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# SITE DEVELOPMENT PLAN ANIMAL MEDICAL HOSPITAL AT GLENWOOD GREEN MEADOWS LOT 5 TAX MAP No. 14 GRID No. 11 P/O PARCEL Nos. 217



**VICINITY MAP**  
SCALE: 1" = 2000'  
ADC MAP 9

## FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**General Notes**

1. All construction shall be accordance with the latest standards and specifications of Howard County plus MSHA standards and specifications if applicable.
2. The contractor shall notify the Bureau of Engineering/Construction Inspection Division at 410-313-1800 at least five working days prior to start of work.
3. The contractor shall notify Miss Utility at 1-800-257-7777 at least 48 hours prior to any digging and excavation work.
4. Project Background: Location: Tax Map No. 14, Grid 11, P/O Parcel 217. Zoning: The subject property is zoned RR-DEO per the 2-2-04 Comprehensive Zoning Plan and the "Comp Lite" Zoning Amendments effective 7-20-06. Elevation District: FOURTH Section/Area: N/A Site Area: 5.00 Ac.±
5. Traffic control devices, markings and signing shall be in accordance with the latest edition of the manual on Uniform Traffic Control Devices (MUTCD). All street and regulatory signs shall be in place prior to placement of any asphalt.
6. All plan dimensions are to the face of curb or face of building unless otherwise noted. Dimensions are measured perpendicular or radial between items unless otherwise noted.
7. Existing topography and features were derived from a field run monumented boundary survey by Fisher, Collins and Carter Inc. and Harford Aerial Surveys Inc. on or about October 2005 and November 2006.
8. Coordinates are based on NAD 83 Maryland Coordinates System as projected by Howard County Geodetic Control Stations. 14E1 N 596,213.62 E 1,301,991.89 ELEV. 590.335 14F8 N 595,697.26 E 1,306,552.16 ELEV. 619.858
9. Private water and sewer is to be utilized for this project.
10. The required Environmental Site Design volume is provided on-site by 2 micro bio-retention facilities, 2 submerged gravel wetland facilities and a non-rooftop disconnection credit. The Stormwater Management Facilities will be privately owned and maintained.
11. All on-site storm drains under this site development plan are private.
12. The existing utilities shown hereon were derived from available public records. The contractor must dig test pits by hand at all utility crossings and connection points to verify the exact location.
13. All proposed ramps shall be in accordance with current A.D.A. Standards Accessibility Guidelines. Maximum sidewalk cross slope shall be two percent. Provide a (5'x5') five foot by five foot level landing (max. slope 2%) at the top and bottom of all ramps and building entrances and exits. Handrails shall be provided on all ramps in accordance with section 4.8.5 of the A.D.A. Standards Accessibility Guidelines.
14. All driveways and parking are privately owned and maintained.
15. Any damage to County and or State owned right-of-way to be corrected at the contractor's expense.
16. Trench bedding for storm drains structures shall be in accordance with Howard County Standard G2.01 Class C Bedding unless otherwise noted.
17. Gutter pan of curbs shall be pitched to conform to the adjacent drainage patterns of the adjoining paving for vehicular use. See detail on Sheet 7.
18. For details of building profile, parking, road section, handicap, curb and gutter see Sheet 7.
19. There are no known grave sites or cemeteries on this site based on a visual site visit and based on an examination of the Howard County Cemetery Inventory MRP.
20. This Project is recorded among the land records in Howard County, Maryland as Plat No. 19072.
21. Other topics related to this site: Soils Analysis prepared by: Penniman and Browne dated March 27, 2007. Traffic Study for this project was prepared by the Mars Group dated May 2007.
22. All outside lighting shall comply with Zoning Regulations Section 134 which requires lights to be installed to direct/reflect light downwards and inwards on the site and away from all public streets and residential areas and the light trespass onto any adjoining property zoned RR-DEO shall not exceed 0.1 foot candles.
23. The buildings shall be equipped with an automatic fire prevention sprinkler system.
24. There are no streams, stream buffers, flood plain, wetlands, wetlands buffers, steep slopes (25% slopes or greater) and forest conservation easement areas within Green Meadows Subdivision Lot 5.
25. Previous DPZ file numbers VP78-21, VP78-67, F78-119, F03-187, F07-206, F07-142, BA 06-007c and F-08-100.
26. This area designates a private sewerage easement of 10,000 square feet as required by the Maryland State Department of the Environment for individual sewerage disposal. Improvements of any nature in this area are restricted until public sewerage is available. These easements shall become null and void upon connection to a public sewerage system. The County Health Officer shall have the authority to grant adjustments to the private sewerage easement. Recordation of a modified sewerage easement shall not be necessary. Adjustments to the septic easement area is not permitted without additional testing.
27. The lot shown hereon complies with the minimum ownership width and lot area as required by the Maryland State Department of the Environment.
28. Existing wells and/or sewerage easements within 100 feet of the property have been shown from the best available information.
29. Percolation tests were done in April 2006. AS24359
30. All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (14 gauge) inserted into a 2-1/2" galvanized steel, perforated, square tube sleeve (12 gauge) - 3' long. A galvanized steel pole cap shall be mounted on top of each post.
31. This SOP is subject to the Amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 and the Amended Zoning Regulations per Council Bill No. 75-2003. Development or construction on this property must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition application or building/grading permit applications.
32. This plan is subject to Board Of Appeals BA Case No. 06-007C. The decision and order by the Howard County Board of Appeals was approved on January 17, 2007 for a conditional use for an animal hospital and a dog kennel and pet grooming establishment in an RR-DEO zoned property subject to the following conditions:
  1. The conditional uses shall be conducted in conformance with and shall apply only to the proposed animal hospital, kennel, and pet grooming facility as described in the petition and as depicted on the Conditional Use Plan for the "Second Amended Conditional Use Plan for Animal Hospital - AMH Equine Services", submitted to the Board on October 26, 2006 as Petitioner's Exhibit No. 4, as amended, and not to any activities, uses, or structures on the Property.
  2. The Petitioner shall provide 32 parking spaces and reserve space for an additional 15 spaces on the plan.
  3. The south landscape buffer shall be the equivalent of a Type D (screen) landscape buffer.
  4. The Petitioner shall comply with all applicable federal, state, and county laws and regulations.
33. The forest conservation requirements per Section 16.1200 of the Howard County Code and the Forest Conservation Manual for this subdivision will be fulfilled by providing the afforestation requirement of 1.00 acre at the Mirable Property shown on Sheet 21. Surety required: \$0.50/SF x 43560 SF = \$21,780.00. Plat no. 19889.
34. On July 23, 2007, Howard County Department of Planning and Zoning approved the following alternative compliance requests: To Design Manual 1. Section 5.2.5.F. to allow the use of specific impervious cover to determine the proposed RCN. Approved based on the proposed construction has much less density than the proposed zoning. Section 5.2.7.A.4. to allow wet pond built without pond drain. Approved based on the fact that the pond is privately owned and maintained. Section 5.2.4.1. to allow less than 25' distance from the riprap outfall or the toe of embankment slope to downstream property line. Approved based on the downstream owner agreed and provided a letter indicating that they have no problem with less than 25' distance from the riprap outfall or the toe of embankment slope to downstream property line. Adding a note in bold text on the SOP plan: "Any further construction and/or subdivision (including where LOD is less than 5,000 SF) shall require additional SWM and reevaluation of CIP criteria for entire lot."
35. On July 31, 2007, Howard County Department of Planning and Zoning denied the following alternative compliance requests: To Design Manual, Volume 1. Section 5.2.4.G. Trees shall not be allowed to grow on the dam and within 15' of the toe of the pond dam, or within 25' of the principal spillway. The denial is based principally on the fact that (1) the proposed pond is a MD378 facility, (2) "15' no woody zone" is essential for embankment core trench.
36. This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Required Landscape surety for the 31 shade trees and 80 evergreen trees in the amount of \$22,500.00 has been posted as a part of the developer's agreement.
37. The Knox Box location shown on sheet 3 shall be placed to the right of the main entrance at a range of 4-5 feet in height and no more than 6 feet laterally from the door. The Knox Box shall be electronically supervised to notify the owner that it is being accessed and integrated with the fire alarm system (NFPA-1 10.12.1).
38. The Animal Medical Hospital Building and the Kennel/Grooming Building will have a complete automatic fire suppression system designed in accordance with NFPA13. The water supply tank shall be installed in accordance with the August 2007 draft of Howard County Specifications for Underground Water Storage Tanks for Fire Protection.
39. That the two (2) year time period for obtaining a building permit and the three (3) year time period for the completion of substantial construction of the conditional use, as required by section 191.13 of the Howard County zoning regulations be and the same is hereby extended until January 17, 2012 and January 17, 2013, respectively.

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM FOND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.

**SITE ANALYSIS DATA**

1. General Site Data:
  - A. Present Zoning: RR-DEO
  - B. Proposed use of site or structures: Animal Medical Hospital; Dog Kennel And Pet Grooming Establishment
  - C. Private water and sewer to be utilized.
2. Area Tabulation:
  - A. Total project area: 5.00 Ac.±
  - B. Area of this plan submission: 5.00 Ac.± is the limit of submission and grading disturbance for the construction of the animal medical hospital and associated parking.
  - C. Impervious Coverage:
    - Proposed Paved Areas (Parking and Walkways) - 45,459 Sq.Ft.
    - Building No.1 Coverage: 10,800 Sq.Ft Hospital Building
    - Building No.2 Coverage: 3,744 Sq.Ft. Kennel/Grooming Building
    - Building Coverage: 14,344 Sq.Ft or 6.67% for the 5.00 Ac. Parcel
3. Open Space Data:
  - A. Total project area: N/A
  - B. Open Space Provided: N/A
4. Parking Space Data:
  - A. The Number of vehicle parking spaces required in accordance with the Board of Appeals (BA 06-007c) decision and order dated January 17, 2007 = 32 and reserve space for 15 additional spaces if needed in the future.
  - B. Total number of parking spaces provided on site: (Including handicap Parking) = 32 and 2 trailer parking spaces
  - C. Number of Handicapped parking spaces provided: (Including Handicap Van Spaces) = 2
5. Maximum number of employees per day: 12
6. Animal Medical Hospital Building
  - 1st Floor Use Animal Medical Hospital 10,800 Square Feet
  - 2nd Floor Use Storage And Mechanical Equipment Area 1,600 Square Feet
  - Kennel/Grooming Building
  - 1st Floor Use Kennel/Grooming Area 3,744 Square Feet

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CORONAL SQUARE OFFICE PARK - 10272 BALTHAZORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2895

DATE	DESCRIPTION	REVISION BLOCK
9/18/11	REVISION SITE ANALYSIS DATA	
APPROVED: DEPARTMENT OF PLANNING AND ZONING		
<i>Marcus S. Sudler</i>	Director - Department of Planning and Zoning	2/25/11 Date
<i>West Shadwin</i>	Chief, Division of Land Development	2/25/11 Date
<i>Chris Williams</i>	Chief, Development Engineering Division	2/10/11 Date

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart	
BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT	N/A	P/O 217	5
PLAT REF.	BLOCK NO.	ZONE	TAX MAP
19072	11	RR-DEO	14
ELEC. DIST.		CENSUS TR.	
FOURTH		6040.02	
WATER CODE		SEWER CODE	
N/A		N/A	

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

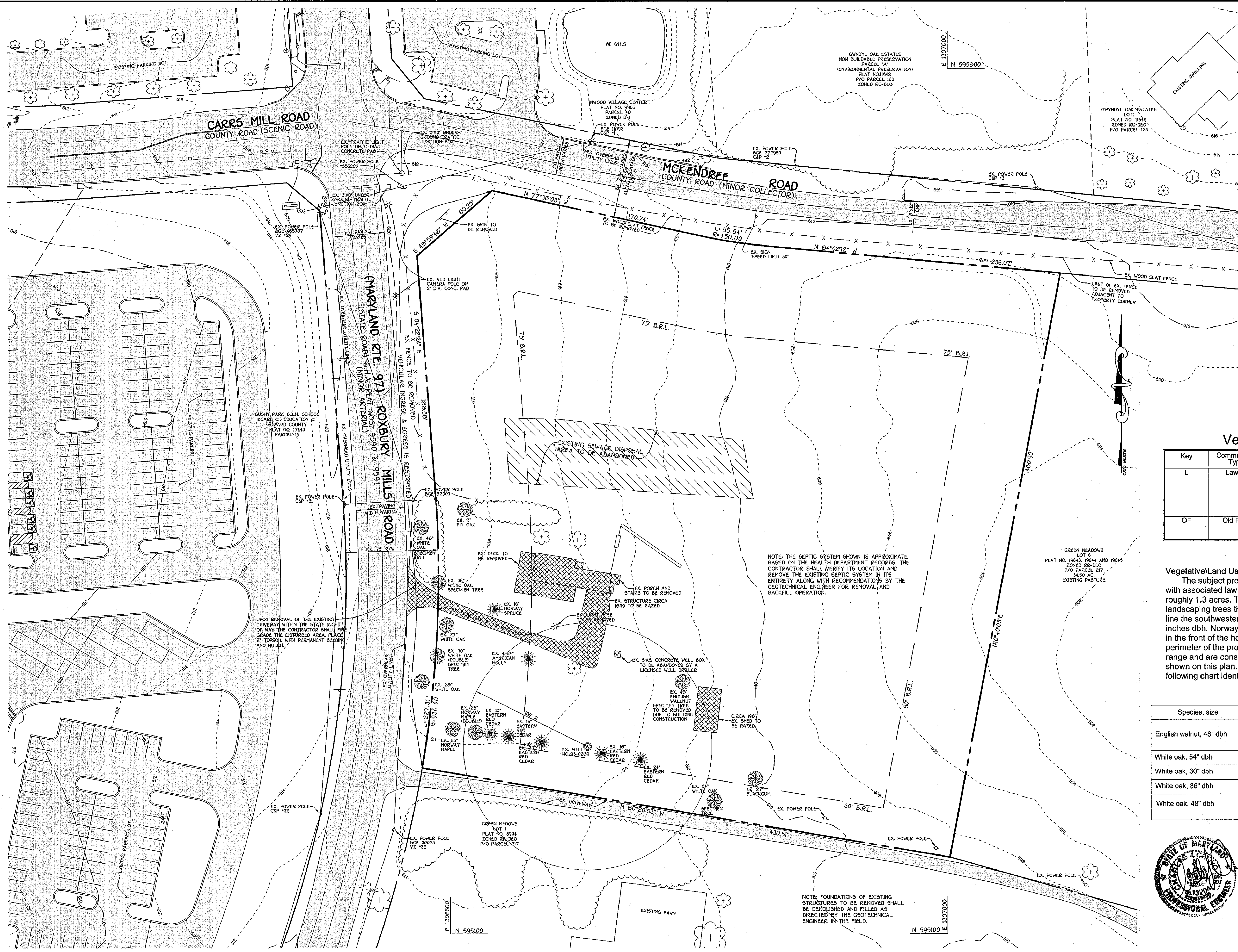
*Balijon Peter Bieleman* 2/22/2011  
COUNTY HEALTH OFFICER DATE

**TITLE SHEET**

**ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: JANUARY 26, 2011

SHEET 1 OF 19 S0P-08-004



**LEGEND**

Description	Symbol
Existing Contour	---608---
Existing Storm Drain Line	---EX. 8" x 12" CMP---
Existing Treeline	~~~~~
Existing Fence	-X-X-
Existing Sewerage Easement	▨
Areas to be Removed	▩
Existing Paving	▧

**Vegetative Community Data**

Key	Community Type	Acreage	Dominant Vegetation	General Condition	Priority Acreage
L	Lawn	1.3	Lawn grasses and ornamental/landscaping species typical species include Juniperus virginiana, Quercus alba, Ficus alba, Ilex opaca, Acer platanoides	Good	0
OF	Old Field	3.7	Festuca arundinacea Festuca sp.	Good	0

See accompanying report for complete stand descriptions.

**Vegetative/Land Use/Specimen Tree Note:**  
 The subject property is currently utilized as a single family home with associated lawn and pasture areas. The home/lawn area occupies roughly 1.3 acres. This area includes maintained lawn with mature landscaping trees that are generally in good condition. Red Cedar trees line the southwestern property limits. These trees are generally 12-16 inches dbh. Norway maple, Norway spruce and American holly are present in the front of the home. White oak and pin oak are present along the perimeter of the property. Several of these trees reach the 30 inch dbh range and are considered specimen trees. The location of these trees is shown on this plan. Each specimen tree is in good condition. The following chart identifies each specimen tree:

Species, size	Condition	Retention Potential
English walnut, 48" dbh	good	This tree cannot be retained while meeting the development goals of the site. The tree is located in the development zone.
White oak, 54" dbh	good	This tree can be retained.
White oak, 30" dbh	good, double stem	This tree can be retained.
White oak, 36" dbh	good	This tree can be retained by this project but is on the property limits.
White oak, 48" dbh	good	This tree is offsite, within the road right of way. It will be retained as part of this project.



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13204, Expiration Date: November 3, 2008."

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 B. Wilson for Peter R. Silenow, M.D. 7/2/2008  
 COUNTY HEALTH OFFICER ES ngr DATE

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTURION SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
 BELLCOTT CITY, MARYLAND 21042  
 410-461-2955

DATE	DESCRIPTION	REVISION BLOCK
1-26-11	REVISE SHEET NUMBER.	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
 Director - Department of Planning and Zoning  
 Chief, Department of Planning and Zoning  
 Chief, Development Engineering Division

**OWNER/DEVELOPER**  
 ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 2465 MARYLAND ROUTE 97  
 SUITE 7  
 GLENWOOD, MARYLAND 21738  
 DR. STUART N. SCHEINBERG D.V.M.  
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PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT	N/A	P/O 217	5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

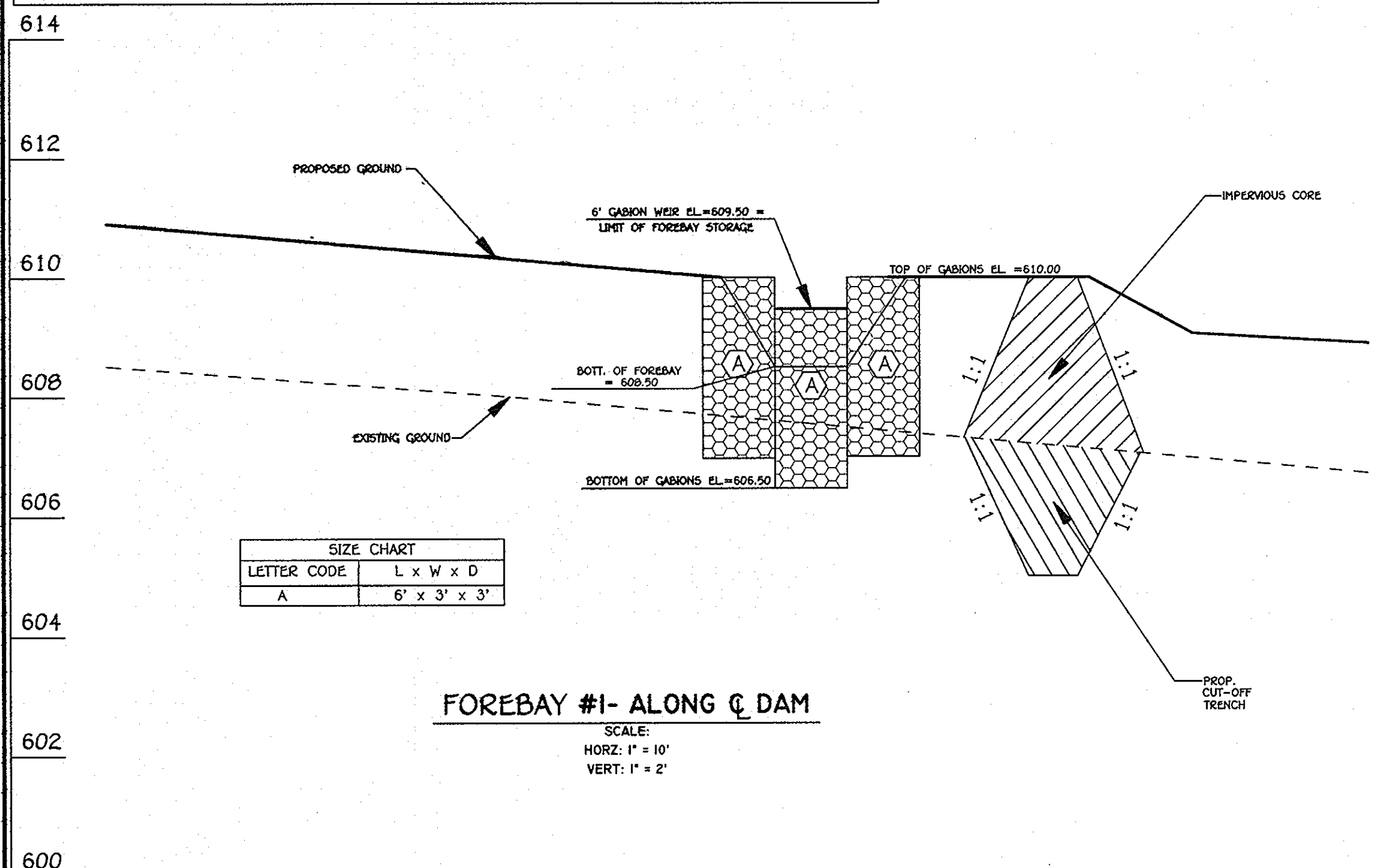
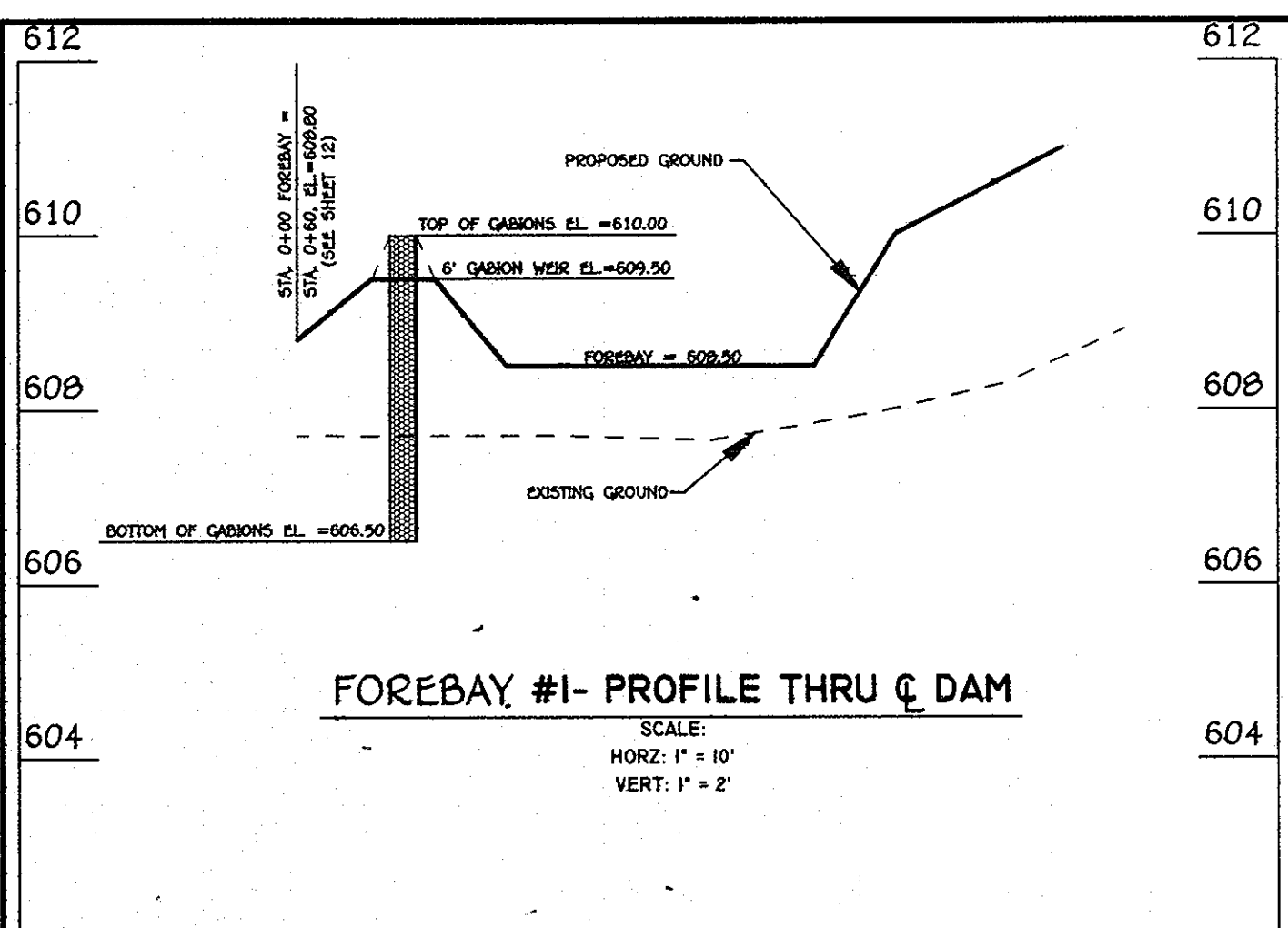
**DEMOLITION PLAN**

**ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 GREEN MEADOWS  
 LOT 5**

TAX MAP No.: 14 GRID No.: 11  
 PLAT No. 19072 P/O PARCEL No.: 217  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 40' DATE: FEBRUARY 11, 2007

SHEET 2 OF 19 SDP-08-004

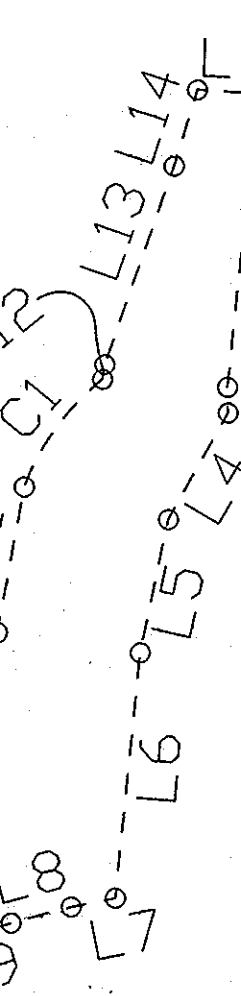
**SDP-08-004**



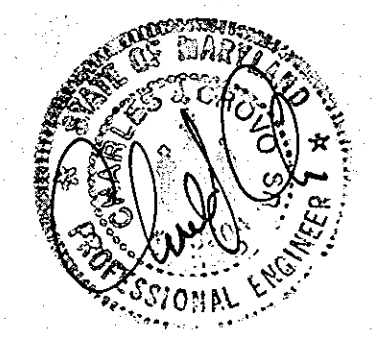
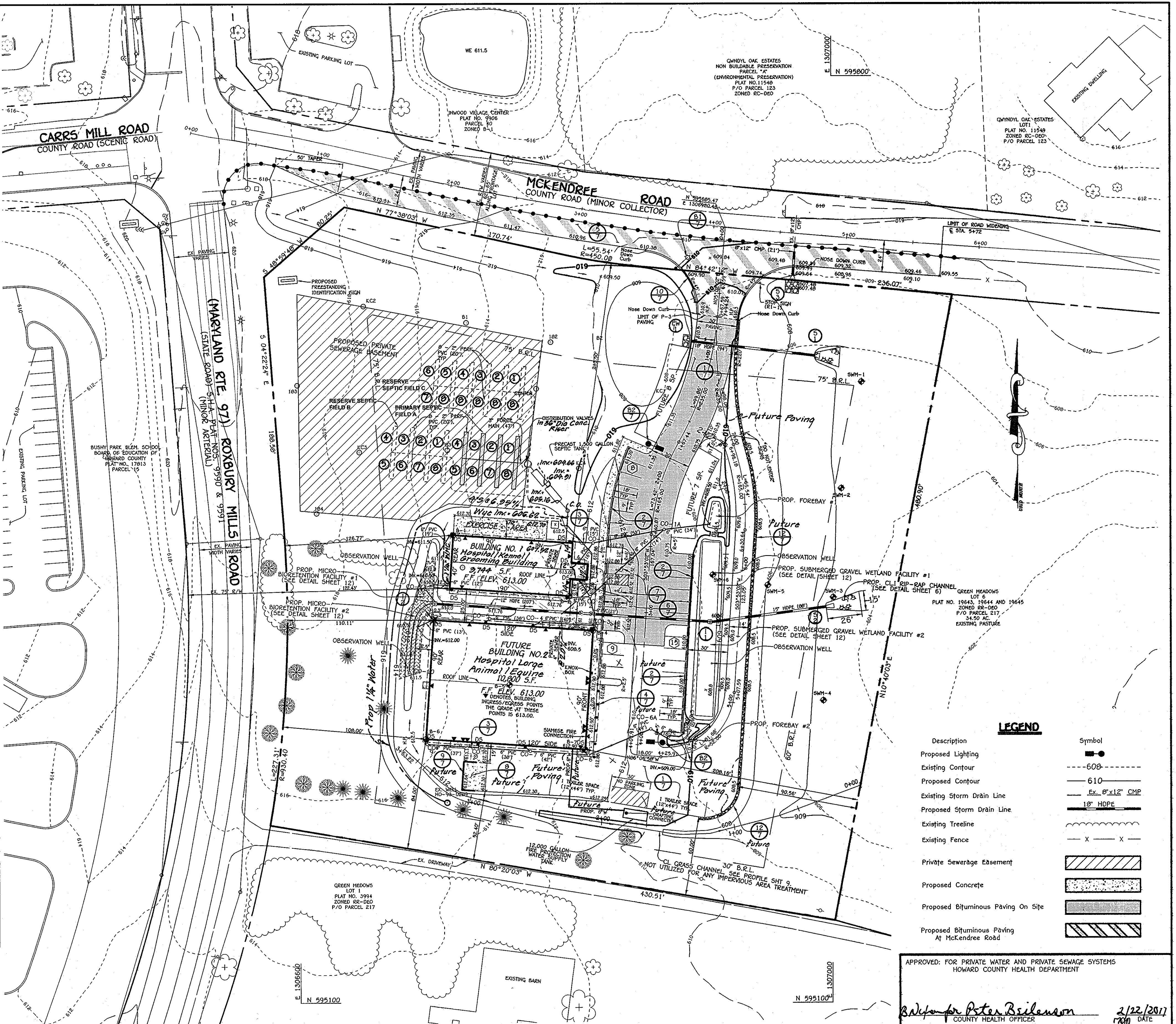
CLEANOUT STRUCTURE SCHEDULE							
STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS
CO-1	612.60	610.16 (6"), 610.16 (6")	610.06 (6")	595,447.40 1,306,820.95	6"	STD CLEANOUT	S. - 2.14
CO-2	612.75	610.09 (6"), 610.09 (6")	609.84 (6")	595,406.96 1,306,818.05	6"	STD CLEANOUT	S. - 2.14
CO-3	612.90	609.90 (6"), 609.90 (6")	609.80 (6")	595,384.86 1,306,822.94	6"	STD CLEANOUT	S. - 2.14
CO-4	612.80	610.40 (6"), 610.40 (6")	610.30 (6")	595,387.50 1,306,781.09	6"	STD CLEANOUT	S. - 2.14
CO-5	612.80	610.69 (6")	610.59 (6")	595,390.23 1,306,742.68	6"	STD CLEANOUT	S. - 2.14
CO-6	612.89	610.02 (6"), 610.02 (6")	609.92 (6")	595,287.22 1,306,816.54	6"	STD CLEANOUT	S. - 2.14
CO-7	612.89	610.33 (6"), 610.33 (6")	610.23 (6")	595,290.16 1,306,772.92	6"	STD CLEANOUT	S. - 2.14
CO-8	612.87	610.62 (6"), 610.62 (6")	610.52 (6")	595,292.89 1,306,734.51	6"	STD CLEANOUT	S. - 2.14
CO-9	612.75	610.91 (6")	610.81 (6")	595,295.38 1,306,695.37	6"	STD CLEANOUT	S. - 2.14
CO-10	611.32	-	607.30 (6")	595,350.59 1,306,685.25	6"	STD CLEANOUT	S. - 2.14
CO-11	610.50	-	607.25 (6")	595,412.78 1,306,699.14	6"	STD CLEANOUT	S. - 2.14
CO-1A	610.90	609.10 (6"), 609.10 (6")	608.95 (6")	595,457.40 1,306,675.95	6"	STD CLEANOUT	S. - 2.14
CO-6A	610.30	609.30 (6")	609.20 (6")	595,306.75 1,306,863.53	6"	STD CLEANOUT	S. - 2.14

UNDERGROUND GROUND WATER RECHARGE AREA			
LABEL	LENGTH	RADIUS	REMARKS
L1	6.34'	---	---
L2	30.83'	---	---
L3	2.69'	---	---
L4	12.81'	---	---
L5	14.20'	---	---
L6	25.71'	---	---
L7	4.70'	---	---
L8	6.46'	---	---
L9	4.89'	---	---
L10	31.96'	---	---
L11	15.48'	---	---
C1	14.10'	25.80'	CURVE
L12	1.56'	---	---
L13	21.95'	---	---
L14	8.31'	---	---

**RECHARGE TRENCH DETAIL**  
SCALE: 1" = 20'



NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.



\*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13204, Expiration Date: November 3, 2012.\*

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10722 BALDWIN NATIONAL Pk.  
ELICOTT CITY, MARYLAND 21042  
(410) 461-2995

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Thomas J. Suttle* 2/25/11  
Director - Department of Planning and Zoning  
*Vest Schelone* 2/25/11  
Chief, Division of Land Development  
*W. J. ...* 2/10/11  
Chief, Development Engineering Division NY

DATE: 2/10/11

REVISION BLOCK

0-10-11 Removed 6" Water to Bldg No. 2, revised Footprint, dimensions & sq ft of Bldg No. 1.

OWNER/DEVELOPER  
ANIMAL MEDICAL HOSPITAL  
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SUITE 7  
GLENWOOD, MARYLAND 21738  
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Address Chart

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT	N/A	P/O 217	5
PLAT REF. 19072	BLOCK NO. 11	ZONE RR-DEO	TAX MAP 14
ELEC. DIST. FOURTH		CENSUS TR. 6040.02	
WATER CODE N/A		SEWER CODE N/A	

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Balfor Peter Brillemann* 2/22/2011  
COUNTY HEALTH OFFICER (R30) DATE

**SITE DEVELOPMENT PLAN, FOREBAY #1  
PROFILES AND RECHARGE TRENCH DETAIL**

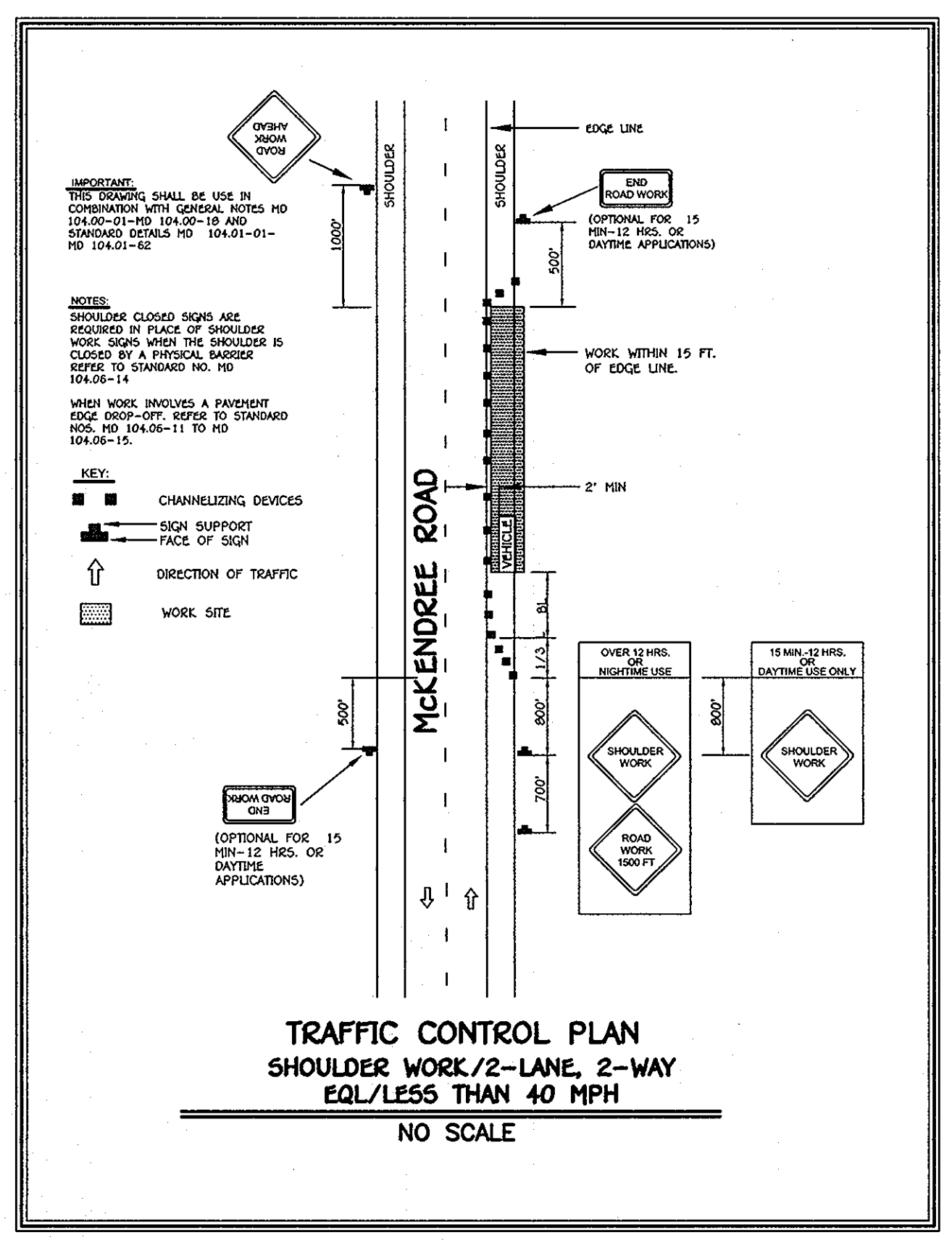
**ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT No.: 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: JANUARY 26, 2011

SHEET 3 OF 19 SDP-08-004

**LEGEND**

Description	Symbol
Proposed Lighting	—●—
Existing Contour	---600---
Proposed Contour	—610—
Existing Storm Drain Line	—Ex. 8"x12" CMP
Proposed Storm Drain Line	—16" HDPE
Existing Treetline	—
Silt Fence	5F — 5F — 5F
Super Silt Fence	SSF — SSF — SSF
Existing Fence	—
Limit of Grading Disturbance (L.O.D.)	—
Private Sewerage Easement	▨
Proposed Concrete	▨
Proposed Bituminous Paving On Site	▨
Proposed Bituminous Paving At McKendree Road	▨
Tree Protection Fencing (See Detail on Sheet 21)	TP — TP

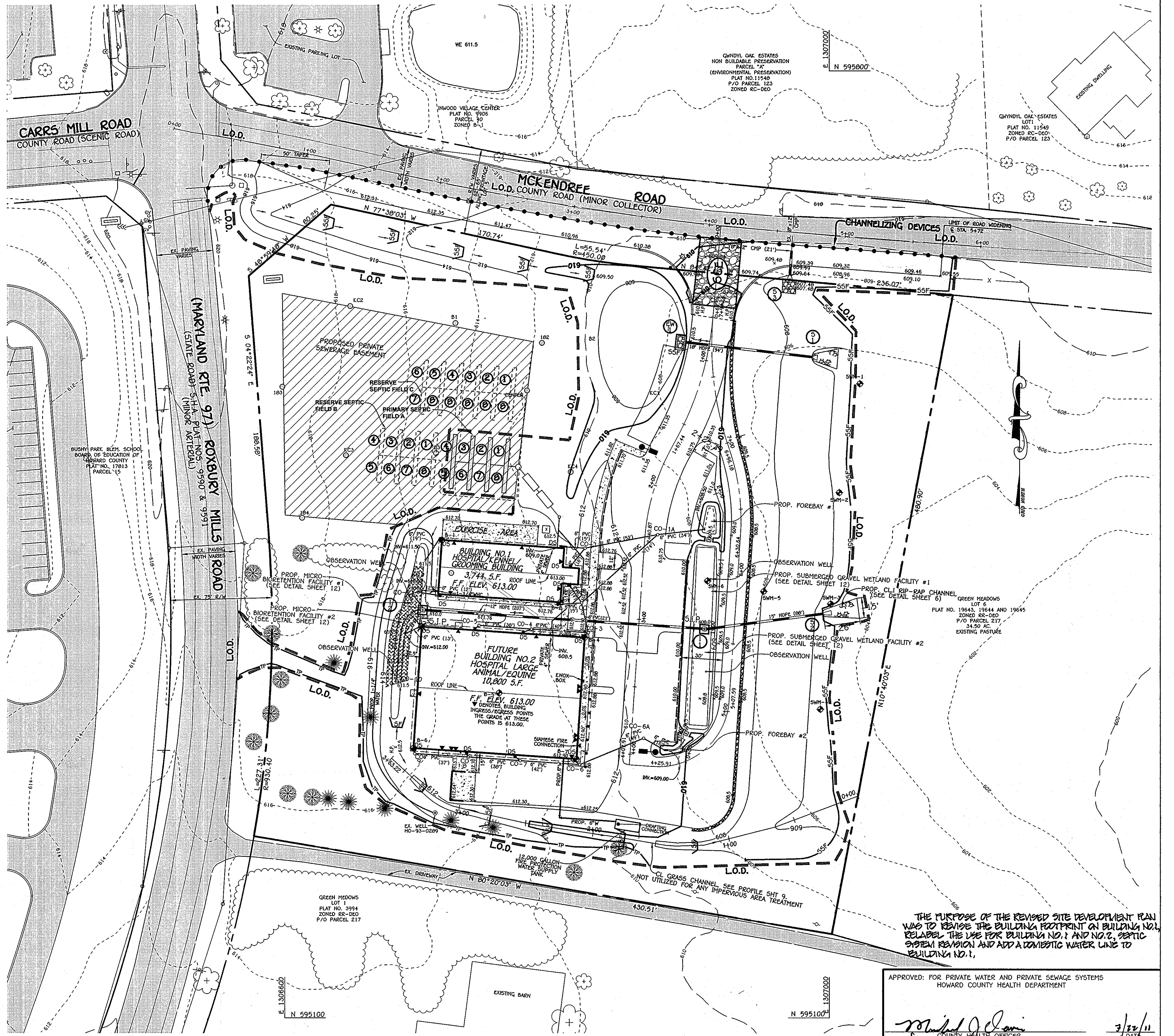


**SEQUENCE OF CONSTRUCTION**

- OBTAIN GRADING PERMIT AND DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. (1 DAY)
- INSTALL TREE PROTECTION FENCING AS SHOWN ON THIS PLAN. FENCING SHALL BE INSTALLED PRIOR TO SITE GRADING.
- NOTIFY "MISS UTILITY" (1-800-257-7777) AT LEAST 48 HOURS BEFORE STARTING WORK AND NOTIFY THE HOWARD COUNTY DIVISION OF CONSTRUCTION INSPECTION (410-313-1870) 24 HOURS BEFORE STARTING WORK.
- INSTALL ALL SEDIMENT CONTROL DEVICES (S.C.E., SILT FENCE, SUPER SILT FENCE). OBTAIN PERMISSION FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO PROCEEDING. (1 MONTH)
- CONSTRUCT AND IMMEDIATELY STABILIZE THE PROPOSED SWALE ALONG THE SOUTH EDGE OF THE DEVELOPMENT. (1 WEEK)
- DEMOLISH AREAS SHOWN ON SHEET 2. ALL DEMOLISHED MATERIALS SHALL BE COMPLETELY REMOVED FROM THE SITE AND DISPOSED OF PROPERLY. (3 WEEKS)
- GRADE SITE TO THE PROPOSED GRADES AND IMMEDIATELY STABILIZE ALL SLOPES UPON COMPLETION OF GRADING WITH TEMPORARY SEEDING. AS FILL PROGRESSES, SUPER SILT FENCE MUST BE INSPECTED AND REPAIRED IF NECESSARY UPON WEEKLY REVIEW BY HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. (2 MONTHS)
- BEGIN CONSTRUCTION OF BUILDINGS. (8 MONTHS)
- CONSTRUCT WATER, SEWER AND STORM DRAIN SYSTEM AND INLET PROTECTION WITH THE EXCEPTION OF THE MICRO BIO-RETENTION FACILITIES AND SUBMERGED GRAVEL WETLAND. THE PIPE ENTRANCE TO THE RECHARGE STONE TRENCH AT INLET 1-2 AND 1-1 SHALL BE BLOCKED AND WATERTIGHT. (4 WEEKS)
- INSTALL CURB AND GUTTER. (1 WEEK)
- CONSTRUCT ALL (4) FOUR SWM FACILITIES; 2-MICRO BIO-RETENTION FACILITIES, 2-SUBMERGED GRAVEL WETLANDS AND BLOCK (WATERTIGHT) ENTRANCE TO THESE FACILITIES IN 1-1 AND 1-2. (2 WEEKS)
- PAVE PARKING LOT, ROADWAYS, AND MCKENDREE ROAD WIDENING. (1 MONTH)
- COMPLETE CONSTRUCTION OF BUILDINGS, SIDEWALK, AND EXERCISE AREA. (1 MONTH)
- STABILIZE ALL DISTURBED AREAS WITH SEED AND MULCH IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS. (1 WEEKS)
- INSPECT STORM DRAIN SYSTEM AND FLUSH/CLEAN AS NECESSARY TO ENSURE NO REMAINING SEDIMENT. (1 DAY).
- FOLLOWING SUCCESSFUL STABILIZATION (i.e., ESTABLISHED VEGETATION OR PAVING) OF ALL DISTURBED AREAS, OBTAIN PERMISSION FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR TO REMOVE ALL REMAINING SEDIMENT AND EROSION CONTROL DEVICES. THEN STABILIZE THOSE AREAS DISTURBED BY THIS PROCESS WITH PERMANENT SEEDING. UNBLOCK ENTRANCES TO MICRO BIO-RETENTION AND SUBMERGED GRAVEL WETLAND FACILITIES IN 1-1 AND 1-2. (1 WEEK)

SEQUENCE NOTE: THE CONTRACTOR SHALL INSPECT AND PROVIDE NECESSARY MAINTENANCE ON ALL SEDIMENT AND EROSION CONTROL STRUCTURES SHOWN HEREON AFTER EACH RAINFALL EVENT AND ON A DAILY BASIS. REMOVE SEDIMENTS FROM THE SEDIMENT BASINS WHEN CLEAN OUT ELEVATIONS ARE REACHED. ALL SEDIMENTS MUST BE PLACED UPSTREAM OF ANY APPROVED BASIN.

