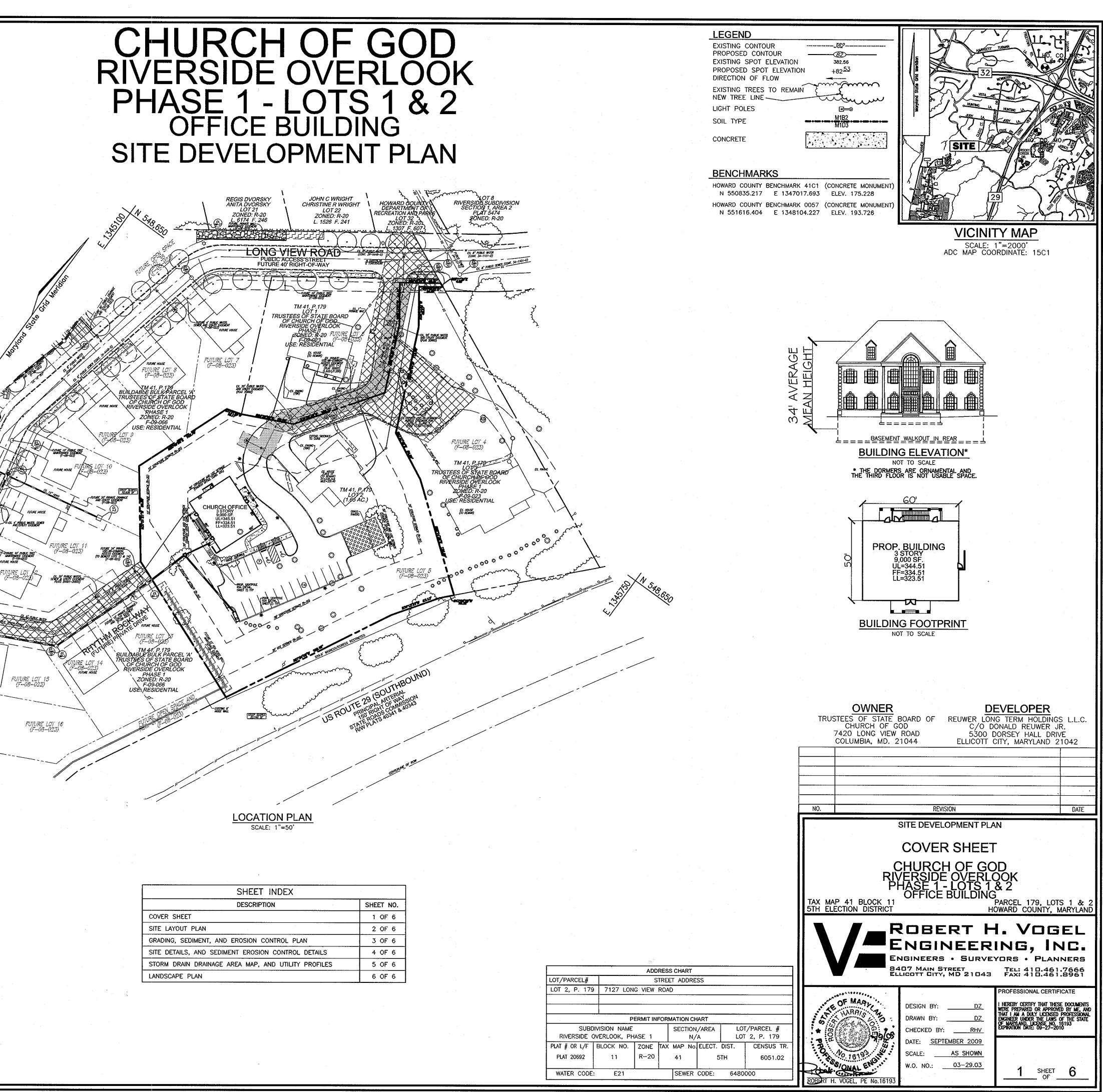
G	ENERAL NOTES	
1. 2.	ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATION MDSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PR	
3.	WORK. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS B THESE DRAWINGS: MISS_UTILITY1-800-257-7777	
	VERIZON TELEPHONE COMPANY: 1-410-954-6281 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366 AT&T CABLE LOCATION DIVISION: 393-3553 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620	
4.	STATE HIGHWAY ADMINISTRATION: 531-5533 SITE ANALYSIS: AREA OF PARCEL: 1.65 AC. PRESENT ZONING: R-20	
	USE OF STRUCTURE: CHURCH OFFICE	
	TOTAL BUILDING AREA (CHURCH OFFICE): 9,000 SF. BASEMENT (STORAGE): 3,000 SF. FIRST FLOOR (OFFICE): 3,000 SF. SECOND FLOOR (OFFICE): 3,000 SF. TOTAL BUILDING COVERAGE (CHURCH AND EXISTING HOUSE): 5,858 SF. (0.13 AC. OR 7 AREA OF CHURCH OFFICE BUILDING ENVELOPE: 0.50 AC. 20% OF BUILDING ENVELOPE: 0.10 AC.	.88% OF GROSS AREA)
	ACTUAL AREA OF GREEN SPACE WITHIN BUILDING ENVELOPE: 0.18 AC. (36.0%) PAVED PARKING LOT/AREA ON SITE: 13,500 SF. (0.31 AC. OR 18.79% OF GROSS AREA) LIMIT OF DISTURBED AREA: 1.12 AC. (67.88% OF GROSS AREA.) CUT: 3834 CY. FILL: 949 CY.	
5.	PROJECT BACKGROUND: LOCATION : COLUMBIA, MD.; TAX MAP 41, BLOCK 11, PARCEL 179, LOT 2 ZONING : R-20 SUBDIVISION : RIVERSIDE OVERLOOK	
	SECTION/AREA : N/A SITE AREA : 1.65 AC. DPZ REFERENCES : VP-75-05, SDP-79-16, BA-82-40E, SDP-83-91, BA-891C, BA- WP-04-69 (VOID), S-05-06, WP-05-87, F-05-011, P-07-08, PLAT 17392-17394, BA-08-002C, SP-09-004, F-09-066, WP-0	WP-07-66, F-08-023,
6. 7. 8.	THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED EVISION LITTLES LOCATED EPOLY BOAD CONSTRUCTION DIANS.	AT THE CONTRACTOR'S EXPENSE.
9.	PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE 3 INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCT NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCT NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRA ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DA TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATES ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL PLACEMENT OF ANY ASPHALT.	SHOWN FOR THE CONTRACTORS ION ACTIVITIES AND TAKE ALL D SERVICE. ANY DAMAGE ACTOR'S EXPENSE. ACTOR'S EXPENSE.
10. 11. 12.	Commented of Datamatic advantiles and Frances Societ For the Ford OSE of OALGODA	
13. 14.	RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CO PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION. ALL STORM PIPE BEDDING TO BE IN ACCORDANCE WITH THE CURRENT HOWARD COUNTY STAND, THE TOPOGRAPHY SHOWN HEREON IS BASED ON AN AFRIAL TOPOGRAPHY SHOWN HEREON IS	INFIRM ACCEPTABILITY OF ARDS AND SPECIFICATIONS.
15. 16.	ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL P-2 UNLESS OTHERWISE NOTE	D. (SEE DETAILS, SHEET 2)
17. 18. 19	THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. (SEE DE ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL R-3.01 UNLESS OTHERWISE CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN AC ADA REQUIREMENTS. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.	NOTED. (SEE DETAIL, SHEET 2)
20. 21. 22.	ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED. PUBLIC WATER IS AVAILABLE THROUGH CONTRACT NO. 34-4448-D. PUBLIC SEWER IS AVAILABLE THROUGH CONTRACT NO. 34-4448-D.	
23. 24.	STORMWATER MANAGEMENT HAS BEEN PROVIDED UNDER F-08-023 AND SP-09-004. THE STO AND STORM DRAIN SYSTEM UNDER THESE TWO PLANS MUST BE CONSTRUCTED PRIOR TO INSTA PAVING AND STORM DRAIN SYSTEM SHOWN ON THIS SDP.	LLATION OF THE PARKING LOT S ON-SITE AWAY FROM ALL
25.	LIGHT TRESPASS ONTO A PROPERTY IN THE R-20 ZONING DISTRICT SHALL BE LIMITED TO 0.1 SHEET 2). NO LIGHT SHALL BE EMITTED ABOVE A HORIZONTAL PLANE THROUGH THE LOWEST P BY THE LIGHTING MANUFACTURER OR AS PROVIDED ON A PHOTOMETRIC TEST REPORT FOR THE FOLLOWING CHARACTERISTICS ARE PERMITTED WITHOUT CUTOFF SHIFLDS:	FOOT CANDLES (DETAIL ON ART OF THE LAMP, AS CERTIFIED SITE. LIGHT FIXTURES WITH THE
	<ul> <li>A. THE LAMP(S) HOUSED BY THE FIXTURE DO NOT EMIT A TOTAL OF MORE THAN 16,000 FREESTANDING FIXTURES, OR 10,000 LUMENS FOR FIXTURES ATTACHED TO STRUCTURE THE MANUFACTURER'S LUMEN RATING FOR THE INITIAL LIGHT OUTPUT OF THE LAMP(S)</li> <li>B. THE LAMP IS NO MORE THAN 14 FEET ABOVE GROUND LEVEL FOR FREESTANDING FIX ABOVE GROUND LEVEL FOR FIXTURES ATTACHED TO STRUCTURES.</li> </ul>	ES. BASED ON
