

GENERAL NOTES

- THIS PROPERTY IS ZONED R-12 PER THE 02/20/04 COMPREHENSIVE ZONING PLAN AND THE "COMP LITE" ZONING AMENDMENTS EFFECTIVE 07/20/06.
- GROSS AREA OF PROPERTY = 0.3158 AC ±
- PROPERTY IS IN THE METROPOLITAN DISTRICT.
- PUBLIC WATER AND PUBLIC SEWER WILL BE USED WITHIN THIS SITE.
- PUBLIC WATER TO BE PROVIDED BY CONTRACT NO. 24-3312-D.
- PUBLIC SEWER TO BE PROVIDED BY CONTRACT NO. 24-3510-D.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:
 STATE HIGHWAY ADMINISTRATION 410.531.5533
 BGE(CONTRACTOR SERVICES) 410.560.4620
 BGE(UNDERGROUND DAMAGE CONTROL) 410.787.8058
 MISS UTILITY 800.257.7777
 COLONIAL PIPELINE COMPANY 410.795.1390
 HOWARD COUNTY DEPT. OF PUBLIC WORKS, BUREAU OF UTILITIES 410.313.4850
 HOWARD COUNTY HEALTH DEPARTMENT 410.313.2640
 AT&T 800.252.1133
 VERIZON 800.743.0033/410.224.9210
- BOUNDARY SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PREPARED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED OCTOBER 2006.
- TOPOGRAPHY IS BASED ON A FIELD RUN TOPOGRAPHICAL SURVEY PERFORMED BY SILL, ADCOCK & ASSOCIATES, LLC, DATED OCTOBER 2006.
- THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY IN ADDITION TO MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- EXISTING UTILITIES ARE LOCATED BY THE USE OF ANY OR ALL OF THE FOLLOWING: ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER PLANS AND OTHER AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF THE EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO THE CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- ALL HOPE PIPE SPECIFICATION AND INSTALLATION SHALL MEET AASHTO M-252 TYPE S, M-294 TYPE S AND ASTM D2321, RESPECTIVELY.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. DRIVEWAY PAVING TO BE HOWARD COUNTY STANDARD P-1 PAVING SECTION (SEE DETAIL, SHEET 72). GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST, PRIOR TO CONSTRUCTION.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- ALL TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED ON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENTS 421A AND 421B WERE USED FOR THIS PROJECT.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
- DRIVEWAY(S) SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING REQUIREMENTS:
 a) WIDTH - 12 FEET ± (16 FEET SERVING MORE THAN ONE RESIDENCE);
 b) SURFACE - SIX (6) INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MINIMUM);
 c) GEOMETRY - MAXIMUM 14% GRADE, MAXIMUM 10% GRADE CHANGE AND 45-FOOT TURNING RADIUS;
 d) STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING);
 e) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE;
 f) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
- DRIVEWAY ENTRANCE TO BE PER HOWARD COUNTY STANDARD DETAIL R-4.03.
- SEWER HOUSE CONNECTION (SHC) TO BE AT 2.0% UNLESS OTHERWISE NOTED. CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS.
- A WETLAND DELINEATION WAS PERFORMED BY EXPLORATION RESEARCH, INC., DATED NOVEMBER 2006.
- THERE ARE NO WETLANDS, FLOODPLAINS, HISTORIC STRUCTURES OR CEMETARIES LOCATED ONSITE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A TRAFFIC STUDY IS NOT REQUIRED FOR THIS PROJECT.
- A SPEED STUDY WAS PERFORMED BY MARS GROUP, DATED NOVEMBER 2006.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE OF SECTION 16.124 OF HOWARD COUNTY CODE AND LANDSCAPE MANUAL. PERIMETER LANDSCAPE BUFFERS ARE NOT REQUIRED FOR LOTS WITHIN THE SAME SUBDIVISION.
- FOREST CONSERVATION REQUIREMENTS FOR THIS PROPERTY HAS BEEN FULFILLED UNDER F-08-070.
- STORMWATER MANAGEMENT REQUIREMENTS FOR THIS PROPERTY HAS BEEN PROVIDED BY PRIVATELY OWNED AND MAINTAINED DRYWELLS (M-5) AND NON-ROOFTOP DISCONNECT.
- THE STORMWATER MANAGEMENT PRACTICES (DRYWELLS) LOCATED ON LOT 11 ARE TO BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS AND SURETY FOR THEM SHALL BE PAID WITH THE DEVELOPER'S AGREEMENT UNDER THIS SITE DEVELOPMENT PLAN.
- ALL ROOF DRAINS SHALL DRAIN TO THE DRYWELLS.
- TRASH AND RECYCLABLES WILL BE COLLECTED AT JONES ROAD WITHIN 5' OF THE COUNTY ROADWAY.
- THIS PLAN IS SUBJECT TO WAIVER PETITION WP-09-231, APPROVED ON MAY 17, 2010, TO WAIVE SECTION 16.156(M) FOR SUBMISSION OF ORIGINALS FOR SIGNATURE WITHIN 180 DAYS OF APPROVAL OF THE SITE DEVELOPMENT PLAN. FOR SDP-08-113, APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
 1. SDP-08-113 IS REACTIVATED AND EXTENDED FOR 180 DAYS FROM THE JUNE 30, 2010 STATE ROLLING DATE PER 16.156(M) TO SUBMIT THE ORIGINALS FOR SIGNATURE OR UNTIL DECEMBER 27, 2010, ON JANUARY 26, 2011, THE PREVIOUS DUE DATE OF DECEMBER 27, 2010 APPROVED UNDER WP-09-231 BY WHICH TO SUBMIT THE SITE DEVELOPMENT PLAN ORIGINALS FOR SDP-08-113, NORDAU SUBDIVISION, LOT 11, SECTION E-1 WAS EXTENDED TO ON OR BEFORE JUNE 25, 2011.
- THE RETAINING WALL WAS INSPECTED ON APRIL 21ST BY DAVID WALLACE, P.E. OF DAVID WALLACE, P.E. STRUCTURAL CONSULTATION, P.O. BOX 4279 ANNAPOLIS MARYLAND, 21403 AND DEEMED STABLE AND ADEQUATE.

