

LONG VIEW ROAD
PUBLIC ACCESS STREET
FUTURE 40' RIGHT-OF-WAY

TM 41, P. 179
LOT 1
TRUSTEES OF STATE BOARD
OF CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1
ZONED: R-20
F-09-023
USE: RESIDENTIAL

TM 41, P. 179
BUILDABLE BULK PARCEL 'A'
TRUSTEES OF STATE BOARD
OF CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1
ZONED: R-20
F-09-066
USE: RESIDENTIAL

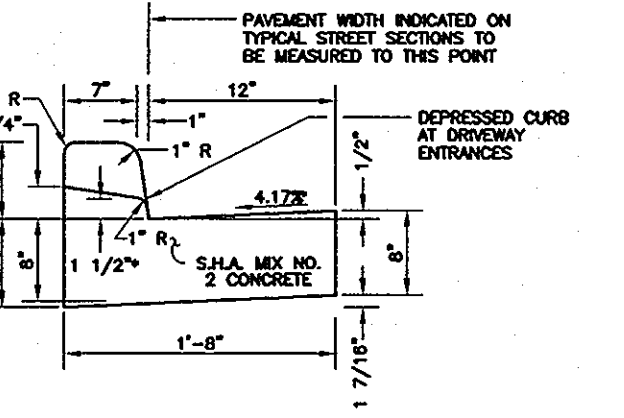
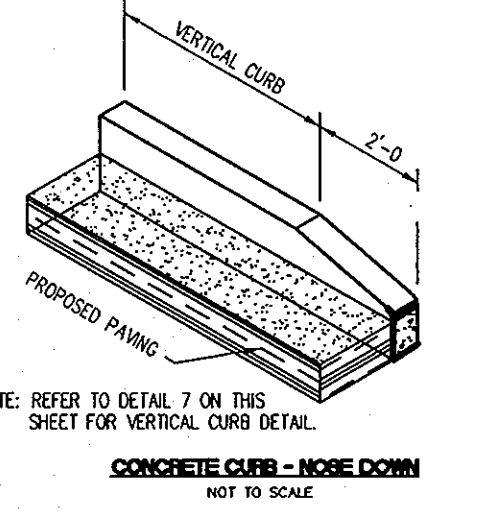
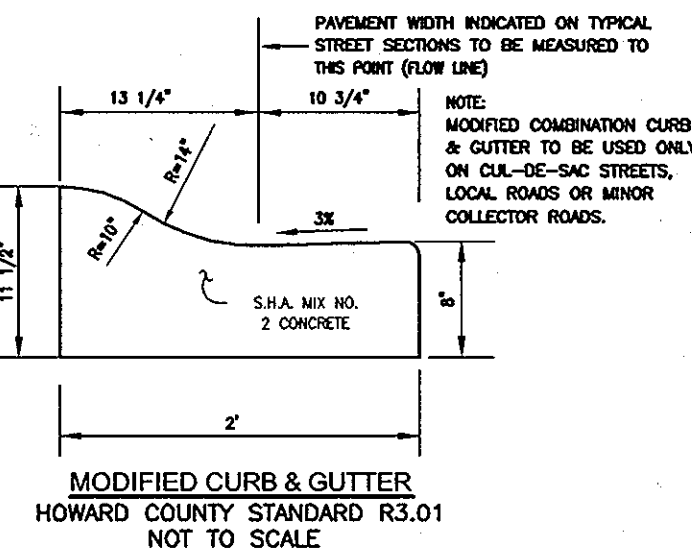
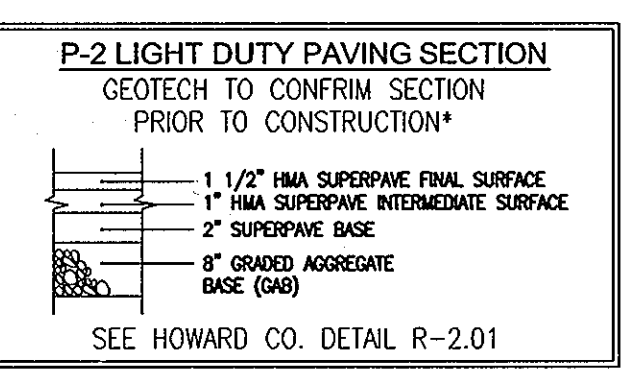
TM 41, P. 179
LOT 3
TRUSTEES OF STATE BOARD
OF CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1
ZONED: R-20
F-09-023
USE: RESIDENTIAL