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."



THE PURPOSE OF THE REVISED SITE DEVELOPMENT PLAN WAS TO REVISE THE BUILDING FOOTPRINT ON BUILDING NO. 1, RELOCATE THE USE FOR BUILDING NO. 1 AND NO. 2, SEPTIC SYSTEM REMOVAL AND ADD A DOMESTIC WATER LINE TO BUILDING NO. 1.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

Signature of Charles J. Cawors, dated 7/22/11.

**DEVELOPER'S CERTIFICATE**

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *Stuart Scheinberg*, Date: 6/29/11

Printed Name of Developer: **Stuart Scheinberg**

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements.

USDA-Natural Resources Conservation Service Date: *WHL*

**ENGINEER'S CERTIFICATE**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Cawors*, Date: 6/29/11

Printed Name of Engineer: **CHARLES J. CAWORS**

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

Signature of Engineer: *John L. Robertson*, Date: 7/12/11

Howard Soil Conservation District

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Signature: *Thomas G. Suller*, Date: 7/27/11

Director - Department of Planning and Zoning

Signature: *Wesley D. Smith*, Date: 7-26-11

Chief, Division of Land Development

Signature: *Paul Elwood*, Date: 7-14-11

Chief, Development Engineering Division NY

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENMEADOW  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENMEADOW, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

**SEDIMENT CONTROL PLAN AND TRAFFIC CONTROL PLAN**  
**"REVISED SITE DEVELOPMENT PLAN"**  
**ANIMAL MEDICAL HOSPITAL**  
**AT GLENMEADOW**  
**GREEN MEADOWS**  
**LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: JANUARY 26, 2011

SHEET 4 OF 19 SDP-08-004

**LEGEND**

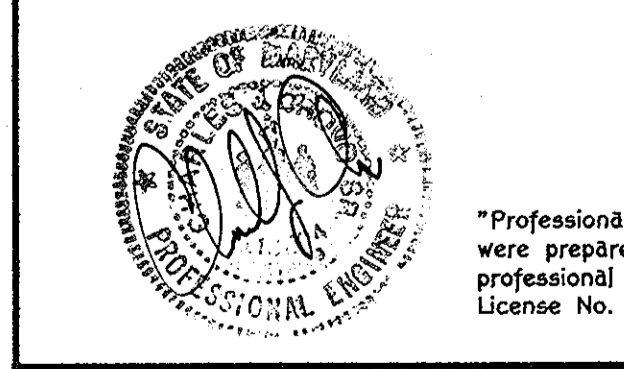
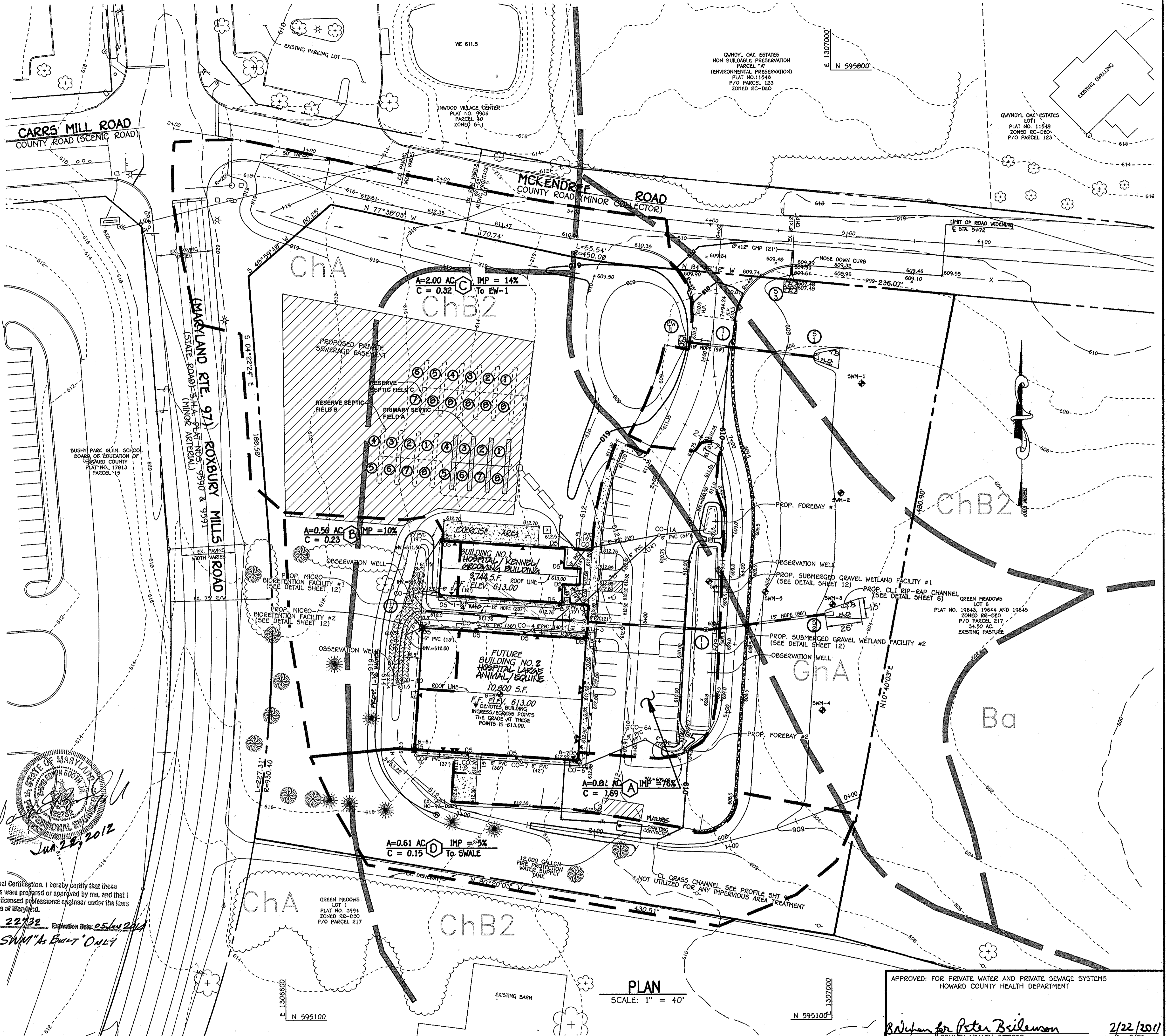
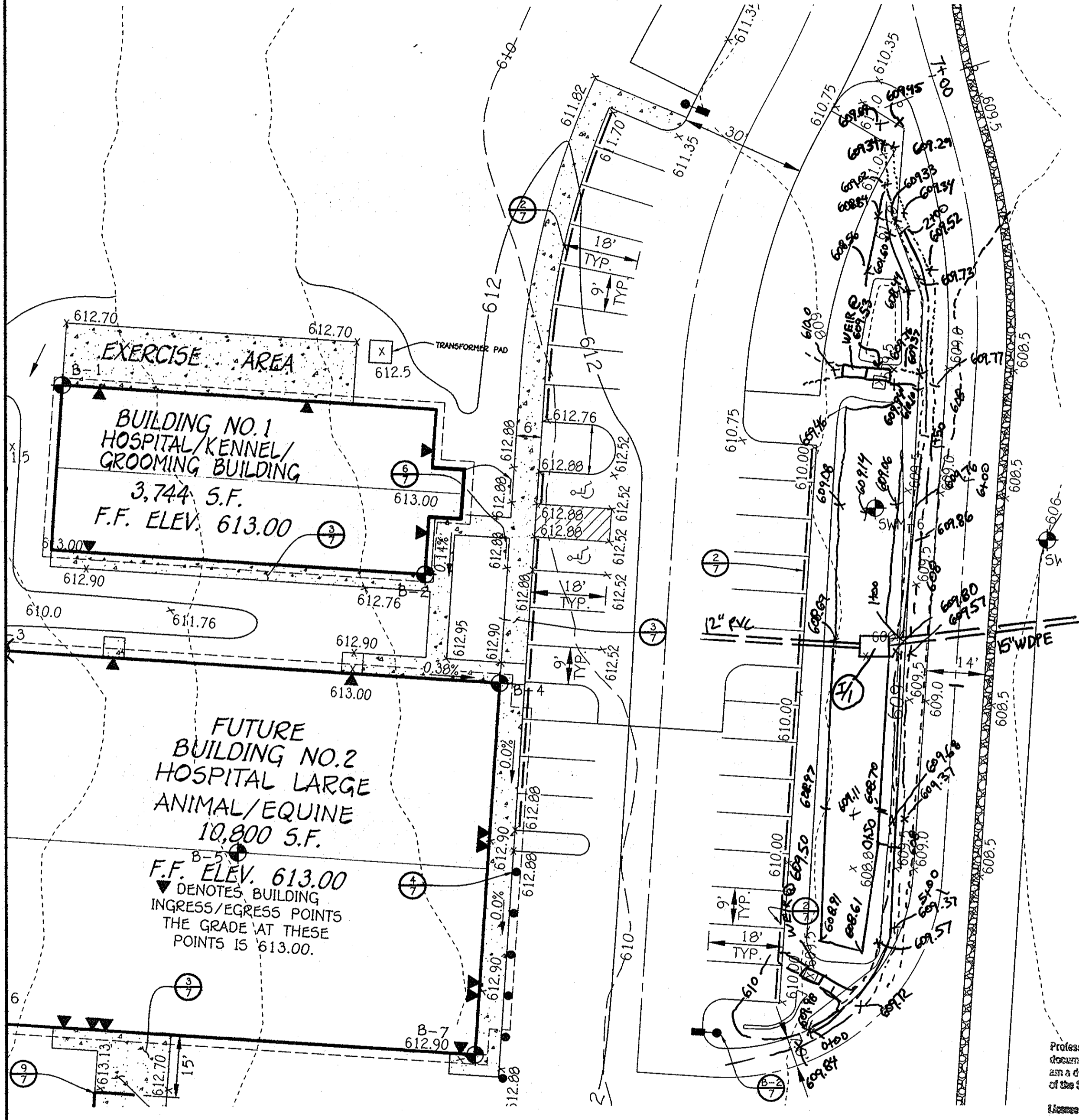
Description	Symbol
Proposed Lighting	●
Existing Contour	-608-
Proposed Contour	— 610 —
Existing Storm Drain Line	— 18" CMP —
Proposed Storm Drain Line	— 18" HDPE —
Existing Treetline	— x — x —
Existing Fence	— x — x —
Drainage Limits	▨
Private Sewerage Easement	▨
Proposed Concrete	▨

**SOILS LEGEND**

SOIL	NAME
Ba	Baile silt loam
ChA	Chester silt loam, 0 to 3 percent slopes
ChB2	Chester silt loams, 3 to 8 percent slopes, moderately eroded
GnA	Glenville silt loam, 0 to 3 percent slopes

**DRAINAGE AREA DATA**

AREA NO.	STRUCTURE NO.	AREA (AC.)	C	% IMP.
A	1-1	0.70	0.69	76
B	1-2	0.50	0.23	10
C	EW-1	2.00	0.32	14
D	SWALE	0.61	0.15	5



**DEVELOPER'S CERTIFICATE**

"I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District."

Signature of Developer: *Charles J. Caruso* / 1/28/11  
Date: 1/28/11

Printed Name of Developer: **Dr. Stuart N. Scheinberg**

**ENGINEER'S CERTIFICATE**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Caruso* / 1/28/11  
Date: 1/28/11

Printed Name of Engineer: **CHARLES J. CARUSO, P.E.**

**APPROVED: DEPARTMENT OF PLANNING AND ZONING**

Director - Department of Planning and Zoning: *Thomas S. Butler* / 2/25/11  
Date: 2/25/11

Chief, Division of Land Development: *William J. Williams* / 2/10/11  
Date: 2/10/11

**OWNER/DEVELOPER**

ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 429-9677

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

Signature for Peter Brilemon / 2/22/10  
COUNTY HEALTH OFFICER / DATE

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SOURCE OFFICE PARK - 10732 BALDWIN NATIONAL PIKE  
ELKLOTT CITY, MARYLAND 21042  
(410) 461-2055

USDA Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the Howard Soil Conservation District.

Signature: *John L. Robertson* / 2/19/11  
Date: 2/19/11

Howard Soil Conservation District

**REVISION BLOCK**

01/01	REMOVED 6" WATER TO DRAIN, NOT REVERSED TREATMENT AND SQUARE POOLING OF BLDG. NO. 1 AND REVERSED SEPTIC SYSTEM
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**Address Chart**

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

**PROJECT** ANIMAL MEDICAL HOSPITAL  
DOG KENNEL AND PET GROOMING ESTABLISHMENT

SECTION/AREA	PARCEL LOT
N/A	P/O 217 5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

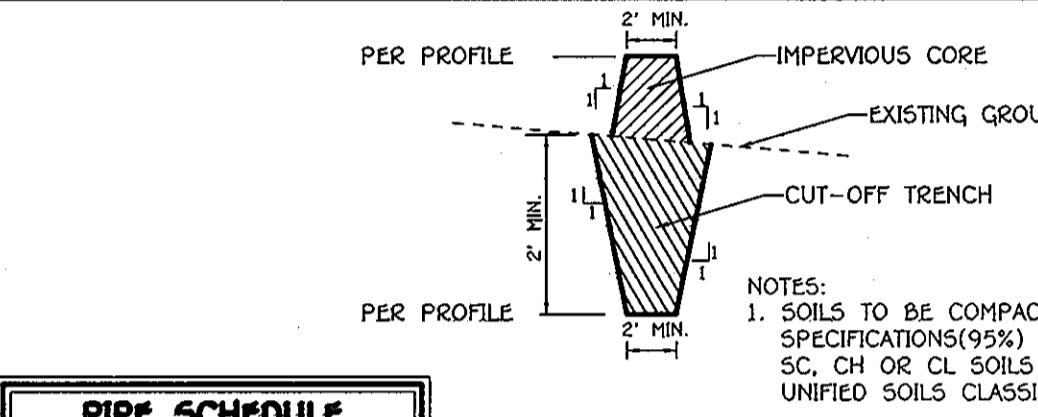
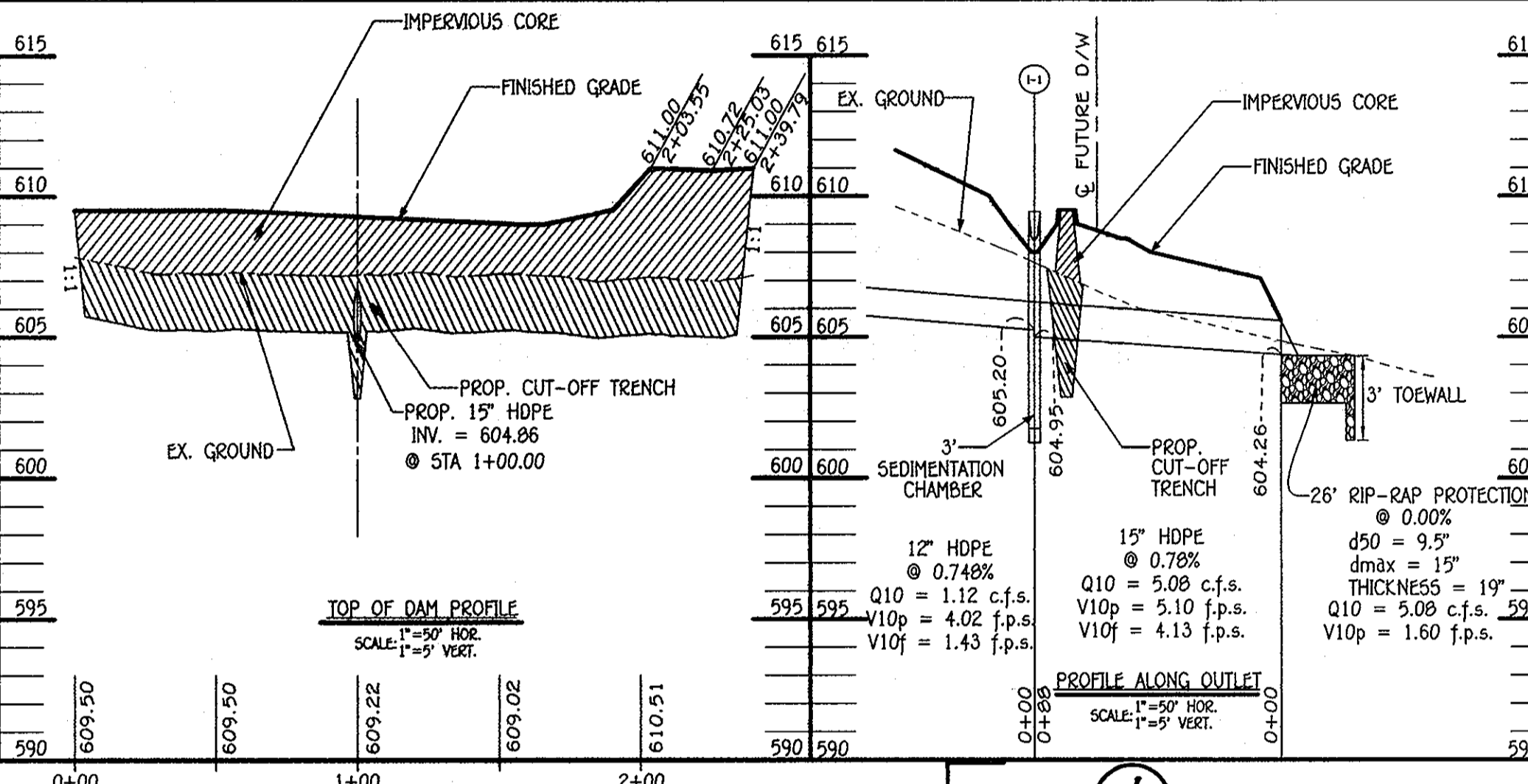
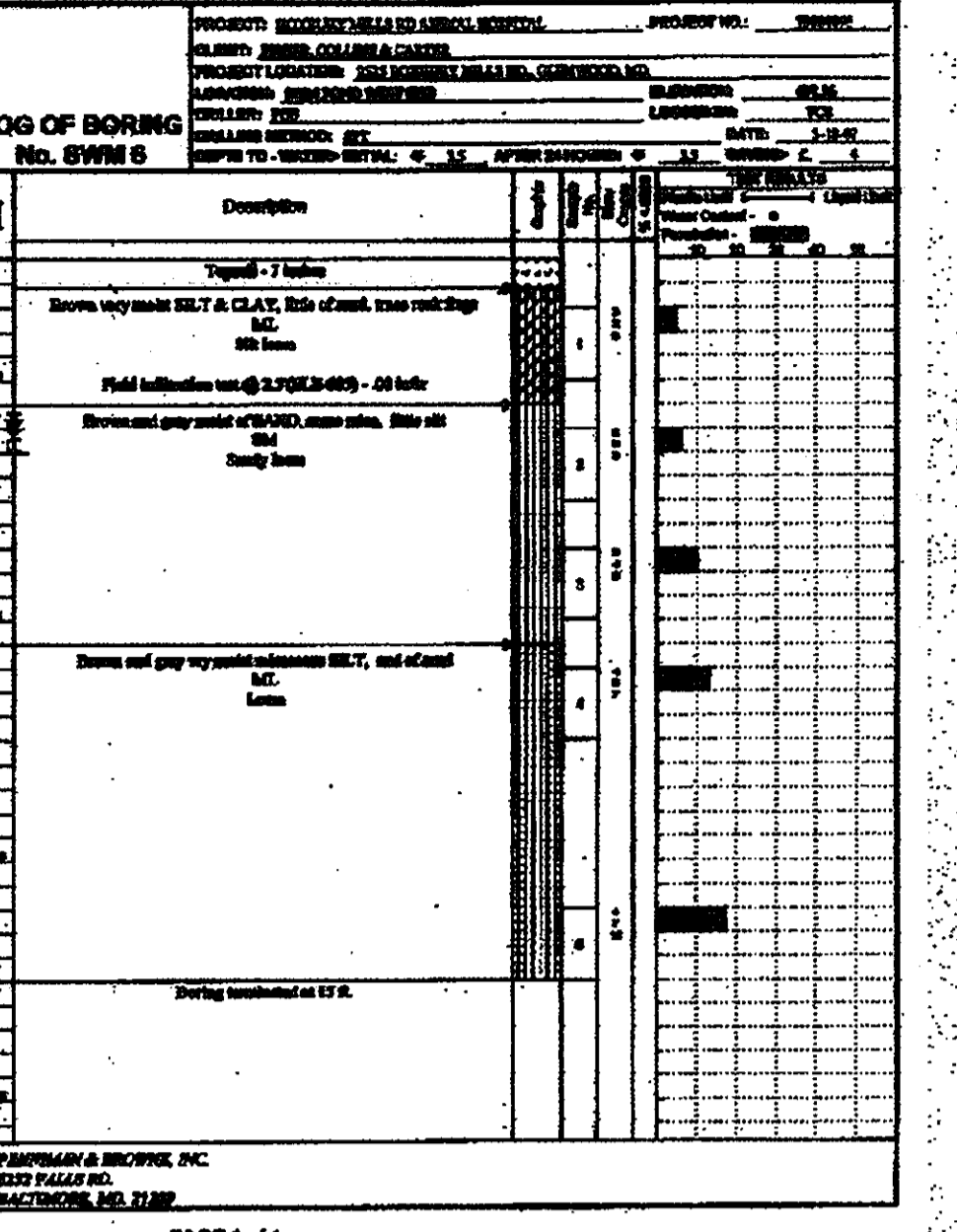
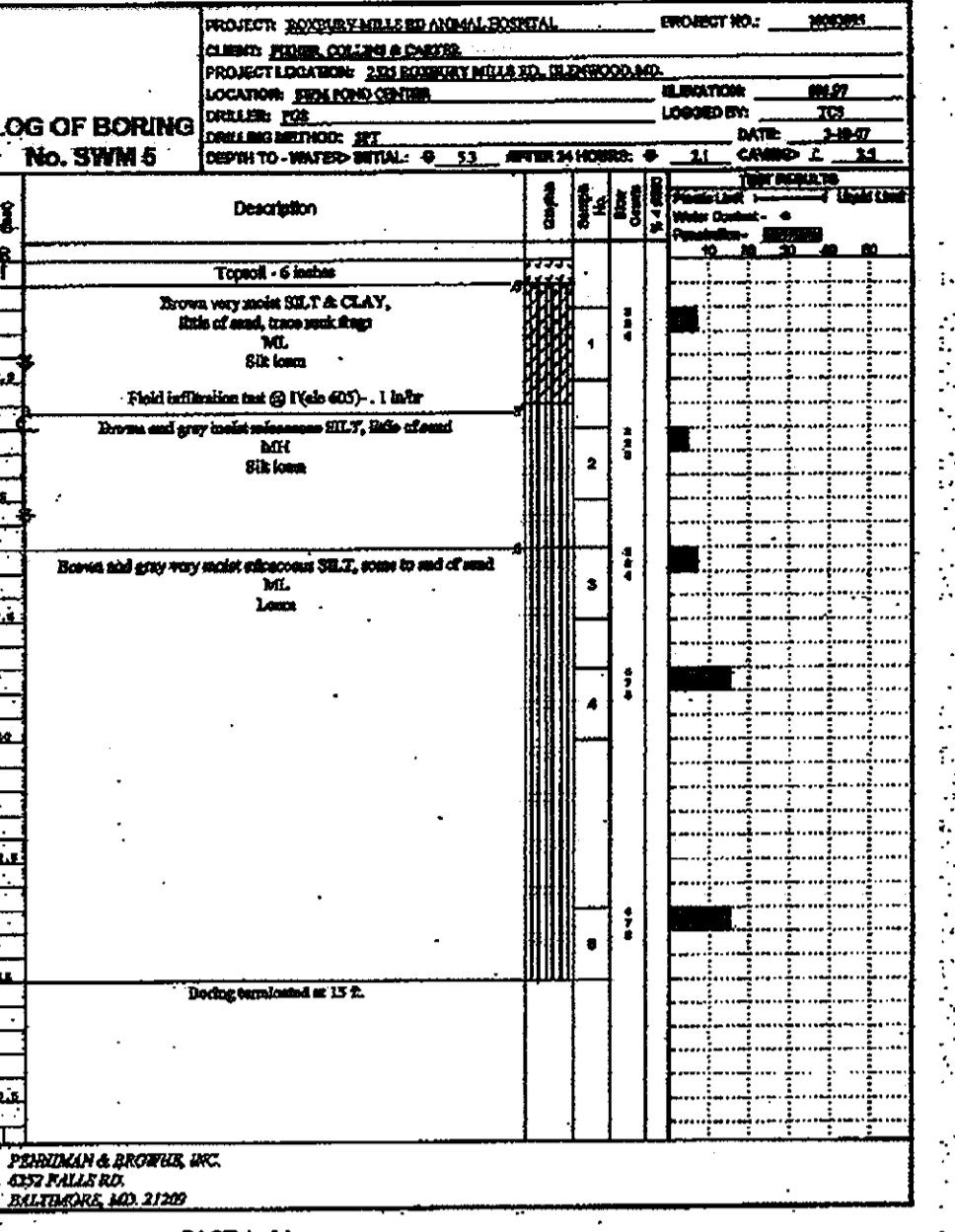
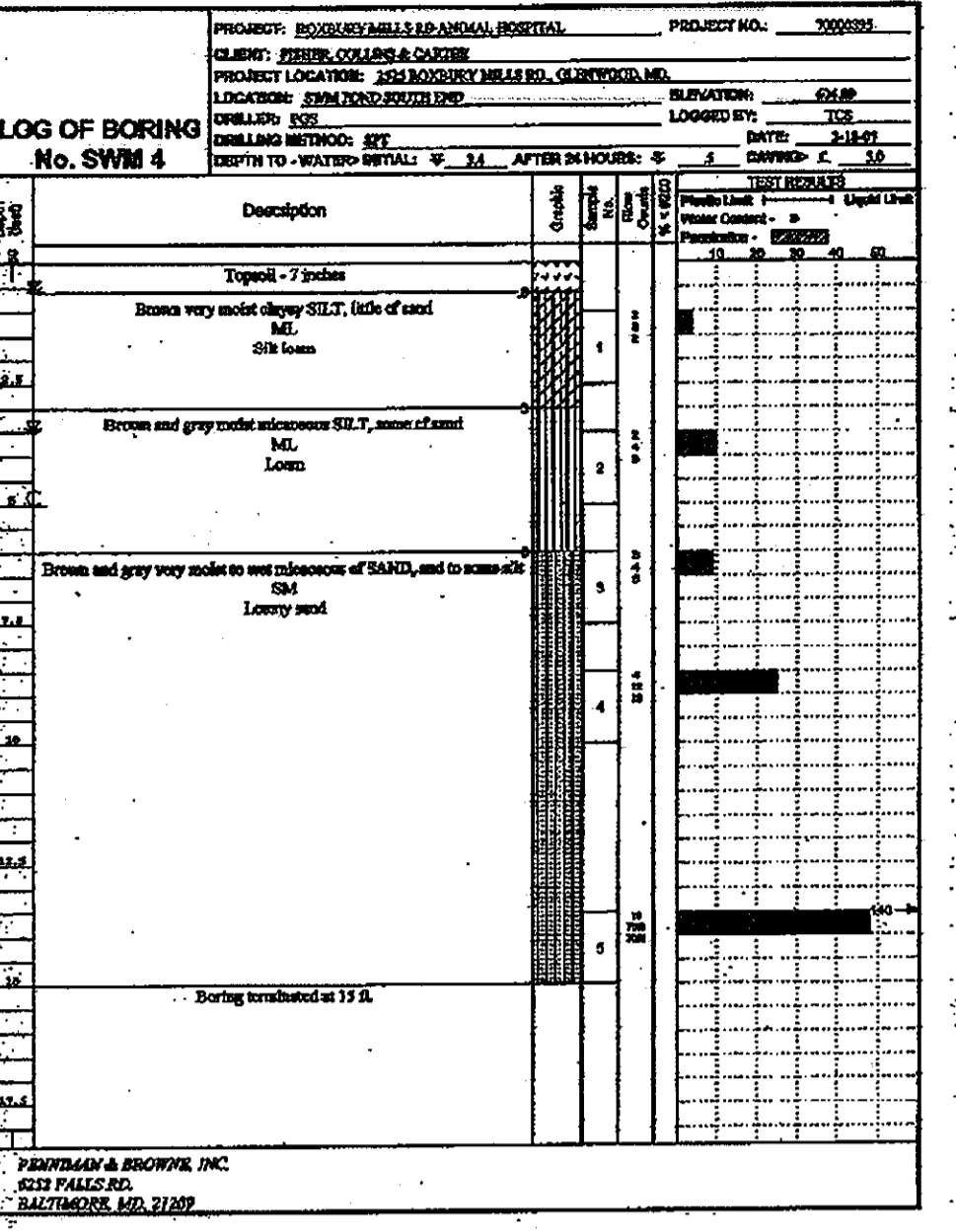
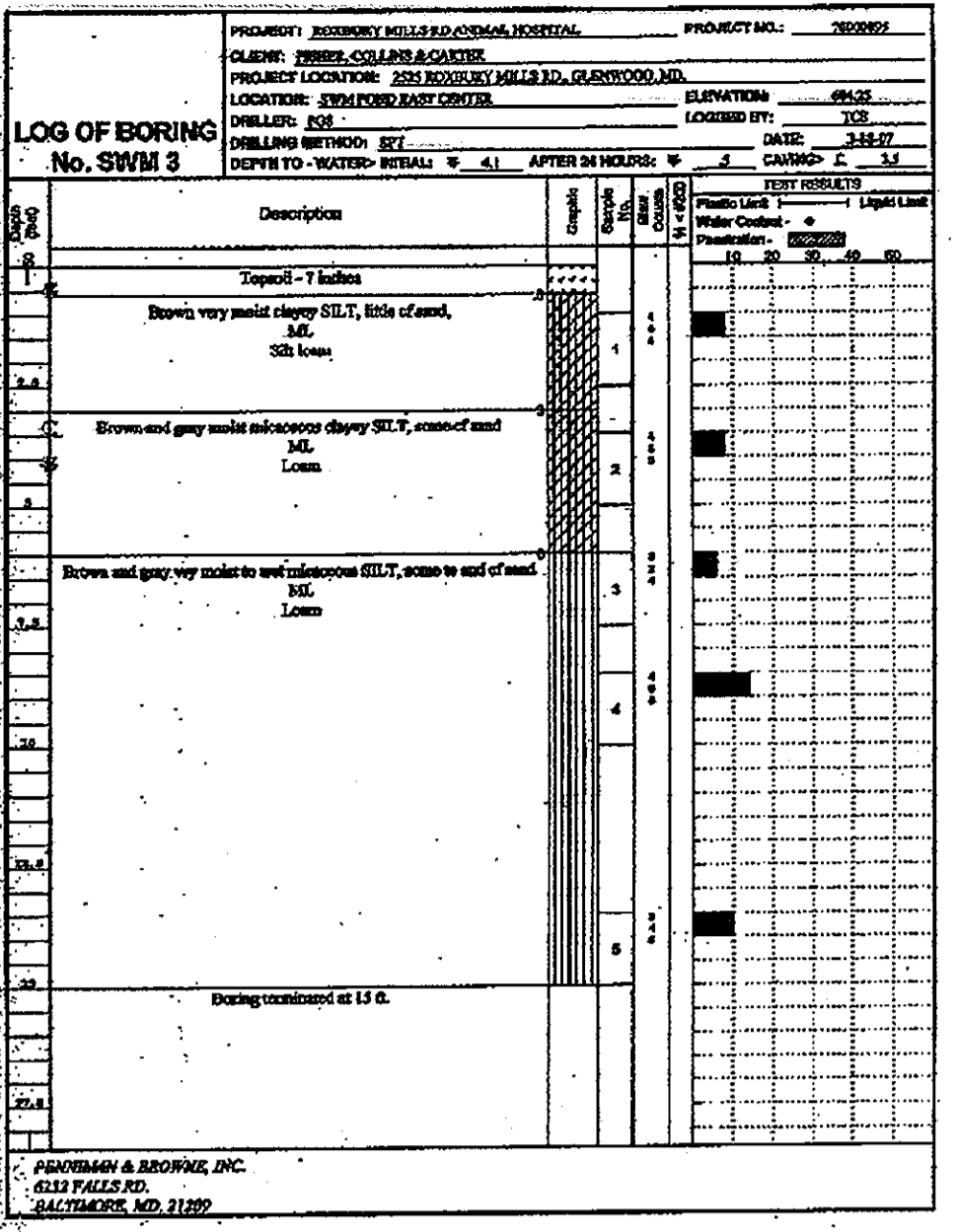
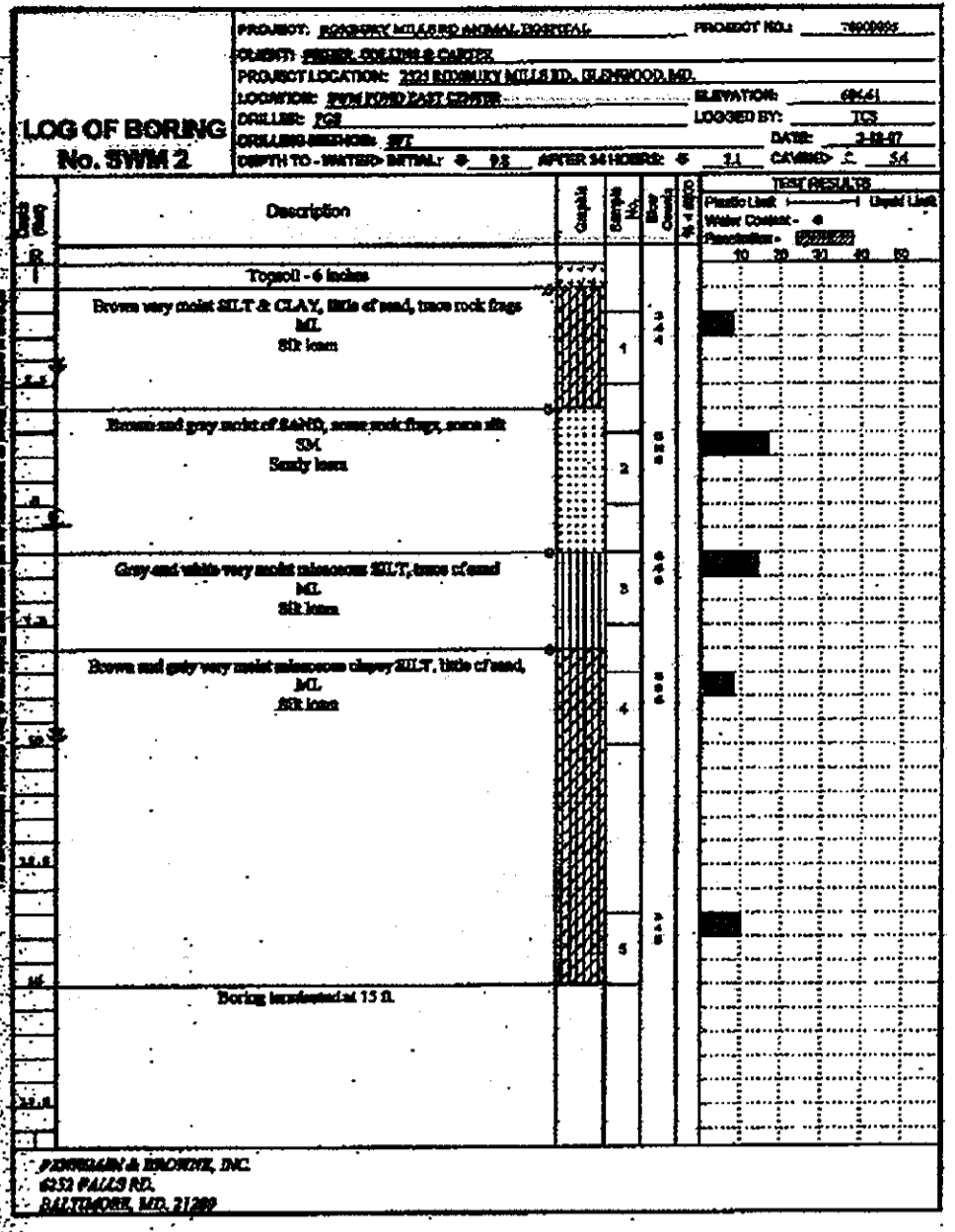
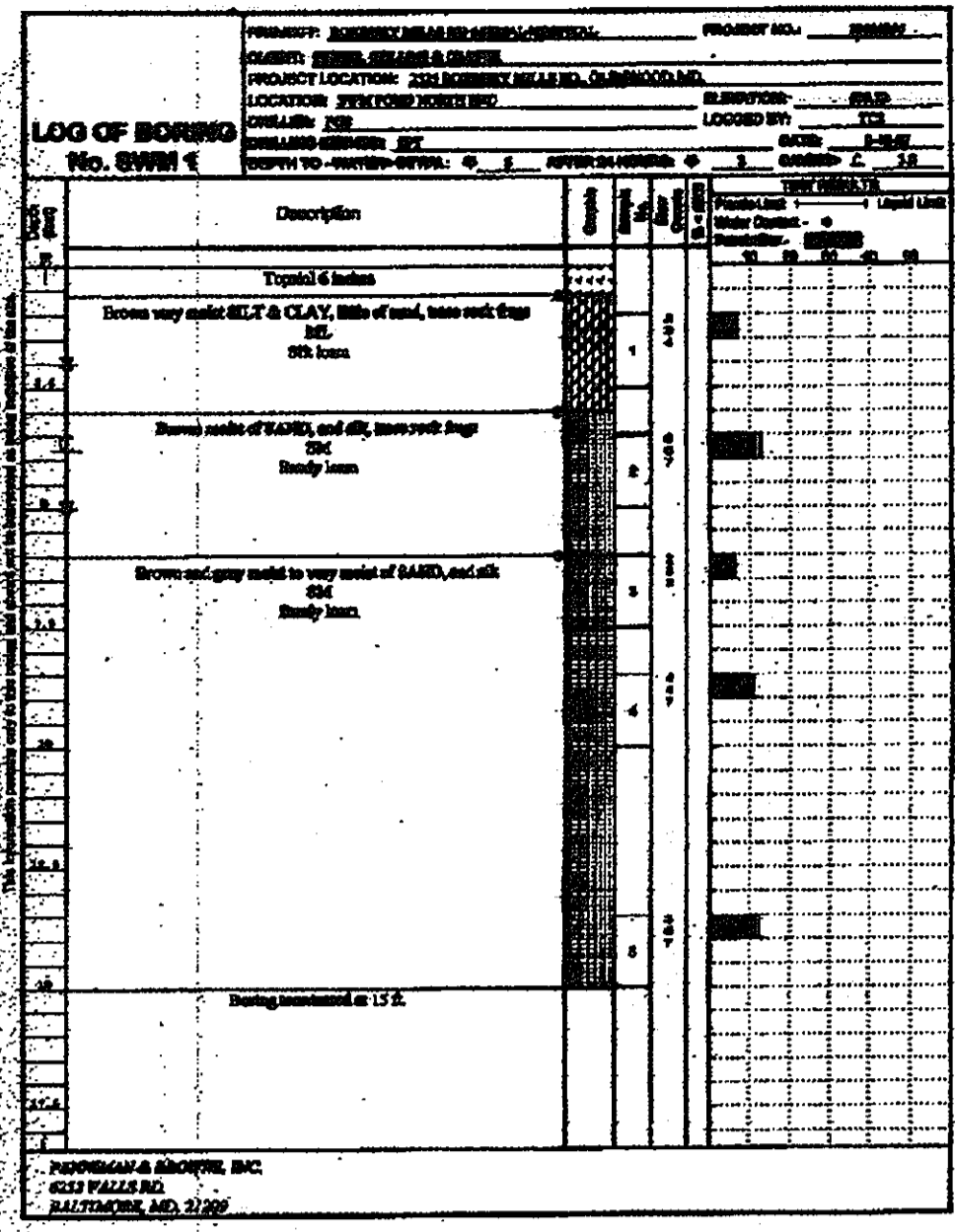
WATER CODE: N/A  
SEWER CODE: N/A

**DRAINAGE AREA MAP, SOILS MAP & HANDICAP PARKING/ACCESS PLAN**

**ANIMAL MEDICAL HOSPITAL AT GLENWOOD GREEN MEADOWS LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT No. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: JANUARY 26, 2011

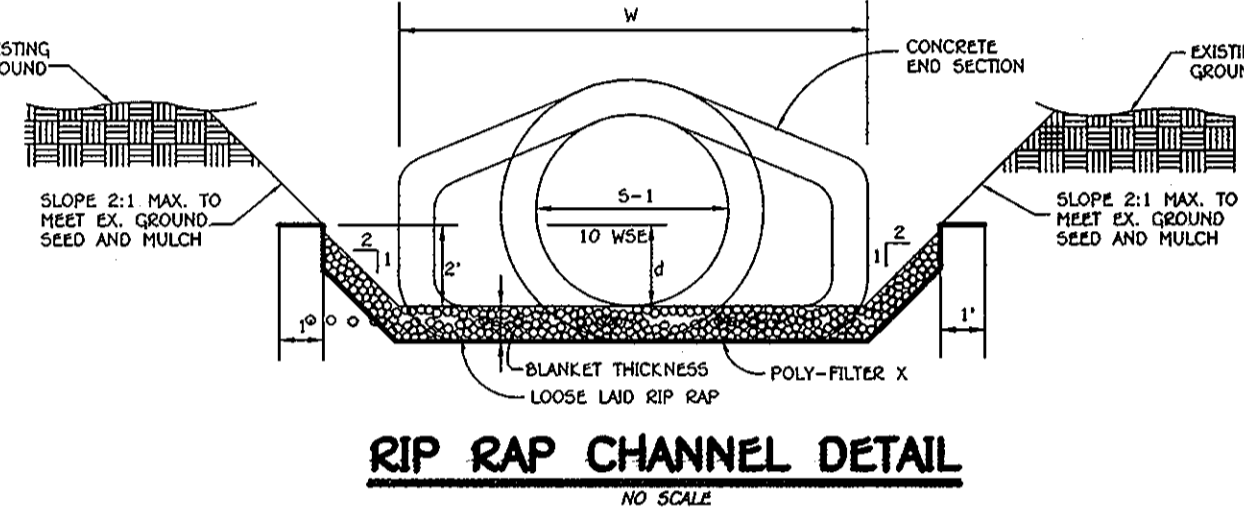
SHEET 5 OF 19 SDP-08-004



SIZE	CLASS	LENGTH
6"	PVC SCH 40	549 L.F.
12"	HDPE	207 L.F.
15"	HDPE	80 L.F.
18"	HDPE	94 L.F.
8"x12"	CMP	21 L.F.
6"	PERF PVC SCH 40	66 L.F.