STORMWATER MANAGEMENT PRACTICES			
LOT #	ADDRESS	DRY-WELL M-5 (NUMBER)	NON-ROOFTOP DISCONNECT N-2 (Y/N)
11	8024 JONES ROAD	3	Y

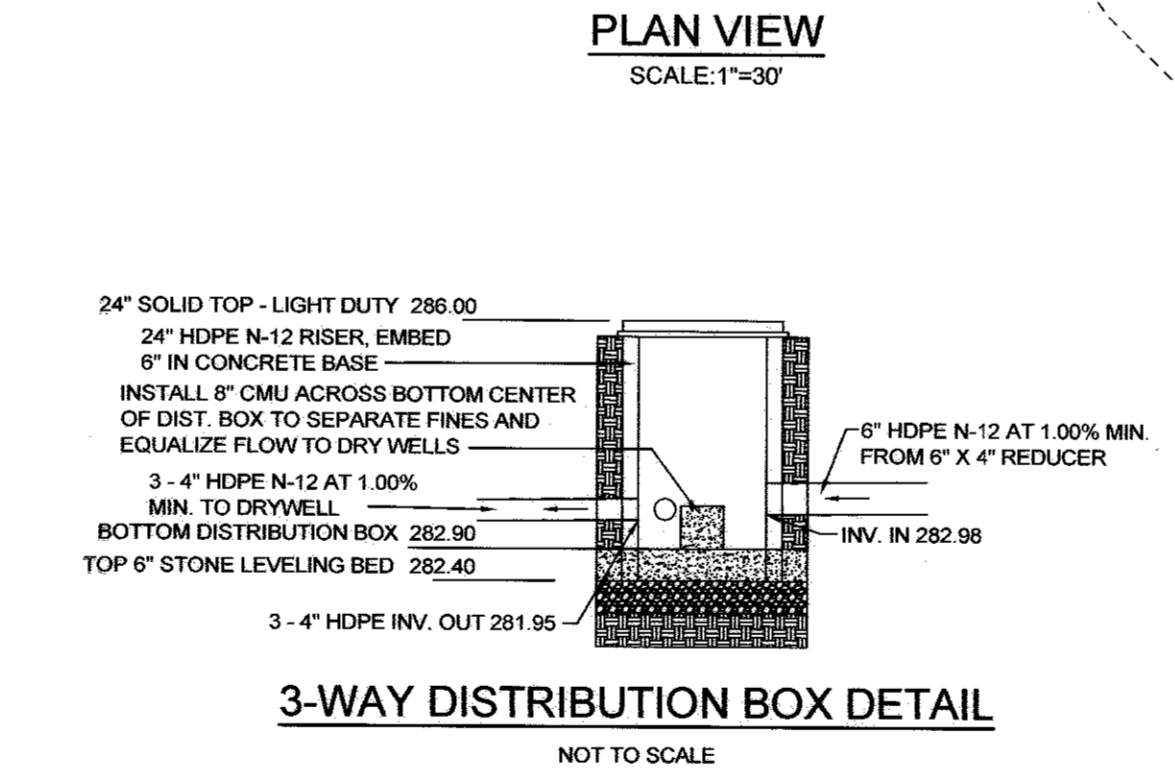
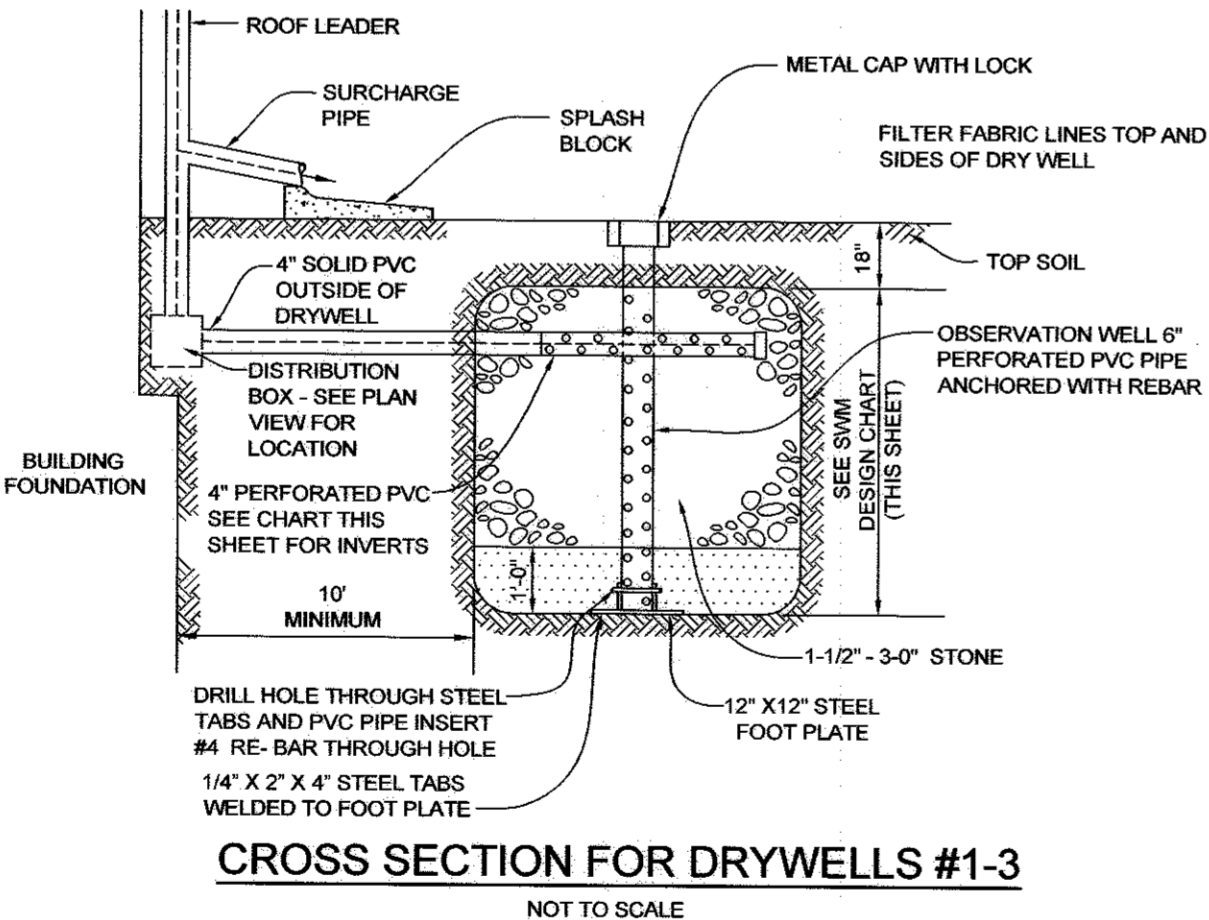
