

GENERAL NOTES

- Existing Zoning: PEC-MXD-3 per April 2004 Comprehensive Zoning Plan and ZB Case No. 979-11
- Deed Reference: 3245/2514, 5284/250
- Plot Reference: Plot Nos. 17999 and 18000 recorded as a Plat of FCE for Parcels 462 and 837
- Gross Area of Tract: 28.84 ac.
- Area of 100 Year Floodplain: 1.52 ac.
- Area of Steep Slopes: 0.86 ac. (0.93 ac. Outside Floodplain)
- Net Area of Tract: 26.99 ac.
- Number of Proposed Lots/Parcels: 5
- Area of Proposed Lots/Parcels:
 - Buildable Parcels: 20,216.00 ac. (8,240 ac. Other Residential, 11,976 ac. Employment)
 - Open Space Lots: 7,668 ac.
 - 177 apartments are proposed for Parcel E
 - Area of Proposed Public Roads: 0.962 ac. (Included in Employment Land on Tracking Chart)
- Dedication for Land for a Public Road will occur with this final plan.
- This project is in conformance with the latest Howard County Standards unless waivers have been approved.
- The existing topography shown hereon was provided by Daft-McCune-Walker, Inc. dated September, 1998.
- Landscaping for this development and landscaping surety will be provided as part of the Developers Agreement, at final plan stage, in accordance with the latest edition of the Howard County Landscape Manual and the approved Emerson Landscape and Street Tree Design Criteria. Financial surety for the required landscaping in the amount of \$4,750 must be posted as part of the Developers Agreement (20 shade trees, 25 evergreen trees).
- This phase of the Emerson project complies with Section 16.1200 of the Howard County Code for Forest Conservation by retaining 0.752 ac. of existing forest and providing 0.573 ac. of reforestation. When evaluated cumulatively with previous phases of the project 71.143 ac. of forest has been cleared, 54.655 ac. have been retained, and 16.065 ac. have been reforested. The cumulative reforestation obligation is 14.27 ac. A surety in the amount of \$12,415.00 (0.57 Acres @ \$80,502.9/F) will be required for proposed reforestation. A surety in the amount of \$6,534.00 (0.75 Acres @ \$80,502.9/F) will be required for forest retention. The total forest conservation surety is \$18,949.00.
- The coordinates shown hereon are based upon the Howard County Geodetic Control, which is based upon the Maryland State Coordinate System, Howard County Monument No's 47DC & 47EB were used for this project.
- This property is located in the Metropolitan District.
- Stormwater management for this development will be provided by the following means:
 - Recharge volume (REV) will be via grass channel credit provided under the SDP for these parcels since the site grading and building locations are not known at this time. The water quality (WQV) will be provided through a micro-pool extended detention pond and the natural area conservation credit. Channel protection volume (CPV) will be provided through the micro-pool extended detention pond. Overbank flood protection volume and extreme flood protection volume are not required. The facility is to be privately owned by the HOA and jointly maintained.
- Existing utilities shown hereon are based on field surveys and record drawings.
- Floodplain onsite based on a Floodplain Analysis prepared by Daft-McCune-Walker, Inc. previously submitted under S-99-12.
- There are wetlands on the Open Space Lot 1 per SDP-05-124.
- Traffic study provided under S-99-12.
- The unmitigated noise study for this project was provided under S-99-12. The mitigated noise contour is based on a study prepared by Century Engineering, Inc. dated September, 2004.
- The geotechnical study for this project was prepared by The Robert B. Bolter Company dated March, 2006.
- Project Background Information:
 - Subdivision Name: Emerson Section 2 Phase 8/B
 - Tax Map/Block/Parcel: 47/B/p/o 462 & p/o 837
 - Zoning: PEC-MXD-3
 - Election District: 6th
 - Total (Gross) Tract Area: 28.84 ac.
 - Number of Proposed Lots/Parcels: 5
 - Applicable Department of Planning & Zoning File No.s: S-99-12 (Key Property), S-P-05-124, PB-359, PB-359, ZB-4791, WP-01-22, NP-07-31, P-06-11, NP-07-101
- Removal of the existing dwelling and shed are to occur prior to signature approval of this final plan.
- The proposed access street shall be public.
- SRL denotes the Building Restriction Line.
- Sediment and erosion control measures provided in accordance with the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control and will be shown on the Final Plan.
- Street trees will be provided on the access street in accordance with Section 16.124 of the Howard County Subdivision Regulations.
- Side setbacks are provided in accordance with Section 16.134 of the Howard County Subdivision Regulations.
- A Community Input Meeting is not required in the MXD zone.
- The open space lot is to be provided in accordance with the subject property.
- Offsite grading is allowed since the adjacent property owners are the same as the subject property.
- The minimum building setback restrictions from the property lines and the public road right-of-way lines for the Other Residential and Employment parcels shall be in accordance with the Comprehensive Sketch Plan Development Criteria approved under S-99-12, PB-359 and PB-359.
- Phasing for this project is in accordance with the Decision and Order for Zoning Board Case No. 979-11 and the Decision and Order approved for PB-359 (Comprehensive Sketch Plan, S-99-12).
- There are no historic structures or cemeteries located on the subject property.
- No grading, removal of vegetative cover or trees, paving and new structures shall be permitted within the wetlands, stream or their required buffers, flood plain and forest conservation easement.
- This plan is subject to NP-07-31 to waive Section 16.121(e)(1) requiring open space lots to have a minimum of 40' of frontage onto a public road for access by pedestrians and maintenance vehicles. The waiver was dated on October 23, 2006.
- Emerson Section 2 Phase 8B is allocated 177 tentative units with the subdivision. Additionally, 67 housing unit allocations were shifted from Emerson Section 2 Phase 7 for a total of 184 tentative units. (CONT. BELOW)
- All construction shall be in accordance with the latest standards and specifications of Howard County plus MSBA standards and specifications if applicable.
- The contractor shall notify the Department of Public Works/Bureau of Engineering/Construction Inspection Division at (410)-318-1880 at least (5) working days prior to the start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work being done.
- Traffic control devices, markings and signage shall be in accordance with the latest edition of the Manual of Uniform Traffic Control Devices (MUTCD) and as modified by "Guidelines for Street Lights in Residential Developments June (1998)." All street and regulatory signs shall be in place prior to placement of any asphalt.
- Street light placement and the type of fixture and pole shall be in accordance with the Howard County Design Manual, Volume III (1998) and as modified by "Guidelines for Street Lights in Residential Developments June (1998)." A minimum spacing of 20' shall be maintained between any streetlights and any tree.
- All sign posts used for traffic control signs installed in the County right-of-way shall be mounted on a 2" galvanized steel, perforated, square tube post (1/4 gauge) inserted into a 2-1/2" galvanized steel, perforated, square tube sleeve (1/2-gauge)-3' long. A galvanized steel pole cap shall be mounted on top of each post.
- Water is public. Contract # 24-4389-D
- Street light placement and the type of fixture and pole shall be in accordance with the Howard County Design Manual, Volume III (1998) and as modified by "Guidelines for Street Lights in Residential Developments June (1998)." A minimum spacing of 20' shall be maintained between any streetlights and any tree.
- This plan is subject to NP-07-101 to waive Section 16.121(e)(1) requiring open space lots to have a minimum of 40' frontage onto a public road for access by pedestrians and maintenance vehicles. The waiver request has been voided by DPZ on October 9, 2007.
- MDE TRACKING # 2006-9320108-NP-3294 FOR WETLAND DISTURBANCE WAS OBTAINED ON 10/27/09, EXPIRES 10/26/12.
- (CONT. FROM ABOVE) OF WHICH 14 OF 67 UNITS MUST BE TOWNHOUSES. THIS SUBDIVISION IS PROPOSING AND IS RESTRICTED TO 164 UNITS AS INDICATED UNDER L-1182A P.4-11, LEAVING 20 ADDITIONAL UNITS. THE 20 ADDITIONAL UNITS WILL GO TO F-10-D10 (9 UNITS) AND F-10-D09 (9 UNITS)

FINAL ROAD CONSTRUCTION PLANS

for

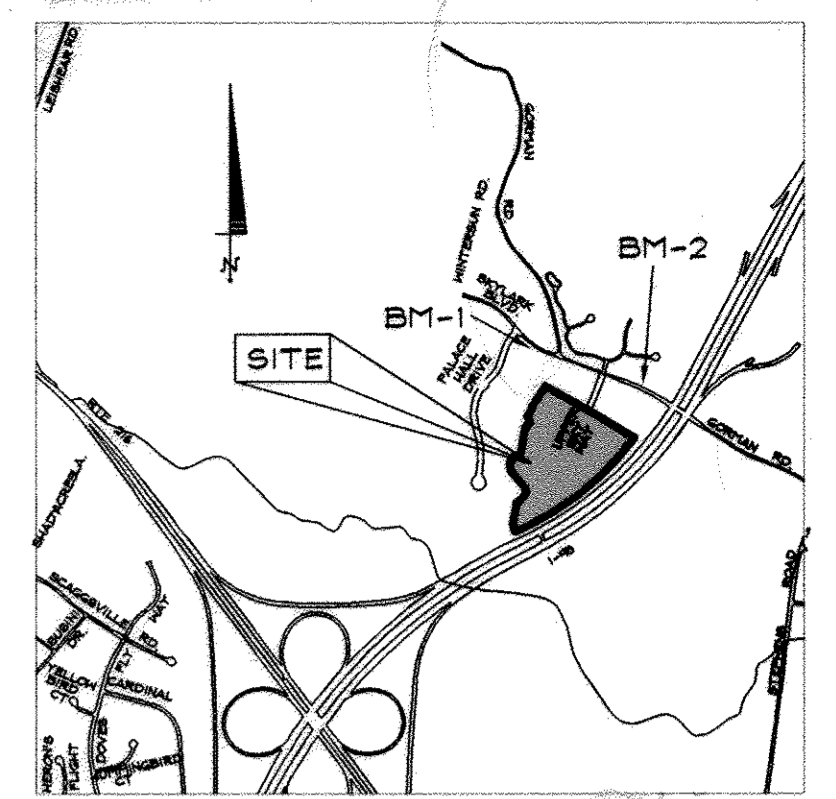
EMERSON SECTION 2, PHASE 8B

PARCELS C THRU E AND OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000
 TAX MAP 47, GRID 8, PARCEL 462 & 837
 6TH ELECTION DISTRICT HOWARD COUNTY, MD

BENCHMARK

DESCRIPTION

BENCHMARK #1	N. 536618.0157
E. 1353679.1226	
B.M. 47DC	
ELEV. 343.249	
BENCHMARK #2	N. 536212.7456
E. 1354833.6403	
B.M. 47EB	
ELEV. 354.296	



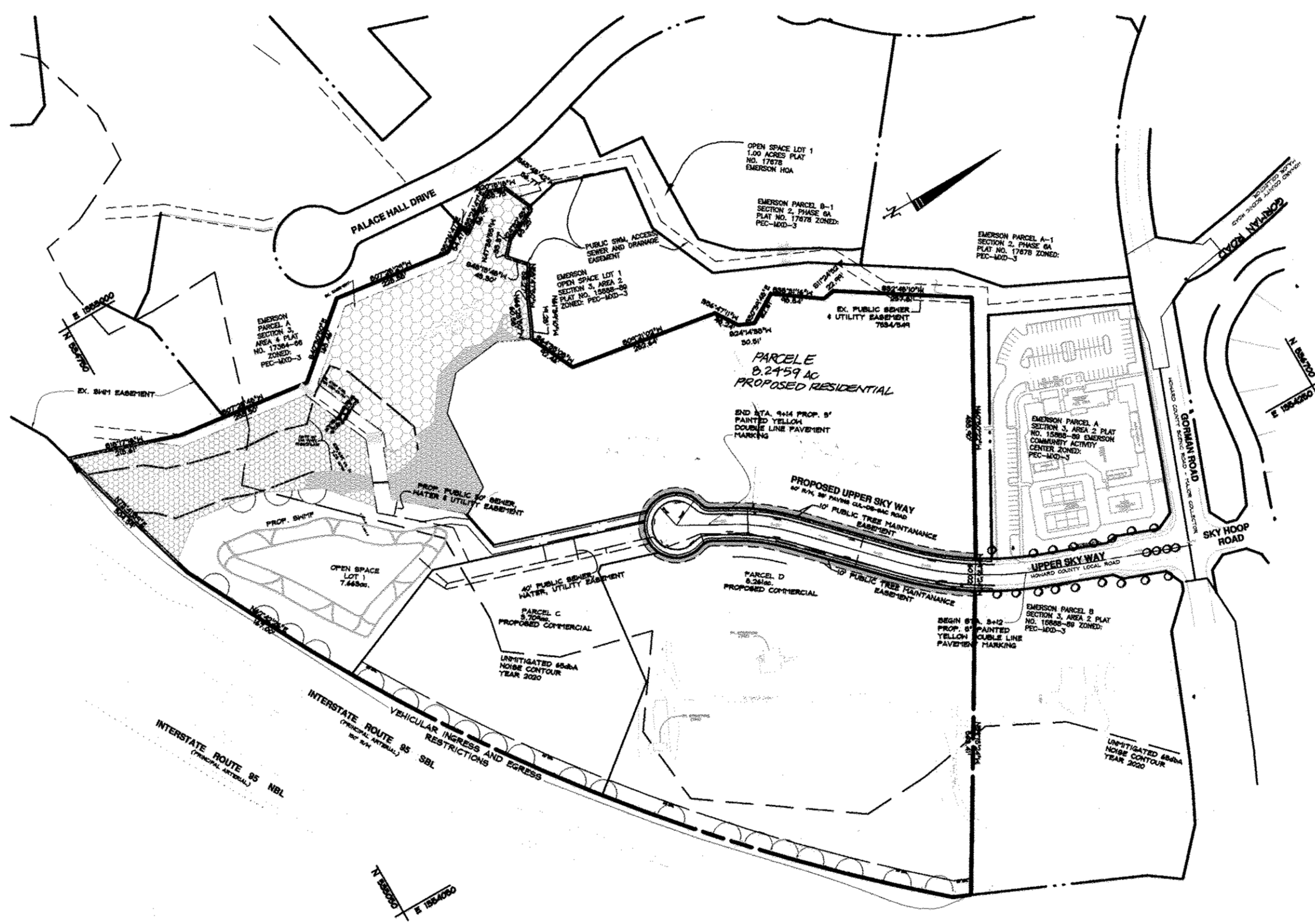
VICINITY MAP
SCALE: 1"=2000'

DRAWING INDEX

SHEET	DESCRIPTION
1	COVER SHEET
2	FINAL ROAD CONSTRUCTION PLAN & PROFILE
3	GRADING & SEDIMENT CONTROL PLAN (PHASE I)
4	SEDIMENT EROSION CONTROL NOTES
5	SEDIMENT EROSION CONTROL DETAILS
6	STORMDRAIN DRAINAGE AREA MAP
7	STORMDRAIN PROFILES
8	STORMDRAIN PROFILES AND NOTES
9	STORMDRAIN MANAGEMENT NOTES & DETAILS
10	FOREST CONSERVATION PLAN
11	FOREST CONSERVATION PLAN
12	FOREST CONSERVATION NOTES
13	LANDSCAPE AND STREET TREE PLAN
14	LANDSCAPE AND STREET TREE PLAN
2A	GRADING & SEDIMENT CONTROL PLAN (PHASE II)
2B	GRADING & SEDIMENT CONTROL PLAN (PHASE II)

COORDINATE TABLE

PTS	NORTHING	EASTING
1	535678.8108	1354749.8624
2	535647.6780	1354736.1974
3	534792.6577	1353650.9698
4	534716.0816	1353502.5612
5	534650.5630	1353210.2280
6	534833.5936	1353277.2932
7	535084.9281	1353310.2274
8	535210.3186	1353202.7390
9	535431.7924	1353231.8035
10	535476.1749	1353200.2083
11	535480.8397	1353221.4231
12	535551.6503	1353171.0204
13	535563.3151	1353182.7041
14	535606.5648	1353234.4951
15	535603.7920	1353242.3150
16	535544.4387	1353269.4214
17	535521.9582	1353234.0828
18	535550.7787	1353326.4018
19	535520.5457	1353376.2344
20	535496.3399	1353431.7465
21	535487.1856	1353448.7146
22	535526.8661	1353532.2269
23	535805.7507	1353578.1481
24	535832.1748	1353618.5073
25	535899.9943	1353651.0346
26	535913.8501	1353599.1039
27	535994.0520	1353656.3558
28	536016.5873	1353651.8059
29	536233.2873	1353791.4738
30	535997.5018	1354214.0469
31	535966.8232	1354265.6343



LOCATION MAP

SCALE: 1"=200'

DRAWING LEGEND

---	EXISTING MINOR CONTOUR (2' INTERVAL)
---	EXISTING MAJOR CONTOUR (10' INTERVAL)
---	ADJACENT PROPERTY LINE
---	EXISTING PROPERTY BOUNDARY
---	EX. ROAD / EDGE OF PAVING
---	EX. SEWER LINE & MANHOLES, CLEAN-OUTS
---	EX. OVERHEAD ELECTRIC & UTILITY POLES
---	PROPOSED MINOR CONTOUR (2' INTERVAL)
---	PROPOSED MAJOR CONTOUR (10' INTERVAL)
---	PROP. STANDARD CURB & GUTTER /
---	PROP. REVERSE CURB & GUTTER /
---	PROP. PRIVATE ROAD/DRIVE CENTERLINE
---	EX. BUILDING
---	PROPOSED BUILDING EXPANSION
---	PROPOSED SPOT ELEVATION & FLOW ARROW
---	EXISTING TREES
---	PROPOSED ORNAMENTAL TREE
---	PROPOSED EVERGREEN TREE
---	EXISTING TREELINE
---	EXISTING SHRUB/BURSH LINE
---	PROPOSED STORM DRAIN HW
---	PROPOSED INLET PROTECTION MEASURES
---	PROPOSED WATER LINE & HYDRANT
---	PROPOSED SEWER AND MANHOLES
---	PROPOSED ELECTRIC TRANSFORMER
---	PROPOSED ELECTRIC METER
---	EXISTING FOREST CONSERVATION EASEMENT
---	PROPOSED FOREST CONSERVATION EASEMENT
---	15' NO WOODY ZONE
---	EXISTING WETLANDS
---	15' WETLANDS BUFFER

DATA SOURCES:

BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-MCCUNE-WALKER, INC. DATED SEPTEMBER 1998. FLOODPLAIN BASED ON ANALYSIS BY DAFT-MCCUNE-WALKER, INC.

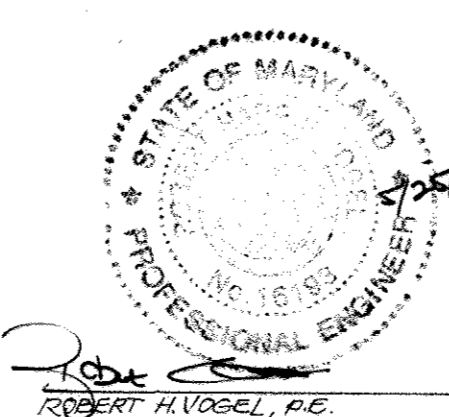


AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

Signature: [Handwritten Signature]
 IC193
 76-110
 5/13/13
 DATE

FOR REVISION #1 ONLY



APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 [Signature]
 CHIEF, BUREAU OF HIGHWAYS
 DATE: 4-7-09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 [Signature]
 CHIEF DIVISION OF DEVELOPMENT
 DATE: 4/16/08

[Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/15/08

3/2/08
 DATE

DeMario Design Consultants, Inc.
 The Old Firehouse
 66 East Main Street, Suite 200
 Westminster, MD 21157
 Phone: (410) 385-0550
 Fax: (410) 385-0564
 eMail: dm@demariodesign.com

OWNER:
 EMERSON LAND BUSINESS TRUST
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-8000

DEVELOPER:
 GENERAL GROWTH PROPERTIES
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-8000

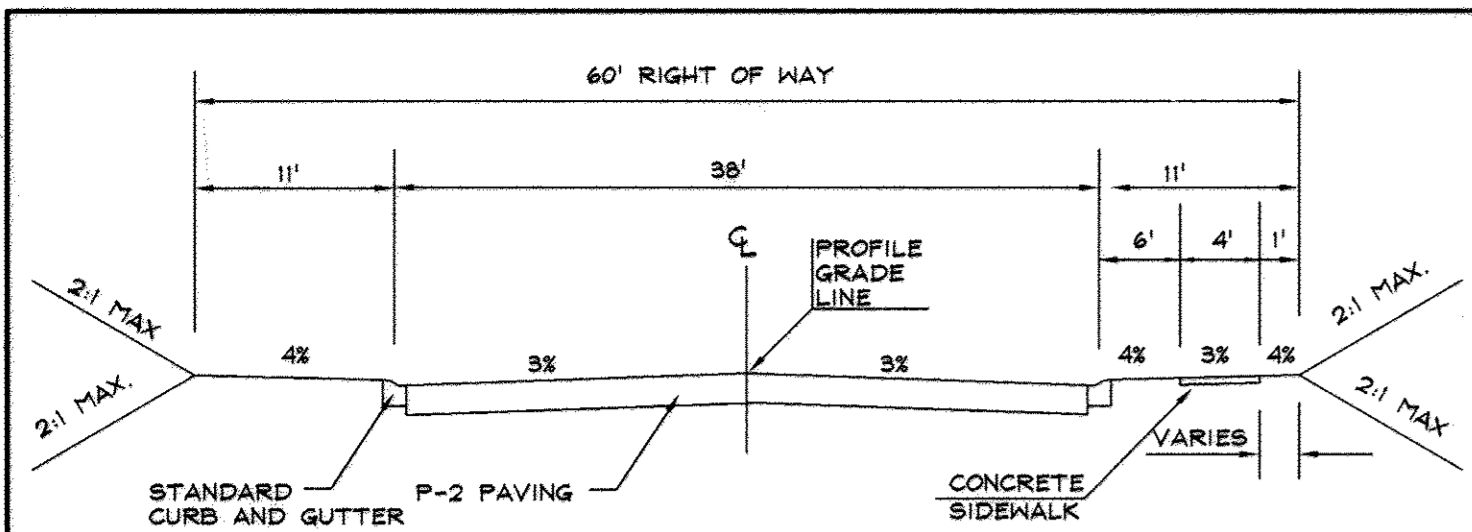
SITE ADDRESS:
 UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
 PARCELS C THRU E & OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000

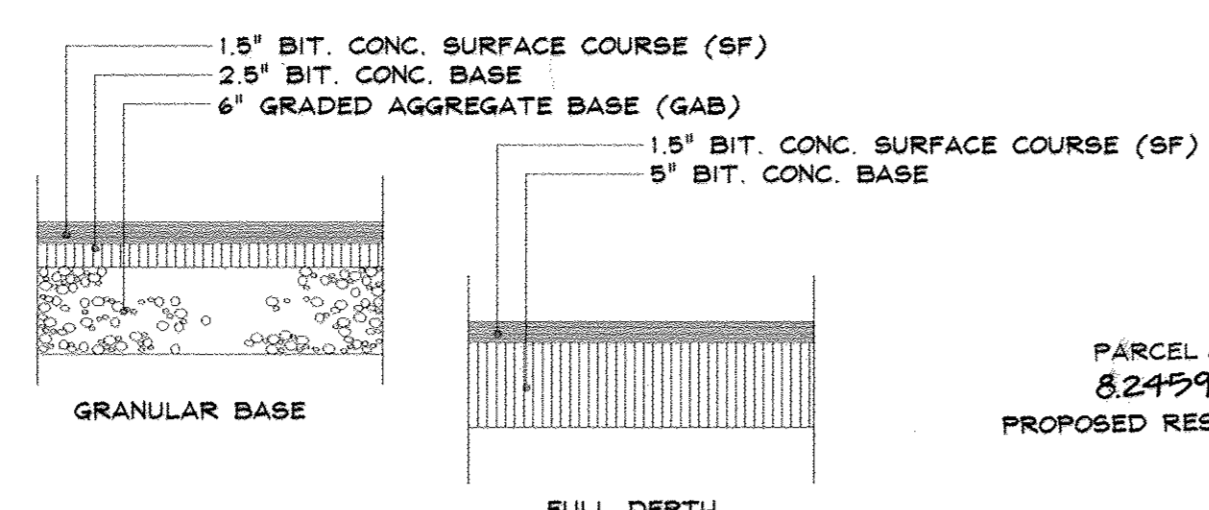
COVER SHEET

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
1	REVISIONS			
1	REVISE PLANS TO REFLECT CHANGES BY ADDING GRADING TO PARCELS C AND REMOVE GRADING FROM PARCELS C & D			5/13/2010

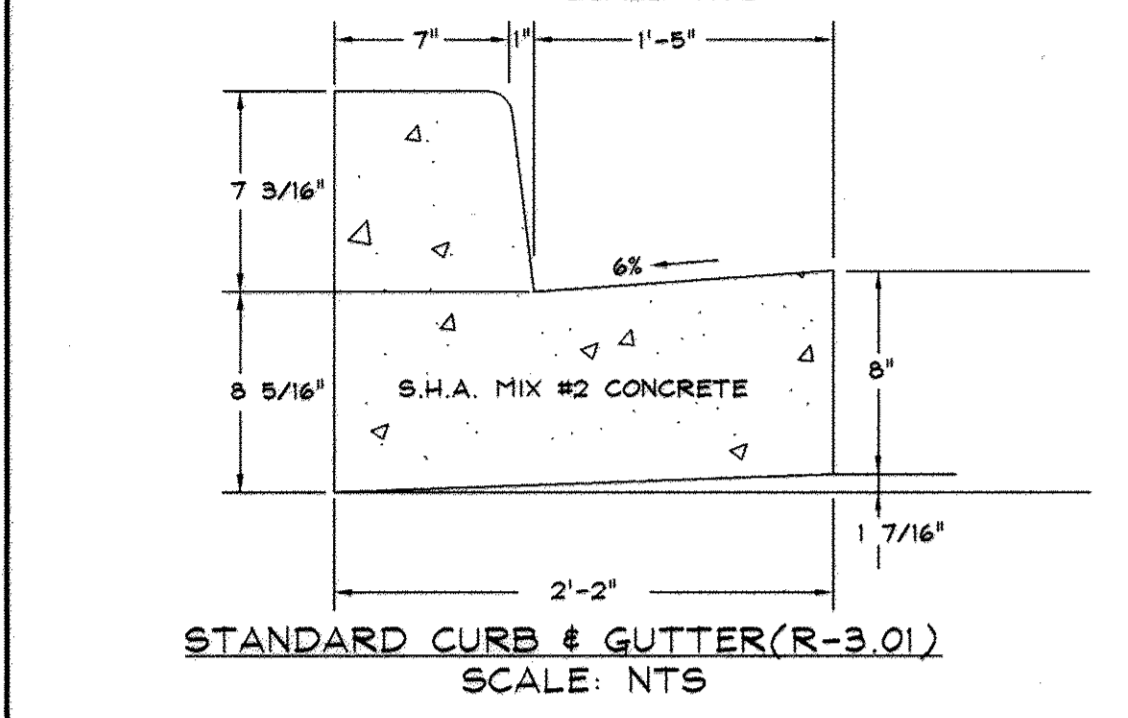
CO. FILE # F-07-141	DES. BY: JCO
TAX ACC. # N/A	DRN. BY: SDS
TAX MAP: 47	CHK. BY: MRT
BLOCK / GRID: 8	DATE: 9.26.07
PARCEL #: 462 & 837	DDC JOB#: 05104.2
ZONE / USE: PEC-MXD-3	SHEET NUMBER:
DWG. SCALE: AS SHOWN	1 of 14



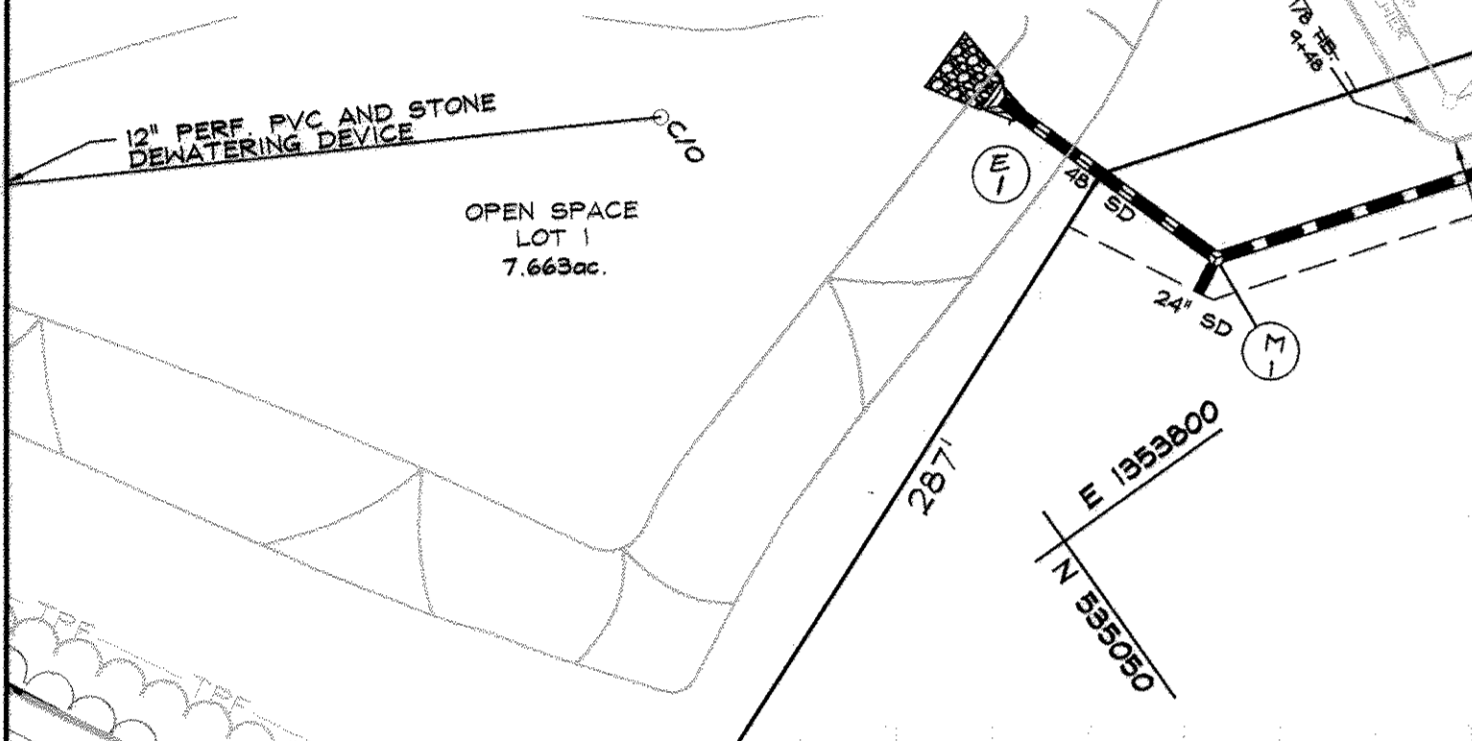
UPPER SKY WAY
TYPICAL ROAD SECTION (FIG. 2.09a)
PUBLIC CUL-DE-SAC
DESIGN SPEED: 40MPH
SCALE: NTS