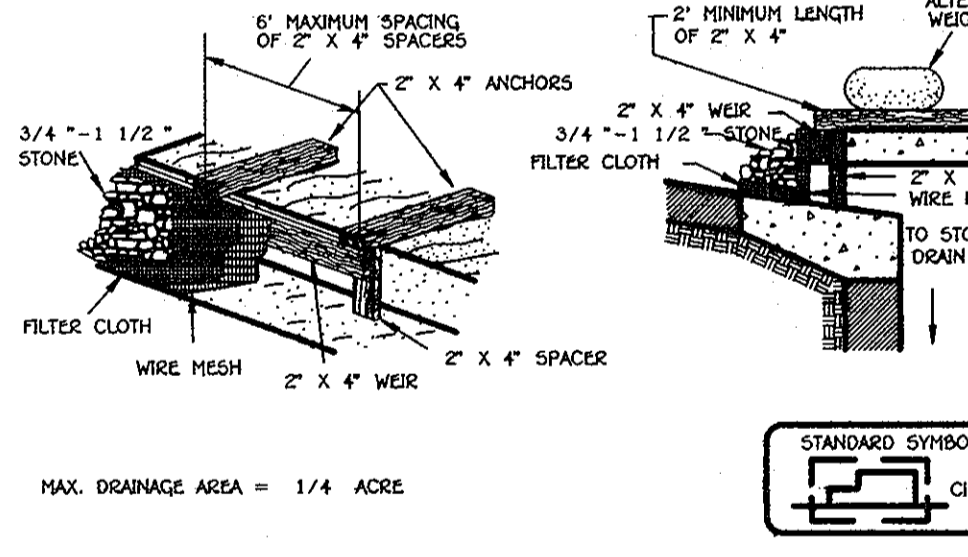
STRUCTURE SCHEDULE							
STRUCTURE NO.	TOP ELEVATION	INV. IN	INV. OUT	COORDINATES	WIDTH	TYPE	REMARKS
1-1	610.13	605.20 (12")	604.95 (15')	995,387.52 1,306,988.12	4.0'	10' INLET	S.D. - 4.11
1-2	611.83	607.30 (6') 607.25 (6')	606.75 (12')	995,401.70 1,306,701.46	4.0'	10' INLET	S.D. - 4.11
S-1	-	-	605.70 (18')	995,588.55 1,306,989.27	-	18' END SECTION	SEE ADS INFO BELOW
S-2	-	-	604.26 (15')	995,398.60 1,306,995.48	-	15' END SECTION	SEE ADS INFO BELOW
S-3	-	-	607.48 (8"x12")	995,645.98 1,306,970.86	-	8"x12" END SECTION	SEE ADS INFO BELOW
EW-1	610.39	-	606.82 (18')	995,599.67 1,306,894.14	-	TYPE "C" HEADWALL	S.D. - 5.21



RIP-RAP CHANNEL DESIGN DATA													
STRUCTURE	AREA	WETTED PERIMETER	R	R <sup>2/3</sup>	S	S <sup>1/2</sup>	W	d	N	V	Q	RIP-RAP SIZE	BLANKET THICKNESS
S-1	3.91	9.97	0.3922	0.5341	0.005	0.0707	26'	0.44'	0.04	1.41	5.44	9.5"	15"
S-2	3.18	6.73	0.4725	0.6051	0.005	0.0707	26'	0.61'	0.04	1.60	5.08	9.5"	15"
S-3	-	-	-	-	-	-	8'	1.58'	-	-	-	9.5"	15"
EW-1	4.55	11.80	0.0566	0.1461	0.0039	0.0624	10'	0.42'	0.04	1.22	5.44	9.5"	15"

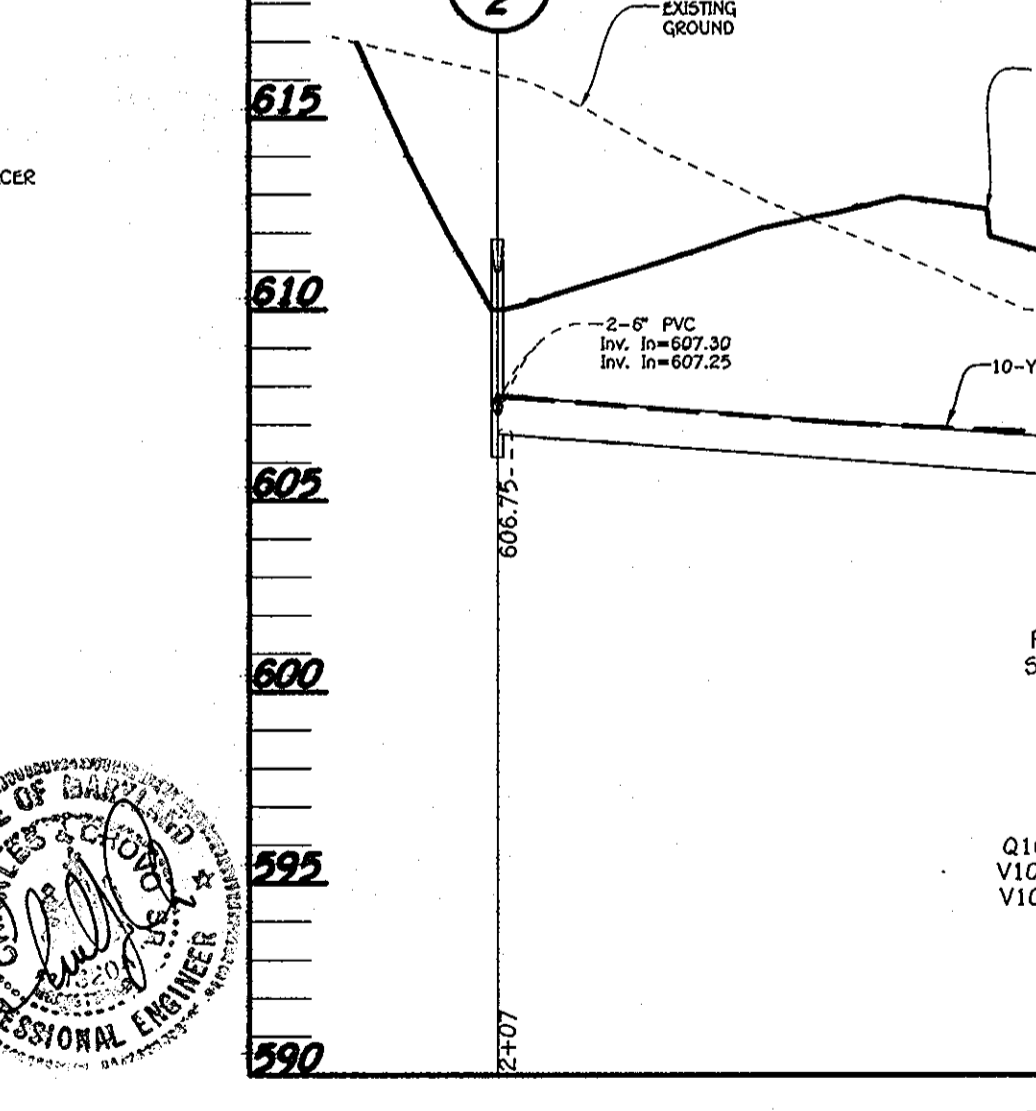
**CONSTRUCTION SPECIFICATIONS FOR RIP-RAP OUTFALLS**

- The subgrade for the filter, rip-rap or gabion shall be prepared to the required lines and grades. Any fill required in the subgrade shall be compacted to a density of approximately that of the surrounding undisturbed material.
- The rock or gravel shall conform to the specified grading limits when installed respectively in the rip-rap or filter.
- Filter cloth shall be protected from punching, cutting or tearing. Any damage other than an occasional small hole shall be repaired by placing another piece of cloth over the damaged part or by completely replacing the cloth. All overlaps whether for repairs or for joining two pieces of cloth shall be a minimum of one foot.
- Stone for the rip-rap or gabion outlets may be placed by equipment. Both shall each be constructed to the full course thickness in one operation and in such a manner as to avoid displacement of underlying materials. The stone for rip-rap or gabion outlets shall be delivered and placed in a manner that will insure that it is reasonably homogeneous with the smaller stones and spalls filling the voids between the larger stones. Rip-rap shall be placed in a manner to prevent damage to the filter blanket or filter cloth. Hand placement will be required to the extent necessary to prevent damage to the permanent works.

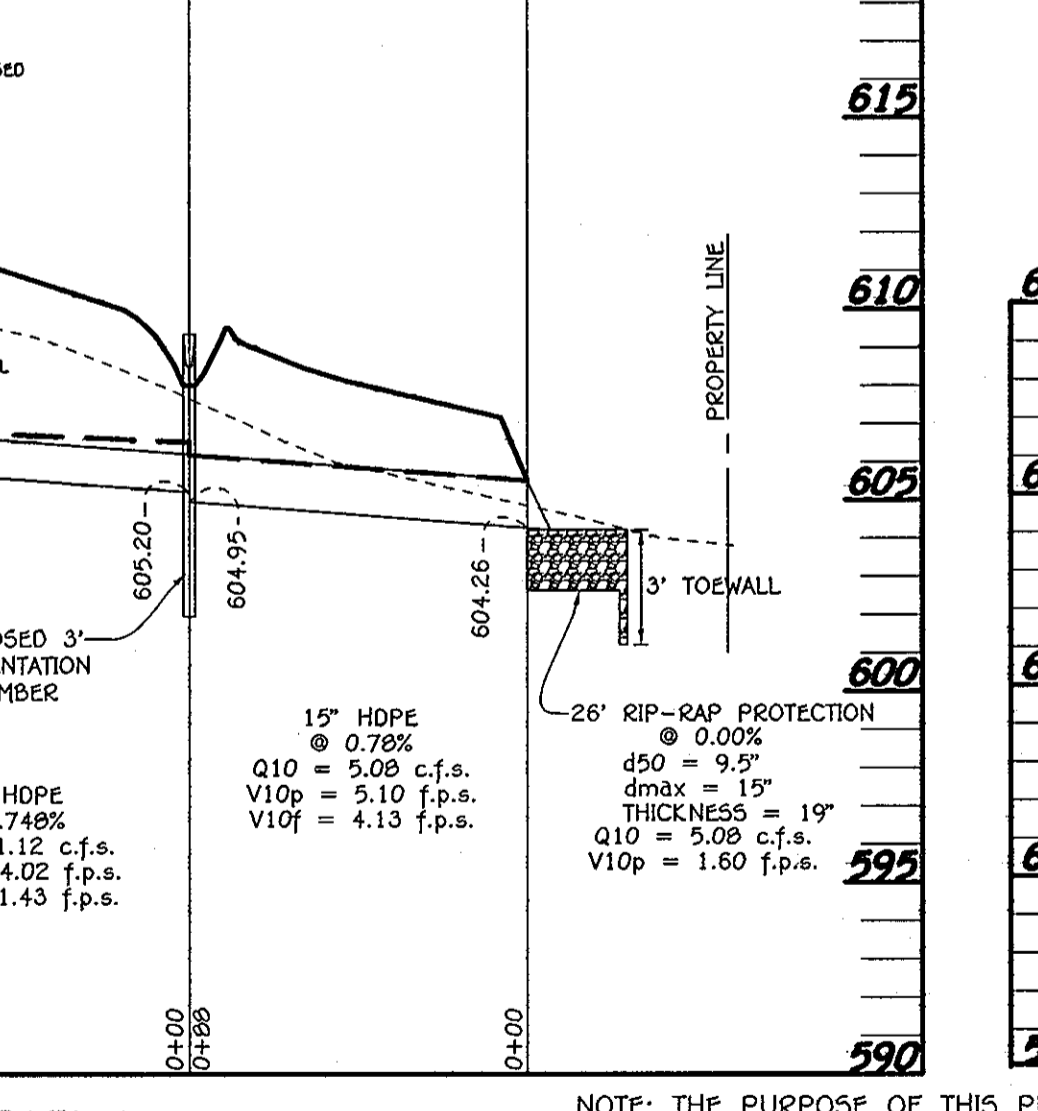


- Attach a continuous piece of wire mesh (80" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class C the same dimensions as the wire mesh over the weir mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4" apart).
- Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1" beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

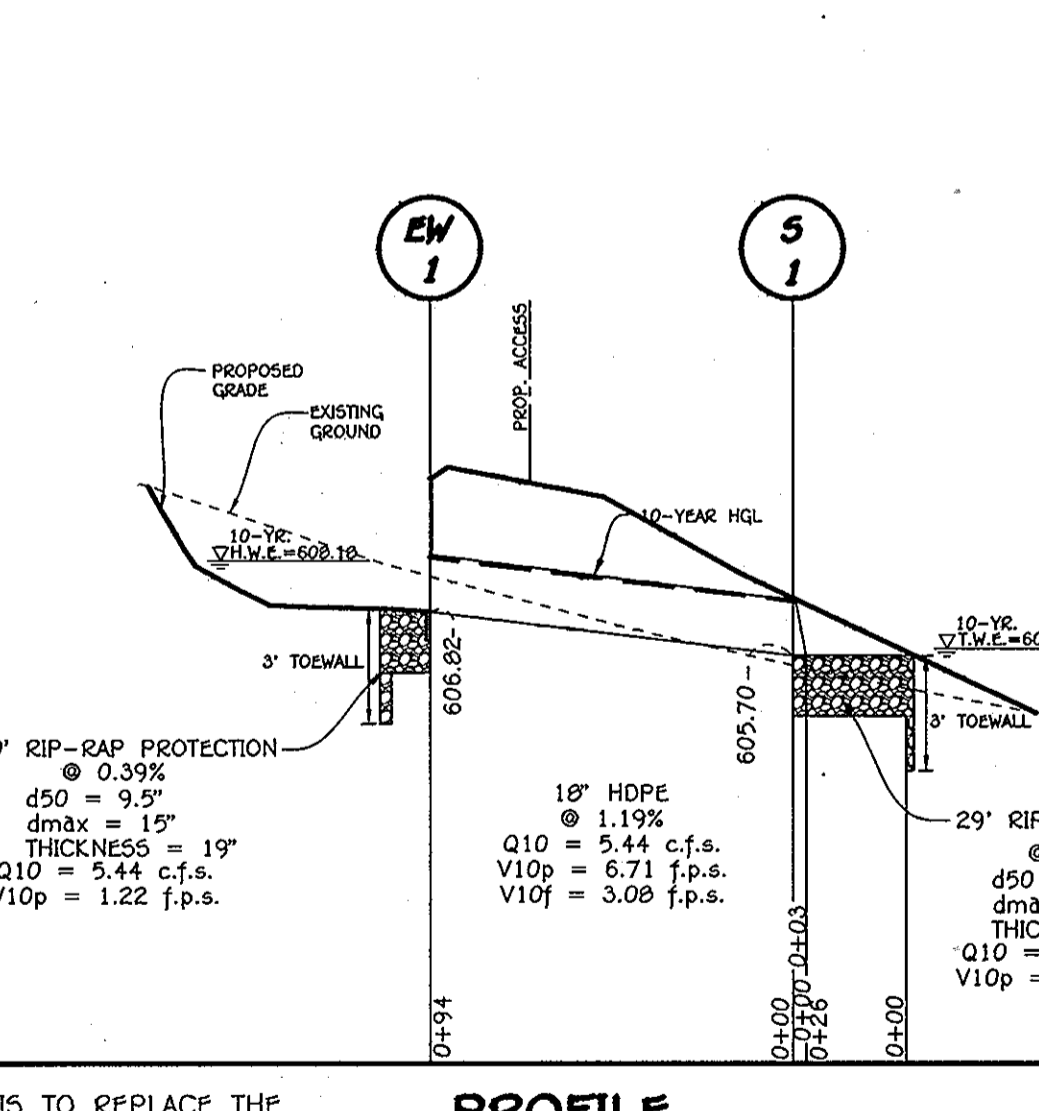
**CURB INLET PROTECTION (COG OR CO5 INLETS)**



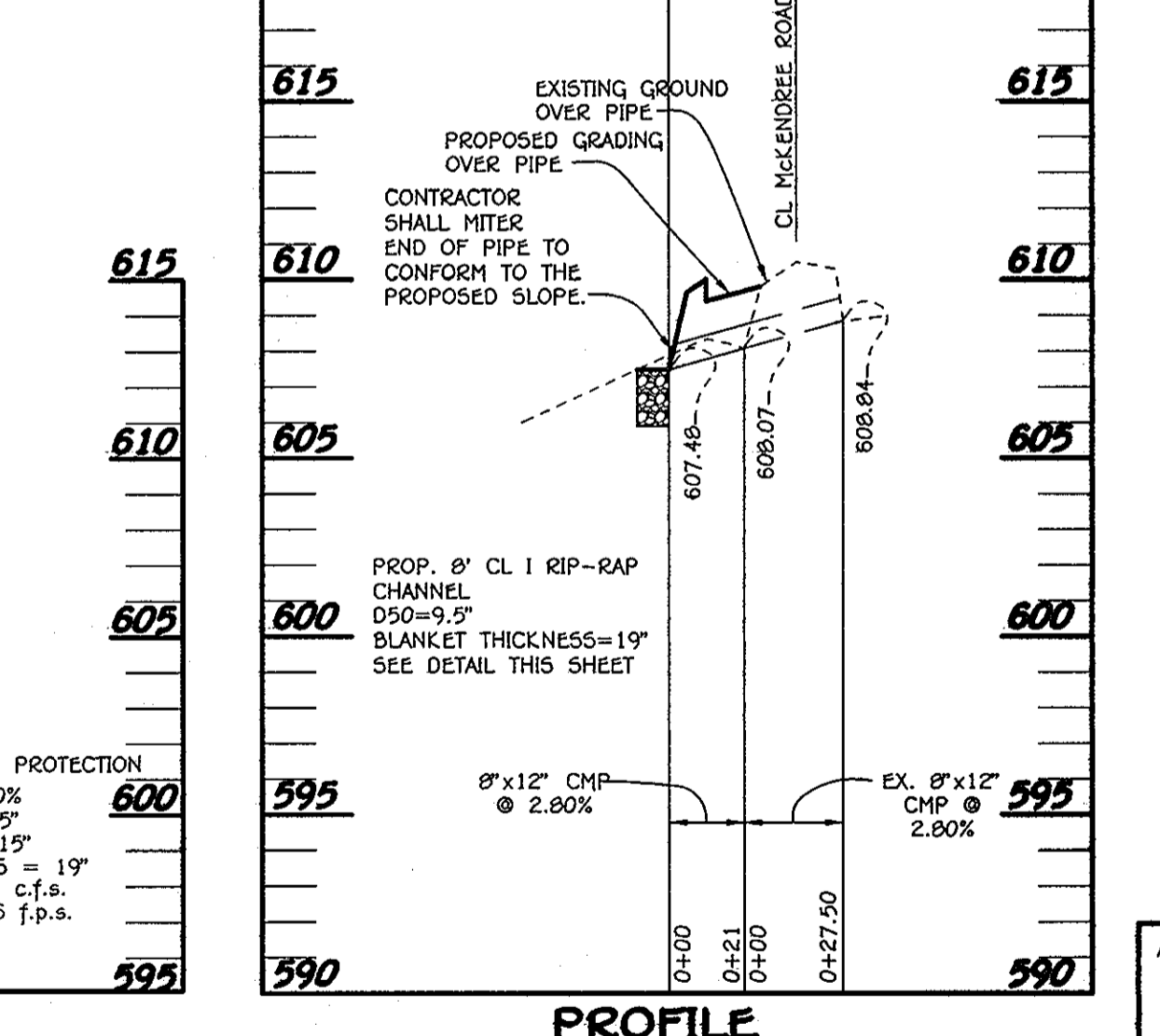
**PROFILE**  
SCALE: HORIZ. : 1" = 50'  
VERT. : 1" = 5'



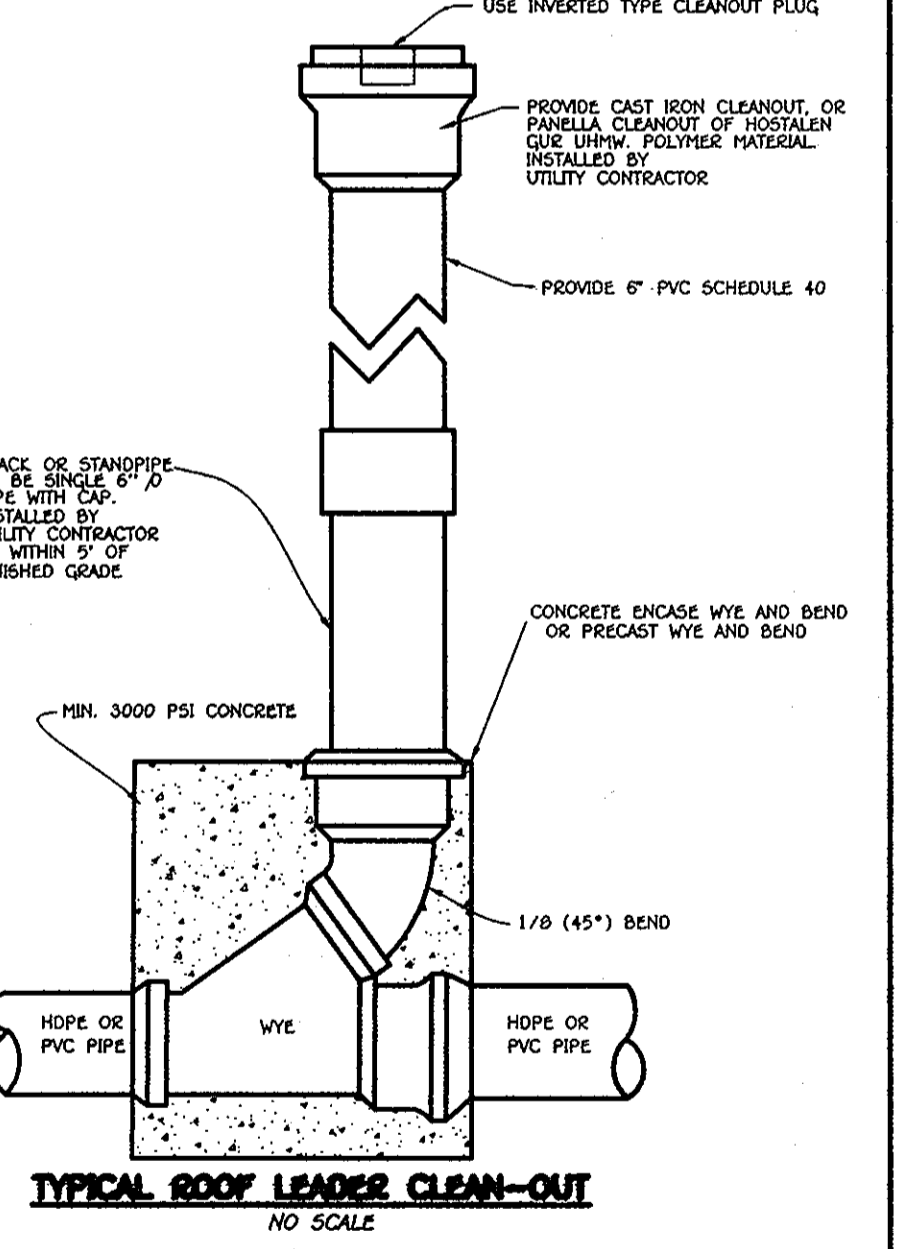
**PROFILE**  
SCALE: HORIZ. : 1" = 50'  
VERT. : 1" = 5'



**PROFILE**  
SCALE: HORIZ. : 1" = 50'  
VERT. : 1" = 5'



**PROFILE**  
SCALE: HORIZ. : 1" = 50'  
VERT. : 1" = 5'



**TYPICAL ROOF LEADER CLEAN-OUT**  
NO SCALE

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13204, Expiration Date: November 3, 2012."

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SERVICE OFFICE: 10726 BALTIMORE NATIONAL PKWY., CLARKS CR. MD 21046 (410) 461-2655

Signature of Developer: *Dr. Stuart N. Scheinberg*  
Printed Name of Developer: **Dr. Stuart N. Scheinberg**

Signature of Engineer: *Charles J. Caprio Sr.*  
Printed Name of Engineer: **CHARLES J. CAPRIO SR.**

Signature of Professional Engineer: *John K. Schuster*  
Printed Name of Professional Engineer: **John K. Schuster**

USDA-Natural Resources Conservation Service

**DEVELOPER'S CERTIFICATE**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Developer: *Dr. Stuart N. Scheinberg*  
Printed Name of Developer: **Dr. Stuart N. Scheinberg**

Signature of Engineer: *Charles J. Caprio Sr.*  
Printed Name of Engineer: **CHARLES J. CAPRIO SR.**

Signature of Professional Engineer: *John K. Schuster*  
Printed Name of Professional Engineer: **John K. Schuster**

**ENGINEER'S CERTIFICATE**

"I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District."

Signature of Engineer: *Charles J. Caprio Sr.*  
Printed Name of Engineer: **CHARLES J. CAPRIO SR.**

Signature of Professional Engineer: *John K. Schuster*  
Printed Name of Professional Engineer: **John K. Schuster**

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
Director: *Thomas J. Kuttler*  
Chief, Division of Land Development: *John K. Schuster*  
Chief, Development Engineering Division: *John K. Schuster*

Address Chart	
BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

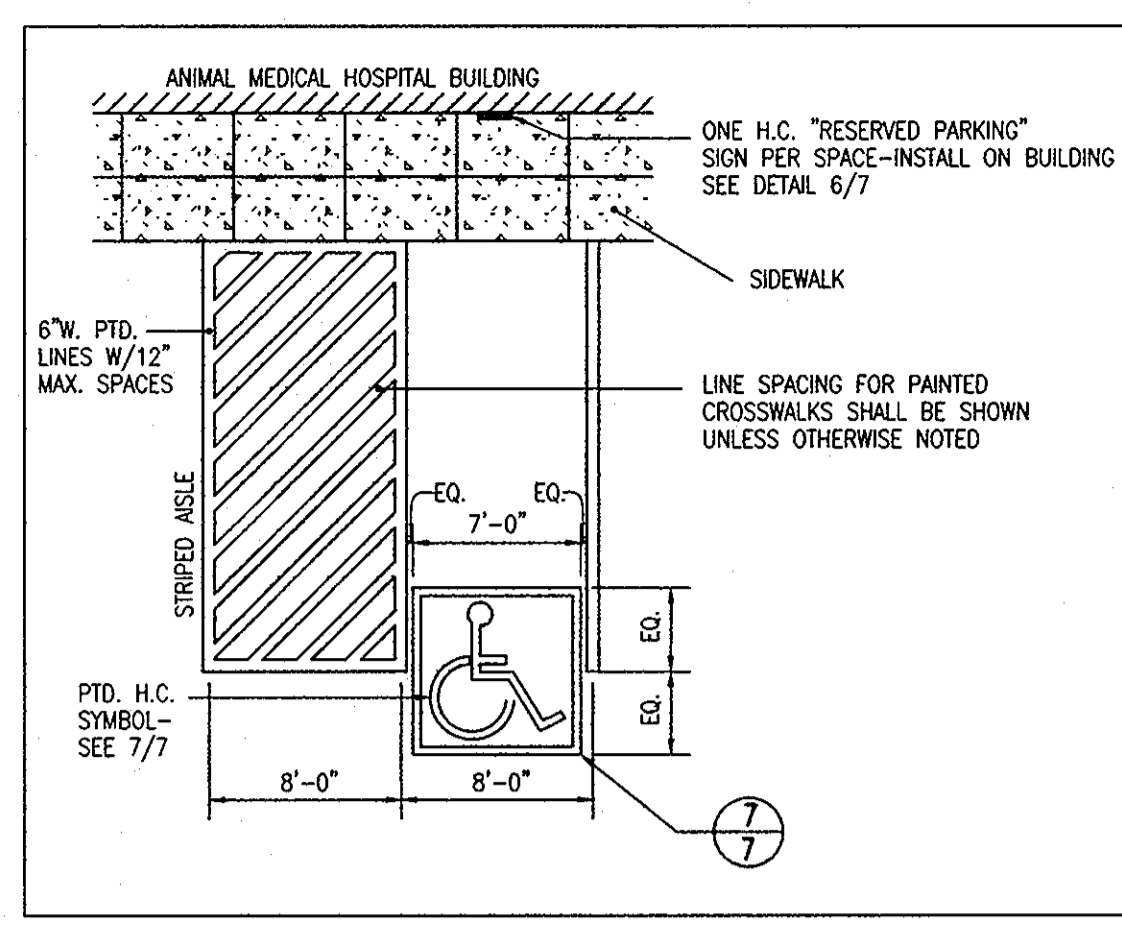
PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

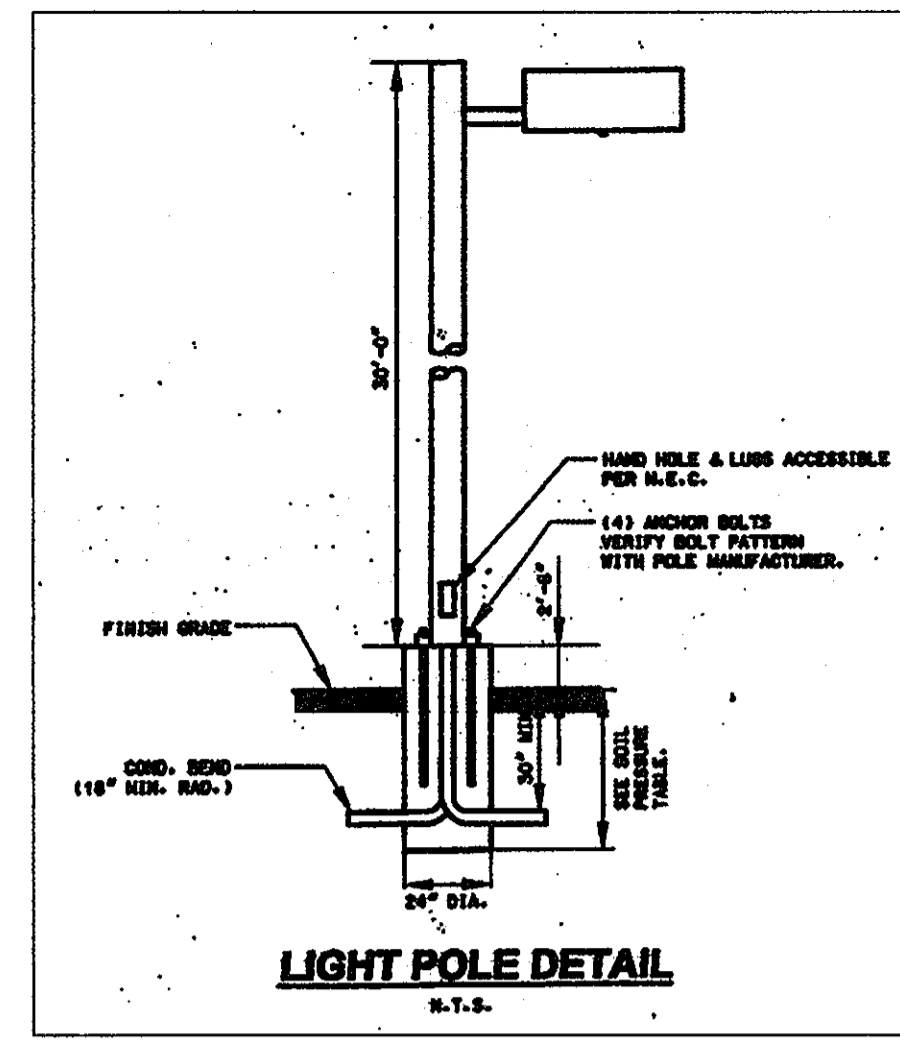
**STORM DRAIN PROFILES, STRUCTURE SCHEDULE AND BORING LOGS**  
"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: JANUARY 26, 2011

SHEET 6 OF 19 SDP-08-004



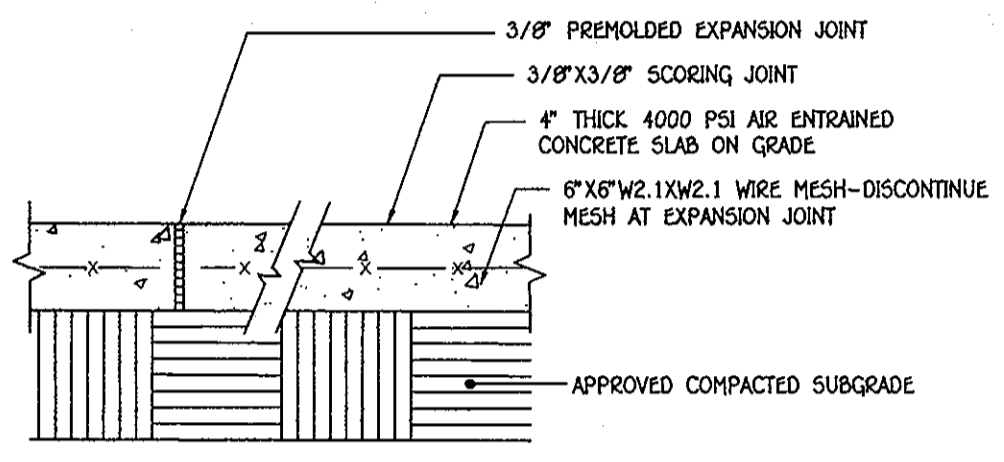
**ACCESSIBLE SPACE LAYOUT**



**LIGHT POLE DETAIL**

**LIGHTING FIXTURE SCHEDULE**

TYPE	QTY.	DESCRIPTION	COORDINATES	LAMP	SHIELDING
B1	1	POLE MOUNTED FIXTURE MOUNTED ON 30'-0" POLE WITH 12' ARM.	N 595554.78 E 1306883.33	250 WATT METAL HALIDE (40,000) LUMENS	FULL CUTOFF TYPE IV SC DISTRIBUTION
B2	2	POLE MOUNTED FIXTURE MOUNTED ON 30'-0" POLE.	N 595552.10 E 1306882.36 N 595296.50 E 1306872.24	250 WATT METAL HALIDE (40,000) LUMENS	FULL CUTOFF TYPE III DISTRIBUTION

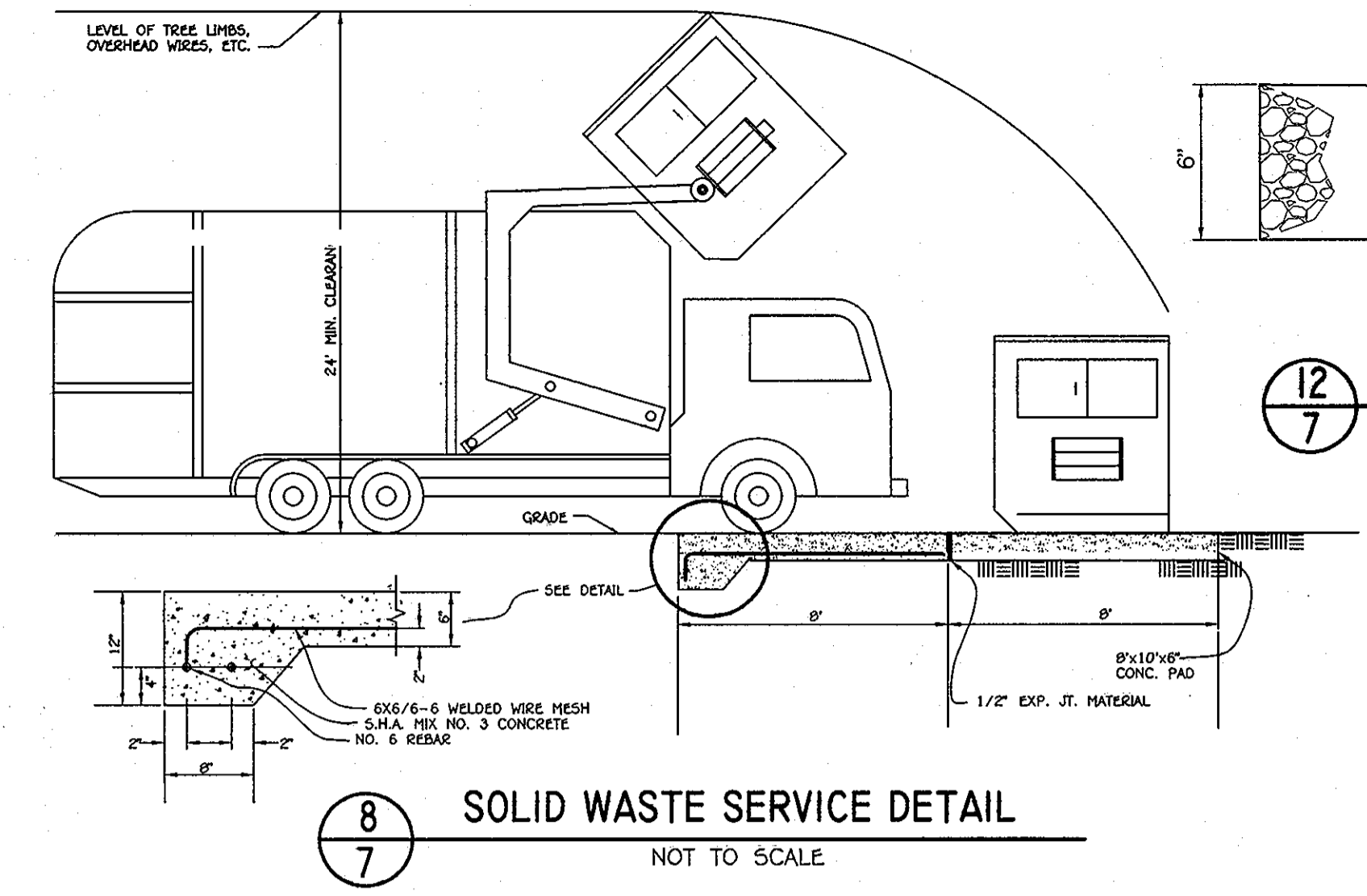


**CONCRETE WALK DETAIL R-3.05**

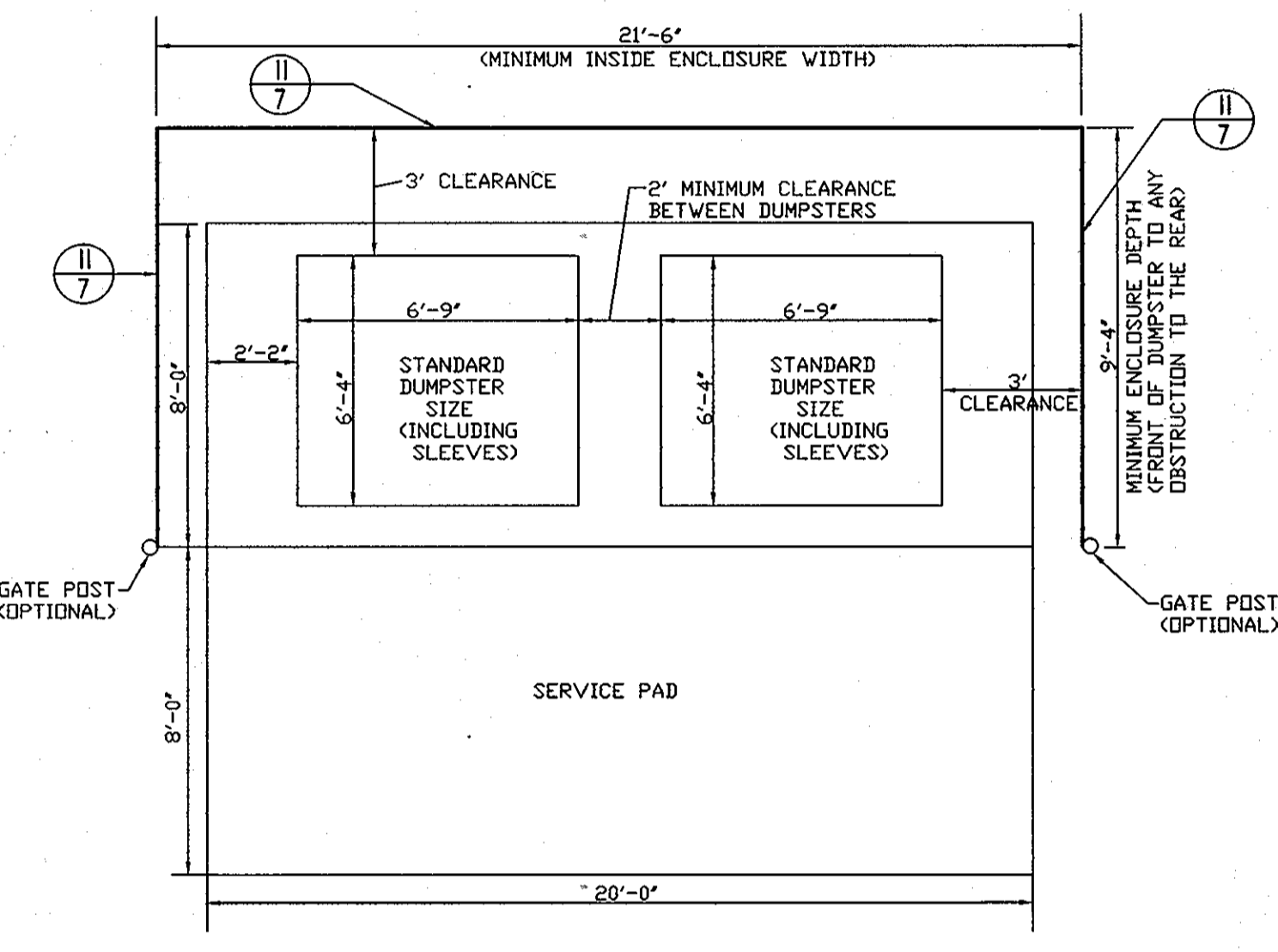


**HANDICAP PARKING SIGN DETAIL**

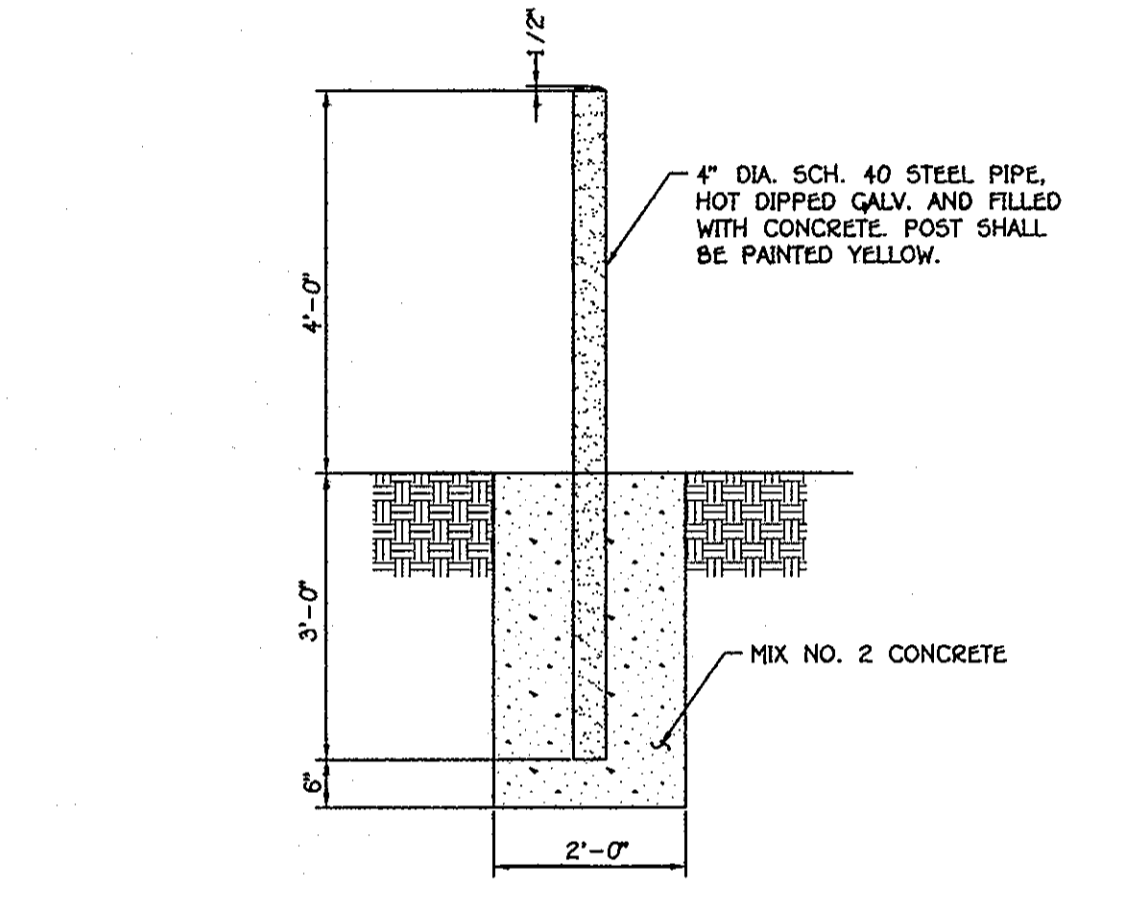
- GENERAL NOTES:
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-B.
  - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE DEVELOPMENT PLAN.
  - SIGNS SHALL BE ATTACHED TO THE BUILDING.
  - COLORS: LEGEND AND BORDER-GREEN SYMBOL-WHITE ON BLUE BACKGROUND BACKGROUND-WHITE
  - CONTRACTOR SHALL COORDINATE ARROW DIRECTION WITH LOCATION OF ADJACENT AISLE.