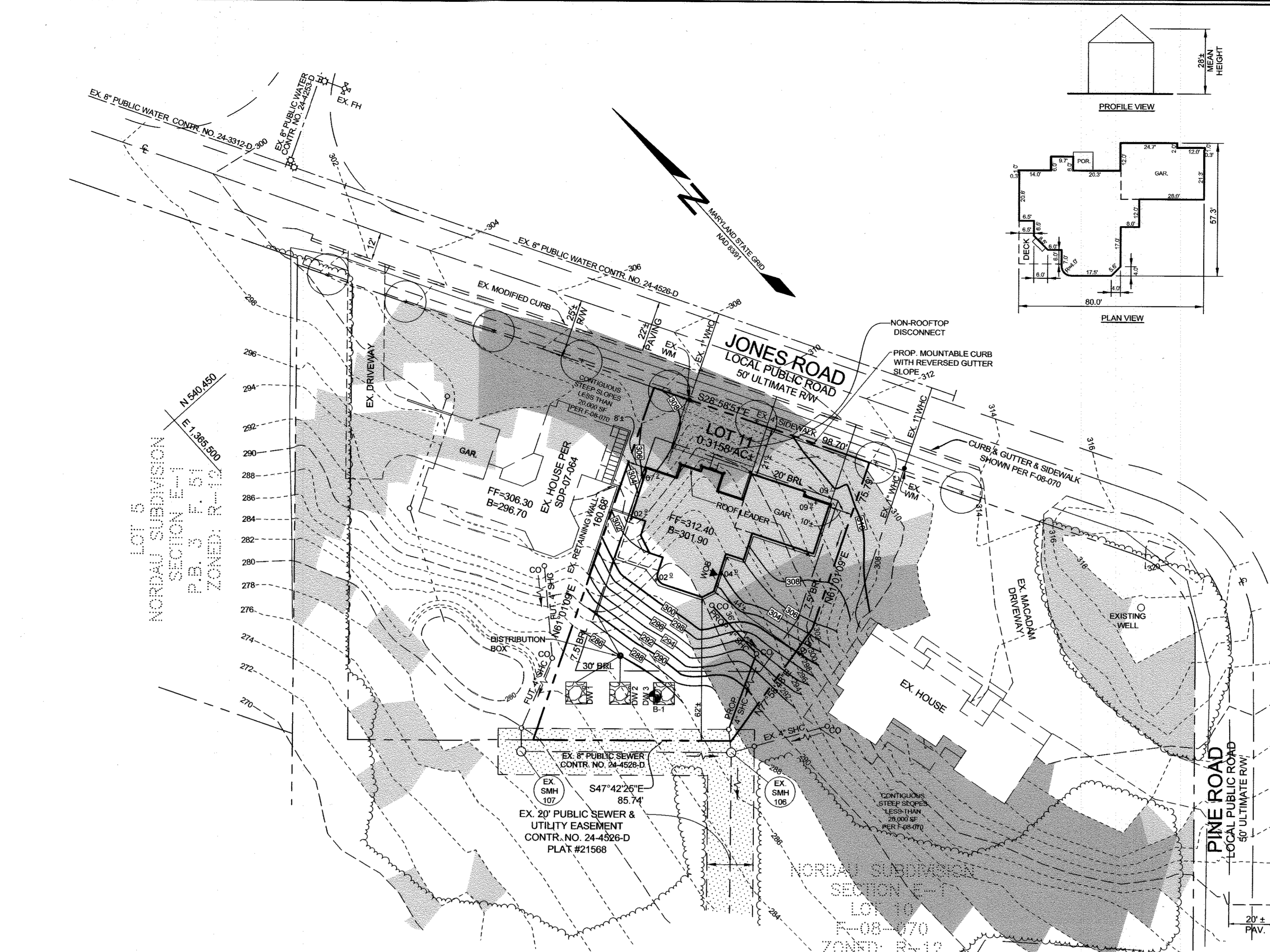
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DRY WELLS (M-5)

- THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
- WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
- SEDIMENT BUILDUP IN THE DISTRIBUTION BOX SHALL BE REMOVED AS NECESSARY TO ASSURE EQUAL DISTRIBUTION OF DRAINAGE FLOW.
- A LOG BOOK SHALL BE MAINTAINED TO DETERMINE THE FREQUENCY OF CLEANING NECESSARY FOR THE DISTRIBUTION BOX AND THE RATE AT WHICH THE FACILITY DRAINS.
- WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE 72 HOURS TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
- THE MAINTENANCE LOG BOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE SCHEDULE.
- ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY AND DISTRIBUTION BOX HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

DRY WELL CHART					
NO.	VOLUME REQUIRED	VOLUME PROVIDED	SIZE WELLS	ELEV.	PERF. INV.
DW1	128.33 CF	171 CF	9.50' X 9.00' X 5.00' DEEP	282.58	279.50
DW2	128.33 CF	171 CF	9.50' X 9.00' X 5.00' DEEP	283.82	280.70
DW3	128.33 CF	171 CF	9.50' X 9.00' X 5.00' DEEP	285.61	282.30

- NOTES:
- PRACTICE M-5 DRYWELLS
 - TOP ELEVATION GIVEN AT CENTER OF DRY WELL AT GRADE. GRADE OVER REMAINDER OF DRY WELL TO CONFORM TO PROPOSED GRADE ON PLAN VIEW

