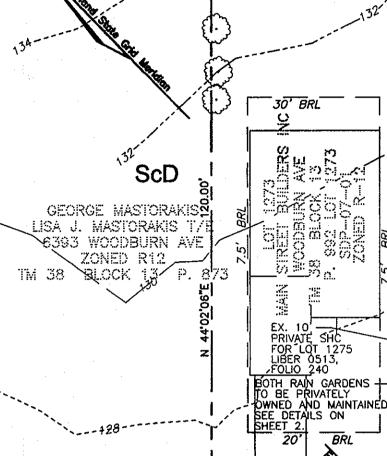


- 1. ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- 2. DEED REFERENCE: 7848/233 THE SUBJECT PROPERTY IS ZONED R-12 PER THE 2/02/04 COMPREHENSIVE ZONING PLAN AND PER THE "COMP LITE" ZONING REGULATION AMENDMENTS
- EFFECTIVE 7/28/08. 3. GROSS AREA OF LOT 1274: 0.125 AC AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: 0.00 AC AREA OF STEEP SLOPES: 0.00 AC NET AREA OF PROJECT: 0.125 AC
  - AREA OF OPEN SPACE REQUIRED: N/A AREA OF OPEN SPACE PROVIDED: N/A
- AREA OF PROPOSED RIGHT-OF-WAY: N/A THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF
- ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (S) WORKING DAYS PRIOR TO THE START OF WORK.
- START OF WORK. 5. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE. 8. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY FREDERICK WARD & ASSOCIATES DATED DECEMBER 2001. THE TREDERICK WARD & ASSOCIATES DATED DECEMBER 2001. THE PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY PREPARED BY FREDERICK WARD & ASSOCIATES DATED DECEMBER 2001.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 38D5 AND 38D8 AND WERE USED FOR THIS PROJECT
- STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY RAIN GARDENS TO PROVIDE THE REQUIRED WOV AND Rev. Cpv IS NOT REQUIRED SINCE THE 1-YR RUNOFF IS LESS THAN 2 CFS. RAINGARDENS ON LOT 1274 WILL BE PRIVATELY OWNED AND HAINTAINED BY OWNED FOR LOT 1274 MAINTAINED BY OWNER OF LOT 1274.
- 9. EXISTING UTILITIES ARE BASED ON HOWARD COUNTY AS-BUILT DRAWINGS UNDER CONTRACT 23-S & W1088-34744.
- 10. ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE
- CORRECTED AT THE DEVELOPER'S EXPENSE. 11. SHC ELEVATIONS SHOWN ARE LOCATED AT THE PROPERTY LINE. 12. FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD
- COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.05. 13. WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC.
- 14. THIS SITE IS NOT LOCATED IN A HISTORIC DISTRICT. 15. NO HISTORIC STRUCTURES EXIST ON THIS SITE.
- 16. A TRAFFIC STUDY IS NOT REQUIRED FOR THIS SITE. 17. STREET LIGHTING IS NOT REQUIRED FOR THIS SITE.
- 18. THIS PROPERTY IS WITHIN THE METROPOLITAN DISTRICT
- 19. PERIMETER LANDSCAPING IS REQUIRED BECAUSE THE SIDE YARD IS ADJACENT TO A PUBLIC ROAD.
- A. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- B. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$900.00 FOR O SHADE TREES, 2 EVERGREEN TREES AND O SHRUBS, AND 4 ORNAMENTAL TREES.
- C. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL. BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION. AND WHEN NECESSARY REPAIRED OR REPLACED. D. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED
- AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.
- 20. THIS PROJECT IS SUBJECT TO THE AMENDED 5TH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS. THE DEVELOPER SHALL APPLY FOR BUILDING PERMITS FOR ALL LOTS AS SHOWN ON THIS SITE DEVELOPMENT PLA APPROVAL OF THIS PLAN.
- 21. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- 22. TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- 23. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DEWLLINGS TO ENSURE SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE
- FOLLOWING MINIMUM REQUIREMENTS:
- A. WIDTH 12 (16' FOR SERVING MORE THAN ONE RESIDENCE) B. SURFACE - 6' OF COMPACTED CRUSHER RUN BASE WITH TAR
- AND CHIP COATING (1-1/2" MIN) GEOMETRY - MAX 14% GRADE, MAX 10% GRADE CHANGE, AND
- MIN 45' TURNING RADIUS D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING
- 25 GROSS TONS (H25 LOADING) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER
- DRIVEWAY SURFACE MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- 24. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE IT IS A SITE DEVELOPMENT PLAN FOR DEVELOPMENT ON LAND WHICH IS LESS THAN 40,000 SQUARE FEET.
- 25. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- 26. REQUEST TO WAIVE SECTIONS 16.102, APPLICABILITY AND 16.144, REQUIRING THE SUBMISSION OF A FINAL PLAN WAS APPROVED BY WP-04-12 ON AUGUST 29, 2003 SUBJECT TO THE FOLLOWING CONDITIONS:
- I: THE APPLICANT MUST RECORD THE NEW DEEDS OF CONVEYANCE IN THE LAND RECORDS OFFICE OF HOWARD COUNTY, MD. A COPY OF THE CONSOLIDATION DEEDS SHALL BE SUBMITTED TO THIS DEPARTMENT FOR OUR RECORDS. THE APPLICANT IS ADVISED THAT THE ADJOINER DEEDS MUST BE RECORDED PRIOR TO THE SUBMISSION OF ANY SITE DEVELOPMENT PLANS FOR THE SUBJECT LOTS. IN ADDITION, THE EXISTING HOME ON LOT B MUST BE RAZED PRIOR TO THE RECORDATION OF THE CONSOLIDATION DEEDS.
- II: THE APPLICANT SHALL IDENTIFY THE NEWLY RECONFIGURED LOTS BY NUMERICAL ORDER UTILIZING THE NEXT CONSECUTIVE LOT NUMBERS WHICH ARE AVAILABLE IN THE PARTICULAR SECTION AND AREA OR BLOCK NUMBER OF THE HARWOOD PARK SUBDIVISION OF WHICH THEY ARE LOCATED, AS APPLICABLE. III: A SITE DEVELOPMENT PLAN SHALL BE REQUIRED FOR ALL NEW
- BUILDING LOTS. IV: WRITTEN VERIFICATION FROM THE HEALTH DEPARTMENT MUST ACCOMPANY THE SITE DEVELOPMENT PLAN SUBMISSION WHICH INDICATES PROPER ABANDONMENT OF THE EXISTING WELL
- LOCATED ON THE SUBJECT PROPERTY. V: THE WAIVER PETITION (WP-04-012) CONDITIONS WERE SATISFIED UNDER SDP-06-152.

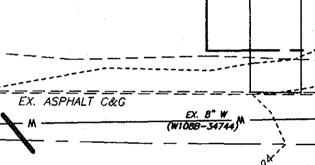
PRIOR TO SUBMISSION OF SDP ORIGINALS FOR SIGNATURE. THE APPROVAL DATE FOR THIS PROJECT IS 2/17/09 .

