 5/5/10
 CHIEF, DIVISION OF LAND DEVELOPMENT
 5/5/10
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

 4/19/2010
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

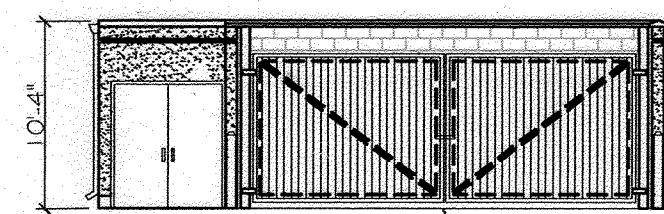
HOMWOOD SUITES PARCEL 'D-5' HOTEL AND RESTAURANT SITE DEVELOPMENT PLAN



LOCATION MAP
SCALE: 1"=50'



BUILDING ELEVATION
NOT TO SCALE



STORAGE BUILDING AND TRASH ENCLOSURE ELEVATION
NOT TO SCALE

ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
D-5	7531 MONTPELIER RD

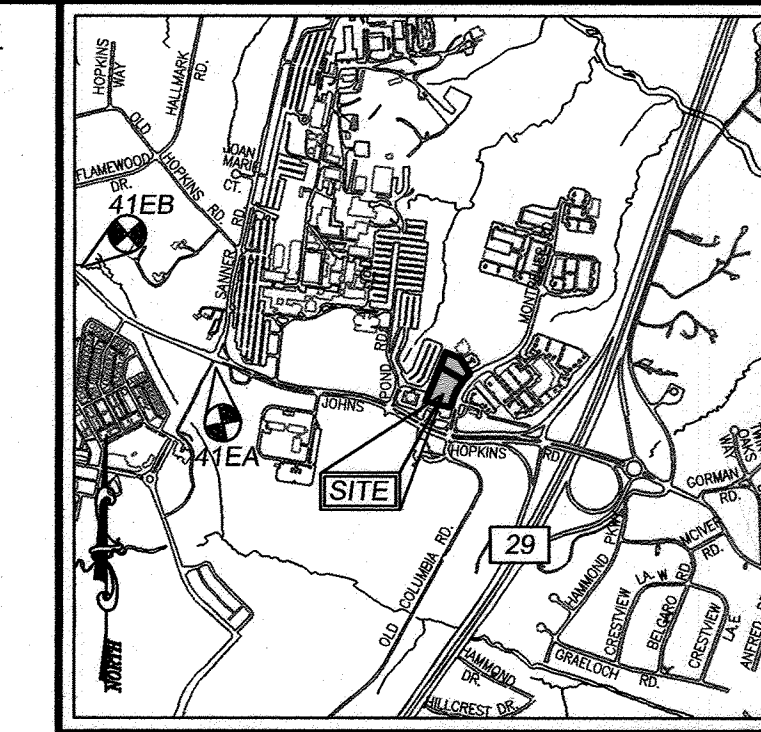
PERMIT INFORMATION CHART				
SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER		
MONTPELIER RESEARCH PARK	N/A	124, PARCEL D-5		
PLAT NO.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
20795	17	PEC	41	5TH
			CENSUS TR.	
			6051.02	
WATER CODE: E21		SEWER CODE: 6440000		

LEGEND

EXISTING CONTOUR	-382-
PROPOSED CONTOUR	382.56
EXISTING SPOT ELEVATION	+82.53
PROPOSED SPOT ELEVATION	
DIRECTION OF FLOW	
EXISTING TREES TO REMAIN	
LIGHT POLES	M1B2
SOIL TYPE	M1D3
CONCRETE	

BENCHMARKS

HOWARD COUNTY BENCHMARK 41EA	N 544825.805	E 1339217.454	ELEV. 407.643
HOWARD COUNTY BENCHMARK 41EB	N 546222.250	E 1337778.162	ELEV. 464.553



VICINITY MAP
SCALE: 1"=2000'
ADC MAP: 19-B3

SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 9
SITE LAYOUT AND SITE DETAILS	2 OF 9
SITE GRADING AND SEDIMENT CONTROL PLAN	3 OF 9
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	4 OF 9
STORM DRAIN DRAINAGE AREA MAP AND UTILITY PROFILES	5 OF 9
UTILITY PROFILES AND SITE DETAILS	6 OF 9
SITE LANDSCAPE PLAN	7 OF 9
RETAINING WALL	8 OF 9
RETAINING WALL	9 OF 9

OWNER/DEVELOPER
 HOPKINS HOSPITALITY INVESTORS, LLC
 C/O STAR HOTELS
 7226 LEE DEFORSET DR., SUITE 200
 COLUMBIA, MD 21046
 (301) 596-5400

NO.	REVISION	DATE
1	REVISE THE PLAN TO ADD A 511 SF OUTDOOR DECK FOR THE RESTAURANT	11-20-13
2	REVISE THE PLAN TO MODIFY THE PROPOSED STORM DRAIN SYSTEM TO REFLECT TO ACCOMMODATE THE MOST CONSERVATIVE DRAINAGE FOR THE ARCHITECTURAL PLANS	12-10-13
3		

**SITE DEVELOPMENT PLAN
COVER SHEET**
**HOMWOOD SUITES
PARCEL 'D-5'
HOTEL AND RESTAURANT**
 CERTIFIED LEVEL RATED GREEN BUILDING
 PLAT 20795 (L.6053/F.487) PARCEL 124, D-5
 HOWARD COUNTY, MARYLAND

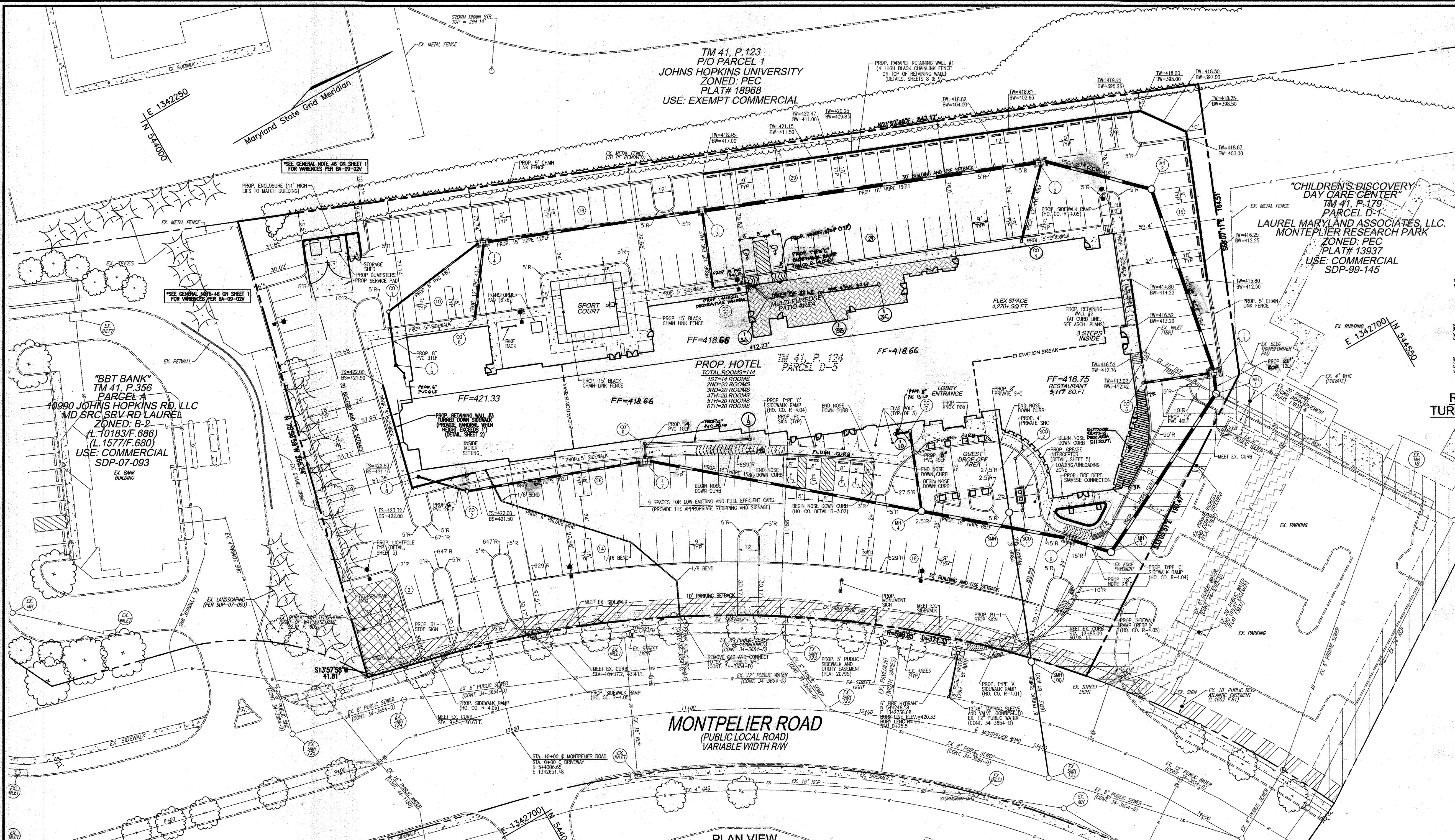
**ROBERT H. VOGEL
ENGINEERING, INC.**
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RHY
 DRAWN BY: DZ
 CHECKED BY: RHY
 DATE: JANUARY 2010
 SCALE: AS SHOWN
 W.O. NO.: 04-120

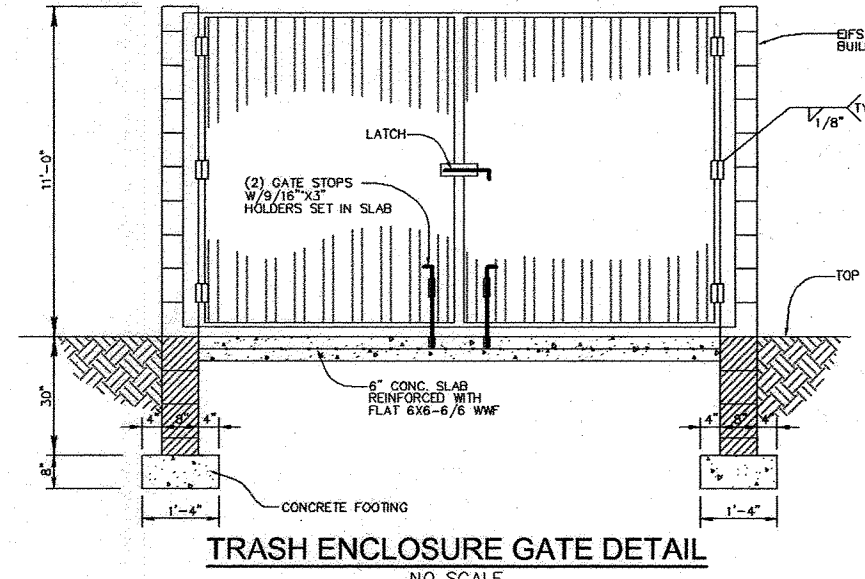
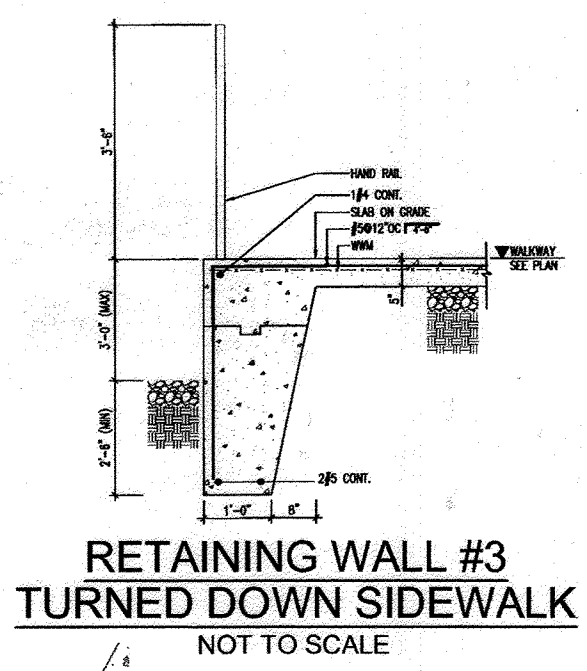
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LEAD LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE NO. IS 19183. EXPIRATION DATE: 09-27-2016