P-2 PAVING SECTION (R-2.01)
SCALE: NTS



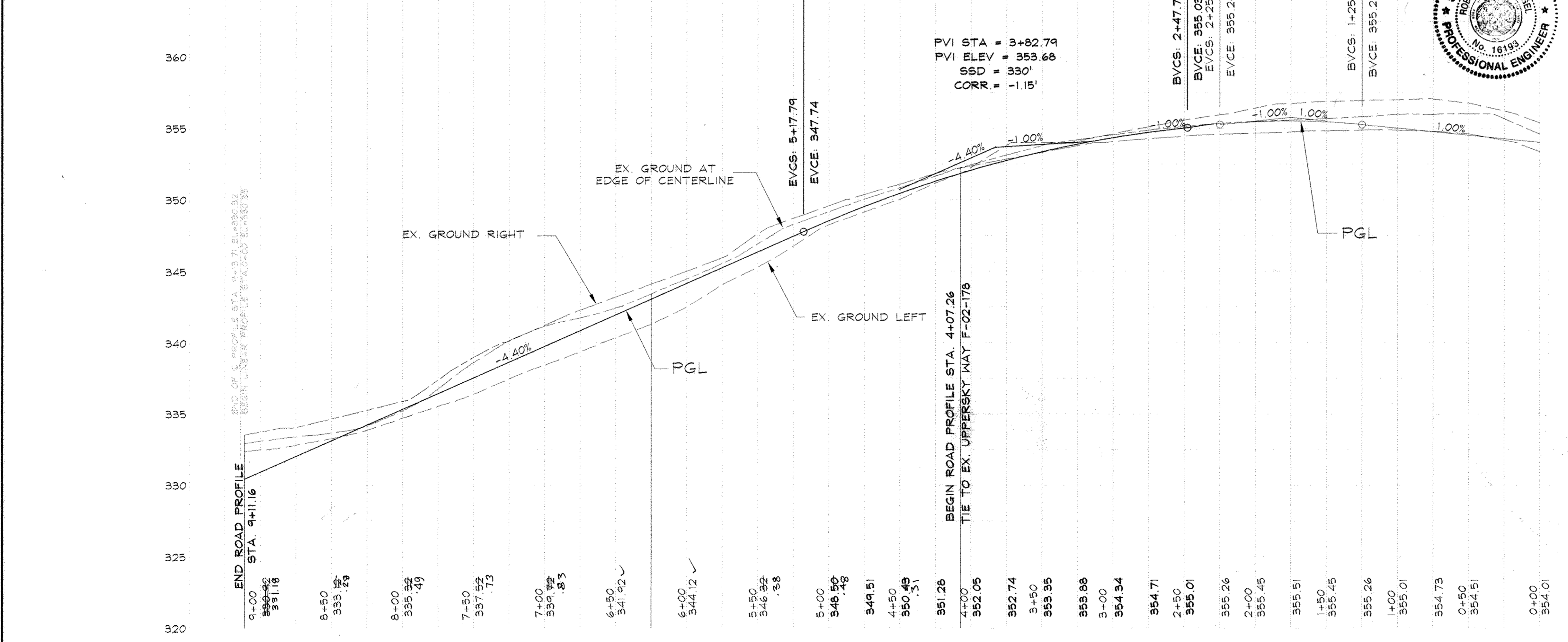
STANDARD CURB & GUTTER (R-3.01)
SCALE: NTS



CURVE TABLE				
CURVE LENGTH	RADIUS	TANGENT	DELTA	BEARING CHORD
C 1 145.57	600.00	73.14	13°54'04"	N87°06'11"E 145.21
C 2 118.47	400.00	59.67	16°58'12"	S37°34'07"W 118.04

HIGH POINT ELEV = 355.51
HIGH POINT STA = 1+74.97
PVI STA = 1+75
PVI ELEV = 355.76
SSD=310'
CORR = -0.25'

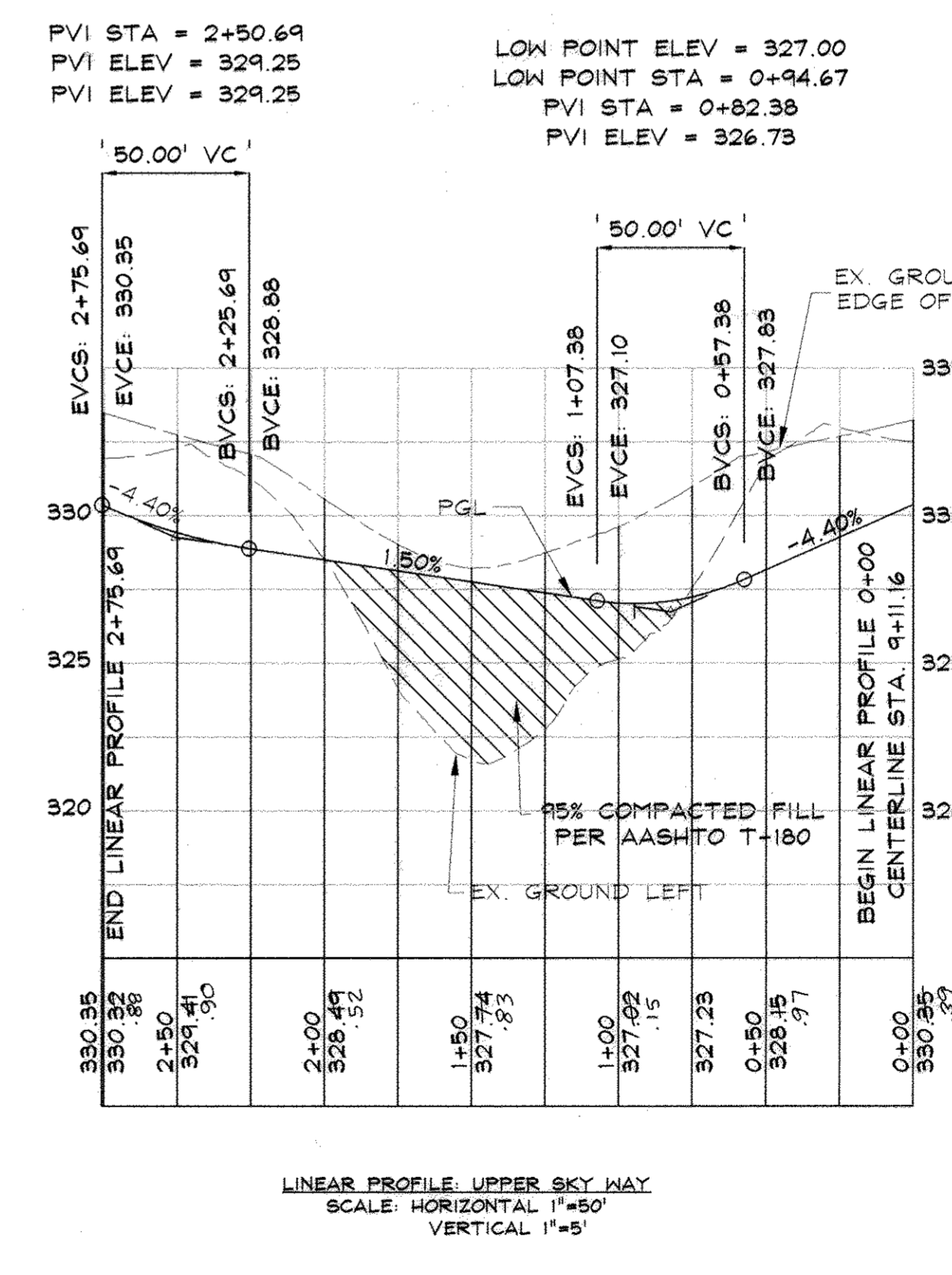
AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONDUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPLICABLE PLANS AND SPECIFICATIONS.
[Signature] 10/19/03 E/G/D



ROAD PROFILE, UPPER SKY WAY
PUBLIC CUL-DE-SAC
DESIGN SPEED: 40MPH
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'

STREET LIGHT CHART		
☼	150 WATT PREMIER	☉ STA. 0+90, 33' LT.
☼	150 WATT PREMIER	☉ STA. 3+10', 24' RT.
☼	150 WATT PREMIER	☉ STA. 5+45, 23' LT.

STREET LIGHT CHART		
☼	150 WATT PREMIER	☉ STA. 7+85, 23' RT.
☼	150 WATT PREMIER	LP A-1 ☉ STA. 1+55', 5' RT.



LINEAR PROFILE, UPPER SKY WAY
SCALE: HORIZONTAL 1"=50'
VERTICAL 1"=5'

DRAWING LEGEND	
	EXISTING MINOR CONTOUR (2' INTERVAL)
	EXISTING MAJOR CONTOUR (10' INTERVAL)
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY BOUNDARY
	EX. ROAD / EDGE OF PAVING
	EX. SEWER LINE & MANHOLES, CLEAN-OUTS
	EX. OVERHEAD ELECTRIC & UTILITY POLES
	PROP. STANDARD CURB & GUTTER
	PROP. CONCRETE CURB & GUTTER
	PROP. ROAD/DRIVE CENTERLINE
	EX. BUILDING
	PROP. BUILDING EXPANSION
	PROP. SPOT ELEVATION & FLUSH ARROW
	EXISTING TREES
	EXISTING TREE LINE
	EXISTING SHRUB/BRUSH LINE
	PROP. STORM DRAIN W/ INLETS & MANHOLE
	EXISTING FOREST CONSERVATION EASEMENT
	PROP. FOREST CONSERVATION EASEMENT

DATA SOURCES:
BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-PCURNE-WALKER, INC. DATED SEPTEMBER 1998. FLOODPLAIN BASED ON ANALYSIS BY DAFT-PCURNE-WALKER, INC.

DeMario Design Consultants, Inc.
The Old Firehouse
66 East Main Street, Suite 200
Westminster, MD 21157
Phone: (410) 366-0560
Fax: (410) 365-0564
eMail: ddc@demariodesign.com

OWNER:
EMERSON LAND BUSINESS TRUST
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

DEVELOPER:
GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

SITE ADDRESS:
UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
PARCELS C THRU E & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST
CONSERVATION EASEMENT PLAT NO. 18000
**ROAD CONSTRUCTION
PLANS, PROFILE AND
STRIPING PLAN**

6TH ELECTION DISTRICT HOWARD COUNTY, MD

NO.	REVISIONS	DATE	DRN.	REV.	DATE
1	REVISE PLANS TO REFLECT CHANGES BY ADDING GRADING TO PARCELS AND REMOVE BRACKING FROM PARCELS C & D	5/13/2010			

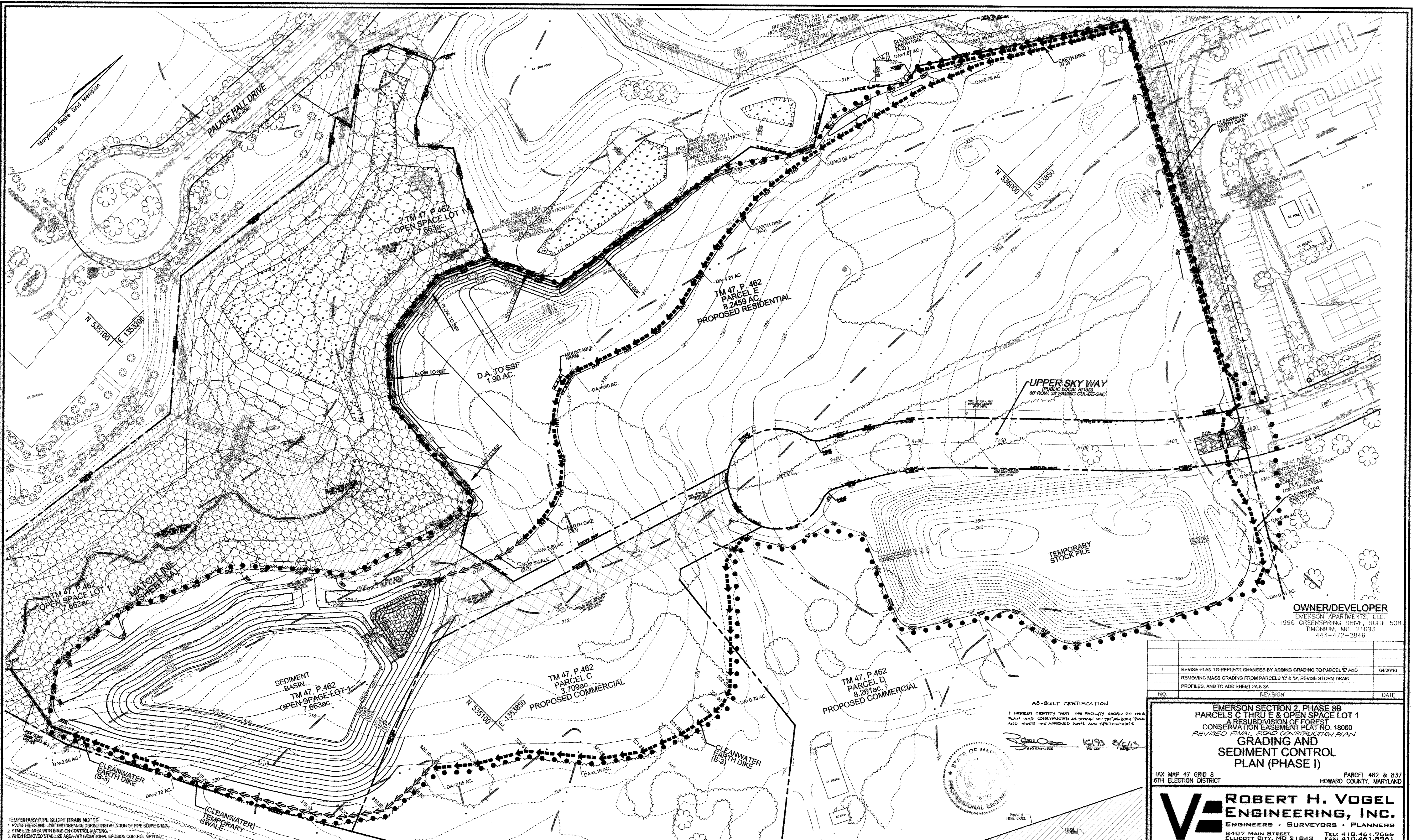
CO. FILE # F-07-141	DES. BY: JCO
TAX ACC. # N/A	DRN. BY: SDS
TAX MAP: 47	CHK. BY: MRT
BLOCK / GRID: 8	DATE: 9.26.07
PARCEL # 462 & 837	DDC JOB#: 05104.2
ZONE / USE: PEC-MXD-3	SHEET NUMBER:
DWG. SCALE: AS SHOWN	2 of 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
[Signature] 4-7-07
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/16/08
CHIEF DIVISION OF LAND DEVELOPMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
[Signature] 4/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION

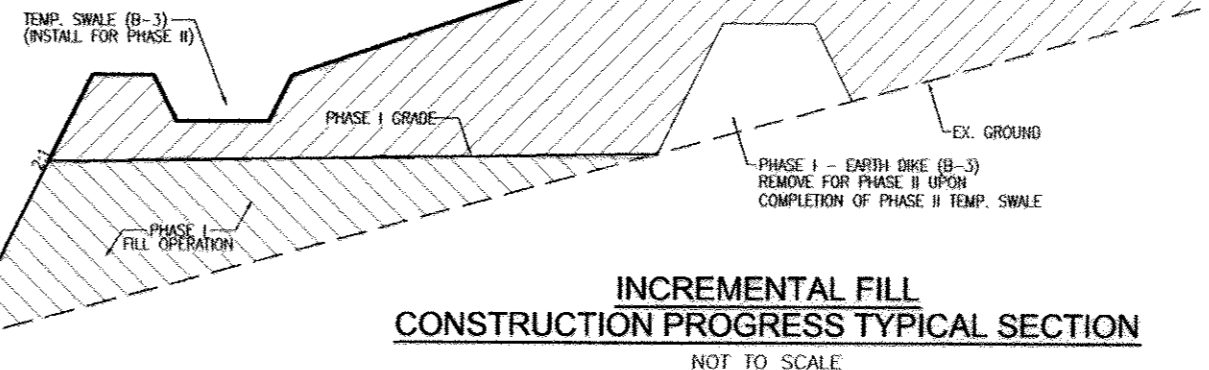
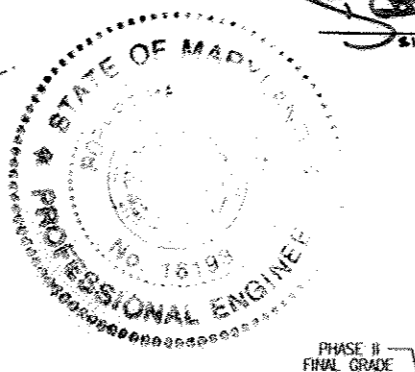
Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25420, Expiration Date: 7.23.08.
STATE OF MARYLAND
ROBERT HARRIS VOGEL
PROFESSIONAL ENGINEER



OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1996 GREENSPRING DRIVE, SUITE 508
 TIMONUM, MD, 21093
 443-472-2846

NO.	REVISION	DATE
1	REVISE PLAN TO REFLECT CHANGES BY ADDING GRADING TO PARCEL 'E' AND REMOVING MASS GRADING FROM PARCELS 'C' & 'D'. REVISE STORM DRAIN PROFILES, AND TO ADD SHEET 2A & 3A.	04/20/10

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPROVED DATA AND SPECIFICATIONS.



TEMPORARY PIPE SLOPE DRAIN NOTES
 1. AVOID TREES AND LIMIT DISTURBANCE DURING INSTALLATION OF PIPE SLOPE GRADE.
 2. STABILIZE AREA WITH EROSION CONTROL MATTING.
 3. WHEN REMOVED STABILIZE AREA WITH ADDITIONAL EROSION CONTROL MATTING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5/13/10
 [Signature]
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/13/10
 DIRECTOR

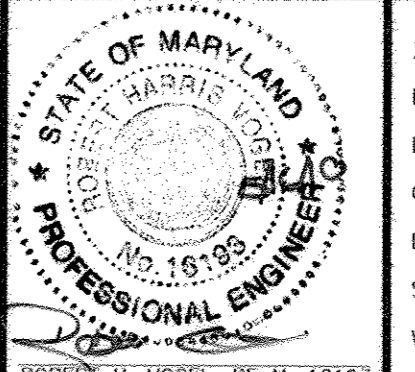
BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF DEVELOPER
 DATE: 5/13/10

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 SIGNATURE OF ENGINEER
 DATE: 5/13/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature]
 HOWARD S.C.D.
 DATE: 5/13/10

EMERSON SECTION 2, PHASE 8B
PARCELS C THRU E & OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST
 CONSERVATION EASEMENT PLAN NO. 18000
 REVISED FINAL ROAD CONSTRUCTION PLAN
GRADING AND SEDIMENT CONTROL PLAN (PHASE I)
 TAX MAP 47 GRID 8 PARCEL 462 & 837
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELLICOTT CITY, MD 21043 FAX: 410.461.8961

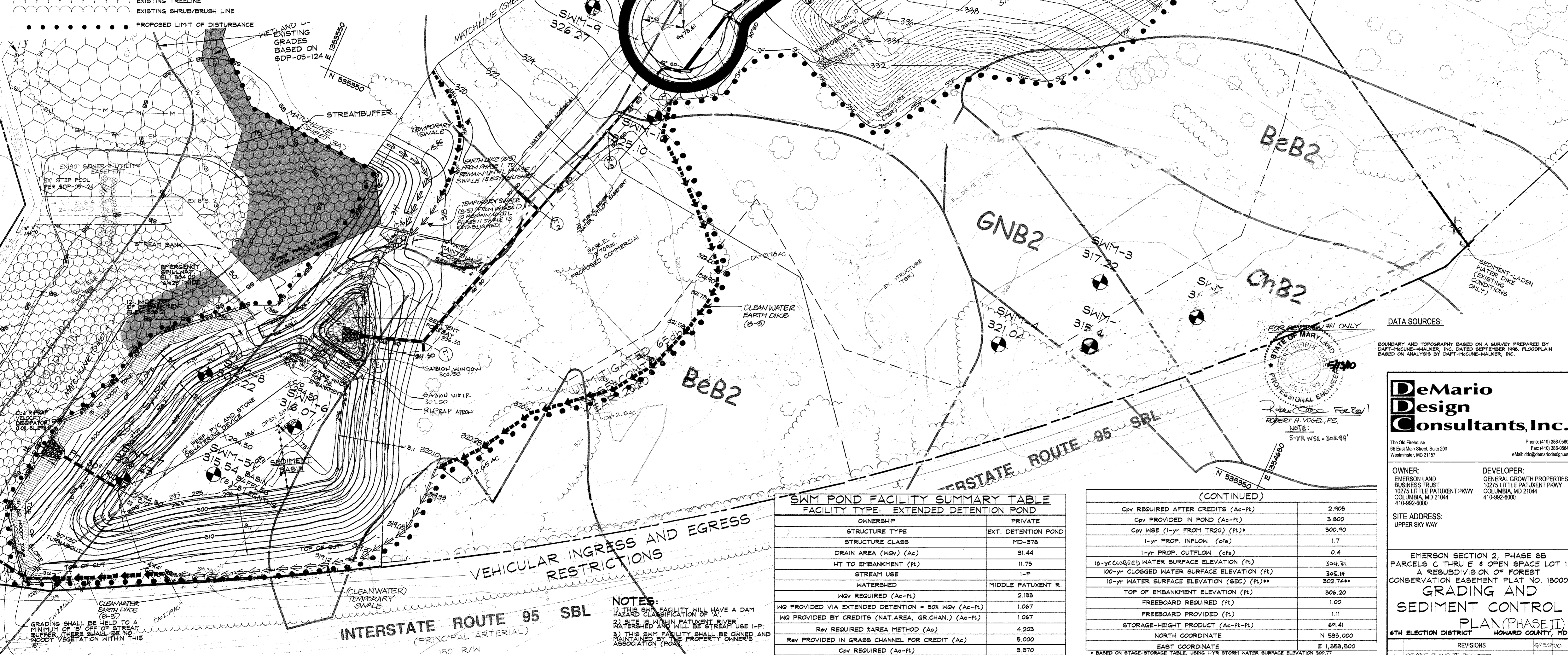
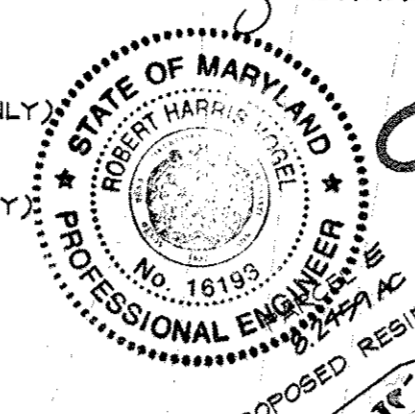


PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18193 EXPIRATION DATE: 08-27-2010
 ZONED: PEC-MXC-3
 DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: MAY 2010
 SCALE: 1"=50'
 W.O. NO.: 09-12
2A SHEET OF **14**

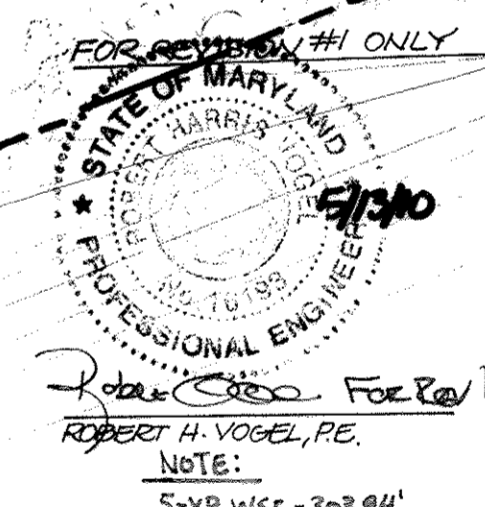
DRAWING LEGEND

- 682 EXISTING MINOR CONTOUR (2' INTERVAL)
- 680 EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- EXISTING PROPERTY BOUNDARY
- EX. ROAD / EDGE OF PAVING
- EX. SEWER LINE & MANHOLES, CLEAN-OUTS
- EX. OVERHEAD ELECTRIC & UTILITY POLES
- PROPOSED MINOR CONTOUR (2' INTERVAL)
- PROPOSED MAJOR CONTOUR (10' INTERVAL)
- PROP. STANDARD CURB & GUTTER / PROP. REVERSE CURB & GUTTER
- PROP. REVERSE/MOONABLE CURB & GUTTER
- PROPOSED PRIVATE ROAD/DRIVE CENTERLINE
- EX. BUILDING
- PROPOSED HOUSE
- PROPOSED SPOT ELEVATION & FLOW ARROW
- EXISTING TREES
- PROPOSED ORNAMENTAL TREE
- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREELINE
- EXISTING SHRUB/BRUSH LINE
- PROPOSED LIMIT OF DISTURBANCE
- WETLAND & EXISTING GRADES BASED ON SDP-05-124
- STREAM BUFFER
- TEMPORARY SWALE
- EARTH DIKE (B-3) FROM PHASE I TO REMAIN UNTIL PHASE II SWALE IS ESTABLISHED
- TEMPORARY SWALE (B-3) FROM PHASE I TO REMAIN UNTIL PHASE II SWALE IS ESTABLISHED
- PROPOSED MAINTENANCE ACCESS
- PROPOSED COMMERCIAL
- PROPOSED RESIDENTIAL
- PROPOSED UPPER SKY WAY
- PROPOSED WATER LINE & HYDRANT
- GABION INFLOW PROTECTION
- SILT FENCE
- SUPER SILT FENCE
- TEMPORARY SHALE
- TEMP. SHALE (EX. COND. ONLY)
- EARTH DIKE
- EARTH DIKE (EX. COND. ONLY)
- STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED TREELINE
- WETLANDS BUFFER
- STREAM BUFFER
- REMOVABLE PUMPING STATION
- ECM (EROSION CONTROL MATTING)
- SOIL LINE

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AND SHOWS ON THE "AS-BUILT" PLANS AND SHEETS THE APPROVED MARK & SPECIFICATIONS.



DATA SOURCES:
 BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-MCUNE-WALKER, INC. DATED SEPTEMBER 1998. FLOODPLAIN BASED ON ANALYSIS BY DAFT-MCUNE-WALKER, INC.



SWM POND FACILITY SUMMARY TABLE
 FACILITY TYPE: EXTENDED DETENTION POND

OWNERSHIP	PRIVATE
STRUCTURE TYPE	EXT. DETENTION POND
STRUCTURE CLASS	MD-378
DRAIN AREA (WQV) (Ac)	31.44
HT TO EMBANKMENT (ft)	11.75
STREAM USE	I-P
WATERSHED	MIDDLE PATUXENT R.
WQV REQUIRED (Ac-ft)	2,193
WQ PROVIDED VIA EXTENDED DETENTION = 50% WQV (Ac-ft)	1,067
WQ PROVIDED BY CREDITS (NAT. AREA, GR.CHAN.) (Ac-ft)	1,067
Rev REQUIRED (AREA METHOD) (Ac)	4,203
Rev PROVIDED IN GRASS CHANNEL FOR CREDIT (Ac)	5,000
Cpv REQUIRED (Ac-ft)	3,970

(CONTINUED)

Cpv REQUIRED AFTER CREDITS (Ac-ft)	2,908
Cpv PROVIDED IN POND (Ac-ft)	3,800
Cpv WSE (1-yr FROM TR20) (ft)*	300.90
1-yr PROP. INFLOW (cfs)	1.7
1-yr PROP. OUTFLOW (cfs)	0.4
10-yr CLOGGED WATER SURFACE ELEVATION (ft)	304.31
100-yr CLOGGED WATER SURFACE ELEVATION (ft)	305.14
10-yr WATER SURFACE ELEVATION (SEC) (ft)**	302.74**
TOP OF EMBANKMENT ELEVATION (ft)	306.20
FREEBOARD REQUIRED (ft)	1.00
FREEBOARD PROVIDED (ft)	1.11
STORAGE-HEIGHT PRODUCT (Ac-ft-ft)	69.41
NORTH COORDINATE	N 535,000
EAST COORDINATE	E 1,959,500

BASIN TABLE

BASIN TYPE	AREA (Ac)	STORAGE (Cu Ft)
EXISTING DRAINAGE AREA	2.73	
INTERIM DRAINAGE AREA	16.14*	
PROPOSED DRAINAGE AREA	18.87*	
CO	14.526	
WET	29,052	
DRY	29,052	
TOTAL	58,104	
CO	19,907	
WET	37,983	
DRY	87,359	
TOTAL	125,342	

EXISTING GROUND ELEVATION	299.5
TOP EMBANKMENT ELEVATION	306.0
WEIR CREST ELEVATION	299.5
DRY STORAGE ELEVATION	299.5
WET STORAGE ELEVATION	296.5
CLEANOUT ELEVATION	295.5
BOTTOM ELEVATION	294.5
DEPTH OF CHANNEL (a)	N/A
OUTLET WIDTH (b)	N/A
BOTTOM DIMENSION	300x190
BASIN SIDE SLOPES	3:1
BASIN DEPTH	C/O 1.0
	WET 2.0
	DRY 3.0*
BARRREL DIAMETER	30"
RISER DIMENSIONS (PER SIDE)	4'
WET STORAGE ZONE ELEVATION	294.5-296.5
DRY STORAGE ZONE ELEVATION	296.5-299.5

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SMALL POND CONSTRUCTION, SOIL EROSION AND SEDIMENT CONTROL.