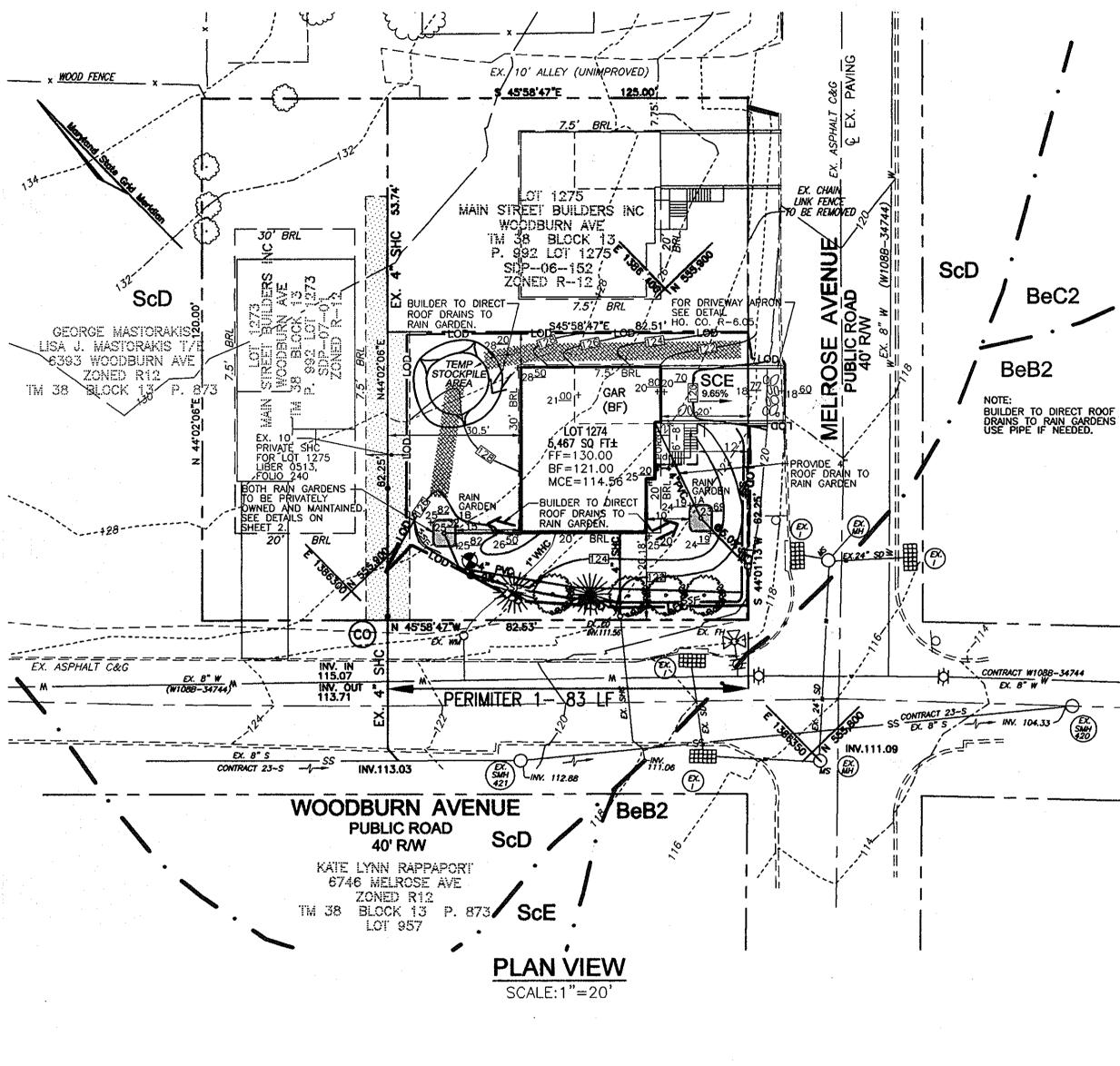
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING	BY THE ENGINEER	BY THE DEVELOPER
AND ZONING	"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND	"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBI
Man Deman 3/10/07	SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH	PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT
CHIEF. DEVELOPMENT ENGINEERING DIVISION JUNISION JUNISIONA JUNISION JUNISIONA JU	THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.	APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD
CHIEF, DIVISION OF LAND DEVELOPMENT (B DATE		SOIL CONSERVATION DISTRICT.
morran E. Suiten 3/12/09	SIGNATURE OF ENGINEER 211E/09 DATE	Jochs- proage
DIRECTOR, DEP.	SIGNATURE OF ENGINEER DATE ROBERT H. VOGEL, PE	VOIN STREET BUILDERS, INC. DATE SOSEPH SNODGRASS





\_\_\_\_\_ X WOOD FENCE





ADDRESS CHART lot 🐇 STREET ADDRESS 1274 6720 MELROSE AVENUE

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- 27. MARYLAND AVIATION ADMINISTRATION APPROVAL IS REQUIRED

# SITE DEVELOPMENT PLAN HARWOOD PARK LOT 1274

	PERM	<b>/IT INFO</b>	RMATION	CHART		
	D PARK/LOT	1274	SECTION/A	REA	LC	DT NUMBER 1274
<b>) REF.</b> 3/233	<b>GRID NO.</b> 13	ZONE R-12	TAX MAP 38	ELECT. 1 st	DIST.	CENSUS TR. 601202
R CODE	: A-02		SEWER (	CODE:	21522	200

SHEET INDEX			
DESCRIPTION	SHEET NO.		
SITE DEVELOPMENT	1 OF 3		
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	2 OF <b>3</b>		
ALASCD/MAA NOTES & DETAILS	3 0F 3		

#### 21.0 STANDARDS AND SPECIFICATIONS FOR TOPSOIL iii. For sites having disturbed areas over 5 acres: i. On soil meeting topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: a. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher. b. Organic content of topsoil shall be not less than 1.5 percent by weight. c. Topsoil having soluble salt content greater than 500 parts per million shall not be used. d. No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals DEFINITION Placement of topsoil over a prepared subsoil prior to nent of permanent vegetation To provide a suitable soil medium for vegetable growth. Soils of concern have low moisture content, low nutrient Men. CONDITIONS WHERE PRACTICE APPLIES d. No sod or seed shall be placed on soil soil which has been treated with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of phyto-toxic materials. NOTE: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of another the soil of the so This practice is limited to areas having 2:1 or flatter a. The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth. VICINITY MAP natural topsoil. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients. ii. Place topsail (if required) and apply soil ammendments specified in 20.0 Vegetative Stabilization—Section I—Vegetative Stabilization Methods and Materials. SCALE: 1"=2000" ADC MAP COORDINATE: 17 E10 . The original soil to be vegetated contains taxic to plant growth. BENCHMARKS V. Topsoil Application The soil is so acidic that treatment with NORTHING EASTING ELEVATION NO. i. When topsoiling, maintain needed erosion and ediment control practices such as diversions, Grade imestone is not feasible. 3805 558.378.575 1.386.524.158 193.726' II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans. Stabilization Structures, Earth Dikes, Slope Silt Fence and 3806 1.384.992.262 175.228' 557,155,459 Sediment Trans and Basins. ii. Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit $4^{"}$ - $8^{"}$ higher in elevation. LEGEND CONSTRUCTION AND MATERIAL SPECIFICATIONS iii. Topsoil shall be uniformly distributed in a 4" -------- 440-----EXISTING CONTOUR 8" layer and lightly compacted to a minimum thickness of 4". Topsoil salvaged from the existing site may be used Spreading shall be performed in such a manner that sodding provided that it meets the standards as set forth in these PROPOSED CONTOUR specifications. Typically, the depth of topsoil to be or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be +8253 SPOT ELEVATION representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland DIRECTION OF FLOW ----corrected in order to prevent the formation of depressions or water pockets. SUPER SILT FENCE II. Topsoil Specifications - Soil to be used as topsoil iv. Topsoil shall not be place while the topsoil or LIMIT OF DISTURBANCE LOD ----subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be EROSION CONTROL MATTING - SANSANSAN i. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or a soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of side states that the states of the states detrimental to proper grading and seedbed preparation. UTILITY EASEMENT cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger that 1 and 1/2" in SITE ANALYSIS DATA CHART ii. Topsoil must be free of plants or plant parts such LOCATION: TAX MAP 38, GRID 13, P/O TM PARCEL 992 as Bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified. 1st ELECTION DISTRICT EXISTING ZONING: R-12 iii. Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4–8 tons/acre (200–400 pounds per 1,000 square GROSS AREA OF LOT 1274: 0.125 AC AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: N/A AREA OF STEEP SLOPES OUTSIDE THE FLOODPLAIN: N/A feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures. NET AREA OF PROJECT: 0.125 AC AREA OF PROPOSED BUILDABLE LOTS: 0.125 AC AREA OF OPEN SPACE REQUIRED: N/A AREA OF OPEN SPACE PROVIDED: N/A AREA OF RECREATIONAL OPEN SPACE REQUIRED: N/A AREA OF RECREATIONAL OPEN SPACE PROVIDED: N/A i. Place topsoil (if required) and apply so AREA OF PROPOSED RIGHT-OF-WAY: N/A endments as specified in 20.0 Vegetative Stabilization TOTAL APPROXIMATE LIMIT OF DISTURBANCE: 4,862 SF OR 0.11 AC. Section I - Vegetative Stabilization Methods and Materials. DPZ FILE NUMBERS: WP-04-012, SDP-06-152, SDP-07-01.

