

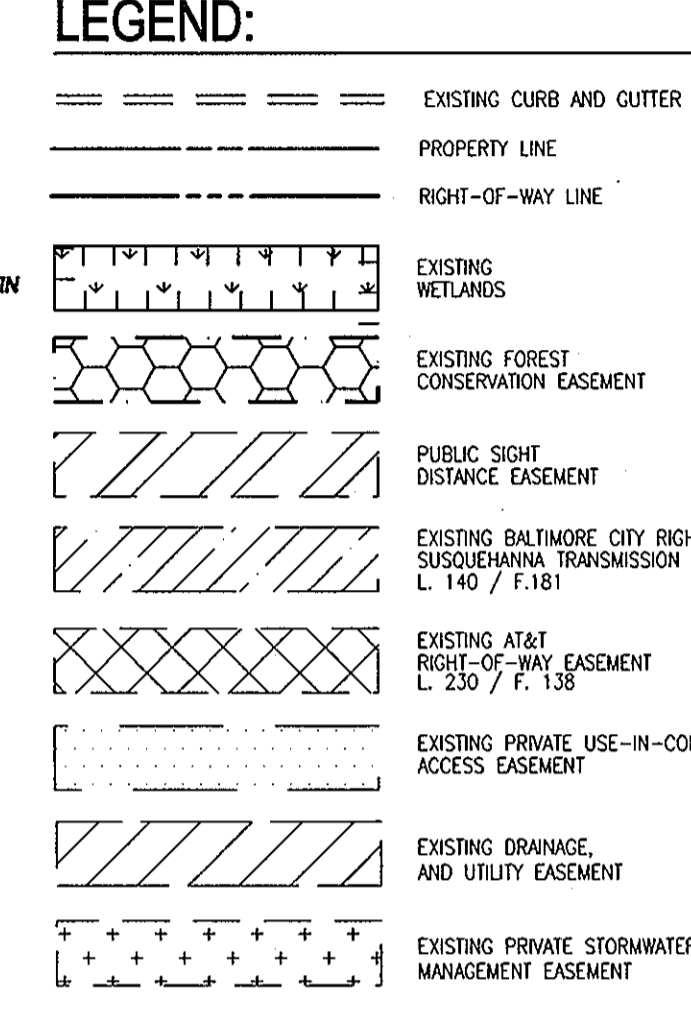
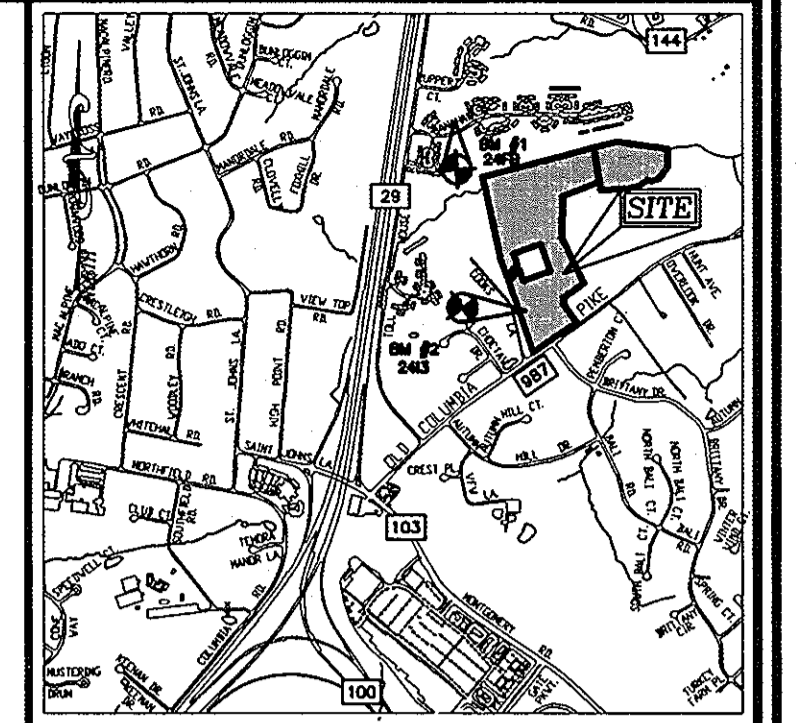
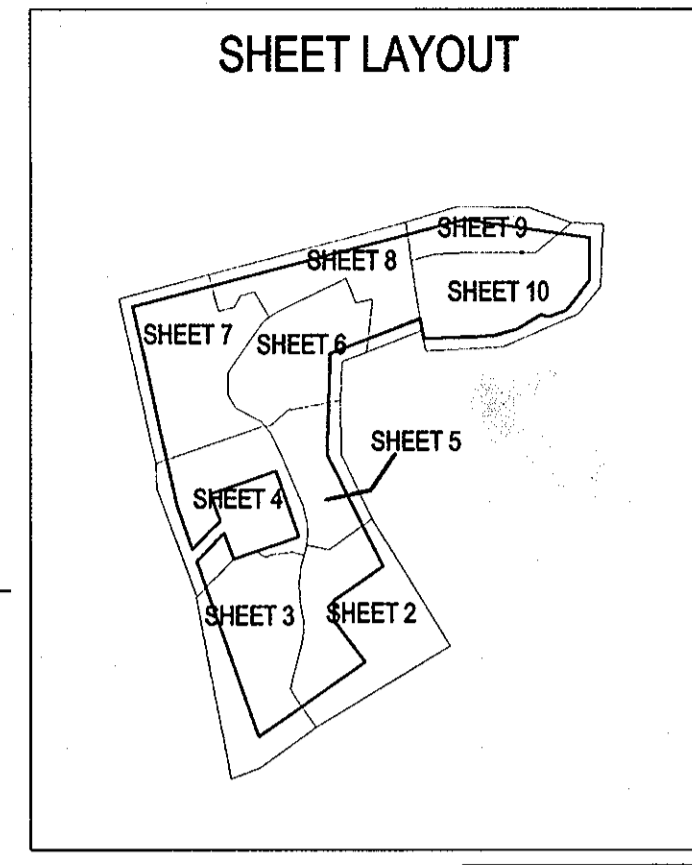
GENERAL NOTES

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 VERIZON TELEPHONE 725-9976
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 AT&T CABLE LOCATION DIVISION: 593-3553
 B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:**
 TOTAL AREA OF SITE: 36.85682 AC
 AREA OF SUBMISSION: 11.72845 AC
 TIBER BRANCH II - LOTS FOR PHASE I & II (PLAT # 1997-1997-1)
 TIBER BRANCH II - LOTS FOR PHASE III (PLAT # 1997-1997-2)
 LIMIT OF DISTURBANCE: 14.7 AC
 PRESENT ZONING: R-ED
 PROPOSED USE OF SITE: SINGLE FAMILY DETACHED DWELLINGS
 TOTAL NUMBER OF UNITS ALLOWED: 54 BUILDABLE LOTS
 TOTAL NUMBER OF UNITS PROPOSED ON THIS SUBMISSION: 54 BUILDABLE LOTS
 TOTAL OPEN SPACE ON SITE 61% OF GROSS AREA: 22.35618 AC
 TOTAL AREA OF RECREATION OPEN SPACE REQUIRED:(300 SF PER BUILD ABLE LOT): 16,200 AC
 TOTAL AREA OF RECREATION OPEN SPACE PROVIDED: 16,200 AC
 APPLICABLE DPZ FILE REFERENCES: F-78-12, F-98-130, SP-04-14, PB 371, F-05-079, F-06-201, WP-04-20, WP-09-48, W&S CONT# 14-4393-D, F-08-012, WP-04-020, F-98-12, F-78-12, F-08-201, F-08-012, WP-04-020.
 PROJECT BACKGROUND: TAX MAP 31, PARCEL 226, GRID 21
 AREA OF FLOOD PLAIN ON SITE: 4.24 AC
 AREA OF B G & E EASEMENT ON SITE: 5.27 AC
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE SUBJECT PROPERTY IS ZONED R-ED PER THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION ON THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING /GRADING PERMIT.
- THE SUBJECT PROPERTY IS ZONED R-ED PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN, AND THE COMPREHENSIVE LITE ZONING AMENDMENTS 07/28/06.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- STORM WATER MANAGEMENT TO BE PROVIDED FOR THIS DEVELOPMENT BY A MICROPOOL EXTENDED DETENTION FACILITY LOCATED IN OPEN SPACE LOT 26 AND TWO POCKET PONDS LOCATED IN OPEN SPACE LOT 22 AND OPEN SPACE LOT 23. ALL FACILITIES ARE HAZARD CLASS "A" AND WILL BE OWNED AND MAINTAINED BY THE HOA. NATURAL CONSERVATION AREAS (PRIVATE STORMWATER MANAGEMENT EASEMENT #1-11) IN ACCORDANCE WITH MDE NATURAL AREA CONSERVATION CREDIT EASEMENTS AND A RAINGARDEN FOR LOT 9 PROVIDED UNDER THIS SITE PLAN. FINANCIAL SURETY FOR THE REQUIRED RAINGARDEN IN THE AMOUNT OF \$6,500.00 BE PAID AS A PART OF THE DEVELOPER'S AGREEMENT UNDER THIS PLAN.
- STREAMS AND WETLANDS SHOWN ON-SITE ARE BASED ON A FIELD INVESTIGATION PREPARED BY ECO-SCIENCE PROFESSIONALS, INC., DATED NOVEMBER 2003.
- THE 100-YR FLOOD PLAIN DRAINAGE AND UTILITY EASEMENT SHOWN ON-SITE IS BASED ON A FLOOD PLAIN STUDY PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JUNE 2004.
- FOREST STAND DELINEATION PLAN PREPARED BY EXPLORATION RESEARCH, INC., DATED JUNE 2004.
- FOREST CONSERVATION PLAN PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JUNE 2004.
- THE 0.80 AC. RETENTION FOREST SHOWN ON F-98-130 AND F-05-079 HAS BEEN ABANDONED. AN ABANDONMENT FEE OF \$1.00 PER SF (\$34,848.00) HAS BEEN PAID TO HOWARD COUNTY FOREST CONSERVATION FUND UNDER F-06-201.
- THE FOREST CONSERVATION OBLIGATION FOR THIS ENTIRE 36.85682 AC. RESUBDIVISION/SUBDIVISION HAS BEEN FULFILLED BY RETENTION OF 5.50 AC (\$47,916.00), REFORESTATION OF 3.69 AC. (\$80,368.20) AND FEE PAYMENT FOR THE REMAINING 0.12 AC. OF REQUIRED 3.81 AC. OF REFORESTATION. (\$2,613.60). TOTAL FINANCIAL SURETY OBLIGATION OF \$128,284.20 HAS BEEN PAID UNDER F-06-201.
- APFO TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, DATED JANUARY 2004.
- STREET TREES ARE PROVIDED FOR THIS PROJECT IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A FINANCIAL SURETY IN THE AMOUNT OF \$45,600.00 HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THE REQUIRED 152 PUBLIC STREET TREES UNDER F-06-201. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING PROVIDED PER THE LANDSCAPE MANUAL HAS BEEN POSTED WITH THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$36,950.00 FOR THE REQUIRED 96 SHADE TREES AND THE REQUIRED 36 EVERGREEN TREES AND 275 LINEAR FEET OF FENCE HAS BEEN POSTED UNDER F-06-201. THERE IS NO LANDSCAPE OBLIGATION TO BE PROVIDED UNDER THIS SITE DEVELOPMENT PLAN.
- TREE PROTECTION FENCING WILL BE PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO FOREST CONSERVATION RETENTION AREAS AND SENSITIVE ENVIRONMENTAL AREAS, SUCH AS STREAM BUFFERS AND STEEP SLOPES.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETARY LOCATIONS ON SITE.
- A NOISE STUDY IS NOT REQUIRED FOR THIS SITE.
- OPEN SPACE LOT 10, LOT 24, AND LOT 25 TO BE DEDICATED TO HOWARD COUNTY, MARYLAND AND MAINTAINED BY DEPARTMENT OF RECREATION & PARKS AND OPEN SPACE LOT 1, 22, 23, 26, 35 AND 44 TO BE OWNED AND MAINTAINED BY THE HOME OWNER ASSOCIATION.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD DETAIL R-6.06 (OPEN SECTION).
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.
- LOTS 30, 31, 32, 33 AND LOTS 37 & 38, AND LOTS 49-51 WILL UTILIZE USE-IN-COMMON DRIVEWAYS. HOWARD COUNTY STANDARD DETAIL NO. R-6.06 WILL BE UTILIZED FOR THE ENTRANCE AT THE INTERSECTION OF THE PUBLIC ROAD AND EACH USE-IN-COMMON DRIVEWAY.
- OLD COLUMBIA PIKE IS A SCENIC ROAD. HOUSES ON LOT 2 AND LOT 3 SHALL BE ORIENTED TO FACE OLD COLUMBIA PIKE.
- TREE PROTECTION FENCING PROVIDED AT THE LIMITS OF DISTURBANCE WHERE GRADING IS ADJACENT TO ENVIRONMENTAL AREAS AND RETENTION FOREST CONSERVATION AREAS TO REMAIN UNTIL ALL CONSTRUCTS COMPLETED.
- ALL EXISTING HOUSES, SHEDS, DRIVEWAYS, FENCES, AND MISC. STRUCTURES LOCATED ON WURTZER PROPERTY (PARCEL 264, LOT 4) AND PARCEL 811 ARE TO BE REMOVED UNDER F-06-201.
- FOR FLAG OR PIPE STEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPE STEM AND THE ROAD RIGHT-OF-WAY ONLY AND NOT ONTO THE FLAG OR PIPE STEM DRIVEWAY.
- OPEN SPACE LOT 10, LOT 24, AND LOT 25 TO BE DEDICATED TO HOWARD COUNTY, MARYLAND AND MAINTAINED BY DEPARTMENT OF RECREATION & PARKS AND OPEN SPACE LOT 1, 22, 23, 26, 35 AND 44 TO BE OWNED AND MAINTAINED BY THE HOME OWNER ASSOCIATION.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO ENSURE SAFE ACCESS FOR FIRE EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 A. WIDTH - 12' (16' FOR SERVING MORE THAN ONE RESIDENCE)
 B. SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING (1-1/2" MIN)
 C. GEOMETRY - MAX 15% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS
 D. STRUCTURES (CULVERTS/BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
 E. DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT OF DEPTH OVER DRIVEWAY SURFACE
 F. MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE
 33. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT REAR YARD SETBACK.
 34. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM(S) OR THEIR BUFFERS, FOREST CONSERVATION EASEMENT AREAS AND 100 YEAR FLOODPLAIN.

SITE DEVELOPMENT PLAN THE WOODS OF TIBER BRANCH II PHASE I, II, AND III PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44 PHASE III - LOTS 45-55, 60-67 HOWARD COUNTY, MARYLAND

BENCHMARK INFORMATION

NO	NORTHING	EASTING	ELEVATION
24FB	582652.103	1364255.930	423.28
2413	580648.904	1364974.471	404.48



PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA				
THE WOODS OF TIBER BRANCH II	PHASE I, II AND III				
LOT/PARCEL	1-63				
PLAT REF	BLOCK NO	ZONE	TAX MAP	ELECT DIST	CENSUS TR
PLAT # 1997-1997-1	18	R-ED	24	2ND	602800
PLAT # 1997-1997-2					
WATER CODE:	F-04	SEWER CODE:	1400500		

ADDRESS CHART

LOT NO	STREET ADDRESS	LOT NO	STREET ADDRESS
1	OPEN SPACE	33	4053 TIBER FALLS DRIVE
2	4010 TIBER FALLS DRIVE	34	4049 TIBER FALLS DRIVE
3	4014 TIBER FALLS DRIVE	35	OPEN SPACE
4	4018 TIBER FALLS DRIVE	36	4037 TIBER FALLS DRIVE
5	4022 TIBER FALLS DRIVE	37	4033 TIBER FALLS DRIVE
6	4026 TIBER FALLS DRIVE	38	4029 TIBER FALLS DRIVE
7	4030 TIBER FALLS DRIVE	39	4025 TIBER FALLS DRIVE
8	4034 TIBER FALLS DRIVE	40	4021 TIBER FALLS DRIVE
9	4038 TIBER FALLS DRIVE	41	4017 TIBER FALLS DRIVE
10	OPEN SPACE	42	4013 TIBER FALLS DRIVE
11	4050 TIBER FALLS DRIVE	43	4009 TIBER FALLS DRIVE
12	4054 TIBER FALLS DRIVE	44	OPEN SPACE
13	4058 TIBER FALLS DRIVE	45	4124 TIBER FALLS DRIVE
14	4062 TIBER FALLS DRIVE	46	4128 TIBER FALLS DRIVE
15	4066 TIBER FALLS DRIVE	47	4140 TIBER FALLS DRIVE
16	4070 TIBER FALLS DRIVE	48	4146 TIBER FALLS DRIVE
17	4074 TIBER FALLS DRIVE	49	4165 TIBER FALLS DRIVE
18	4108 TIBER FALLS DRIVE	50	4161 TIBER FALLS DRIVE
19	4112 TIBER FALLS DRIVE	51	4157 TIBER FALLS DRIVE
20	4116 TIBER FALLS DRIVE	52	4153 TIBER FALLS DRIVE
21	4120 TIBER FALLS DRIVE	53	4149 TIBER FALLS DRIVE
22	OPEN SPACE	54	4145 TIBER FALLS DRIVE
23	OPEN SPACE	55	4141 TIBER FALLS DRIVE
24	OPEN SPACE	60	4113 TIBER FALLS DRIVE
25	OPEN SPACE	61	4109 TIBER FALLS DRIVE
26	OPEN SPACE	62	4105 TIBER FALLS DRIVE
27	4077 TIBER FALLS DRIVE	63	4101 TIBER FALLS DRIVE
28	4073 TIBER FALLS DRIVE	64	4129 TIBER FALLS DRIVE
29	4069 TIBER FALLS DRIVE	65	4125 TIBER FALLS DRIVE
30	4065 TIBER FALLS DRIVE	66	4121 TIBER FALLS DRIVE
31	4061 TIBER FALLS DRIVE	67	4117 TIBER FALLS DRIVE
32	4057 TIBER FALLS DRIVE		

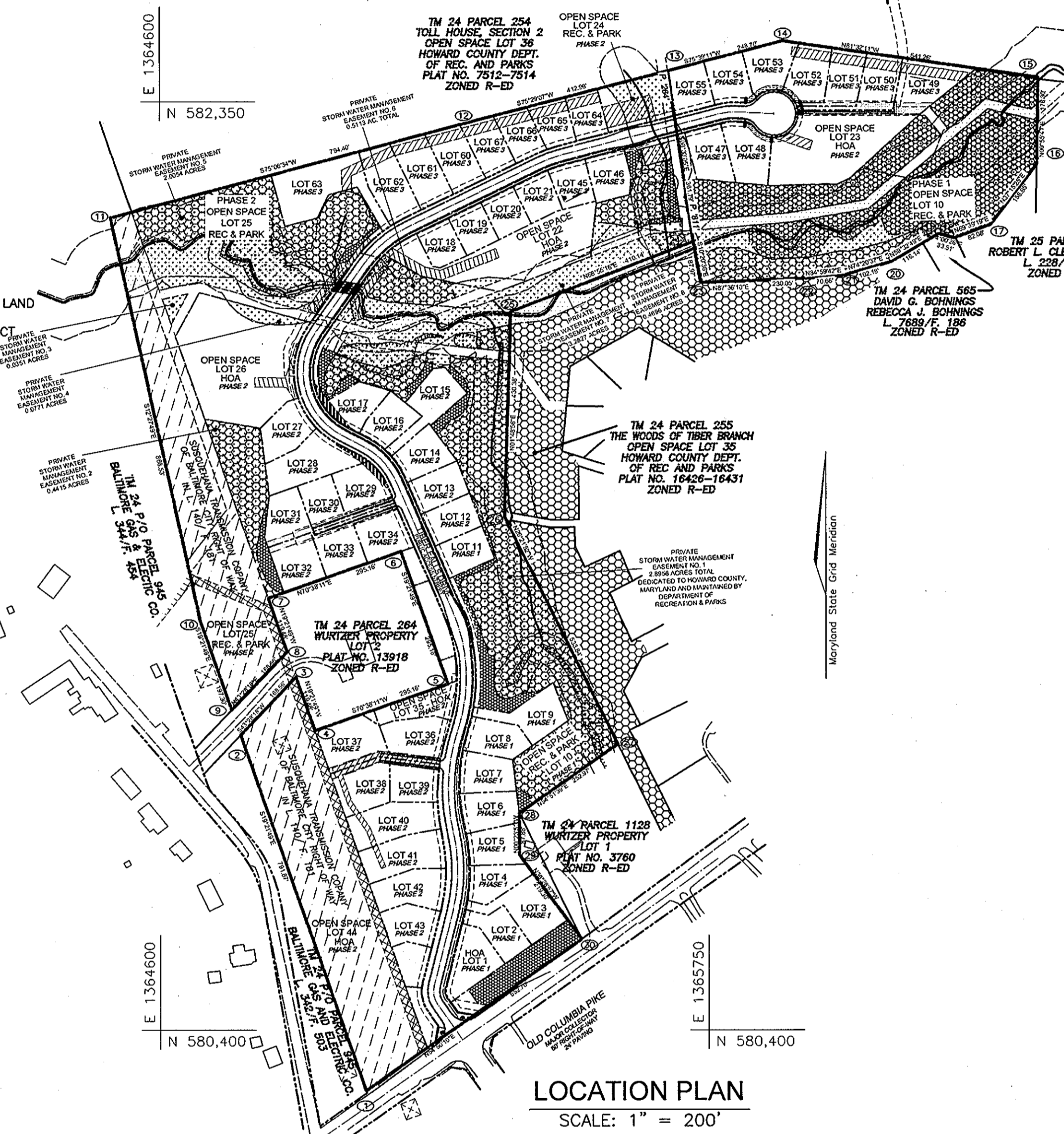
MINIMUM LOT SIZE CHART

LOT	NET AREA	PIPE STEM	TOTAL AREA
2	7,070 SF	1,131 SF	8,201 SF
3	10,970 SF	1,581 SF	12,551 SF
9	8,763 SF	1,615 SF	10,378 SF
15	8,391 SF	2,096 SF	10,487 SF
30	7,141 SF	635 SF	7,776 SF
31	8,693 SF	1,088 SF	9,781 SF
32	9,489 SF	1,126 SF	10,615 SF
33	8,535 SF	584 SF	9,119 SF
37	12,192 SF	1,311 SF	13,503 SF
38	11,128 SF	1,244 SF	12,372 SF
49	13,761 SF	1,598 SF	12,163 SF
50	9,638 SF	1,022 SF	8,616 SF
51	9,203 SF	478 SF	8,725 SF
63	19,155 SF	2,063 SF	17,092 SF

