

LEGEND

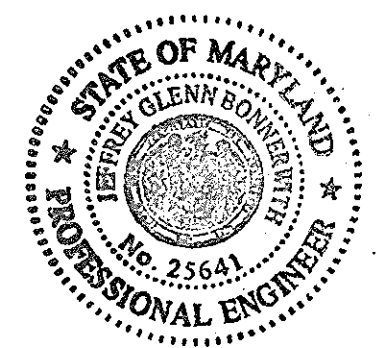
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- EXISTING INDEX CONTOUR
- PROPERTY LINE
- EXISTING PROPERTY LINE
- EX. 24" RCP
- EXISTING STORMDRAIN
- EXISTING CURBLINE
- EXISTING TREELINE
- OVER HEARD UTILITY
- SOILS LINE
- B.R.L. LINE
- USE SET BACK LINE
- EXISTING SIGN
- EXISTING LIGHT POST
- EXISTING ASPHALT PAVING TO BE REMOVED

SOILS SUMMARY CHART

| SYMBOL | NAME | GROUP |
|--------|-----------|-------|
| G-B2 | GLENVILLE | B |
| MIC3 | MANOR | B |
| CHE2 | CHESTER | B |
| GIB2 | GLENEIG | B |
| GIC2 | GLENEIG | B |

MATCHLINE SEE SHEET 3 FOR CONTINUATION

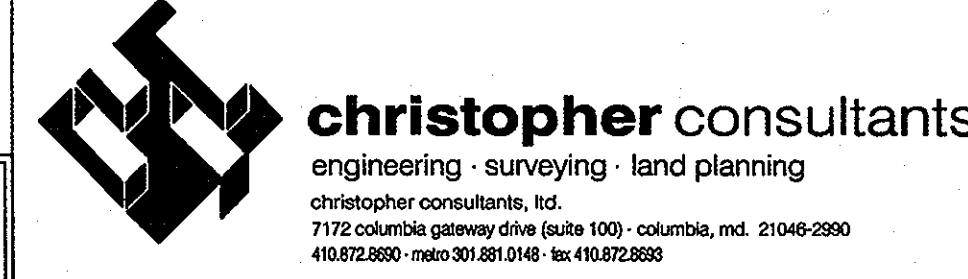
AS-BUILT CERTIFICATION
 THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.
[Signature] 2013-01-10
 DATE



Miss Utility
 Service Protection Center
 CALL TOLL FREE
 1-800-257-7777

APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/17/10
 Chief, Division of Land Development
[Signature] 4/22/10
 Chief, Development Engineering Division
[Signature] 4/23/10
 Director, Department of Planning and Zoning

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION
 OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 1001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 730 - 6004
 FAX: (410) 997 - 5489
 CONTACT: AL EDWARDS



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

4/15/10
 DATE

[Signature]

ADDRESS CHART

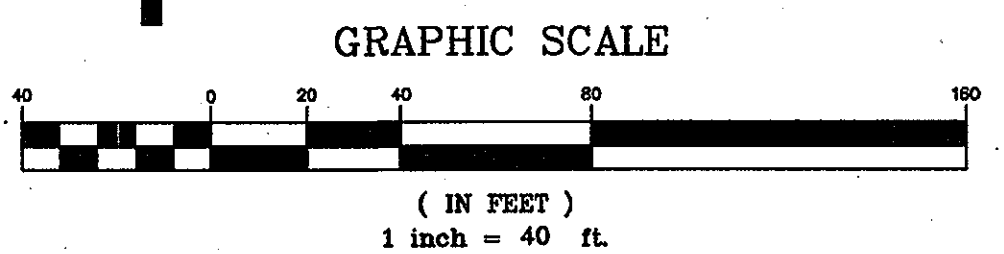
| | |
|------------|--|
| LOT/PARCEL | STREET ADDRESS |
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|------------------------------|----------------|-------------------|
| PROJECT NAME | LOT/PARCEL NO. | CENSUS TRACT |
| COLUMBIA PRESBYTERIAN CHURCH | PARCEL 223 | 6054.01 |
| PLAT NO. | GRID NO. | TAX MAP |
| --- | 14 | R-20 |
| WATER CODE | SEWER CODE | ELECTION DISTRICT |
| --- | --- | 5 |

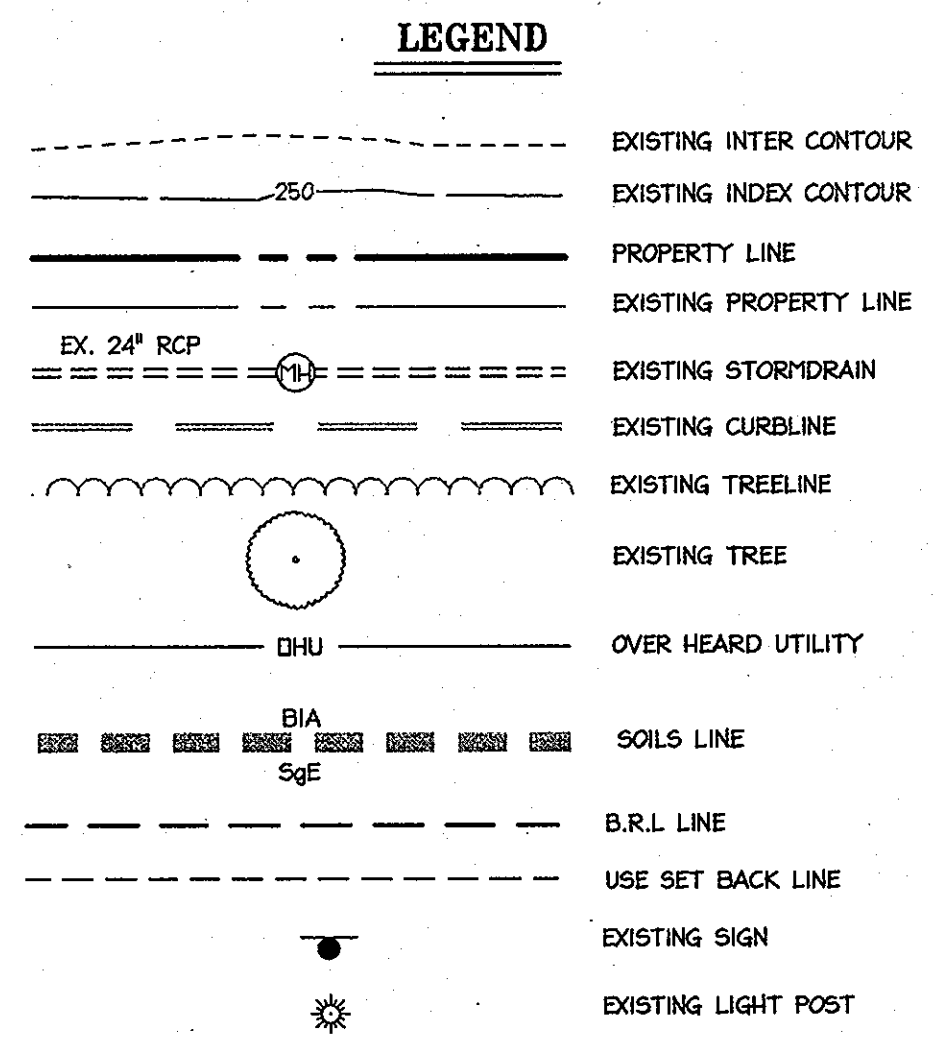
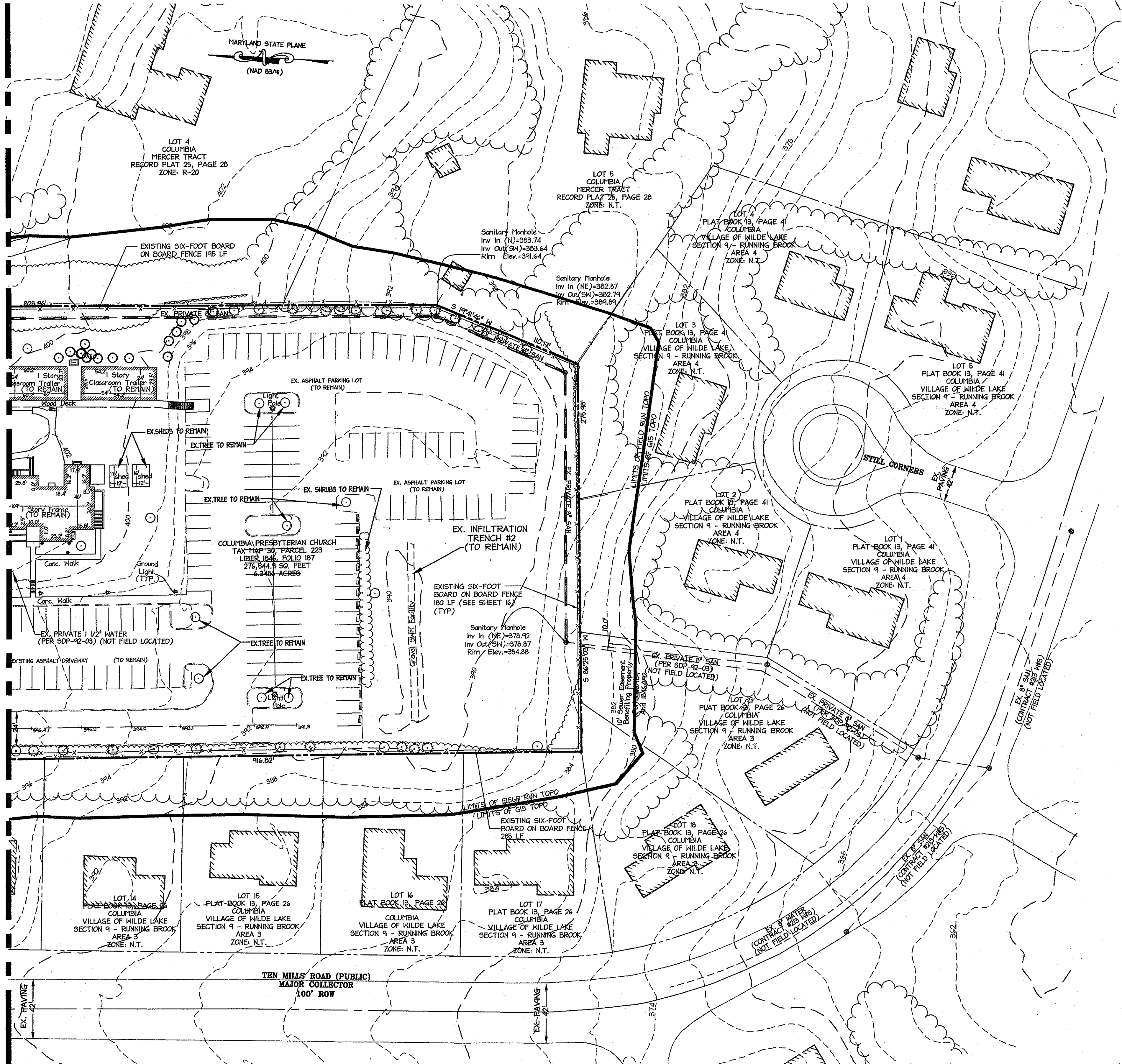
TITLE: AS-BUILT EXISTING CONDITIONS AND DEMOLITION PLAN

| | | |
|--------------|------------------|--------------------|
| DESIGN: CRH | SCALE: 1" = 40' | PROJECT: 080801.00 |
| DRAWN: SGA | DATE: APRIL 2010 | |
| CHECKED: RCE | APPROVED: RCE | |



MDC-878(SDP)

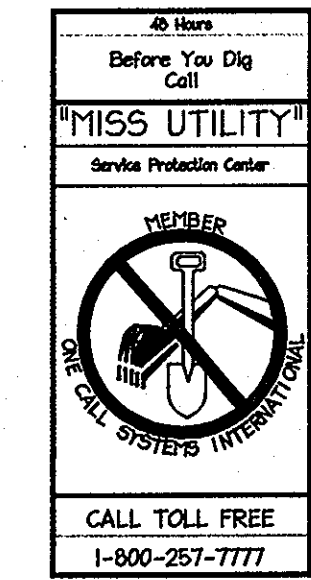
MATCHLINE SEE SHEET 2 FOR CONTINUATION



SOILS SUMMARY CHART

| SYMBOL | NAME | GROUP |
|--------|-----------|-------|
| GnB2 | GLENVILLE | B |
| MIC3 | MANOR | B |
| ChB2 | CHESTER | B |
| GIB2 | GLENEIG | B |
| GIC2 | GLENEIG | B |

AS-BUILT CERTIFICATION
 THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET
Robert J. ... 2013-01-10
 DATE

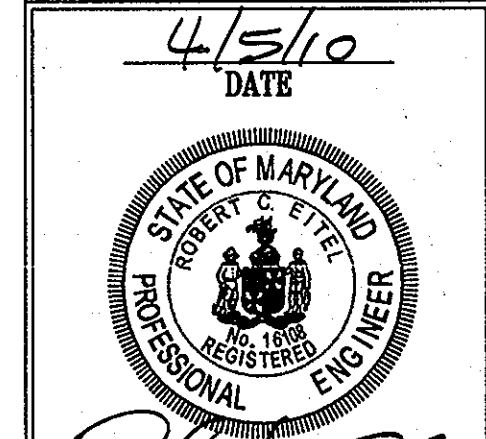


APPROVED: DEPARTMENT OF PLANNING AND ZONING
Robert J. ... 4/28/10
 Chief, Division of Land Development
... 4/28/10
 Chief, Development Engineering Division
... 4/28/10
 Director, Department of Planning and Zoning

12-26-12 | AS-BUILT REVISION
 Date No.
COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION
 OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 1001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 730 - 6004
 FAX: (410) 947 - 5494
 CONTACT: AL EDWARDS



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ADDRESS CHART

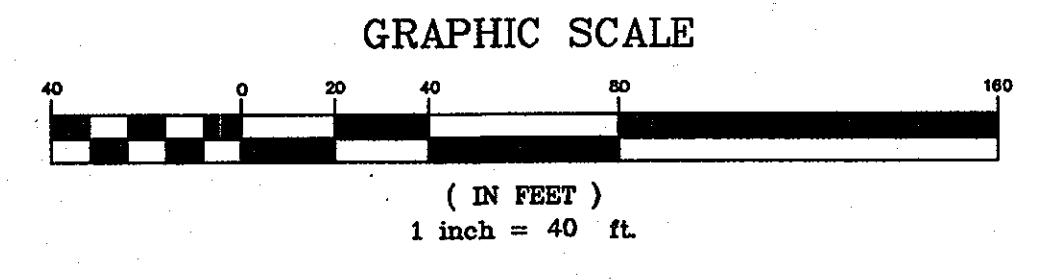
| LOT/PARCEL | STREET ADDRESS |
|------------|---|
| 223 | 1001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|--|------------------------------|-------------------------|
| PROJECT NAME COLUMBIA PRESBYTERIAN CHURCH | LOT/PARCEL NO. PARCEL 223 | CENSUS TRACT 6054.01 |
| PLAT NO. --- | GRID NO. 14 | ZONE R-20 |
| TAX MAP 30 | ELECTION DISTRICT 5 | SEWER CODE --- |

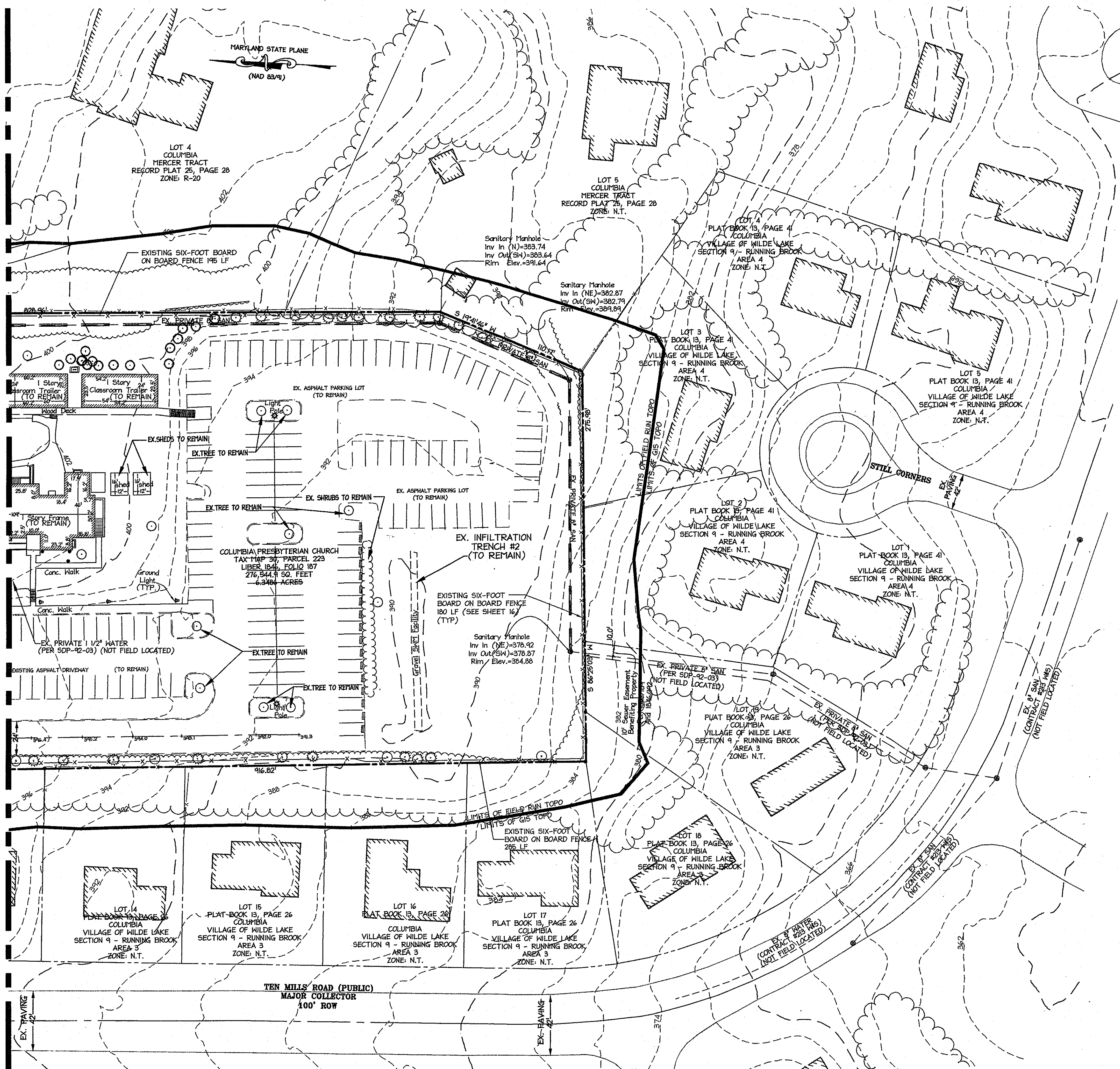
TITLE:
AS-BUILT EXISTING CONDITIONS AND DEMOLITION PLAN

| | | |
|--------------|------------------|--------------------|
| DESIGN: CRH | SCALE: 1"=40' | PROJECT: 080801.00 |
| DRAWN: SGA | DATE: APRIL 2010 | 3 OF 16 |
| CHECKED: RCE | APPROVED: RCE | |



MDC-878(SDP)

MATCHLINE SEE SHEET 2 FOR CONTINUATION



LEGEND

| | |
|--|------------------------|
| | EXISTING INTER CONTOUR |
| | EXISTING INDEX CONTOUR |
| | PROPERTY LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING STORMDRAIN |
| | EXISTING CURBLINE |
| | EXISTING TREELINE |
| | EXISTING TREE |
| | OVER HEARD UTILITY |
| | SOILS LINE |
| | B.R.L. LINE |
| | USE SET BACK LINE |
| | EXISTING SIGN |
| | EXISTING LIGHT POST |

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[Signature] 2013-01-10
 DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/28/10
 Chief, Division of Land Development Date
[Signature] 4/28/10
 Chief, Development Engineering Division Date
[Signature] 4/28/10
 Director, Department of Planning and Zoning Date

12.26.12 1 AS-BUILT REVISION
 Date No.
COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION
OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 1001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 730 - 6204
 FAX: (410) 997 - 5499
 CONTACT: AL EDWARDS



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 4/3/10
 DATE

[Signature]

ADDRESS CHART

| LOT/PARCEL | STREET ADDRESS |
|------------|---|
| 223 | 1001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

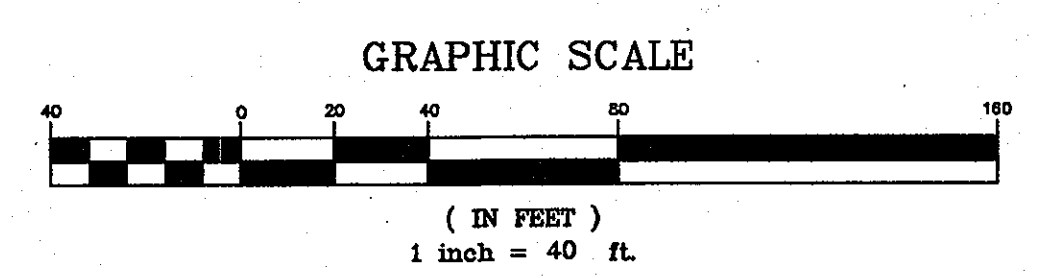
PERMIT INFORMATION CHART

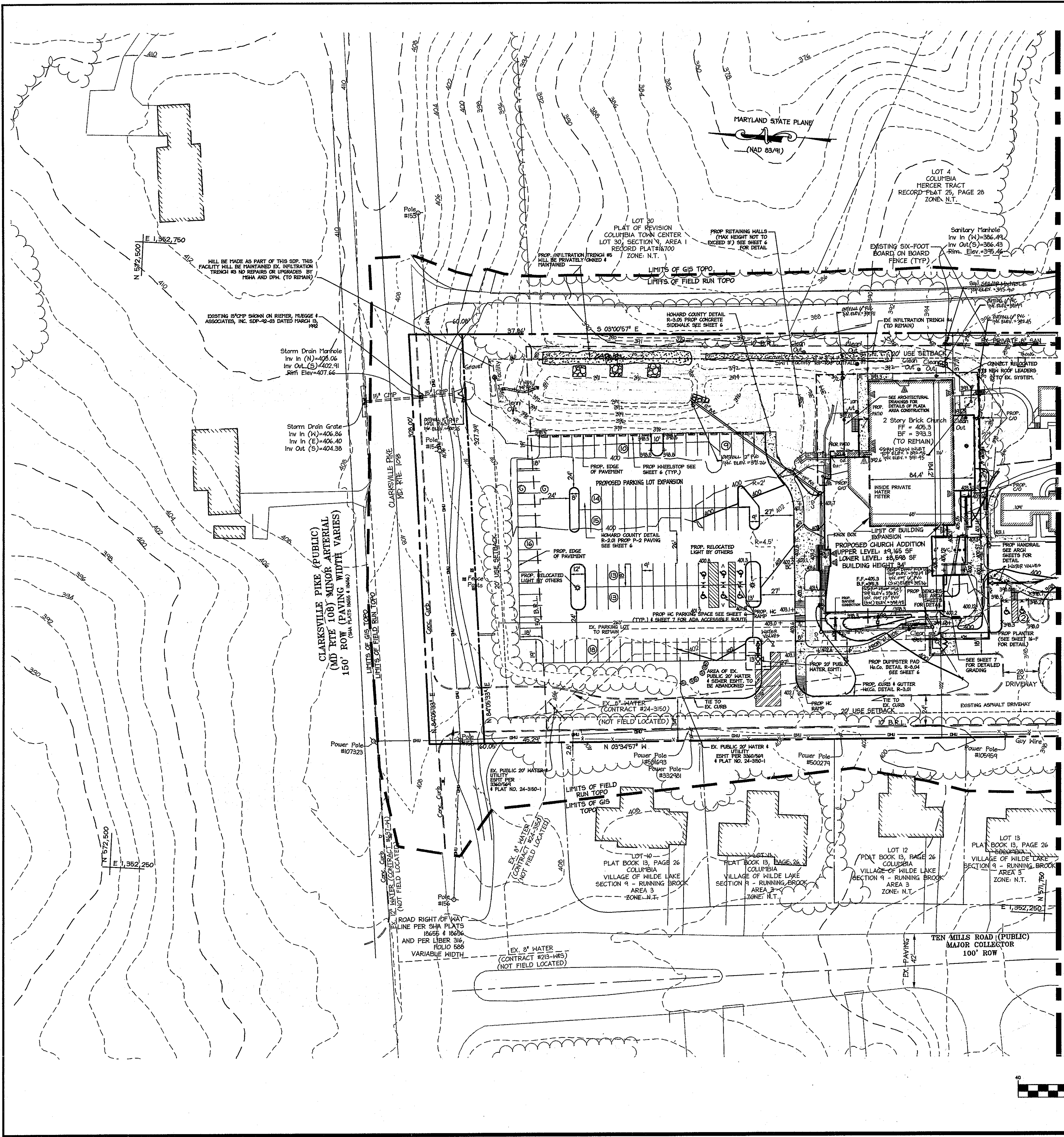
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|--|------------------------------|-------------------------|
| PROJECT NAME COLUMBIA PRESBYTERIAN CHURCH | LOT/PARCEL NO. PARCEL 223 | CENSUS TRACT 6054.01 |
| PLAT NO. --- | GRID NO. 14 | TAX MAP 30 |
| WATER CODE --- | SEWER CODE --- | ELECTION DISTRICT 5 |