26	<ul> <li>C. FOR FIXTURES WITH SHIELDS OR OTHER DESIGN FEATURES TO DIRECT THE LIGHT. THE DIRECTED TOWARD ADJACENT PROPERTIES OR PUBLIC STREETS.</li> <li>D. THE SURFACE OF EITHER THE LAMP OR THE FIXTURE ENCLOSING THE LAMP IS FROST RATHER THAN TRANSPARENT</li> </ul>	ING OR TRANSLUCENT
20. 27. 28. 29. 30.	OFFICE BUILDING TO HAVE INSIDE WATER METER SETTING, APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP; DATED OCTOBER 9, 2008; APPROVED THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 O HOWARD COUNTY CODE AND LANDSCAPE MANUAL. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLAC ENAMY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLAC	12/11//2008, UNDER SDP-09-033. F THE ED BY THE CONTRACTOR
31.	APPROVED ON MARCH 3, 2009 TO ALLOW A TEMPORARY DEFERAL OF THE FOREST CONSERVATION OF F-08-23.	on oblighter the neederballer
32. 33.	THE GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY HILLIS-CARNES DATED JUNE F-08-023 AND SP-09-004. THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELO DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER R AT THE TIME OF SUBMISSION OF A SITE DEVELOPMENT PLAN, WAIVER PETITION, OR BUILDING AI THER ARE NO WETLANDS, STREAMS, 100 YR, FLOODPLAINS, OR STEEP SLOPES ON SITE. THE SUBJECT PROPERTY IS ZONED R-20 PER THE 02-02-04 COMPREHENSIVE ZONING PLAN, AND FLOODPLAINS, AND STEEP SLOPES ON SITE.	
35. 3 <u>6</u> .	THE SUBJECT PROPERTY IS ZONED R-20 PER THE 02-02-04 COMPREHENSIVE ZONING PLAN REGULATIONS EFFECTIVE ON 07/28/06, AND IS SUBJECT TO SUBDIVISION AND LAND DEVELOPM 10/02/02 PER COUNCIL BILL 75-2003. MONUMENTAL SIGN REQUIRES SIGN PERMIT. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE. CHURCH OFFICE TO HAVE PRIVATE TRASH COLLECTION AND DOES NOT REQUIRE A DUMPSTER. A VNOV POYL OF PERVATE TRASH COLLECTION AND DOES NOT REQUIRE A DUMPSTER.	AND THE COMP. LITE ZONING ENT REGULATIONS EFFECTIVE
37. 38. 39. 40.	TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE. CHURCH OFFICE TO HAVE PRIVATE TRASH COLLECTION AND DOES NOT REQUIRE A DUMPSTER. A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLAC MAIN ENTRANCE AT A RANGE OF 4-5 IN HEIGHT AND NO MORE THAN 6 LATERALLY FROM THE ON THESE DIAL OF THE POLY STATE TO AN AND YOUR FROM COLLECTION.	CED TO THE RIGHT OF THE
41. 42.	GALVANIZED STEEL, PERFORATED SQUARE TUBE POST (12 GAUGE, 3' LONG). A GALVANIZED STE MOUNTED ON TOP OF EACH POST. FIRE LANES WILL BE DROVIDED AT THE EPONT OF THE BUILDING. FITHER FIRE LANE SIGNAGE W	
43. 44.	CURES WILL BE PAINTED IN RED AND STENCILED. LANDSCAPING NOT PERMITTED WITHIN 7-1/2' OF EACH SIDE OF THE FIRE DEPARTMENT CONNEC UNOBSTRUCTED ACCESS PATH TO THE FIRE DEPARTMENT CONNECTION. NFPA-1 13.1.4 SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS, AND EACH BY LETTER.	TION. PROVIDE A CLEAR SUITE SEPARATED
45.	THIS PLAN IS SUBJECT TO BA-08-002C; APPROVED APRIL 21, 2008; FOR A CHARITABLE OR P OFFICES AND EDUCATIONAL PROGRAMS CONDITIONAL USES IN AN R-20 ZONING DISTRICT. APPR FOLLOWING CONDITIONS	
	<ol> <li>THE AREA OF THE SITE SHALL BE REVISED AT THE SITE DEVELOPMENT PLAN STAGE TO THE 50-FOOT SETBACK REQUIRED BY SECTION 131.N.12.F ALONG THE REVISED SITE'S LESSER REDUCTION IN THIS 50-FOOT SETBACK IS NOT PERMITTED.</li> <li>THE SQUARE FOOTAGE OF THE BUILDING TO BE UTILIZED BY THE OFFICE/EDUCATION I BE STATED IN THE SITE DEVELOPMENT PLAN AND THE NUMBER OF PARKING SPACES ACCORDINGLY.</li> <li>THE HOURS AND OPERATION FOR THE EDUCATIONAL PROGRAMS ARE 5:30 PM TO 9:00</li> </ol>	SHALL BE ADJUSTED
	<ol> <li>THE HOURS AND OPERATION FOR THE EDUCATIONAL PROGRAMS ARE 5:30 PM TO 9:00 AND 9:00 AM TO 3:00 PM ON WEEKENDS.</li> <li>A MAXIMUM NUMBER OF 20 PERSONS MAY ATTEND THE EDUCATIONAL PROGRAMS.</li> <li>IN ACCORDANCE WITH SECTION 141.1.3 OF THE ZONING REGULATIONS, THE TWO YEAR DEADLINE BUILDING PERMIT IS APRIL 21, 2010; AND THE THREE YEAR DEADLINE FOR SUBSTANTIAL CONST IS APRIL 21, 2011.</li> </ol>	
46. 47. 48. 49.	THERE'IS AN EXISTING DWELLING TO REMAIN ON THIS PROPERTY. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY RECORDS AND FIELD SURVEY. THE PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. THIS PLAN IS SUBJECT TO WP-09-119, APPROVED MARCH 3, 2009, TO WAIVE OF SECTIONS 1 ALLOW FOR THE TEMPORARY DEFERRAL OF THE FOREST CONSERVATION OBLIGATION AND RECOR CONSERVATION EASEMENTS FOR PHASE 1 OF THIS PROJECT UNTIL THE RECORDING OF FINAL P PHASE 2 OF THIS PROJECT. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: 1. THE WAIVER PETITION APPROVAL APPLIES ONLY TO THE TEMPORARY DEFERRAL FOR ES REQUIRED FOREST CONSERVATION FASEMENT FOR PHASE 1 OF THIS PROJECT UNTIL THE DEVELOPMENT LING	6.117 AND 16.1202(a) TO