DATE: 3/12/08

ENGINEER
 I CERTIFY THAT THIS PLAN FOR POND CONSTRUCTION, EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT. I HAVE NOTIFIED THE DEVELOPER THAT HE/SHE MUST ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION.

DATE: 3/12/08

BY THE DEVELOPER:
 I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN "AS-BUILT" PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 3/11/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 DATE: 4-7-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/15/08

DATE: 7/10/08
 PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 25420, EXPIRES DATE: 7.20.08.

DeMario Design Consultants, Inc.
 68 East Main Street, Suite 200
 Westminster, MD 21157
 Phone: (410) 388-0590
 Fax: (410) 388-0594
 Email: ddc@demariodesign.com

OWNER: EMERSON LAND BUSINESS TRUST
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-6000

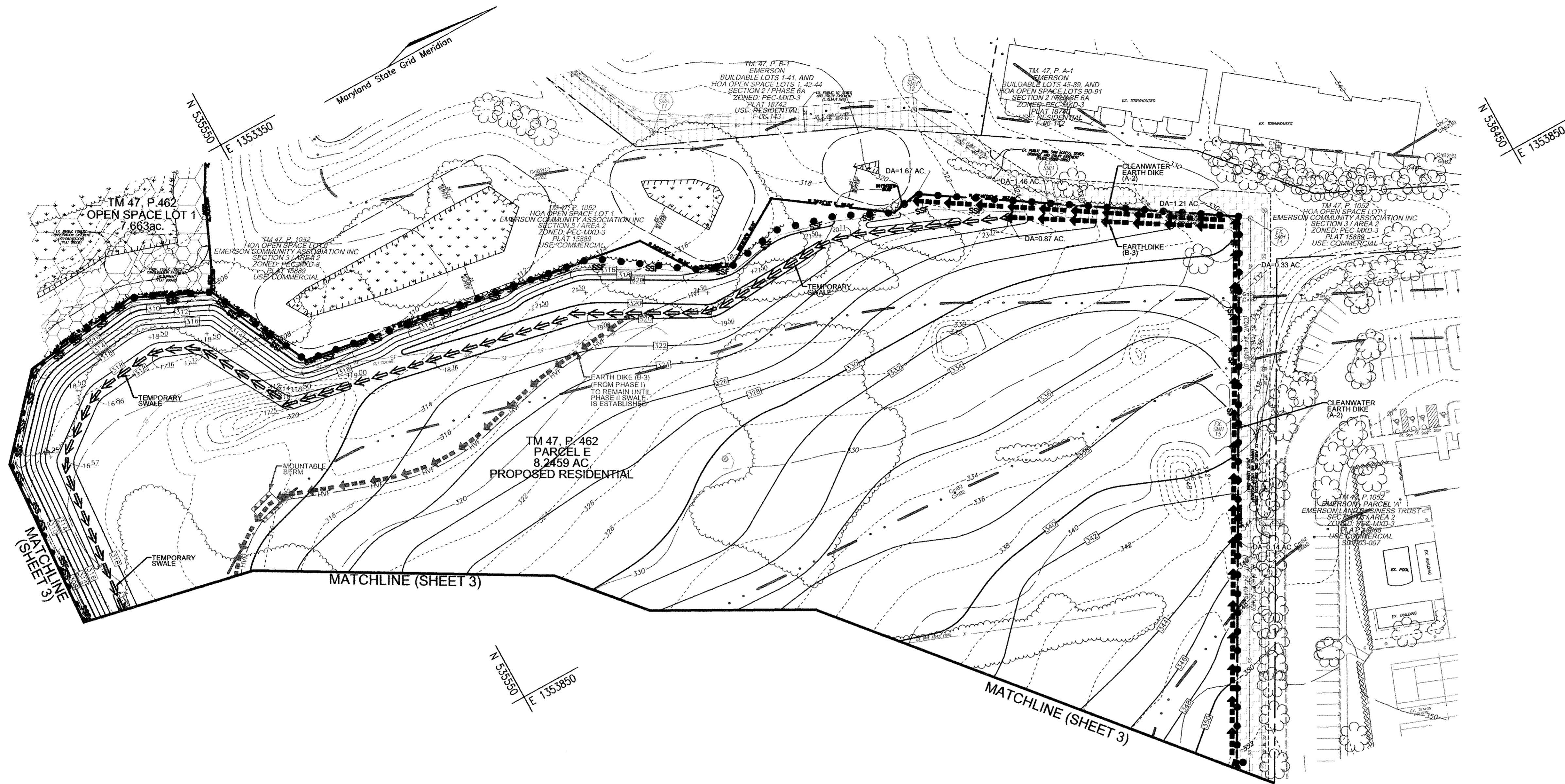
DEVELOPER: GENERAL GROWTH PROPERTIES
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-6000

SITE ADDRESS: UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
 PARCELS C THRU E & OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000
GRADING AND SEDIMENT CONTROL PLAN (PHASE II)
 6TH ELECTION DISTRICT HOWARD COUNTY, MD

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
1	REVISE PLANS TO REFLECT CHANGES BY ADDING GRADING TO PARCEL E AND REMOVE GRADING FROM PARCELS C & D			4/15/08

CO. FILE #: F-07-141
 DES. BY: JCOMRT
 TAX ACC #: N/A
 DRN. BY: SDS
 TAX MAP #: 47
 CHK. BY: MRT
 BLOCK / GRID: 8
 DATE: 9.26.07
 PARCEL #: 462 & 837
 DDC JOB#: 05104.2
 ZONE / USE: PEC-MXD-3
 SHEET NUMBER:
 DWG. SCALE: 1"=50'
3 of 14



AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPLICABLE PLANS AND SPECIFICATIONS.

STATE OF MARYLAND
 ROBERT H. VOGEL
 PROFESSIONAL ENGINEER
 No. 16193

1573 8/13
 P.E. NO. DATE

OWNER/DEVELOPER
 EMERSON APARTMENTS, LLC
 1996 GREENSPRING DRIVE, SUITE 508
 TIMONUM, MD. 21093
 443-472-2846

NO.	REVISION	DATE
1	REVISE PLAN TO REFLECT CHANGES BY ADDING GRADING TO PARCEL 'E' AND REMOVING MASS GRADING FROM PARCELS 'C' & 'D'. REVISE STORM DRAIN PROFILES, AND TO ADD SHEET 2A & 3A	04/20/10

EMERSON SECTION 2, PHASE 8B
 PARCELS C THRU E & OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST
 CONSERVATION EASEMENT PLAT NO. 18000
 REVISED FINAL ROAD CONSTRUCTION PLAN
**GRADING AND
 SEDIMENT CONTROL
 PLAN (PHASE II)**

TAX MAP 47 GRID 8
 6TH ELECTION DISTRICT

PARCEL 462 & 837
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
 ENGINEERING, INC.**
 ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
 ELLICOTT CITY, MD 21043

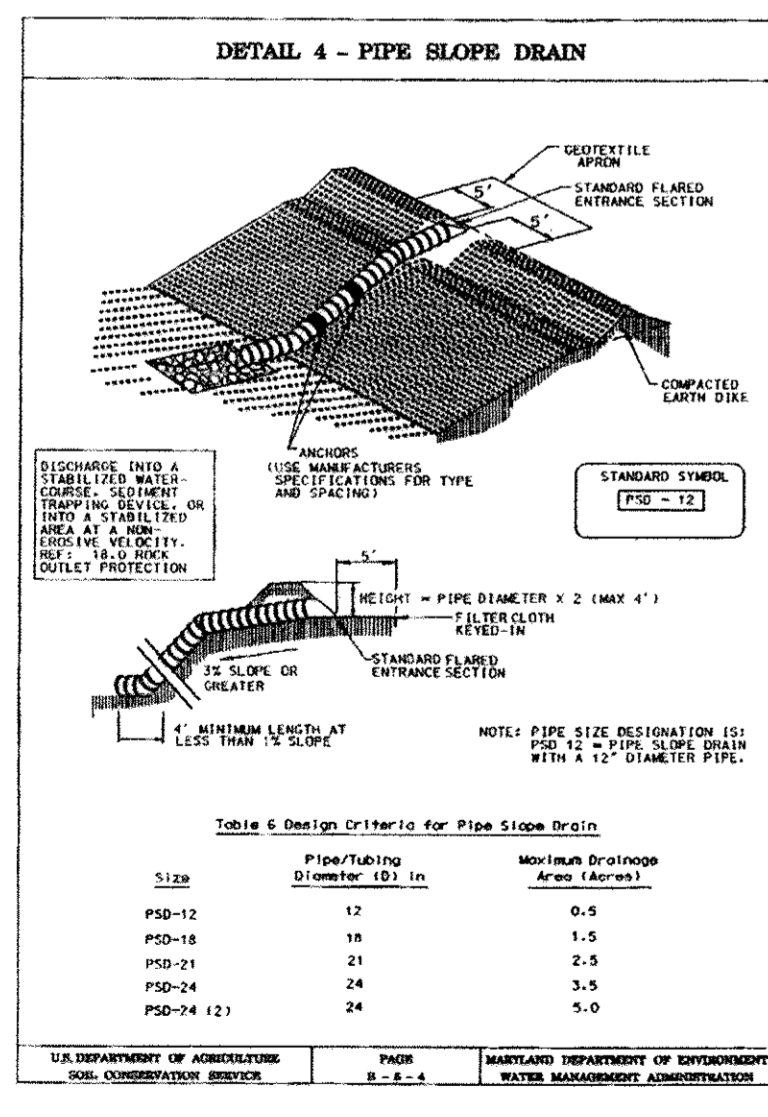
TEL: 410.461.7666
 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193 EXPIRATION DATE: 06-27-2010

ZONED: PEC-MXC-3
 DESIGN BY: RHV
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: MAY 2010
 SCALE: 1"=50'
 W.O. NO.: 09-12

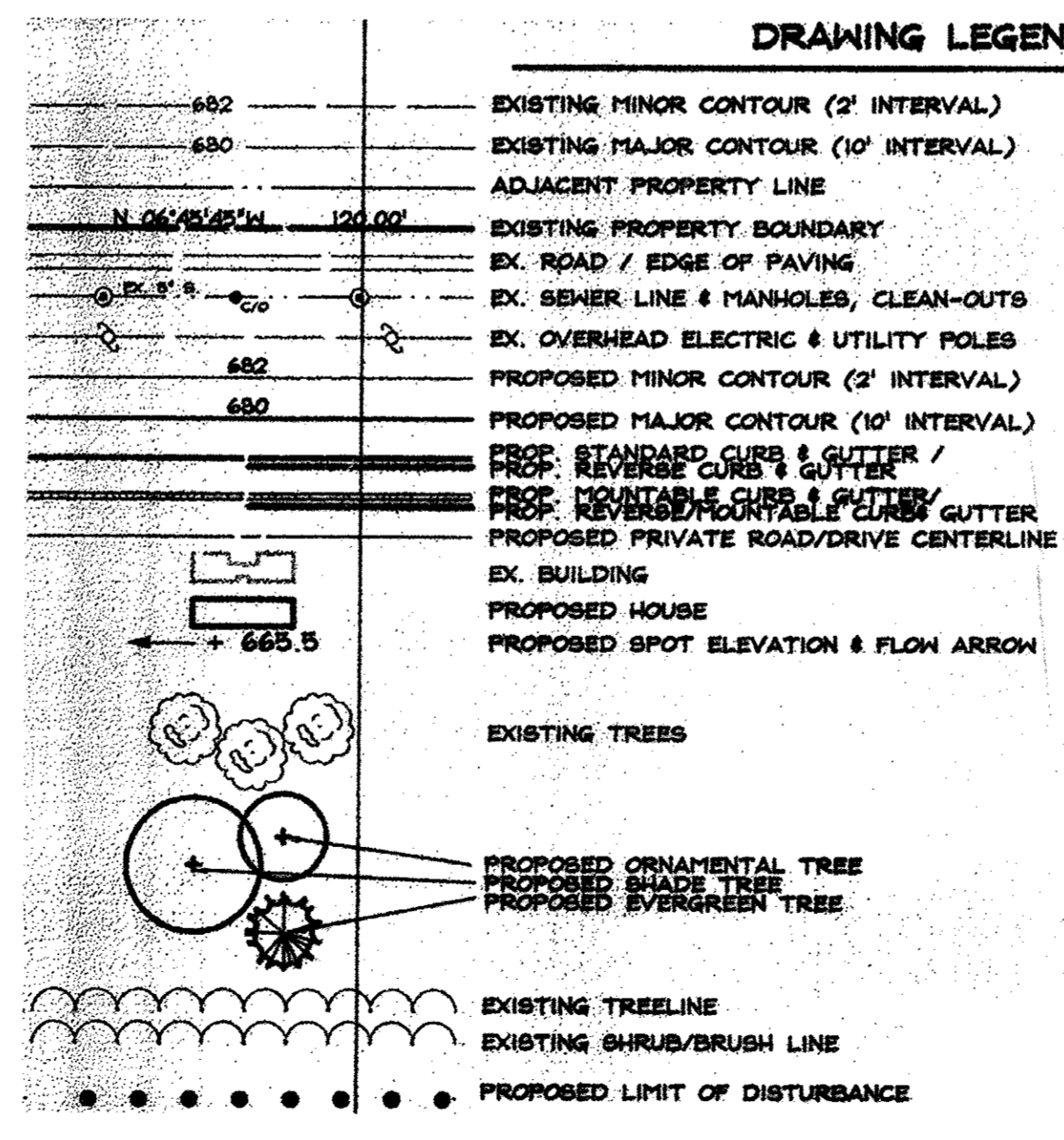
3A SHEET OF 14



PIPE SLOPE DRAIN

Construction Specifications - Pipe Slope Drain

- The Pipe Slope Drain (PSD) shall have a slope of 3 percent or steeper.
- The top of the earth dike over the inlet pipe shall be at least 2 times the pipe diameter measured at the invert of the pipe.
- The dike shall be compacted, properly compacted earth pipe or equivalent PVC pipe can be used. All connections shall be watertight.
- A flag and section shall be attached to the inlet end of pipe with a watertight connection. Filter cloth shall be placed under the inlet of the pipe slope drain and shall extend out 6" from the inlet. The filter cloth shall be keyed off on all sides.
- The pipe slope drain shall be securely anchored to the slope by staking of the projects provided. Spacing for anchors shall be as indicated by manufacturer's specification. In no case shall less than two (2) anchors be provided. Anchors shall be placed along the length of pipe. These details shall be approved by site architect.
- The soil around and under the pipe and end section shall be hand tamped in 4 inch lifts to the top of the earth dike.
- All pipe connections shall be watertight.
- Whenever possible where a PSD drains an unstable slope, it shall outlet into a median or ditch or be installed in a location where the slope drain will discharge into a stable area. If discharge into a stable area is not possible, the PSD shall discharge into a trap or basin. The PSD shall discharge into a trap or basin. The PSD shall discharge into a trap or basin. The PSD shall discharge into a trap or basin.
- When the drainage area is stabilized, the PSD shall discharge into a trap or basin of a non-erodible velocity.
- Inspection and any required maintenance shall be performed periodically and after each rain event.
- The drain must be kept open at all times.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 6/10/10

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 6/10/10

BY THE DEVELOPER:

WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF DEVELOPER: [Signature]
 DATE: 5/13/10

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature]
 DATE: 6/10/10

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 HOWARD S.O.D.
 DATE: 6/10/10

CONSTRUCTION SPECIFICATIONS

These specifications are appropriate for all ponds within the scope of the 2000 Standard for practice MD-378. All references to ASTM and AASHTO specifications apply to the most recent version.

Site Preparation
Areas designated for borrow areas, embankment and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi, 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity of 2,000 ohm-cm. Material shall be placed such that a minimum of 6" measured perpendicular to the outside of the pipe of flowable fill shall be under (back-drag) over and on the sides of the pipe. It only needs to extend up to the spring line for rigid conduits.

Pipe Conduits

Earth Fill
Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6" across or other objectionable materials. Fill material for the center of the embankment, and cut-off trench shall conform to Unified Soil Classification (SC, CU, CL, etc.)

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8 inch thick (before compaction) layers which are to be continuous over the entire length of the fill.

Construction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traveled by not less than one track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within +/-2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be verified by the Engineer at the time of construction.

Cut Off Trench - The cutoff trench shall be excavated into impervious material along or parallel to the centerline of the embankment as shown on the plans. The depth of the trench shall be governed by the equipment used for excavation, with the minimum width being four feet.

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10 year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with pre-compacted equipment, rollers and/or vibratory equipment.

Structure Backfill
Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all space under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure.

BY THE DEVELOPER
I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THE SPECIFICATIONS AND RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR SMALL POND CONSTRUCTION AND EROSION CONTROL BEFORE BEGINNING THE PROJECT. I SHALL ENGAGE A REGISTERED PROFESSIONAL ENGINEER TO SUPERVISE POND CONSTRUCTION AND PROVIDE THE HOWARD SOIL CONSERVATION DISTRICT WITH AN 'AS-BUILT' PLAN OF THE POND WITHIN 30 DAYS OF COMPLETION. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

EMERSON SECTION 2, PHASE 8B PARCELS, A THRU-D OPEN SPACE LOT 1 RE-SUBDIVISION OF FOR NO. 18000 CONSERVATION EASEMENT PLAT NO. 18000
SEDIMENT & EROSION CONTROL DETAILS
6TH ELECTION DISTRICT HOWARD COUNTY, MD
REVISIONS

- 1. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable back compacted to provide adequate support.
2. Backfilling shall conform to "Structure Backfill".
3. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

- 1. Materials - Reinforced concrete pipe shall have bell and spigot joints with rubber gaskets and shall equal or exceed ASTM C-361.
2. Bedding - Reinforced concrete pipe conduits shall be laid in a concrete bedding / cradle for their entire length. This bedding / cradle shall consist of high slump concrete placed under the pipe and up the sides of the pipe at least 50% of its outside diameter with a minimum thickness of 6 inches. Where a concrete cradle is not provided for structural reasons, flowable fill may be used as described in the "Structure Backfill" section of this standard.
3. Laying pipe - Bell and spigot pipe shall be placed with the bell end upstream. Joints shall be made in accordance with recommendations of the manufacturer of the material.

- 1. Materials - PVC pipe shall be PVC1120 or PVC1220 conforming to ASTM D 1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch pipe shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M254 Type S.
2. Joints and connections to anti-seep collars shall be completely watertight.
3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable back compacted to provide adequate support.

- 1. All temporary work shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an existing water body or to a non-erosive outlet.

- 1. All temporary work shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an existing water body or to a non-erosive outlet.

- 1. The outer pipe should be 8" dia. or shall, in any case, be at least 4" greater in diameter than the inner pipe. The distance between the two pipes shall be 1/2" aggregate or clean gravel.
2. After installing the outer pipe, backfill around outer pipe with 2" aggregate or clean gravel.
3. The inner stand pipe (center pipe) shall be constructed by perforating a corrugated PVC pipe between 12" and 36" in diameter. The perforations shall be made with 1/2" hardware cloth first, then wrapped again with Geotextile Class C.

