



**SITE DEVELOPMENT PLAN LEGEND**

- 366 EXISTING CONTOUR
- 300 PROPOSED 2 FT. CONTOUR LINE (EVEN)
- PROPOSED INTERMEDIATE (ODD) PAVEMENT CONTOUR
- +63.41 PROPOSED SPOT ELEVATION
- MEX MATCH EXISTING
- (T.B.R.) TO BE REMOVED
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- M - MANHOLE
- 1 - INLET
- 5 - STUB
- EX 8" EXISTING SANITARY SEWER
- 8" (priv) PROPOSED SANITARY SEWER (PRIVATE)
- WATERLINE (PUBLIC)
- PHG (PRIVATE)
- EXISTING FIRE HYDRANT
- NEW FIRE HYDRANT
- EXISTING CURB & GUTTER
- EXISTING CURB & GUTTER TO BE REMOVED
- PROPOSED CONCRETE CURB & GUTTER (DET. 1/4)
- GUTTER PAN
- FACE OF CURB
- PTFC
- BACK OF CURB
- PROPOSED CONCRETE/PAVER SIDEWALK (DET. 2/4)
- EASEMENT AREA (SHADED)
- PROPOSED NUMBER OF PARKING SPACES
- EXISTING LIGHT FIXTURE & POLE
- NEW LIGHT FIXTURE & POLE (Match existing 6000K Lighting, Type-3 180" 1400" 610-3XL 400FH on 25' Pole)
- FOREST CONSERVATION EASEMENT
- FOREST CONSERVATION AREA
- LIMIT OF GRADING DISTURBANCE
- EXISTING BGE POLES
- BGE TRANSFORMER
- TELEPHONE LINE
- CABLE TV
- ECE ELECTRIC LINE ENCASED
- ECU ELECTRIC LINE UNENCASED
- G GAS LINE
- BUILDING DOOR LOCATION (Single & Double)

**NOTES:**

1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PC'S/PT'S, CORNERS AND TERMINUSES.
2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
3. ALL ON-SITE STORM DRAIN ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. THE ON-SITE WATER IS PRIVATELY MAINTAINED, EXCEPT THE PORTION OF THE D/W AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE PRIVATE SEWER LINES AND STRUCTURES SHALL BE PRIVATELY MAINTAINED, EXCEPT THE PORTION WITHIN THE "PUBLIC SEWER & UTILITY EASEMENT".
4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPX CONTRACT NO. 24-4543-D.
5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL, BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
6. ALL CURB RADI' ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
7. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM AND THE WATER METER IS LOCATED INSIDE THE BUILDING.
8. THERE IS NO LOWER LEVEL BASEMENT SPACE IN EACH BUILDING.
9. SIDEWALK ADJACENT TO THE WESTSIDE BOULEVARD ENTRANCEWAY IS TO BE CONSTRUCTED PER THIS SDP.
10. HANDICAP ACCESSIBILITY DETAILS ARE ON SHEET 4 AND 4A.

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT

*William M. Roseman* 10/26/2014  
County Health Officer Date

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

DATE SEPTEMBER 25, 2008, APRIL 7, 2011  
and SEPTEMBER 18, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark S. Lytle* 11/1/14  
Director Date  
*Kathleen* 11-04-14  
Chief, Division of Land Development Date  
*Chad* 10-17-14  
Chief, Development Engineering Division Date

**GLW GUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALTIMORE: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. mbl DRN. KLP CHK. mbl

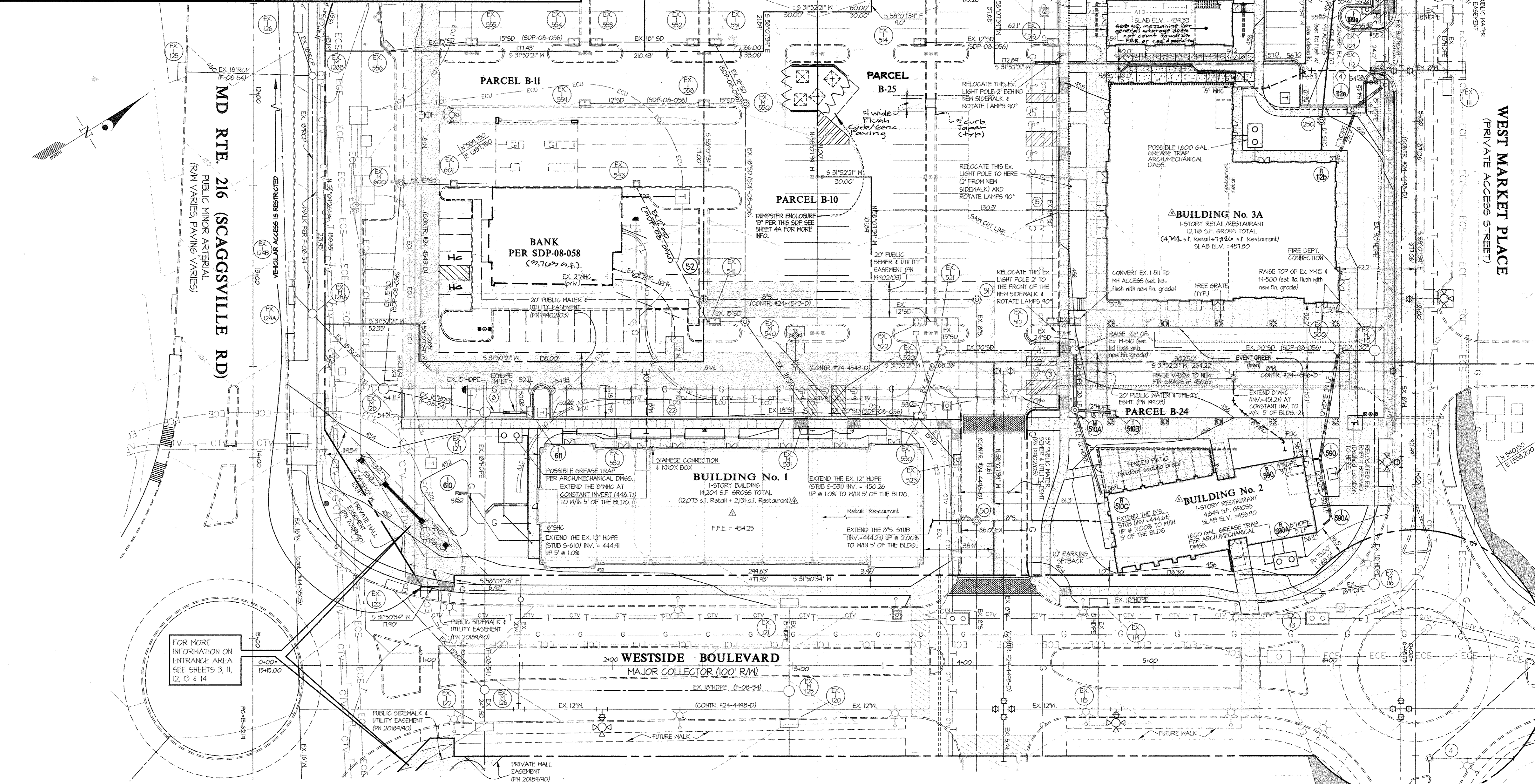
**PARKING TABULATION : Westside District, Area-1 Southwest Quadrant (Parcels B6, B10, B11 and B-22 thru B-26) Parking Generation**

Commercial Type Use	Existing Grocery (Harris Teeter, Parcel B-6)	Proposed Bank (Parcel B-11)	Bldg. No.1 (Existing Retail & Restaurant Parcel B-10)	Proposed 1-Story Bldg-2 (Parcel B-24)	Proposed 1-Story Building-3A (Parcel B-25)	Proposed 1-Story Building-3B (Parcel B-26)	Bldg. 4 Existing Firestone (Parcel B-22)	Bldg.-4A Existing H&M (Parcel B-23)	TOTAL			
Building Area (gross)	49,815	3,764	12,073	2,131	4,649	na	4,782	7,926	9,418	7,609	9,976	112,163
Building Area (net s.f., 90% of gross)	44,834	3,388	10,866	1,918	4,184	na	4,313	7,133	8,476	6,848	8,978	100,938
On-site ex & proposed parking	232	25	57	2	63	121	40	34	584			
Required parking ratio (per 1000 net)	5.0	3.3	5.0	See Note #1 Below	14.0	7.0	5.0	See Note #1 Below	5.0	5.0	3.3	
Parking Demand	225	12	55	21	59	8	22	84	43	35	30	594
Parking Required	567 with time of day adjustments											

NOTE: 1. For restaurant use the required parking per S-06-16 is 1 space per 3 seats and 1 space for each 5 employees if that information is available. The number of seats & employees are not available yet for the Bldg-2 restaurant so the parking demand is based on parking ratios per Section 133.D.41 & m. For Bldg. #2, the equivalent number of seats (indoor & outdoor) is 198 & up to 5 employees.

**Shared Parking - Time of Day Adjustments**

TYPE OF USE	Each Use Type Parking Demand (max)	Weekday			Weekend			Nighttime				
		Morning 6am-8am	Mid-day 8am-3pm	Afternoon 3pm-5pm	Daytime 6am-6pm	Evening 6pm-8am	Midnight-6pm	% adjusted	% adjusted			
BANK	12	10	2	100	12	100	12	5	1	5	1	
RETAIL	380	20	76	60	228	60	228	90	342	100	380	
OFFICE	30	80	24	100	30	100	30	10	3	5	2	
RESTAURANT (not fast food)	172	50	86	50	86	50	86	100	172	100	172	
<b>TOTAL</b>		<b>198</b>		<b>356</b>		<b>356</b>		<b>518</b>		<b>567</b>		<b>40</b>



7-17-2011	add mezzanine to Building 3B	KLP
Aug 2014	Updated plan for Bldg 3A parking tabulation sheet, Parcel B-11 Bank/Parking	KLW
Nov 2015	Add trench drain to Building 3A	KLW
Sept. 2014	REPLACEMENT SHEET: Resub'd Parcels B6 & B-9 to B24-B26. Add new Bldgs 2, 3A & 3B. Add Parking Tabulation & 1st analysis. Update Bldg-1 uses. Add new dumpster enclosure 'B' on Parcel B-10	
5/9/2011	Shift Bldg-3 West & Relocated its plaza to the east side of Bldg-3.	
10/21/2009	REV. TITLE BLOCK TO REVISE PARCEL B-7 TO RESUBDIVIDED PARCELS B-22 & B-23	HKJ MBT
5/13/09	RESITE BLDG. No. 1 and REVISE PARKING ACCORDINGLY	
DATE	CHANGED PRIVATE ACCESS STREET TO WEST MARKET PLACE	
	REVISION	BY APPR.

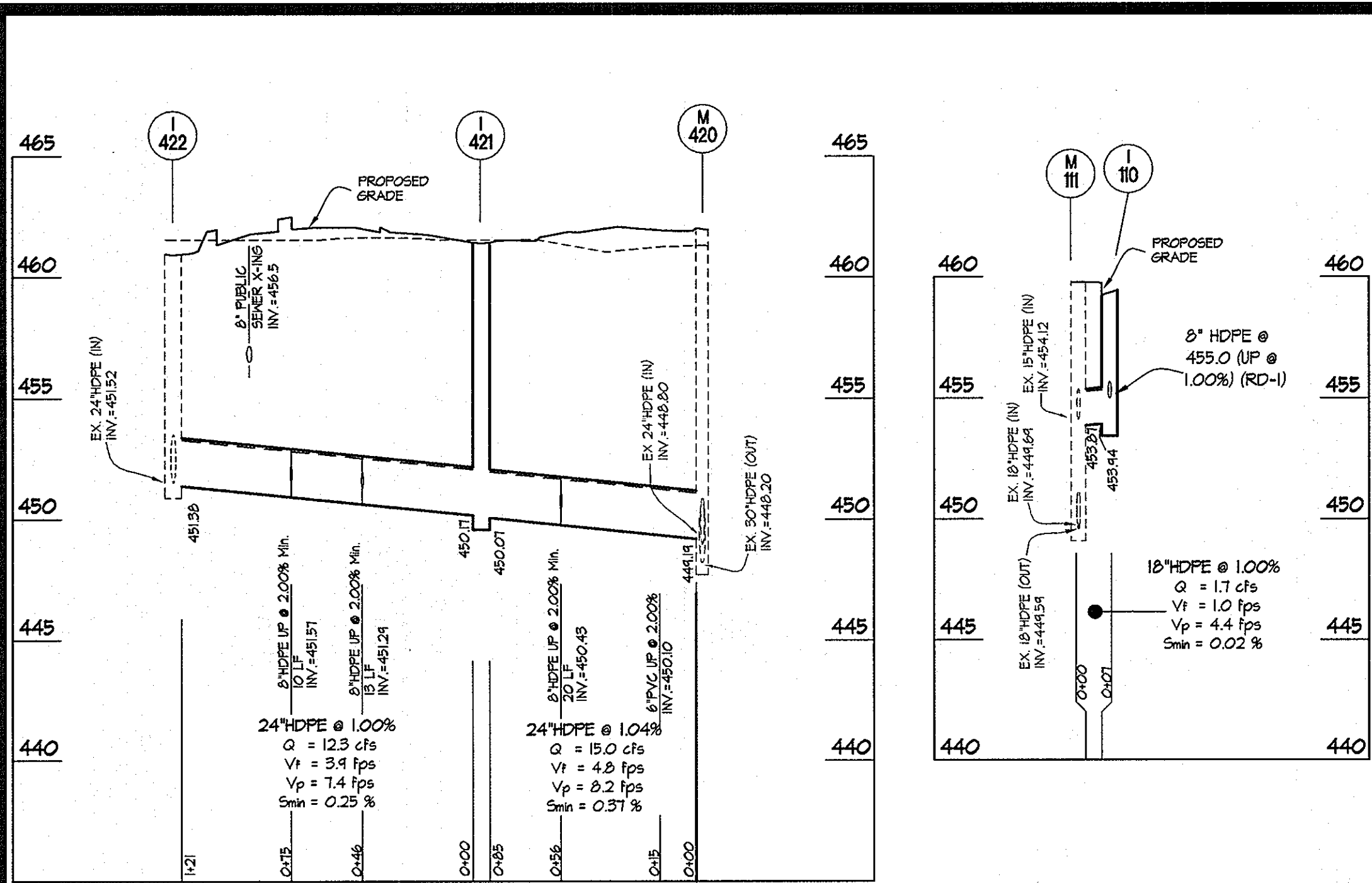
PREPARED FOR:  
MAPLE LAWN HT. LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1828 REGISTERED RD  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12378  
EXPIRATION DATE: MAY 28, 2010

10/6/14 [Signature]

(REVISED) SITE DEVELOPMENT PLAN  
**MAPLE LAWN FARMS**  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL No. 116  
HOWARD COUNTY, MARYLAND

SCALE: 1"=30'  
ZONING: MXD-3  
G. L. W. FILE No.: 07087  
DATE: SEPT/2014  
TAX MAP - GRID: 41-21&22  
SHEET: 46-3  
2 OF 14

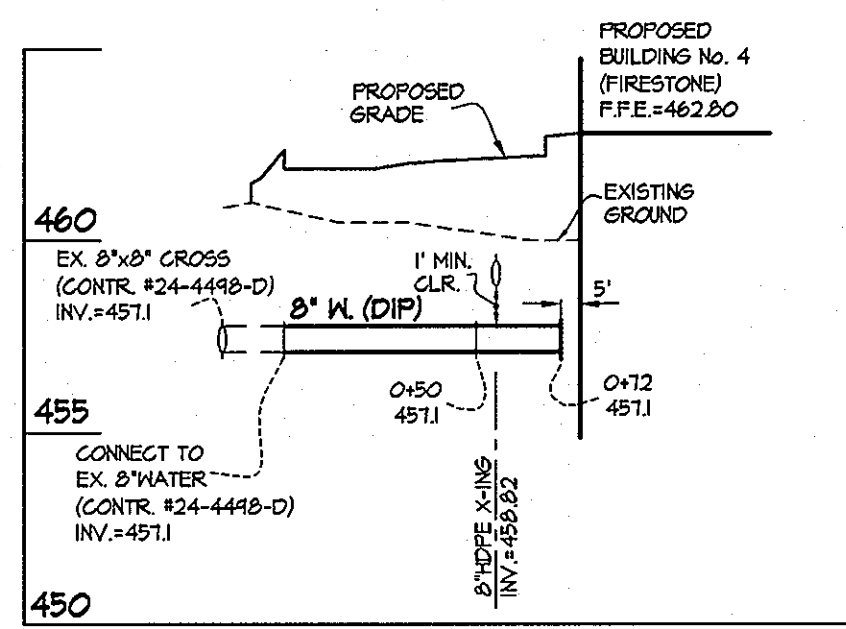


No.	TYPE	WIDTH (Inch)	TOP ELEVATION (Inch)	INVERT ELEVATION (Inch)	STD. DETAIL
1-10	HR INLET	3'-9"	494.42	494.70	D 4.35
1-422	DOUBLE 5 INLET	2'-1 1/2"	461.40	450.01	D 4.23

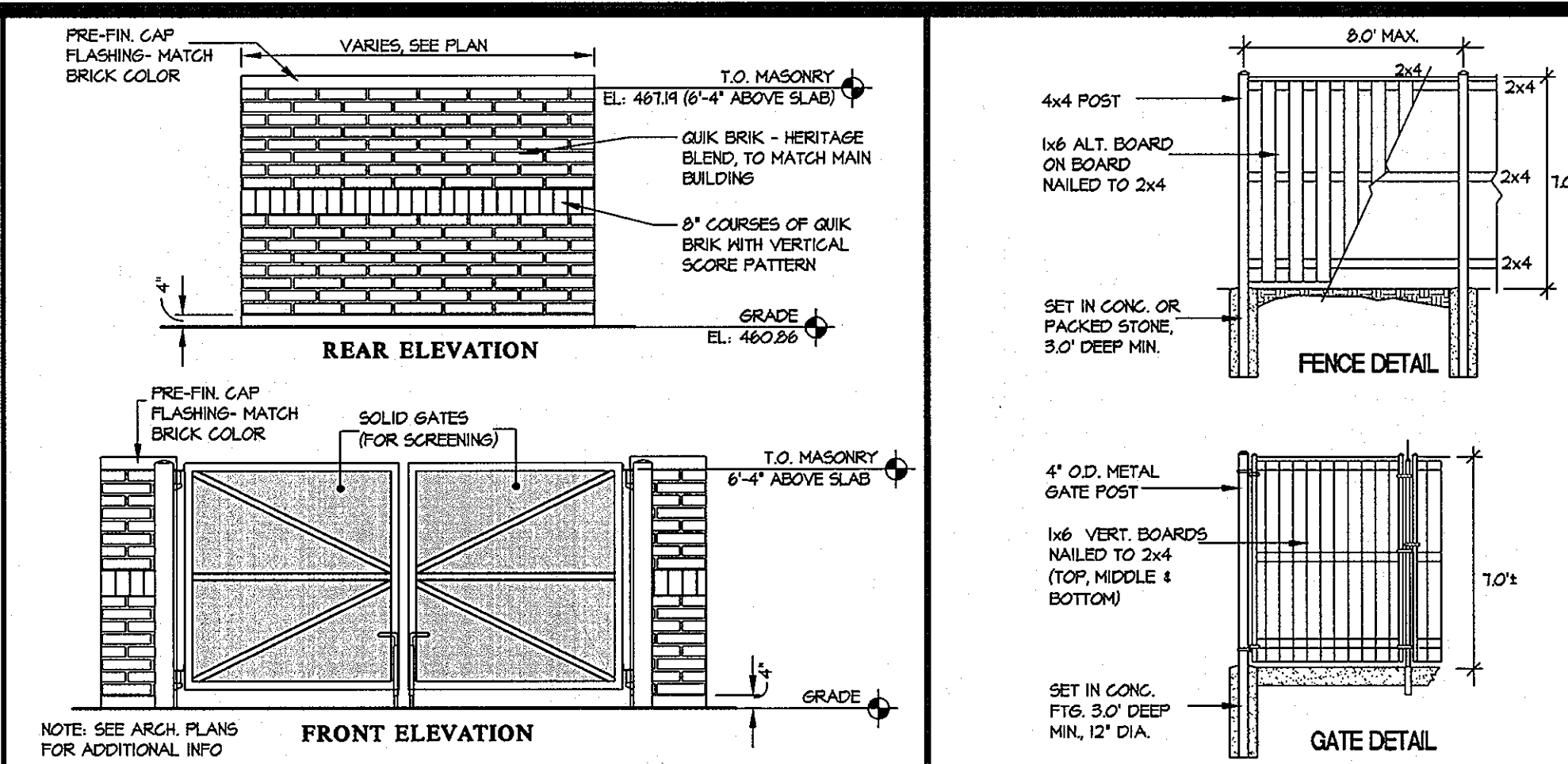
SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
18	HDPE	7	ADS N12 or equiv.
24	HDPE	206	ADS N12 or equiv.

NOTES:  
1. ALL STORM DRAIN STRUCTURES SHALL BE PRECAST.

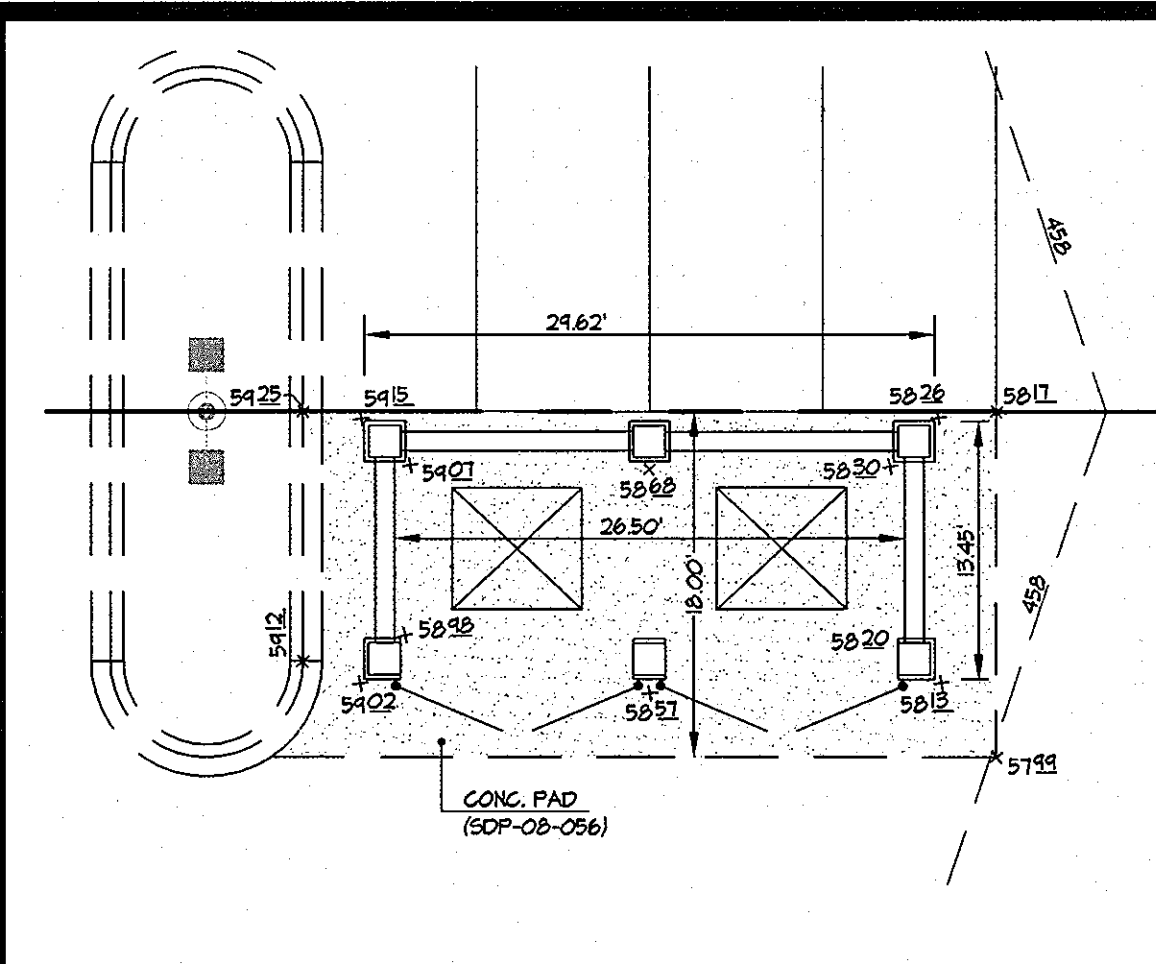
STORM DRAIN PROFILES SCALE: 1" = 50' HORIZ. 1" = 5' VERT.



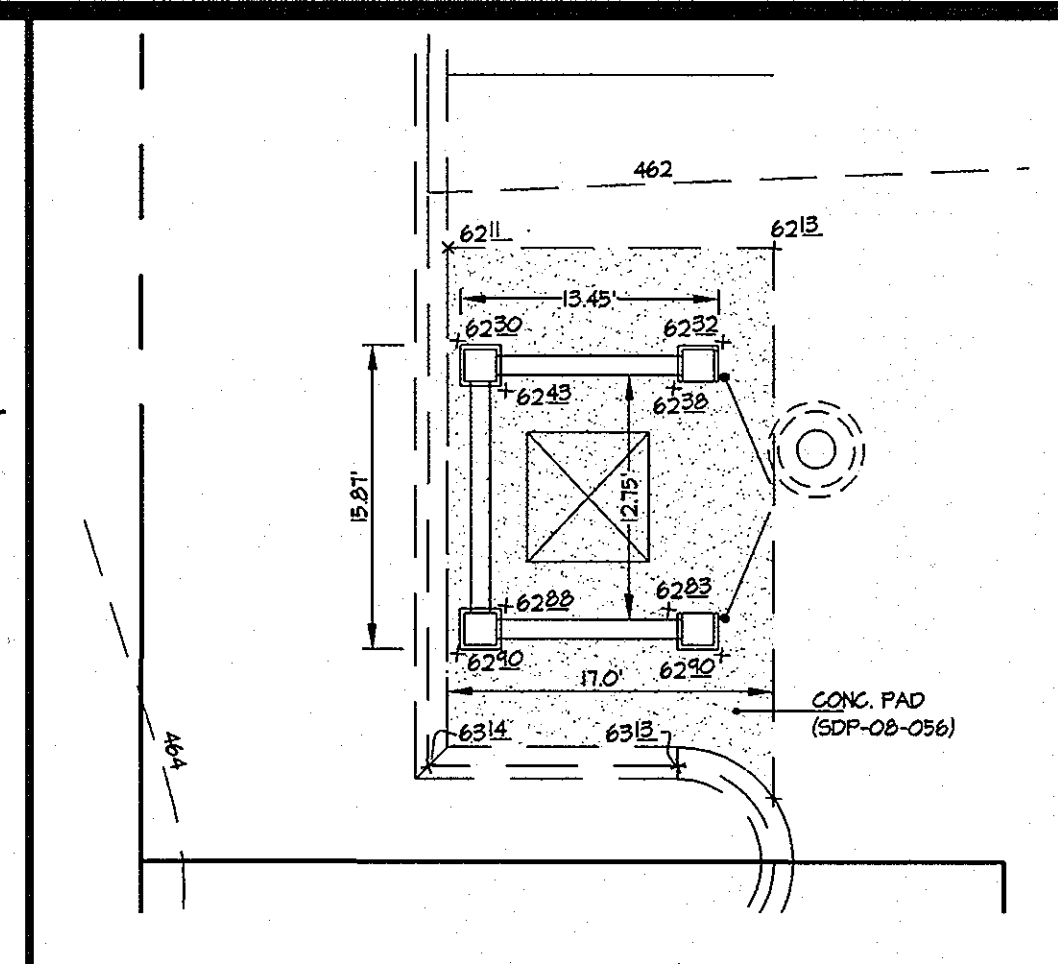
8" PRIVATE WATER HOUSE CONNECTION PROFILE FOR BLDG. No. 4



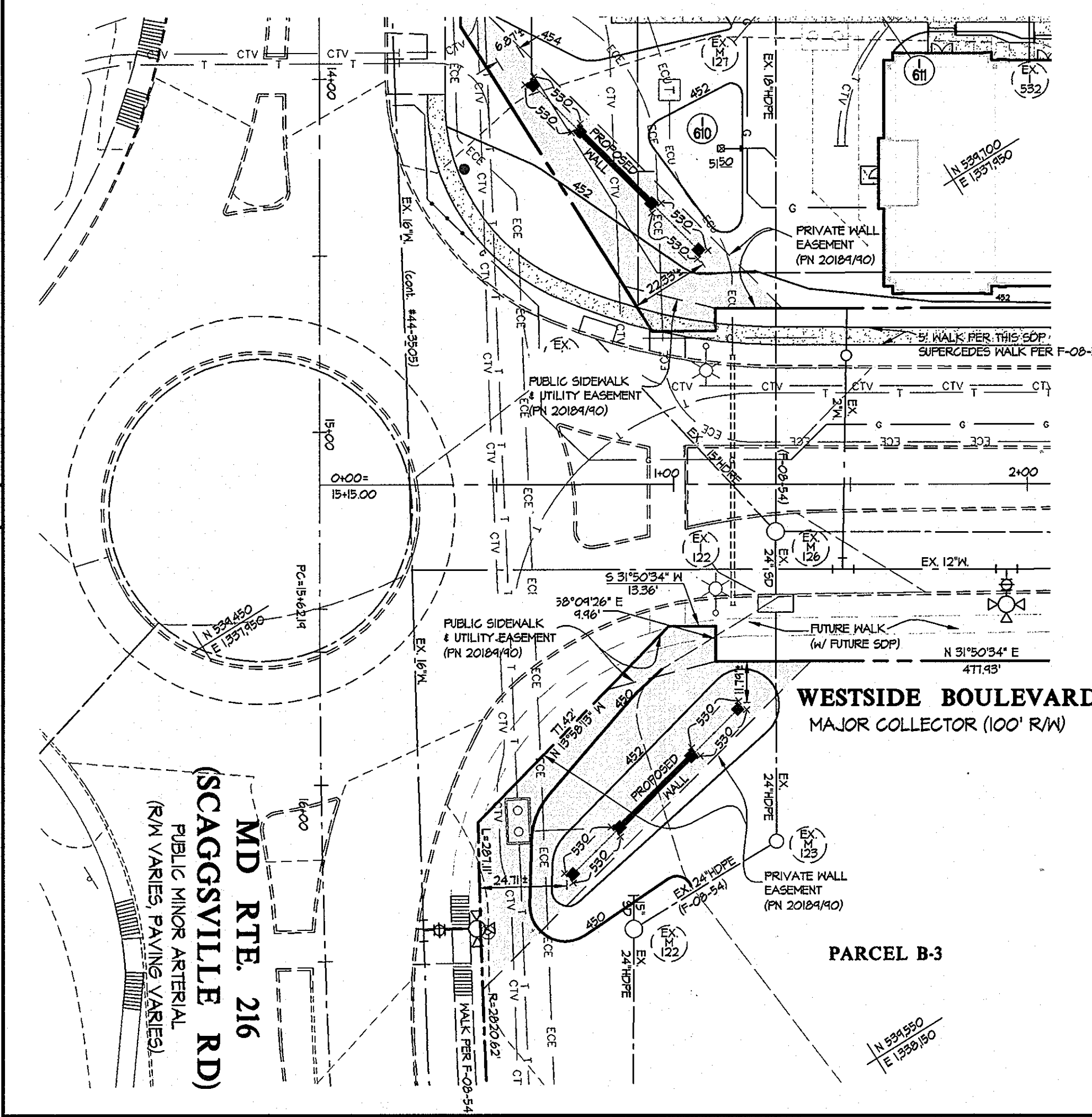
TRASH ENCLOSURE ELEVATIONS FOR PARCEL B-22 NO SCALE DUMPSTER ENCLOSURE DETAILS NO SCALE



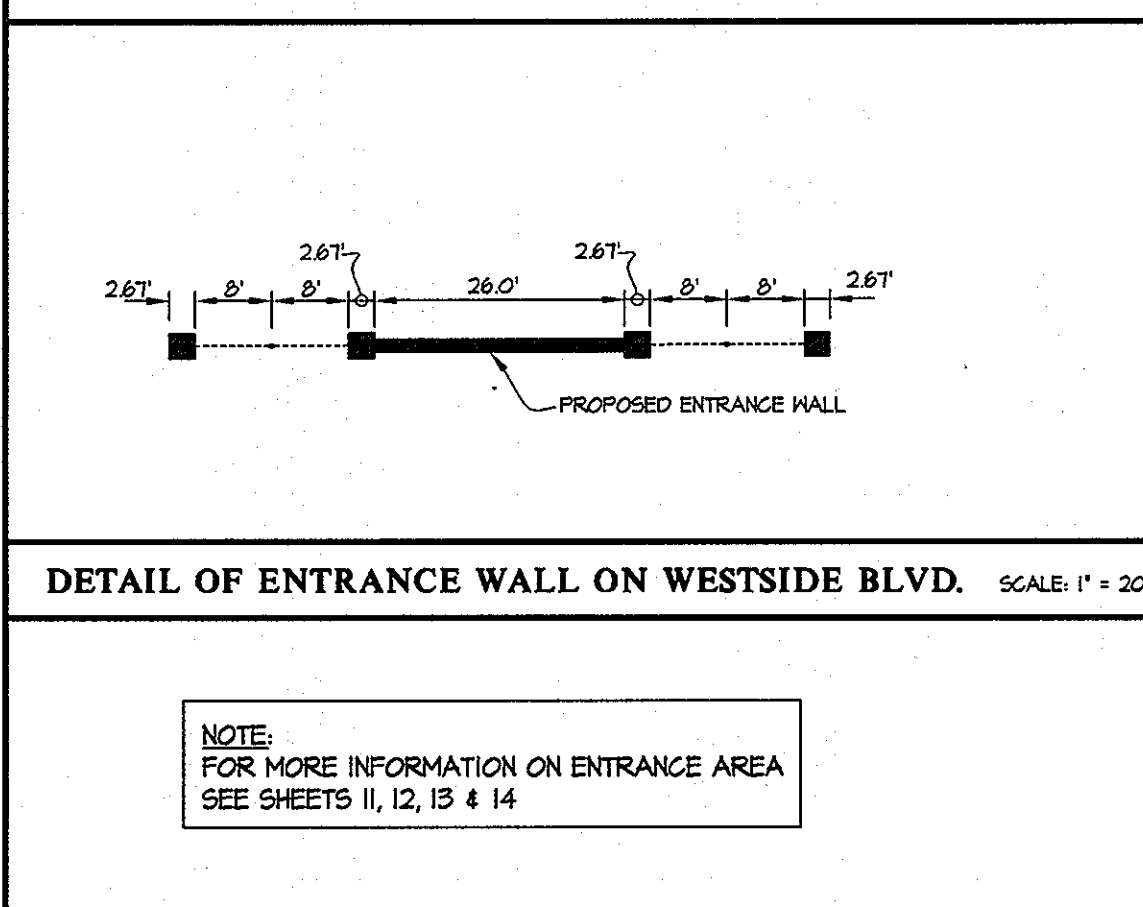
DUMPSTER DETAIL ON PARCEL B-10 SCALE: 1" = 10'



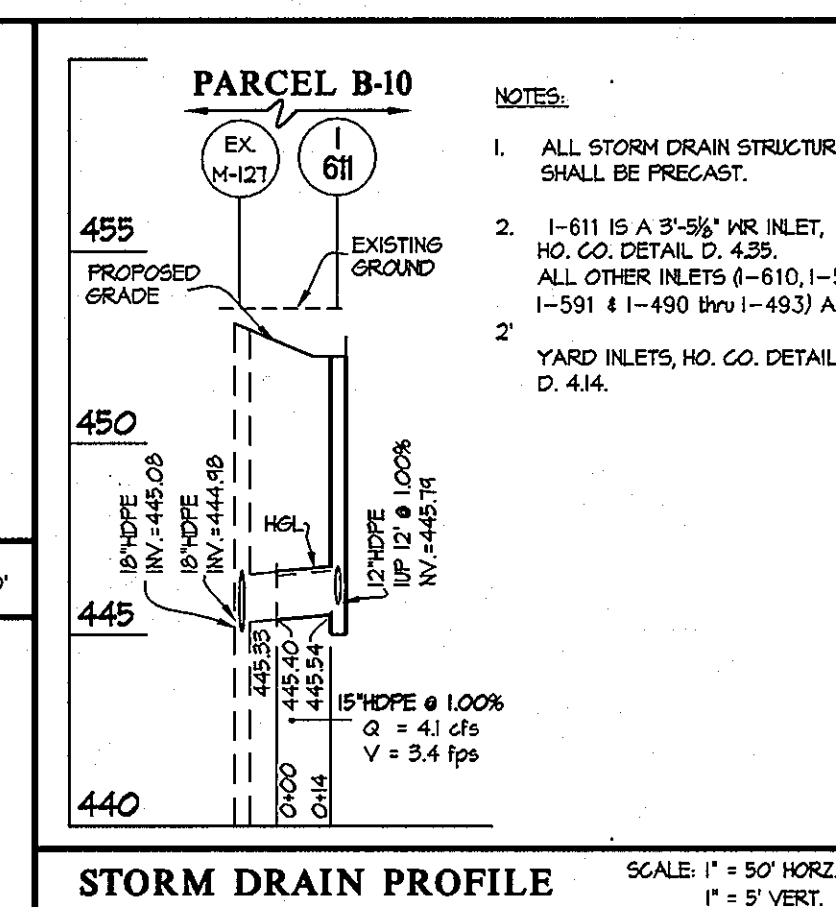
DUMPSTER DETAIL ON PARCEL B-23 SCALE: 1" = 10'



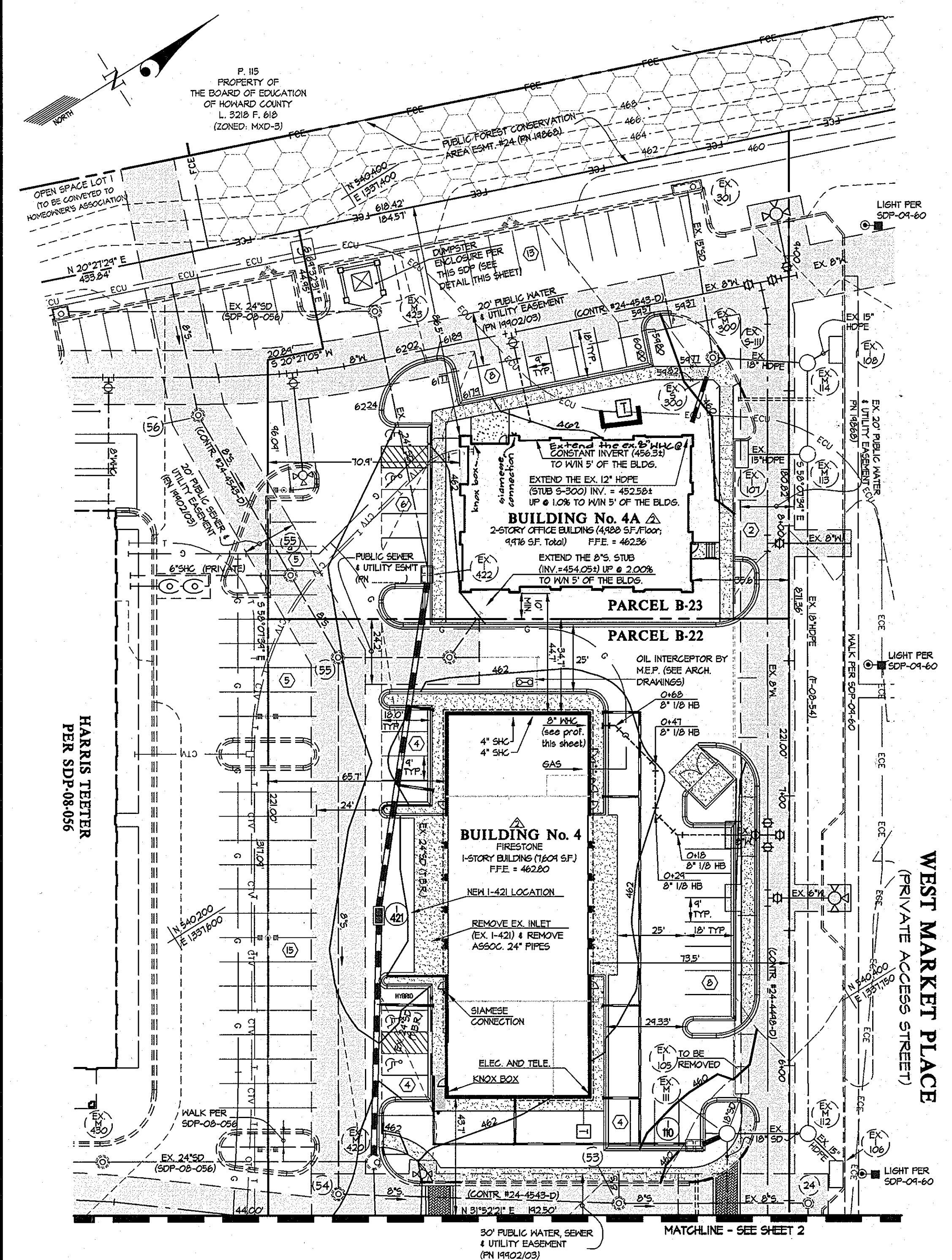
ENTRANCE MONUMENTS at WESTSIDE BOULEVARD and MD ROUTE 216 SCALE: 1" = 30'



DETAIL OF ENTRANCE WALL ON WESTSIDE BLVD. SCALE: 1" = 20'



STORM DRAIN PROFILE SCALE: 1" = 50' HORIZ. 1" = 5' VERT.



