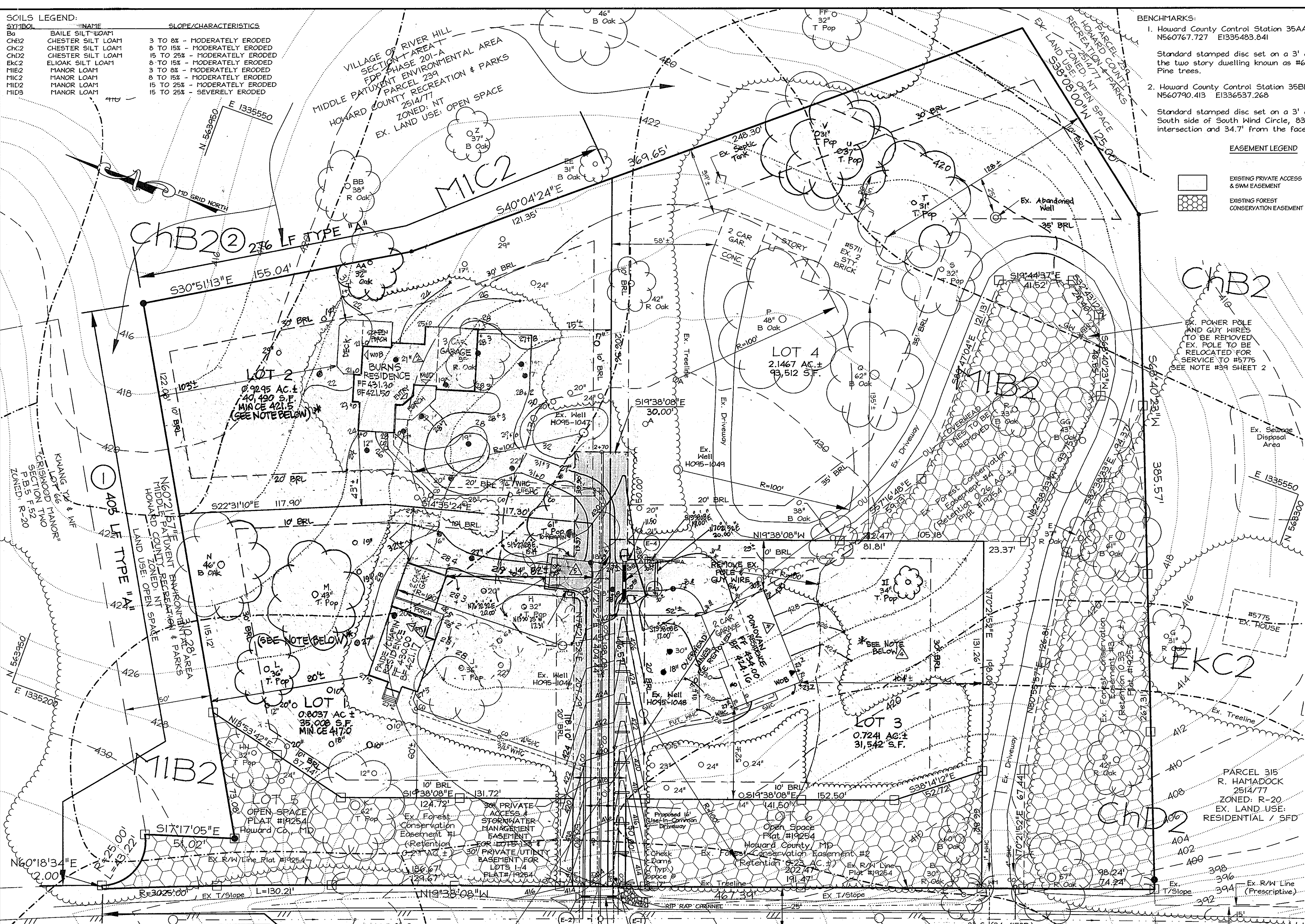


**SOILS LEGEND:**

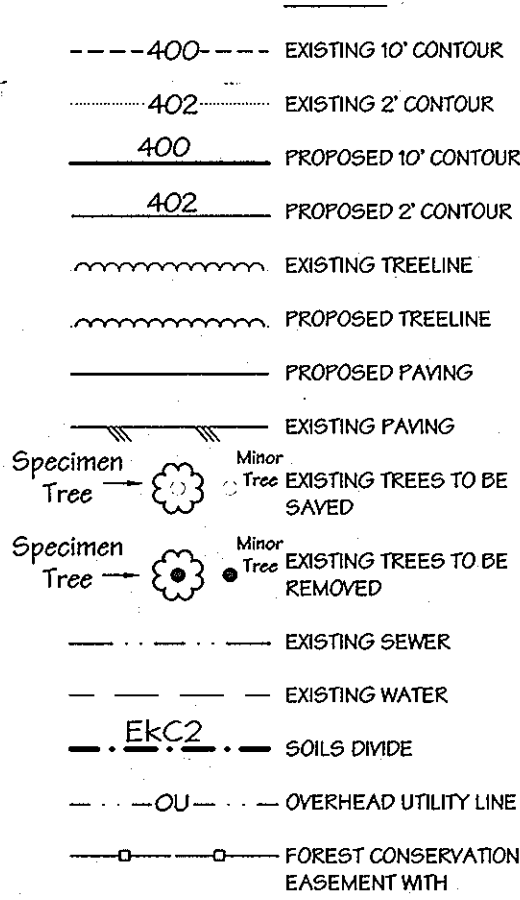
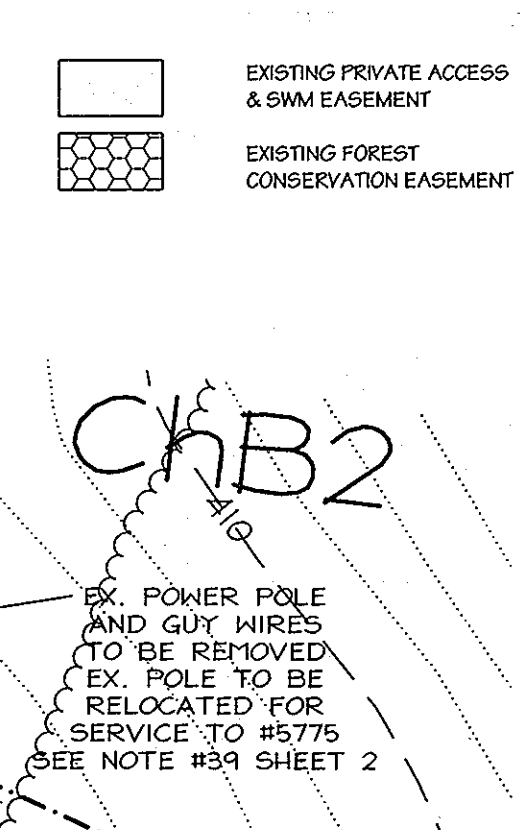
SYMBOL	NAME	SLOPE/CHARACTERISTICS
ChB2	BAILE SILT LOAM	3 TO 8% - MODERATELY ERODED
ChB2	CHESTER SILT LOAM	0 TO 15% - MODERATELY ERODED
ChB2	CHESTER SILT LOAM	15 TO 25% - MODERATELY ERODED
EkC2	ELIOAK SILT LOAM	8 TO 15% - MODERATELY ERODED
MiE2	MANOR LOAM	3 TO 8% - MODERATELY ERODED
MiC2	MANOR LOAM	0 TO 15% - MODERATELY ERODED
MiD2	MANOR LOAM	15 TO 25% - MODERATELY ERODED
MiD3	MANOR LOAM	15 TO 25% - SEVERELY ERODED