COORDINATE TABLE

POINT	NORTHING	EASTING	POINT	NORTHING	EASTING
1	580237.10	1365030.92	16	582218.73	1366437.82
2	581020.18	1364768.37	17	582092.22	1366341.60
3	581142.50	1364884.34	18	582063.68	1366264.64
4	581029.78	1364923.95	19	582072.91	1366232.42
5	581127.65	1365202.42	20	582014.05	1366132.31
6	581406.11	1365104.55	21	581986.47	1366033.92
7	581308.25	1364826.09	22	581980.31	1365963.54
8	581195.52	1364865.70	23	581970.69	1365733.68
9	581073.20	1364749.73	24	582057.21	1365717.89
10	581259.33	1364684.32	25	581909.70	1365335.19
11	582107.40	1364496.87	26	581479.54	1365321.56
12	582311.54	1365264.60	27	581001.22	1365558.63
13	582415.04	1365664.40	28	580855.62	1365351.76
14	582476.67	1365905.35	29	580767.74	1365352.37
15	582397.00	1366440.71	30	580591.42	1365482.76

LOCATION PLAN
SCALE: 1" = 200'



SHEET INDEX

DESCRIPTION	SHEET NO
COVER SHEET	1 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	2 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	3 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	4 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	5 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	6 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	7 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	8 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	9 OF 12
SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN	10 OF 12
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	11 OF 12
LANDSCAPE DETAILS AND HOUSE TYPES	12 OF 12

COVER SHEET
THE WOODS OF TIBER BRANCH II
PHASES I, II, AND III
PHASE I - LOTS 2, 9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-98-130, WP-04-20, F-78-12, F-06-201
SP-04-14, WP-09-48, F-05-079, PB 371
F-06-176, F-06-012, F-06-175
PARCELS '264'
PARCEL '811'
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8966

DESIGN BY: RJ/RJ
DRAWN BY: RJ/RJ
CHECKED BY: RHW
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

1 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7/25/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

[Signature] 7/23/08
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

[Signature] 7/23/08
DIRECTOR
DATE

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/16/08
SIGNATURE OF ENGINEER
ROBERT H. VOGEL, PE
DATE

BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

[Signature] 7/23/08
SIGNATURE OF DEVELOPER
DATE

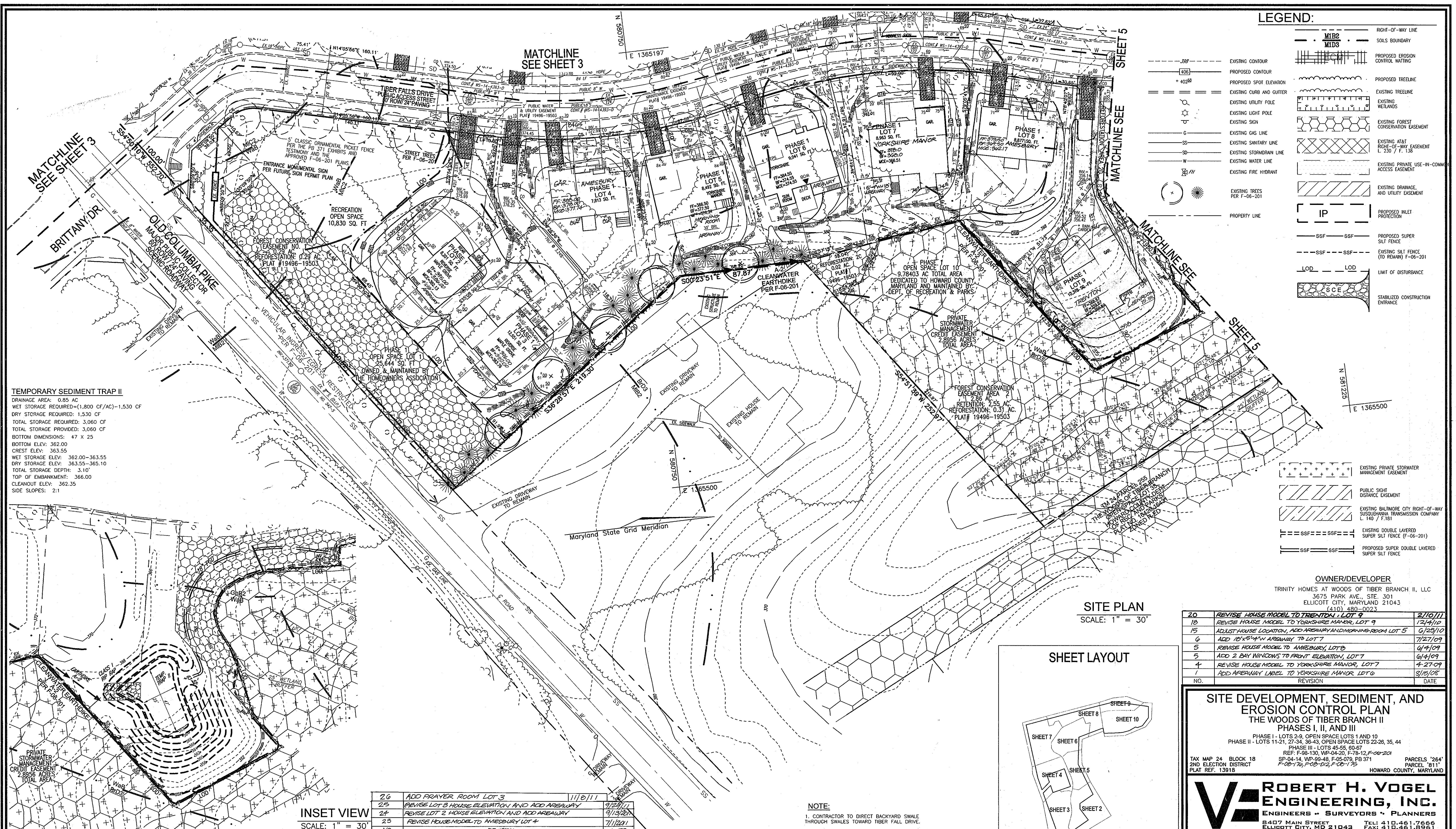
OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/23/08
HOWARD SCD
DATE

PROFESSIONAL CERTIFICATION

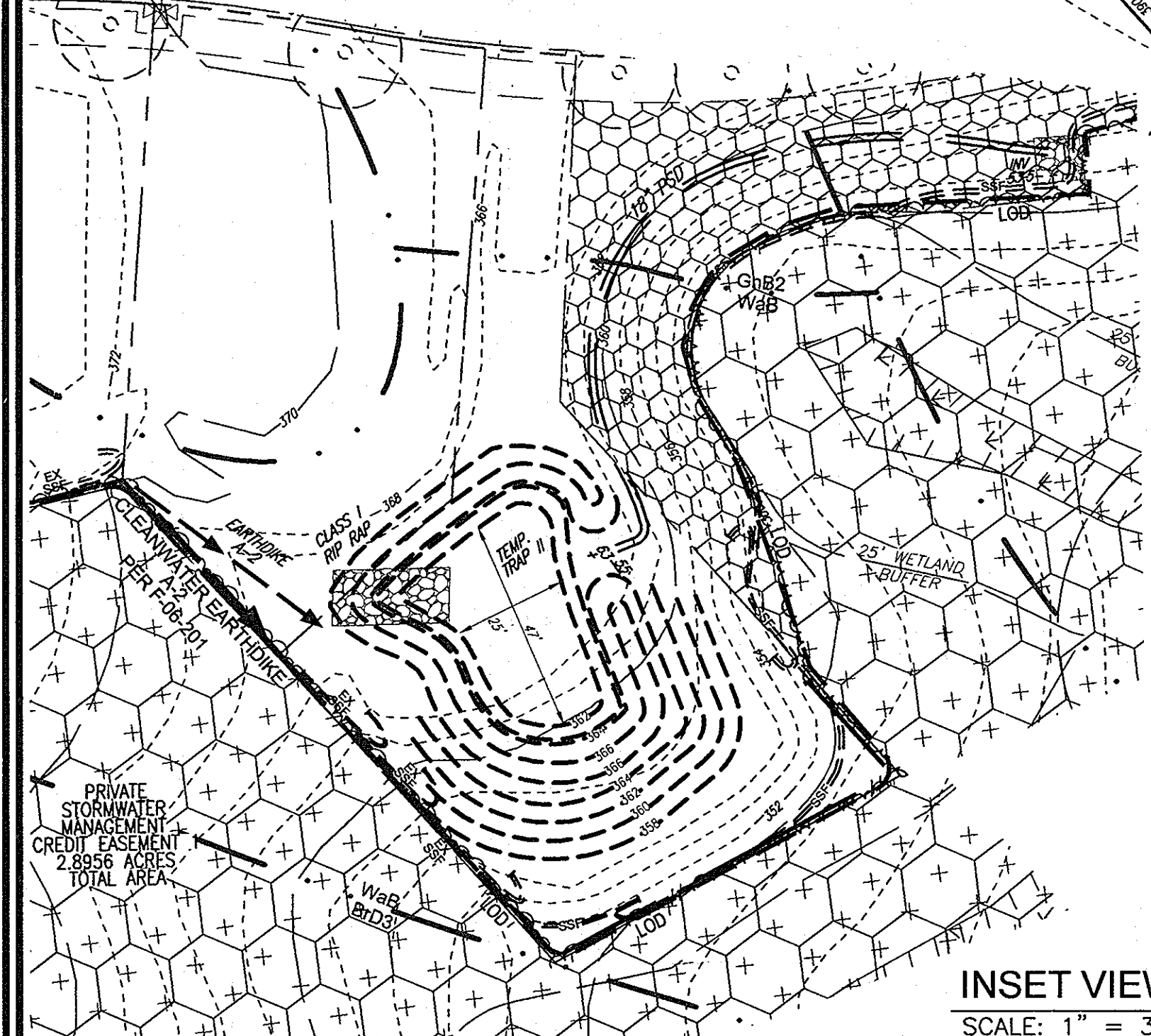
"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: SEPTEMBER 27, 2008



LEGEND:

- 4061 --- EXISTING CONTOUR
- 40288 --- PROPOSED SPOT ELEVATION
- --- EXISTING CURB AND GUTTER
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT POLE
- --- EXISTING SIGN
- --- EXISTING GAS LINE
- --- EXISTING SANITARY LINE
- --- EXISTING STORMDRAIN LINE
- --- EXISTING WATER LINE
- --- EXISTING FIRE HYDRANT
- --- EXISTING TREES PER F-06-201
- --- PROPERTY LINE
- --- RIGHT-OF-WAY LINE
- --- SOILS BOUNDARY
- --- PROPOSED EROSION CONTROL MATTING
- --- PROPOSED TREELINE
- --- EXISTING TREELINE
- --- EXISTING WETLANDS
- --- EXISTING FOREST CONSERVATION EASEMENT
- --- EXISTING AT&T RIGHT-OF-WAY EASEMENT L. 230 / F. 138
- --- EXISTING PRIVATE USE-IN-COMMUN ACCESS EASEMENT
- --- EXISTING DRAINAGE AND UTILITY EASEMENT
- --- PROPOSED INLET PROTECTION
- --- PROPOSED SUPER SILT FENCE
- --- EXISTING SILT FENCE (TO REMAIN) F-06-201
- --- LIMIT OF DISTURBANCE
- --- STABILIZED CONSTRUCTION ENTRANCE
- --- EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT
- --- PUBLIC SIGHT DISTANCE EASEMENT
- --- EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY L. 140 / F. 181
- --- EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
- --- PROPOSED SUPER DOUBLE LAYERED SUPER SILT FENCE

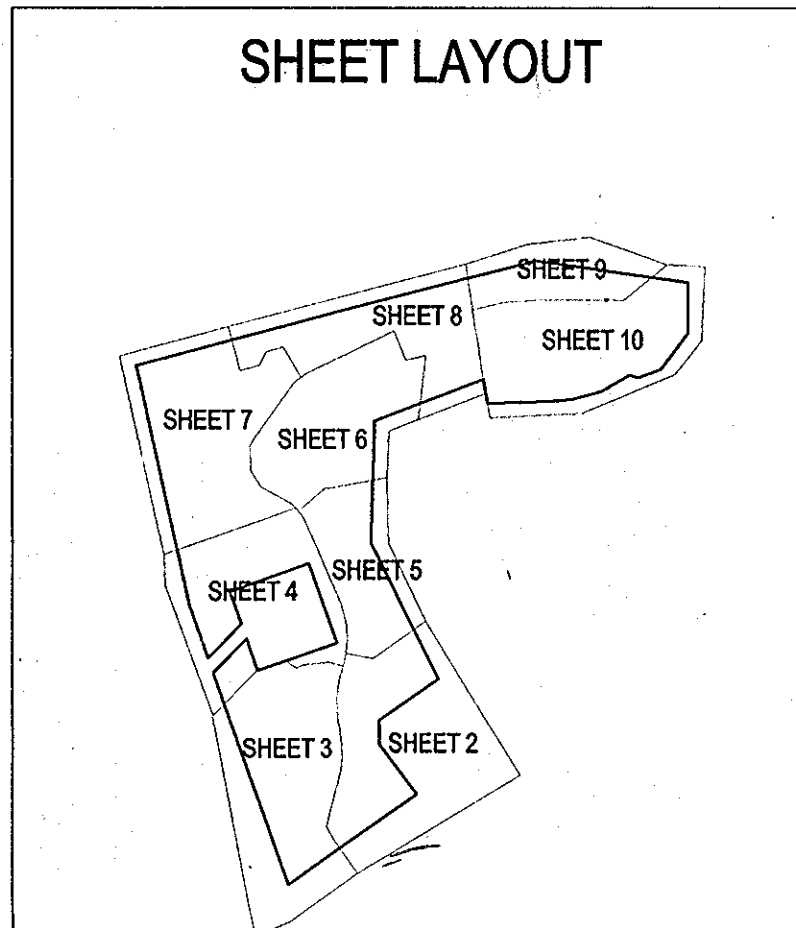
TEMPORARY SEDIMENT TRAP II
 DRAINAGE AREA: 0.85 AC
 WET STORAGE REQUIRED: (1,800 CF/AC) - 1,530 CF
 DRY STORAGE REQUIRED: 1,530 CF
 TOTAL STORAGE REQUIRED: 3,060 CF
 TOTAL STORAGE PROVIDED: 3,060 CF
 BOTTOM DIMENSIONS: 47 X 25
 BOTTOM ELEV: 362.00
 CREST ELEV: 363.55
 WET STORAGE ELEV: 362.00-363.55
 DRY STORAGE ELEV: 363.55-365.10
 TOTAL STORAGE DEPTH: 3.10'
 TOP OF EMBANKMENT: 366.00
 CLEANOUT ELEV: 362.35
 SIDE SLOPES: 2:1



INSET VIEW
SCALE: 1" = 30'

26	ADD PRAYER ROOM LOT 3	11/10/11
25	REVISE LOT 3 HOUSE ELEVATION AND ADD AREAWAY	9/21/11
24	REVISE LOT 2 HOUSE ELEVATION AND ADD AREAWAY	9/13/11
23	REVISE HOUSE MODEL TO AMESBURY LOT 4	7/11/11
NO.	REVISION	DATE

SITE PLAN
SCALE: 1" = 30'

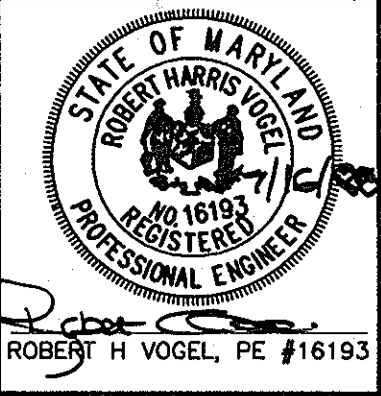


OWNER/DEVELOPER
 TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
 3675 PARK AVE., STE. 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 484-0023

20	REVISE HOUSE MODEL TO TIBER FALLS LOT 2	2/10/11
19	REVISE HOUSE MODEL TO YORKSHIRE MANOR, LOT 9	12/4/10
15	ADJUST HOUSE LOCATION, ADD AREAWAY AND MORNING ROOM LOT 5	6/25/10
6	ADD 10'x4'x4' AREAWAY TO LOT 7	7/27/09
5	REVISE HOUSE MODEL TO AMESBURY, LOT 6	6/4/09
5	ADD 2 BAY WINCOWS TO FRONT ELEVATION, LOT 7	6/4/09
4	REVISE HOUSE MODEL TO YORKSHIRE MANOR, LOT 7	4-27-09
1	ADD AREAWAY LABEL TO YORKSHIRE MANOR, LOT 6	5/15/08
NO.	REVISION	DATE

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
 THE WOODS OF TIBER BRANCH II
 PHASES I, II, AND III
 PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
 PHASE III - LOTS 45-55, 60-67
 REF: F-98-130, WF-04-20, F-78-12, F-06-201
 SP-04-14, WP-99-48, F-05-079, PB 371
 F-08-176, F-08-D12, F-08-175
 TAX MAP 24 BLOCK 18
 2ND ELECTION DISTRICT
 PLAT REF. 13918
 PARCELS '264'
 PARCEL '811'
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8966



DESIGN BY: RV/RJ
 DRAWN BY: RJ/JMR
 CHECKED BY: RHY
 DATE: JANUARY 2008
 SCALE: AS SHOWN
 W.O. NO.: 03-43

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

BY THE ENGINEER
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature of Engineer: Robert H. Vogel, PE
 Date: 7/16/08

BY THE DEVELOPER
 I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
 Signature of Developer: Michael Han
 Date: 7-16-08