levels, low pH, materials toxic to plants, and/or unacceptable soil aradation.

slopes where:

salvaged for a given soil type can be found in the Agricultural Experimental Station.

must meet the following:

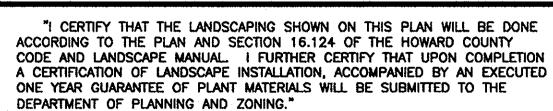
II. For sites having disturbed areas under 5 acres:

		······································		
KEY	QUAN.	BOTANICAL NAME	SłZE	REM.
s 💥	2	PINUS STROBUS EASTERN WHITE PINE	7–9' HT.	8 & B
F Contraction	4	CORNUS FLORIDA/WHITE FLOWERING DOGWOOD	7–9'HT.	B & B
CONFC WITH 2. CONTH 3. FINAL TREES 4. CONTH	DRM TO THE LCAMW PLAN RACTOR SHA LOCATION ( SHALL NOT RACTOR SHA	ALS SHALL BE FULL AND HEAVY, BE WELL MOST CURRENT AAN SPECIFICATIONS AND MING SPECIFICATIONS. LL VERIFY LOCATION OF ALL UNDERGROUN OF PLANT MATERIAL MAY NEED TO VARY TO F BLANTED IN THE BOTTOM OF DRAINAG LL VERIFY PLAN QUANTIFIES PRIOR TO BID DULE, THE PLAN SHALL GOVERN.	BE INSTALLED IN AC D UTILITIES PRIOR TO D MEET FINAL FIELD ( GE SWALES.	CORDANCE DIGGING. CONDITIONS.

	SCHEDULE	'A' PERIME	ETER LANDS	SC.
	CATEGORY	ADJACE		
ļ	LANDSCAPE TYPE	NONE REQUIRED	TYPE 'B'	
	LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER (SIDE)	0	83' (1)	
	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	
	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NA	NO	
	NUMBER OF PLANTS REQUIRED SHADE TREES EVERGREEN TREES SHRUBS	NA NA NA	83' 1:50 2 1:40 2 0	
	NUMBER OF PLANTS PROVIDED SHADE TREES ORNAMENTAL TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	NA NA NA NA	- 4 2 0 0	

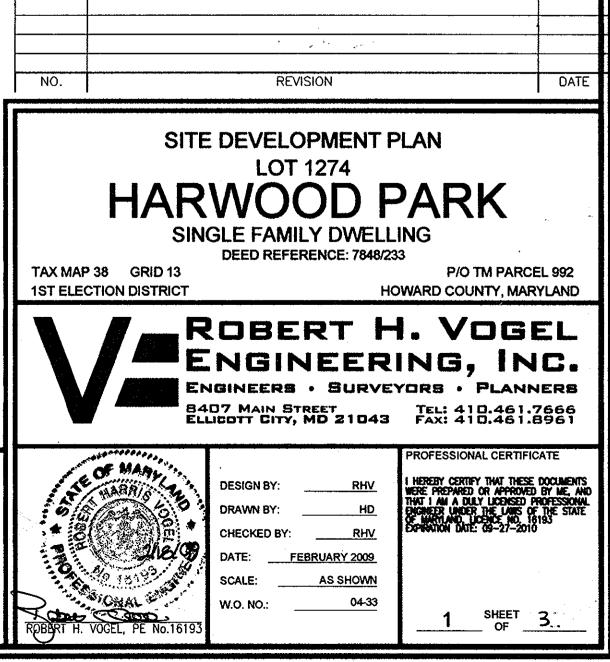
\*CREDIT FOR EXISTING WOODS

PLANS FOR SOIL EROSION AND SEDIMENT CONTROL



> pro-SIGNATURE OF DEVELOPER CAPE EDGE ADJACENT TO PERIMETER PROPERTIES TYPE 'B' TYPE 'B' TYPE 'B' NA NA NA NA NA NA NA NA NA

DATE



SDP-09-010

**OWNER/DEVELOPER** 

MAIN STREET BUILDERS, INC.

5705 LANDING ROAD

ELKRIDGE, MARYLAND 21075

(410) 744–6738

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

- SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following schedules:
- 1) Preferred-Apply 2 tons per acre dolomitic limestone (92 lbs/ 100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./ 1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq.ft.)
- 2) Acceptable-Apply 2 tons per acre dolomatic limestone (92 lbs/ 1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10- fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs/1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs/acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

MAINTENANCE: Inspect all seeded areas and make needed repairs, replacements and reseedings.

#### **TEMPORARY SEEDING NOTES**

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft).

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq.ft.) for anchoring.