1 SHEET OF 9



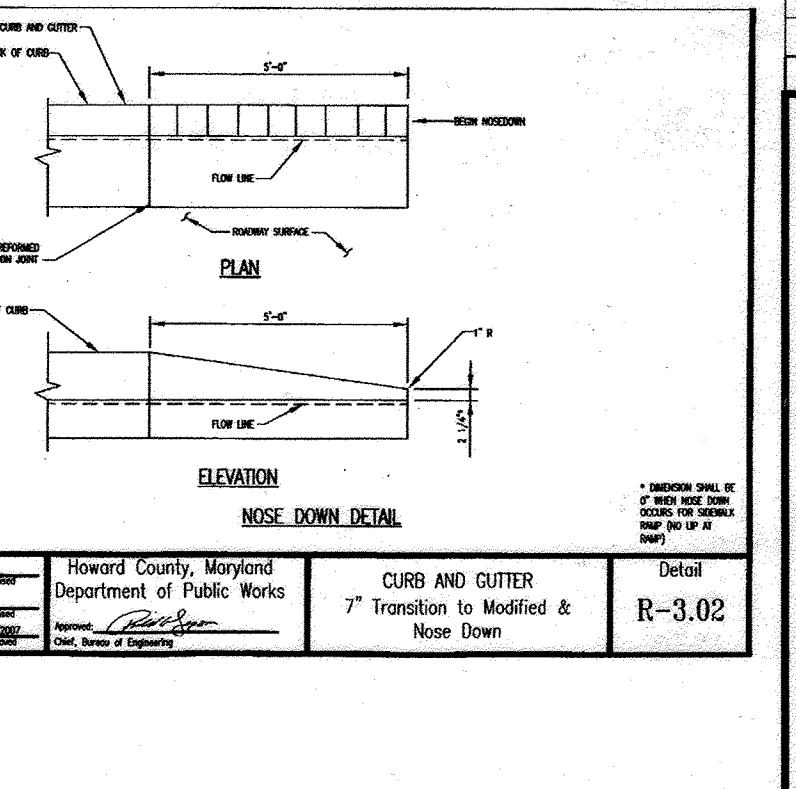
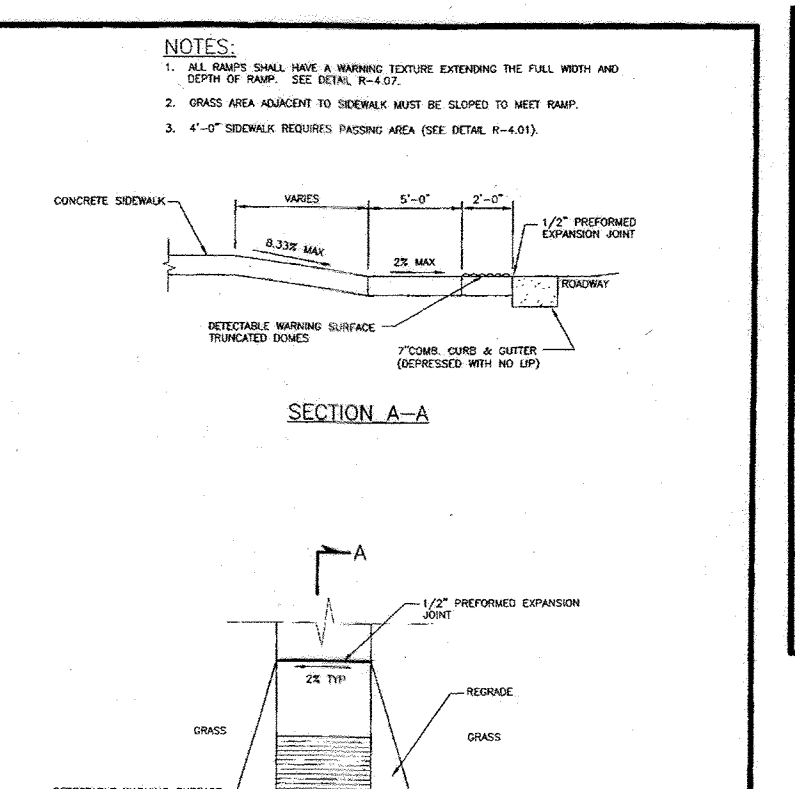
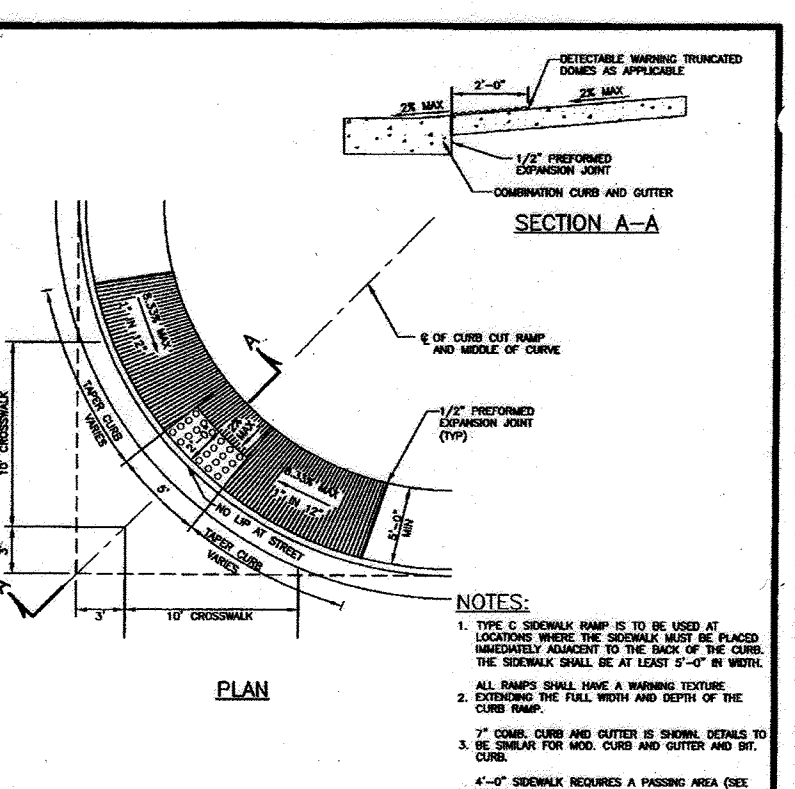
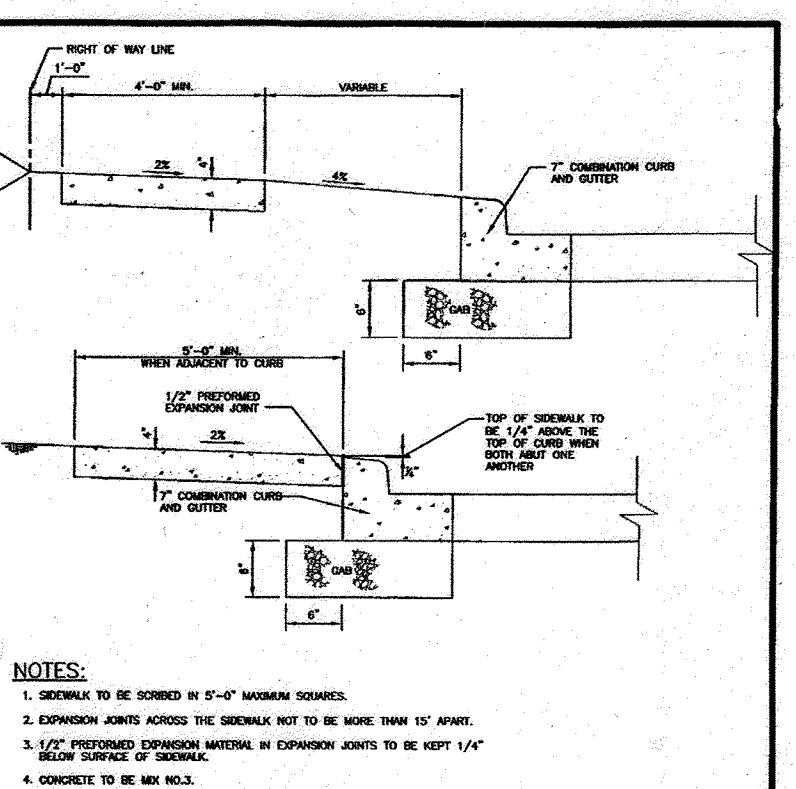
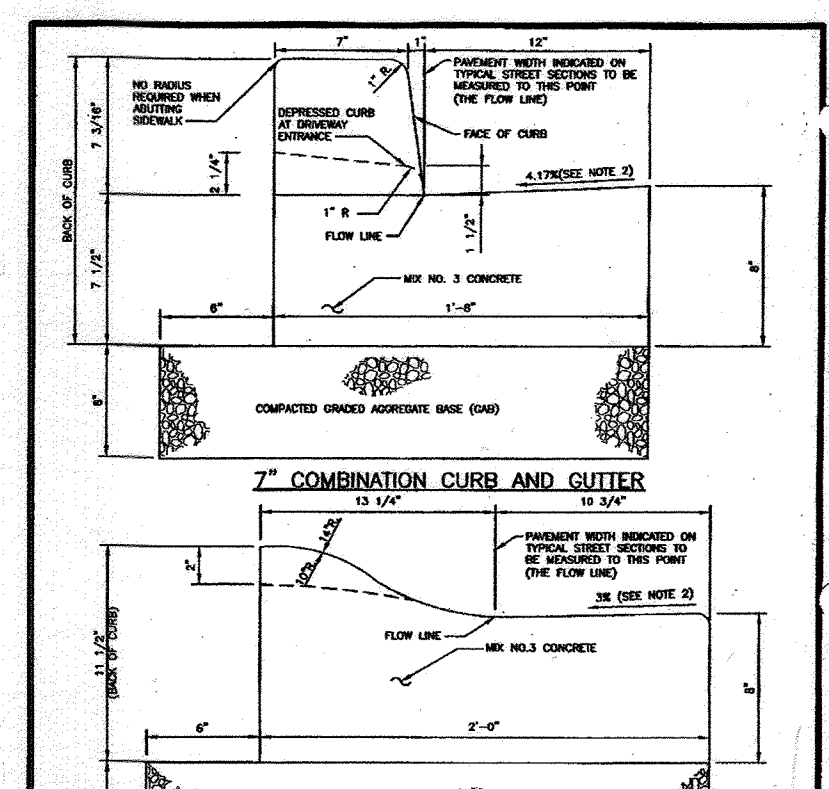
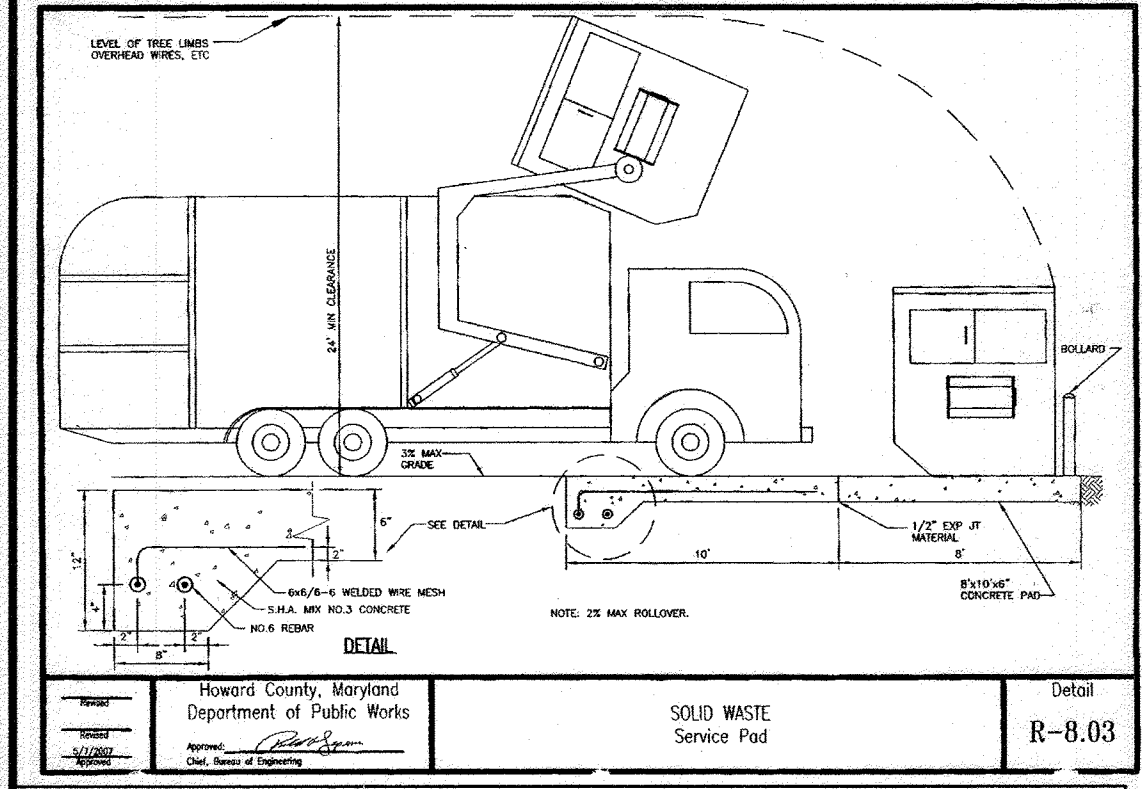
LEGEND:

	EXISTING CURB AND GUTTER (NO. CO. DETAIL R-3.01)
	PROPOSED CURB AND GUTTER (NO. CO. DETAIL R-3.01)
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREES (FIELD LOCATED)
	EXISTING TREE LINE (FIELD LOCATED)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	PROPOSED SIDEWALK (NO. CO. DETAIL R-3.05)
	PROP. LIGHT POLE
	PROP. WALL MOUNTED SIGN (STATE PRS770) 75W LIGHT (TYP.)
	PROPOSE TREE LINE
	EX. PUBLIC CAP TELEPHONE RIGHT-OF-WAY EASEMENT (L.5230/F. 605)
	EX. PRIVATE INGRESS AND EGRESS EASEMENT (PLAT 13937)
	EX. 20' PRIVATE STORM DRAIN EASEMENT (PLAT 13937)
	EX. 20' PRIVATE WATER AND UTILITY EASEMENT (PLAT 13937)
	PROP. 5' SIDEWALK AND STREET LIGHT EASEMENT



OWNER/DEVELOPER
 HOPKINS HOSPITALITY INVESTORS, LLC
 C/O STAR HOTELS
 7226 LEE DEFORSET DR., SUITE 200.
 COLUMBIA, MD 21046
 (301) 596-5400

PLAN VIEW
 SCALE: 1" = 30'



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

NOTE: MODIFIED COMBINATION CURB AND GUTTER
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 CURB AND GUTTER
 7' & Modified
 R-3.01

NOTE: CONCRETE SIDEWALK
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 Concrete Sidewalk
 Detail
 R-3.05

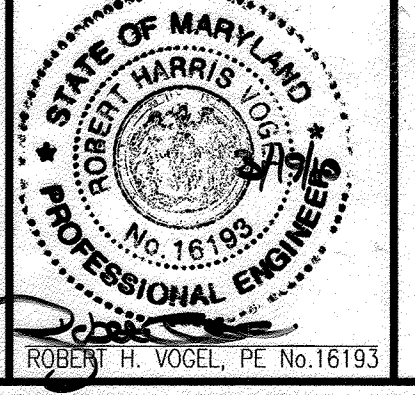
NOTE: SIDEWALK RAMP
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 Sidewalk Ramp
 Type C
 R-4.04

NOTE: SIDEWALK RAMP
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS
 Sidewalk Ramp
 Layout & Grading
 Perpendicular to Curb
 Detail
 R-4.05

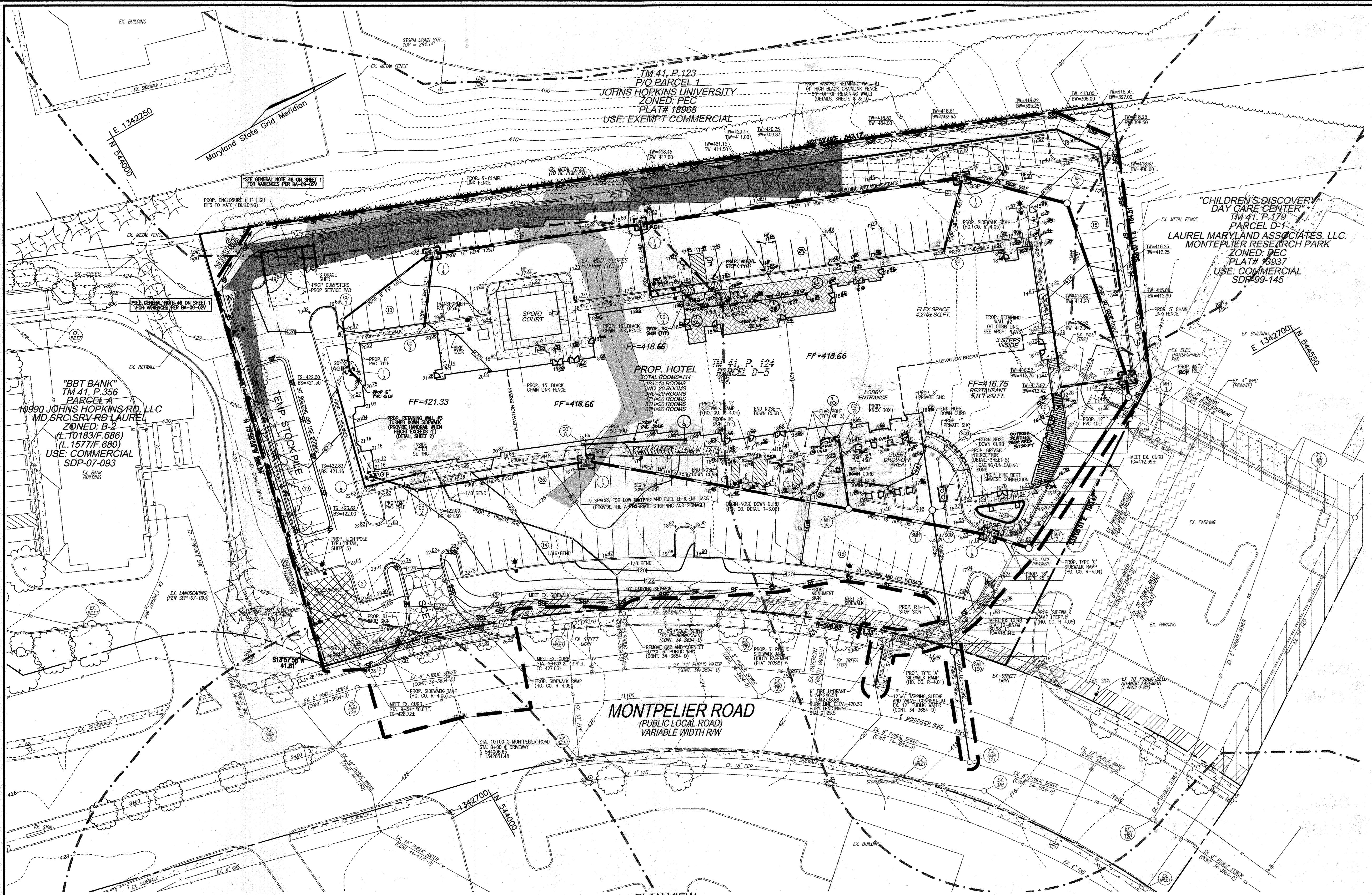
2	REVISE THE PLAN TO ADD A 5' WIDE OUTDOOR DECK FOR THE RESTAURANT	11-20-23
1	REVISE THE PLAN TO MODIFY THE PROPOSED STORM DRAIN SYSTEM TO ACCOMMODATE THE MOST CURRENT ZONING FOR THE RESUBMITTAL PLANS	12-10-13
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
HOMWOOD SUITES
 PARCEL D-5
 HOTEL AND RESTAURANT
 CERTIFIED LEVEL RATED GREEN BUILDING
 PLAT 20795 (L.6053/F.487)
 TAX MAP 41 BLOCK 17
 5th ELECTION DISTRICT
 PARCEL 124, D-5
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961



PROFESSIONAL CERTIFICATE
 DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: JANUARY 2010
 SCALE: AS SHOWN
 W.O. NO.: 04-120



PLAN VIEW
SCALE: 1"=30'

NOTE:
THE SIDEWALK ACCESSIBLE ROUTE FROM THE HOTEL/RESTAURANT WHICH LEADS TO THE PUBLIC STREET IS NOT INTENDED TO BE AN ADA ACCESSIBLE HANDICAP ROUTE.

LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREES (FIELD LOCATED)
	EXISTING TREELINE (FIELD LOCATED)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	PROPOSED SIDEWALK
	PROP. LIGHT POLE
	PROP. WALL MOUNTED SIGN (P5775)
	PROP. LIGHT (TYP)
	PROP. TREELINE
	EX. PUBLIC CAP TELEPHONE
	EX. RIGHT-OF-WAY EASEMENT (L5230/F. 605)
	EX. PRIVATE INGRESS AND EGRESS EASEMENT (PLAT 13937)
	EX. 20' PRIVATE STORM DRAIN EASEMENT (PLAT 13937)
	EX. 20' PUBLIC WATER AND UTILITY EASEMENT (PLAT 13937)
	PROP. 5' SIDEWALK AND STREET LIGHT EASEMENT
	M1B2 SOILS BOUNDARY
	M1D3 SOILS BOUNDARY
	MODERATE SLOPES (15% - 24.99%)
	STEEP SLOPE (>25%)
	SILT FENCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	CURB INLET PROTECTION
	AT GRADE INLET PROTECTION
	STABILIZED CONSTRUCTION ENTRANCE

OWNER/DEVELOPER
HOPKINS HOSPITALITY INVESTORS, LLC
C/O STAR HOTELS
7226 LEE DEFORET DR., SUITE 200
COLUMBIA, MD 21046
(301) 596-5400

2	REVISE THE PLAN TO ADD A 5'x5' OUTDOOR DECK FOR THE RESTAURANT	11-20-23
1	REVISE THE PLAN TO MODIFY THE PROPOSED STORM DRAIN SYSTEM IN ORDER TO ACCOMMODATE THE MOST CURB INLET DRAINAGE PER THE ARCHITECTURAL PLANS.	12-10-13
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL PLAN; SOILS MAP
HOMWOOD SUITES
PARCEL 'D-5'
HOTEL AND RESTAURANT
CERTIFIED LEVEL RATED GREEN BUILDING
PLAT 20795 (L.6053/F.487) PARCEL 124, D-5
TAX MAP 41 BLOCK 17 5th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RHY
DRAWN BY: DZ
CHECKED BY: RHY
DATE: JANUARY 2010
SCALE: AS SHOWN
W.O. NO.: 04-120

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2010

3 SHEET OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/1/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 5/5/10
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/5/10
DIRECTOR DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 3/17/10
SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

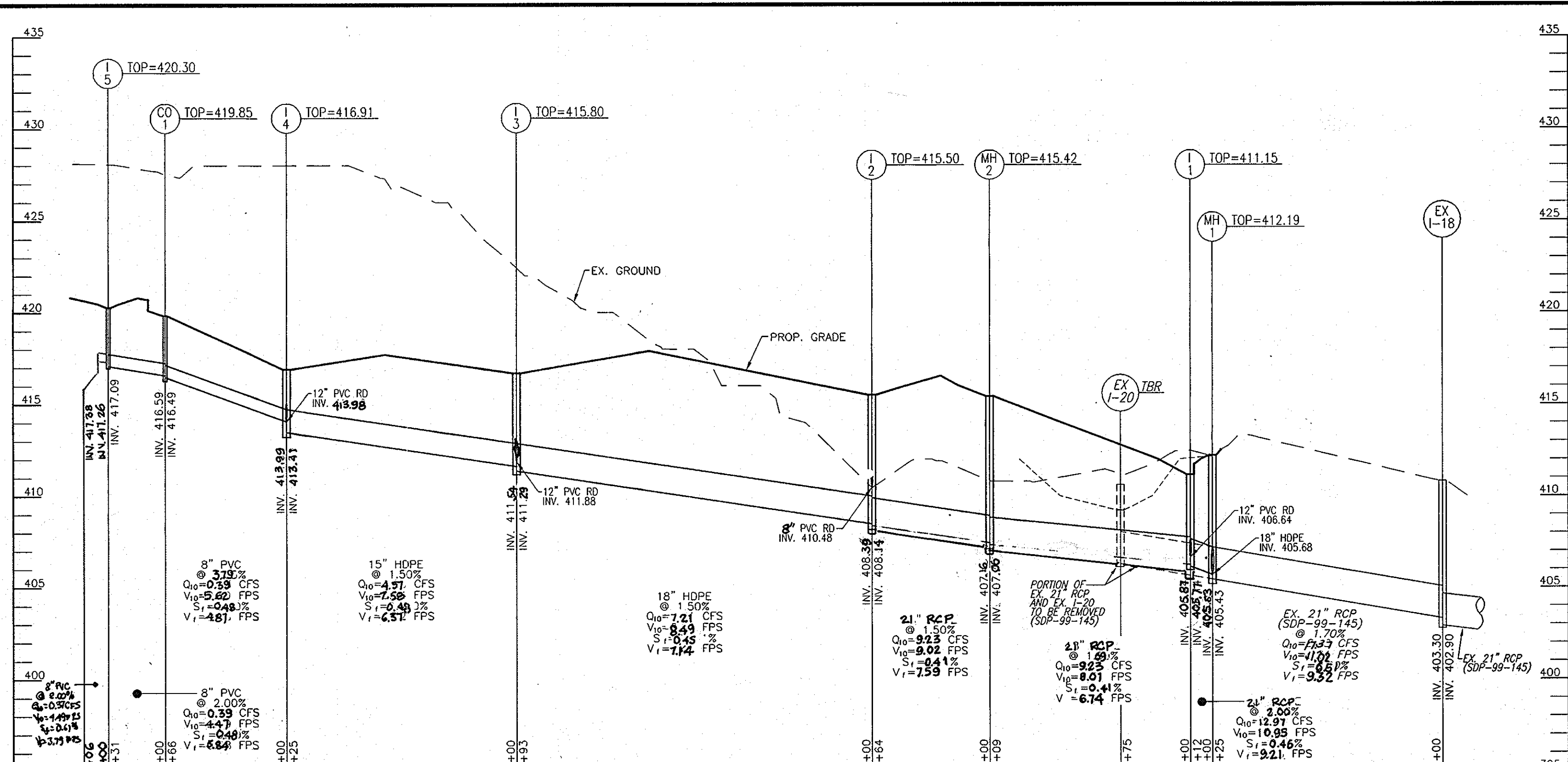
[Signature] 3/17/10
SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

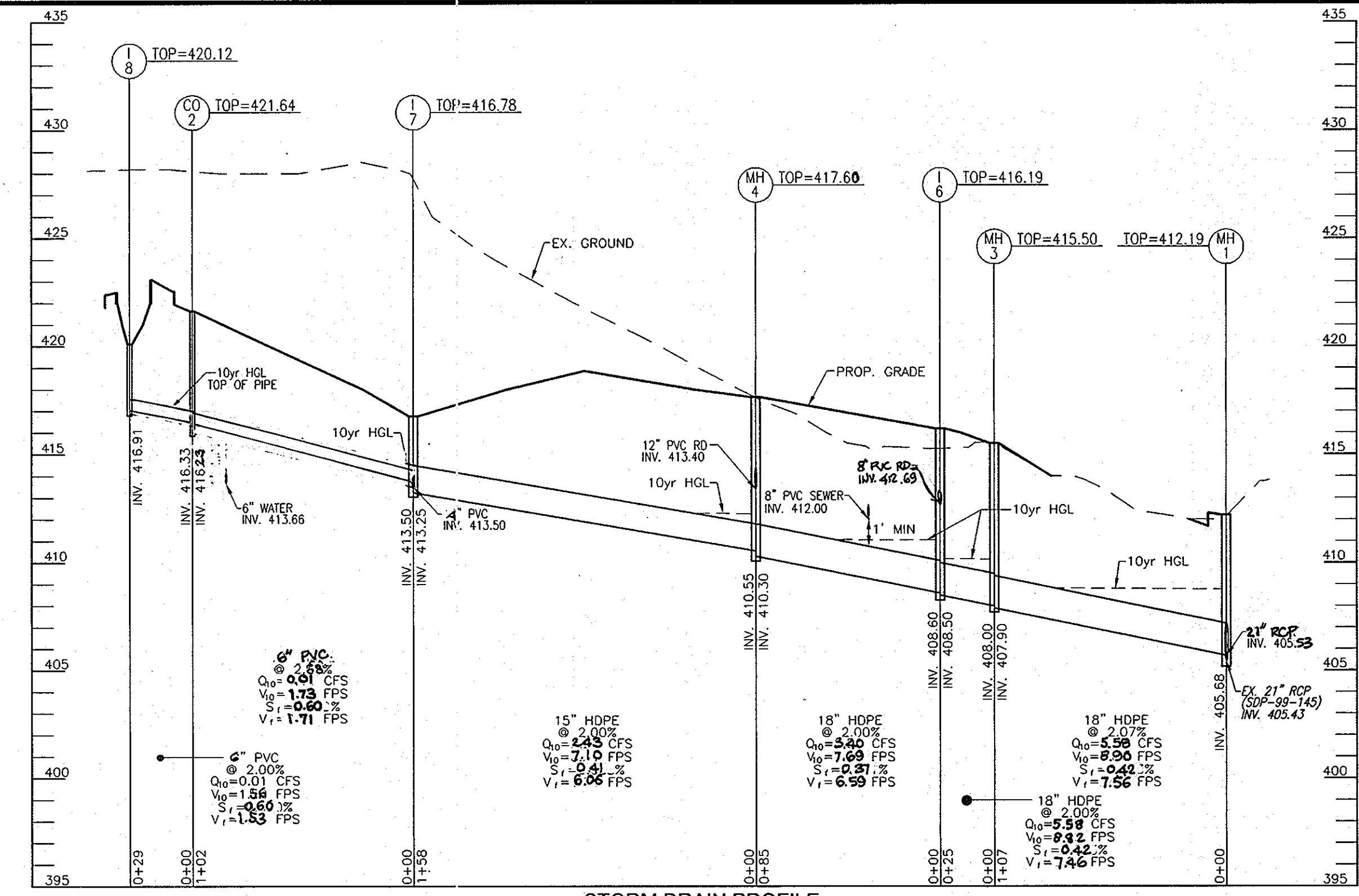
[Signature] 3/13/10
HOWARD S.C.D. DATE

SOILS LEGEND

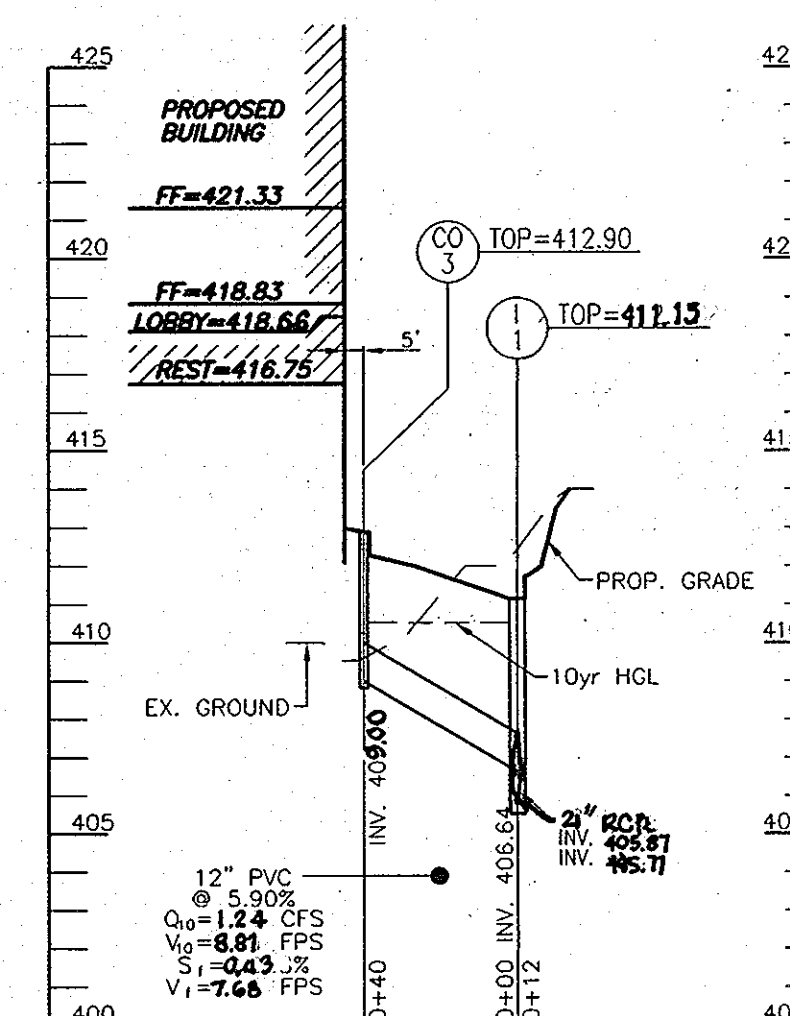
SYMBOL	NAME / DESCRIPTION	GROUP
BaA	BAILE SILT LOAM, 0 TO 3 PERCENT SLOPES	D
GgA	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	B
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B
MaC	MANOR LOAM, 15 TO 25 PERCENT SLOPES	B



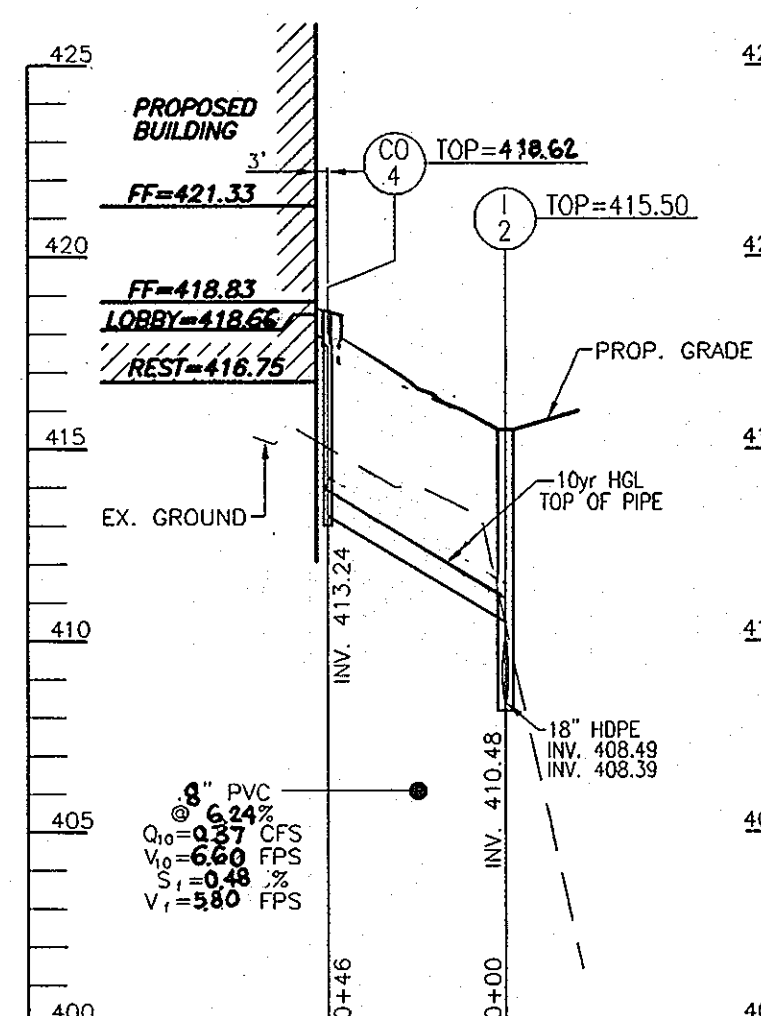
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