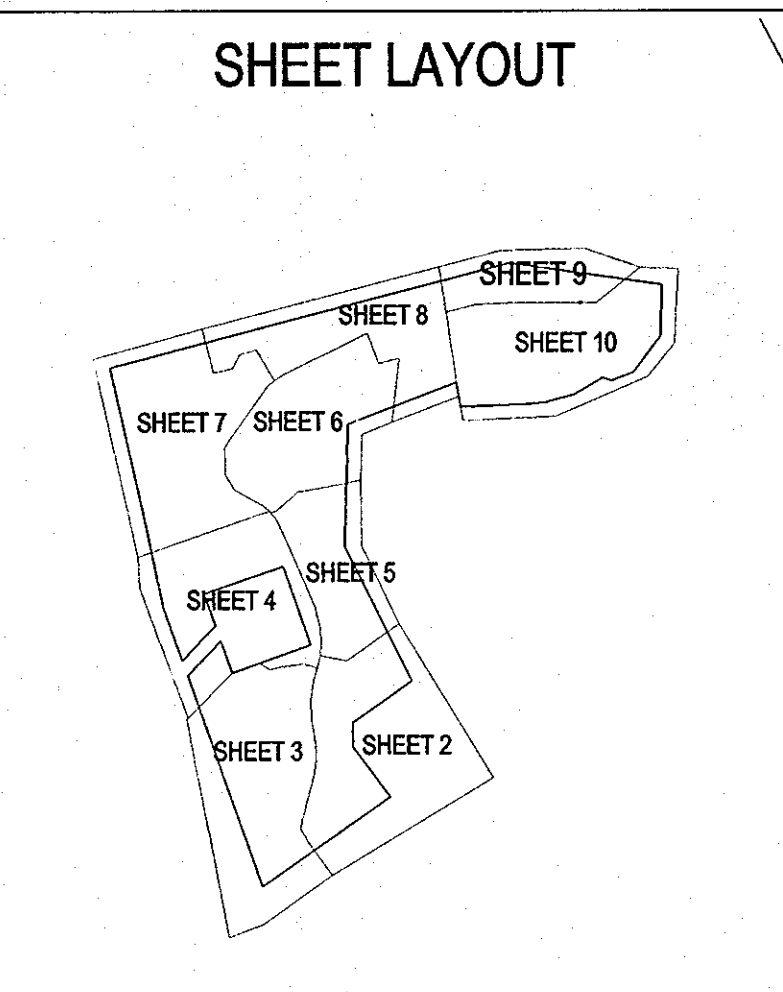
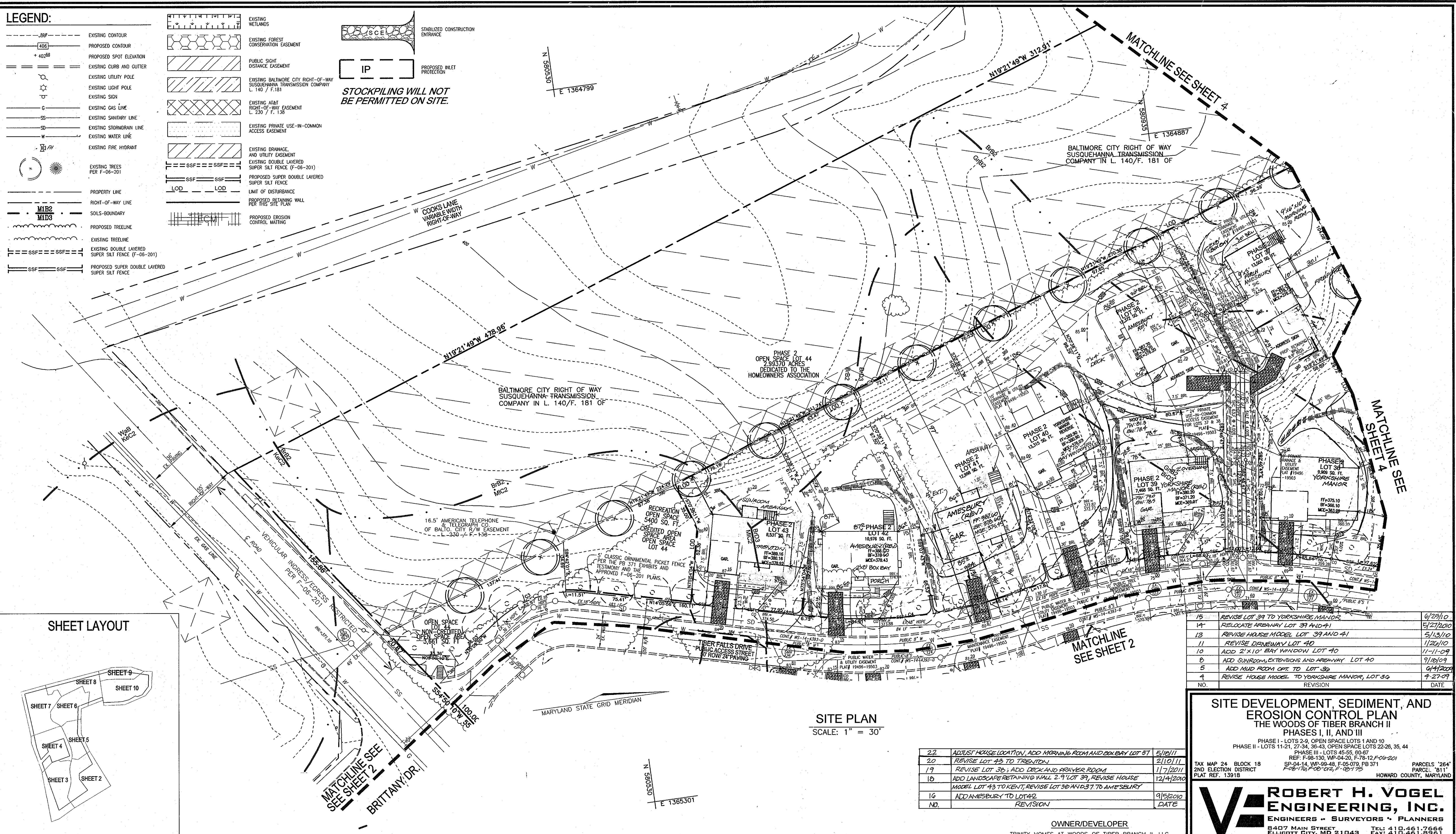
NOTE:
 1. CONTRACTOR TO DIRECT BACKYARD SWALE THROUGH SWALES TOWARD TIBER FALL DRIVE.
 2. DIRECT FRONT ROOF LEADERS TO RAINGARDEN FOR LOT 9. (SEE SHEET 12 FOR DETAILS.)
STOCKPILING WILL NOT BE PERMITTED ON SITE.
 THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: John R. Whitson
 Date: 7/23/08
 HOWARD SCD

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: SEPTEMBER 27, 2008

LEGEND:

- 100 --- EXISTING CONTOUR
- 406 --- PROPOSED CONTOUR
- + 402.88 PROPOSED SPOT ELEVATION
- == EXISTING CURB AND GUTTER
- o EXISTING UTILITY POLE
- o EXISTING LIGHT POLE
- o EXISTING SIGN
- G EXISTING GAS LINE
- SS EXISTING SANITARY LINE
- SD EXISTING STORMDRAIN LINE
- W EXISTING WATER LINE
- o EXISTING FIRE HYDRANT
- o EXISTING TREES PER F-06-201
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- M1B2 M1D3 SOILS-BOUNDARY
- PROPOSED TREETRINE
- EXISTING TREETRINE
- EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
- SSF --- SSF --- PROPOSED SUPER DOUBLE LAYERED SUPER SILT FENCE
- EXISTING WETLANDS
- EXISTING FOREST CONSERVATION EASEMENT
- PUBLIC SIGHT DISTANCE EASEMENT
- EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY L. 140 / F. 181
- EXISTING ALAT RIGHT-OF-WAY EASEMENT L. 230 / F. 138
- EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
- EXISTING DRAINAGE AND UTILITY EASEMENT
- EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
- PROPOSED SUPER DOUBLE LAYERED SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- PROPOSED RETAINING WALL PER THIS SITE PLAN
- PROPOSED EROSION CONTROL MATING
- STABILIZED CONSTRUCTION ENTRANCE
- IP PROPOSED INLET PROTECTION

STOCKPILING WILL NOT BE PERMITTED ON SITE.



SITE PLAN
SCALE: 1" = 30'

NO.	REVISION	DATE
22	ADJUST HOUSE LOCATION, ADD MORNING ROOM AND BOX BAY LOT 37	5/10/11
20	REVISE LOT 43 TO TRENTON	2/10/11
19	REVISE LOT 38; ADD DECK AND PRAYER ROOM	1/7/2011
18	ADD LANDSCAPE RETAINING WALL 2.9 LOT 39, REVISE HOUSE MODEL LOT 43 TO KENT; REVISE LOT 36 AND B37 TO AMESBURY	12/4/2010
16	ADD AMESBURY TO LOT 42	9/5/2010
15	REVISE LOT 39 TO YORKSHIRE MANOR	6/23/10
14	RELOCATE ARWAYWAY LOT 39 AND 41	5/27/2010
13	REVISE HOUSE MODEL LOT 39 AND 41	5/13/10
11	REVISE DENWAY LOT 40	1/20/10
10	ADD 2'x10' BAY WINDOW LOT 40	11-11-09
8	ADD SUNROOM, EXTENSIONS AND ARWAYWAY LOT 40	9/18/09
5	ADD MUD ROOM OPT. TO LOT 36	6/4/2009
4	REVISE HOUSE MODEL TO YORKSHIRE MANOR, LOT 36	7-27-09

OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023

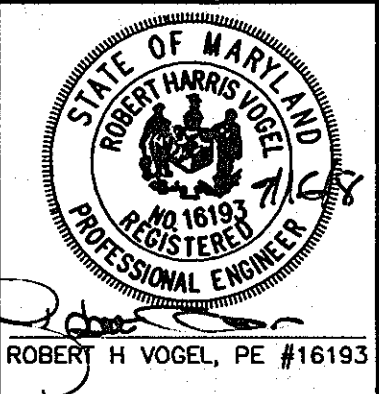
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: SEPTEMBER 27, 2008

NO.	REVISION	DATE
15	REVISE LOT 39 TO YORKSHIRE MANOR	6/23/10
14	RELOCATE ARWAYWAY LOT 39 AND 41	5/27/2010
13	REVISE HOUSE MODEL LOT 39 AND 41	5/13/10
11	REVISE DENWAY LOT 40	1/20/10
10	ADD 2'x10' BAY WINDOW LOT 40	11-11-09
8	ADD SUNROOM, EXTENSIONS AND ARWAYWAY LOT 40	9/18/09
5	ADD MUD ROOM OPT. TO LOT 36	6/4/2009
4	REVISE HOUSE MODEL TO YORKSHIRE MANOR, LOT 36	7-27-09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
THE WOODS OF TIBER BRANCH II
PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-98-130, WP-04-20, F-76-12, F-06-201
SP-04-14, WP-08-48, F-05-079, F-07-371
F-06-12, F-06-02, F-07-75
TAX MAP 24, BLOCK 18
2ND ELECTION DISTRICT
PLAT REF. 13918
PARCELS '264'
PARCEL '811'
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961



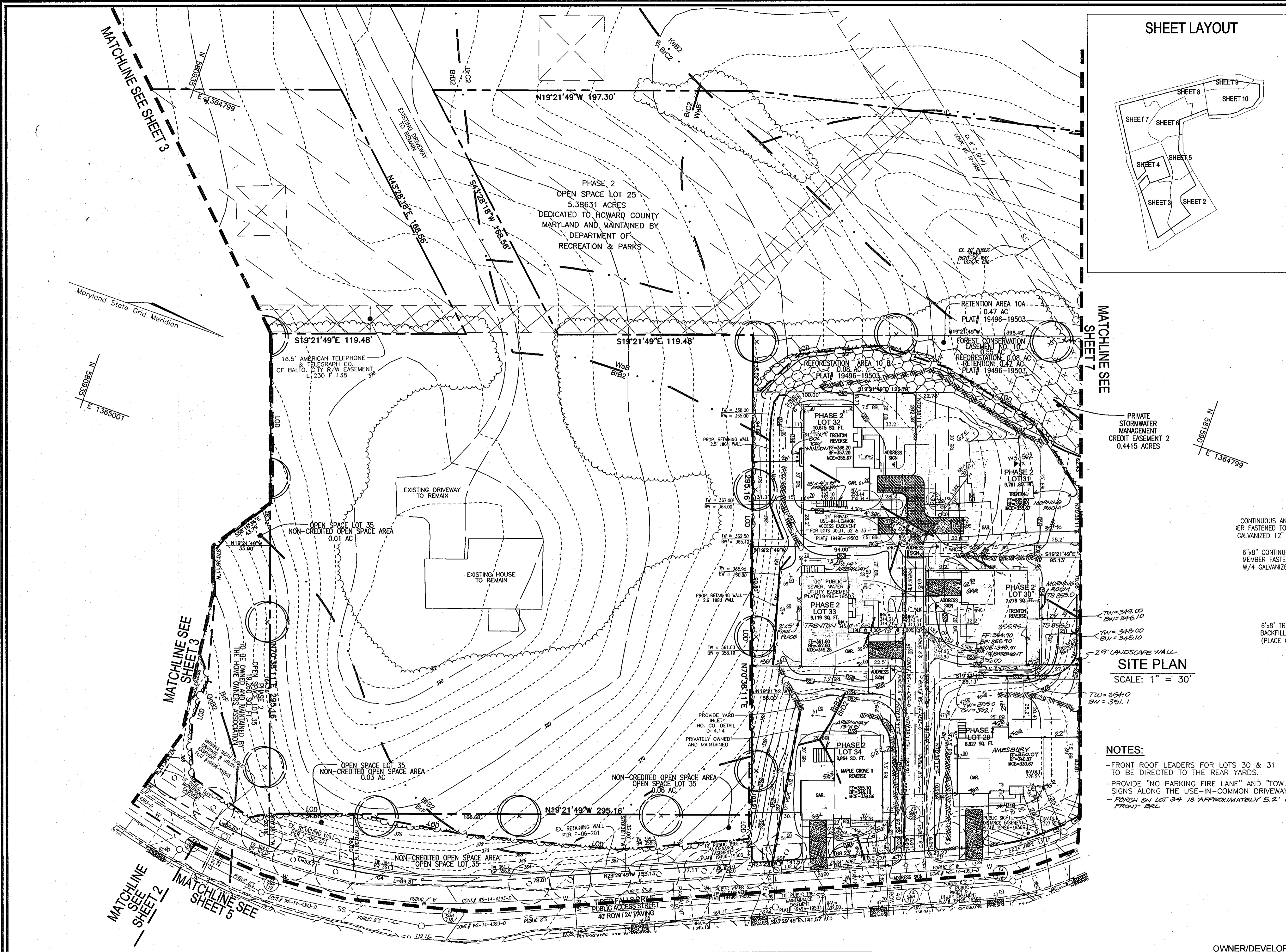
DESIGN BY: RV/RJ
DRAWN BY: RJ/JMR
CHECKED BY: RHW
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43
3 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

BY THE ENGINEER
I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF ENGINEER
ROBERT H. VOGEL, PE
DATE: 7/10/08

BY THE DEVELOPER
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
SIGNATURE OF DEVELOPER
DATE: 7-16-08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
SIGNATURE OF HOWARD SCD
DATE: 7/23/08



LEGEND:

	EXISTING CONTOUR		EXISTING AT-AT RIGHT-OF-WAY EASEMENT
	PROPOSED CONTOUR		EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
	EXISTING CURB AND GUTTER		EXISTING DRAINAGE AND UTILITY EASEMENT
	EXISTING UTILITY POLE		PROPOSED SUPER SILT FENCE
	EXISTING LIGHT POLE		EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
	EXISTING SIGN		EXISTING SUPER DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
	EXISTING GAS LINE		PROPOSED SUPER DOUBLE LAYERED SUPER SILT FENCE
	EXISTING SANITARY LINE		LIMIT OF DISTURBANCE
	EXISTING STORMWATER LINE		STABILIZED CONSTRUCTION ENTRANCE
	EXISTING WATER LINE		PROPOSED INLET PROTECTION
	EXISTING FIRE HYDRANT		PROPOSED RETAINING WALL PER THIS SITE PLAN
	EXISTING TREES PER F-06-201		EXISTING RETAINING WALL PER F-06-201
	PROPOSED LANDSCAPING		EXISTING WETLANDS
	LANDSCAPE BUFFER		EXISTING FOREST CONSERVATION EASEMENT
	PROPERTY LINE		PUBLIC SIGHT DISTANCE EASEMENT
	RIGHT-OF-WAY LINE		EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT
	SOILS BOUNDARY		
	PROPOSED EROSION CONTROL MATTING		
	PROPOSED TREELINE		
	EXISTING TREELINE		
	EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY 140 / F.181		

STOCKPILING WILL NOT BE PERMITTED ON SITE.

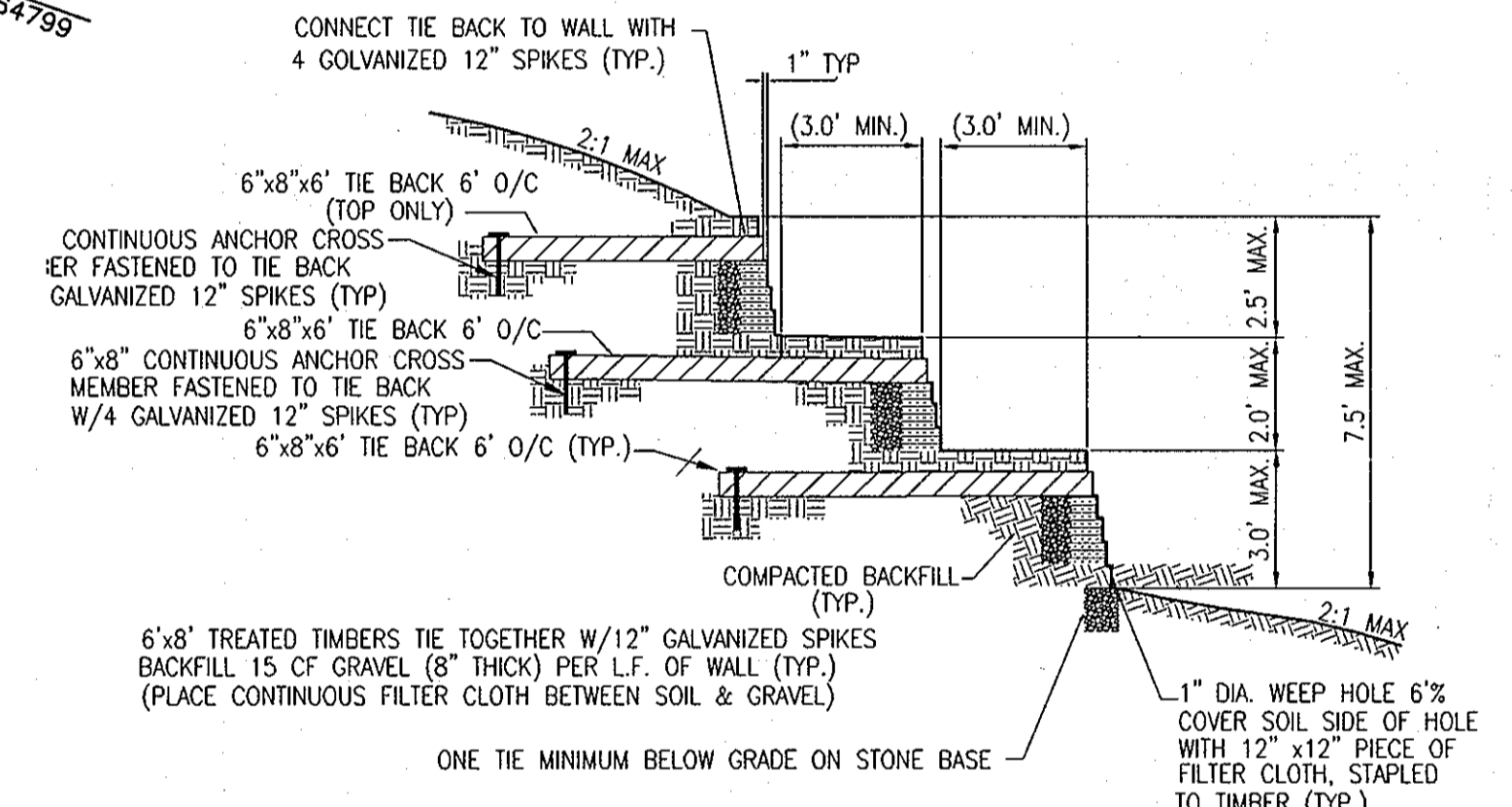
MATCHLINE SEE SHEET 7

PRIVATE STORMWATER MANAGEMENT CREDIT EASEMENT 2 0.4415 ACRES

SITE PLAN
SCALE: 1" = 30'

NOTES:

- FRONT ROOF LEADERS FOR LOTS 30 & 31 TO BE DIRECTED TO THE REAR YARDS.
- PROVIDE "NO PARKING FIRE LANE" AND "TOW AWAY ZONE" SIGNS ALONG THE USE-IN-COMMON DRIVEWAY
- PORCH ON LOT 34 IS APPROXIMATELY 5.2' OVER FRONT BRL