TITLE: AS-BUILT EXISTING CONDITIONS AND DEMOLITION PLAN

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|--------------|------------------|--------------------|
| DESIGN: CRH | SCALE: 1"=40' | PROJECT: 080801.00 |
| DRAWN: SSA | DATE: APRIL 2010 | |
| CHECKED: RCE | APPROVED: RCE | |

3 of 16

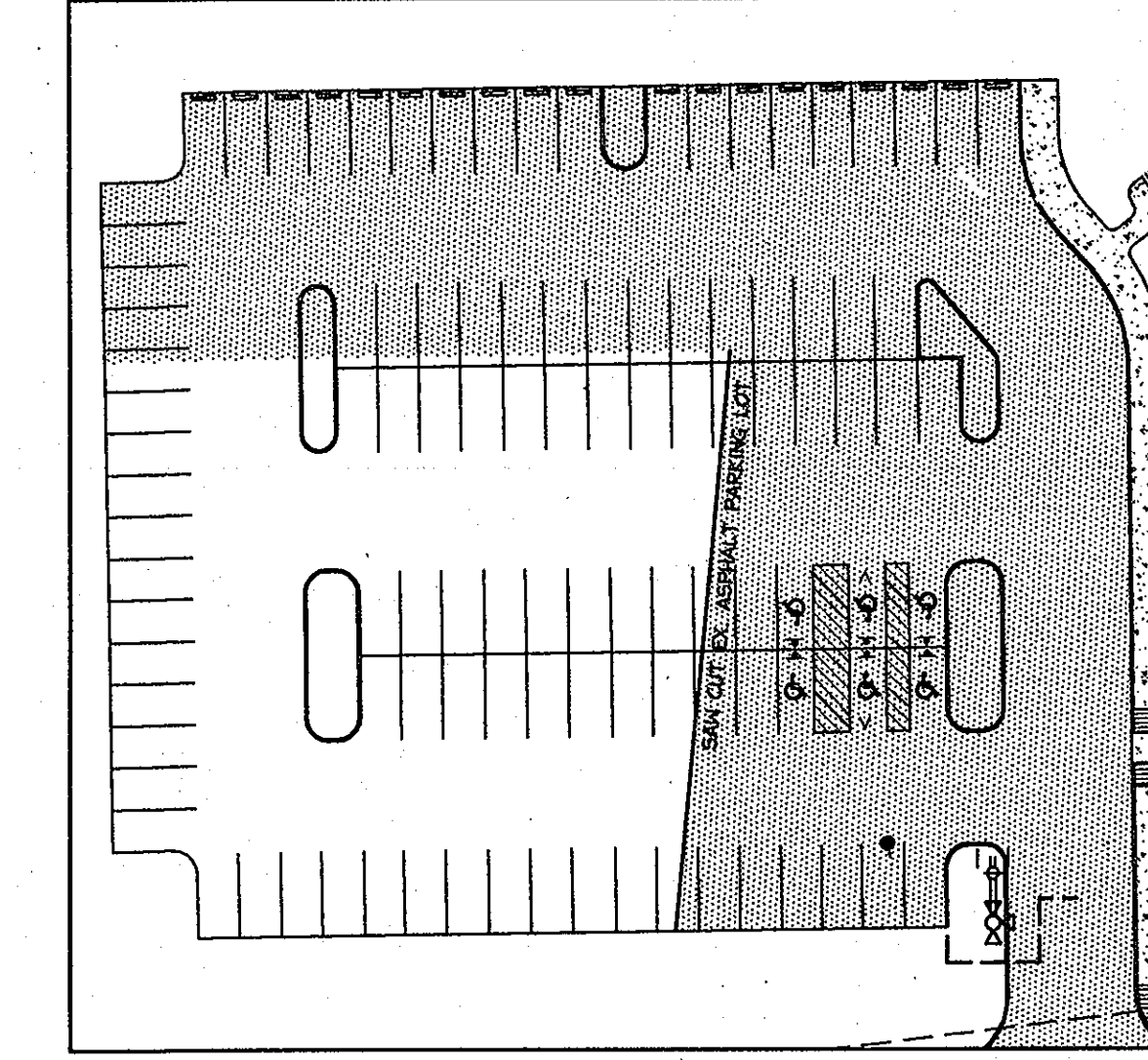




NOTES:

- INFILTRATION TRENCH #4 WILL NEED TO BE CLEANED OUT, REPAIRED, AND RETROFITTED TO MEET THE CURRENT STORMWATER MANAGEMENT DESIGN STANDARDS.
- INFILTRATION TRENCH #1 WILL BE REMOVED. ANY STANDING WATER SHALL BE PUMPED OUT. ALL SEDIMENT LADEN DEBRIS SHALL BE REMOVED FROM THE SITE AND TAKEN TO AN HOWARD COUNTY APPROVED DUMP SITE. THE AREA SHALL BE BACKFILLED PER THE GEOTECH REPORT AND PAVED OVER.
- SOIL BORINGS WILL BE TAKEN TO DETERMINE THE ACTUAL INFILTRATION RATES ON-SITE.
- REFER TO SHEET 13 FOR THE INFILTRATION DETAILS.
- ALL CURBS RADI ARE 5' UNLESS OTHERWISE NOTED.
- ON THE SOUTH & EAST SIDES OF THE BUILDING RELOCATE EX. ROOF DRAIN DOWNSPOUTS TO 5' OUTSIDE OF THE PROPOSED EDGE OF BUILDING. THE ROOF DRAIN WILL NEED TO BE EXTENDED TO CONNECT TO THE CURRENT ROOF DRAIN SYSTEM. A NEW 6" HDPE (OR PVC) PIPE SHALL BE INSTALLED AT 2% TO CONNECT THE ROOF DRAIN FROM THE PROPOSED EXPANSION ON THE NORTH AND EAST SIDES TO INFILTRATION TRENCH #5.
- THE EXISTING CLEANOUTS FOR THE EXISTING OBSERVATION WELLS (WITHIN THE INFILTRATION TRENCHES) SHALL BE LOCATED AND REPAIRED AS PART OF THIS SITE DEVELOPMENT PLAN. THE CONTRACTOR NEEDS TO INSPECT TRENCHES 1, 2, AND 4 AND REPAIR AS NEEDED. EX. INFILTRATION TRENCHES WILL BE MAINTAINED BY MSHA AND HOWARD COUNTY DPM. NO REPAIRS OR UPGRADES WILL BE MADE AS PART OF THIS SUBMISSION.
- REFER TO SHEET 7 FOR GRADING DETAILS (SPOTS) AROUND BUILDING.

PARKING:
 NUMBER OF PARKING SPACES REQUIRED BY HOWARD COUNTY ZONING REGULATIONS: 183 SPACES
 NUMBER OF SEATS IN SANCTUARY: 550 SEATS
 PARKING REQUIRED (1 SPACE/3 SEATS): 183 SPACES
 NUMBER OF PARKING SPACES PROVIDED ON SITE: 262 PARKING SPACES
 NUMBER OF HANDICAP ACCESSIBLE SPACES PROVIDED: 8 (INCL. 2 VAN SPACES)



SAW CUT DETAIL
1" = 40'

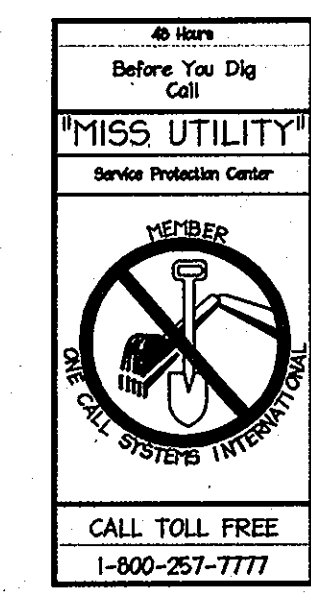
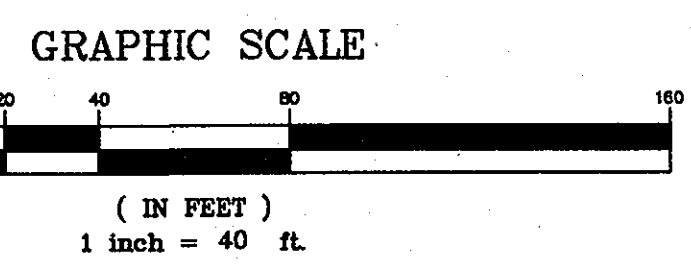
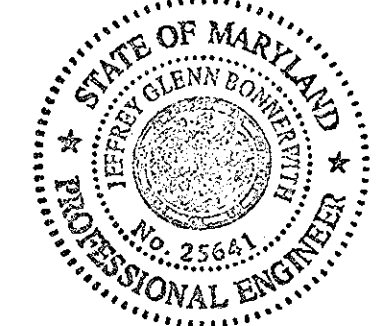
LEGEND

- - - - - 390 EXISTING INTER CONTOURS
- - - - - 400 EXISTING INDEX CONTOURS
- - - - - 240 PROPOSED INTER CONTOURS
- - - - - 250 PROPOSED INDEX CONTOURS
- — — — — PROPERTY LINE
- — — — — EXISTING PROPERTY LINE
- - - - - B.R.L. PROPOSED B.R.L.
- - - - - 20' USE SETBACK PROPOSED USE SETBACK
- - - - - PROP. PERMISSIBLE BUILDING AREA
- - - - - EX. 8" WATER EXISTING WATER
- - - - - EXISTING SANITARY SENEK EXISTING SANITARY SENEK
- - - - - EXISTING STORMDRAIN EXISTING STORMDRAIN
- - - - - EXISTING CURBLINE EXISTING CURBLINE
- - - - - OHU OVERHEAD UTILITY
- - - - - PROP. 15" CHP PROPOSED STORMDRAIN
- - - - - EXISTING UTILITY POLE EXISTING UTILITY POLE
- - - - - EXISTING TREE EXISTING TREE
- - - - - PROPOSED HANDICAP SIGN PROPOSED HANDICAP SIGN
- - - - - PROPOSED LIGHT POST PROPOSED LIGHT POST
- - - - - PROPOSED WHEEL STOPS PROPOSED WHEEL STOPS
- - - - - BUILDING ENTRANCE BUILDING ENTRANCE
- - - - - PROPOSED CURBLINE PROPOSED CURBLINE
- - - - - PROPOSED PARKING LOT EXPANSION PROPOSED PARKING LOT EXPANSION

MATCHLINE SEE SHEET 5 FOR CONTINUATION

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY OPERIALIZED TO PREVENT CLOGGING OF THE UNDERGROUND SWM FACILITY.

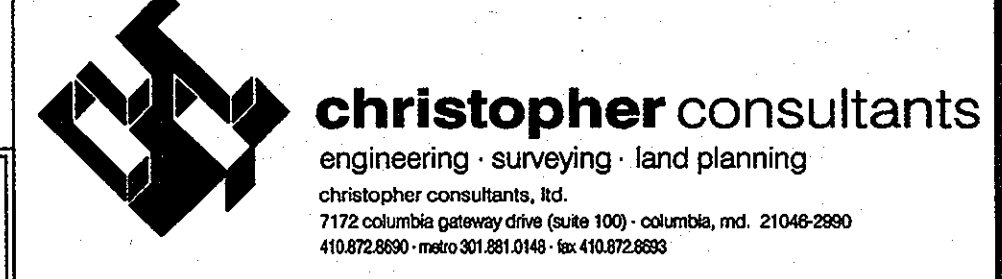
J. J. Davis 2013-01-10 DATE



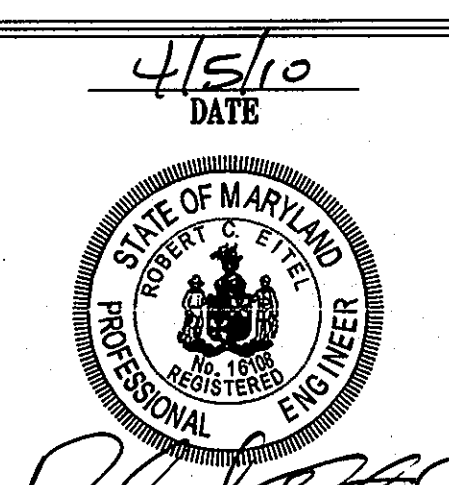
APPROVED: DEPARTMENT OF PLANNING AND ZONING

| | | |
|---|------|---------|
| <i>Neil Shadlock</i> | Date | 4/27/10 |
| Chief, Division of Land Development | | |
| <i>John Decker</i> | Date | 4/28/10 |
| Chief, Development Engineering Division | | |
| <i>Deanna S. Butler</i> | Date | 4/29/10 |
| Director, Department of Planning and Zoning | | |

| | | |
|--|-----|-------------------|
| 12-24-12 | 1 | AS-BUILT REVISION |
| Date | No. | |
| COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION | | |
| OWNER/DEVELOPER | | |
| COLUMBIA PRESBYTERIAN CHURCH 1001 CLARKSVILLE PIKE COLUMBIA, MD 21044 PHONE: (410) 730 - 6004 FAX: (410) 977 - 5499 CONTACT: AL EDWARDS | | |



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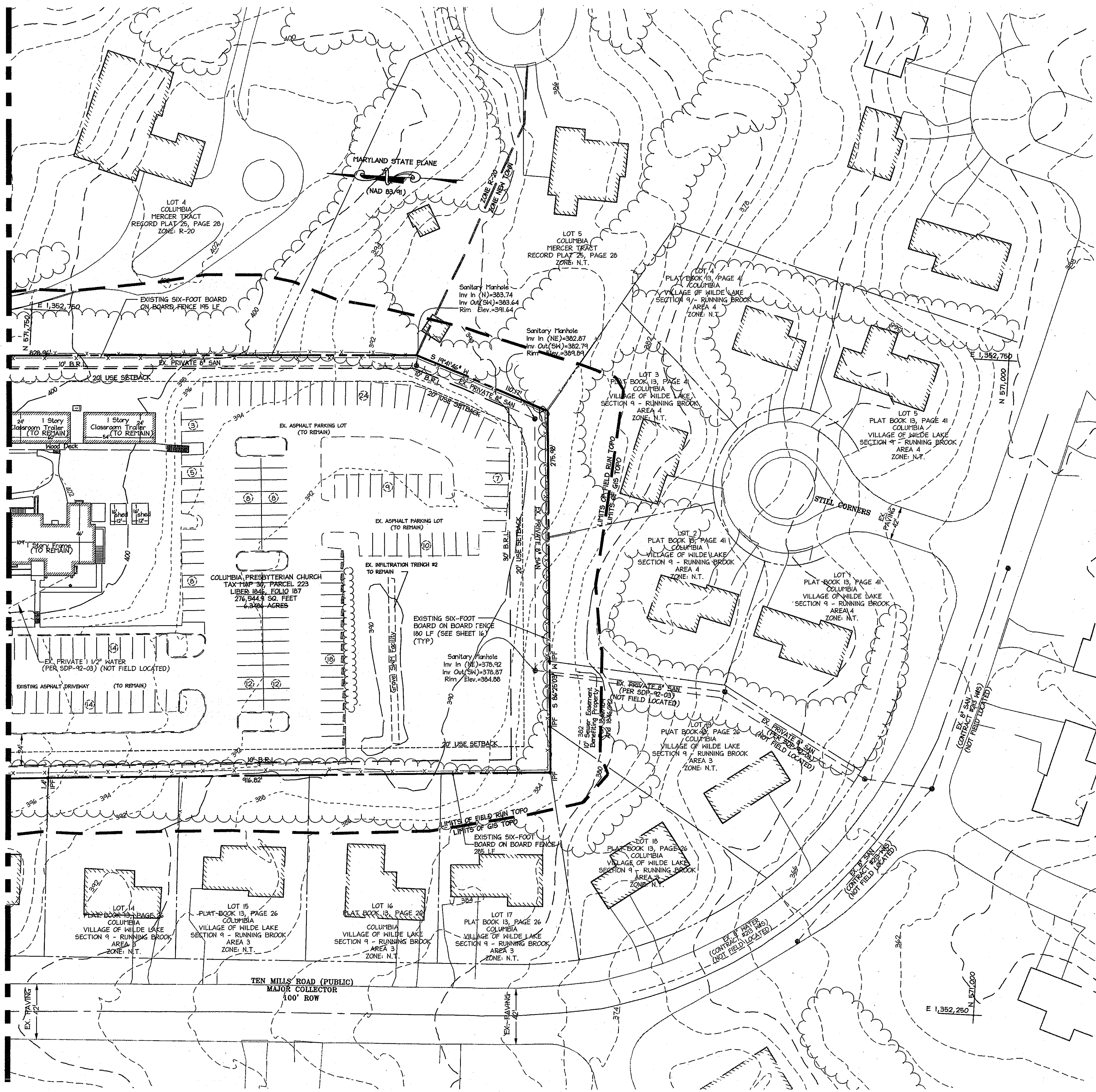
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| ADDRESS CHART | | | |
| LOT/PARCEL | STREET ADDRESS | | |
| 223 | 1001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 | | |
| PERMIT INFORMATION CHART | | | |
| PROJECT NAME | LOT/PARCEL NO. | CENSUS TRACT | |
| COLUMBIA PRESBYTERIAN CHURCH | PARCEL 223 | 6054.01 | |
| PLAT NO. | GRID NO. | ZONE | TAX MAP |
| --- | 14 | R-20 | 30 |
| WATER CODE | | SEWER CODE | |
| --- | | --- | |
| TITLE: AS-BUILT SITE, GRADING, AND UTILITY PLAN | | | |
| DESIGN: CRH | SCALE: 1" = 40' | PROJECT: 080801.00 | |
| DRAWN: SSA | DATE: APRIL 2010 | | |
| CHECKED: RCE | APPROVED: RCE | 4 OF 16 | |

MDC-878(SDP)

LEGEND

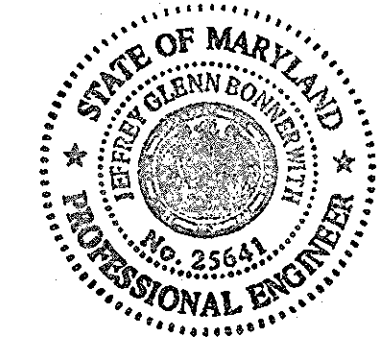
- EXISTING INTER CONTOURS
- EXISTING INDEX CONTOURS
- PROPOSED INTER CONTOURS
- PROPOSED INDEX CONTOURS
- PROPERTY LINE
- EXISTING PROPERTY LINE
- EX. 8" WATER
- EXISTING WATER
- EXISTING SANITARY SEWER
- EXISTING STORM DRAIN
- EXISTING CURBLINE
- EXISTING TREENLINE
- EXISTING TREE
- EXISTING PARKING STRIP TO REMAIN

MATCHLINE SEE SHEET 4 FOR CONTINUATION



AS-BUILT CERTIFICATION
THERE IS NO AS-BUILT INFORMATION
PROVIDED ON THIS SHEET.

[Signature] 2013-01-10
DATE

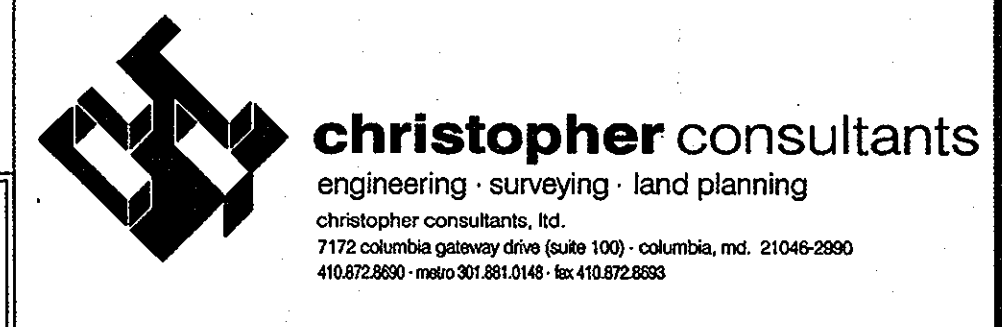


MISS UTILITY
Service Production Center
CALL TOLL FREE
1-800-257-7777

| | |
|---|---------------------|
| APPROVED: DEPARTMENT OF PLANNING AND ZONING | |
| <i>[Signature]</i> Chief, Division of Land Development | 4/27/10 Date |
| <i>[Signature]</i> Chief, Development Engineering Division | 4/23/10 Date |
| <i>[Signature]</i> Director, Department of Planning and Zoning | 4/23/10 Date |
| 12-26-12 | 1 AS-BUILT REVISION |
| Date | No. |

**COLUMBIA PRESBYTERIAN CHURCH
BUILDING AND PARKING LOT EXPANSION**

OWNER/DEVELOPER
COLUMBIA PRESBYTERIAN CHURCH
10001 CLARKSVILLE PIKE
COLUMBIA, MD 21044
PHONE: (410) 730-6004
FAX: (410) 997-5499
CONTACT: AL EDWARDS



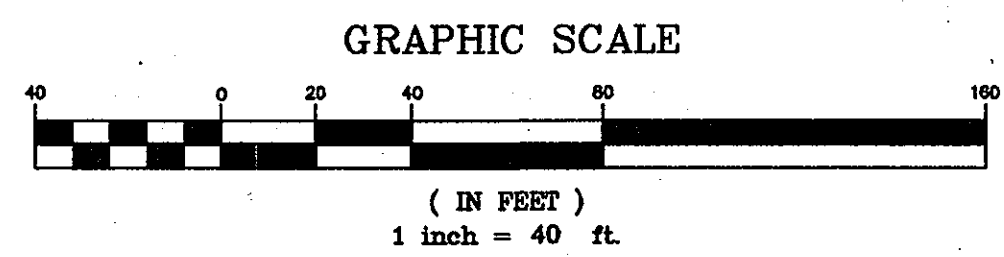
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CERTIFICATION**

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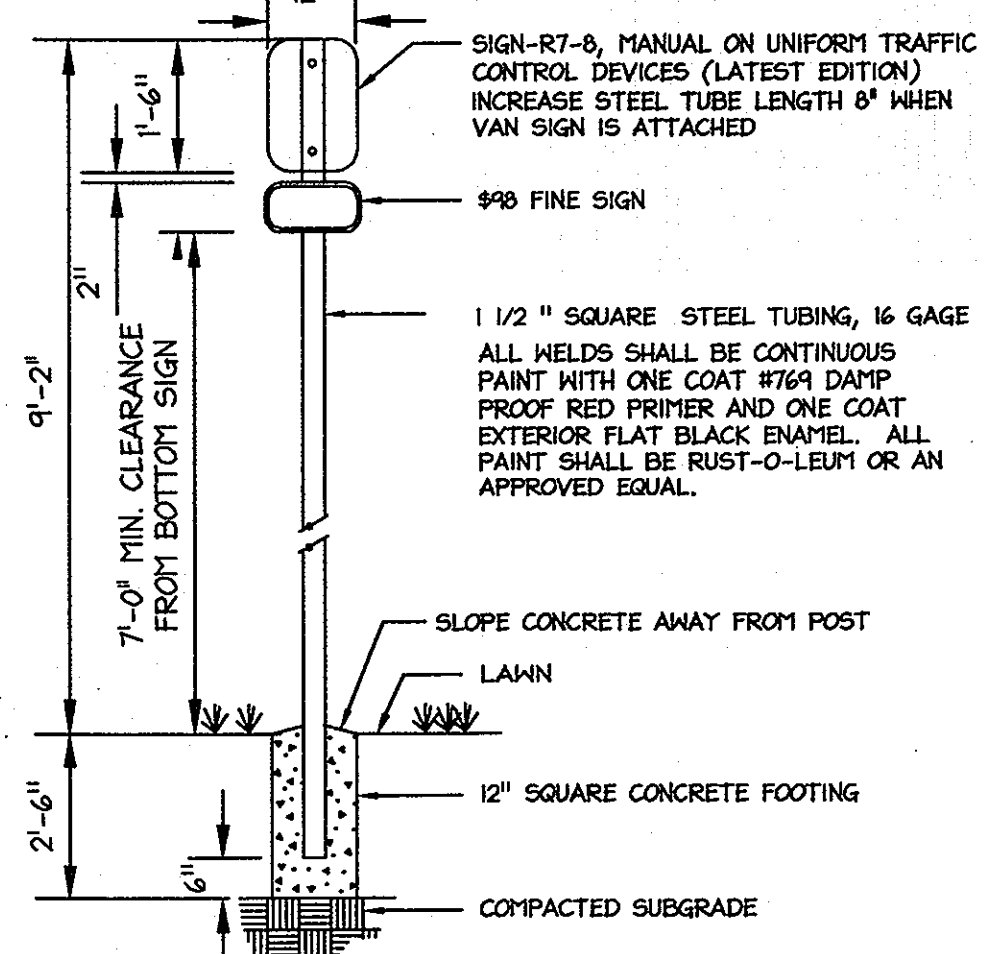
4/15/10
DATE