(REVISED) SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS WESTSIDE DISTRICT - AREA 1

Parcels B-3, B-8 thru B-10 and B-22 & B-23  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190 & 21572-21573 TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	10057
DATE	TAX MAP - GRID	SHEET
MAY, 2011	41-21&22 46-3	3 OF 14

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEM  
HOWARD COUNTY HEALTH DEPARTMENT  
*B. Williams* 6/3/2011  
County Health Officer

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE SEPTEMBER 25, 2008 and APRIL 7, 2011

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Thomas F. Rutler* 6/13/11  
Director  
*Kevin S. ...* 6/13/11  
Chief, Division of Land Development  
*Chad Edwards* 5-23-11  
Chief, Development Engineering Division

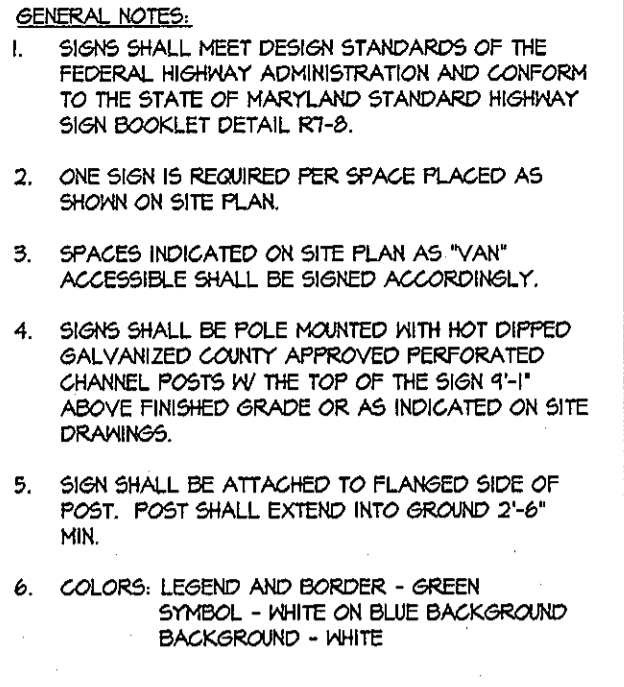
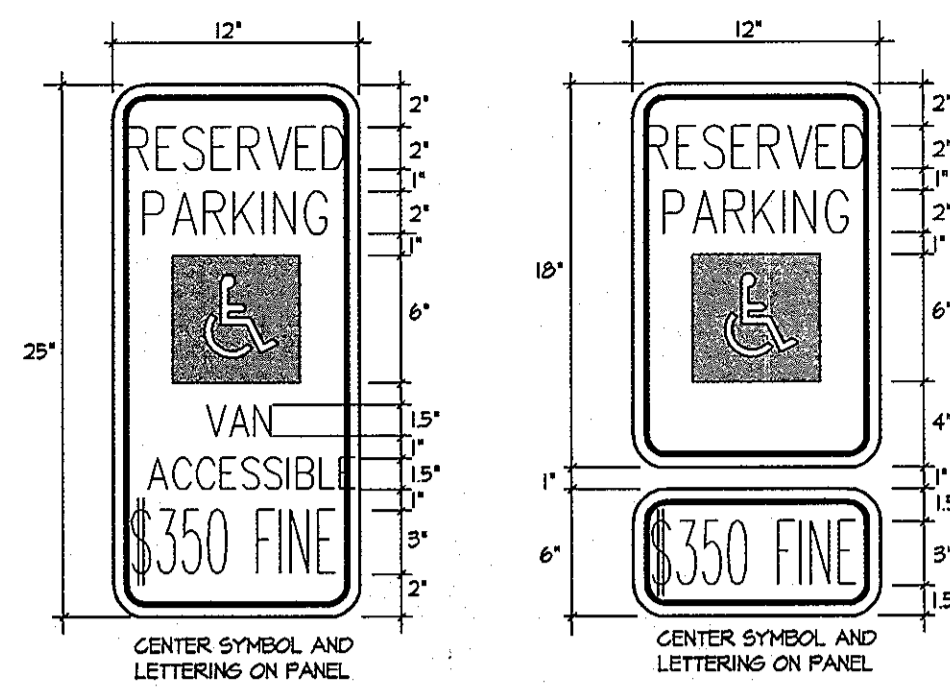
GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
4/10/2011	Added detail for trash enclosure for Parcel B-22; added 8" HDPE and storm drain profiles for Bldg. No. 4	klp	MBT
5/3/2011	Added detail for trash enclosure for Parcel B-22; added 8" HDPE and storm drain profiles for Bldg. No. 4	klp	MBT
5/13/09	CHANGED PRIVATE ACCESS ST. TO WEST MARKET PLACE		

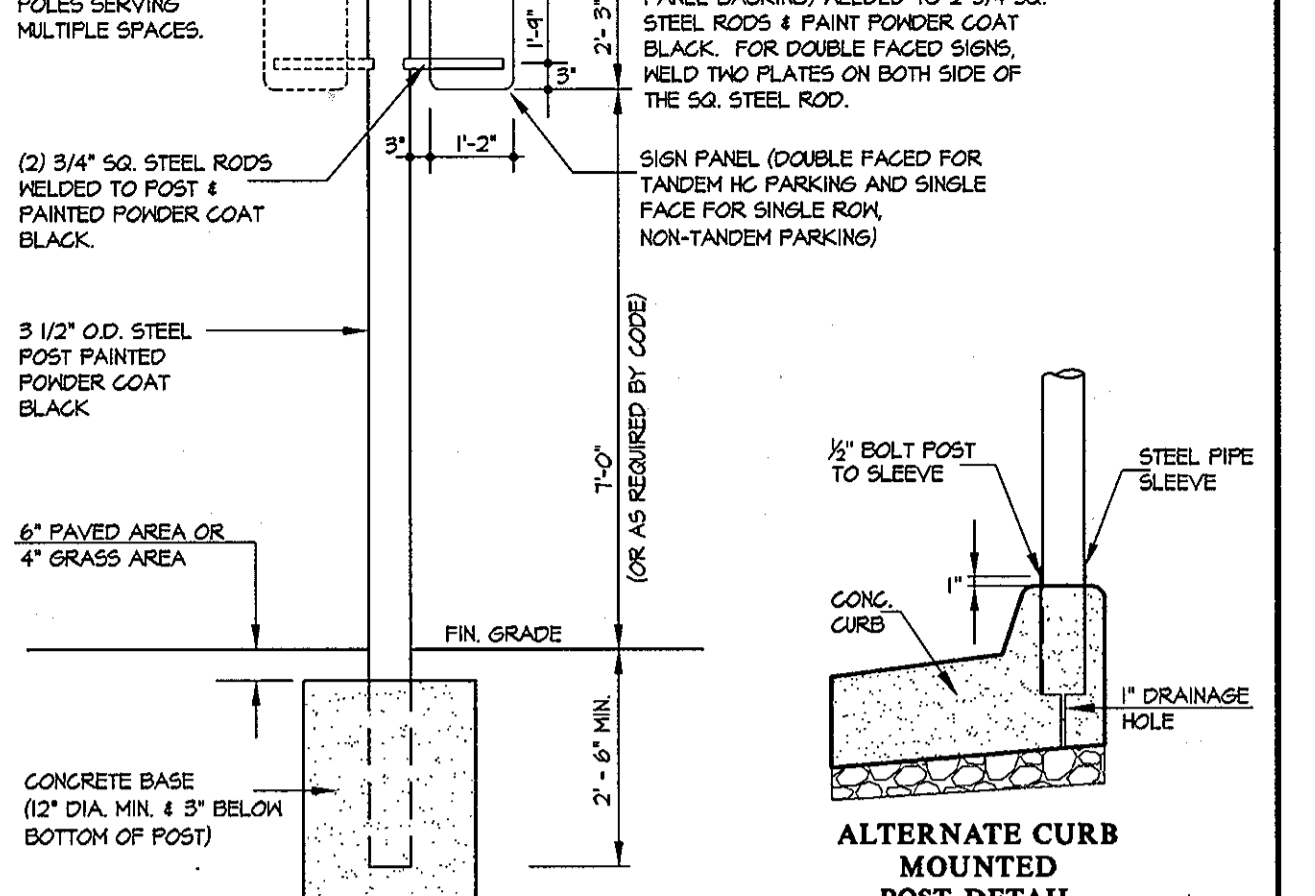
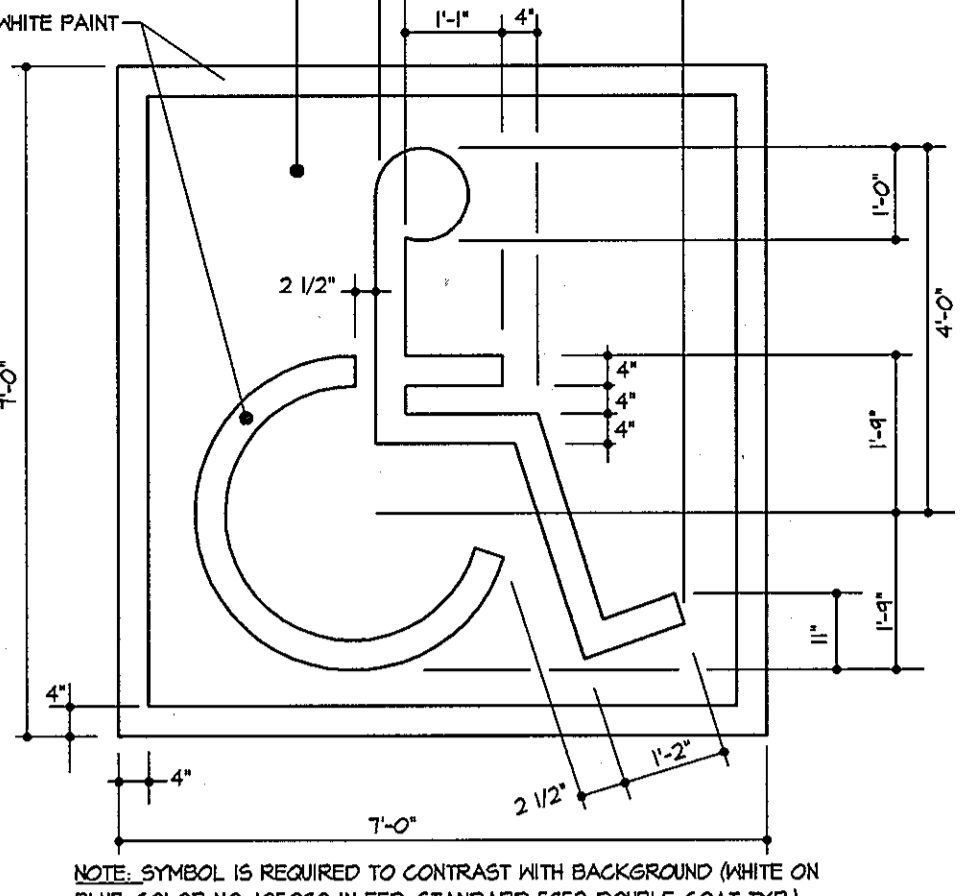
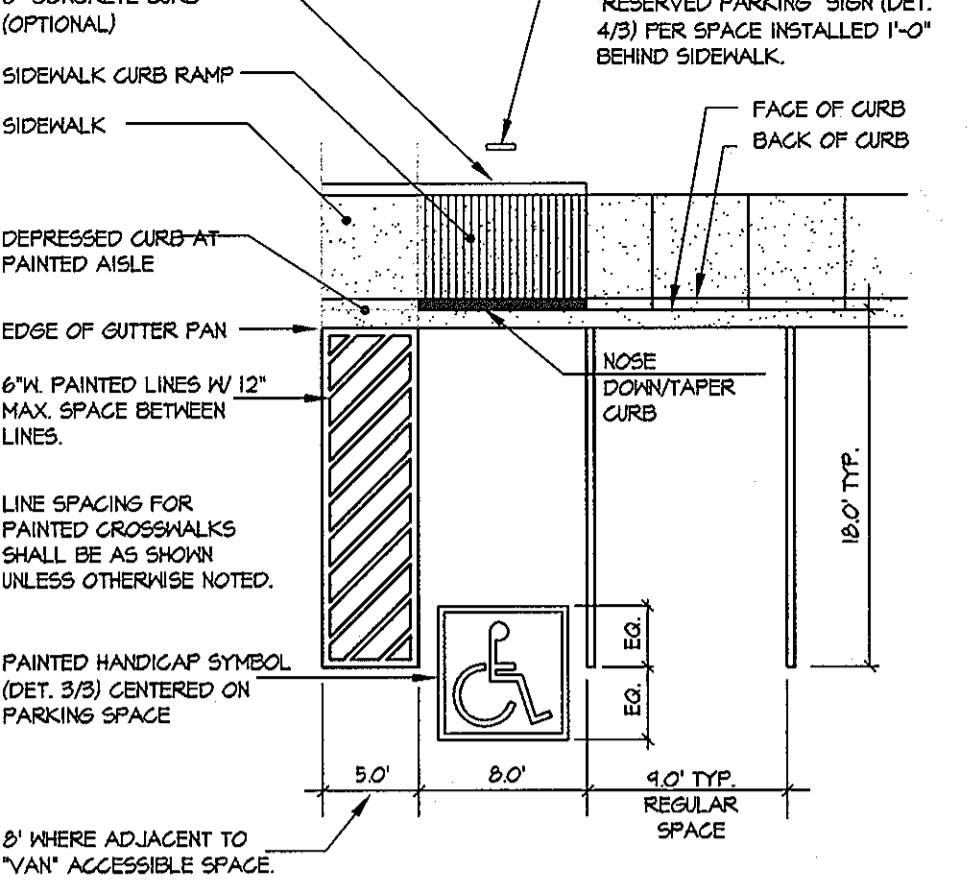
PREPARED FOR:  
MAPLE LAWN HT, LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1829 RESTERSTOWN RD  
BALTIMORE, MD 21208  
ATtn: MARK BENNETT  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12275  
EXPIRATION DATE: MAY 26, 2012  
5-10-11 *CL*

ELECTION DISTRICT No. 5



- GENERAL NOTES:**
1. SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL RT-8.
  2. ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
  3. SPACES INDICATED ON SITE PLAN AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.
  4. SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/ THE TOP OF THE SIGN 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
  5. SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
  6. COLORS: LEGEND AND BORDER - GREEN SYMBOL - WHITE ON BLUE BACKGROUND BACKGROUND - WHITE

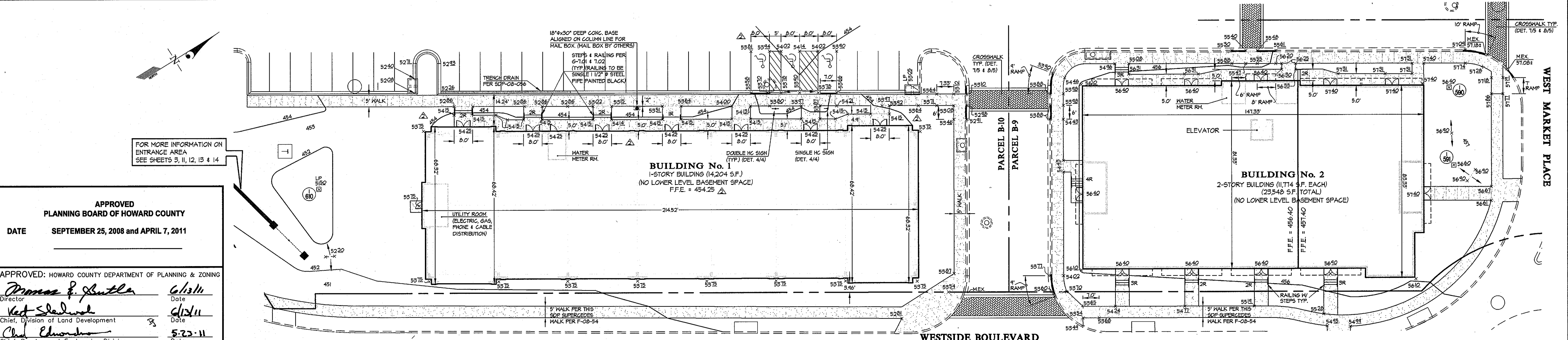
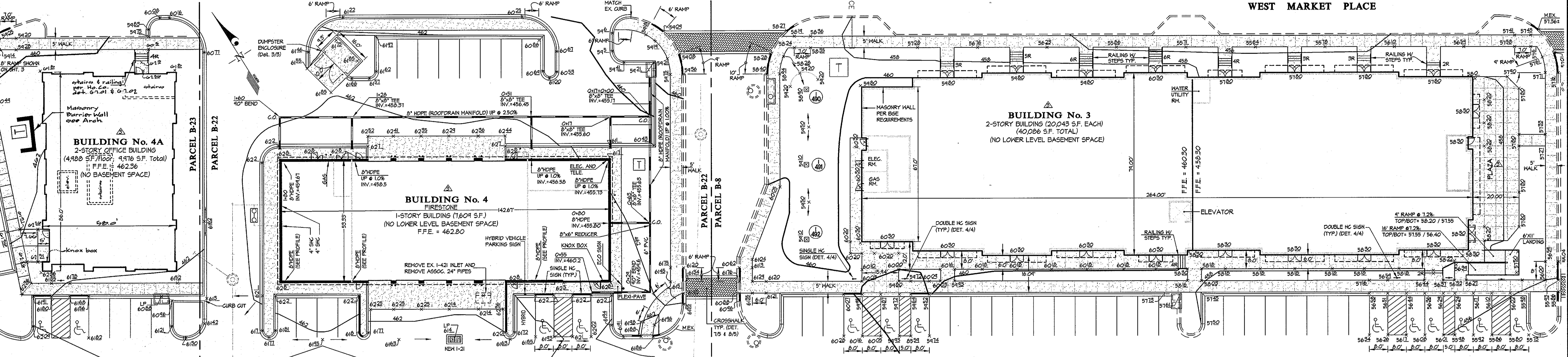


1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 PARKING SPACE LAYOUT NO SCALE

3 HANDICAP SPACE STENCIL LAYOUT NO SCALE

4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE



**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**  
 DATE **SEPTEMBER 25, 2008 and APRIL 7, 2011**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
*Thomas P. Butler* 6/13/11  
 Director Date  
*Ved Stalwood* 6/13/11  
 Chief, Division of Land Development Date  
*Chad Edwards* 5-23-11  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
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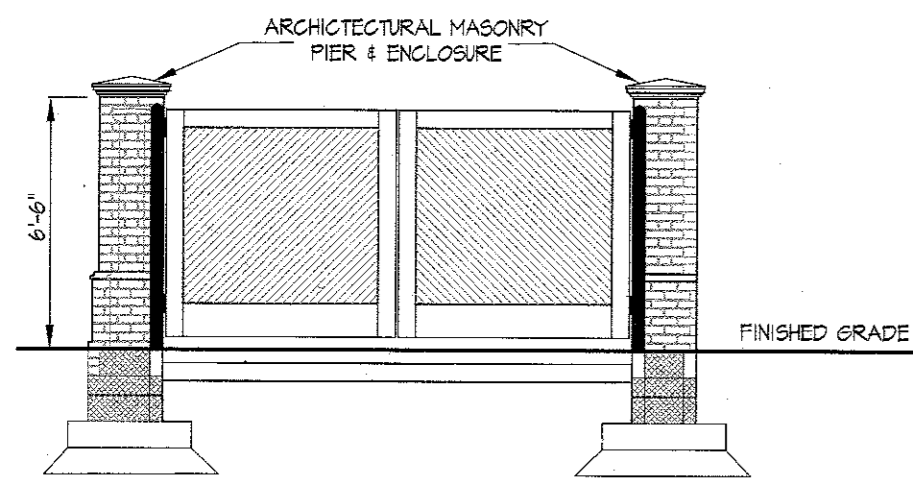
DATE	REVISION	BY	APPR.
5/9/2011	Revised Bldg 4 & added masonry barrier wall per transformer on Parcel B-23	KLP	MBT
5/9/2011	Parcel B-7 to be reclassified to Par. B-22 & B-23. Site new buildings (No.4-FIRESTONE & No. 4a-IRMAN) on NEW Parcels; Relocated Bldg-3 & its Plaza; Rev. little block	HKJ	MBT
10/21/2009	REVISE BLDG. NO. 1 DETAIL AND SIDEWALK & PARKING FOR BLDG. NO. 1	KLP	
5/13/09	CHANGED PRIVATE ACCESS STREET TO WEST MARKET PLACE	KLP	

PREPARED FOR:  
 MAPLE LAWN HT. LLC. (Owner)  
 SUITE 300 WOODHOLME CENTER  
 1029 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: MARK BENEATT  
 410-484-8400

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12978  
 EXPIRATION DATE: MAY 26, 2012  
 5-10-11 *Chad Edwards*

**(REVISED) HANDICAP ACCESSIBILITY DETAILS**  
**MAPLE LAWN FARMS**  
**WESTSIDE DISTRICT - AREA 1**  
 Parcels B-3, B-8 thru B-10 and B-22 & B-23  
 (Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
 PLATS 19902-19903, 20189-20190 & 21525-21526 TAX MAP PARCEL No. 116  
 HOWARD COUNTY, MARYLAND

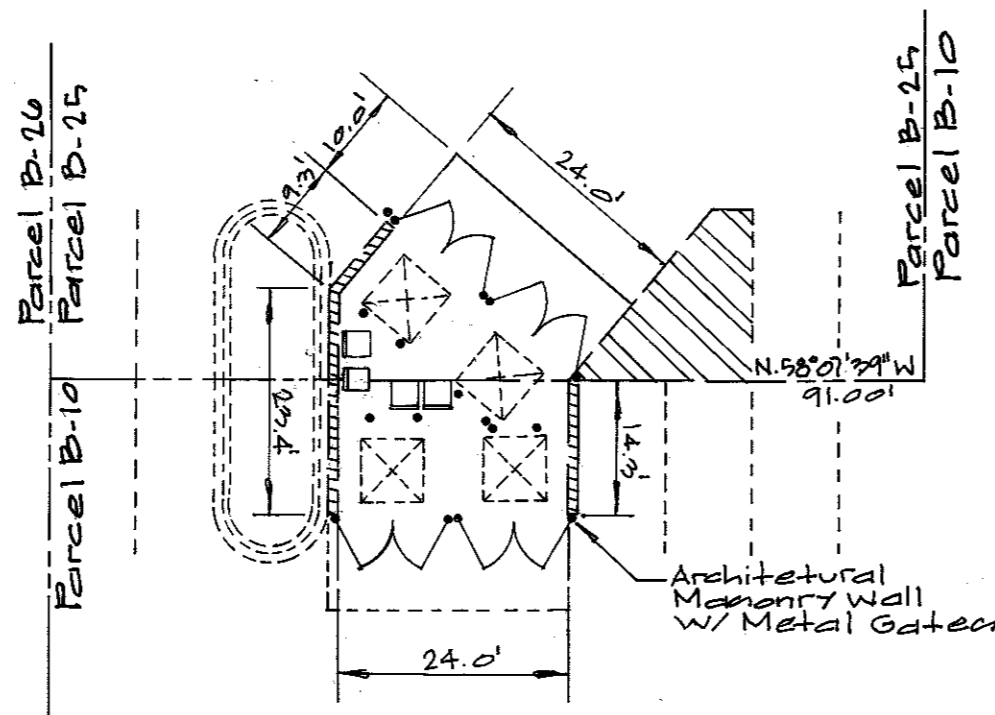
SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	MXD-3	10057
DATE	TAX MAP - GRID	SHEET
MAY, 2011	41-21&22 46-3	4 OF 14



Parcel B-10 and B-26 Enclosure

FOR THE ENCLOSURE ON PARCEL B-26 AND THE ENCLOSURE 'B' ON PARCEL B-10

DUMPSTER ENCLOSURE DETAIL (Parcels B-10 and B-26) NO SCALE



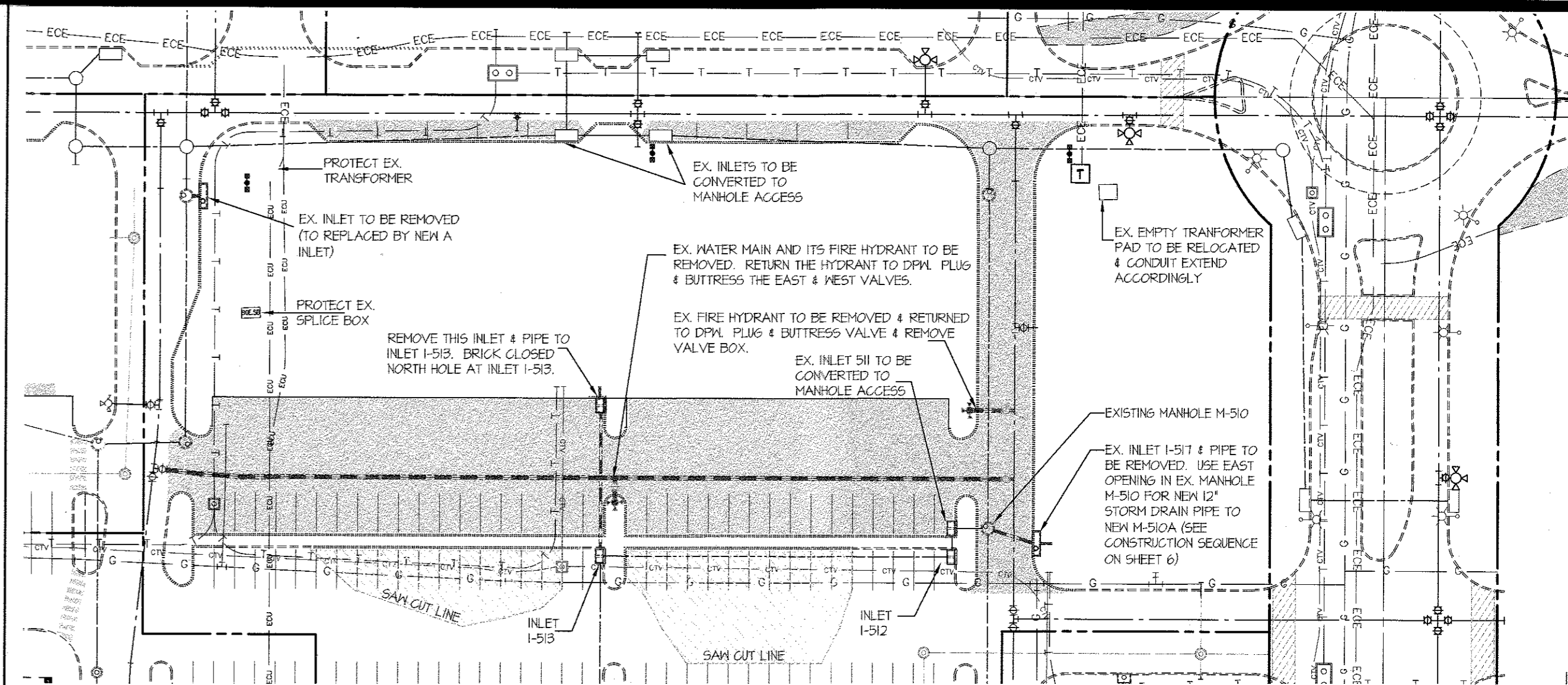
DUMPSTER ENCLOSURE 'B' DETAIL (Parcels B-10 & B-25) SCALE: 1"=20'

DEMOLITION PLAN LEGEND

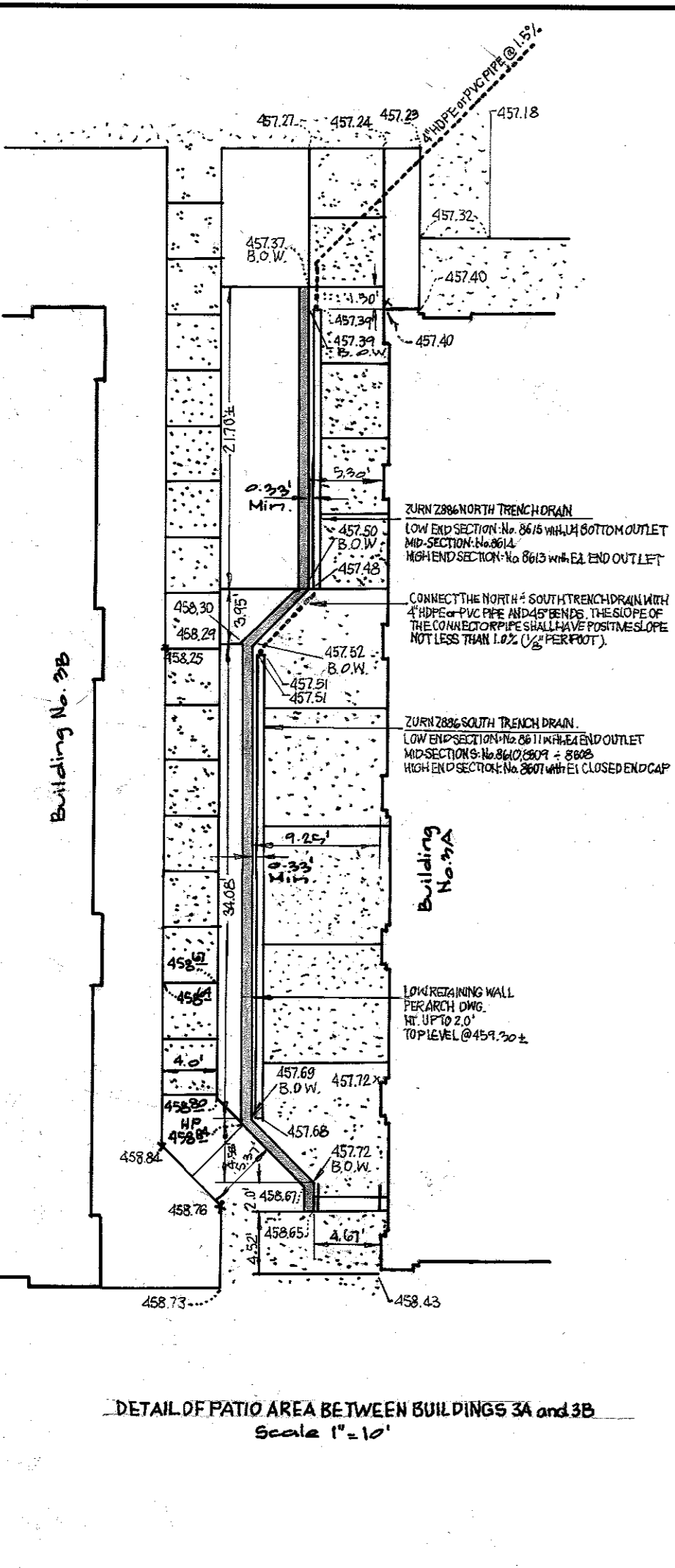
- EX. CURB TO BE REMOVED
- EX. CURB TO REMAIN
- █ EX. PAVEMENT TO BE REMOVED

DEMOLITION NOTES:

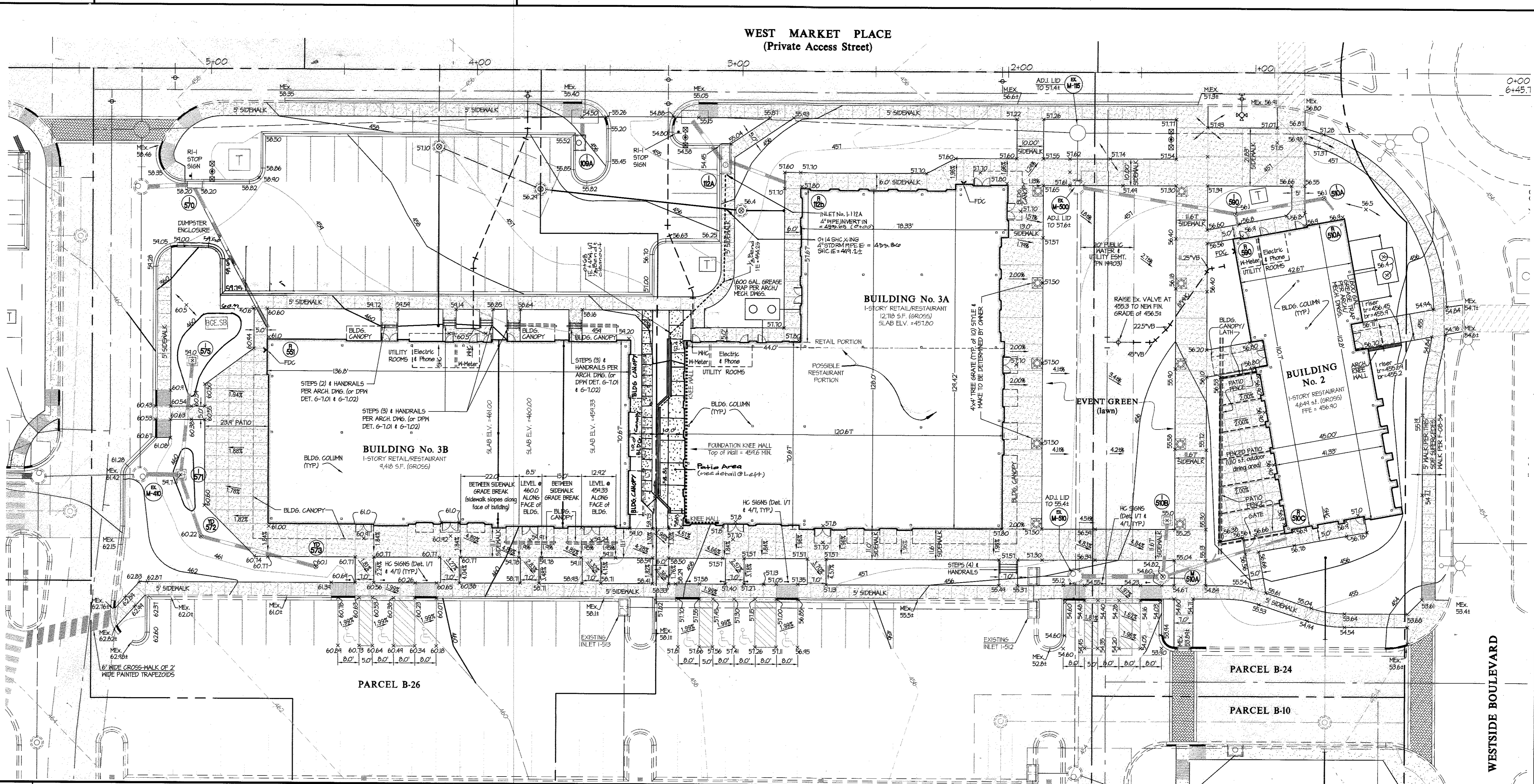
1. SEE SHEET T 4 & 8 FOR SEDIMENT CONTROL.
2. REMOVE ALL DEBRIS FROM MAPLE LAWN FARMS & HAUL IT TO A RECYCLE FACILITY.
3. ADDITIONAL CURB MAY HAVE TO BE REPLACED IN THE FIELD.