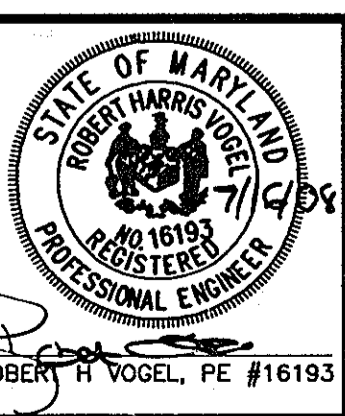
MAX 3' HIGH TIERED WALL DETAIL OR APPROVED EQUAL

NO.	REVISION	DATE
21	REVISE LOT 33 TO A TRENTON AND ADD AREAWAY; ADJUST LOCATION OF HOUSE LOT 30, ADD AREAWAY TO LOT 34	4/10/11
18	ADD BOX BAY WINDOW TO LOT 30 AND 32; REVISE LOT 33 TO AMESBURY	12/4/10
15	ADJUST HOUSE LOCATION AND ADD MORNING ROOM LOT 31	6/25/10
4	ADD AMESBURY MODEL TO LOT 29, REVISE F.F. ELEVATION	4-27-09
3	ADJUST HOUSE LOCATION LOT 34	4-2-09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN THE WOODS OF TIBER BRANCH II PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
 PHASE III - LOTS 45-55, 60-67
 REF: F-99-130, WF-04-20, F-78-12, F-04-201
 SP-04-14, WP-99-48, F-05-079, PB 371
 F-08-176, F-08-02, F-08-175
 TAX MAP 24 BLOCK 18
 2ND ELECTION DISTRICT
 PLAT REF: 13918
 PARCELS '264'
 PARCEL '811'
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961



DESIGN BY: RJ/RJ
 DRAWN BY: RJ/JMR
 CHECKED BY: RHV
 DATE: JANUARY 2008
 SCALE: AS SHOWN
 W.O. NO.: 03-43
 4 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/20/08

BY THE ENGINEER
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER: ROBERT H. VOGEL, PE
 DATE: 7/16/08

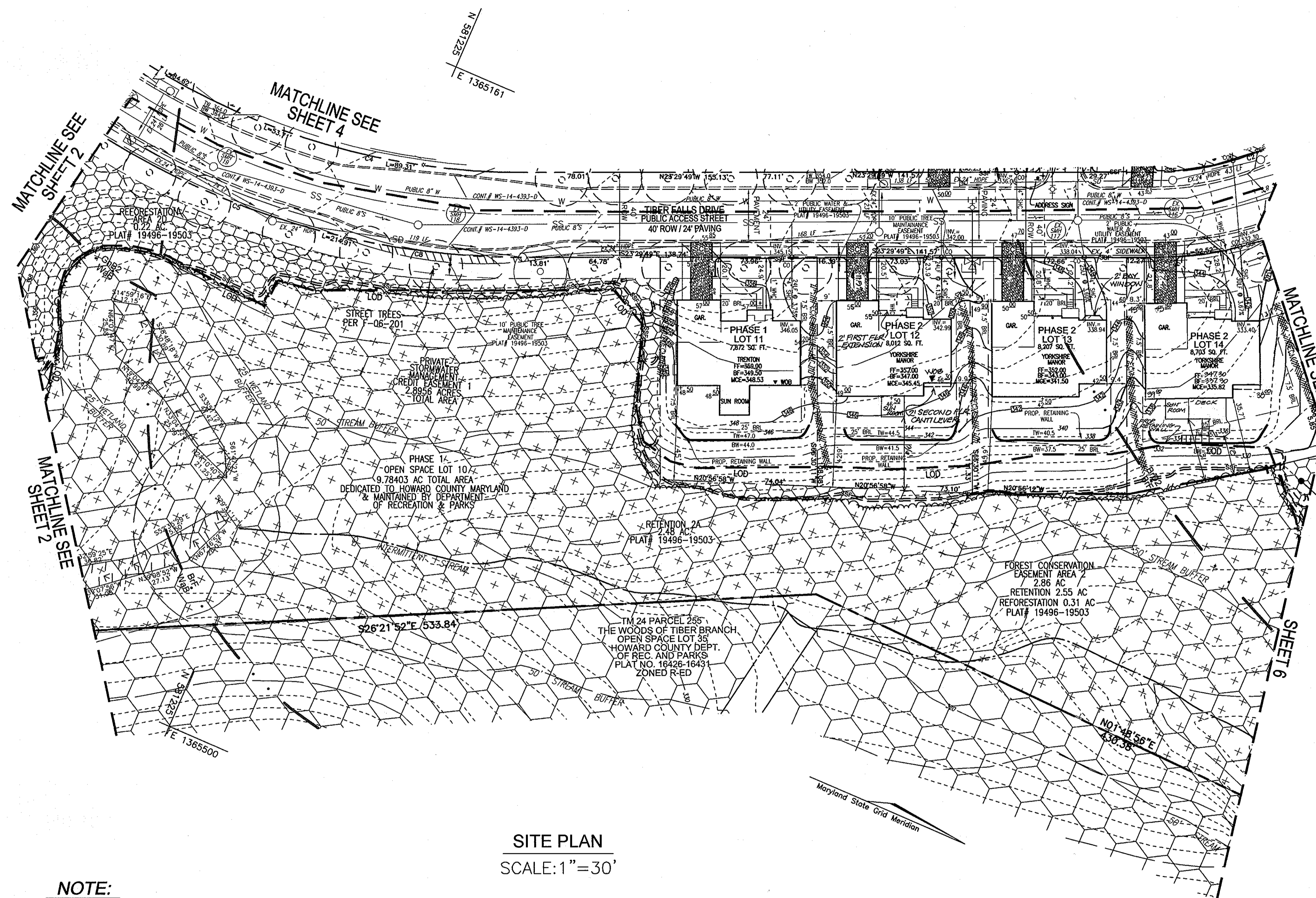
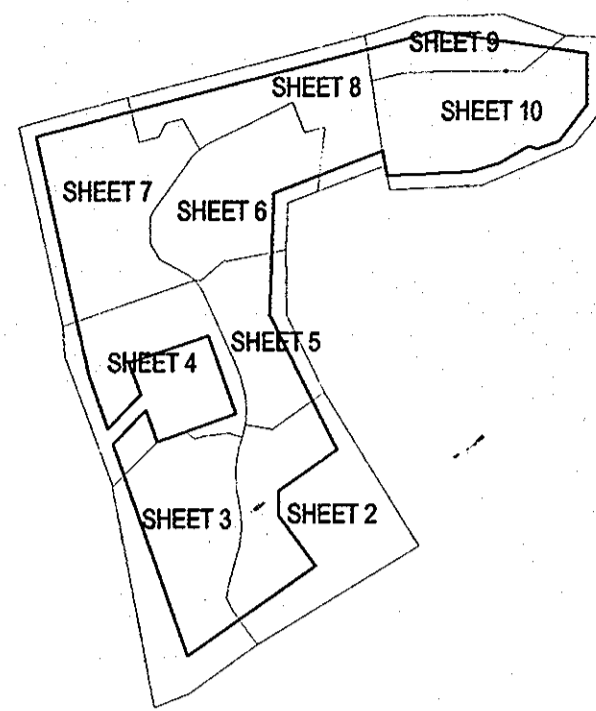
BY THE DEVELOPER
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.
 SIGNATURE OF DEVELOPER: Michael Plow
 DATE: 7-16-08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF HOWARD SCD: John L. Johnson
 DATE: 7/23/08

OWNER/DEVELOPER
 TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
 3875 PARK AVE., STE. 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: SEPTEMBER 27, 2008

SHEET LAYOUT



SITE PLAN
SCALE: 1" = 30'

NOTE:
AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR, A DOUBLE ROW OF SUPER SILT FENCE IS TO BE INSTALLED FOR LOTS 11 THROUGH 17.

OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 7/16/08

[Signature]
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 7/21/08

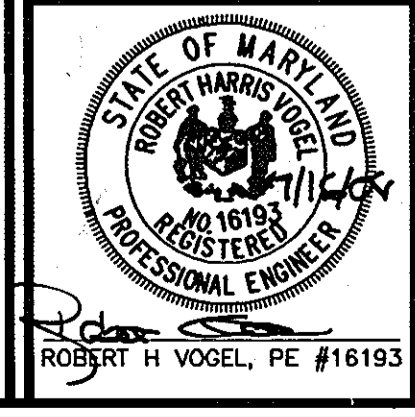
[Signature]
DIRECTOR
DATE: 7/21/08

BY THE ENGINEER
"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature]
SIGNATURE OF ENGINEER
ROBERT H. VOGEL, PE
DATE: 7/16/08

BY THE DEVELOPER
"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
[Signature]
SIGNATURE OF DEVELOPER
DATE: 7-16-08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
[Signature]
DATE: 7/23/08

PROFESSIONAL CERTIFICATION
"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: SEPTEMBER 27, 2008



DESIGN BY: RV/RJ
DRAWN BY: RJ/JMR
CHECKED BY: RHV
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

5 SHEET OF 12

- LEGEND:**
- 389 --- EXISTING CONTOUR
 - 408 --- PROPOSED CONTOUR
 - + 402.68 PROPOSED SPOT ELEVATION
 - ==== EXISTING CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING SIGN
 - EXISTING GAS LINE
 - EXISTING SANITARY LINE
 - EXISTING STORMDRAIN LINE
 - EXISTING WATER LINE
 - EXISTING FIRE HYDRANT
 - EXISTING TREES PER F-06-201
 - PROPERTY LINE
 - RIGHT-OF-WAY LINE
 - MIB2 / MID3 --- SOILS BOUNDARY
 - PROPOSED EROSION CONTROL MATTING
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SSF --- PROPOSED SUPER SILT FENCE
 - SSF --- EXISTING SILT FENCE (TO REMAIN) F-06-201
 - SSF --- PROPOSED DOUBLE LAYERED SUPER SILT FENCE
 - SSF --- EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
 - LOD --- LIMIT OF DISTURBANCE
 - STABILIZED CONSTRUCTION ENTRANCE
 - IP --- PROPOSED INLET PROTECTION
 - EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT
 - EXISTING WETLANDS
 - EXISTING FOREST CONSERVATION EASEMENT
 - PUBLIC SIGHT DISTANCE EASEMENT
 - EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY L 140 / F 151
 - EXISTING AT&T RIGHT-OF-WAY EASEMENT L 230 / F 138
 - EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
 - EXISTING GRASSMAINT AND UTILITY EASEMENT
 - PROPOSED RETAINING WALL PER THIS SITE PLAN

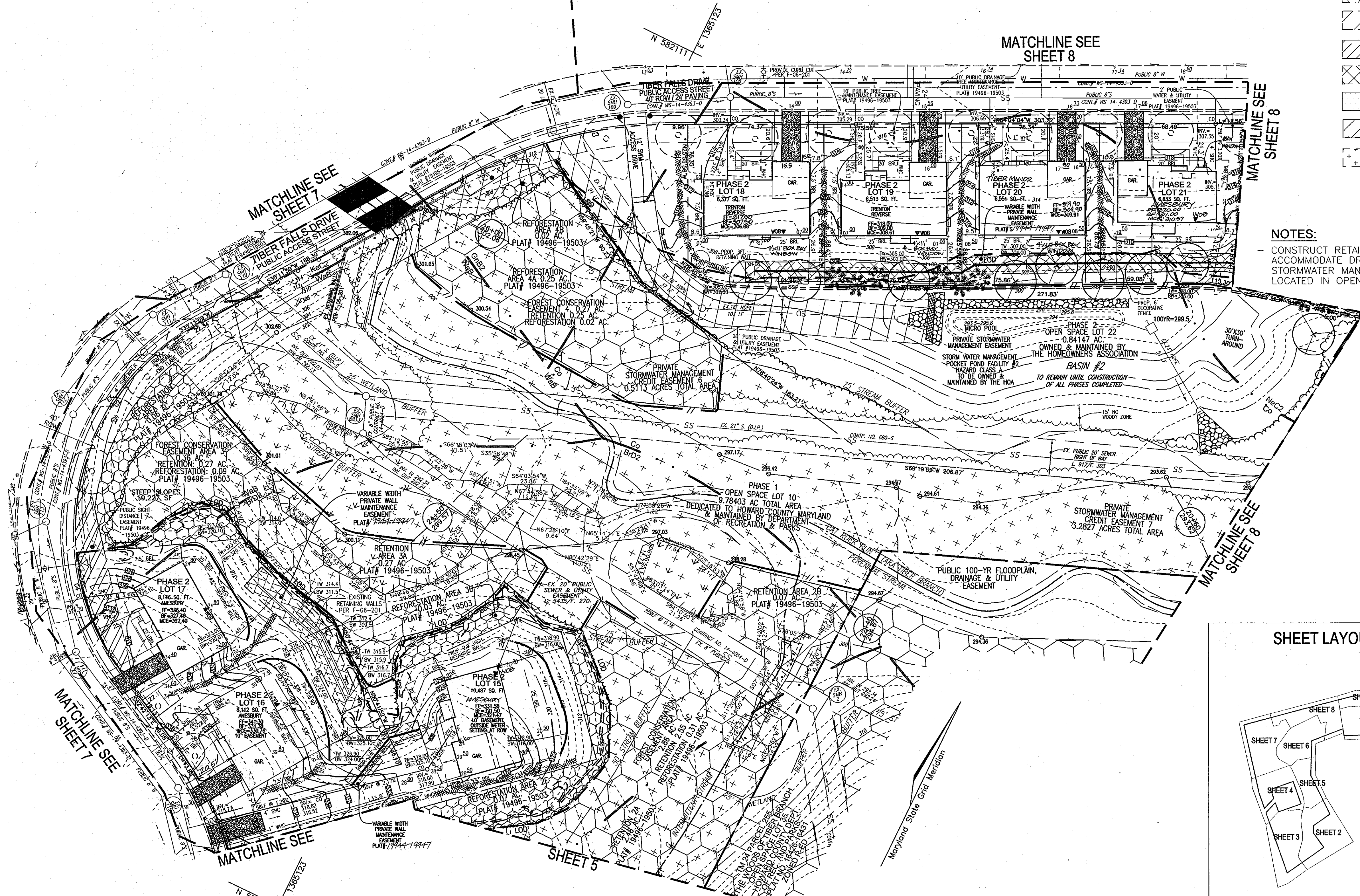
STOCKPILING WILL NOT BE PERMITTED ON SITE.

NO.	REVISION	DATE
11	ADD BAY WINDOW TO LOT 13 AND ADD OPTIONS TO LOT 12	1/26/10
8	ADD SUNROOM, EXTENSIONS AND REVISE ELEVATIONS, LOT 14	9/18/09
9	ADD WALKOUT SYMBOL TO LOT 12	4-2-09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
THE WOODS OF TIBER BRANCH II
PHASES I, II, AND III
PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-88-130, WP-04-20, F-78-12, F-08-201
SP-04-14, WP-03-48, F-05-070, F-03-371
F-08-176, F-08-012, F-08-173

TAX MAP 24 BLOCK 18 PARCELS '264'
2ND ELECTION DISTRICT PARCEL '811'
PLAT REF. 13918 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8961



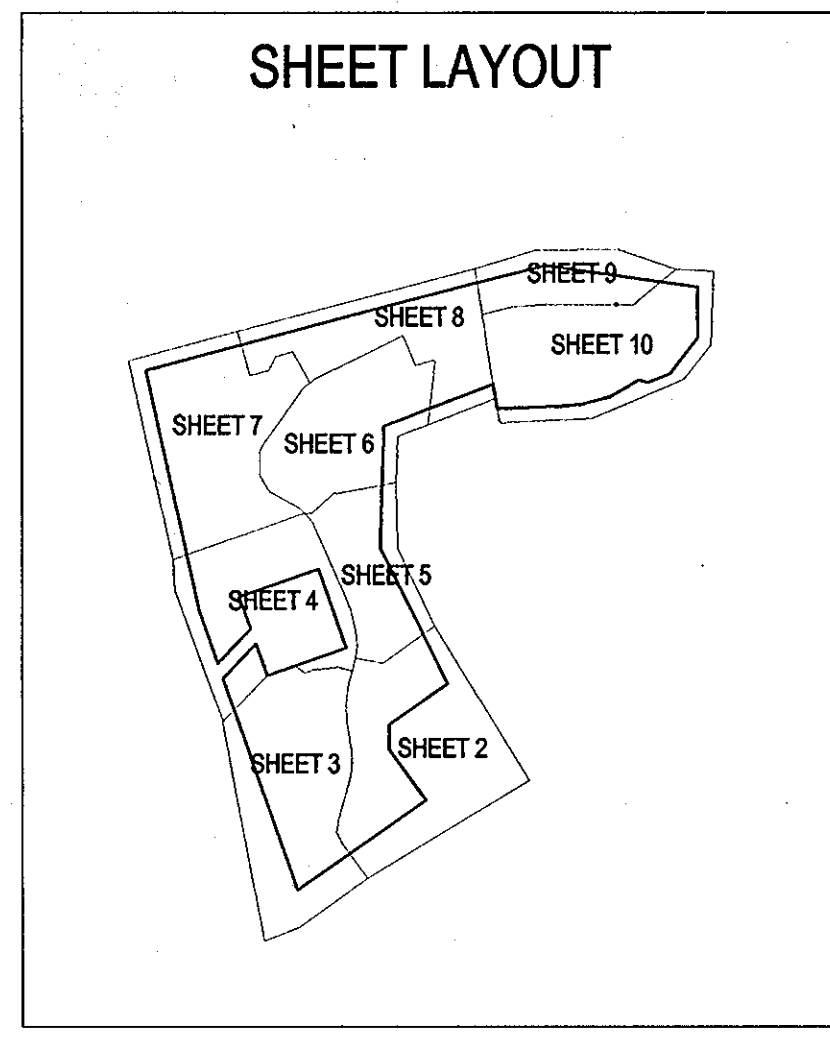
SITE PLAN
SCALE: 1" = 30'

NOTE:
AT THE DIRECTION OF THE SEDIMENT CONTROL INSPECTOR, A DOUBLE ROW OF SUPER SILT FENCE IS TO BE INSTALLED FOR LOTS 11 THROUGH 17.

