

KUMAR SHELL GAS STATION SERVICE/ GAS STATION, CARWASH, CARRYOUT DEED: 8863/236 SITE DEVELOPMENT PLAN PARCEL 601

GENERAL NOTES

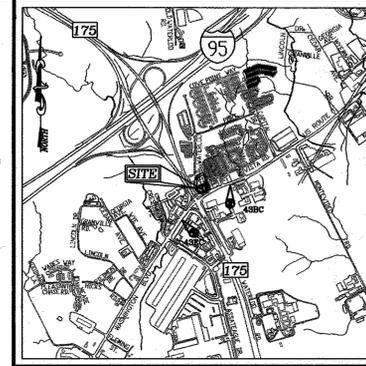
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUMBING STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
3. THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 VERIZON TELEPHONE COMPANY 1-410-934-6281
 HOWARD COUNTY BUREAU OF UTILITIES 313-2366
 AT&T CABLE 383-5555
 B.G.&E. CO. CONTRACTOR SERVICES 850-4820
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL 787-4820
 STATE HIGHWAY ADMINISTRATION 531-5553
4. SITE ANALYSIS:
 TOTAL AREA OF PARCEL 601: 0.8081 AC.
 PRESENT ZONING: CAC-CL
 USE OF STRUCTURE: CAR WASH, CARRY OUT RESTAURANT, OFFICE (6000SF)
 BUILDING COVERAGE: 3716 SF (0.865 AC. OR 10.50% OF GROSS AREA)
 PAVED PARKING LOT/AREA WITHIN LOD: 0.44 AC. OR 54.44% OF GROSS AREA
 EXISTING BUILDING 2166 SF (0.05 AC OR 6.15 % OF GROSS AREA)
 PROP. CARRYOUT RESTAURANT 800 SF (0.02 AC OR 2.27% OF GROSS AREA)
 PROP. CARWASH 560 SF (0.013 OR 1.60% OF GROSS AREA)
 PROP. EQUIPMENT 190 SF (0.004 OR 0.54% OF GROSS AREA)
 LIMIT OF DISTURBED AREA: 0.46AC.
 CUT: 516 CY. FILL: 34 CY.
5. PROJECT BACKGROUND:
 LOCATION: COLUMBIA, MD.; TAX MAP 43, BLOCK 9, PARCEL 601
 ZONING: CAC-CL
 SUBDIVISION: N/A
 SECTION/AREA: N/A
 SITE AREA: 0.8081 AC.
 DPZ REFERENCES: DEED 8863/236, BA-06-023N
6. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
7. ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
8. EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTORS INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
9. ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
10. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
11. ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
12. SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
13. THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY ROBERT H. VOGEL ENGINEERING, INC. DATED OCTOBER 2005. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM.
14. THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC. DATED OCTOBER 2005.
15. A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
16. ALL PAVING TO BE P-2 UNLESS OTHERWISE NOTED. GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. (SEE DETAILS, SHEET 2)
17. ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED.
18. CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
19. WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
20. ALL ELEVATIONS ARE TO FLOWING BOTTOM OF CURB UNLESS OTHERWISE NOTED.
21. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
22. PUBLIC WATER AVAILABLE THROUGH CONTRACT NO. 36-W&S.
23. PUBLIC SEWER AVAILABLE THROUGH CONTRACT NO. 36-W&S.
24. STORMWATER MANAGEMENT BEING IS PROVIDED BY A STORM CEPTOR (SEE DETAIL SHEET 4), AND IS TO BE PRIVATELY OWNED AND MAINTAINED.
25. GEOTECHNICAL REPORT IS NOT REQUIRED FOR THIS PROJECT.
26. ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
27. THE SUBJECT PROPERTY IS ZONED CAC-CL PER THE COMPREHENSIVE ZONING PLAN, DATED 7/28/06.
28. BUILDING TO HAVE INSIDE WATER METER SETTINGS.
29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
30. LANDSCAPE SURETY IN THE AMOUNT OF \$7,500.00 SHALL BE POSTED AS PART OF THE GRADING PERMIT (17 SHADE TREES @ \$300.00 PER TREE, 1 EVERGREEN @ \$150.00 PER TREE, 75 SHRUBS @ \$30.00 PER SHRUB).
31. THE APFD TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED APRIL 17, 2007.
32. ALL STORMWATER PIPE BEDDING IS TO BE CLASS "C".
33. THIS PLAN IS SUBJECT THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS, PER COUNCIL BILL 45-2003 AND THE ZONING REGULATING AS AMENDED BY CD 75-2003.
34. A KNOX BOX IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A HEIGHT OF 4'-3" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. ITS LOCATION IS SHOWN ON THESE PLANS. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED (INTEGRATED WITH THE FIRE ALARM SYSTEM).
35. THERE ARE NO 100-YEAR FLOODPLAINS, WETLANDS, FCE AREAS, WETLAND BUFFERS, STREAMS, STREAM BUFFERS, SLOPES 15-24.9% OR SLOPES 25% OR GREATER LOCATED ON PARCEL 601.
36. THIS PROJECT IS EXEMPT FROM THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BECAUSE THIS PROPERTY IS LESS THAN 40,000 SF.
37. THIS PROJECT IS SUBJECT TO BA-06-023N, FILED PURSUANT TO SECTION 129 OF THE HOWARD COUNTY ZONING REGULATIONS APPROVED SEPTEMBER 8, 2006, FOR THE ENLARGEMENT AND EXTENSION OF A NONCONFORMING GASOLINE SERVICE STATION, IN A B-1 ZONING DISTRICT, USE BY REPLACING FOUR EXISTING FUEL DISPENSERS WITH SIX FUEL DISPENSERS, REMOVING THE EXISTING CANOPY AND REPLACING IT WITH A NEW CANOPY MEASURING 46 FEET BY 54 FEET, CONSTRUCTING A 420 SQUARE FOOT CAR WASH AND INSTALLING A 10-FOOT WIDE CAR WASH DRIVE AND STACKING ASBLE. THIS CASE ALSO CONCLUDES THAT THE SETBACK REQUIREMENT IS TO BE MEASURED FROM THE EXISTING ROUTE 1 RIGHT-OF-WAY LINE. USING THIS MEASUREMENT, THE PROPOSED PLACEMENTS DO NO VIOLATE THE TRUCK REGULATIONS BECAUSE THEY ARE ALL SITUATED MORE THAN 30 FEET FROM THE EXISTING ROUTE 1 RIGHT-OF-WAY LINE, IN COMPLIANCE WITH SECTION 129.1.1. PROVIDED THAT, HOWEVER, THE ENLARGEMENT AND EXTENSION WILL APPLY ONLY TO THE LAND AREA, USES AND STRUCTURES AS DESCRIBED IN THE PETITION SUBMITTED, AND NOT ANY OTHER ACTIVITIES, USES, STRUCTURES, OR ADDITIONS ON THE PROPERTY.
38. ANY DAMAGE TO THE PUBLIC RIGHT OF WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
39. A MINIMUM CANOPY HEIGHT OF 13'-0" FOR EMERGENCY EQUIPMENT ACCESS.
40. SIGNAGE SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS, AND EACH SUITE SEPARATED BY LETTER.
41. ALL OUTDOOR LIGHTING SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF ZONING REGULATIONS SECTION 134.
42. 500 SF OFFICE FOR GAS STATION EMPLOYEE USE ONLY.