[Signature]

| | | |
|---|--|-------------------------|
| ADDRESS CHART | | |
| LOT/PARCEL | STREET ADDRESS | |
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 | |
| PERMIT INFORMATION CHART | | |
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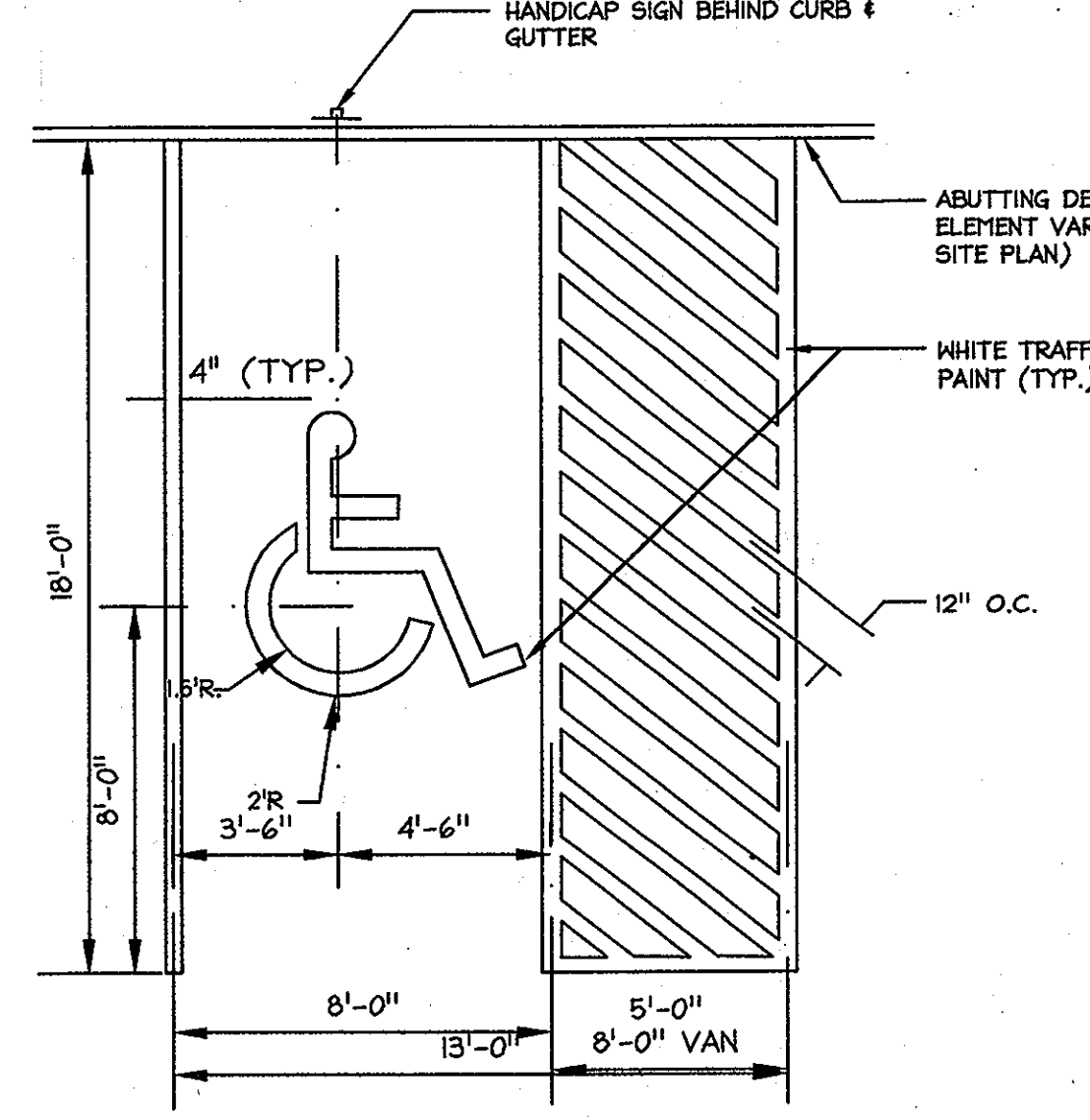
MDC-878(SDP)



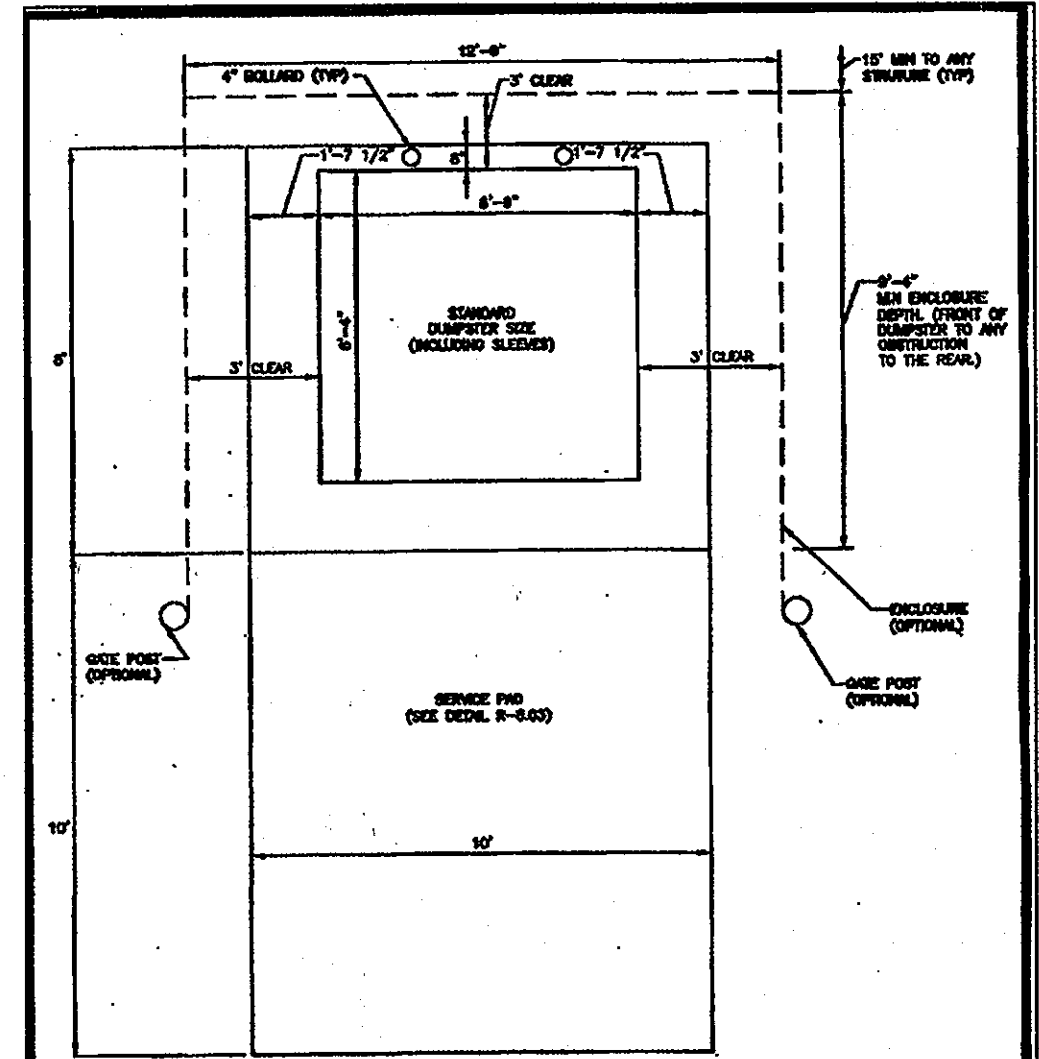
SIGN COLORS:
LETTERS AND BORDER - GREEN WHITE
H.C. SYMBOLS - WHITE
H.C. SYMBOLS - WHITE
BACKGROUND - BLUE
BACKGROUND - WHITE



SIGN COLORS:
LETTERS AND BORDER - GREEN WHITE
H.C. SYMBOLS - WHITE
H.C. SYMBOLS - WHITE
BACKGROUND - BLUE
BACKGROUND - WHITE

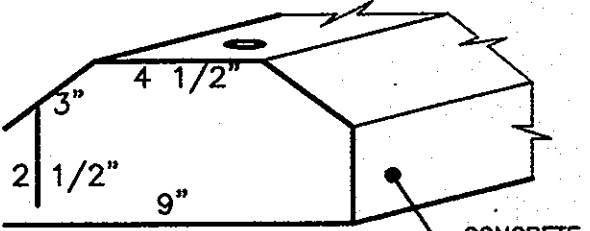


HANDICAP PARKING SPACE
NOT TO SCALE

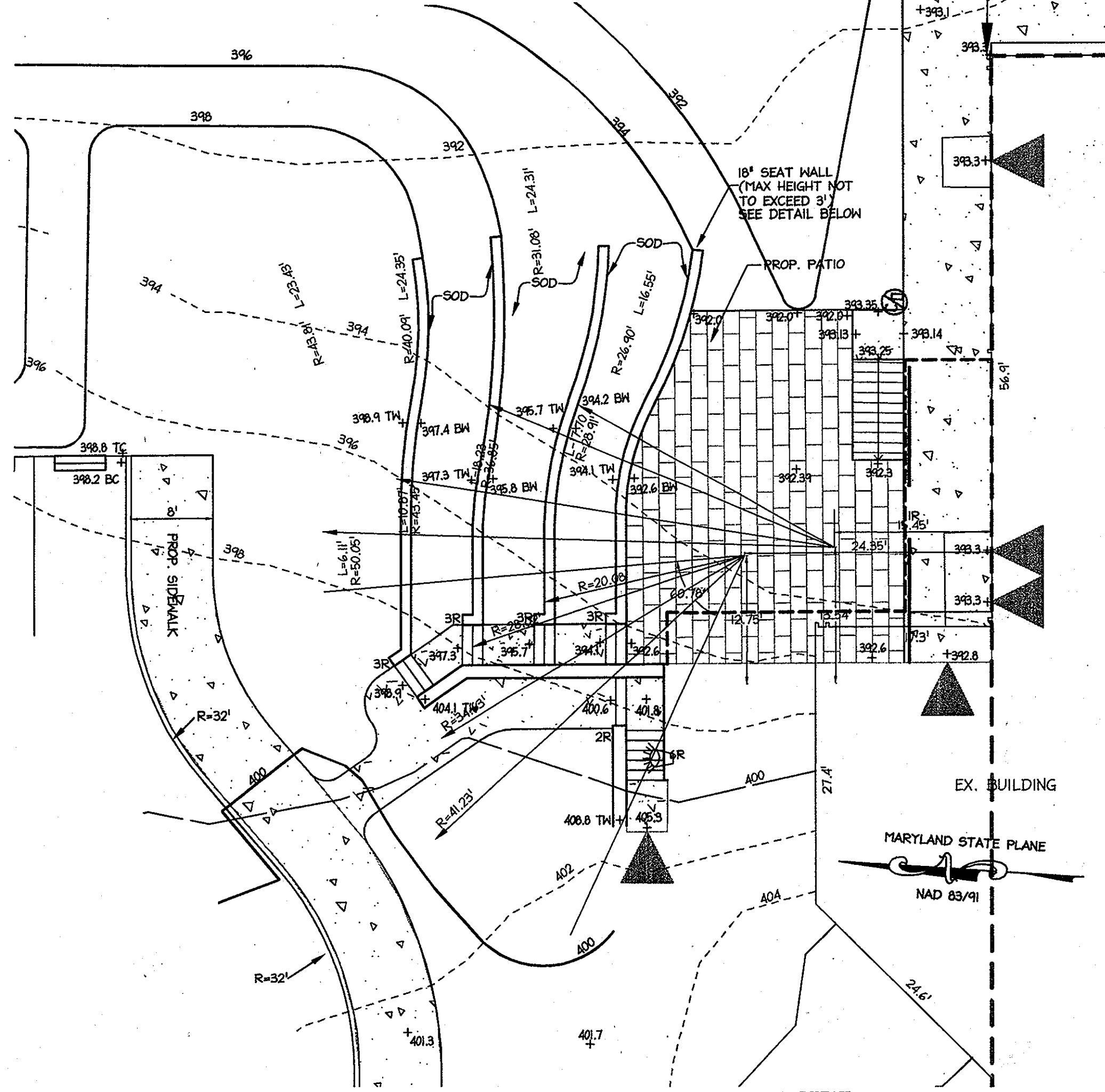


SOLID WASTE
Single Container Enclosure
Detail
R-8.04

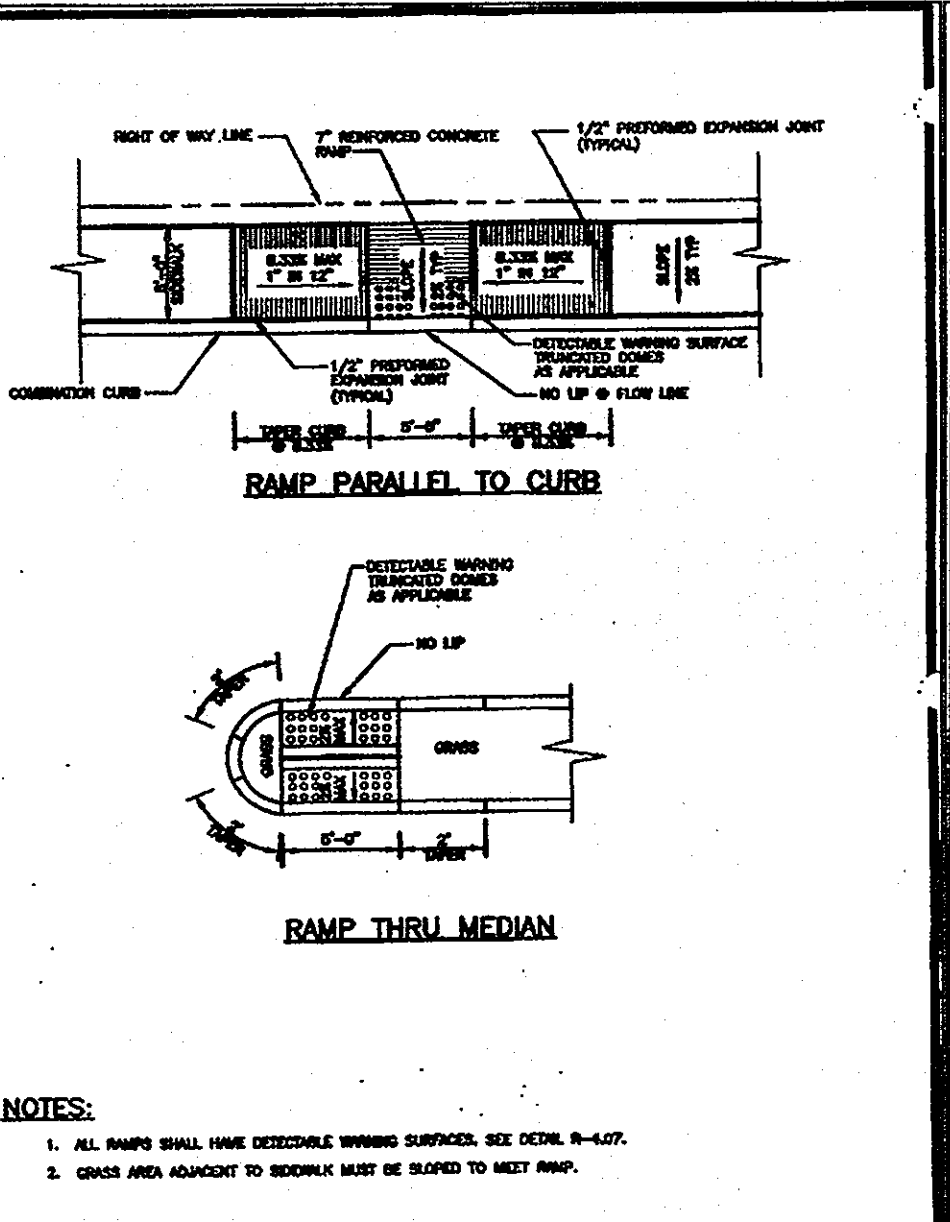
- NOTES:**
- DISTANCE FROM GROUND TO BOTTOM OF SIGN SHALL BE 7'.
 - SEE HANDICAPPED PARKING SPACE DETAIL THIS SHEET FOR LOCATION OF HANDICAP SIGN.
 - SIGNS SHALL CONFORM TO CURRENT ADA CRITERIA.



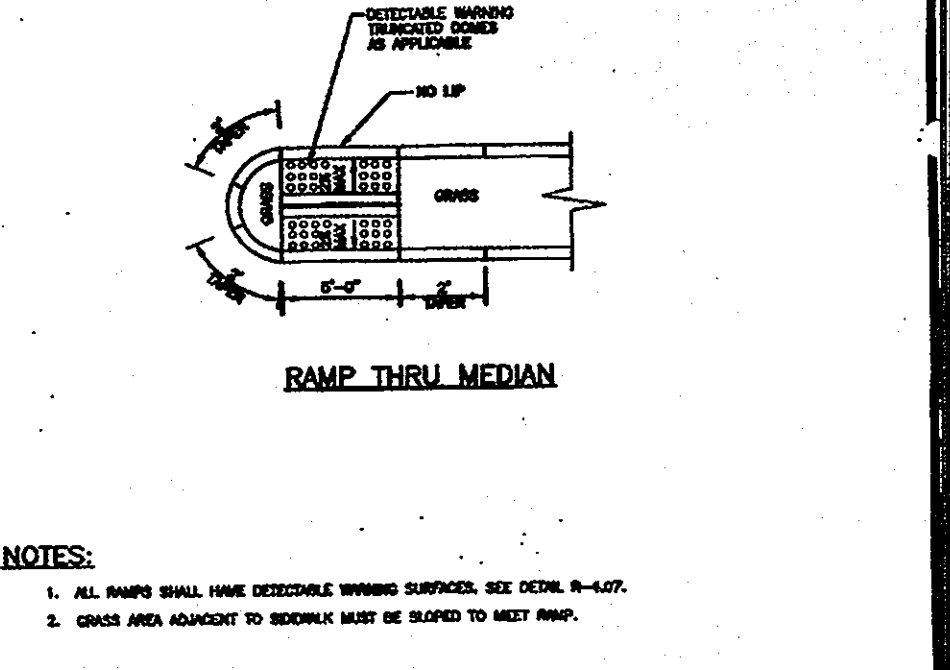
WHEELSTOP DETAIL
N.T.S.



RETAINING WALL AND OUTDOOR SEATING DETAIL
SCALE: 1" = 10'

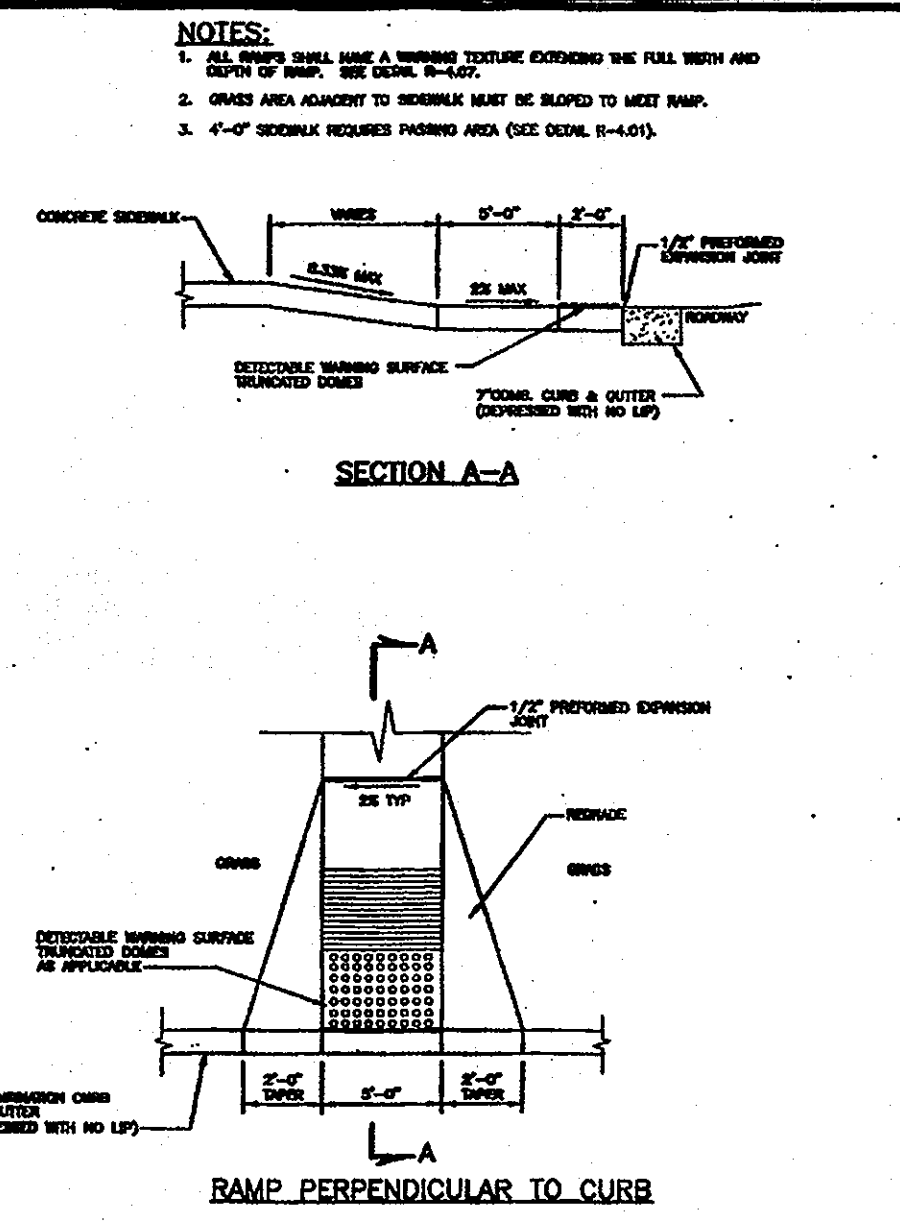


RAMP PARALLEL TO CURB



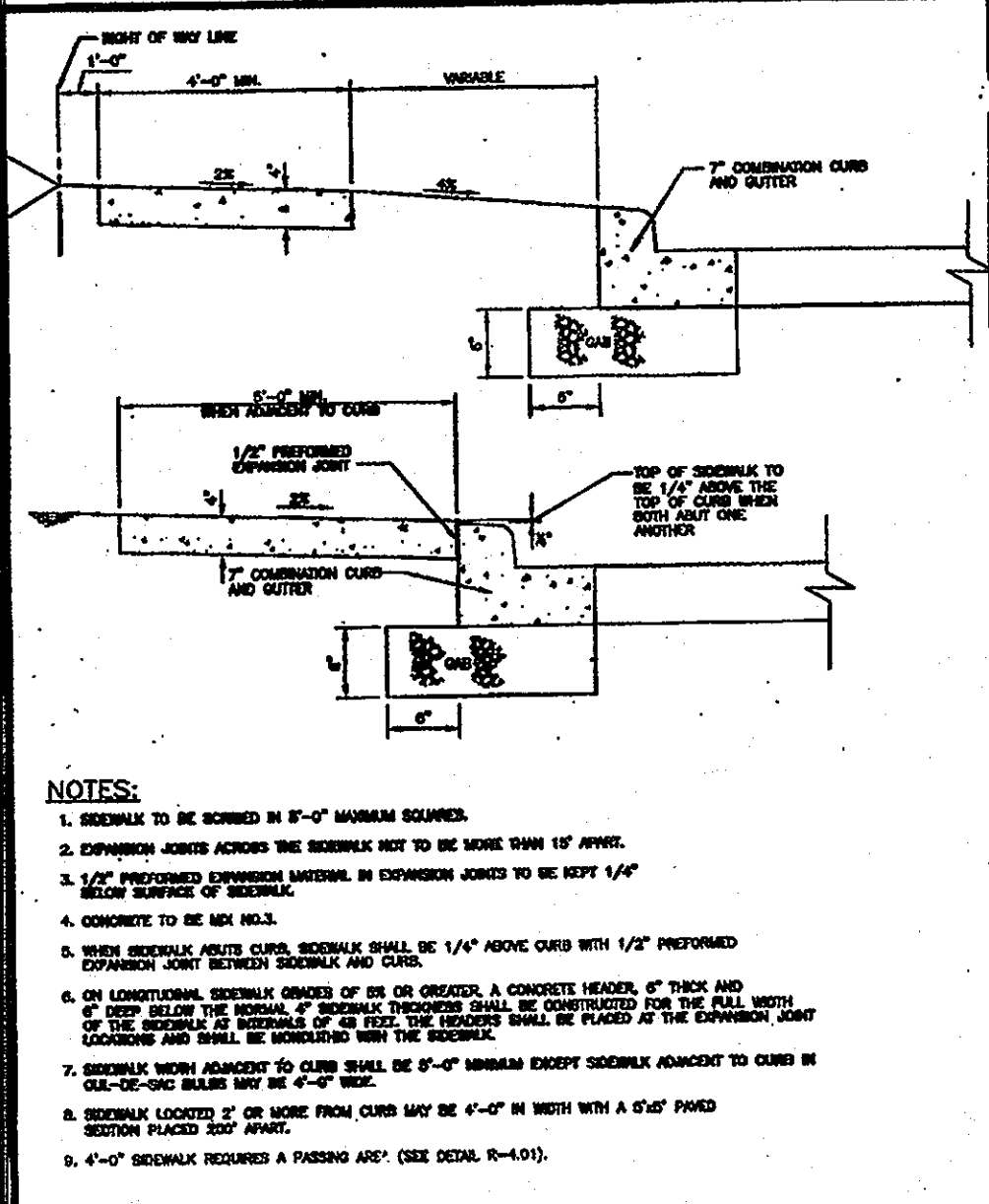
RAMP THRU MEDIAN

- NOTES:**
- ALL RAMP SURFACES SHALL HAVE DETECTABLE WARNING SURFACES. SEE DETAIL R-4.07.
 - GRADE ADJACENT TO RAMP MUST BE SLOPED TO MEET RAMP.