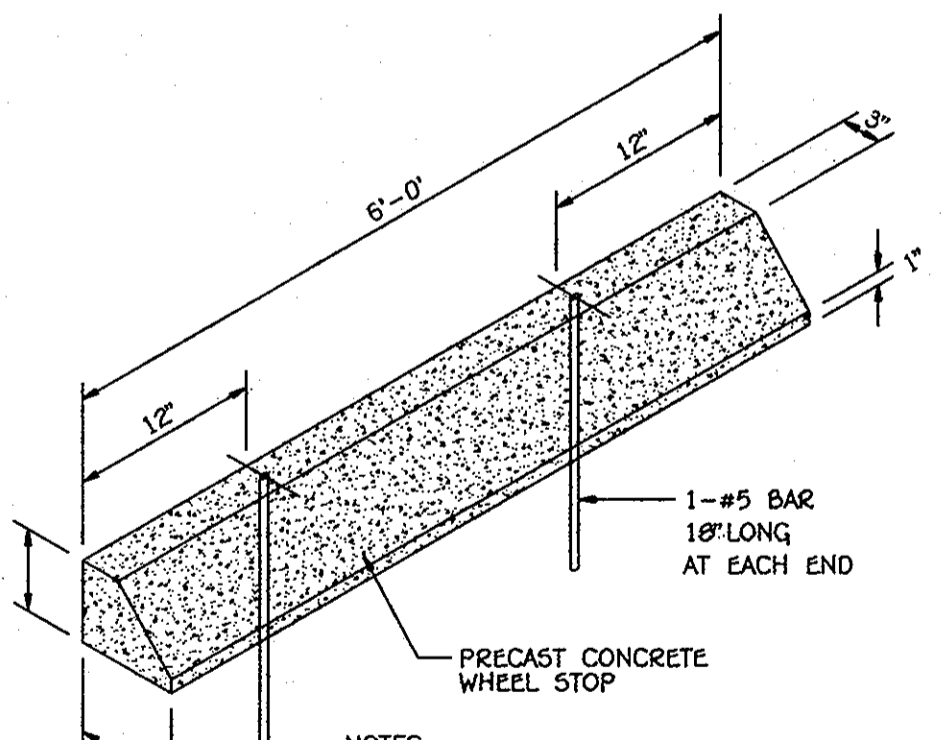
**SOLID WASTE SERVICE DETAIL**



**SOLID WASTE OPTIONAL CONTAINER ENCLOSURE**



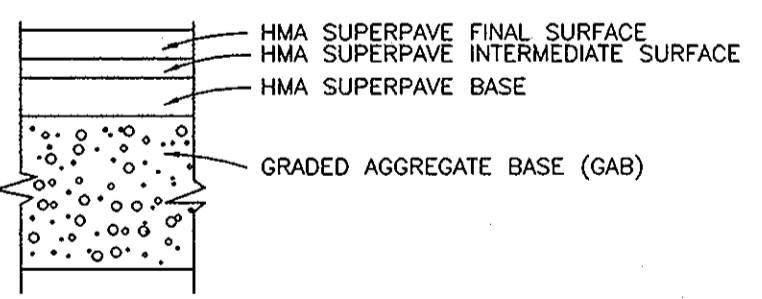
**TYPICAL METAL BOLLARD DETAIL G-7.42**



**WHEEL STOP DETAIL**

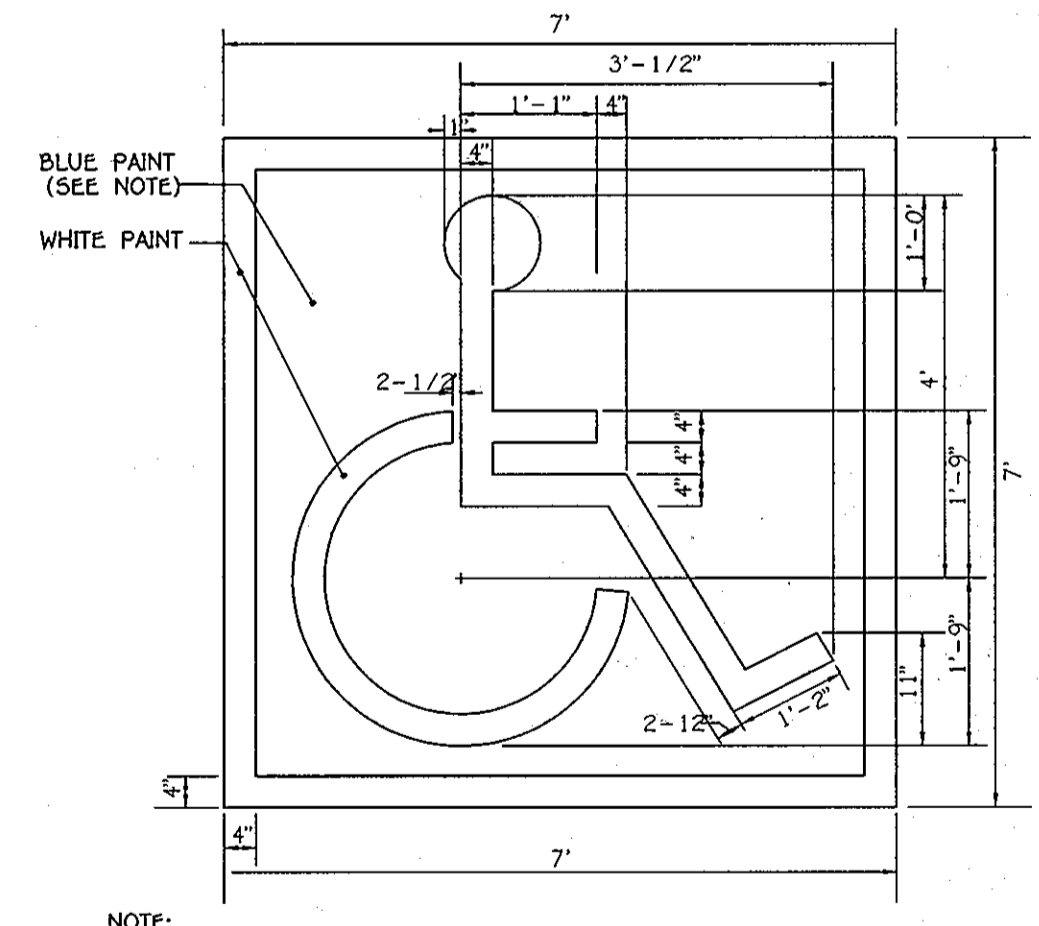
CALIFORNIA BEARING RATIO (CBR)	3 TO <5			5 TO <7			>7		
	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB
HMA SUPERPAVE FINAL SURFACE PG 64-22 LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
HMA SUPERPAVE INTERMEDIATE SURFACE PG 64-22 LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
HMA SUPERPAVE BASE PG 64-22 LEVEL 1 (ESAL)	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
GRADED AGGREGATE BASE (GAB)	8.0	4.0	3.0	4.0	4.0	4.0	4.0	4.0	4.0

**PAVING SECTION P-2 R-2.01**

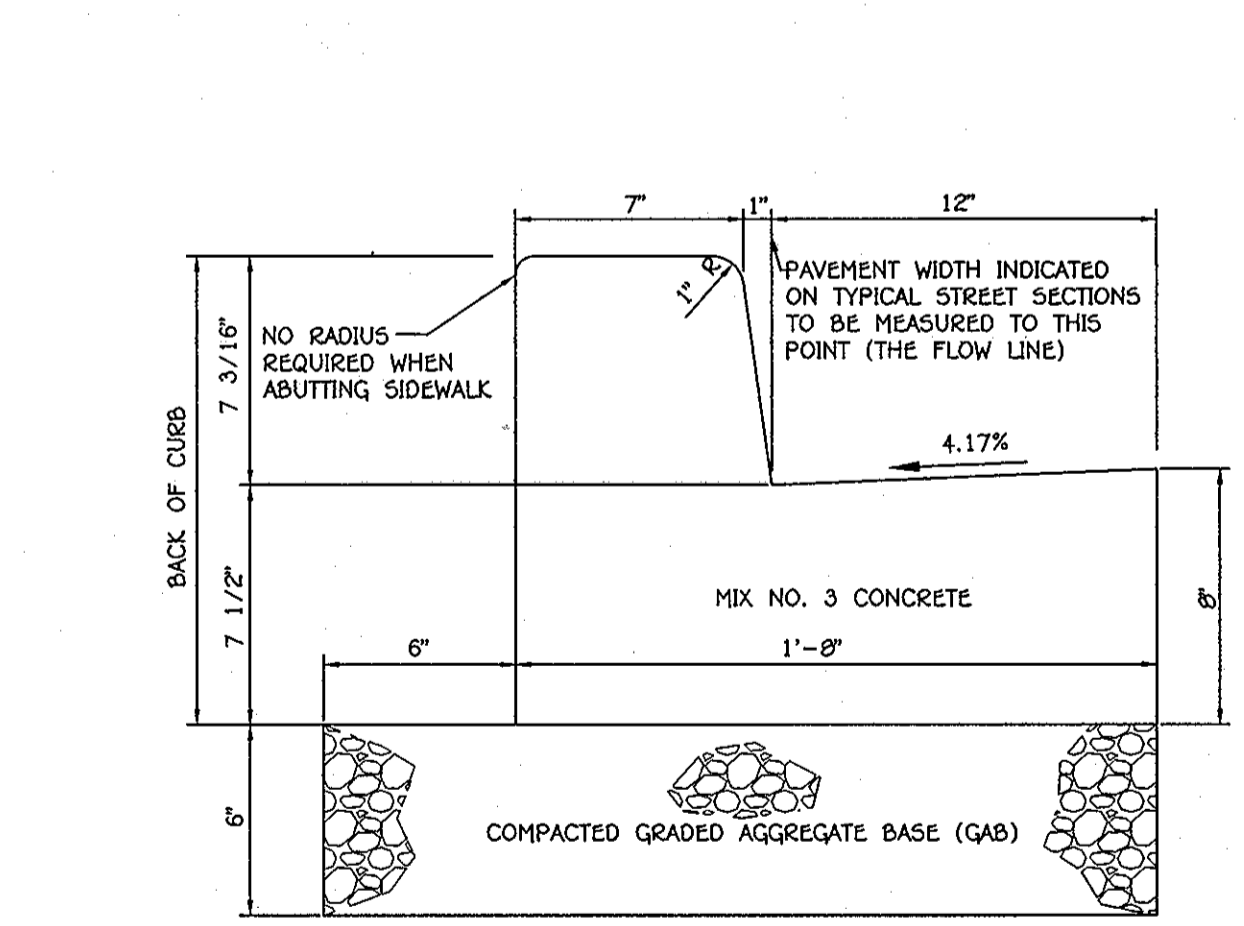


CALIFORNIA BEARING RATIO (CBR)	3 TO <5			5 TO <7			>7		
	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB	MIN	HMA WITH GAB	HMA WITH CONSTANT GAB
HMA SUPERPAVE FINAL SURFACE HM PG 64-22 LEVEL 1 (ESAL)	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5	1.5
HMA SUPERPAVE INTERMEDIATE SURFACE PG 64-22 LEVEL 1 (ESAL)	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
HMA SUPERPAVE BASE PG 64-22 LEVEL 1 (ESAL)	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
GRADED AGGREGATE BASE (GAB)	10.0	6.0	3.0	6.0	6.0	6.0	6.0	6.0	6.0

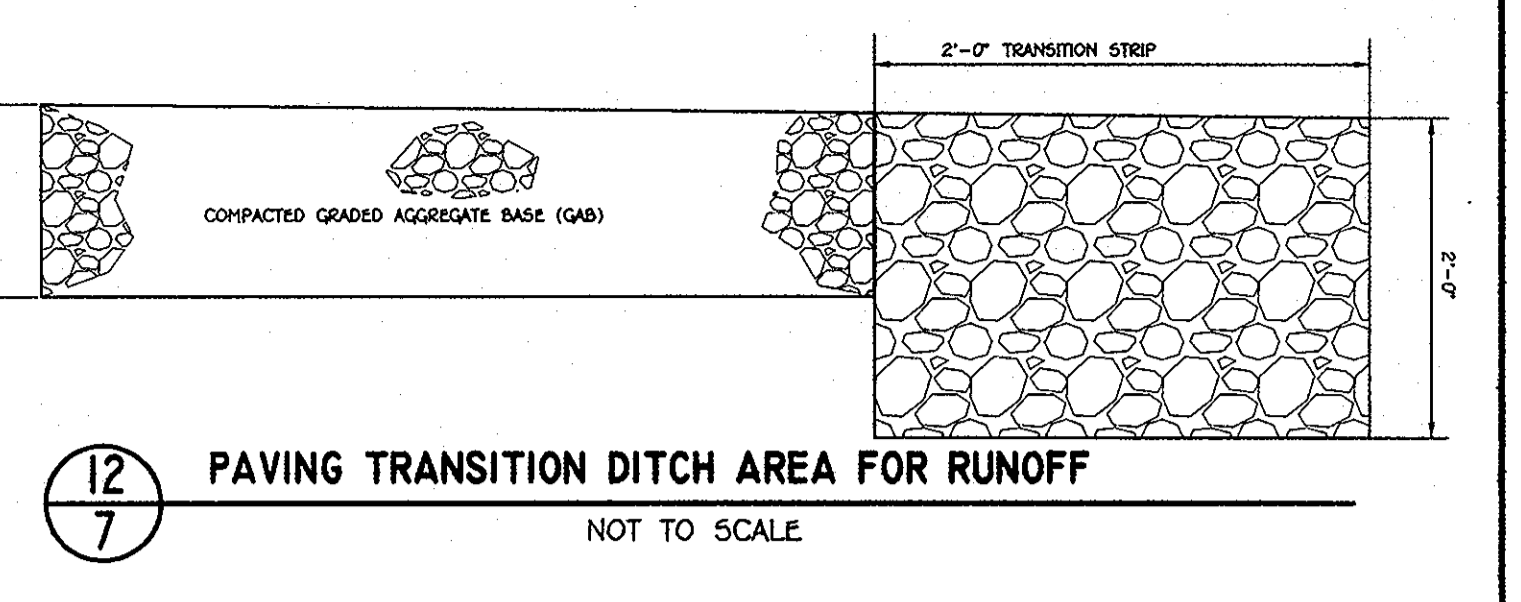
**PAVING SECTION P-3 R-2.01**



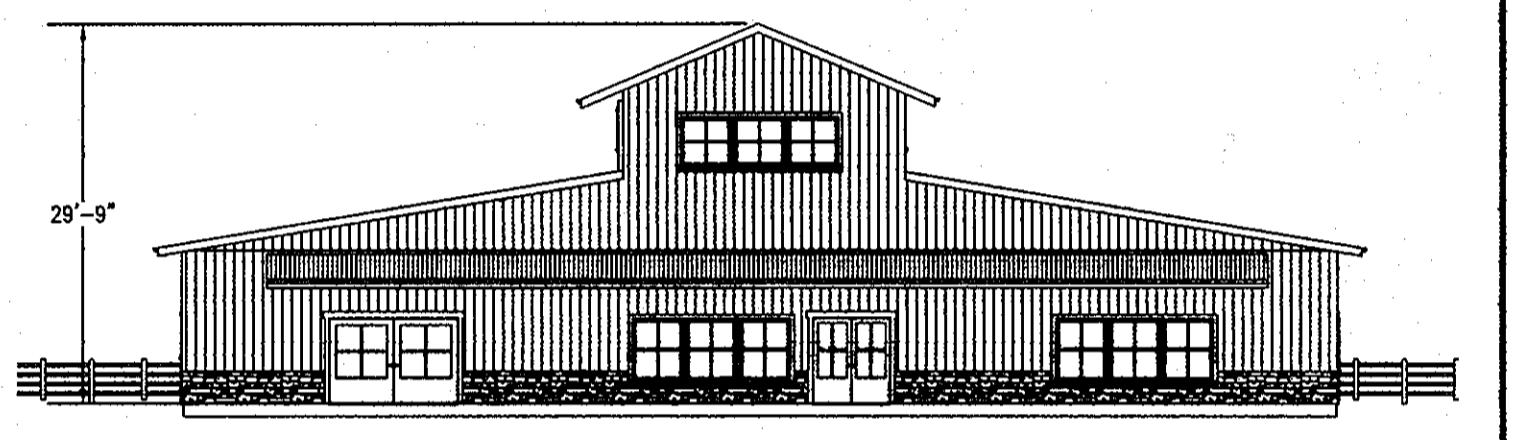
**HANDICAP SPACE STENCIL LAYOUT**



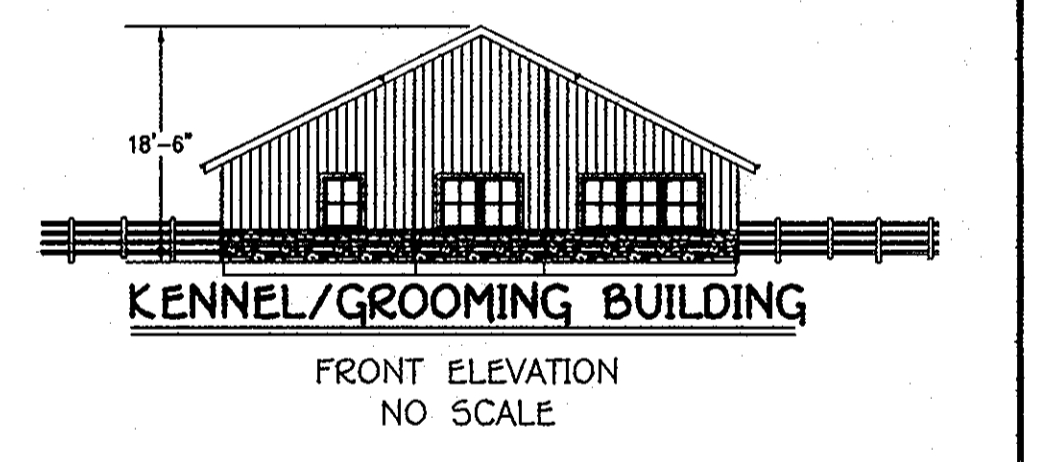
**7\"/>**



**PAVING TRANSITION DITCH AREA FOR RUNOFF**



**ANIMAL MEDICAL HOSPITAL BUILDING**



**KENNEL/GROOMING BUILDING**

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.



"Professional Certification" I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Bryan Peter Beileman* 2/22/2011  
COUNTY HEALTH OFFICER DATE

**DETAILS & SCHEMATIC BUILDING PROFILES**  
**"REVISED SITE DEVELOPMENT PLAN"**  
**ANIMAL MEDICAL HOSPITAL**  
**AT GLENWOOD GREEN MEADOWS LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT No. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: JANUARY 26, 2011

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CORPORAL SQUARE OFFICE PARK - 10722 MANTONVILLE NATIONAL PIKE  
ELLCOTT CITY, MARYLAND 21042  
(410) 461-2999

DATE	DESCRIPTION	REVISION BLOCK
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Thomas R. Butler</i>	Director - Department of Planning and Zoning	2/22/11
<i>Kent Scheinberg</i>	Chief, Division of Land Development	2/22/11
<i>Michael Williams</i>	Chief, Development Engineering Division	2/10/11

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9577

Address Chart		BUILDING NO.	STREET ADDRESS
1.	HOSPITAL	2890 MCKENDREE ROAD	
2.	KENNEL	2892 MCKENDREE ROAD	

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

### 20.0 STANDARDS AND SPECIFICATIONS FOR VEGETATIVE STABILIZATION

Using vegetation as cover for barren soil to protect it from forces that cause erosion. PURPOSE: To stabilize exposed soil. EFFECTS ON WATER QUALITY AND QUANTITY: Planting vegetation in disturbed areas will have an effect on the water budget, especially on volumes and rates of runoff.

#### SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS

- 1. Install erosion and sediment control structures (either temporary or permanent) such as diversions, grade stabilization structures, berms, waterways, or sediment control basins. 2. Perform all grading operations at right angles to the slope. Final grading and shaping is not usually necessary for temporary seeding.

#### SECTION 2 - TEMPORARY SEEDING

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required. A. Seed mixtures - Temporary Seeding

Incremental Stabilization - Cut Slopes 1. All cuts slopes shall be dressed, prepared, seeded and mulched as the work progresses. Slopes shall be excavated and stabilized in equal increments not to exceed 15'.

Incremental Stabilization of Embankments - Fill Slopes 1. Embankments shall be constructed in lifts as prescribed on the plans. 2. Slopes shall be stabilized immediately when the vertical height of the multiple lifts reaches 10', or when the grading operation ceases as prescribed in the plans.

Vegetation - annual grass or grain used to provide cover on disturbed areas for up to 12 months. For longer duration of vegetative cover, Permanent Seeding is required. A. Seed mixtures - Permanent Seeding

No.	Species	Application Rate (lb/a/c)	Seeding Dates	Seeding Depth	Fertilizer Rate (10-10-10)	Lime Rate
1	RYE	140	3/15 - 5/31	1"	600 lb/a/c	2 tons/a/c
2	BAGLEY OYE RYE FLUX TOWEL MALLOW	150	6/1 - 7/31	1"	(15 lb/1000sq)	(100 lb/1000sq)

Seeding grass and legumes to establish growing cover for a minimum of one year on disturbed areas generally receiving low maintenance. A. Seed mixtures - Permanent Seeding

1. Select one or more of the species or mixtures listed in Table 25 for the appropriate Plant Hardness Zone (from Figure 5) and enter them in the Permanent Seeding Summary below, along with application rates and seeding dates. Seeding depths shall be estimated from Table 25. If the soil is not put on the construction plans and completed, then Table 25 must be put on the plans.

No.	Species	Application Rate (lb/a/c)	Seeding Dates	Seeding Depth	N	P205	K20	Lime Rate
1	TALL FESCUE (85%) KENTUCKY BLUEGRASS (5%) PERENNIAL RYEGRASS (10%)	125 15 15	3/15 - 6/1 8/1 - 10/31	1"	90 lb/a/c (2.0 lb/1000sq)	175 lb/a/c (4.4 lb/1000sq)	175 lb/a/c (4.4 lb/1000sq)	2 tons/a/c (100 lb/1000sq)
2	TALL FESCUE (80%) HARD FESCUE (20%)	120 30	3/15 - 6/1 8/1 - 10/31	1"	90 lb/a/c (2.0 lb/1000sq)	175 lb/a/c (4.4 lb/1000sq)	175 lb/a/c (4.4 lb/1000sq)	2 tons/a/c (100 lb/1000sq)

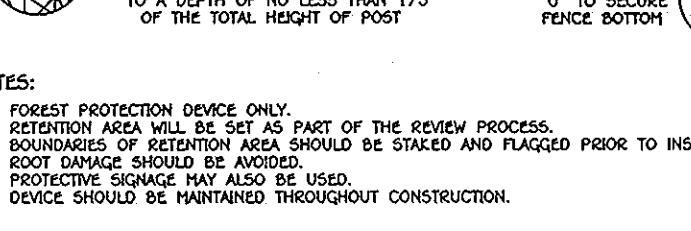
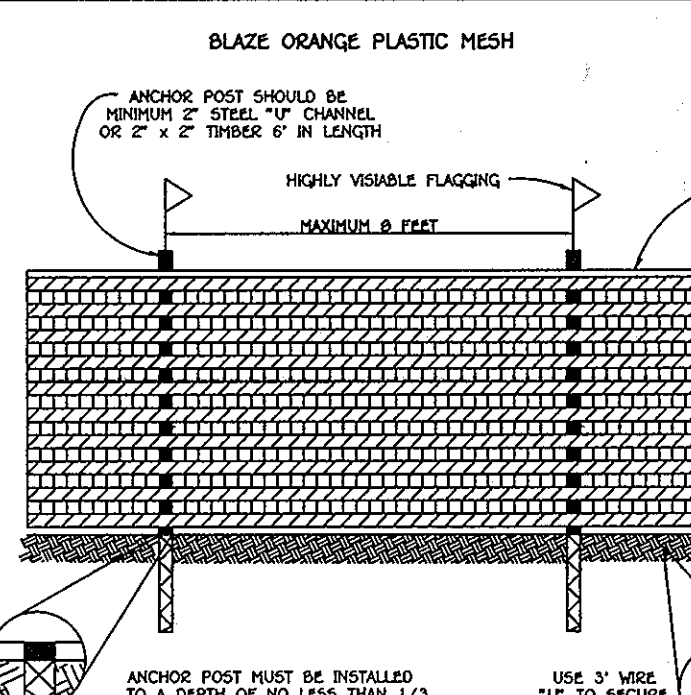
#### TOPSOIL SPECIFICATIONS

1. On soil meeting Topsoil Specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

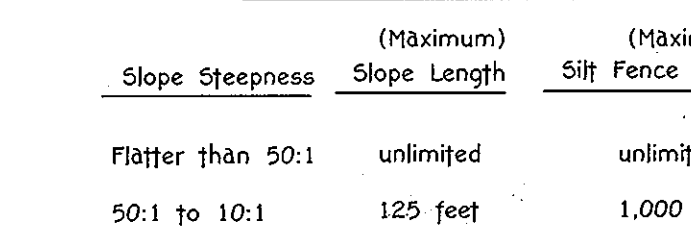
1. Topsoil salvaged from the existing site may be provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.

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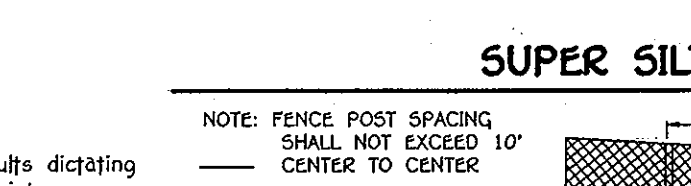


#### TREE PROTECTION DETAIL



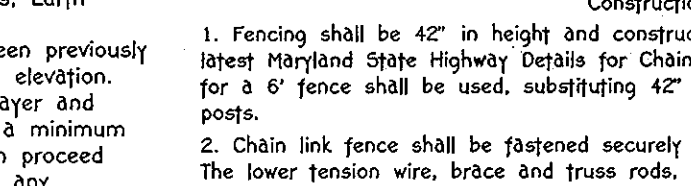
NOTES: 1. FOREST PROTECTION DEVICE ONLY. 2. RESTRICTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS. 3. BOUNDARIES OF RESTRICTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE. 4. ROOT DAMAGE SHOULD BE AVOIDED. 5. PROTECTIVE DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

NOTES: 1. In areas of less than 2X slope or less than 2X slope and sandy soils (USDA general classification system, soil Class A), maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.



1. Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6' fence shall be used, substituting 42" fabric and 6' length posts.

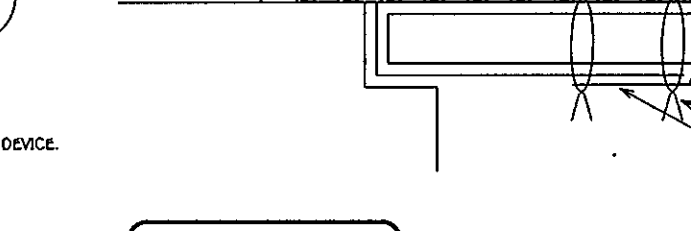
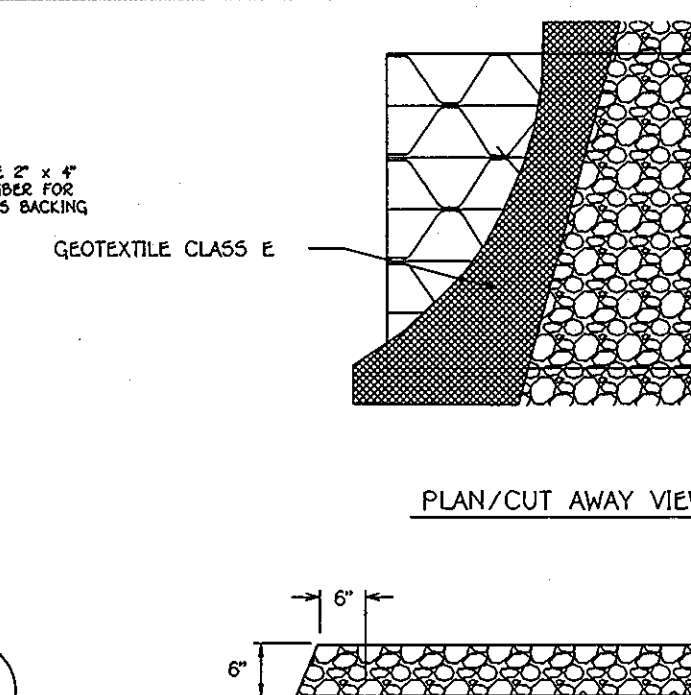
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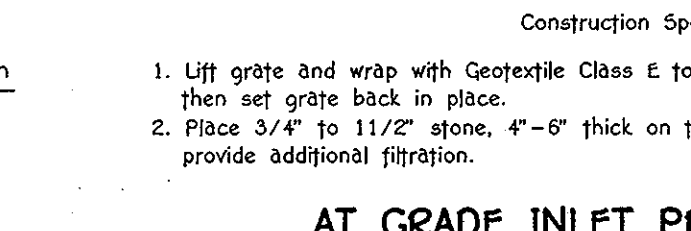
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Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 101'	Unlimited
10 - 25%	101 - 51'	200 feet
25 - 33%	51 - 21'	100 feet
33 - 50%	21 - 1'	50 feet
50% +	21 - 1'	50 feet



#### TREE PROTECTION DETAIL



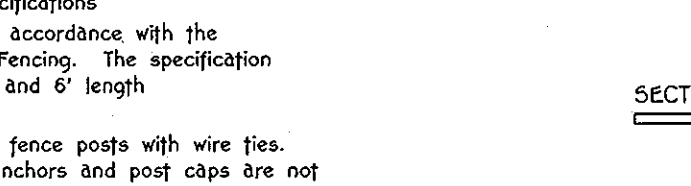
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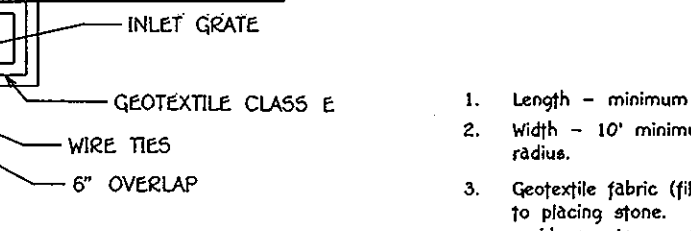
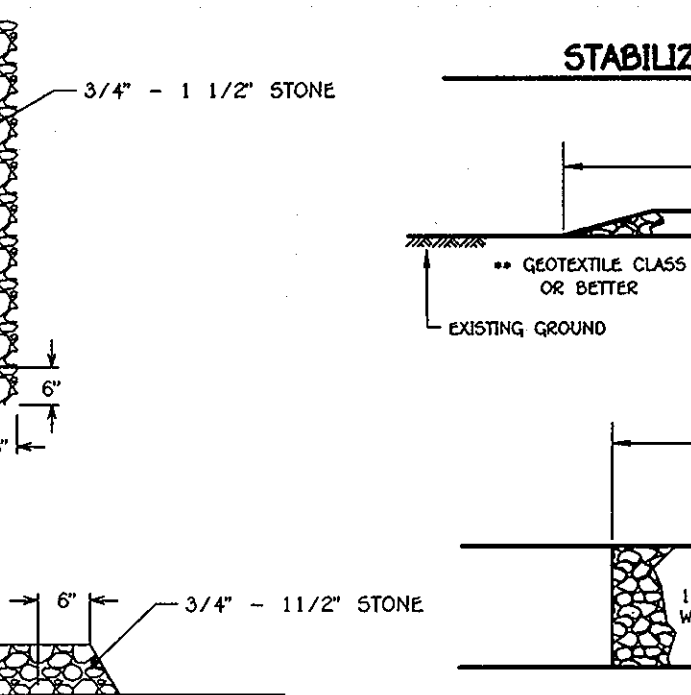
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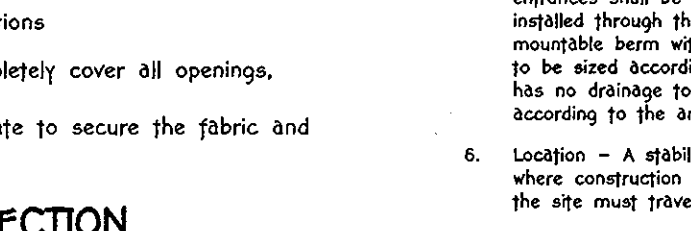
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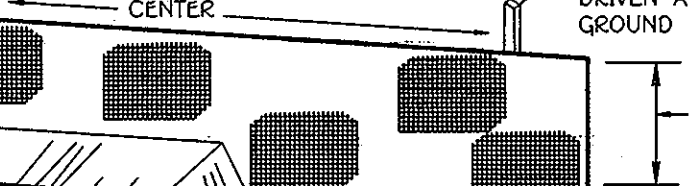
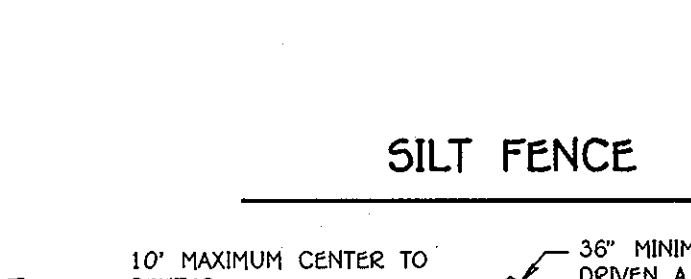


#### TREE PROTECTION DETAIL



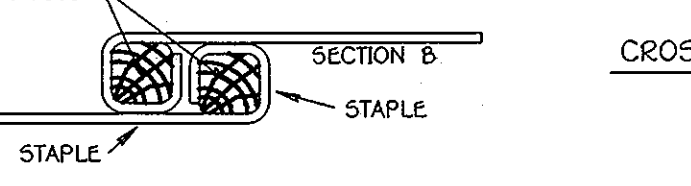
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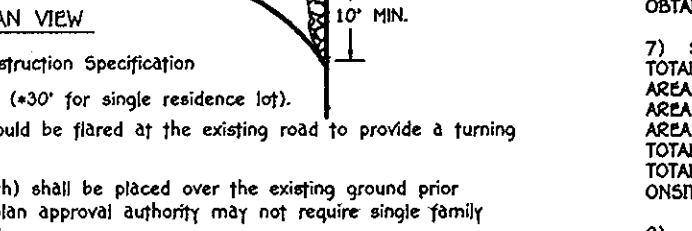
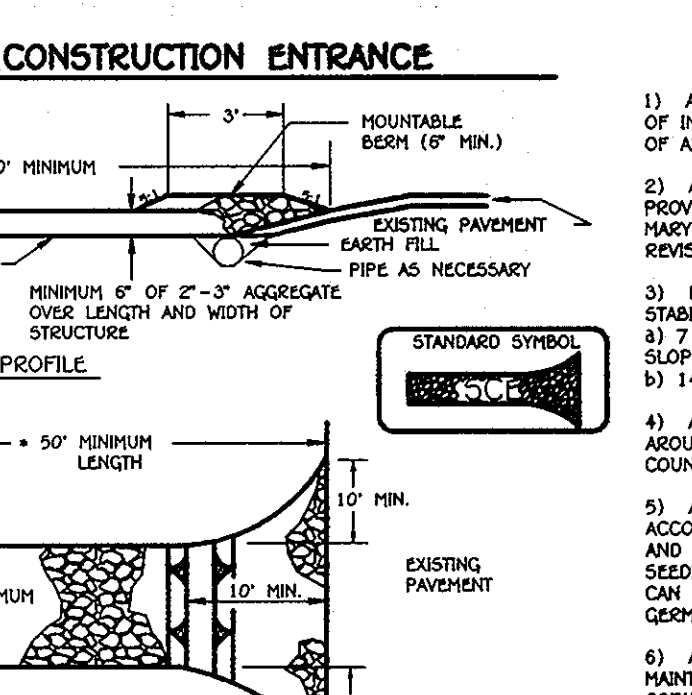
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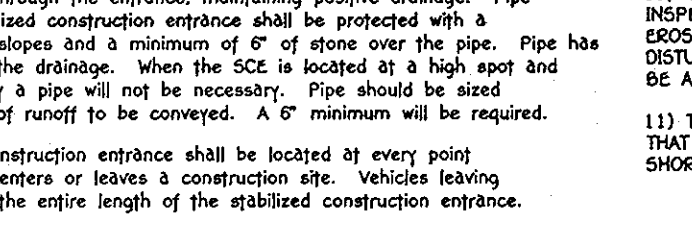
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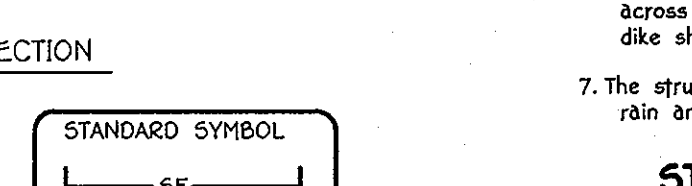
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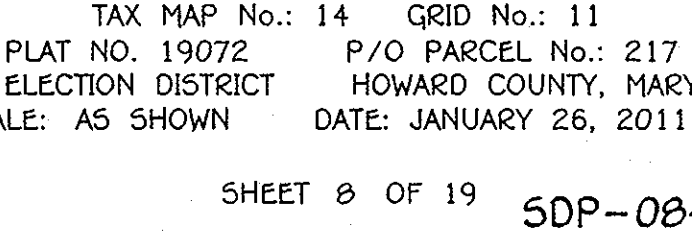
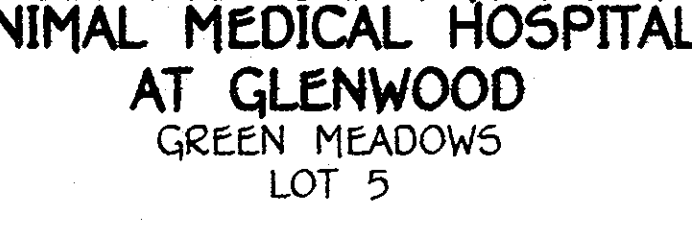
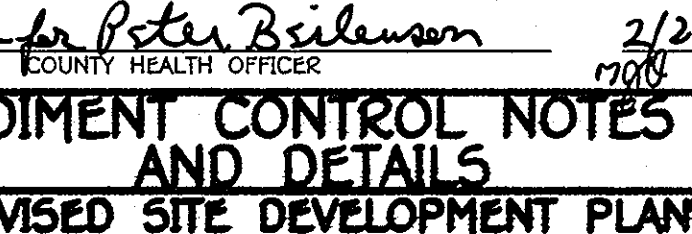
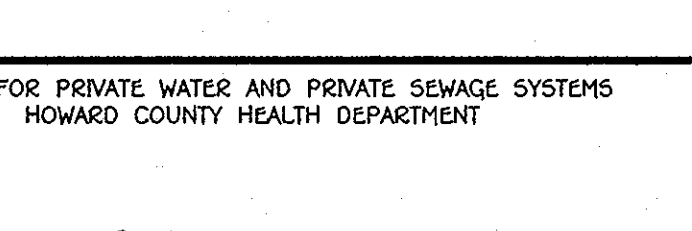
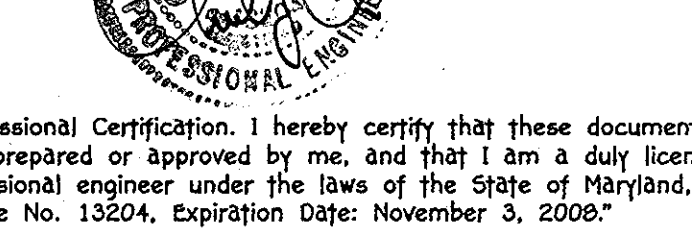
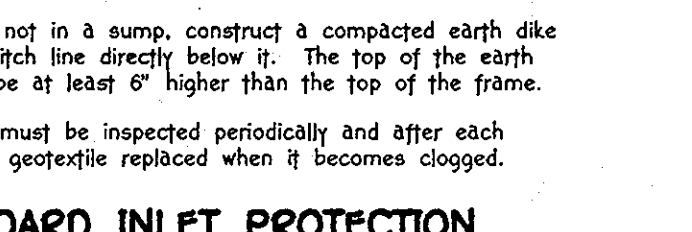
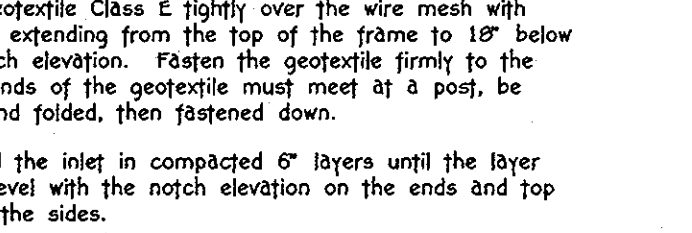
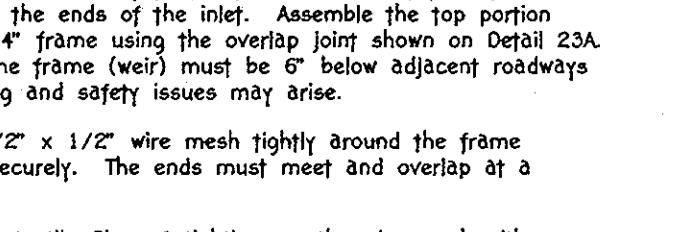
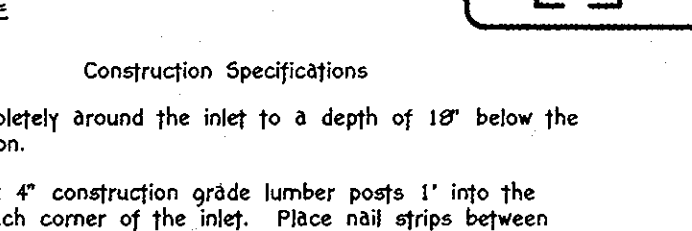
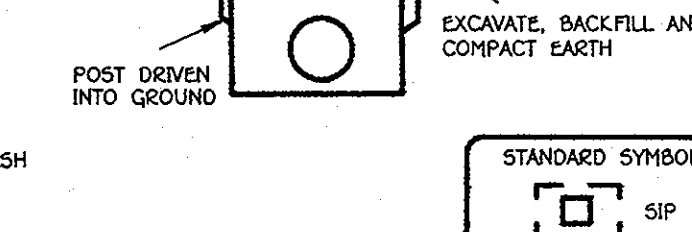
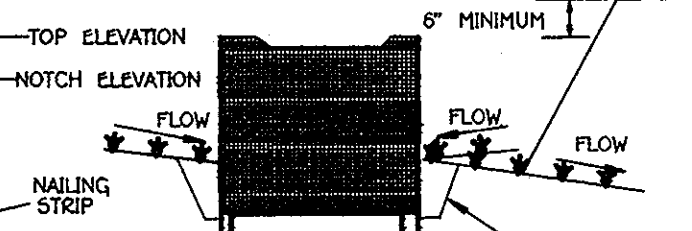
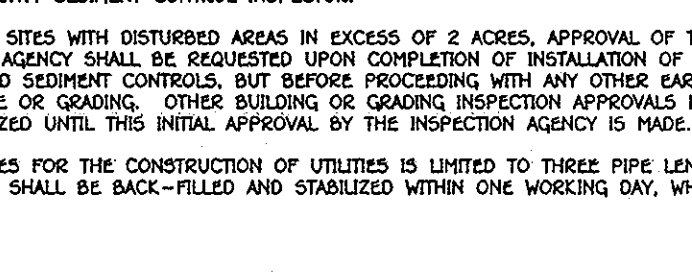
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Slope Steepness	Slope Length (maximum)	Silt Fence Length (maximum)
0 - 10%	0 - 101'	Unlimited
10 - 25%	101 - 51'	200 feet
25 - 33%	51 - 21'	100 feet
33 - 50%	21 - 1'	50 feet
50% +	21 - 1'	50 feet

### SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSING AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (311-1955).
- 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THEREOF.
- 3) FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: 1) 14 DAYS AFTER ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE. 2) ALL SLOPES STEEPER THAN 3:1.