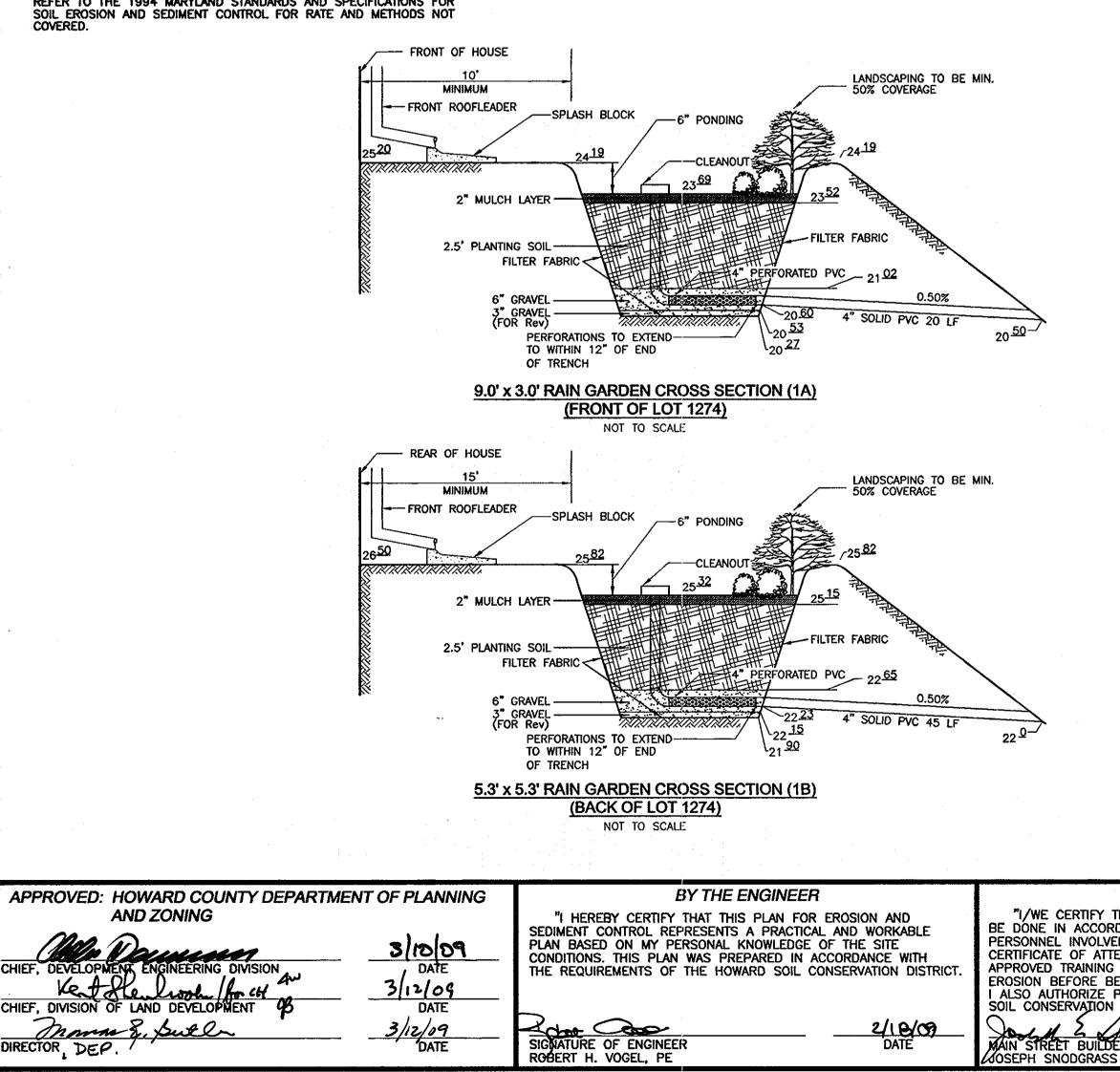
REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

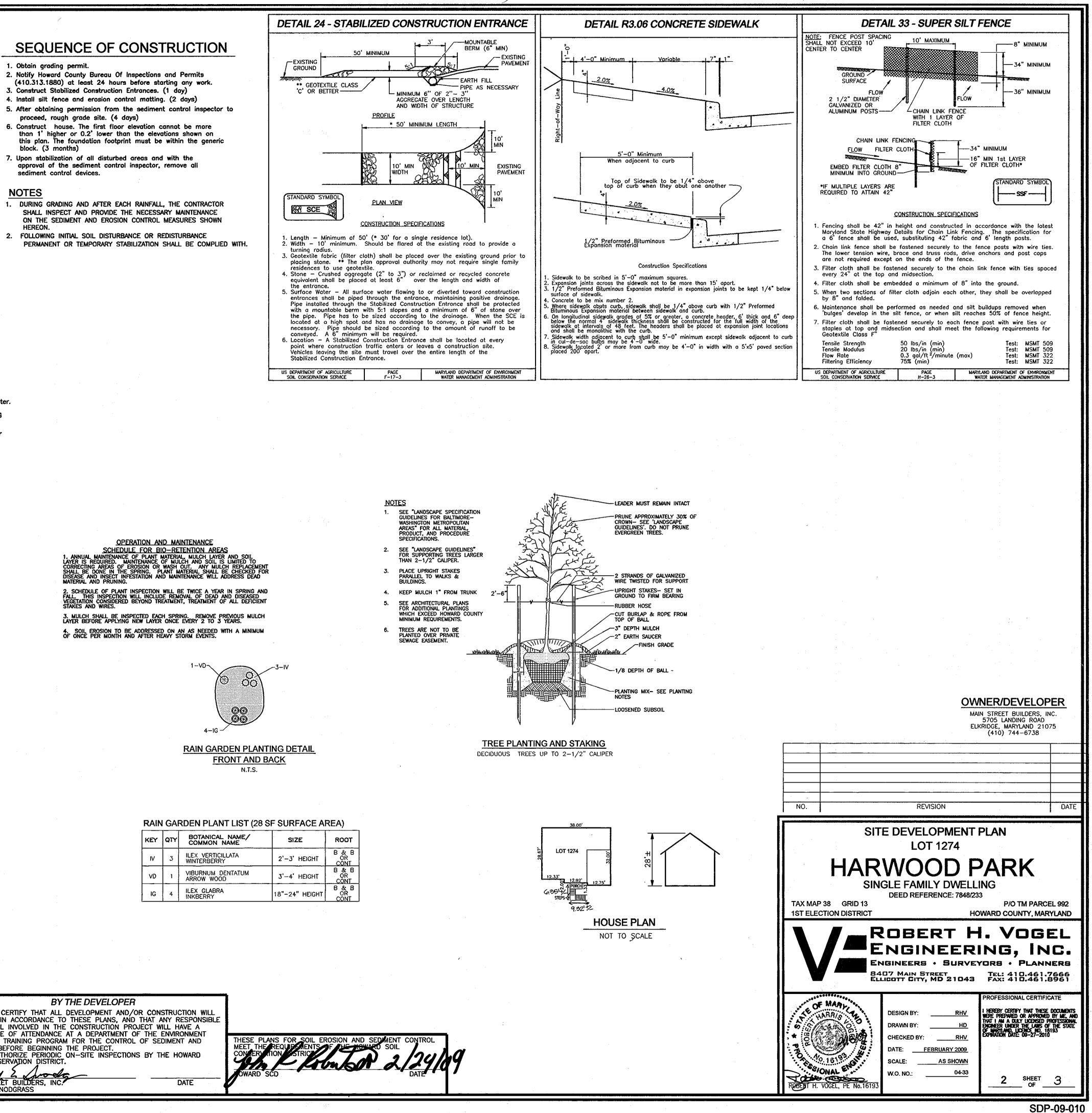
### SEDIMENT CONTROL NOTES

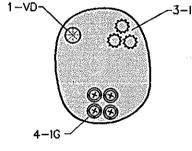
- 1. A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- 2. All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. and revisions thereto.
- 3. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed within: (a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1, (b) 14 days as to all other disturbed or graded areas on the project site.
- 4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- 5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- 6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