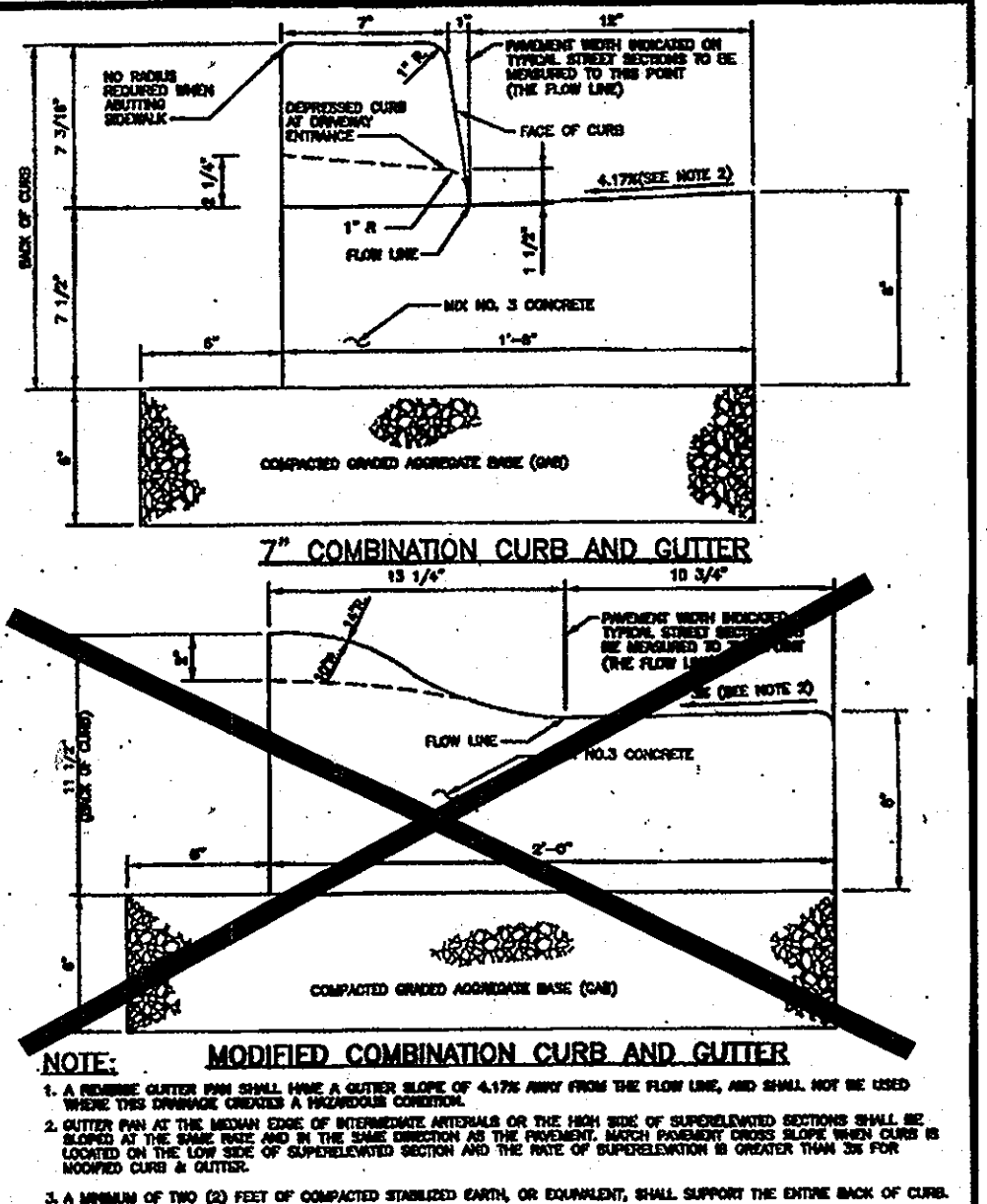


SECTION A-A

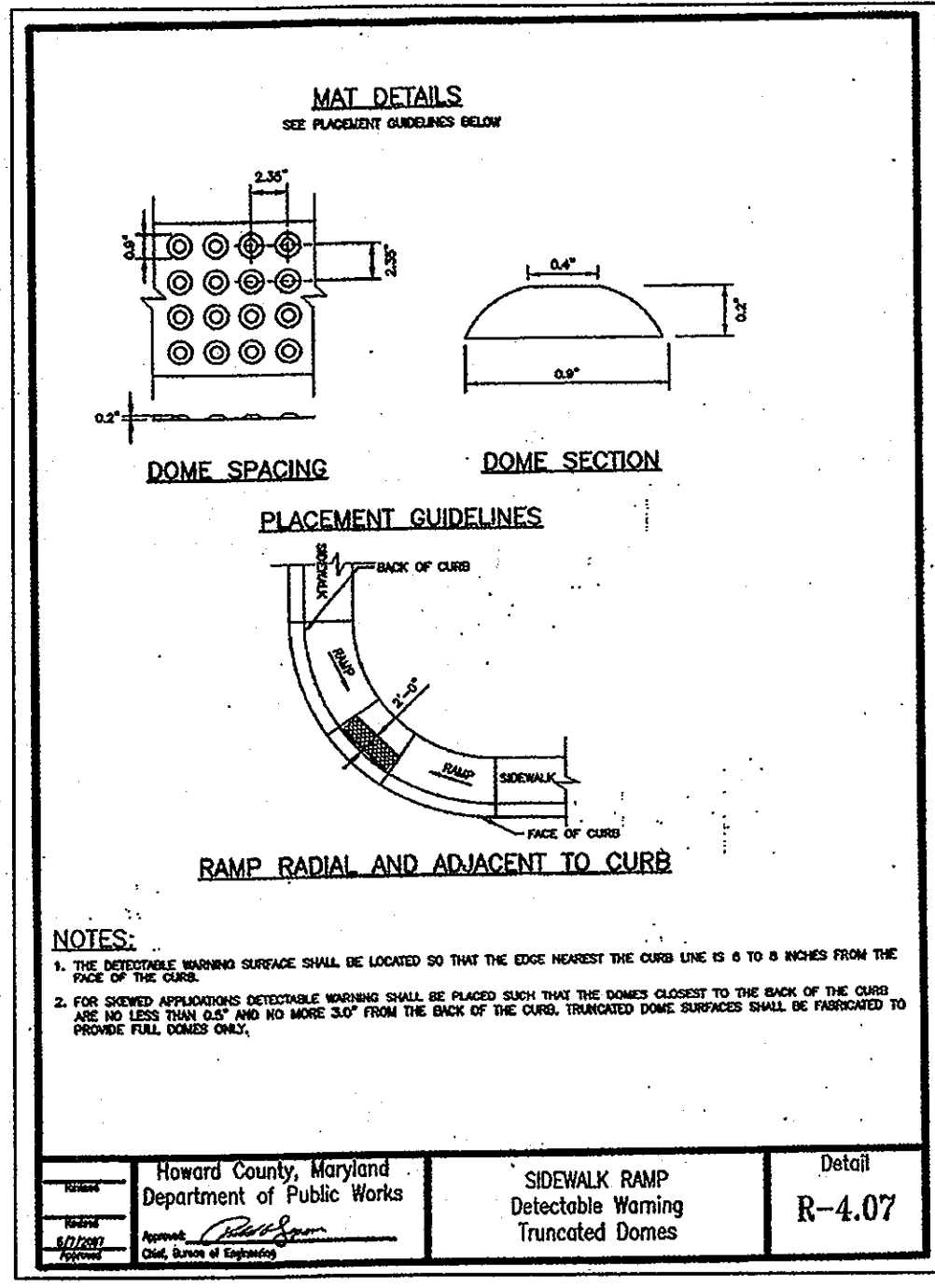
- NOTES:**
- ALL RAMP SURFACES SHALL HAVE DETECTABLE WARNING SURFACES. SEE DETAIL R-4.07.
 - GRADE ADJACENT TO RAMP MUST BE SLOPED TO MEET RAMP.



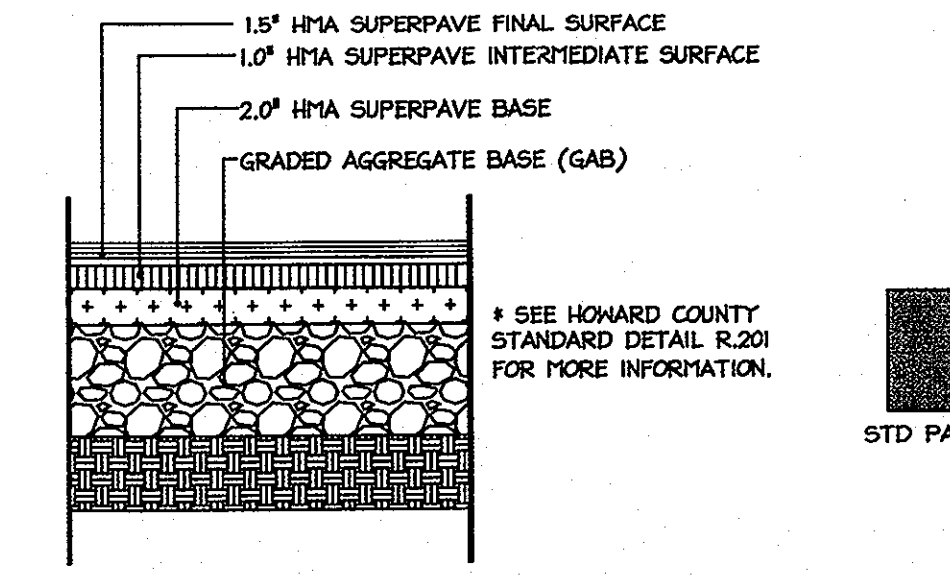
Concrete Sidewalk
Detail
R-3.05



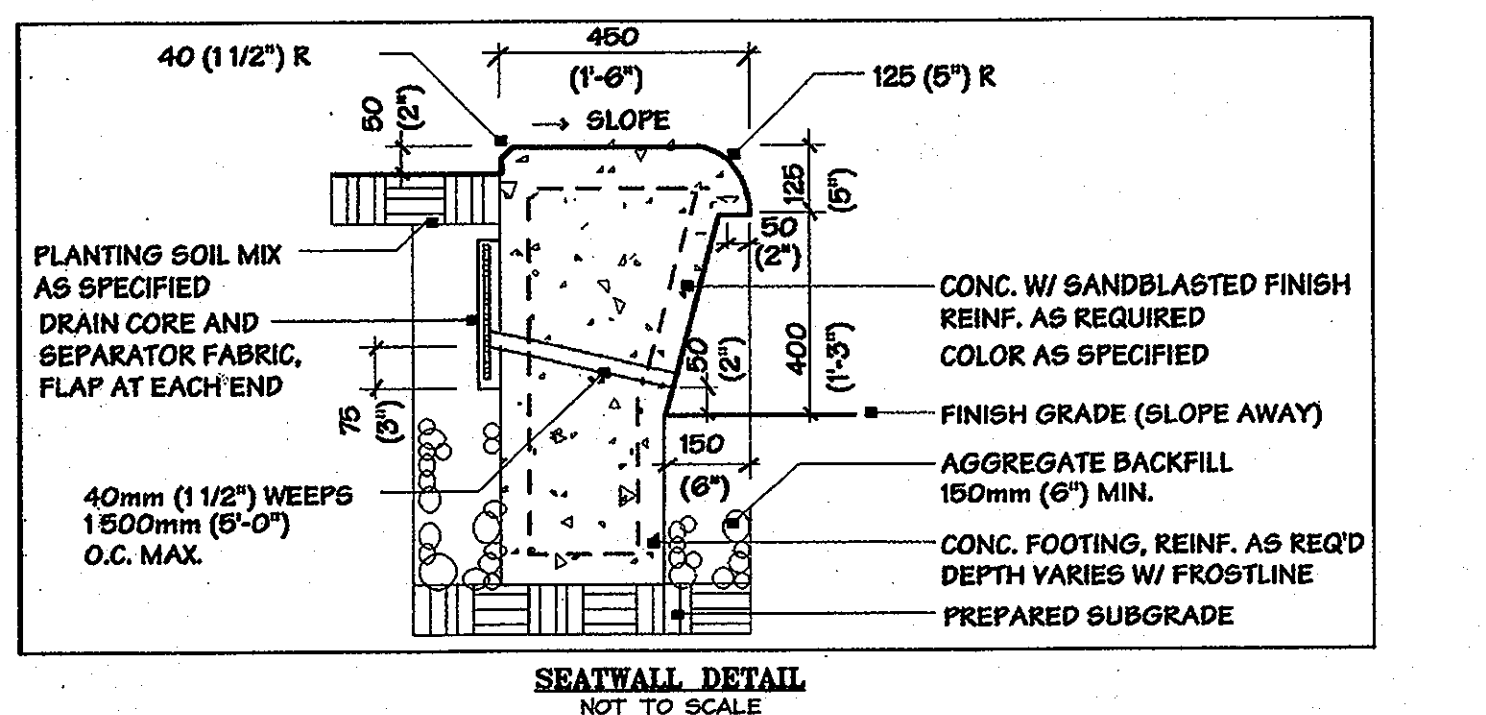
CURB AND GUTTER
7" & Modified
Detail
R-3.01



SIDEWALK RAMP
Detectable Warning
Truncated Domes
Detail
R-4.07



PAVING
NOT TO SCALE



SEAWALL DETAIL
NOT TO SCALE

| SECTION NUMBER | ROAD AND STREET CLASSIFICATION | CALIFORNIA BEARING RATIO (CBR) | 3 TO < 4 | 4 TO < 5 | 5 TO < 7 |
|----------------|--|--|----------|----------|----------|
| P-2 | PAVED DRIVE ALLEYS RESURFACING AND NON-INCORPORATED WITH NO MORE THAN 15% HEAVY TRUCK PER DAY LOAD BEARING PLACE, ACCESS STREET CUL-DE-SAC RESURFACING | 1.5% SUPERPAVE FINAL SURFACE R-9.5, PG 44-22, LEVEL 1 (CSMA) | 1.8 | 1.5 | 1.8 |
| | | 1.5% SUPERPAVE INTERMEDIATE SURFACE R-9.5, PG 44-22, LEVEL 1 (CSMA) | 1.8 | 1.5 | 1.8 |
| | | 2.0% SUPERPAVE BASE R-9.5, PG 44-22, LEVEL 1 (CSMA) | 2.0 | 2.0 | 2.0 |
| | | GRADED AGGREGATE BASE (GAB) R-9.5, PG 44-22, LEVEL 1 (CSMA) | 6.0 | 4.0 | 3.0 |

AS-BUILT CERTIFICATION
THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.
2/15/10
DATE



PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Director, Department of Planning and Zoning

DATE: 4/23/10
 DATE: 4/23/10
 DATE: 4/23/10

12/26/12 1 AS-BUILT REVISION

COLUMBIA PRESBYTERIAN CHURCH
BUILDING AND PARKING LOT EXPANSION

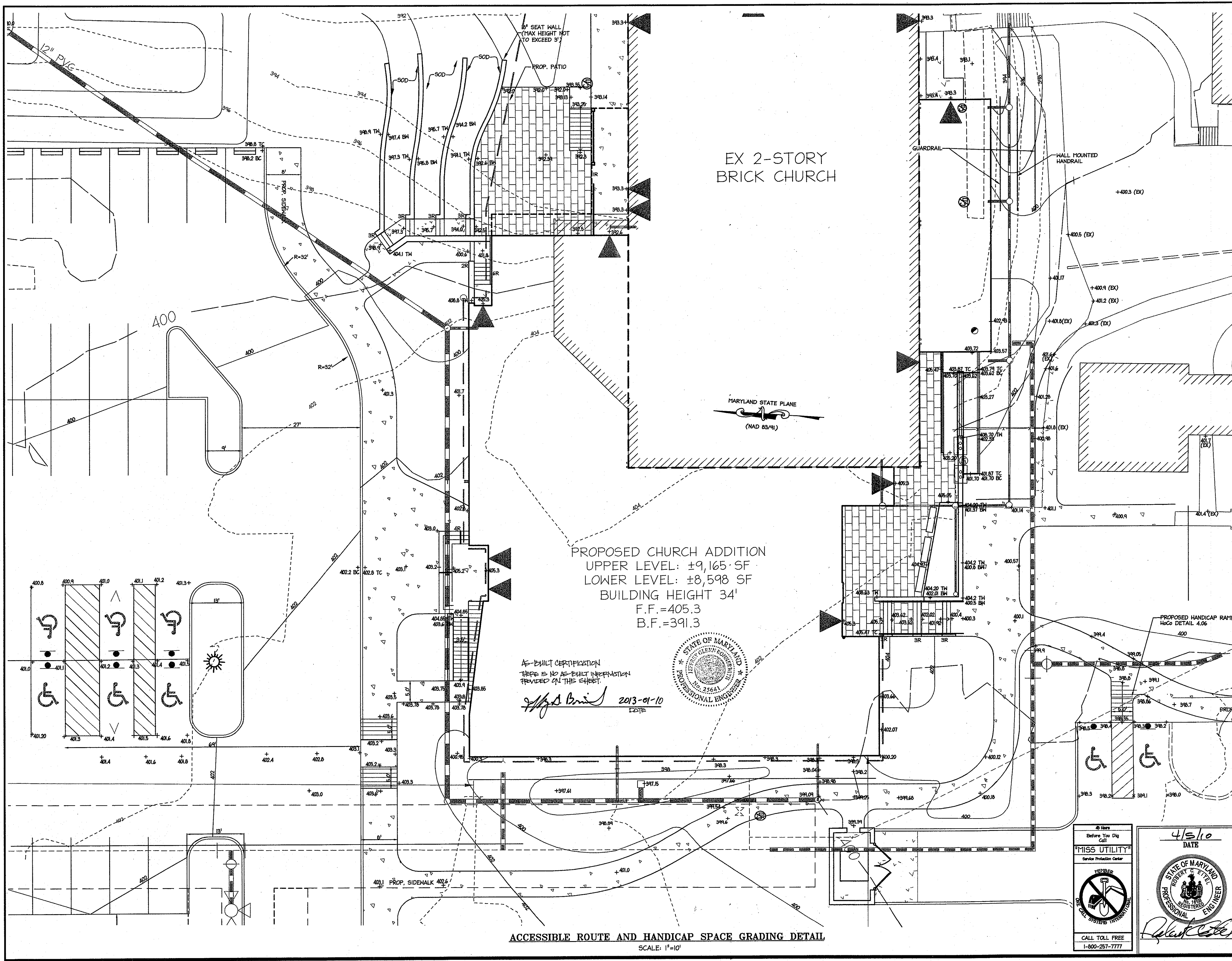
OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 1009 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 730-6004
 FAX: (410) 987-5484
 CONTACT: AL EDWARDS



ADDRESS CHART
 LOT/PARCEL: 223
 STREET ADDRESS: 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044

| PROJECT NAME | LOT/PARCEL NO. | CENSUS TRACT |
|------------------------------|----------------|--------------|
| COLUMBIA PRESBYTERIAN CHURCH | PARCEL 223 | 6054.01 |

| DESIGN | SCALE | PROJECT |
|--------|----------|-----------|
| CRH | AS SHOWN | 080801.00 |

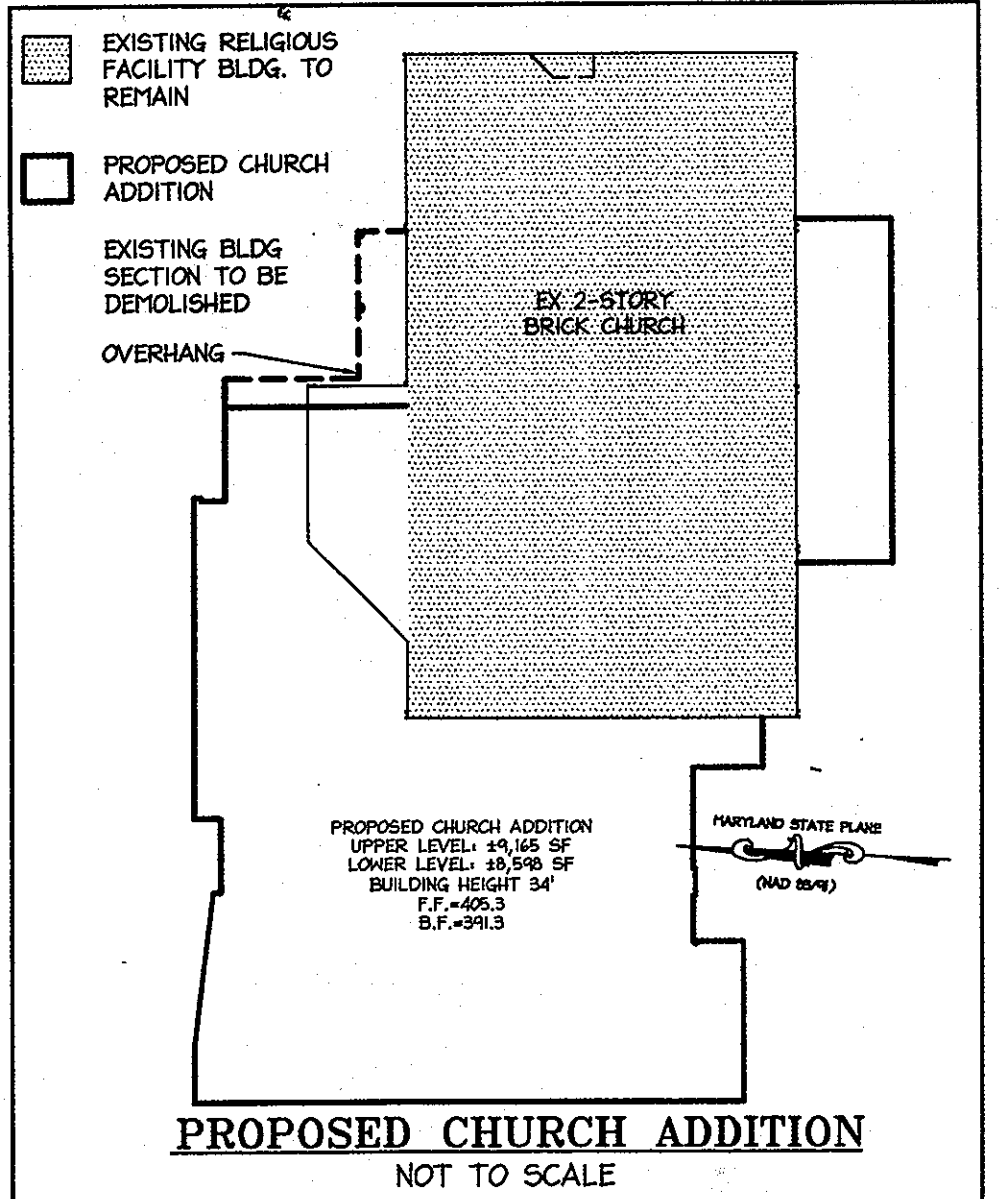


EX 2-STORY
BRICK CHURCH

PROPOSED CHURCH ADDITION
UPPER LEVEL: ±9,165 SF
LOWER LEVEL: ±8,598 SF
BUILDING HEIGHT 34'
F.F.=405.3
B.F.=391.3

AS-BUILT CERTIFICATION
THERE IS NO AS-BUILT INFORMATION
PROVIDED ON THIS SHEET.