- 1. All temporary work shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
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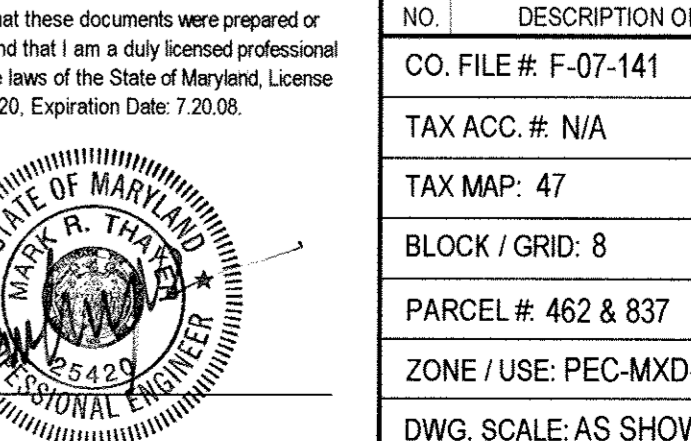
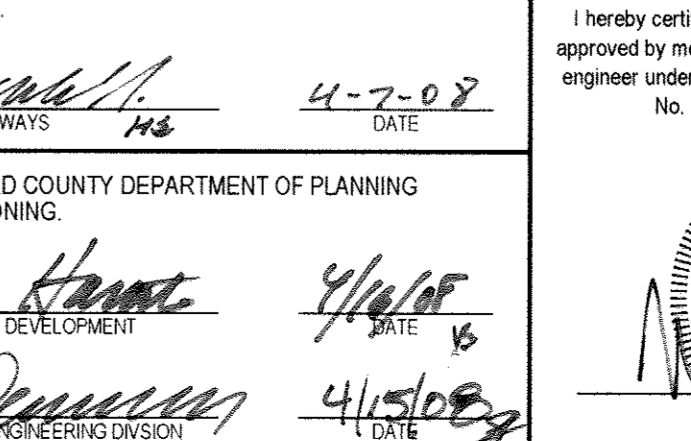
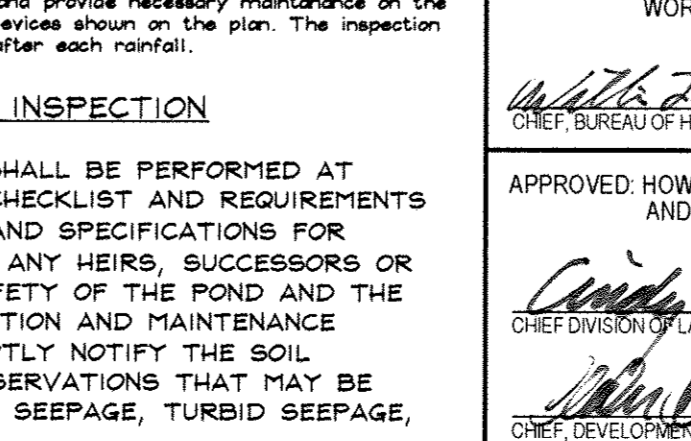
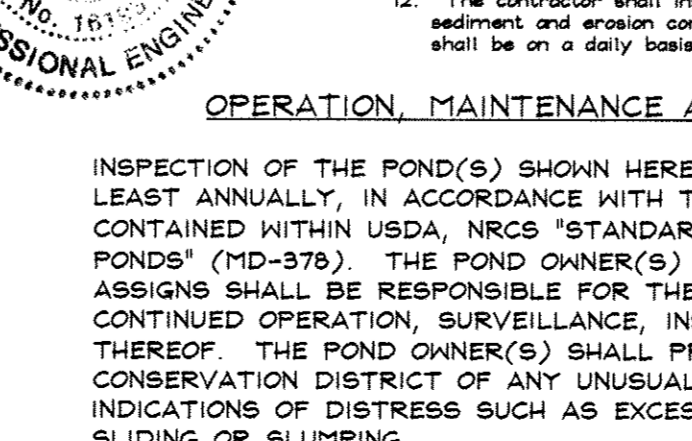
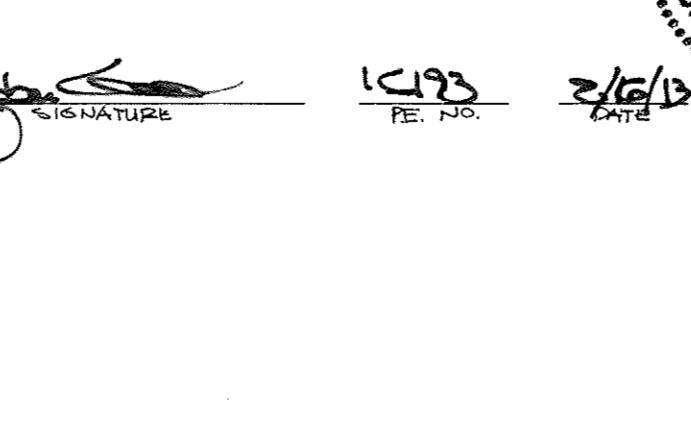
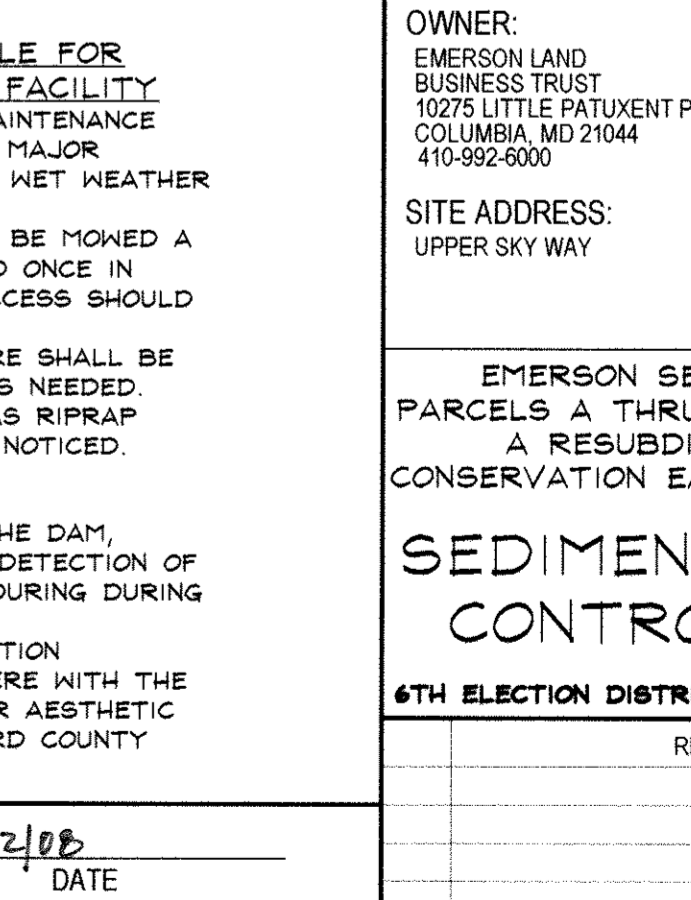
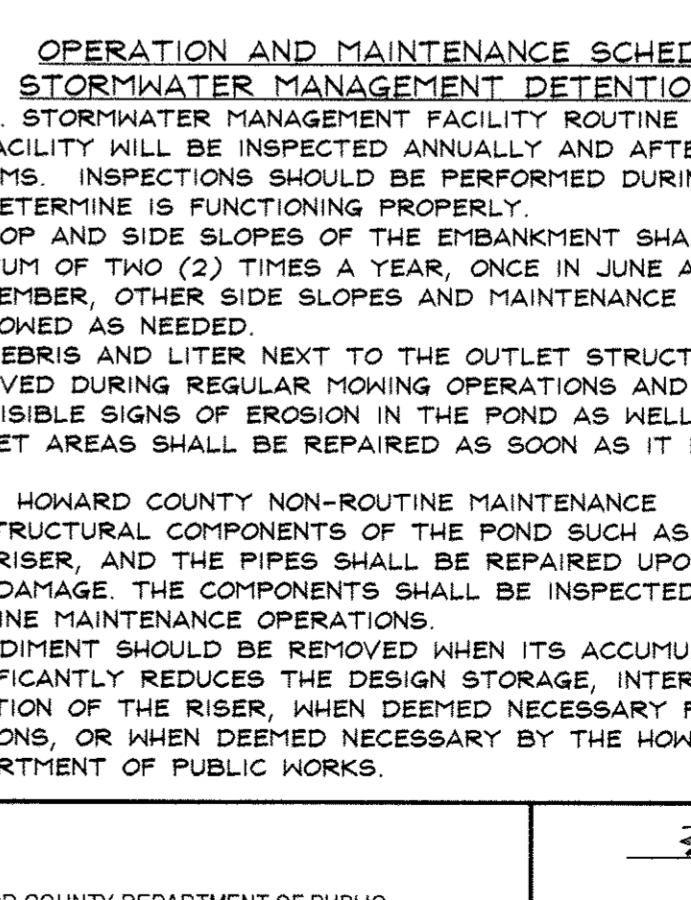
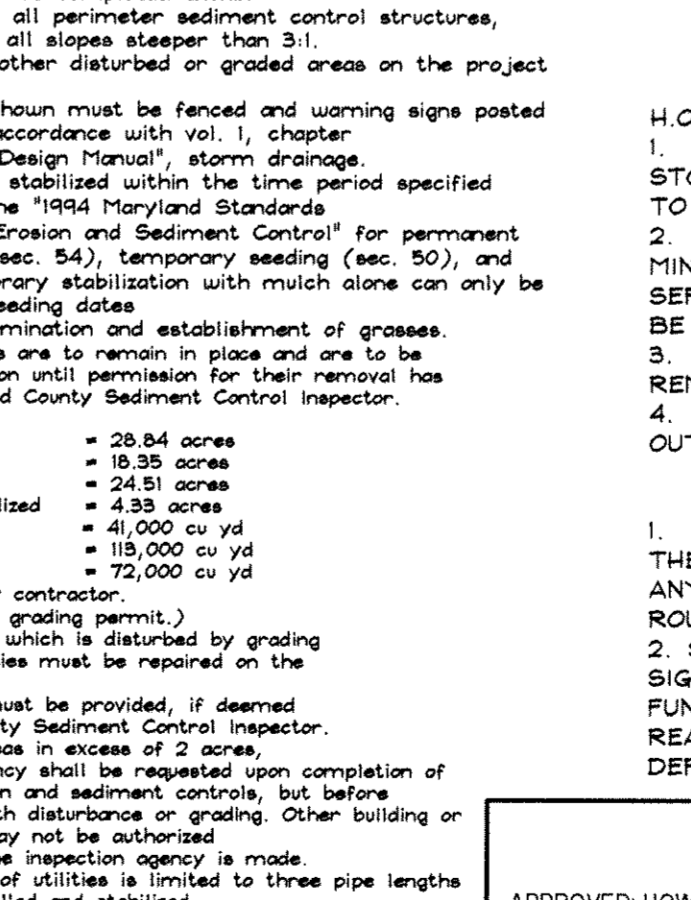
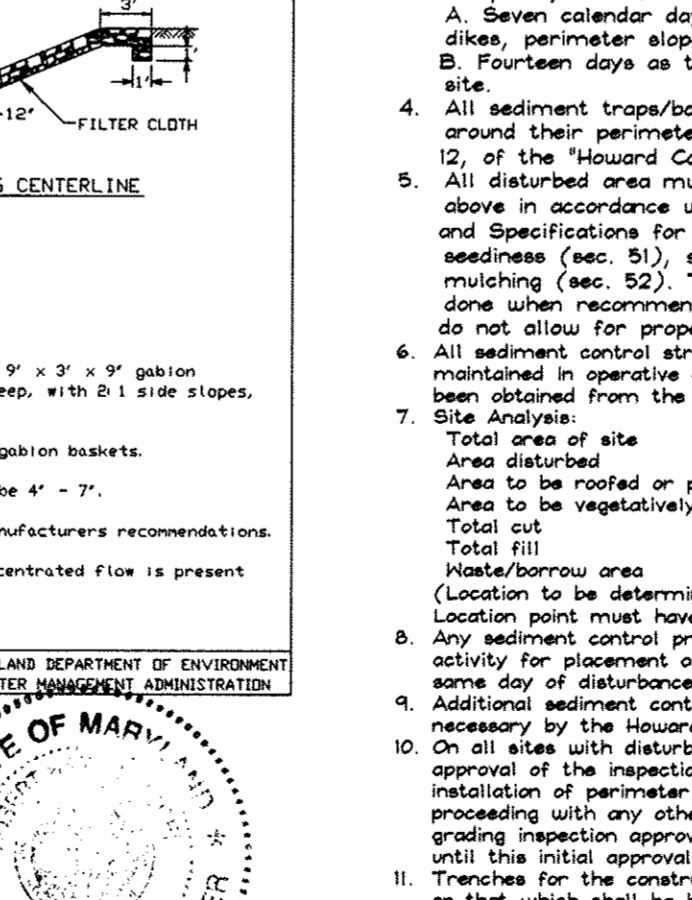
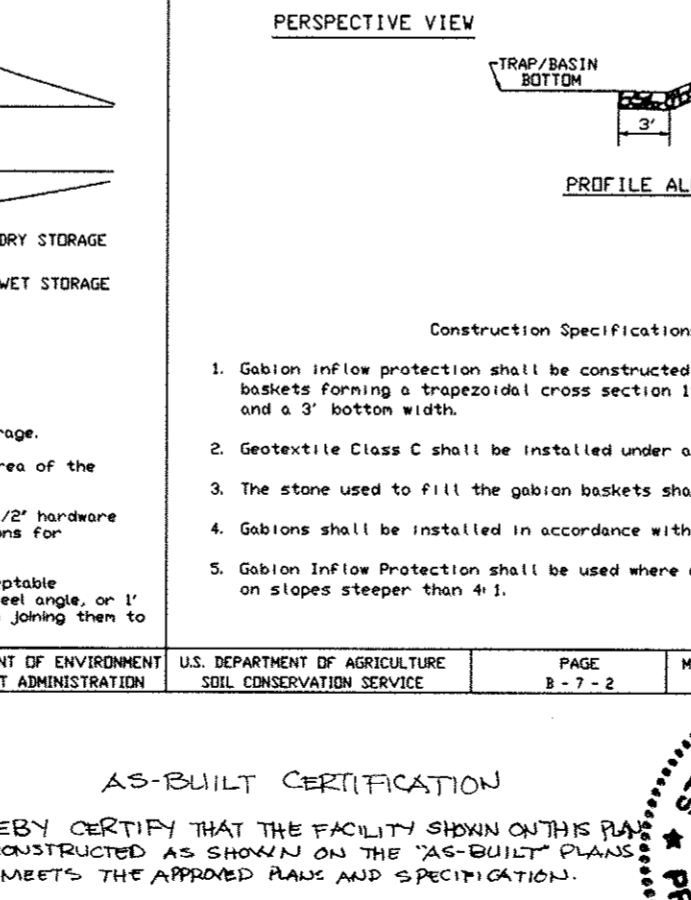
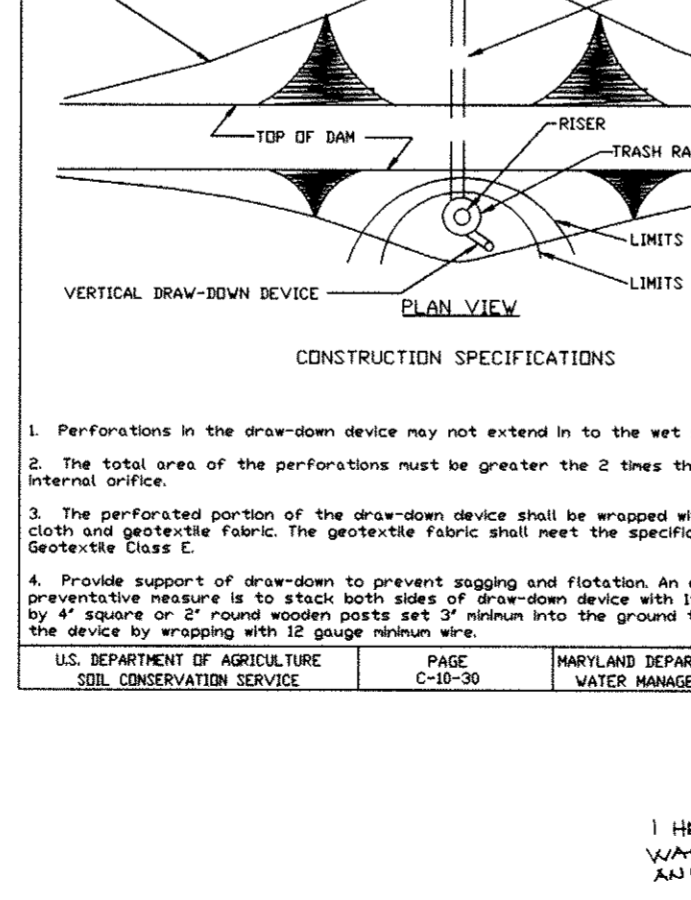
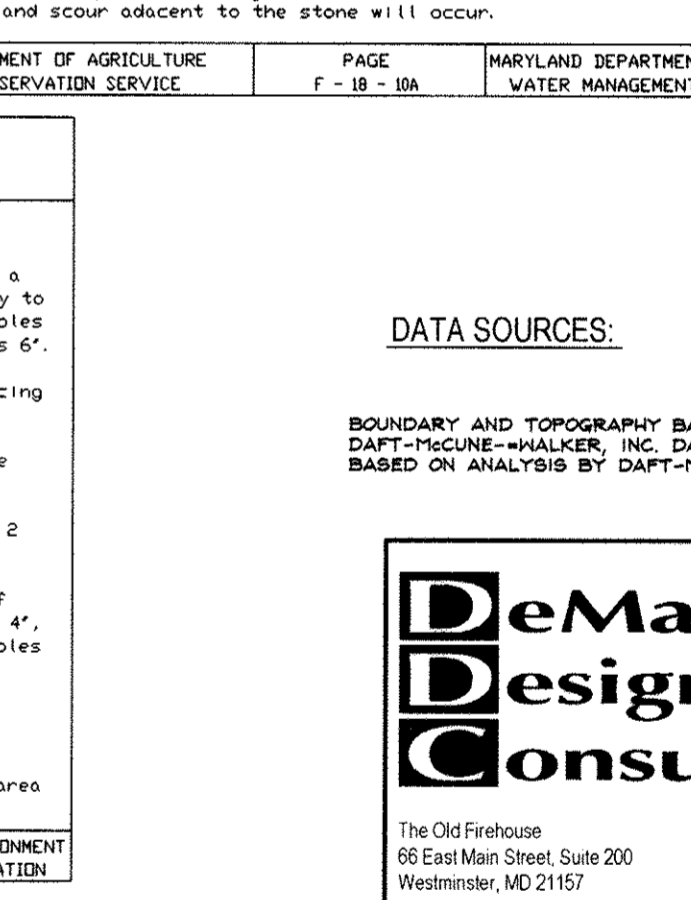
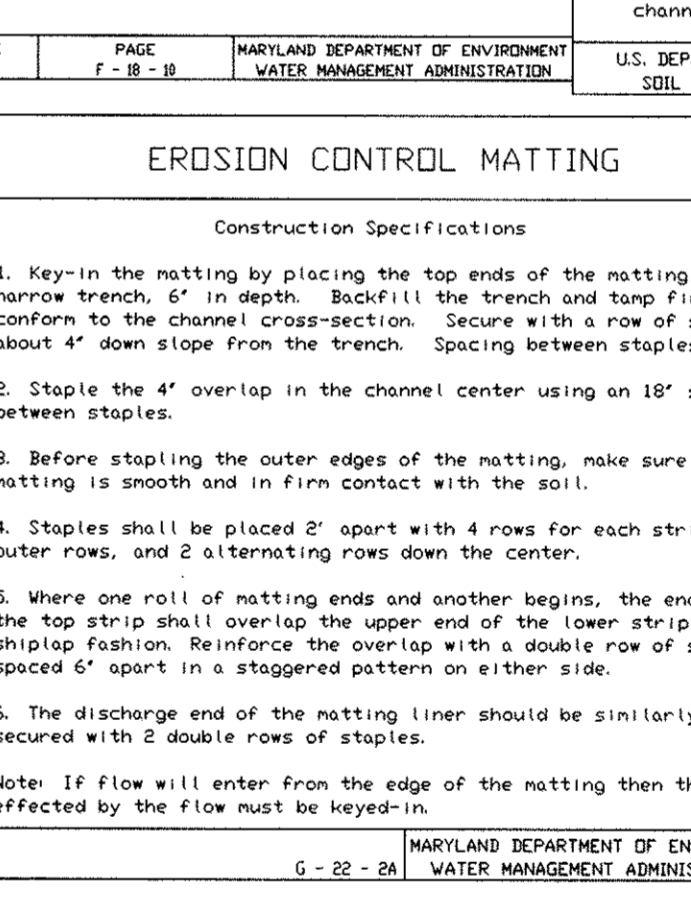
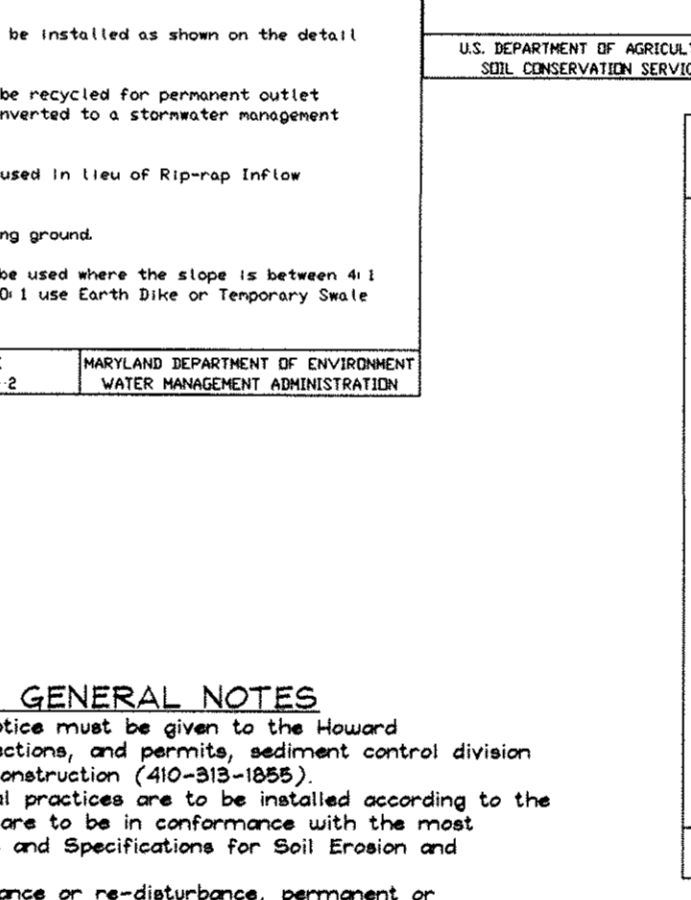
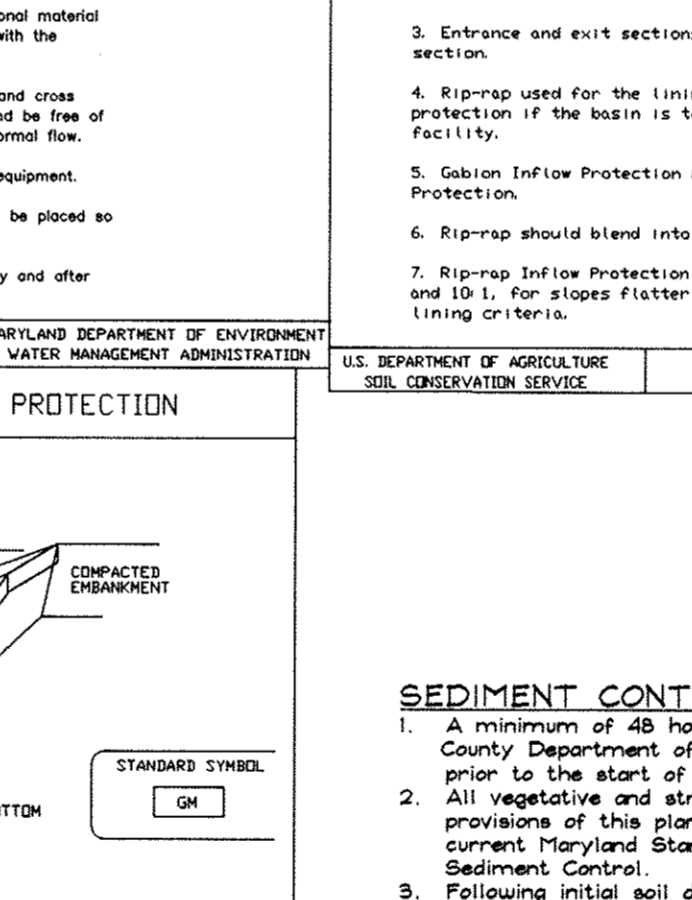
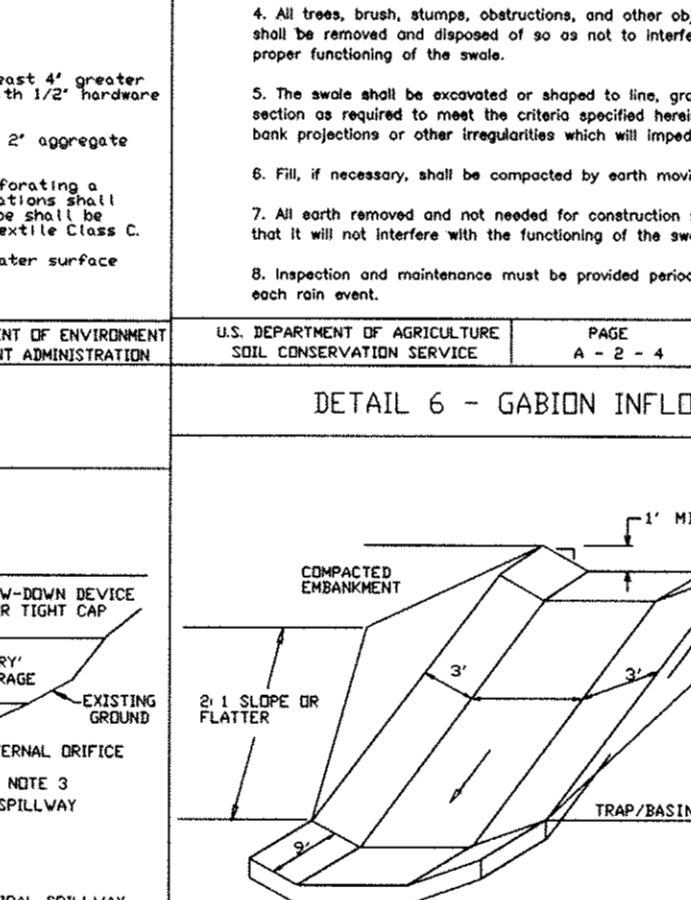
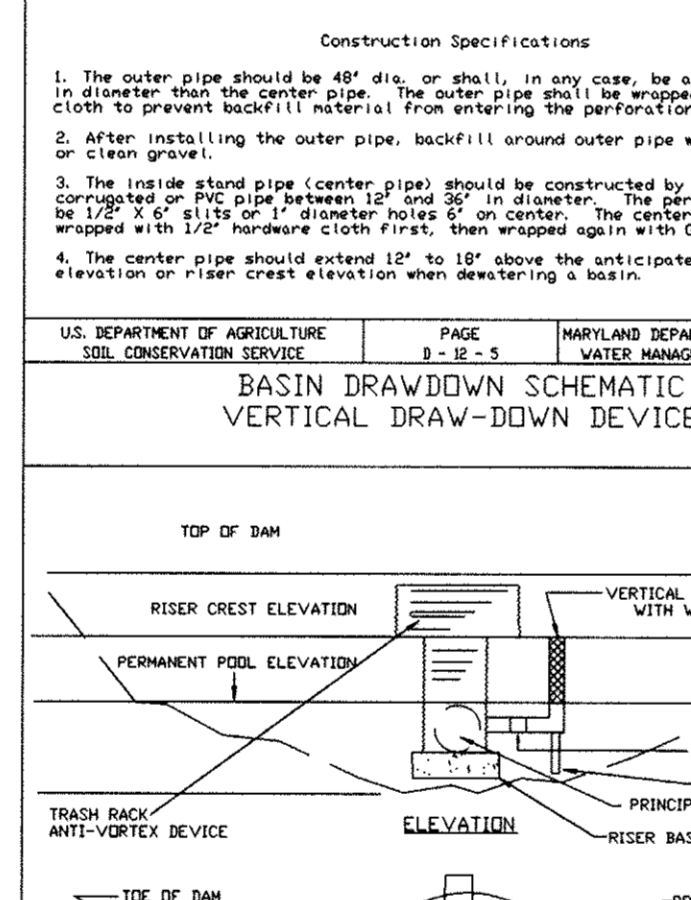
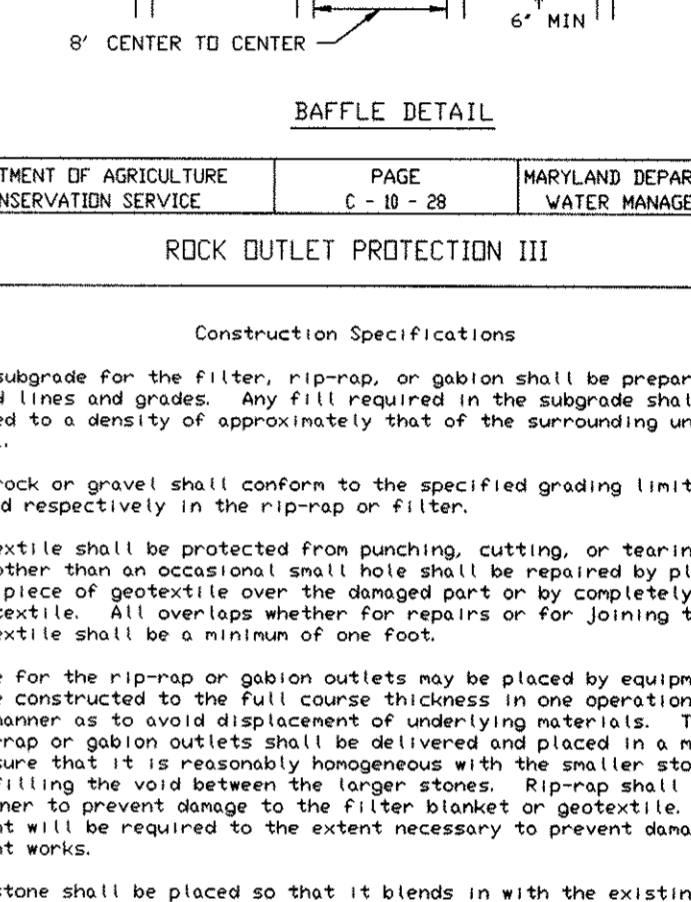
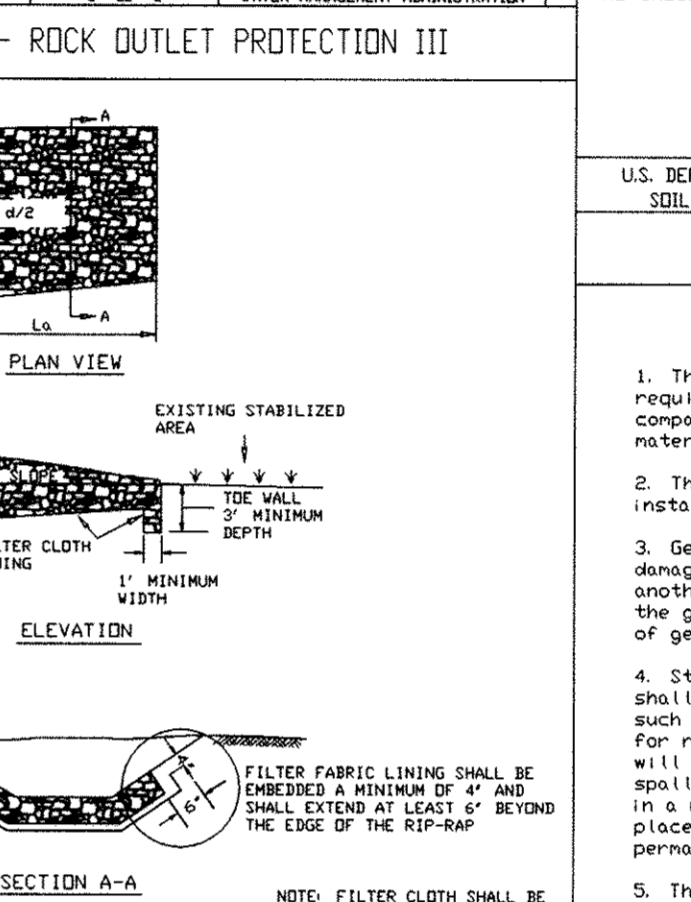
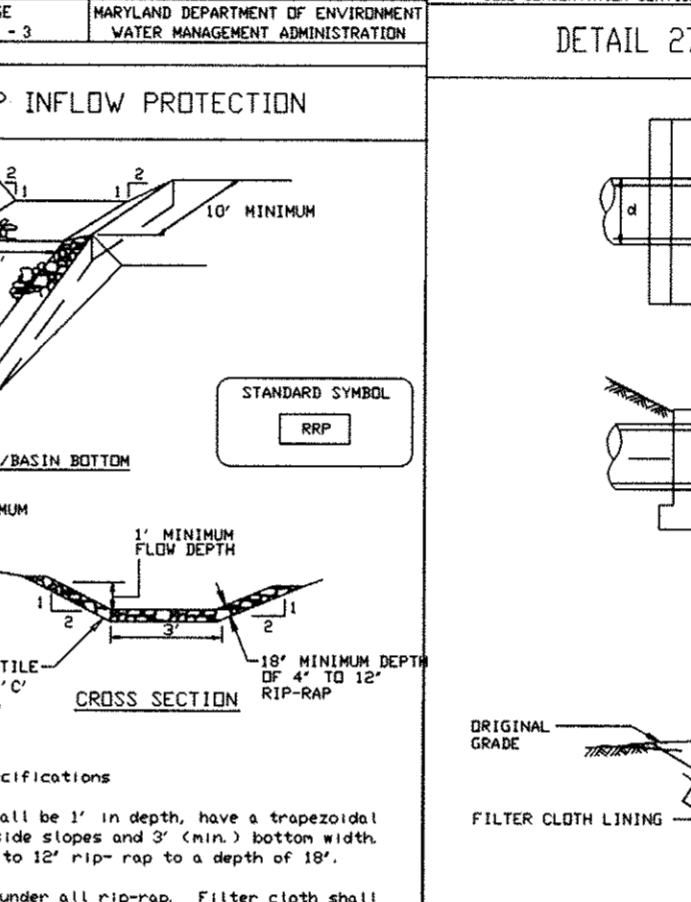
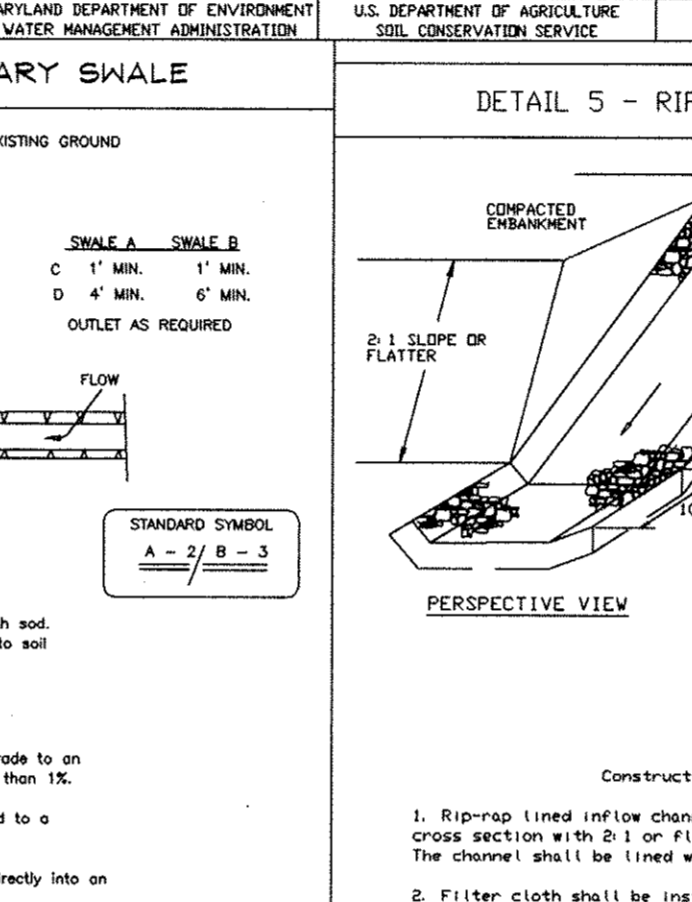
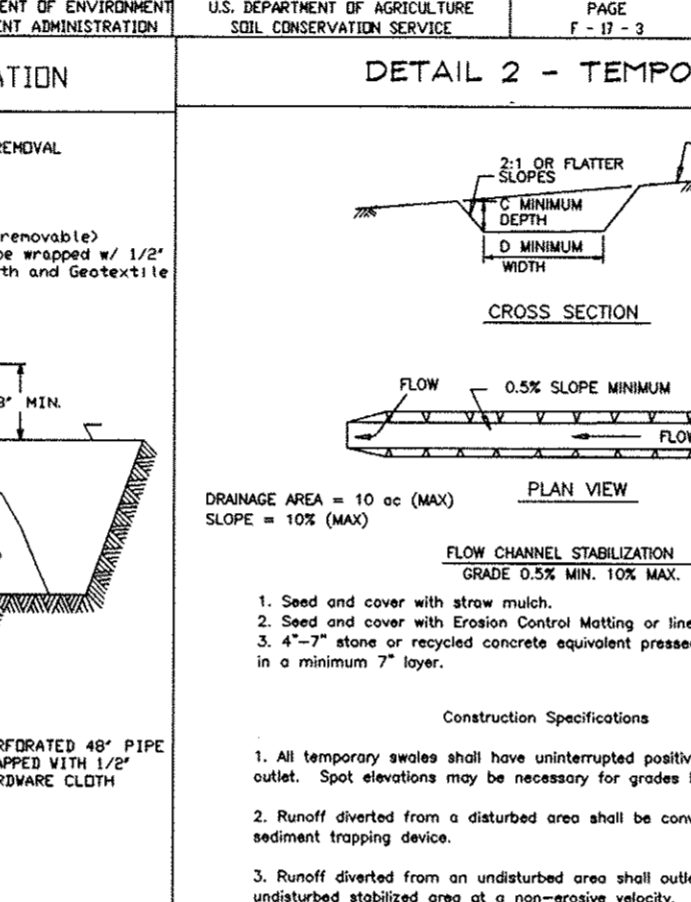
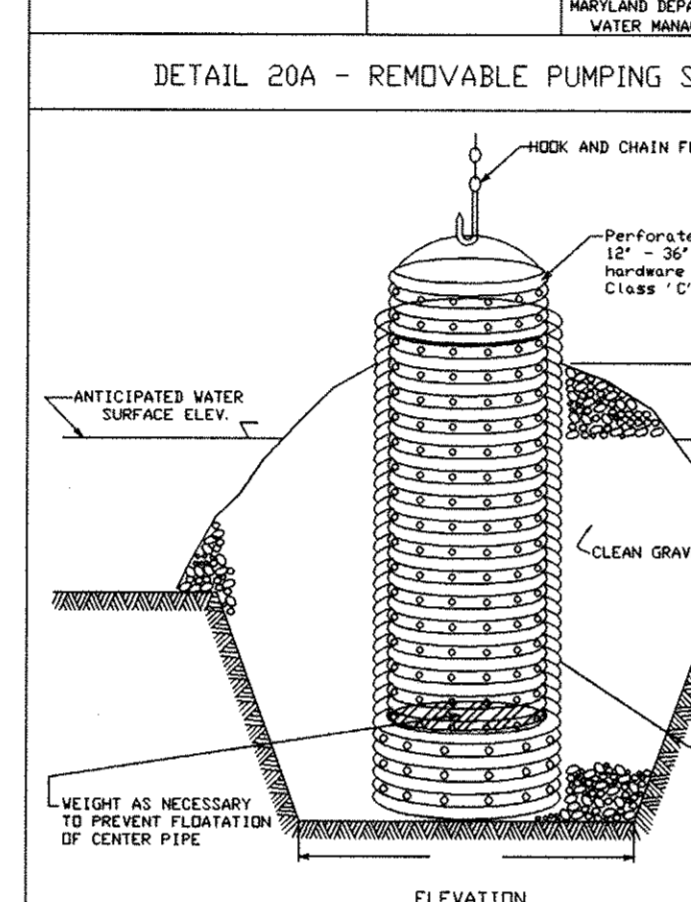
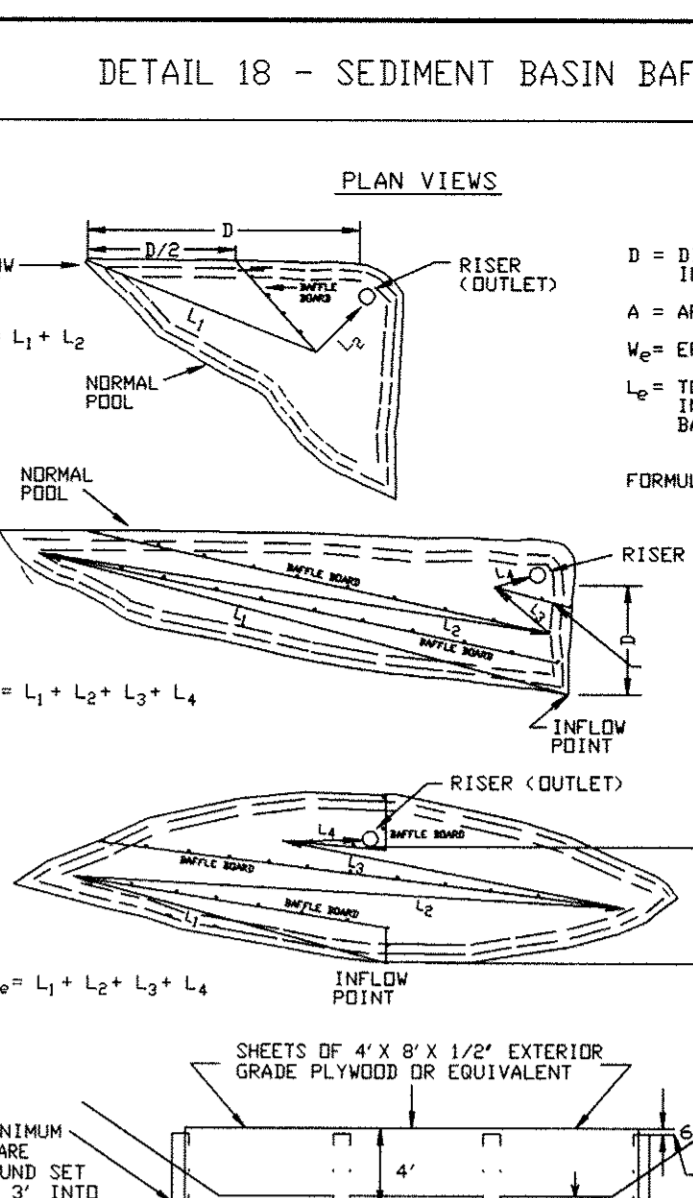
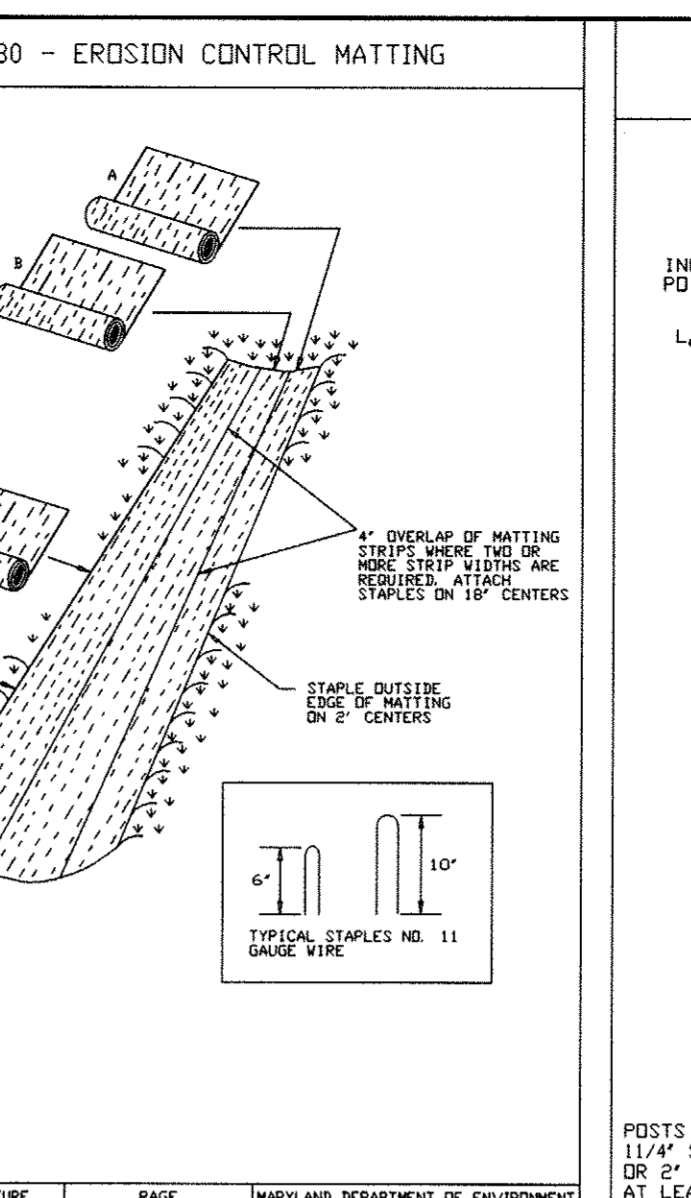
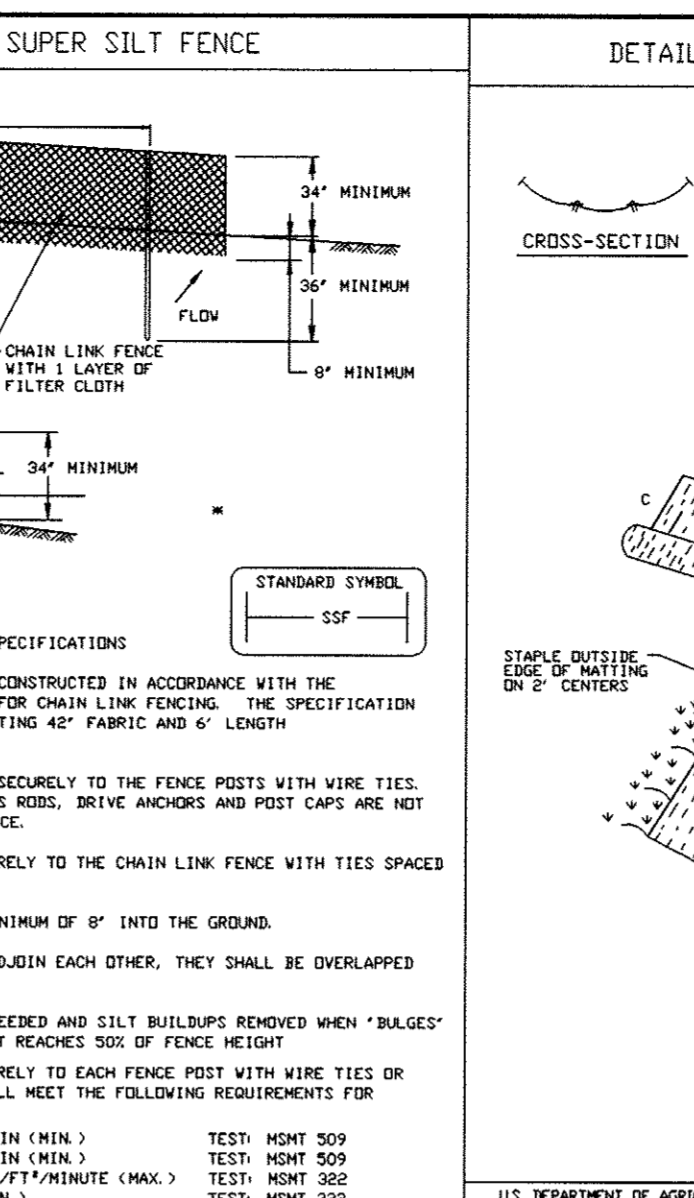
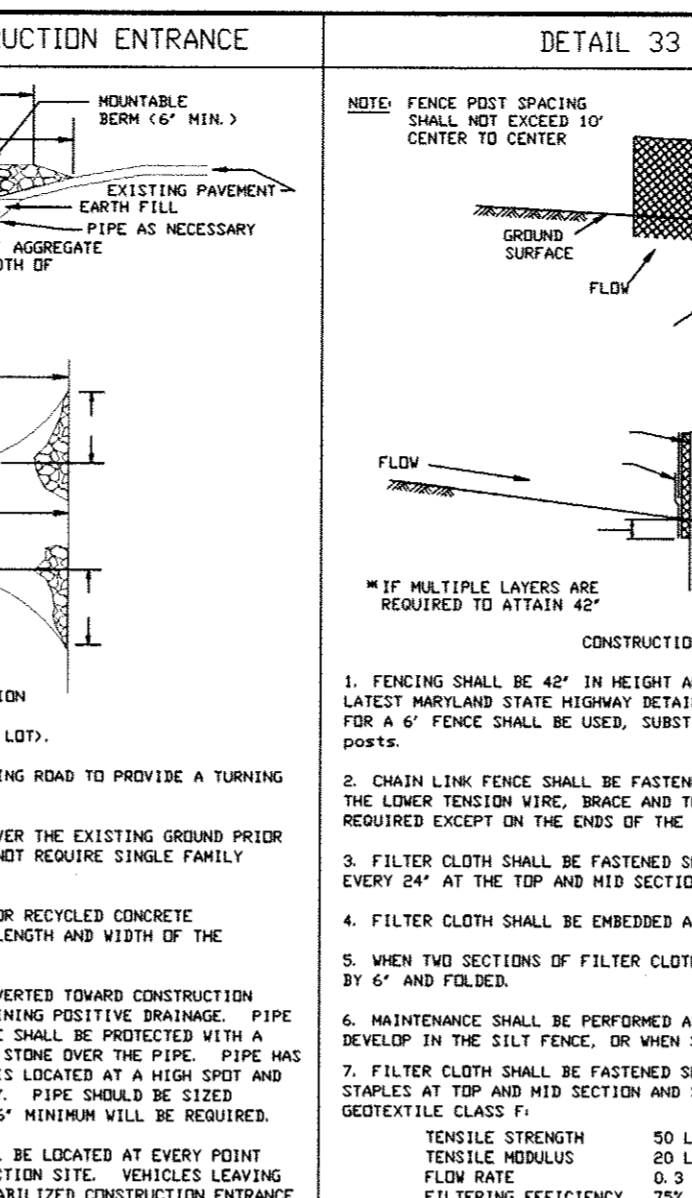
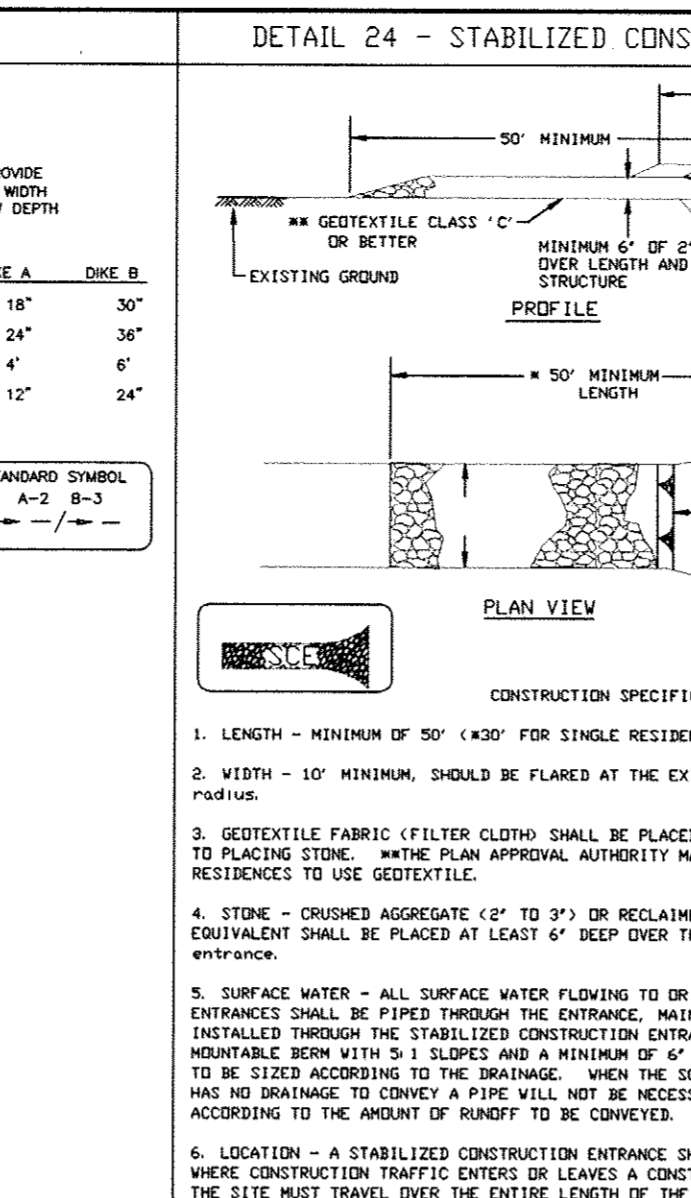
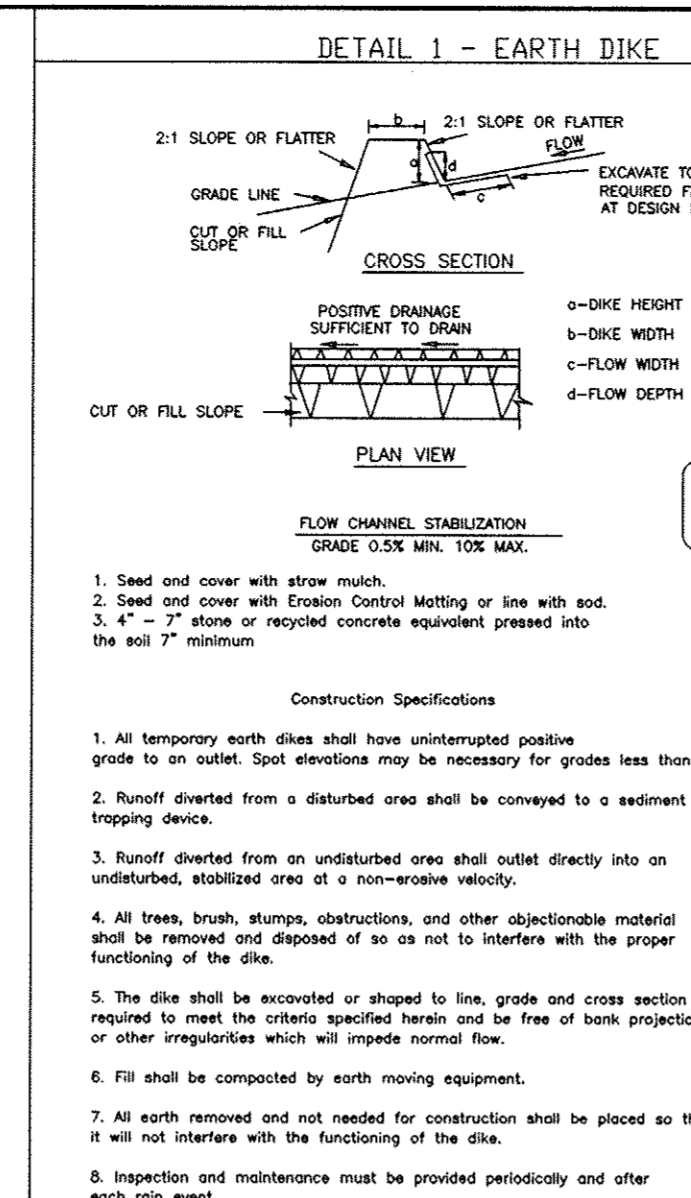
- 1. All temporary work shall have unimpaired positive grade to an outlet. Spot elevations may be necessary for grades less than 1%.
2. Runoff diverted from a disturbed area shall be conveyed to a sediment trapping device.
3. Runoff diverted from an undisturbed area shall outlet directly into an existing water body or to a non-erosive outlet.