FISHER, COLLINS & CARTER, INC. CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS. 1100 SOUTH WASHINGTON ROAD, SUITE 100, FREDERICK, MD 21701. (410) 461-2995

DEVELOPER'S CERTIFICATE. I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project.

ENGINEER'S CERTIFICATE. I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

OWNER/DEVELOPER. ANIMAL MEDICAL HOSPITAL AT GLENWOOD. 2465 MARYLAND ROUTE 97, SUITE 7, GLENWOOD, MARYLAND 21738. DR. STUART N. SCHEINBERG D.V.M. (410) 499-9677

APPROVED: DEPARTMENT OF PLANNING AND ZONING. Director - Department of Planning and Zoning. Date: 2/25/11

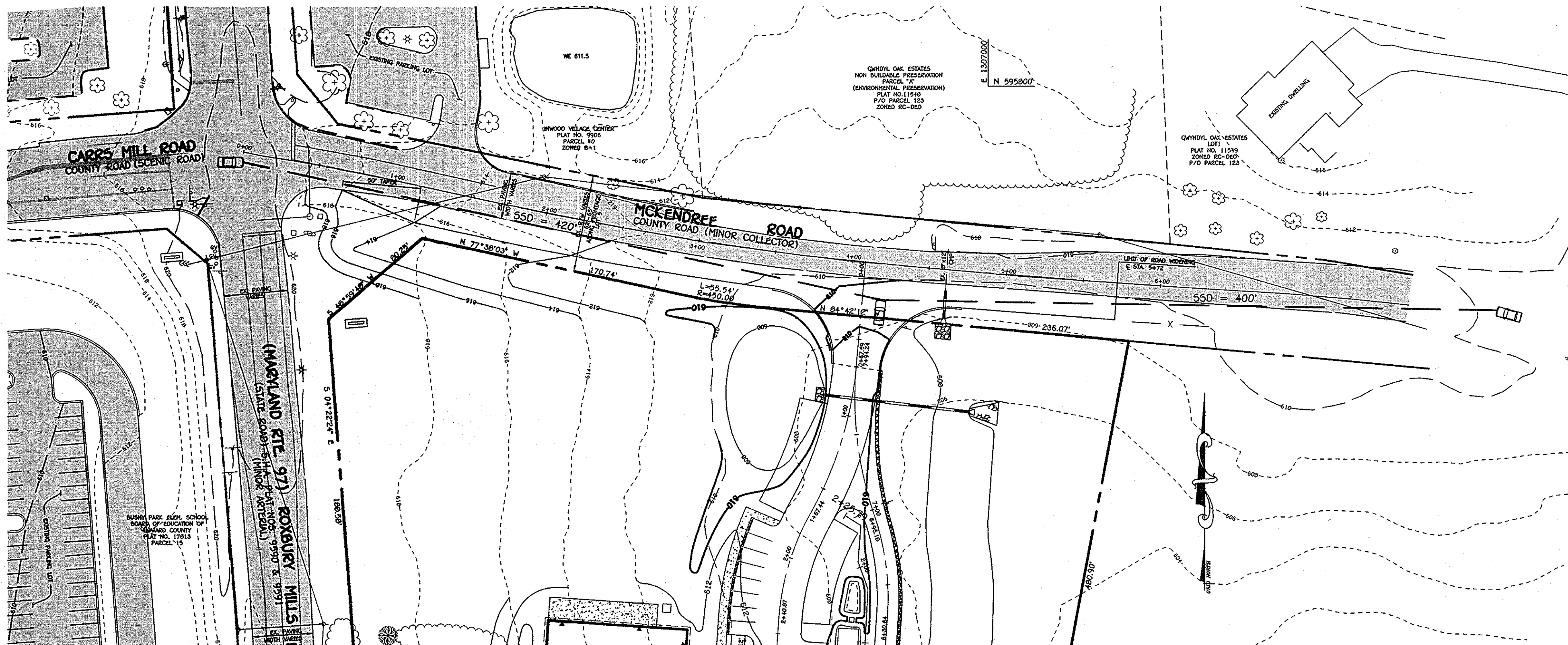
Address Chart. BUILDING NO. STREET ADDRESS. 1. HOSPITAL 2890 MCKENDREE ROAD. 2. KENNEL 2892 MCKENDREE ROAD.

PROJECT: ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT. SECTION/AREA: N/A. PARCEL: P/O 217 5. LOT: 5.

TAX MAP No.: 14 GRID No.: 11. PLAT No. 19072 P/O PARCEL No.: 217. FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND. SCALE: AS SHOWN DATE: JANUARY 26, 2011.

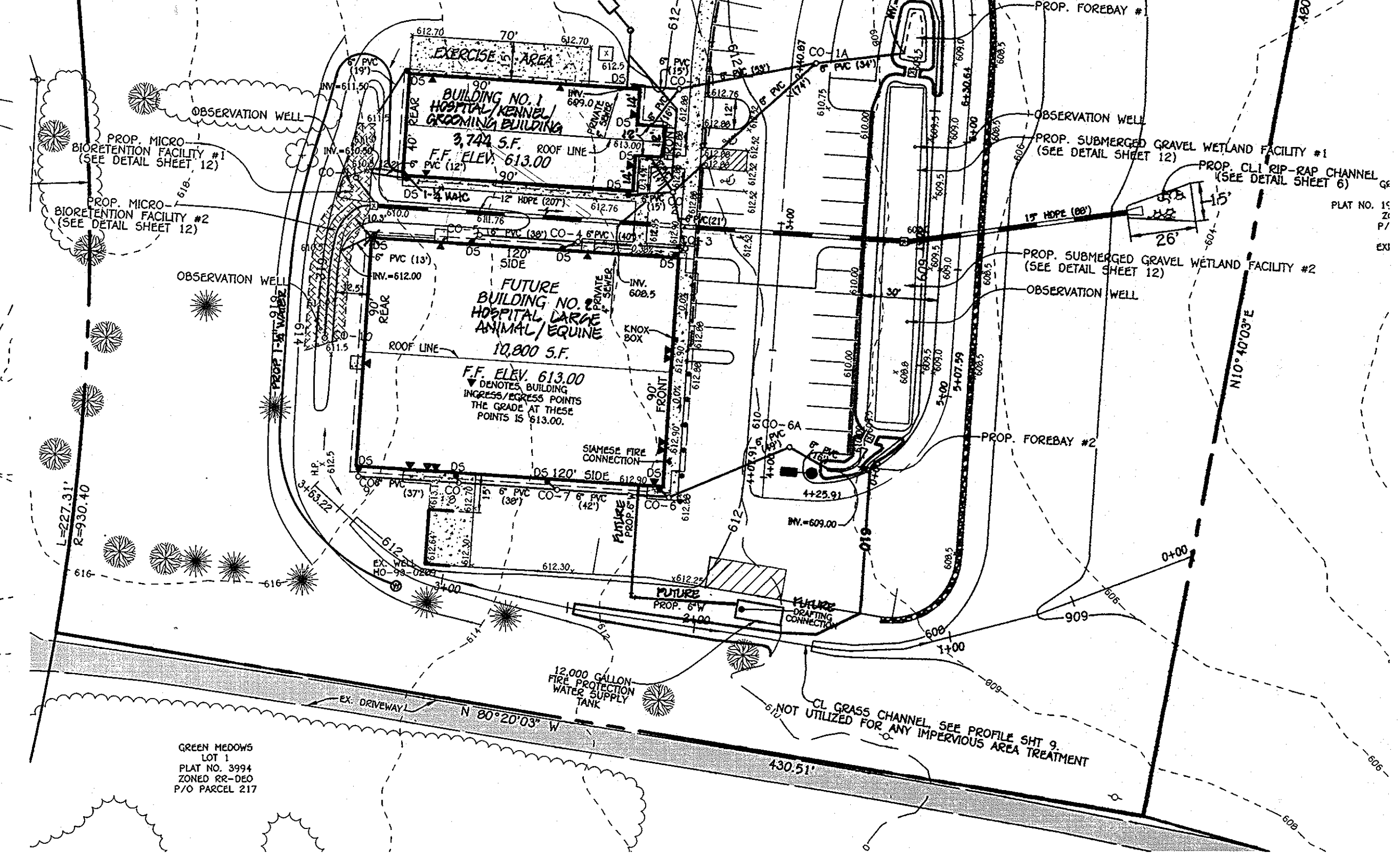
SEDIMENT CONTROL NOTES AND DETAILS. "REVISED SITE DEVELOPMENT PLAN" ANIMAL MEDICAL HOSPITAL AT GLENWOOD GREEN MEADOWS LOT 5. SHEET 8 OF 19 SDP-08-004



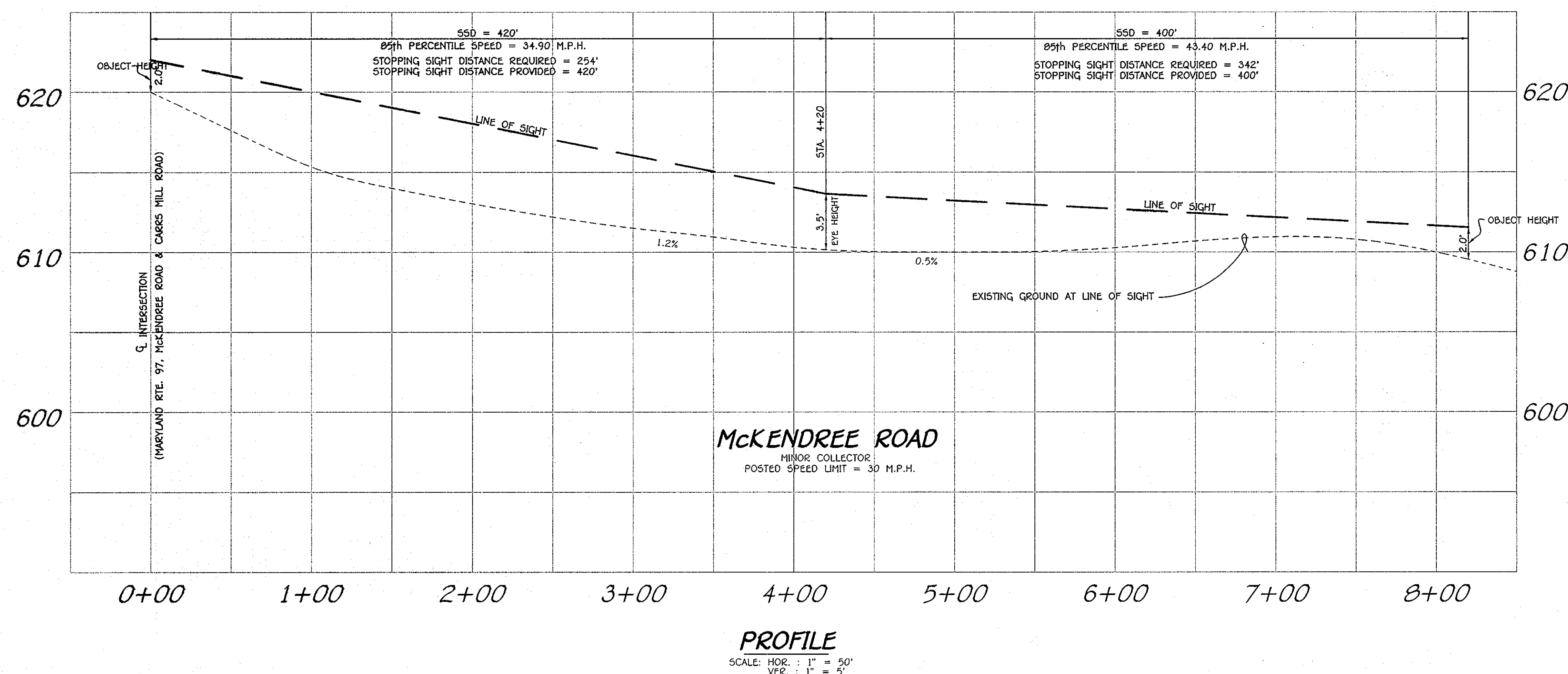


**Note**  
 Existing topography and features were derived from a field run monumented boundary survey by Fisher, Collins and Carter Inc. and Harford Aerial Surveys Inc. on or about October 2005 and November 2006.

**PLAN**  
 SCALE: 1" = 50'

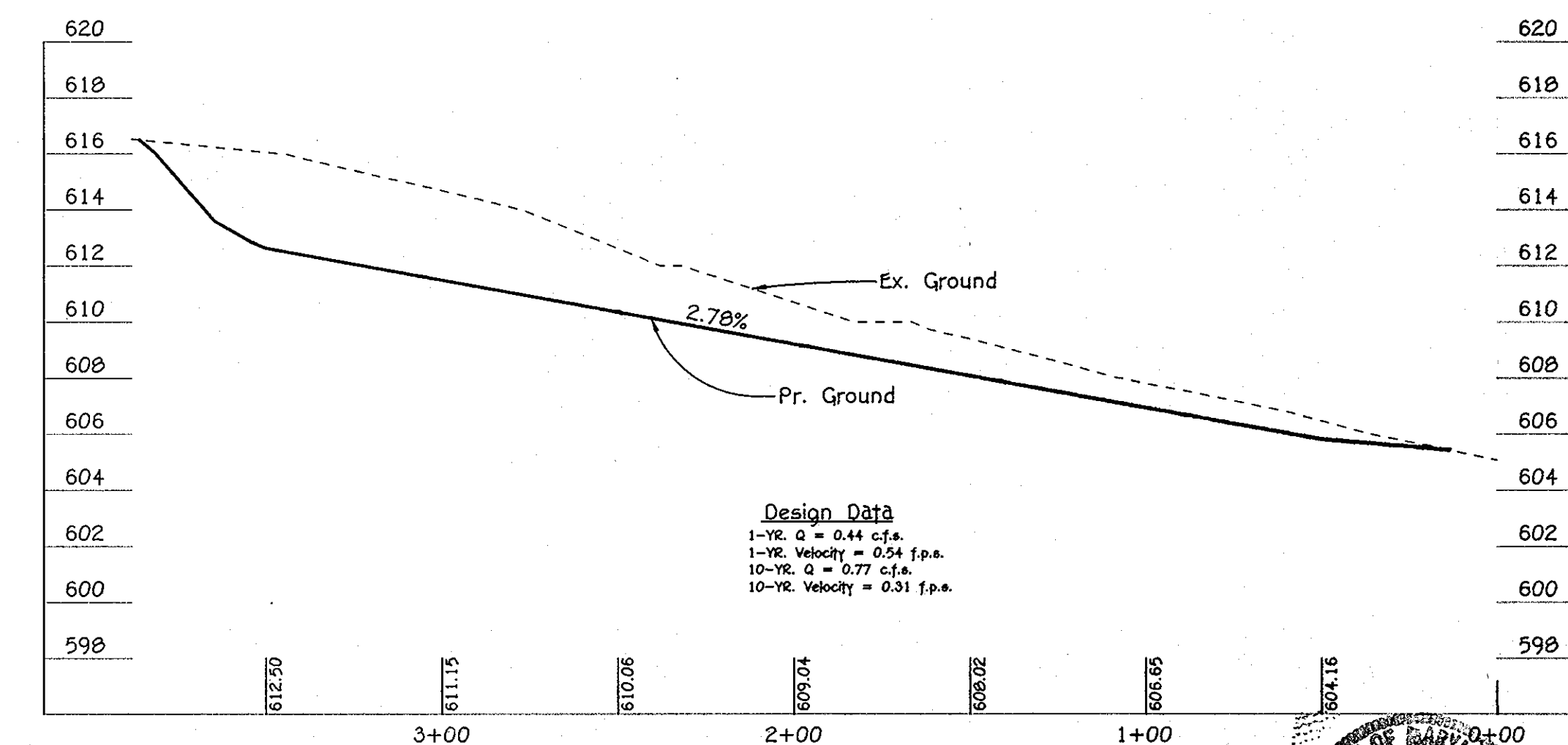


**PLAN**  
 SCALE: 1" = 40'



**McKENDREE ROAD**  
 MINOR COLLECTOR  
 POSTED SPEED LIMIT = 30 M.P.H.

**PROFILE**  
 SCALE: HOR. : 1" = 50'  
 VER. : 1" = 5'



**CL GRASS CHANNEL PROFILE**  
 SCALE: HOR. : 1" = 40'  
 VER. : 1" = 5'

\*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.\*

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*Stuart N. Scheinberg* 2/22/2011  
 COUNTY HEALTH OFFICER

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.

**STOPPING SIGHT DISTANCE PLAN & PROFILE, GRASS CHANNEL PLAN & PROFILE**

**ANIMAL MEDICAL HOSPITAL AT GLENWOOD GREEN MEADOWS LOT 5**

TAX MAP No.: 14 GRID No.: 11  
 PLAT No.: 19072 P/O PARCEL No.: 217  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: JANUARY 26, 2011

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL Pk.  
 ELICOTT CITY, MARYLAND 21042  
 (410) 461-2999

DATE	DESCRIPTION	REVISION BLOCK
01/10/11	REMOVED 8" WATER TO BLDG. NO. 2, REMOVED FOOTPRINT, DIMENSIONS AND SQUARE FOOTAGE OF BLDG. NO. 11 AND REMOVED SEPTIC SYSTEM	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Thomas S. Sullivan* 2/22/11  
 Director - Department of Planning and Zoning  
*Kurt Shulman* 2/22/11  
 Chief, Division of Land Development  
*Stuart N. Scheinberg* 2/22/11  
 Chief, Development Engineering Division

**OWNER/DEVELOPER**  
 ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 2465 MARYLAND ROUTE 97  
 SUITE 7  
 GLENWOOD, MARYLAND 21738  
 DR. STUART N. SCHEINBERG D.V.M.  
 (410) 499-9677

Address Chart				
BUILDING NO.	STREET ADDRESS	SECTION/AREA	PARCEL	LOT
1. HOSPITAL	2890 McKENDREE ROAD	N/A	P/O 217	5
2. KENNEL	2892 McKENDREE ROAD			

PROJECT	PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.	WATER CODE	SEWER CODE
ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT	19072	11	RR-DEO	14	FOURTH	6040.02	N/A	N/A

SCHEDULE A - PERIMETER LANDSCAPING											
PERIMETER	CATEGORY	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET)	SHADE TREES	EVERGREEN TREES	SHRUBS	SHADE TREES	EVERGREEN TREES	SHRUBS
P-1	NON-RES. TO ROAD	B	415.09'	YES, NOTE #1	NO	8	10	-	2	8	-
P-2	NON-RES. TO ROAD	D	430.51'	YES, NOTE #2	NO	7	43	-	3	38	-
P-3	NON-RES. TO ROAD	C	480.89'	NO	NO	12	24	-	10	20	-
P-4	NON-RES. TO ROAD	B	542.60'	NO	NO	14	14	-	14	14	-

NOTE #1: EXISTING VEGETATION TO REMAIN INCLUDES 6 SHADE TREES AND 2 EVERGREEN TREES.  
 NOTE #2: EXISTING VEGETATION TO REMAIN INCLUDES 4 SHADE TREES AND 5 EVERGREEN TREES.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	32
NUMBER OF TREES REQUIRED (1:20 SPACES)	2
NUMBER OF TREES PROVIDED:	
SHADE TREES	2
OTHER TREES (2:1 SUBSTITUTION)	-

LANDSCAPE LEGEND				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
QP	13	ACER PALMATUM AUTUMNORUFUM JAPANESE RED MAPLE	116'-2" CAL.	ORNAMENTAL
TC	6	TILIA CORDATA "GREENSPRING" GREENSPRING LITTLELEAF LINDEN	214'-3" CAL.	SHADE
QR	7	QUERCUS RUBRA RED OAK	214'-3" CAL.	SHADE
AR	5	ACER RUBRUM "OCTOBER GLORY" OCTOBER GLORY RED MAPLE	214'-3" CAL.	SHADE
IO	25	ILEX OPACA AMERICAN HOLLY	8" - 8' HEIGHT	EVERGREEN
PS	47	PINUS STROBUS EASTERN WHITE PINE	8" - 8' HEIGHT	EVERGREEN
LC	16	CUPRESSOCYPRIS LEWLAND/LEWLAND CYPRESS	8" - 8' HEIGHT	EVERGREEN

NOTE: TREE TYPES ARE ONLY A RECOMMENDATION. THESE MAY BE REVISED TO A COUNTY APPROVED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. REQUIRED LANDSCAPE SURETY FOR THE 31 SHADE AND 88 EVERGREEN TREES HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$22,500.00.

**DEVELOPER'S / BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

*Dr. Stuart Schenberg, D.V.M.* 1/28/11  
 DR. STUART SCHEINBERG, D.V.M. DATE

\*SHOULD ANY TREE DESIGNATED FOR PRESERVATION FOR WHICH LANDSCAPING CREDIT IS GIVEN, DIE PRIOR TO RELEASE OF BONDS, THE OWNER WILL BE REQUIRED TO REPLACE THE TREE WITH THE EQUIVALENT TREE WITH A TREE WHICH WILL OBTAIN THE SAME HEIGHT, SPREAD AND GROWTH CHARACTERISTICS. THE REPLACEMENT TREE MUST BE A MINIMUM OF 3 INCHES IN CALIPER AND INSTALLED AS REQUIRED IN THE HOWARD COUNTY LANDSCAPE MANUAL.

\*AT THE TIME OF PLANT INSTALLATION, ALL TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATIONS FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE ROAD DRAWING PLANS.

\*THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED PERIMETER LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL THE OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED.

**PLANTING SPECIFICATIONS**

PLANTS, RELATED MATERIAL AND OPERATIONS SHALL MEET THE DETAILED DESCRIPTION AS GIVEN ON THE PLANS AND AS DESCRIBED HEREIN.

ALL PLANT MATERIAL, UNLESS OTHERWISE SPECIFIED, SHALL BE NURSERY GROWN, UNIFORMLY BRANCHED, AND SHALL CONFORM TO THE SPECIES, SIZE, ROOT AND SHAPE SHOWN ON THE PLANT LIST AND THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) STANDARDS. PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, FREE FROM DEFECTS, DECAY, DISFIGURING ROOTS, SUN SCALD INJURIES, ABRASIONS OF THE BARK, PLANT DAMAGE, INSECT PEST EGGS, BORERS AND ALL FORMS OF INSECT INFESTATIONS OR OBJECTIONABLE DISFIGUREMENTS. PLANT MATERIAL THAT IS WEAK OR WHICH HAS BEEN CUT BACK FROM LARGER GRADES TO MEET SPECIFIED REQUIREMENTS WILL BE REJECTED. TREES WITH FORKED LEADERS WILL NOT BE ACCEPTED. ALL PLANTS SHALL BE FRESHLY DIGGED AND HEADED IN PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

UNLESS OTHERWISE SPECIFIED, ALL GENERAL CONDITIONS, PLANTING OPERATIONS, DETAILS AND PLANTING SPECIFICATIONS SHALL CONFORM TO "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS", (HEREINAFTER "LANDSCAPE GUIDELINES") APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE POTOMAC CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECT, LATEST EDITION, INCLUDING ALL AGENDA.

CONTRACTOR SHALL BE REQUIRED TO GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR AFTER DATE OF ACCEPTANCE IN ACCORDANCE WITH THE APPROPRIATE SECTION OF THE LANDSCAPE GUIDELINES. CONTRACTOR'S ATTENTION IS DIRECTED TO THE MAINTENANCE REQUIREMENTS FOUND WITHIN THE ONE YEAR SPECIFICATIONS INCLUDING WATERING AND REPLACEMENT OF SPECIFIED PLANT MATERIAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES, UTILITY CONTRACTORS AND "MISS UTILITY" A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY WORK. CONTRACTOR MAY MAKE MINOR ADJUSTMENTS IN SPACING AND LOCATION OF PLANT MATERIAL TO AVOID CONFLICTS WITH UTILITIES. DAMAGE TO EXISTING STRUCTURE AND UTILITIES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

PROTECTION OF EXISTING VEGETATION TO REMAIN SHALL BE ACCOMPLISHED BY THE TEMPORARY INSTALLATION OF 4 FOOT HIGH SNOW FENCE OR BLAZE ORANGE SAFETY FENCE AT THE DRIP LINE.

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIAL IN THE PROPER PLANTING SEASON FOR EACH PLANT TYPE. ALL PLANTING IS TO BE COMPLETED WITHIN THE GROWING SEASON OF COMPLETION OF SITE CONSTRUCTION.

BID SHALL BE BASED ON ACTUAL SITE CONDITIONS. NO EXTRA PAYMENT SHALL BE MADE FOR WORK ARISING FROM SITE CONDITIONS DIFFERING FROM THOSE INDICATED ON DRAWINGS AND SPECIFICATIONS.

PLANT QUANTITIES ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN TAKE PRECEDENCE.

ALL SHRUBS SHALL BE PLANTED IN CONTINUOUS TRENCHES OR PREPARED PLANTING BEDS AND MULCHED WITH COMPOSTED HARDWOOD MULCH AS DETAILS AND SPECIFIED EXCEPT WHERE NOTED ON PLANS.

POSITIVE DRAINAGE SHALL BE MAINTAINED IN PLANTING BEDS 2 PERCENT SLOPE.

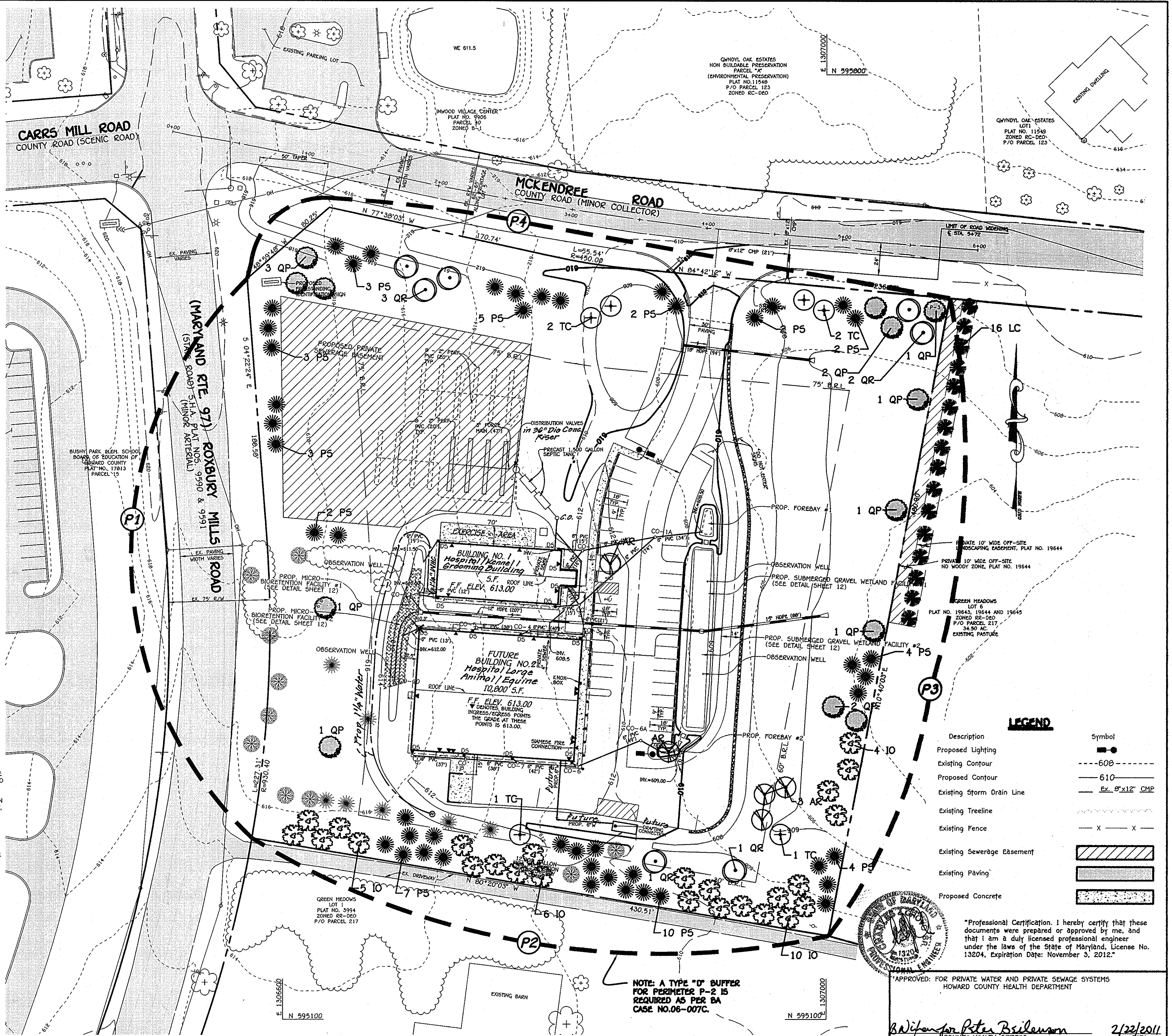
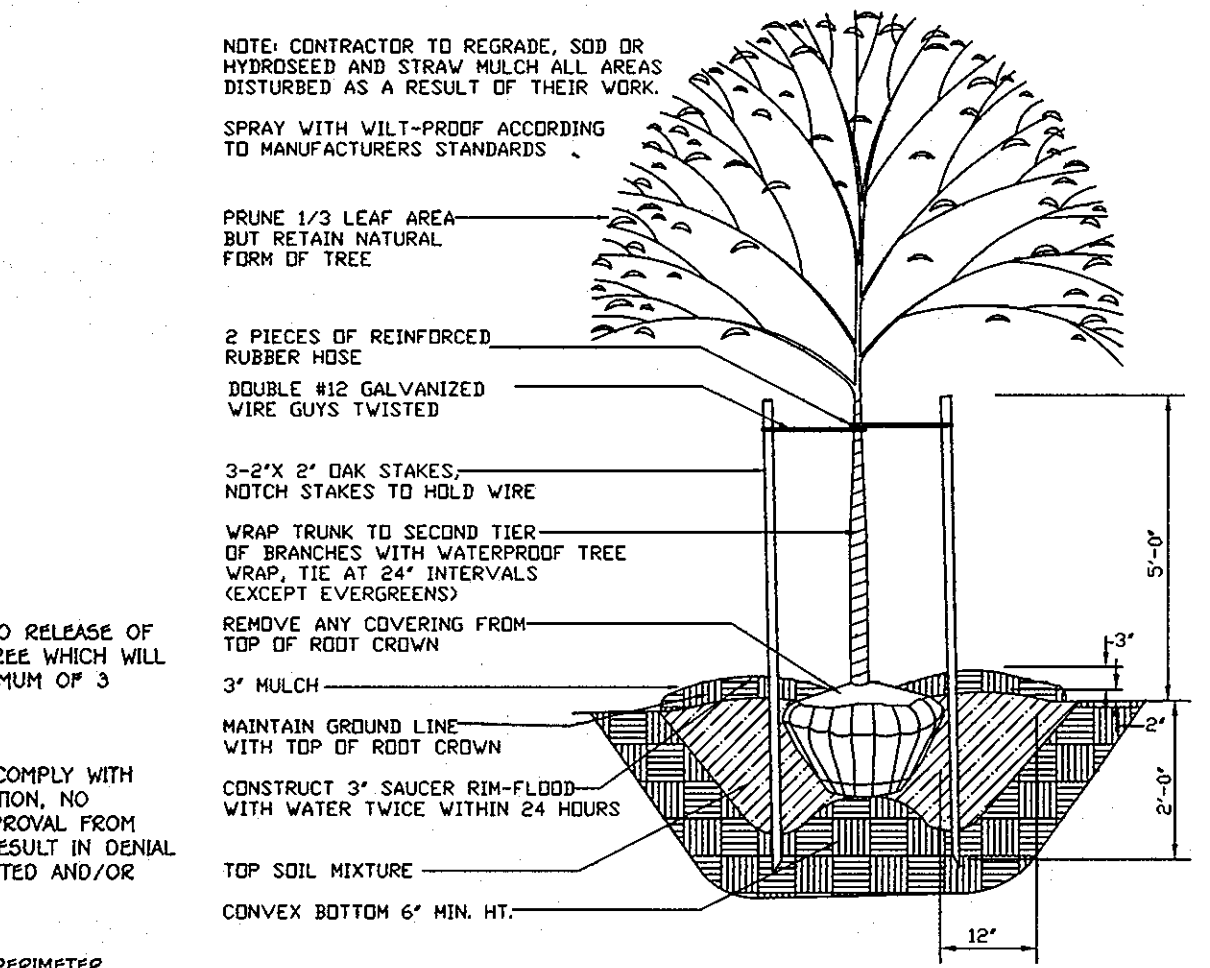
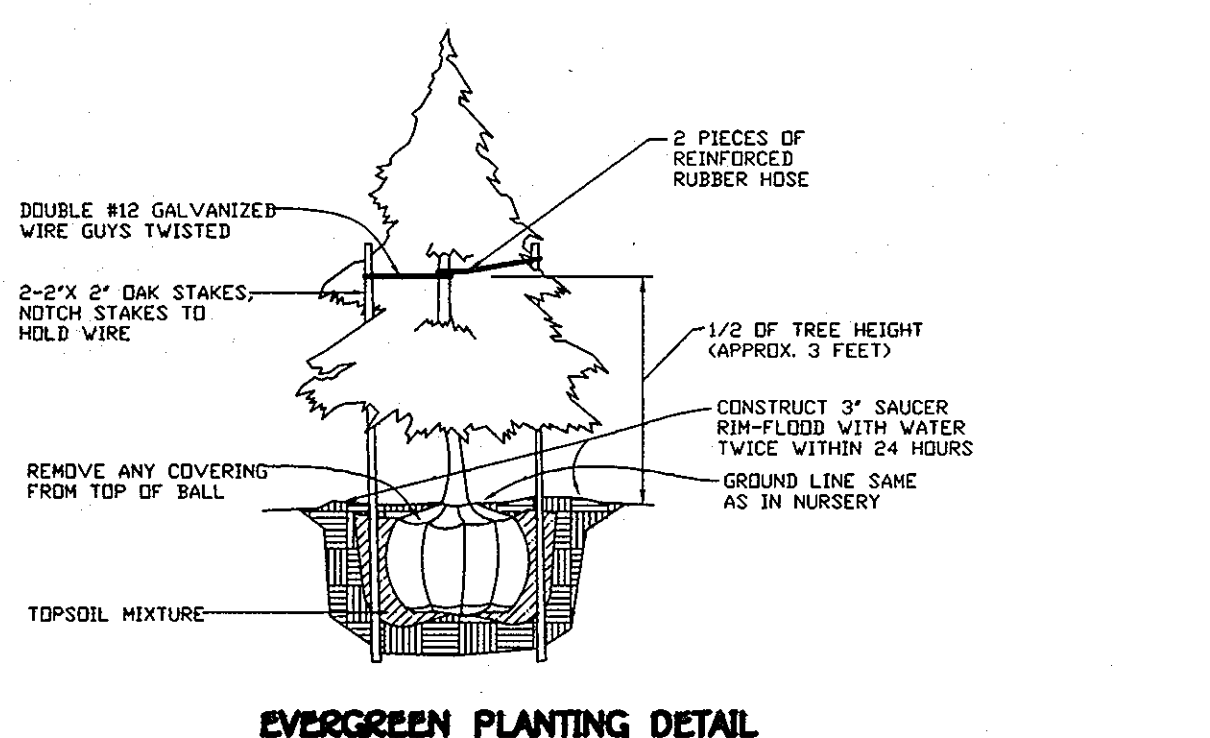
PLANTING MIX SHALL BE AS FOLLOWS: DECIDUOUS PLANTS - TWO PARTS TOPSOIL, ONE PART WELL-ROTTED COW OR HORSE MANURE, ADD 3 LBS. OF STANDARD FERTILIZER PER CUBIC YARD OF PLANTING MIX. EVERGREEN PLANTS - TWO PARTS TOPSOIL, ONE PART HUMUS OR OTHER APPROVED ORGANIC MATERIAL, ADD 3 LBS. OF EVERGREEN (ACIDIC) FERTILIZER PER CUBIC YARD OF PLANTING MIX. TOPSOIL SHALL CONFORM TO THE LANDSCAPE GUIDELINES.

WEED CONTROL: INCORPORATE A PRE-EMERGENT HERBICIDE INTO THE PLANTING BED FOLLOWING RECOMMENDED RATES ON THE LABEL. CAUTION: BE SURE TO CAREFULLY CHECK THE CHEMICAL USED TO ASSURE ITS ADAPTABILITY TO THE SPECIFIC GROWING COVER TO BE TREATED.

ALL AREAS WITHIN CONTRACT LIMITS DISTURBED DURING OR PRIOR TO CONSTRUCTION NOT DESIGNATED TO RECEIVE PLANTS AND MULCH SHALL BE FINE GRADED AND SEEDDED.

THIS PLAN IS INTENDED FOR LANDSCAPE USE ONLY. SEE OTHER PLAN SHEETS FOR MORE INFORMATION ON GRADING, SEDIMENT CONTROL, LAYOUT, ETC.

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.



NOTE: A TYPE "D" BUFFER FOR PERIMETER P-2 IS REQUIRED AS PER BA CASE NO.06-007C.

\*Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
*R. Wilson Peter Brileman* 2/22/2011  
 COUNTY HEALTH OFFICER DATE

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK, 10772 BALTIMORE NATIONAL PIKE  
 ELIZOFT CITY, MARYLAND 21036  
 (410) 481-2995

DATE	DESCRIPTION	REVISION BLOCK
0-16-11	Removed G"X to Bldg No. 2; revised footprint of sq. ft. of Bldg No. 1; revised septic system.	
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	<i>Thomas E. Kestler</i> Director - Department of Planning and Zoning	2/25/11 Date
	<i>Ken Schindler</i> Chief, Division of Land Development	2/25/11 Date
	<i>R. Wilson Peter Brileman</i> Chief, Development Engineering Division	2/10/11 Date

**OWNER/DEVELOPER**  
 ANIMAL MEDICAL HOSPITAL  
 2465 MARYLAND ROUTE 97  
 SUITE 7  
 GLENWOOD, MARYLAND 21738  
 DR. STUART N. SCHEINBERG D.V.M.  
 (410) 489-9677

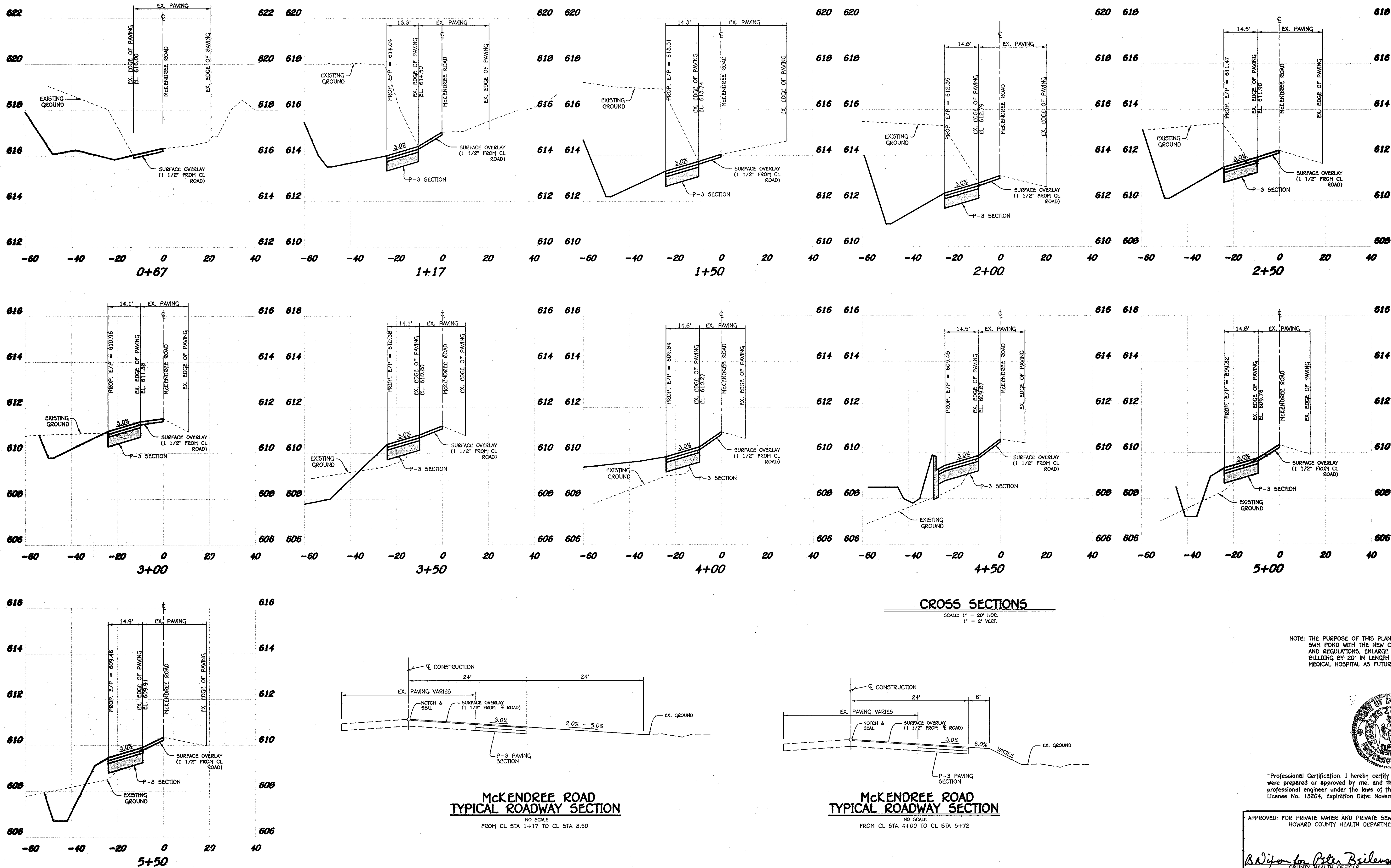
Address Chart				
BUILDING NO.	STREET ADDRESS			
1.	HOSPITAL	2890 MCKENDREE ROAD		
2.	KENNEL	2892 MCKENDREE ROAD		
PROJECT	SECTION/AREA	PARCEL	LOT	
ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT	N/A	P/O 217	5	
PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST. CENSUS TR.
19072	11	RR-DEO	14	FOURTH 6040.02
WATER CODE	SEWER CODE			
N/A	N/A			

**LANDSCAPE PLAN**

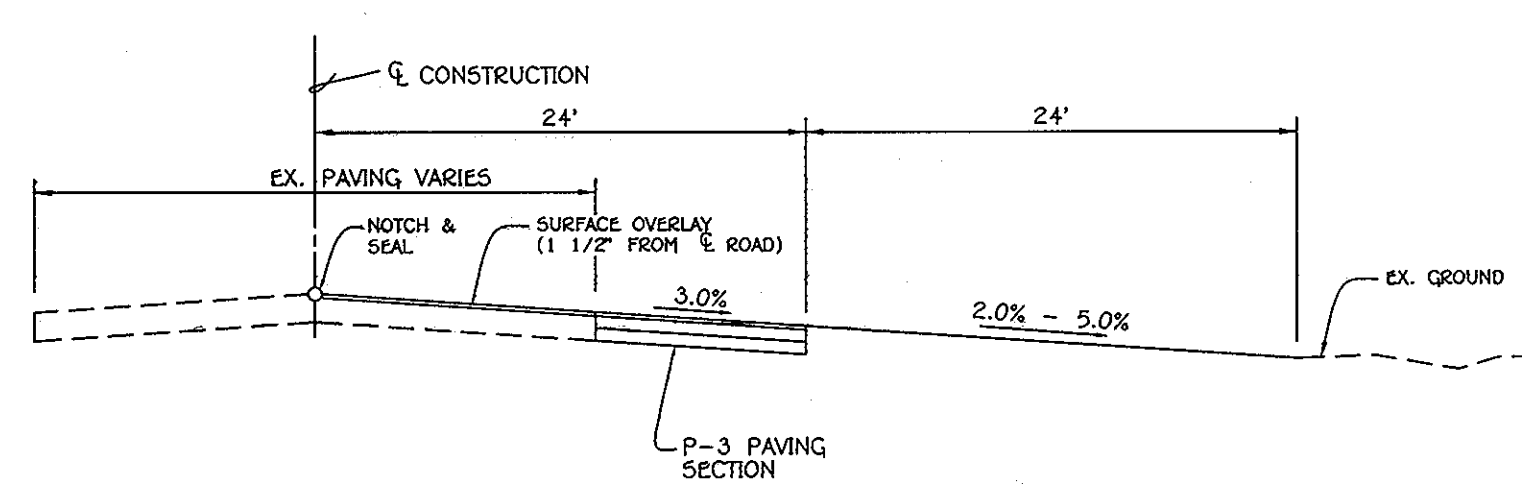
**ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 GREEN MEADOWS  
 LOT 5**

TAX MAP No.: 14 GRID No.: 11  
 PLAT No. 19072 P/O PARCEL No.: 217  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: 1" = 40' DATE: JANUARY 26, 2011

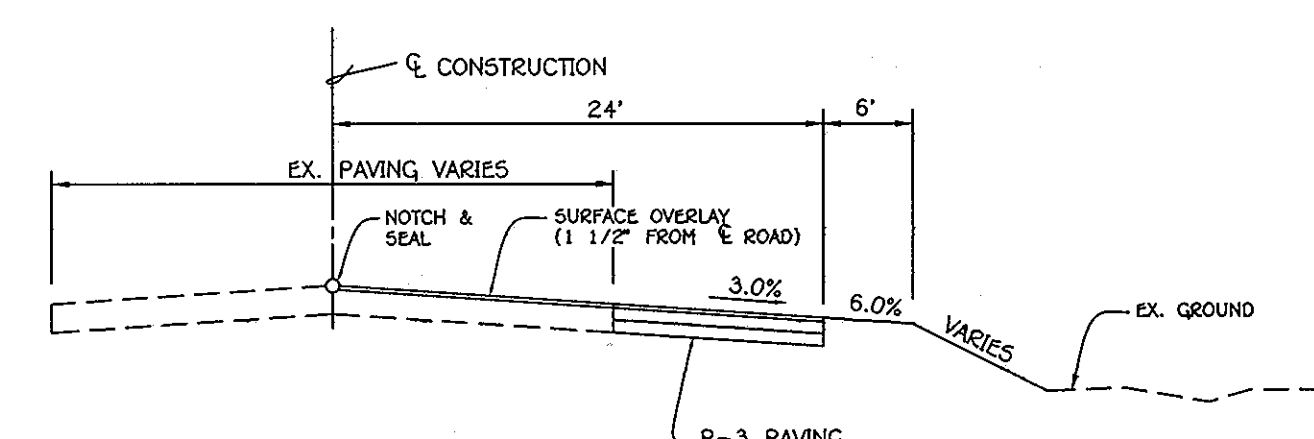
SHEET 10 OF 19 SDP-08-004



**CROSS SECTIONS**  
SCALE: 1" = 20' HOR.  
1" = 2' VERT.



**McKENDREE ROAD  
TYPICAL ROADWAY SECTION**  
NO SCALE  
FROM CL STA 1+17 TO CL STA 3+50



**McKENDREE ROAD  
TYPICAL ROADWAY SECTION**  
NO SCALE  
FROM CL STA 4+00 TO CL STA 5+72

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SHM FOND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS. ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2012."