**BENCHMARKS:**

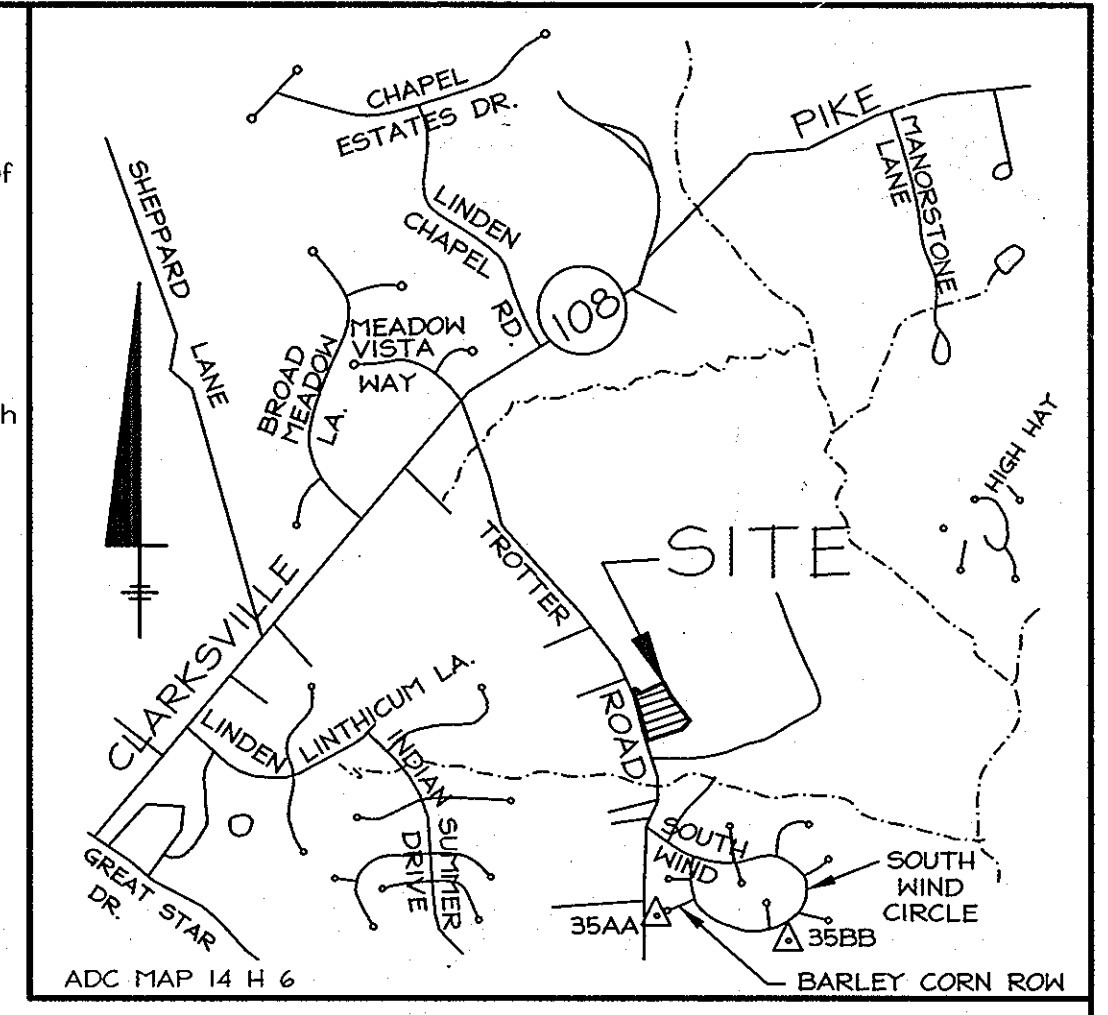
- Howard County Control Station 35AA Elevation = 431.612 NAD 83 Coordinates: N560767.727 E1335483.841  
Standard stamped disc set on a 3' deep column of concrete located 86.2' South of the two story dwelling known as #6523 Barley Corn Row and 66' ± 45' from 3' Pine trees.
- Howard County Control Station 35BB Elevation = 394.974 NAD 83 Coordinates: N560790.413 E1336537.268  
Standard stamped disc set on a 3' deep column of concrete located on the South side of South Wind Circle, 83.4' from a fire hydrant at the Pasty Top Path intersection and 34.7' from the face of curb.

**EASEMENT LEGEND**



**GENERAL NOTES:**

- The subject property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan and per Comp-Lite Zoning Regulations dated 7/28/06.
- All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
- Project Background:  
Location: Clarksville  
Tax Map Parcel: 198  
Grid: 3  
Election District: 5th  
Current Plat Reference: Plat #19254  
4. The boundary shown hereon is based on a field run boundary by LDE, Inc. dated December, 2005.  
5. The topography shown hereon was field run by LDE, Inc. in July, 2005.  
6. Horizontal and Vertical Datums are related to the Maryland State Plane Coordinate System (NAD 83) as projected from Howard County Control Stations No. 35AA and 35BB.  
7. Any damage to Public "Right-of-Ways" or paved public roads shall be repaired immediately at the contractors expense in accordance with the Howard County Standards and Specifications.  
8. The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.  
9. There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.  
10. Site Analysis Data:  
a. Total Project Area: 4.6040 Acres  
b. Area of Plan Submission: 4.6040 Acres  
c. Limit of Disturbed Area: 1.35 Acres  
d. Present Zoning Designation: R-20  
e. Proposed Site and Structure Use: 3' 9FD Houses, 1 Existing  
f. Building coverage of site: 9600 s.f. (0.22 Ac), 4.8 % of site area  
g. Applicable DPZ File References: FOG-151, WP07-008  
11. There are no wetlands on this site per a field investigation by LDE, Inc. dated July, 2005 (FOG-151).  
12. In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.  
13. The Maintenance Agreement for the shared driveway for Lots 1-3 has been recorded at Liber 10954, Folio 004.  
14. There is an existing dwelling located on Lot 4 to remain. No new buildings, extensions or additions to the existing dwelling are to be constructed at distances less than the Zoning Regulations require.  
15. For flag or pipestem lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipestem and road right-of-way line and not onto the lot driveway.  
16. See Architectural Plans for building dimensions and design details prior to stakout for construction. It shall be the Architect's/Builder's responsibility to provide LDE, Inc. with the most recent set of house plans prior to construction stakout.  
17. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscaping Manual.  
18. Landscaping for Lots 1 thru 4 is provided in accordance with a certified Landscaping Plan (FOG-151) in accordance with Section 16.124 of the Howard County Code and Landscaping Manual.  
19. The open space obligation for these lots has been satisfied by dedication of 0.5479 acres of open space on Lots 5 & 6 to Howard County as part of FOG-151.  
20. No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the required wetlands, streams or their buffers, Forest Conservation Easement areas and 100 Year Floodplain.  
(See General Notes Continued Sheet 2)



**SHEET INDEX**

No.	Title
1	Site Development Plan
2	Sediment and Erosion Control Plan
3	Sediment, Erosion Control and Landscape Details
4	Site Plan, Landscape, Forest Conservation and Stormwater Management Details

**ADDRESS CHART**

Lot No.	Street Address
1	#5649 Trotter Road
2	#5649 Trotter Road
3	#5705 Trotter Road
4	#5711 Trotter Road

**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I further certify that upon completion, a letter of notice, accompanied by an executed one year guarantee of plant materials, and a copy of this plan will be submitted to the Department of Planning and Zoning.