John D. Brind 2013-01-10
DATE



- LEGEND**
- - - - - 398 EXISTING INTER CONTOURS
 - - - - - 400 EXISTING INDEX CONTOURS
 - - - - - 2/8 PROPOSED INTER CONTOURS
 - - - - - 250 PROPOSED INDEX CONTOURS
 - — — — — PROPERTY LINE
 - - - - - EXISTING PROPERTY LINE
 - - - - - PROPOSED LOT LINES

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

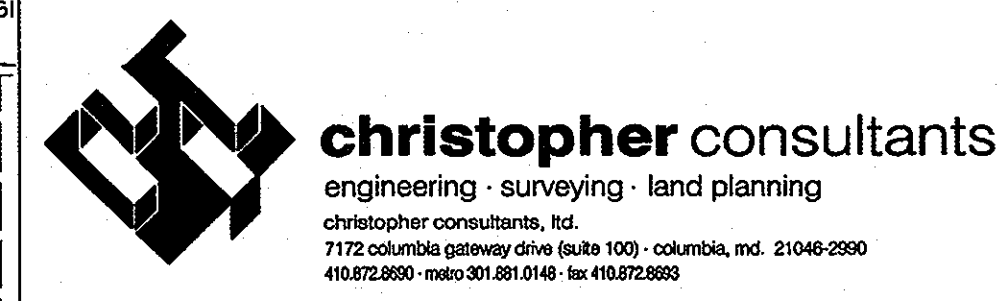
APPROVED: DEPARTMENT OF PLANNING AND ZONING

| | |
|---|---------------|
| <i>John D. Brind</i> | Date: 4/23/10 |
| Chief, Division of Land Development | |
| <i>John D. Brind</i> | Date: 4/23/10 |
| Chief, Development Engineering Division | |
| <i>Thomas J. Shellen</i> | Date: 4/23/10 |
| Director, Department of Planning and Zoning | |

| | | |
|------|-----|-------------------|
| DATE | NO. | AS-BUILT REVISION |
| | | |

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
COLUMBIA PRESBYTERIAN CHURCH
1001 CLARKSVILLE PIKE
COLUMBIA, MD 21044
PHONE: (410) 730-6004
FAX: (410) 997-5499
CONTACT: AL EDWARDS



ADDRESS CHART

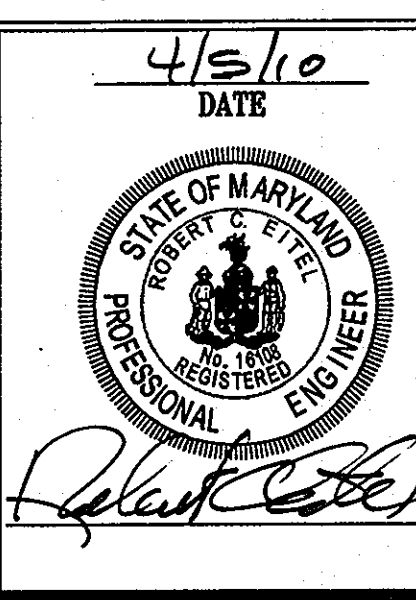
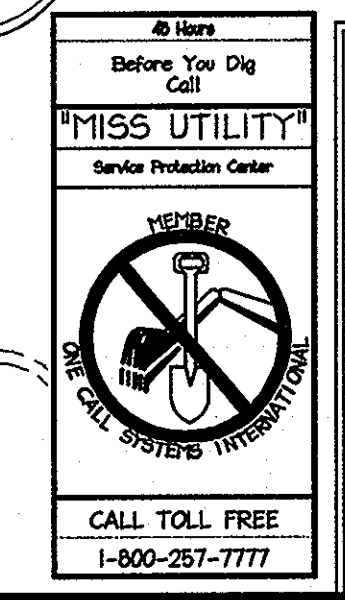
| LOT/PARCEL | STREET ADDRESS |
|------------|---|
| 223 | 1001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|------------------------------|----------------|--------------|
| PROJECT NAME | LOT/PARCEL NO. | CENSUS TRACT |
| COLUMBIA PRESBYTERIAN CHURCH | PARCEL 223 | 6054.01 |
| PLAT NO. | GRID NO. | TAX MAP |
| 14 | R-20 | 30 |
| WATER CODE | SEWER CODE | |
| --- | --- | |

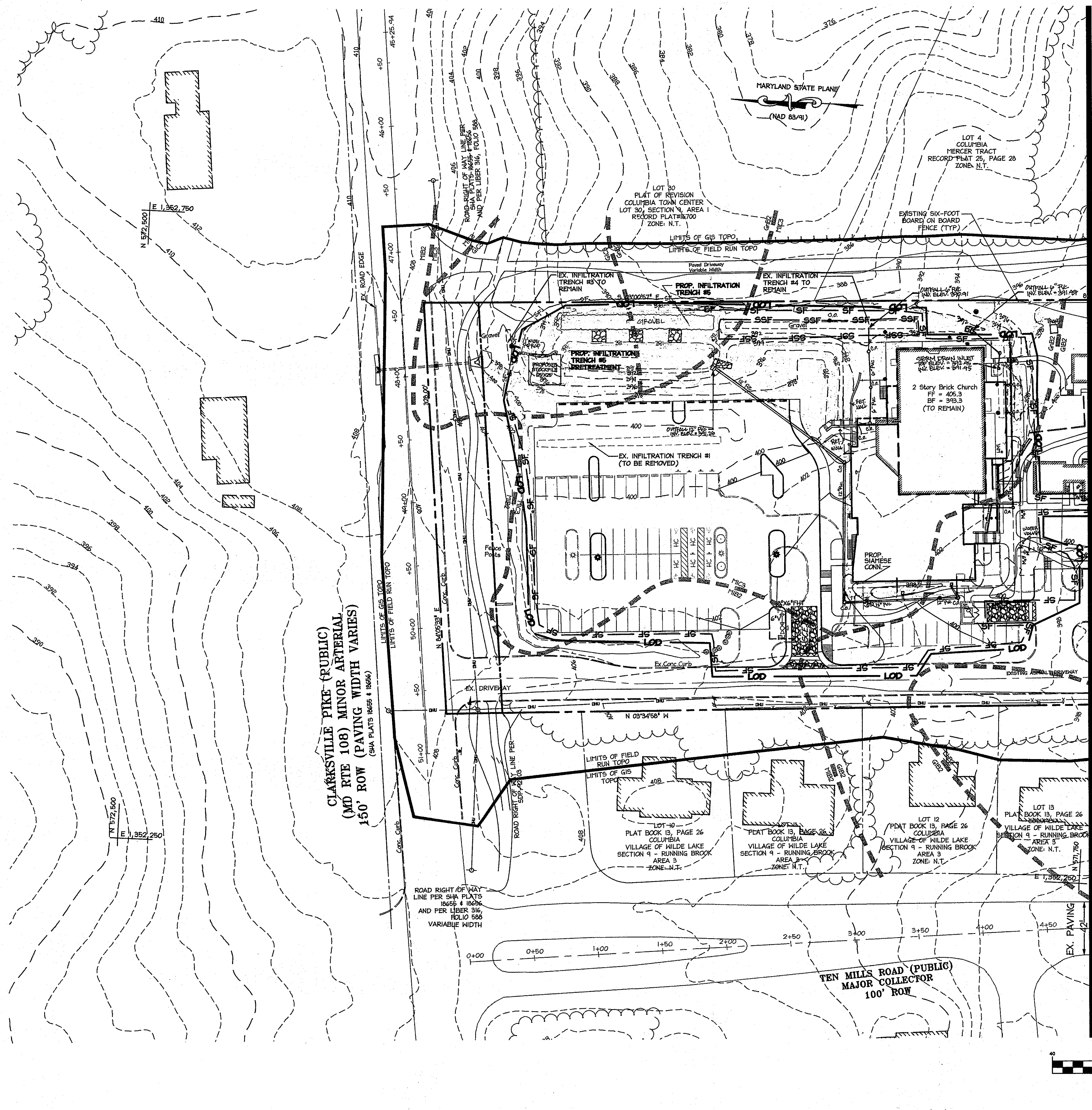
TITLE: **AS-BUILT ACCESSIBLE ROUTE GRADING DETAIL**

| | | |
|--------------|------------------|--------------------|
| DESIGN: CRH | SCALE: AS SHOWN | PROJECT: 080801.00 |
| DRAWN: SSA | DATE: APRIL 2010 | |
| CHECKED: RCE | APPROVED: RCE | |



ACCESSIBLE ROUTE AND HANDICAP SPACE GRADING DETAIL
SCALE: 1"=10'

P:\Projects\080801.00\MC-XXXX\MDC-878 SDP\07- HANDICAP DETAIL.dwg, 4/22/10 5:03:46 PM, APC Plotter.pc3



LEGEND

- 300- EXISTING INTER CONTOURS
- 400- EXISTING INDEX CONTOURS
- 250- PROPOSED INTER CONTOURS
- 250- PROPOSED INDEX CONTOURS
- PROPERTY LINE
- EXISTING PROPERTY LINE
- CHU EXISTING OVERHEAD UTILITY
- EX. 8" WATER EXISTING WATER
- EX. 8" SAN EXISTING SANITARY SEWER
- EX. 15" CIP EXISTING STORM DRAIN
- EXISTING CURBLINE
- EXISTING TREELINE
- EXISTING TREE
- SOILS LINE
- SF SF SF SILT FENCE
- LOD LIMITS OF DISTURBANCE
- SSF SSF SUPER SILT FENCE
- SCS STABILIZED CONSTRUCTION ENTRANCE
- WASH RACK

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: *Stephen B. Greal* Date: *4/5/2010*
 Print name below signature: **STEPHEN B. GREAL**

ENGINEER'S CERTIFICATE
 I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature of Engineer: *Robert C. Eitel* Date: *4/5/10*
 Print name below signature: **ROBERT C. EITEL**

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *John K. Hunter* Date: *4/5/10*
 Howard SCD

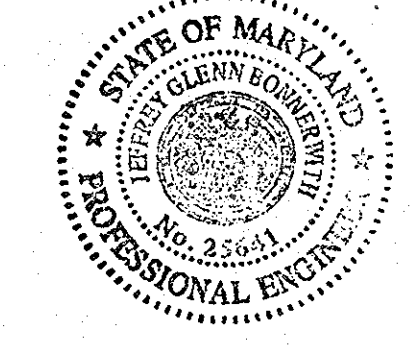
SOILS SUMMARY CHART

| SYMBOL | NAME | GROUP |
|--------|-----------|-------|
| G#2 | GLENVILLE | B |
| M#3 | MANOR | B |
| CH#2 | CHESTER | B |
| GB#2 | GLENEIG | B |
| GC#2 | GLENEIG | B |

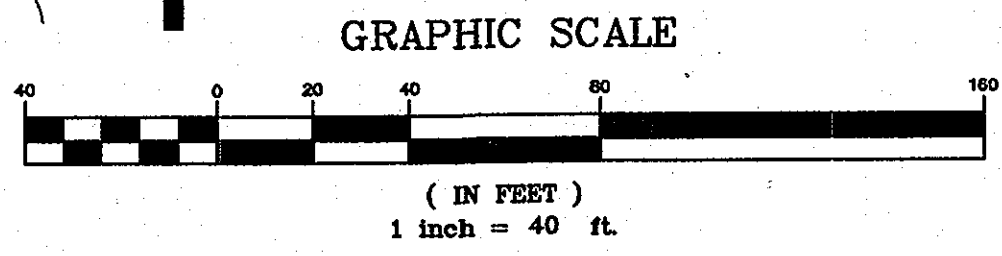
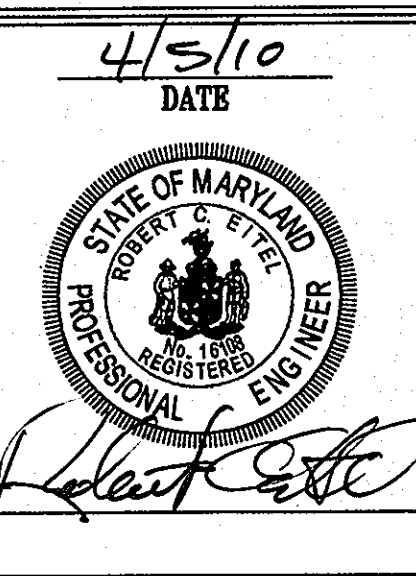
GENERAL NOTES:

- LIMIT OF DISTURBANCE HAS BEEN SHOWN FOR GRAPHICAL PURPOSES ONLY. THE LIMIT OF DISTURBANCE SHOULD NOT EXTEND BEYOND THE PROPERTY'S BOUNDARY.

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY, BY MY SEAL, THAT THE FACILITIES SHOWN ON THIS PLAN WERE CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN MEET THE APPROVED PLANS AND SPECIFICATIONS.
 Signature: *M. S. Smith* Date: *2013-01-10*



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 Signature: *Robert C. Eitel* Date: *4/5/10*



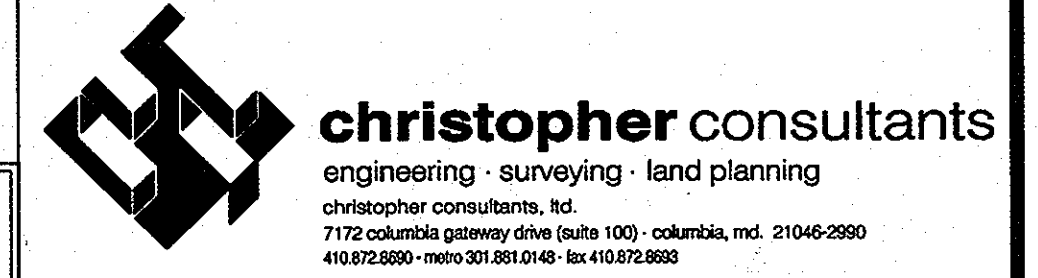
MATCHLINE SEE SHEET 9 FOR CONTINUATION

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Chief, Division of Land Development: *K. S. Stewart* Date: *4/27/10*
 Chief, Development Engineering Division: *John S. Williams* Date: *4/28/10*
 Director, Department of Planning and Zoning: *Thomas S. Butler* Date: *4/28/10*

12-26-12 1. AS-BUILT REVISION

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 10001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 730-6004
 FAX: (410) 997-5484
 CONTACT: AL EDWARDS



ADDRESS CHART

| LOT/PARCEL | STREET ADDRESS |
|------------|--|
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|--|---------------------|-----------------------|
| PROJECT NAME: COLUMBIA PRESBYTERIAN CHURCH | LOT/PARCEL NO.: 223 | CENSUS TRACT: 6054.01 |
| PLAT NO.: 14 | GRID NO.: R-20 | TAX MAP: 30 |
| WATER CODE: --- | SEWER CODE: --- | ELECTION DISTRICT: 5 |

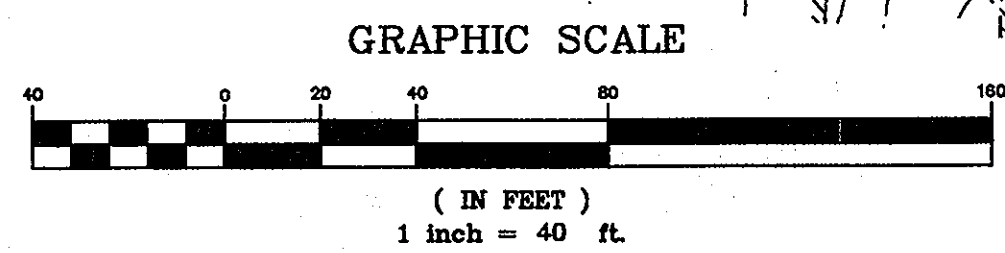
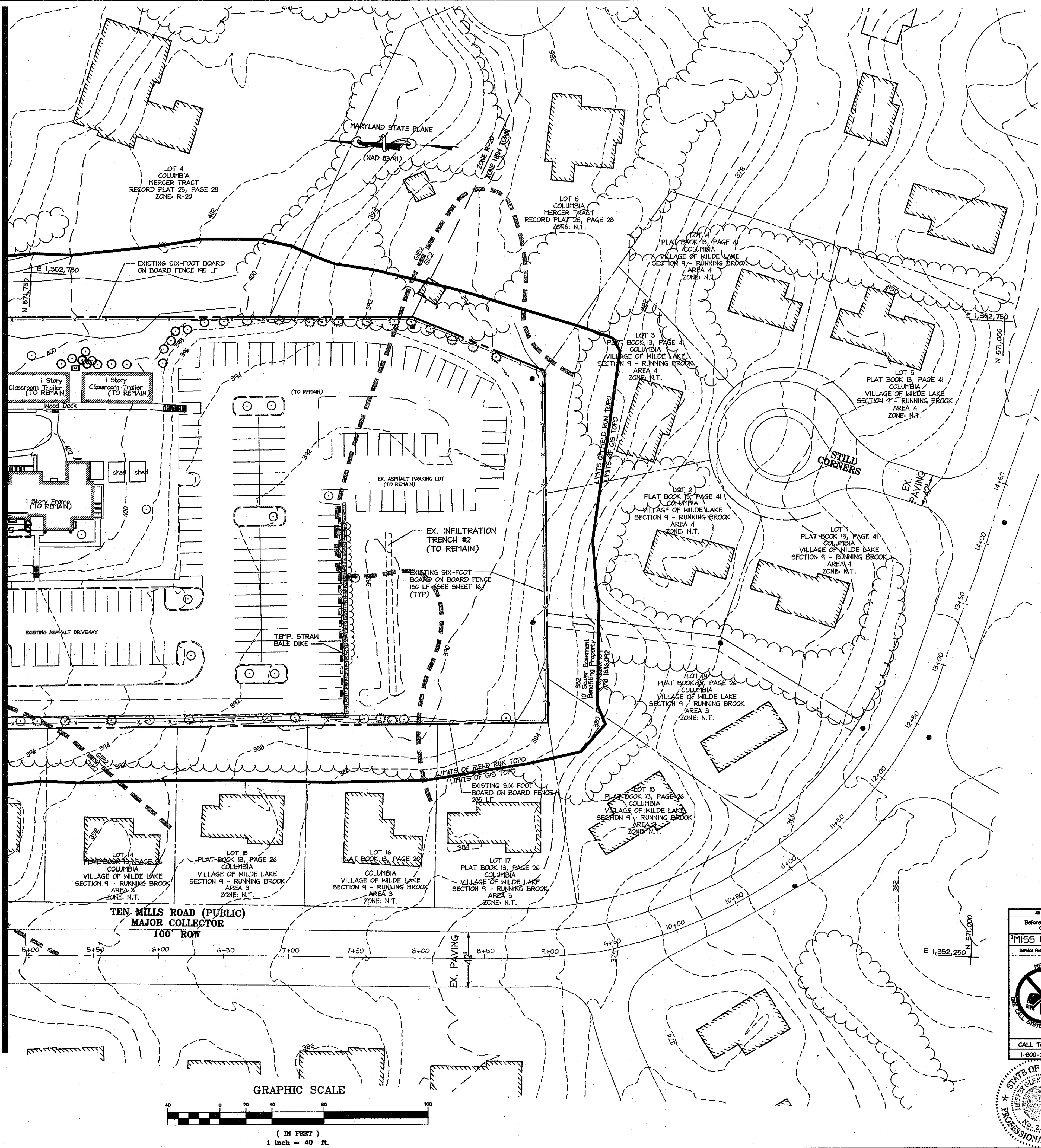
TITLE: AS-BUILT SEDIMENT AND EROSION CONTROL PLAN

| | | |
|--------------|------------------|--------------------|
| DESIGN: DAM | SCALE: 1" = 40' | PROJECT: 080801.00 |
| DRAWN: DAM | DATE: APRIL 2010 | |
| CHECKED: ENJ | APPROVED: RCE | |

8 OF 16

MDC-878(SDP)

MATCHLINE SEE SHEET 8 FOR CONTINUATION



DETAIL 32 - STRAW BALE DIKE

STRAW BALE DIKE

Construction Specifications

- Bales shall be placed at the toe of a slope, on the contour, and in a row with the ends of each bale tightly abutting the adjacent bales.
- Each bale shall be entrenched in the soil a minimum of 4" and placed so the bindings are horizontal.
- Bales shall be securely anchored in place by either two stakes or re-bars driven through the bale 12" to 18" into the ground. The first stake in each bale shall be driven toward the previously laid bale at an angle to force the bales together. Stakes shall be driven flush with the top of the bale.
- Straw bale dikes shall be inspected frequently and after each rain event and maintenance performed as necessary.
- All bales shall be removed when the site has been stabilized. The trench where the bales were located shall be graded flush and stabilized.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE H-25-2 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

LEGEND

| | |
|--|---------------------------|
| | EXISTING INTER CONTOURS |
| | EXISTING INDEX CONTOURS |
| | PROPOSED INTER CONTOURS |
| | PROPOSED INDEX CONTOURS |
| | PROPERTY LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING WATER |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM DRAIN |
| | EXISTING CURBLINE |
| | EXISTING TREE LINE |
| | EXISTING TREE |
| | SOILS LINE |
| | TEMPORARY STRAW BALE DIKE |

DEVELOPER'S CERTIFICATE

I/We certify that all development and construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Stephan B. Green 4/5/10
Signature of Developer Date

Stephan B. Green
Print name below signature

ENGINEER'S CERTIFICATE

I certify that this plan for erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Robert C. Satal 4/5/10
Signature of Engineer Date

Robert C. Satal
Print name below signature

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS.

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

John J. Warner 4/5/10
Howard SCD Date

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Robert C. Satal 4/23/10
Chief, Division of Land Development Date

William J. ... 4/28/10
Chief, Development Engineering Division Date

Thomas G. ... 4/28/10
Director, Department of Planning and Zoning Date

12.24.12 | 1 | AS-BUILT REVISION
Date No.

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
COLUMBIA PRESBYTERIAN CHURCH
10001 CLARKSVILLE PIKE
COLUMBIA, MD 21044
PHONE: (410) 730-6004
FAX: (410) 977-5489
CONTACT: AL EDWARDS

engineering · surveying · land planning
7172 columbia gateway drive suite 100 · columbia, md 21046-2800
410.872.8890 · mso-301.851.0148 · fax 410.872.8893

ADDRESS CHART

| LOT/PARCEL | STREET ADDRESS |
|------------|--|
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|--|------------------------------|-------------------------|
| PROJECT NAME COLUMBIA PRESBYTERIAN CHURCH | LOT/PARCEL NO. PARCEL 223 | CENSUS TRACT 6054.01 |
| PLAT NO. 14 | ZONE R-20 | TAX MAP 30 |
| WATER CODE | SEWER CODE | ELECTION DISTRICT 5 |

TITLE: AS-BUILT SEDIMENT AND EROSION CONTROL PLAN

| | | |
|--------------|------------------|--------------------|
| DESIGN: DAF1 | SCALE: 1" = 40' | PROJECT: 080801.00 |
| DRAWN: DAF1 | DATE: APRIL 2010 | |
| CHECKED: ENJ | APPROVED: RCE | 9 OF 16 |

48 Hours Before You Dig Call
"MISS UTILITY"
Service Protection Center

CALL TOLL FREE 1-800-257-7777

SOILS SUMMARY CHART

| SYMBOL | NAME | GROUP |
|--------|-----------|-------|
| GnB2 | GLENVILLE | B |
| MIC3 | MANOR | B |
| CHB2 | CHESTER | B |
| GIB2 | GLENEIG | B |
| GIC2 | GLENEIG | B |

AS-BUILT CERTIFICATION
THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.