LEGEND:

[Symbol]	EXISTING WETLANDS	[Symbol]	EXISTING CONTOUR
[Symbol]	EXISTING FOREST CONSERVATION EASEMENT	[Symbol]	PROPOSED CONTOUR
[Symbol]	PUBLIC SIGHT DISTANCE EASEMENT	[Symbol]	PROPOSED SPOT ELEVATION
[Symbol]	EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY L. 140 / F.181	[Symbol]	EXISTING CURB AND GUTTER
[Symbol]	EXISTING AT&T RIGHT-OF-WAY EASEMENT L. 230 / F. 138	[Symbol]	EXISTING UTILITY POLE
[Symbol]	EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT	[Symbol]	EXISTING LIGHT POLE
[Symbol]	EXISTING DRAINAGE AND UTILITY EASEMENT	[Symbol]	EXISTING SIGN
[Symbol]	EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT	[Symbol]	EXISTING GAS LINE
[Symbol]		[Symbol]	EXISTING SANITARY LINE
		[Symbol]	EXISTING STORMDRAIN LINE
		[Symbol]	EXISTING WATER LINE
		[Symbol]	EXISTING FIRE HYDRANT
		[Symbol]	EXISTING TREES PER F-06-201
		[Symbol]	PROPERTY LINE
		[Symbol]	RIGHT-OF-WAY LINE
		[Symbol]	SOILS BOUNDARY
		[Symbol]	PROPOSED EROSION CONTROL MATING
		[Symbol]	PROPOSED TREELINE
		[Symbol]	EXISTING TREELINE
		[Symbol]	PROPOSED DOUBLE LAYERED SUPER SILT FENCE
		[Symbol]	EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
		[Symbol]	PROPOSED SUPER SILT FENCE
		[Symbol]	EXISTING SILT FENCE (TO REMAIN) F-06-201
		[Symbol]	LIMIT OF DISTURBANCE
		[Symbol]	STABILIZED CONSTRUCTION ENTRANCE
		[Symbol]	PROPOSED INLET PROTECTION
		[Symbol]	PROPOSED RETAINING WALL PER THIS SITE PLAN
		[Symbol]	EXISTING RETAINING WALL PER F-06-201

NOTES:
- CONSTRUCT RETAINING WALL TO ACCOMMODATE DRAINAGE TO THE STORMWATER MANAGEMENT POND LOCATED IN OPEN SPACE LOT 22



NO.	REVISION	DATE
2/6	ADJUST HOUSE LOCATION LOT 16, ADD 10' X 7' SUNROOM	1/16/11
1/6	REVISE LOT 20 HOUSE TYPE TO TIBER MANOR	9/5/2010
1/1	REVISE LOT 21 TO AMESBURY HOUSE MODEL	1/26/10
10	ADD TWO 2' EXTENSIONS LOT 16	11-11-09
7	ADD BOX BAY WINDOW TO LOT 19	8/25/09
6	REVISE 2nd FLOOR ELEVATIONS AND ADD BOX BAY WINDOW TO LOT 16	7/27/09
5	REVISE HOUSE MODEL TO AMESBURY LOT 15	6/14/09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
THE WOODS OF TIBER BRANCH II
PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-99-130, WP-04-20, F-76-12, F-01-201
SP-04-14, WP-99-48, F-05-079, PB 371
F-00-176, F-08-02, F-08-175

TAX MAP 24 BLOCK 18
2ND ELECTION DISTRICT
PLAT REF. 13918

PARCELS '264'
PARCEL '811'
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8966

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
EXPIRATION DATE: SEPTEMBER 27, 2008

DESIGN BY: RV/RJ
DRAWN BY: RJ/JMR
CHECKED BY: RHV
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

6 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7/25/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

[Signature] 7/30/08
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

[Signature] 7/31/08
DIRECTOR
DATE

BY THE ENGINEER

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/15/08
SIGNATURE OF ENGINEER
ROBERT H. VOGEL, PE
DATE

BY THE DEVELOPER

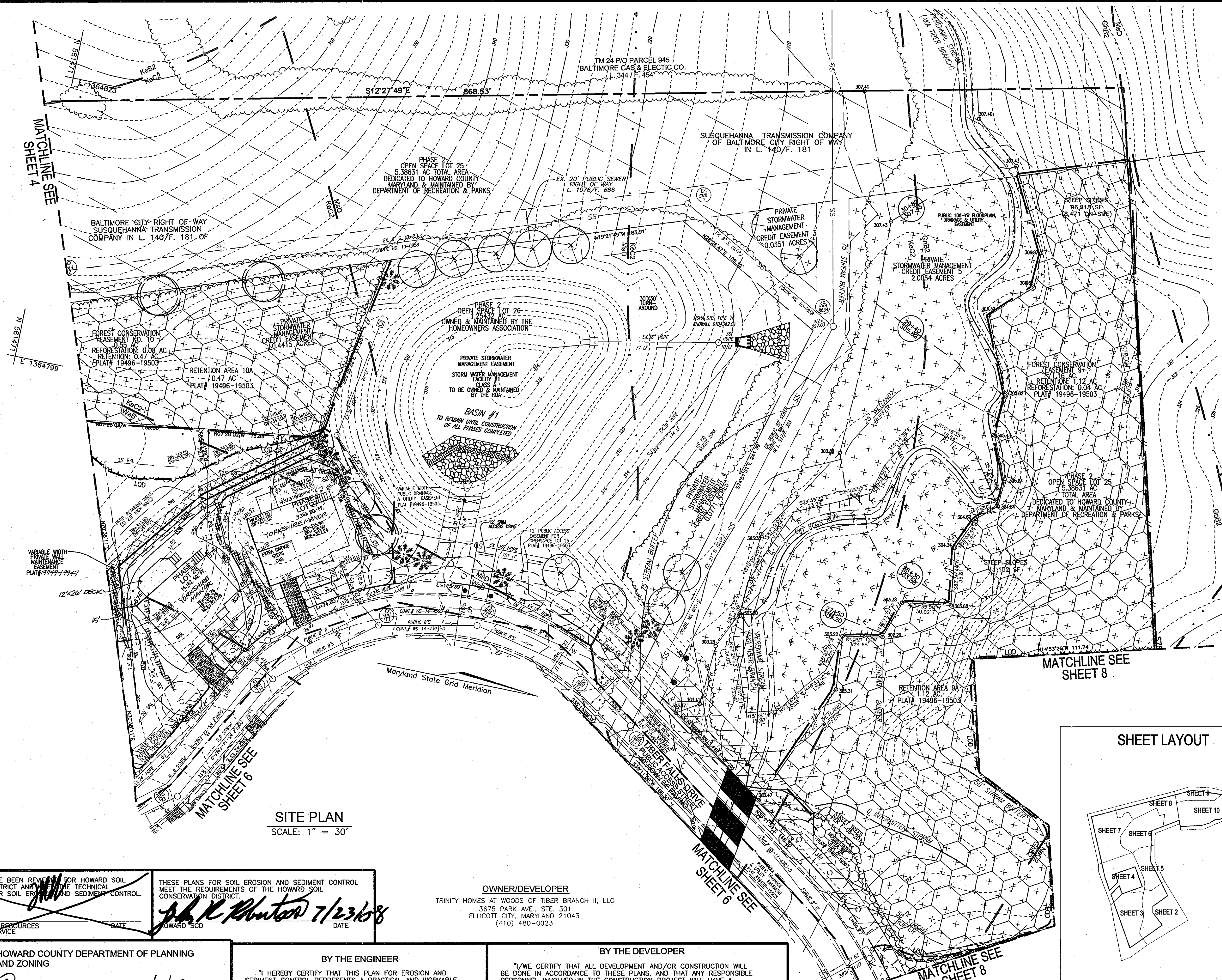
I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

[Signature] 7-16-08
SIGNATURE OF DEVELOPER
DATE

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 7/23/08
HOWARD SCD
DATE

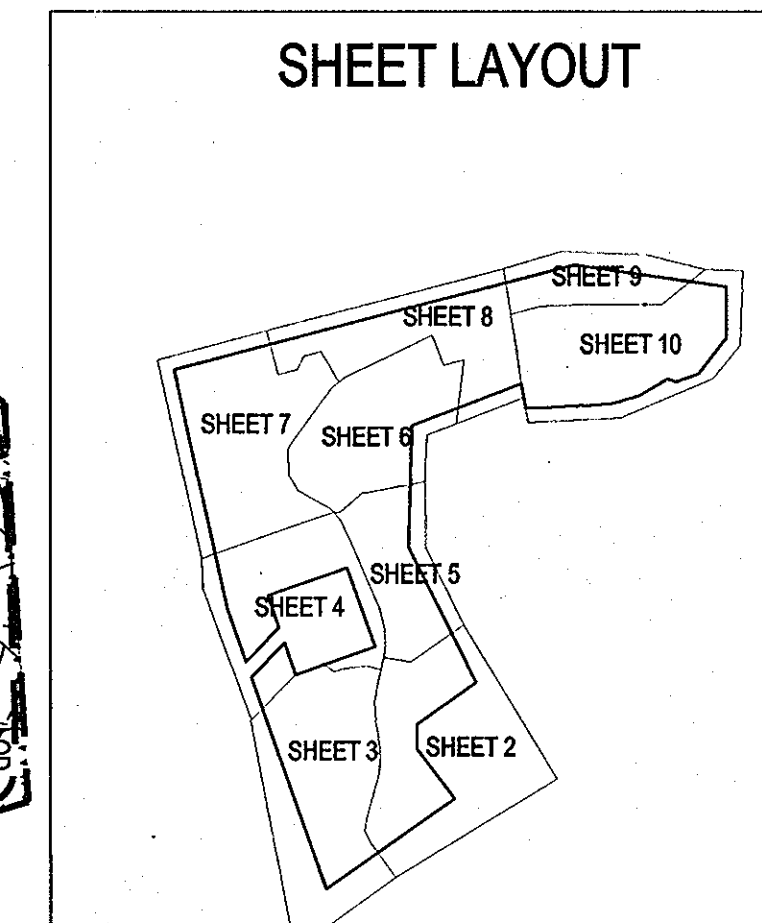
OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLICOTT CITY, MARYLAND 21043
(410) 480-0023



LEGEND:

SSF	PROPOSED DOUBLE LAYERED SUPER SILT FENCE	---	EXISTING CONTOUR
SSSF	EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)	---	PROPOSED CONTOUR
SSSF	PROPOSED SUPER SILT FENCE	---	PROPOSED SPOT ELEVATION
SSSF	EXISTING SUPER SILT FENCE (TO REMAIN) F-06-201	---	EXISTING CURB AND GUTTER
SSSF	EXISTING SLOPES	---	EXISTING UTILITY POLE
LOD	LIMIT OF DISTURBANCE	---	EXISTING LIGHT POLE
IP	PROPOSED INLET PROTECTION	---	EXISTING SIGN
---	STABILIZED CONSTRUCTION ENTRANCE	---	EXISTING GAS LINE
---	PROPOSED RETAINING WALL FOR THIS SITE PLAN	---	EXISTING SANITARY LINE
---	EXISTING RETAINING WALL PER F-06-201	---	EXISTING STORMDRAIN LINE
---	---	---	EXISTING WATER LINE
---	---	---	EXISTING FIRE HYDRANT
---	---	---	EXISTING TREES PER F-06-201
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	SOILS BOUNDARY
---	---	---	PROPOSED EROSION CONTROL MATING
---	---	---	PROPOSED TREELINE
---	---	---	EXISTING TREELINE
---	---	---	EXISTING WETLANDS
---	---	---	EXISTING FOREST CONSERVATION EASEMENT
---	---	---	PUBLIC SIGHT DISTANCE EASEMENT
---	---	---	EXISTING BALTIMORE CITY RIGHT-OF-WAY EASEMENT L. 140/F. 181
---	---	---	EXISTING AT&T RIGHT-OF-WAY EASEMENT L. 230/F. 138
---	---	---	EXISTING PRIVATE USE-IN-COMMUN ACCESS EASEMENT
---	---	---	EXISTING DRAINAGE AND UTILITY EASEMENT
---	---	---	EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT

STOCKPILING WILL NOT BE PERMITTED ON SITE.



SITE PLAN
SCALE: 1" = 30'

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Blanton 7/23/08
DATE

OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 7/5/08
DATE

[Signature] 7/30/08
DATE

[Signature] 7/31/08
DATE

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 7/16/08
DATE

BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."

[Signature] 7-16-08
DATE

NO.	REVISION	DATE
25	REVISE LOT 27 HOUSE MODEL TO YORKSHIRE MANOR	9/29/2011
23	REVISE LOT 27 HOUSE MODEL TO TRENTON	7/11/2011
18	REVISE LOT 27 HOUSE MODEL TO YORKSHIRE MANOR	12/4/10
4	REVISE LOT 28 MODEL TO YORKSHIRE MANOR W/DECK	4-21-09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
THE WOODS OF TIBER BRANCH II
PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67

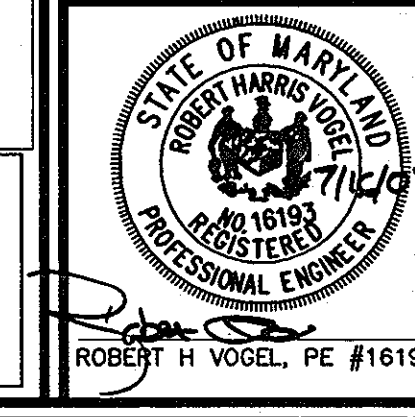
TAX MAP 24 BLOCK 18
2ND ELECTION DISTRICT
PLAT REF. 13918

PARCELS '264'
PARCEL '811'
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS

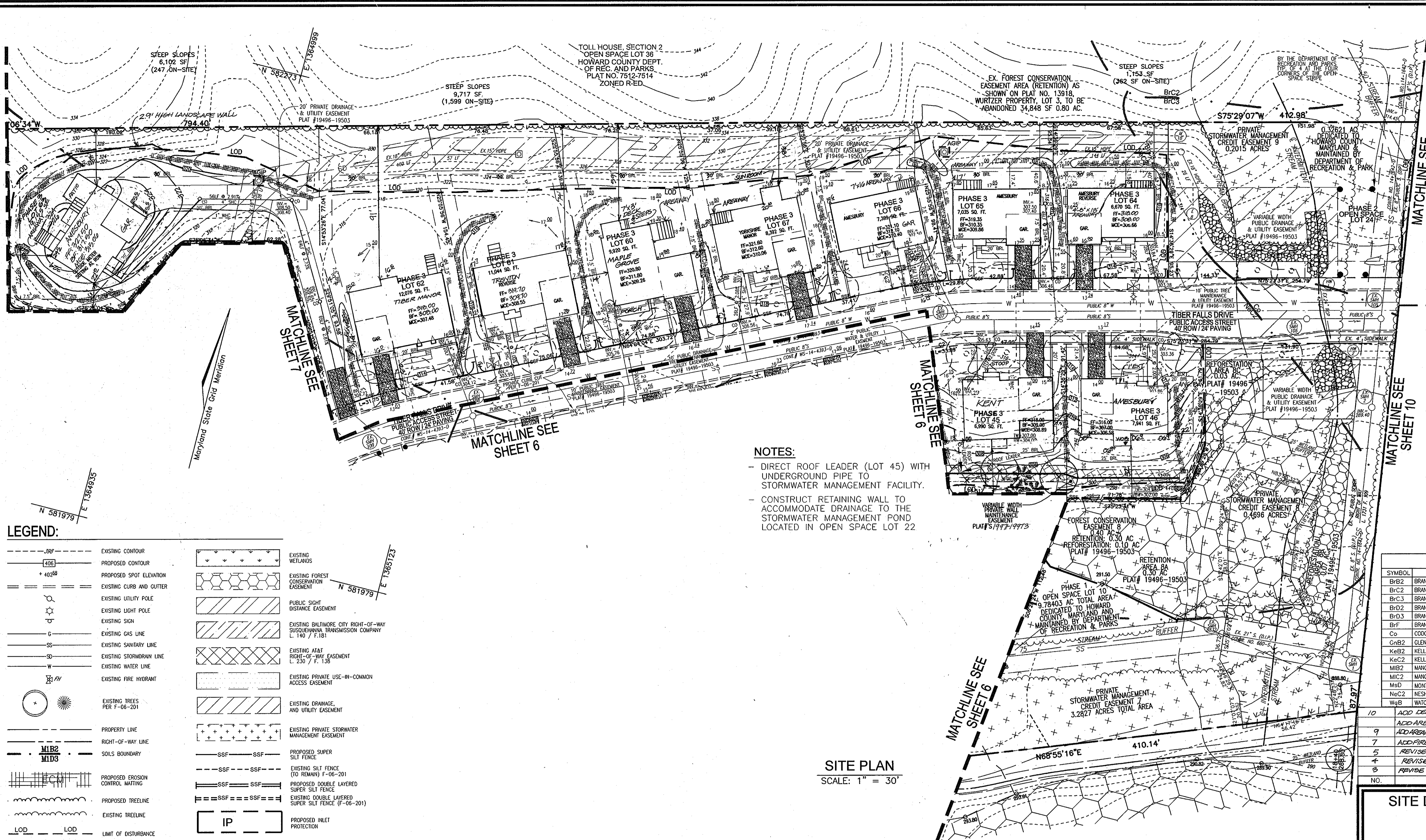
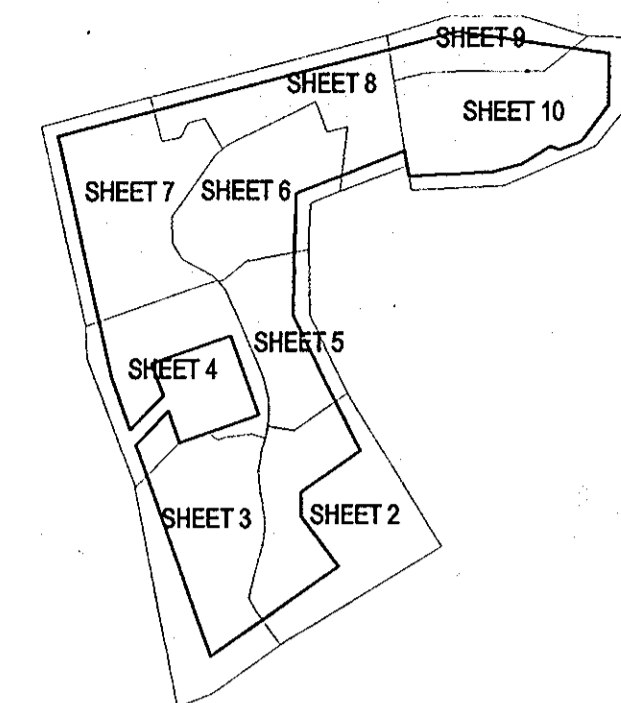
8407 MAIN STREET
ELLCOTT CITY, MD 21043

TEL: 410.461.7666
FAX: 410.461.8961



DESIGN BY: RV/RJ
DRAWN BY: RJ/JMR
CHECKED BY: RHW
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

7 SHEET OF 12



NOTES:

- DIRECT ROOF LEADER (LOT 45) WITH UNDERGROUND PIPE TO STORMWATER MANAGEMENT FACILITY.
- CONSTRUCT RETAINING WALL TO ACCOMMODATE DRAINAGE TO THE STORMWATER MANAGEMENT POND LOCATED IN OPEN SPACE LOT 22.

SITE PLAN
SCALE: 1" = 30'

LEGEND:

	EXISTING CONTOUR		EXISTING WETLANDS
	PROPOSED CONTOUR		EXISTING FOREST CONSERVATION EASEMENT
	PROPOSED SPOT ELEVATION		PUBLIC SIGHT DISTANCE EASEMENT
	EXISTING CURB AND GUTTER		EXISTING BALTIMORE CITY RIGHT-OF-WAY SUSQUEHANNA TRANSMISSION COMPANY L. 140 / F. 181
	EXISTING UTILITY POLE		EXISTING AT-AT RIGHT-OF-WAY EASEMENT L. 230 / F. 135
	EXISTING LIGHT POLE		EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
	EXISTING SIGN		EXISTING DRAINAGE AND UTILITY EASEMENT
	EXISTING GAS LINE		EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT
	EXISTING SANITARY LINE		PROPOSED SUPER SILT FENCE
	EXISTING STORMDRAIN LINE		EXISTING SILT FENCE (TO REMAIN) F-06-201
	EXISTING WATER LINE		PROPOSED DOUBLE LAYERED SUPER SILT FENCE
	EXISTING FIRE HYDRANT		EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
	EXISTING TREES PER F-06-201		PROPOSED INLET PROTECTION
	PROPERTY LINE		PROPOSED RETAINING WALL PER THIS SITE PLAN
	RIGHT-OF-WAY LINE		EXISTING RETAINING WALL PER F-06-201
	SOILS BOUNDARY		
	PROPOSED EROSION CONTROL MATTING		
	PROPOSED TREE LINE		
	EXISTING TREE LINE		
	LIMIT OF DISTURBANCE		
	STABILIZED CONSTRUCTION ENTRANCE		

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	GROUP
BbB2	BRANDYWINE LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
BcC2	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	C
BcC3	BRANDYWINE LOAM, 8 TO 15 PERCENT SLOPES, SEVERELY ERODED	C
BdD2	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, MODERATELY ERODED	C
BdD3	BRANDYWINE LOAM, 15 TO 25 PERCENT SLOPES, SEVERELY ERODED	C
BfF	BRANDYWINE LOAM, 25 TO 60 PERCENT SLOPES	C
Co	CODORUS SILT LOAM	C
GhG2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
KeK2	KELLY SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	D
KeK3	KELLY SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	D
MiM2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MiM3	MANOR LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
MsD	MONTALO AND RELAY VERY STONY SILT LOAMS, 3 TO 25 PERCENT SLOPES	C
NcC2	NESHAMINY SILT LOAM, 8 TO 15 PERCENT SLOPES, MODERATELY ERODED	B
WaB	WATCHUNG SILT LOAM, 3 TO 8 PERCENT SLOPES	D

NO.	REVISION	DATE
10	ADD DECK & STEPS TO LOT 60; REVISE HOUSE MODEL LOT 63;	11-11-09
9	ADD AREAWAY LOT 69; ADD 2' EXTENSIONS LOT 64	
8	ADD AREAWAY AND SUNROOM TO LOT 67; REVISE LOT 60 TO MARLE GROVE	10/10/09
7	ADD FIRE PLACE, 1' EXT. AND 2' EXT. FRONT OF LOT 46	8/25/09
5	REVISE HOUSE MODEL TO TRENTON, LOT 61	6/4/09
4	REVISE HOUSE MODEL TO ANESBURY, LOT 46	4-27-09
3	REVISE LOT 62 HOUSE MODEL TO TIBER MANOR	4-2-09

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN THE WOODS OF TIBER BRANCH II PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
 PHASE III - LOTS 45-55, 80-87
 REF: F-08-130, WP-04-20, F-78-12, F-06-201
 SP-04-14, WP-99-48, F-05-079, PB 371
 F-06-76, F-08-012, F-08-175
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043
 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RV/RJ
 DRAWN BY: RJ/JMR
 CHECKED BY: RHV
 DATE: JANUARY 2008
 SCALE: AS SHOWN
 W.O. NO.: 03-43