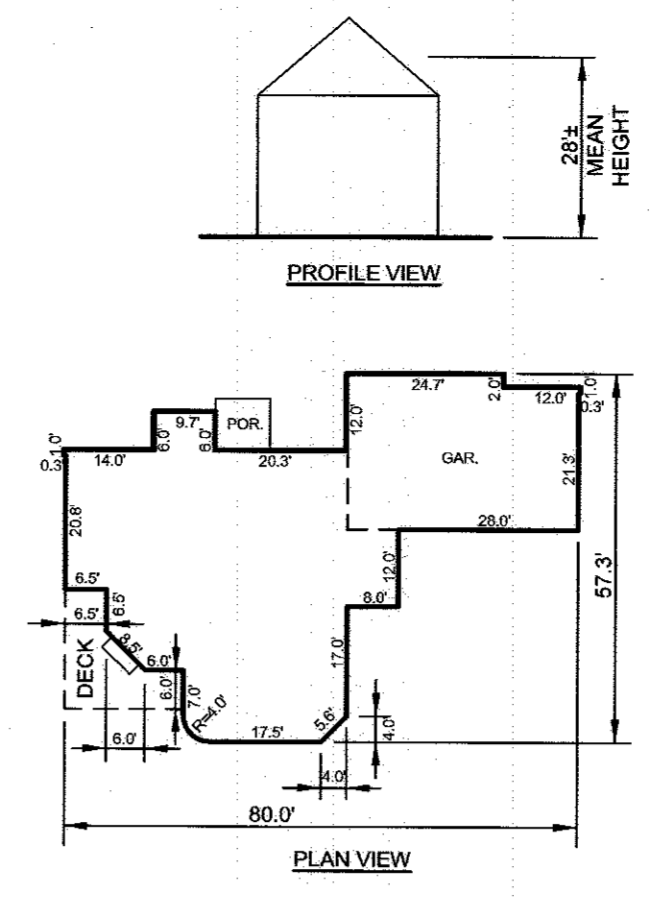
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING			
NO.	DESCRIPTION	DATE	DATE
1	REVISE STORMWATER MANAGEMENT AND GRADING	4-27-17	3/17/2017



OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1) DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)

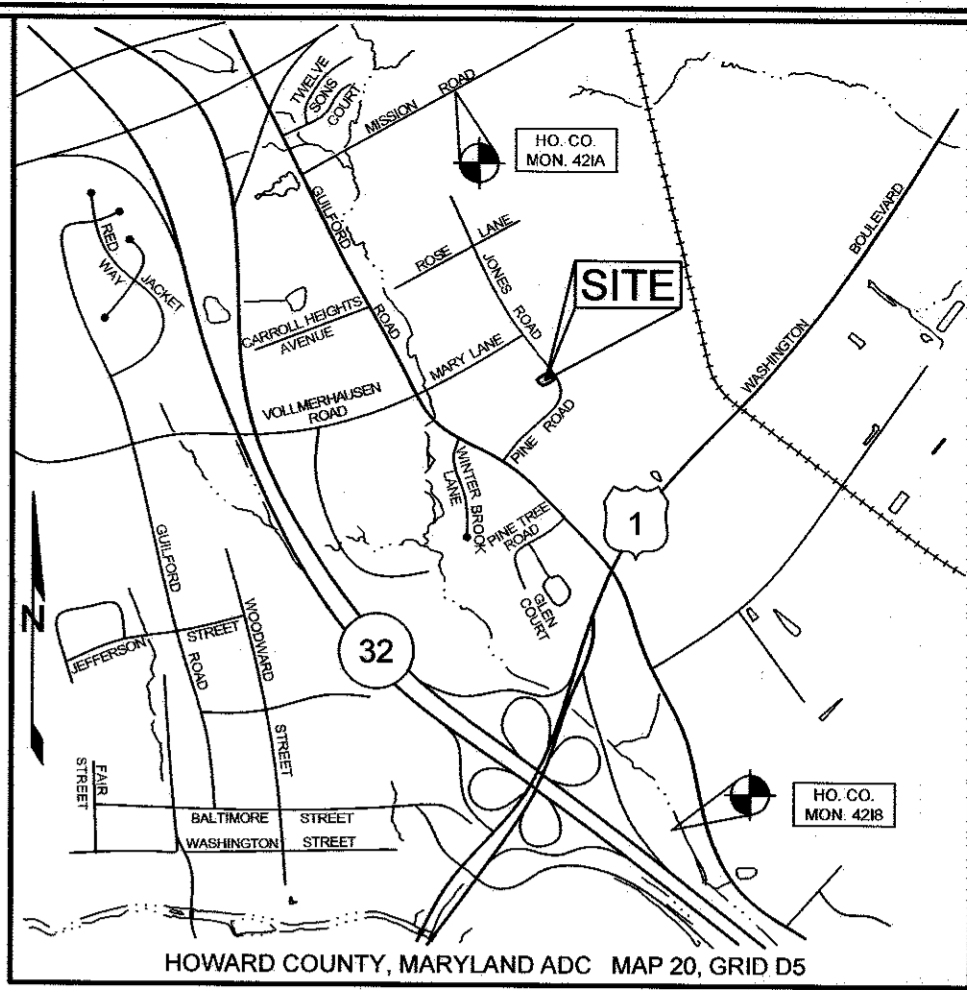
- MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE OWNER SHALL ENSURE THE AREAS RECEIVING RUNOFF ARE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