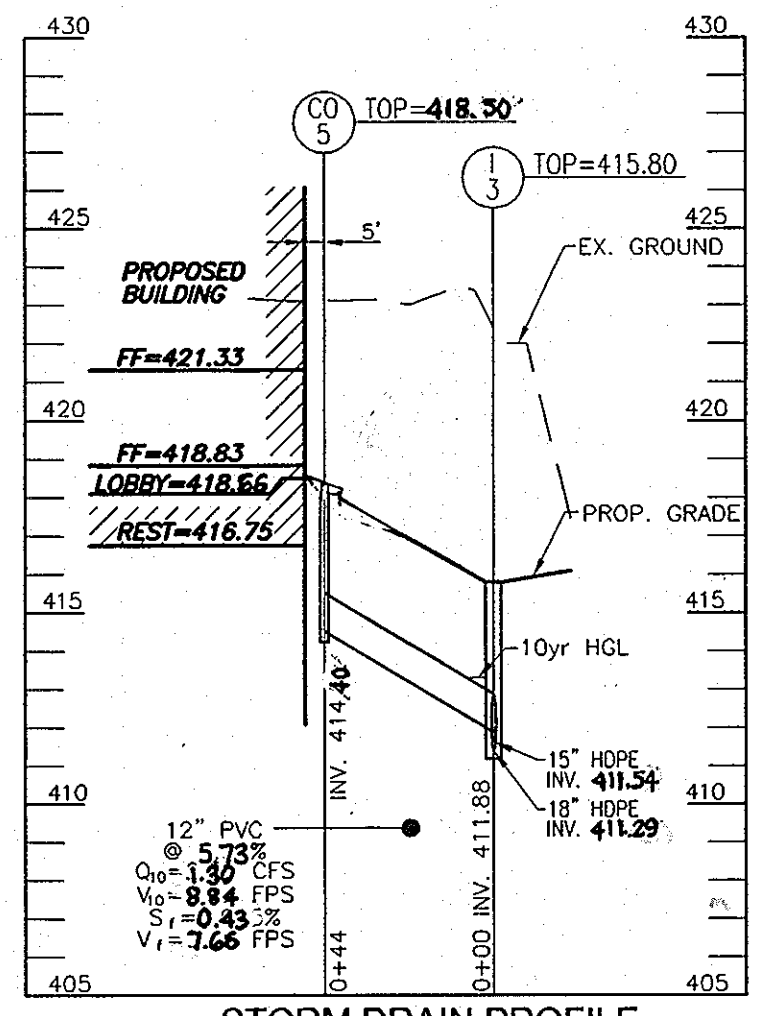
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



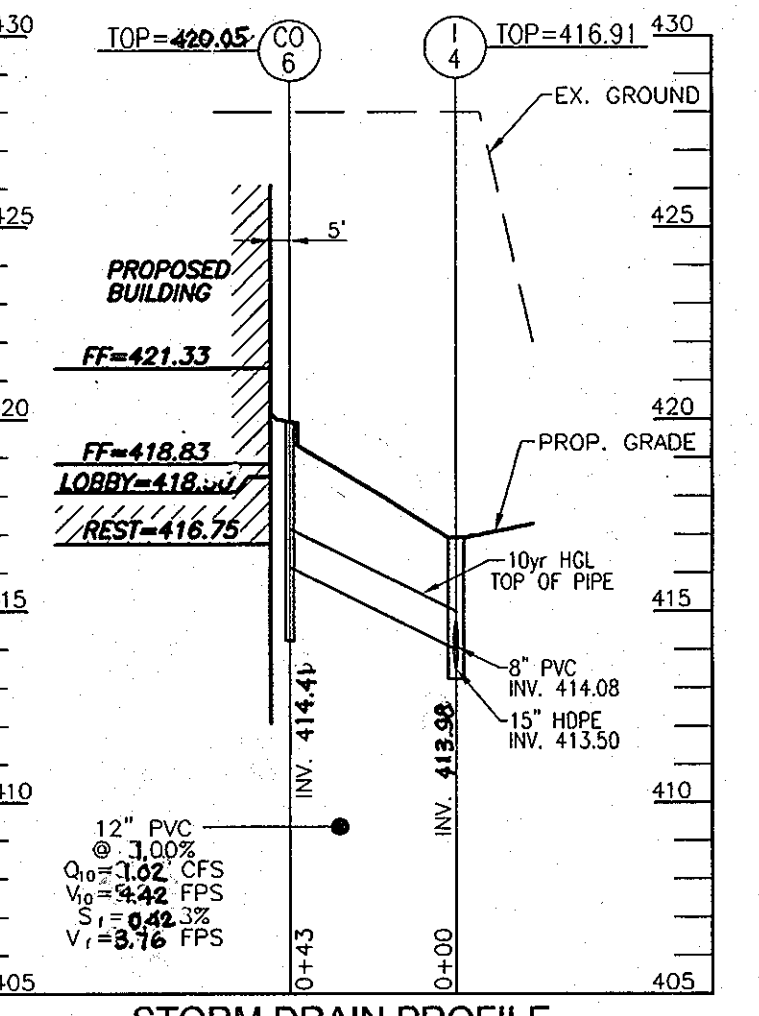
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



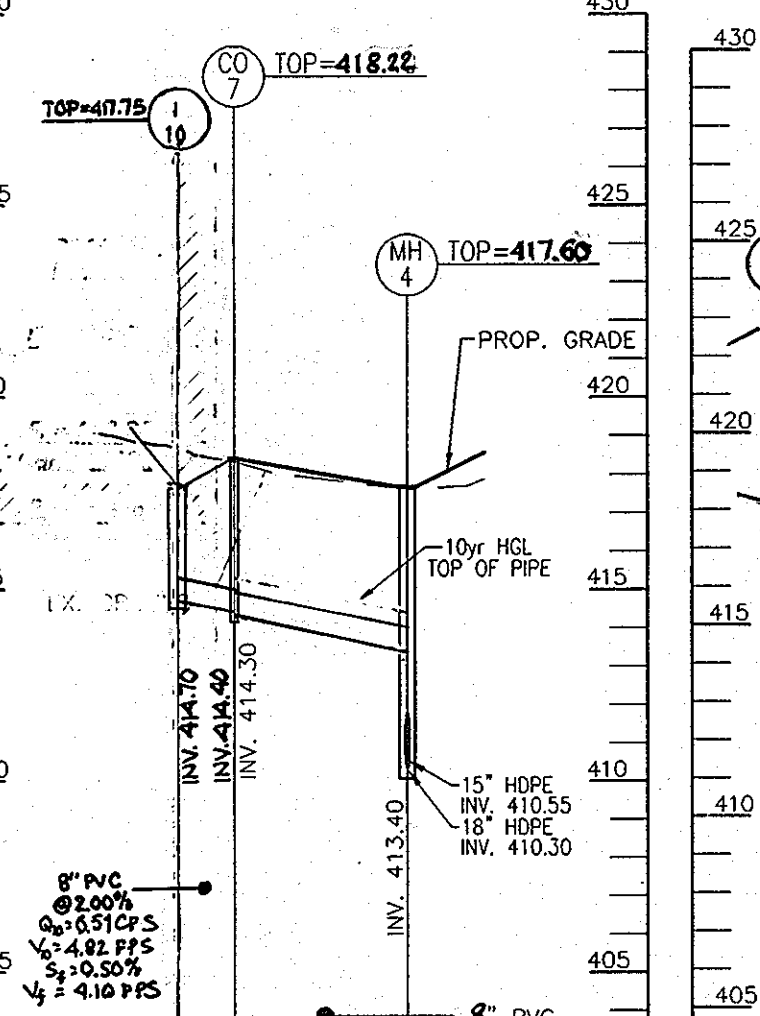
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



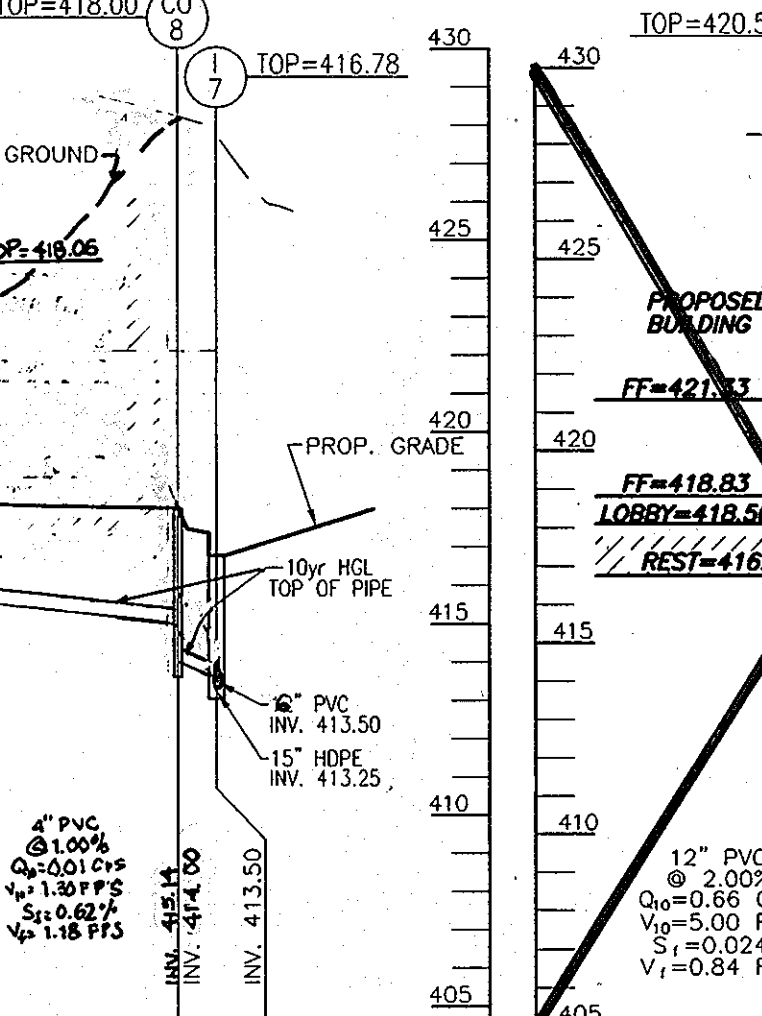
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



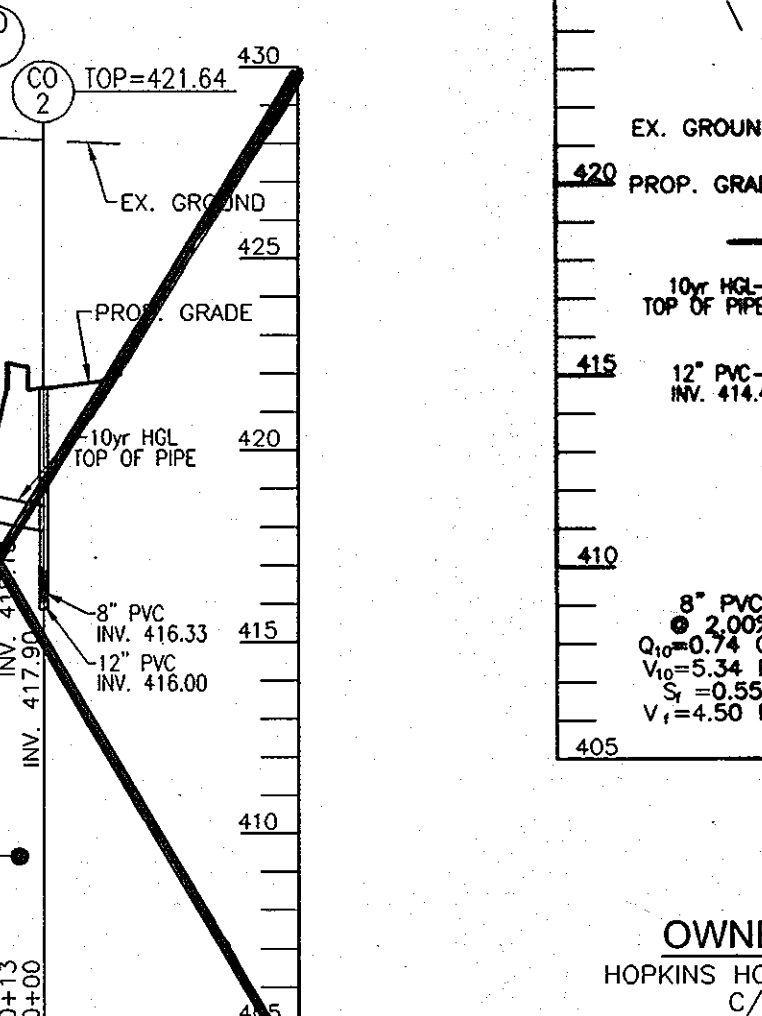
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



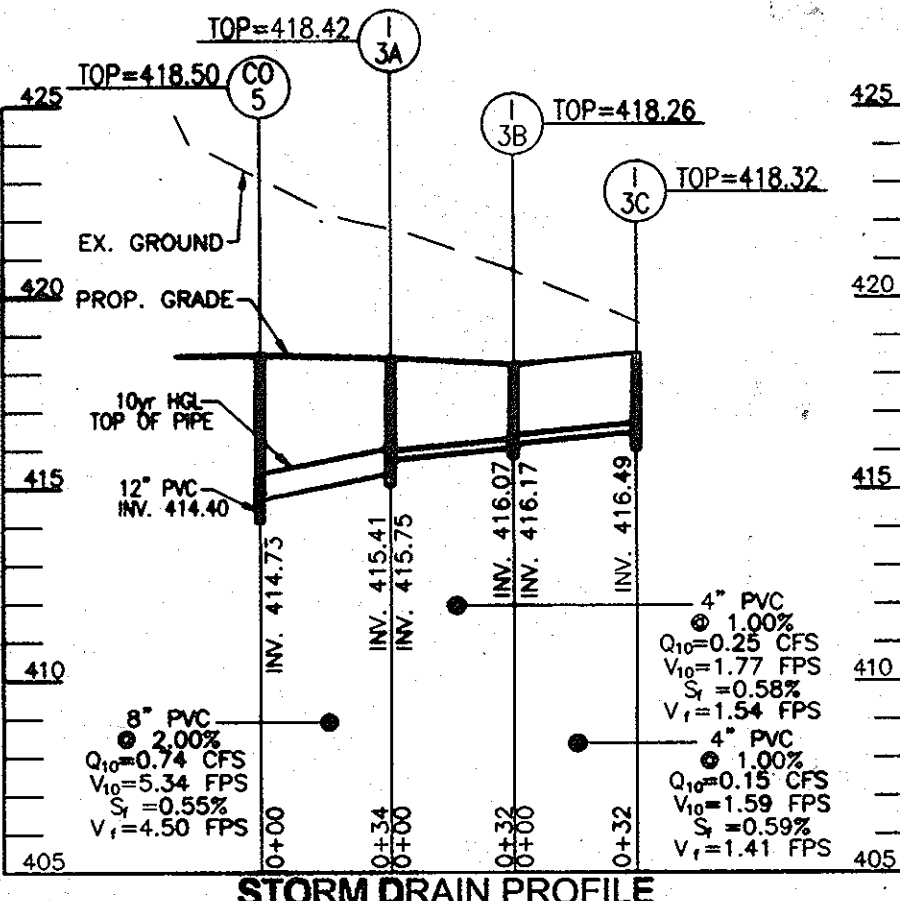
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