8 SHEET OF 12

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/25/08

CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature]
 DATE: 7/23/08

DIRECTOR
 DATE: 7/21/08

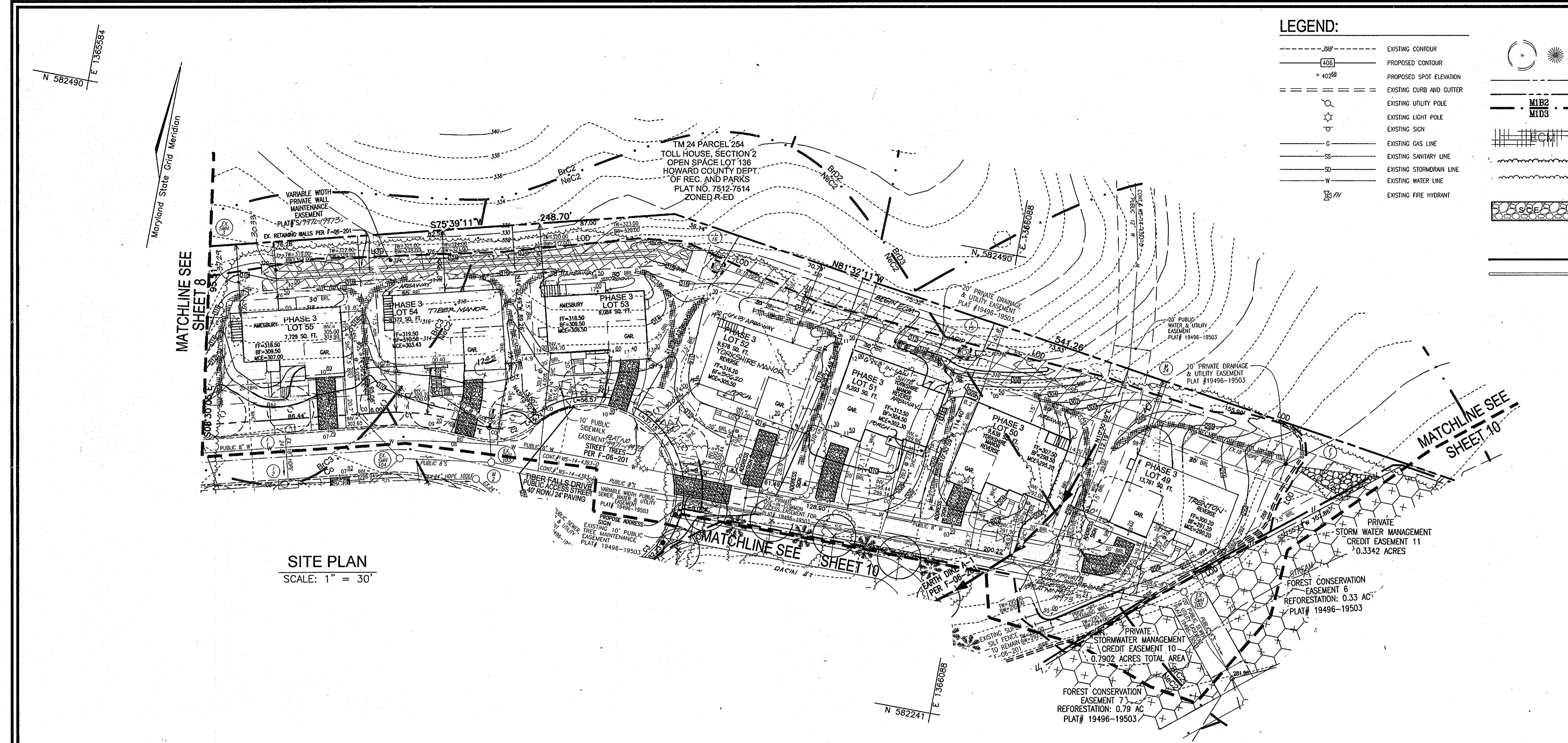
BY THE ENGINEER
 "I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 [Signature]
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL, PE
 DATE: 7/15/08

BY THE DEVELOPER
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT."
 [Signature]
 SIGNATURE OF DEVELOPER
 DATE: 7-16-08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 JOHN R. ROBERTSON
 HOWARD SCD
 DATE: 7/23/08

OWNER/DEVELOPER
 TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
 3675 PARK AVE., STE. 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

PROFESSIONAL CERTIFICATION
 "I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: SEPTEMBER 27, 2008"



SITE PLAN
SCALE: 1" = 30'

LEGEND:

	EXISTING CONTOUR		EXISTING TREES PER F-06-201
	PROPOSED CONTOUR		PROPERTY LINE
	PROPOSED SPOT ELEVATION		RIGHT-OF-WAY LINE
	EXISTING CURB AND GUTTER		SOILS BOUNDARY
	EXISTING UTILITY POLE		PROPOSED EROSION CONTROL MATTING
	EXISTING LIGHT POLE		PROPOSED TREE LINE
	EXISTING SIGN		EXISTING TREE LINE
	EXISTING GAS LINE		STABILIZED CONSTRUCTION ENTRANCE
	EXISTING SANITARY LINE		PROPOSED RETAINING WALL PER THIS SITE PLAN
	EXISTING STORM DRAIN LINE		EXISTING RETAINING WALL PER F-06-201
	EXISTING WATER LINE		PROPOSED SUPER SILT FENCE
	EXISTING FIRE HYDRANT		EXISTING SILT FENCE (TO REMAIN) F-06-201
			PROPOSED DOUBLE LAYERED SUPER SILT FENCE
			EXISTING DOUBLE LAYERED SUPER SILT FENCE (F-06-201)
			LIMIT OF DISTURBANCE
			PROPOSED INLET PROTECTION

STOCKPILING WILL NOT BE PERMITTED ON SITE.

BY THE ENGINEER

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 7/16/08
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL, PE

BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

Michael Flew 7-16-08
SIGNATURE OF DEVELOPER DATE

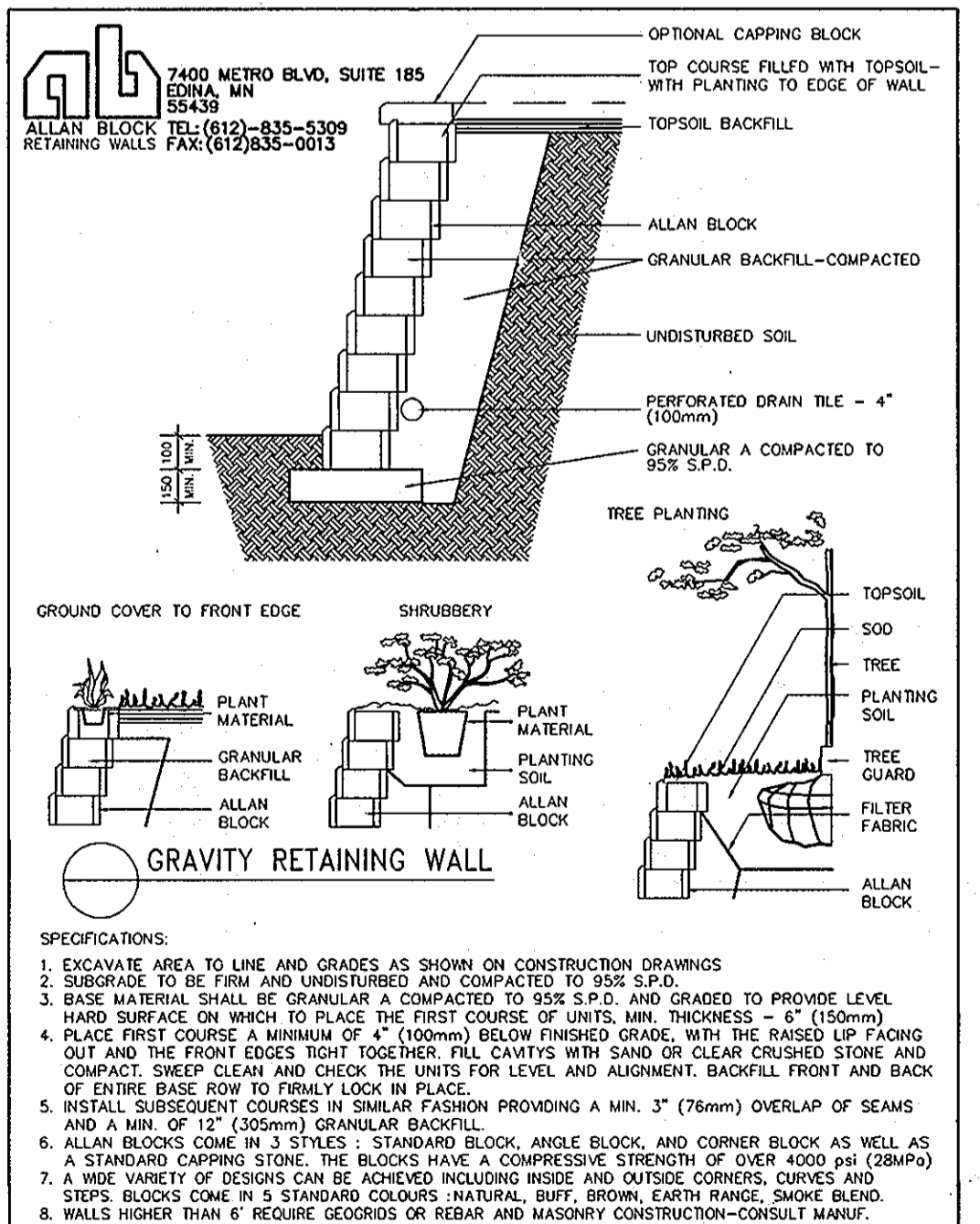
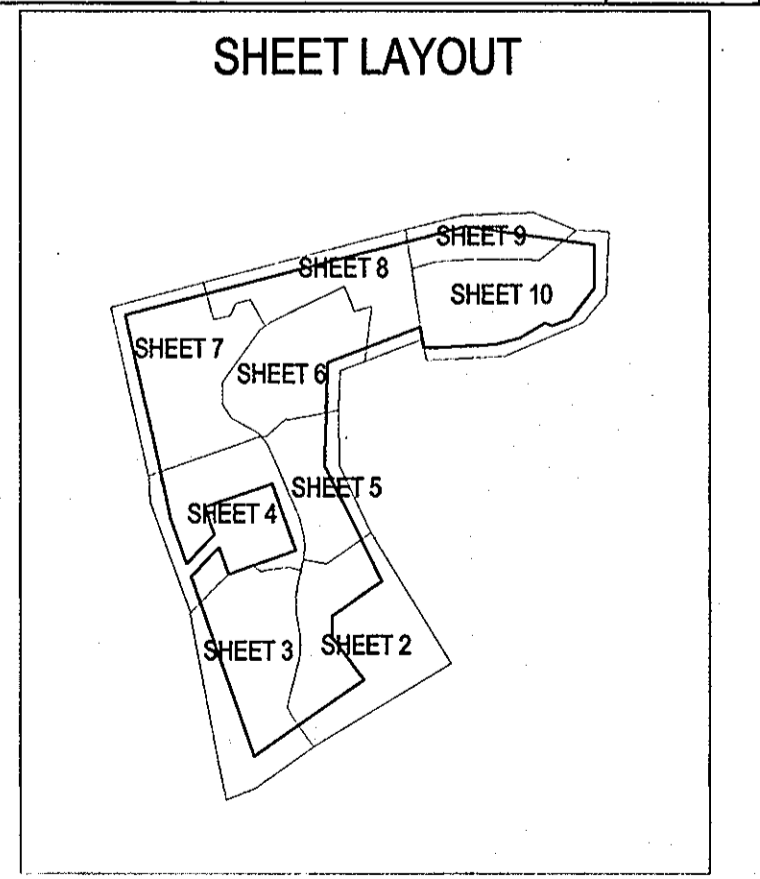
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Michael Flew 7/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Andrew Smith 7/20/08
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

David A. Leigh 7/16/08
DIRECTOR DATE

NO.	REVISION	DATE
27	REVISE DIMENSION LABELS LOT 55	11/11/11
26	REVISE LOT 55; ADD SIX ROOM	9/29/2011
18	REVISE HOUSE LOT 55	12/4/2010
17	REVISE LOT 53 TO ADD SUNROOM, ARBWAY & GAR. EXT.	11-4-10



3" HIGH WALL OR APPROVED EQUAL

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: SEPTEMBER 27, 2008

OWNER/DEVELOPER
TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELLCOTT CITY, MARYLAND 21043
(410) 480-0023

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Hunter 7/23/08
DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

USDA NATURAL RESOURCES CONSERVATION SERVICE DATE

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN THE WOODS OF TIBER BRANCH II PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-88-130, WP-04-20, F-78-12, F-06-201
SP-04-14, WP-05-48, F-05-079, F-03-371
F-06-176, F-06-018, F-06-175

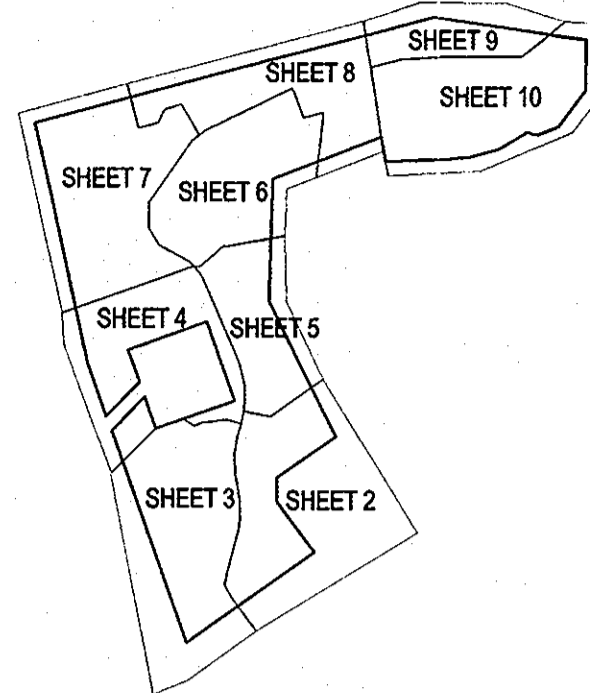
TAX MAP 24 BLOCK 18 PARCELS '264'
2ND ELECTION DISTRICT PARCEL '811'
PLAT REF. 13918 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8966

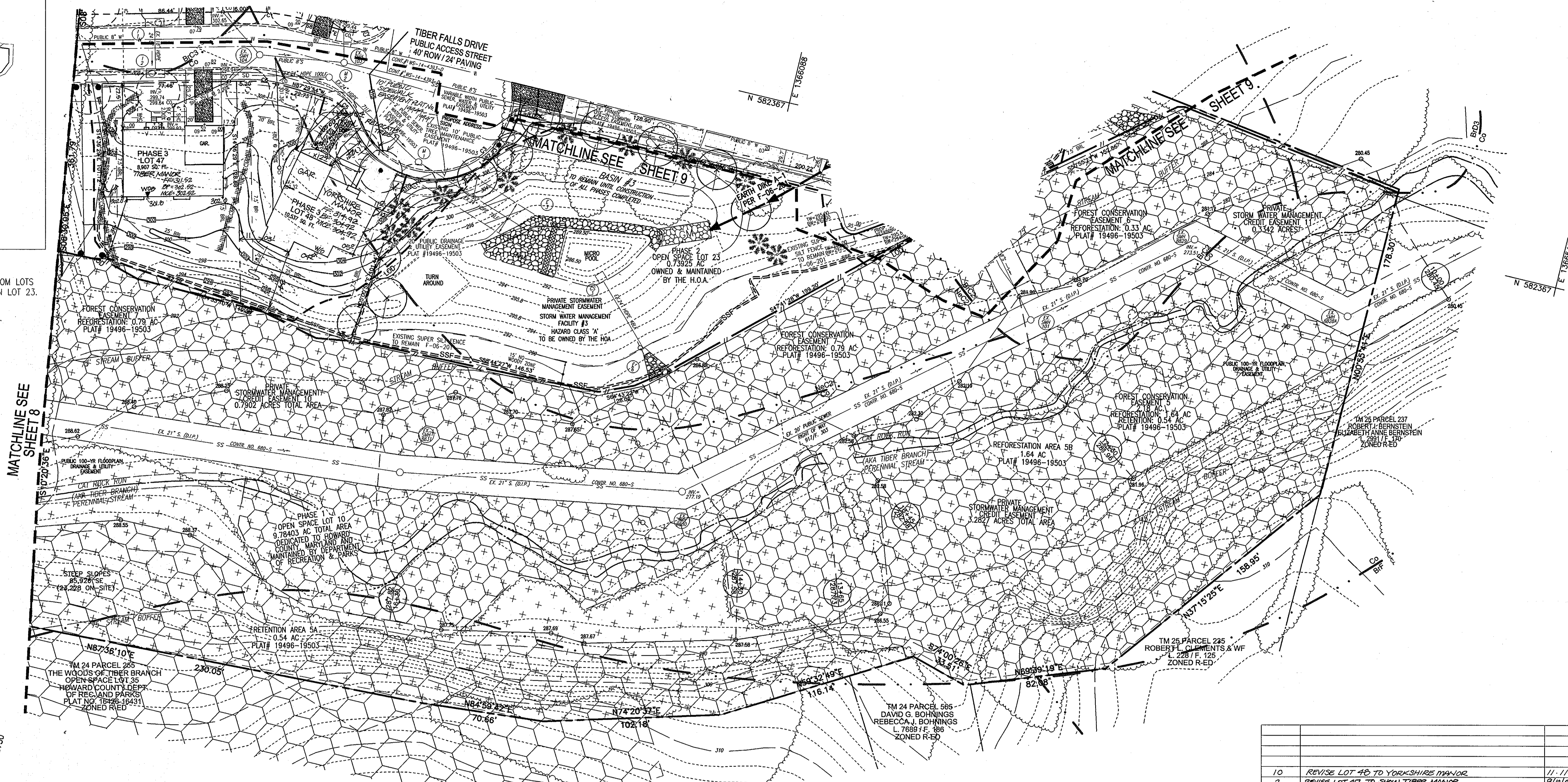
DESIGN BY: RV/RJ
DRAWN BY: RJ/LMR
CHECKED BY: RHV
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

9 SHEET OF 12

SHEET LAYOUT



NOTES:
 - CONTRACTOR TO DIRECT DRAINAGE FROM LOTS 47 & 48 TO DRAIN TO THE POND ON LOT 23.



LEGEND:

	EXISTING CONTOUR		EXISTING TREES PER F-06-201		EXISTING FOREST CONSERVATION EASEMENT
	PROPOSED CONTOUR		PROPERTY LINE		PUBLIC SIGHT DISTANCE EASEMENT
	PROPOSED SPOT ELEVATION		RIGHT-OF-WAY LINE		EXISTING BALTIMORE CITY RIGHT-OF-WAY
	EXISTING CURB AND GUTTER		SOILS BOUNDARY		EXISTING AT&T RIGHT-OF-WAY EASEMENT
	EXISTING UTILITY POLE		PROPOSED EROSION CONTROL MATTING		EXISTING PRIVATE USE-IN-COMMON ACCESS EASEMENT
	EXISTING LIGHT POLE		PROPOSED TREE LINE		EXISTING DRAINAGE AND UTILITY EASEMENT
	EXISTING SIGN		EXISTING TREE LINE		STABILIZED CONSTRUCTION ENTRANCE
	EXISTING GAS LINE		EXISTING WETLANDS		
	EXISTING SANITARY LINE		EXISTING PRIVATE STORMWATER MANAGEMENT EASEMENT		
	EXISTING STORMDRAIN LINE		LIMIT OF DISTURBANCE		
	EXISTING WATER LINE				
	EXISTING FIRE HYDRANT				
	PROPOSED RETAINING WALL PER THIS SITE PLAN				

STOCKPILING WILL NOT BE PERMITTED ON SITE.