	CONSERVATION EASEMENTS FOR PHASE 1 OF THIS PROJECT UNTIL THE RECORDING OF FINAL P PHASE 2 OF THIS PROJECT. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS: 1. THE WAIVER PETITION APPROVAL APPLIES ONLY TO THE TEMPORARY DEFERRAL FOR ES REQUIRED FOREST CONSERVATION EASEMENT FOR PHASE 1 OF THIS DEVELOPMENT UN THIS PROJECT IS RECORDED.	LAN, F-08-23, FOR TABLISHING THE TIL PHASE 2 OF
	2. THE APPLICANT/DEVELOPER MUST CONTINUE PROCESSING THE SUBDIVISION PLANS, F-AND F-09-66 FOR RIVERSIDE OVERLOOK, PHASES 1 AND 2 AND MEET ALL APPLICABL DEADLINE DATES FOR THIS PROJECT. IF FOR ANY REASON THE PROCESSING AND RECOVER THIS PROJECT DOES NOT OCCUR IN A TIMELY MANOR, THEN THE APPLICANT MURED FOR STATION CONSERVATION EASEMENT OBLIGATION OR PAY A FEE-IN-LIEU FOR CONSERVATION OBLIGATION FOR PHASE 1 OF THIS PROJECT DEVELOPED UNDER F-09-	08–23, SP–09–04, LE PROCESSING DRDING OF PHASE 2 IST RECORD THE
50.	FOR THE CHURCH OF GOD OFFICE BUILDING.	16.114(k) AND 16.147) REQUIRING TUATED WITH HOWARD COUNTY.
	ROAD CONSTRUCTION DRAWING ORIGINALS FOR F-08-23 AND TO REVISE THE FINAL PLAT TO B REDESIGNED "R-ED" SUBDIVISION PLAN PER SP-09-04 IN LIEU OF SUBMITTING A NEW FINAL I IS SUBJECT TO THE FOLLOWING CONDITIONS: 1. SUBJECT TO THE PLANNING BOARD'S APPROVAL OF THE NEW REDESIGNED "R-ED" PRI	E CONSISTENT WITH THE NEW PLAN FOR THIS PROJECT. APPROVAL ELIMINARY EQUIVALENT
	SKETCH PLAN, SP-09-04 AND SIGNATURE APPROVAL OF THE PLAN ORIGINAL BY DPZ 2. SUBJECT TO THE RECORDING OF F-09-66 FOR PHASE 1 OF THIS SUBDIVISION PRIOR OF F-08-23 FOR PHASE 2. 3. THE APPLICANT MUST SUBMIT THE NECESSARY "RED-LINE REVISION" FOR THE ROAD C FOR F-08-23 AS REDESIGNED UNDER SP-09-04 FOR PROCESSING TO THE DPZ, DE	TO THE RECORDING
	DIVISION WITHIN 60 DAYS OF THE SIGNATURE APPROVAL DATE FOR THE SP-09-04 M IN CONJUNCTION WITH THE "RED-LINE" SUBMISSION, THE APPLICANT MUST RESUBMIT DRAWINGS DIRECTLY TO THE FOLLOWING SRC AGENCIES FOR REVIEW AND COMMENTS F OF THE FINAL PLAT ORIGINALS TO DPZ FOR SIGNATURES AND RECORDIG (2 SETS OF DPZ, DIVISION OF LAND DEVELOPMENT, 4 SETS OF REVISED FINAL PLATS TO THE DEVI DIVISION OF LAND DEVELOPMENT, 4 SETS OF REVISED FINAL PLATS TO THE DEVI DIVISION OF LAND DEVELOPMENT, 4 DAYS OF THE VIEW THE PLATE TO THE DEVI	ILAE ORIGINALS. ADDITIONALLY, DIRECT REVISE FINAL PLAT PRIOR TO THE SUBMISSION REVISED FINAL PLATS TO ELOPMENT ENGINEERING
	DIVISION AND 1 SET OF REVISED FINAL PLATS TO THE HEALTH DEPARTMENT). DO NOT PLATS FOR F-08-23 UNTIL A DECISION AND ORDER HAS BEEN ISSUED FOR PB CASE REDESIGNED SUBDIVISION PLAN, SP-09-04. 4. THE "RED-LINE" REVISION AND/OR SUBSTITUTE OR ADDITIONAL PLAN SHEETS FOR THE DRAWINGS FOR F-08-23 MUST RECEIVE SIGNATURE APPROVAL FROM DPZ PRIOR TO T FINAL PLAT ORIGINALS TO DPZ FOR SIGNATURES AND RECORDING, AND PRIOR TO SIGN SUP-09-33 FOR THE CHURCH OF COD OFFICE BUILDING PROJECT.	NO. 384 FOR THE "R-ED"
	SDP-09-33 FOR THE CHURCH OF GOD OFFICE BUILDING PROJECT. 5. THE REVISED FINAL PLAT AND REVISED ROAD DRAWINGS FOR F-08-23 MUST BE CON: "R-ED" SUBDIVISION PLAN APPROVED UNDER SP-09-04. 6. COMPLIANCE WITH THE ENCLOSED DED COMMENTS DATED MARCH 5, 2009 IS REQUIRE	SISTENT WITH THE REDESIGNED
· · · ·		
		CHURCH OFFICE: 9,000 SF BASEMENT (STORAGE): 3000 SF NO PARKING REQUIREMENT EREST AND SECOND 51,000 SE
AF	PPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	FIRST AND SECOND FLOOR: 6000 SF © 3.3 SPACE/1000 SF 20 SPACE SINGLE FAMILY DETACHED: (1 EXISTING HOUSE) © 2.3 SPACE/HOUSE 3 SPACE
. •	CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE	TOTAL SPACES REQUIRED: TOTAL SPACES PROVIDED: *INCLUDES 2 HANDICAP SPACES AND 4 SPACES PROVIDED FOR HOUSE (2 GARAGE/2 DRIVEWAY
	CHIEF, DIVISION OF LAND DEVELOPMENT DATE	NOTE:
	DIRECTOR, DEP. DATE	THE BASEMENT LEVEL IS FOR STORAGE ONLY, AND ANY FUTURE CONVERSIO OF THE FLOOR AREA INTO USABLE OFFICE OR CLASSROOM SPACE WILL REQUIRE A RED-LINE REVISION OF THIS SDP TO PROVIDE ADDITIONAL PARK SPACES AND MAY REQUIRE APPROVAL FROM THE HEARING EXAMINER AND/O THE DIVISION OF PUBLIC SERVICE AND ZONING ADMINISTRATION CONCERNING ALLOWABLE EXPANSION OF THE CONDITIONAL USE.