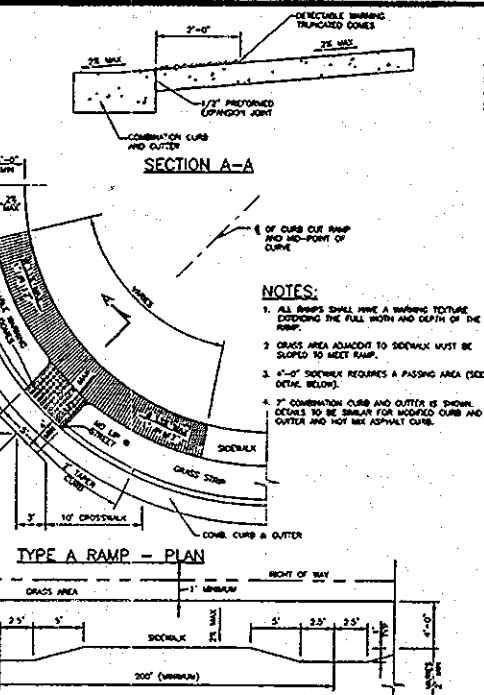
OWNER/DEVELOPER
HOPKINS HOSPITALITY INVESTORS, LLC
C/O STAR HOTELS
7226 LEE DEFORET DR., SUITE 200
COLUMBIA, MD 21046
(301) 596-5400

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
I-1	DOUBLE TYPE 'S' COMB. INLET (PARALLEL)	N 544450.3 E 1342674.2	411.15	408.00	408.00	HO. CO. STD. D-4.34
I-2	DOUBLE TYPE 'S' INLET	N 544424.7 E 1342523.1	415.50	412.00	412.00	HO. CO. STD. D-4.23
I-3	TYPE 'S' INLET	N 544424.8 E 1342451.3	415.80	412.00	412.00	HO. CO. STD. D-4.22
I-4	DOUBLE TYPE 'S' INLET	N 544129.9 E 1342404.7	416.91	413.00	413.00	HO. CO. STD. D-4.23
I-5	ACO S-600 CATCH BASIN	N 544052.8 E 1342440.0	420.30	417.00	417.00	ACO S-600 CATCH BASIN
I-6	DOUBLE TYPE 'S' COMB. INLET (PARALLEL)	N 544332.8 E 1342714.3	416.19	408.00	408.00	HO. CO. STD. D-4.34
I-7	DOUBLE TYPE 'S' COMB. INLET (PARALLEL)	N 544147.6 E 1342557.1	416.78	413.00	413.00	HO. CO. STD. D-4.34
I-8	ACO S-600 CATCH BASIN	N 544032.5 E 1342500.4	420.12	416.91	416.91	ACO S-600 CATCH BASIN
MH-1	STANDARD 4' PRECAST MANHOLE	N 544445.5 E 1342685.0	412.19	408.00	408.00	HO. CO. STD. G-5.12
MH-2	STANDARD 4' PRECAST MANHOLE	N 544471.4 E 1342567.3	415.42	407.00	407.00	HO. CO. STD. G-5.12
MH-3	STANDARD 4' PRECAST MANHOLE	N 544349.7 E 1342732.6	415.50	408.00	408.00	HO. CO. STD. G-5.12
MH-4	STANDARD 4' PRECAST MANHOLE	N 544268.6 E 1342659.4	417.60	413.00	413.00	HO. CO. STD. G-5.12
CO-1	CLEANOUT	N 544064.2 E 1342411.6	419.65	416.99	416.99	HO. CO. STD. S-2.21
CO-2	CLEANOUT	N 544052.1 E 1342512.2	417.16	414.23	414.23	HO. CO. STD. S-2.21
CO-3	CLEANOUT	N 544412.9 E 1342659.2	412.90	409.00	409.00	HO. CO. STD. S-2.21
CO-4	CLEANOUT	N 544393.2 E 1342556.1	416.62	413.24	413.24	HO. CO. STD. S-2.21
CO-5	CLEANOUT	N 544229.5 E 1342491.8	418.50	414.73	414.73	HO. CO. STD. S-2.21
CO-6	CLEANOUT	N 544104.6 E 1342439.4	420.05	416.94	416.94	HO. CO. STD. S-2.21
CO-7	CLEANOUT	N 544288.1 E 1342618.0	416.22	413.40	413.40	HO. CO. STD. S-2.21
CO-8	CLEANOUT	N 544151.2 E 1342519.0	418.00	414.00	414.00	HO. CO. STD. S-2.21

NOTE: 1. TOP ELEVATIONS ARE AT CENTER TOP OF HEADPIECE FOR TYPE 'A'-10, CENTER TOP OF GRATE FOR ACO CATCH BASIN AND TYPE 'S' INLETS, AND TOP OF MANHOLE COVER FOR PRECAST MANHOLES.
2. FOR TOP SLAB SLOPES SEE GRADING PLAN.
3. SEE ARCHITECTURAL PLANS FOR DOWNSPOUT AND ROOF DRAIN DETAILS.
4. ALL CUSTOM AND NON-STANDARD STRUCTURES TO BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER.

STRUCTURE SCHEDULE (CONTINUED...)						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
I-9	ACO S-600 CATCH BASIN	N 544252.2 E 1342512.4	418.42	415.75	415.75	ACO S-600 CATCH BASIN
I-10	ACO S-600 CATCH BASIN	N 544150.7 E 1342536.8	418.32	415.41	415.41	ACO S-600 CATCH BASIN
I-11	ACO S-600 CATCH BASIN	N 544204.8 E 1342575.1	418.06	415.23	415.23	ACO S-600 CATCH BASIN
I-12	ACO S-600 CATCH BASIN	N 544276.8 E 1342514.7	417.25	414.63	414.63	ACO S-600 CATCH BASIN

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
12"	HDPE	102 LF
15"	HDPE	283 LF
18"	HDPE	595 LF
8"	PVC (SCH. 40)	126 LF
12"	PVC (SCH. 40)	251 LF



Series 600 Catch Basins

ACO Specification Information

Specifications

General

1. Catch basins shall be manufactured in accordance with the requirements of the manufacturer's product literature and shall conform to the following specifications:

2. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

3. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

4. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

5. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

6. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

7. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

8. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

9. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

10. Catch basins shall be manufactured with a minimum of 1000 psi concrete and shall be finished with a smooth, non-slip surface.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

4/6/10

4/15/10

5/5/10

DIRECTOR

BY THE DEVELOPER:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

3/17/10

SIGNATURE OF DEVELOPER

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

4/9/10

SIGNATURE OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D.

NO.	REVISION	DATE
1	REVISE PLAN TO MODIFY THE PROPOSED STORM DRAIN SYSTEM IN ORDER TO ACCOMMODATE THE MOST CURRENT DRAINAGE PER THE ARCHITECTURAL PLANS	12-10-15

SITE DEVELOPMENT PLAN
UTILITY PROFILES

HOMWOOD SUITES
PARCEL 'D'-5
HOTEL AND RESTAURANT
CERTIFIED LEVEL RATED GREEN BUILDING
PLAT 20795 (L.6063/F.487)

TAX MAP 41, BLOCK 17
5th ELECTION DISTRICT

PARCEL 124, D-5
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
ELICOTT CITY, MD 21043

TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: RHY

DRAWN BY: DZ

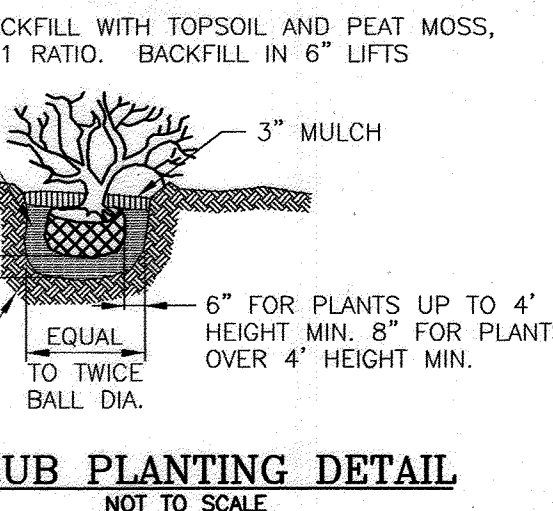
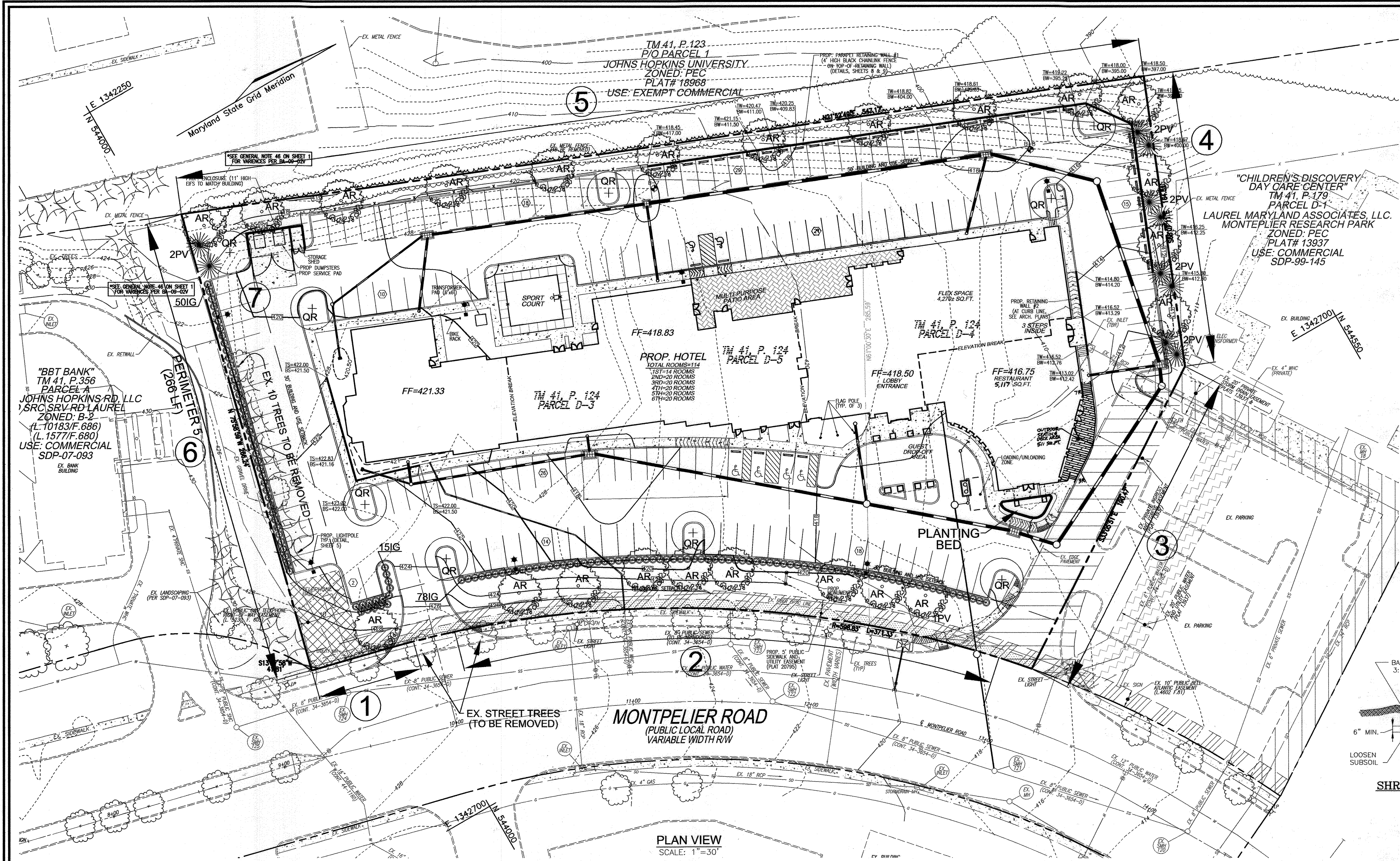
CHECKED BY: RHY

DATE: JANUARY 2010

SCALE: AS SHOWN

W.O. NO.: 40-120

6 SHEET OF 9



LEGEND:

- EXISTING CONTOUR
- PROPOSED ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY/MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING TREES (FIELD LOCATED)
- EXISTING TREELINE (FIELD LOCATED)
- EXISTING FENCE
- PROPERTY LINE
- ADJACENT PROPERTY LINE
- PROPOSED SIDEWALK
- PROP. LIGHT POLE
- PROP. WALL MOUNTED SIGN (P5775) 75W LIGHT (TYP)
- PROPOSED TREELINE
- EX. PUBLIC C&P TELEPHONE RIGHT-OF-WAY EASEMENT (L.9230/F. 605)
- EX. PRIVATE INGRESS AND EGRESS EASEMENT (PLAT 13937)
- EX. 20' PRIVATE STORM DRAIN EASEMENT (PLAT 13937)
- EX. 20' PUBLIC WATER AND UTILITY EASEMENT (PLAT 13937)
- PROP. 5' PUBLIC EASEMENT AND STREET LIGHT EASEMENT
- M1B2 SOILS BOUNDARY
- M1D3
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- LANDSCAPE PERIMETER

OWNER/DEVELOPER
 HOPKINS HOSPITALITY INVESTORS, LLC
 C/O STAR HOTELS
 7226 LEE DEFORET DR., SUITE 200
 COLUMBIA, MD 21046
 (301) 596-5400