DEMOLITION PLAN FOR PARCELS B-24 thru B-26 SCALE: 1" = 50'



DETAIL OF PATIO AREA BETWEEN BUILDINGS 3A and 3B Scale 1"=10'



WEST MARKET PLACE (Private Access Street)

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE SEPTEMBER 25, 2008, APRIL 7, 2011 and SEPTEMBER 18, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Mark M. Layle* 10/14/14  
Director Date

*Keith Anderson* 4-04-14  
Chief, Division of Land Development Date

*Chad Cook* 10-17-14  
Chief, Development Engineering Division Date

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 FAX: 301-421-4186

DES. mbt DRN. KLP CHK. mbt

DATE	REVISION	BY	APP.
Aug. 2010	Updated use in Bldg. 3A & show 2 parking spaces instead of a dumpster enclosure NW of Bldg. 3B.	JL	KLP
Nov. 2010	Add trench drain and Patios to Bldg 3A	JL	KLP
Sept. 2014	New Sheet 4A added to plan set	KLP	PPR

PREPARED FOR: MAPLE LAWN HT, LLC (Owner)  
SUITE 300 WOODHOLME CENTER  
1829 REISTERSTOWN RD  
BALTIMORE, MD 21298  
ATtn: MARK BENNETT  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 12275  
EXPIRATION DATE: MAY 26, 2016

10/14/14 *CKL*

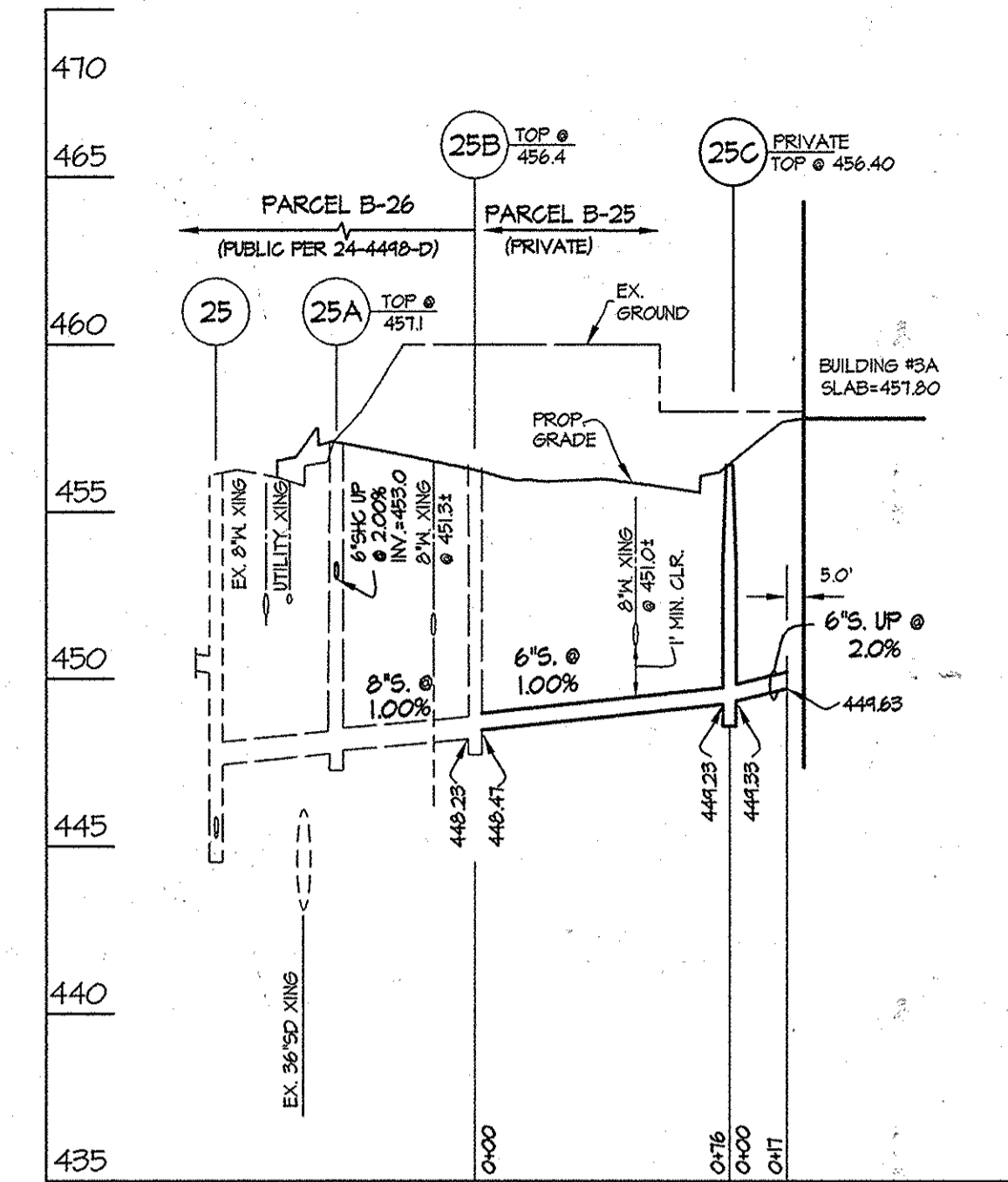
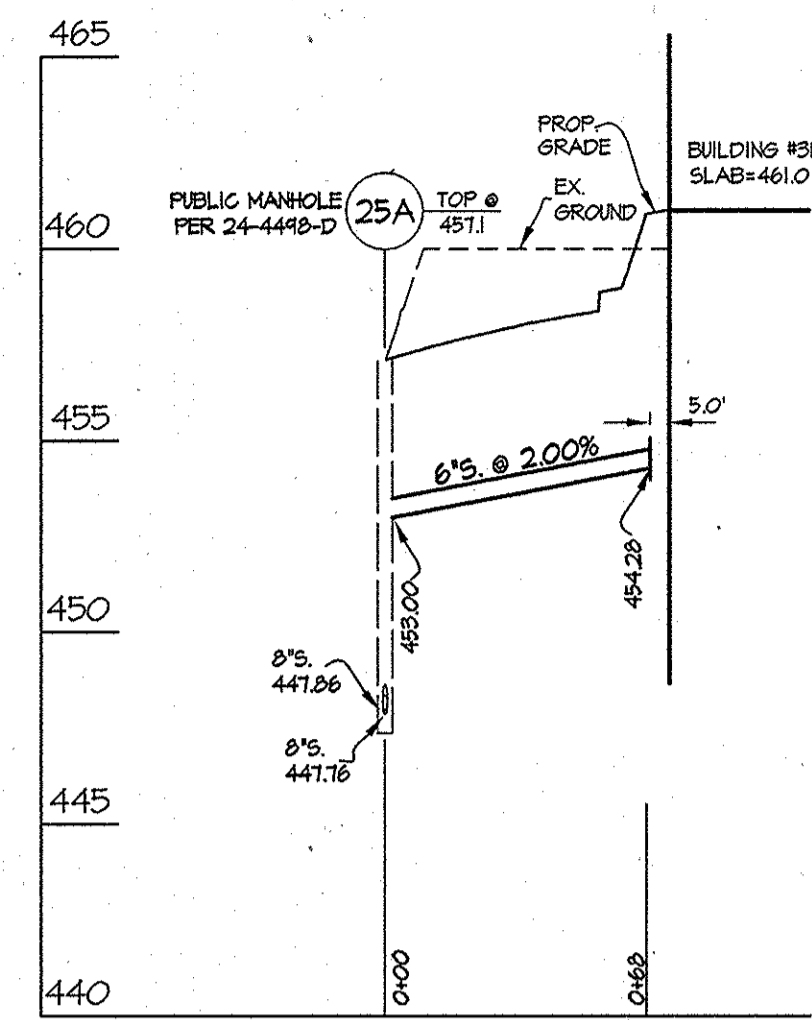
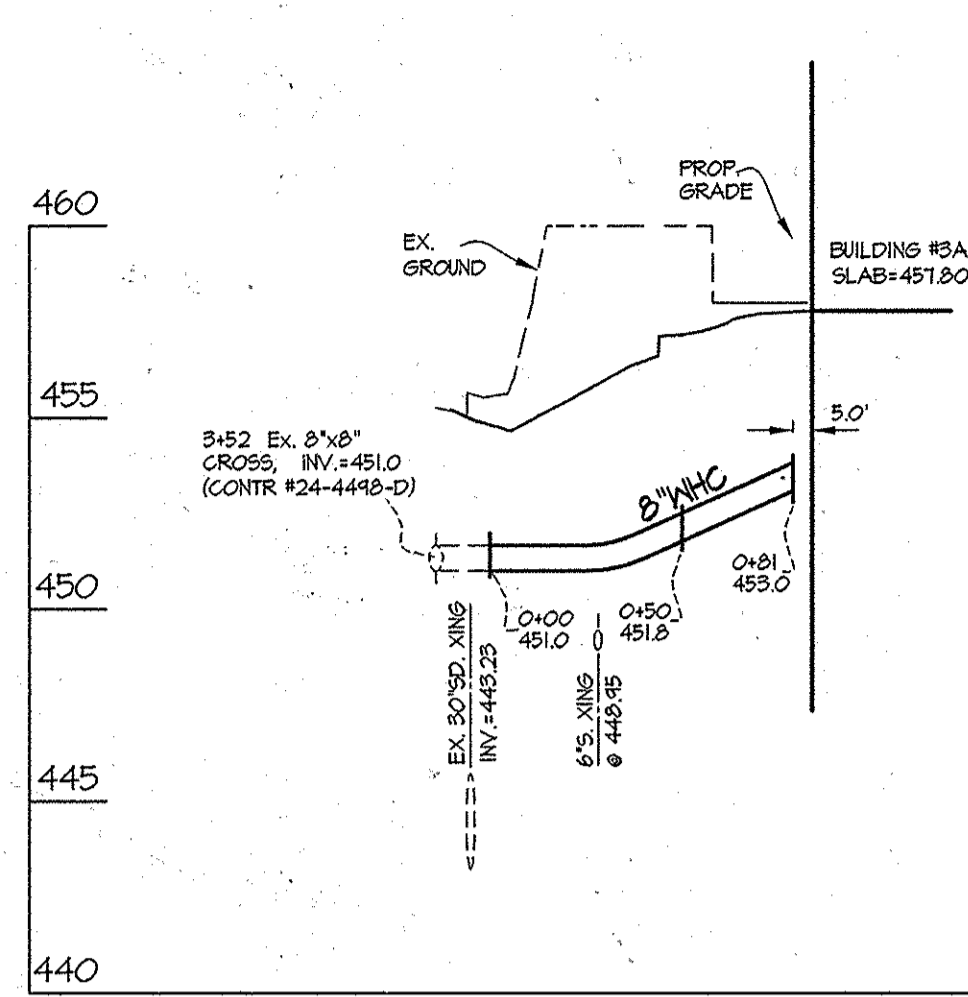
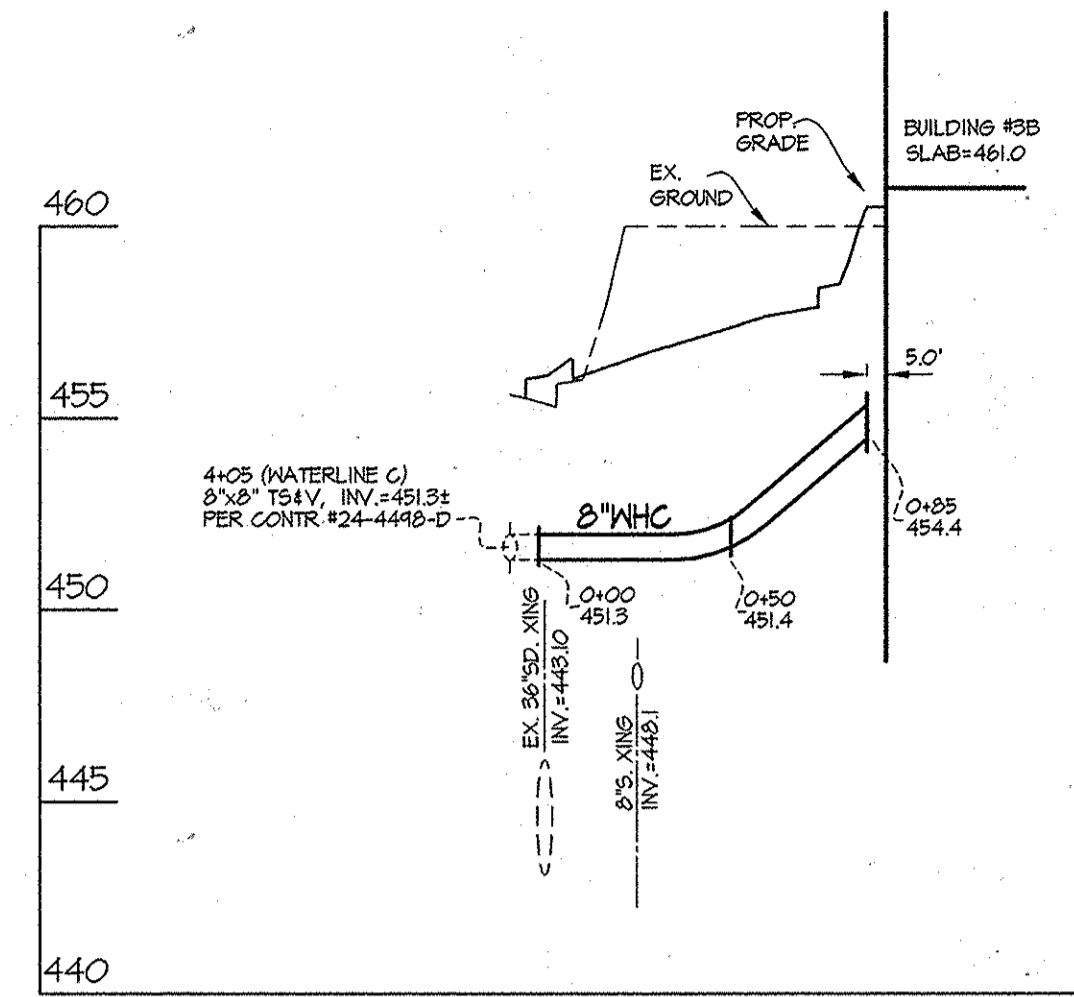
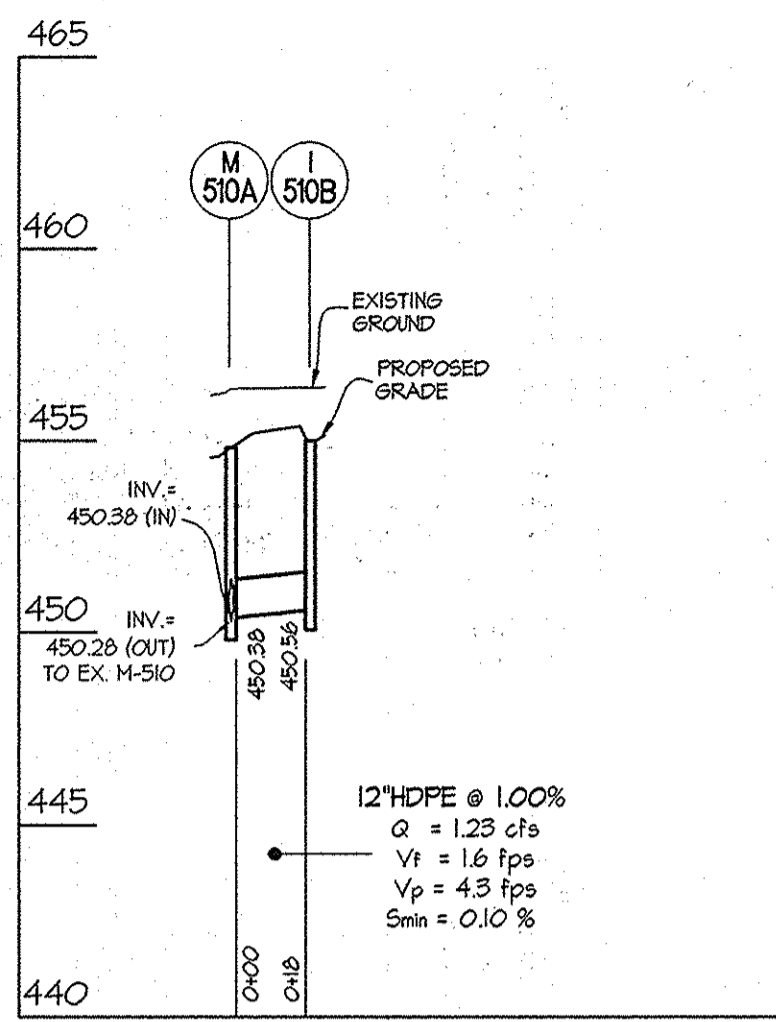
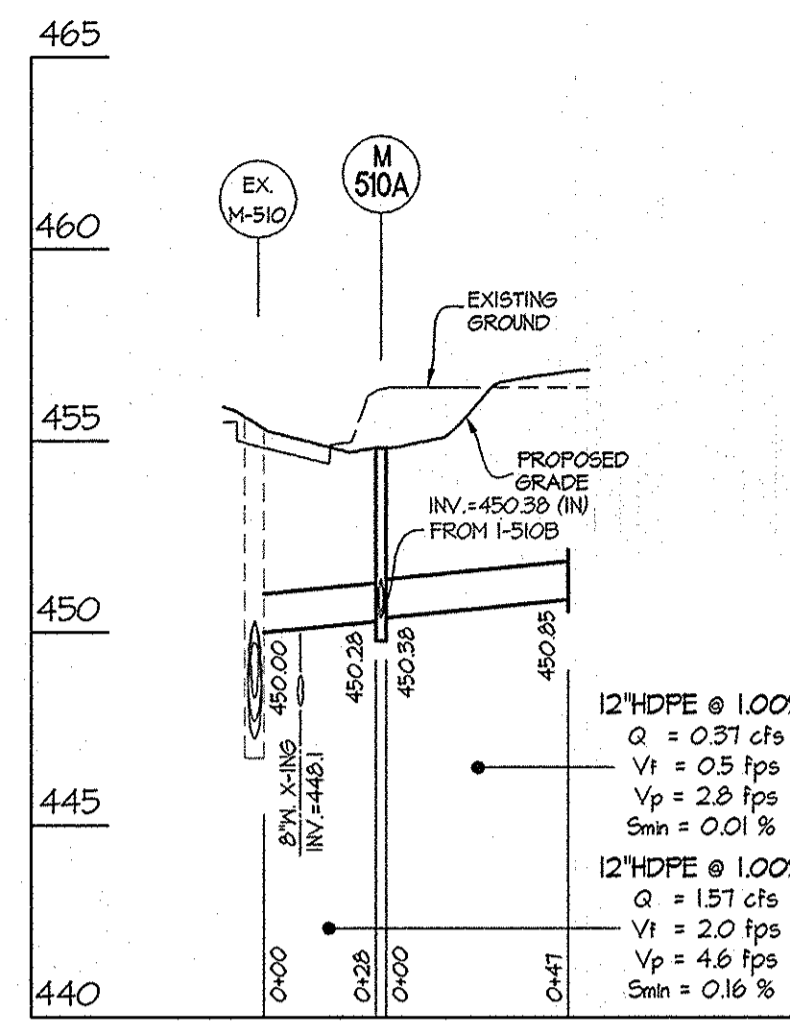
HANDICAP ACCESSIBILITY & DETAILS

WESTPARK LAWN FARMS  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL No. 116

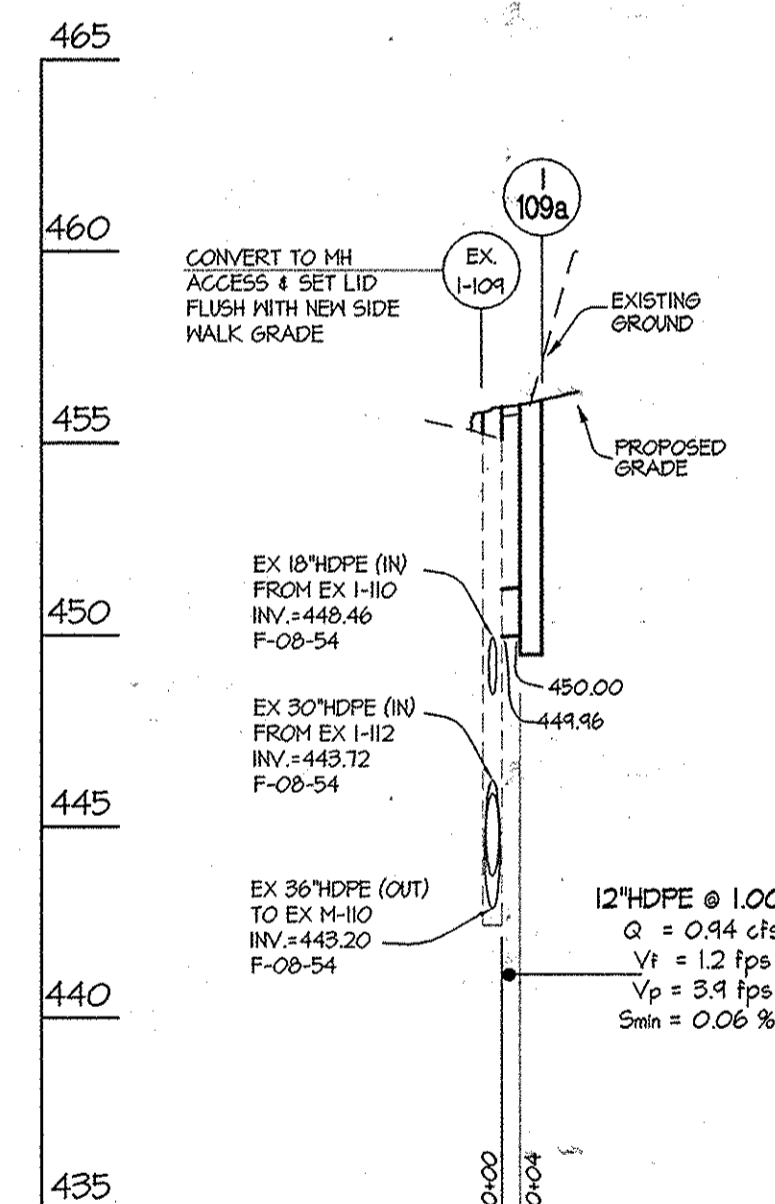
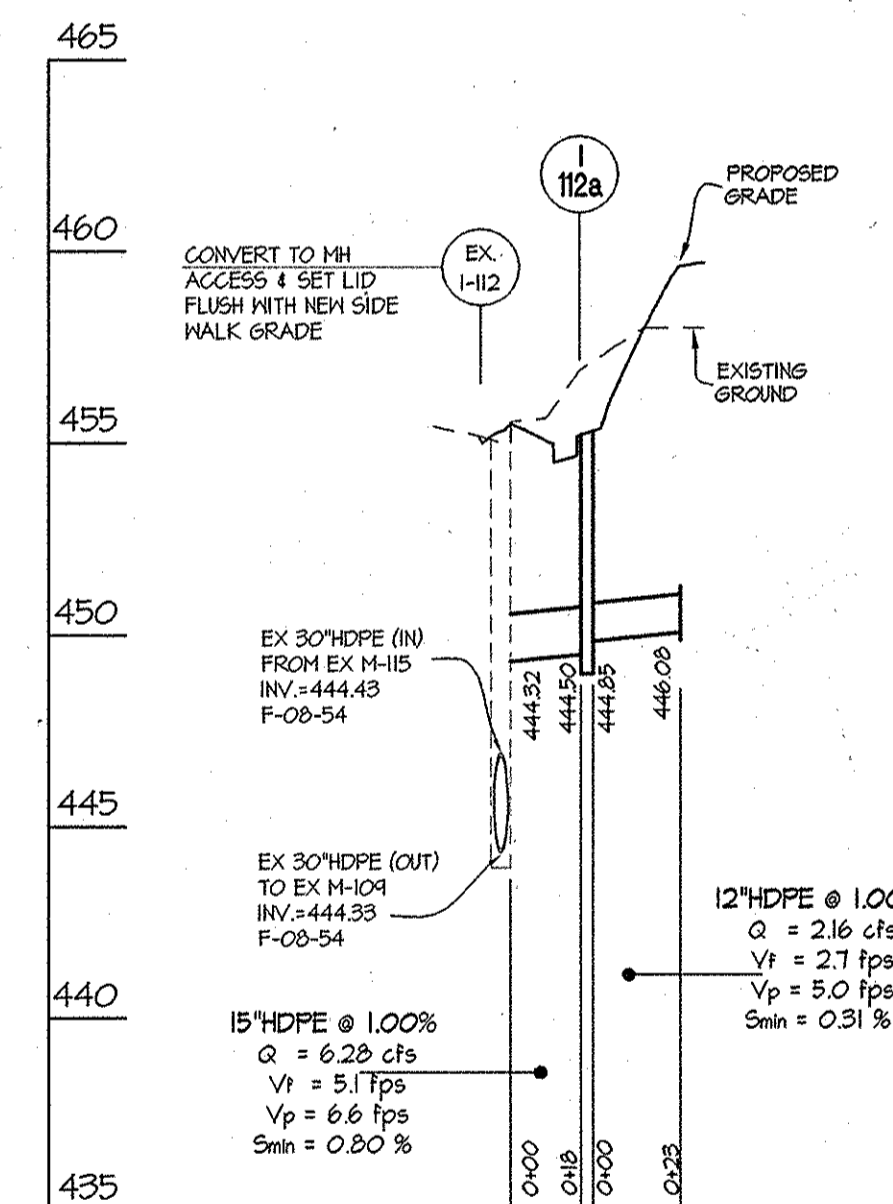
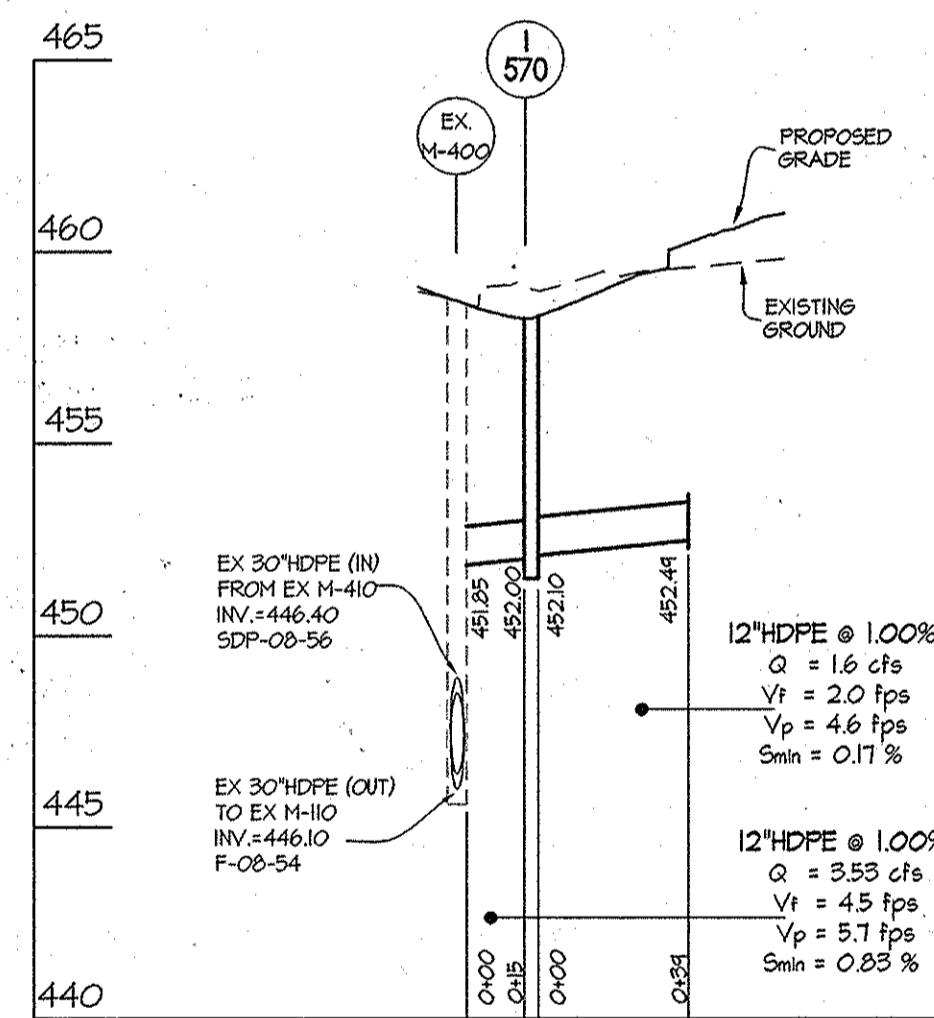
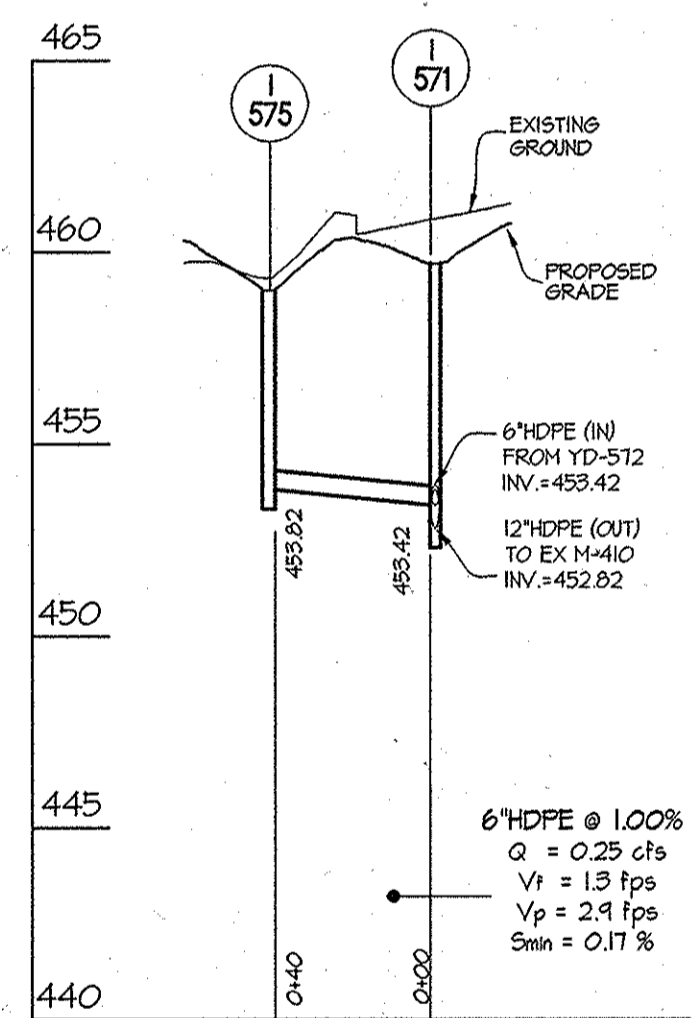
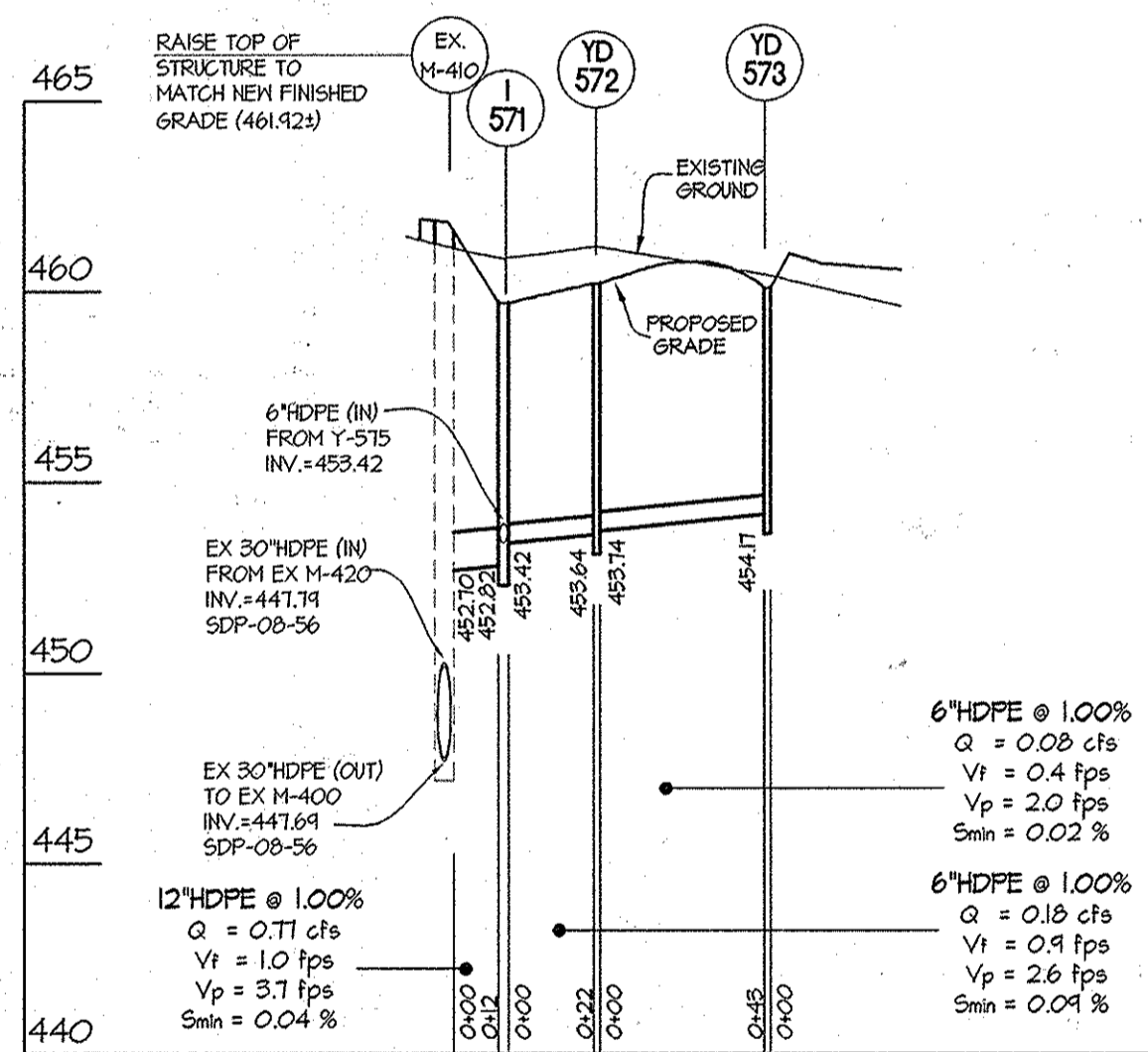
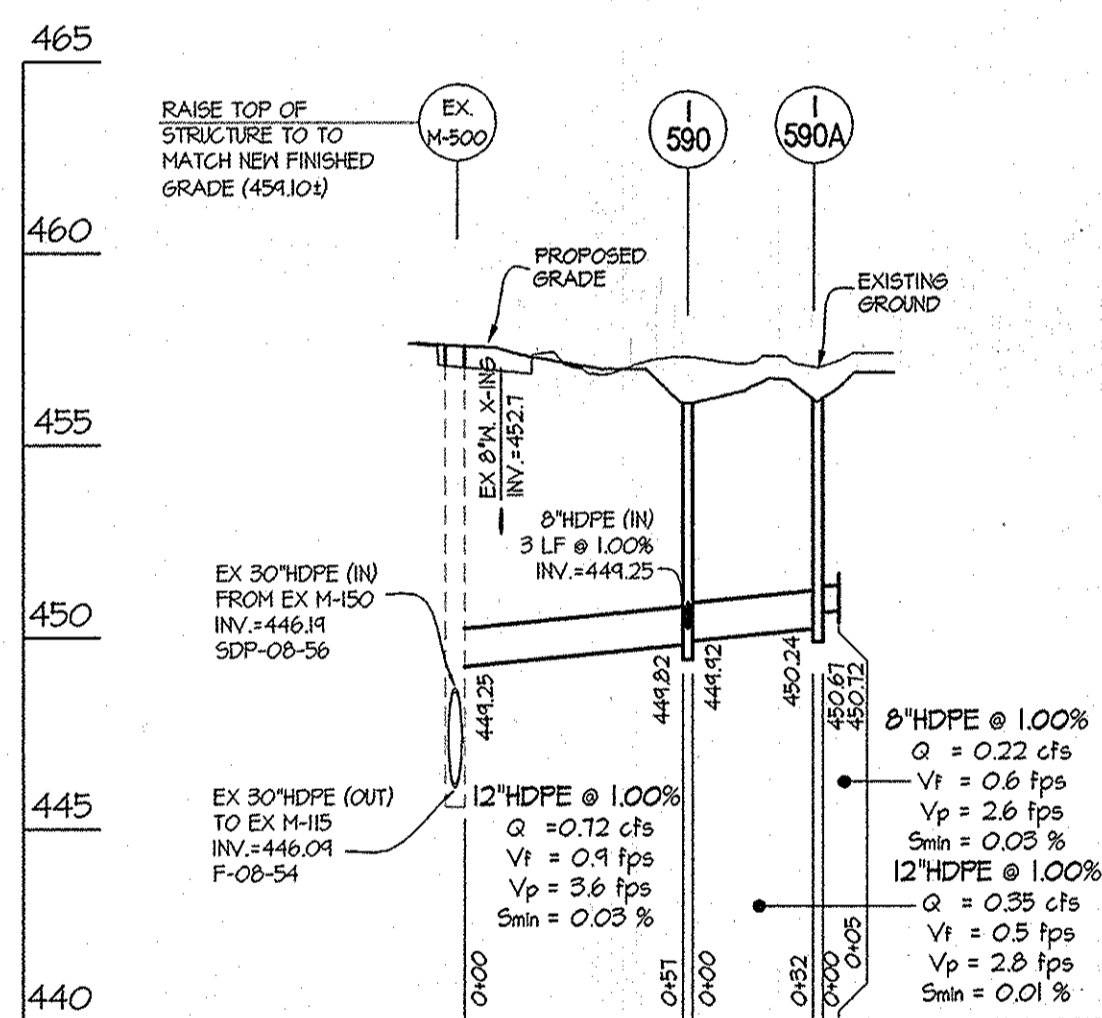
DATE SEPT/2014 TAX MAP - GRID 41-21&22 46-3 SHEET 4A OF 14

HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE NO.
1" = 20'	MXD-3	07087



PROFILE SCALE:  
HORIZONTAL: 1" = 50'  
VERTICAL: 1" = 5'



**STORM DRAIN STRUCTURE SCHEDULE**

No.	TYPE	WIDTH (inside)	TOP ELEVATION		INVERT ELEVATION		DETAIL REFERENCE	LOCATION
			UPPER	LOWER	UPPER	LOWER		
I-109A	A-5	2'-6"	455.61	455.52	terminal	450.00	DPH D-4.01	CORNER OF PARKING BAY
I-112A	A-10	2'-6"	454.16	454.45	terminal	444.50	DPH D-4.03	CORNER OF PARKING BAY
M-510A	STANDARD MANHOLE	4'-0"	454.82	----	450.38	450.28	DPH 6-5.12	E = 1338049.2640 N = 5394964.5341
I-510B	TYPE 'S'	2'-1/2"	455.00	----	terminal	450.36	DPH D-4.22	E = 1338062.4091 N = 5394981.7718
I-570	DOUBLE 'S'	2'-1/2"	458.20	----	452.10	452.00	DPH D-4.28	CURB PT/PC
I-571	TYPE 'S'	2'-1/2"	454.70	----	453.42	453.22	DPH D-4.22	E = 1337155.2226 N = 540190.4482
YD-572	12" NYLOPLAST	12" Dia.	460.22	----	453.74	453.64	www.nyloplast-us.com	E = 1337149.5115 N = 540161.3022
YD-573	12" NYLOPLAST	12" Dia.	460.10	----	terminal	454.17	www.nyloplast-us.com	E = 1337180.3440 N = 540134.8745
YD-575	TYPE 'S'	2'-1/2"	454.00	----	terminal	453.82	DPH D-4.22	E = 1337181.3102 N = 540225.1639
I-590	12" NYLOPLAST	12" Dia.	456.10	----	450.25	444.82	www.nyloplast-us.com	E = 1338144.3560 N = 540066.1512
I-590A	12" NYLOPLAST	12" Dia.	456.10	----	450.61	450.24	www.nyloplast-us.com	E = 1338175.8231 N = 540053.1355

NOTES:  
1. ALL STORM DRAIN STRUCTURES PER DPH STANDARD DETAILS SHALL BE PRECAST.  
2. COORDINATE POINTS ARE TO THE CENTER OF INLETS. TOP ELEVATIONS FOR INLETS ALONG A CURB ARE AT THE FLOW LINE OF THE ADJACENT CURB.  
3. THE STRUCTURE SCHEDULE IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. IF DISCREPANCIES EXIST BETWEEN VALUES SHOWN ON THE SCHEDULE AND THOSE SHOWN ON THE PLAN & PROFILES, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR CLARIFICATION PRIOR TO FABRICATION.

**STORM DRAIN PIPE SUMMARY TABLE**

SIZE (IN)	TYPE	QUANTITY (LF)	REMARKS
6"	HDPE	105	ADS N12 or equiv.
8"	HDPE	8	ADS N12 or equiv.
12"	HDPE	275	ADS N12 or equiv.
15"	HDPE	18	ADS N12 or equiv.

PROVIDE TRENCH BEDDING PER DPH DETAIL 6-2.12

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE SEPTEMBER 25, 2008, APRIL 7, 2011  
and SEPTEMBER 18, 2014

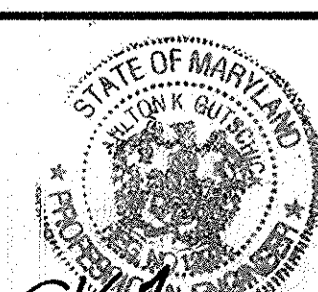
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Mark A. Gwyn* Date: *11/11/14*  
Chief, Division of Land Development  
Date: *11-04-14*  
Chief, Development Engineering Division: *Chris E. Smith* Date: *10-17-14*

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3809 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
Sept./2014	New Sheet 48 added to SDP set	DDS	

PREPARED FOR:  
MAPLE LAWN HT, LLC (Owner)  
SUITE 300 WOODHOMER CENTER  
1829 REISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: MARK SEWETT  
410-484-8400

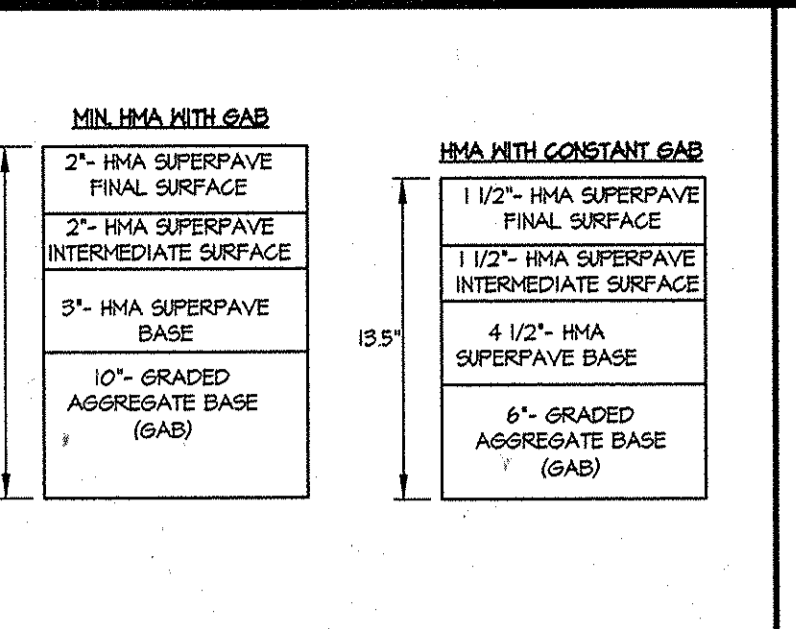
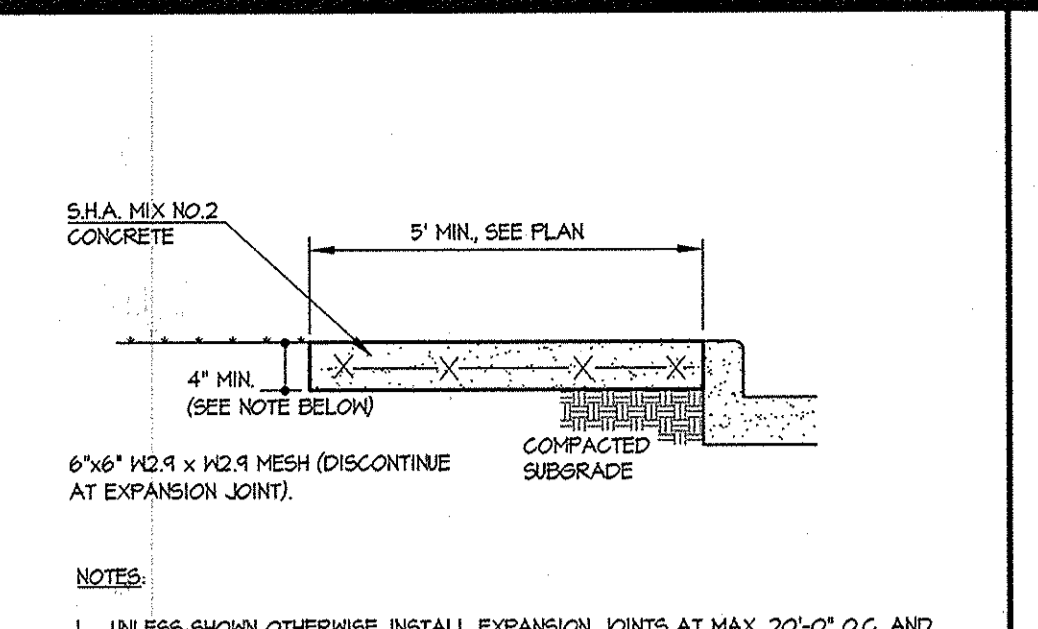
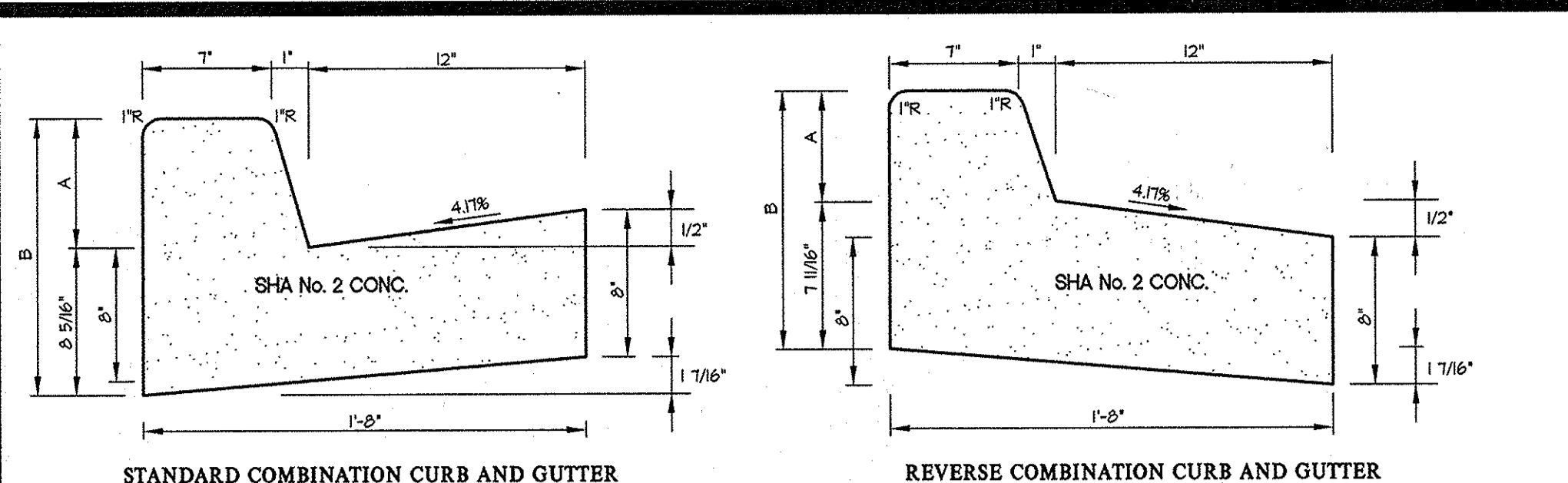
PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY  
ME, AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 13025.  
EXPIRATION DATE: MAY 28, 2016  
*10/3/14*



**PARCELS B24-B26 UTILITY PROFILES**

**MAPLE LAWN FARMS**  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07087
DATE	TAX MAP - GRID	SHEET
SEPT/2014	41-21&22 46-3	4B OF 14



**STANDARD COMBINATION CURB AND GUTTER**

CURB TYPE	A	B
6"	6"	1'-2 5/16"
7"	7 3/16"	1'-3 1/2"

**REVERSE COMBINATION CURB AND GUTTER**

CURB TYPE	A	B
6"	6"	1'-2 5/16"
7"	7 3/16"	1'-3 1/2"

**NOTES:**

- UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C. AND SCORING JOINTS AT MAX. 5'-0" O.C.
- CONCRETE THICKNESS SHALL BE 7" AT DRIVEWAY LOCATIONS.
- PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE SIDEWALK ABUTS AGAINST CURB AND SET SIDEWALK 1/4" ABOVE CURB PER HO. CO. DET. R-5-05.

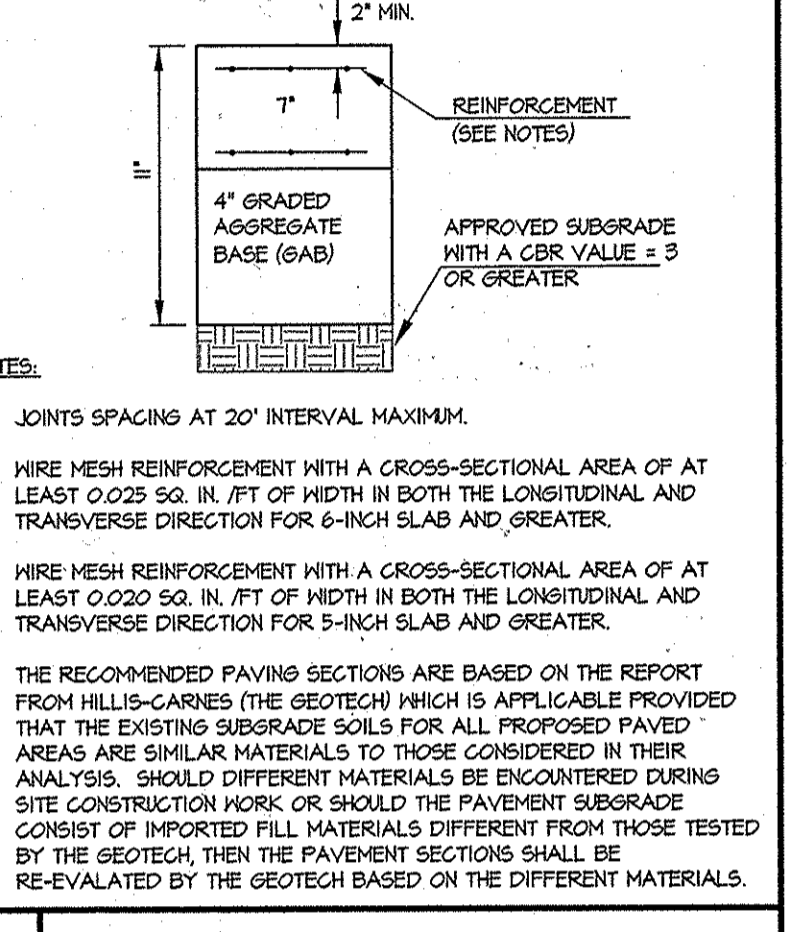
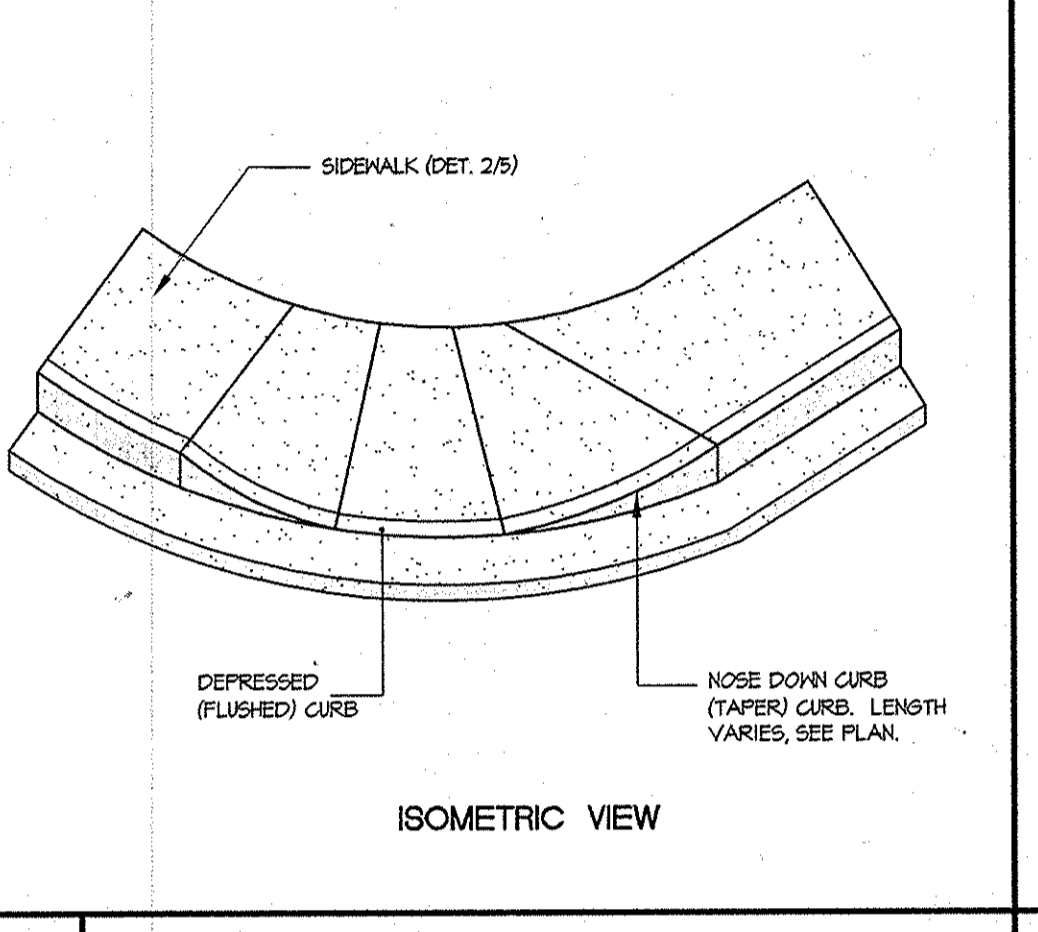
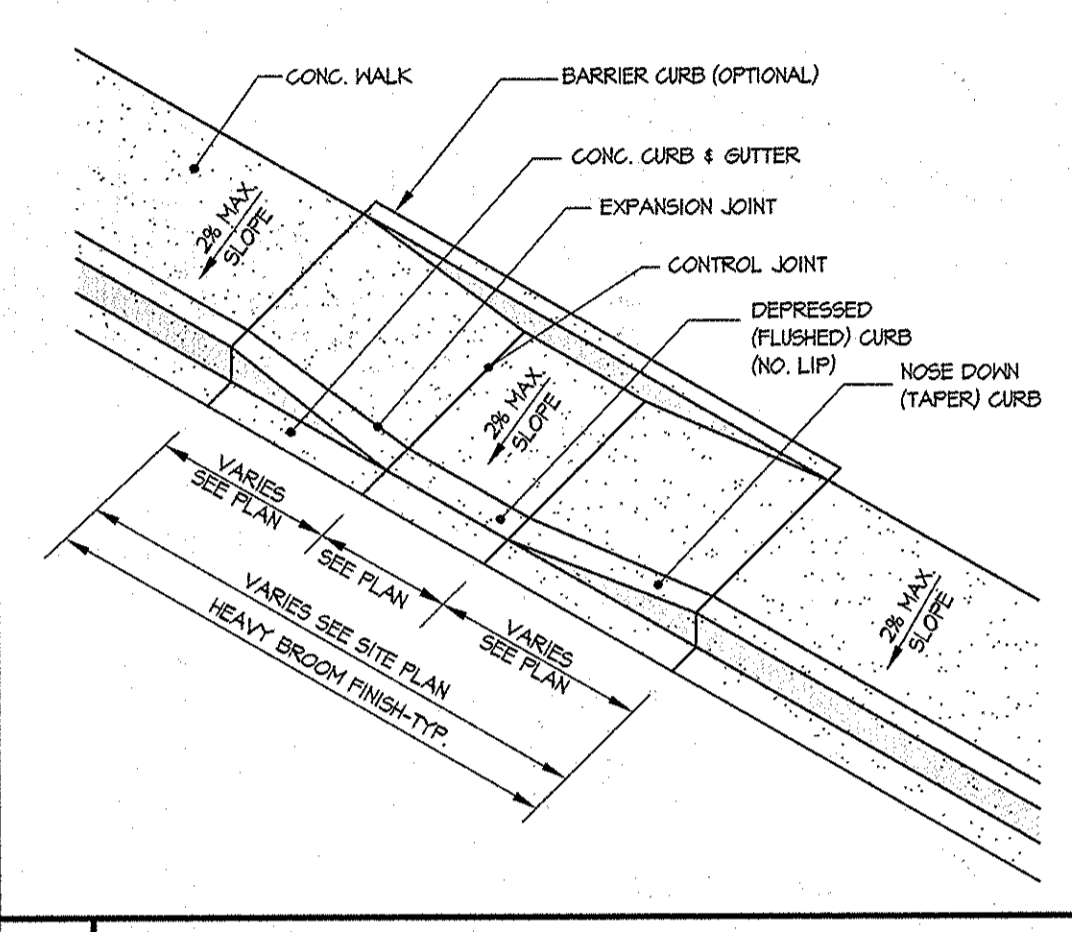
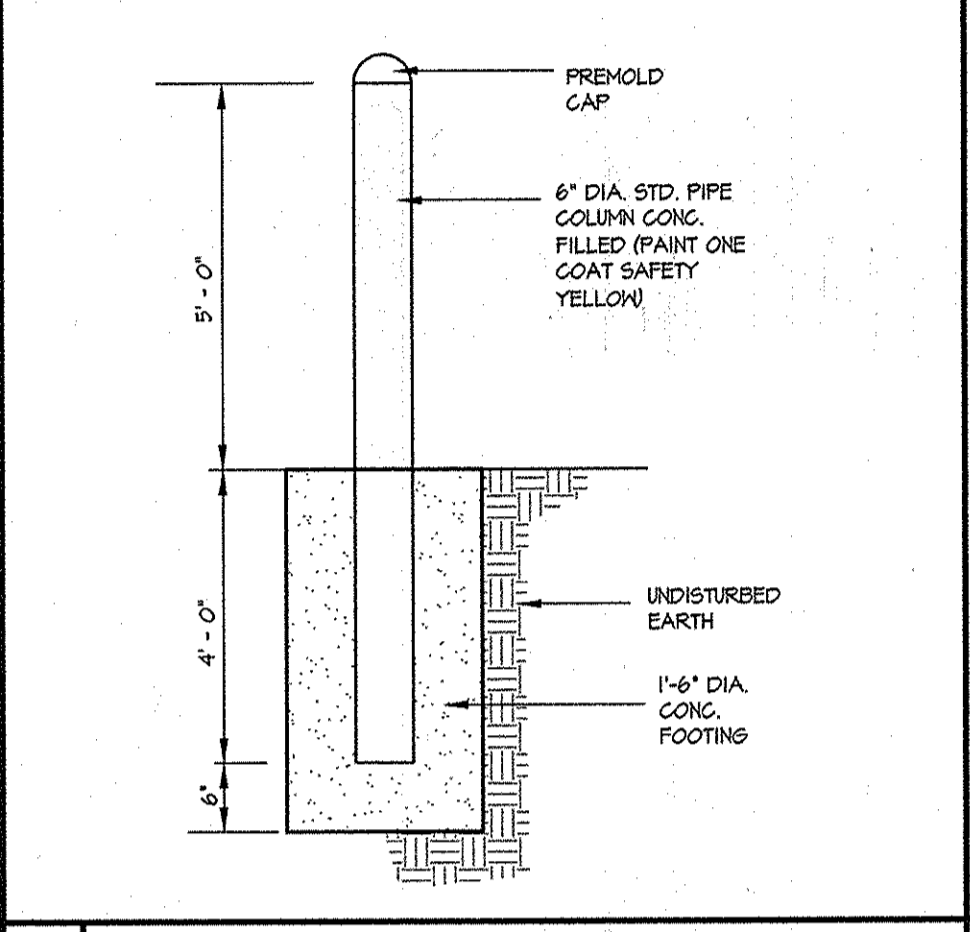
**P-3 PAVING SECTIONS**

NOTE: DEPENDING ON THE CBR VALUES OBTAINED IN THE FIELD, THE PAVING SECTIONS MAY BE REVISED, IF APPROVED BY A PROFESSIONAL SOILS ENGINEER.

**1 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE)** NO SCALE

**2 TYPICAL SIDEWALK SECTION** NO SCALE

**3 BITUMINOUS PAVING SECTIONS** NO SCALE

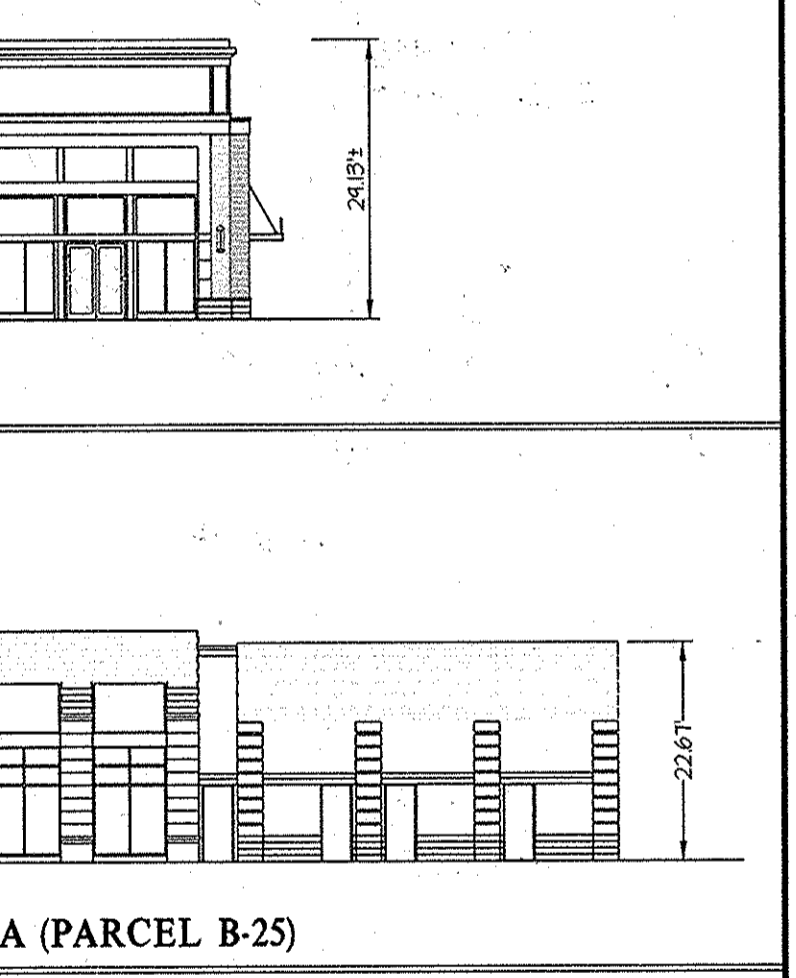
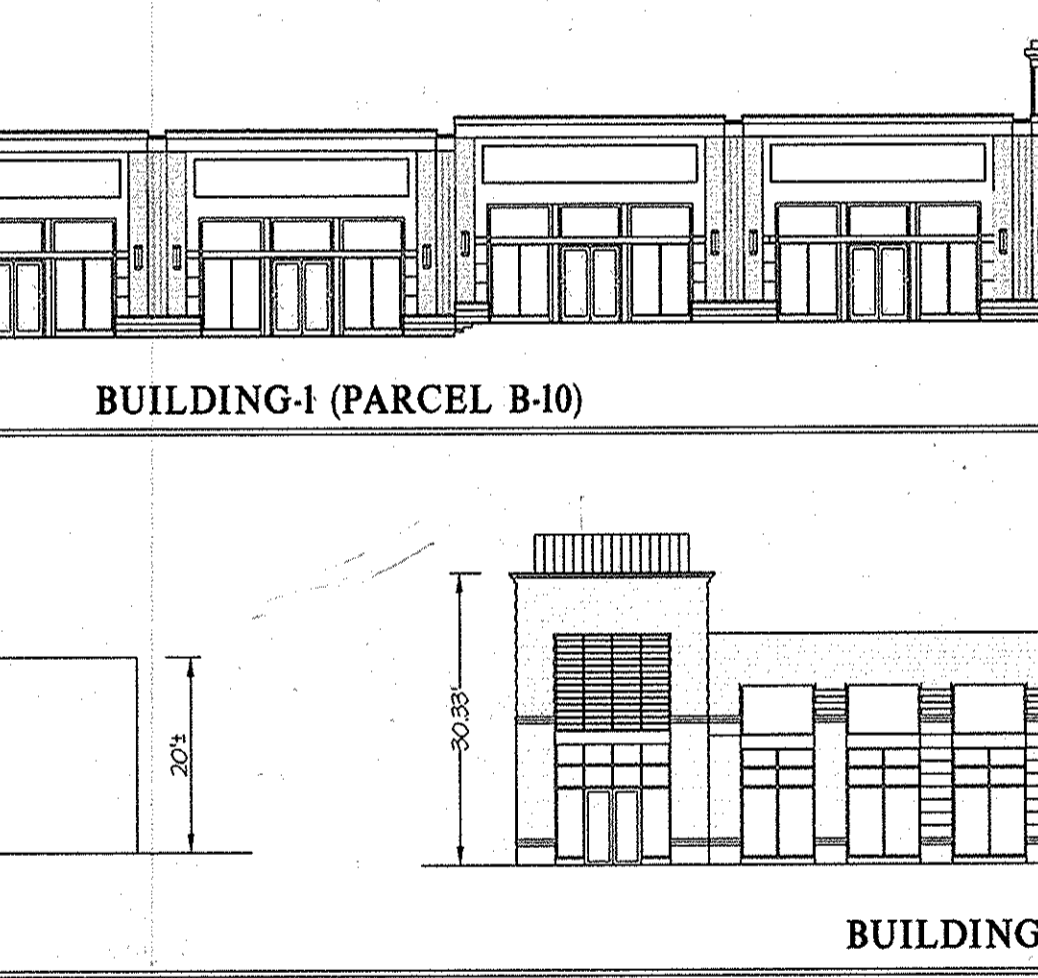
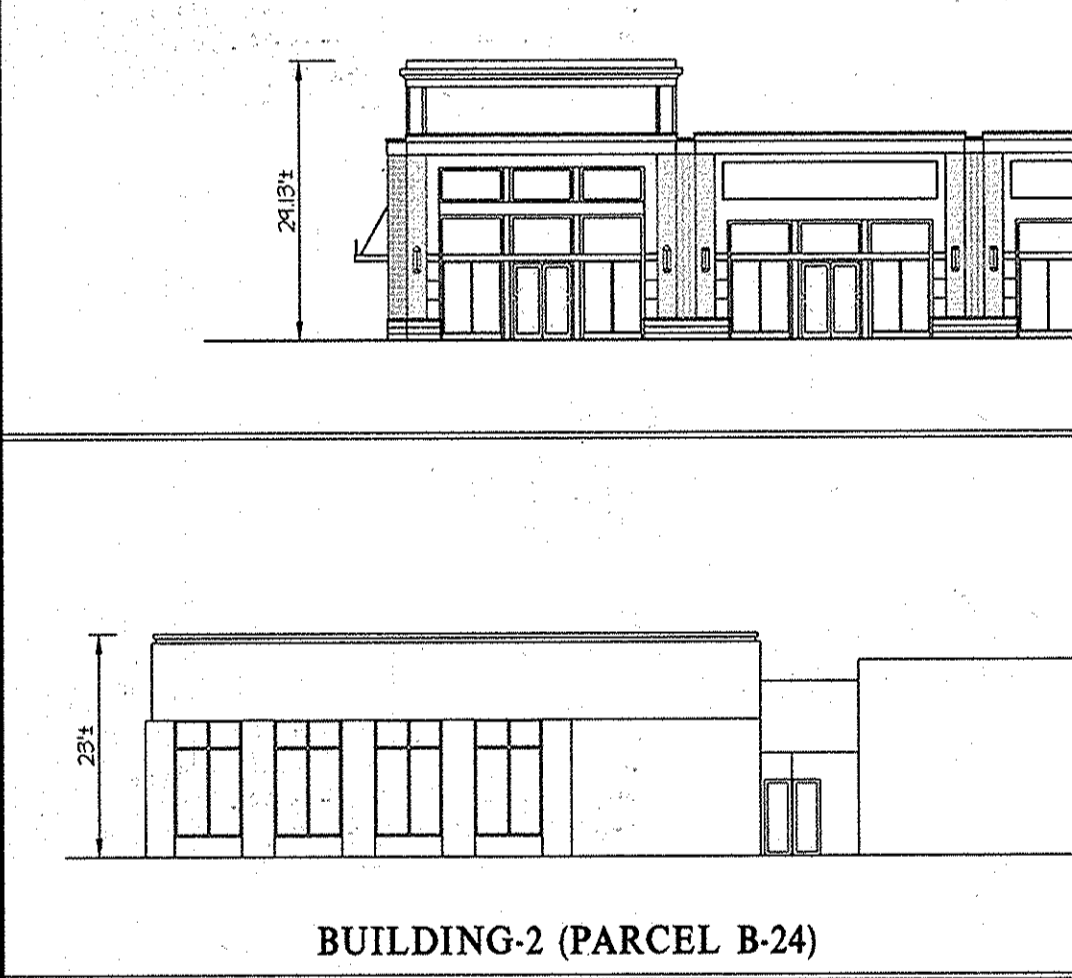
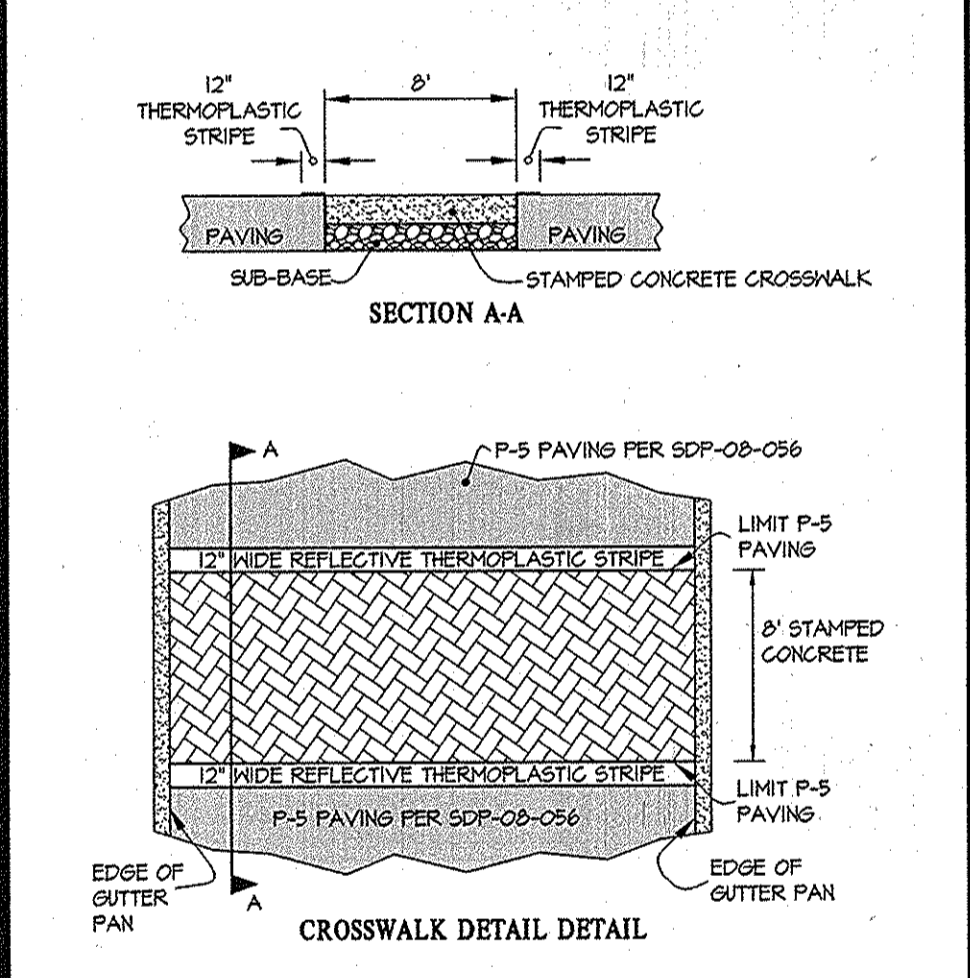