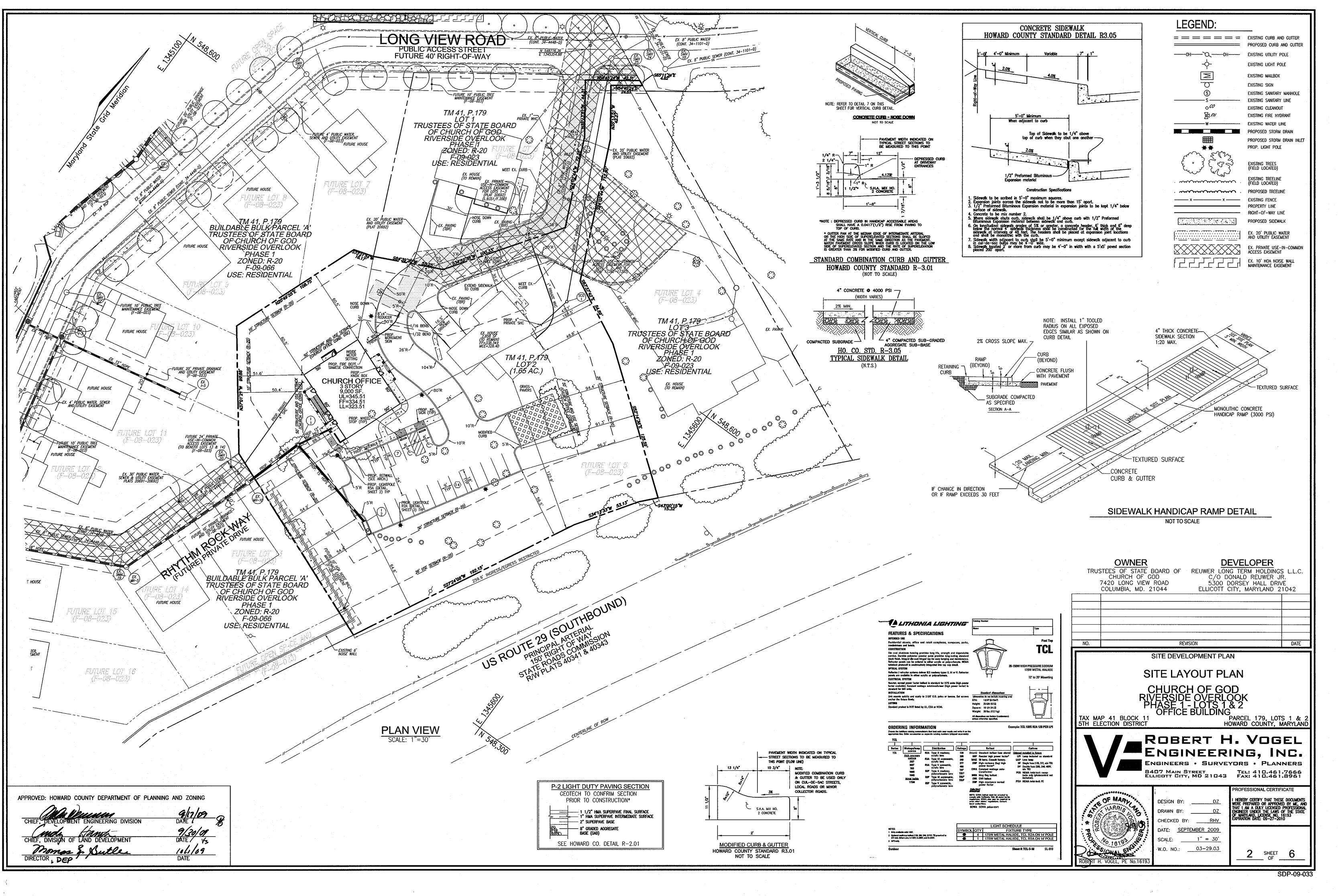


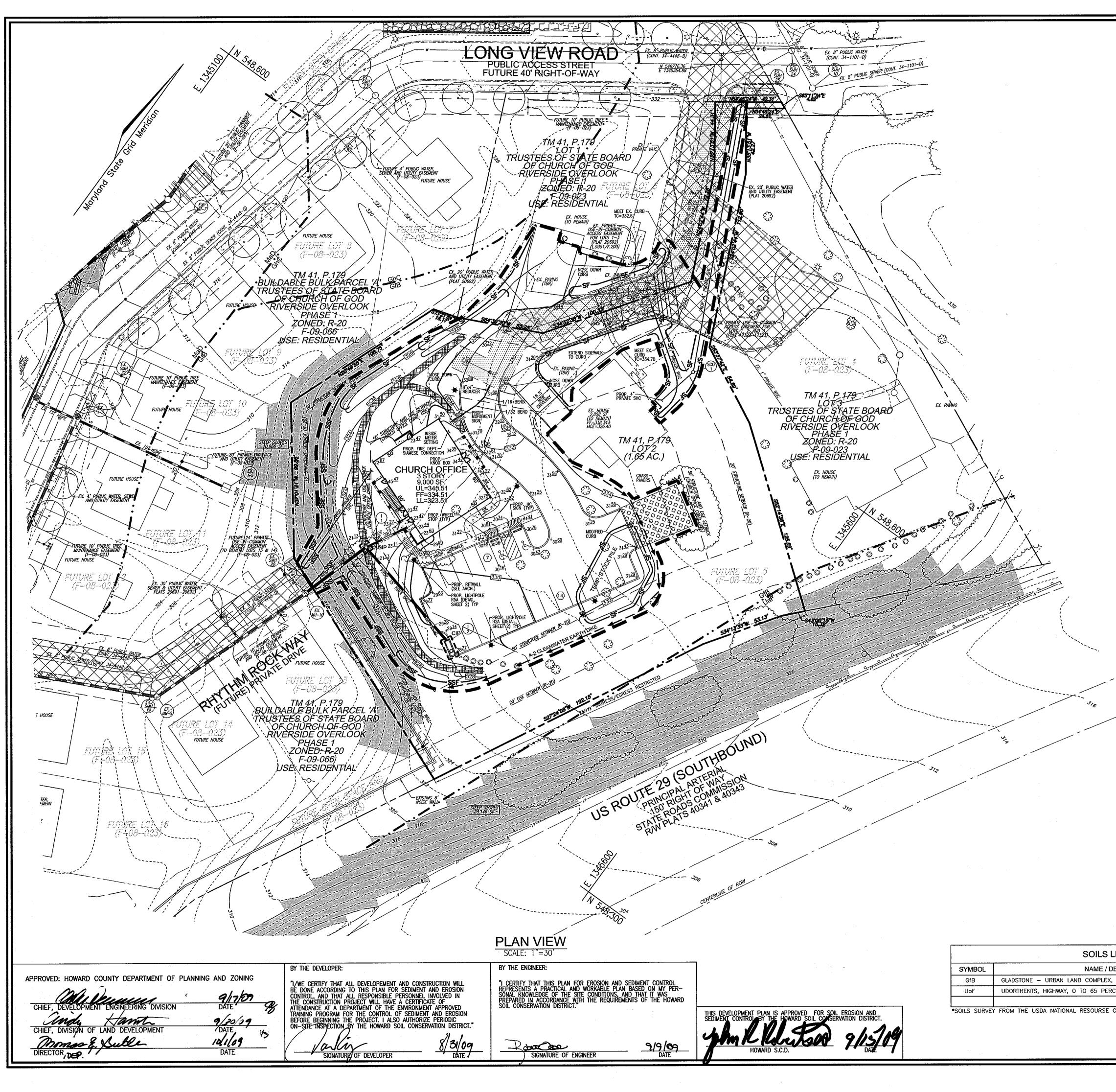
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SHEET INDEX	
DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 6
SITE LAYOUT PLAN	2 OF 6
GRADING, SEDIMENT, AND EROSION CONTROL PLAN	3 OF 6
SITE DETAILS, AND SEDIMENT EROSION CONTROL DETAILS	4 OF 6
STORM DRAIN DRAINAGE AREA MAP, AND UTILITY PROFILES	5 OF 6
LANDSCAPE PLAN	6 OF 6

SDP-09-033





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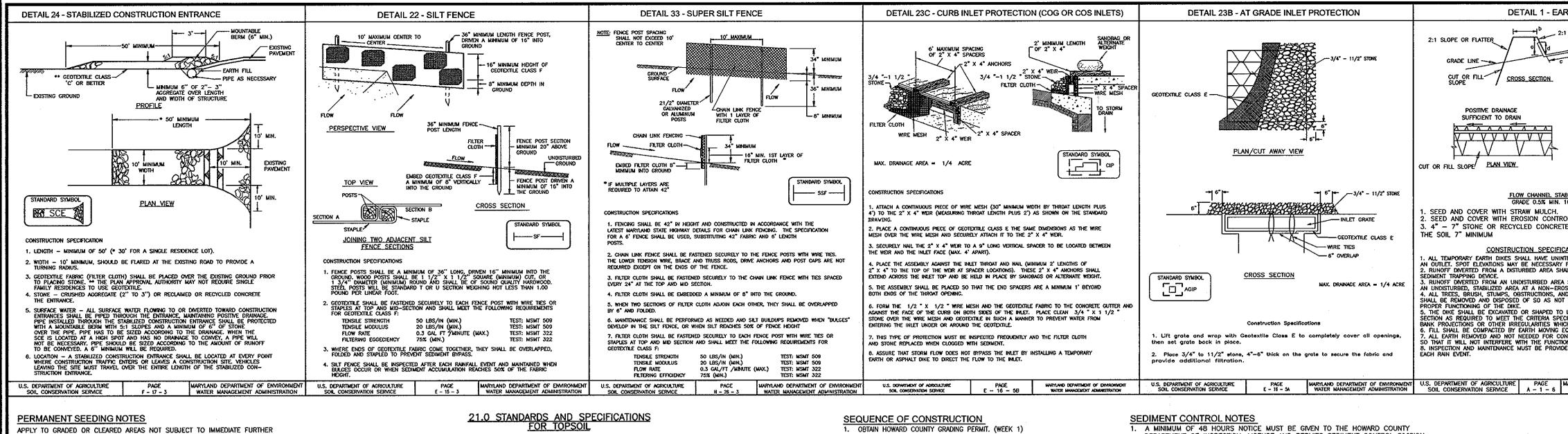
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		×402.68	EXISTING SPOT ELEVATION
			EXISTING CURB AND GUTTER PROPOSED CURB AND GUTTER
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		$\square$	EXISTING MAILBOX
		0	EXISTING SIGN
			EXISTING SANITARY MANHOLE
		SS	EXISTING SANITARY LINE
		0 <i>C0</i>	EXISTING CLEANOUT
		₩₩	EXISTING FIRE HYDRANT EXISTING WATER LINE
			PROPOSED STORM DRAIN
			PROPOSED STORM DRAIN INLET