SIGNATURE OF DEVELOPER / BUILDER: *[Signature]* DATE: 10-16-08

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19184, EXPIRATION DATE: 6/30/2011.

SIGNED: BRUCE D. BURTON DATE: 10/16/08

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNED: BRUCE D. BURTON DATE: 10/16/08

**DEVELOPER'S CERTIFICATE**  
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

SIGNED: *[Signature]* DATE: 10-16-08

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*[Signature]* for Peter Biersenon 11/24/08  
COUNTY HEALTH OFFICER DATE: 11/24/08

**REVISIONS**

No.	Date	Description
1	10/26/08	LDE REVISE HOUSE MODEL / LOT GRADING ON LOT 1
2	11/09/08	LDE REVISE HOUSE MODEL / LOT GRADING ON LOT 2
3	6/10/10	LDE RELOCATE DRIVEWAY / LOT GRADING ON LOT 1
4	10/21/11	LDE REVISE HOUSE MODEL / RELOCATE DRIVEWAY / REVISE LOT GRADING LOT 3
5	11/25/11	LDE INC. REVISE T-TURN / RELOCATE DRIVEWAY / SHOW EXISTING PAVEMENT LOT 1, 2, / REMOVE SEPTIC EASEMENTS

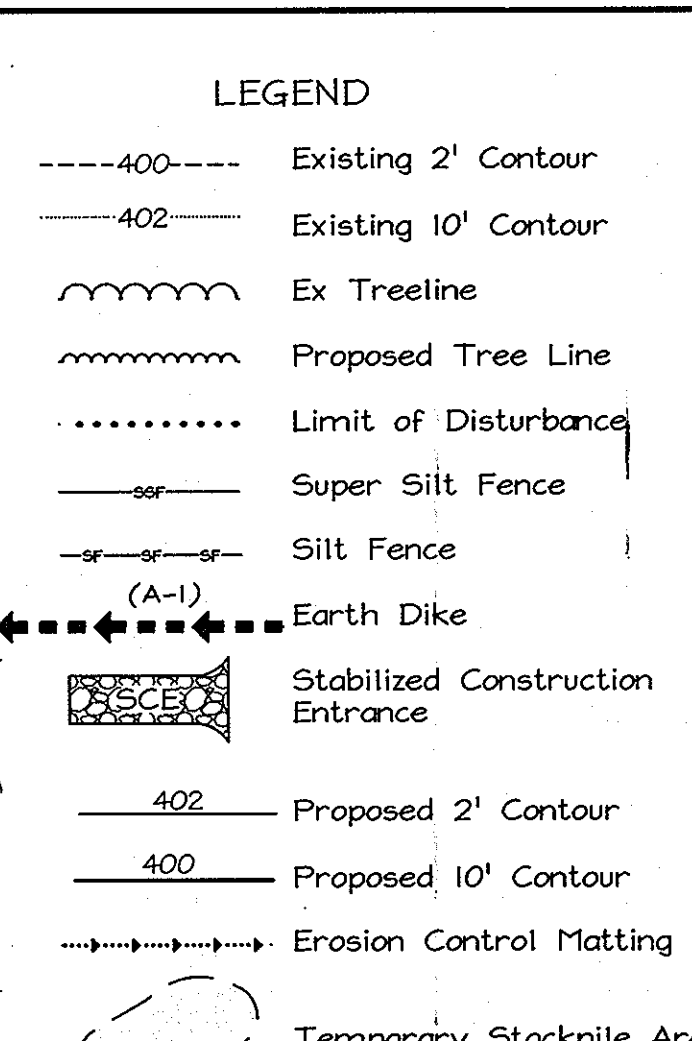
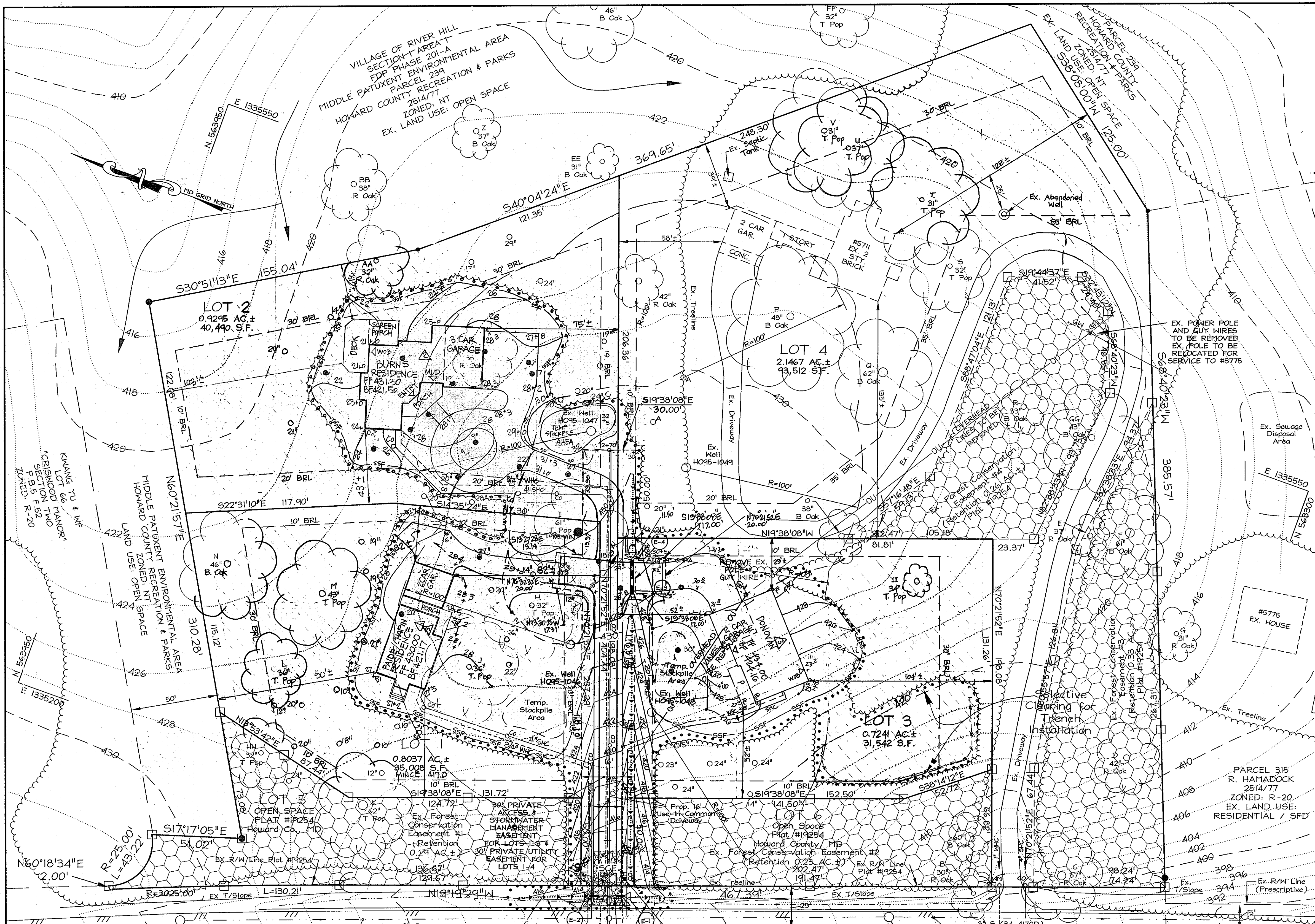
**WELL AND SEPTIC NOTES LOT 1, LOT 2, LOT 3**  
THE EXISTING WELL ON THIS LOT WILL BE RETAINED FOR USE IN A GEOTHERMAL HEATING/COOLING SYSTEM. PUBLIC WATER AND SEWER IS PROVIDED TO THIS LOT BY HOUSE CONNECTIONS FROM COM #34-4170D. THE EXISTING SEPTIC EASEMENT / AREA IS NULL AND VOID IN ACCORDANCE WITH NOTE #40 ON SHEET 2