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*B. Wilson for Peter Bailewson* 2/22/2011  
COUNTY HEALTH OFFICER DATE

**McKENDREE ROAD -  
ROAD WIDENING CROSS SECTIONS  
REVISED SITE DEVELOPMENT PLAN  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5**

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: JANUARY 26, 2011

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
1200 NATIONAL SQUARE, OFFICE 3122 - 10772 BALTIMORE NATIONAL Pk.  
ELLSWORTH CITY, MARYLAND 21042  
(410) 461-2255

DATE	DESCRIPTION	REVISION BLOCK
	APPROVED: DEPARTMENT OF PLANNING AND ZONING	
	<i>Thomas &amp; Buttle</i> Director - Department of Planning and Zoning	Date
	<i>Kevin Schleich</i> Chief, Division of Land Development	2/22/11 Date
	<i>John P. ...</i> Chief, Development Engineering Division	2/10/11 Date

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9577

Address Chart	
BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 McKENDREE ROAD
2. KENNEL	2892 McKENDREE ROAD

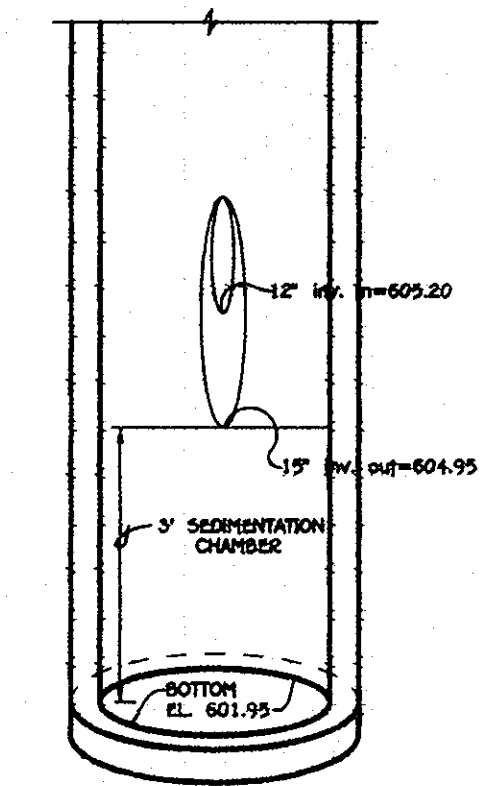
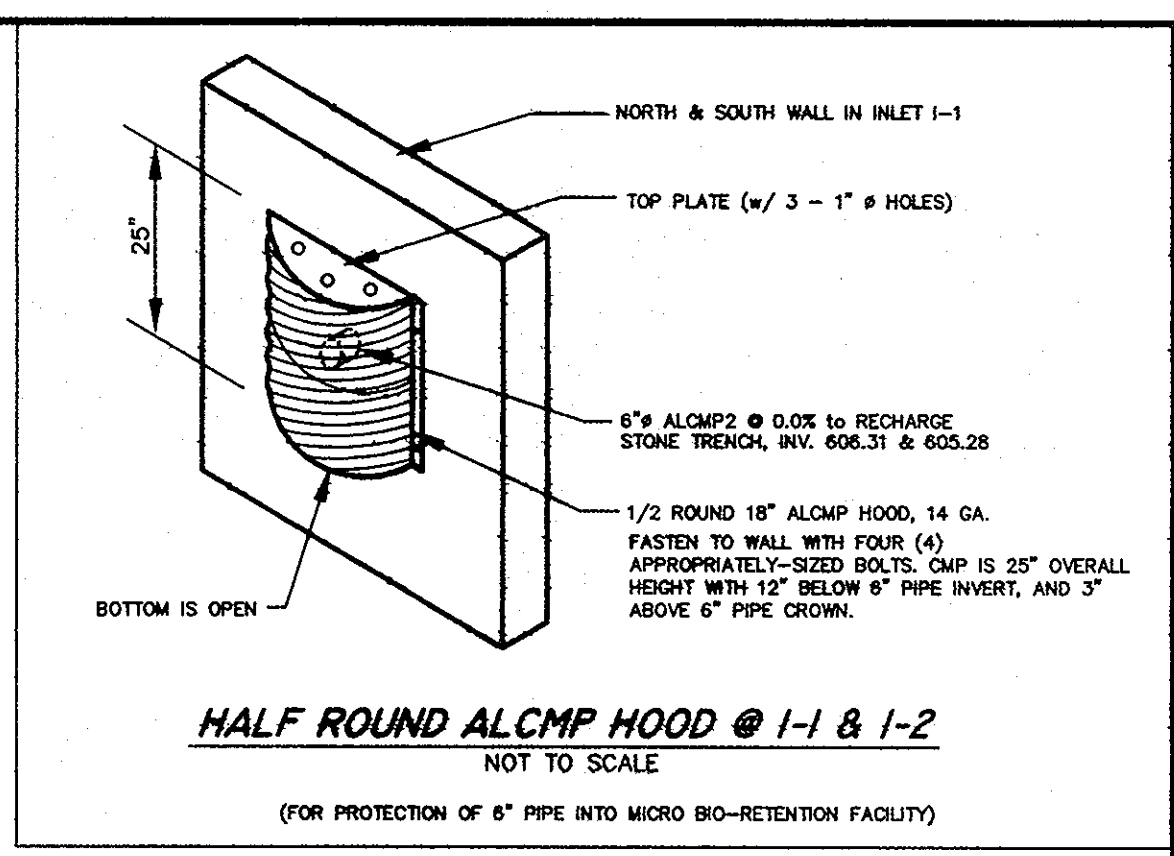
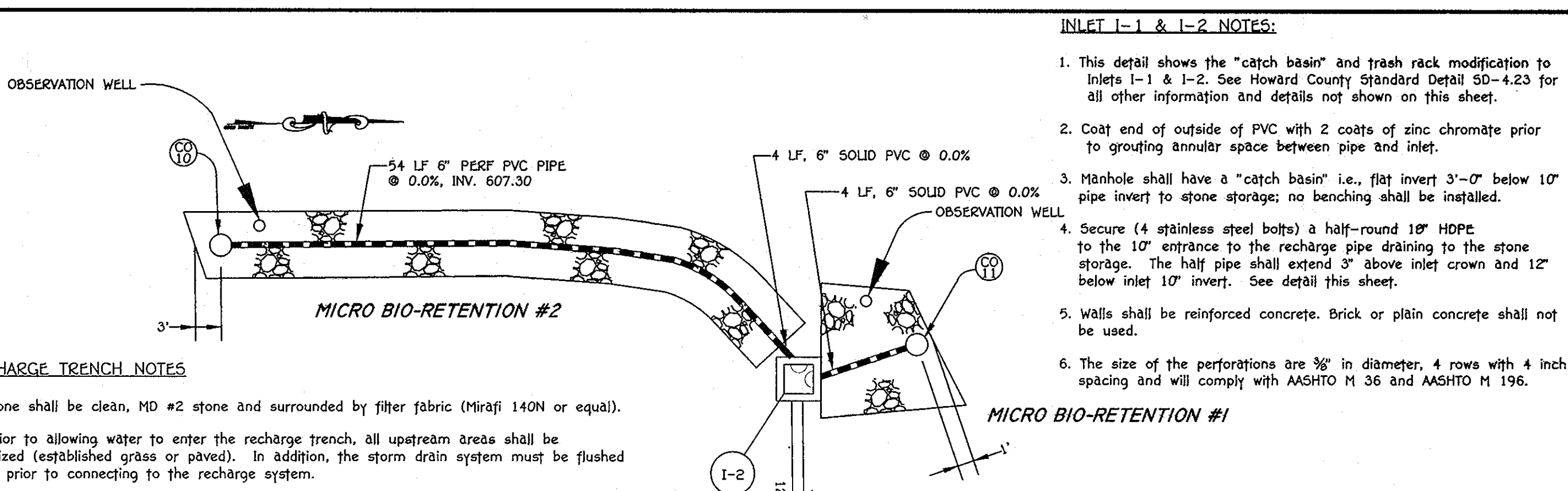
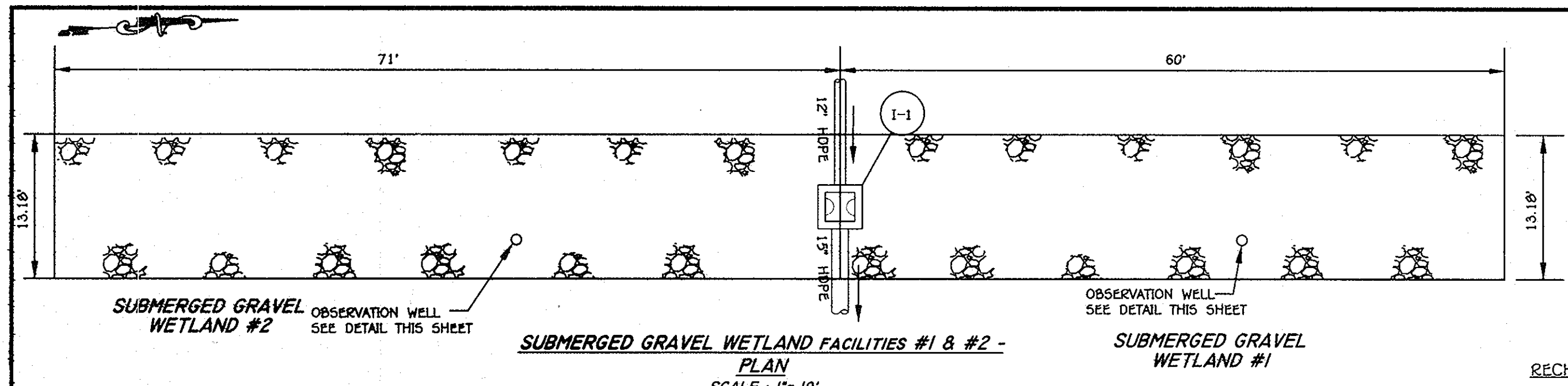
PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A



**OPERATION AND MAINTENANCE SCHEDULE FOR SUBMERGED GRAVEL WETLAND (M-2), LANDSCAPE INFILTRATION (M-3), MICRO BIORETENTION (M-6), RAIN GARDENS (M-7), BIORETENTION SWALE (M-8), ENHANCED FILTERS (M-9)**

- ANNUAL MAINTENANCE OF PLANT MATERIAL, MULCH LAYER AND SOIL LAYER IS REQUIRED. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING; 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
- SCHEDULE OF PLANT INSPECTION WILL BE TWICE A YEAR IN SPRING AND FALL. THIS INSPECTION WILL INCLUDE REMOVAL OF DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, TREATMENT OF ALL DISEASED TREES AND SHRUBS AND REPLACEMENT OF ALL DEFICIENT STAKES AND WIRES.
- MULCH SHALL BE INSPECTED EACH SPRING, REMOVE PREVIOUS MULCH LAYER BEFORE APPLYING NEW LAYER ONCE EVERY 2 TO 3 YEARS.
- SOIL EROSION TO BE ADDRESSED ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER HEAVY STORM EVENTS.

**RECHARGE TRENCH NOTES**

- Stone shall be clean, MD #2 stone and surrounded by filter fabric (Mirafi 140N or equal).
- Prior to allowing water to enter the recharge trench, all upstream areas shall be stabilized (established grass or paved). In addition, the storm drain system must be flushed clean prior to connecting to the recharge system.
- Place an 18" half round pipe at the entrance to the recharge distribution pipe in storm drain I-1. The half pipe shall extend 12" below the invert and 3" above the crown.
- Pipe shall be PVC Schedule 40. The pipe shall be perforated starting 1' inside the trench and solid outside the trench. Provide two (2) coats of zinc chromate to outer walls of pipe that will contact the concrete walls at I-1.

**INLET I-1 & I-2 NOTES:**

- This detail shows the "catch basin" and trash rack modification to inlets I-1 & I-2. See Howard County Standard Detail SD-4.23 for all other information and details not shown on this sheet.
- Coat end of outside of PVC with 2 coats of zinc chromate prior to grouting annular space between pipe and inlet.
- Manhole shall have a "catch basin" i.e., flat invert 3'-0" below 10" pipe invert to stone storage; no benching shall be installed.
- Secure (4) stainless steel bolts to a half-round 18" HDPE to the 10" entrance to the recharge pipe draining to the stone storage. The half pipe shall extend 3" above inlet crown and 12" below inlet 10" invert. See detail this sheet.
- Walls shall be reinforced concrete. Brick or plain concrete shall not be used.
- The size of the perforations are 3/8" in diameter, 4 rows with 4 inch spacing and will comply with AASHTO M 36 and AASHTO M 196.

**Infiltration and Filter System Construction Specifications**

Infiltration and filter systems either take advantage of existing permeable soils or create a permeable medium such as sand for infiltration. In some instances where permeability is great, these facilities may be used for on-site storage. The most common systems include infiltration trenches, infiltration basins, and filters, and organic filters.

When properly planned, vegetation will thrive and enhance the functioning of these systems. For example, pre-treatment buffers will trap sediments that often are bound with phosphorus and metals. Vegetation planted in the facility will aid in nutrient uptake and water storage. Additionally, plant roots will provide aeration for stormwater to permeate soil for groundwater recharge. Finally, successful plantings provide aesthetic value and wildlife habitat making these facilities more desirable to the public.

**Design Constraints:**

- Planting buffer strips of at least 20 feet will cause sediments to settle out before reaching the facility, thereby reducing the possibility of clogging.
- Determine areas that will be saturated with water and water table depth so that appropriate plants may be selected (hydrology will be similar to bio-retention facilities, see Figure A.5 and Table A.4 for planting material guidelines).
- Plants known to send deep taproots should be avoided in systems where filter fabric is used as part of filter design.
- Test soil conditions to determine if soil amendments are necessary.
- Plants shall be installed so that access is possible for structure maintenance.
- Stabilize heavy flow areas with erosion control mats or sod.
- Temporarily divert flows from saturated areas until vegetation is established.
- See Table A.5 for additional design considerations.

**Soil Bed Characterization and Planting Media**

The characteristics of the soil for the bio-retention facility are perhaps as important as the facility location, size, and treatment volume. The soil must be permeable enough to allow runoff to filter through the media, while having characteristics suitable to promote and sustain a robust vegetation cover crop. In addition, much of the nutrient pollutant uptake (nitrogen and phosphorus) is accumulated through absorption and microbial activity within the soil profile. Therefore, soils must balance their chemical and physical properties to support biotic communities above and below ground.

The planting soil should be a sandy loam, loamy sand, loam (USDA), or a loam/sand mix (should contain a minimum 35 to 60% sand by volume). The clay content for these soils should be less than 25% by volume (Environmental Quality Resources (EQRS), 1996; Engineering Technology Inc. and Biohabitat Inc. (ETBI), 1993). Soils should fit within the SH, ML, SC classifications of the Unified Soil Classification System (USCS). A permeability of at least 1.0 feet per day (0.077 in./hr) is required (a conservative value of 0.05 feet per day is used for design). The soil should be free of stones, stumps, roots, or other wood material over 1" in diameter. Stumps or other noxious waste (e.g., Johnson Grass, Hagwort, Nutgrass, and Canada Thistle) or other noxious weeds as specified under COMAR 15.08.01.03 should not be present in the soils. Placement of the planting soil should be in 12 to 18 lifts that are loosely compacted (tamped lightly with a backhoe bucket or tamped by dozer tracks). The specific characteristics are outlined in Table A.3.

**Table A.3 Planting Soil Characteristics**

Parameter	Value
pH range	5.2 to 7.00
Organic matter	1.5 to 4.0% (by weight)
Magnesium	35 lbs. per acre, minimum
Phosphorus (phosphate - P2O5)	75 lbs. per acre, minimum
Potassium (potash - K2O)	85 lbs. per acre, minimum
Soluble salts	500 ppm
Clay	10 to 25 %
Silt	30 to 55 %
Sand	35 to 60%

**Mulch Layer**

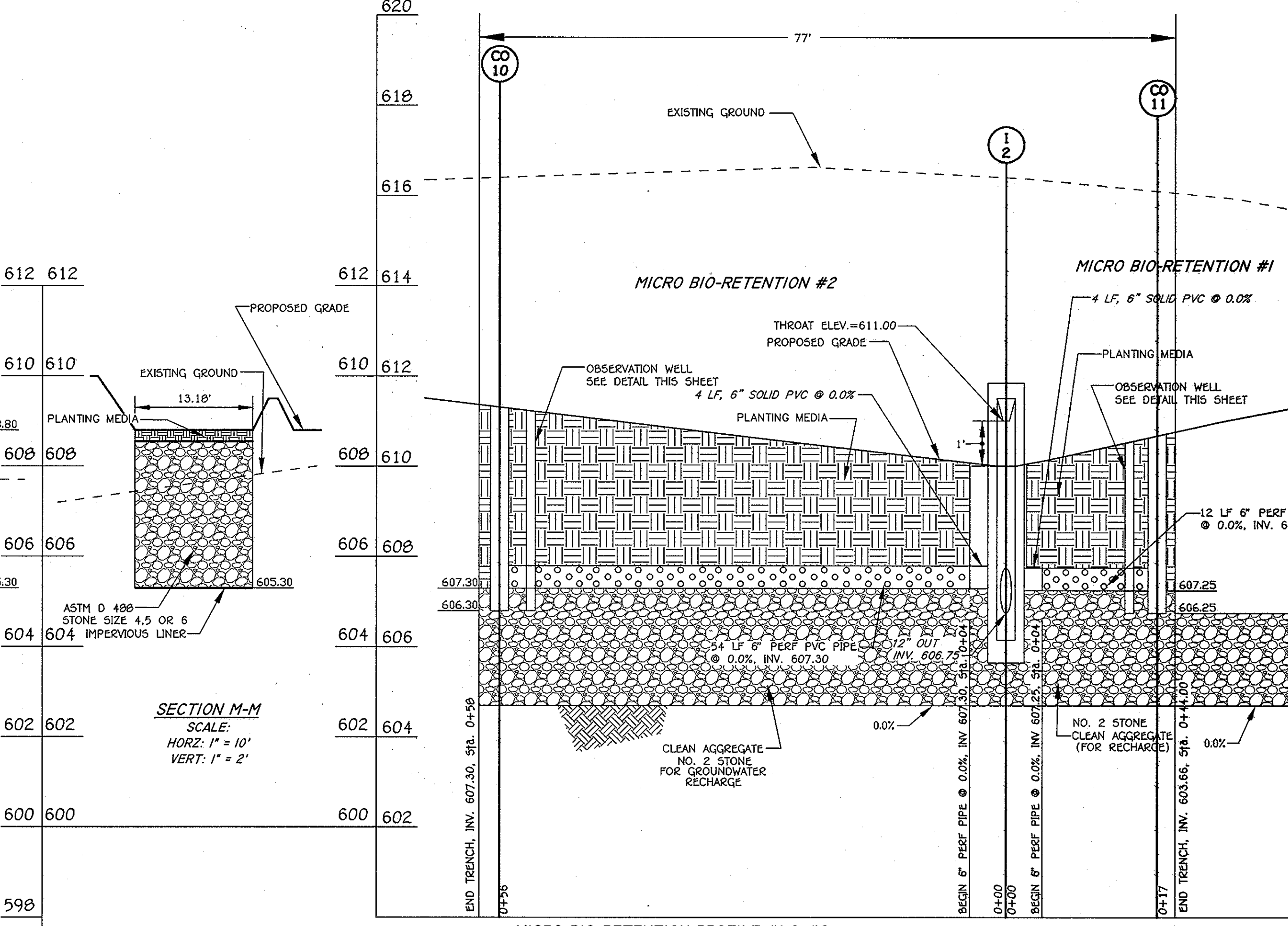
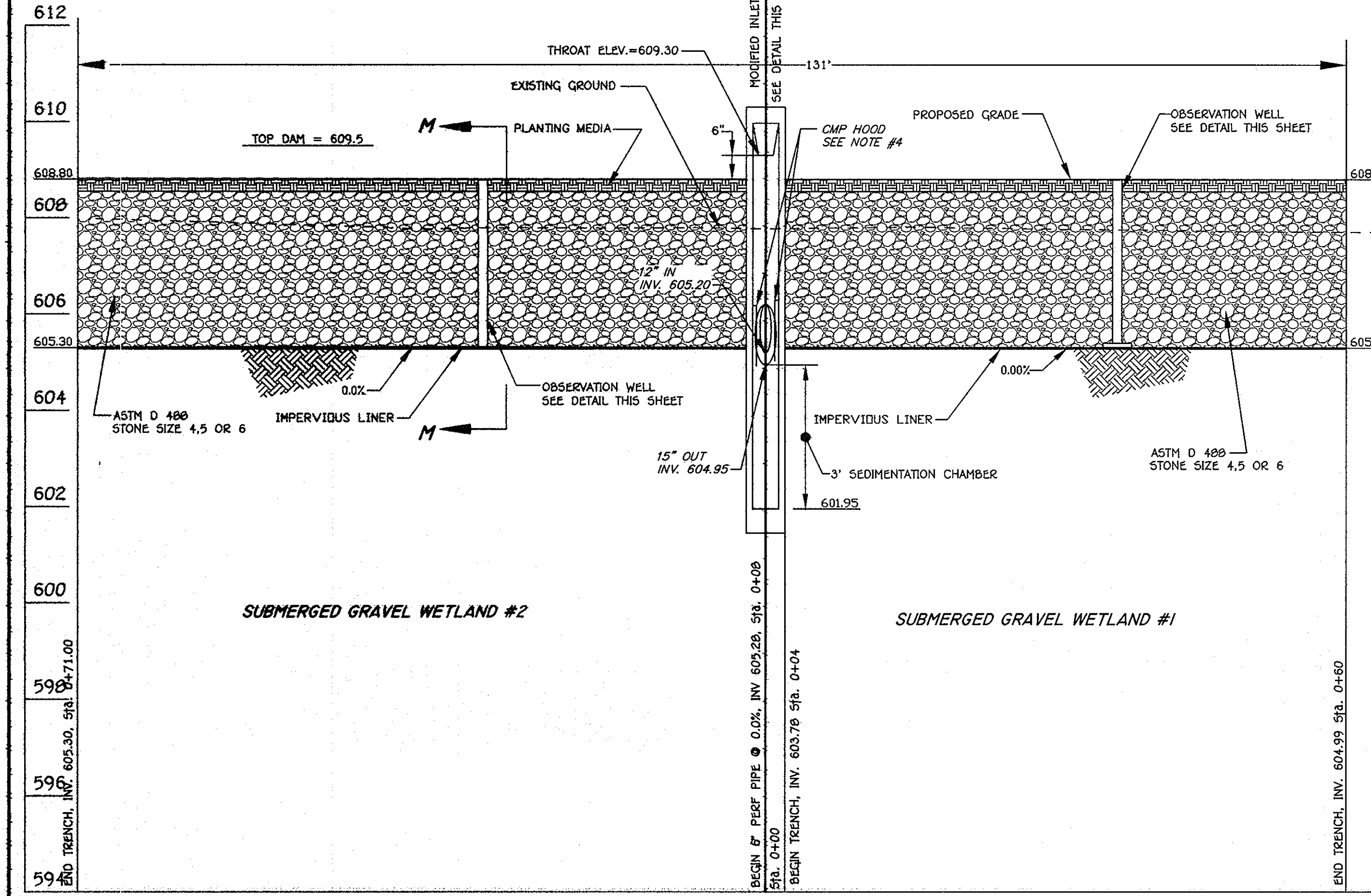
The mulch layer plays an important role in the performance of the bio-retention system. The mulch layer helps maintain soil moisture and avoids surface sealing, which reduces permeability. Mulch helps prevent erosion, and provides a microclimate suitable for soil life at the mulch/soil interface. It also serves as a pretreatment layer, trapping the finer sediments, which remain suspended after the primary pretreatment.

The mulch layer should be standard landscape style, single or double shredded hardwood mulch or chips. The mulch layer should be well aged (decomposed or stored for at least 12 months), uniform in color, and free of other materials, such as weed seeds, soil, roots, etc. The mulch should be applied to a maximum depth of three inches. Grass clippings should not be used as a mulch material.

**Planting Guidance**

Plant material selection should be based on the goal of simulating a terrestrial forested community of native species. Bio-retention simulates an upland-specific ecosystem. The community should be dominated by trees, but have a distinct community of understory trees, shrubs and herbaceous materials. By creating a diverse, dense plant cover, a bio-retention facility will be able to treat stormwater runoff and withstand urban stresses from insects, diseases, drought, temperature, wind, and exposure.

The proper selection and installation of plant materials is key to a successful system. There are essentially three zones within a bio-retention facility (Figure A.5). The lowest elevation supports plant species adapted to standing and fluctuating water levels. The middle elevation supports plants that like drier soil conditions, but can still tolerate occasional inundation by water. The outer edge is the highest elevation and generally supports plants adapted to drier conditions. A sample of appropriate plant materials for bio-retention facilities are included in Table A.4. The layout of plant material should be flexible, but should follow the general principles described in Table A.5. The objective is to have a system which resembles a woodland, and not a plant forest, while maintaining optimal conditions for plant establishment and growth. For a more extensive bio-retention plan, consult EQRS, 1993 or Claffier and Schaefer, 1997.



**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED RECHARGE FACILITIES**

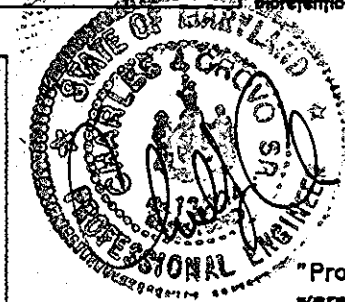
- The recharge diversion inlet (I-1) shall be inspected at a minimum of three times (3x) annually. The hood shall be inspected for damage and corrosion.
- The Owner shall remove all trash and debris during the inspections.
- Sediment depth 6" or greater shall be promptly removed and disposed of properly (i.e., taken to the land fill).
- Damage to the hood shall be promptly repaired.

**AS-BUILT CERTIFICATION**

I hereby certify that the Facility shown on this Plan was constructed As Shown on the "As-Built" Plans and Meets the Approved Plans and Specifications.

Signature: \_\_\_\_\_ P.E. No. \_\_\_\_\_  
 Date: \_\_\_\_\_

Certify Means to State Or Declare A Professional Opinion Based Upon Onsite Inspections And Material Tests Which are Conducted During Construction. The Onsite Inspections And Material Tests Are Those Inspections And Tests Deemed Sufficient And Appropriate Commonly Accepted Engineering Standards. Certify Does Not Mean Or Imply A Guarantee By The Engineer Nor Does An Engineer's Certification Relieve Any Other Party From Meeting Requirements Imposed by Contract, Employment, Or Other Means, Including Meeting Commonly Accepted Industry Practices.



APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

*Baileman for Peter Baileman* 2/22/11  
 COUNTY HEALTH OFFICER DATE

**FISHER, COLLINS & CARTER, INC.**  
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
 CENTRAL SQUARE OFFICE PARK - 10772 BALDWIN NATIONAL PARK  
 SILKSBORO CITY, MARYLAND 21042  
 (410) 461-2899



**NOTES:**

UNDERDRAIN PIPE SHALL BE 4" TO 6" DIAMETER, SLOTTED OR PERFORATED RIGID PLASTIC PIPE (ASTM F 750, PIPE PS 28 OR AASHTO-M-279) IN A GRAVEL LAYER. THE PREFERRED MATERIAL IS SLOTTED 4" RIGID PIPE (e.g., PVC OR HDPE).

PERFORATIONS SHALL BE 3/8" DIAMETER LOCATED 6" ON CENTER WITH A MINIMUM OF FOUR HOLES PER ROW. PIPE SHALL BE WRAPPED WITH A 1/4" (No. 4 OR 4 x 4) GALVANIZED HARDWARE CLOTH.

GRAVEL LAYER SHALL BE (No. 57 STONE PREFERRED) AT LEAST 3" THICK ABOVE AND BELOW THE UNDERDRAIN.

THE MAIN COLLECTOR PIPE SHALL BE AT A MINIMUM 0.5% SLOPE.

A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT PORT AND MONITOR PERFORMANCE OF THE FILTER.

A 4" LAYER OF PEA GRAVEL (1/8" TO 3/8" STONE) SHALL BE LOCATED BETWEEN THE FILTER MEDIA AND UNDERDRAIN TO PREVENT MIGRATION OF FINES INTO THE UNDERDRAIN. THIS LAYER MAY BE CONSIDERED PART OF THE FILTER BED WHEN BED THICKNESS EXCEEDS 24".

APPROVED: DEPARTMENT OF PLANNING AND ZONING

DATE	DESCRIPTION	REVISION BLOCK
2/25/11		
2/25/11		
2/10/11		

Director - Department of Planning and Zoning  
 Chief, Division of Development  
 Chief, Development Engineering Division

**OWNER/DEVELOPER**  
 ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 2465 MARYLAND ROUTE 97  
 SUITE 7  
 GLENWOOD, MARYLAND 21738  
 DR. STUART N. SCHEINBERG D.V.M.  
 (410) 499-9677

Address Chart

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT: ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.	SECTION/AREA	PARCEL	LOT
19072	11	RR-DEO	14	FOURTH	6040.02	N/A	P/O 217	5

WATER CODE: N/A SEWER CODE: N/A

**SWM PROFILES AND DETAILS**  
 REVISED SITE DEVELOPMENT PLAN  
 ANIMAL MEDICAL HOSPITAL  
 AT GLENWOOD  
 GREEN MEADOWS  
 LOT 5

TAX MAP No.: 14 GRID No.: 11  
 PLAT No.: 19072 P/O PARCEL No.: 217  
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
 SCALE: AS SHOWN DATE: NOVEMBER 19, 2010

SHEET 12 OF 19 5DP-08-004

LOG OF BORING	No. B1

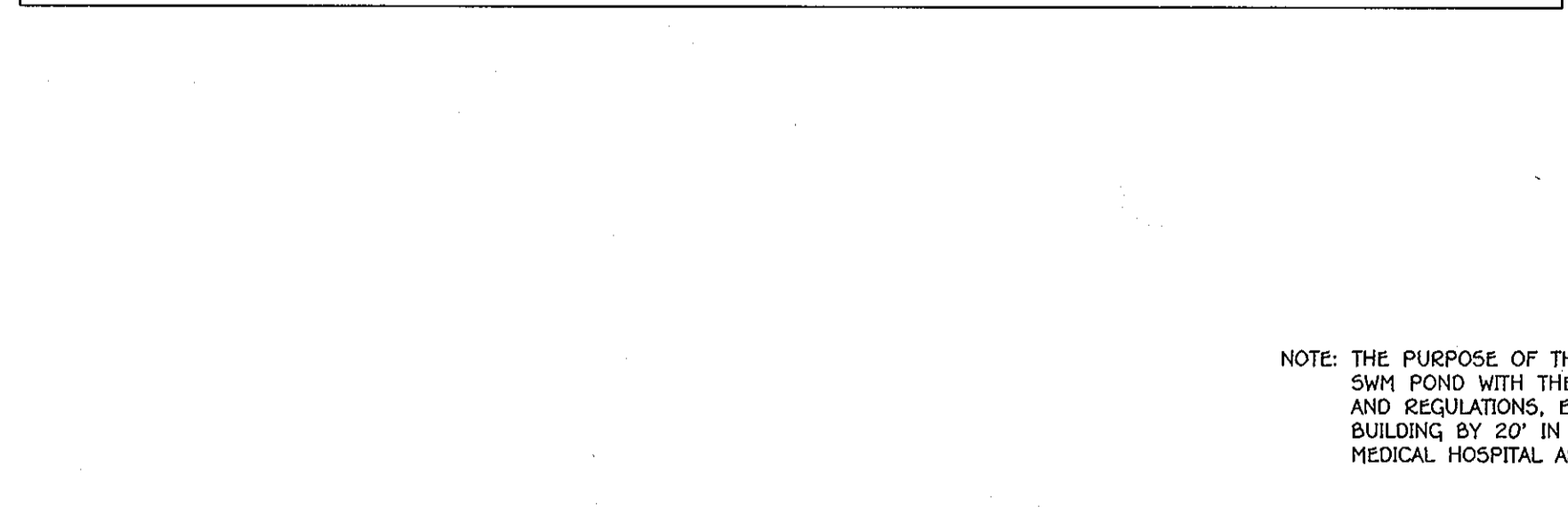
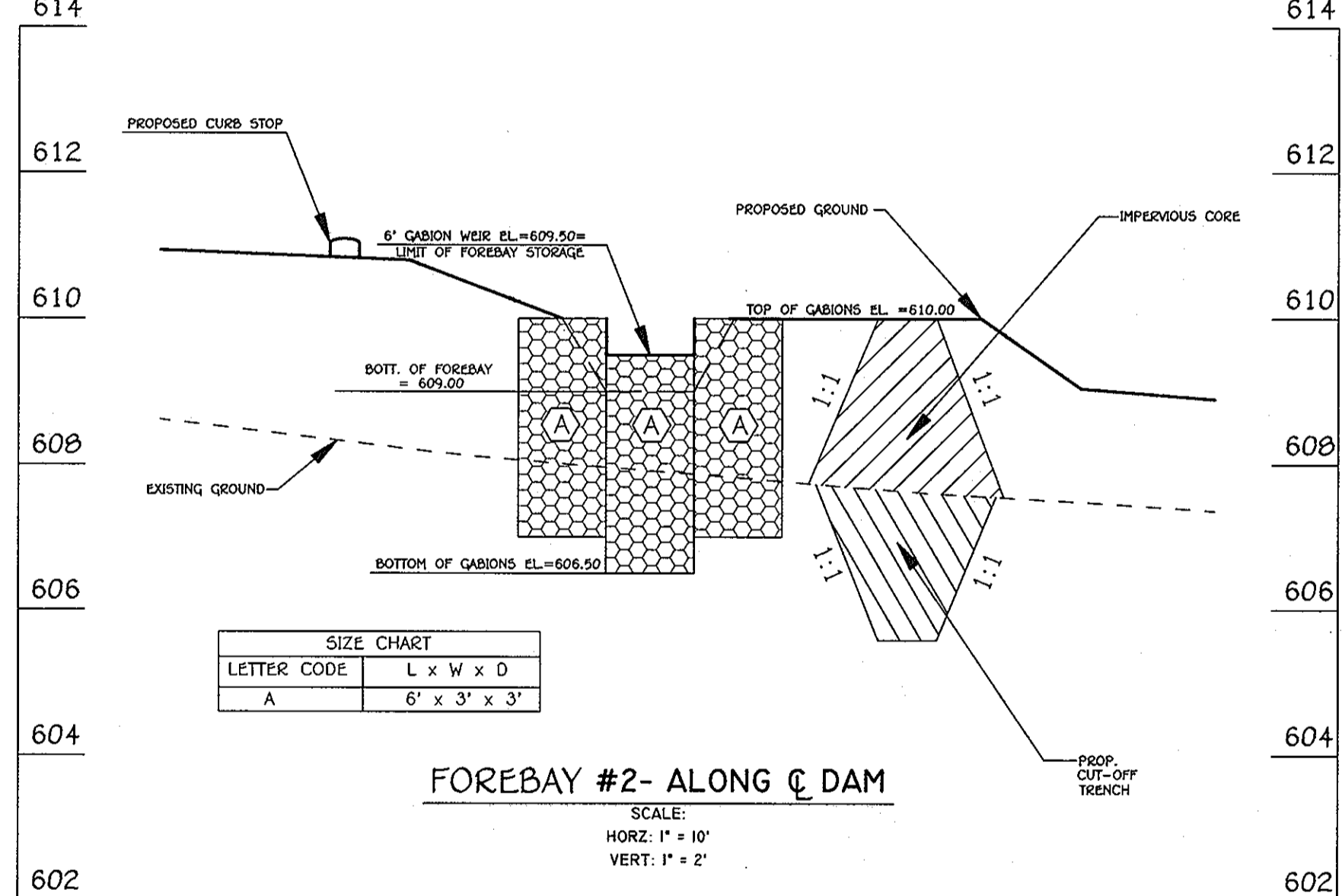
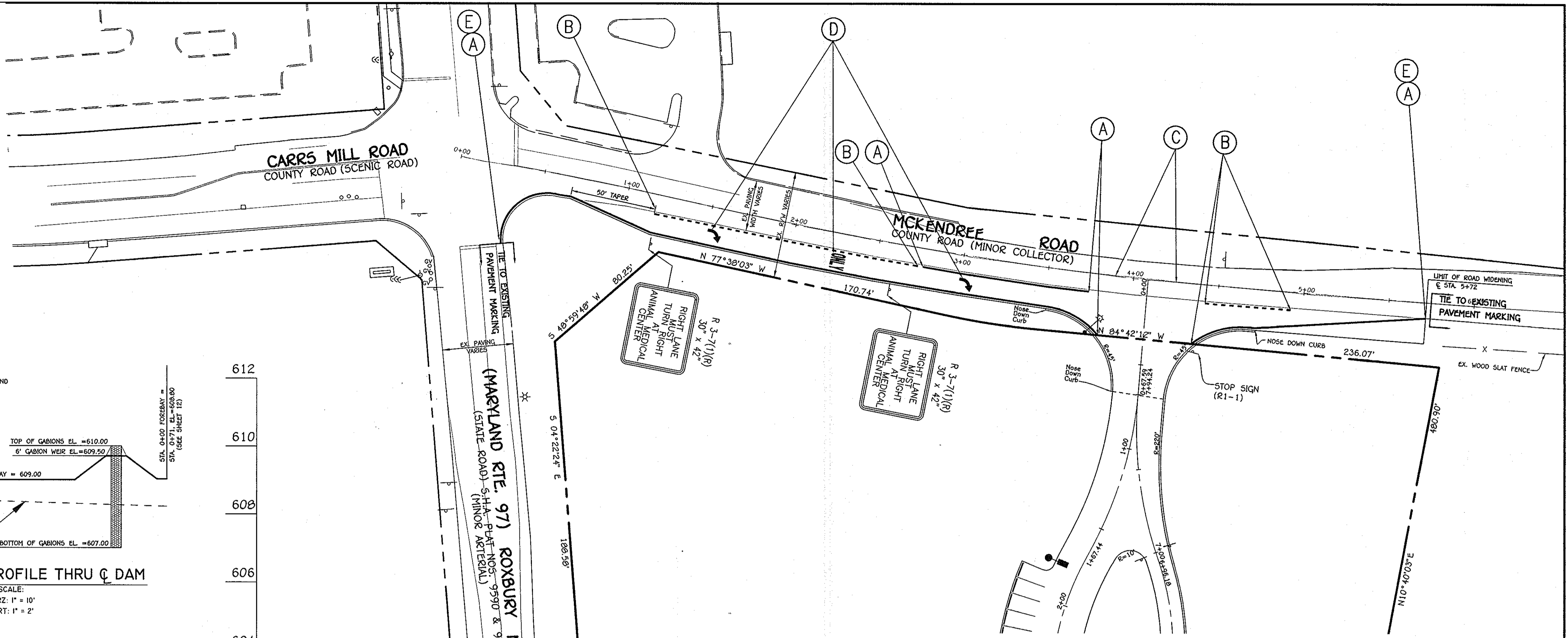
LOG OF BORING	No. B2

LOG OF BORING	No. B3

LOG OF BORING	No. B4

LOG OF BORING	No. B5

LOG OF BORING	No. B6



LOG OF BORING	No. B7

LOG OF BORING	No. B8

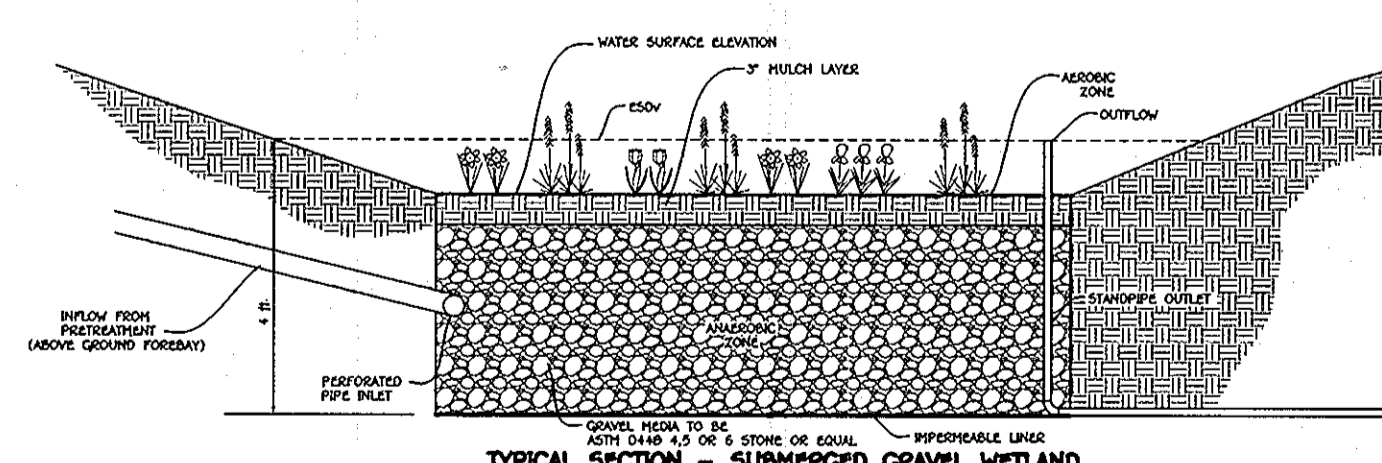
- ### PAVEMENT MARKING LEGEND
- (A) 5" SOLID WHITE LEAD FREE PAVEMENT MARKING LATEX PAINT WITH BEADED GLASS.
  - (B) 5" WHITE LEAD FREE PAVEMENT MARKING LATEX PAINT WITH BEADED GLASS (2" STRIPE/6" GAP/2" STRIPE).
  - (C) GRIND EXISTING 5" SOLID DOUBLE YELLOW PAVEMENT MARKING.
  - (D) OR ONLY WHITE THERMO PLASTIC OR HEAT APPLIED PREFORMED TAPE.
  - (E) GRIND EXISTING 5" SOLID WHITE PAVEMENT MARKING.