NO.	REVISION	DATE
2	REVISE THE PLAN TO ADD A 511 SF OUTDOOR DECK FOR THE RESTAURANT	11-20-23

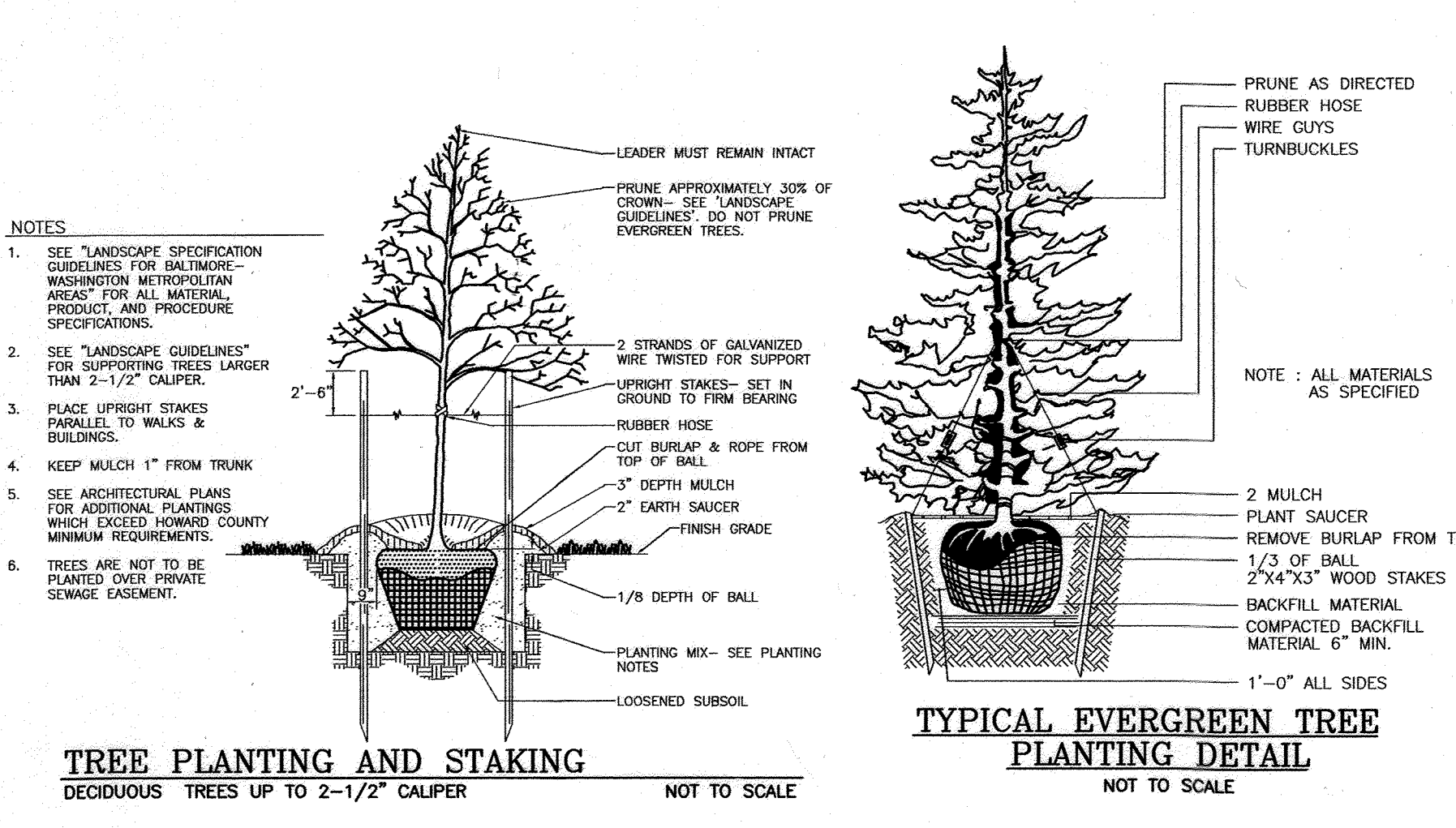
SCHEDULE A PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS, PERIMETER PROPERTIES AND DUMPSTERS							TOTAL
	1	2	3	4	5	6	7	
PERIMETER/FRONTAGE DESIGNATION	E	E	N/A	N/A	A	A	C	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	59'	310'	190'	165'	547'	266'	32'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	NO	NO	NO
NUMBER OF PLANTS REQUIRED	140	140	-	-	160	150	140	24
SHADE TREES	-	-	-	-	-	-	-	2
EVERGREEN TREES	-	-	-	-	-	-	-	2
SHRUBS	14	14	-	-	50	-	-	143
NUMBER OF PLANTS PROVIDED	1	8	-	-	9	0	1	23
SHADE TREES	-	-	-	-	-	-	-	2
EVERGREEN TREES	-	-	-	-	-	-	-	2
OTHER TREES (2-1 SUBSTITUTION)	-	-	-	-	-	-	-	-
SHRUBS (10-1 SUBSTITUTION)	15	78	-	-	50	-	-	143

THIS PERIMETER IS AN INTERNAL LOT LINE WITHIN A SUBDIVISION. SCREENING BETWEEN PARCELS IS NOT REQUIRED.
 ** SUBSTITUTE 50 SHRUBS FOR 5 SHADE TREES IN PERIMETER 6.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

KEY	QUAN	BOTANICAL NAME	SIZE	CAT
AR	23	ACER FR/BIRM	2 1/2"-3" CAL.	B & B
OR	9	QUERCUS PHellos	2 1/2"-3" CAL.	B & B
PV	10	PAUIS VIRGINIANA	6'-8" HT.	B & B
IG	143	INKBERRY	3'-4" HT.	B & B



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/1/10
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 5/5/10
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/5/10
 DIRECTOR DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

[Signature] 3/7/10
 SIGNATURE OF DEVELOPER DATE

SITE DEVELOPMENT PLAN
LANDSCAPE PLAN

HOMWOOD SUITES
 PARCEL D-5
 HOTEL AND RESTAURANT
 CERTIFIED LEVEL RATED GREEN BUILDING
 PLAT 20795 (L.6053/F.487)

TAX MAP 41 BLOCK 17 5th ELECTION DISTRICT PARCEL 124, D-5 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELIOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: JANUARY 2010
 SCALE: AS SHOWN
 W.O. NO.: 04-120

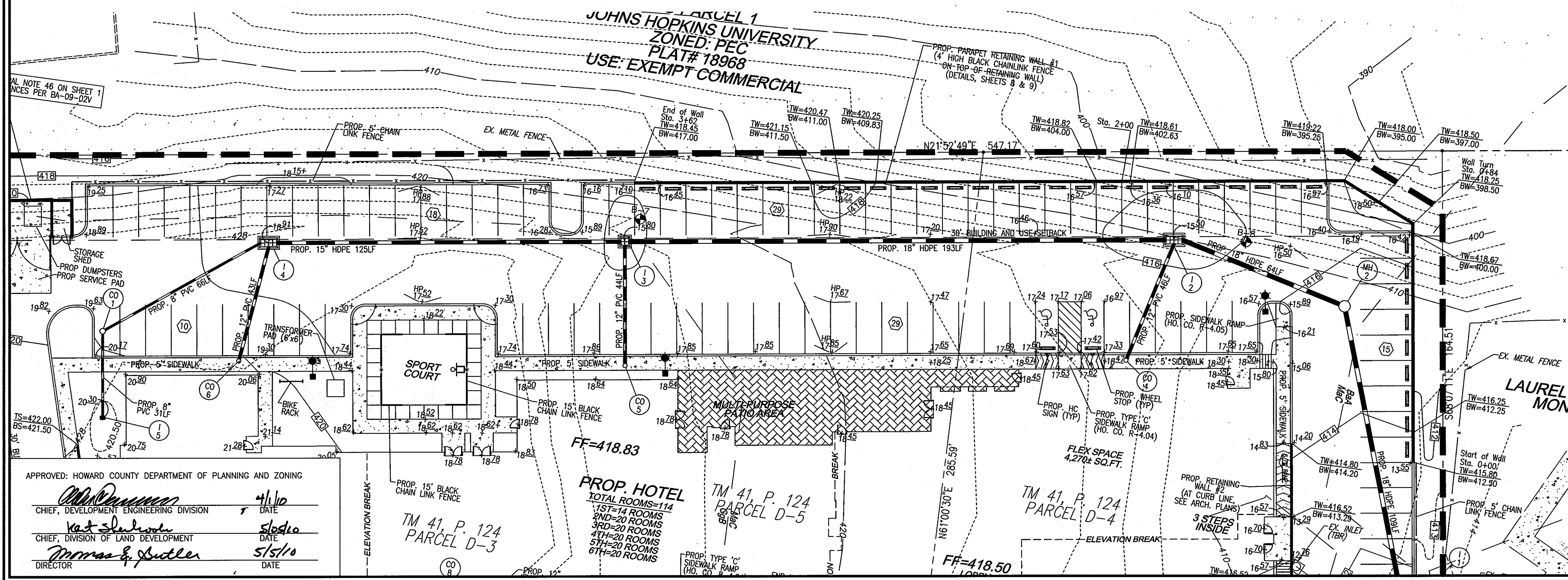
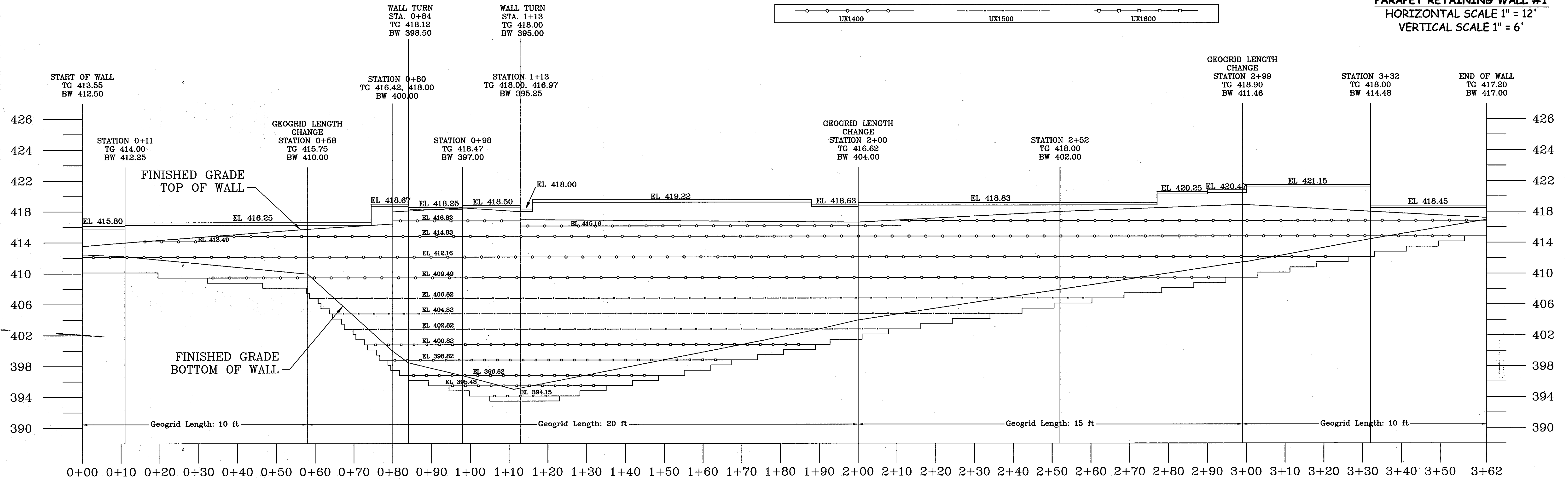
PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 1816 EXPIRATION DATE 09-27-2010

7 SHEET OF 9

LEGEND



PARAPET RETAINING WALL #1
 HORIZONTAL SCALE 1" = 12'
 VERTICAL SCALE 1" = 6'



SCALE (IN FEET)
 10 20
 20 0 20

OWNER/DEVELOPER
 HOPKINS HOSPITALITY INVESTORS, LLC
 C/O STAR HOTELS
 7226 LEE DEFOREST DR., SUITE 200
 COLUMBIA, MD 21046
 (301) 596-5400

NO. REVISION DATE

SITE DEVELOPMENT PLAN
PROPOSED PARAPET RETAINING WALL #1
 HOMEWOOD SUITES
 PARCEL 'D-5'
 HOTEL AND RESTAURANT
 CERTIFIED LEVEL RATED GREEN BUILDING
 PLOT: 20795 - (L6053-F-487)

TAX MAP 41 BLOCK 17
 5th ELECTION DISTRICT

PARCEL 124, D-5
 HOWARD COUNTY, MARYLAND

ECS LLC
 MID-ATLANTIC

DESIGN BY: JMS
 DRAWN BY: JMS
 CHECKED BY: HMA
 DATE: January 2010
 SCALE: AS SHOWN
 W.O. NO.: 04-120

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29553, EXPIRATION DATE 12-31-2011

8 SHEET OF 9

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

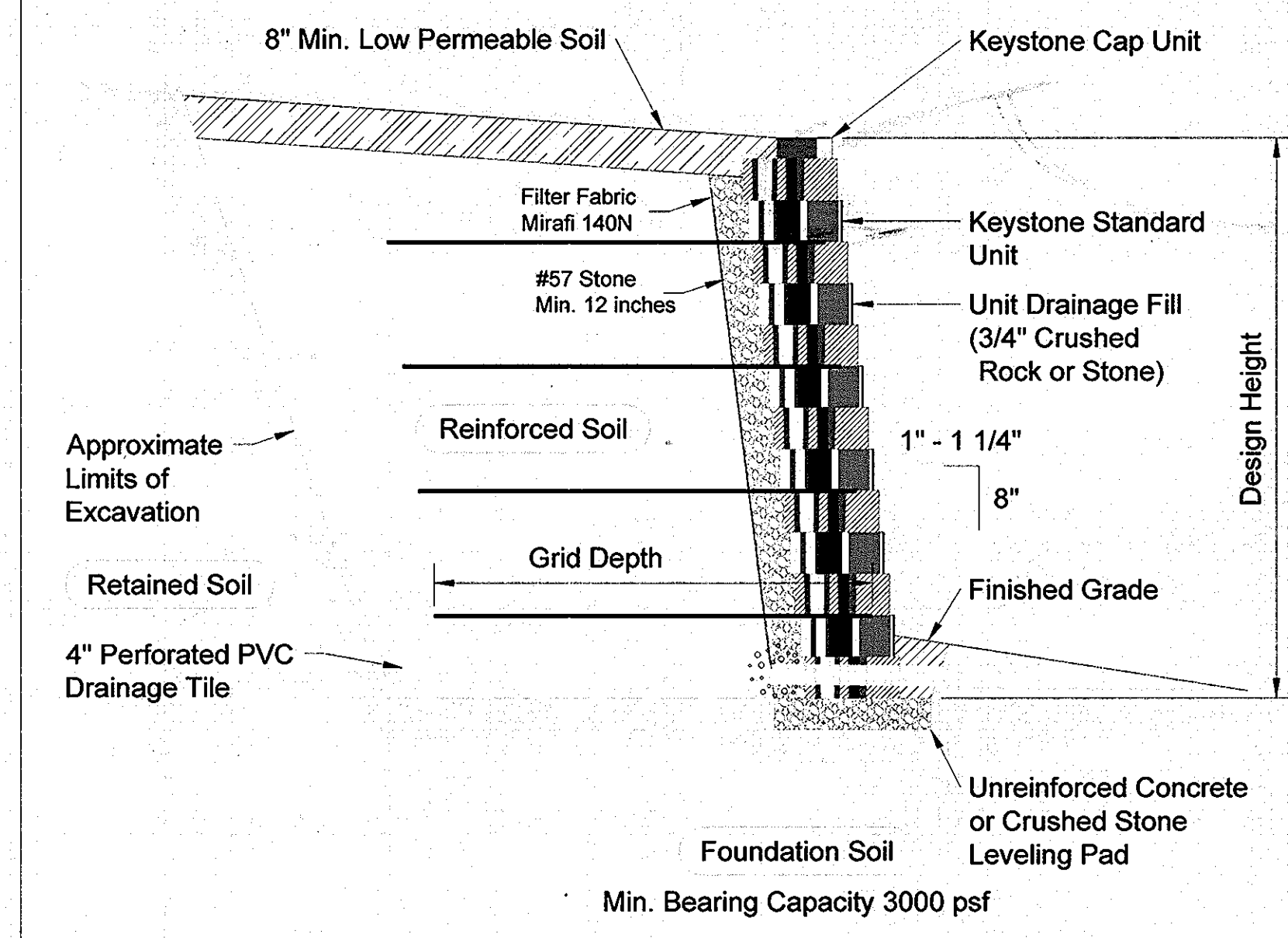
Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

DATE: 4/1/10
 DATE: 5/1/10
 DATE:

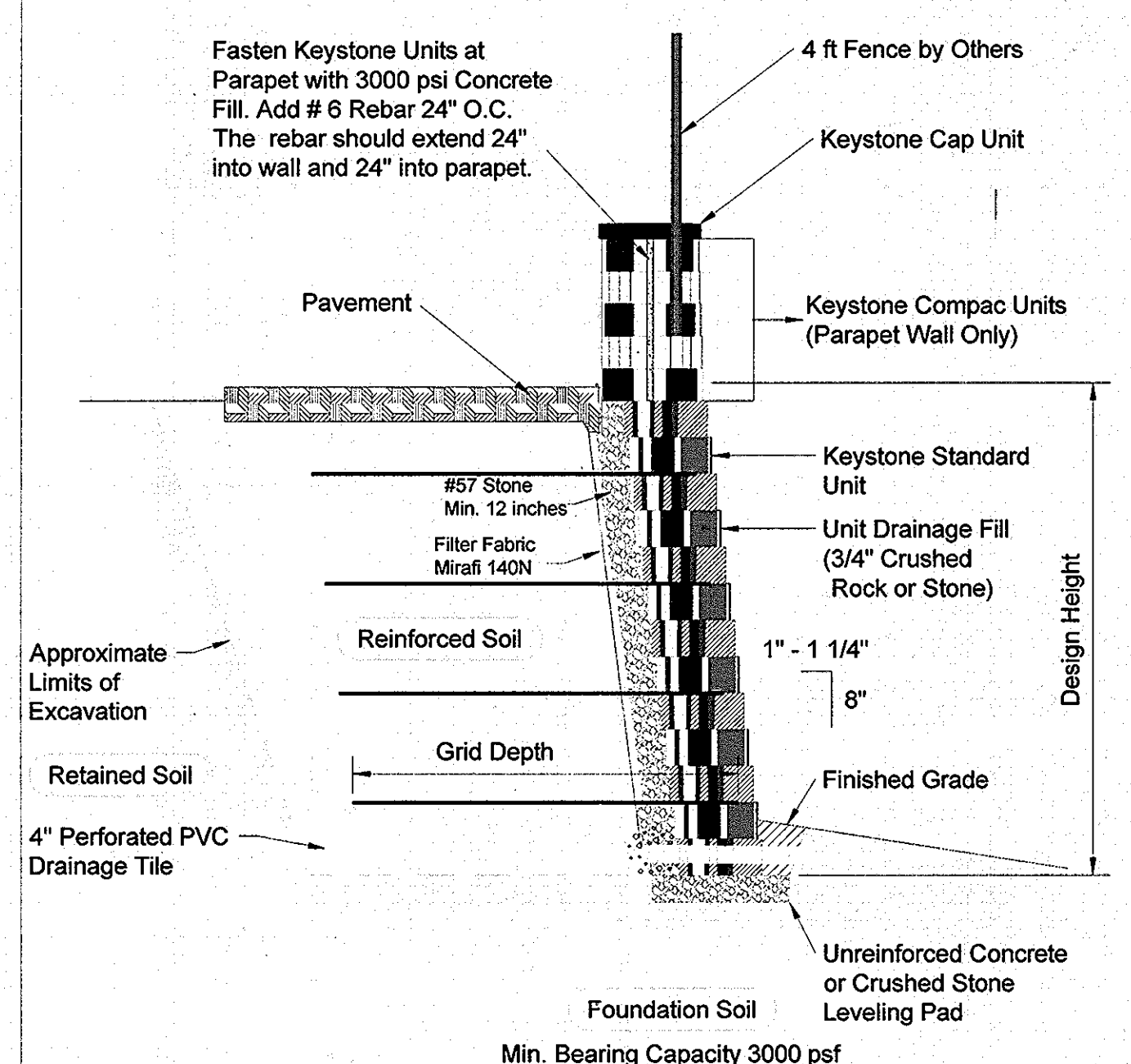
RETAINING WALL SPECIFICATION GUIDELINES

- PART 1: GENERAL**
- 1.01 Description
- Retaining walls shall only be constructed under the observation of a Registered Professional Engineer and a (NCEI, NACEI or equivalent) certified soils technician.
 - For CRITICAL walls, one soil boring shall be required every 100' along the entire length of the wall. Copies of all boring reports shall be provided to the Howard County Inspector prior to the start of construction.
 - Work includes furnishing and installing concrete modular block retaining wall units to the lines and grades shown on the construction drawings and as specified herein.
 - Work includes preparing foundation soil, furnishing and installing leveling pad, unit fill and reinforced backfill to the lines and grades shown on the construction drawings.
 - Work includes furnishing and installing all related materials required for construction of the retaining wall as shown on the construction drawings.
- 1.02 Reference Standards
- ASTM C 90 Load Bearing Concrete Masonry Units.
 - ASTM C 140 Sampling and Testing Concrete Masonry Units.
 - ASTM D 448 Sizes of Aggregate for Road and Bridge Construction.
 - ASTM D 698 Laboratory Compaction Characteristics using Standard Effort.
- 1.03 Delivery, Storage and Handling
- Contractor shall check the materials upon delivery to assure that proper materials have been received.
 - Contractor shall prevent excessive mud, wet cement, epoxy, and similar materials (which may affix themselves) from coming in contact with the materials.
 - Contractor shall protect the materials from damage and exposure to sunlight. Damaged materials shall not be incorporated into the retaining wall structure and backfill.
- 1.04 Quality Assurance
- Owner will be responsible for soil testing and construction observations for quality control during earthwork and retaining wall construction operations.
- PART 2: MATERIALS**
- 2.01 Definitions
- Modular Wall Units - KEYSTONE or equivalent modular concrete facing and corner units, machine made from portland cement, water, and mineral aggregates.
 - Structural Geogrid - a structural geogrid formed by a regular network of integrity connected tensile elements with apertures of sufficient size to allow interlocking with surrounding soil, rock, or earth and function primarily as reinforcement.
 - Unit Fill/Drainage Aggregate - drainage aggregate, such as No. 57 Stone, which is placed within the cells of the modular concrete units and immediately behind the units to a width of at least 12 inches.
 - Reinforced Backfill - Compacted soil which is within the reinforced soil volume as shown on the plans.
 - Excavation Face - The interface between the reinforced backfill and the retained fill. During construction, measures shall be taken to avoid developing a shear plane at this interface.
 - Retained Backfill - On-site material located behind the reinforced zone of soil.
- 2.02 Concrete Units
- Concrete segmental units shall conform to the requirements of NEMA TEK 2-4 and have a minimum 28-day compression strength of 4,000 psi. The units shall also pass 150 freeze thaw cycles in water with less than 1% weight loss for samples tested in accordance with ASTM C-1262.
 - Wall Face Units for general wall construction shall be KEYSTONE Standard II units or equivalent. Sculptured face or straight (flat) face may be used.
 - Top of wall Cap Units shall be KEYSTONE Cap Units or equivalent with fiberglass connecting pins.
- 2.03 Fiberglass Connecting Pins
- Connecting pins shall be 1/2" diameter thermoset isophthalic polyester resin-pultruded fiberglass reinforcement rods supplied by the unit manufacturer.
- 2.04 Construction Adhesive
- Construction adhesive for top of wall cap blocks shall be KEYSTONE KapSealTM or an approved equivalent construction adhesive. Material shall conform to ASTM 2339 and shall be supplied by the block unit supplier.
- 2.05 Drainage Pipe
- Continuous collection pipe shall consist of 4-inch diameter slotted or perforated PVC pipe (Schedule 40)
 - Outlet (discharge) pipe shall consist of 4-inch diameter solid PVC pipe (Schedule 40).
 - All pipe fittings shall be appropriate for the pipe size and schedule used.
- 2.06 Soil Fill Materials
- Base Leveling and Pad Material
 - Material shall consist of crushed stone (GA S/B) as shown on the construction drawing. The leveling pad shall be, at a minimum, 6-inches thick. MSHA No. 57 Stone or pea gravel is not permitted.
 - Unit Fill/Drainage Aggregate
 - Fill for units shall be free draining crushed stone or gravel, with a maximum aggregate size of 1/2" to 3/4" and no more than 5% passing the No. 50 sieve and conforming to ASTM D 448. Gradation of the unit fill shall be approved by the Geotechnical Engineer. Pea gravel shall not be used.
 - Reinforced Backfill
 - Material shall consist of soil classified as SM, SC or more granular soils per USCS with minimum soil parameters as indicated under design parameters. The backfill material shall contain no particles greater than 2.5 inches in diameter. The backfill material shall contain at least 30 percent by weight retained on the US Standard No. 200 sieve. Other backfill materials may be approved by the Geotechnical Engineer.
 - Impervious Soil
 - Material may be imported or site excavated soils exhibiting a USCS designation of a lean clay (CL) or clayey sand (SC). The material shall contain no less than 40 percent by weight passing the US Standard No. 200 sieve and exhibit a plasticity index no less than 4 and no greater than 20. Other materials may be approved by the Geotechnical Engineer.
 - Sample Submittal
 - The contractor shall submit samples and material specifications of the proposed backfill soils (unit fill, pad material, reinforced backfill) to the Geotechnical Engineer for approval.
 - Soil must meet or exceed the friction angle specified in design parameters.
 - Direct shear testing is required for all soil samples used for Reinforced Backfill.
- 2.07 Structural Geogrid
- The geogrid identified for the retaining wall consists of the following:
 - Tensar UXK140065
 - Tensar UXK160060
 - Tensar UXK150060
 - Other geogrid may be utilized provided the materials meet or exceed the minimum strength with similar or better strain characteristics of the Tensar geogrid and are approved by the Geotechnical Engineer for use with soil backfill. The material shall be protected from sunlight and weather while stored on site in accordance with the manufacturer's recommendation.
- 2.08 Geotextile
- A non-woven geotextile shall be utilized as shown on the plans to provide a filter between the unit fill/drainage aggregate and the reinforced backfill.
 - The geotextile shall consist of a Mirafra 140N, or an approved equivalent.
 - Where geogrids are located, the geotextile shall be placed as illustrated on the plans. At junctions and ends, the geotextile shall be overlapped at least 12 inches. The geotextile shall be placed so that intimate contact is made between the geotextile and the backfill material.
 - Ripped or otherwise damaged material shall not be used. The material shall be protected from sunlight and weather while stored on site in accordance with the manufacturer's recommendation.

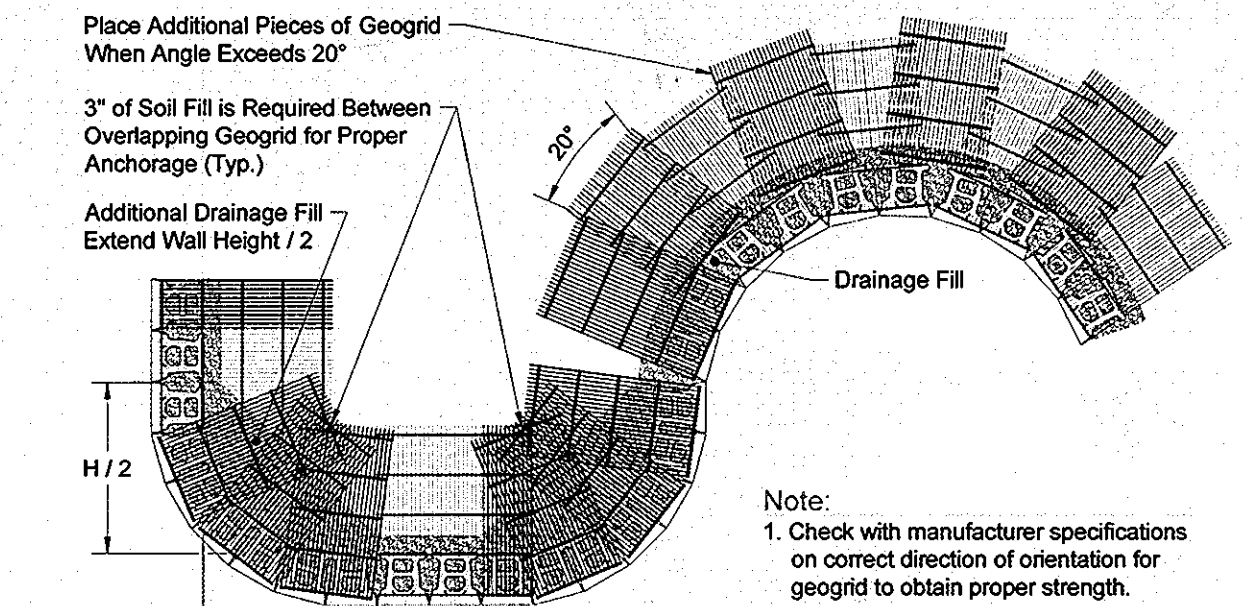
- PART 3: INSTALLATION**
- 3.01 Excavation
- Contractor shall excavate to the lines and grades shown on the construction drawings. Contractor shall be careful not to disturb environment and foundation materials beyond lines shown.
 - All existing topsoil, rootball and other soft or unsuitable materials shall, at a minimum, be removed from the footprint of the retained soil mass.
 - If groundwater is encountered during the excavation of the backslope, a backslope drainage system shall be utilized. The system shall tie into the internal wall drainage system to provide adequate release of any water which accumulates behind the reinforced zone.
- 3.02 Foundation Preparation
- Foundation shall be excavated as required for leveling pad dimensions shown on the construction drawings, or as directed by the Geotechnical Engineer.
 - The required bearing pressure beneath the footing of the wall must be verified in the field by a qualified soils technician. Testing documentation shall be provided to the Howard County Inspector prior to the start of construction. The required test procedure shall be the Dynamic Cone Penetrometer Test ASTM 37P-399.
 - Unsuitable soils shall be removed and replaced with approved material.
 - Over-excavated areas shall be backfilled with approved, compacted backfill material or as approved by the Geotechnical Engineer.
- 3.03 Base Leveling Pad
- Leveling pad materials shall be placed upon an approved foundation as shown on the construction drawings to a minimum thickness of 6 inches.
 - Aggregate material shall be compacted to provide a dense, level surface on which to place the first course of modular units. Compaction shall be to at least 95% of the maximum dry density as determined by the Standard Proctor Compaction Test (ASTM D 698). Leveling pad shall be prepared and leveled to ensure complete contact of retaining wall unit with base.
- 3.04 Unit Installation
- The first course of concrete modular units shall be carefully placed on the base leveling pad. Each unit shall be checked for level (in both directions) and alignment.
 - Install fiberglass connecting pins and fill all voids in and around the modular units with unit fill material. Tamp or rod unit fill to ensure that all voids are completely filled.
 - Sweep excess material from top of units and install the next course. Ensure that the units of each course are completely filled, backfilled and compacted prior to proceeding to next course.
 - Place each subsequent course, ensuring that pins protrude into adjoining courses a minimum of 1 inch. Two pins are required per unit. Pull each unit forward to obtain the desired offset (as noted on the plans) away from the fill zone, locking against the pins in the previous course and backfill as the course is completed.
 - Repeat procedure to the extent of wall height. Wall construction shall not exceed 2 courses in height before reinforced backfill is placed.
 - Follow geogrid and unit fill placement closely with any other backfilling required. Compaction of all soils shall be to 95% of the maximum dry density as determined in accordance with ASTM D 698.
 - As appropriate where the wall changes elevation, units can be stopped with the grade or turned into the embankment with a convex return end. Provide appropriate buried units on compacted leveling pad in area of convex return end.
- 3.05 Geogrid Installation
- The geogrid type and length (direction perpendicular to the wall face) shall conform to those indicated on the construction drawings. Geogrid shall be laid continuously at the proper elevations and orientation as shown on the construction drawings or as directed by the Geotechnical Engineer.
 - Correct orientation (roll direction) of the geogrid shall be verified by the Contractor.
 - The geogrid shall be connected to the modular wall units by placing the geogrid over fiberglass pins and moving the grid back to the fill side.
 - A filtering, non-woven geotextile shall be located between the drainage aggregate/unit fill and the reinforced backfill. The geotextile shall be folded back parallel, above and below the geogrid as necessary to ensure continuous grid placement.
 - The geogrid shall be pulled taut to set the geogrid against the fiberglass pins and to eliminate loose folds in the material. The fill surface shall be level. To tension the geogrid, backfill shall be placed over the geogrid from immediately behind the wall to the back end of the geogrid.
 - No geogrid overlaps will be allowed in any length of geogrid perpendicular to the wall face except at corners or angled locations. The geogrid shall overlap rather than provide no coverage. A minimum of 4 inches of soil cover is required between overlapping layers of geogrid.
- 3.06 Drainage Installation
- Provide continuous 4-inch slotted or perforated PVC pipe behind the wall, no greater than 4 inches above finished grade at the bottom of the wall.
 - Provide 4-inch solid PVC pipe outlets every 10 feet along the wall, and at each end of the wall.
- 3.07 Fill Placement
- Backfill material shall be placed in 6 inch loose lifts and compacted to at least 95% of the maximum dry density as determined by ASTM D 698. The in-place moisture content shall be in the range of at the optimum moisture content to 2 percentage points higher than the optimum moisture content, as determined in accordance with ASTM D 698.
 - Backfill shall be placed, spread and compacted in such a manner that minimizes the development of slack or loss of pretension of the geogrid. Backfill shall be placed in horizontal layers. The excavation face shall be stopped or notched to provide compaction of backfill on a level surface and to increase the interlock between the retained soils and the reinforced backfill.
 - Only hand-operated compaction equipment shall be allowed within 5 feet of the back surface of the KEYSTONE or equivalent units.
 - Backfill shall be placed from immediately behind the wall towards the excavation face/retained soils and compacted to the specifications presented herein with appropriate compaction equipment.
 - Tracked construction equipment shall not be operated directly on the geogrid. A minimum backfill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Turning of tracked vehicles shall not be permitted over the geogrid.
 - Rubber-tired equipment may pass over the geogrid reinforcement at slow speeds (less than 10 mph). Avoid sudden braking and sharp turning.
 - The suitability of fill material shall be confirmed by the onsite qualified soils technician. Each eight (8) inch lift shall be compacted to a minimum of 95% Standard Proctor Density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - The upper 6 inches of wall backfill shall consist of impervious soil, compacted to at least 95% of the maximum dry density as determined by ASTM D 698. The in-place moisture content shall be in the range of at the optimum moisture content to 2 percentage points higher than the optimum moisture content, as determined in accordance with ASTM D 698.
- 3.08 Cap Installation
- Provide permanent mechanical connection to wall units with KEYSTONE KapSealTM or equivalent construction adhesive. Apply adhesive to top surface of lower unit and place cap unit atop adhesive.
 - Place Cap Units over projecting pins from the units below. Pull forward to setback position.
 - Backfill and compact to finished grade.
- 3.09 Fence Installation
- For walls where a fence is required, do not place drainage stone into the tail voids of the upper 3 blocks at each designated post location. Shorter sections of scrap fence post material can be used during wall construction to identify post hole locations and to keep stone out of the voids for easier void cleanout prior to grouting.
 - Place each fence post into the tail void of the upper 3 blocks and grout into place with 3,000 psi non-shrink grout.
 - Construct the fence at the top of each wall in accordance with project documents.
 - See Architectural or Landscape plans and specifications for additional fence details.