LEGEND

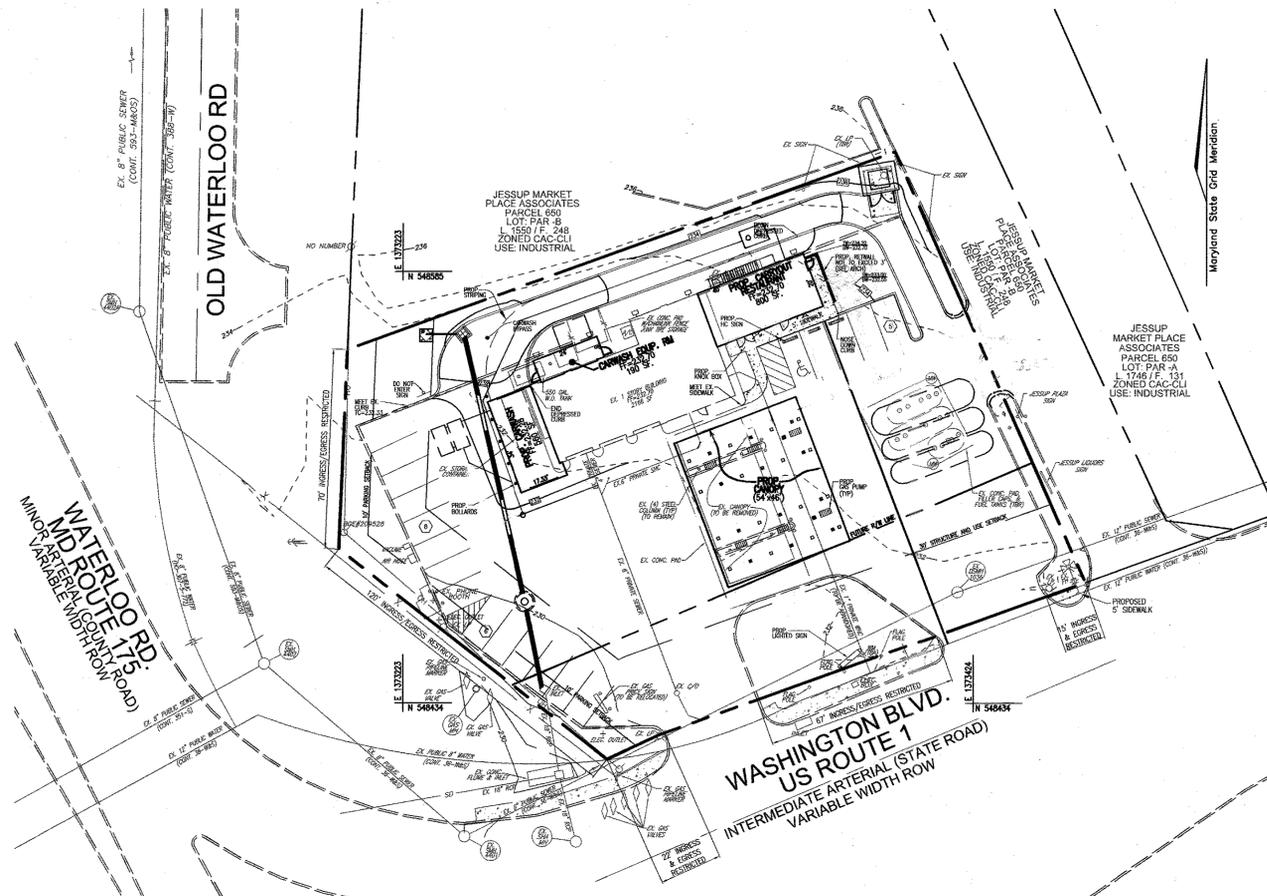
Existing Contour	---	382
Proposed Contour	---	382.56
Existing Spot Elevation	+	382.56
Proposed Spot Elevation	+	382.53
Direction of Flow	→	
Existing Trees to Remain	☼	
Light Poles	□	Single Overhead □ □ Double Overhead
Concrete	▨	

BENCHMARKS

HOWARD COUNTY BENCHMARK 438C	N 549592.1032 E 1375466.6548	ELEV. 214.112
HOWARD COUNTY BENCHMARK 438C	N 547821.2715 E 1372882.4448	ELEV. 219.706



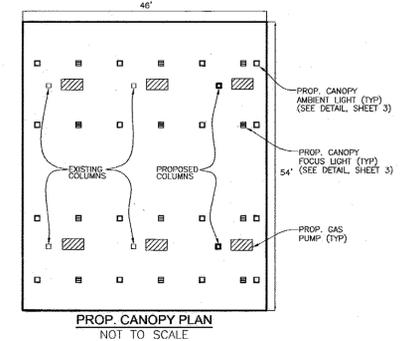
VICINITY MAP
SCALE 1"=2000'
ADC MAP COORDINATES: 20 H1



LOCATION MAP
SCALE: 1"=30'

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 5
SITE LAYOUT PLAN, GRADING & SEDIMENT CONTROL PLAN, SOILS MAP	2 OF 5
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	3 OF 5
STORM DRAIN DRAINAGE AREA MAP, SWM DETAILS, AND PROFILES	4 OF 5
LANDSCAPE PLAN	5 OF 5



PROP. CANOPY PLAN
NOT TO SCALE

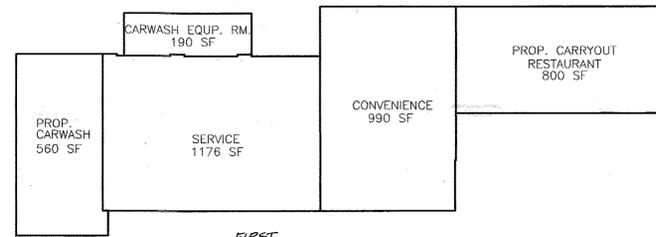
OWNER & DEVELOPER
DURGE LLC
6804 CREEKWOOD CT
CLARKSVILLE, MARYLAND 21029
410-903-7898