SITE PLAN
 SCALE: 1" = 30'

NO.	REVISION	DATE
10	REVISE LOT 48 TO YORKSHIRE MANOR	11-11-09
2	REVISE LOT 47 TO SHOW TIBER MANOR	9/19/08

SITE DEVELOPMENT, SEDIMENT, AND EROSION CONTROL PLAN
 THE WOODS OF TIBER BRANCH II
 PHASES I, II, AND III
 PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
 PHASE III - LOTS 45-55, 60-67
 REF: F-98-130, WP-04-20, F-78-12, F-06-201
 SP-04-14, WP-99-46, F-05-078, PB-371
 F-08-176, F-08-016, F-08-179
 TAX MAP 24, BLOCK 18
 2ND ELECTION DISTRICT
 PLAT REF. 13918
 PARCELS 1264
 PARCEL 811
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION

 CHIEF, DIVISION OF LAND DEVELOPMENT

 DIRECTOR

BY THE ENGINEER
 I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL, PE
 DATE: 7/23/08

BY THE DEVELOPER
 I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

 SIGNATURE OF DEVELOPER
 DATE: 7-16-08

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

 JOHN K. RINTOUL
 HOWARD SCD
 DATE: 7/23/08

OWNER/DEVELOPER
 TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
 3675 PARK AVE., STE. 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023
PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193
 EXPIRATION DATE: SEPTEMBER 27, 2008

DESIGN BY: RV/RJ
 DRAWN BY: RJ/UMR
 CHECKED BY: RHV
 DATE: JANUARY 2008
 SCALE: AS SHOWN
 W.O. NO.: 03-43

10 SHEET OF 12
 SDP-08-051

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

DETAIL 22 - SILT FENCE

DETAIL 33 - SUPER SILT FENCE

DETAIL 30 - EROSION CONTROL MATTING

DETAIL 23B - AT GRADE INLET PROTECTION

DETAIL 1 - EARTH DIKE

CONSTRUCTION SPECIFICATIONS

- LENGTH - MINIMUM OF 50' (30' FOR A SINGLE RESIDENCE LOT).
- WIDTH - 10" MINIMUM, SHOULD BE PLACED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
- GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE STAPLES. FAMILY RESIDENCES TO USE GEOTEXTILE.
- STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE THE ENTRANCE.
- SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE FILTERED THROUGH THE ENTRANCE MAINTAINING POSITIVE DRAINAGE. PIPES INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A HORIZONTAL BEAM WITH 2" SPACING AND A MINIMUM OF 6" FROM THE TOP OF THE PIPE. PIPES WITH 2" SPACING SHALL BE SEVERELY DAMAGED. A PIPE WITH 4" SPACING SHALL BE SEVERELY DAMAGED. A PIPE WITH 6" SPACING SHALL BE SEVERELY DAMAGED. A PIPE WITH 8" SPACING SHALL BE SEVERELY DAMAGED. A PIPE WITH 10" SPACING SHALL BE SEVERELY DAMAGED.
- LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. SIGELS LEADING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

SIGN DETAIL AND INSTALLATION DETAIL

ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED FOR THIS PROJECT SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

ALL SIGN POST USED FOR TRAFFIC CONTROL SIGNS INSTALLED ON PRIVATE ROADS SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.

FOR THE SIGN PLACEMENT IN THE PUBLIC ROW, SIGN SHALL BE FABRICATED IN THE COUNTY SIGN SHOP AT THE EXPENSE OF THE DEVELOPER.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 22 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE G - 22 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 4	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION	U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE A - 1 - 6	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---	---	--------------------	---	---	--------------------	---	---	--------------------	---	---	--------------------	---	---	-------------------	---

SEDIMENT CONTROL NOTES

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: In lieu of soil test recommendations, use one of

- Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./100 sq.ft.) and 600 lbs per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (9 lbs./1000 sq.ft.)
- Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by: Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons

MAINTENANCE: Inspect all seeded areas and make needed repairs,

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously

SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 2 1/2 bushel per acre of annual rye (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of rotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR RATE AND METHODS NOT

<p>APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING</p> <p>_____ CHIEF, DEVELOPMENT ENGINEERING DIVISION</p> <p>_____ CHIEF, DIVISION OF LAND DEVELOPMENT</p> <p>_____ DIRECTOR</p>	<p>BY THE ENGINEER</p> <p>"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>_____ SIGNATURE OF ENGINEER ROBERT H. VOGEL, PE</p>	<p>BY THE DEVELOPER</p> <p>"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.</p> <p>_____ SIGNATURE OF DEVELOPER</p>	<p>THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.</p> <p>_____ HOWARD SCD</p>	<p>PROFESSIONAL CERTIFICATION</p> <p>"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193</p> <p>_____ ROBERT H. VOGEL, PE #18193</p>
---	--	--	--	--

SEQUENCE OF CONSTRUCTION

- OBTAIN GRADING PERMIT.
- NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (410.313.1880) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.
- INSTALL SEDIMENT CONTROL MEASURES AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAILS. (5 DAYS)
- INSPECT SEDIMENT CONTROL MEASURES FROM F-06-201 TO REMAIN PER SDP. REPAIR AS NEEDED. (1 DAY)
- AFTER OBTAINING PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR TO PROCEED, ROUGH GRADE SITE. (2 WEEKS)
- CONSTRUCT HOUSES. THE FIRST FLOOR ELEVATIONS CANNOT BE MORE THAN 1" HIGHER OR 0.2' LOWER THAN THE ELEVATIONS SHOWN ON THIS PLAN. (6 MONTHS)
- INSTALL LANDSCAPE RETAINING WALLS (LESS THAN 3' HIGH). (1 WEEK)
- INSTALL PERIMETER LANDSCAPING FOR LOTS 39, 36, 34, 29. (1 DAY)
- UPON STABILIZATION OF ALL DISTURBED AREAS AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE ALL SEDIMENT CONTROL DEVICES. (2 DAYS)

NO.	REVISION	DATE

SEDIMENT AND EROSION CONTROL NOTES AND DETAILS

THE WOODS OF TIBER BRANCH II PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
PHASE III - LOTS 45-55, 60-67
REF: F-98-130, WP-04-20, F-78-12, F-08-201
SP-04-14, WP-99-48, F-05-079, PB 371
F-08-76, F-08-09, F-08-15
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.

ENGINEERS • SURVEYORS • PLANNERS

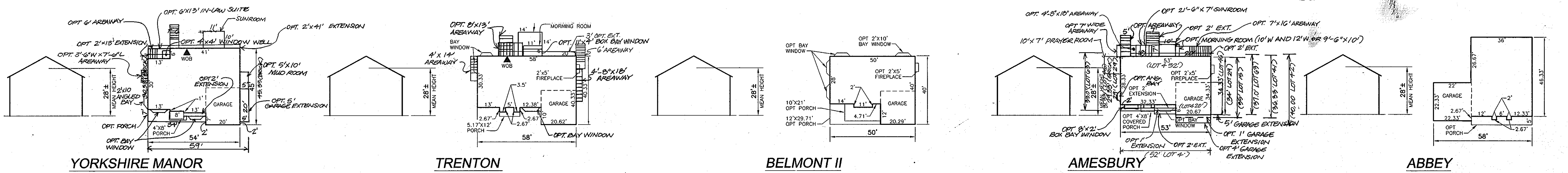
8407 MAIN STREET TEL: 410.461.7666
ELICOTT CITY, MD 21043 FAX: 410.461.8961

OWNER/DEVELOPER

TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
3675 PARK AVE., STE. 301
ELICOTT CITY, MARYLAND 21043
(410) 480-0023

DESIGN BY: RV/RJ
DRAWN BY: RJ/JMR
CHECKED BY: RHV
DATE: JANUARY 2008
SCALE: AS SHOWN
W.O. NO.: 03-43

11 SHEET OF 12



YORKSHIRE MANOR

TRENTON

BELMONT II

AMESBURY

ABBEJ

BUILDING FOOTPRINTS

SCALE: 1"=30'

PIPE SLOPE DRAIN
 PIPE SLOPE DRAIN
 PIPE SLOPE DRAIN
 PIPE SLOPE DRAIN

1. THE PIPE SLOPE DRAIN (PSD) SHALL HAVE A SLOPE OF 3 PERCENT OR STEEPER.
2. THE TOP OF THE EARTH DIKE OVER THE INLET PIPE SHALL BE AT LEAST 2 TIMES THE PIPE DIAMETER MEASURED AT THE INVERT OF THE PIPE.
3. FLEXIBLE TUBING IS PREFERRED. HOWEVER, CORRUGATED METAL PIPE OR EQUIVALENT PVC PIPE CAN BE USED. ALL CONNECTIONS SHALL BE WATER TIGHT.
4. A FLARED END SECTION SHALL BE ATTACHED TO THE INLET END OF PIPE WITH A WATER TIGHT CONNECTION. FILTER CLOTH SHALL BE PLACED UNDER THE INLET OF THE PIPE SLOPE DRAIN AND SHALL EXTEND OUT 2' FROM THE INLET. THE FILTER CLOTH SHALL BE "KEYED IN" ON ALL SIDES.
5. THE PIPE SLOPE DRAIN SHALL BE SECURELY ANCHORED TO THE SLOPE BY STAKING AT THE GROMMETS PROVIDED. SPACING FOR ANCHORS SHALL BE AS PROVIDED BY MANUFACTURER'S SPECIFICATION. IN NO CASE SHALL LESS THAN TWO (2) ANCHORS BE PROVIDED, EQUALLY SPACED ALONG THE LENGTH OF PIPE. THESE DETAILS SHOULD BE PROVIDED BY PIPE SUPPLIERS.
6. THE SOIL AROUND AND UNDER THE PIPE AND END SECTION SHALL BE HAND TAMPED IN 4 INCH LIFTS TO THE TOP OF THE EARTH DIKE.
7. ALL PIPE CONNECTIONS SHALL BE WATER TIGHT.
8. WHENEVER POSSIBLE WHERE A PSD DRAINS AN UNSTABILIZED AREA, IT SHALL OUTLET INTO A SEDIMENT TRAP OR BASIN. IF THIS IS NOT POSSIBLE THEN THE SLOPE DRAIN WILL DISCHARGE INTO A STABLE CONVEYANCE THAT LEADS TO A SEDIMENT TRAP OR BASIN. WHEN DISCHARGING INTO A TRAP OR BASIN THE PSD SHALL DISCHARGE AT THE SAME ELEVATION AS THE WET POOL ELEVATION. THE DISCHARGE FROM THE PSD MUST BE AS FAR AWAY FROM THE SEDIMENT CONTROL OUTLET AS POSSIBLE.
9. WHEN THE DRAINAGE AREA IS STABILIZED, THE PSD SHALL DISCHARGE ONTO A STABILIZED AREA AT A NON-EROSIVE VELOCITY.
10. INSPECTION AND ANY REQUIRED MAINTENANCE SHALL BE PERFORMED PERIODICALLY AND AFTER EACH RAIN EVENT.
11. THE INLET MUST BE KEPT OPEN AT ALL TIMES.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE B-5-44 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 4 - PIPE SLOPE DRAIN

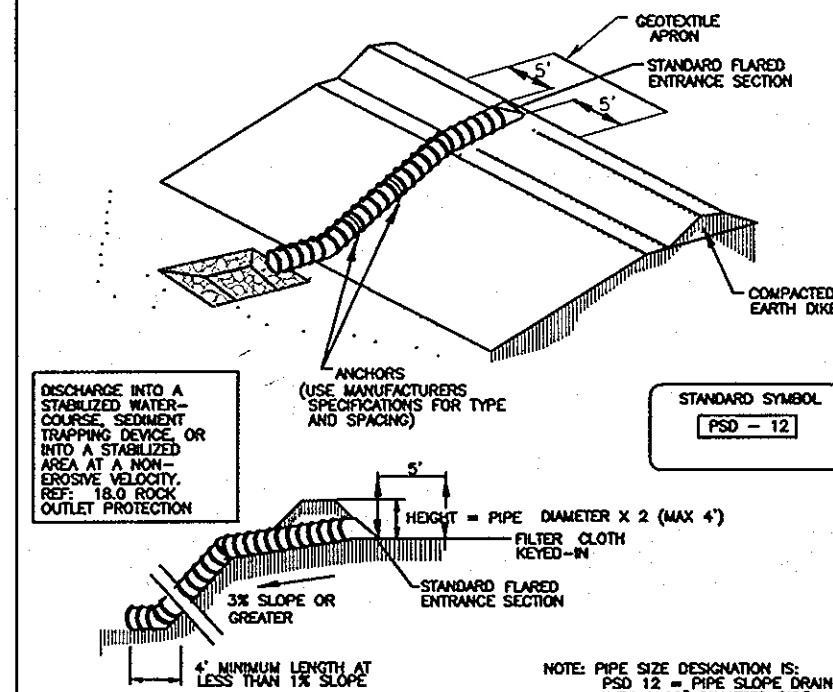


Table 8 Design Criteria for Pipe Slope Drain

Size	Pipe/Flexible Diameter (in)	Maximum Outcrop Area (Acres)
PSD-12	12	0.5
PSD-18	18	1.5
PSD-21	21	2.5
PSD-24	24	3.5
PSD-24 (3)	24	5.0