TM 41, P. 179
LOT 2
(1.65 AC.)
CHURCH OFFICE
3 STORY
9,000 SF
UL=345.51
F=334.51
LL=323.51

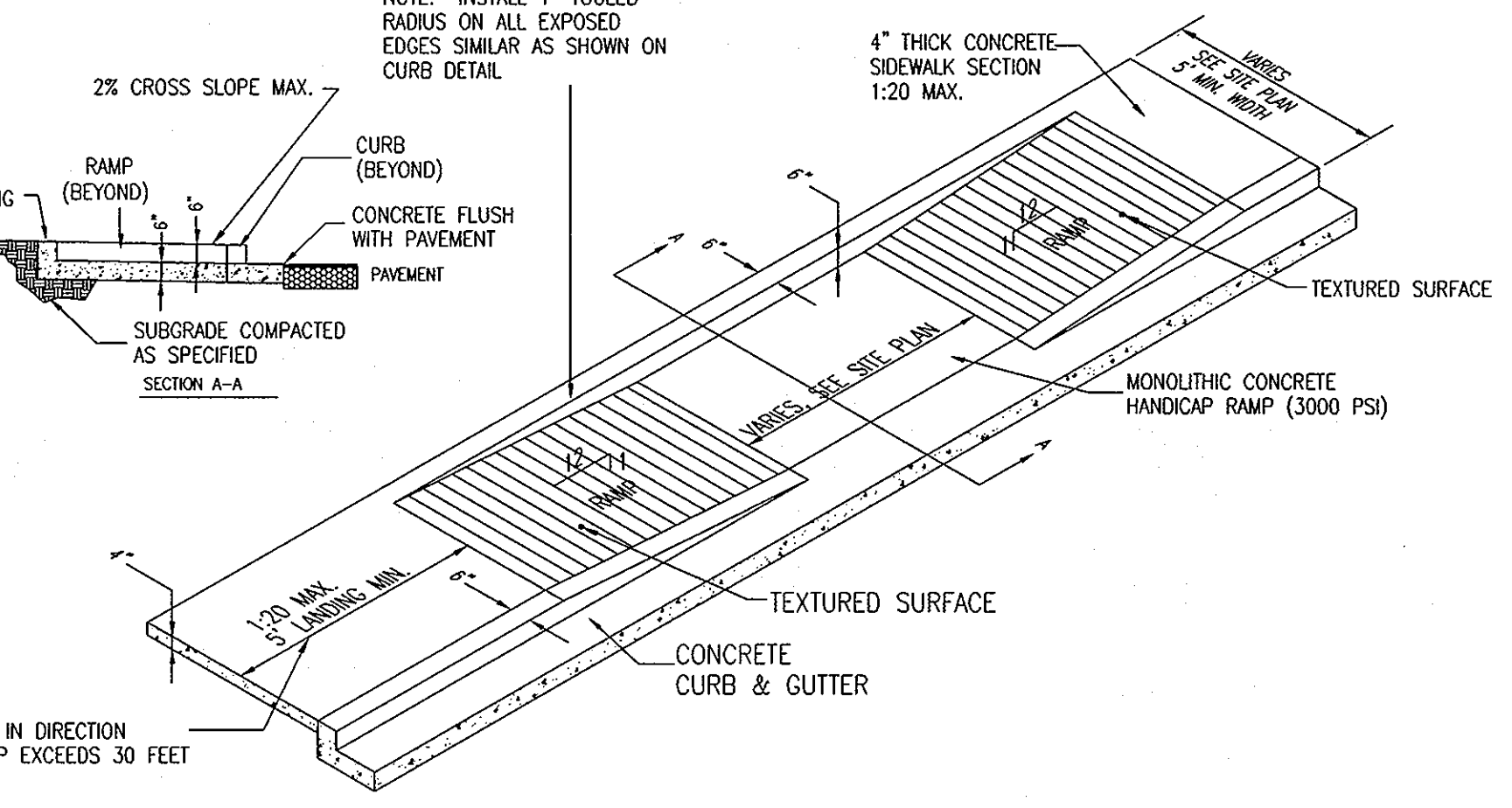
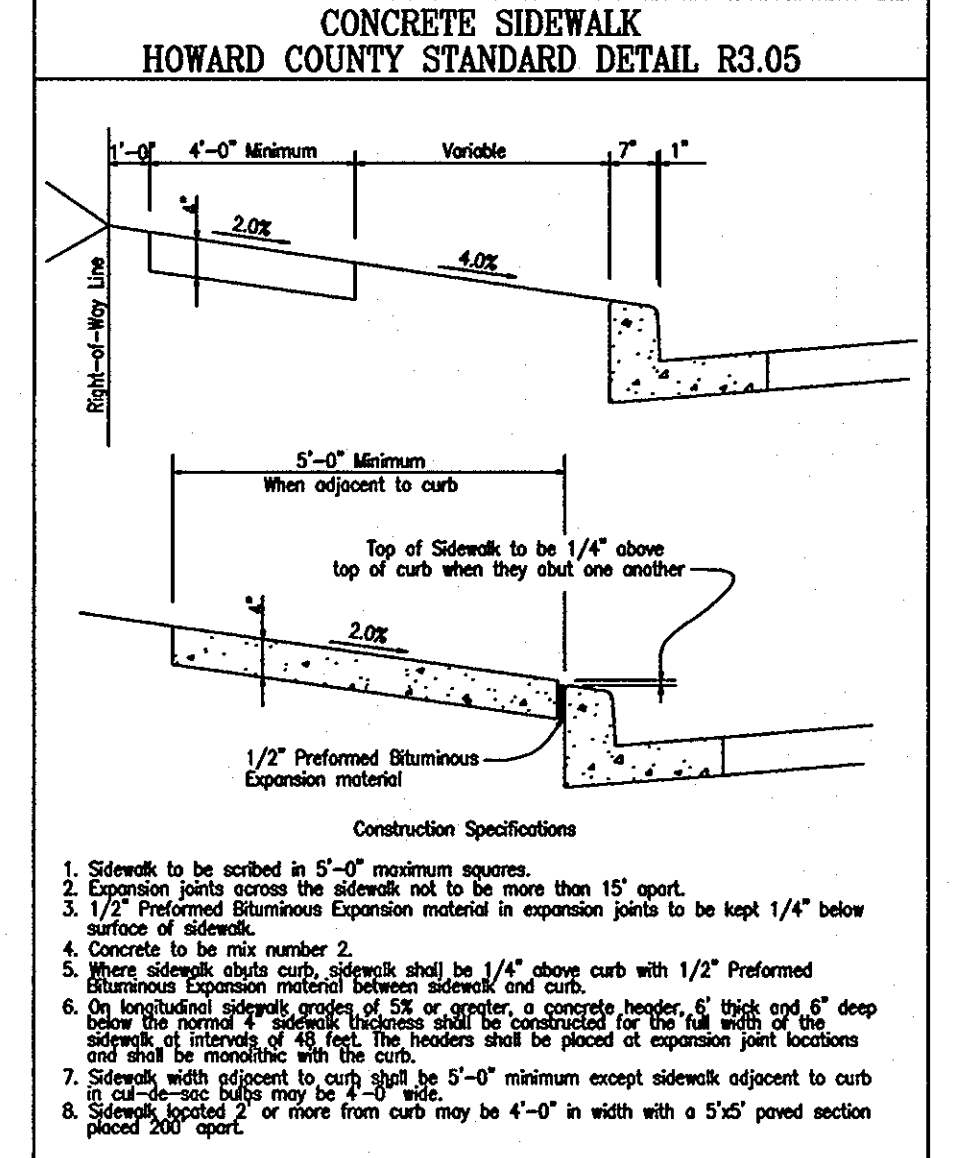
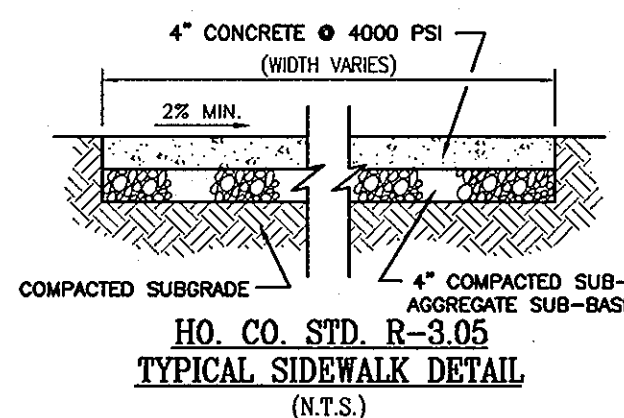
TM 41, P. 179
BUILDABLE BULK PARCEL 'A'
TRUSTEES OF STATE BOARD
OF CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1
ZONED: R-20
F-09-066
USE: RESIDENTIAL

US ROUTE 29 (SOUTHBOUND)
PRINCIPAL ARTERIAL
150' RIGHT OF WAY
STATE ROADS COMMISSION
R/W PLATS 40341 & 40343

PLAN VIEW
SCALE: 1"=30'



STANDARD COMBINATION CURB AND GUTTER
HOWARD COUNTY STANDARD R-3.01
(NOT TO SCALE)



LEGEND:

	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	PROP. LIGHT POLE
	EXISTING TREES (FIELD LOCATED)
	EXISTING TREE LINE (FIELD LOCATED)
	PROPOSED TREE LINE
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	PROPOSED SIDEWALK

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

TCL

35-100W HIGH PRESSURE SODIUM
170W METAL HALIDE
17\"/>

ORDERING INFORMATION

Quantity	Description	Quantity	Description
1	TCL 35-100W HPS	1	TCL 170W MH
1	TCL 170W MH	1	TCL 17\"/>

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 9/17/09

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 9/20/09

DIRECTOR, DEP
DATE: 10/1/09

OWNER
TRUSTEES OF STATE BOARD OF CHURCH OF GOD
7420 LONG VIEW ROAD
COLUMBIA, MD. 21044

DEVELOPER
REUWER LONG TERM HOLDINGS L.L.C.
C/O DONALD REUWER JR.
5300 DORSEY HALL DRIVE
ELLICOTT CITY, MARYLAND 21042

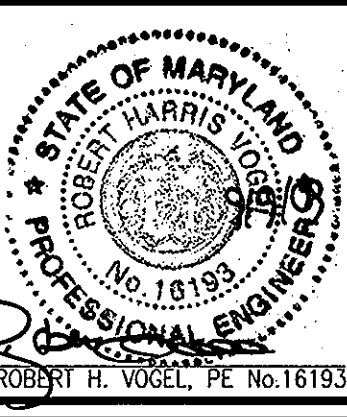
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
**CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1 - LOTS 1 & 2
OFFICE BUILDING**