**4 BOLLARD DETAIL** NO SCALE

**5 TYPE-A HANDICAP RAMP DETAIL** NO SCALE

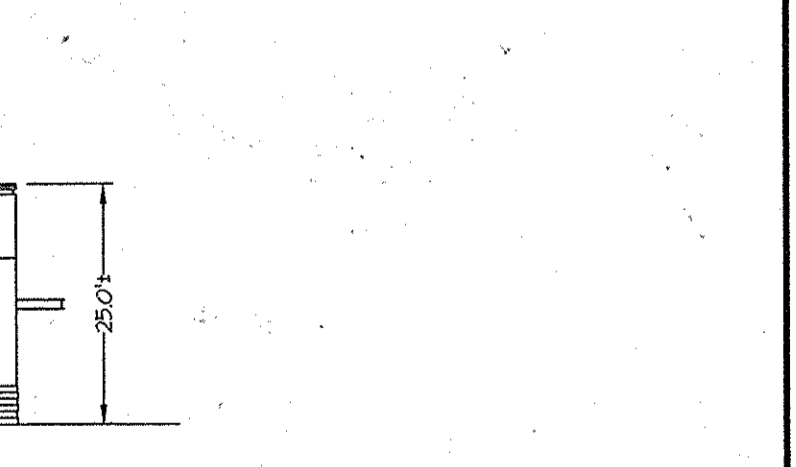
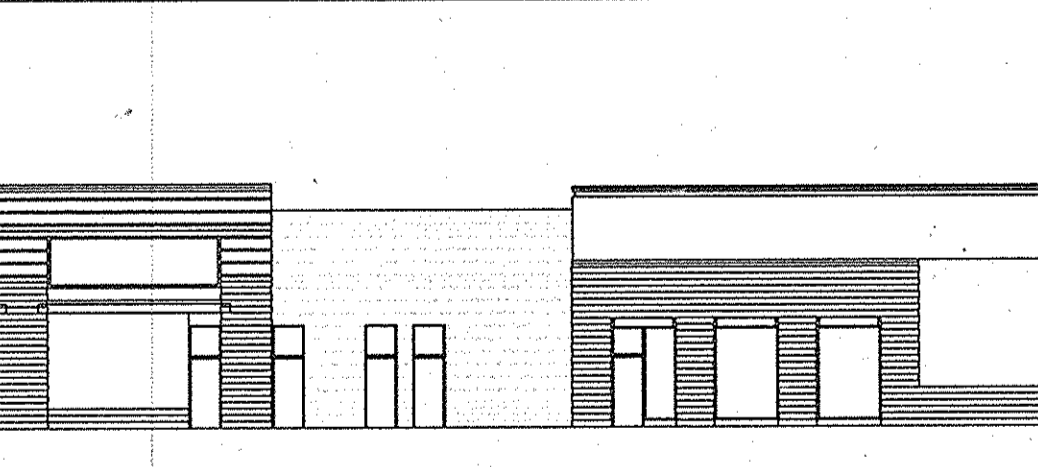
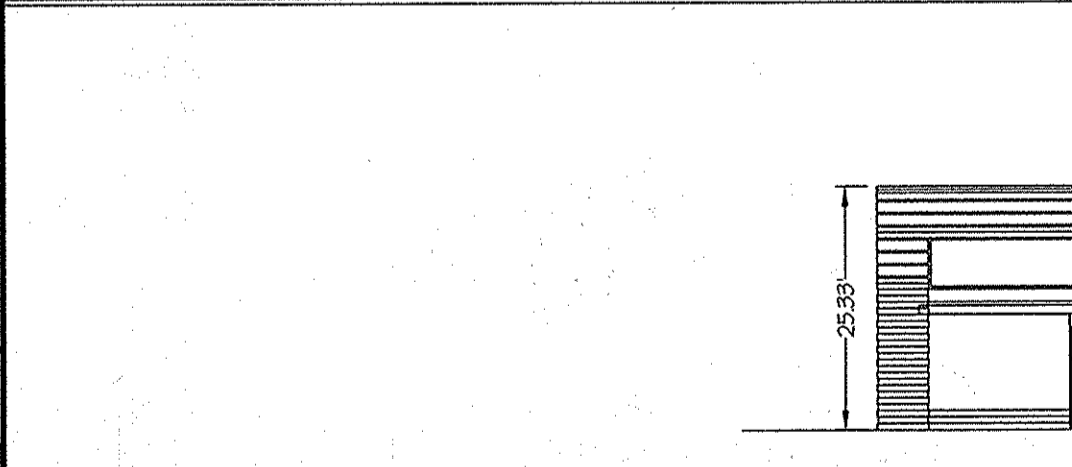
**6 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION**

**7 VEHICULAR CONCRETE PAVING SECTIONS**



**CROSSWALK NOTES:**

- COLOR AND PATTERN OF THE STAMPED CONCRETE TO BE SELECTED BY OWNER/DEVELOPER. COLORING AGENT SHALL BE THOROUGHLY INCORPORATED IN THE CONCRETE MIX (IT SHALL NOT BE JUST A SURFACE DUSTING).
- SEE DETAIL T/5 FOR CONCRETE PAVING SECTION.
- THE CROSS WALKS SHALL BE INSTALLED TOWARDS THE END DEVELOPMENT PROCESS, JUST PRIOR TO SURFACE PAVING. SAW CUT THE EXISTING BITUMINOUS PAVING IN ORDER TO INSTALL THE CONCRETE CROSSWALKS.



**8 CROSSWALK DETAIL SECTION & DETAIL** NO SCALE

**APPROVED**  
**PLANNING BOARD OF HOWARD COUNTY**

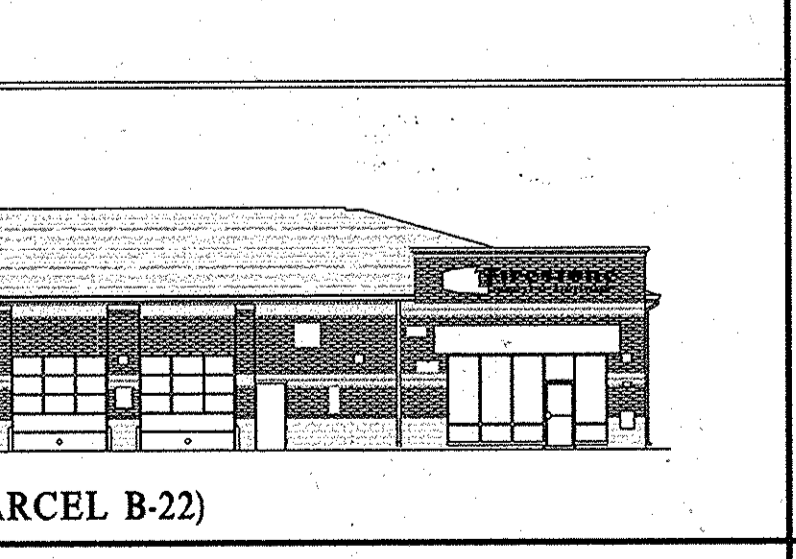
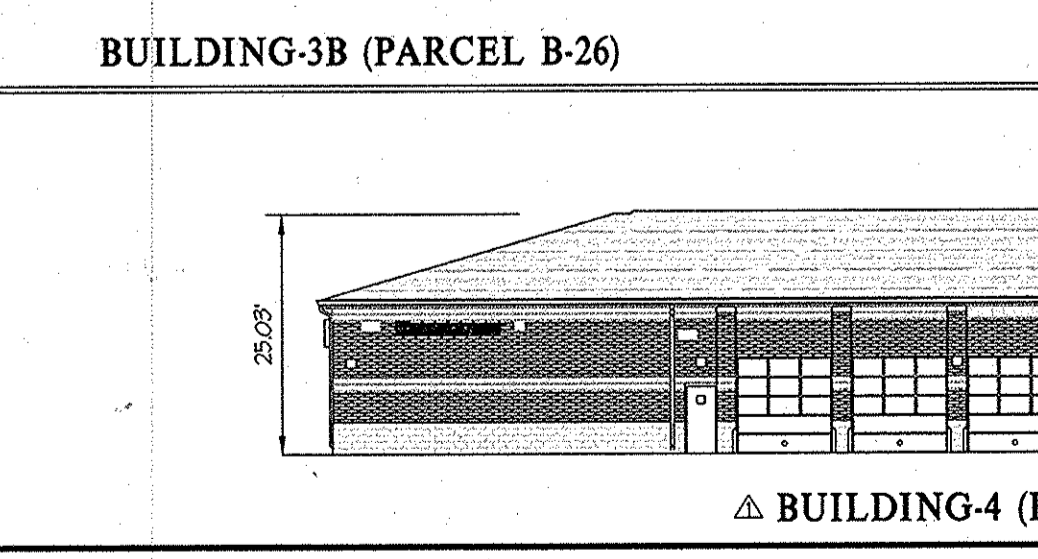
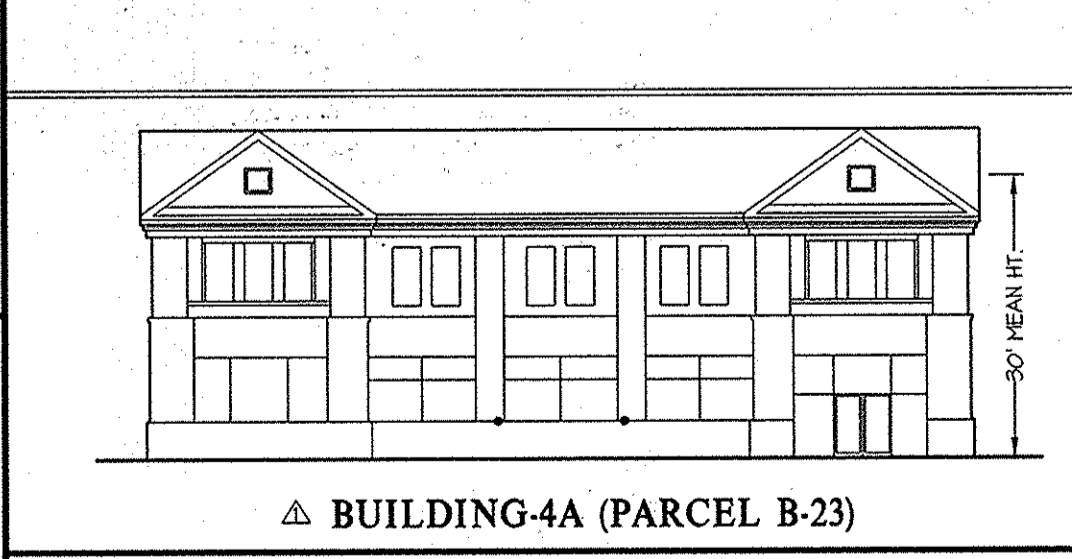
DATE **SEPTEMBER 25, 2008, APRIL 7, 2011**  
and **SEPTEMBER 18, 2014**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark H. Lytle* 11/14/14  
Date: 11/14/14

Chief, Division of Land Development: *W. DeLoach* 11-04-14  
Date: 11-04-14

Chief, Development Engineering Division: *Q. J. Edinger* 10-17-14  
Date: 10-17-14



**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 220 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-889-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R
9/2014	Added new bldg. 2, 3A & 3B, parcels resub'd to B24 thru B26, rev. paving accordingly	kjp	MBT
5/9/2011	Added new bldg. elev. for bldg. No. 4 (Freestone) & No. 4A (HBM) for resub'd Parcels B-22 & B-23, rev. paving accordingly	HKJ	MBT

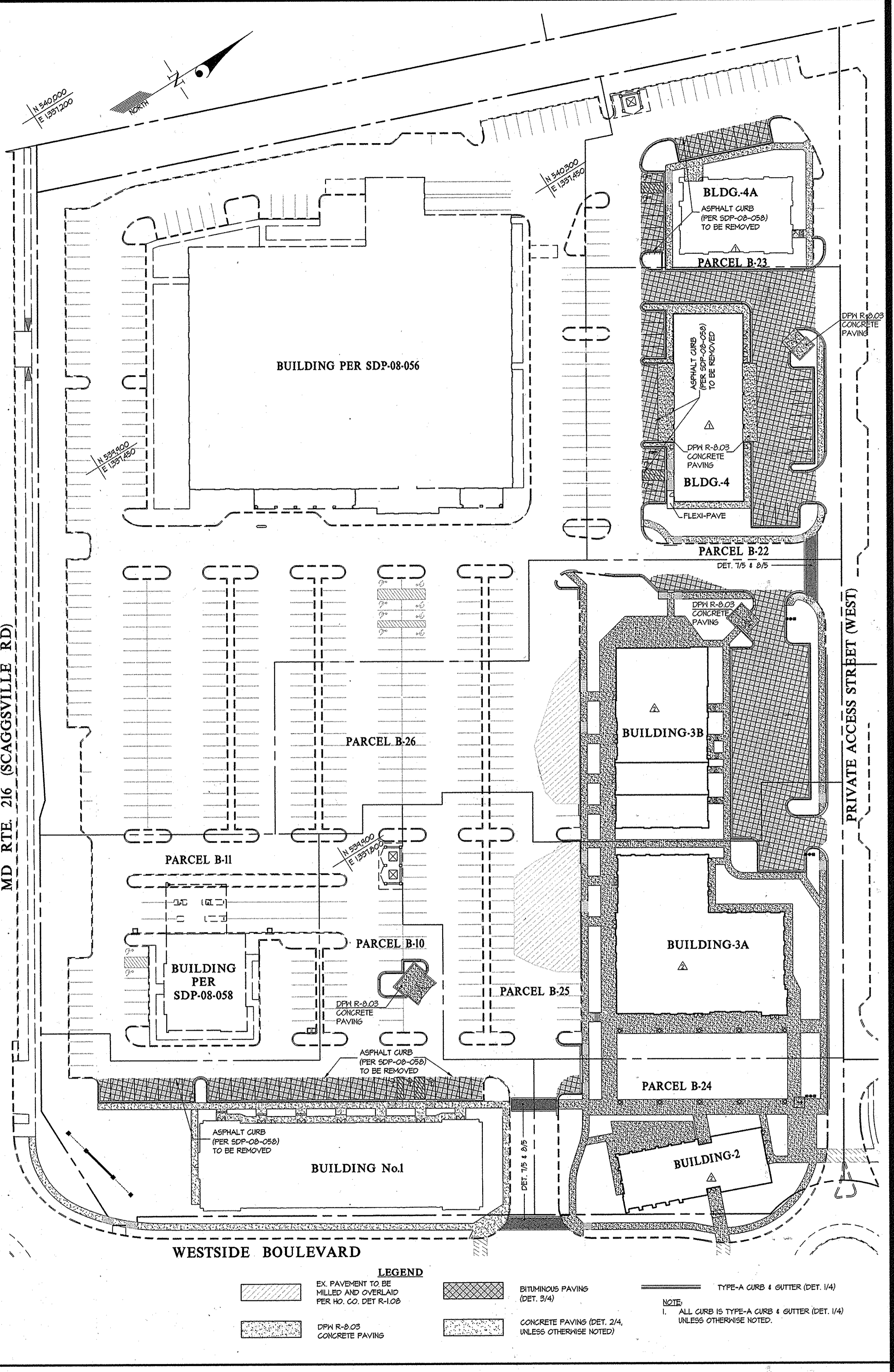
**BUILDING ELEVATIONS** SCALE: 1" = 20'

PREPARED FOR:  
MAPLE LAWN HT, LLC (Owner)  
SUITE 300 WOODHOLME CENTER  
1829 RISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19276  
EXPIRATION DATE: MAY 26, 2016  
10/3/14

**PAVING DELINEATION PLAN** SCALE: 1" = 50'

**(REVISED) SITE DETAILS**  
**MAPLE LAWN FARMS**  
**WESTSIDE DISTRICT - AREA 1**  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL No. 116



SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	07087
DATE	TAX MAP - GRID	SHEET
SEPT/2014	41-21&22 46-3	5 OF 14

**LEGEND**

- + 08.00 PROPOSED SPOT ELEVATION
- - - 600 EXISTING CONTOUR
- - - 620 PROPOSED CONTOUR THIS PHASE
- SF — PROPOSED SILT FENCE
- SSF — PROPOSED SUPER SILT FENCE
- LOD LIMIT OF DISTURBANCE
- CIP SIP INLET PROTECTION (Curb 4 5mp)
- AGIP
- SCE STABILIZED CONSTRUCTION ENTRANCE

- SEQUENCE OF CONSTRUCTION**
1. APPLY FOR A GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR. OBTAIN THE GRADING PERMIT AT THE MEETING (1 DAY).
  2. THE WORK ON THIS SDP COULD BE PERFORMED CONCURRENT WITH THE GRADING WORK UNDER F-08-54, F-08-55 AND SDP-08-056. COORDINATE THIS SDP WORK WITH THOSE OF SDP-08-056 THE ROAD CONSTRUCTION PLANS F-08-54 & 55.
  3. MAKE SURE THE SEDIMENT CONTROL BASINS PER F-08-54 & 55 AND THE STORM RUN FROM THOSE BASIN TO PARCELS ON THIS SDP ARE OPERATIONAL.
  4. FOR CONSTRUCTION WORK ON PARCELS B-24 THRU B-26:
    - A. INSTALL PERIMETER SILT FENCE (SF), SUPER SILT FENCE (SSF) AT BACK OF EXISTING CURB ALONG THE L.O.D.
    - B. PERFORM DEMOLITION WORK WITHIN THE LOD (SEE DEMOLITION PLAN ON SHEET 4A); HOWEVER, DELAY REMOVING EX. INLET I-SIT AND THE EX. CURB & PAVEMENT ALONG WEST MARKET PLACE UNTIL THE NEW CURB ALONG THIS STREET IS BUILT. DURATION: 1-WEEK.
    - C. OBTAIN PERMISSION FROM THE SGI TO GRADE AREA WITHIN PERIMETER THE SEDIMENT CONTROL MEASURES TO APPROVED SUB-GRADE FOR BUILDING 4 PARKING LOT CONSTRUCTION. COORDINATE UTILITY INSTALLATION & BUILDING CONSTRUCTION WITH GRADING OPERATION. DURATION: 10-14 DAYS FOR UTILITY INSTALLATION AND 6 MONTHS FOR BUILDING CONSTRUCTION.
    - D. INSTALL NEW CURB WITHIN THE LOD & REMOVE THE WEST MARKET PLACE CURB/PAVEMENT AND EX. I-SIT DELAYED IN S.O.C. #2 ABOVE. DURATION: 2-3 DAYS.
    - E. PAVE NEW DRIVE AISLE AND PARKING SPACES. DURATION: 1-2 DAYS
    - F. INSTALL SIDEWALK, HARDSCAPE AREA & LANDSCAPING. DURATION: 1-WEEK
  5. FLUSH AND PUMP CLEAN ALL STORM DRAIN SYSTEM ONCE THE LOD AREA FOR THIS SDP IS STABILIZED. DURATION: 1 DAY.
  6. COMPLETE BUILDINGS INTERIOR WORK AND OBTAIN USE & OCCUPANCY PERMIT FOR EACH BUILDING.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

*Mark Bennett* 10/14/14  
SIGNATURE OF DEVELOPER/BUILDER DATE

**ENGINEER'S CERTIFICATE**

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

*John Blanton* 10/13/14  
DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

*John Blanton* 10/9/14  
DATE

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE SEPTEMBER 25, 2008, APRIL 7, 2011 and SEPTEMBER 18, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

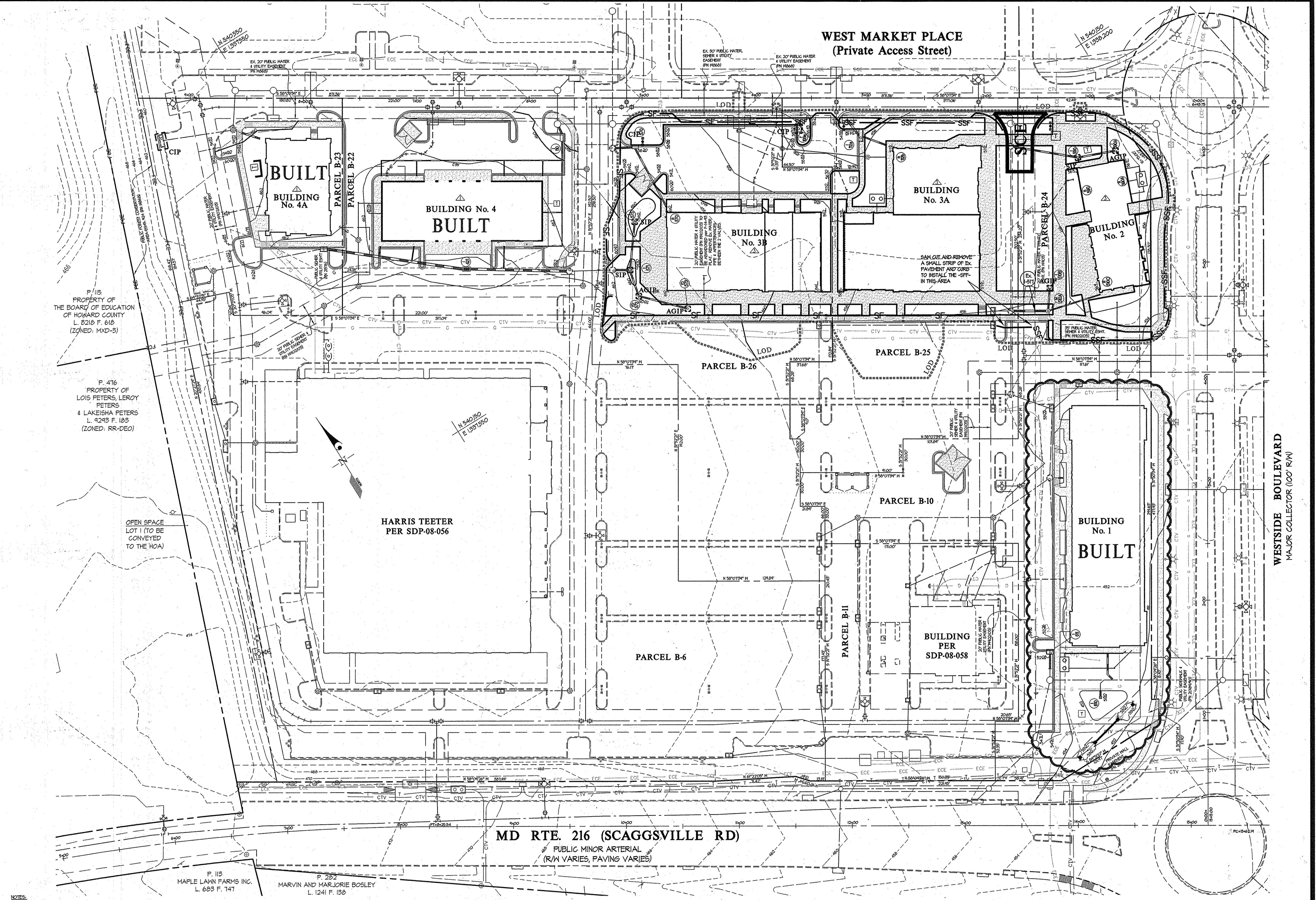
*Michael Leary* 11/2/14  
Director Date

*Nicholas...* 11-24-14  
Chief, Division of Land Development Date

*Paul...* 10-17-14  
Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3009 NATIONAL DRIVE - SUITE 200 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

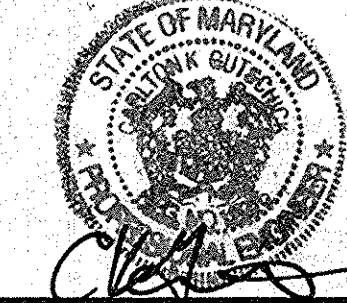


- NOTES:**
1. TEMPORARY SHM IS PROVIDED BY THE EXISTING BASIN/SHM FACILITY CONSTRUCTED UNDER F-08-54 & 55.
  2. COORDINATE THE CONSTRUCTION WORK ON THIS PLAN SET WITH F-08-54/55 AND SDP-08-056.
  3. SOIL STOCKPILING WITHIN THE L.O.D. FOR THIS SDP IS NOT PERMITTED.

**THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY**

**MD RTE. 216 (SCAGGSVILLE RD)**  
PUBLIC MINOR ARTERIAL  
(R/W VARIES, PAVING VARIES)

**PREPARED FOR:**  
MAPLE LAWN HT, LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1829 REISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400



**(REVISED) SEDIMENT CONTROL PLAN**

**MAPLE LAWN FARMS**  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22971-22978 TAX MAP PARCEL No. 116  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	07087
DATE	TAX MAP - GRID	SHEET
SEPT/2014	41-21&22 46-3	6 OF 14



B-4.2 STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION. PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.

CRITERIA: 1. SOIL PREPARATION: A. SOIL STABILIZATION: 1. SEEDING: 1. SEED MIXTURES: 1. GENERAL USE: a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PURPOSE FOUND ON TABLE B.2.

2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURE(S), APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.

2. SOIL AMENDMENTS: a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH THE APPROVAL OF THE APPROVING AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAR THE NAME, TRADE NAME AND WARRANTY OF THE MANUFACTURER.

3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT.

4. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT.

5. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT.

6. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE. b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT.

APPROVED PLANNING BOARD OF HOWARD COUNTY DATE SEPTEMBER 25, 2008, APRIL 7, 2011 and SEPTEMBER 18, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING Director: [Signature] Date: 11/4/14 Chief, Division of Land Development: [Signature] Date: 10/27/14 Chief, Development Engineering Division: [Signature] Date: 10/27/14

B-4.3 STANDARDS AND SPECIFICATIONS FOR SEEDING AND MULCHING

DEFINITION: THE APPLICATION OF SEED AND MULCH TO ESTABLISH VEGETATIVE COVER. PURPOSE: TO PROTECT DISTURBED SOILS FROM EROSION DURING AND AT THE END OF CONSTRUCTION.

CRITERIA: 1. SPECIFICATIONS: a. ALL SEED MUST MEET THE REQUIREMENTS OF THE MARYLAND STATE SEED LAW. ALL SEED MUST BE SUBJECT TO RE-TESTING BY A RECOGNIZED SEED LABORATORY. ALL SEED USED MUST HAVE BEEN TESTED WITHIN THE 6 MONTHS IMMEDIATELY PRECEDING THE DATE OF SEEDING SUCH WATER ON ANY PROJECT.

2. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

3. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

4. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

5. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

6. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

7. APPLICATION: a. DRY SEEDING: THIS INCLUDES USE OF CONVENTIONAL DROP OR BROADCAST SPREADERS. b. INCORPORATE SEED INTO THE SUBSOIL AT THE RATES PRESCRIBED ON TEMPORARY SEEDING TABLE B.1 PERMANENT SEEDING TABLE B.3, OR SITE-SPECIFIC SEEDING SUMMARIES.

ENGINEER'S CERTIFICATE I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WISE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

PREPARED FOR: MAPLE LAWN LL, LLC (Owner) SUITE 300 WOODHOUE CENTER 1829 ROSTERTOWN RD BALTIMORE, MD 21208 ATTN: MARK BENNETT 410-684-8400

B-4.4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS. PURPOSE: TO USE FAST GROWING VEGETATION THAT PROVIDES COVER ON DISTURBED SOILS.

CRITERIA: 1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3), AND ENTER THEM IN THE TEMPORARY SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. IF SEEDING IS NOT PUT ON THE PLAN AND COMPLETED, THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.

TEMPORARY SEEDING SUMMARY TABLE with columns: No., SPECIES, APPLICATION RATE (lb./ac.), SEEDING DATES, SEEDING DEPTHS, FERTILIZER RATE (10-10-10), LIME RATE.

SEDIMENT CONTROL NOTES: 1. A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSES AND PERMITS. SEDIMENT CONTROL DEVICES TO THE START OF ANY CONSTRUCTION. (410-313-1855).

PRECEDENT APPROVAL TABLE with columns: TOTAL AREA OF SITE, AREA DISTURBED, AREA TO BE ROOFED OR PAVED, AREA TO BE VEGETATIVELY STABILIZED, TOTAL OUT, OFF-SITE WASTE/BORROW AREA LOCATION.

2. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED BY THE END OF EACH WORK DAY, WHICHEVER IS SHORTER.

3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

4. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

5. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

PREPARED FOR: MAPLE LAWN LL, LLC (Owner) SUITE 300 WOODHOUE CENTER 1829 ROSTERTOWN RD BALTIMORE, MD 21208 ATTN: MARK BENNETT 410-684-8400

B-4.5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION. PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.

CRITERIA: 1. GENERAL USE: a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDNESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CONDITIONS OR PURPOSE FOUND ON TABLE B.2.

2. TURFGRASS MIXTURES: a. AREAS WHERE TURFGRASS MAY BE DESIRED INCLUDE LAWNS, PARKS, PLAYGROUNDS, AND COMMERCIAL SITES WHICH WILL RECEIVE A MEDIUM TO HIGH LEVEL OF MAINTENANCE. b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE.

3. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

4. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

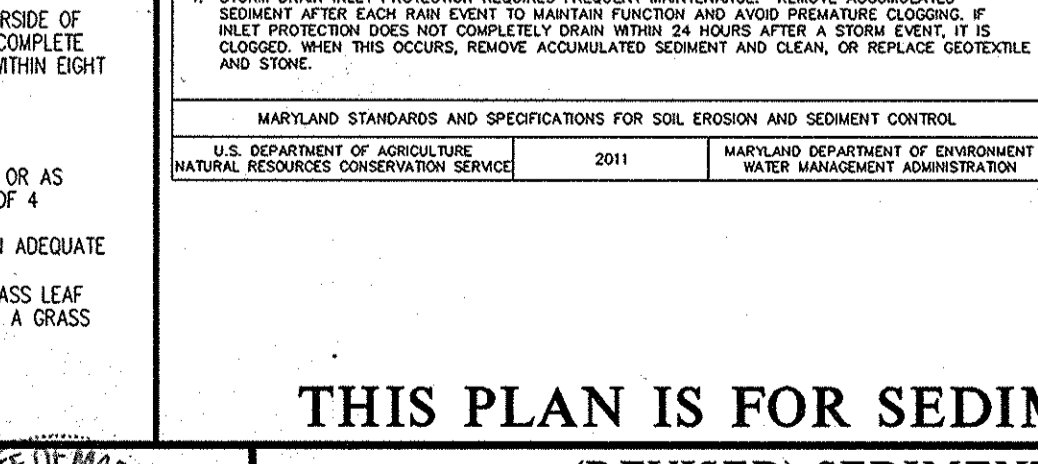
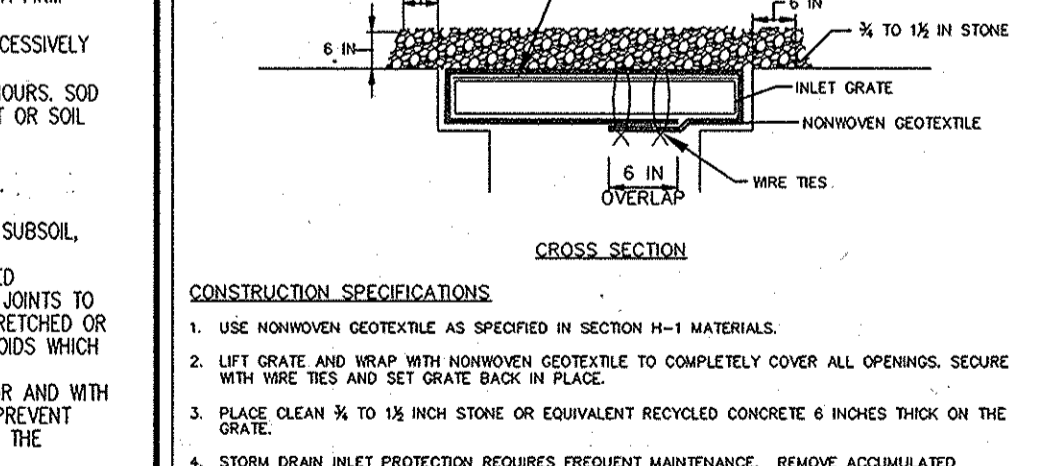
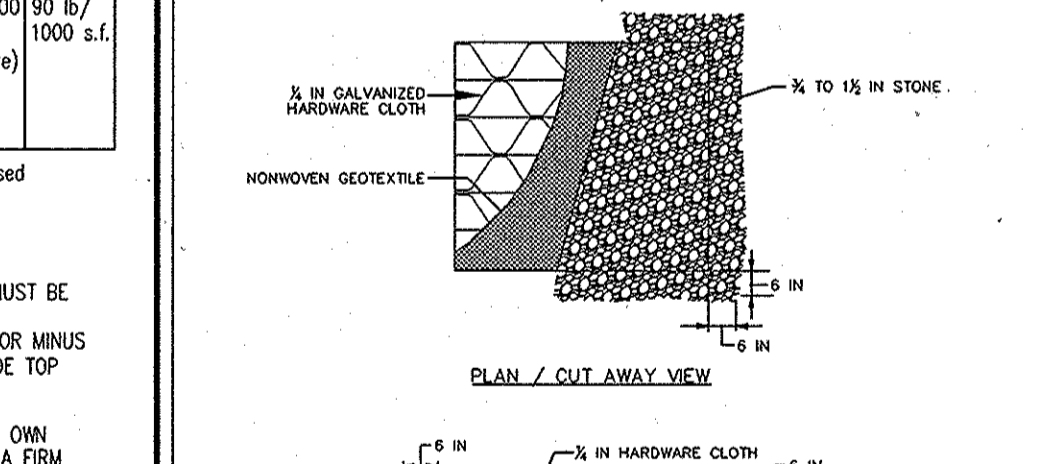
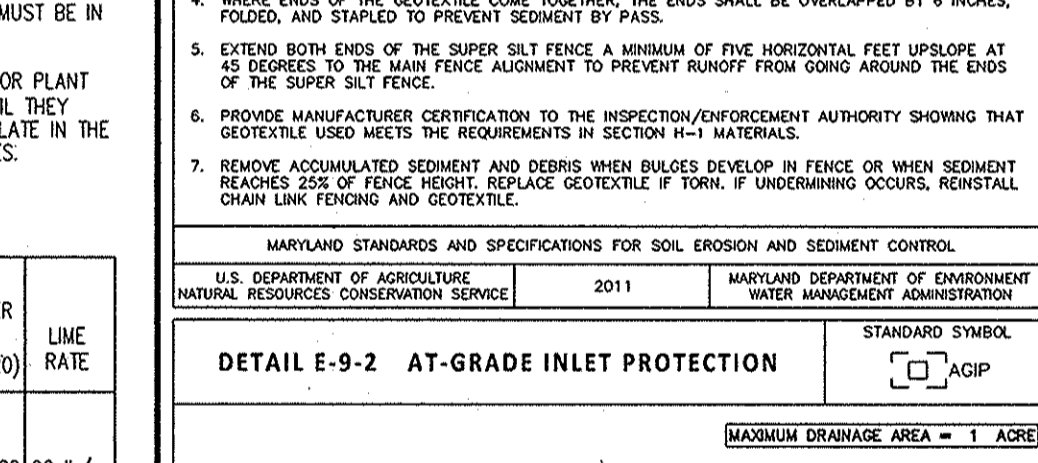
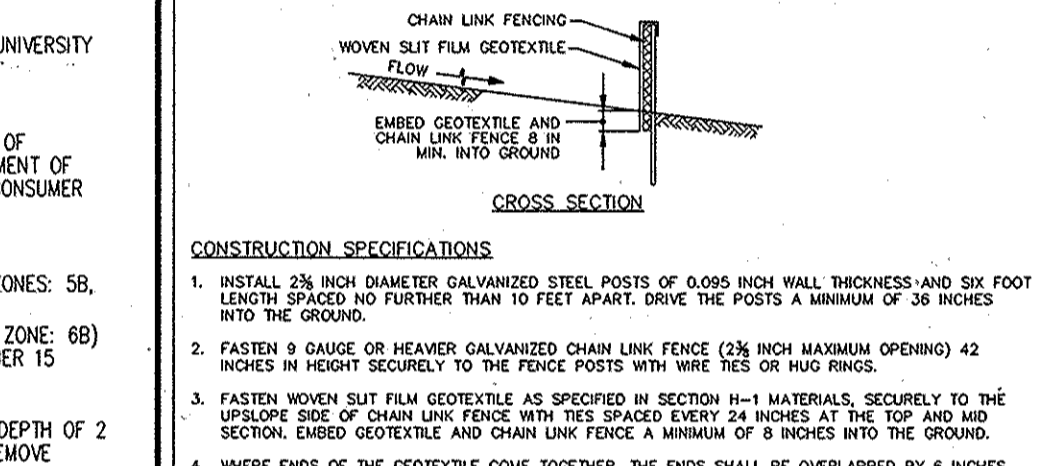
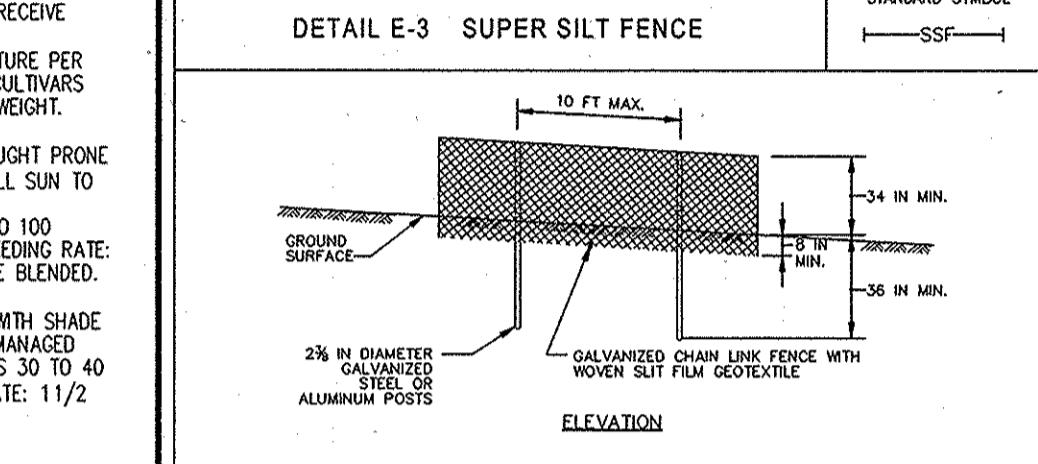
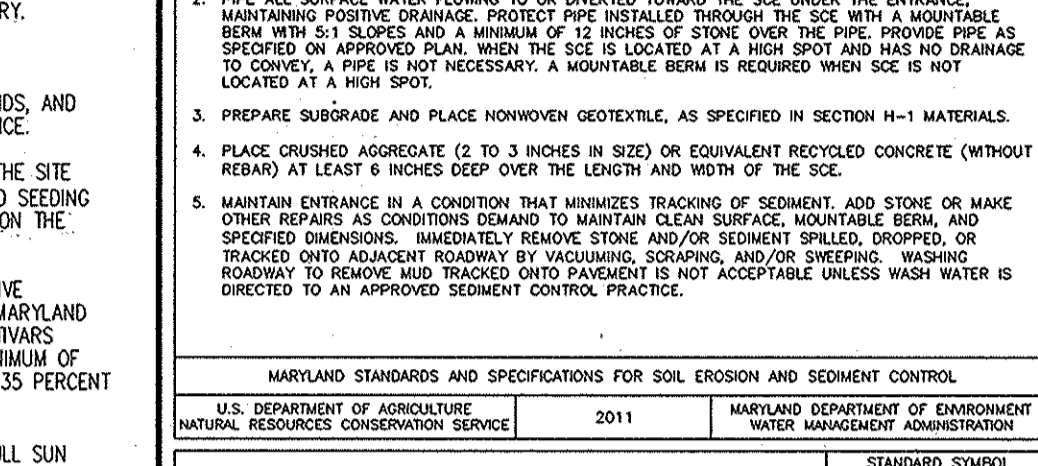
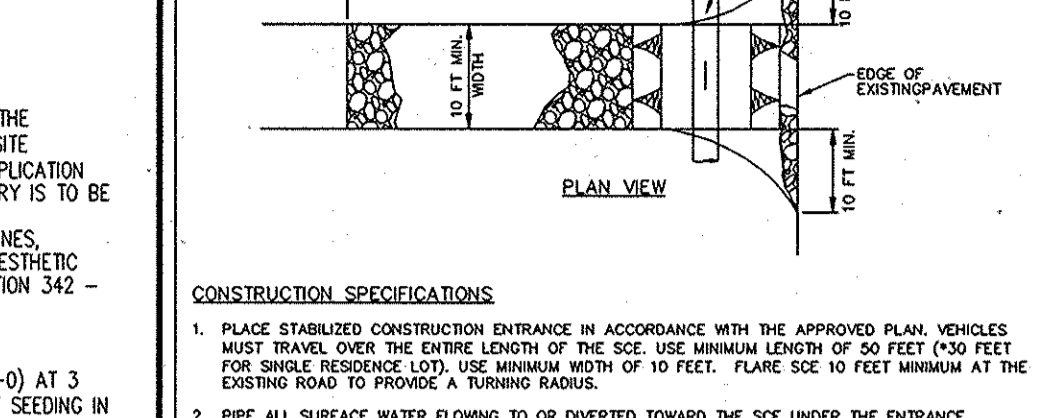
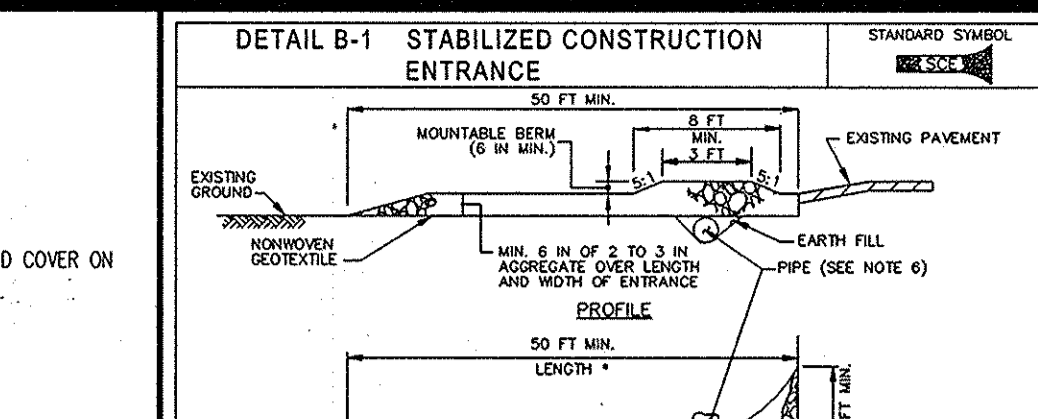
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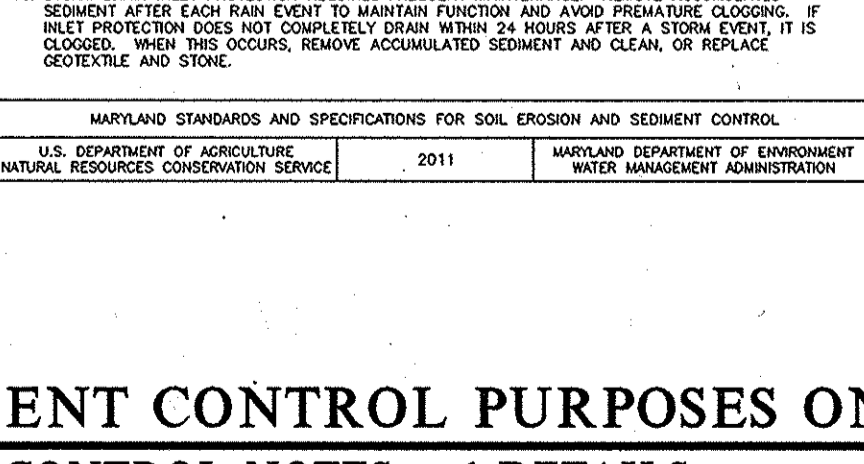
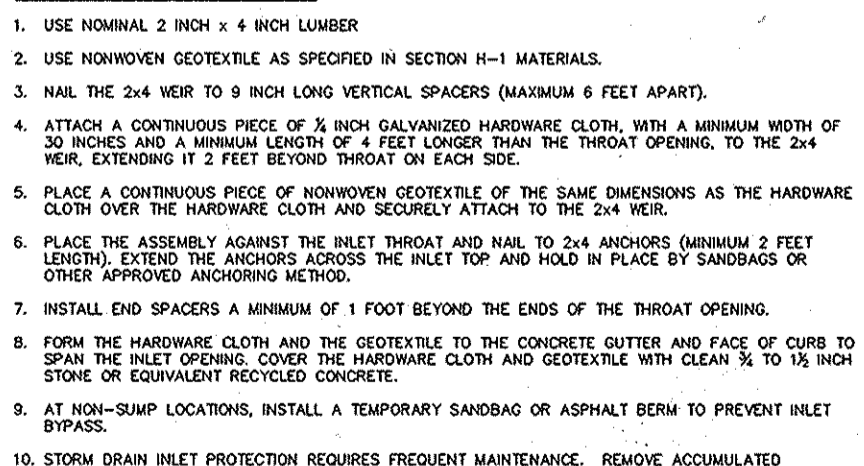
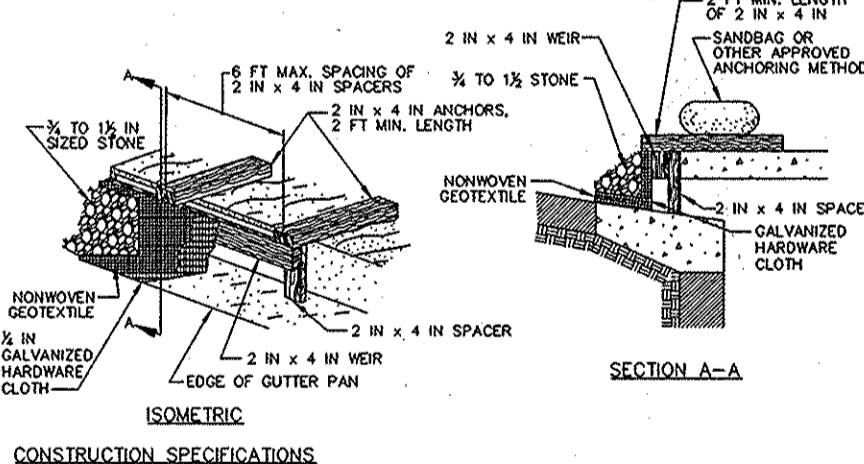
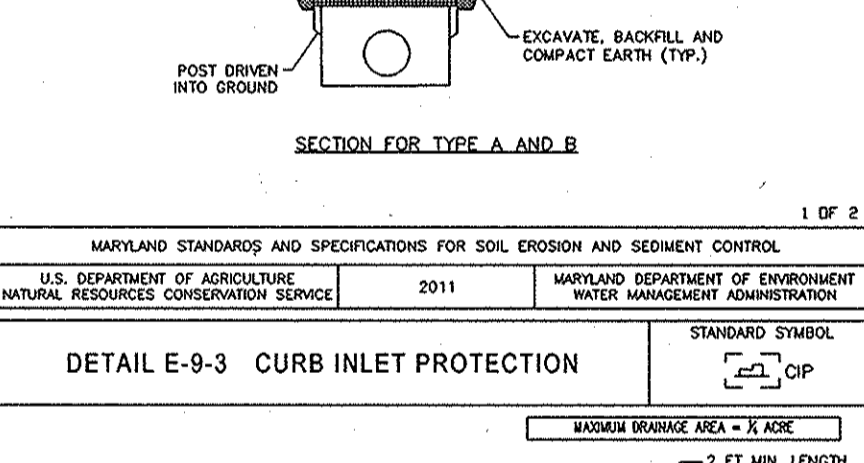
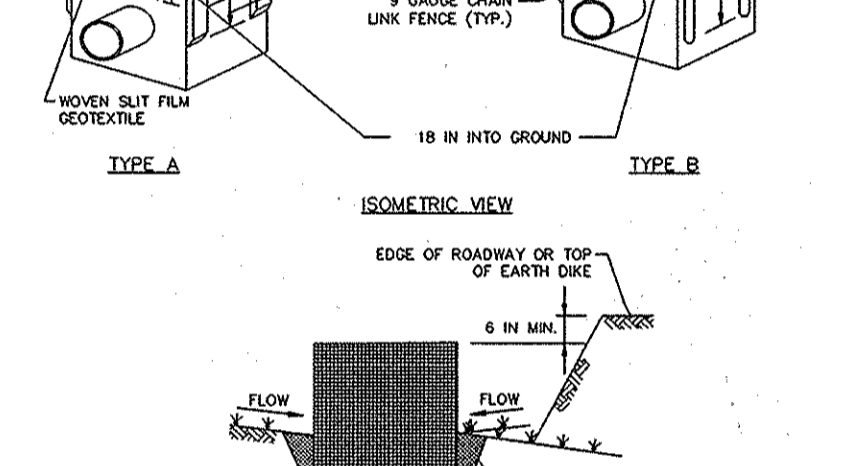
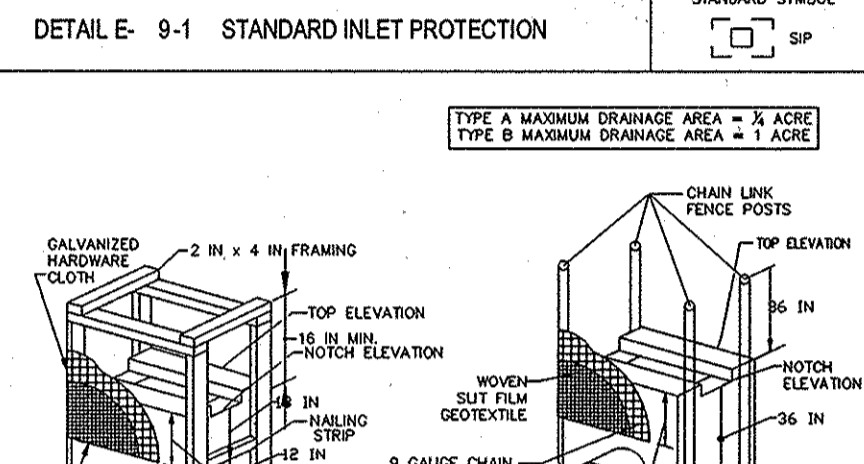
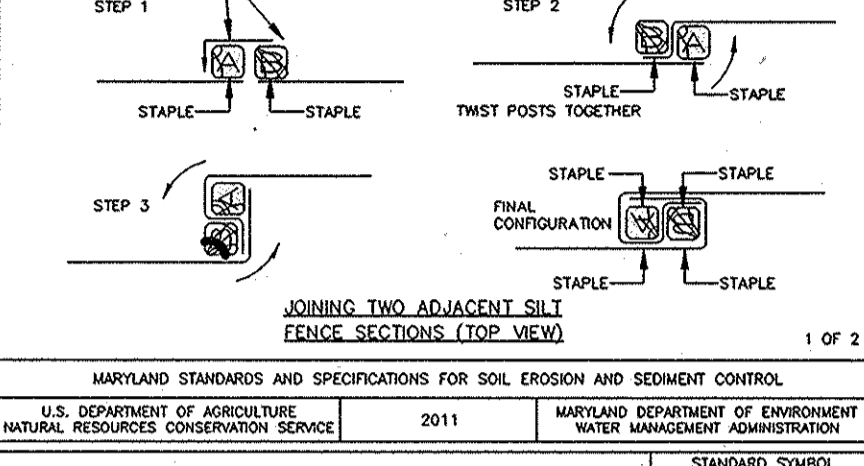
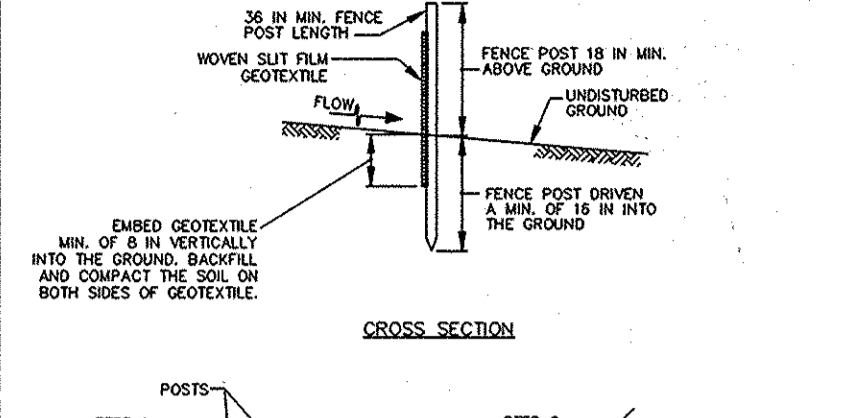
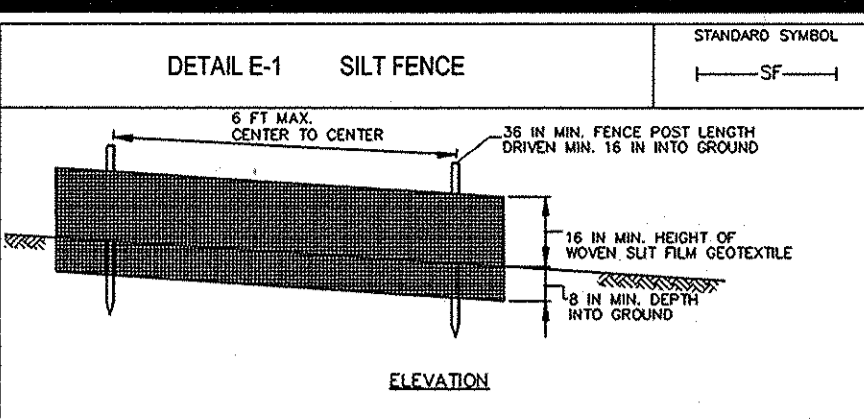
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8. SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS): a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATIOS AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON SITES HAVING DISTURBED AREAS OF 5 ACRES OR MORE.

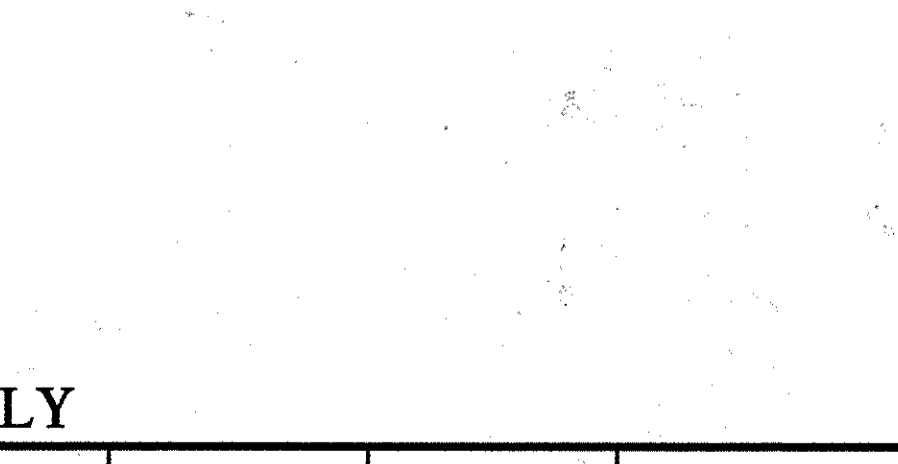
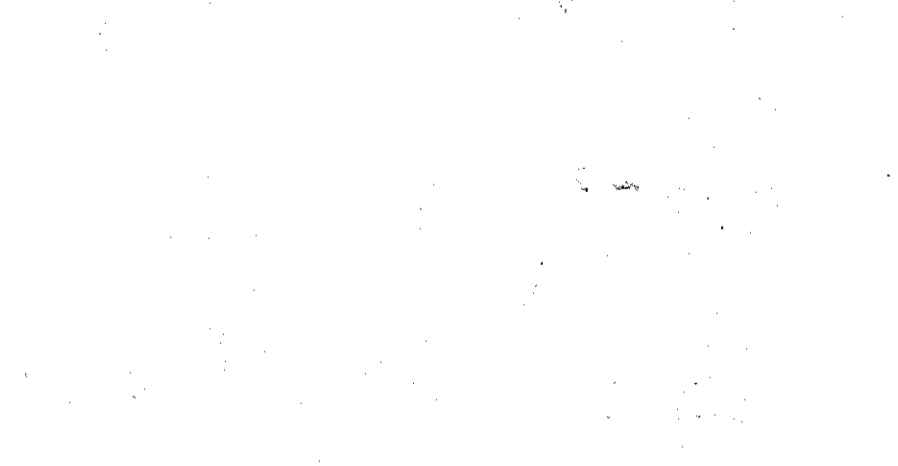
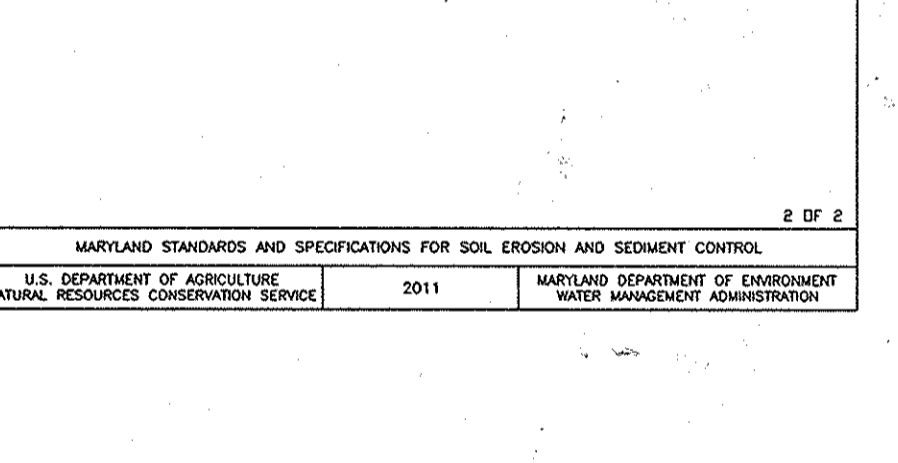
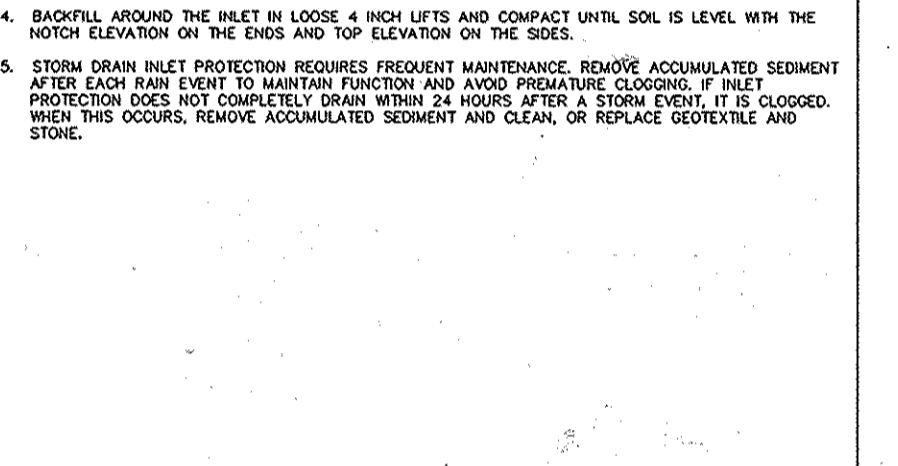
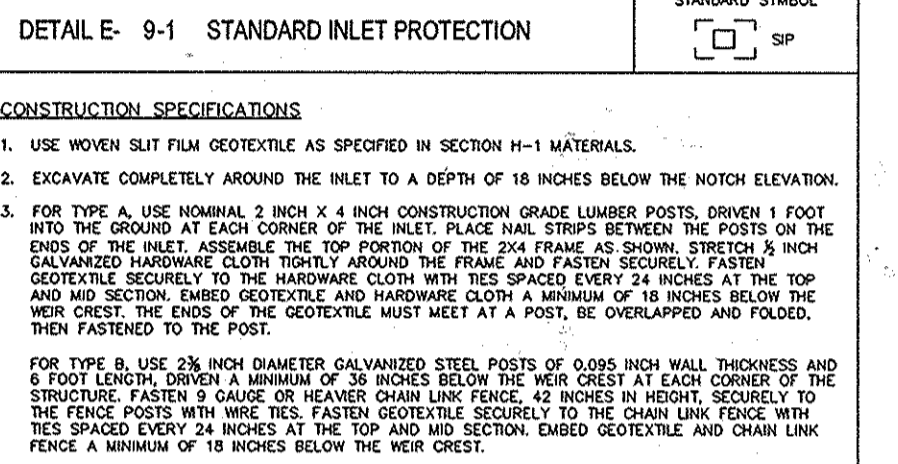
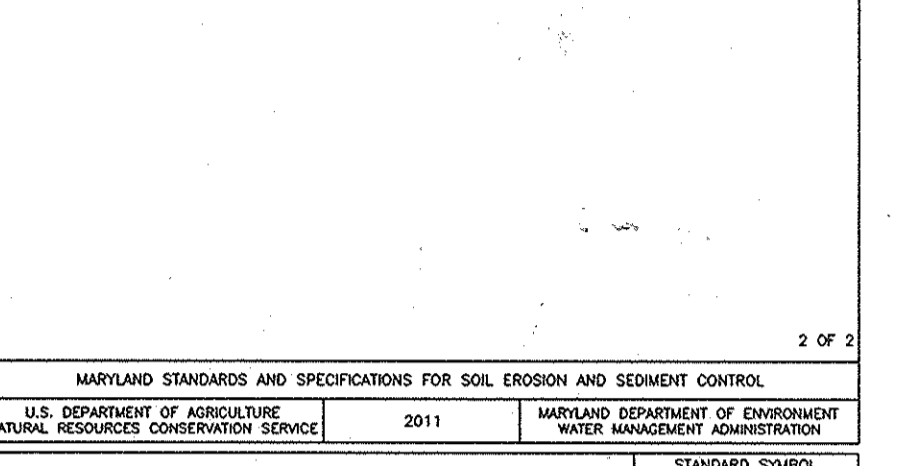
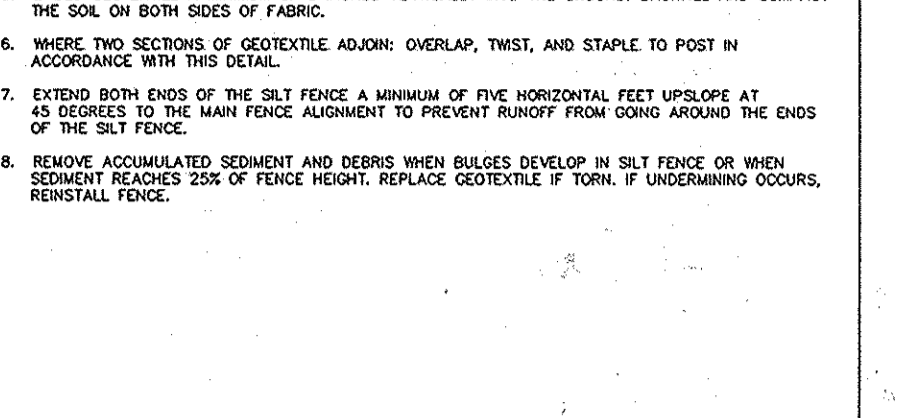
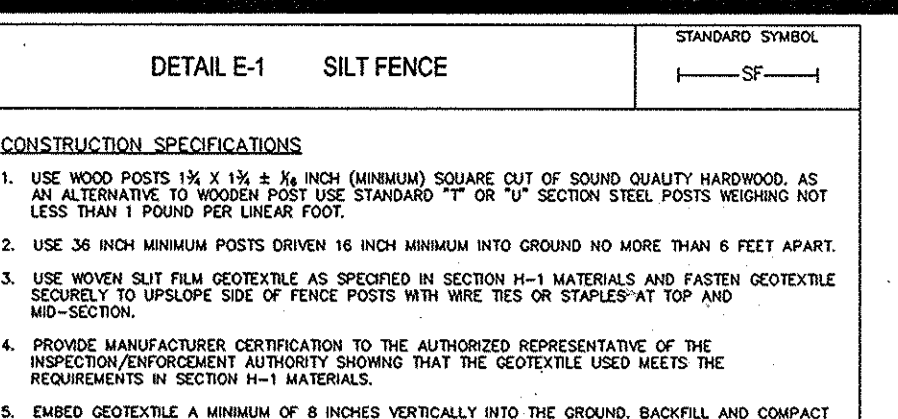
PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 128278 EXPIRATION DATE: MAY 28, 2016



CONSTRUCTION SPECIFICATIONS: 1. PLACE STABILIZED CONSTRUCTION ENTRANCE IN ACCORDANCE WITH THE APPROVED PLAN. VEHICLES MUST TRAVEL OVER THE ENTIRE LENGTH OF THE SCE. USE MINIMUM LENGTH OF 50 FEET (150 FEET FOR BRIDGE REPAIRS) WITH A MINIMUM WIDTH OF 10 FEET. FLARE SIDE TO 10 FEET MINIMUM AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.



CONSTRUCTION SPECIFICATIONS: 1. USE WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH VERTICALLY INTO THE GROUND. BACKFILL AND COMPACT THE SOIL ON BOTH SIDES OF FABRIC.



CONSTRUCTION SPECIFICATIONS: 1. USE WOVEN SILT FENCE GEOTEXTILE AS SPECIFIED IN SECTION H-1 MATERIALS. 2. EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18 INCHES BELOW THE NOTCH ELEVATION.

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

MAPLE LAWN FARMS WESTSIDE DISTRICT - AREA 1 Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26 (Offices, Retail Stores, Restaurant & Subdivision Entrance Features) PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL No. 116

DRAINAGE AREAS				
AREA (No.)	D.A. (ACRES)	% IMP. (%)	C	
I-110	0.16	85	0.78	
R-110	0.04	100	0.81	
* I-301	0.34	85	0.78	Removed/Eliminated
* I-401	0.16	85	0.78	Removed/Eliminated
* I-421	0.26	85	0.78	Removed/Eliminated
* I-422	0.24	85	0.78	Removed/Eliminated
R-422	0.04	100	0.81	
I-424	0.21	85	0.78	
I-425	0.28	85	0.78	
I-427	0.16	85	0.78	
I-432	0.28	85	0.78	
I-433	0.26	85	0.78	
I-435	0.20	85	0.78	
* I-511	0.21	85	0.78	Converted to MH access
I-512	0.23	85	0.78	
I-515	0.24	85	0.78	
I-514	0.23	85	0.78	
* I-516	0.20	85	0.78	Removed/Eliminated
I-521	0.18	85	0.78	
I-522	0.24	85	0.78	
I-523	0.22	85	0.78	
* I-550	0.11	85	0.78	Removed/Eliminated
* I-552	0.25	85	0.78	Removed/Eliminated
I-541	0.16	85	0.78	
I-551	0.22	85	0.78	
I-552	0.18	85	0.78	
I-553	0.14	85	0.78	
I-554	0.14	85	0.78	
I-555	0.20	85	0.78	
I-556	0.12	85	0.78	
I-557	0.20	85	0.78	
I-558	0.08	85	0.78	
I-559	0.01	85	0.78	
R-426	0.34	100	0.81	
R-431	0.31	100	0.81	
R-435	0.26	100	0.81	
* R-531	0.14	100	0.81	Removed/Eliminated
* S-300	0.10	100	0.81	Removed/Eliminated
* S-421	0.10	85	0.78	Removed/Eliminated
S-424	0.45	85	0.78	
S-426	1.10	85	0.78	
* S-517	0.21	100	0.81	Removed/Eliminated
* S-516	0.41	100	0.81	Removed/Eliminated
I-611	0.41	85	0.78	
S-543	0.04	100	0.81	
I-601	0.04	85	0.78	
* I-511	0.24	85	0.78	Removed/Eliminated
* I-542	0.06	85	0.78	Removed/Eliminated
S-543	0.12	85	0.78	

- NOTES:
- THIS IS A REDEVELOPMENT SITE, IT WAS PREVIOUSLY MASS GRADED UNDER F-03-54 (ALL MAN-MADE SOIL).
  - DRAINAGE AREA PREVIOUSLY DELINEATED UNDER SDP-08-056 \* DENOTES THAT IT HAS BEEN UPDATED PER THIS SDP.
  - INLET 532 IS NON A TRENCH DRAIN.