SYMBOL	DESCRIPTION
— (solid line)	PROPOSED GROUND MOUNTED SIGN AND SUPPORT
□ (rectangle)	PROPOSED SIGN TO BE INSTALLED

PLANT MATERIAL—SUBMERGED GRAVEL WETLAND—FILTER No. 1			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	NOTES
55	MIXED PERENNIALS	1 FT.	
55	PERENNIALS	1 FT.	
55	GRASSES	1 FT.	

PLANT MATERIAL—SUBMERGED GRAVEL WETLAND—FILTER No. 2			
QUANTITY	NAME	MAXIMUM SPACING (FT.)	NOTES
25	MIXED PERENNIALS	1 FT.	
25	PERENNIALS	1 FT.	
25	GRASSES	1 FT.	



NOTES:  
THERE ARE NO UNDER DRAINS ASSOCIATED WITH THIS FACILITY.  
GRAVEL LAYER SHALL BE ROUNDED BANG GRAVEL (ASTM D 488, 4, 5, OR 6 STONE) LOCATED BELOW THE PROPOSED 3" THICKNESS OF WETLAND MULCH.  
THE PROPOSED INLET I-1 WILL FUNCTION AS AN OVERFLOW FOR THIS FACILITY.  
A RIGID, NON PERFORATED OBSERVATION WELL MUST BE PROVIDED (ONE PER EVERY 1,000 SQ.FT.) TO PROVIDE A CLEANOUT PORT AND MONITOR PERFORMANCE OF THE FILTER.  
THE STONE FILTER AREA IS 48" IN THICKNESS TO STORE THE SEDIMENT ACCUMULATED FROM THE THROUGH OPENING OF THE PROPOSED INLET.

NOTE: THE PURPOSE OF THIS PLAN IS TO REPLACE THE SWIM POND WITH THE NEW CHAPTER 5 STANDARDS AND REGULATIONS, ENLARGE THE KENNEL/GROOMING BUILDING BY 20' IN LENGTH AND LABEL THE ANIMAL MEDICAL HOSPITAL AS FUTURE.

"Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 9, 2012."

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Balifer for Peter Bilenson* 2/22/2011  
COUNTY HEALTH OFFICER DATE

DATE	DESCRIPTION

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Thomas F. Rutledge* 2/25/11  
Director - Department of Planning and Zoning Date  
*Kurt Schenckel* 2/25/11  
Chief, Division of Land Development Date  
*John P. ...* 2/10/11  
Chief, Development Engineering Division Date

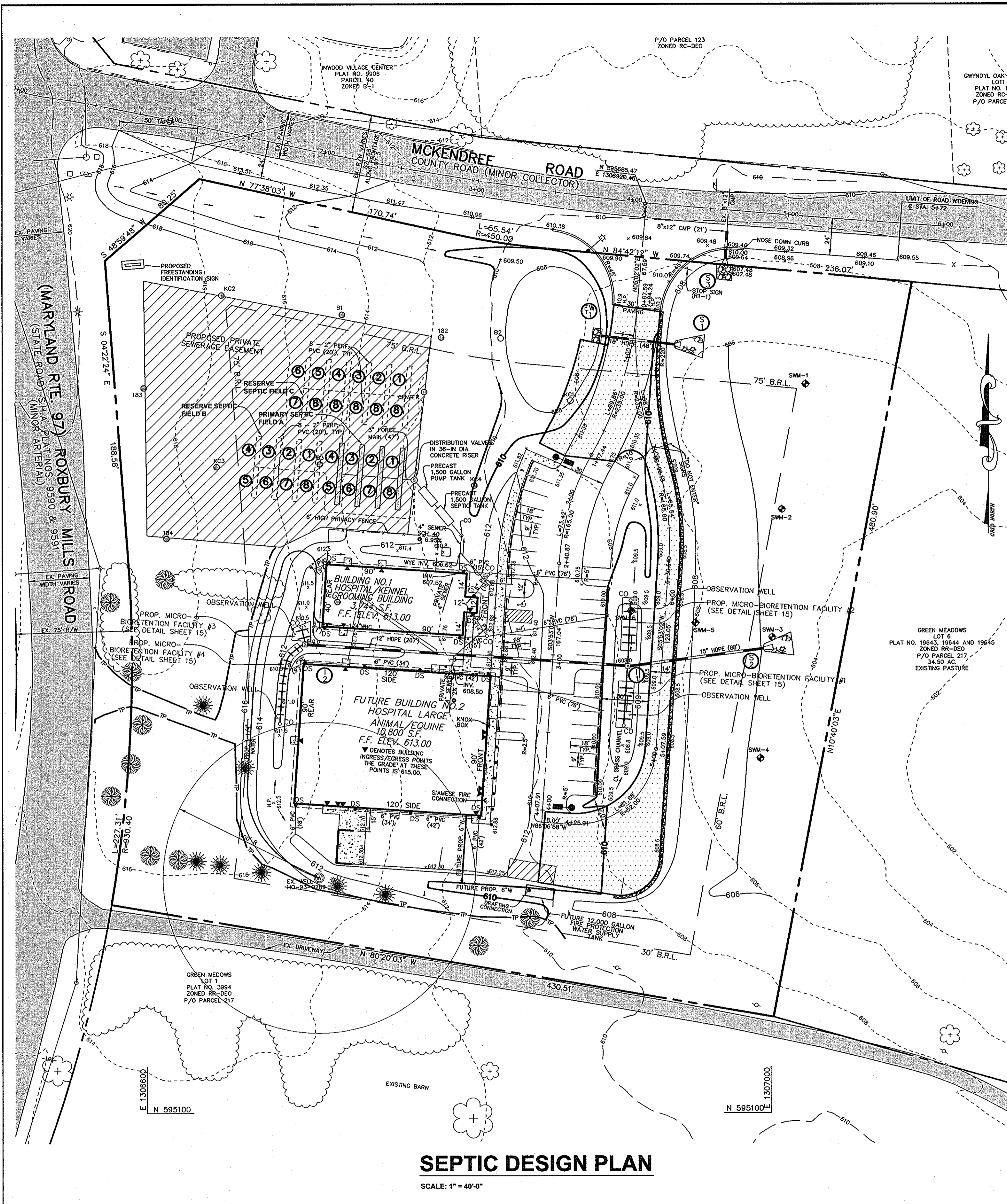
OWNER/DEVELOPER  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 499-9677

Address Chart	
BUILDING NO.	STREET ADDRESS
1.	HOSPITAL 2890 MCKENDREE ROAD
2.	KENNEL 2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5
DOG KENNEL AND PET GROOMING ESTABLISHMENT			
PLAT REF. 19072	BLOCK NO. 11	ZONE RR-DEO	TAX MAP ELEC. DIST. 14 FOURTH
WATER CODE N/A		SEWER CODE N/A	

PAVEMENT MARKING PLAN, SOIL BORINGS & FOREBAY #2 PROFILES  
"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5  
TAX MAP No.: 14 GRID No.: 11  
PLAT No. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: JANUARY 26, 2011  
SHEET 13 OF 19 SDP-08-004



**SEPTIC DESIGN PLAN**

SCALE: 1" = 40'-0"

**DESIGN NOTES**

**DESIGN FLOW**  
Design Flow = 1,000 GPD

**SEPTIC TANK DESIGN**  
Design Volume = 1.5"Q = 1.5" x 1,000 GPD = 1,500 GAL (below inlet pipe invert)

**PRECAST CONCRETE SPECIFICATIONS**  
Each precast concrete septic tank shall be certified by a Professional Engineer to support earth load as presented on plans and to prevent buoyancy with ground water at finished grade.

**TRENCH SPECIFICATIONS**  
All pipes within trench shall be 2" PVC (Schedule 26) as shown on the plans. The pipe shall be perforated in the field with 5/16" holes drilled every 6 ft as shown on the detail Sheet 18.

Trench filter fabric shall be non-woven polyester fabric, needle pinned, 6 oz. per square yard minimum placed within trench as shown on the details.

Trench gravel shall meet the requirements of SHA #57 stone placed within trench as shown on the details.

**PIPING SPECIFICATIONS**  
All sanitary piping shall be PVC Schedule 26. All material shall conform to Howard County Design Manual Standard Specifications and Details for Construction.

**GATE VALVES**  
4" and 6" gate valves shall be Resilient seat "Baltimore Standard, open right" furnished with a non-rising stem and roadway box. One Tee-handled operating wrench shall be provided by the gate valve manufacturer to operate the gate valves from finished grade (with adequate length to operate from finished grade).

**MILESTONES OF CONSTRUCTION**  
The following Milestones of Construction must be approved by Michael Davis / the Howard County Department of Health (410-313-1771). The Engineer shall be contacted during the following phases of construction for system stakeout by registered surveyor.  
a. Initial system stakeout by registered surveyor;  
b. Open trench inspection;  
c. Septic Tank installation;  
d. Dosing Pump Station installation;  
e. All tanks must be watertight to the satisfaction of Howard County Department of Health. Contractor shall supply test water and provide forty-eight (48) hours notice to Health Department for water tightness testing.  
Prior to installation, a preconstruction meeting must be scheduled to review the installation. The on-site sewage disposal system must be professionally staked for the meeting. The meeting shall include:  
a. Michael Davis  
Howard County Department of Health  
(410) 313-1771  
b. On-site Disposal System Installation Contractor  
c. General Contractor for the Project  
Any changes to the approved plan must be presented to the Department of Health and the Department of Public Works (Public Works Managed System) by the Engineer (McCrone, Inc. (410) 287-6947).

Prior to installation of any component of the system, proper permits must be obtained from:  
a. Department of Health, Septic System Installation Permit

**DESIGN NOTES**

**ANIMAL MEDICAL HOSPITAL SHARED SEPTIC SYSTEM DESIGN CALCULATIONS FOR SEPTIC SYSTEM**

*Primary Field A and Reserve Field B*

Maximum Daily Flow	1,000 GPD
Standard Application Rate =	0.80 gpd/SF
Standard Effective Trench* Area =	1250 SF
Trench Width =	3.00 feet
Septic Tank Size =	1,500 gal
Deep Trench Length	
w =	3.00 feet
d =	5.00 feet
(w+2)/(w+1+2d) =	0.357
Design Length =	149 feet
Number of Laterals/Trenches (40 ft) =	4 or 8 20-ft Laterals
Calculate min separation between deep trenches:	13 feet
* Total Trench Length = Effective Trench Length + 4.5 R Length for Observation	
Pipe Installation (see trench detail)	

*Reserve Field C*

Maximum Daily Flow	1,000 GPD
Standard Application Rate =	0.80 gpd/SF
Standard Effective Trench* Area =	1250 SF
Trench Width =	3.00 feet
Septic Tank Size =	1,500 gal
Deep Trench Length	
w =	3.00 feet
d =	3.00 feet
(w+2)/(w+1+2d) =	0.500
Design Length =	208 feet
Number of Trenches (40 ft) =	6 or 12 20-ft Laterals
Calculate min separation between deep trenches:	9 feet
* Total Trench Length = Effective Trench Length + 4.5 R Length for Observation	
Pipe Installation (see trench detail)	

**TRENCH INVERT ELEVATIONS CHART**

Trench Number	Ground Elev., ft	Trench Inv., ft	Good Soil Top Elev., ft	Good Soil Bot. Elev., ft	Trench Bottom, ft	Trench Depth, ft
Primary Field A Trench #1	612.00	610.50	609.00	598.00	604.00	8.00
Primary Field A Trench #2	612.50	610.50	609.50	598.50	604.50	8.00
Primary Field A Trench #3	613.00	610.50	610.00	599.00	605.00	8.00
Primary Field A Trench #4	613.50	610.50	610.50	599.50	605.50	8.00
Primary Field A Trench #5	613.50	610.50	610.50	599.50	605.50	8.00
Primary Field A Trench #6	613.00	610.50	610.00	599.00	605.00	8.00
Primary Field A Trench #7	612.50	610.50	609.50	598.50	604.50	8.00
Primary Field A Trench #8	612.00	610.50	609.00	598.00	604.00	8.00
Reserve Field B Trench #1	614.80	613.30	611.80	600.80	606.80	8.00
Reserve Field B Trench #2	615.50	613.30	612.50	601.50	607.50	8.00
Reserve Field B Trench #3	616.20	613.30	613.20	602.20	608.20	8.00
Reserve Field B Trench #4	616.50	613.30	613.50	602.50	608.50	8.00
Reserve Field B Trench #5	616.50	613.30	613.50	602.50	608.50	8.00
Reserve Field B Trench #6	616.20	613.30	613.20	602.20	608.20	8.00
Reserve Field B Trench #7	615.50	613.30	612.50	601.50	607.50	8.00
Reserve Field B Trench #8	614.80	613.30	611.80	600.80	606.80	8.00
Reserve Field C Trench #1	612.00	610.50	607.00	600.00	604.00	8.00
Reserve Field C Trench #2	612.50	610.50	607.50	600.50	604.50	8.00
Reserve Field C Trench #3	613.00	610.50	608.00	601.00	605.00	8.00
Reserve Field C Trench #4	613.50	610.50	608.50	601.50	605.50	8.00
Reserve Field C Trench #5	614.80	610.50	609.80	602.80	606.80	8.00
Reserve Field C Trench #6	615.50	610.50	610.50	603.50	607.50	8.00
Reserve Field C Trench #7	615.50	610.50	610.50	603.50	607.50	8.00
Reserve Field C Trench #8	614.80	610.50	609.80	602.80	606.80	8.00
Reserve Field C Trench #9	613.50	610.50	608.50	601.50	605.50	8.00
Reserve Field C Trench #10	613.00	610.50	608.00	601.00	605.00	8.00
Reserve Field C Trench #11	612.50	610.50	607.50	600.50	604.50	8.00
Reserve Field C Trench #12	612.00	610.50	607.00	600.00	604.00	8.00

**PUMP STATION CALCULATIONS**

**ANIMAL MEDICAL HOSPITAL AT GLENWOOD PUMP STATION**

DESIGN

DESIGN FLOW (BASED ON CALCULATIONS SHOWN ON SHEET 18)

USE 64 GPM

SIZE WET WELL

MINIMUM PUMPING CYCLE IS 7 MINUTES

SIZE WET WELL FOR 6 CYCLES/HR = 10 MINUTES

V = (1'D)/4

V = 160 GAL / 21.39 CU FT

V = WET WELL VOLUME (GAL)

Q = FLOW TO WET WELL (GPM)

D = RATED PUMP DELIVERY (GPM)

T = TIME BETWEEN PUMP STARTS (MIN)

WET WELL LENGTH = 12.25 FT

WET WELL WIDTH = 4.25 FT

VOLUME PER FOOT OF WET WELL = 389 GAL/FT

OPERATING DEPTH REQUIRED = 0.41 VF USE 0.5 FT

OPERATING DEPTH = 6.00 IN

CHECK CYCLE TIME

THE SHORTEST OPERATING CYCLE OCCURS WHEN SEWAGE IS FLOWING INTO THE WET WELL AT ONE HALF OF PUMP CAPACITY.

DIST. BETWEEN PUMP OFF & LEAD ON = 0.5 FT

Q OUT = 64 GPM

Q IN = 32 GPM

VOLUME = 195 GAL

TIME TO FILL WET WELL = 6.09 MIN

TIME TO EMPTY WET WELL = 6.09 MIN

TOTAL TIME EACH CYCLE = 12.17 MIN OK

= 4.93 CYCLES/HOUR

FLOAT SETTINGS

INVERT OF INCOMING SEWER = 604.66 FT

STORAGE CAPACITY = 1,000 GAL

2.80 FT

ALARM ELEVATION = 602.34 FT

PUMP 2 ON ELEVATION = 601.84 FT

PUMP 1 ON ELEVATION = 601.34 FT

SHUT OFF ELEVATION = 600.84 FT

BOTTOM ELEVATION = 599.83 FT

1.02 FT

DETERMINE TANK DEPTH

GROUND ELEVATION = 611.50 FT

BOTTOM ELEVATION = 599.83 FT

STATION DEPTH = 11.67 FT

SIZE FORCE MAIN

TRY 3 IN. FORCE MAIN

Q = 64 GPM

V = 0.14 CFS

A = 0.05 SF

V = 2.90 FPS OK

**TEST RESULTS**

CENTER - 1" IN (5) MIN.-GOOD SOILS FROM 5' TO 12'-0"

KC3 - 1" IN (7) MIN.-GOOD SOILS FROM 7' TO 13'-5"

B3 - 1" IN (9) MIN.-GOOD SOILS FROM 3' TO 14'-0"

**STRUCTURES ELEVATIONS CHART**

Structure	Ground Elev., ft	Pipe Length, ft	Slope	Inv. In	Inv. Out
Building					609.00
Septic Tank	611.00	110.62	0.028	605.16	604.91
Pump Tank	611.50	3.00	0.015	604.66	N/A

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Michael J. Davis*  
COUNTY HEALTH OFFICER  
7/22/11  
DATE

THE PURPOSE OF THIS PLAN IS TO  
REPAIR THE SEPTIC SYSTEM.

**MICRONE**  
Engineering Environmental Sciences  
Construction Services Land Planning & Surveying  
ANNAPOLIS • CENTREVILLE • DOVER • ELKTON • SALISBURY

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17737, Expiration Date: 3/29/12.

*Thomas J. Riddle*  
7/27/11  
Date

*John J. Edwards*  
7-26-11  
Date

*David Edwards*  
7-14-11  
Date

4/18/11 REPLACEMENT SHEET

DATE DESCRIPTION REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning  
*Thomas J. Riddle*  
7-26-11  
Date

Chief, Division of Land Development  
*John J. Edwards*  
7-14-11  
Date

Chief, Development Engineering Division  
*David Edwards*  
NY  
Date

**OWNER/DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT: ANIMAL MEDICAL HOSPITAL DOG KENNEL AND PET GROOMING ESTABLISHMENT

SECTION/AREA: N/A

PARCEL: P/O 217 5

LOT: 5

PLAT REF.: 19072

BLOCK NO.: 11

ZONE: RR-DEO

TAX MAP: 14

ELEC. DIST.: FOURTH

CENSUS TR.: 6040.02

WATER CODE: N/A

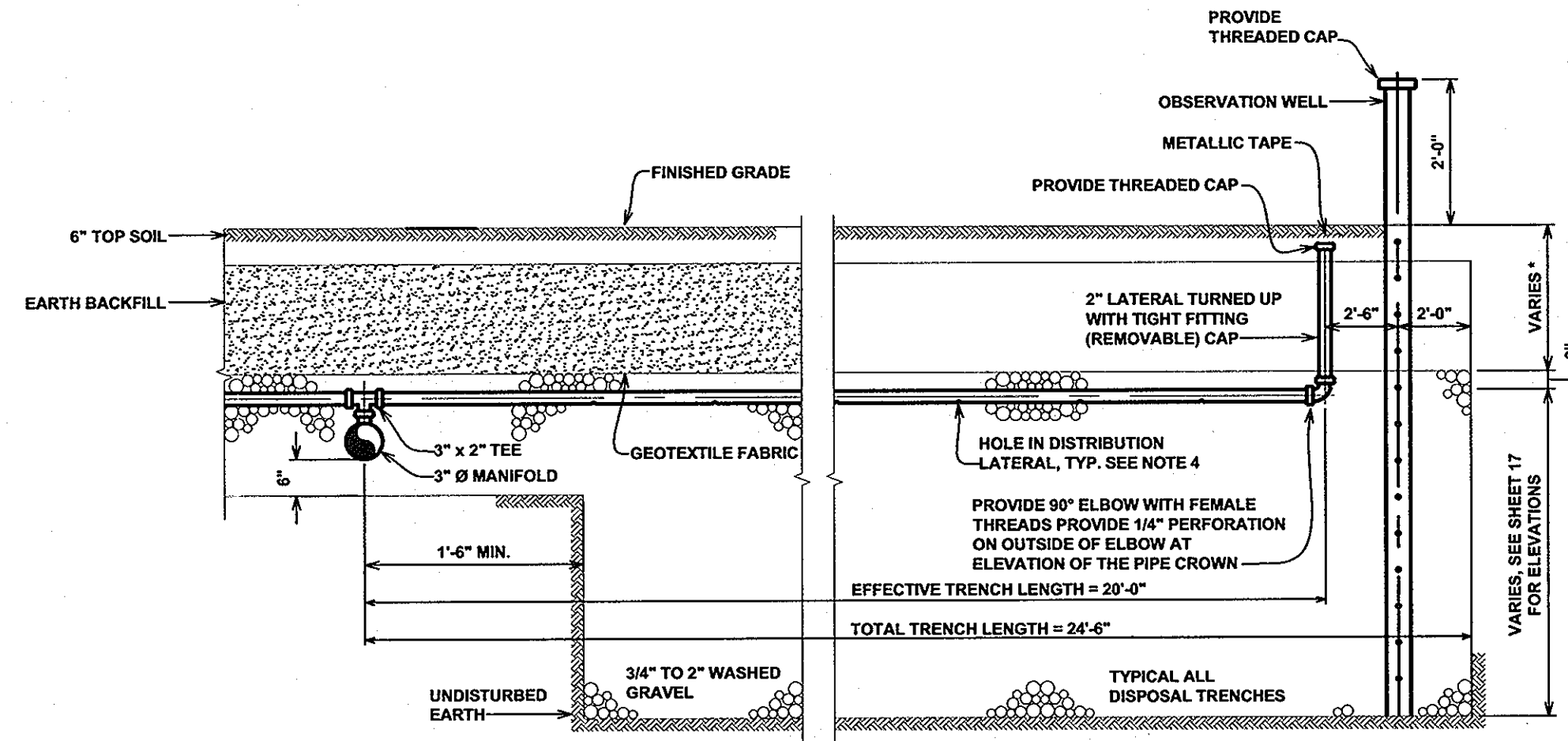
SEWER CODE: N/A

**SEPTIC SYSTEM DESIGN PLAN**

"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5

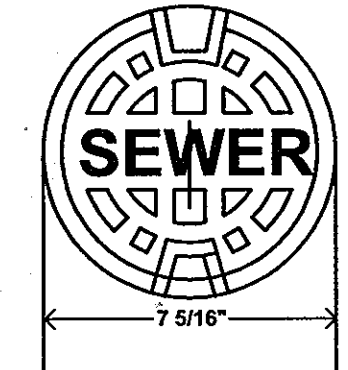
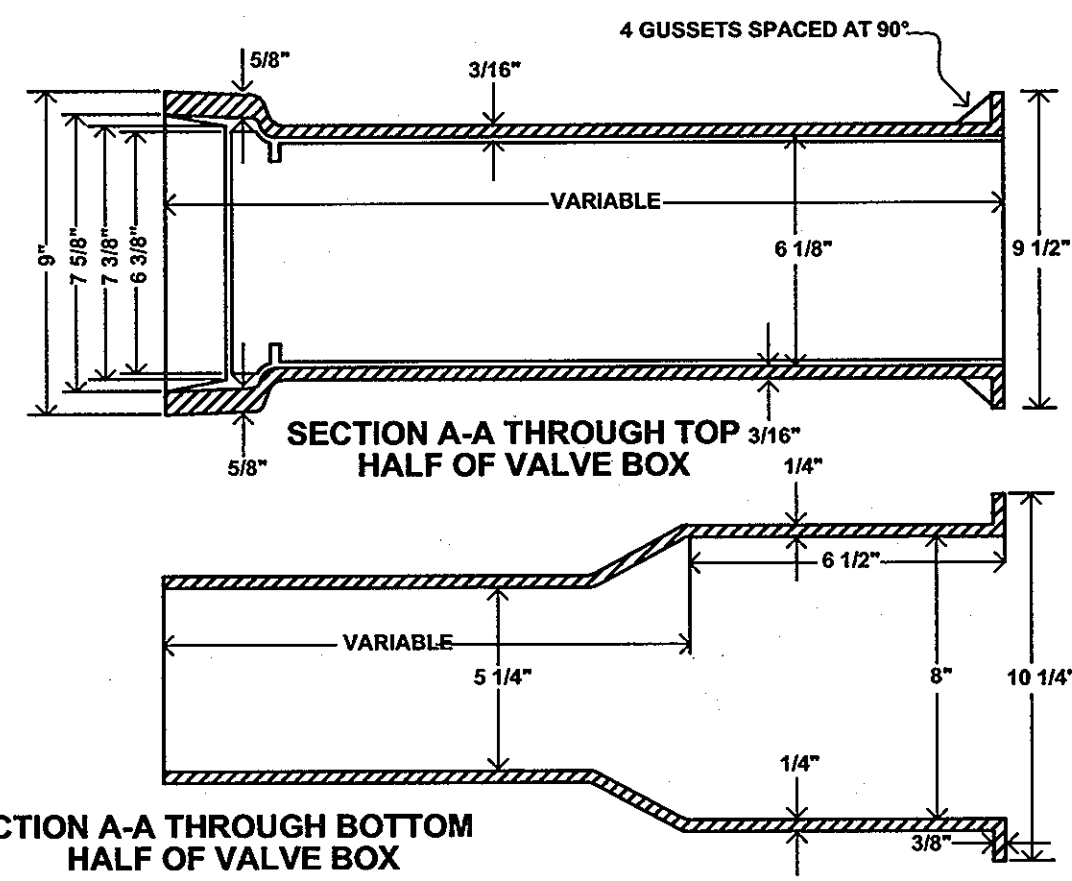
TAX MAP No.: 14 GRID No.: 11  
PLAT No.: 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: FEBRUARY 11, 2007

SHEET 14 OF 19 SDP-08-004

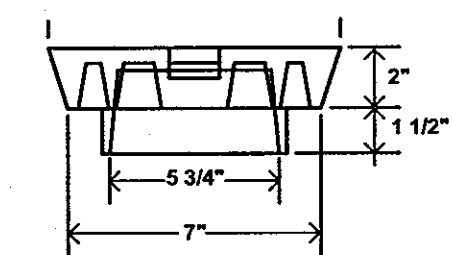


\* SOIL COVER VARIES FOR EACH LATERAL WITH A MINIMUM COVER OF 2.0 FEET. THE CONTRACTOR SHALL EXCAVATE TRENCHES AS SPECIFIED IN TRENCH ELEVATION SUMMARY CHART ON SHEET 17, HOWEVER THE CONTRACTOR MAY BE DIRECTED TO CHANGE THE DEPTH OF TRENCH DUE TO CAVITY MATERIALS AND INTERMITTENT RESTRICTIVE LAYERS.

- SPECIFICATIONS:
1. CAST IRON SLIDING TYPE MIN. T.S. 30,000 PSI
  2. TOP SECTION- 16" BOTTOM SECTION 16"
  3. BOXES ADJUSTABLE 34" TO 46"
  4. TOP SECTION- 16" BOTTOM SECTION 30" MIN. WT. PER BOX- 100 LBS



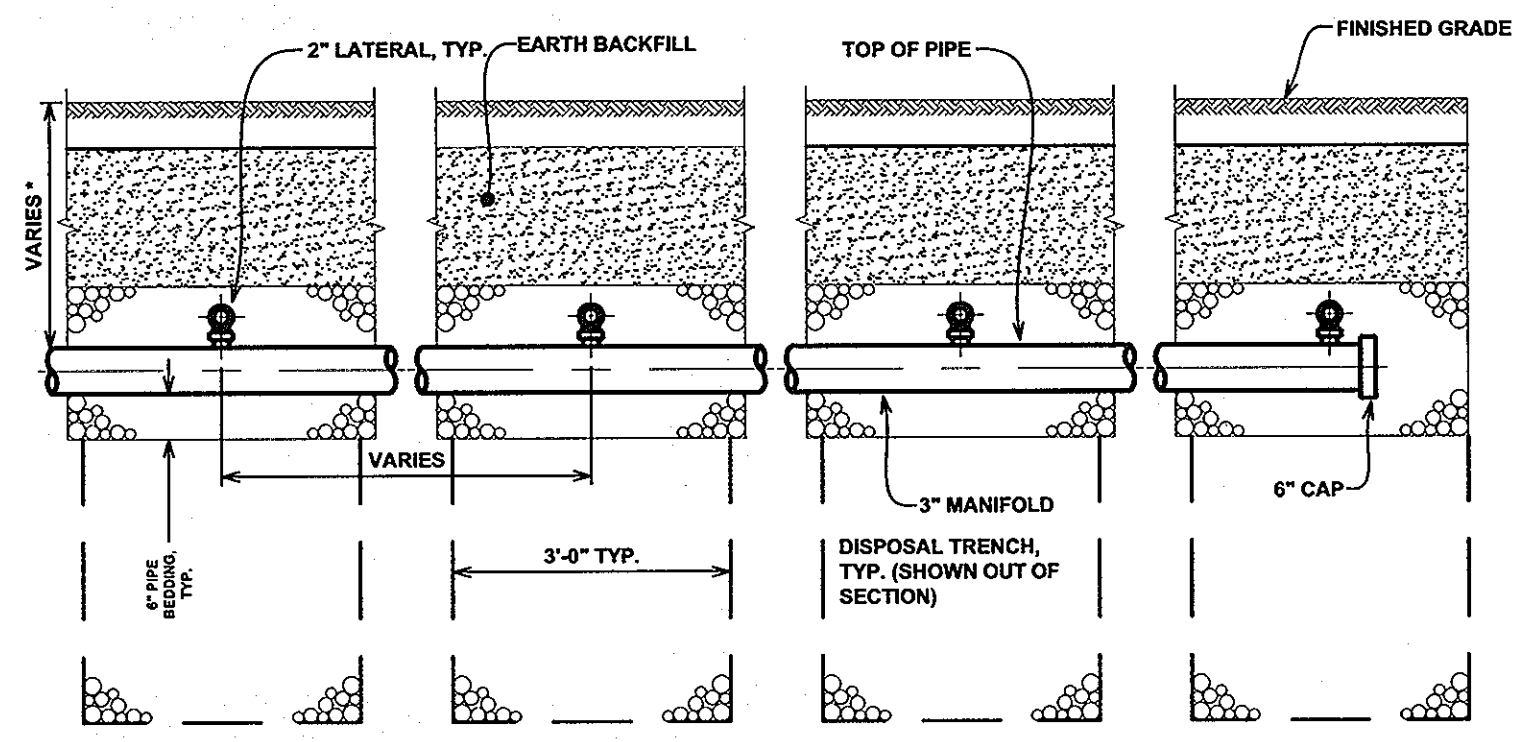
PLAN



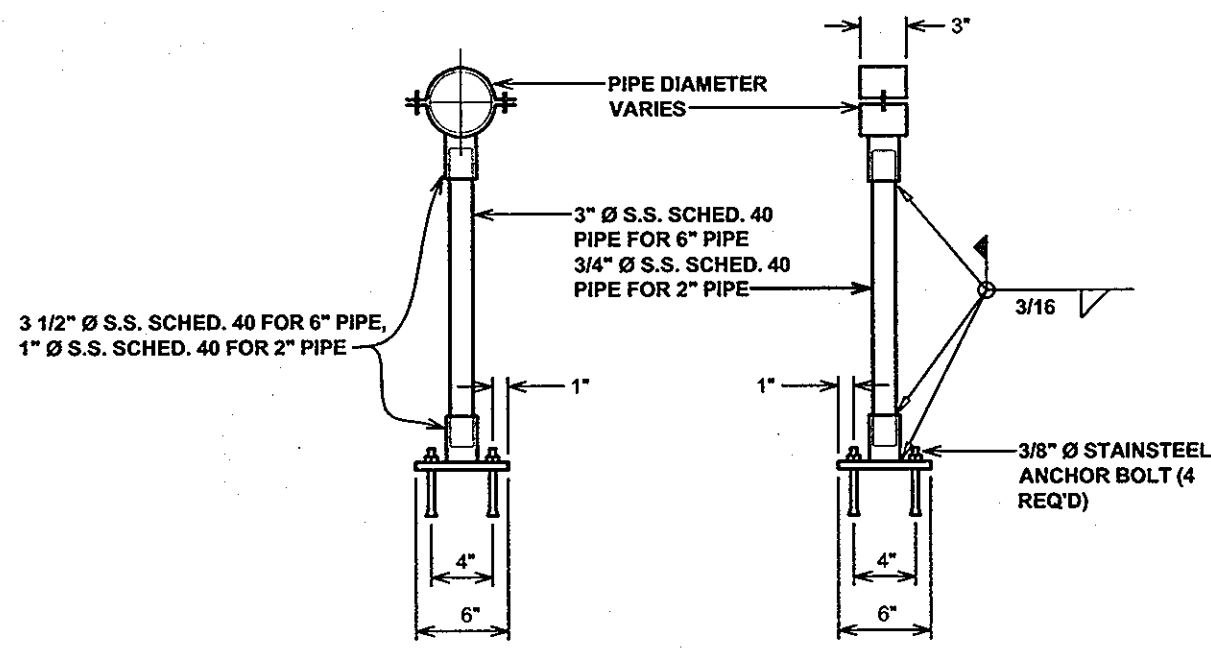
SECTION

**ADJUSTABLE VALVE BOX  
ROUND HEAD SLIDING TYPE**

NOT TO SCALE



- NOTES:
1. PROVIDE 2" THREADED CAPS AT ENDS OF ALL DISTRIBUTION LATERALS.
  2. MANIFOLD PIPE AND DISTRIBUTION LATERALS TO BE INSTALLED ON LEVEL GRADE. ELEVATIONS PER TRENCH ELEVATION SUMMARY CHART ON SHEET 17.
  3. BOTTOM OF TRENCH TO BE EXCAVATED ON LEVEL GRADE.
  4. CONTRACTOR TO DRILL HOLES IN DISTRIBUTION LATERALS DOWNWARD AS SPECIFIED IN LATERAL SIZING SUMMARY ON THIS SHEET EXCEPT FOR LAST HOLE AS NOTED ON TYPICAL LATERAL SECTION.
  5. FOR TESTING THE CONTRACTOR TO PROVIDE FOUR THREADED CAP FITTINGS WITH A PRESSURE GAGE WHICH READS BETWEEN 0 AND 60 FEET.
  6. THE CONTRACTOR TO INSTALL ISOLATION VALVE ON EACH LATERAL.



**PIPE SUPPORT DETAIL**

NOT TO SCALE

**STEP 1 LAYOUT NETWORK - A**

**STEP 2 SELECT PERFORATION SIZE AND SPACING**

TRY 1: PERFORATION SIZE= SEE STEP 4  
SPACING= SEE STEP 4

**STEP 3 SELECT LATERAL DIAMETER**

LATERAL DIAMETER=	LATERAL LENGTH=	LATERAL INV. ELEV.=
2 in.	20.0 ft.	610.5
Trench #1	20.0 ft.	610.5
Trench #2	20.0 ft.	610.5
Trench #3	20.0 ft.	610.5
Trench #4	20.0 ft.	610.5
Trench #5	20.0 ft.	610.5
Trench #6	20.0 ft.	610.5
Trench #7	20.0 ft.	610.5
Trench #8	20.0 ft.	610.5

**STEP 4 CALCULATE LATERAL DISCHARGE RATE (Elev = 610.5)**

**CALCULATE PERFORATION DISCHARGE RATE**

$q = 11.79(d^2)(h^{1.5})$   
overall system grade = 616.3 ft.

d=perf. diameter= 0.31

lateral invert= 610.5 ft.  
grade line= 613.5 ft. - throttle valve (2.8 ft)  
h=in-line pres.= 3 ft.

q= 1.99 gpm

**CALCULATE PERFORATION DISCHARGE RATE**

NUMBER OF HOLES =	TRENCH #1-8				
4					
SPACING=	5.00				
TRENCH #1-8	HOLE #	IN LINE PRESSURE	H	Q	Q TOTAL
1	1	3.00	0.00	1.99	1.99
2	2	3.00	0.00	1.99	3.98
3	3	3.00	0.01	2.00	5.98
4	4	3.01	0.01	2.00	7.98

Q=qN  
N=no. of perf= 4.00

Flow per Lateral= 7.98 gpm  
Total Flow= 64.00 gpm

**STEP 1 LAYOUT NETWORK - B**

**STEP 2 SELECT PERFORATION SIZE AND SPACING**

TRY 1: PERFORATION SIZE= SEE STEP 4  
SPACING= SEE STEP 4

**STEP 3 SELECT LATERAL DIAMETER**

LATERAL DIAMETER=	LATERAL LENGTH=	LATERAL INV. ELEV.=
2 in.	20.0 ft.	615.0
Trench #1	20.0 ft.	615.0
Trench #2	20.0 ft.	615.0
Trench #3	20.0 ft.	615.0
Trench #4	20.0 ft.	615.0
Trench #5	20.0 ft.	615.0
Trench #6	20.0 ft.	615.0
Trench #7	20.0 ft.	615.0
Trench #8	20.0 ft.	615.0

**STEP 4 CALCULATE LATERAL DISCHARGE RATE (Elev = 610.5)**

**CALCULATE PERFORATION DISCHARGE RATE**

$q = 11.79(d^2)(h^{1.5})$   
overall system grade = 616.3 ft.

d=perf. diameter= 0.31

lateral invert= 613.3 ft.  
grade line= 616.3 ft.  
h=in-line pres.= 3 ft.

q= 1.99 gpm

**CALCULATE PERFORATION DISCHARGE RATE**

NUMBER OF HOLES =	TRENCH #1-8				
4					
SPACING=	6.00				
TRENCH #1-8	HOLE #	IN LINE PRESSURE	H	Q	Q TOTAL
1	1	3.00	0.00	1.99	1.99
2	2	3.00	0.00	1.99	3.98
3	3	3.00	0.01	2.00	5.98
4	4	3.01	0.01	2.00	7.98

Q=qN  
N=no. of perf= 4.00

Flow per Lateral= 7.98 gpm  
Total Flow= 64.00 gpm

**STEP 1 LAYOUT NETWORK - C**

**STEP 2 SELECT PERFORATION SIZE AND SPACING**

TRY 1: PERFORATION SIZE= SEE STEP 4  
SPACING= SEE STEP 4

**STEP 3 SELECT LATERAL DIAMETER**

LATERAL DIAMETER=	LATERAL LENGTH=	LATERAL INV. ELEV.=
2 in.	20.0 ft.	610.5
Trench #1	20.0 ft.	610.5
Trench #2	20.0 ft.	610.5
Trench #3	20.0 ft.	610.5
Trench #4	20.0 ft.	610.5
Trench #5	20.0 ft.	610.5
Trench #6	20.0 ft.	610.5
Trench #7	20.0 ft.	610.5
Trench #8	20.0 ft.	610.5
Trench #9	20.0 ft.	610.5
Trench #10	20.0 ft.	610.5
Trench #11	20.0 ft.	610.5
Trench #12	20.0 ft.	610.5

**STEP 4 CALCULATE LATERAL DISCHARGE RATE (Elev = 610.5)**

**CALCULATE PERFORATION DISCHARGE RATE**

$q = 11.79(d^2)(h^{1.5})$   
overall system grade = 616.3 ft.

d=perf. diameter= 0.31

lateral invert= 610.5 ft.  
grade line= 613 ft. - throttle valve (3.3 ft)  
h=in-line pres.= 2.5 ft.

q= 1.79 gpm

**CALCULATE PERFORATION DISCHARGE RATE**

NUMBER OF HOLES =	TRENCH #1-12				
3					
SPACING=	10.00				
TRENCH #1-12	HOLE #	IN LINE PRESSURE	H	Q	Q TOTAL
1	1	2.50	0.00	1.79	1.79
2	2	2.50	0.00	1.79	3.58
3	3	2.51	0.01	1.79	5.38

Q=qN  
N=no. of perf= 3.00

Flow per Lateral= 5.38 gpm  
Total Flow= 65.00 gpm

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Richard J. Davis*  
COUNTY HEALTH OFFICER  
3/22/11  
DATE

THE PURPOSE OF THIS PLAN IS TO  
REVISE THE SEPTIC SYSTEM.



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17737, Expiration Date: 3/29/12.