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OPERATION, MAINTENANCE AND INSPECTION
INSPECTION OF THE POND(S) SHOWN HEREON SHALL BE PERFORMED AT LEAST ANNUALLY, IN ACCORDANCE WITH THE CHECKLIST AND REQUIREMENTS CONTAINED WITHIN USDA, NRCS 'STANDARDS AND SPECIFICATIONS FOR PONDS' (MD-378). THE POND OWNER(S) AND ANY HEIRS, SUCCESSORS OR ASSIGNS SHALL BE RESPONSIBLE FOR THE SAFETY OF THE POND AND THE CONTINUED OPERATION, SURVEILLANCE, INSPECTION AND MAINTENANCE THEREOF. THE POND OWNER(S) SHALL NOTIFY THE HOWARD SOIL CONSERVATION DISTRICT OF ANY UNUSUAL OBSERVATIONS THAT MAY BE INDICATIONS OF DISTRESS SUCH AS EXCESSIVE SEEPAGE, TURBID SEEPAGE, SLIDING OR SLUMPING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
APPROVED: HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION

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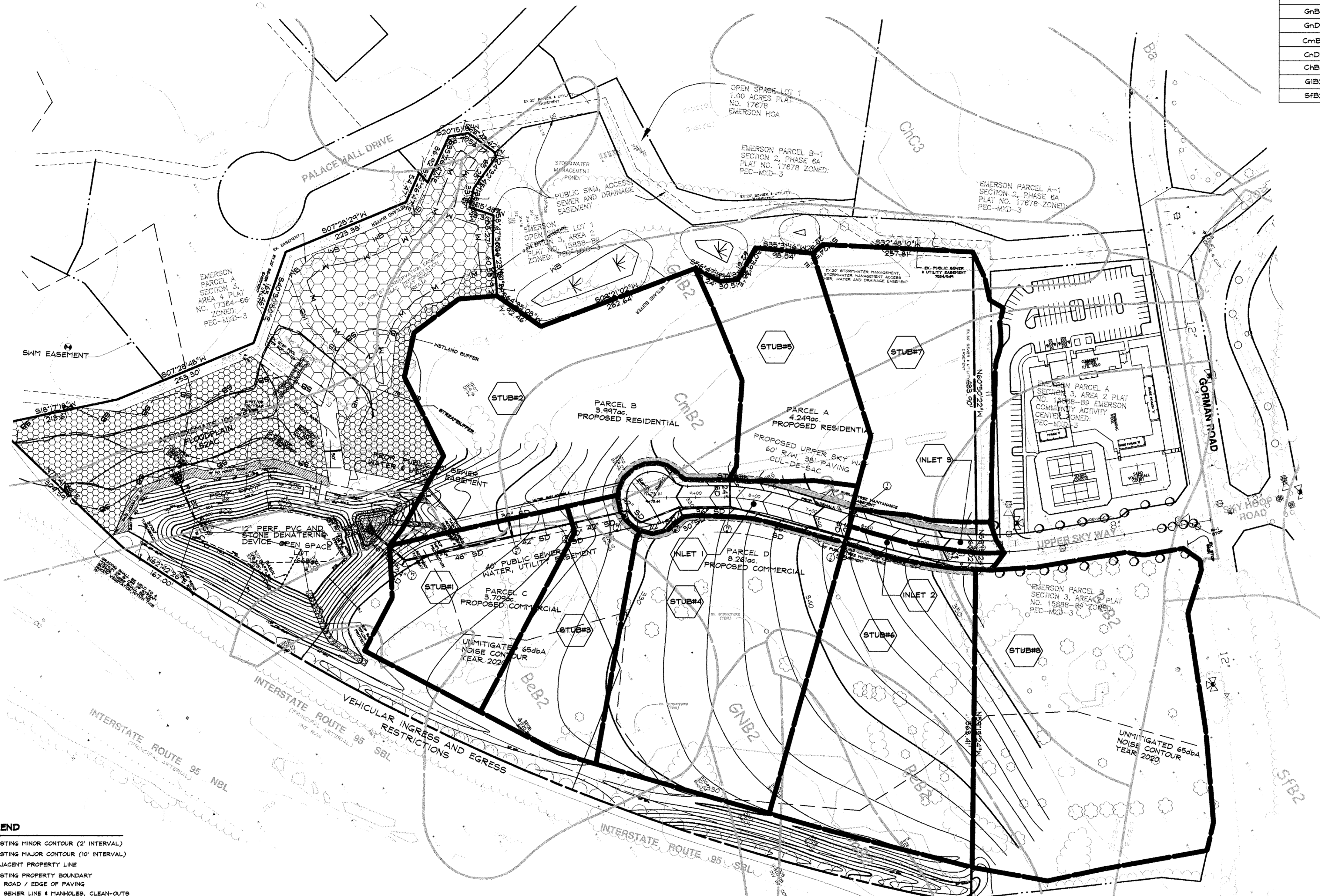
APPROVED: HOWARD COUNTY DEPARTMENT OF ENVIRONMENTAL PROTECTION
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SOILS CHART			
CODE(CLASS)	NAME	HYDRIC (Y/N/INCL.)	K VALUE
BbB2(C)	BELTSVILLE SILT LOAM, 1%-5% SLOPES, MODERATELY ERODED	INCLUSIONS	0.43
BcC2(C)	BELTSVILLE SILT LOAM, 5%-10% SLOPES, MODERATELY ERODED	INCLUSIONS	0.43
GnB2(C)	GLENVILLE SILT LOAM, 3%-8% SLOPES, MODERATELY ERODED	INCLUSIONS	0.32
GnD3(C)	GLENVILLE SILT LOAM, 15%-25% SLOPES, MODERATELY ERODED	INCLUSIONS	0.32
CmB2(B)	CHILLUM SILT LOAM, 1%-5% SLOPES, MODERATELY ERODED	N	0.43
CnD3(B)	CHILLUM-FAIRFAX LOAMS, 5%-15% SLOPES, SEVERELY ERODED	N	0.43
ChB2(B)	CHESTER SILT LOAM, 3%-8% SLOPES, MODERATELY ERODED	N	0.32
GIB2(B)	GLENELG LOAM, 3%-8% SLOPES, MODERATELY ERODED	N	0.32
SfB2(B)	SASSAFRAS LOAM, 3%-8% SLOPES, MODERATELY ERODED	N	0.32

DRAINAGE AREA COMPS			
D.A.	"C" FACTOR	% IMPERVIOUS	ACRES
INLET#1	0.63	66%	0.75
INLET#2	0.73	80%	0.18
INLET#3	0.56	55%	0.26
STUB#1	0.72	72%	1.64
STUB#2	0.72	72%	4.24
STUB#3	0.72	72%	1.49
STUB#4	0.72	72%	3.54
STUB#5	0.72	72%	1.79
STUB#6	0.72	72%	3.28
STUB#7	0.72	72%	2.65
STUB#8	0.72	72%	4.76



DATA SOURCES:

BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-MCUNE-WALKER, INC. DATED SEPTEMBER 1989. FLOODPLAIN BASED ON ANALYSIS BY DAFT-MCUNE-WALKER, INC.

DeMario Design Consultants, Inc.
 The Old Firehouse
 66 East Main Street, Suite 200
 Westminster, MD 21157
 Phone: (410) 386-0560
 Fax: (410) 386-0564
 eMail: ddc@demariodesign.com

OWNER:
 EMERSON LAND BUSINESS TRUST
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-6000

DEVELOPER:
 GENERAL GROWTH PROPERTIES
 10275 LITTLE PATUXENT PKWY
 COLUMBIA, MD 21044
 410-992-6000

SITE ADDRESS:
 UPPER SKY WAY

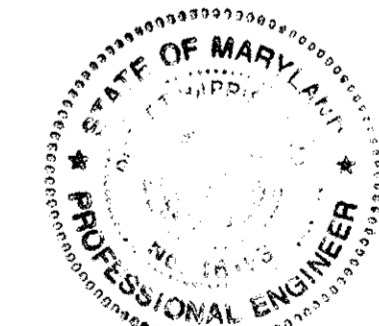
EMERSON SECTION 2, PHASE 8B
 PARCELS A THRU D & OPEN SPACE LOT 1
 A RESUBDIVISION OF FOREST
 CONSERVATION EASEMENT PLAT NO. 18000

STORM DRAIN DRAINAGE AREA MAP

6TH ELECTION DISTRICT HOWARD COUNTY, MD

REVISIONS

NO.	DESCRIPTION OF CHANGES	DRN.	REV	DATE
CO. FILE #	F-07-141	DES. BY:	JCO	
TAX ACC. #	N/A	DRN. BY:	SDS	
TAX MAP:	47	CHK. BY:	MRT	
BLOCK / GRID:	8	DATE:	9.26.07	
PARCEL #:	462 & 837	DDC JOB#:	05104.2	
ZONE / USE:	PEC-MXD-3	SHEET NUMBER:		
DWG. SCALE:	1"=100'		6 of 14	



AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.
 [Signature] ICD3 8/6/13

DRAWING LEGEND

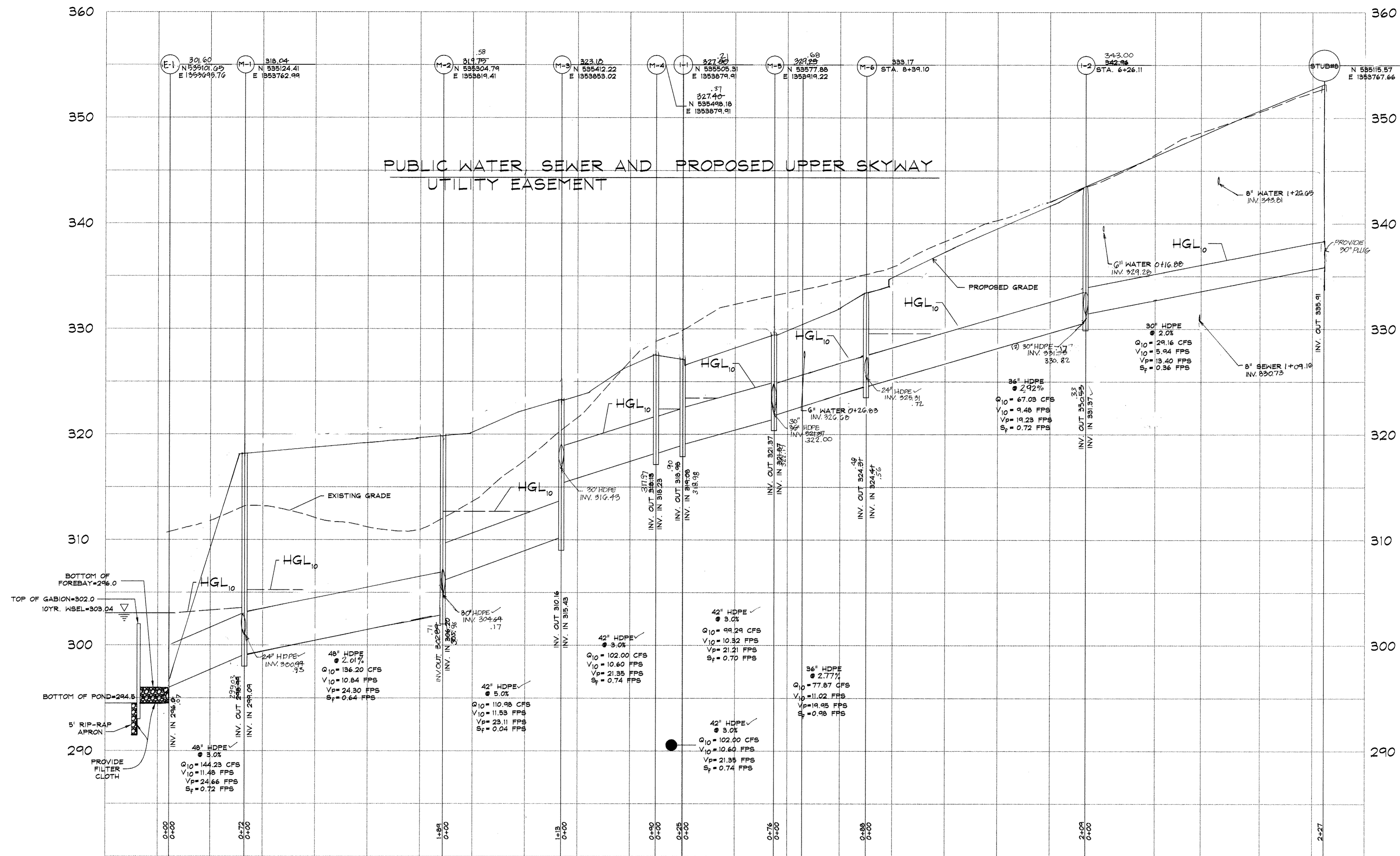
	EXISTING MINOR CONTOUR (2' INTERVAL)
	EXISTING MAJOR CONTOUR (10' INTERVAL)
	ADJACENT PROPERTY LINE
	EXISTING PROPERTY BOUNDARY
	EX. ROAD / EDGE OF PAVING
	EX. SEWER LINE & MANHOLES, CLEAN-OUTS
	EX. OVERHEAD ELECTRIC & UTILITY POLES
	PROPOSED MINOR CONTOUR (2' INTERVAL)
	PROPOSED MAJOR CONTOUR (10' INTERVAL)
	PROP. STANDARD CURB & GUTTER
	PROP. REVERSIBLE CURB & GUTTER
	PROP. CURBLESS GUTTER
	PROPOSED PRIVATE ROAD/DRIVE CENTERLINE
	EX. BUILDING
	PROPOSED BUILDING EXPANSION
	PROPOSED SPOT ELEVATION & FLOW ARROW
	EXISTING TREES
	PROPOSED ORNAMENTAL TREE
	PROPOSED SHADE TREE
	PROPOSED EVERGREEN TREE
	EXISTING TREELINE
	EXISTING SHRUB/BRUSH LINE
	PROPOSED STORM DRAIN W/ INLETS & MANHOLES
	PROPOSED INLET PROTECTION MEASURES
	PROPOSED WATER LINE & HYDRANT
	PROPOSED SEWER AND MANHOLES
	PROPOSED ELECTRIC TRANSFORMER
	PROPOSED ELECTRIC METER
	EXISTING FOREST CONSERVATION EASEMENT
	PROPOSED FOREST CONSERVATION EASEMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
 [Signature] 4-7-08
 CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 [Signature] 4/15/09
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

3/2/06 DATE
 Professional Certification.
 I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25420, Expiration Date: 7.20.08.