THE PURPOSE OF THIS REVISED PLAN IS TO SHOW AS-BUILT CONDITIONS PER THE DATE OF THIS PLAN AND TO REVISE GRADING AND STORMWATER MANAGEMENT PRACTICES



LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- DIRECTION OF FLOW
- EXISTING TREELINE
- EXISTING STREET TREES PER F-08-070
- 15-24.9% SLOPES PER F-08-070
- 25% OR GREATER SLOPES PER F-07-080
- DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)
- DRYWELL (M-5)



BENCHMARKS

NUMBER	NORTHING	EASTING	ELEVATION	DESCRIPTION
421A	543,390.4135	1,364,912.6627	312.00'	74.3' NORTH OF BG&E POLE
421B	542,107.8895	1,362,386.0376	301.46'	283' WEST OF EXIT SIGN
				72' NORTH OF EDGE OF MACADAM

SITE ANALYSIS DATA CHART

TOTAL PROJECT AREA	AREA OF SUBMISSION	DISTURBED AREA	PRESENT ZONING
0.32 AC ±	0.32 AC ±	16,722 SF ±	R-12
PROPOSED USE	FLOOR SPACE PER USE	TOTAL UNITS ALLOWED	TOTAL UNITS PROPOSED
RESIDENTIAL	NA	1	1
MAX. # EMPLOYEES	PARKING SPACES REQ.	PARKING SPACES PROV.	HC SPACES PROVIDED
NA	2 PER DWELLING	2 PER DWELLING	NA
OPEN SPACE REQUIRED	OPEN SPACE PROVIDED	REC. O.S. REQUIRED	REC. O.S. PROVIDED
NA	NA	NA	NA
BUILDING COVERAGE	FLOOR AREA RATIO	DPZ FILE REFERENCES	
2,971 SF ±	NA	24-4525-D, SDP-07-F-08-070, WP-09-231, PLAT #25108	

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION	PARCEL # / LOT #			
NORDAU SUBDIVISION		E-1	49 / REVISED 3 & 4			
DEED REF.	PLAT REF.	GRID #	ZONING	TAX MAP #	ELECT. DIS.	CENSUS TRACT
4619 / 0001	#25108	6	R-12	47	6TH	6069.01
WATER CODE		SEWER CODE				
803		4360000				