DRAINAGE AREAS FOR NEW INLETS				
AREA (No.)	D.A. (ACRES)	% IMP. (%)	C	
I-610	0.12	85	0.78	
R-612	0.14	100	0.81	
I-510	0.24	85	0.78	
R-510	0.22	100	0.86	
I-511	0.05	85	0.78	
YD-512	0.02	85	0.78	
YD-513	0.01	85	0.78	
YD-515	0.04	85	0.78	
I-101a	0.14	85	0.78	
I-112a	0.62	85	0.78	
R-112b	0.24	100	0.86	
I-540	0.02	85	0.78	
I-540A	0.02	85	0.78	
R-540/A	0.03	100	0.86	
I-510B	0.28	50	0.52	
R-510C	0.05	100	0.86	

LEGEND

STORM DRAIN DRAINAGE DIVIDE

APPROVED  
PLANNING BOARD OF HOWARD COUNTY

DATE SEPTEMBER 25, 2008, APRIL 7, 2011  
and SEPTEMBER 18, 2014

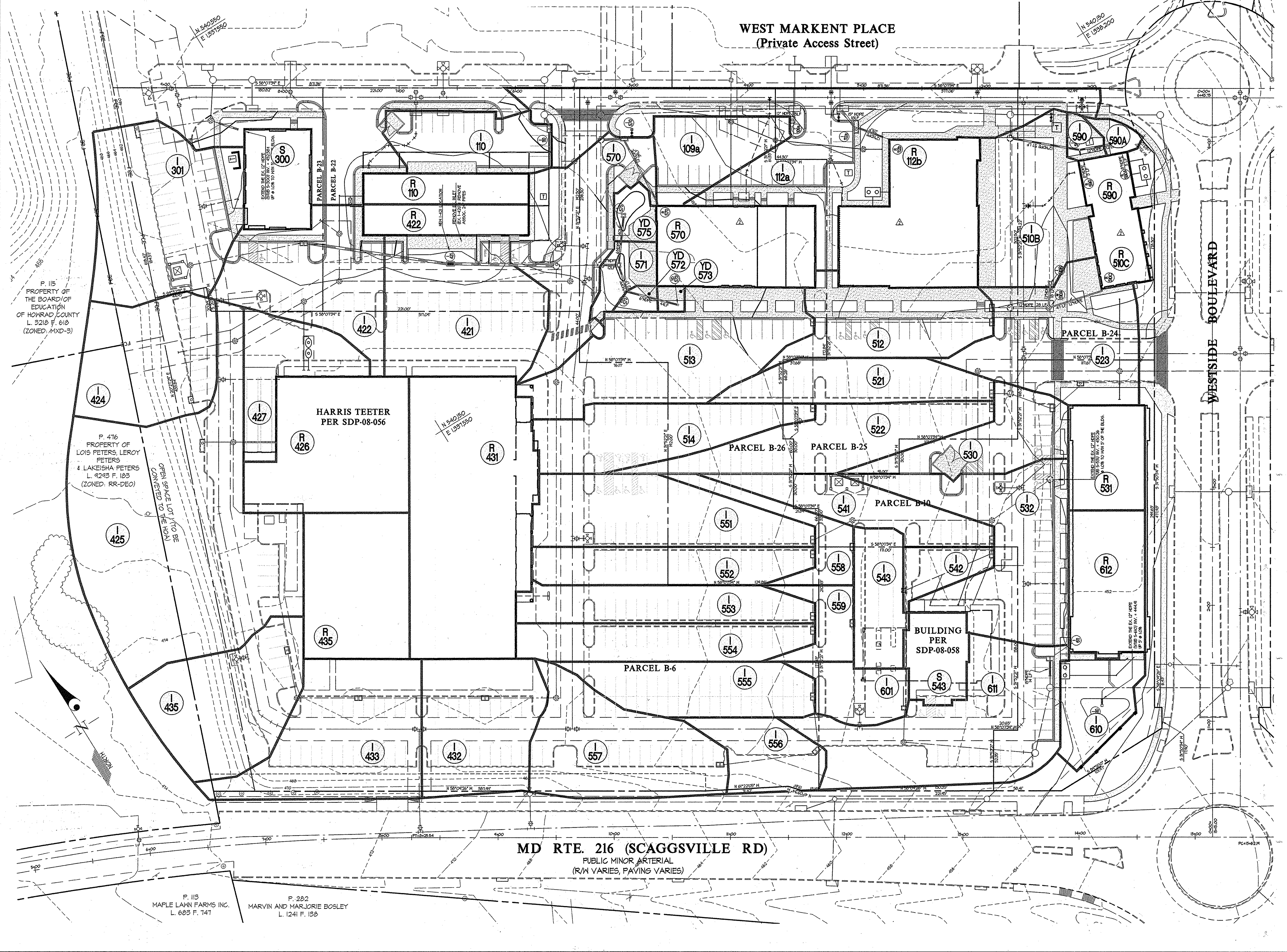
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Marsha M. Long* 11/11/14  
Date

Chief, Division of Land Development: *Walter D. Dineen* 11-04-14  
Date

Chief, Development Engineering Division: *Chad Edwards* 10-17-14  
Date

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 200 - BERTHLEMSVILLE OFFICE PARK  
BERTHLEMSVILLE, MARYLAND 20865  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186



DATE	REVISION	BY	APPR.
Sept./2014	Rev. drainage areas & charts for NEW Buildings 2, 3A and 3B on resubd Parc. B-24 thru B-26	MBT	
5/9/2011	Rev. drainage areas & charts for NEW Bldgs. (Bldg.4-Firestone & Bldg.6-184M) on resubd Parc. B-22 & B-23, Rev. Bldg. No.3	DOS	

PREPARED FOR:  
MAPLE LAWN HT, LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1823 REISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY  
ME, AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND,  
LICENSE NO. 12875  
EXPIRATION DATE: MAY 28, 2016

10/3/14

(REVISED) STORM DRAIN DRAINAGE AREA MAP  
MAPLE LAWN FARMS  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLATS 19902-19903, 20189-20190, 21575-76 & 22971-22978 TAX MAP PARCEL No. 116  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	C. L. W. FILE No.
1"=40'	MXD-3	07087
DATE	TAX MAP - GRID	SHEET
SEPT/2014	41-21&22 46-3	8 OF 14

**PLANTING LEGEND**

- SHRUB
- SHADE TREE (Schedule-B parking islands)
- SHADE TREE (for tree grates btw. bldgs. 2 & 3A)
- TREES PER PREVIOUS PLANS (F-06-054 and SDP-08-056/58)
- SHRUBS PER PREVIOUS PLANS (SDP-08-056 & 58)

**LANDSCAPE NOTES**

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE) PLUS THE LANDSCAPE DESIGN CRITERIA OF 5-06-16 AND PB CASE NO. 378.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS (FOR TOPSOIL SPEC. SEE SHEET 1).
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- SCHEDULES "A" AND "B" ARE PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED WITH THE GRADING PERMIT IN THE AMOUNT OF \$15,000.00 FOR FOLLOWING REQUIRED PLANT QUANTITIES:  
 386 SHRUBS AT \$30/SHRUB = \$ 11580.00  
 5 SHADE TREES AT \$300/TREE = \$ 1500.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2950.

**DEVELOPER'S/BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL AND THE HLT LANDSCAPE DESIGN CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Michael E. Tran*  
 NAME: Michael E. Tran DATE: 10/14/14

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE: SEPTEMBER 25, 2008, APRIL 7, 2011 and SEPTEMBER 18, 2014

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

*David M. Lynch* 11/4/14  
 Director Date

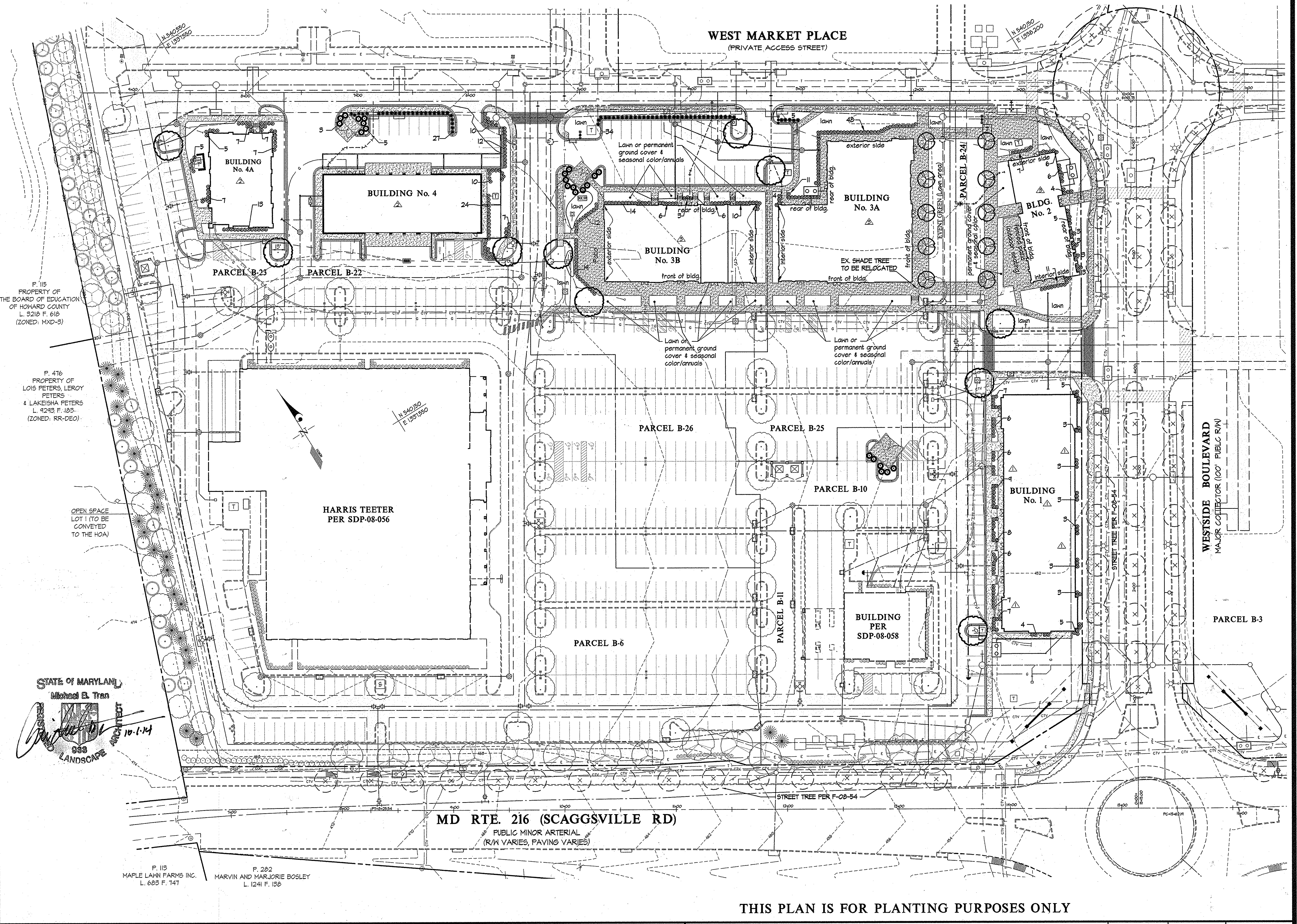
*Robert L. ...* 11-01-14  
 Chief, Division of Land Development Date

*Chad ...* 10-17-14  
 Chief, Development Engineering Division Date

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3009 NATIONAL DRIVE - SUITE 200 - BIRTONSVILLE OFFICE PARK  
 BIRTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

9/2014 Change Bldgs. 2 & 3 to 2, 3A and 3B, revise plantings accordingly KLP  
 5/9/2011 Rev. bldg. No. 3, New bldg. No. 4 (Freeston) & No. 4A (IBAM) for resubd' Parcels B-22 & B-23, rev. plantings accordingly HKJ MBT  
 10/21/2009 Resub building no. 1 and revise plantings accordingly DATE REVISION BY APPR.



**PREPARED FOR:**  
 MAPLE LAWN HT, LLC (Owner)  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

**(REVISED) LANDSCAPE PLAN**  
**MAPLE LAWN FARMS**  
**WESTSIDE DISTRICT - AREA 1**  
 Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
 (Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
 PLATS 19902-19903, 20189-20190, 21575-76 & 22977-22978 TAX MAP PARCEL NO. 116  
 HOWARD COUNTY, MARYLAND

**SCALE:** 1"=40'  
**ZONING:** MXD-3  
**G. L. W. FILE No.:** 07087

**DATE:** SEPT/2014  
**TAX MAP - GRID:** 41-21&22-46-3  
**SHEET:** 9 OF 14

**ELECTION DISTRICT No. 5**

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPALN ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE - AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRC).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	16'-17'	10'-12'	44" DIAMETER
5" - 5.5"	16'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS THROUGH THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING.

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL. PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 1ST. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B4B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD. BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES, DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL, DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 1'-0" FOR MAJOR TREES AND 3'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16", 1 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOD WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT FIT SAUCERS. THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE

THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

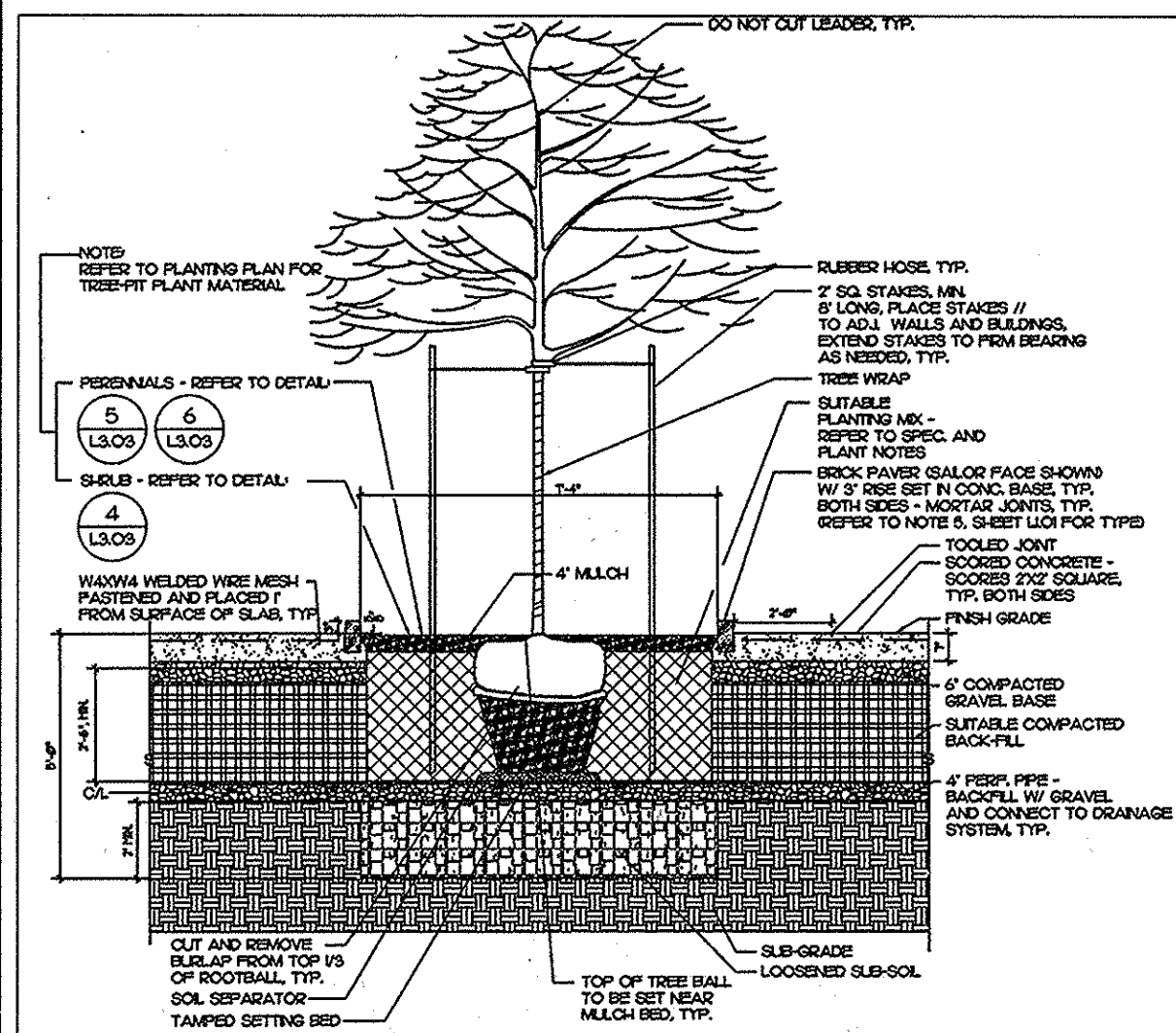
A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

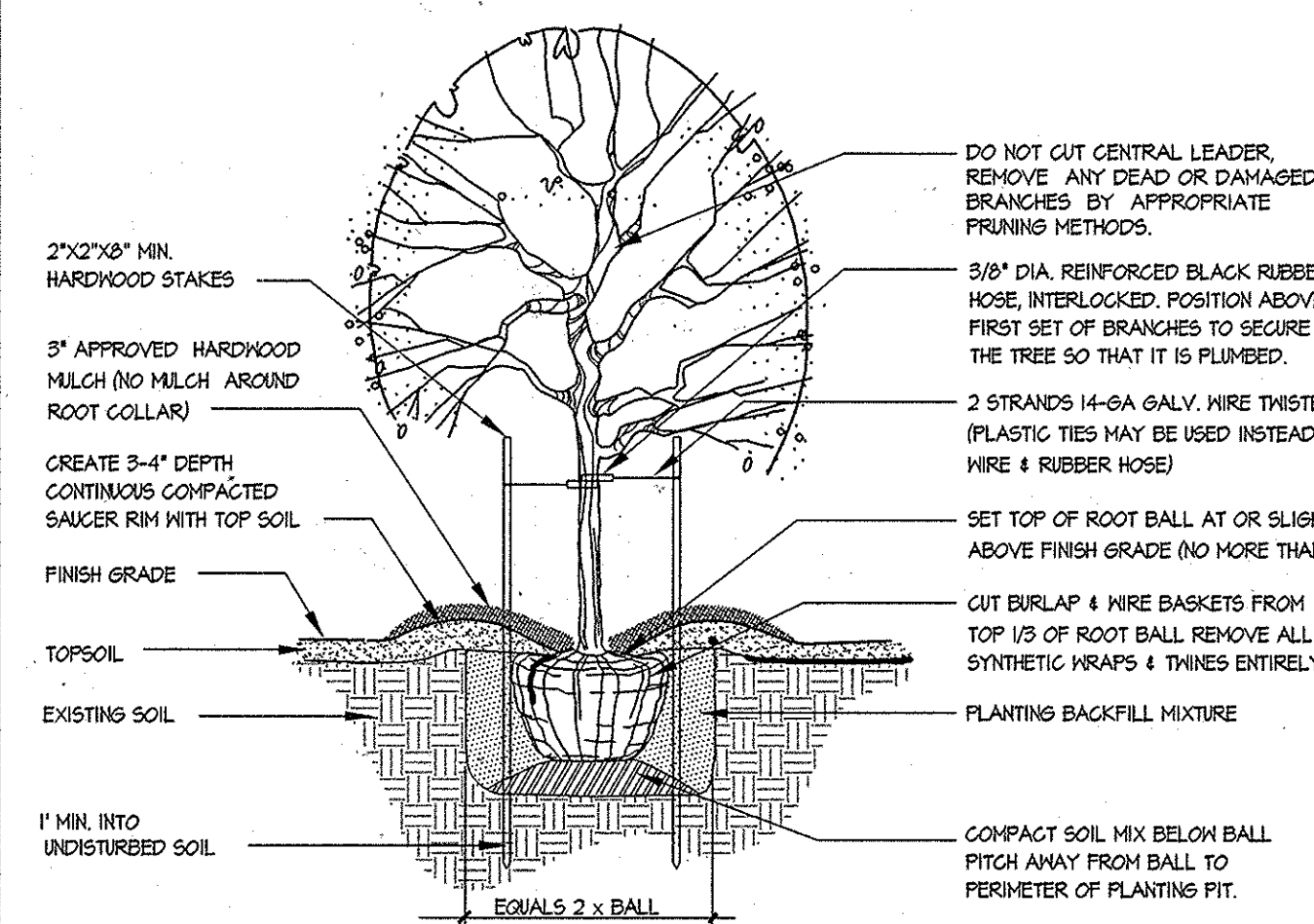
SODDING

ALL SODDING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOD SHALL BE STRONGLY ROOTED SOD, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOD CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE X 4" LONG. PROVIDE SOD COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS COLUMBIA, VICTA, OR ESCORT.



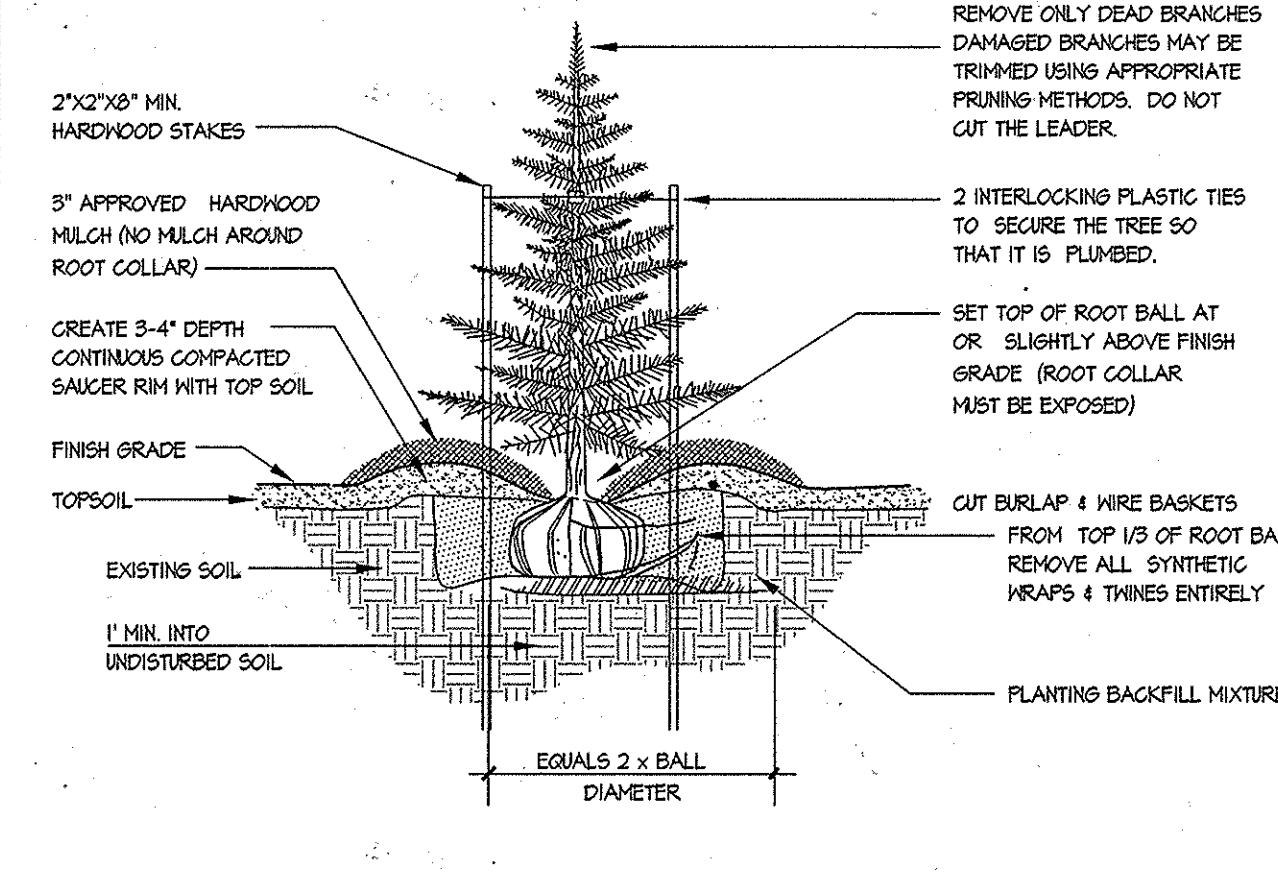
DECIDUOUS TREE PLANTING DETAIL SCALE: 1"=4'



EVERGREEN TREE PLANTING DETAIL SCALE: 1"=4'

SHRUB PLANTING DETAIL

FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



SHRUB PLANTING DETAIL SCALE: 1"=4' NTS

SCHEDULE A: PERIMETER LANDSCAPE EDGE

CATEGORY	BUILDING LENGTH (REAR & SIDES)	BUILDING LENGTH (REAR & SIDES)	BUILDING LENGTH (REAR & SIDES)	BUILDING LENGTH (REAR & SIDES)	BUILDING LENGTH (REAR & SIDES)	BUILDING LENGTH (REAR & SIDES)
LOCATION / USE SITUATION	SIDES & REAR OF BLDG. No. 1	SIDES & REAR OF BLDG. No. 2	SIDES & REAR OF BLDG. No. 3A	SIDES & REAR OF BLDG. No. 3B	SIDES & REAR OF BLDG. No. 4	SIDES & REAR OF BLDG. No. 4A
LANDSCAPE BUFFER TYPE	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHRUB PER 4 LF OF BLDG LENGTH	1 SHRUB PER 4 LF OF BLDG LENGTH
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	351' (2452'x68'x12')	200' (128'x428'x45-0')	250' (144-0'x518'x10-6'x17-33')	278' (136-8'x110-6'x12')	250' (142-6'x493-33'x2')	207' (86-4'x58'x2')
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE	NONE	NONE
NUMBER OF PLANTS REQUIRED						
SHADE TREES	N/A	N/A	N/A	N/A	N/A	N/A
EVERGREEN TREES	N/A	N/A	N/A	N/A	N/A	N/A
ORNAMENTALS	N/A	N/A	N/A	N/A	N/A	N/A
SHRUBS	88	51	65	70	65	51
NUMBER OF PLANTS PROVIDED						
SHADE TREES	N/A	N/A	N/A	N/A	N/A	N/A
EVERGREEN TREES	N/A	N/A	N/A	N/A	N/A	N/A
ORNAMENTALS	N/A	N/A	N/A	N/A	N/A	N/A
SHRUBS	88	50	63	70	65	51
SUBSTITUTIONS MADE						

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-A:  
 SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING: 0 x \$300 = 0.00  
 SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 0 x \$150 = 0.00  
 SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 386 x \$30 = 11,580.00  
 SCHEDULE 'A' NUMBER OF ORNAMENTAL TREES FOR BONDING: 0 x \$150 = 0.00  
 TOTAL LANDSCAPE SURETY FOR SCHEDULE-A: \$11,580.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F)

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	84 NEW PARKING SPACES = 46 (spaces previously shown) + 36 (new spaces for Buildings 2, 3A & 3B) - 45 (previous spaces for old building 3 eliminated)
NUMBER OF TREES REQUIRED	5 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 5
OTHER TREES (2:1 substitution)	N/A

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-B:  
 SCHEDULE 'B' NUMBER OF SHADE TREES FOR BONDING: 5 x \$300 = \$1,500.00

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
[Symbol]	2	25" - 3" CAL.	CHOOSE FROM THE FOLLOWING: ACER RUBRUM / OCTOBER GLORY / OCTOBER GLORY RED MAPLE QUERCUS PALustris / PIN OAK ZELKOVA SERRATA / VILLAGE GREEN / VILLAGE GREEN ZELKOVA	ALL B4B
[Symbol]	10	25" - 3" CAL.	CHOOSE ONE FROM THE FOLLOWING: CERCIS CANADENSIS / EASTERN REDBUD LAGERSTROEMIA 'ARAPAH0' / 'ARAPAH0' GRAPE MYRTLE ACER X FREEMANNI 'ARMSTRONG' / ARMSTRONG MAPLE	ALL B4B REDBUD & CREPE MYRTLE TO BE TREE FORM
[Symbol]	366	ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING: AZALEA VAR. 'DELAHARE VALLEY WHITE', 'HERSEY RED', 'MIND CRIMSON', 'BERBERIS TRANCEREFII', 'ATROPAPRAREA', 'CRIMSON PIGHTY', 'CRIMSON PIGHTY BARBERRY', 'DEUTZIA GRACILIS', 'SLENDER DEUTZIA'	ALL CONTAINERIZED.
[Symbol]	66	30" HT. MIN.	CHOOSE FROM THE FOLLOWING (DO NOT MIX): TAXUS MEDIA 'DENSIFORMIS' / 'DENSIFORMIS YEN', ILEX GLABRA 'COMPACTA' / 'COMPACTA INEBERRY'	
[Symbol]	8	36" HT. MIN.	BUXTYMUS ALATUS COMPACTA	
[Symbol]	16	36" HT. MIN.	VIORNUM RHYTIDOPHYLLUM / LEATHERLEAF VIORNUM	

NOTES:  
 1. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.  
 2. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE SEPTEMBER 25, 2008, APRIL 7, 2011 and SEPTEMBER 18, 2014

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] 11/4/14  
 Chief, Division of Land Development: [Signature] 11-04-14  
 Chief, Development Engineering Division: [Signature] 10-17-14

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK  
 BURTNSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

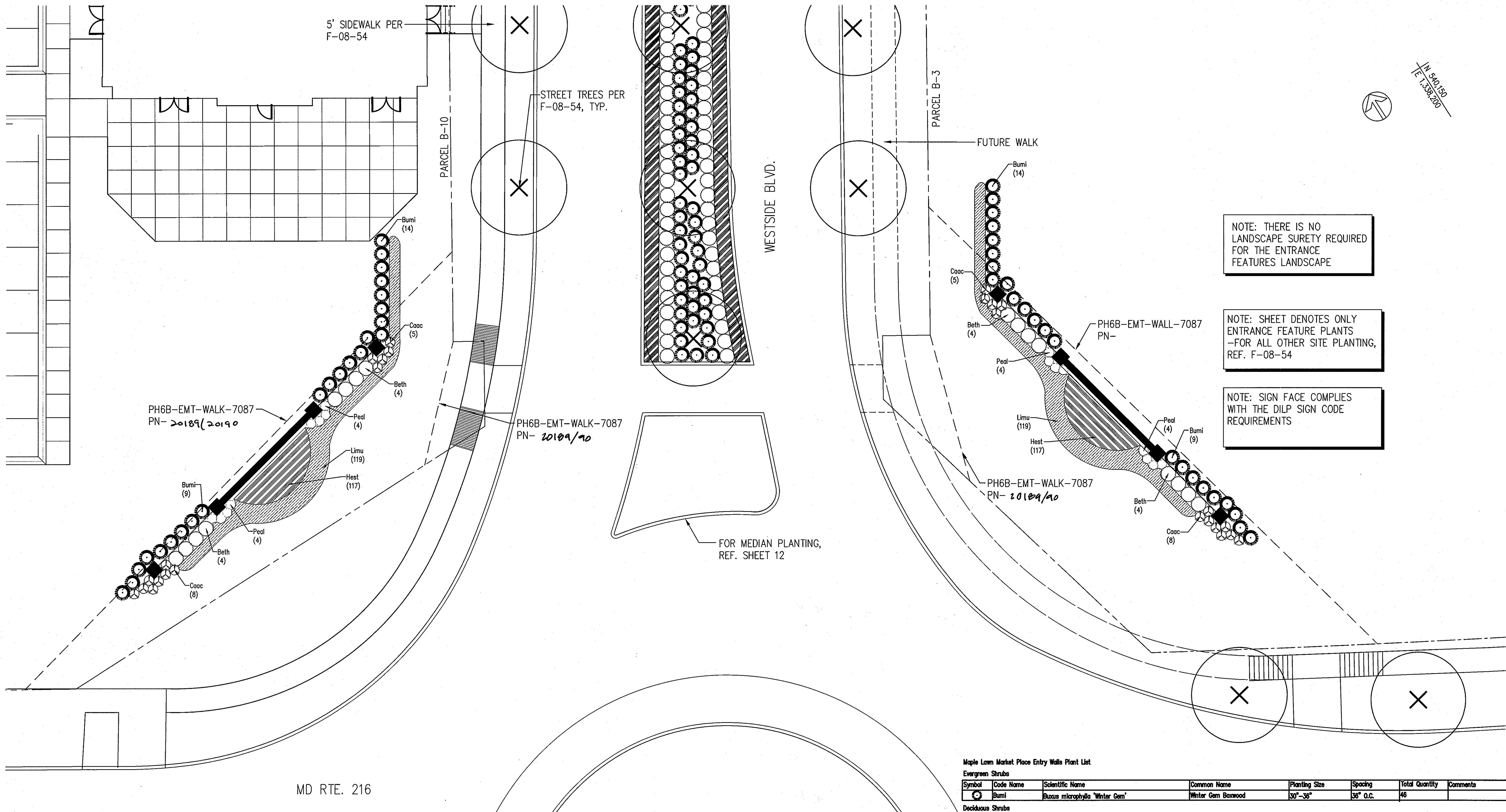
DATE 9/2014  
 CHANGE Bldgs. 2 & 3 to 2, 3A and 3B, revise plantings accordingly, resub'd parcels  
 4/11/2011 Rev. charts per landscape material for new Bldgs. 3, 4 & 4A on resub'd Parcels B-22 & 23  
 10/21/2009 Revised charts per landscape material for resited building no.1

PREPARED FOR:  
 MAPLE LAWN HT, LLC. (Owner)  
 SUITE 300 WOODHOLME CENTER  
 1829 REISTERSTOWN RD  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-481-8400

(REVISED) LANDSCAPE NOTES and DETAILS

MAPLE LAWN FARMS  
 WESTSIDE DISTRICT - AREA 1  
 Parcels B-3, B-10, B-22, B-23, B-24, B-25 and B-26  
 (Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
 PLATS 19902-19903, 20189-20190, 21575-76 & 22971-22978 TAX MAP PARCEL No. 116

SCALE	ZONING	G. L. W. FILE No.
NO SCALE	MXD-3	07087
DATE	TAX MAP - GRID	SHEET
SEPT/2014	41-21&22 46-3	10 OF 14



NOTE: THERE IS NO LANDSCAPE SURETY REQUIRED FOR THE ENTRANCE FEATURES LANDSCAPE

NOTE: SHEET DENOTES ONLY ENTRANCE FEATURE PLANTS -FOR ALL OTHER SITE PLANTING, REF. F-08-54

NOTE: SIGN FACE COMPLIES WITH THE DILP SIGN CODE REQUIREMENTS

N 340.150  
E 1.335.200

MD RTE. 216

1 2.01 MAPLE LAWN MARKETPLACE LANDSCAPE PLAN @ ENTRANCE FEATURE  
SCALE 1"=10'-0"

Maple Lawn Market Place Entry Walls Plant List

Symbol	Code Name	Scientific Name	Common Name	Planting Size	Spacing	Total Quantity	Comments
<b>Evergreen Shrubs</b>							
⊗	Bumi	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	30"-36"	36" O.C.	46	
<b>Deciduous Shrubs</b>							
○	Beth	Barberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	36"	36" O.C.	16	
<b>Ornamental Grasses</b>							
○	Peal	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	24"	24" O.C.	16	
⊗	Coac	Calamagrostis x 'auctiflora' 'Karl Foerster'	Foerster's Feather Reed Grass	1'-0d.	48" O.C.	26	
<b>Groundcover</b>							
▨	Limu	Liriope muscari 'Monroe White'	Monroe White Liriope	1 gallon, full	18" O.C.	238	
▨	Hest	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1 gallon, full	12" O.C.	234	

- NOTES:  
1. REFER TO PLANTING DETAILS FOR MATERIAL INSTALLATION  
2. REFER TO PLANTING SPECIFICATIONS FOR ADDITION INFORMATION  
3. ALL LANDSCAPING SHALL BE BY OWNER

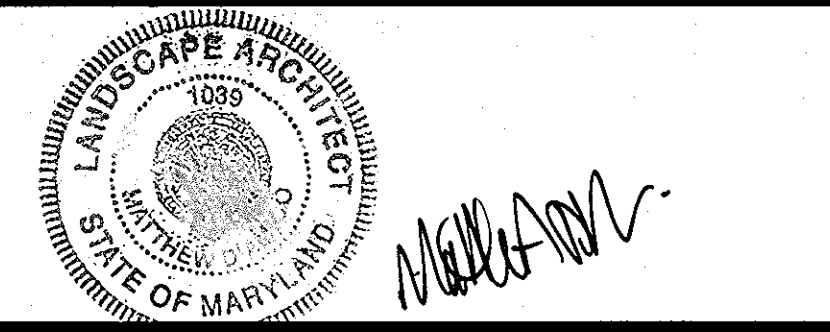
APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE SEPTEMBER 25, 2008  
16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Morgan G. Switzer* 2/5/09  
Chief, Division of Land Development: *Kent Shenk* 2/10/09  
Chief, Development Engineering Division: *Chad Edward* 1-26-09

DESIGN COLLECTIVE  
Architecture, Planning, Interiors  
The Power Plant 401 E Pratt Street, Suite 300 Baltimore, Maryland 21202  
Tel 410.685.6655 Fax 410.539.6242 www.designcollective.com