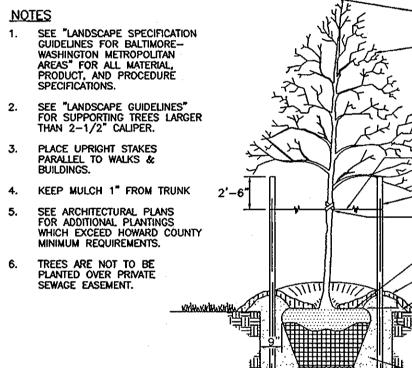
ite Analysis :	TOTAL
Total Area	0.125 AC
Area Disturbed	4,862 SF
Area to be roofed or paved	1,519 SF
Area to be vegetatively stabilized	3,624 SF
Total Cut	190 CY
Total Fill	190 CY
Offsite waste/borrow area location	*

- 8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- 9. Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- 10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- 11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.
- 12. Estimates of earthwork quantities are provided solely for the purpose of calculating
- \* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit



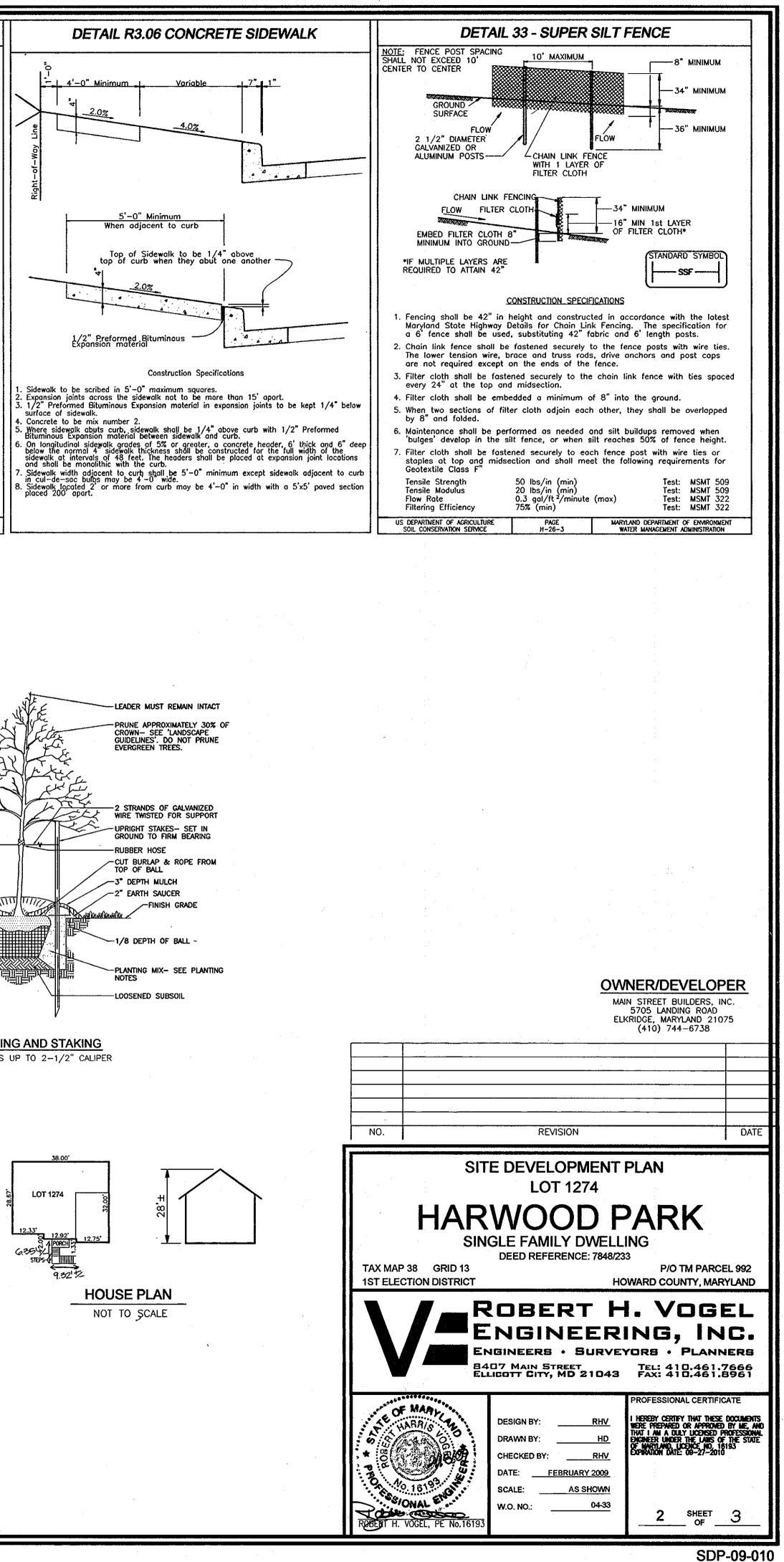






RAIN	GARI	DEN PLAN	T LIST (28	SF SL	JRFACE	A
		BOTANICAL	NAME/		6175	

KEY	QTY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT
IV	3	ILEX VERTICILLATA WINTERBERRY	2'-3' HEIGHT	B & B OR CONT
VD	1	VIBURNUM DENTATUM ARROW WOOD	3'-4' HEIGHT	B & B OR CONT
IG	4	ILEX GLABRA INKBERRY	18"-24" HEIGHT	B & B OR CONT



"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL E DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBL PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

## AASCD/MAA VEGETATIVE ESTABLISHMENT DETAILS AND SPECIFICATIONS FOR THE PROJECT WITHIN 4 MILES OF BWI AIRPORT

#### AASCD / MAA VEGETATIVE ESTABLISHMENT DETAILS AND SPECIFICATIONS FOR PROJECTS WITHIN LES OF THE BWI AIRPOR

References to ITEM its noted below are found in Maryland Aviation ninistration's manual estilled Specifications for Performing Landson Activities for the Maryland Aviation Administration dated May 2001

SOIL TESTS

July 1,200

- Following initial soil disturbances or re-disturbance, permanent or temporary stabilization shall be completed within seven calcudar days for the surface of all perimeter controls, dikes, swales, disches, perimeter slopes, and all slopes greater than 3 horizontal to 1 vertical (3:1) and fourteen days for all other disturbed or
- graded areas on the project site. 2. Occurrence of acid sulfate soils (grayish black color) will require covering with a minimum of 12 inches of clean soil with 6 inches minimum capping of top soil. No stockpiling of material is allowed. If needed, soil tests should be done before and after a 6-week incubation period to allow oxidation of sulfates
- 3. The minimum soil conditions required for permanent vegetative establishment are: a. Soil pH shall be between 6.0 and 7.0. . Soluble solts shall be less than 500 parts per million (ppm). c. The soil shall contain less than 40% city but enough fine
- grained material (> 30% silt plus clay) to provide the capacity to hold a moderato amount of moisture. d. Soil shall contain 1.5% minimum organic matter by weight.
- Soil must contain sufficient pore space to permit adequate reo

c. A granular or pellet form suitable for application by blower equipment.

nmendations of the University of Maryland Cooperative Extension

CONSTRUCTION METHODS AND EQUIPMENT

conditions as described in Paragraph 903-2.1.3.

other amenopriste means.