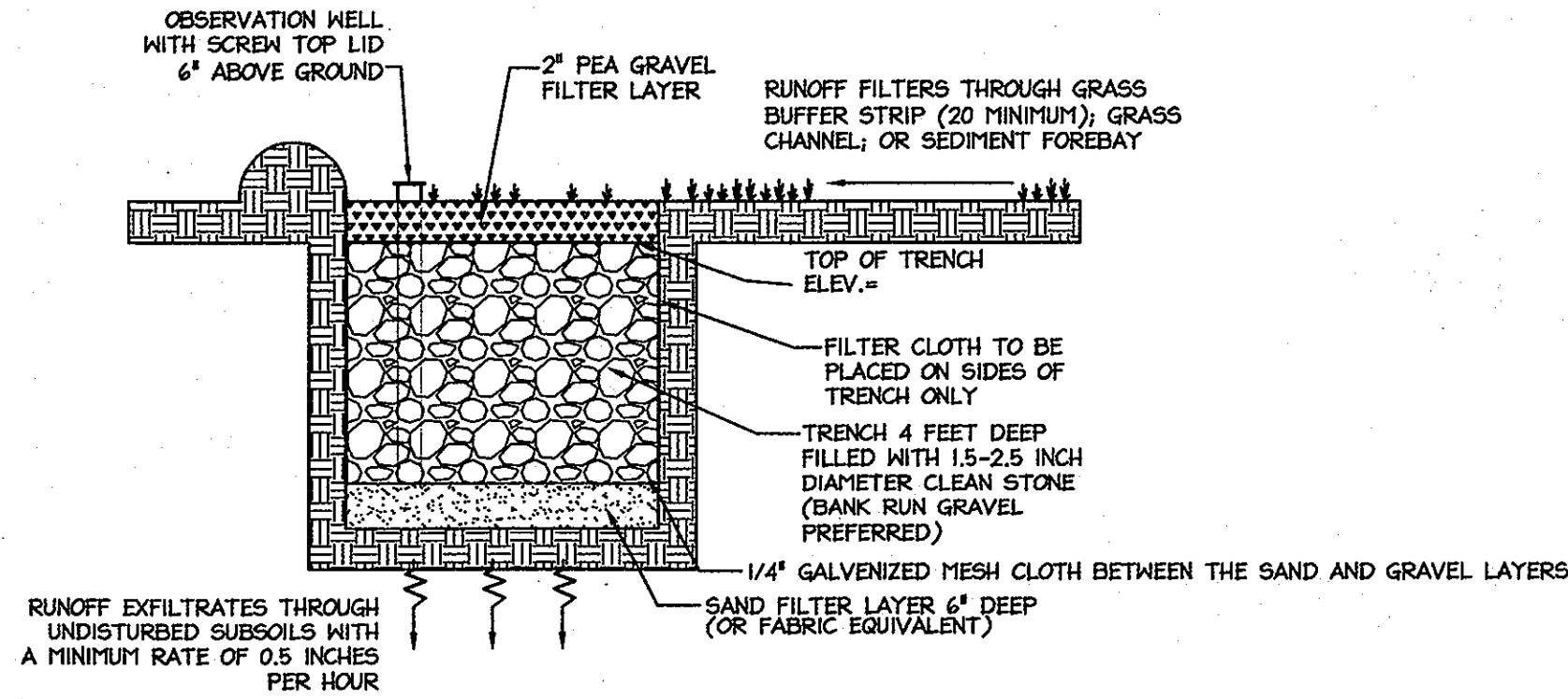
John D. ... 2013-01-10
DATE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

4/5/10
DATE

MDC-878(SDP)



TYPICAL INFILTRATION TRENCH PROFILE
NOT TO SCALE

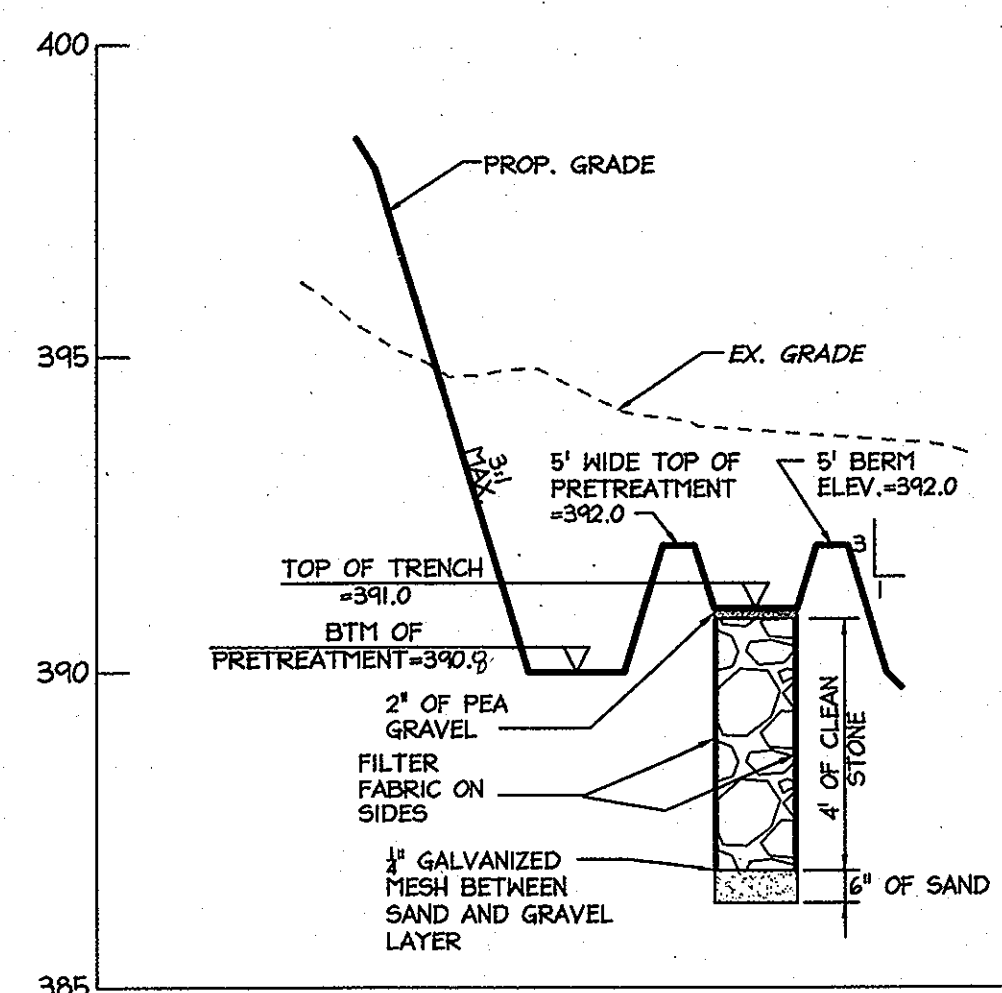
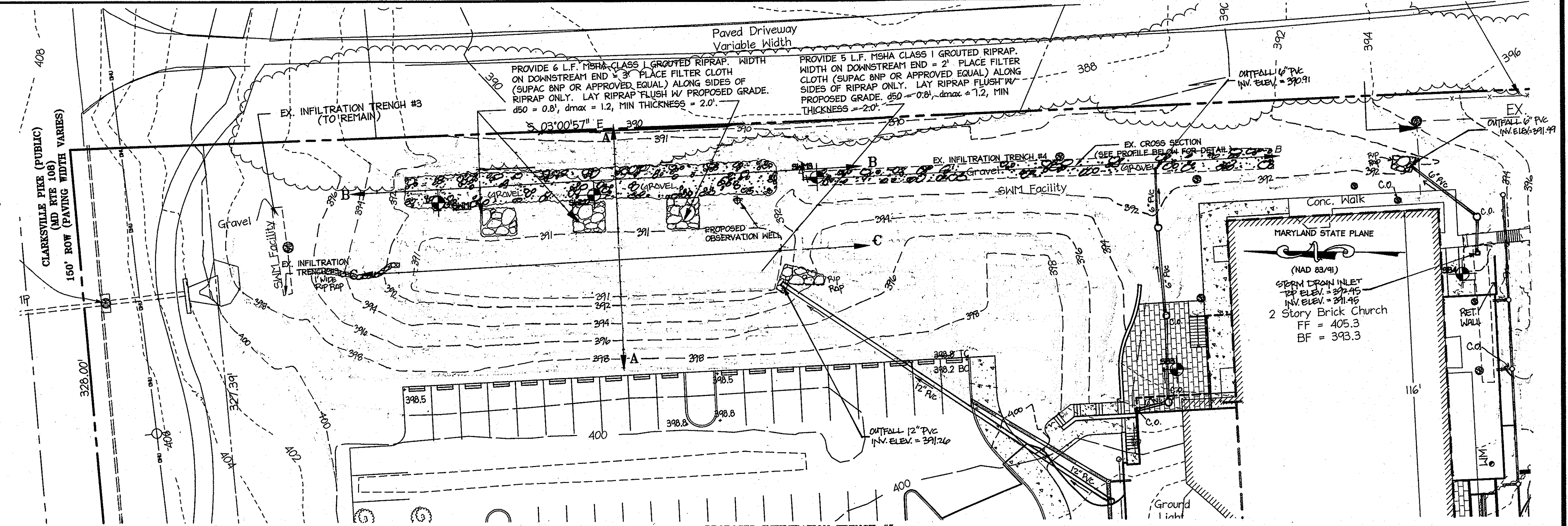
INFILTRATION TRENCH GENERAL NOTES AND SPECIFICATIONS

- AN INFILTRATION TRENCH MAY NOT RECEIVE RUN-OFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE INFILTRATION TRENCH HAS RECEIVED FINAL STABILIZATION.
- HEAVY EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE PROPOSED LOCATION OF THE INFILTRATION TRENCH TO MINIMIZE COMPACTION OF THE SOIL.
 - EXCAVATE THE INFILTRATION TRENCH TO THE DESIGN DIMENSIONS. EXCAVATED MATERIALS SHALL BE PLACED AWAY FROM THE TRENCH SIDES TO ENHANCE TRENCH WALL STABILITY. LARGE TREE ROOTS MUST BE TRIMMED FLUSH WITH THE TRENCH SIDES IN ORDER TO PREVENT FABRIC PUNCTURING OR TEARING OF THE FILTER FABRIC DURING SUBSEQUENT INSTALLATION PROCEDURES. THE SIDEWALLS OF THE TRENCH SHALL BE ROUGHENED WHERE SHEARED AND SEALED BY HEAVY EQUIPMENT.
 - A CLASS "C" GEOTEXTILE OR BETTER (SEE SECTION 24.0, MATERIAL SPECIFICATIONS, 1994 STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, MDE, 1994) SHALL INTERFACE BETWEEN THE TRENCH SIDEWALLS AND A GALVANIZED MESH LAYER SHALL BE BETWEEN THE STONE RESERVOIR AND GRAVEL FILTER LAYERS. A PARTIAL LIST OF NON-WOVEN FILTER FABRICS THAT MEET THE CLASS "C" CRITERIA FOLLOWS. ANY ALTERNATIVE FILTER FABRIC MUST BE APPROVED BY THE PLAN APPROVAL AUTHORITY.

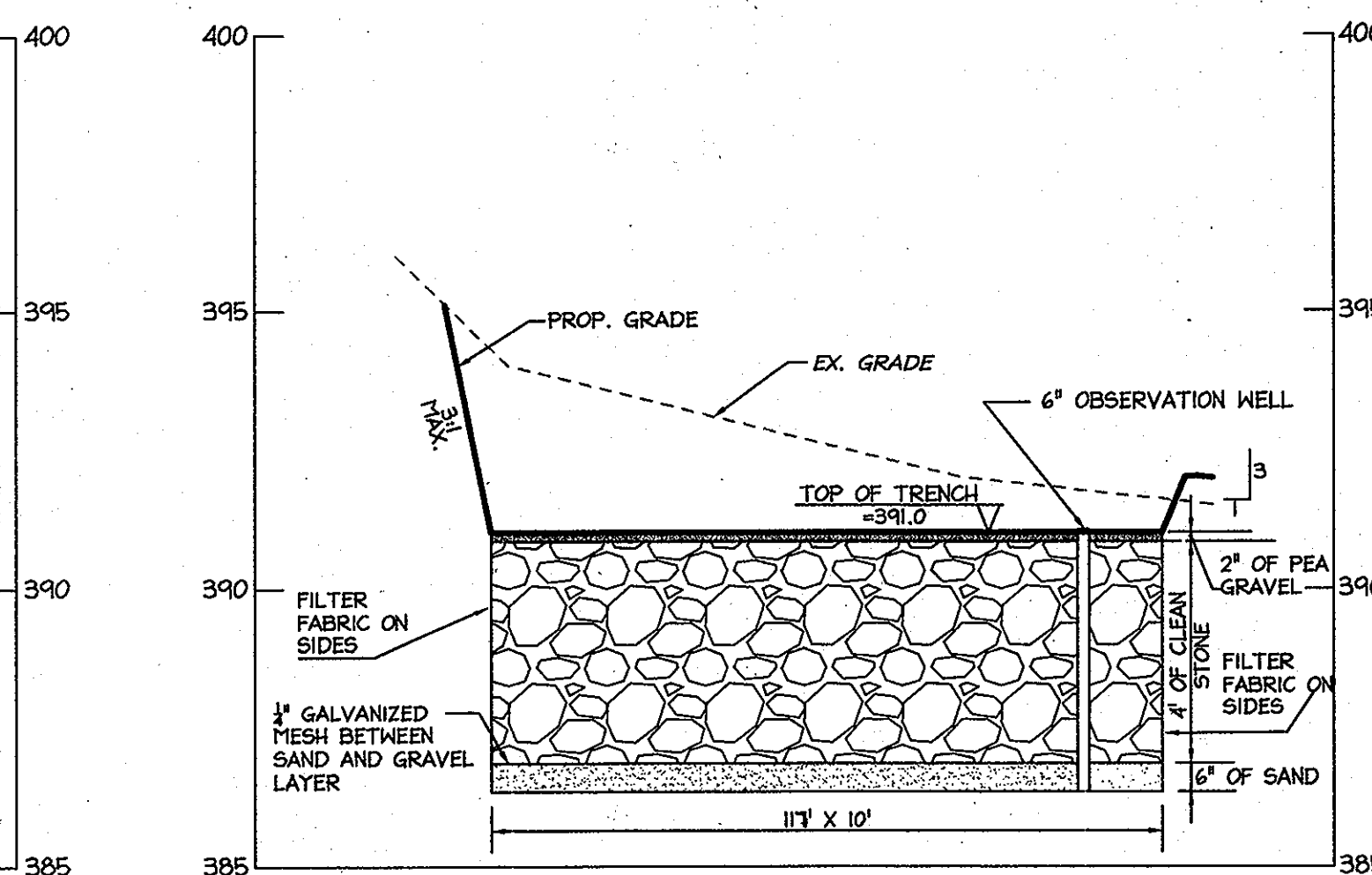
AMOCO 4552 GEOLON N70 HEBTEC N07
 CARTHAGE FX-805 MIRAFI 180-N

THE WIDTH OF THE GEOTEXTILE MUST INCLUDE SUFFICIENT MATERIAL TO CONFORM TO TRENCH PERIMETER IRREGULARITIES AND FOR A 6-INCH MINIMUM TOP OVERLAP AND 1" AT THE JOINT. STONES OR OTHER ANCHORING OBJECTS SHOULD BE PLACED ON THE FABRIC AT THE EDGE OF THE TRENCH TO KEEP THE TRENCH OPEN DURING WINDY PERIODS. WHEN OVERLAPS ARE REQUIRED BETWEEN ROLLS, THE UPHILL ROLL SHOULD LAP A MINIMUM OF 2 FEET OVER THE DOWNHILL ROLL IN ORDER TO PROVIDE A SHINGLED EFFECT.

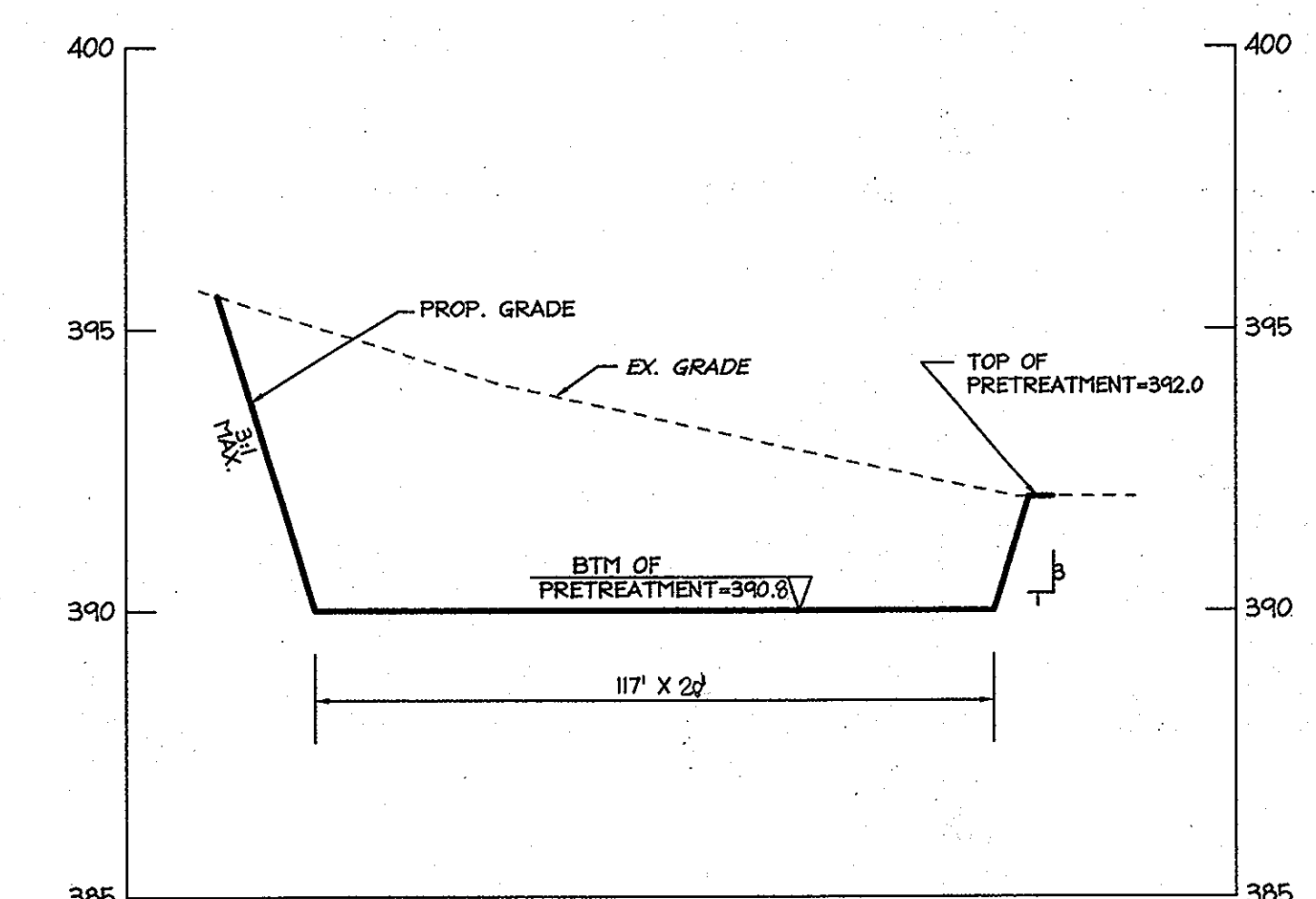
- IF A 6 INCH SAND FILTER LAYER IS PLACED ON THE BOTTOM OF THE INFILTRATION TRENCH, THE SAND FOR THE INFILTRATION TRENCH SHALL BE WASHED AND MEET AASHTO-M-45, SIZE NO. 9 OR NO. 10. ANY ALTERNATIVE SAND GRADATION MUST BE APPROVED BY THE PLAN APPROVAL AUTHORITY.
- THE STONE AGGREGATE SHOULD BE PLACED IN A MAXIMUM LOOSE LIFT THICKNESS OF 12 INCHES. THE GRAVEL (ROUNDED "BANK RUN" GRAVEL IS PREFERRED) FOR THE INFILTRATION TRENCH SHALL BE WASHED AND MEET ONE OF THE FOLLOWING AASHTO-M-45, SIZE NO. 2 OR NO. 3.
- FOLLOWING THE STONE AGGREGATE PLACEMENT, THE FILTER FABRIC SHALL BE FOLDED OVER THE STONE AGGREGATE TO FORM A 12-INCH MINIMUM LONGITUDINAL LAP. THE DESIRED FILL SOIL OR STONE AGGREGATE SHALL BE PLACED OVER THE LAP AT SUFFICIENT INTERVALS TO MAINTAIN THE LAP DURING SUBSEQUENT BACKFILLING.
- CARE SHALL BE EXERCISED TO PREVENT NATURAL OR FILL SOILS FROM INTERMIXING WITH THE STONE AGGREGATE. ALL CONTAMINATED STONE AGGREGATE SHALL BE REMOVED AND REPLACED WITH UNCONTAMINATED STONE AGGREGATE.
- VOIDS MAY OCCUR BETWEEN THE FABRIC AND THE EXCAVATION SIDES SHALL BE AVOIDED. REMOVING BOULDERS OR OTHER OBSTACLES FROM THE TRENCH WALLS IS ONE SOURCE OF SUCH VOIDS. THEREFORE, NATURAL SOILS SHOULD BE PLACED IN THESE VOIDS AT THE MOST CONVENIENT TIME DURING CONSTRUCTION TO ENSURE FABRIC CONFORMITY TO THE EXCAVATION SIDES.
- VERTICALLY EXCAVATED WALLS MAY BE DIFFICULT TO MAINTAIN IN AREAS WHERE SOIL MOISTURE IS HIGH OR WHERE SOFT COHESIVE OR COHESIVENESS SOILS ARE DOMINANT. THESE CONDITIONS MAY REQUIRE LAYING BACK OF THE SIDE SLOPES TO MAINTAIN STABILITY.
- THE OBSERVATION WELL IS TO CONSIST OF 6-INCH DIAMETER PERFORATED PVC SCHEDULE 40 PIPE (M 278 OR F750, TYPE PS 28) WITH A CAP SET 6 INCHES ABOVE GROUND LEVEL AND IS TO BE LOCATED NEAR THE LONGITUDINAL CENTER OF THE INFILTRATION TRENCH. THE PIPE SHALL HAVE A PLASTIC COLLAR WITH RIBS TO PREVENT ROTATION WHEN REMOVING THE CAP. THE SCREEN TOP LID SHALL BE A CLEANOUT WITH A LOCKING MECHANISM OR SPECIAL BOLT TO DISCOURAGE VANDALISM. THE DEPTH TO THE INVERT SHALL BE MARKED WITH A LOCKING LID. THE PIPE SHALL BE PLACED VERTICALLY WITHIN THE GRAVEL PORTION OF THE INFILTRATION TRENCH AND A CAP PROVIDED AT THE BOTTOM OF THE PIPE. THE BOTTOM OF THE CAP SHALL REST ON A PIECE OF MARINE PLYWOOD ON THE INFILTRATION TRENCH BOTTOM.
- CORRUGATED METAL DISTRIBUTION PIPES SHALL CONFORM TO AASHTO-M-36, AND SHALL BE ALUMINIZED IN ACCORDANCE WITH AASHTO-M-274. ALUMINIZED PIPE IN CONTACT WITH CONCRETE SHALL BE COATED WITH AN INERT COMPOUND CAPABLE OF PREVENTING THE DELETERIOUS EFFECT OF THE ALUMINUM ON THE CONCRETE. PERFORATED DISTRIBUTION PIPES SHALL CONFORM TO AASHTO-M-36, CLASS 2 AND SHALL BE PROVIDED ONLY WITHIN THE INFILTRATION TRENCH AND SHALL TERMINATE 1 FOOT SHORT OF THE INFILTRATION TRENCH WALL. AN ALUMINIZED METAL PLATE SHALL BE WELDED TO THE END OF THE PIPE.
- IF A DISTRIBUTION STRUCTURE WITH A MET WELL IS USED, A 4-INCH DRAIN PIPE SHALL BE PROVIDED AT OPPOSITE ENDS OF THE INFILTRATION TRENCH DISTRIBUTION STRUCTURE. TWO (2) CUBIC FEET OF POROUS BACKFILL MEETING AASHTO-M-45, SIZE NO. 57 SHALL BE PROVIDED AT EACH DRAIN.
- IF A DISTRIBUTION STRUCTURE IS USED, THE MANHOLE COVER SHALL BE BOLTED TO THE FRAME.