DATA SOURCES:

BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-McGUE-WALKER, INC. DATED SEPTEMBER 1988. FLOODPLAIN BASED ON ANALYSIS BY DAFT-McGUE-WALKER, INC.

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Fax: (410) 386-0564
eMail: dco@demariodesign.com

OWNER: EMERSON LAND BUSINESS TRUST
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

DEVELOPER: GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

SITE ADDRESS:
UPPER SKYWAY

EMERSON SECTION 2, PHASE 8B
PARCELS C THRU E & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST
CONSERVATION EASEMENT PLAT NO. 18000

STORM DRAIN PROFILES

6TH ELECTION DISTRICT HOWARD COUNTY, MD

NO.	REVISIONS	DATE
1	REVISE PLANS TO REFLECT CHANGES BY ADDING GRADING TO PARCEL E AND REMOVE GRADING FROM PARCELS C & D	3/19/2010

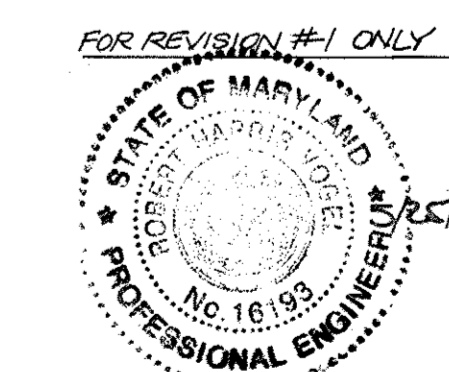
NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #:	F-07-141	DES. BY:	JCO	
TAX ACC. #:	N/A	DRN. BY:	SDS	
BLOCK / GRID:	47	CHK. BY:	MRT	
PARCEL #:	462 & 837	DATE:	9.26.07	
ZONE / USE:	PEC-MXD-3	DDC JOB#:	05104.2	
DWG. SCALE:	1"=50'	SHEET NUMBER:		

STORM DRAIN PROFILES END TO START
SCALE - HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPLICABLE PLANS AND SPECIFICATIONS.

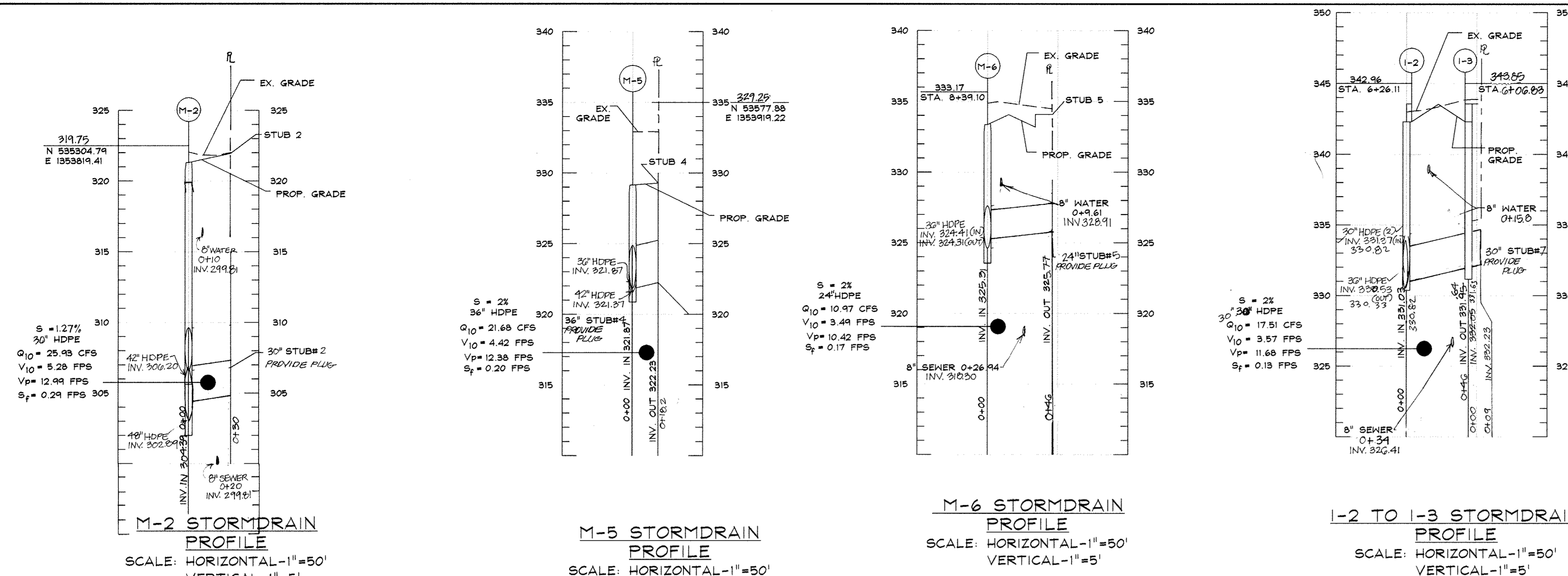
Signature: [Signature]
DATE: 4-7-07



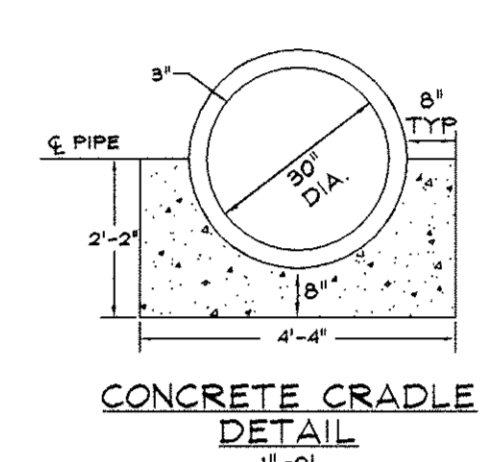
APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
[Signature]
CHIEF, BUREAU OF HIGHWAYS
DATE: 4-7-07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
[Signature]
CHIEF DIVISION OF DEVELOPMENT
DATE: 4/15/07

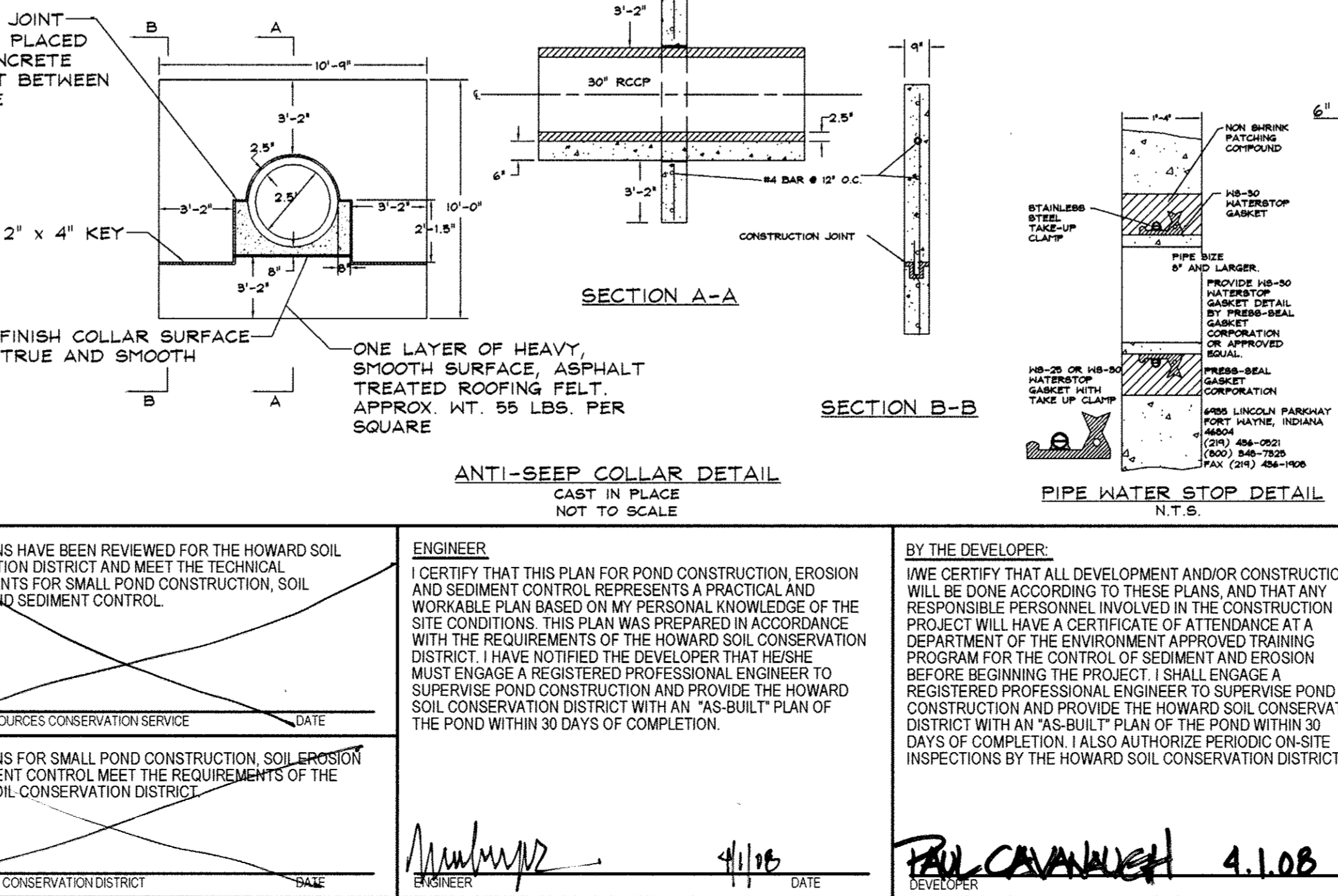
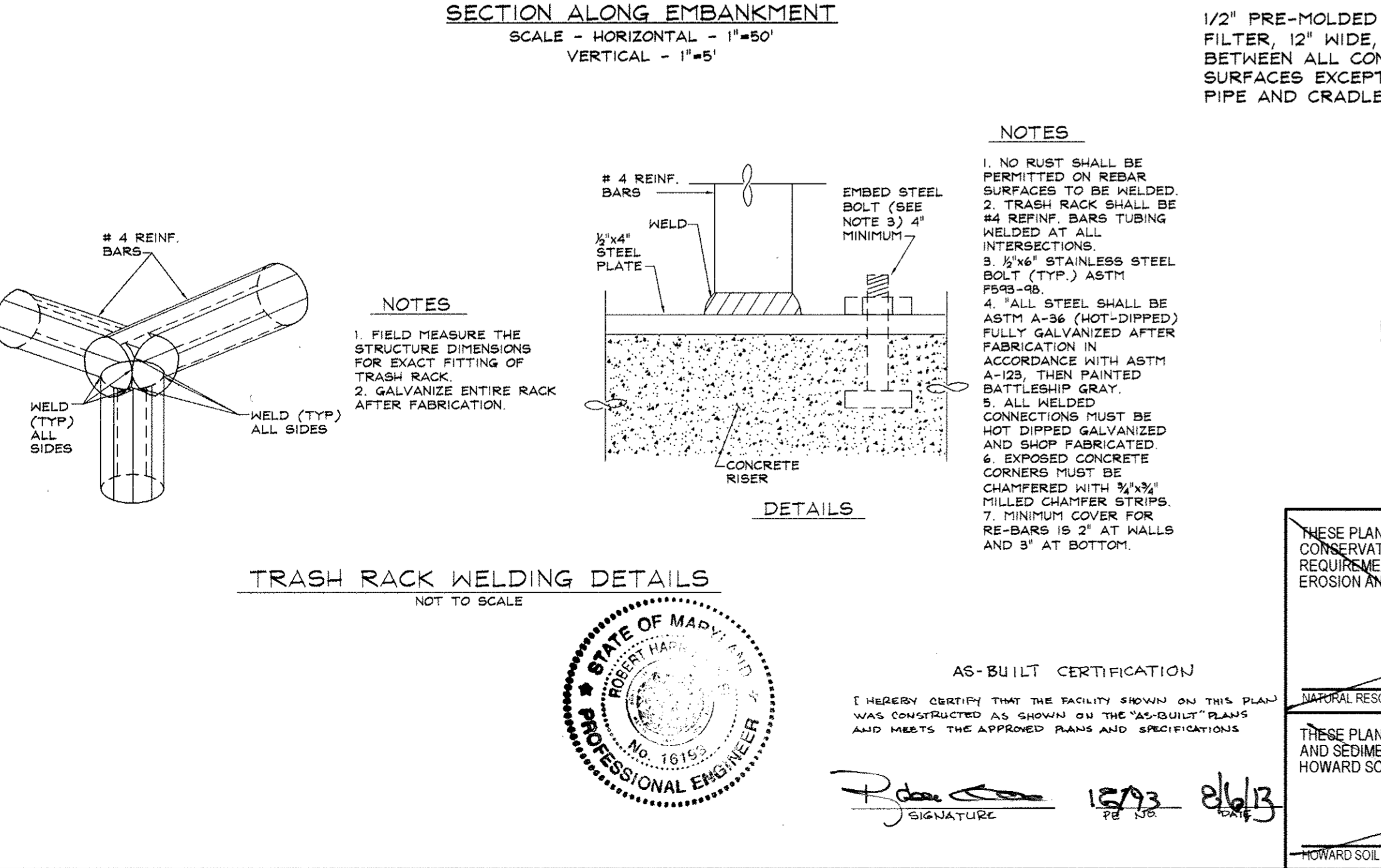
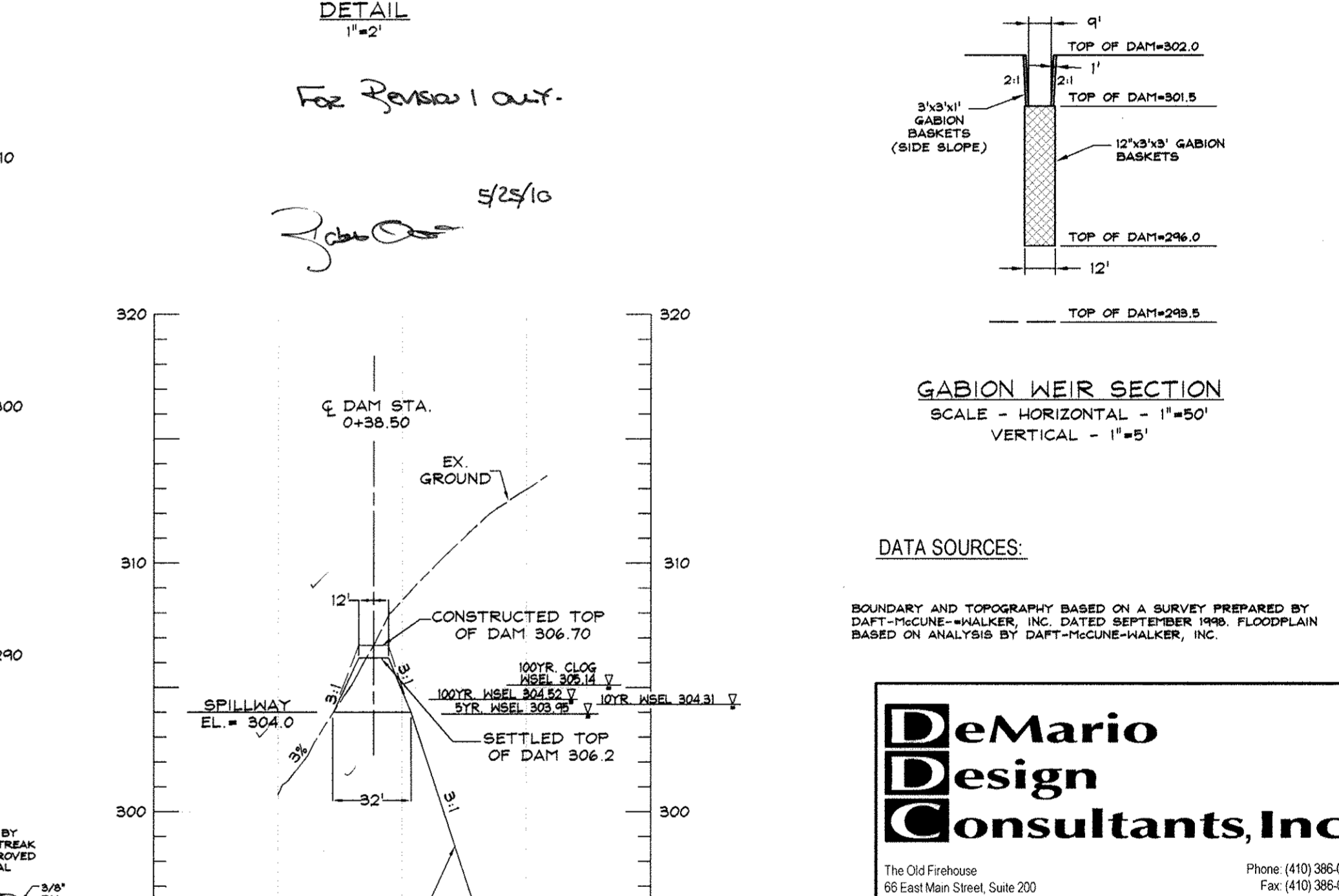
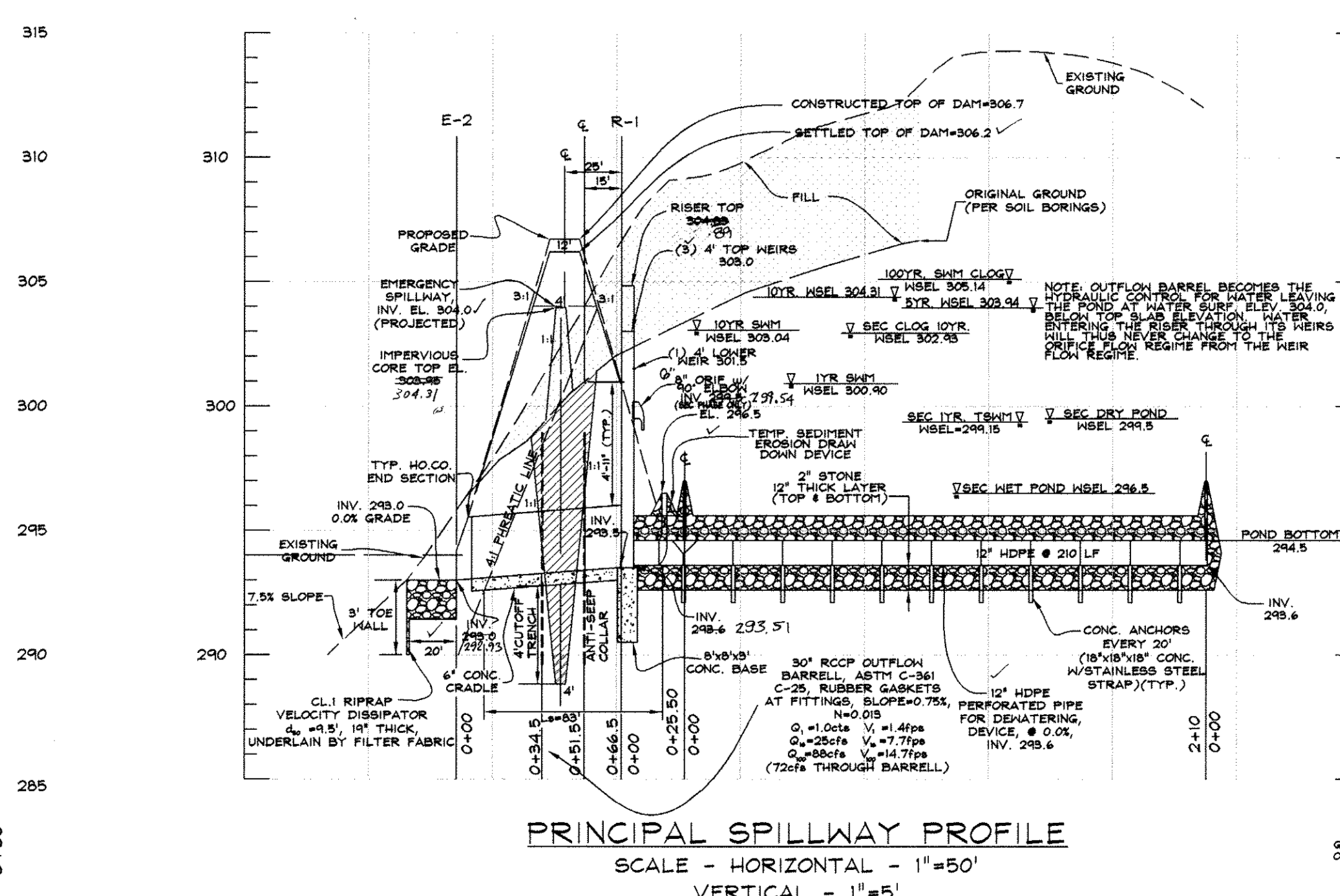
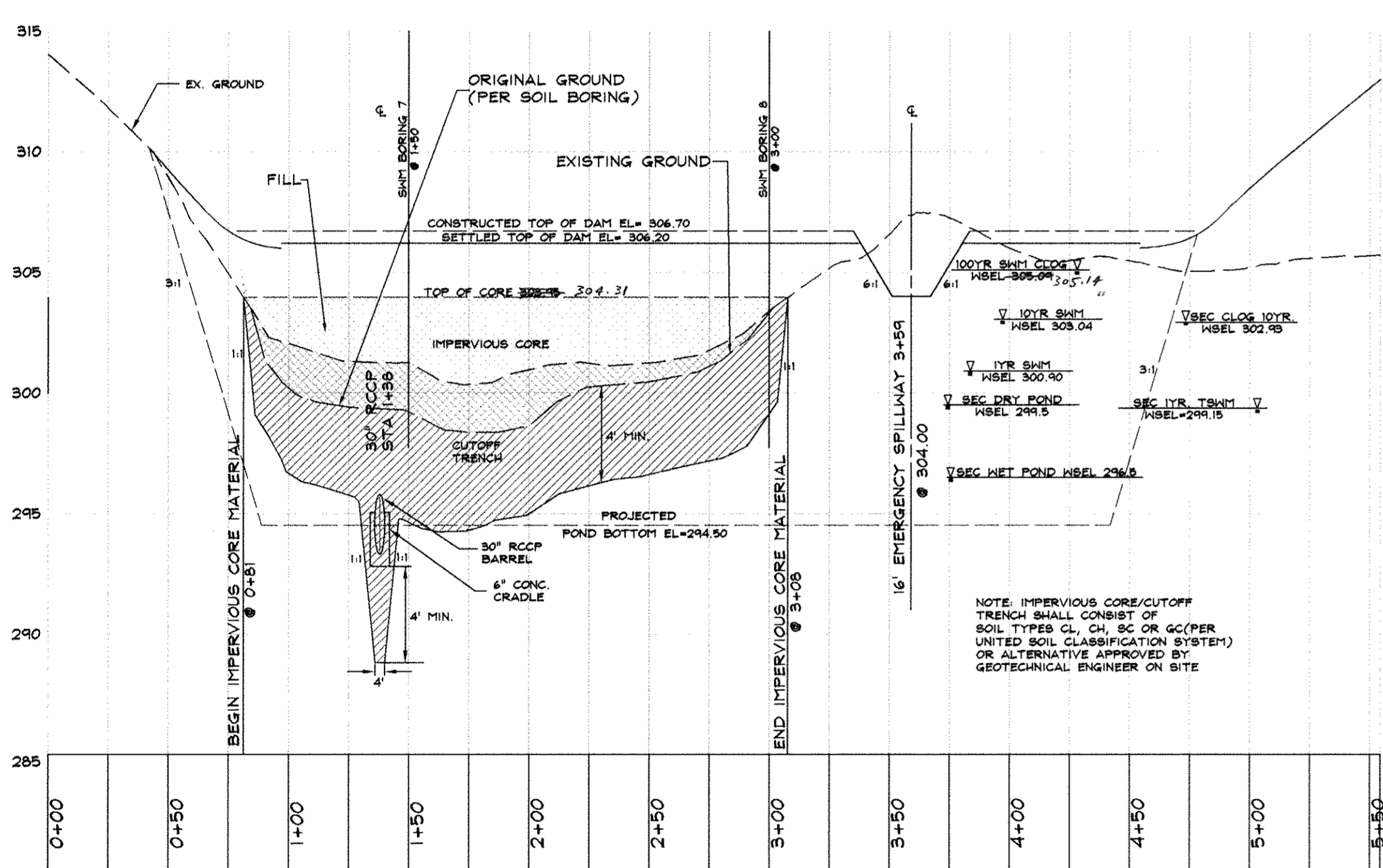
APPROVED:
[Signature]
DATE: 3/12/08
Professional Certification.
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 25420, Expiration Date: 7.20.08.