DATE	REVISION	BY

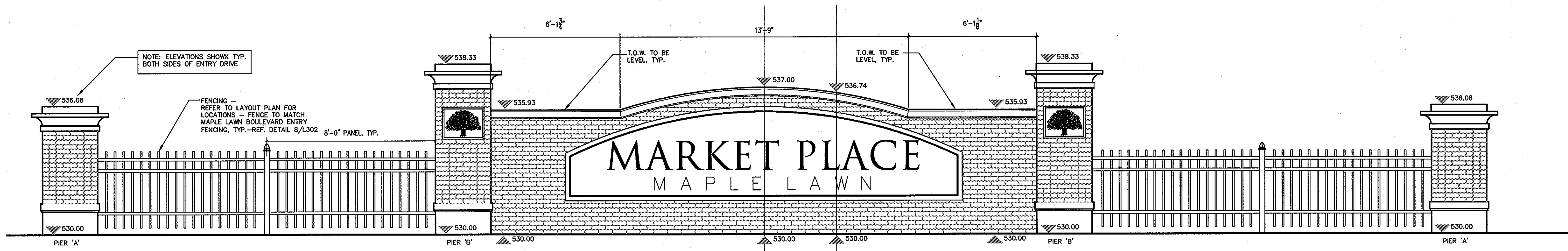
PREPARED FOR:  
MAPLE LAWN HT, LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1829 REISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400



ENTRANCE FEATURE LANDSCAPE PLAN  
MAPLE LAWN FARMS  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3 and B-7 thru B-10  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLAT No. 19902 & 19903 & 20189-20190, TAX MAP PARCEL No. 116  
ELECTION DISTRICT No. 5 HOWARD COUNTY, MARYLAND

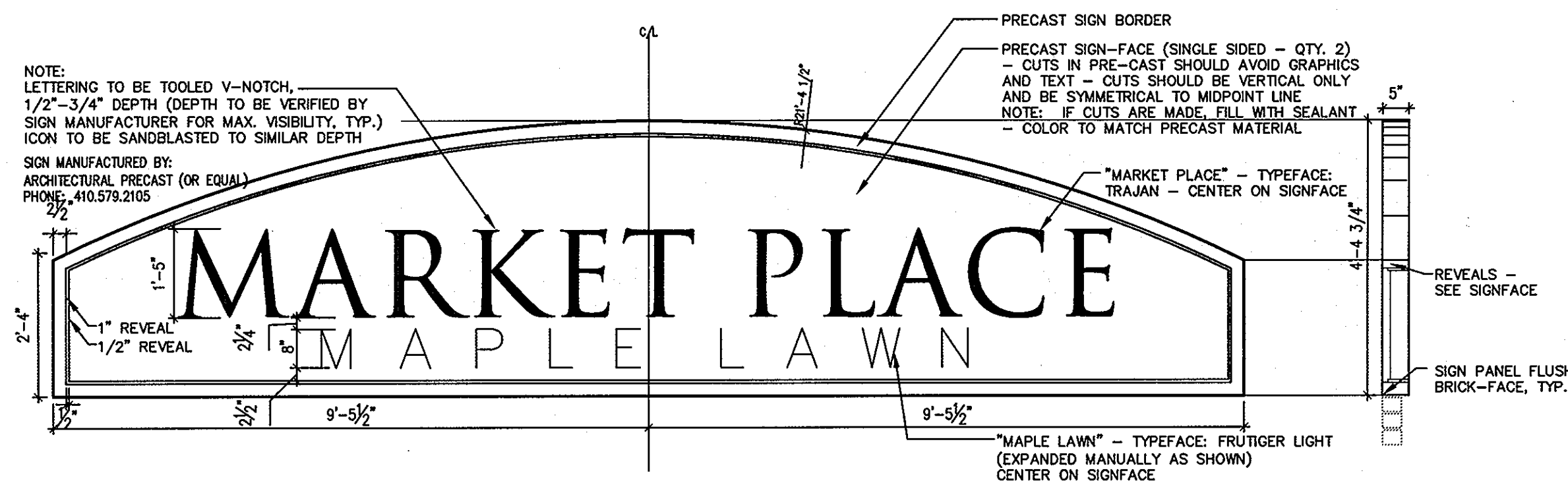
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DATE	TAXITILE	SHEET
OCT., 2008	41-21&22 46-3	11 of 14



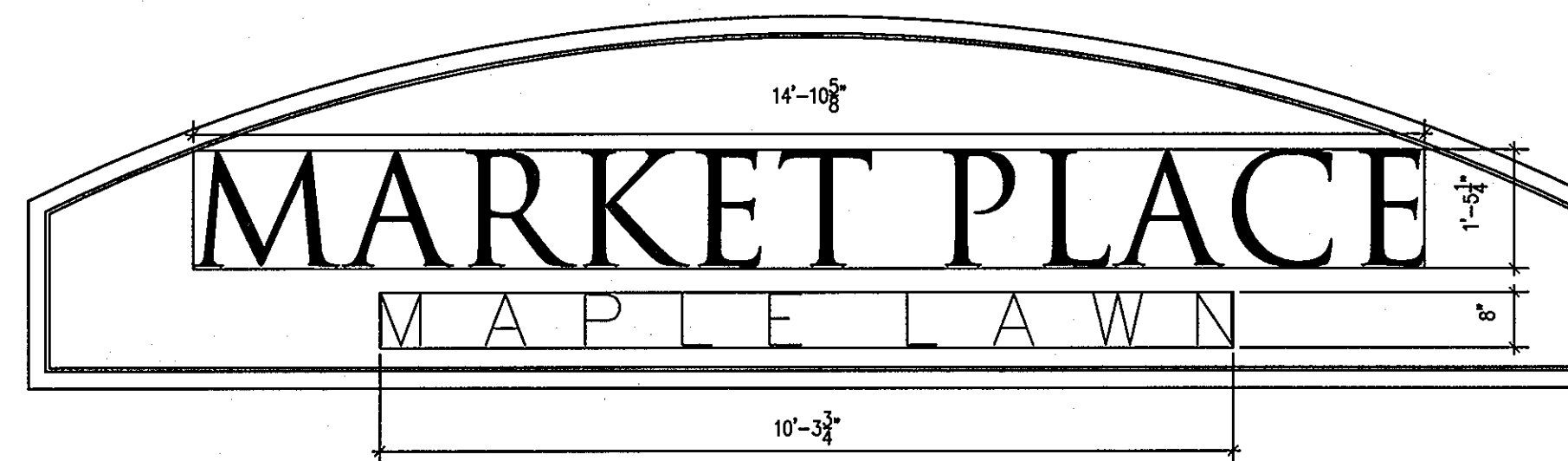


1 WALL/FENCE ELEVATION  
SCALE 3/8" = 1'-0"

NOTE: SIGN FACE COMPLIES WITH THE DILP SIGN CODE REQUIREMENTS

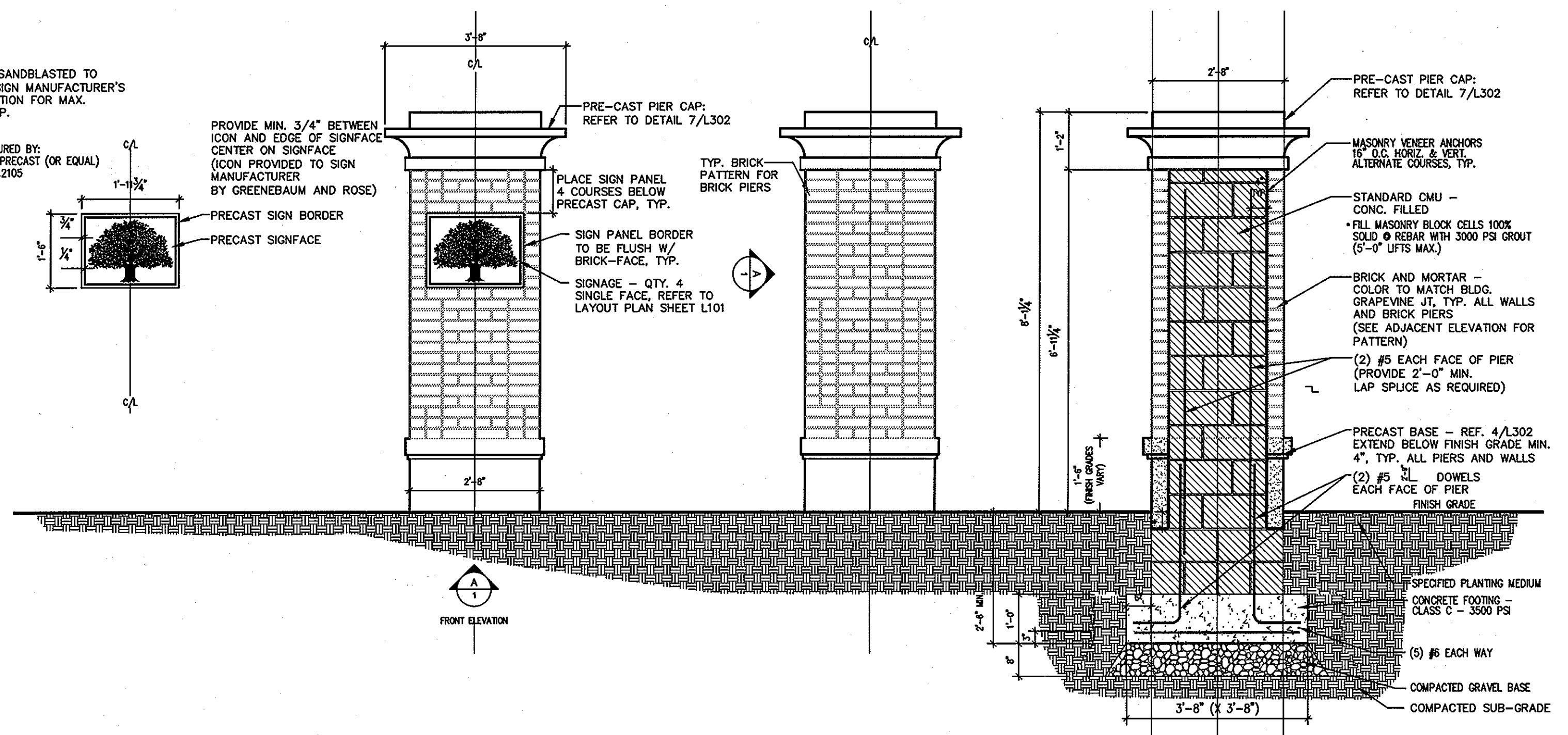


2A PROPOSED PRECAST SIGN FACE  
SCALE 1/2" = 1'-0"



2B SIGN FACE AREA CALC.  
SCALE 1/2" = 1'-0"

NOTE: ICON TO BE SANDBLASTED TO DEPTH PER SIGN MANUFACTURER'S RECOMMENDATION FOR MAX. VISIBILITY, TYP.  
SIGN MANUFACTURED BY: ARCHITECTURAL PRECAST (OR EQUAL) PHONE: 410.579.2105



3 PIER 'B' WITH SMALL SIGN PANEL  
SCALE 1/2" = 1'-0"

**GENERAL NOTES FOR BRICK WALLS & PIERS**  
PIER A: 1-L3.02  
PIER B: 3-L3.01

1. WALL & PIER CONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS PRIOR TO INSTALLATION OF THE WALLS AND PIERS ON THIS PROJECT.
2. WALL & PIER CONTRACTOR SHALL COORDINATE WALL & PIER INSTALLATIONS WITH GENERAL CONTRACTOR AND CONFIRM FIELD LOCATION OF WALLS PIERS. ANY DISCREPANCIES SHALL BE REPORTED TO OWNER'S REPRESENTATIVE.
3. WALL & PIER CONTRACTOR SHALL SUBMIT 2'X2' MOCK-UPS OF ALL WALLS & PIERS INDICATED ON PLANS TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO CONST. OF ANY SURFACES. OWNER'S REPRESENTATIVE SHALL HAVE A MINIMUM OF FIVE (5) WORKING DAYS TO REVIEW AND COMMENT ON THE SAMPLES.
4. MATERIAL, MORTAR AND CONSTRUCTION TO MATCH WESTSIDE RETAIL BUILDINGS - JOINTS: GRAPE VINE
5. PRECAST BASE, COPING, AND BANDING TO BE CUT IN 4' +/- SECTIONS - TO BE REVIEWED PER SHOP DWGS.

**GENERAL NOTES FOR FENCE**

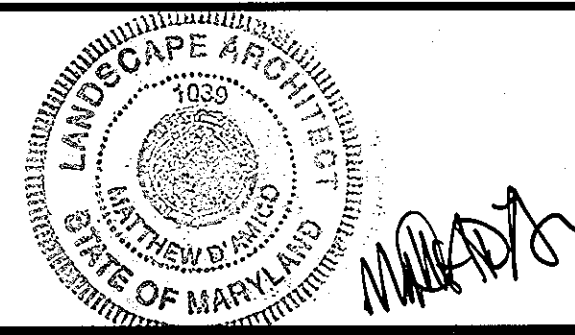
1. FENCE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS PRIOR TO INSTALLATION OF THE FENCE ON THIS PROJECT.
2. FENCE CONTRACTOR SHALL COORDINATE FENCE INSTALLATION WITH GENERAL CONTRACTOR AND CONFIRM FIELD LOCATION OF FENCES. ANY DISCREPANCIES SHALL BE REPORTED TO OWNER'S REPRESENTATIVE.
3. FENCE MANUFACTURER SHALL SUBMIT 12"X12" COLOR SAMPLE OF PAINT COLOR INDICATED ON PLANS TO OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO CONST. OF ANY SURFACES. OWNER'S REPRESENTATIVE SHALL HAVE A MINIMUM OF FIVE (5) WORKING DAYS TO REVIEW AND COMMENT ON THE SAMPLES.
4. FENCE COLOR: TRI-CORN FLAT BLACK (SHERWIN WILLIAMS (OR EQUAL)) - TO MATCH FENCE AT MAPLE LAWN BLVD.

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE SEPTEMBER 25, 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director, DEP: *Thomas G. Butler* 2/5/09  
Chief, Division of Land Development: *Kat Brinkman* 2/04/09  
Chief, Development Engineering Division: *Chad Edwards* 1-26-9

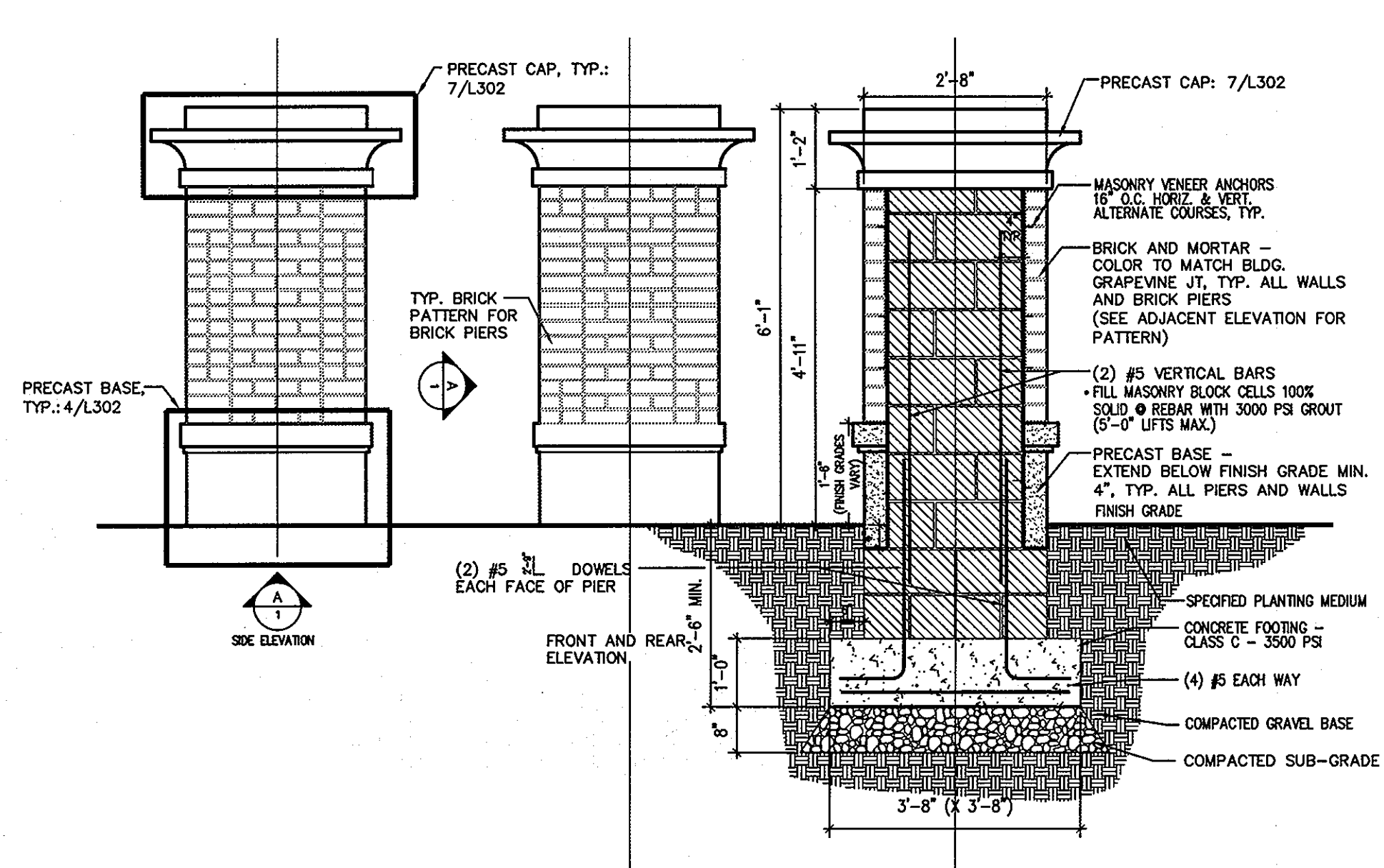
DESIGN COLLECTIVE  
Architecture, Planning, Interiors  
The Power Plant 601 E Pratt Street, Suite 300 Baltimore, Maryland 21202  
Tel 410.465.6655 Fax 410.579.2542 www.designcollective.com

PREPARED FOR:  
MAPLE LAWN HT, LLC. (Owner)  
SUITE 300 WOODHOLME CENTER  
1628 RISTERSTOWN RD  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

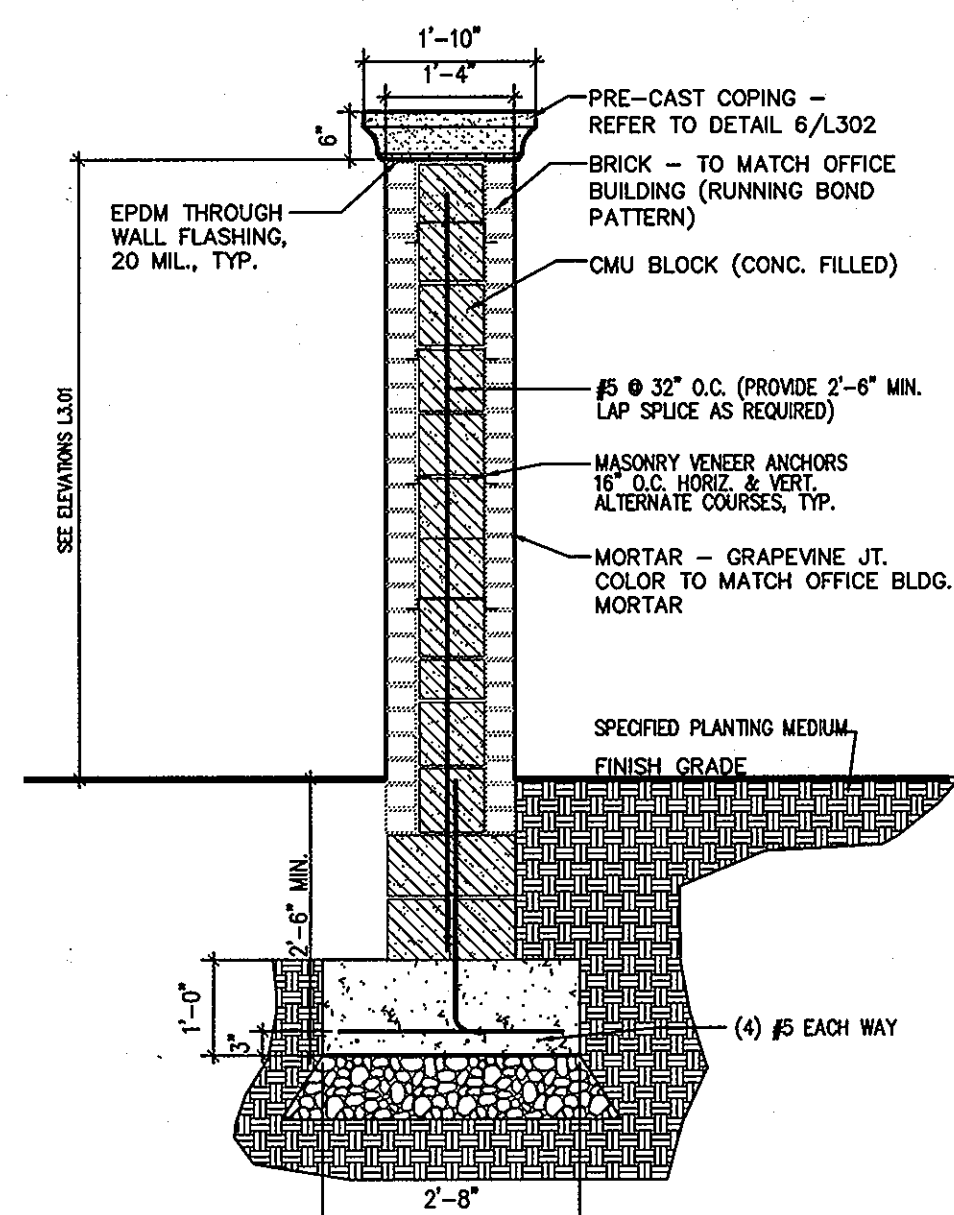


WALL DETAILS  
MAPLE LAWN FARMS  
WESTSIDE DISTRICT - AREA 1  
Parcels B-3 and B-7 thru B-10  
(Offices, Retail Stores, Restaurant & Subdivision Entrance Features)  
PLAT No. 19902 & 19903 & 20189-20190, TAX MAP PARCEL No. 116  
ELECTION DISTRICT No. 5  
HOWARD COUNTY, MARYLAND

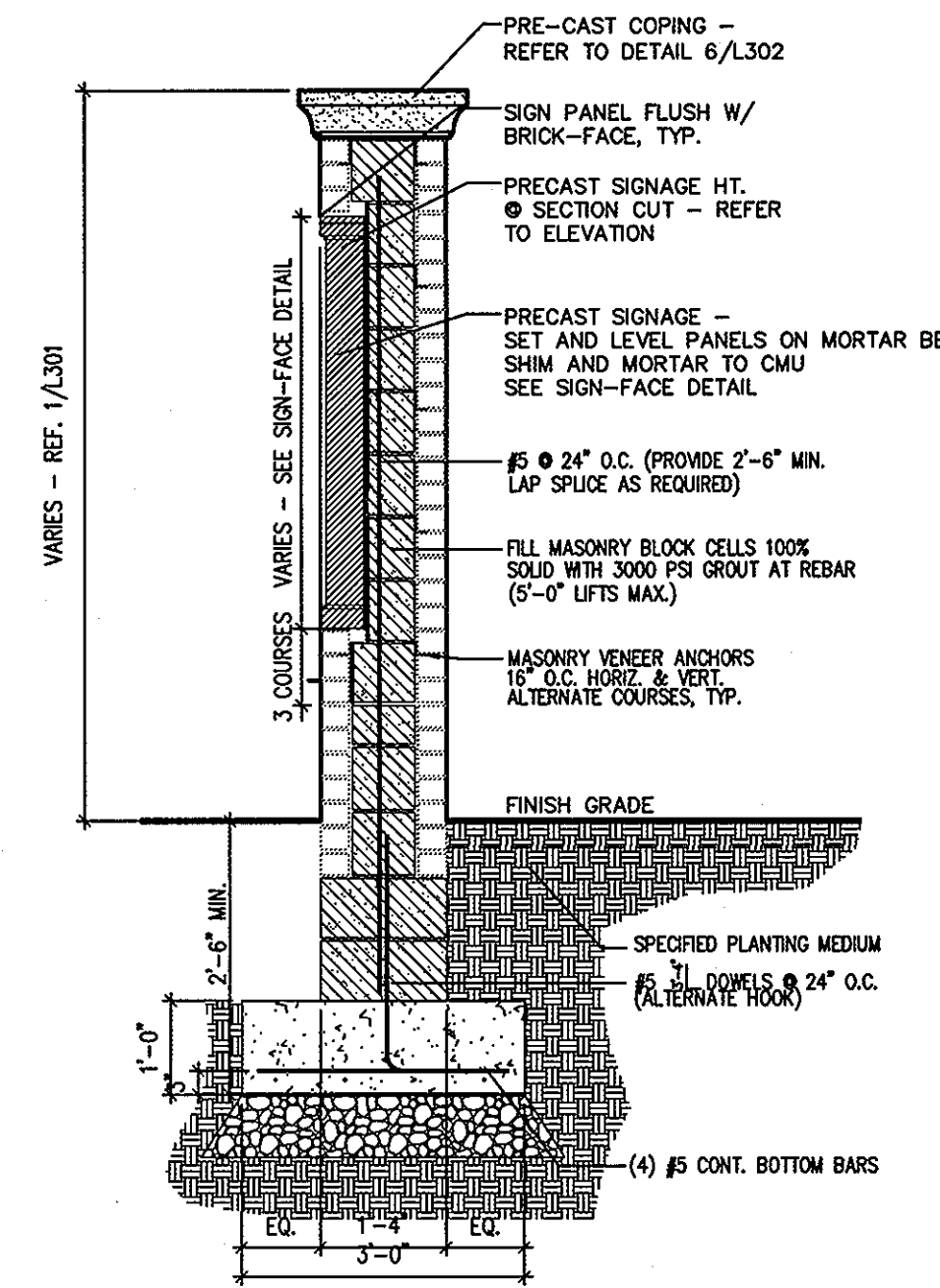
SCALE	ZONING	D.C.I. FILE No.
AS SHOWN	MXD-3	128-08
DATE	TAXITILE	SHEET
OCT., 2008	41-21&22 46-3	13 of 14



1 PIER 'A' - SHORT PIER  
SCALE 1/2"=1'-0"



2 WALL SECTION  
SCALE 1/2"=1'-0"



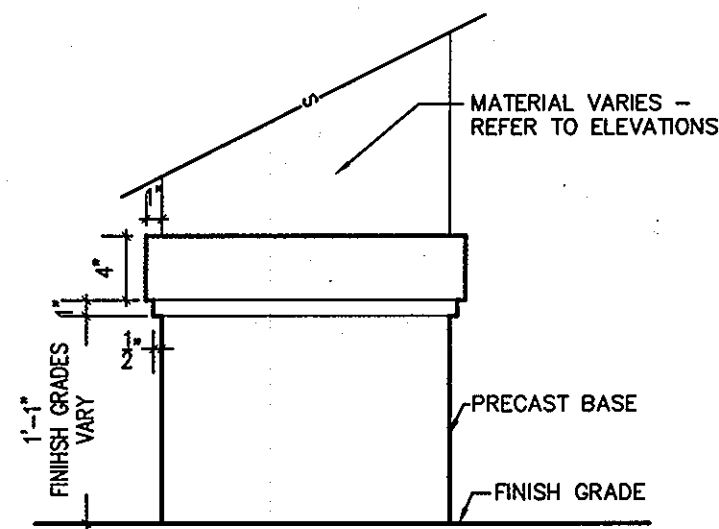
3 SIGN WALL SECTION  
SCALE 1/2"=1'-0"

**GENERAL NOTES FOR BRICK WALLS & PIERS**  
 PIER A: 1-L3.02  
 PIER B: 3-L3.01

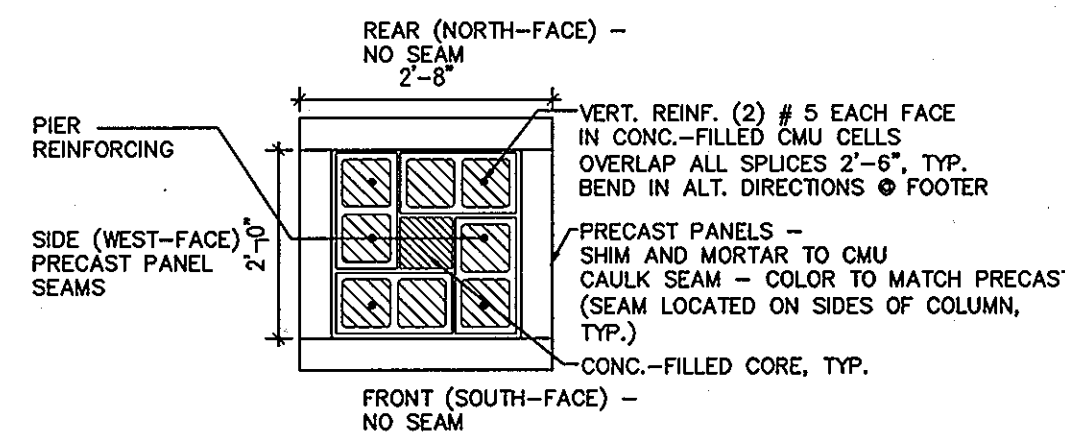
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**GENERAL NOTES FOR FENCE**

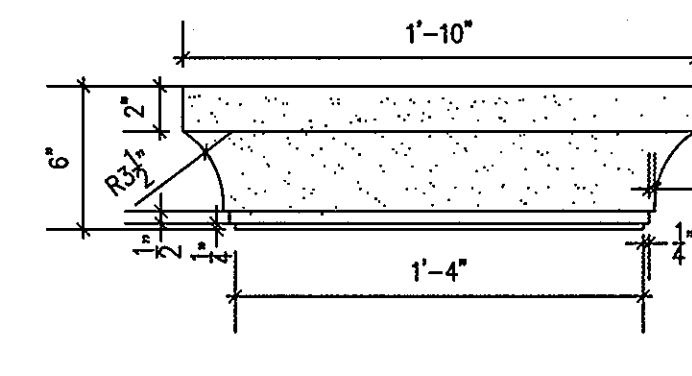
1. FENCE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE REQUIRED PERMITS PRIOR TO INSTALLATION OF THE FENCE ON THIS PROJECT.
2. FENCE CONTRACTOR SHALL COORDINATE FENCE INSTALLATION WITH GENERAL CONTRACTOR AND CONFIRM FIELD LOCATION OF FENCES. ANY DISCREPANCIES SHALL BE REPORTED TO OWNER'S REPRESENTATIVE.
3. FENCE MANUFACTURER SHALL SUBMIT 12\"/>



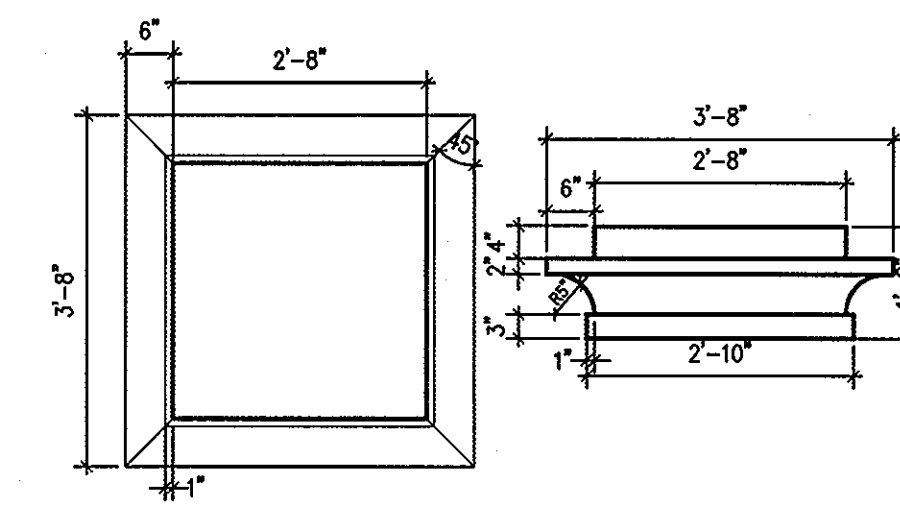
4 PRECAST BASE AT PIERS  
SCALE 1"=1'-0"



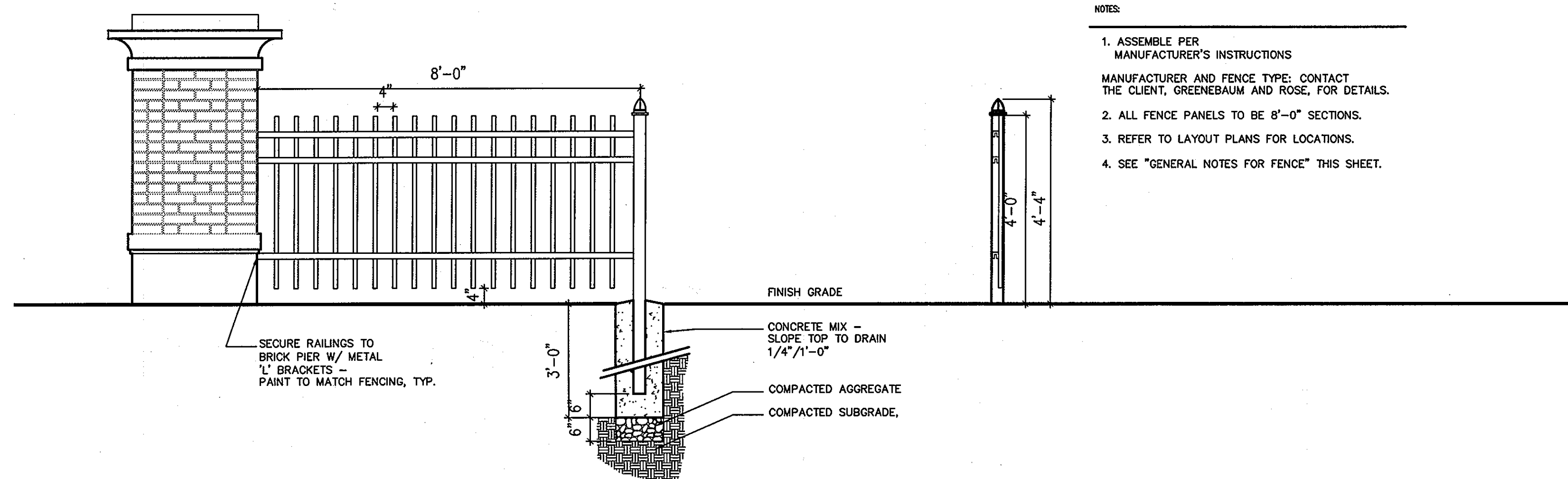
5 PRECAST PANEL PIER SETOUT  
SCALE 1/2"=1'-0"



6 PRECAST COPING  
SCALE 1-1/2"=1'-0"



7 PIER CAP, TYP. ALL  
SCALE 1/2"=1'-0"



8 FENCE DETAIL  
SCALE 1/2"=1'-0"

- NOTES:**
1. ASSEMBLE PER MANUFACTURER'S INSTRUCTIONS
  2. MANUFACTURER AND FENCE TYPE: CONTACT THE CLIENT, GREENBAUM AND ROSE, FOR DETAILS.
  3. ALL FENCE PANELS TO BE 8'-0" SECTIONS.
  4. REFER TO LAYOUT PLANS FOR LOCATIONS.
  5. SEE "GENERAL NOTES FOR FENCE" THIS SHEET.

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE SEPTEMBER 25, 2008  
 VS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Morgan E. Suttle* 2/5/09  
 Director, DEP Date

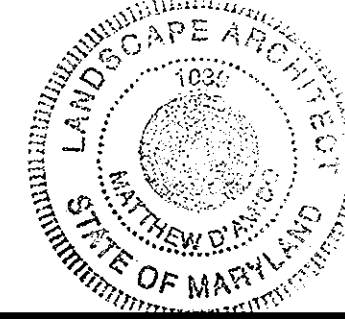
*Karl G. ...* 2/10/09  
 Chief, Division of Land Development Date VS

*Chad Edwards* 1-26-09  
 Chief, Development Engineering Division Date

**DESIGN COLLECTIVE**  
 Architecture, Planning, Interiors  
 Offices in Baltimore & Durham

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OCT., 2008	41-21&22 46-3	14 of 14

DES. XXX	DRN. XXX	CHK. XXX	DATE	REVISION	BY
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