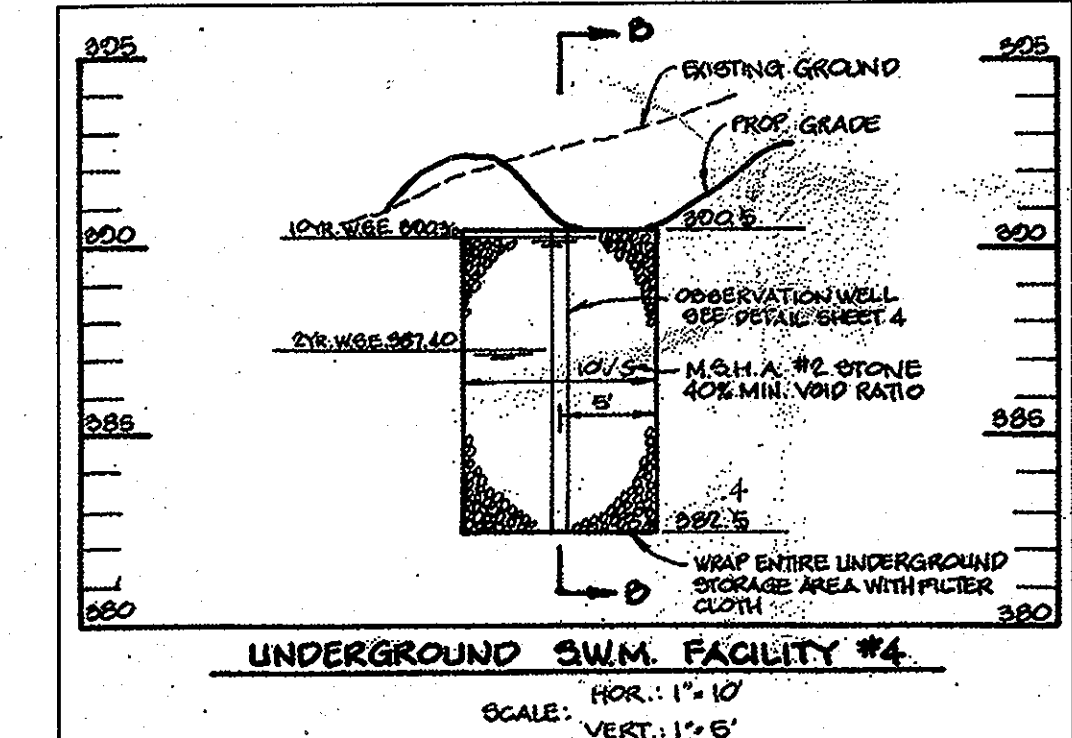
PROPOSED INFILTRATION TRENCH A-A
HORIZ: 1"=30'
VERT: 1"=3'



PROPOSED INFILTRATION TRENCH B-B
HORIZ: 1"=30'
VERT: 1"=3'

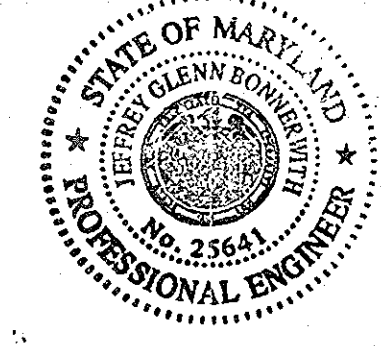


PROPOSED INFILTRATION TRENCH C-C
HORIZ: 1"=30'
VERT: 1"=3'

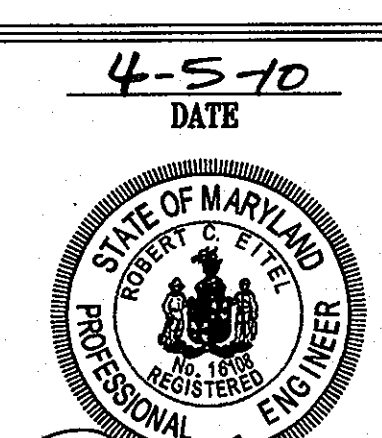


UNDERGROUND SWM FACILITY #4
SCALE: HOR: 1"=10'
VERT: 1"=5'

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY BY MY SEAL, THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THIS "AS-BUILT" PLAN AND COMPLIES WITH THE APPROVED PLANS AND SPECIFICATIONS. I HAVE VERIFIED THAT THE CONTRIBUTING DRAINAGE AREA IS SUFFICIENTLY STABILIZED TO PREVENT CLOSING OF THE UNDERGROUND SWM FACILITY.
 [Signature] 2013-01-10 DATE



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 [Signature] 4-5-10 DATE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

| | | | |
|---|-------------|------|---------|
| Chief, Division of Land Development | [Signature] | Date | 4/29/10 |
| Chief, Development Engineering Division | [Signature] | Date | 4/29/10 |
| Director, Department of Planning and Zoning | [Signature] | Date | 4/29/10 |

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 10001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 750-6004
 FAX: (410) 997-5484
 CONTACT: AL EDWARDS

christopher consultants
 engineering - surveying - land planning
 christopher consultants, inc.
 1172 columbia gateway drive (suite 100) - columbia, md 21046-2880
 410.872.8880 - mpls 301.821.0148 - fax 410.872.8888

ADDRESS CHART

| | |
|------------|--|
| LOT/PARCEL | STREET ADDRESS |
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

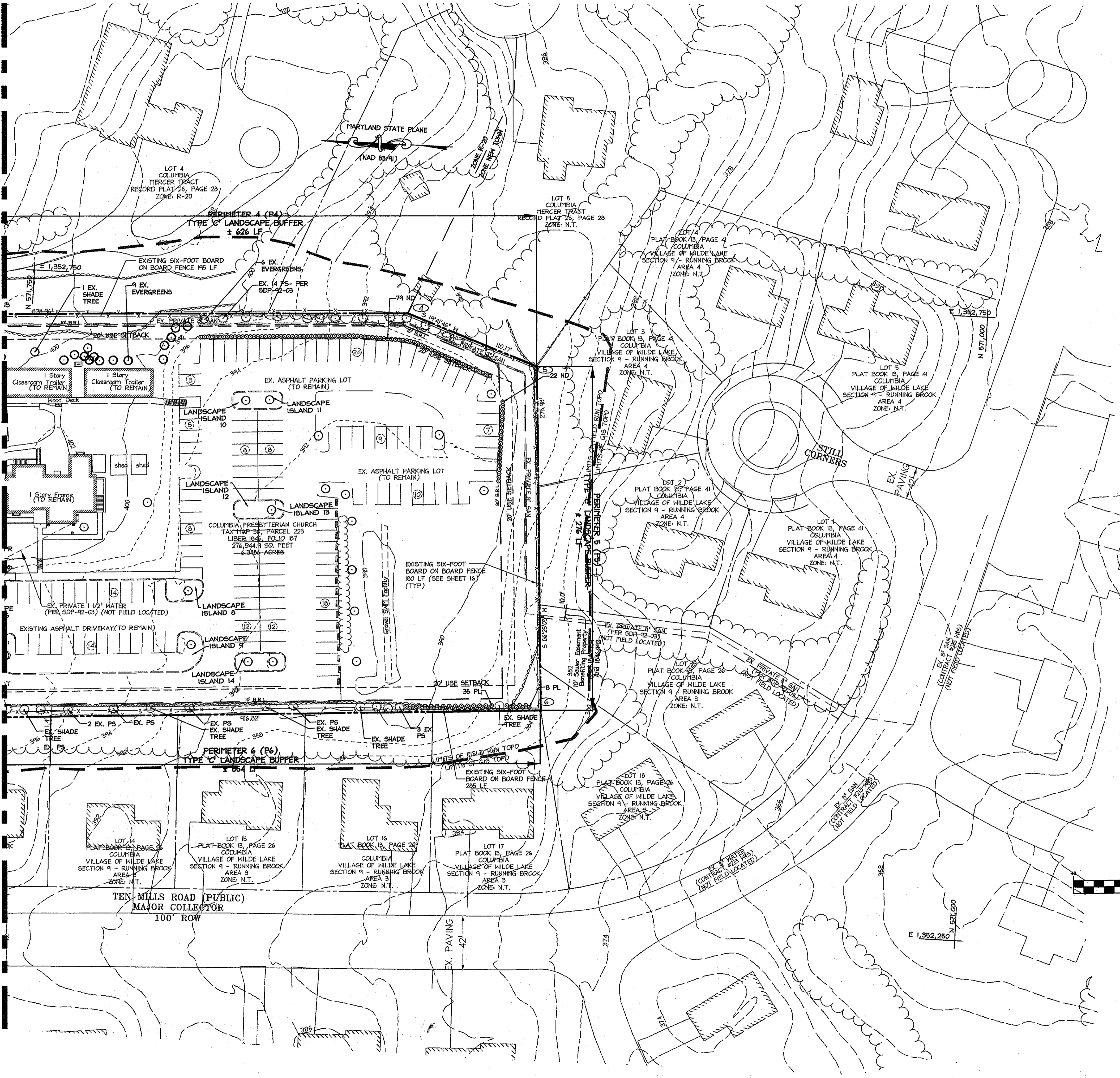
| | | |
|------------------------------|-------------------|--------------|
| PROJECT NAME | LOT/PARCEL NO. | CENSUS TRACT |
| COLUMBIA PRESBYTERIAN CHURCH | PARCEL 223 | 6054.01 |
| PLAT NO. | GRID NO. | ZONE |
| --- | 14 | R-20 |
| TAX MAP | ELECTION DISTRICT | |
| 30 | 5 | |
| WATER CODE | SEWER CODE | |
| --- | --- | |

TITLE:
AS-BUILT STORMWATER MANAGEMENT NOTES AND DETAILS

| | | |
|--------------|------------------|--------------------|
| DESIGN: ENJ | SCALE: AS SHOWN | PROJECT: 080801.00 |
| DRAWN: SSA | DATE: APRIL 2010 | |
| CHECKED: RCE | APPROVED: RCE | |

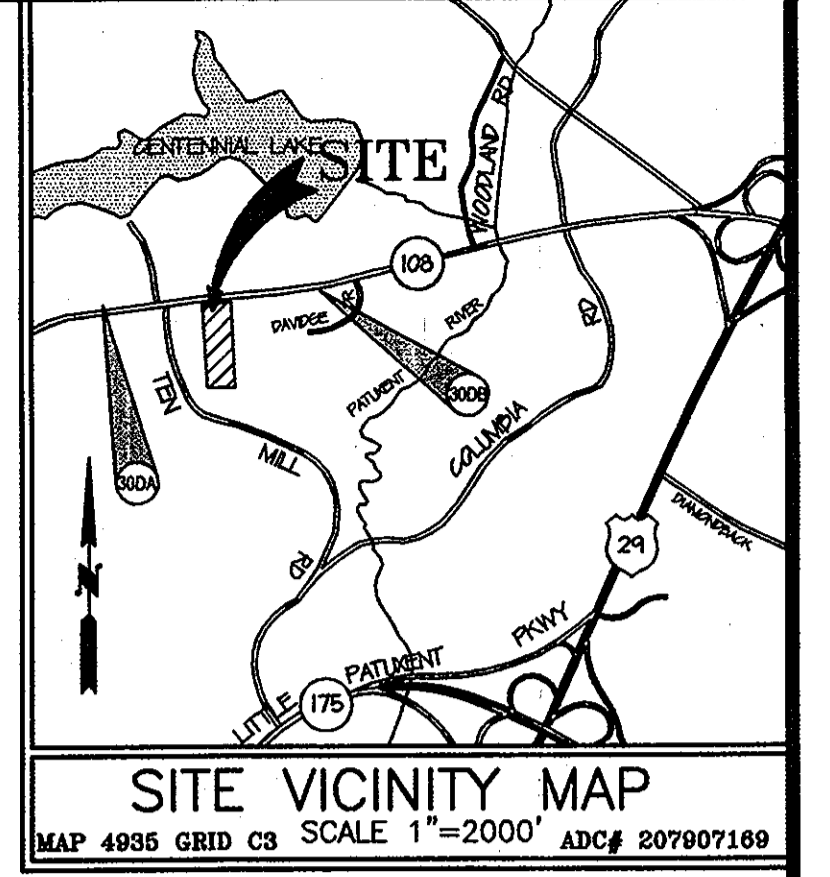
MDC-878(SDP)

MATCHLINE SEE SHEET 14 FOR CONTINUATION



LEGEND

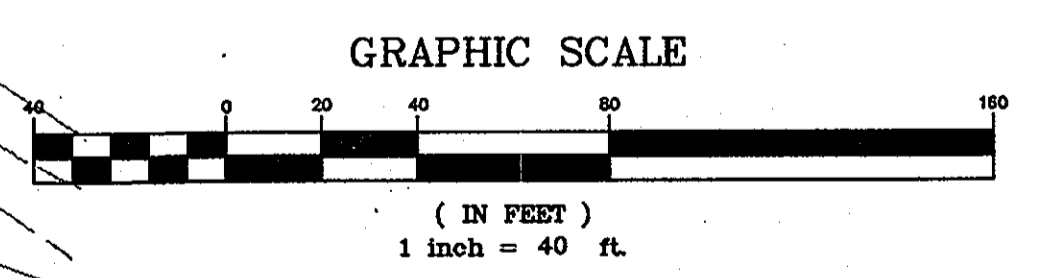
- EXISTING INTER CONTOUR
- EXISTING INDEX CONTOUR
- PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING TREELINE
- EXISTING TREE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE



AS-BUILT CERTIFICATION
THERE IS NO AS-BUILT INFORMATION PROVIDED ON THIS SHEET.
M. B. B... 2013-01-10
DATE



MISS UTILITYSM
Before You Dig
Call
800-4-A-SHIELD
CALL TOLL FREE
1-800-257-7777



4.5.2010
DATE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

| | |
|---|---------|
| <i>Glenn B. ...</i> | 4/22/10 |
| Chief, Division of Land Development | Date |
| <i>Thomas B. ...</i> | 4/22/10 |
| Chief, Development Engineering Division | Date |
| <i>Thomas B. ...</i> | 4/22/10 |
| Director, Department of Planning and Zoning | Date |

12-20-12 1 AS-BUILT REVISION

Date No.

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
COLUMBIA PRESBYTERIAN CHURCH
10001 CLARKSVILLE PIKE
COLUMBIA, MD 21044
PHONE: (410) 750-4004
FAX: (410) 997-5499
CONTACT: AL EDWARDS

christopher consultants
engineering · surveying · land planning
christopher consultants, ltd.
7172 columbia gateway drive suite 100 | columbia, md 21046-2990
410.722.8500 · mdc-878-1119 · fax 410.722.8520

ADDRESS CHART

| LOT/PARCEL | STREET ADDRESS |
|------------|--|
| 223 | 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044 |

PERMIT INFORMATION CHART

| | | |
|--|------------------------------|-------------------------|
| PROJECT NAME COLUMBIA PRESBYTERIAN CHURCH | LOT/PARCEL NO. PARCEL 223 | CENSUS TRACT 6054.01 |
| PLAT NO. --- | GRID NO. 14 | ZONE R-20 |
| TAX MAP 30 | ELECTION DISTRICT 5 | SEWER CODE --- |

TITLE: **AS-BUILT LANDSCAPE PLAN**

| | | |
|--------------|------------------|--------------------|
| DESIGN: CRH | SCALE: 1"= 40' | PROJECT: 080801.00 |
| DRAWN: SSA | DATE: APRIL 2010 | |
| CHECKED: LNG | APPROVED: RCE | |

MDC-878(SDP)

GENERAL PLANTING NOTES

1. ALL PLANT MATERIAL TO MEET A.A.N. STANDARDS.
2. LANDSCAPING CONTRACTOR TO FOLLOW LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METRO AREA APPROVED BY LCAPMA.
3. NO SUBSTITUTIONS TO BE MADE WITHOUT CONSENT OF LANDSCAPE ARCHITECT OR OWNER.
4. IN THE EVENT OF VARIATION BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND THE PLANS, THE PLANS SHALL CONTROL. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF WORK. SOQ QUANTITY TAKE-OFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO BIDDING. THE CONTRACTOR SHALL FURNISH PLANT MATERIAL IN SIZES AS SPECIFIED IN THE PLANT LIST.
5. ALL BEDS TO BE TOPPED WITH THREE INCHES OF HARDWOOD MULCH.
6. LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UTILITIES WITH OWNERS BEFORE PLANTING.
7. LANDSCAPE ARCHITECT/OWNER SHALL SELECT, VERIFY AND/OR APPROVE ALL PLANT MATERIAL. AT OWNER'S DISCRETION, SPECIMEN AND OTHER PLANT MATERIAL WILL BE SELECTED.
8. LANDSCAPE CONTRACTOR SHALL COORDINATE PLANT BED FILLING OPERATIONS AND PLANT MATERIAL INSTALLATION WITH GENERAL CONTRACTOR AND UTILITIES CONTRACTOR. AT THE TIME OF FINAL INSPECTION WITH ACCEPTANCE, ALL ELECTRIC, WATER, DRAINAGE, AND FOUNTAIN UTILITIES, AS WELL AS ALL PLANT MATERIALS, SHALL REMAIN UNDAMAGED. LIKEWISE, LANDSCAPE CONTRACTOR AND UTILITIES CONTRACTOR SHALL COORDINATE EFFORTS TO ENSURE THAT SURFACE UTILITIES ARE AT THE PROPER ELEVATION RELATIVE TO FINAL GRADES.
9. CONTRACTOR SHALL NOTIFY MISS UTILITY 72 HOURS PRIOR TO CONSTRUCTION.
10. THE OWNER, TENANT, AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERRIES, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.
11. TOPSOIL MIX
 - A. PLANTING MIX SHALL BE PREPARED AT APPROVED ON-SITE STAGING AREA USING APPROVED ON-SITE EXISTING SOIL. MIX MINIMUM QUANTITIES OF 20 CUBIC YARDS OR SUFFICIENT MIX FOR ENTIRE JOB IF LESS THAN 20 CUBIC YARDS IS REQUIRED.
 - B. THOROUGHLY MIXED IN THE FOLLOWING PROPORTIONS FOR TREE AND SHRUB PLANTING MIX: 5 CY EXISTING SOIL, 2 CY SHARP SAND, 3 CY HOOD RESIDUALS, 4.5 LBS TREBLE SUPERPHOSPHATE, 5 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
 - C. FOR BED PLANTING, SHRUBS AND GROUNDCOVER SPACES 24 INCHES OR CLOSER, INCORPORATE THE FOLLOWING INGREDIENTS PER 20 SF AND INCORPORATE INTO TOP 8 INCHES OF EXISTING SOILS BY ROTOTILLING OR SIMILAR METHOD OF INCORPORATION: 2 CY SHARP SAND, 3 CY ORGANIC MATERIAL, 4.5 LBS TREBLE SUPERPHOSPHATE, 5 LBS DOLOMITE LIMESTONE (ELIMINATE FOR ACID LOVING PLANTS)
12. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL WITH 13 SHADE TREES AND 7 EVERGREEN TREES AND 9 SHRUBS PROVIDED WITH LANDSCAPE SURETY IN THE AMOUNT OF \$7600.00 WITH THE DPW DEVELOPER'S AGREEMENT. LANDSCAPE SURETY IS BASED ON THE NUMBER OF REQUIRED PLANTS PER THE LANDSCAPE MANUAL (13 SHADE TREES x \$300.00 EA., 7 EVG. TREES x \$150.00, AND 9 SHRUBS x \$30.00 EA.)
13. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

DEVELOPER'S/BUILDER'S CERTIFICATE

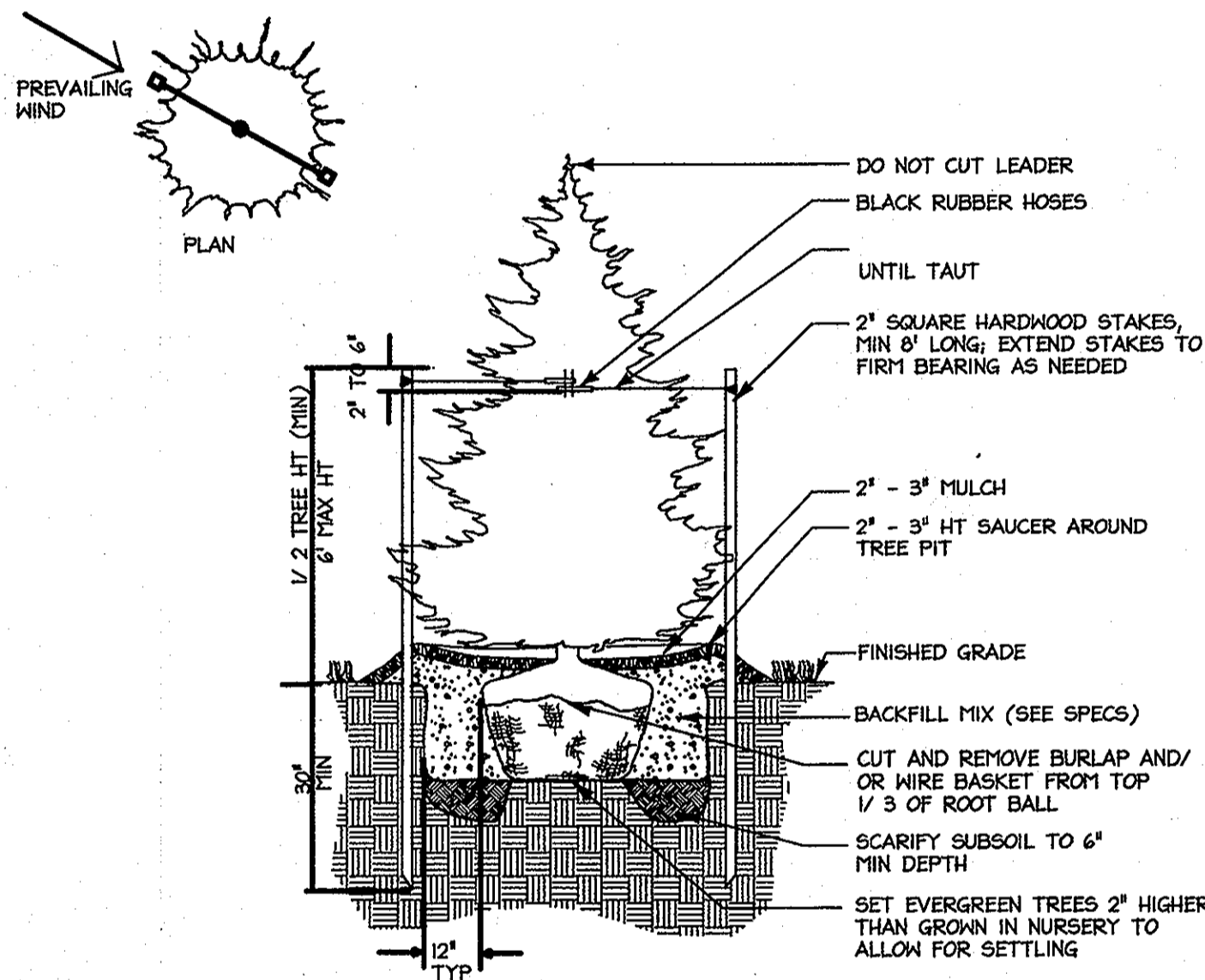
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON TREES COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Stephen B. Hise 4/5/2010
NAME DATE