PARKING TABULATION

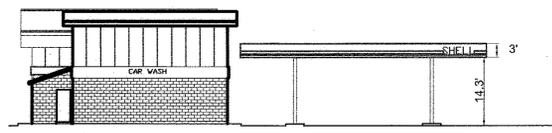
PARKING SPACES REQUIRED:	
SERVICE STATION	3 SPACES
3 SERVICE BAYS (3/BAY)	9 SPACES
990 SF CONVENIENCE STORE (2/1000 SF)	2 SPACES
800 SF CARRYOUT RESTAURANT (6/1000 SF)	5 SPACES
420 SF BASEMENT STORAGE; 6 500 SF OFFICE NOT REQUIRED	
TOTAL PARKING SPACES REQUIRED:	19 SPACES
TOTAL PARKING SPACES PROVIDED:	19 SPACES
CAR WASH STATION SPACES:	
10 CARS REQUIRED	
10 CARS PROVIDED	



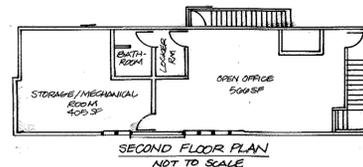
ROUTE 1 - FRONT ELEVATION - 2 STORY OFFICE
NOT TO SCALE



FIRST FLOOR PLAN
NOT TO SCALE



ROUTE 175 - SIDE ELEVATION
NOT TO SCALE



SECOND FLOOR PLAN
NOT TO SCALE

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
601	7894 WASHINGTON BLVD. (GAS STATION & CAR WASH)
601	7892 WASHINGTON BLVD. (CARRYOUT & RESTAURANT)

PERMIT INFORMATION CHART

SUBDIVISION NAME	SECTION/AREA	PARCEL NUMBER
N/A	N/A	601

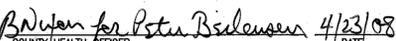
DEED REF.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR. #
8863/236	9	CAC-CL	43	1ST	6012.02

WATER CODE: B02	SEWER CODE: 2420000
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 4/7/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 4/24/08
 CHIEF, DIVISION OF LAND DEVELOPMENT
 4/29/08
 DIRECTOR

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

 4/23/08
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

NO.	REVISION	DATE
2	REVISE SEWER SERVICE AND RELOCATE GREASE INTERCEPTOR	4/17/09
1	ADD GRINDER PUMP FOR NEW SANITARY SERVICE CONNECTION	1/6/09
	ADD STORAGE TO REAR OF BUILDING	