DATE	DESCRIPTION	REVISION BLOCK
4/18/11	REPLACEMENT SHEET	

APPROVED: DEPARTMENT OF PLANNING AND ZONING  
*Norman E. Suttler* 3/22/11  
Director - Department of Planning and Zoning  
*Victor Blumhagen* 7-26-11  
Chief, Division of Land Development  
*Chad Clark* 7-19-11  
Chief, Development Engineering Division NY

OWNER/DEVELOPER  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart	
BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

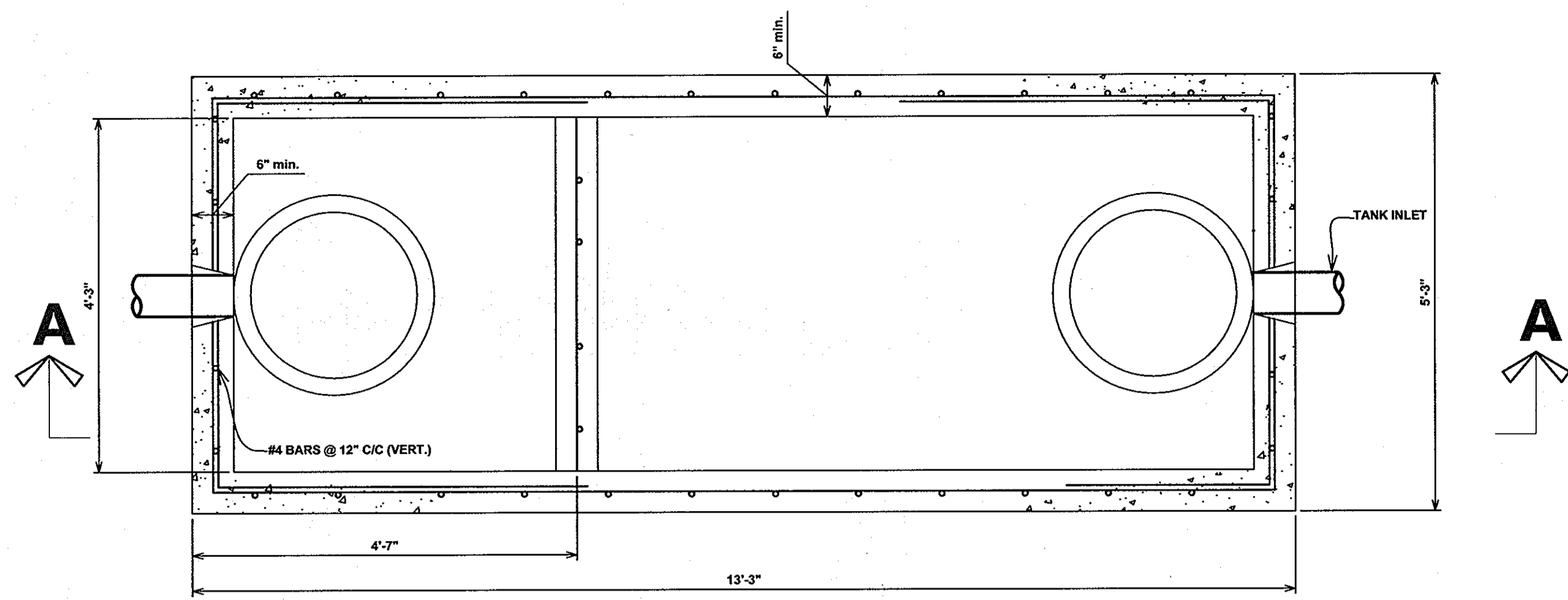
PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

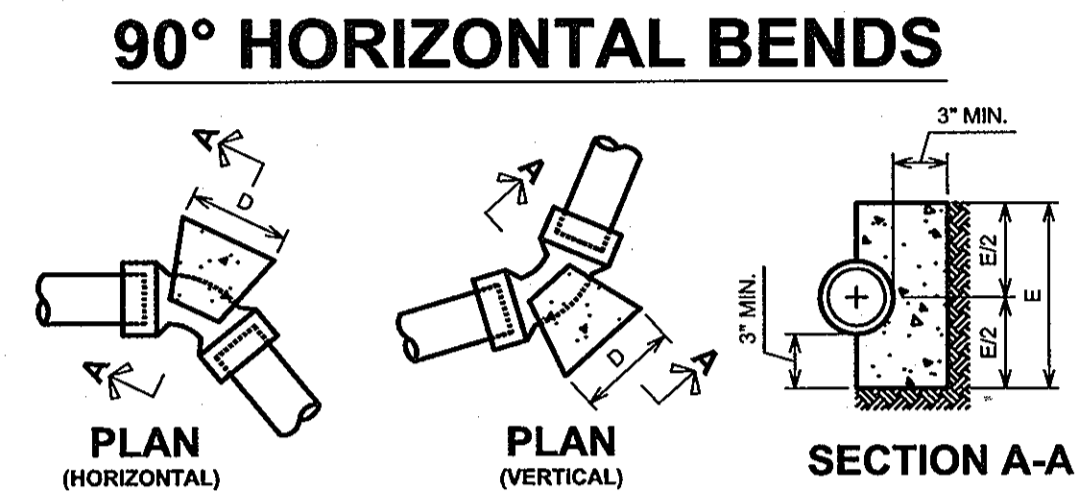
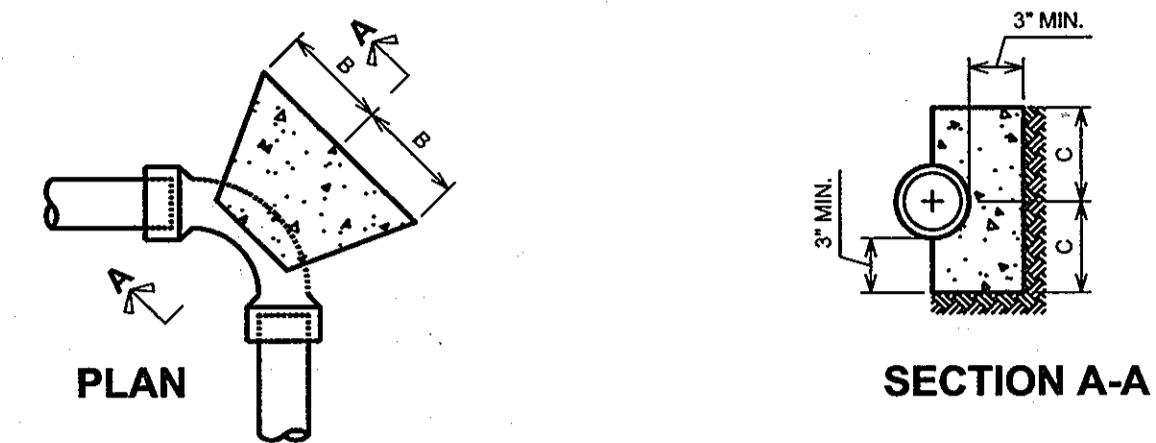
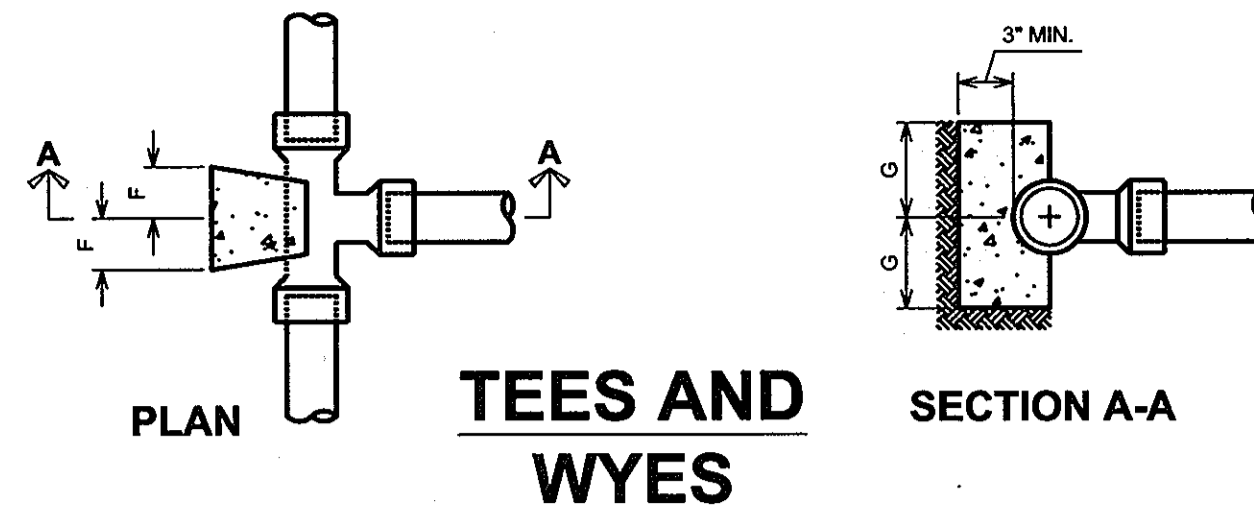
SEPTIC TRENCH DESIGN  
AND DETAILS  
"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: FEBRUARY 11, 2007

SHEET 15 OF 19 SDP-08-004



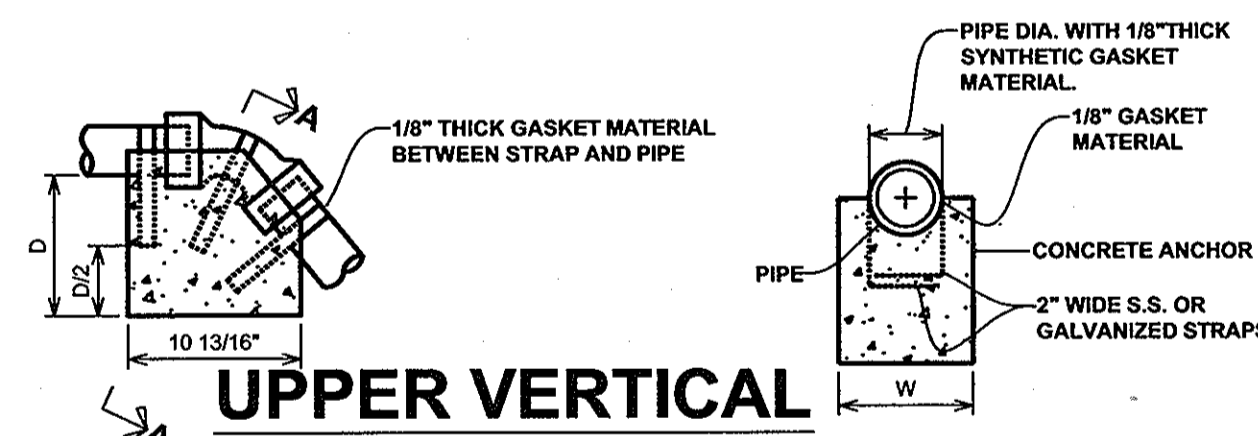
**1,500 GAL SEPTIC TANK  
PLAN**  
SCALE: 3/4" = 1'-0"



BUTRESS DIMENSIONS						
PIPE SIZE	B	C	D	E	F	G
1 1/2" OR 2"	4 1/2"	4 1/2"	5"	9"	4 1/2"	4"
2"	5"	5"	7"	7"	5"	5"
2 1/2"	5"	5"	7"	7"	5"	5"
3"	6"	6"	9"	9"	6"	6"

NOTES:  
1. FC-3000 P.S.I. @ 28 DAYS  
2. CARRY ALL BEARING SURFACES TO UNDISTURBED GROUND OR FIRM SUBGRADE.  
3. BUTRESS SIZED FOR 150 P.S.I. AND SOIL WITH C = 2000 P.S.I.

**11 1/4°, 22 1/2°, 45° HORIZONTAL  
AND LOWER VERTICAL BENDS**  
NOT TO SCALE

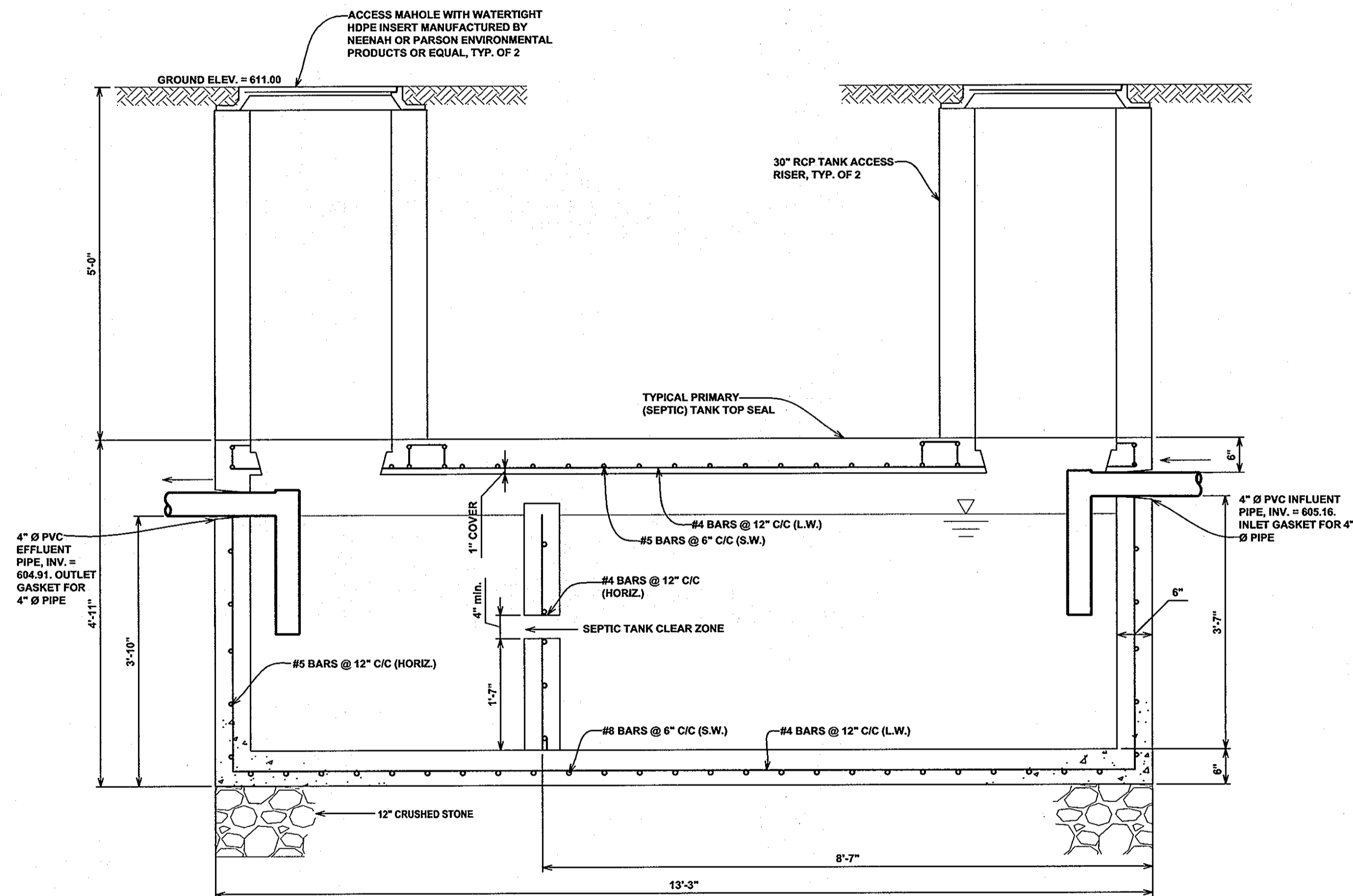


**UPPER VERTICAL BENDS**  
NOT TO SCALE

BEND		SIZE IN INCHES			
		1 1/4", 1 1/2"	2", 2-1/2"	3"	4"
11 1/4°	L	12	15	18	
	W	10	12	15	
	D	10	15	15	
22 1/2°	L	15	20	20	
	W	15	20	20	
	D	12	12	18	
45°	L	20	24	24	
	W	20	20	24	
	D	12	20	24	

**SEPTIC TANK NOTES:**

- THE CONTRACTOR SHALL PROVIDE EFFLUENT FILTER FOR SEPTIC TANK IN WHICH ONE CARTRIDGE OFF OF THE TEE CAN HANDLE THE EXPECTED FLOW; THE EFFLUENT FILTER SHALL BE MODEL A300-12x36-VC AS MANUFACTURED BY ZABEL OR MODEL FTS1254-36M AS MANUFACTURED BY ORENCO SIZED TO HANDLE UP TO 5,000 GPD.
- THE CONTRACTOR SHALL INSTALL "STAND-OFF" SUPPORTS FOR TAIL ENDS OF INLET AND OUTLET TEES AND ANCHOR THEM AGAINST SIDEWALLS OF SEPTIC TANK.
- SEPTIC TANK SHALL BE AS MANUFACTURED BY OLDE CASTLE PRECAST, FREDERICKSBURG, VA (540-295-1566) OR APPROVED EQUAL.



**1,500 GAL SEPTIC TANK  
SECTION A-A**  
SCALE: 3/4" = 1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17737, Expiration Date: 3/29/12.

*6-26-2011*

4/18/11 REPLACEMENT SHEET

DATE	DESCRIPTION	REVISION BLOCK

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*M. S. Sullivan* 7/27/11  
Director - Department of Planning and Zoning

*Victor DeLoach* 7-26-11  
Chief, Division of Land Development

*Chad Reed* 7-14-11  
Chief, Development Engineering Division

OWNER/DEVELOPER  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21738  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart

BUILDING NO.	STREET ADDRESS
1. HOSPITAL	2890 MCKENDREE ROAD
2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
19072	11	RR-DEO	14	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

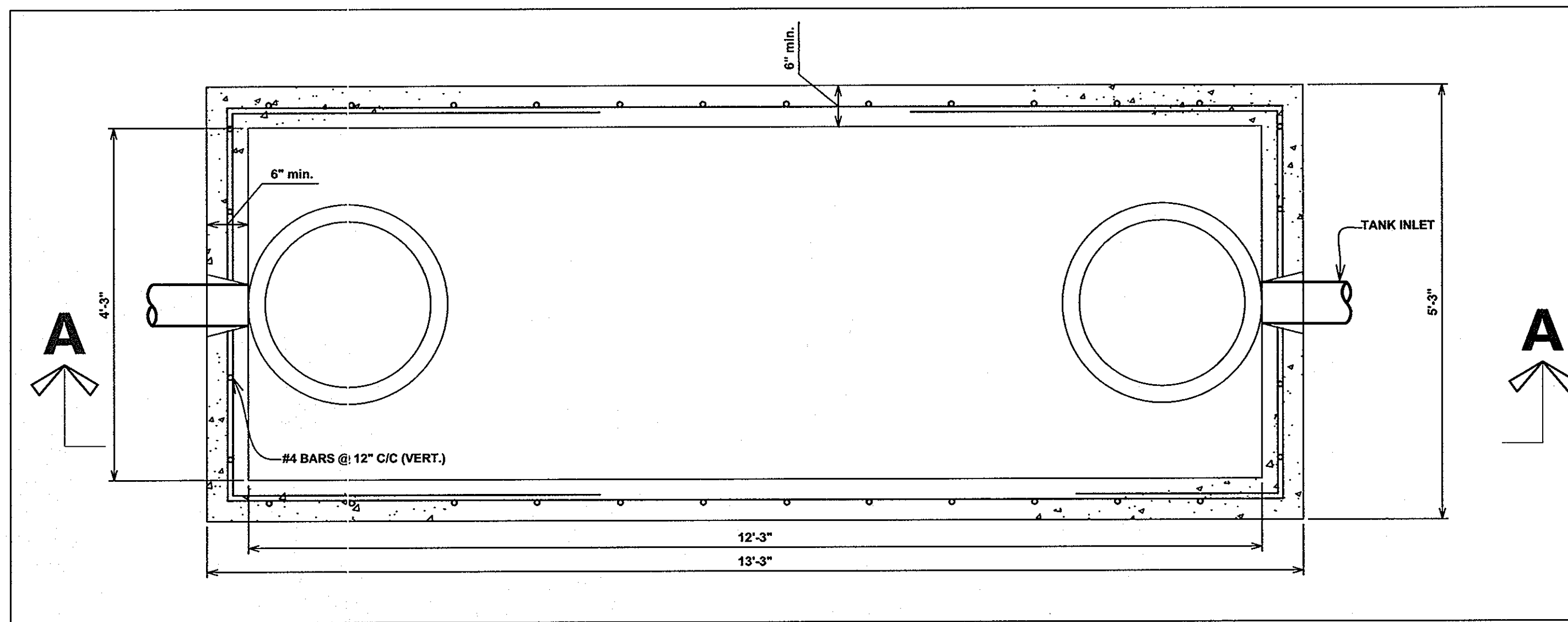
*Michael J. Davis* 2/22/11  
COUNTY HEALTH OFFICER DATE

**SEPTIC TANK DESIGN  
AND DETAILS**  
"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5

TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: FEBRUARY 11, 2007

SHEET 16 OF 19 SDP-08-004



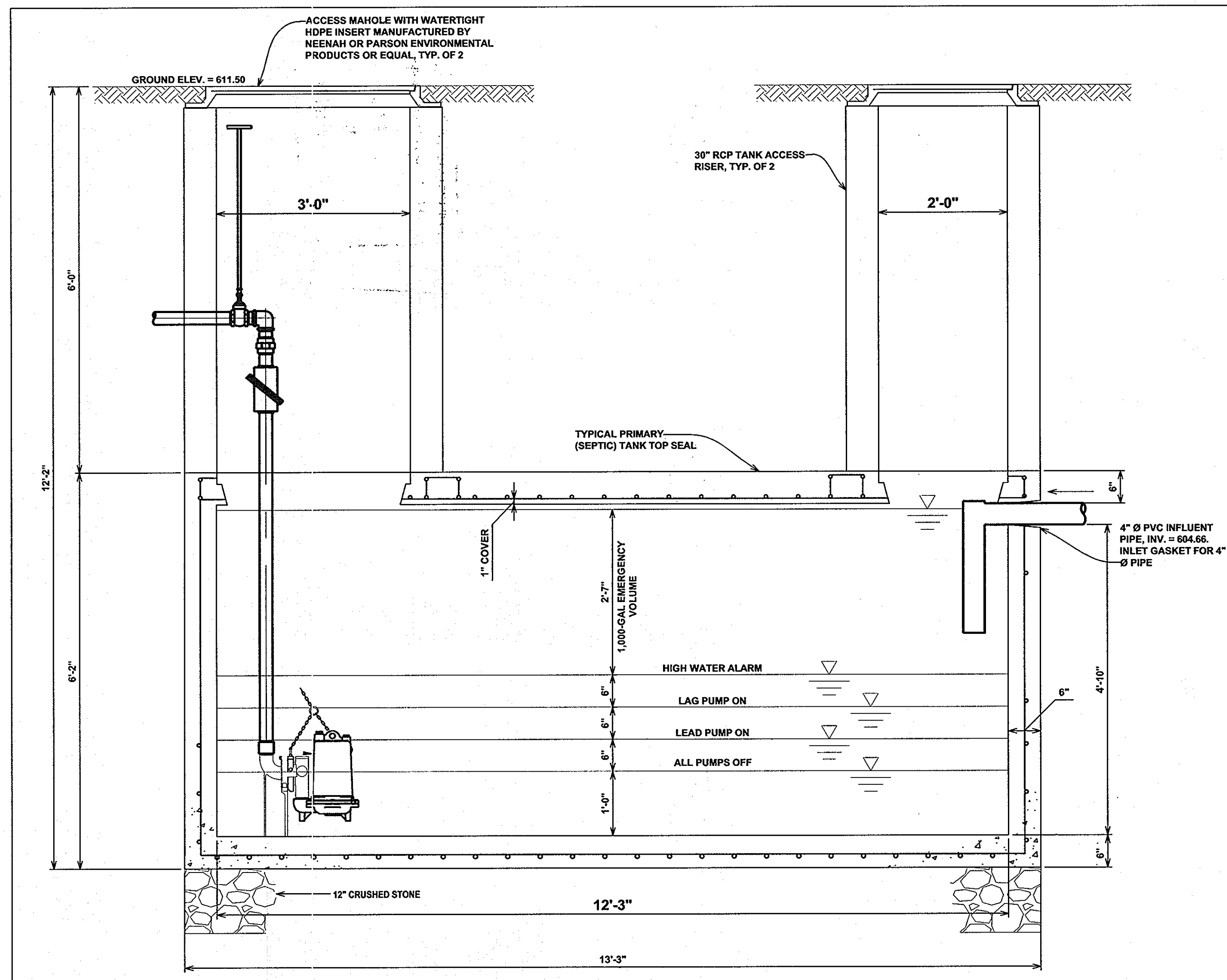
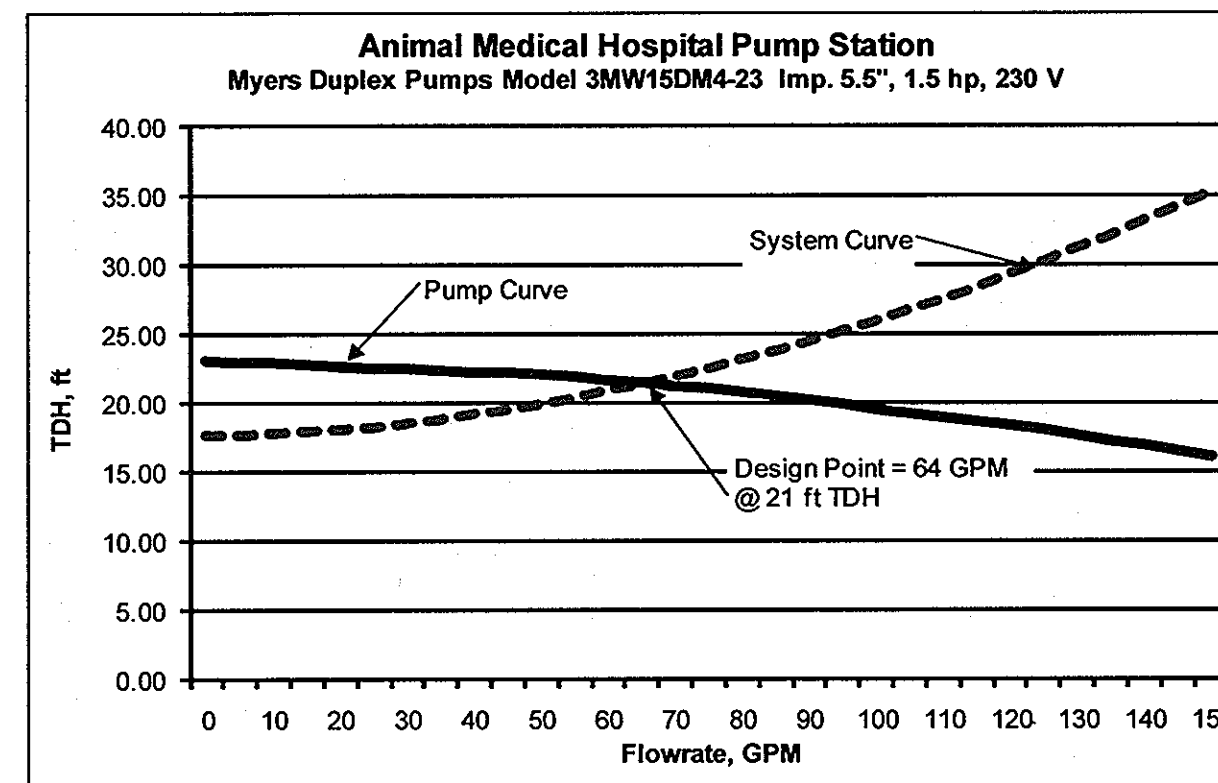


**1,500 GAL PUMP TANK PLAN**

SCALE: 3/4" = 1'-0"

**NOTES:**

- 1) CONTRACTOR SHALL VERIFY THE SOIL BEARING CAPACITY PRIOR TO INSTALLATION OF WET WELL.
- 2) CONTRACTOR SHALL PROVIDE EXTRA CABLE LENGTH TO ENABLE THE HOIST WINCH TO BE THREADED WITH THE CABLE FOR PUMP REMOVAL.



**1,500 GAL PUMP TANK SECTION**

SCALE: 3/4" = 1'-0"

THE PURPOSE OF THIS PLAN IS TO REVISE THE SEPTIC SYSTEM.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
*Richard J. Davis* 7/22/11  
COUNTY HEALTH OFFICER DATE



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17737, Expiration Date: 3/29/12.

4/18/11	REPLACEMENT SHEET
DATE	DESCRIPTION
	REVISION BLOCK
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Monica S. Kistler</i>	7/22/11
Director - Department of Planning and Zoning	Date
<i>Kevin S. Kistler</i>	7-26-11
Chief, Division of Land Development	Date
<i>Chief</i>	7.14.11
Chief, Development Engineering Division	Date

OWNER/DEVELOPER  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
- SUITE 7  
GLENWOOD, MARYLAND 21738  
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Address Chart	
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2. KENNEL	2892 MCKENDREE ROAD

PROJECT	SECTION/AREA	PARCEL	LOT
ANIMAL MEDICAL HOSPITAL	N/A	P/O 217	5

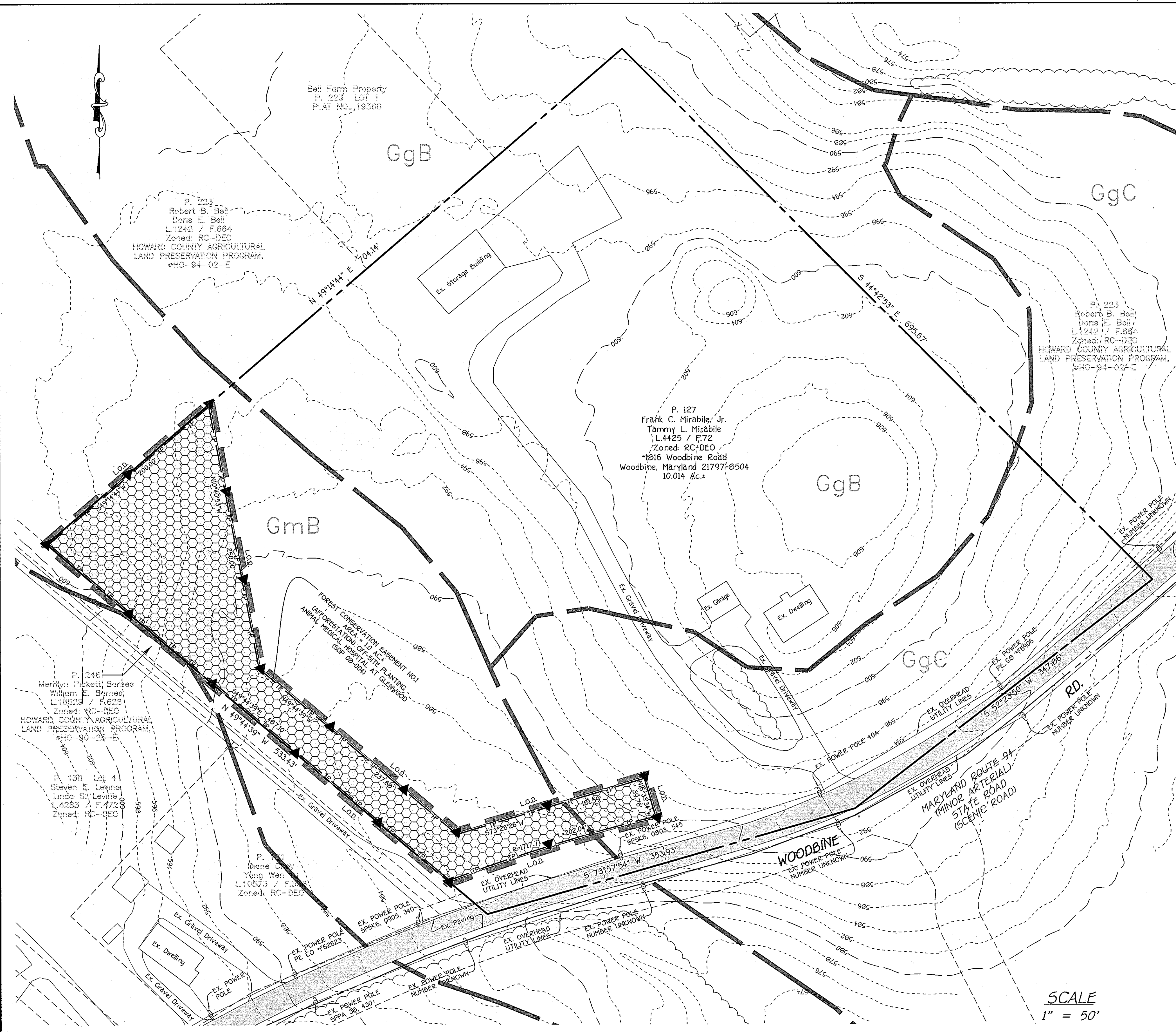
  

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
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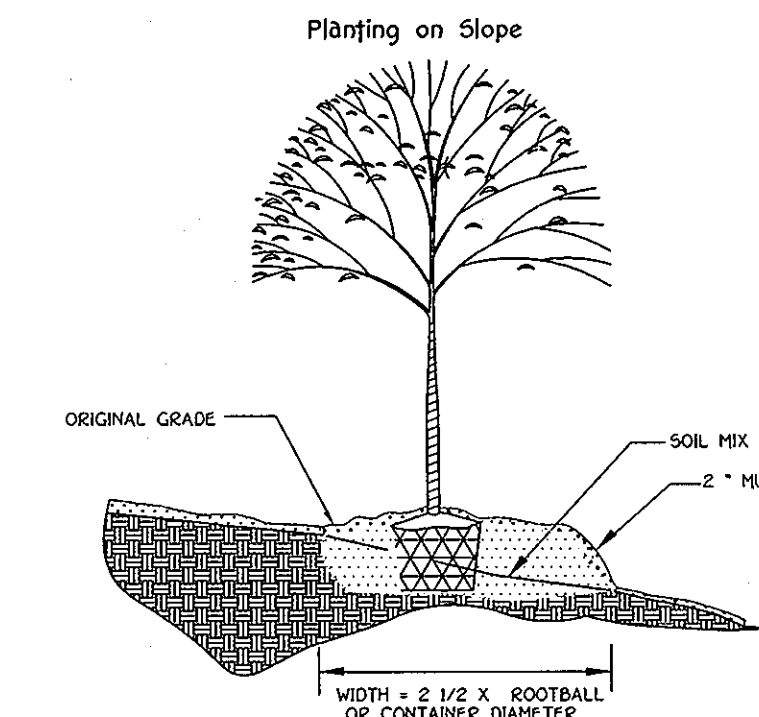
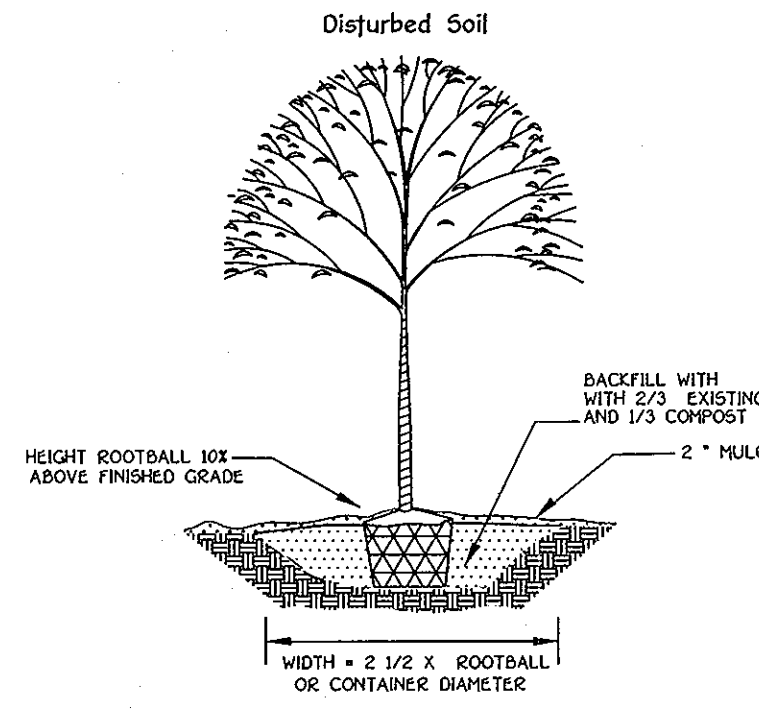
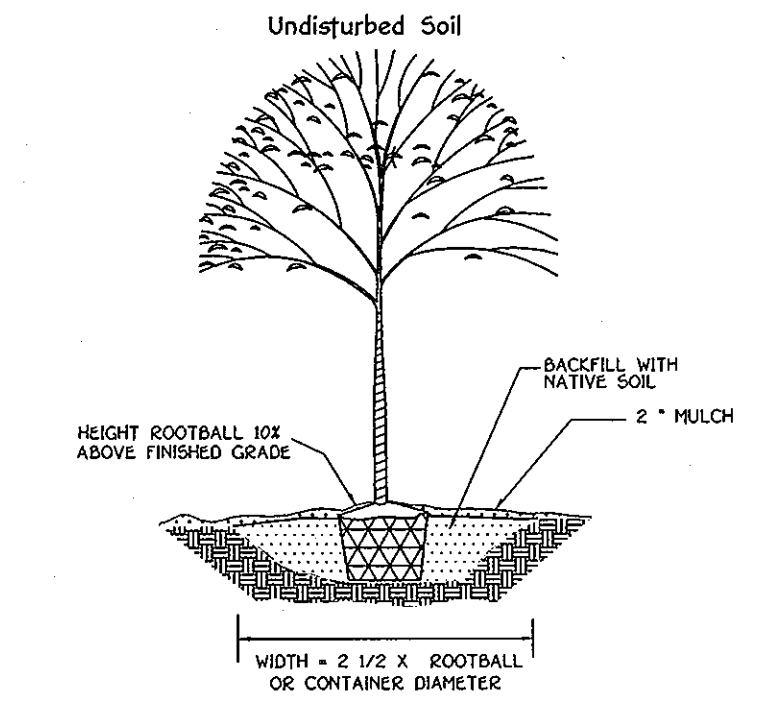
WATER CODE	SEWER CODE
N/A	N/A

SEPTIC SYSTEM PUMP STATION  
"REVISED SITE DEVELOPMENT PLAN"  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
GREEN MEADOWS  
LOT 5  
TAX MAP No.: 14 GRID No.: 11  
PLAT NO. 19072 P/O PARCEL No.: 217  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1" = 40' DATE: FEBRUARY 11, 2007  
SHEET 17 OF 19 SDP-08-004



**LEGEND**

DENOTES PROPOSED RECORDED FOREST CONSERVATION EASEMENT #1 ANIMAL MEDICAL HOSPITAL AT GLENWOOD GREEN MEADOWS LOT 5 (SDP 08-004) 1.0 ACRE TO BE PLANTED  
 DENOTES: LIMIT OF DISTURBANCE  
 DENOTES: TREE PROTECTION FENCING (SEE DETAIL THIS SHEET)



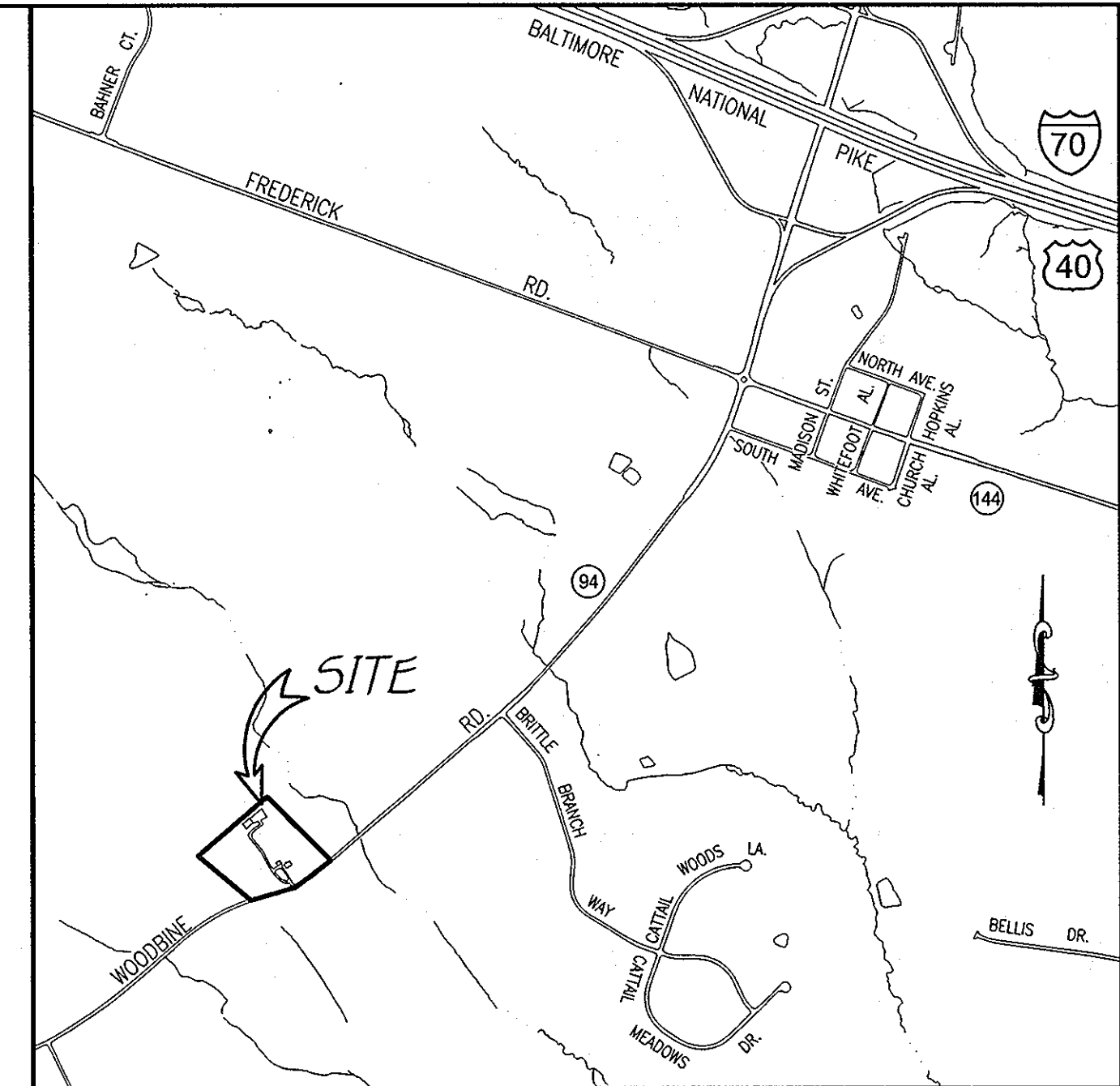
Container Grown And B&B Planting Techniques

**SOILS LEGEND**

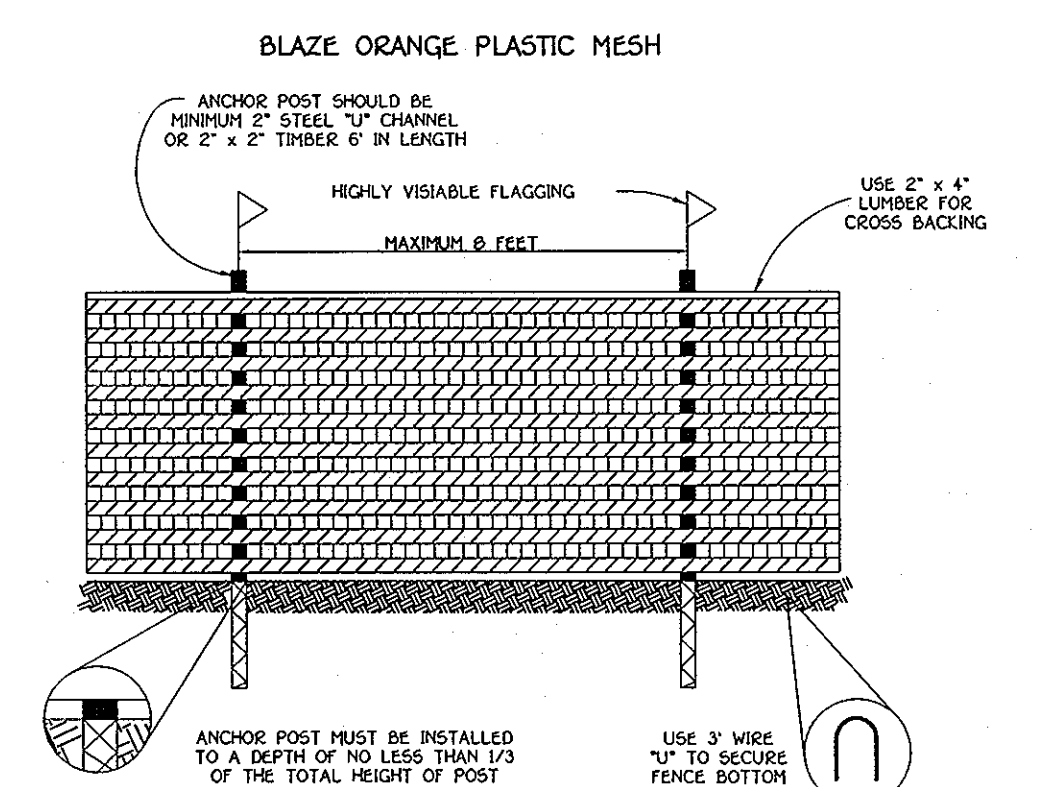
SOIL	NAME	CLASS
GgB	Glenelg loam, 3 to 8 percent slopes	B
GgC	Glenelg loam, 8 to 15 percent slopes	B
GmB	Glenville silt loam, 3 to 8 percent slopes	C



"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 13204, Expiration Date: November 3, 2008."

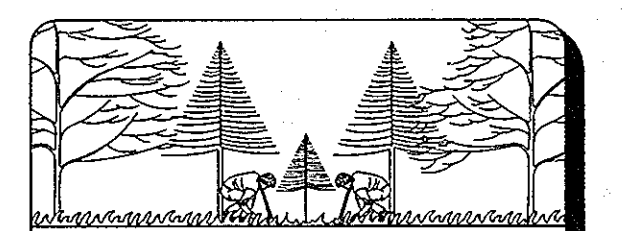


VICINITY MAP  
SCALE: 1" = 1200'



- NOTES:**
1. FOREST PROTECTION DEVICE ONLY.
  2. RETENTION AREA WILL BE SET AS PART OF THE REVIEW PROCESS.
  3. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
  4. ROOT DAMAGE SHOULD BE AVOIDED.
  5. PROTECTIVE SIGNAGE MAY ALSO BE USED.
  6. DEVICE SHOULD BE MAINTAINED THROUGHOUT CONSTRUCTION.

TREE PROTECTION DETAIL  
NOT TO SCALE



**AFFORESTATION PROJECT**

CAUTION  
THIS AREA CONTAINS  
NEW TREES  
PLEASE HELP US PROTECT  
AND CARE FOR THIS  
YOUNG FOREST.

**TREES FOR YOUR FUTURE**

- ▲ - DENOTES AFFORESTATION PROJECT SIGN TO BE INSTALLED
- PROTECTIVE SIGNAGE SHALL BE IN PLACE FOR PERPETUITY

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

*Peter B. Brilman, M.D.* 7/2/2008  
COUNTY HEALTH OFFICER DATE

**OFF-SITE AFFORESTATION PLAN  
@ MIRABILE PROPERTY**

TAX MAP No.: 7 GRID No.: 16  
DEED REF. LIBER 4425 FOLIO 0072 PARCEL No.: 127  
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: AS SHOWN DATE: DECEMBER 03, 2007

SHEET 18 OF 19 SDP-08-004

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTURIAL SQUARE OFFICE PARK - 10722 BALTIMORE NATIONAL PIKE  
SILVER SPRING, MARYLAND 21082  
410-461-2955

**Eco-Science Professionals, Inc.**  
CONSULTING ECOLOGISTS  
MD DNR Qualified Professional  
USDAACE Wetland Designer  
Certification # WDCP93400610044B  
JOHN P. CANOLES

DATE	DESCRIPTION	REVISION BLOCK
1-26-11	REVISE SHEET NUMBER	

APPROVED: DEPARTMENT OF PLANNING AND ZONING

*Frank D. Leagle* 7/6/08  
Director - Department of Planning and Zoning

*Chris Adams* 7/6/08  
Chief, Division of Land Development

*John DeLuca* 5/21/08  
Chief, Development Engineering Division

**OWNER**  
FRANK C. MIRABILE, JR. AND  
TAMMY L. MIRABILE  
1816 WOODBINE ROAD  
WOODBINE, MARYLAND 21797-8504  
(410) 442-2567

**DEVELOPER**  
ANIMAL MEDICAL HOSPITAL  
AT GLENWOOD  
2465 MARYLAND ROUTE 97  
SUITE 7  
GLENWOOD, MARYLAND 21730  
DR. STUART N. SCHEINBERG D.V.M.  
(410) 489-9677

Address Chart

PARCEL NO.	STREET ADDRESS
127	1816 WOODBINE ROAD, WOODBINE, MD, 21797-8504

PROJECT	SECTION/AREA	PARCEL	LOT
OFF-SITE AFFORESTATION PLAN @ MIRABILE PROPERTY	N/A	127	N/A

DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
LIBER 4425 FOLIO 0072	16	RC-DEO	7	FOURTH	6040.02

WATER CODE	SEWER CODE
N/A	N/A