		$(\mathbf{x}, \mathbf{x})$	EXISTING TREES (FIELD LOCATED)
		C+3	EXISTING TREELINE
		x x x	(FIELD LOCATED) EXISTING FENCE
			PROPERTY LINE RIGHT-OF-WAY LINE
		N/1D0	ADJACENT PROPERTY LINE
		• M1B2 M1D3	SOILS BOUNDARY
			PROPOSED SIDEWALK
		**	PROP. LIGHT POLE PROPOSE TREELINE
			EXISTING STEEP SLOPES
			EX. 20' PUBLIC WATER
			EX. PRIVATE USE-IN-COMMON ACCESS EASEMENT
			EX. 10' HOA NOISE WALL MAINTENANCE EASEMENT
			LIMIT OF DISTURBANCE
		SF)	SILT FENCE
		AL DOGE STROOM N	STABILIZED CONSTRUCTION ENTRANCE
			EROSION CONTROL MATTING
	OWNER TRUSTEES OF STATE E CHURCH OF GO	BOARD OF REUWER LONG	VELOPER TERM HOLDINGS L.L.C. NALD REUWER JR.
	TRUSTEES OF STATE E	BOARD OF REUWER LONG DD C/O DO ROAD 5300 DO	TERM HOLDINGS L.L.C.
	TRUSTEES OF STATE E CHURCH OF GO 7420 LONG VIEW	BOARD OF REUWER LONG DD C/O DO ROAD 5300 DO	TERM HOLDINGS L.L.C. NALD REUWER JR. DRSEY HALL DRIVE
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ESCRIPTION	GROUP
0 TO 8 PERCENT SLOPES	В
CENT SLOPES	В
CONSERVATION SERVICE	