**LDE Inc.**  
Engineers, Surveyors, Planners  
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045  
(410)715-1070 - (301)596-3424 - FAX (410)715-9540

DESIGNED	SCALE
BDB	1"=30'
DRAWN	DRAWING
STB	1 of 4
CHECKED	JOB NO.
BDB	05-002.1
DATE	FILE NO.
10/2008	SDP08-121

**OWNER:** ROBERT & MICHON SEMON  
7520 Main Street, Suite 204  
Sykesville, MD 21784  
410-783-3563





- LEGEND**
- 400--- Existing 2' Contour
  - 402--- Existing 10' Contour
  - Ex Treeline
  - Proposed Tree Line
  - Limit of Disturbance
  - Super Silt Fence
  - Silt Fence
  - (A-1) Earth Dike
  - Stabilized Construction Entrance
  - 402--- Proposed 2' Contour
  - 400--- Proposed 10' Contour
  - Erosion Control Matting
  - Temporary Stockpile Area
- GENERAL NOTES CONTINUED:**
- The Contractor or Developer shall contact the Construction Inspection Division 24 hours in advance of commencement of work at (410) 315-1880.
  - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work being done.
  - Driveways shall be provided prior to residential occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:
    - Width- 12' (16' serving more than one residence);
    - Surface - 6" of compacted crusher run base with tar and chip coating (1-1/2" min.);
    - Geometry - Max. 14% grade, max. 10% grade change minimum 45 ft. radius;
    - Structures (culverts/bridges)-capable of supporting 25 gross tons (H25 loading);
    - Drainage Elements- capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface;
    - Maintenance - sufficient to insure weather use.
  - These lots will utilize interim Private Sewage Disposal and Private Water Systems (see notes 37 & 38). Future Public water connections are provided for these lots via Water Contract No. 34-4170-D. Future public sewer connection are provided for these lots via Sewer Contract No. 34-4170-D. The future water and sewer connections from the edge of the easement to the proposed dwelling will be installed under separate permits by the builder's plumber.
  - Stormwater management for this subdivision will be met via the disconnection, environmentally sensitive development and grass channel credits. Timber check dams will be used in the grass swale along the use-in-common driveway.
  - All fill shall be rolled to a minimum degree of compaction of 95% of the dry unit weight as determined by AASHTO T-100.
  - Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes.
  - Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
  - The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
  - See sheet 3 for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Perimeter Summary.
  - The forest conservation obligation for this project has been satisfied with the placement of 111 acres of Forest Conservation Easement (Retention) and payment of a fee-in-lieu in the amount of \$27,780.00 for a 1.0 acre of reforestation obligation as part of F06-151.
  - This plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 effective October 2nd, 2003. Development or construction of this Parcel must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition application, or building permit application.
  - No clearing of existing vegetation is permitted within the landscaped area; however, landscape maintenance is authorized.
  - This plan is subject to WF07-008. On 10/20/06 the Planning Director approved the request to waive Section 16.12C.4-4.11b which prohibits Floodplain, Wetland, Streams, their Buffers and Forest Conservation Easements on Lots (Lot-4) or Parcels less than 10 acres in size, subject to the following conditions:
    - Forest Conservation signs must be posted along the entire perimeter of the forest conservation easements.
    - If trees are removed during the removal of the overhead power lines, supplemental plantings will be required. This will be determined when the site is inspected for compliance with the approved Forest Conservation Plan.
    - The waiver petition number and its conditions of approval must be added to the plan.
  - For driveway entrance details refer to the Howard County Design Manual, Volume IV, Standard Detail R-6.06.
  - The lots shown herein comply with the minimum lot area and the ownership width as required by the Maryland State Department of the Environment.
  - Interim individual on-site sewage disposal systems may be utilized in the subdivision for a maximum of one (1) year after an adequate community sewer system becomes available.
  - Interim individual water wells may be utilized in the subdivision for a maximum of one (1) year after an adequate community water system becomes available.
  - The existing overhead utility lines, support poles and guy wires running through Lots 3 and 4 will be removed. All electrical and telephone service to Lots 1-4 will be placed underground. The dwelling located at #5775 Trotter Road has existing underground telephone service and overhead electric service. See Developers Request Ref #R604H23741 and DGE Preliminary Engineering Drawing dated 10/25/06 for relocation of on-site utilities from overhead to underground service and relocation of Service Pole to #5775.
  - This area designates a Private Sewage Easement of at least 10,000 square feet as required by the Maryland State Department of the Environment for individual sewage disposal. Improvements of any nature in this area are restricted until public sewage is available. These easements shall become null and void upon connection to a public system. The County Health Officer shall have the authority to grant adjustments to the private sewage easement. Recordation of a modified sewage easement shall not be necessary.
  - All scenic road standards are in accordance with Section 16.125 of the Howard County Subdivision and Land Development Regulations as provided under F06-151.
  - The grading shall be in conformance with the grading shown on this plan otherwise stormwater management may be required to be re-evaluated as part of the Grading Certification. The shared Use-In-Common driveway shall be constructed with a 3% cross slope to the adjacent swale.
  - Any proposed Septic System utilizing unequal trench lengths shall be required to have a Low Pressure Dose System.
  - The proposed dwellings on Lot 1 and 2 and the existing dwelling on Lot 4 shall be limited to a maximum of 4 bedrooms and the proposed dwelling on Lot 3 shall be limited to a maximum of 4 bedrooms for private septic systems.
  - The modified sewage disposal easements for Lots 2 and 4 were approved by the Health Department on 9/22/08. See Revised Parcelation Certification Plan Revision 2.

ADDRESS CHART	
Lot No.	Street Address
1	#5693 Trotter Road
2	#5699 Trotter Road
3	#5705 Trotter Road
4	#5711 Trotter Road

**DEVELOPER'S / BUILDER'S CERTIFICATION**  
 I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I further certify that upon completion, a letter of notice, accompanied by an executed one year guarantee of plant materials, and a copy of this plan will be submitted to the Department of Planning and Zoning.

*John F. Y...* 10-16-08  
 SIGNATURE OF DEVELOPER / BUILDER DATE

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 11614, EXPIRATION DATE: 6/30/09.