NO.	TYPE	DETAIL	INV. IN	INV. OUT	TOP	LOCATION
E-1	18" CONCRETE END SECTION	SD 591		296.00		N 535101.65 E 1353095.76
M-1	STANDARD PRECAST MANHOLE	MD 304.05	281.03	319.77	319.77	N 535124.41 E 1353762.91
M-2	STANDARD PRECAST MANHOLE	MD 304.05	319.77	319.77	319.77	N 535304.74 E 1353819.41
M-3	STANDARD PRECAST MANHOLE	MD 304.05	319.77	319.77	319.77	N 535412.22 E 1353883.02
M-4	STANDARD PRECAST MANHOLE	MD 304.05	319.77	319.77	319.77	N 535496.18 E 1353879.91
M-5	STANDARD PRECAST MANHOLE	MD 304.05	319.77	319.77	319.77	N 535778.88 E 1353914.22
M-6	STANDARD PRECAST MANHOLE	MD 304.05	319.77	319.77	319.77	STA. 6+39.10 @ 334.54
I-1	TYPE 'A-10' INLET	SD 4.02	319.08	318.90	318.90	LP STA. 0+94.67 @ 327.90
I-2	TYPE 'A-10' INLET	SD 4.02	331.37	331.03	331.03	STA. 6+26.11 @ 342.96
I-3	TYPE 'A-10' INLET	SD 4.02	332.05	331.96	331.96	STA. 6+26.11 @ 342.96
STUB 8	N/A	N/A	N/A	N/A	N/A	4+05.98
STUB 7	N/A	N/A	N/A	N/A	N/A	6+26.11 R
STUB 6	N/A	N/A	N/A	N/A	N/A	6+26.11 L
STUB 5	N/A	N/A	N/A	N/A	N/A	8+43.07
STUB 4	N/A	N/A	N/A	N/A	N/A	4+22.44
STUB 3	N/A	N/A	N/A	N/A	N/A	N 535404.24 E 1353862.56
STUB 2	N/A	N/A	N/A	N/A	N/A	N 535313.75 E 1353790.78
STUB 1	N/A	N/A	N/A	N/A	N/A	N 535115.57 E 1353767.66



SIZE (IN.)	CATEGORY	LINEAR (FT.)
24	HDPE	56'
30	HDPE	336'
36	HDPE	297'
42	HDPE	304'
48	HDPE	261'



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EMERSON SECTION 2, PHASE 8B PARCELS C THRU E & OPEN SPACE LOT 1 A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000

STORMDRAIN PROFILES AND NOTES

6TH ELECTION DISTRICT HOWARD COUNTY, MD

REVISIONS

NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE
1	REVISE PLANS TO REFLECT CHANGES BY ADDING GRADING TO PARCELS E AND REMOVE GRADING FROM PARCELS C & D			5/25/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 4-7-09

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/16/10

APPROVED: HOWARD COUNTY DEPARTMENT OF ENGINEERING DIVISION
 [Signature] 4/15/10

AS-BUILT CERTIFICATION
 I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

STATE OF MARYLAND PROFESSIONAL ENGINEER
 [Signature] 1593 8/6/13

ENGINEER: [Signature] 4/1/10

BY THE DEVELOPER: [Signature] 4.1.08

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
 [Signature] 4/1/10

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/1/10

APPROVED: HOWARD COUNTY DEPARTMENT OF ENGINEERING DIVISION
 [Signature] 4/1/10

CO. FILE # F-07-141 **DES. BY: JCO**

TAX ACC. # N/A **DRN. BY: SDS**

BLK MAP: 47 **CHK. BY: MRT**

BLOCK / GRID: 8 **DATE: 9.26.07**

PARCEL # 462 & 837 **DDC JOB#: 05104.2**

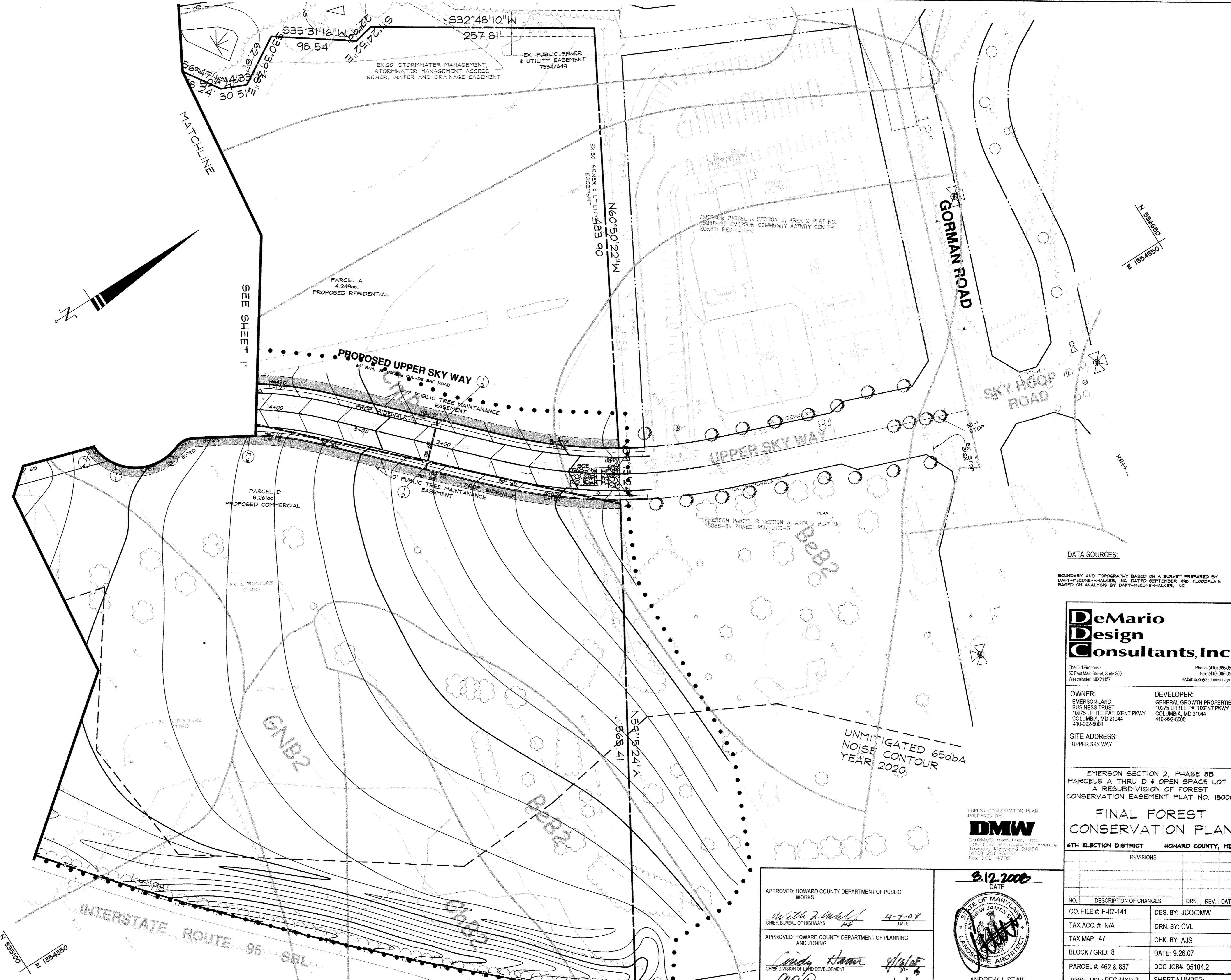
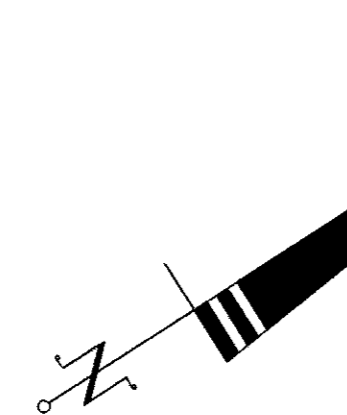
ZONE / USE: PEC-MXD-3 **SHEET NUMBER:**

DWG. SCALE: 1"=50' **8 of 14**

AS-BUILT F-07-141

DRAWING LEGEND

- EXISTING MINOR CONTOUR (2' INTERVAL)
- EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- EXISTING PROPERTY BOUNDARY
- EX. ROAD / EDGE OF PAVING
- EX. SEWER LINE & MANHOLES, CLEAN-OUTS
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- PROP. STANDARD CURB & GUTTER /
- PROP. MOUNTABLE CURB & GUTTER /
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- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREELINE
- EXISTING SHRUB/BRUSH LINE
- PROPOSED STONE DRAIN W/
- PROPOSED INLET PROTECTION MEASURES
- PROPOSED WATER LINE & HYDRANT
- PROPOSED SEWER AND MANHOLES
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED ELECTRIC METER
- EXISTING FOREST CONSERVATION EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- 15' NO WOODY ZONE
- EXISTING WETLANDS
- 25' WETLANDS BUFFER
- TREE PROTECTION FENCING
- FOREST CONSERVATION EASEMENT



E 1358950
N 558700

N 135650
E 1354350

DATA SOURCES:
BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT+MCQUE-WALKER, INC. DATED SEPTEMBER 1995. FLOODPLAIN BASED ON ANALYSIS BY DAFT+MCQUE-WALKER, INC.

DeMario Design Consultants, Inc.
The Old Firehouse
66 East Main Street, Suite 200
Westminster, MD 21157
Phone: (410) 386-0560
Fax: (410) 386-0564
eMail: dsk@demariodesign.com

OWNER: EMERSON LAND BUSINESS TRUST
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

DEVELOPER: GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

SITE ADDRESS:
UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST
CONSERVATION EASEMENT PLAT NO. 18000

FINAL FOREST CONSERVATION PLAN

6TH ELECTION DISTRICT HOWARD COUNTY, MD

NO.	DESCRIPTION OF CHANGES	DRN	REV	DATE
CO. FILE # F-07-141	DES. BY: JCO/DMW			
TAX ACC. # N/A	DRN. BY: CVL			
TAX MAP: 47	CHK. BY: AJS			
BLOCK / GRID: 8	DATE: 9.26.07			
PARCEL #: 462 & 837	DDC JOB#: 05104.2			
ZONE / USE: PEC-MXD-3	SHEET NUMBER:			
DWG. SCALE: 1"=50'	10 of 14			

FOREST CONSERVATION PLAN
PREPARED BY
DMW
Daft+McQue-Walker, Inc.
200 East Pennsylvania Avenue
Farmingdale, Maryland 21086
(410) 296-3333
Fax 296-4705

UNMITIGATED 65dba
NOISE CONTOUR
YEAR 2020

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
Walter J. ... 4-7-07
CHIEF, BUREAU OF HIGHWAYS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Linda ... 4/16/07
CHIEF DIVISION OF LAND DEVELOPMENT

3.12.2008
DATE

ANDREW J. STINE
LANDSCAPE ARCHITECT NO. 3222

AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.
[Signature] 10/19/08
DATE

N 558700
E 1354350

INTERSTATE ROUTE 95 SBL

WETLAND MITIGATION AREA AND EXISTING FOREST CONSERVATION EASEMENT (SDP-05-124, Plat No. 18000) TO BE COMBINED WITH ADDITIONAL FOREST CONSERVATION AREAS FOR THIS PHASE

FOREST CONSERVATION EASEMENT B

1.77 ac. TOTAL
0.68 ac. RETENTION (Outside Floodplain)
1.01 ac. FLOODPLAIN (Non-Credit)
0.08 ac. REFORESTATION

0.13± Acres EXCLUDED FROM GROSS SITE AREA (SEE FOREST CONSERVATION TRACKING CHART NOTE H)

100 YEAR FLOODPLAIN 1.52AC.

FOREST CONSERVATION EASEMENT A

2.61 ac. NEW EASEMENT TOTAL
1.96 ac. EXISTING EASEMENT (PLAT No. 18000)
0.07 ac. RETENTION THIS PHASE
0.49 ac. REFORESTATION THIS PHASE
0.09 ac. FLOODPLAIN THIS PHASE (non-credit)

DRAWING LEGEND

- EXISTING MINOR CONTOUR (2' INTERVAL)
- EXISTING MAJOR CONTOUR (10' INTERVAL)
- ADJACENT PROPERTY LINE
- EXISTING PROPERTY BOUNDARY
- EX. ROAD / EDGE OF PAVING
- EX. SEWER LINE & MANHOLES, CLEAN-OUTS
- EX. OVERHEAD ELECTRIC & UTILITY POLES
- PROPOSED MAJOR CONTOUR (10' INTERVAL)
- PROPOSED MINOR CONTOUR (2' INTERVAL)
- PROP. STANDBY CURB LIGHTER /
- PROP. STANDBY CURB LIGHTER /
- PROP. STANDBY CURB LIGHTER /
- PROP. STANDBY CURB LIGHTER /
- PROP. STANDBY CURB LIGHTER /
- EXISTING TREES
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING TREELINE
- EXISTING SHRUB/BURSH LINE
- PROPOSED DRAIN 1/4"
- PROPOSED INLET PROTECTION MEASURES
- PROPOSED WATER LINE & HYDRANT
- PROPOSED SEWER AND MANHOLES
- PROPOSED ELECTRIC TRANSFORMER
- PROPOSED ELECTRIC METER
- EXISTING FOREST CONSERVATION EASEMENT
- PROPOSED FOREST CONSERVATION EASEMENT
- 15' NO WOODY ZONE
- EXISTING WETLANDS
- WB WB 25' WETLANDS BUFFER
- TPF TPF TREE PROTECTION FENCING
- PROP. REFORESTATION AREA
- LOD
- FOREST CONSERVATION EASEMENT
- SB SB STREAM BUFFER
- PERMANENT FOREST PROTECTION SIGNS

DATA SOURCES:

BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-MCGUIRE-WALKER, INC. DATED SEPTEMBER 1986. FLOODPLAIN BASED ON ANALYSIS BY DAFT-MCGUIRE-WALKER, INC.

FCE SUMMARY CHART

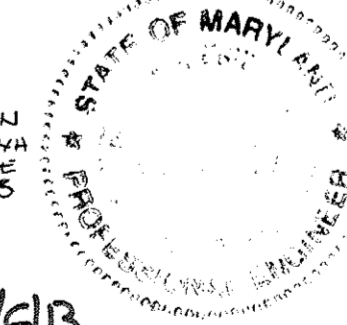
	RETENTION	REFORESTATION	FLOODPLAIN	TOTAL
FCE A	0.07 AC	0.49 AC	0.09 AC	0.65 AC
FCE B	0.68 AC	0.08 AC	1.01 AC	1.77 AC
TOTAL	0.75 AC	0.57 AC	1.10 AC	2.42 AC

THE FOREST CONSERVATION EASEMENT HAS BEEN ESTABLISHED TO FULFILL THE REQUIREMENTS OF SECTION 161200 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL. NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN THE FOREST CONSERVATION EASEMENT. HOWEVER, FOREST MANAGEMENT PRACTICES AS DEFINED IN THE DEED OF FOREST CONSERVATION EASEMENT ARE ALLOWED.

AS-BUILT CERTIFICATION

I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.

Signature 10/13/07 DATE



FOREST CONSERVATION PLAN
PREPARED BY:
DMW
Daft-McGuire-Walker, Inc.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 296-5533
Fax: 296-4705

DeMario Design Consultants, Inc.

The Old Firehouse
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Westminster, MD 21157
Phone: (410) 386-0560
Fax: (410) 386-0564
eMail: ddm@demariodesign.com

OWNER: EMERSON LAND BUSINESS TRUST
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-8200

DEVELOPER: GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-8000

SITE ADDRESS: UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000
FINAL FOREST CONSERVATION PLAN
6TH ELECTION DISTRICT HOWARD COUNTY, MD

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #	F-07-141	DES. BY:	JCO/DMW	
TAX ACC. #	N/A	DRN. BY:	TPM	
TAX MAP:	47	CHK. BY:	JCO/MRT	
BLOCK / GRID:	8	DATE:	9.26.07	
PARCEL #:	462 & 837	DDC JOB#:	05104.2	
ZONE / USE:	PEC-MXD-3	SHEET NUMBER:		
DWG. SCALE:	1"=50'		11 of 14	

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS
Signature 4-7-07 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Signature 4/16/07 DATE

Signature 4/15/07 DATE

DATE: 9-12-2008
STATE OF MARYLAND
ANDREW J. STINE
LANDSCAPE ARCHITECT NO. 3222

UNMITIGATED 65dba NOISE CONTOUR YEAR 2020
3.81± ac. PROPOSED CLEARING

FOREST CONSERVATION TRACKING CHART

Table with 14 columns: DPZ File Number, Section/Phase Number, Gross Area, Floodplain, Net Tract Area, Ex. Forest Area, Forest Cleared, Forest Retained, Reforest./Affor. Required, Reforest./Affor. Provided, Excess Reforest./Affor., Future Forest Clearing, Future Reforest./Affor., Comments

FOREST CONSERVATION TRACKING CHART PROVIDED BY DAFT-McCUNE-WALKER, INC.

- A. 1.20 +/- ACRES OF FUTURE FOREST CLEARING SHOWN ON F-01-187 WAS CLEARED FOR SWH ON OPEN SPACE LOT 174.
B. 1.10 +/- ACRES OF FUTURE FOREST CLEARING SHOWN ON F-01-187 WAS CLEARED FOR SWH ON OPEN SPACE LOT 176.
C. GROSS AREA INCLUDES 1.07 +/- ACRES FOR SANITARY SEWER EXTENSION AND CONTAINS 0.08 +/- ACRES OF FLOODPLAIN.
D. GROSS AREA EXCLUDES 0.38 ACRES FOR THE SANITARY SEWER SHOWN ON F-02-178. GROSS AREA ALSO EXCLUDES 0.07 ACRES FOR AREA PREVIOUSLY ACCOUNTED FOR UNDER P-03-16.
E. THIS LINE ITEM ACCOUNTS FOR REFORESTATION PROVIDED RETROSPECTIVELY ON A PHASE THAT PREVIOUSLY ADDRESSED FOREST CONSERVATION. APPROXIMATELY 1.83 ACRES OF FUTURE REFORESTATION AREA WILL BE USED UNDER THIS REFORESTATION PLAN.

Table for Forest Conservation Easement A - upland, wetland and mesic upland Plants required - 172 (350 whips/acre x 0.49 acres)

Table for Forest Conservation Easement B - upland Plants required - 28 (350 whips/acre x 0.08 acres)

PART 2 PRODUCTS

2.01 PLANTS

- A. Sound, healthy, vigorous, free from plant diseases, insect pests or their eggs.
B. Plants cut back from larger sizes or pruned prior to delivery will not be accepted.
C. It is anticipated that these plants will need to be obtained from a nursery source. These plant species are normally unavailable from standard landscape nursery sources.
D. Shape and Form: Plant materials shall be symmetrical and typical for the variety and species.
E. Container: The soil/root masses shall be thoroughly moist upon delivery to the job site. Any dry and light weight plants shall be rejected. If not planted immediately after being delivered to the job site, the plants shall be stored out of direct exposure to the sun and wind and their root masses maintained moist, through periodic watering, until the time of planting.

2.02 FERTILIZER

- A. Plant Fertilizer: Slow release fertilizer such as Osmocote 19-6-12 analysis (3-4 month release) or equal approved by the Landscape Architect.
B. Slow release fertilizer shall be applied at the time of planting and at the following rate: All emergent plant material - planting pit application of 1 oz. per container or bare root plant.
C. Pesticides, herbicides and fungicides will not be used unless judged necessary by the wetland landscaper. If applied, quantities recommended by the Department of Agriculture shall not be exceeded.
D. Fertilizer shall be delivered to the site in the original unopened containers with formulas attached.

PART 3 EXECUTION

3.01 PREPARATION

- A. Plant Locations: As shown on the Drawings, to dimensions if shown, to scale if not dimensioned. Locations subject to review by the Landscape Architect before starting excavation.
B. No plant material shall be installed until the Landscape Architect has approved the finish grade of the planted areas.

3.02 PLANTING PROCEDURES

- A. Set plants straight and plumb.
B. Plant material shall be planted in existing soil with each planting pit excavated to size sufficient to contain the entire root stock or root mass without cramping.
C. Where water is not available on-site, the Contractor shall furnish sufficient quantities to complete the work at no additional cost to the Owner.

3.04 CLEAN-UP

- A. During planting operations, excess and waste materials including discarded containers, shall be removed from the site on a daily basis.

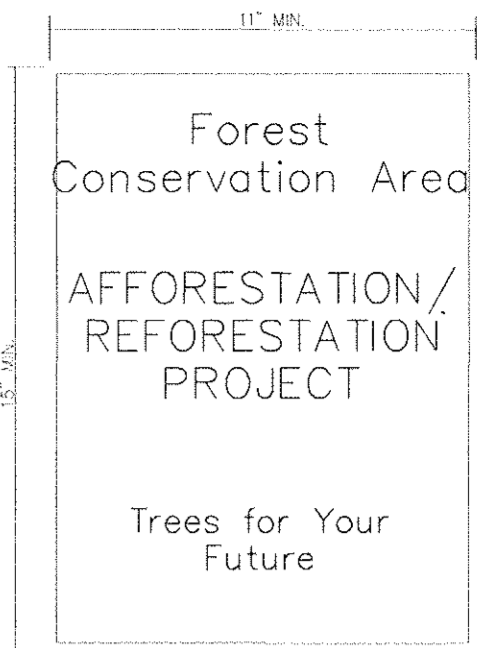
3.05 MAINTENANCE

- A. Watering of plant material shall take place at the end of each for fourteen (14) consecutive days if necessary after planting has been completed. The watering shall completely saturate the soil and partially immerse the plant material.
B. During maintenance period, on approximately the 1st and 15th of each month, the Contractor shall provide sufficient supervision, equipment, materials and manpower to:
1. Keep all plants in a healthy growing condition by watering, when necessary, removing dead or dying branches, controlling insect infestations, removing sprouts, weeding.
2. Remove and replace dead or damaged plant material. Where replacement is not possible due to season, remove dead material, etc. and level pit until planting is possible.
3. Notify Owner for review of activities prior to initiating maintenance operations each month.

FOREST CONSERVATION GOALS AND OBJECTIVES

THE GOALS AND OBJECTIVES OF THIS FOREST CONSERVATION PLAN ARE TO ACCOUNT FOR THE ANTICIPATED CLEARING OF THE APPROXIMATELY 3.81 ACRES OF EXISTING FOREST ON THIS PHASE OF THE EMERSON DEVELOPMENT, AND TO RETAIN APPROXIMATELY 0.75 ACRES IN FOREST CONSERVATION EASEMENT, APPROXIMATELY 0.57 ACRES OF REFORESTATION IS PROPOSED ADJACENT TO EXISTING FORESTS AND REFORESTATION AREAS. SPECIES HAVE BEEN CHOSEN TO REFLECT AND ENHANCE THE EXISTING FOREST COMMUNITY, AND TO TOLERATE THE VARYING MOISTURE REGIMES IN THE DESIGNATED PLANTING AREAS.

THE EXISTING FOREST CONSERVATION EASEMENT INCLUDING THE WETLAND MITIGATION AREA SHOWN ON SDP-05-124 WILL BE RE-RECORDED TO INCLUDE THE ADJACENT RETENTION AND REFORESTATION PROPOSED UNDER THIS PHASE. THIS PLAN IS INTENDED TO SUPPLEMENT SDP-05-124, WHICH DETAILS THE COMPLEX REFORESTATION AND EMERGENT PLANTINGS IN THE WETLAND MITIGATION AREA. REFORESTATION SHOWN HEREON WILL BE IN ADDITION TO THE FOREST PLANTINGS IN ZONES IV, V, AND VI ON SDP-05-124.



Permanent Signage Not To Scale

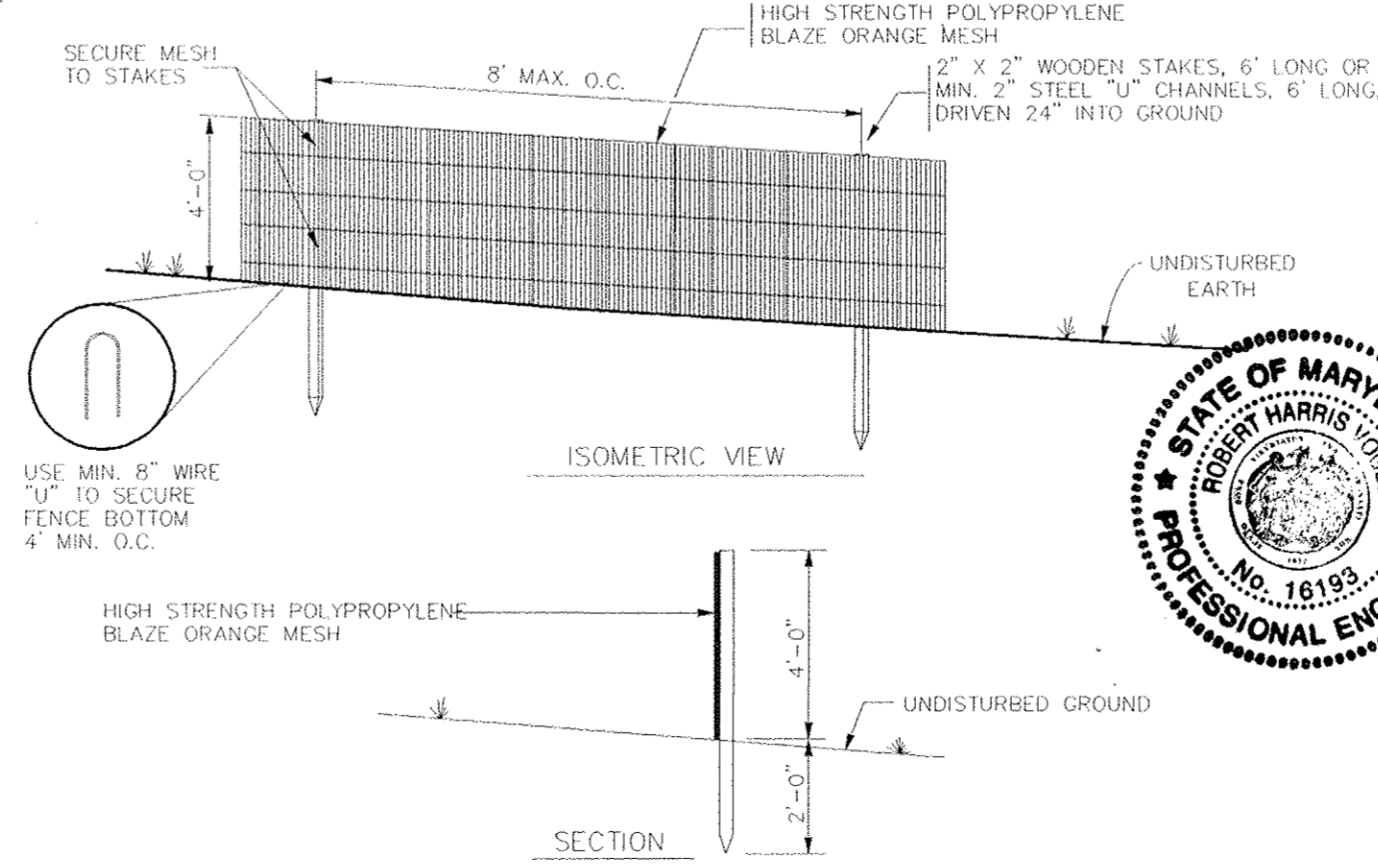
SIGNS TO BE PLACED ON METAL POSTS 2" DIA. PRIOR TO PLANTING. PLACE SIGNS EVERY 50' TO 100' AROUND PERIMETER OF FOREST CONSERVATION AREA.

WHEN CALCULATED CUMULATIVELY WITH PREVIOUS PHASES OF THIS PROJECT, A TOTAL OF 71.14 ACRES OF FOREST WILL BE CLEARED, AND 54.68 ACRES WILL BE RETAINED. THE TOTAL REFORESTATION OBLIGATION IS 14.27 ACRES, AND 16.06 ACRES OF REFORESTATION HAVE BEEN PROVIDED.

A SURETY IN THE AMOUNT OF \$12,415.00 (0.57 ACRES @ \$30,500/S.F.) WILL BE REQUIRED FOR PROPOSED REFORESTATION. A SURETY IN THE AMOUNT OF \$4,534.00 (0.75 ACRES @ \$30,200/S.F.) WILL BE REQUIRED FOR FOREST RETENTION. THE TOTAL FOREST CONSERVATION SURETY IS \$16,949.00.

CUMULATIVE FOREST CONSERVATION CALCULATIONS

Table with 2 columns: BASIC SITE DATA and INFORMATION FOR CALCULATIONS. Includes rows for Gross Site Area, Area within 100 Year Floodplain, Area within Agricultural Use or Preservation Parcel, Net Tract Area, Land Use Category, and Reforestation Calculations.



AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND METS THE APPROVED PLANS AND SPECIFICATIONS.

DMW
DAFT-McCUNE-WALKER, INC.
200 East Pennsylvania Avenue
Towson, Maryland 21286
(410) 290-5333
Fax: 296-4705

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DATE: 3-12-2008
LANDSCAPE ARCHITECT NO. 3222

DATA SOURCES:

BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-McCUNE-WALKER, INC. DATED SEPTEMBER 1995. FLOODPLAIN BASED ON ANALYSIS BY DAFT-McCUNE-WALKER, INC.

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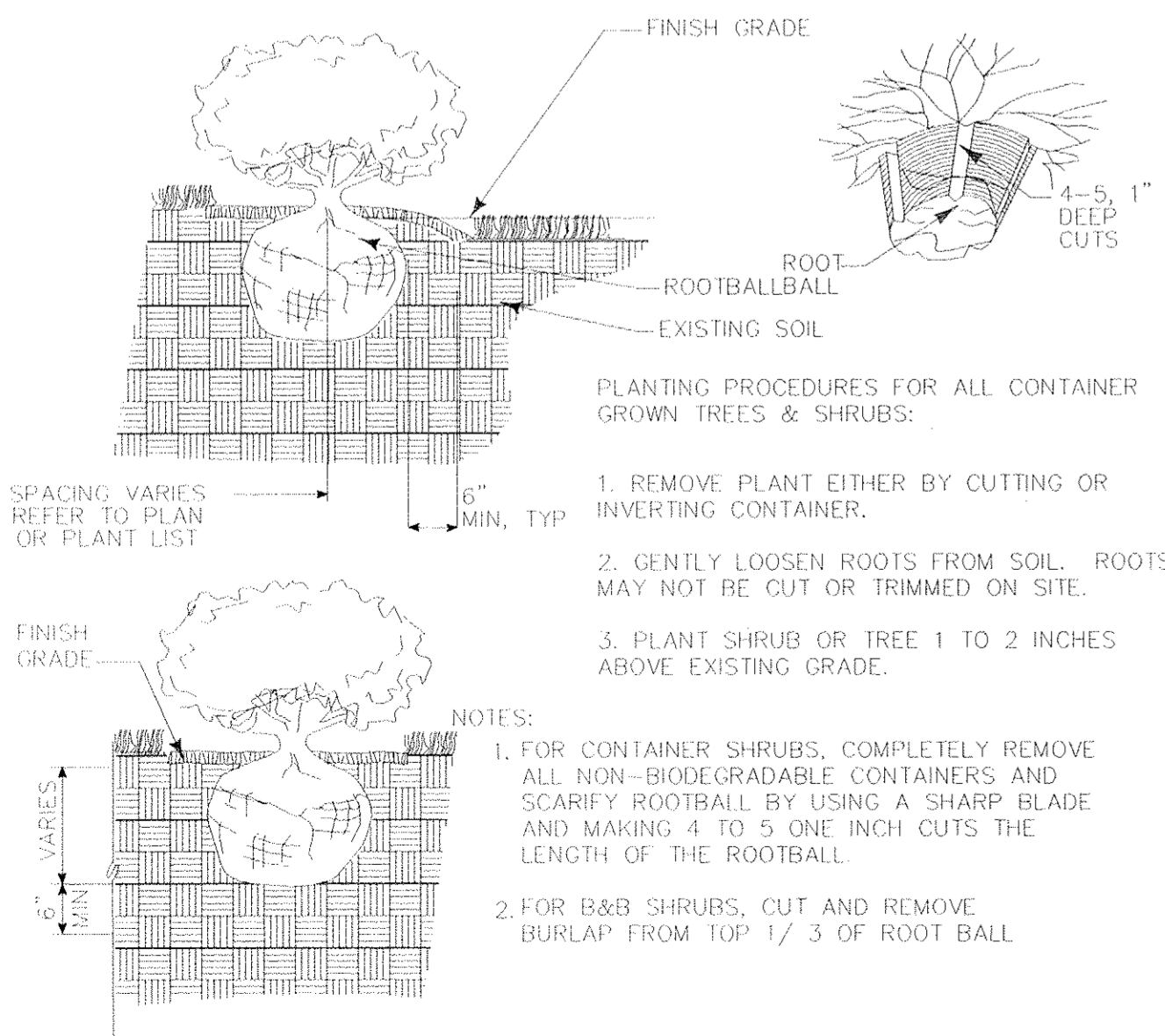
OWNER: EMERSON LAND BUSINESS TRUST
DEVELOPER: GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

SITE ADDRESS: UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000
FOREST CONSERVATION NOTES & DETAILS
6TH ELECTION DISTRICT HOWARD COUNTY, MD

REVISIONS

Table with 4 columns: NO., DESCRIPTION OF CHANGES, DRN, REV, DATE. Includes entries for CO. FILE #, TAX ACC.#, TAX MAP.#, BLOCK / GRID, PARCEL #, ZONE / USE, DWG. SCALE.