DETAIL 9 - STONE OUTLET SEDIMENT TRAP - ST II

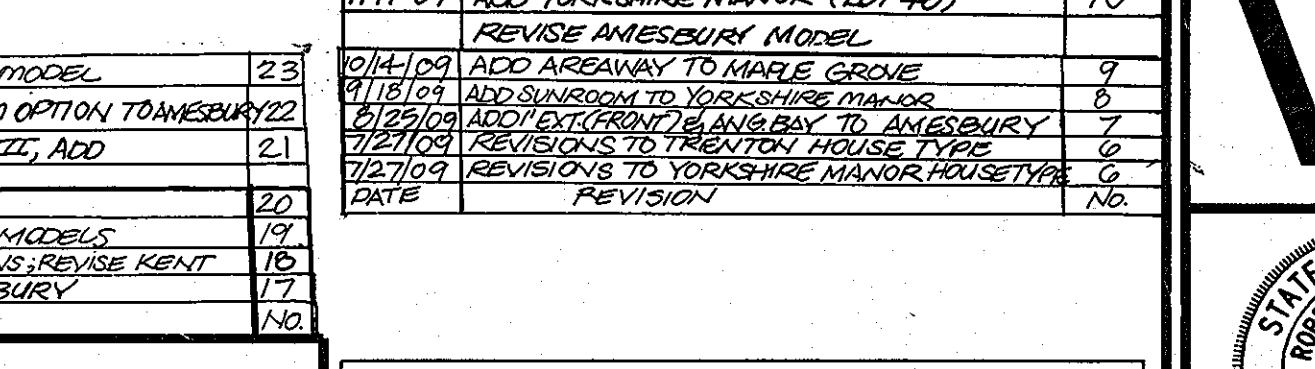
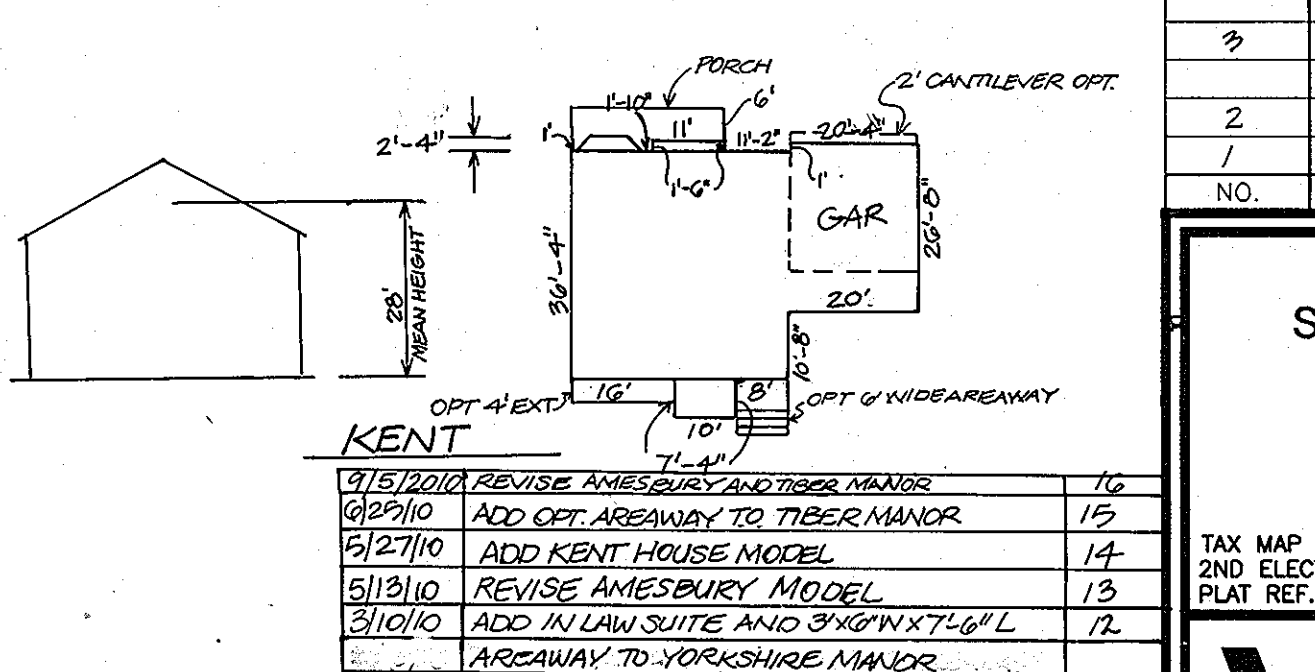
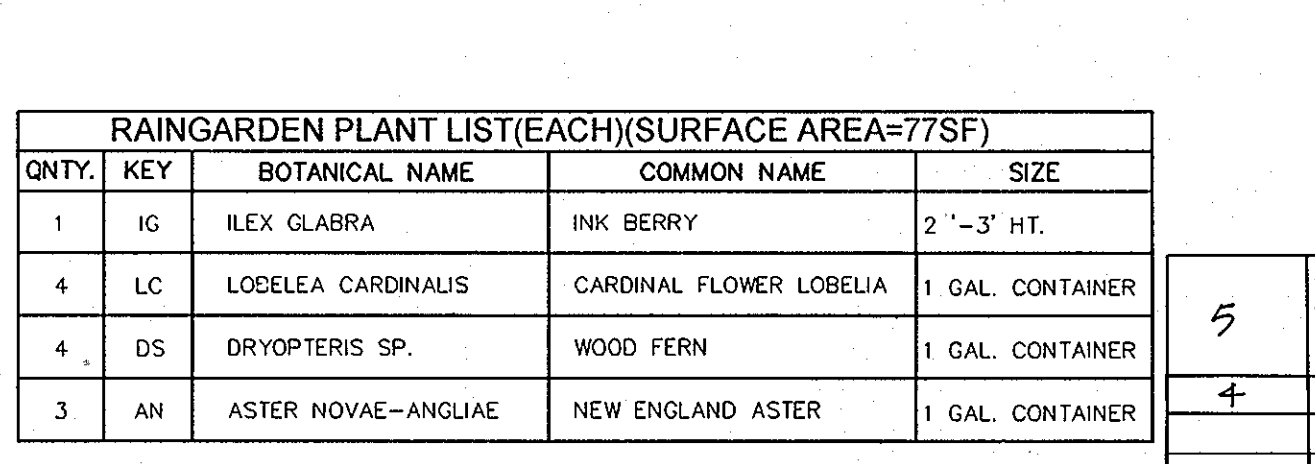
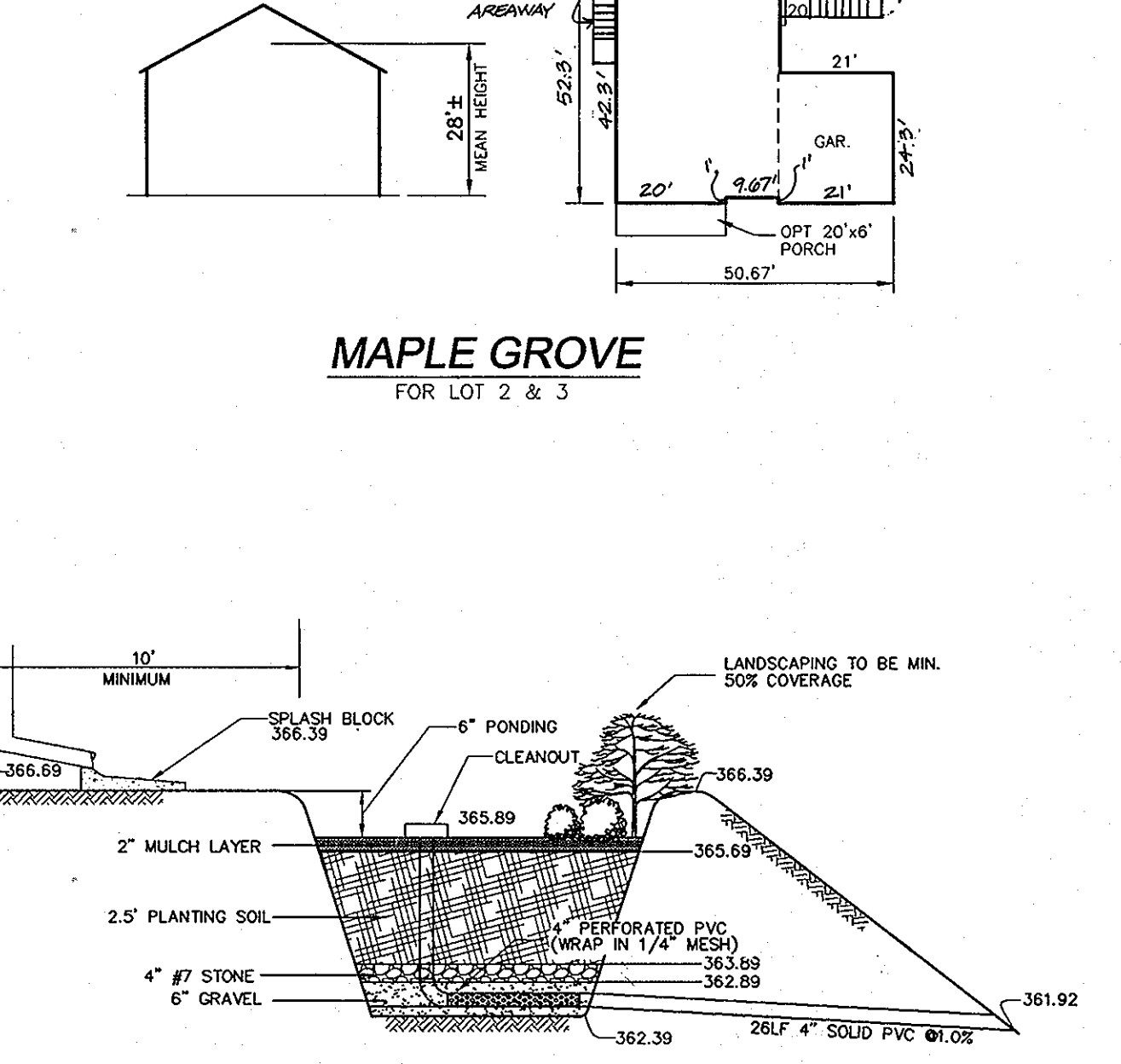
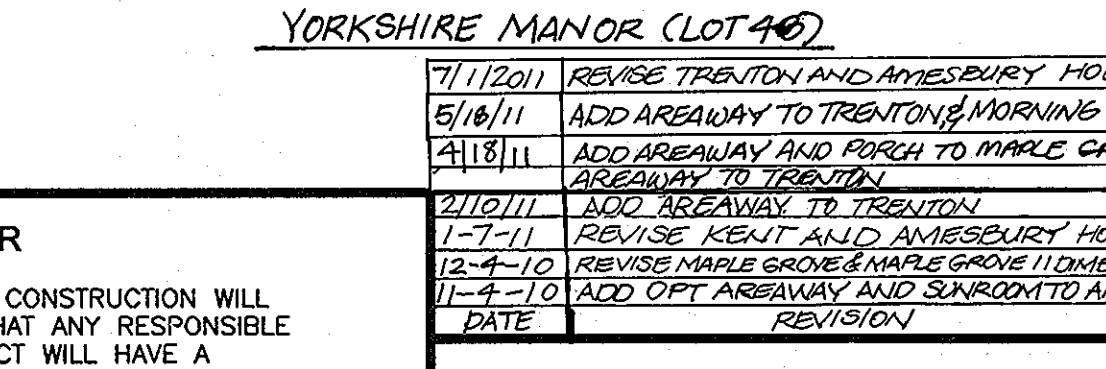
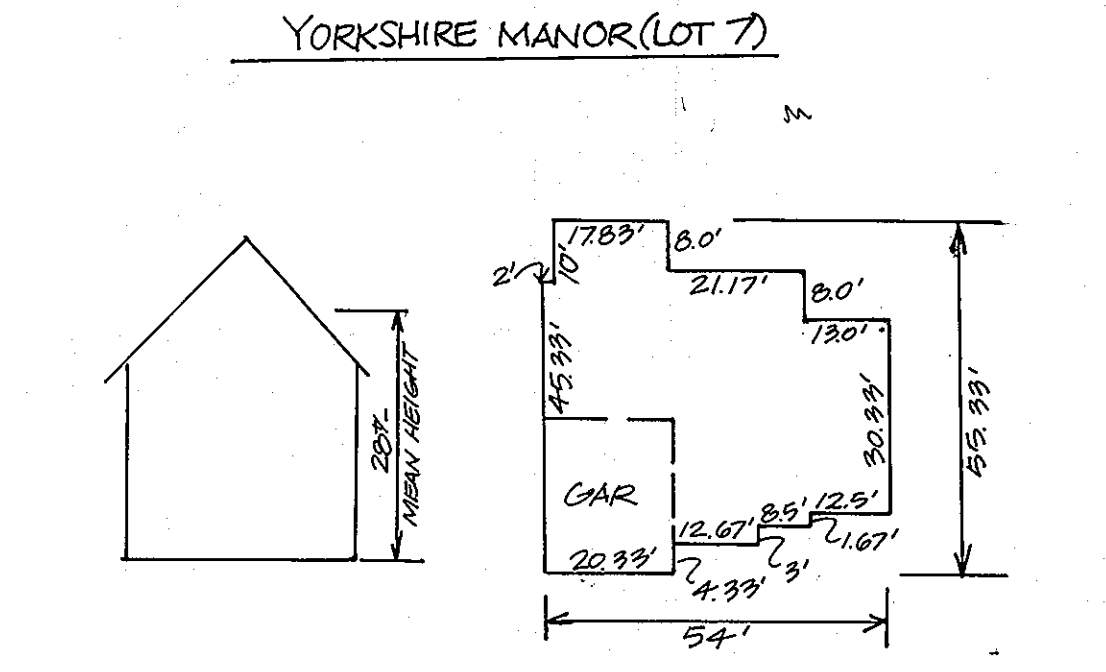
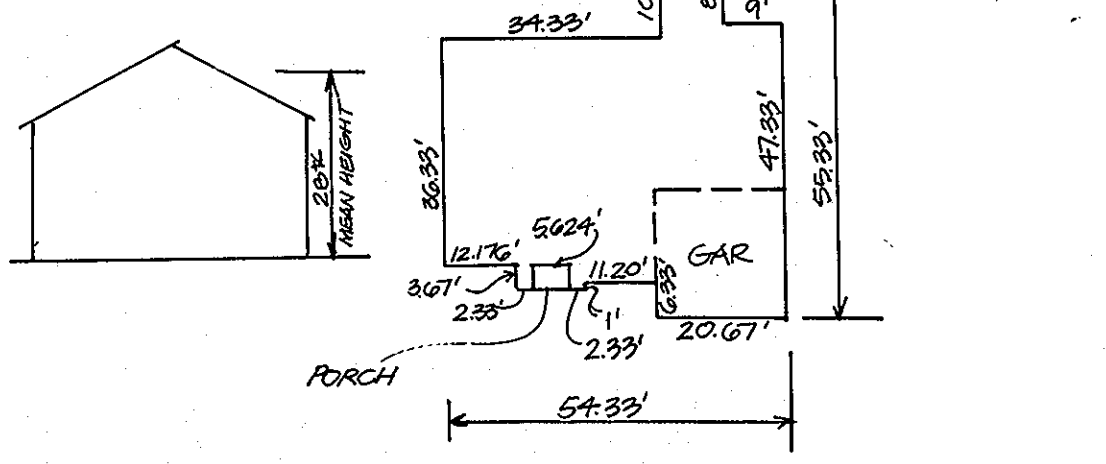
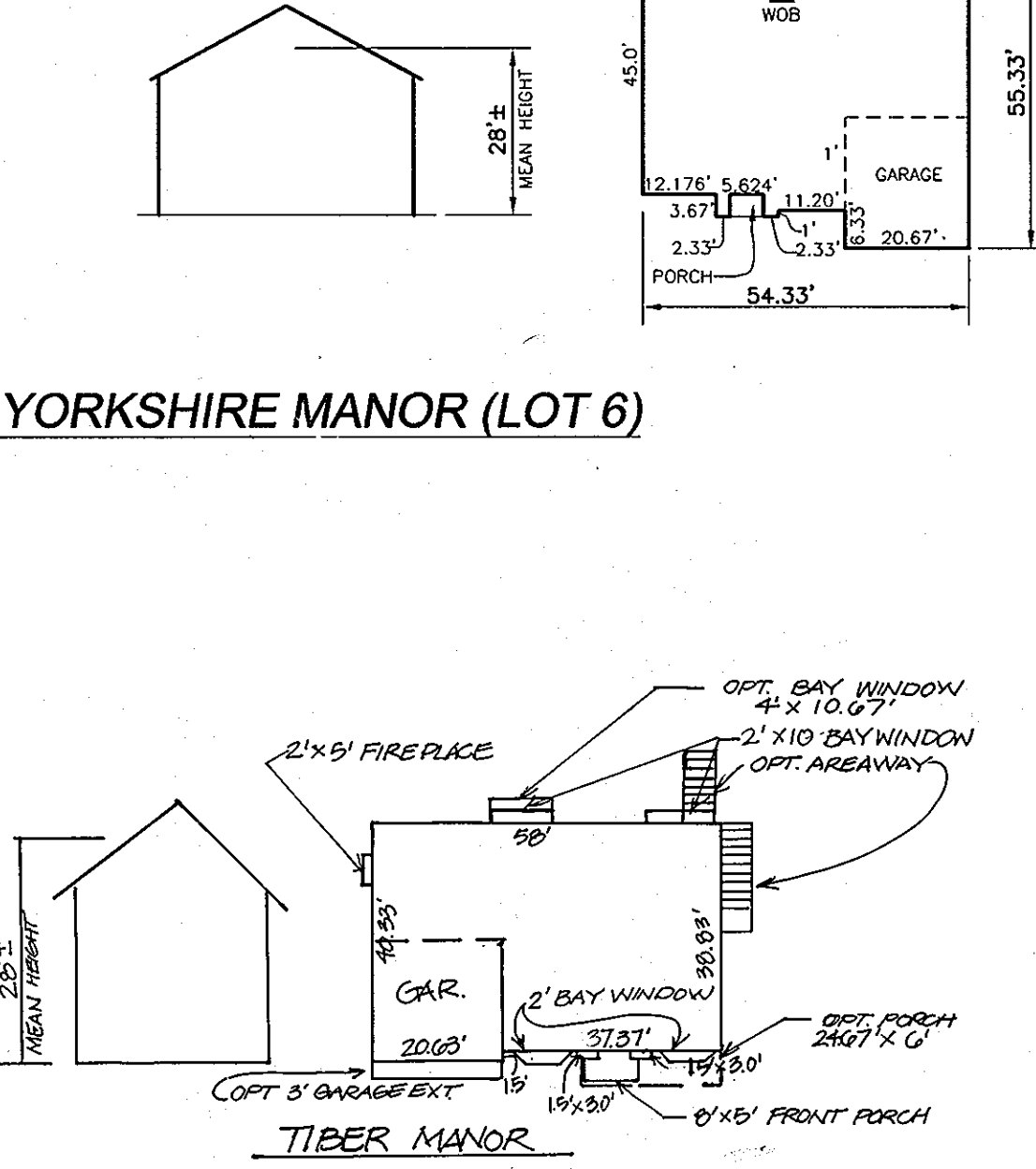
Construction Specifications

1. AREA UNDER EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF ANY VEGETATION AND ROOT MAT. THE POOL AREA SHALL BE CLEARED.
2. THE FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS AND OTHER WOODY VEGETATION AS WELL AS OVERSIZED STONES, ROCKS, ORGANIC MATERIAL OR OTHER OBJECTIONABLE MATERIAL. THE EMBANKMENT SHALL BE COMPACTED BY TRAVERSING WITH EQUIPMENT WHILE IT IS BEING CONSTRUCTED.
3. ALL CUT AND FILL SLOPES SHALL BE 2:1 OR FLATTER.
4. THE STONE USED IN THE OUTLET SHALL BE SMALL RIP-RAP 4" TO 7" IN SIZE WITH A 1" THICK LAYER OF 3/4" TO 1 1/2" WASHED AGGREGATE PLACED ON THE UPSTREAM FACE OF THE OUTLET. STONE FACING SHALL BE AS NECESSARY TO PREVENT CLOGGING. GEOTEXTILE CLASS C MAY BE SUBSTITUTED FOR THE STONE FACING BY PLACING IT ON THE INSIDE FACE OF THE STONE OUTLET.
5. SEDIMENT SHALL BE REMOVED AND TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF OF THE WET STORAGE DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
6. THE STRUCTURE SHALL BE INSPECTED PERIODICALLY AFTER EACH RAIN AND REPAIRS MADE AS NEEDED.
7. CONSTRUCTION OF TRAPS SHALL BE CARRIED OUT IN SUCH A MANNER THAT SEDIMENT POLLUTION IS ABATED. ONCE CONSTRUCTED THE TOP AND OUTSIDE FACE OF THE EMBANKMENT SHALL BE STABILIZED WITH SEED AND MULCH. POINTS OF CONCENTRATION INFLOW SHALL BE PROTECTED IN ACCORDANCE WITH GRADE STABILIZATION STRUCTURE CRITERIA. THE REMAINDER OF THE INTERIOR SLOPES SHOULD BE STABILIZED (ONE TIME) WITH SEED AND MULCH UPON TRAP COMPLETION AND MONITORED AND MAINTAINED EROSION FREE DURING THE LIFE OF THE TRAP.
8. THE STRUCTURE SHALL BE DEWATERED BY APPROVED METHODS, REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.
9. REFER TO SECTION D FOR SPECIFICATIONS CONCERNING TRAP DEWATERING.
10. MINIMUM TRAP DEPTH SHALL BE MEASURED FROM THEIR ELEVATION.
11. THE ELEVATION OF THE TOP OF ANY DIKE DIRECTING WATER INTO THE TRAP MUST BE EQUAL TO EXCEED THE ELEVATION OF THE TRAP EMBANKMENT.
12. GEOTEXTILE CLASS C SHALL BE PLACED OVER THE BOTTOM AND SIDES OF THE OUTLET CHANNEL PRIOR TO THE PLACEMENT OF STONE. SECTIONS OF FILTER CLOTH MUST OVERLAP AT LEAST 1' WITH THE SECTION NEAREST THE ENTRANCE PLACED ON TOP. THE FILTER CLOTH SHALL BE EMBEDDED AT LEAST 6" INTO EXISTING GROUND AT THE ENTRANCE OF THE OUTLET CHANNEL.
13. OUTLET-AN OUTLET SHALL BE PROVIDED, INCLUDING A MEANS OF CONVEYING THE DISCHARGE IN AN EROSION FREE MANNER TO AN EXISTING STABLE CHANNEL.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-19 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

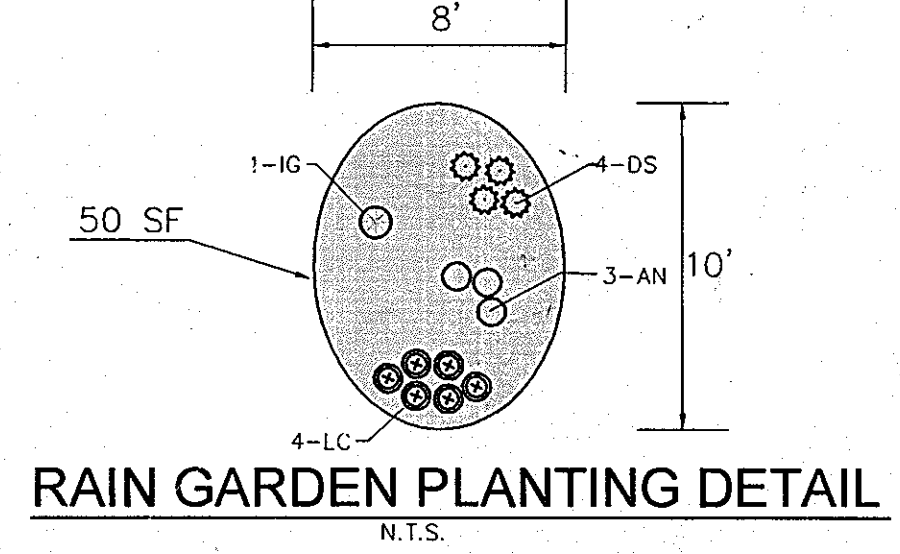
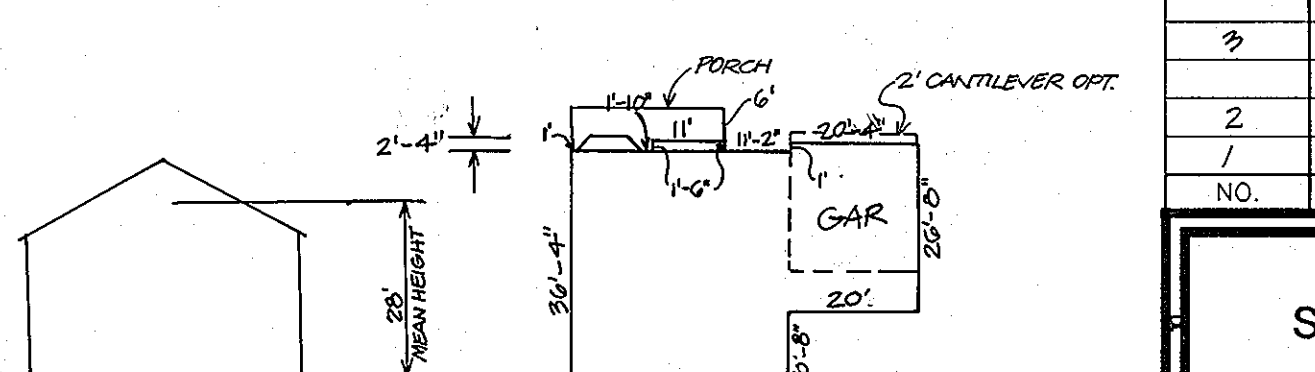
STONE OUTLET SEDIMENT TRAP - ST II

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE C-9-10A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



RAINGARDEN PLANT LIST(EACH)(SURFACE AREA=77SF)

QNTY.	KEY	BOTANICAL NAME	COMMON NAME	SIZE
1	IG	ILEX GLABRA	INK BERRY	2'-3' HT.
4	LC	LOBELIA CARDINALIS	CARDINAL FLOWER LOBELIA	1 GAL. CONTAINER
4	DS	DRYOPTERIS SP.	WOOD FERN	1 GAL. CONTAINER
3	AN	ASTER NOVAE-ANGIAE	NEW ENGLAND ASTER	1 GAL. CONTAINER



- OPERATION AND MAINTENANCE SCHEDULE FOR RAIN GARDEN AREAS**
1. ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING.
 2. SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. TREATMENT OF ALL DEFICIENT STAKES AND WIRES.
 3. MULCH SHALL BE INSPECTED EACH SPRING. REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
 4. SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

LANDSCAPE DETAILS AND SEDIMENT CONTROL DETAIL & HOUSE TYPES THE WOODS OF TIBER BRANCH II PHASES I, II, AND III

PHASE I - LOTS 2-9, OPEN SPACE LOTS 1 AND 10
 PHASE II - LOTS 11-21, 27-34, 36-43, OPEN SPACE LOTS 22-26, 35, 44
 PHASE III - LOTS 45-55, 60-67
 REF: F-98-130, WP-04-20, F-78-12, F-04-201
 SP-04-14, WP-99-4, F-05-075, PB-371
 F-06-176, F-06-012, F-06-175

TAX MAP 24 BLOCK 18 STE. 301 PARCELS '264'
 ELLICOTT CITY, MARYLAND 21043 PARCEL '811'

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RV/RJ
 DRAWN BY: RJ/JMR
 CHECKED BY: RHV
 DATE: JANUARY 2008
 SCALE: AS SHOWN
 W.O. NO.: 03-43

12 SHEET OF 12

OWNER/DEVELOPER
 TRINITY HOMES AT WOODS OF TIBER BRANCH II, LLC
 2675 PARK AVE., STE. 301
 ELLICOTT CITY, MARYLAND 21043
 (410) 480-0023

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

7/25/08
 7/30/08
 7/31/08

BY THE ENGINEER

I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ROBERT H. VOGEL, PE
 7/16/08

BY THE DEVELOPER

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

MICHAEL PLAN
 7-16-08

PROFESSIONAL CERTIFICATION

THESE PLANS FOR SOIL EROSION AND SEDIMENT CONTROL MEET THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

JOHN R. ROBERTSON
 HOWARD SCD
 7/23/08