*Bruce D. Burton* 10/16/08  
 SIGNED, BRUCE D. BURTON DATE

**ENGINEER'S CERTIFICATE**  
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

*Bruce D. Burton* 10/16/08  
 SIGNATURE OF ENGINEER DATE

**DEVELOPER'S CERTIFICATE**  
 I HAVE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

*John F. Y...* 10-16-08  
 SIGNATURE OF DEVELOPER DATE

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

*Brian Peter Brileman* 11/24/08  
 COUNTY HEALTH OFFICER DATE

REVISIONS		
No.	Date	Description
1	10/26/08	LDE REVISE HOUSE MODEL / LOT GRADING, LOD ON LOT 1
2	11/03/08	LDE REVISE HOUSE MODEL / LOT GRADING, LOD ON LOT 2, NOTES 24, 27 & 38
3	4/23/2011	LOE, INC. REVISE HOUSE MODEL LOT 3 / LOT GRADING, LOD ON LOT 3
4	4/25/2011	LOE, INC. REVISE TURN AROUND / CULVERT GRADING / REMOVE SEPTIC EASEMENTS / REMOVE LOTS 4 & 5.

**LDE Inc.**  
 Engineers, Surveyors, Planners  
 9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045  
 (410) 715-1070 - (301) 296-3424 - FAX (410) 715-9540

DESIGNED	BDB	SEDIMENT AND EROSION CONTROL PLAN	SCALE	1"=30'
DRAWN	STB	PROPOSED SINGLE FAMILY DETACHED UNITS ON LOTS 1-3 AND EXISTING DWELLING ON LOT 4 (FOR GRADING PURPOSES ONLY)	DRAWING	2 of 4
CHECKED	BDB	TAX MAP 35 GRID 3 P/O PARCEL 198 5th ELECTION DISTRICT HOWARD COUNTY, MD	JOB NO.	05-002.1
DATE	10/2008	DEVELOPER / BUILDER: SASLOW HOMES, INC. 7520 Main Street, Suite 204 Sykesville, MD 21784 410-781-4844	OWNER: ROBERT & MICHON SEMON P.O. Box 532 Clarksville, MD 21029 443-383-3363	FILE NO. SDP08-121



HOWARD SOIL CONSERVATION DISTRICT  
STANDARD SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction, (313-1855).
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
  - 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1.
  - 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL (Section G) for permanent seeding, sod, temporary seeding, and mulching. Temporary stabilization with mulch alone can only be done when recommended seeding does not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:
 

Total Area of Site	4,604 Acres
Area Disturbed	1.23 Acres
Area to be roofed or paved	0.37 Acres
Area to be vegetatively stabilized	1.06 Acres
Total Cut	100 Cu. Yds.
Total Fill	100 Cu. Yds.

Offsite waste/borrow area location N/A

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which can be back filled and stabilized within one working day, whichever is shorter.

HOWARD SOIL CONSERVATION DISTRICT  
PERMANENT SEEDING NOTES

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

- SEEDBED PREPARATION:**  
Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:**  
In lieu of soil test recommendations, use one of the following schedules:  
1) PREFERRED Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (9 lbs/1000sq. ft.).  
2) ACCEPTABLE Apply 2 tons per acre dolomitic limestone (92 lbs/1000sq. ft.) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

- SEEDING**  
For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs per acre (1.4 lbs/1000sq. ft.) of Kentucky 31, Tall Fescue and 2 lbs. per acre (.05 lbs/1000sq. ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by:  
Option (1) - 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring.  
Option (2) - Use sod.  
Option (3) - Seed with 60 lbs. per acre Kentucky 31 Tall Fescue and mulch 2 tons / acre well anchored straw.

- MULCHING**  
Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.
- MAINTENANCE**  
Inspect all seeding areas and make needed repairs, replacements and reseeding.

Category	Adjacent to Roadways		Adjacent to Perimeter Properties	
	3	1	2	A
Perimeter	3	1	2	A
Landscape Type	B	A	A	A
Linear Feet of Roadway Frontage/Perimeter	499	405	276	
Credit for Existing Vegetation (Yes, No, Linear Feet) (Describe below if needed)	YES 499 L.F.	YES 405 L.F.	YES 276 L.F.	
Credit for Wall, Fence or Berm (Yes, No, Linear Feet) (Describe below if needed)	---	---	---	
Number of Plants Required Shade Trees Evergreen Trees Shrubs	0	0	0	
Number of Plants Provided Shade Trees Evergreen Trees Other Trees (2:1 substitution) Shrubs (10:1 substitution) (Describe plant substitution credits below if needed)	N/A	N/A	N/A	

**DEVELOPER'S / BUILDER'S CERTIFICATION**  
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I further certify that upon completion, a letter of notice, accompanied by an executed one year guarantee of plant materials, and a copy of this plan will be submitted to the Department of Planning and Zoning.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT

Signature: [Signature] DATE: 10-16-08

**PROFESSIONAL CERTIFICATION**  
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19184, EXPIRATION DATE: 6/30/09.

Signature: Bruce D. Burton DATE: 10/16/08

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Signature: Bruce D. Burton DATE: 10/16/08

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Signature: [Signature] DATE: 10-16-08