ADDRESS CHART

LOT	STREET ADDRESS
11	8024 JONES ROAD

SHEET INDEX

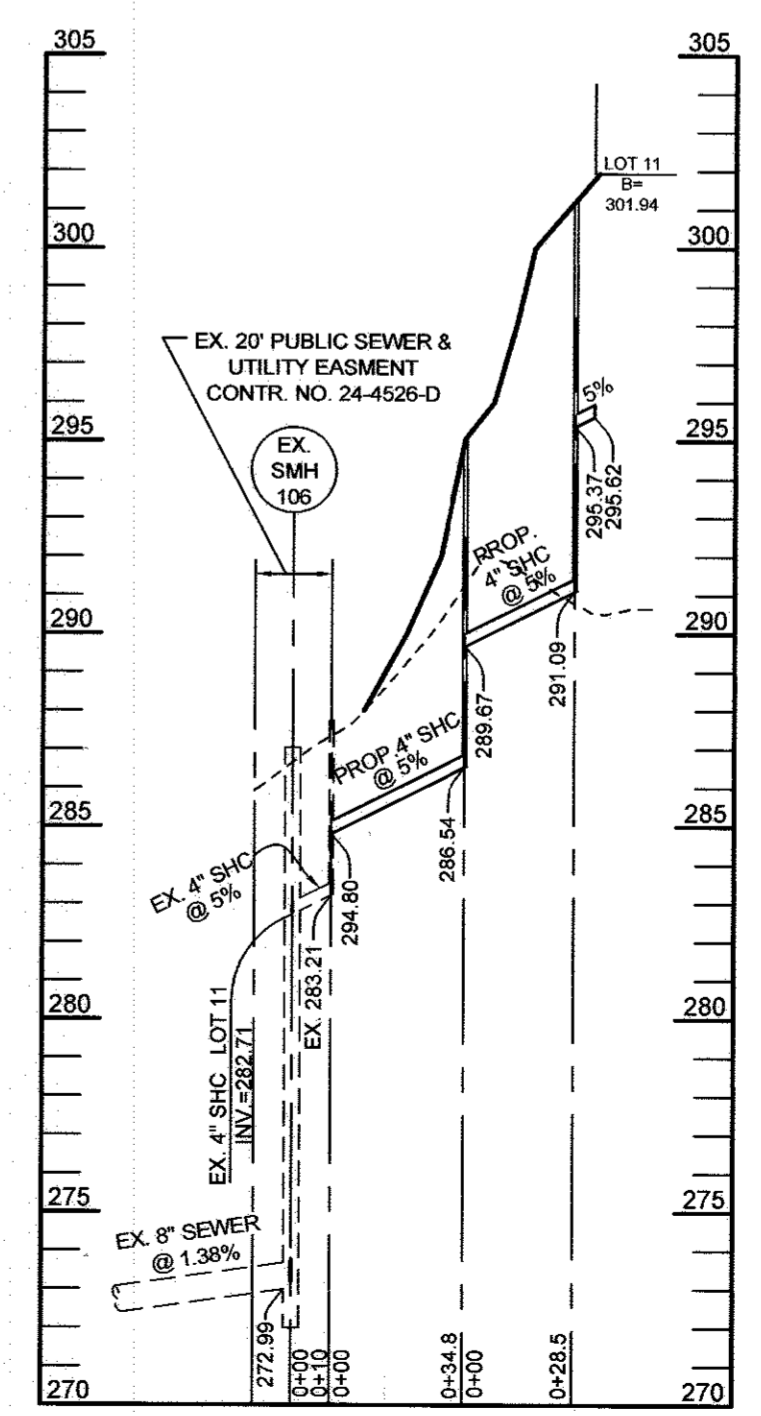
SHEET NO.	DESCRIPTION
1	REVISED SITE DEVELOPMENT PLAN
2	REVISED SEDIMENT AND EROSION CONTROL PLAN, NOTES AND DETAILS

OWNER/DEVELOPER
 FORSTER W. HARMON
 MARGARET T. HARMON
 8690 PINE ROAD
 JESSUP, MARYLAND 20794
 240.417.3758

REVISED SITE DEVELOPMENT PLAN
NORDAU SUBDIVISION
 LOT 11, SECTION E-1
 SINGLE FAMILY DETACHED DWELLING
 TAX MAP 47 GRID 6 PARCEL 49
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

SILL ENGINEERING GROUP, LLC
 11130 Dovecote Court, Suite 200
 Manassasville, Maryland 21104
 Phone: 443.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development

DESIGN BY: PS
 DRAWN BY: MPO
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: APRIL 8, 2017
 PROJECT #: 16-080
 SHEET #: 1 of 2



SHC PROFILE
 CONNECTION TO EXISTING 4" SHC
 CLEANOUT CONTR # 24-4526-D
 SCALE: HORIZ.: 1"=50'
 VERT.: 1"=5'