TAX MAP 41 BLOCK 11
5TH ELECTION DISTRICT

PARCEL 179, LOTS 1 & 2
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

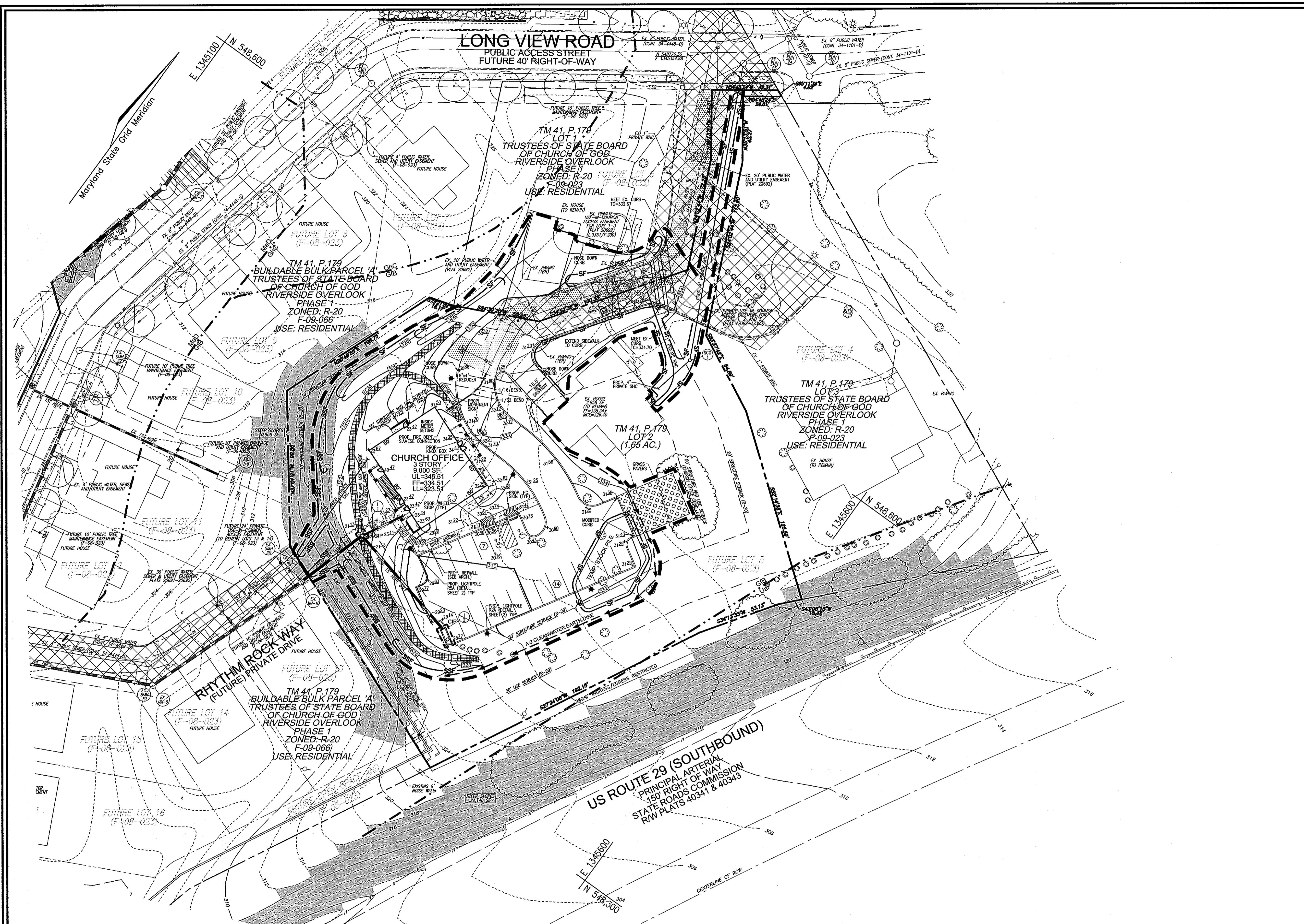


PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 09-27-2010.

DESIGN BY: DJZ
DRAWN BY: DJZ
CHECKED BY: RHY
DATE: SEPTEMBER 2009
SCALE: 1" = 30'
W.O. NO.: 03-29-03

2 SHEET OF 6



LEGEND:

	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	EXISTING CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	EXISTING UTILITY POLE
	EXISTING LIGHT POLE
	EXISTING MAILBOX
	EXISTING SIGN
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY LINE
	EXISTING CLEANOUT
	EXISTING FIRE HYDRANT
	EXISTING WATER LINE
	PROPOSED STORM DRAIN
	PROPOSED STORM DRAIN INLET
	EXISTING TREES (FIELD LOCATED)
	EXISTING TREELINE (FIELD LOCATED)
	EXISTING FENCE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	SOILS BOUNDARY
	PROPOSED SIDEWALK
	PROP. LIGHT POLE
	PROPOSE TREELINE
	EXISTING STEEP SLOPES
	EX. 20' PUBLIC WATER AND UTILITY EASEMENT
	EX. PRIVATE USE IN-COMMON ACCESS EASEMENT
	EX. 10' HOA NOISE WALL MAINTENANCE EASEMENT
	LIMIT OF DISTURBANCE
	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE
	EROSION CONTROL MATTING

OWNER
 TRUSTEES OF STATE BOARD OF CHURCH OF GOD
 7420 LONG VIEW ROAD
 COLUMBIA, MD. 21044

DEVELOPER
 REUWER LONG TERM HOLDINGS L.L.C.
 C/O DONALD REUWER JR.
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MARYLAND 21042

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE GRADING, SEDIMENT AND EROSION CONTROL PLAN; SOILS MAP
 CHURCH OF GOD
 RIVERSIDE OVERLOOK
 PHASE 1 - LOTS 1 & 2
 OFFICE BUILDING

TAX MAP 41 BLOCK 11 PARCEL 179, LOTS 1 & 2
 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16183 EXPIRES ON DATE 09-27-2010

DESIGN BY: DZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: SEPTEMBER 2009
 SCALE: 1" = 30'
 W.O. NO.: 03-29.03

3 SHEET OF 6

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
GfB	GLADSTONE - URBAN LAND COMPLEX, 0 TO 8 PERCENT SLOPES	B
UoF	UDORTHERMS, HIGHWAY, 0 TO 65 PERCENT SLOPES	B

*SOILS SURVEY FROM THE USDA NATIONAL RESOURCE CONSERVATION SERVICE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/17/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 9/20/09
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 10/10/09
 DIRECTOR DATE

BY THE DEVELOPER:

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 8/31/09
 SIGNATURE OF DEVELOPER DATE

BY THE ENGINEER:

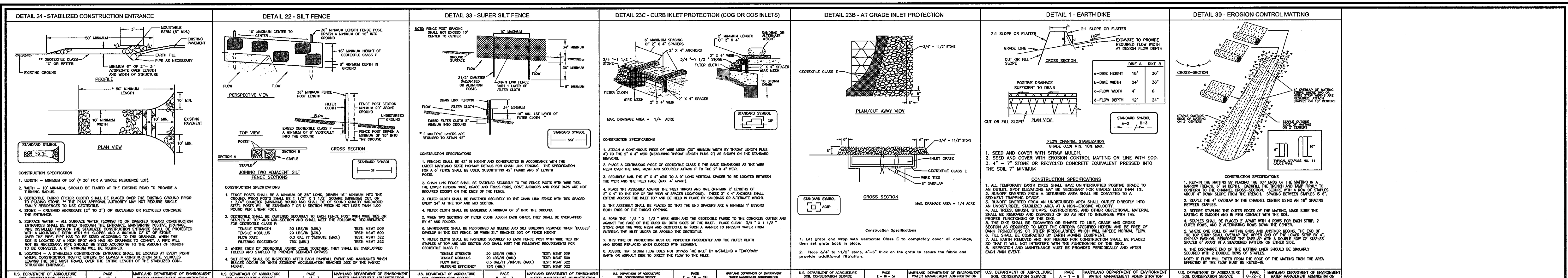
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/19/09
 SIGNATURE OF ENGINEER DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/15/09
 HOWARD S.C.D. DATE

K:\Projects\03-29\1004\dwg\SDP_Church\0303_SDCON.dwg, 9/10/2009 8:56:49 AM



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS REQUIRED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAINING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- PREFERRED: APPLY 2 TONS/ACRE DOLOMITE LIMESTONE (92 IBS/1000 SQ. FT.) AND 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000 SQ. FT.) BEFORE SEEDING.
- ACCEPTABLE: APPLY 2 TONS/ACRE DOLOMITE LIMESTONE (92 IBS/1000 SQ. FT.) AND 1000 IBS/ACRE 10-10-10 FERTILIZER (23 IBS/1000 SQ. FT.) BEFORE SEEDING.
- HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 IBS/ACRE (1.4 IBS/1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 IBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 IBS/ACRE (0.5 IBS/1000 SQ. FT.) OF WHEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY:

OPTION 1: TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING.

OPTION 2: USE SOO.

OPTION 3: SEED WITH 60 IBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (6 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8.4 GAL/1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAINING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000 SQ. FT.).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 1-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 IBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 -- AUGUST 14, SEED WITH 3 IBS/ACRE OF WHEEPING LOVEGRASS (0.7 IBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 -- FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING: APPLY 1-1/2 TO 2 TONS/ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED NEED-PINE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (6 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8.4 GAL/1000 SQ. FT.) FOR ANCHORING.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL

DEFINITION

TOPOSOIL: A LAYER OF SOIL ABOVE A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH, TOPOSOIL SHALL BE OBTAINED FROM A SOURCE THAT MEETS THE FOLLOWING CRITERIA:

- IT SHALL BE FREE OF TOXIC SUBSTANCES, INCLUDING BUT NOT LIMITED TO PESTICIDES, FERTILIZERS, AND OTHER CHEMICALS.
- IT SHALL BE FREE OF PLANTS OR PLANT MATERIALS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTCRACK, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED IN SECTION 1.1.
- IT SHALL BE FREE OF HEAVY METALS AND OTHER CONTAMINANTS AS SPECIFIED IN SECTION 1.1.
- IT SHALL BE FREE OF HEAVY CLAYS, GROUND LIMESTONE, OR OTHER HEAVY MATERIALS AS SPECIFIED IN SECTION 1.1.
- IT SHALL BE FREE OF PLANTS OR PLANT MATERIALS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTCRACK, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED IN SECTION 1.1.
- IT SHALL BE FREE OF HEAVY METALS AND OTHER CONTAMINANTS AS SPECIFIED IN SECTION 1.1.
- IT SHALL BE FREE OF HEAVY CLAYS, GROUND LIMESTONE, OR OTHER HEAVY MATERIALS AS SPECIFIED IN SECTION 1.1.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS INDICATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - A. pH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE pH TO 6.0.
 - B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 3.0 PERCENT.
 - C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 300 PARTS PER MILLION SHALL NOT BE USED.
 - D. NO SOO OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
 - NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