HOWARD SOIL CONSERVATION DISTRICT  
TEMPORARY SEEDING NOTES

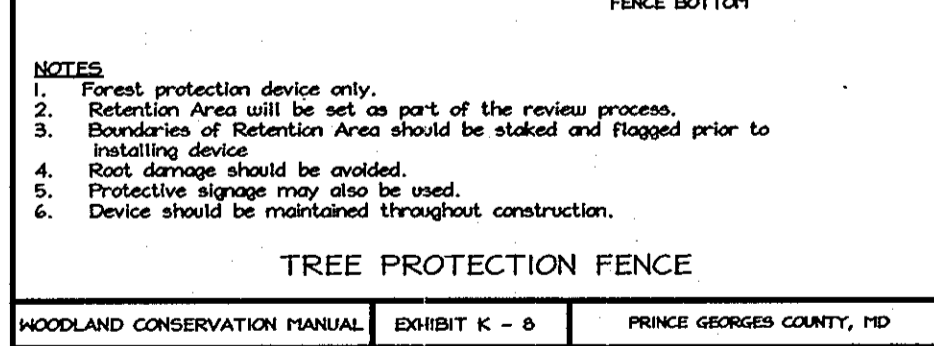
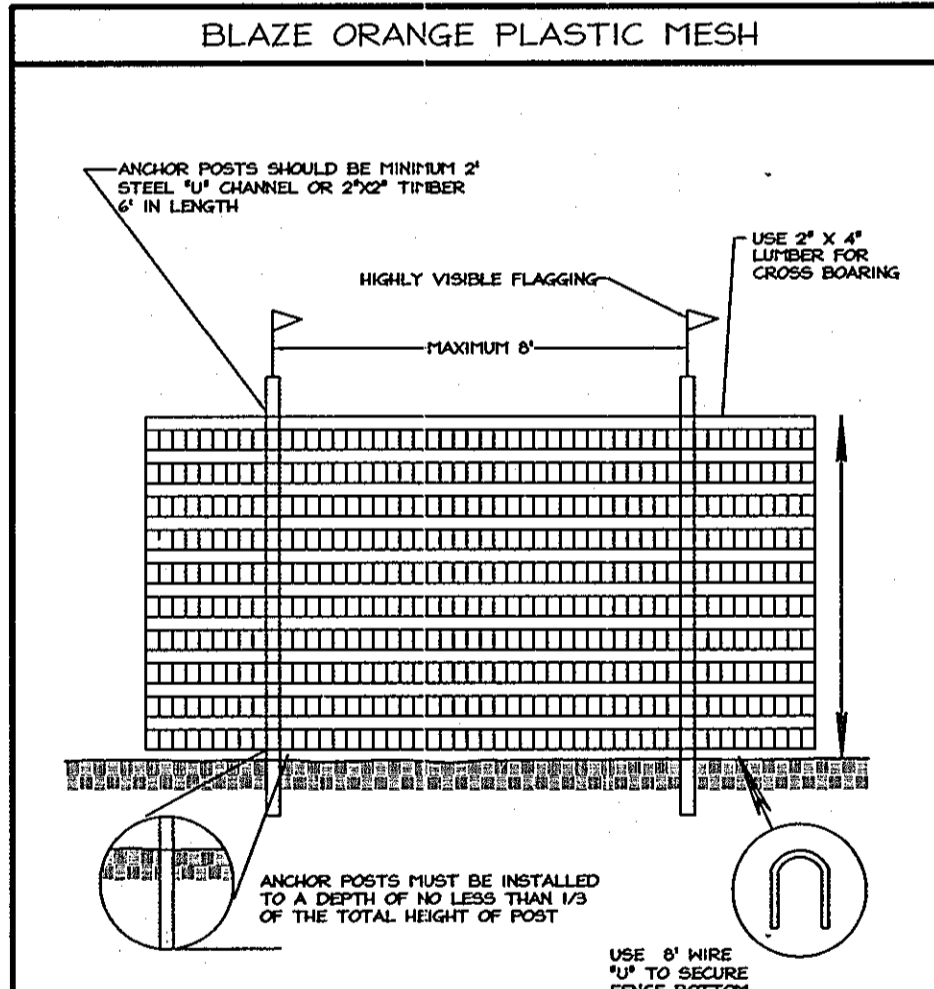
- Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.
- SEEDBED PREPARATION:**  
Loosen upper three inches of soil by raking, disking, or other acceptable means before seeding, if not previously loosened.
- SOIL AMENDMENTS:**  
Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000sq. ft.).
- SEEDING**  
For periods March 1 thru April 30, and from August 15 thru October 15 seed with 2-12 bushels per acre of annual rye (3.2 lbs/1000sq. ft.). For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs/1000sq. ft.). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.
- MULCHING**  
Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000sq. ft.) of unrattled weed free small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000sq. ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre (8 gal/1000sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

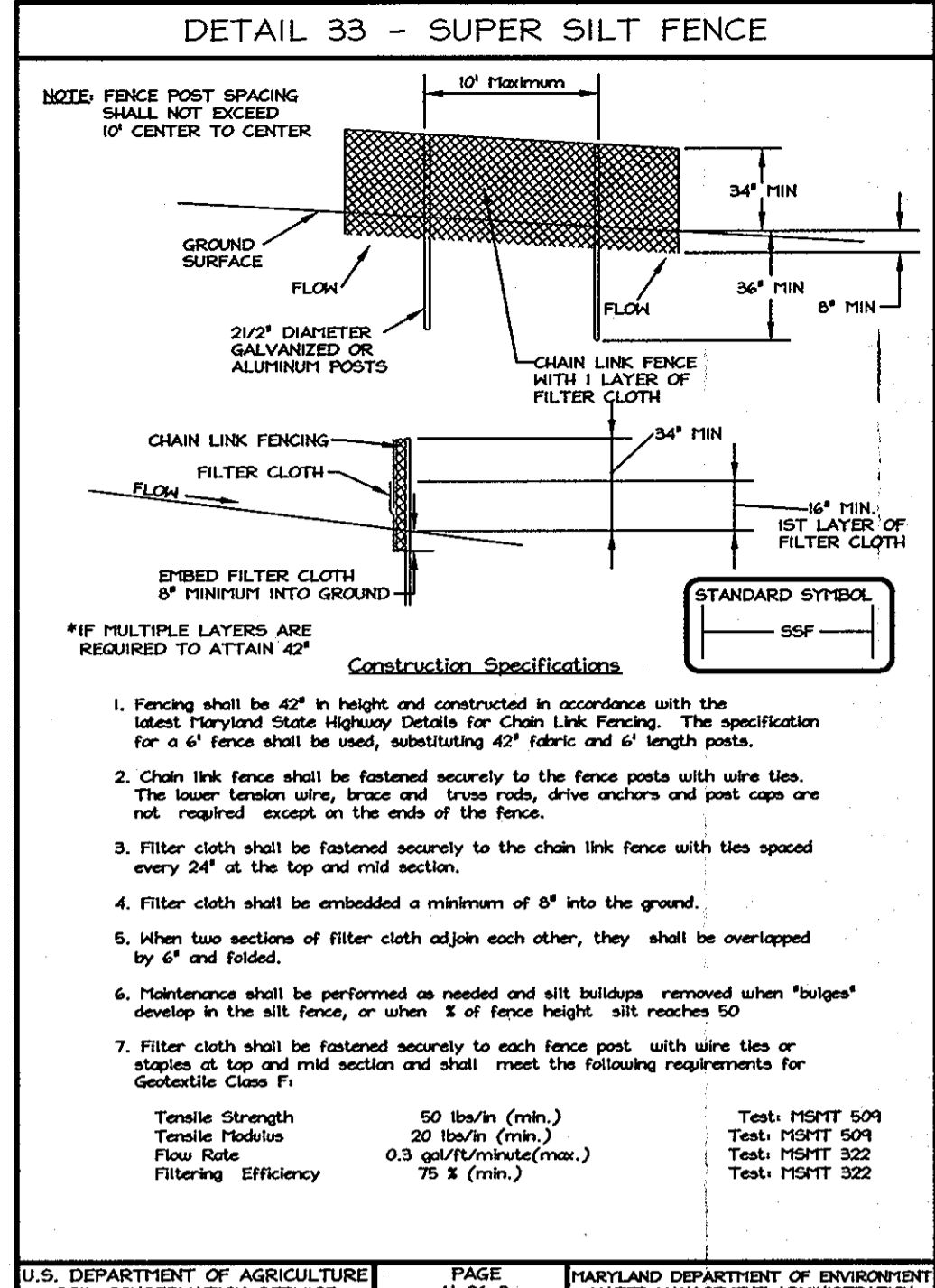
SEQUENCE OF CONSTRUCTION:

- Obtain Grading Permit 1 Day
  - Notify the Howard County Dept. of Inspections, Licenses and Permits at least 24 hours prior to starting work. 1 Day
  - Construct Stabilized Construction Entrance. Immediately stabilize to the graded area for E-1 & E-2 within the Trotter Rd. Right of Way with sod. 1 Day
  - Install Super Silt Fence as shown hereon. 3 Days
  - Clear & grub site to subgrade. 5 Days
  - Begin excavation for house foundation and begin house construction. Install water and sewer house connections to each lot. 60 Days
  - The Contractor shall inspect and provide necessary maintenance on the sediment and erosion control structures shown hereon after each rainfall and on a daily basis. Daily
  - Remove sediment from roadways and dress Stabilized Construction Entrance as required. Maintenance
  - Fine grade and stabilize with permanent seeding mixture and straw mulch. Install individual driveway and house walk. 5 Days
  - After all disturbed areas have been stabilized and permission has been granted by the Sediment Control Inspector. 9 Days
  - With permission from the Sediment Control Inspector, remove all sediment and erosion control measures and stabilize any remaining disturbed areas with permanent seeding mixture and straw mulch. 5 Days
- Total Time: 90 Days