SDP-09-033



DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED. SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

1. PREFERRED: APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 IBS/1000 SQ. FT.) AND 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 IBS/ACRE 30-0-0 UREAFORM FERTILIZER (9 IBS/1000 SO. FT.) 2. ACCEPTABLE: APPLY 2 TONS/ACRE DOLOMITIC LIMESTONE (92 IBS/1000 SQ. FT.) AND 1000 IBS/ACRE 10-10-10 FERTILIZER (23 IBS/1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR THE PERIODS MARCH 1 THUR APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 IBS/ACRE (1.4 IBS/1000 SQ.FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 IBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 IBS/ACRE (.05 IBS/100() SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION 1: TWO TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION 2: USE SOD.

OPTION 3: SEER: WITH 60 IBS/ACRE KENTUCKY 30 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING. MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE RE-DISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED. SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING

DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED SOIL AMENDMENTS: APPLY 600 IBS/ACRE 10-10-10 FERTILIZER (14 IBS/1000

SQ. FT.). SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 IBS/1000 SQ. FT.). FOR THE PERIOD MAY 1 -- AUGUST 14, SEED WITH 3 IBS/ACRE OF WEEPING LOVEGRASS (.07 IBS/1000 SQ. FT.). FOR THE PERIOD NOVEMBER 16 -- FEBRUARY 28. PROTECT SITE BY APPLYING 2 TONS/ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.

MULCHING: APPLY L-1/2 TO 2 TONS/ACRE (70 TO 90 IBS/1000 SQ. FT.) OF UNROTTED WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL, PER ACRE (5 GAL/1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPE 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL/1000 SQ. FT.) FOR ANCHORING

REFER TO THE 1994 MAR4AND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW pH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

- CONDITIONS WHERE PRACTICE APPLIES I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
- C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH. D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.
- CONSTRUCTION AND MATERIAL SPECIFICATIONS I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- II. TOPSOIL SPECIFICATIONS SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING: I. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR A SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS,
- THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAT 1 AND 1/2" IN DIAMETER. II. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON NY, THISTLE, OR OTHERS AS SPECIFIED. III. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
- III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES: I. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN <u>20.0 VEGETATIVE STABILIZATION</u>-SECTION I-VEGETATIVE STABILIZATION METHODS AND MATERIALS. NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

II. PLACE TOPSOIL (IF REQURED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN AS SPECIFIED IN <u>20.0 VEGETATIVE</u> <u>STABILIZATION</u> - SECTION I - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- N. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
   I. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: A. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER. B. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT. C. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN
  - 500 PARTS PER MILLION SHALL NOT BE USED. D. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY IE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS

- VEGETATIVE STABILIZATION METHODS AND MATERIALS. TOPSOIL APPLICATION WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
- II. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4"-8" HIGHER IN ELEVATION. III. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4".
- SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
- TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE TO PERMANENT SEEDING INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
- COMPOSIED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
- FOLLOWING REQUIREMENTS:
   A. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORI FROM, A PERSON OR PERSONS THAT ARE PERMITED TIME OF ACQUISTION OF THE COMPOST) BY THE MARE DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.
   B. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCE NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCE POTASSIUM AND HAVE A DH OF 7.0 TO 8.0. IF COMPO DOES NOT MEET THESE REQUIREMENTS. THE APPROPRIA CONSTITUENTS MUST BE ADDED TO MEET THE PEOLIDIA
- AUST BE ADDED TO MEET COMPOSED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
- COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

APPROVED: HOWARD COUNTY DEPARTMENT OF F	PLANNING AND ZONING	"I/WE CERTIFY THAT ALL
Mark Der mun	9/17/09	BE DONE ACCORDING TO CONTROL, AND THAT ALL THE CONSTRUCTION PROJ
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE B	ATTENDANCE AT A DEPAR TRAINING PROGRAM FOR
CHIEF, DIVISION OF LAND DEVELOPMENT	<b>7/30/09</b> ØATE VG	BEFORE BEGINNING THE ON-SITE INSPECTION BY
monard. Butter	10/1/09	Insu M
DIRECTOR, DEP.	DATE	SIGNATURE

BY THE DEVELOPER:	BY THE ENGINEER:
"I/WE CERTIFY THAT ALL DEVELOPEMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."	<sup>7</sup> I CERTIFY THAT TH REPRESENTS A PR/ SONAL KNOWLEDGE PREPARED IN ACCO SOIL CONSERVATION
UNU 8/31/09 -	
	I J SIGNA