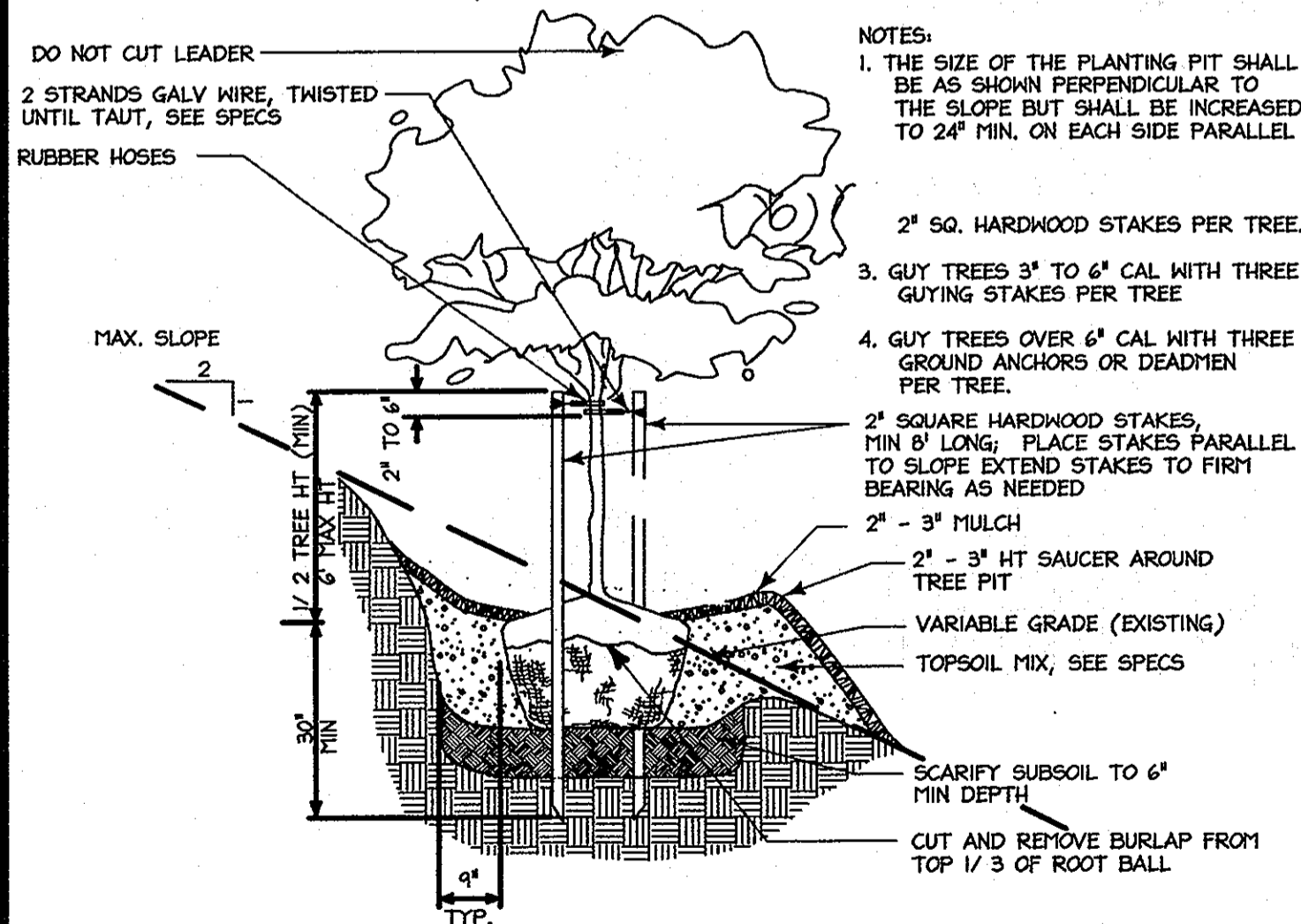
SCHEDULE A PERIMETER LANDSCAPE EDGE

| CATEGORY | ADJACENT TO ROADWAYS | ADJACENT TO PERIMETER PROPERTIES | ADJACENT TO PERIMETER PROPERTIES | ADJACENT TO PERIMETER PROPERTIES | ADJACENT TO PERIMETER PROPERTIES | ADJACENT TO PERIMETER PROPERTIES |
|---|--|----------------------------------|----------------------------------|--|-----------------------------------|---|
| | P1 | P2 | P3 | P4 | P5 | P6 |
| PERIMETER | | | | | | |
| LANDSCAPE TYPE 'A' 1 SHADE TREE PER 60 L.F. | | | ±20% | | | |
| LANDSCAPE TYPE 'B' 1 SHADE TREE PER 50 L.F. 1 EVERGREEN TREE PER 40 L.F. | ±294 | | | | | |
| LANDSCAPE TYPE 'C' 1 SHADE TREE PER 40 L.F. OF PER. 1 SHRUB PER 20 L.F. | | ±55 | | ±626 | ±276 | ±854 |
| CREDIT FOR EX. VEG. BELOW IF NEEDED | *YES, 1 EXISTING SHADE # 7 ORNAMENTALS | YES, 2 EXISTING SHADE TREES | NO | **YES, 32 EX. EVERGREENS # 44 FS PER SDP-92-03 | NO | **YES, 12 SHADES # 22 EVERGREENS # 16 SDP-92-03 |
| CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED) | NO | NO | NO | YES, 450' LF BOARD ON BOARD FENCE | YES, 276' LF BOARD ON BOARD FENCE | YES, 481' LF BOARD ON BOARD FENCE |
| NO. OF PLANTS REQ. | | | | | | |
| SHADE TREES | 2 | 0 | 4 | 0 | 0 | 0 |
| EVG. TREES | 7 | 0 | 0 | 0 | 0 | 0 |
| SHRUBS | 0 | 2 | 1 | 32 | 0 | 43 |
| NO. OF PLANTS PROV. | | | | | | |
| SHADE TREES | 2 | 0 | 4 | 0 | 0 | 0 |
| EVG. TREES | 7 | 0 | 0 | 0 | 0 | 0 |
| OTHER TREES | 0 | 0 | 0 | 0 | 0 | 0 |
| SHRUBS | 0 | 3 | 0 | 74 | 22 | 43 |

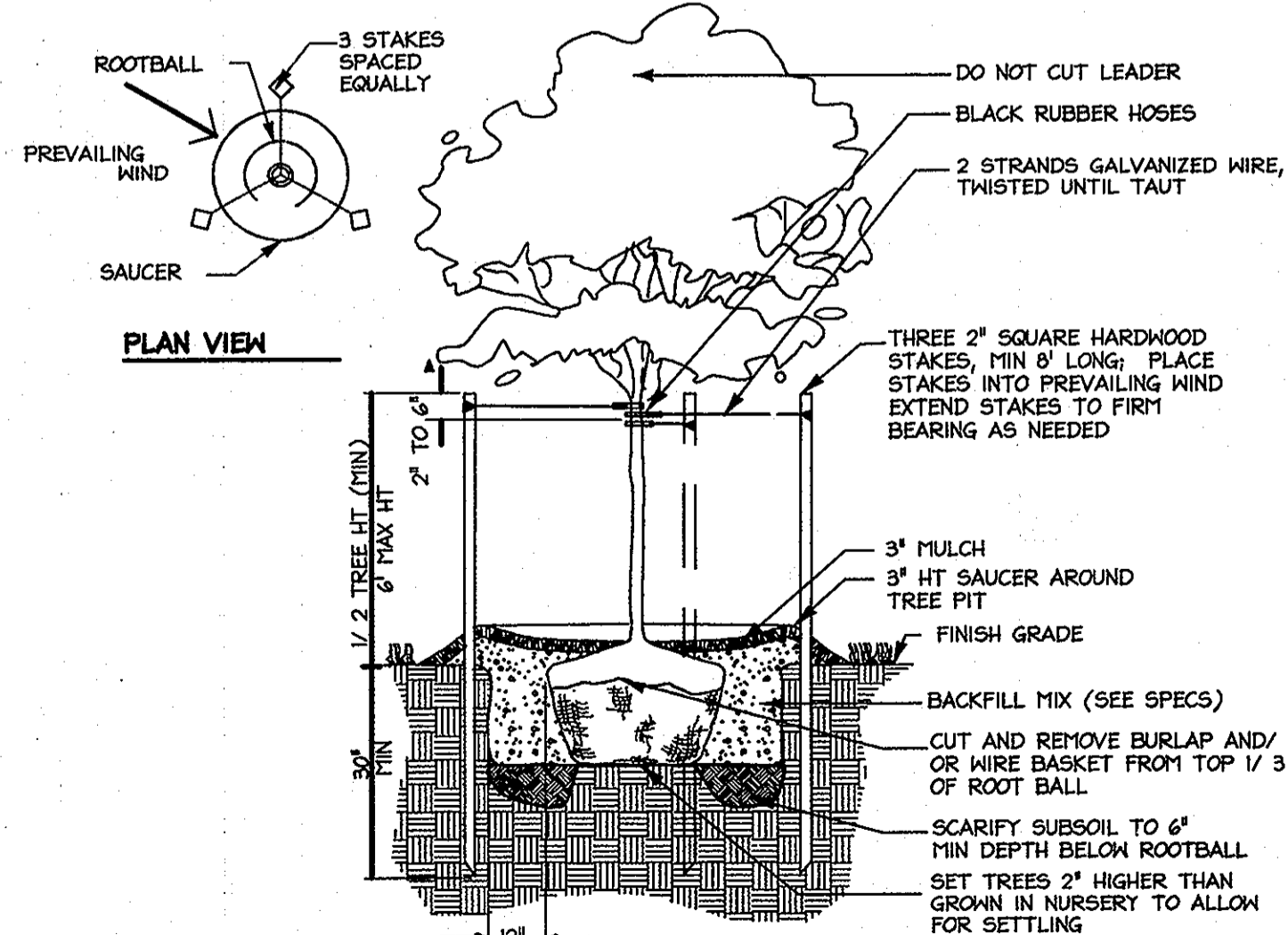
*CREDIT REQUESTED FOR 1 EX. SHADE TREE AND 6 EX. ORNAMENTAL TREES TO SUBSTITUTE FOR 4 SHADE TREES
 **CREDIT REQUESTED FOR 14 PINUS STROBUS PER SDP-92-03 TO SUBSTITUTE FOR 7 SHADE TREES
 ***CREDIT REQUESTED 5 EVERGREEN TREES PER SDP-92-03



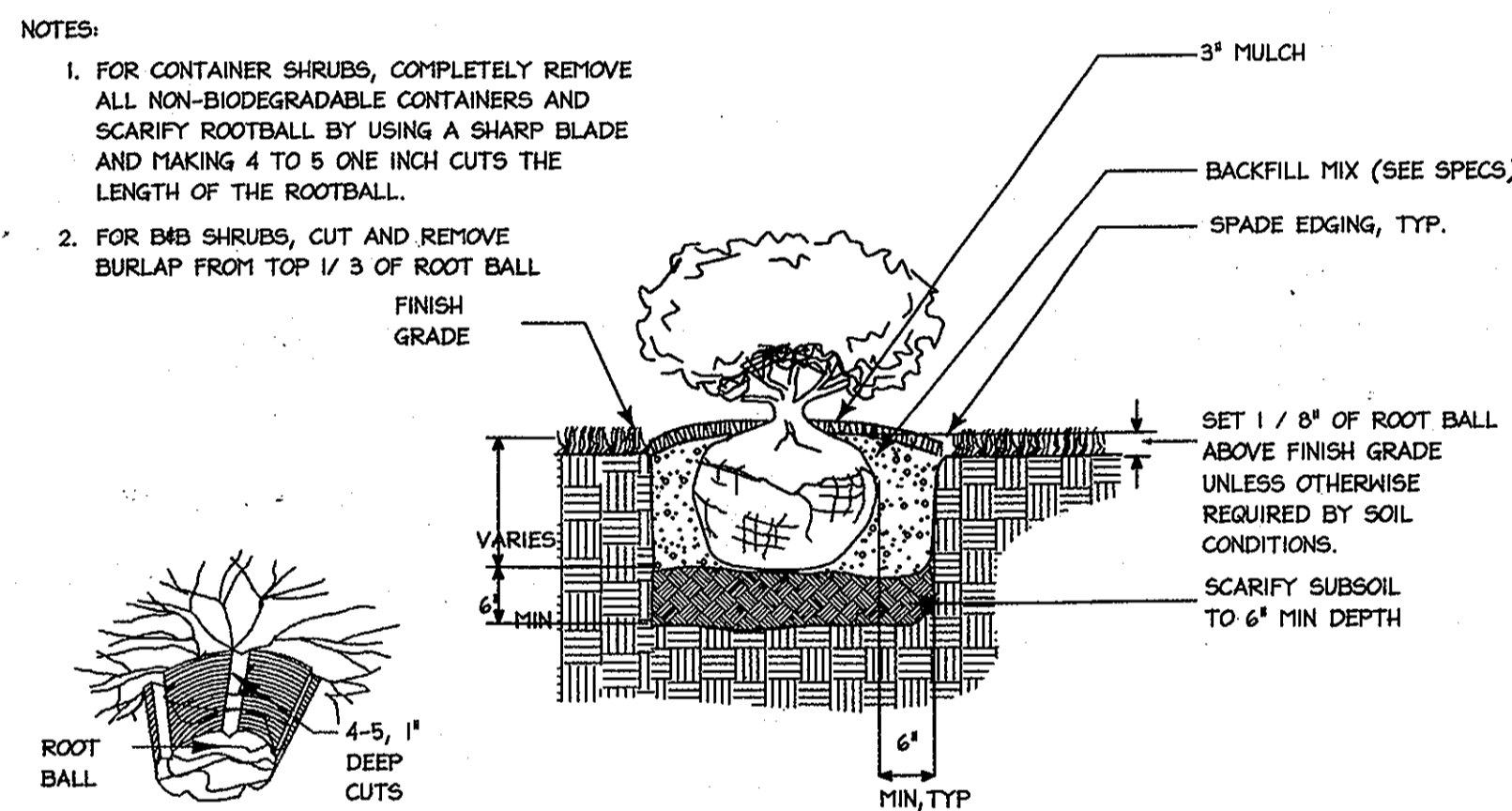
B Evergreen Tree Planting Detail
Not To Scale



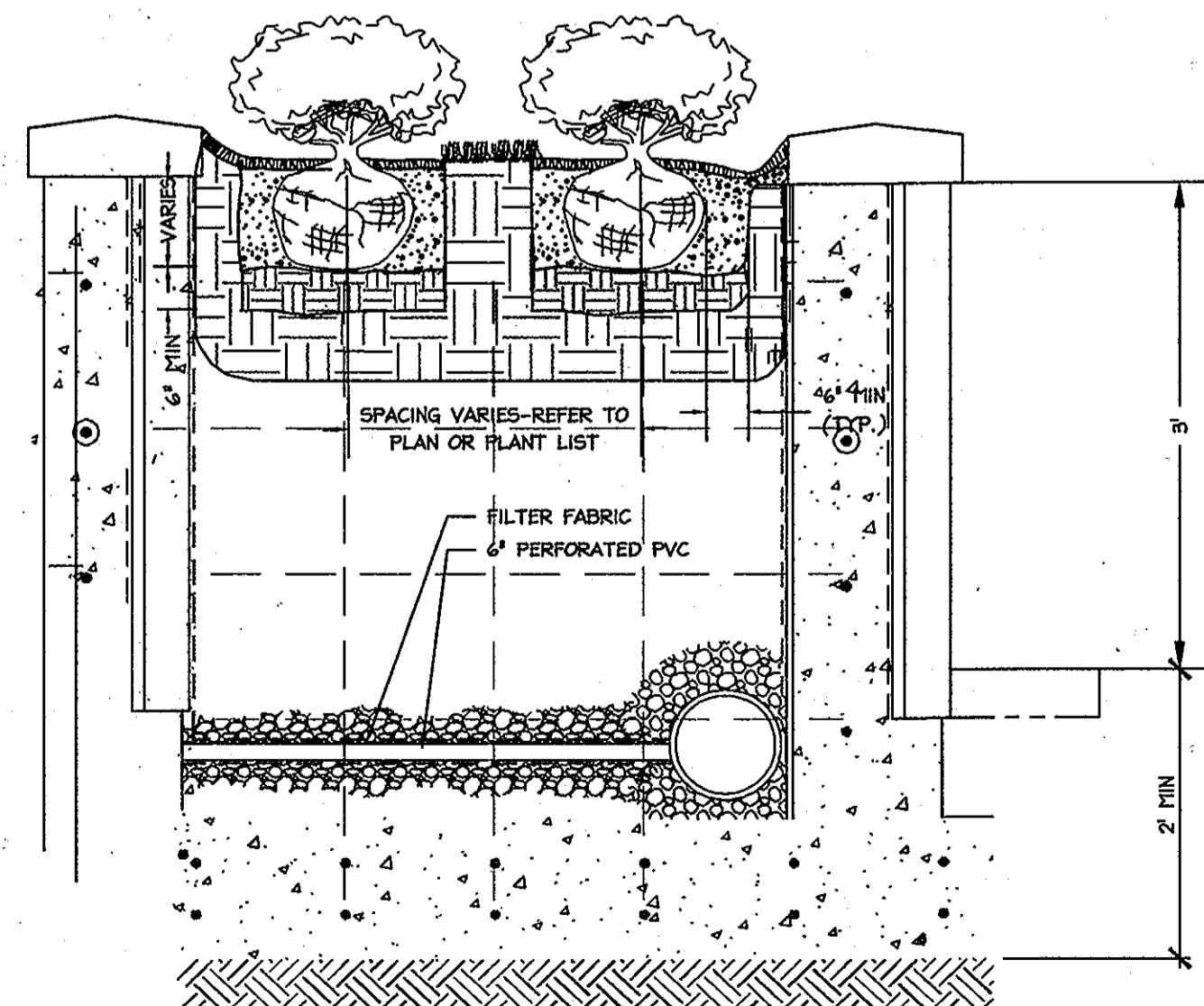
A Tree Planting on Slope
Not To Scale



C Tree Planting Detail
Not To Scale



E Shrub Bed Planting Detail
Not To Scale

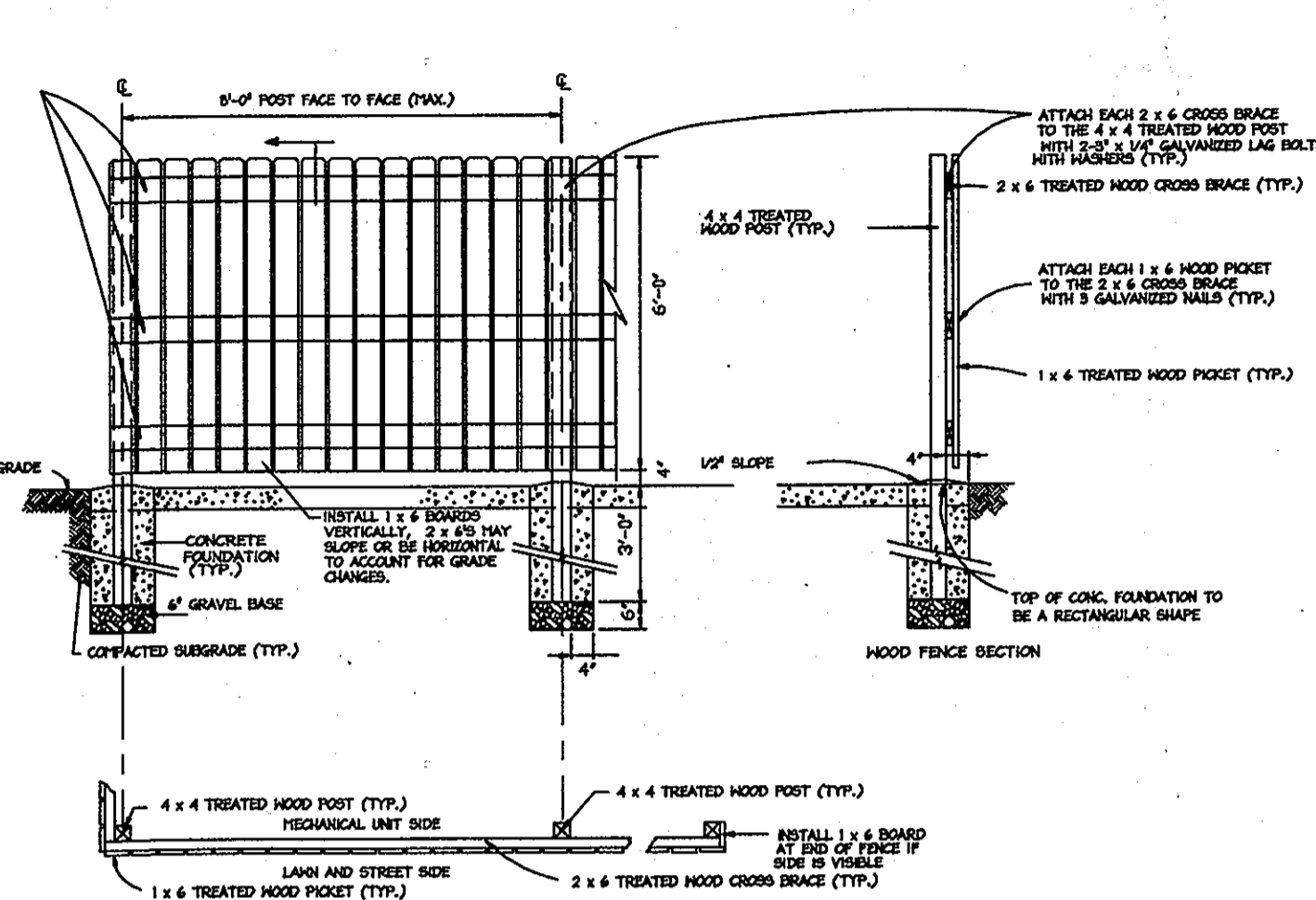


F Planter Detail
Not To Scale

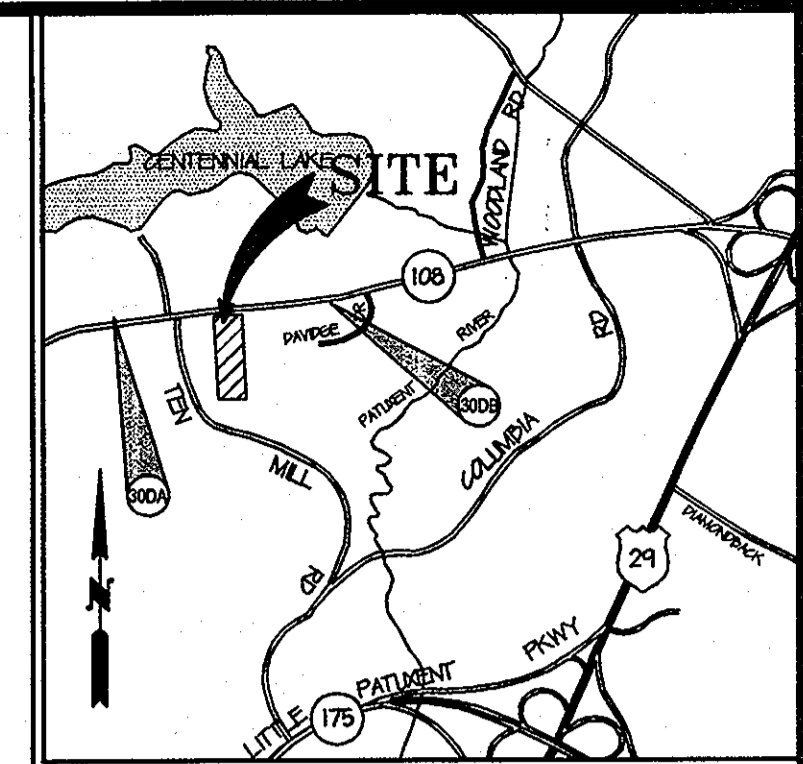
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING

| | |
|---|--------------------------------|
| NUMBER OF PROPOSED PARKING SPACES | 262 |
| INTERNAL ISLANDS REQUIRED (1 ISLAND/ 20 PARKING SPACES) | 14 |
| INTERNAL ISLANDS PROVIDED (200 SQ. FT. ISLAND) | 14* |
| NUMBER OF TREES REQUIRED (1 SHADE TREE/ 20 PARKING SPACES) | 14 |
| NUMBER OF TREES PROVIDED (SHADE TREES (2:1 SUBSTITUTION) OTHER TREES) | 10 (PLUS 10 EX. SHADE TREES) 0 |

REQUIRED LANDSCAPE ISLANDS ARE LABELED ON SHEETS 14 AND 15. VEGETATION REQUIRED FOR LANDSCAPE ISLAND #5 HAS BEEN RELOCATED TO THE NORTHERN CORNER OF THE PARKING LOT, DUE TO UTILITY EASEMENTS.



D Board on Board Fence Detail
Not To Scale



SITE VICINITY MAP
MAP 4895 GRID C3 SCALE 1"=2000' AD# 207807169

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Verdell Seabrook 4/27/10
 Chief, Division of Land Development Date
Thomas E. Butler 4/28/10
 Chief, Development Engineering Division Date
 Director, Department of Planning and Zoning Date

1. AS-BUILT REVISION
 Date No.

COLUMBIA PRESBYTERIAN CHURCH BUILDING AND PARKING LOT EXPANSION

OWNER/DEVELOPER
 COLUMBIA PRESBYTERIAN CHURCH
 1001 CLARKSVILLE PIKE
 COLUMBIA, MD 21044
 PHONE: (410) 750-6004
 FAX: (410) 997-5494
 CONTACT: AL EDWARDS

christopher consultants
 engineering · surveying · land planning
 christopher consultants, ltd.
 7172 columbia gateway drive (suite 100) · columbia, md 21046-2990
 410.752.8500 · mdc-01.011-0-0 · tx-410.672.8529

ADDRESS CHART
 LOT/PARCEL STREET ADDRESS
 223 10001 CLARKSVILLE PIKE, COLUMBIA, MD 21044

PERMIT INFORMATION CHART
 PROJECT NAME LOT/PARCEL NO. CENSUS TRACT
 COLUMBIA PRESBYTERIAN CHURCH PARCEL 223 6054.01
 PLAT NO. GRID NO. ZONE TAX MAP ELECTION DISTRICT
 WATER CODE SEWER CODE

TITLE: AS-BUILT LANDSCAPE DETAILS

DESIGN: CRH SCALE: NOT TO SCALE PROJECT: 080801.00
 DRAWN: SBA DATE: APRIL 2010
 CHECKED: LNG APPROVED: RCE

MDC-878(SDP)