SEQUENCE OF CONSTRUCTION

- OBTAIN HOWARD COUNTY GRADING PERMIT. (WEEK 1)
 - NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (2 DAYS)
 - CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (1 WEEK)
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH SEEDING MULCH. (1 DAY)
 - INSTALL ALL SILT FENCE, SUPER SILT FENCE, AND PERMIETER EARTH DIKES. (1 WEEK)
 - WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE. (3 WEEKS)
 - BEGIN SITE GRADING AND UTILITY CONSTRUCTION. (6 WEEKS)
 - BEGIN BUILDING CONSTRUCTION. (36 WEEKS)
 - INSTALL ALL ON-SITE CURB AND GUTTER. (1 WEEK)
 - INSTALL ON-SITE PAVING BASE COURSE TO THE LIMITS PERMITTED BY THE SEDIMENT CONTROL INSPECTOR. (1 WEEK)
 - COMPLETE BUILDING AND UTILITY CONSTRUCTION. (24 WEEKS)
 - INSTALL ALL SIDEWALKS. (1 WEEK)
 - FINISH GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (2 WEEKS)
 - REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (4 WEEKS)
 - INSTALL SITE LANDSCAPING. (2 WEEKS)
- NOTES:**
- DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND REPORT NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN.
 - INSTALL INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A 7 CALENDAR DAYS FOR ALL PERMIETER SEDIMENT CONTROL.
 - B 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (#10-313-1855).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN COMPLIANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERMIETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMIETER SLOPES, AND ALL SLOPES GREATER THAN 3:1; (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOO, TEMPORARY SEEDING, AND MULCHING (SEC. 0). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOO, TEMPORARY SEEDING, AND MULCHING (SEC. 0). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- INSTALL SITE LANDSCAPING. (2 WEEKS)
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMIETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.

OWNER
TRUSTEES OF STATE BOARD OF CHURCH OF GOD
7420 LONG VIEW ROAD
COLUMBIA, MD. 21044

DEVELOPER
REUER LONG TERM HOLDINGS L.L.C.
C/O DONALD REUER JR.
5300 DORSEY HALL DRIVE
ELLCOTT CITY, MARYLAND 21042

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
GRADING, SEDIMENT AND EROSION CONTROL NOTES AND DETAILS
RIVERSIDE OVERLOOK
PHASE 1 - LOTS 1 & 2
OFFICE BUILDING

TAX MAP 41 BLOCK 11 5TH ELECTION DISTRICT PARCEL 179, LOTS 1 & 2 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: DZ
DRAWN BY: DZ
CHECKED BY: RHV
DATE: AUGUST 2009
SCALE: 1" = 30'
W.O. NO.: 03-29.03

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MARYLAND. LICENSE NO. 16193 EXPIRATION DATE 09-27-2010

4 SHEET OF 6

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/1/09
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 9/20/09
CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 10/1/09
DIRECTOR, DEP.

BY THE DEVELOPER:

[Signature] 8/31/09
SIGNATURE OF DEVELOPER

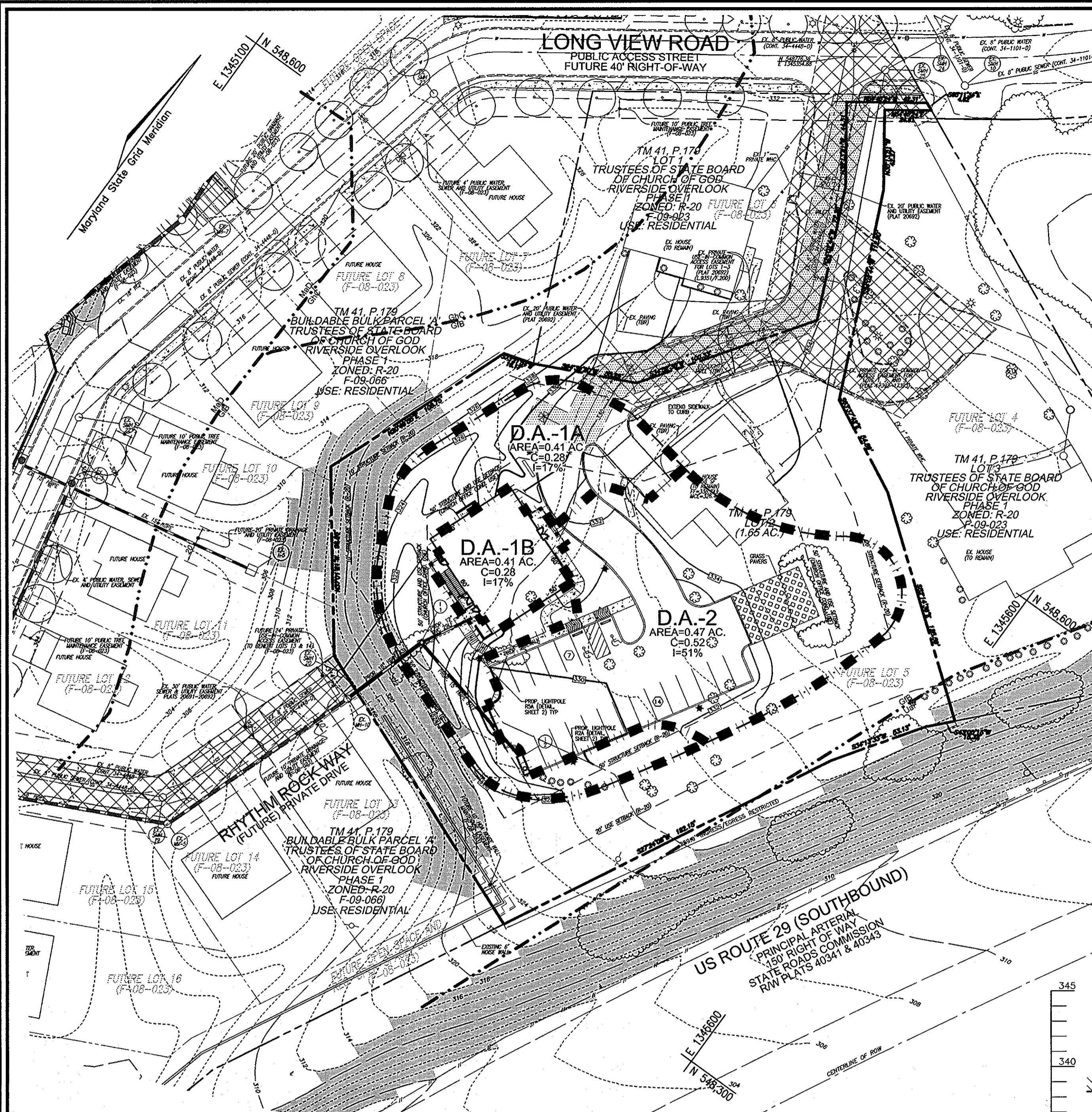
BY THE ENGINEER:

[Signature] 9/1/09
SIGNATURE OF ENGINEER

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/1/09
HOWARD S.C.D.



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=40'

STRUCTURE SCHEDULE							
NO.	TYPE	LOCATION	TOP ELEV.	THROAT ELEV.	INV. IN	INV. OUT	COMMENTS
I-1	TYPE 'D' INLET	N 548395.7 E 1345355.8	321.96	321.13	318.80	314.40	HO. CO. STD. D-4.10
I-2	TYPE 'A-10' INLET	N 548376.4 E 1345438.0	329.37	328.77	-	325.27	HO. CO. STD. D-4.03
SCO-1	CLEANOUT	N 548608.9 E 1345459.2	326.26	-	323.70	323.60	HO. CO. STD. S-2.22

NOTE: 1. TOP ELEVATIONS ARE AT CENTER TOP OF HEADPIECE FOR TYPE 'A-10', CENTER TOP OF MANHOLE FOR TYPE 'D' INLET, AND TOP OF MANHOLE COVER FOR PRECAST MANHOLES.

PIPE SCHEDULE		
SIZE	TYPE	LENGTH
4"	PVC-SEWER	283 LF
4"	DIP (WHC)	35 LF
12"	HDPE	29 LF
15"	HDPE	84 LF
18"	HDPE	43 LF

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 9/2/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 9/10/09
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 10/1/09
 DIRECTOR, DEP.