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The rate of application will be based on results of soil tests performed by the University of Maryland Soil Testing Laboratory. By law, persons applying fertilizer to State-owned land shall follow the recommendations of the University of Maryland as set forth in the "Plant Nutrient Recommendations Based on Soil Tests for Turf Maintenance" and the "Plant Nutrient Recommendations Based on Soil Tests for Soil Production" (see Appendix B). Application of the fertilizer shall be in a manner that is consistent with the promoduling of the limiting of Maryland Evenesis.

983-3.1 GENERAL. This section provides approved methods for the application of and includes standards for seedbed preparation, methods of application, and equipment to be used during the process. Lime and fertilizer shall be applied to seeded areas before the

903-3.2 ADVANCE PREPARATION. Areas designated for seeding shall be properly prepared in advance of seed application. The area shall be tilled and graded prior to application of lime and fertilizer, and the surface area shall be cleared of any stones larger

than 1 inch in dismeter, sticks, stomps, and other debris that might interfere with sowing

of seed, growth of grasses, or subsequent maintenance of grass-covered areas. Damage caused by evosion or other forces that occur after the completion of grading shall be repaired prior to the application of fertilizer and hime. The Contractor will repair such

demage, which may hechede filling guilles, smoothing irregularities, and repeiring other incidental damage before beginning the application of fertilizer and ground limestone.

If an area to be sended is sourcely added, weedy, barren and unworked, or packed and hard, all grass and woods shall first be cut or otherwise satisfactorily disposed of, and the

soil then scarified or otherwise loosened to a depth not less than 5 inches (125 mm).

Clods shall be broken and the top 3 inches (75 mm) of soil shall be worked into a

satisfactory condition by discing or by use of cultipackers, rollers, drags, harrows, or

An area to be seeded shall be considered a satisfactory seedbed (without requiring additional treatment) if it has recently been thoroughly loosened and worked to a depth of

not less than 5 inches; the top 3 inches of soil is loose, friable, and is reasonably free from

umediately prior to seeding. For slope areas stoeper than 3:1 (three horizontal to one

ertilizer and lime have been added; and, if it has been shaped to the required grad

After completion of tilling and grading, lime and fertilizer shall be applied within 4 hours according to the specified rate (Paragraphs 903-2.2 and 2.3) and methods

ertical), the subsoil shall be loose to a depth of 1 inch.

seed is spread. The mixture of seed will be determined for sites based on environ

penstrution. 2. If these conditions cannot be met by sells on site, adding topsoil is required in accordance FTEM 901 or amendments made at ended by a certified agronomist

SEEDING

ITEM 903 SEEDING

DESCRIPTION 903-1.1 GENERAL. This item provides specifications for seeding of areas as designated on plans or as directed by the MAA Engineer. The species, mixtures, and methods of application provided in this item have been designed to reduce the attractiveness of airport grounds to wildlife. Only MAA-approved species, mixtures, and rates of application provided in this item may be used to establish vegetation. All activities associated with seeding including soil preparation, seed application, fertilization, and maintenance shall also conform to these approved standards.

#### MATERIALS

903-2.1 SEED. All seed shall comply with the Maryland Seed Law (Agricultural Article of the Annotated Code of Maryland). Only MAA-approved species, mixtures, and rates of application provided in this item may be used to establish vegetation. Seed will be sampled and tested by an inspector from the Turf and Seed Section, Maryland Department of Agriculture (MDA), Annapolis, Maryland. All lawn and turf seed and mbtures shall be free from the following state-listed restricted noxious weeds: com cockie (Agrostemma githago),

bentgrass (Agrostis spp.) <sup>1</sup> ,
rediop (Agrossis gigantea) <sup>1</sup>
wild onion (Alltum canadense),
wild gartic (Alltum vineale),
bindword (Calstegia spp.),
dodder (Cuscuta spp.),
Bermuda grass (Cynodon dactylon),
orchardgrass (Dactylis glomerata),
tall fescue (Festuca arundinacea) <sup>1</sup>
mendow feacue (Festuca pratensis) <sup>1</sup> ,
veivetgrass (Holeus lanatus),
snmal bluegrass (Poa annua),
rough bluegrass (Poa trivialis)1,
timothy (Phleum pratense), and
uniony (rates protense), and
Johnson grass (Sorgian halepense).

Restricted nonious-weed seed may not exceed 0.5 percent by weight of any seed mixture. In addition, all seeds sold in Maryland shall be free from the following listed probibited

These species may be included as a labeled component of a mixture when each is present in excess of five percent of the mixture by weight. July 1, 2004

July 1, 2004

Supplemental Seed Annual Ryegrass

(Paragraphs 903-3.3.1 and 903-3.3.2) approved by MAA. The seeding mixture shall be applied within 48 hours after application of lime and fertilizer. To firm the seeded areas, cultipacking shall occur immediately after seeding.

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993-3.3 METHODS OF APPLICATION. Line, fertilizer, and seed mixes shall be applied by either the dry or wet application methods that have been approved by MAA and are detailed below.

903-3.3.1 DRY APPLICATION METHOD

a. Linning. If soil test results indicate that lime is needed, the following procedures will be used: following advance preparation of the seedbed, lime shall be applied prior to the application of any fertilizer or seed and only on seedbeds that have been prepared as described in paragraph 903-3.2. The lime shall be uniformly spread and worked into the top 2 inches of soil, after which the seedbed shall be properly graded again.

b. Fertilizing. Following advance preparations (and liming if necessary), fertilizer shall be spread uniformly at the specified rate to provide no less than the minimum quantity stated in Paragraph 903-2.3.

c. Seeding. Seed mixtures shall be sown immediately after fertilization of the seedbed. The fertilizer and seed shall be lightly raked to a depth of 1 inch for newly graded and disturbed areas.

d. Rolling. After the seed has been properly covered, the seedbed shall be immediately compacted using a caltipacker or an approved lawaroller.

903-3.3.2 WET APPLICATION METHOD/HYDROSEEDING

a. General. The Contractor may elect to apply seed and fertilizer as per Paragraphs c and d of this section in the form of an aqueous mixture by spraying over the previously prepared seedbed using methods and equipment approved b MAA. The rates of application shall be as specified in Paragraphs 903-2.1 through 903-2.3.

b. Spraying Equipment. The spraying equipment shall have a container or water tank equipped with a liquid level gauge capable of reading increments of 50 gallons or less over the entire range of the tank capacity. The liquid level The container or tank shall also be equipped with a mechanical power-driver agitator capable of keeping all the solids in the mixture in complete suspension t all times until used

The spraying equipment shall also include a pressure pump capable of delivering 100 gallons per minute at a pressure of 100 pounds per square inch. The

July 1, 200

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING	BY THE ENGINEER	
AND ZONING CHIEF, DEVELOPMENT ONGINEERING DIVISION Value Look for (14 m 3/12/09	"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.	"I/WE CERTIFY T BE DONE IN ACCORD PERSONNEL INVOLVE CERTIFICATE OF ATTE APPROVED TRAINING EROSION BEFORE BE I ALSO AUTHORIZE F
CHIEF, DIVISION OF LAND DEVELOPMENT DATE Dimma & Suther 3/12/09 DIRECTOR, DEP. DATE	SIGNATURE OF ENGINEER DATE	SOIL CONSERVATION

#### Seed shall be furnished in standard containers with the seed name, lot number, net weight, percentages of purity, germination rate and hard seed, and percentage of maximum weed seed content clearly marked. All seed containers shall be tagged with a MDA supervised mix program seed tag.