- 2. NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (2 DAYS)
- 3. CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (1 WEEK)
- 4. INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM. (1 DAY)
- 5. INSTALL ALL SILT FENCE, SUPER SILT FENCE, AND PERIMETER EARTH DIKES. (1 WEEK)
- WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE. (3 WEEKS)
- 7. BEGIN SITE GRADING AND UTILITY CONSTRUCTION. (6 WEEKS) 8. BEGIN BUILDING CONSTRUCTION. (36 WEEKS)
- 9. INSTALL ALL ON-SITE CURB AND GUTTER. (1 WEEK) 10. INSTALL ON-SITE PAVING BASE COURSE TO THE LIMITS PERMITTED BY THE SEDIMENT CONTROL INSPECTOR. (1 WEEK)
- 11. COMPLETE BUILDING AND UTILITY CONSTRUCTION. (24 WEEKS) 12. INSTALL ALL PAVING. (1 WEEK)
- 13. INSTALL ALL SIDEWALKS. (1 WEEK)
- 14. FINE GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (2 WEEKS)
- 15. REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (4 WEEKS)
- 16. INSTALL SITE LANDSCAPING. (2 WEEKS) NOTES:
- 1. DURING GRADING AND AFTER EACH RAINFALL, CONTRACTOR WILL INSPECT AND PROVIDE NECESSARY MAINTENANCE TO THE SEDIMENT CONTROL MEASURES ON THIS PLAN. 2. FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
- A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

- EPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (410-313-1855). 2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. AND REVISIONS THERETO.
- 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1, (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. G). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- 3. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. 7. SITE ANALYSIS
- TOTAL AREA AREA DISTURBED AREA TO BE ROOFED OR PAVED AREA TO BE VEGETATIVELY STABILIZED
- TOTAL FILL to be determined WASTE/BORROW LOCATION \_\_\_\_\_ B. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FO
- PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- 9. ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF TH INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- \* TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT

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"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PER-SONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD

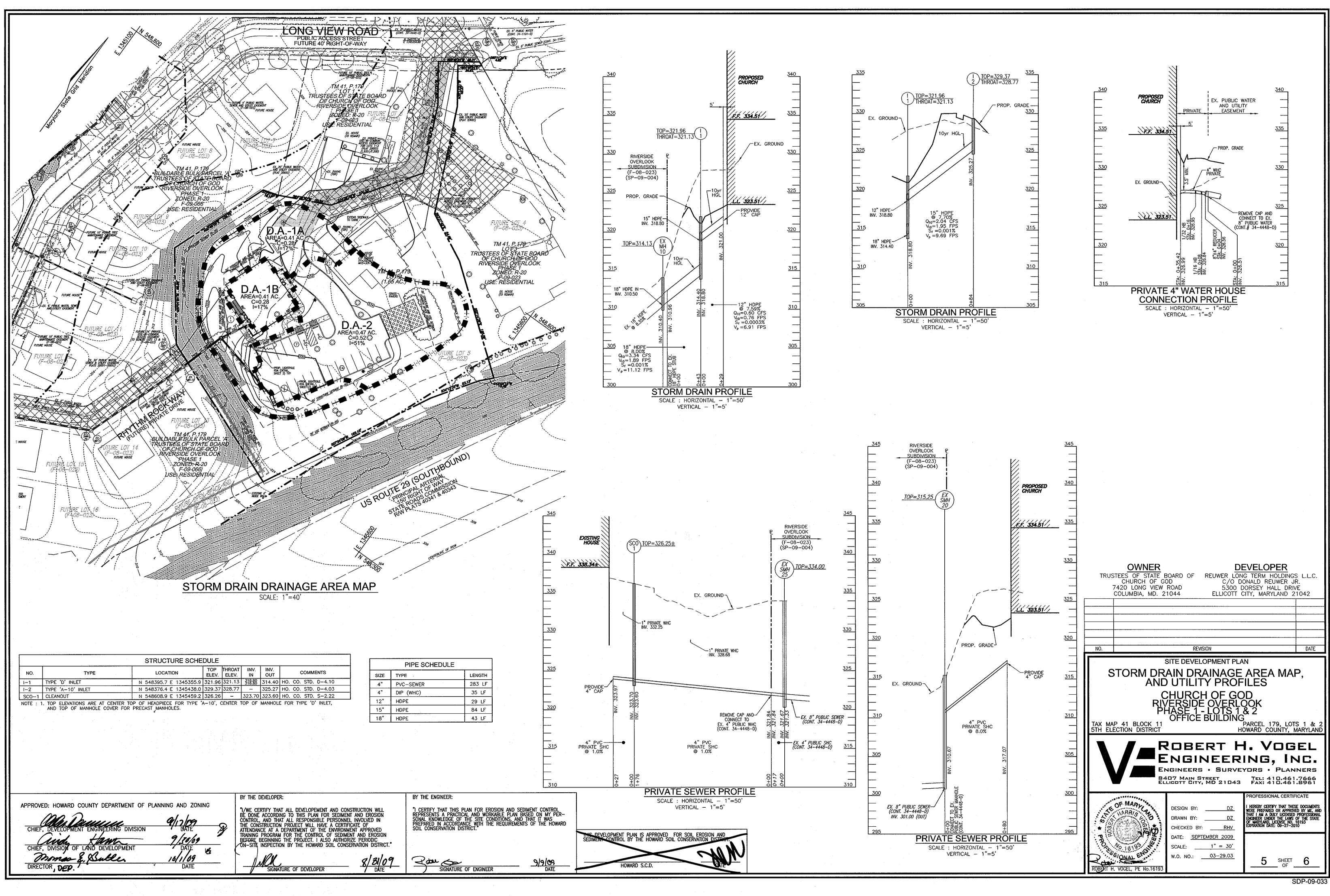
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SIGNATURE OF ENGINEER

RTH DIKE	DETAIL 30 - EROSION CONTROL MATTING				
1 SLOPE OR FLATTER FLOW EXCAVATE TO PROVIDE REQUIRED FLOW WIDTH AT DESIGN FLOW DEPTH					
DIKE A         DIKE B           a-DIKE HEKHT         18"         30"           b-DIKE WIDTH         24"         36"           c-FLOW WIDTH         4'         6'           d-FLOW DEPTH         12"         24"	CROSS-SECTION				
BILIZATION 10% MAX. DL MATTING OR LINE WITH SOD. TE EQUIVALENT PRESSED INTO	STAPLE OUTSIDE ON 2' CENTERS				
CATIONS TERRUPTED POSITIVE GRADE TO FOR GRADES LESS THAN 1%. ALL BE CONVEYED TO A SHALL OUTLET DIRECTLY INTO ISVE VELOCITY. IN OTHER OBJECTIONAL MATERIAL TO INTERFERE WITH THE LINE, GRADE AND CROSS CIFIED HEREIN AND BE FREE OF CH WILL IMPEDE NORMAL FLOW. COUPMENT. INSTRUCTION SHALL BE PLACED ONING OF THE DIKE. ED PERIODICALLY AND AFTER	CONSTRUCTION SPECIFICATIONS 1. KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 6" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORN TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6". 2. STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES. 3. BEFORE STAPLING THE OUTER EDGES OF THE MATTING, NAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL. 4. STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNITING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIPLAP FASHION, REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES 5. CHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHIPLAP FASHION, REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES 5. SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE. 6. THE DISCHARGE END OF THE MATTING LINER SHOULD BE SMULARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES.				
WARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	NOTE: IF FLOW WILL ENTER FROM THE EDGE OF THE MATTING THEN THE AREA EFFECTED BY THE FLOW MUST BE KEYED-IN. U.S. DEPARTMENT OF AGRICULTURE PAGE MARYLAND DEPARTMENT OF ENVIRONMENT SOIL CONSERVATION SERVICE G-22-2 WATER MANAGEMENT ADMINISTRATION				