BY THE DEVELOPER:

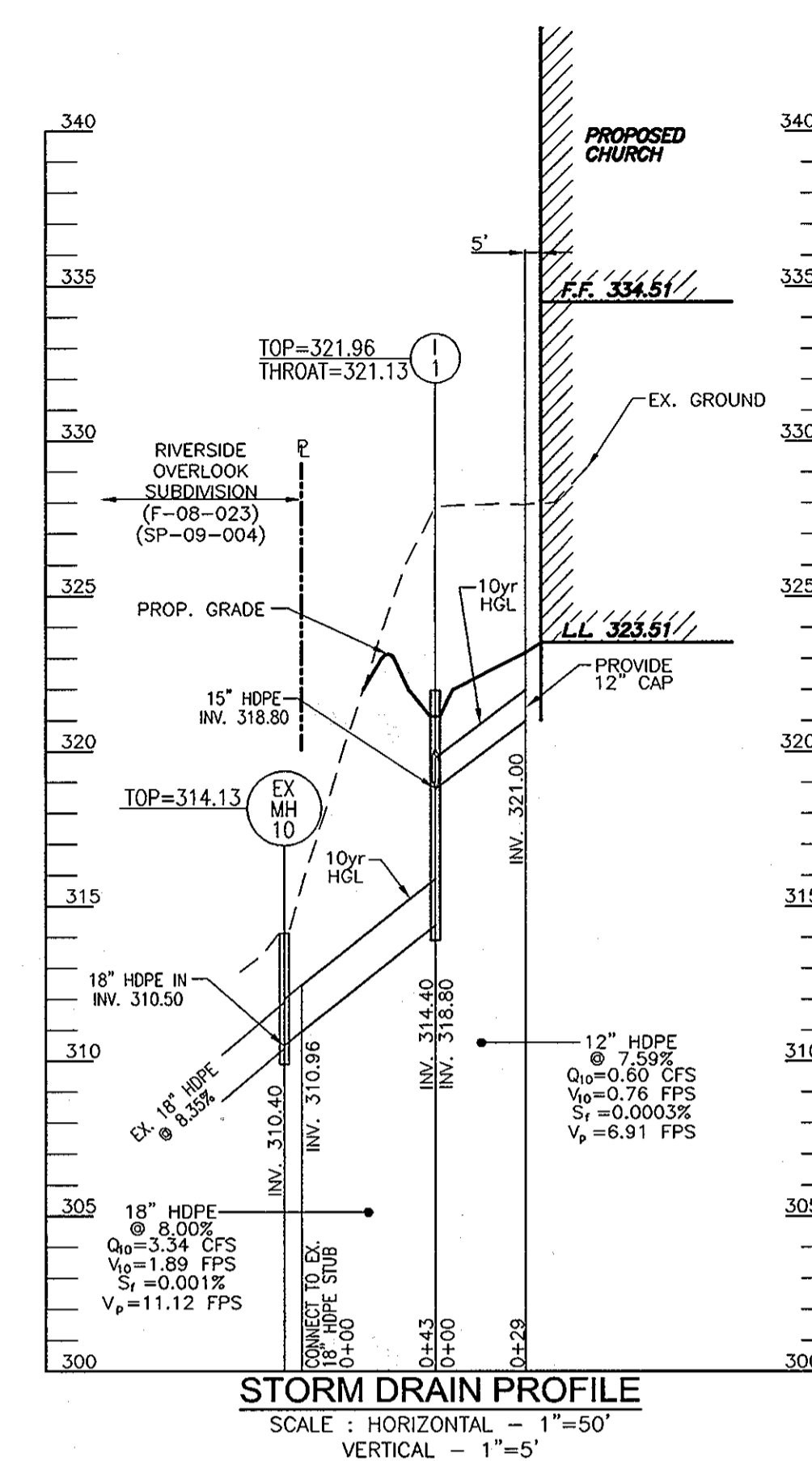
"I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 8/21/09
 SIGNATURE OF DEVELOPER DATE

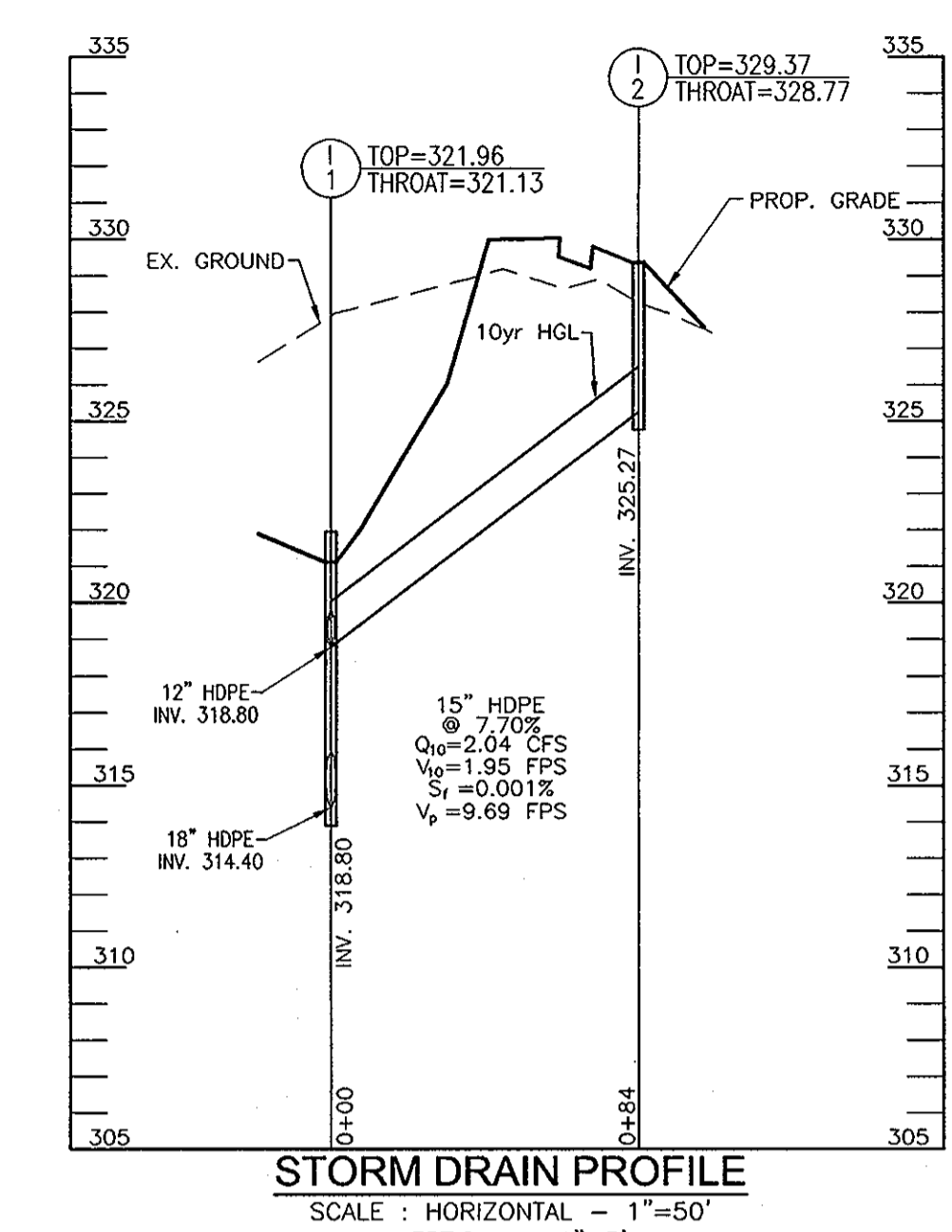
BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