Planting of Container Grown Material Not To Scale

DRAWING LEGEND

EXISTING MINOR CONTOUR (2' INTERVAL)	EXISTING MAJOR CONTOUR (10' INTERVAL)	ADJACENT PROPERTY LINE	EXISTING PROPERTY BOUNDARY
EX. ROAD / EDGE OF PAVING	EX. SEWER LINE & MANHOLES, CLEAN-OUTS	EX. OVERHEAD ELECTRIC & UTILITY POLES	PROPOSED MINOR CONTOUR (2' INTERVAL)
PROPOSED MINOR CONTOUR (10' INTERVAL)	PROPOSED MAJOR CONTOUR (10' INTERVAL)	PROPOSED STANDARD CURB & GUTTER /	PROPOSED MOUNTABLE CURB & UTILITY GUTTER
PROPOSED PRIVATE ROAD/DRIVE CENTERLINE	EX. BUILDING	PROPOSED BUILDING EXPANSION	PROPOSED SPOT ELEVATION & FLOW ARROW
EXISTING TREES	PROPOSED ELECTRIC TRANSPORTER	PROPOSED ELECTRIC METER	EXISTING FOREST CONSERVATION EASEMENT
PROPOSED ORNAMENTAL TREE	PROPOSED SHADE TREE	PROPOSED EVERGREEN TREE	EXISTING FOREST CONSERVATION EASEMENT
EXISTING TREELINE	EXISTING WETLANDS	15' NO HOODY ZONE	EXISTING WETLANDS
EXISTING SHRUB/BRUSH LINE	25' WETLANDS BUFFER	TPF	TREE PROTECTION FENCING

PERIMETER LANDSCAPE EDGE: SCHEDULE "A"

CATEGORY	ADJACENT TO ROADWAYS		ADJACENT TO PERIMETER PROPERTIES	
	P1 'S'	P2 'A'	P3 'A'	P4 'A'
LANDSCAPE TYPE				
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	1895 L.F.	1056 L.F.	1209 L.F.	1107 L.F.
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	675 L.F.	N/A	N/A	N/A
CREDIT FOR BERM (DESCRIBE BELOW IF NEEDED)	N/A	N/A	N/A	N/A
NUMBER OF PLANTS REQUIRED (DESCRIBE BELOW IF NEEDED)	1220LF			
SHADE TREES	24	N/A	N/A	N/A
EVERGREEN TREES	31	N/A	N/A	N/A
SHRUBS	0	N/A	N/A	N/A
NUMBER OF PLANTS PROVIDED (DESCRIBE BELOW IF NEEDED)				
SHADE TREES	0	N/A	N/A	N/A
EVERGREEN TREES	0	N/A	N/A	N/A
OTHER TREES (2:1 SUBSTITUTION)	0	N/A	N/A	N/A
SHRUBS	0	N/A	N/A	N/A
(DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)				

At the time of plant installation, all shrubs and trees listed and approved on the Landscape Plan, shall comply with the proper height requirement in accordance with the Howard County Landscape Manual. In addition, no substitutions or re-locations of the required plantings may be made without prior review and approval from the Department of Planning and Zoning. Any deviation from the approved Landscape Plan may result in denial or delay in the release of landscape surety until such time as all required materials are planted and/or revisions are made to the applicable plans.

NOTES

- LANDSCAPE REQUIREMENTS TO BE DEFERRED TO THE SITE DEVELOPMENT PLAN STAGE FOR FUTURE TENANTS REQUIRED SCREENING WILL BE INCORPORATED INTO FUTURE TENANT LANDSCAPE PLANS WILL ADDRESS REQUIREMENTS DEFINED IN "COMMERCIAL AND INDUSTRIAL DESIGN GUIDELINES" BY THE HOWARD RESEARCH AND DEVELOPMENT CORPORATION. CREDIT TAKEN FOR EXISTING VEGETATION AND REDUNDANT STORMWATER MANAGEMENT PERIMETER.
- PERIMETER 2, 3, AND 4 ARE ADJACENT PROPERTY IS ALSO WITHIN EMERSON SUBDIVISION; THEREFORE, NO SCREENING IS REQUIRED ALONG THESE PERIMETERS.

STREET TREE TABULATION

STREET TREES REQUIRED: 28 TOTAL
1134 L.F. @ 1 TREE/40 L.F. (INTERIOR ROAD-UPPER SKYWAY)

STREET TREES PROVIDED: 28 TOTAL
NOTE: ALL STREET TREES PROVIDED SHALL BE MAJOR/SHADE TREES.

PLANT LIST

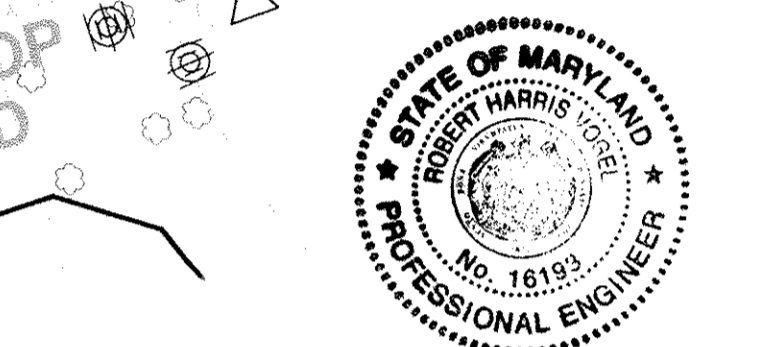
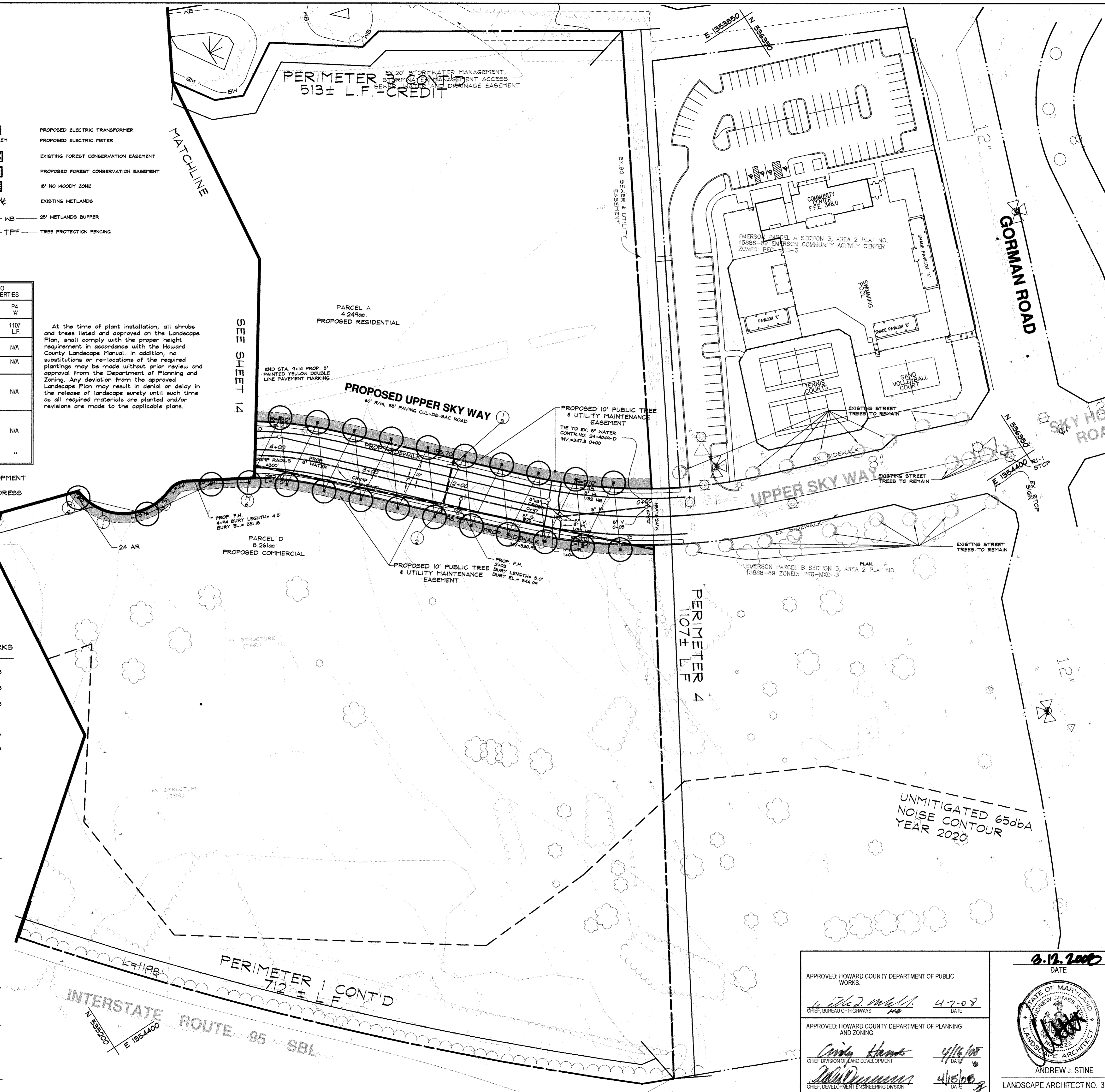
QTY	SYM	BOTANICAL NAME/ COMMON NAME	SIZE	REMARKS
LARGE TREES				
28	AR	ACER RUBRUM 'OCTOBER GLORY'	2 1/2 -3" CAL.	B & B
		OCTOBER GLORY MAPLE		
14	PAB	PLATANUS X ACERIFOLIA 'BLOODGOOD'	2 1/2 -3" CAL.	B & B
		BLOODGOOD LONDON PLANETREE		
6	QP	QUERCUS PALUSTRIS	2 1/2 -3" CAL.	B & B
		PIN OAK		
EVERGREEN TREES				
12	PA	PICEA ABIES	6' HT.	B & B
		NORWAY SPRUCE		
13	PS	PINUS STROBUS	6' HT.	B & B
		EASTERN WHITE PINE		

General Planting Notes

- All plant materials to meet A.N.L.A. Standards.
- The Contractor is to follow specification guidelines for Baltimore & Washington Metropolitan Area as approved by the L.C.A. of Maryland, Washington D.C., & Virginia and described in the latest edition of "Landscape Specification Guidelines."
- No substitutions are to be made without the consent of the Landscape Architect and/or the Owner.
- All beds are to be topped with three (3) inches of hardwood mulch.
- Contractor shall notify Miss Utility at (1-800) 257-7777, at least 72 hours prior to construction and verify the location of all utilities with the Owner before planting.
- Landscape Architect/Owner shall select, verify, and/or approve all plant material. At the Owner's discretion, specimen and other plant material may be selected.
- The Landscape Contractor shall coordinate with the general, lighting, & irrigation contractors regarding timing and installation of plant material. At the time of final inspection with acceptance, all electric, water & drainage utilities, as well as plant material, shall remain undamaged. Likewise, the Landscape Contractor and utilities contractors shall coordinate efforts to ensure that surface utilities are at the proper elevation relative to final grades.
- The owner, tenant, and/or their agents shall be responsible for maintenance of the required landscaping, including both plant materials and berms, fences and walls. All plant materials shall be maintained in good growing condition, and when necessary, replaced with new materials to ensure continued compliance with applicable regulations. All other required landscaping shall be permanently maintained in good condition, and when necessary, repaired or replaced.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Ho. Co. Code Financial surety for the required landscaping in the amount of \$9,750 must be posted as part of the Developer's Agreement (20 shade trees, 25 evergreen trees).
- Developer/Builder's Certificate

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual and the Emerson Landscape Design Criteria. I/We further certify that, upon completion, a letter of landscape installation, accompanied by an executed one-year guarantee of the plant materials, will be submitted to the Department of Planning and Zoning.

Paul G. ...
NAME DATE



AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE AS-BUILT PLANS AND MEETS THE APPROVED PLANS AND SPECIFICATIONS.
10/19/08 6/4/13

DATA SOURCES:
BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-PCUNE-WALKER, INC. DATED SEPTEMBER 1998. FLOODPLAIN BASED ON ANALYSIS BY DAFT-PCUNE-WALKER, INC.

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PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST CONSERVATION EASEMENT PLAT NO. 18000

LANDSCAPE AND STREET TREE PLAN

6TH ELECTION DISTRICT HOWARD COUNTY, MD

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
4/7/08 DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
4/16/08 DATE

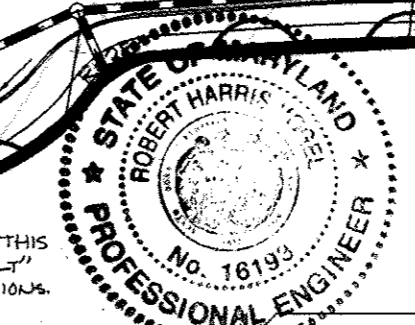
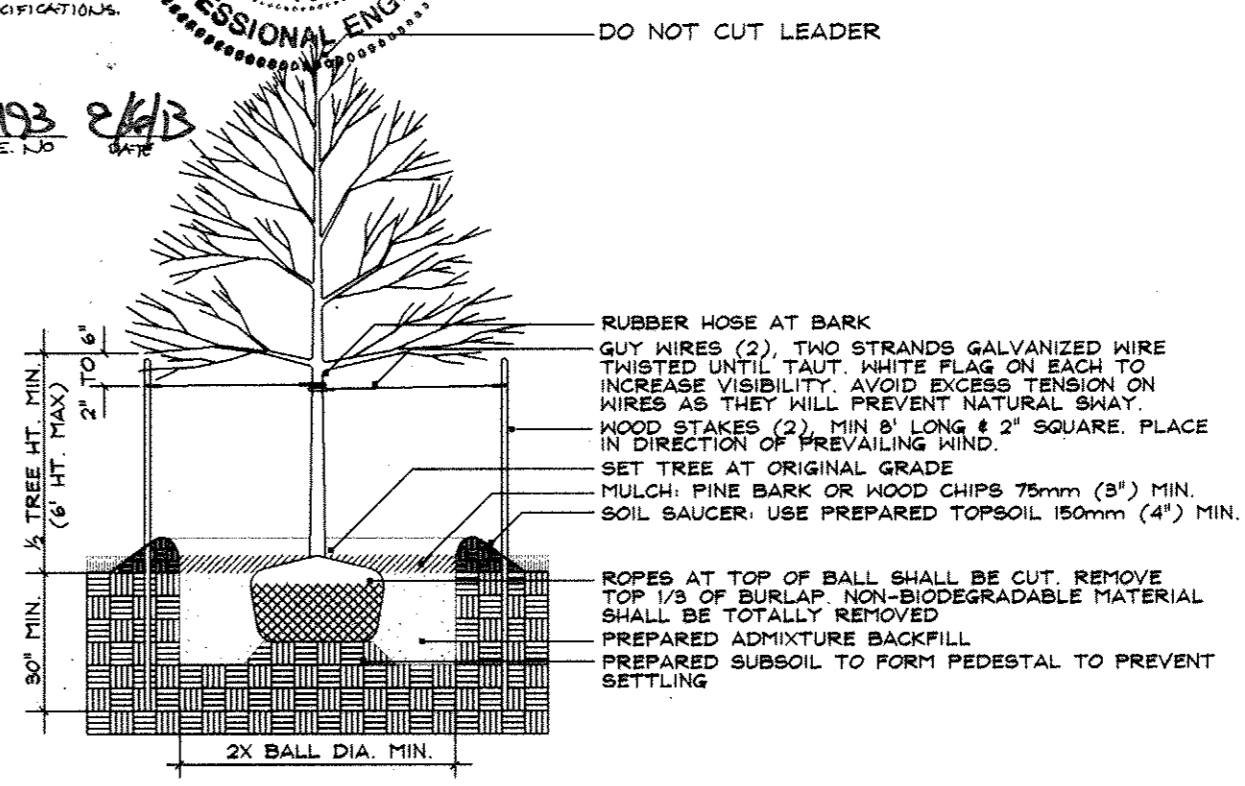
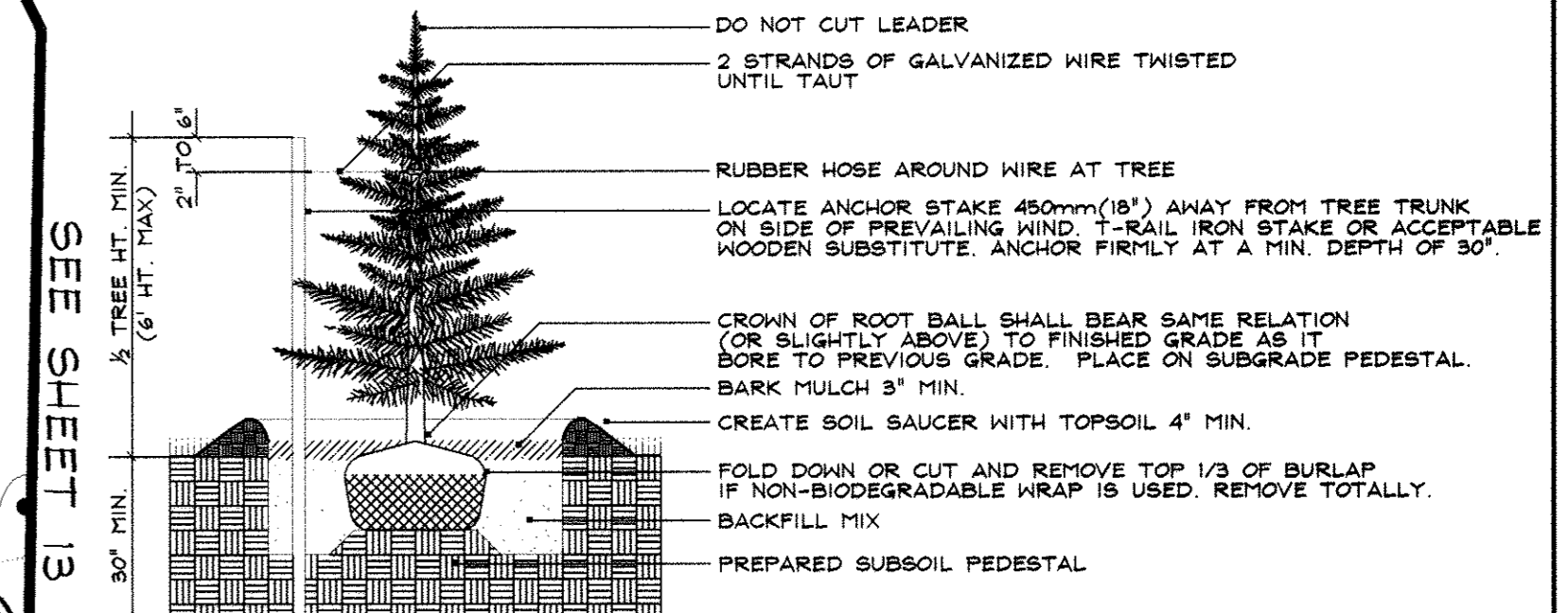
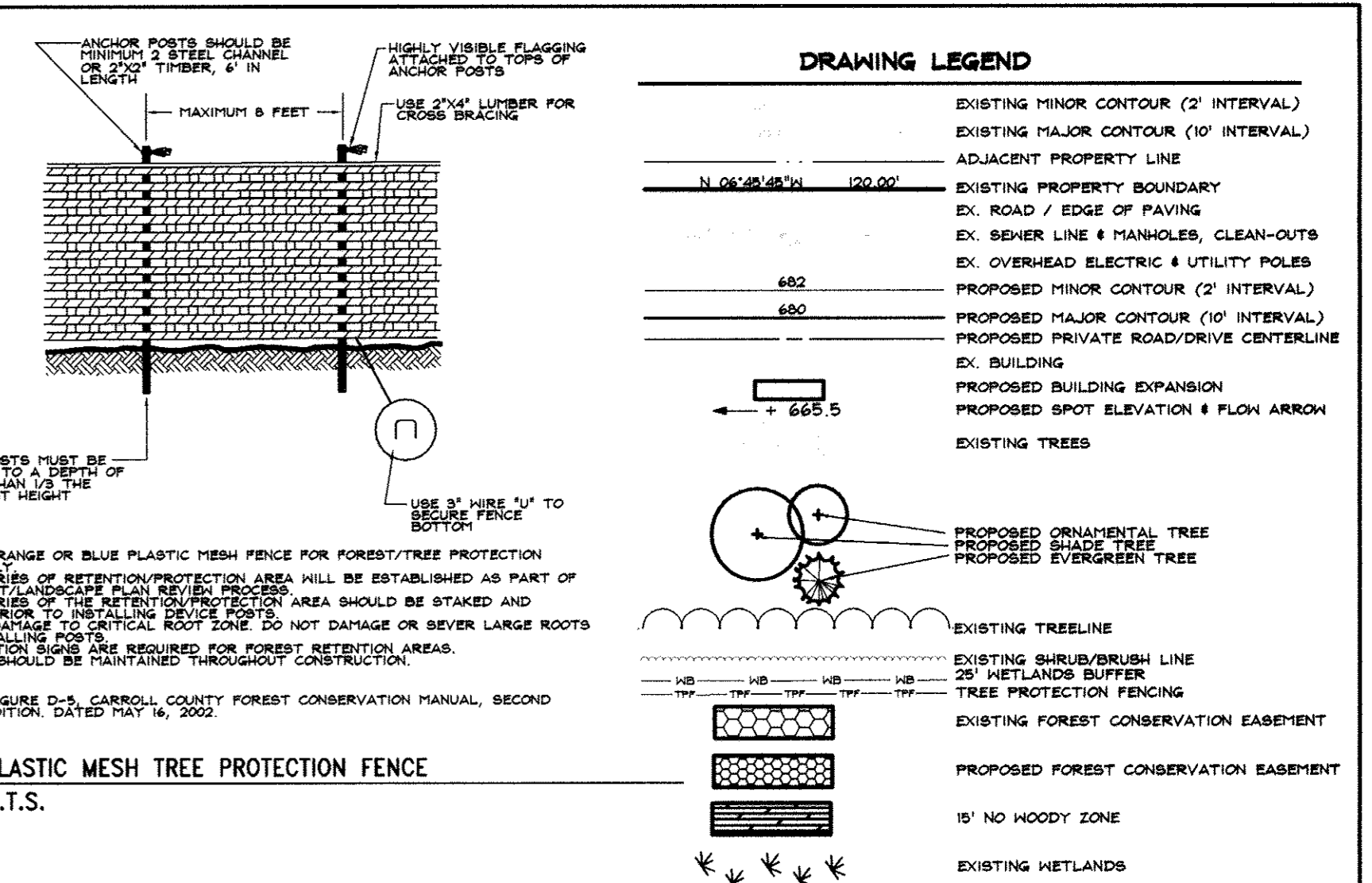
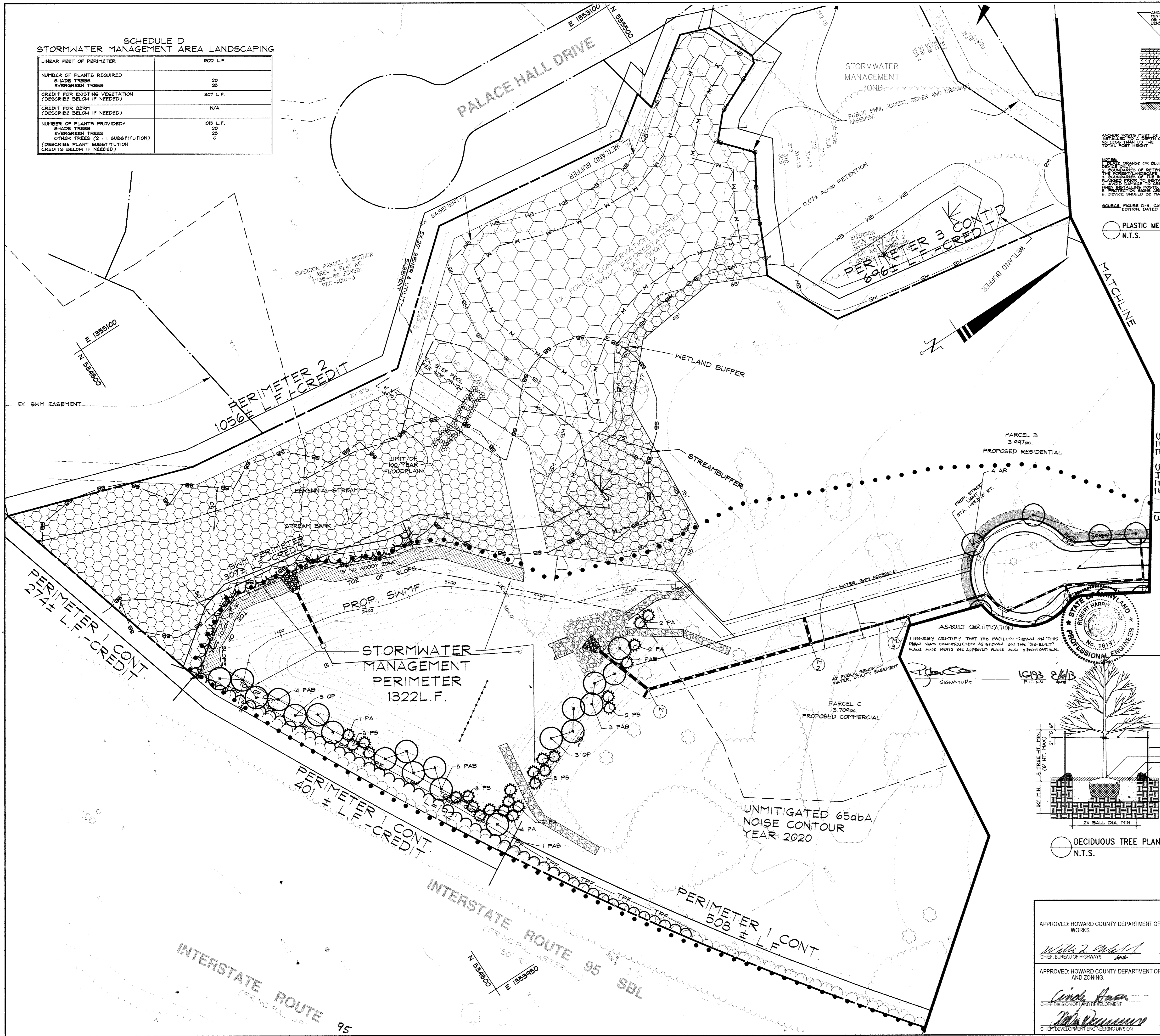
0.12.2008 DATE

ANDREW J. STINE
LANDSCAPE ARCHITECT NO. 3222

NO.	DESCRIPTION OF CHANGES	DRN.	REV.	DATE
CO. FILE #	F-07-141	DES. BY:	CVL	
TAX ACC. #	N/A	DRN. BY:	CVL	
TAX MAP:	47	CHK. BY:	AJS	
BLOCK / GRID:	8	DATE:	9.26.07	
PARCEL #	462 & 837	DDC JOB#:	05104.2	
ZONE / USE:	PEC-MXD-3	SHEET NUMBER:		
DWG. SCALE:	1"=50'			13 of 14

**SCHEDULE D
STORMWATER MANAGEMENT AREA LANDSCAPING**

LINEAR FEET OF PERIMETER	1922 L.F.
NUMBER OF PLANTS REQUIRED	20
SHADE TREES	25
EVERGREEN TREES	
CREDIT FOR EXISTING VEGETATION (DESCRIBE BELOW IF NEEDED)	307 L.F.
CREDIT FOR BERRY (DESCRIBE BELOW IF NEEDED)	N/A
NUMBER OF PLANTS PROVIDED*	105 L.F.
SHADE TREES	20
EVERGREEN TREES	25
OTHER TREES (2:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	0



AS-BUILT CERTIFICATION
I HEREBY CERTIFY THAT THE FACILITY SHOWN ON THIS PLAN WAS CONSTRUCTED AS SHOWN ON THE "AS-BUILT" PLANS AND MEETS THE APPROVED PLANS AND IS NOTIFICATIONAL.

16193 8/13
P.E. I.D.

SIGNATURE

DO NOT CUT LEADER

DO NOT CUT LEADER

DECIDUOUS TREE PLANTING (LESS THAN 3" CAL.)
N.T.S.

N.T.S.

EVERGREEN TREE PLANTING
N.T.S.

N.T.S.

PLASTIC MESH TREE PROTECTION FENCE
N.T.S.

N.T.S.

N.T.S.

DATA SOURCES:
BOUNDARY AND TOPOGRAPHY BASED ON A SURVEY PREPARED BY DAFT-MCCUNE-WALKER, INC. DATED SEPTEMBER 1998. FLOODPLAIN BASED ON ANALYSIS BY DAFT-MCCUNE-WALKER, INC.

EMERSON SECTION 2, PHASE 8B
PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST
CONSERVATION EASEMENT PLAT NO. 18000

DeMario Design Consultants, Inc.
The Old Firehouse
98 East Main Street, Suite 200
Westminster, MD 21157
Phone: (410) 386-0590
Fax: (410) 386-0584
eMail: dmc@demariodesign.com

OWNER:
EMERSON LAND BUSINESS TRUST
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

DEVELOPER:
GENERAL GROWTH PROPERTIES
10275 LITTLE PATUXENT PKWY
COLUMBIA, MD 21044
410-992-6000

SITE ADDRESS:
UPPER SKY WAY

EMERSON SECTION 2, PHASE 8B
PARCELS A THRU D & OPEN SPACE LOT 1
A RESUBDIVISION OF FOREST
CONSERVATION EASEMENT PLAT NO. 18000

LANDSCAPE AND STREET TREE PLAN

6TH ELECTION DISTRICT HOWARD COUNTY, MD

REVISIONS			
NO.	DESCRIPTION OF CHANGES	DRN.	REV. DATE

CO. FILE # F-07-141	DES. BY: CVL
TAX ACC. # N/A	DRN. BY: CVL
TAX MAP: 47	CHK. BY: AJS
BLOCK / GRID: 8	DATE: 9.26.07
PARCEL # 462 & 837	DDC JOB #: 05104.2
ZONE / USE: PEC-MXD-3	SHEET NUMBER:
DWG. SCALE: 1"=50'	14 of 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.
Willa Z. Smith
CHIEF, BUREAU OF HIGHWAYS
4-7-07
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Cindy Hester
CHIEF DIVISION OF LAND DEVELOPMENT
4/16/08
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
John R. Williams
CHIEF, DEVELOPMENT ENGINEERING DIVISION
9/15/07
DATE

9-12-2007
DATE

ANDREW J. STINE
LANDSCAPE ARCHITECT NO. 3222