SITE DEVELOPMENT PLAN

COVER SHEET

KUMAR SHELL GAS STATION
SERVICES/GAS STATION, CARWASH, CARRYOUT
DEED: 8863/236

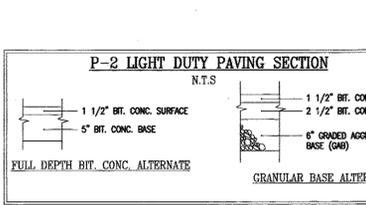
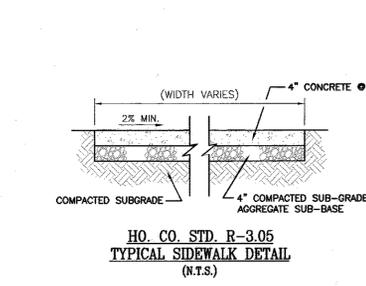
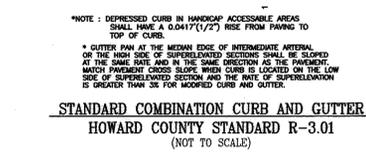
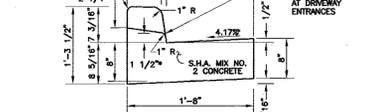
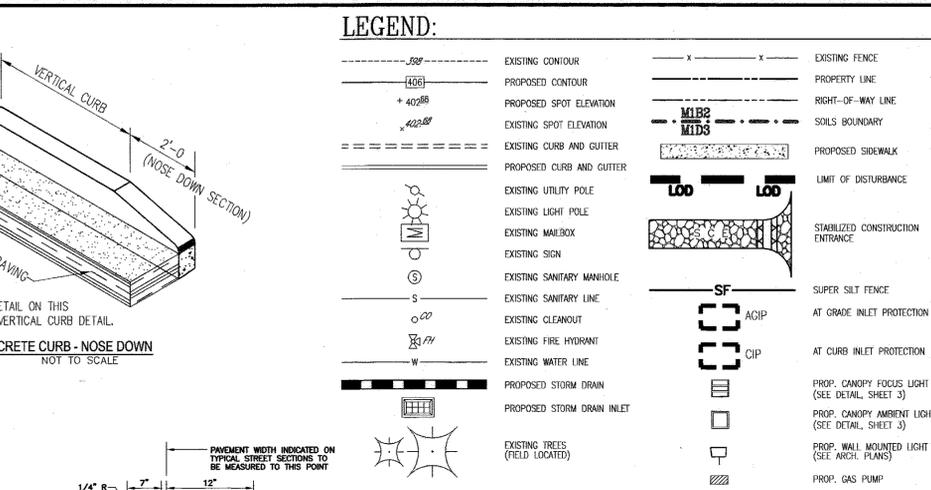
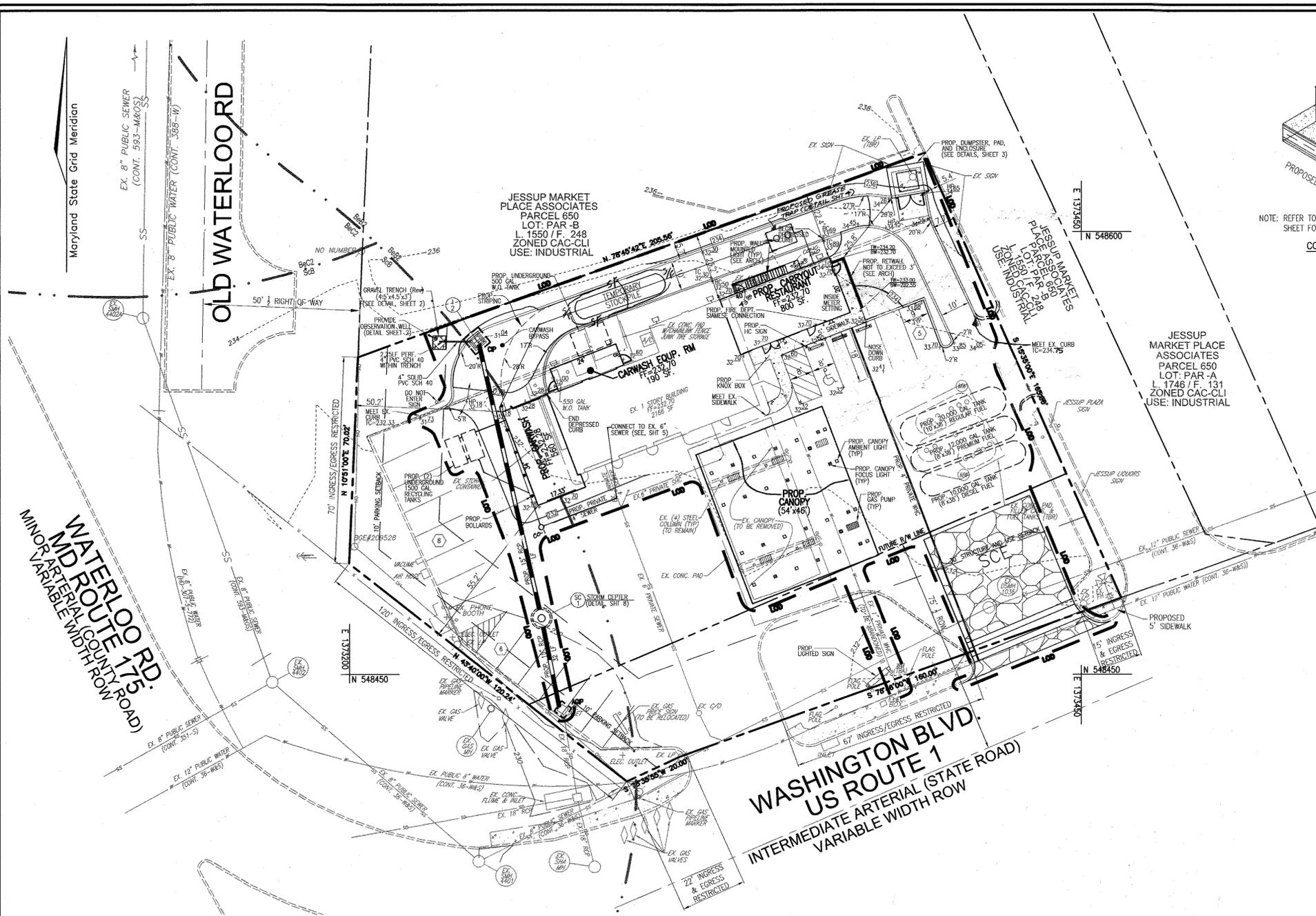
TAX MAP 43 BLOCK 9 PARCEL 601
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLICOTT CITY, MD 21043 FAX: 410.461.8961