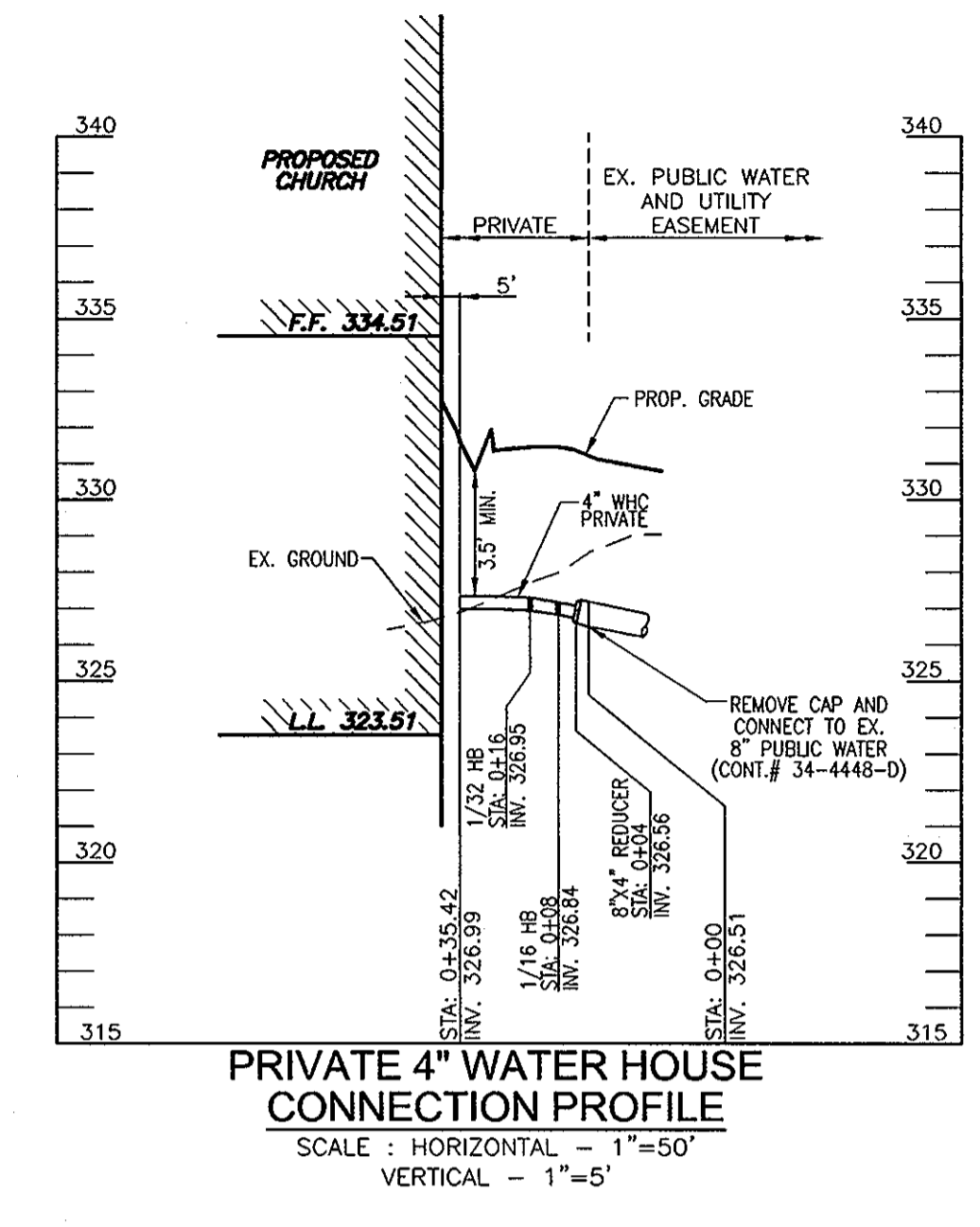
[Signature] 9/9/09
 SIGNATURE OF ENGINEER DATE



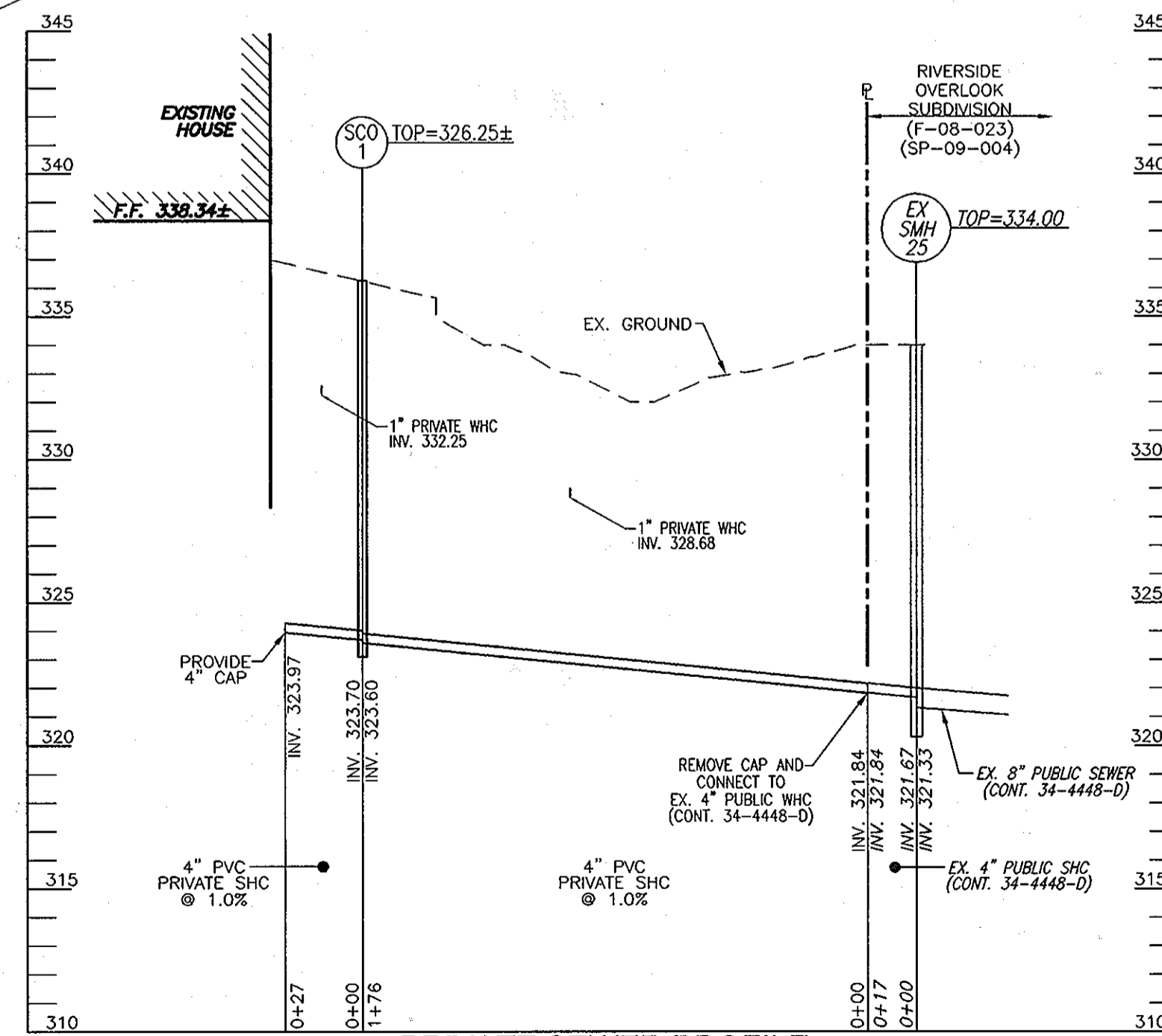
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



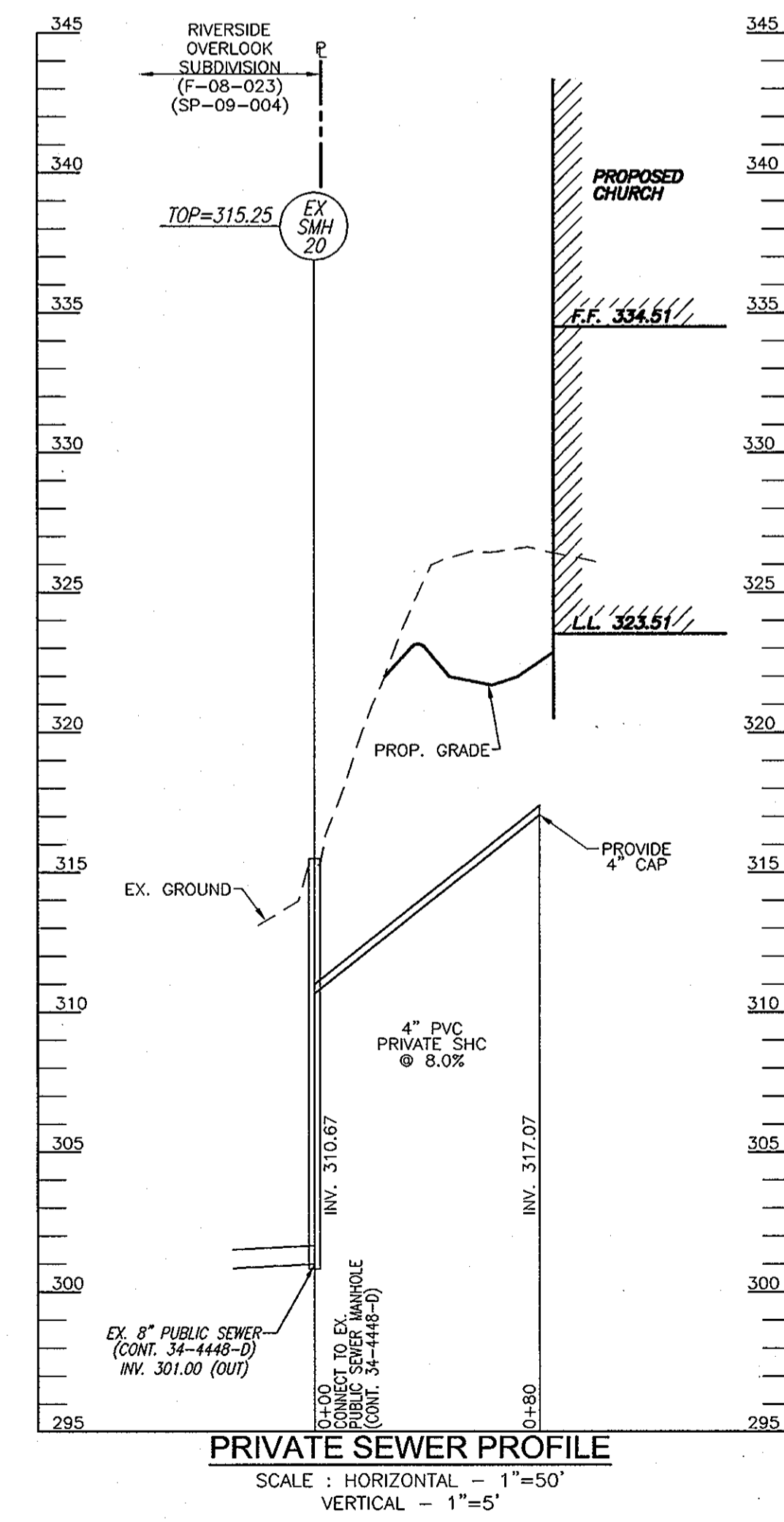
STORM DRAIN PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE 4" WATER HOUSE CONNECTION PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