903-2.1.3 MEXTURES AND APPLICATION RATES. Only seed mixtures and application rates described in this item may be used unless otherwise approved by the MAA Engineer. Seed mixtures shall meet criteria detailed in Paragraph 903-2.1.2. Seed mixtures have been formulated to minimize the attractiveness of areas to wildlife of common landscape scenarios. The appropriate seed mixture for application will be nated based on environmental conditions and may vary from site to site. All planting rates listed are in pounds of Pure Live Seed (PLS) per acre. Seed mixtures, application scenarios, and rates for permanent cool-season grasses are as

a. Seed Mixture No. 1 - relatively flat areas (grade less than 4:1) subject to conditions and regular mowing (Application rate = 234 lbs PLS/acre);

Seed Mixture No. 2 - sloped areas (grade greater than 4:1) not subject to mowing (Application rate = 115 lbs PLS/acre); and 5. <u>Sood Mixture No. 3</u> - wetlands and their associated buffer zones (Application 131 lbs PLS/acre).

Seed Mixture No. 1: Relatively flat areas regularly mowed and exposed to normal as (Application rate = 234 lbs PLS/acre)

> 85% Certified Turf-Type Tall Fescu 10% Certified Kentucky Bluegrass 5% Perennial Ryegrass

Application (ibs of LS/acre)

Rate of

noxious weeds: balloonvine (Cardiospermum halicacabum), quackgrass (Elytrigia repens), sicklepod (Senna obtustfolia), songhum (Sorghum spp.), Canada thistle (Cirsium arvense), phuneless thistle (Carduas spp.-includes musk thistle and curled thistle), and senated tussock (Nassella trichotoma).

963-2.1.1 APPROVED SPECIES. The following table contains species that are approved by MAA for use in seed mixtures. Purity requirements and germinston nents are also provided.

APPROVED PLANT SPECIES MAA SEED MIXTURES				
 א	Purity <sup>4</sup> lot Less then %	Minimum % Germination*	Pare Live See Pactor	
Torf-Type Tall	98	90	1,13	
Kentucky Blangmas ensis)	90	80	1.39	
tue longtfolla)	98	90	1,13	
Red Feacue rebra commutata)	98	90	1.13	
yograss milifloram)	95	85	1.24	
Rycgram erenne)	90	80	1.39	
dow Grass	90	80	1.39	
CeCons	62	94	1.71	
tirti) (tirti	62 at shall be free of any a	griculture seeds, incr	94 rt matter, and other ar	

903-2,1.2 PURITY. All seed shall be free of all state-designated noxious weeds listed in Paragraph 2.1.1 and conform to MAA specifications. To ensure compliance, MAA requires sampling and testing of seed by the Turf and Seed Section, Maryland Department of Agriculture (MDA). The Contractor shall furnish the MAA Engineer with duplicate signed copies of a statement by the Turf and Seed Section certifying that each Lot of seed has been laboratory tested within six months of date of delivery, statement shall include the following information:

- name and address of laboratory, date of test,

July 1, 2004

lot number,
lot number,
the results of tests as to name, percentages of purity and of germination,
percentage of weed content for the seed furnished,
and, in the case of a mixture, the proportions of each kind of seed.

Seed Minture No. 2: Sloped areas not subject to regular mowing (Application rate = 115 Ibs FLS/acre)

#### (ibs of PLS/acre) 20% Chewings Fescue 5% Kentucky Bluegra Supplemental See Seed Mixture No. 3 - Wetland areas and their associated buffer zones (Application rate = 131 lbs PLS/acro) Rate of

Rate of Application

Application

·····

100 pounds of dolomitic limestone per 1,000 square feet.

15 pounds of 10-10-10 per 1,000 square feet.

Mulch shall be applied as per ITEM 905.

(lbs of PLS/acre)

60% Fowl Meadow Gra

30% Chewings Fescue 10% Perennial Ryegrass

Supplemental Seed Redtop

903-2.1.4 SEEDING SEASONS. Application of seed and seed mixtures shall occur within a specified seeding season unless otherwise approved by the MAA Engineer. No seed or seed mixtures are to be applied on frozen ground or when the temperature is at or below 35 degrees Farenheit (7.2 degrees Centigrade). Under these conditions, a layer of mulch should be applied in accordance with Item 905, Mulching, to stabilize the site, and permanent seeding should occur in the subsequent seeding seeson. Seed application may occur during the seeding season dates listed below. Seeding performed after October 20 should be a temporary cover of annual ryegrass and followed by overseeding of the appropriate seed mixture during the spring seeding season.

July 1, 2004

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pressure pump assemblage shall be configured to allow the mixture to flow through the tank when not being sprayed from the nozzle. All pump passages and pipelines shall be capable of providing clearance for 5/8-inch solids. The power unit for the pump and agitator shall have controls mounted so as to be accessible to the nozzle operator. A pressure gauge shall be connected to and mounted immediately behind the nozzle.

The nozzle pipe shall be mounted on an elevated supporting stand in such a manner that it can be rotated through 360 degrees horizontally and inclined vertically from at least 20 degrees below to at least 60 degrees above the horizontal. There shall be a quick-acting, three-way control valve connecting the recirculating line to the nozzle pipe and mounted so that the nozzle operate can control and regulate the amount of flow of mixture to be supplied so that mixtures may be properly sprayed over a distance varying from 20 feet to 10 feet. One shall be a close range ribbon nozzle, one a medium-range ribbon nozzle, and one a long-range jet nozzle. For ease of removal and cleaning, all nozzles shall be connected to the nozzle pipe by means of quick-release couplings. In order to reach areas inaccessible to the regular equipment, an extension hose at least 50 feet in length shall be provided to which the nozzle may be connected.

e. Mixtures. Lime shall be applied separately in the quantity specified, prior to the fertilizing and seeding operations. Lime should be added to and mixed with water at a concentration not to exceed 220 pounds of lime for every 100 gallons of water. After lime has been applied, the tank should be emptied and rinsed with fresh water. Seed and fertilizer shall be mixed together in the relative proportions specified, but the resulting concentration should not exceed 220 pounds of mixture per 100 gallons of water and should be applied within 30 minutes to prevent fertilizer burn of the seeds.

All water used shall be obtained from fresh water sources and shall be free from injurious chemicals and other toxic substances harmful to plant life. Brackish water shall not be used at any time. The Contractor shall identify all sources of water to the MAA Engineer at least two weeks prior to use. The Engineer may take samples of the water at the source or from the tank at any time and have a laboratory test the samples for chemical and saline content. The Contractor shall not use any water from any source that is disapproved by the Engineer following such tests.