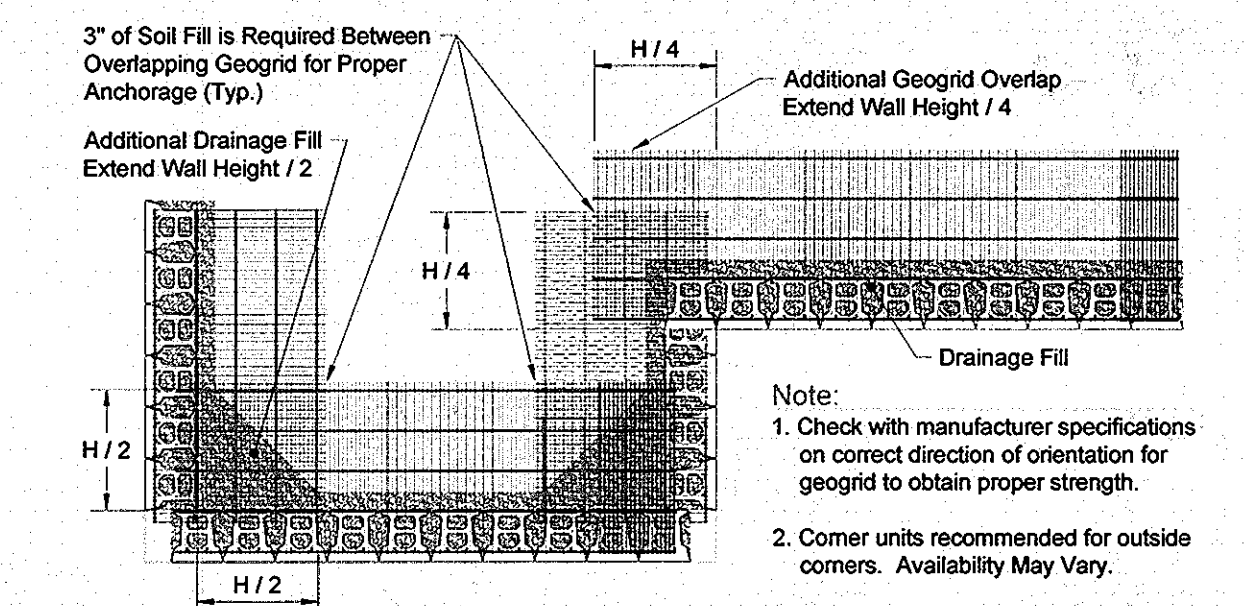
TYPICAL REINFORCED WALL SECTION
SCALE: NTS



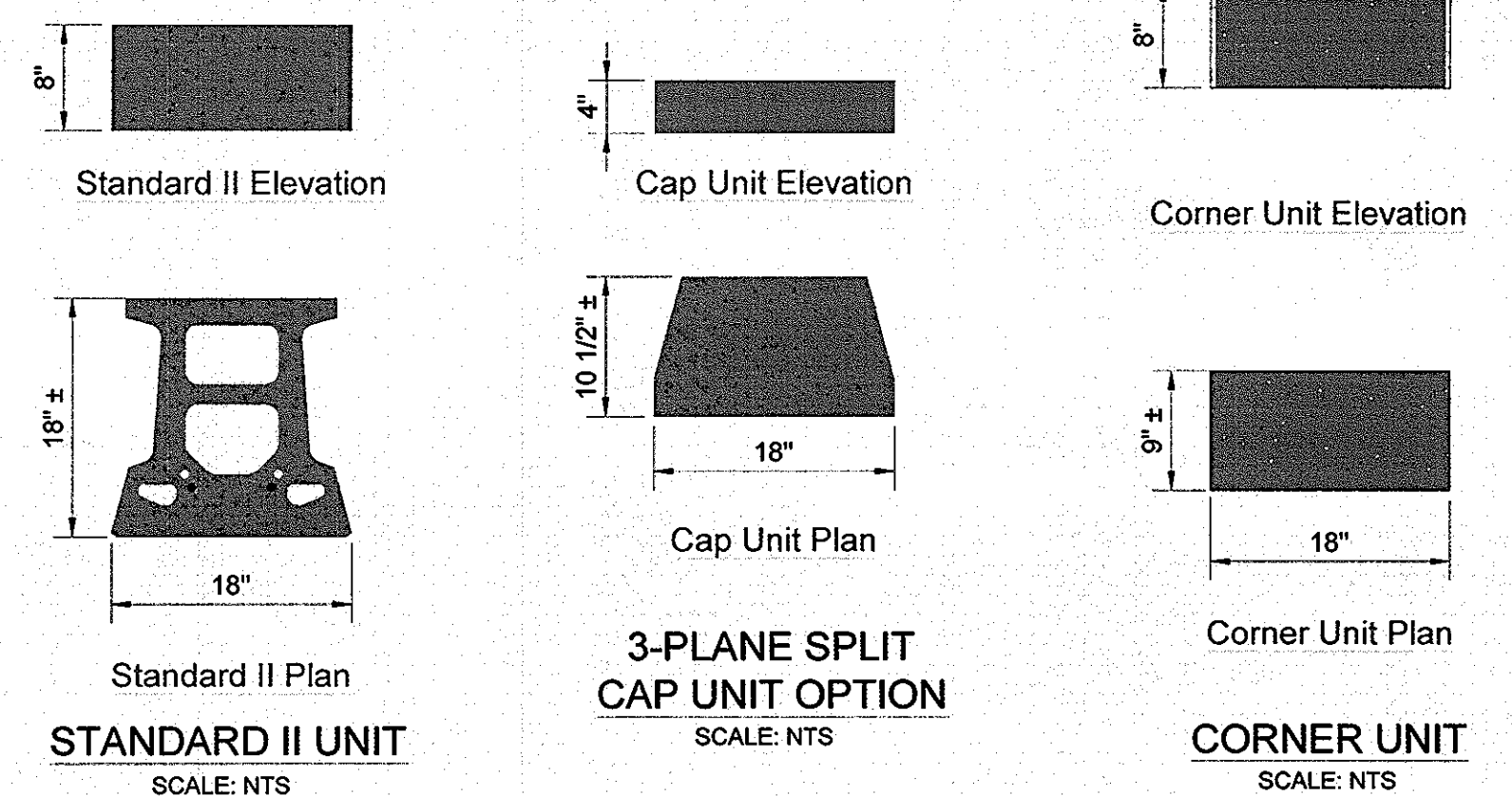
PARAPET & WALL IN SETBACK POSITION
SCALE: NTS



Geogrid Installation on Curves
SCALE: NTS



Geogrid Installation at Corners
SCALE: NTS



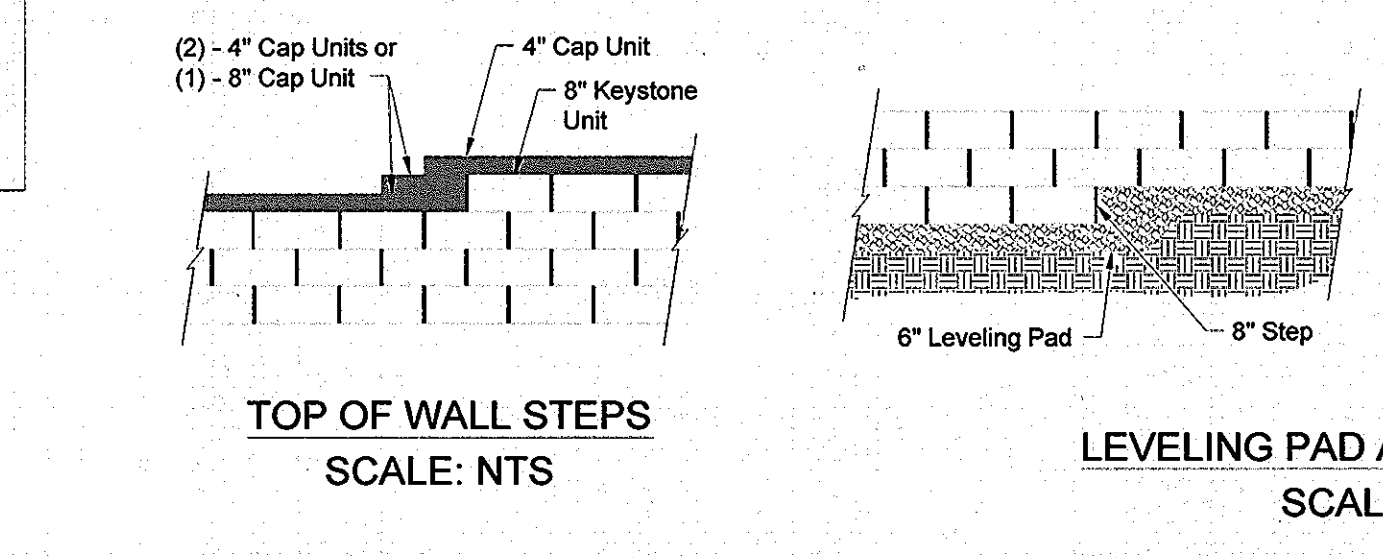
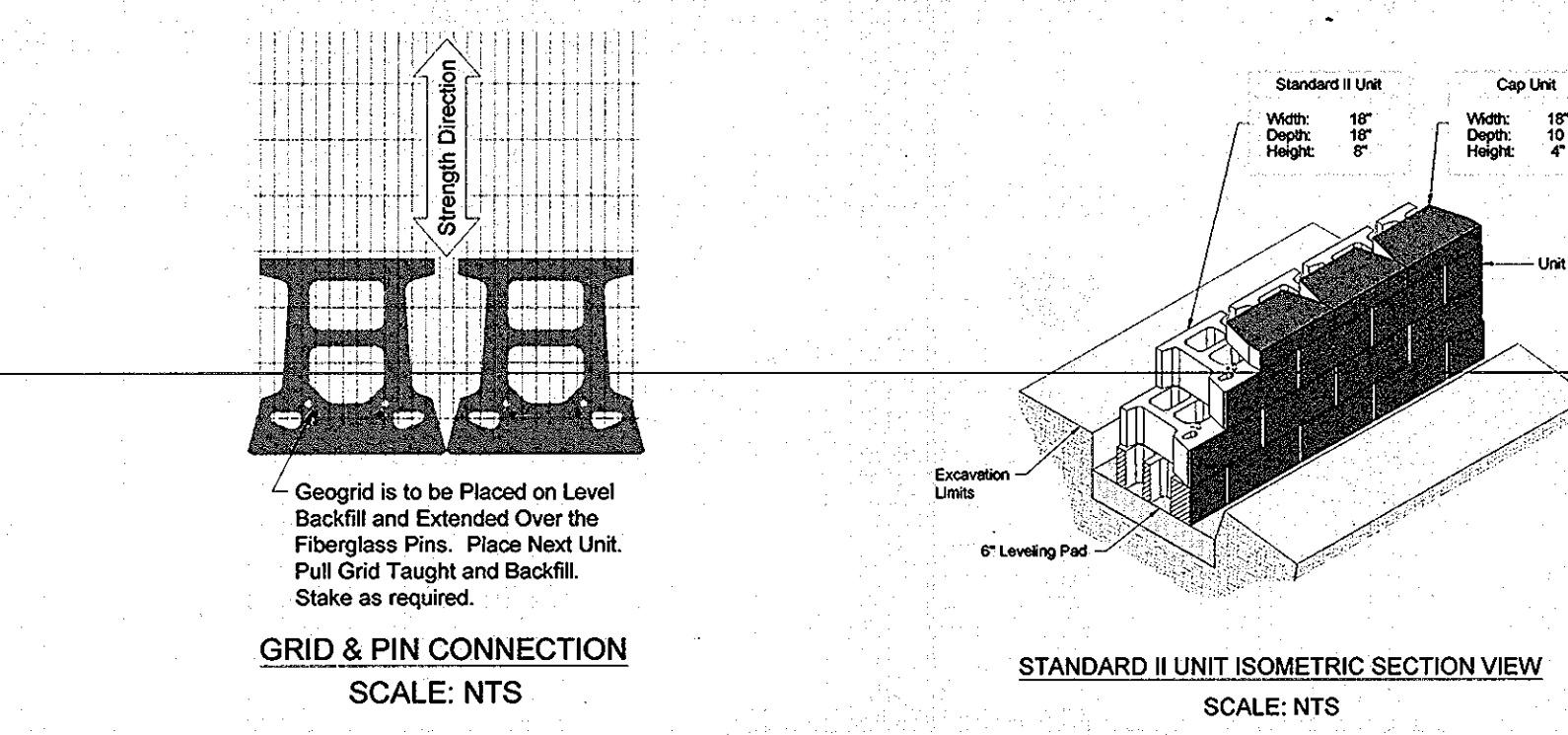
OWNER/DEVELOPER
HOPKINS HOSPITALITY INVESTORS, LLC
C/O STAR HOTELS
7276 LEE DEFOREST DR., SUITE 200
COLUMBIA, MD 21046
(301) 596-5400

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/1/10
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 6/30/10
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/5/10
DIRECTOR DATE



SITE DEVELOPMENT PLAN
PROPOSED PARAPET RETAINING WALL #1
HOMWOOD SUITES
PARCEL 'D-5'
HOTEL AND RESTAURANT
CERTIFIED LEVEL RATED GREEN BUILDING
PLOT: 20795 - (L.6053-F.487)

TAX MAP 41 BLOCK 17 5th ELECTION DISTRICT PARCEL 124, D-5 HOWARD COUNTY, MARYLAND

ECS LLC
MID-ATLANTIC

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 29553, EXPIRATION DATE: 12-31-2011.

DESIGN BY: JMS
DRAWN BY: JMS
CHECKED BY: HMA
DATE: January 2010
SCALE: AS SHOWN
W.O. NO.: 04-120

9 SHEET OF 9