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	ROBERT H. VOG ENGINEERING, IN ENGINEERS · SURVEYORS · PLANK 8407 MAIN STREET ELLICOTT CITY, MD 21043 FAX: 410.461: FAX: 410.461:							
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	ROPERT H	ONAL VOGEL, PE No.16193	DATE: SCALE: W.O. NO.:	$\frac{1" = 30'}{03 - 29.03}$	4	SHEET OF	6	

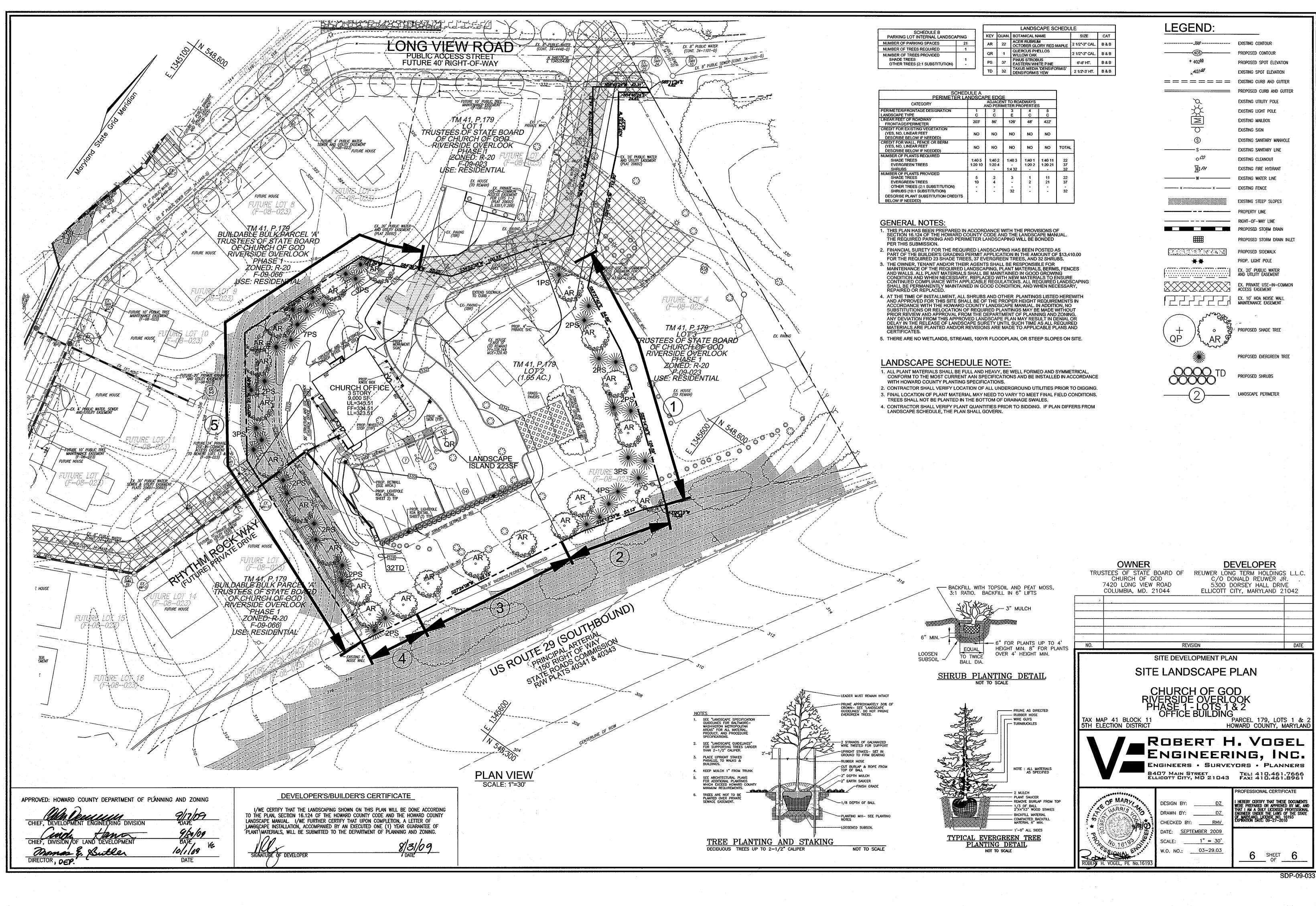
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SCHEDULE B DT INTERNAL LANDSCA	KEY	QUAN.	BOTANICAL NAME	SIZE	CAT			
ARKING SPACES	21	AR	22	ACER RUBRUM OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B&B		
REES REQUIRED	1	QR	1	QUERCUS PHELLOS WILLOW OAK	2 1/2 -3 CAL.	8&B		
ES ES (2:1 SUBSTITUTION)	1 -	PS	37	PINUS STROBUS EASTERN WHITE PINE	6'-8' HT.	8&B		
		TD	32	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2'-3' HT.	<b>B</b> &B		

SCHED PERIMETER LA		PE EDGI					
CATEGORY ADJACENT TO ROADWAYS AND PERIMETER PROPERTIES							
NTAGE DESIGNATION	1 C	2 C	3 E	4 C	5 C		
ROADWAY RIMETER	203'	86'	126'	48'	422		
STING VEGETATION AR FEET OW IF NEEDED)	NO	NO	NO	NO	NO		
L, FENCE OR BERM AR FEET OW IF NEEDED)	NO	NO	NO	NO	NO	TOTAL	
NTS REQUIRED ES N TREES	1:40 5 1:20 10	1:40 2 1:20 4	1:40 3 - 1:4 32	1:40 1 1:20 2	1:40 11 1:20 21 -	22 37 32	
NTS PROVIDED ES N TREES ES (2:1 SUBSTITUTION) :1 SUBSTITUTION NT SUBSTITUTION CREDITS DED)	5 10 -	2 4 -	3 - 32	1 2 -	11 21 - -	22 37 32	