OWNER
 TRUSTEES OF STATE BOARD OF CHURCH OF GOD
 7420 LONG VIEW ROAD
 COLUMBIA, MD. 21044

DEVELOPER
 REUWER LONG TERM HOLDINGS L.L.C.
 C/O DONALD REUWER JR.
 5300 DORSEY HALL DRIVE
 ELLICOTT CITY, MARYLAND 21042

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP, AND UTILITY PROFILES
 CHURCH OF GOD RIVERSIDE OVERLOOK
 PHASE 1 - LOTS 1 & 2 OFFICE BUILDING
 TAX MAP 41 BLOCK 11 5TH ELECTION DISTRICT PARCEL 179, LOTS 1 & 2 HOWARD COUNTY, MARYLAND

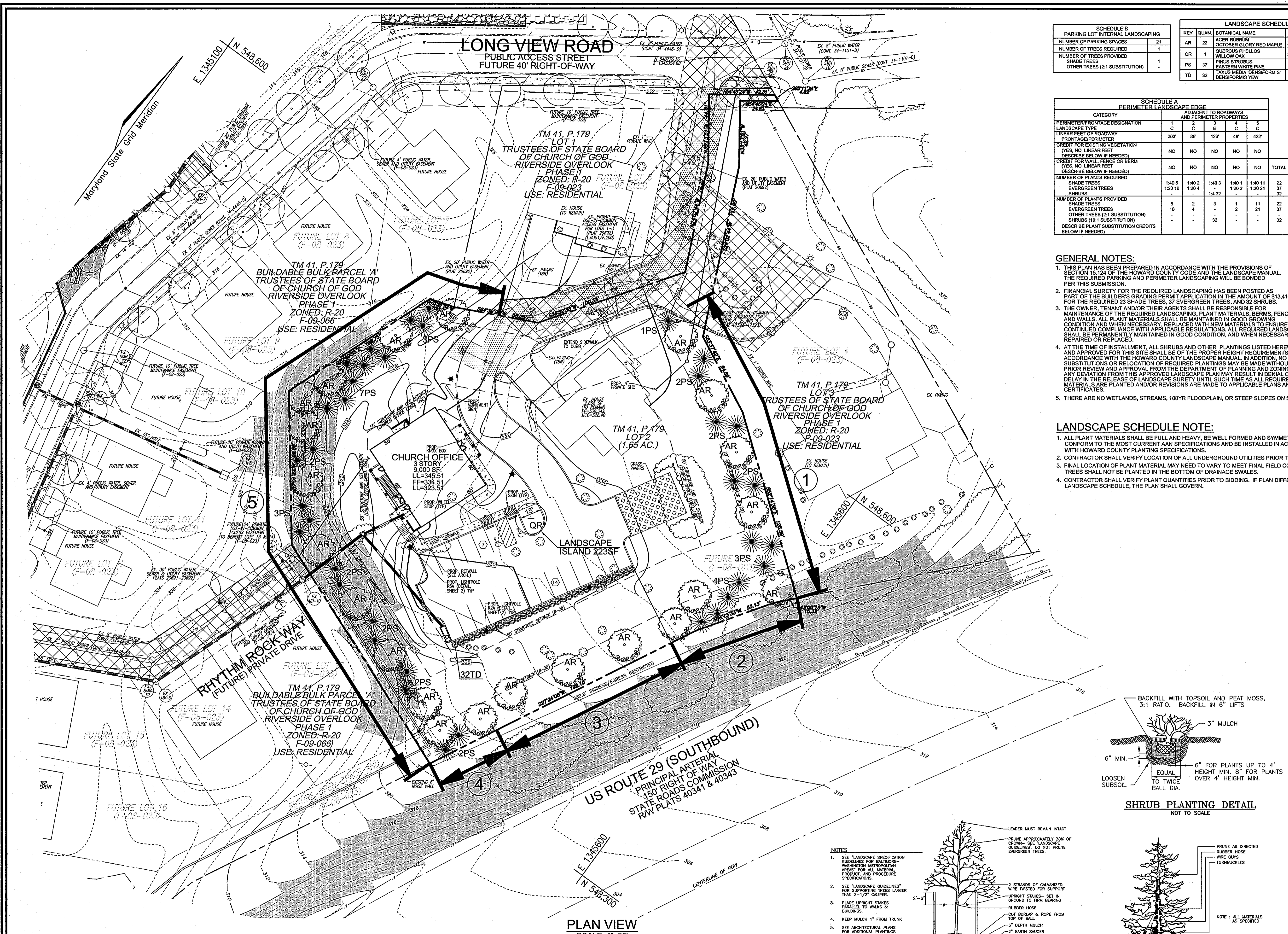
ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8966

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 09-27-2010

DESIGN BY: DZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: SEPTEMBER 2009
 SCALE: 1" = 30'
 W.O. NO.: 03-29.03

5 SHEET OF 6

K:\Projects\03-23\eng\dwg\CHURCH\CDOS_SDBMAP.dwg, 9/10/2009 8:59:56 AM



SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	21
NUMBER OF TREES PROVIDED	1
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	1