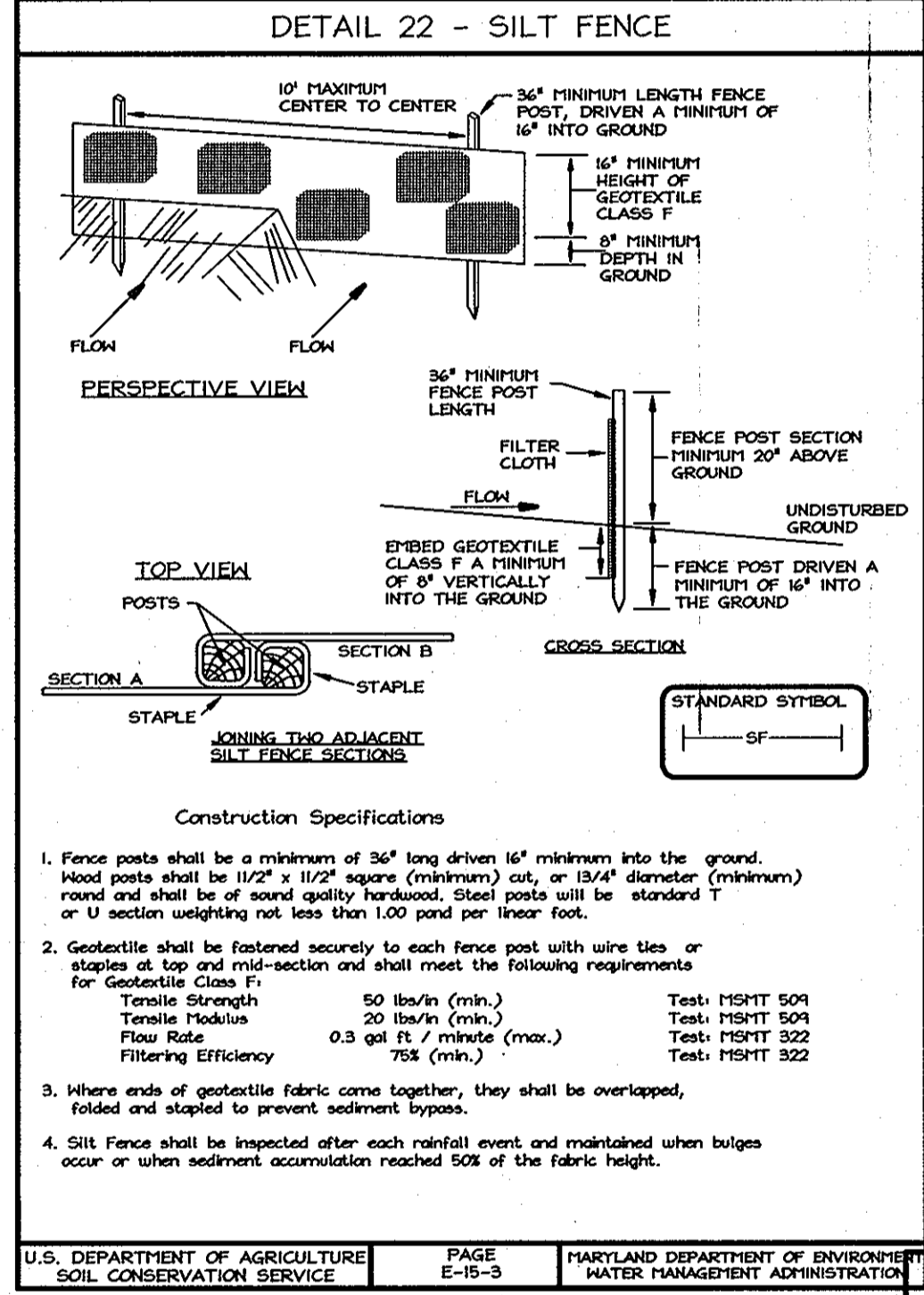
Note: The grading shall be in accordance with the grading shown on sheet 1. otherwise stormwater management may be required to be re-evaluated as part of the Grading Certification. The shared Use-In-Common driveway shall be constructed with a 3% cross slope to the adjacent swale.



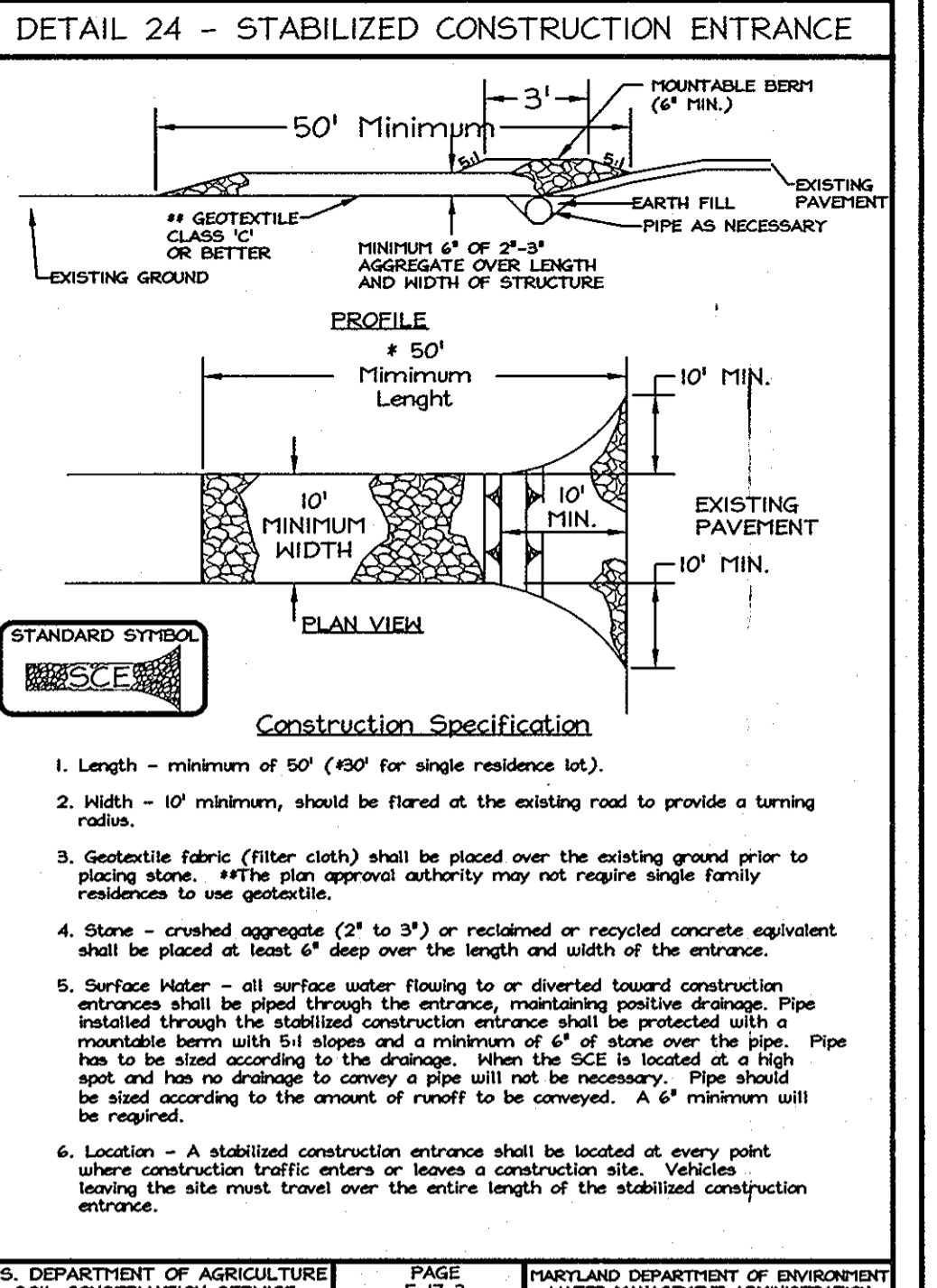
Perimeter No.	Perimeter Length	Buffer Type	Adjacent Land use
1	405 L.F.	A	SFD/OPEN SPACE
2	276 L.F.	A	OPEN SPACE
3	499 L.F.	B	SCENIC ROAD