All mixtures shall be constantly avitated from the time they are mixed until they are finally applied to the seedbed. All such mixtures shall be used within 3 minutes from the time they were mixed or they shall be wasted and disposed of t a location acceptable to the Engineer.

d. Spraying. Lime shall be sprayed upon previously prepared seedbeds on which the lime, if required, shall have been worked in already. The mixtures

shall be applied using a high-pressure spray which shall always be directed upward into the air so that the mixtures will fall to the ground in a uniform spray. Nozzles or sprays shall never be directed toward the ground in such a manner that might produce crosion or runoff. Particular care shall be exercised to ensure that the application is made uniformly, at the prescribed rate, and to to ensure that the application is made uniforming, at the presenteed hair, and to guard against misses and overlapped areas. Predetermined quantities of the mixture shall be used in accordance with specifications to cover specified sections of known areas. To checks the rate and uniformity of application, the applicator will observe the degree of writing of the ground or distribute test sheets of paper or pans over the area at intervals and observe the quantity of material deposited thereon

On surfaces that are to be mulched as indicated by the plans or designated by the MAA Engineer, seed and fertilizer applied by the spray method need not be raked into the soil or rolled. However, on surfaces on which mulch is not to be used, the raking and rolling operations will be required after the soil has dried

903-3.4 MAINTENANCE OF SEEDED AREAS. The contractor shall protect seeded areas against traffic or other use by warning signs or barricades, as approved by the Engineer. Surfaces guilled or otherwise damaged following seeding shall be repaired by regrading and resceding as directed. The Contractor shall mow, water as directed, and otherwise maintain seeded areas in a satisfactory condition until final inspection and eccentance of the work.

When either the dry or wet application method outlined above is used for work performed out of season, the Contractor will be required to establish a good stand of grass of uniform color and density to the satisfaction of the Engineer. If at the time when the contract has been otherwise completed it is not possible to make an adequate determination of the color, density, and uniformity of such stand of grass, payment for the unaccepted portions of the areas seeded out of season will be withheld until such time as these requirements have been met.

after section During the star

July 1, 200

FILL No fills may be placed on frozen ground. All fill to be placed in approximately horizontal layers, each layer having a loose thickness of not more than 8 inches. All fill in roadways and parking areas is to be classified Type 2 as per Anne Arundel County Code – Article 21, Section 2-308, and compacted to 90% density; compaction to be determined by ASTM D-1557-66T (Modified Proctor). Any fill within the building area is to be compacted to a minimum of 95% density as determined by methods previously mentioned. Fills for pond embankments shall be compacted as per MD-378 Construction Specifications. All other fills shall be compacted sufficiently so as to be stable and prevent erosion and slippage.

Per ITEM 903

TEMPORARY SEEDING

#### <u>SODDING</u>

Fertilizer

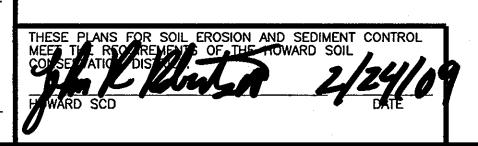
Seed

Installation of sod should follow permanent seeding dates. Seedbed preparation for od shall be as noted above. Lime and fertilizer per permanent seeding specifications and lightly irrigate soil prior to laying sod. Sod is to be laid on the contour with all ends tightly abutting. Joints are to be staggered between rows. Water and roll or tamp sod to insure positive root contact with the soil. All slopes steeper than 3:1, as shown, are to be permanently sodded or protected with an approved erosion control netting. Additional watering for establishment may be required. Sod is not to be installed on frozen ground. ture may adversely affect its survival. In the absence of adequate rainfall migation should be performed to ensu

Install sod as per ITEM 904.

July 1, 2004

BY THE DEVELOPER E CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE NEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A E OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND BEFORE BEGINNING THE PROJECT. THORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD ERVATION DISTRICT et build DATE



M	ULCHING
	Mulch shall be applied to all seeded areas immediately periods when seeding is not permitted, mulch shall be a grading.
	Mulch shall be applied as per ITEM 905.

SERDING SEASONS		
Permanent Cool-Season Granes	March 1 to April 20 and August 1 to October 20, inclusive	
Tempormy Cover of Annual Rye/Redtop	March 1 to April 30 and August 1 to November 30, inclusive	
Temporary Cover of Warm-Season Grasses (Little Bluestem only)	May 1 to July 31, inclusive. Rate of application should be 13.6 Re. PLS per acre.	

Seeding seasons are based on typical years and can be subject to variation, which may be modified by the MAA Engineer based on acasonal trends. If the time required to complete any of the operations nocessary under this item, within the specified planting season or any authorized extensions thereof, extends beyond the Contract period, then such time will be charged against the Contract time, and liquidated damages will be enforced with respect to this portion of work

903-2.2 LIME. Lime shall consist of ground limestone and contain at least 85 percent total carbonates. Lime shall be ground to a fineness so that at least 90 percent will pass through a No. 20 mesh slove and 50 percent will pass through a No. 100 mesh slove. Dolomitic lime or a high magnesium lime shell contain at least 10 percent magnesium oxide. Line shall be applied by approved methods detailed in Section 903-3.3 of this item. The rate of application will be based on results of soil tests.

903-2.3 FERTILIZER. Fertilizer shall be standard commercial fertilizer (supplied separately or in mixtures) and meet the requirements of applicable state and federal laws (O-F-241) as well as standards of the Association of Official Agricultural Chemists. Nitrogen-Phosphorus-Potassium (N-P-K) concentrations shall be determined from analysis of soil samples. <u>(Appropried fertilizer rate: 21 pounds of 10-10-10 per 1.400)</u> <u>genere feet.</u>) Mothods of fertilizer application shall conform to standards described in Section 903-33 of this item. Pertilizer shall be furnished in standard containers that are

clearly labeled with name, weight, and guaranteed analysis of the contents (percentage of total nitrogen, available phosphoric acid, and water-soluble potsah). Mixed fartilizers shall not contain any hydrated lime or cyanamide compounds. Fertilizers failing to meet the specified analysis may be approved by the MAA Engineer, providing sufficient materials are applied to conform with the specified nutrients per unit of measure without additional control for the specified nutrients per unit of measure without ditional cost to MAA.

The fettilizers may be supplied in the following forms:

July 1, 2004

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a. A dry, free-flowing fertilizer suitable for application by a common fertilizer

b. A finely ground fextilizer soluble in water, suitable for application by power Sprayers; or

MINING OPERATIONS Sediment control plans for mining operations must include the following seeding dates and mixtures: For seeding dates of: February 1 through April 30 and August 15 through October 31, use seed mixture of tall feacue at the rate of 2 pounds per 1,000 square feet and red top at the minimum rate of 0.5 pounds per 1,000 square feet. NOTE: Use of this information does not preclude meeting all of the requirements of the current Maryland Standards and Specifications for Soil Erosion and Sediment Control.

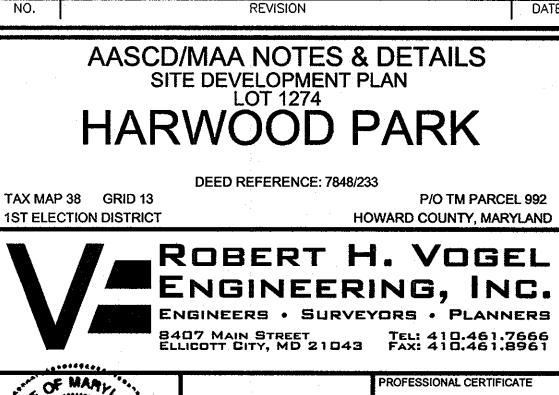
#### **OWNER/DEVELOPER** MAIN STREET BUILDERS, INC.

5705 LANDING ROAD ELKRIDGE, MARYLAND 21075 (410) 744-6738



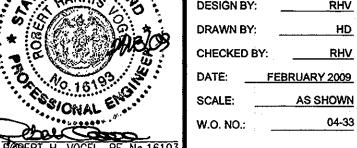
July 1, 200

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SHEET