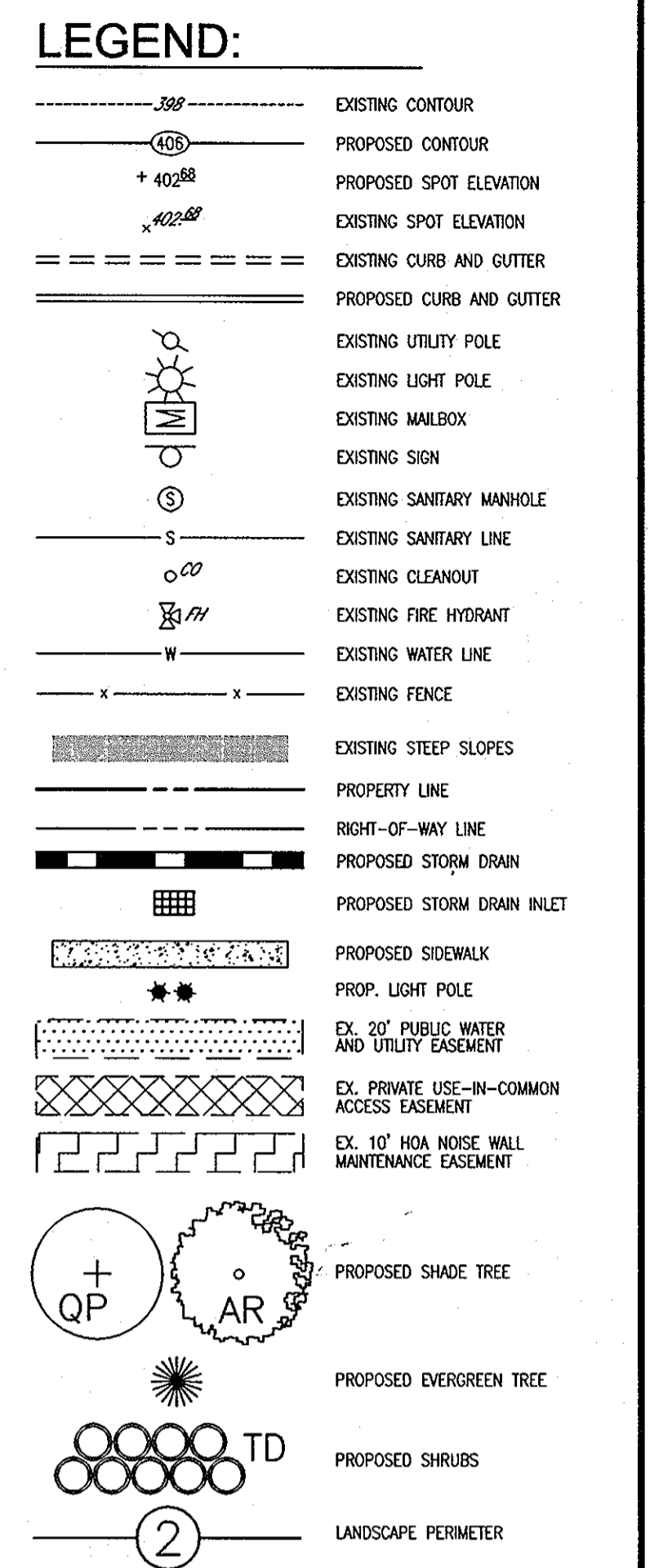
SCHEDULE A PERIMETER LANDSCAPE EDGE		ADJACENT TO ROADWAYS AND PERIMETER PROPERTIES				
PERIMETER FRONTAGE DESIGNATION	C	2	3	4	5	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	200'	80'	120'	48'	422'	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	NO	NO	NO	NO	NO	
NUMBER OF PLANTS REQUIRED	140.5	140.3	140.1	140.1	22	
SHADE TREES	120.10	120.4	120.2	120.21	37	
EVERGREEN TREES	-	-	-	-	-	
SHRUBS	-	-	-	-	-	
NUMBER OF PLANTS PROVIDED	5	2	3	1	11	22
SHADE TREES	5	2	3	1	11	22
EVERGREEN TREES	-	-	-	-	-	-
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	-
SHRUBS (10:1 SUBSTITUTION)	-	-	-	-	-	-
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED.						

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE BUILDER'S GRADING PERMIT APPLICATION IN THE AMOUNT OF \$13,410.00 FOR THE REQUIRED 20 SHADE TREES, 37 EVERGREEN TREES, AND 32 SHRUBS.
- THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, PLANT MATERIALS, BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
- AT THE TIME OF INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS LISTED HEREWITH AND APPROVED FOR THIS SITE SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATION OF PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.
- THERE ARE NO WETLANDS, STREAMS, 100YR FLOODPLAIN, OR STEEP SLOPES ON SITE.

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HOWARD COUNTY PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.



OWNER: TRUSTEES OF STATE BOARD OF CHURCH OF GOD, 7420 LONG VIEW ROAD, COLUMBIA, MD. 21044

DEVELOPER: REUWER LONG TERM HOLDINGS L.L.C., C/O DONALD REUWER JR., 5300 DORSEY HALL DRIVE, ELLICOTT CITY, MARYLAND 21042

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LANDSCAPE PLAN
CHURCH OF GOD
RIVERSIDE OVERLOOK
PHASE 1 - LOTS 1 & 2
OFFICE BUILDING

TAX MAP 41 BLOCK 11
5TH ELECTION DISTRICT

PARCEL 179, LOTS 1 & 2
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET, ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

DESIGN BY: DZ
DRAWN BY: DZ
CHECKED BY: RHY
DATE: SEPTEMBER 2009
SCALE: 1" = 30'
W.O. NO.: 03-29.03

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193
EXPIRATION DATE: 09-27-2010

6 SHEET OF 6

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division
Chief, Division of Land Development
Director, DEP.

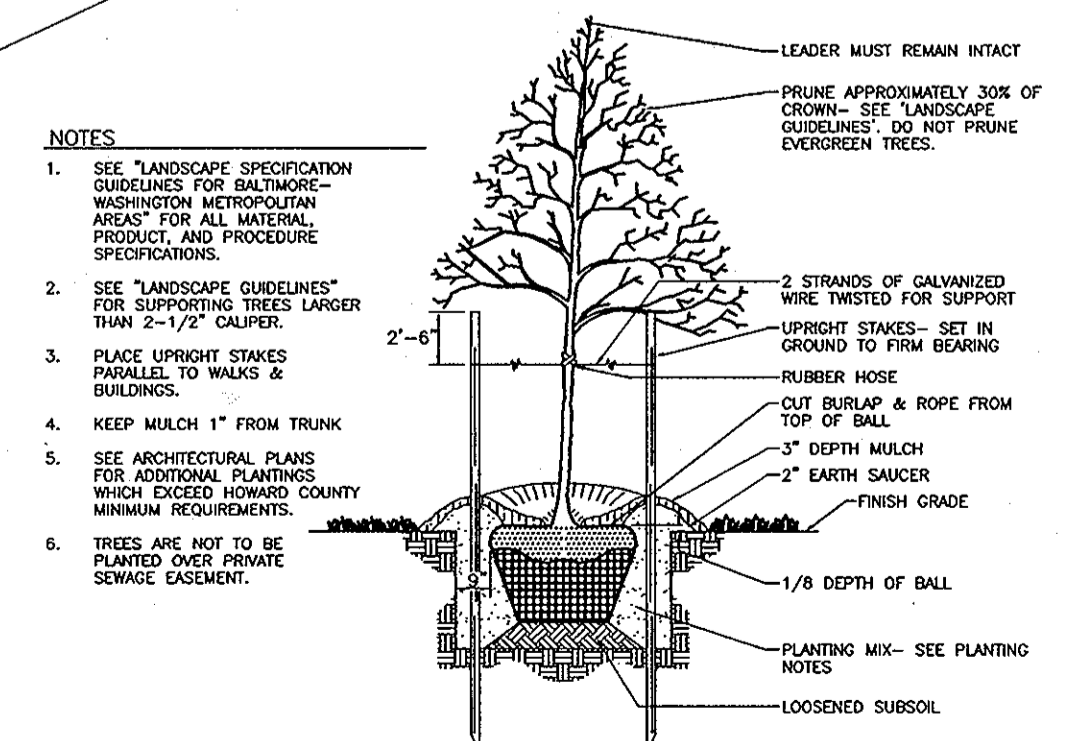
9/2/09
9/2/09
10/1/09

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

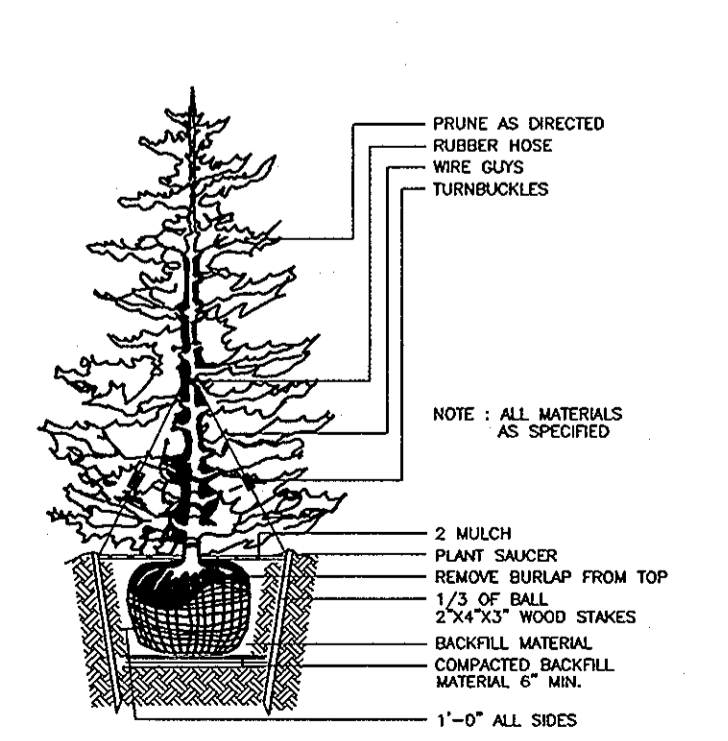
Signature of Developer
8/31/09

PLAN VIEW
SCALE: 1"=30'



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER
NOT TO SCALE

TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



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