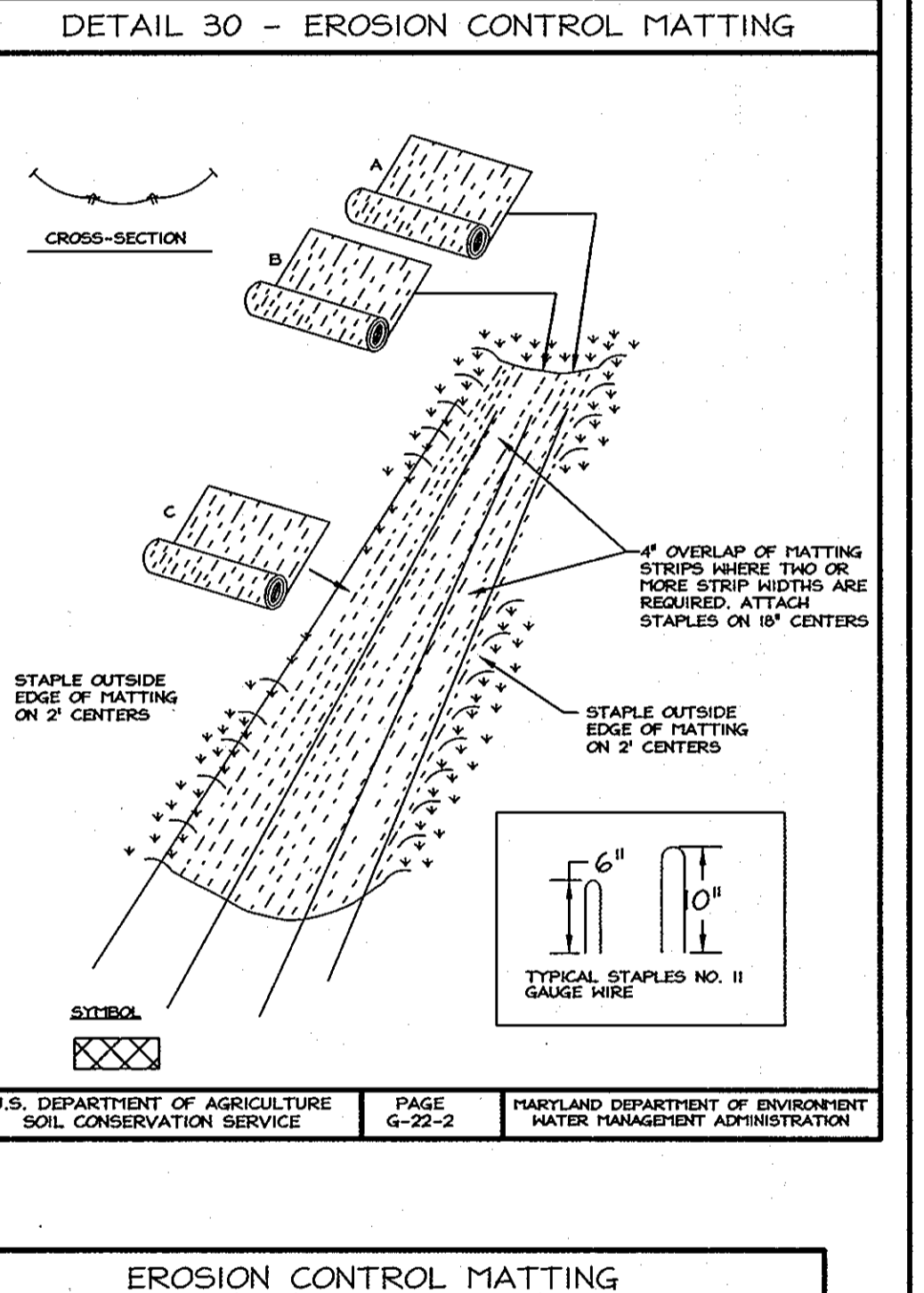
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-20-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE G-22-2a MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

INTERIM SEPTIC SYSTEM DATA			
SYSTEM COMPONENT	LOT 1	LOT 2	LOT 3
1) Inv. @ Foundation Wall	422.0	421.7	422.0
2) Septic Tank	1500 Gallon	2000 Gallon	1500 Gallon
Size			
Ground @ Tank Top	426.7	424.0	423.5
Inv. In	421.8	421.3	418.8
Inv. Out	421.5	421.0	418.5
3) Distribution Box			
Ground @ Box Top	426.7	423.8	420.0
Invert	421.4	420.8	417.0

NOTE: 1. Trench design may be revised based on site conditions present at time of installation.  
2. See Notes #43 and #44 on sheet 2 regarding use of low pressure dose system and maximum bedroom limitations.

No.	Date	Description
1	10/26/09	LDE REMOVE LOT 1 INTERIM SEPTIC SYSTEM DATA
2	12/23/09	LDE REMOVE LOT 2 INTERIM SEPTIC SYSTEM DATA, REVISE SITE ANALYSIS
3	4/28/2011	LDE INC REMOVE LOT 3 INTERIM SEPTIC SYSTEM DATA, REVISE SITE ANALYSIS

**LDE Inc.**  
Engineers, Surveyors, Planners  
9250 Ramsey Road, Suite 106 Columbia, Maryland - 21045  
(410)715-1070 - (301)526-3424 - FAX (410)715-9540

DESIGNED: BDB  
DRAWN: STB  
CHECKED: BDB  
DATE: 10/2008

SCALE: 1"=30'  
DRAWING: 3 of 4  
JOB NO.: 05-002.1  
FILE NO.: SDP08-121

SEDMENT, EROSION CONTROL AND LANDSCAPE DETAILS  
SEMION PROPERTY  
LOTS 1-4

PROPOSED SINGLE FAMILY DETACHED UNITS ON LOTS 1-3 AND EXISTING DWELLING ON LOT 4 (FOR GRADING PURPOSES ONLY)

TAX MAP 35 GRID 3 P/O PARCEL 198  
5th ELECTION DISTRICT HOWARD COUNTY, MD  
Previous Submittals: MP07-008, F06-151

DEVELOPER / BUILDER: BASLOW HOMES, INC.  
7520 Main Street, Suite 204 Sykesville, MD 21784  
443-983-3363

OWNER: ROBERT J. HITCHCOCK  
P.O. Box 532 Clarksville, MD 21029  
443-983-3363