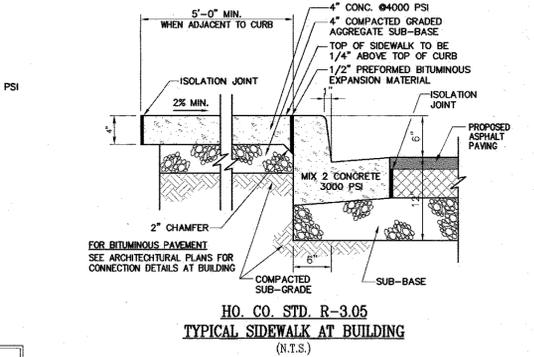


PROFESSIONAL CERTIFICATE
 DESIGN BY: DZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: MARCH 2008
 SCALE: AS SHOWN
 W.O. NO.: 05-46

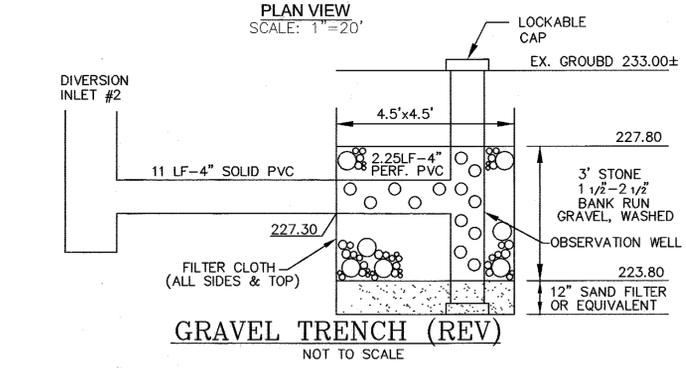
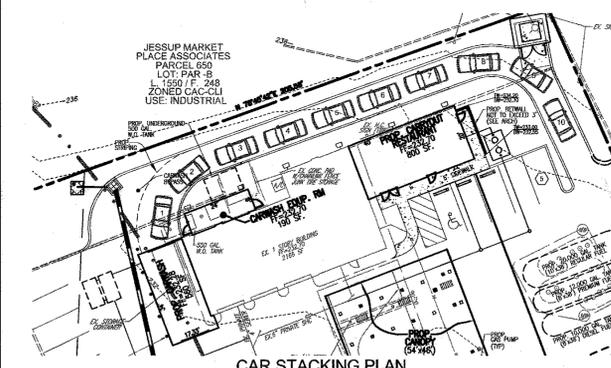
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE: 06-27-2008



STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED



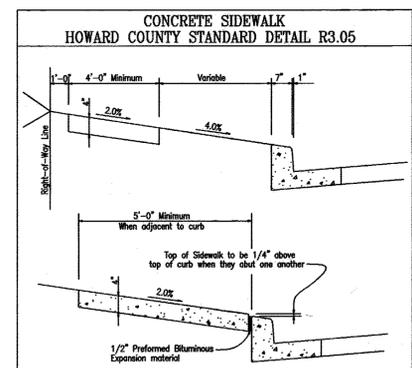
OWNER & DEVELOPER
DURGE LLC
6804 CREEKWOOD CT
CLARKSVILLE, MARYLAND 21029
410-903-7898



NOTE:
1. NO ACTUAL GRADING IS TO OCCUR OTHER THAN NEEDED FOR THE INSTALLATION OF THE PROPOSED 15" RCP.
2. SPOIL FROM THE TRENCHING OPERATION IS TO BE PLACED ON THE UPHILL SIDE OF THE TRENCH.

SOILS LEGEND		
SYMBOL	NAME / DESCRIPTION	GROUP
B6B2	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY	C
SCB	SANDY AND CLAYEY LAND, GENTLY SLOPING	C

NOTE: BASED ON HOWARD COUNTY SOIL SURVEY



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/7/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 4/14/08
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 4/23/08
 DIRECTOR

REVIEWED FOR HOWARD COUNTY TECHNICAL REQUIREMENTS.
 [Signature] DATE
 USF, NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] 4/13/08
 HOWARD S.C.D.

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] DATE 3-20-08
 SIGNATURE OF DEVELOPER

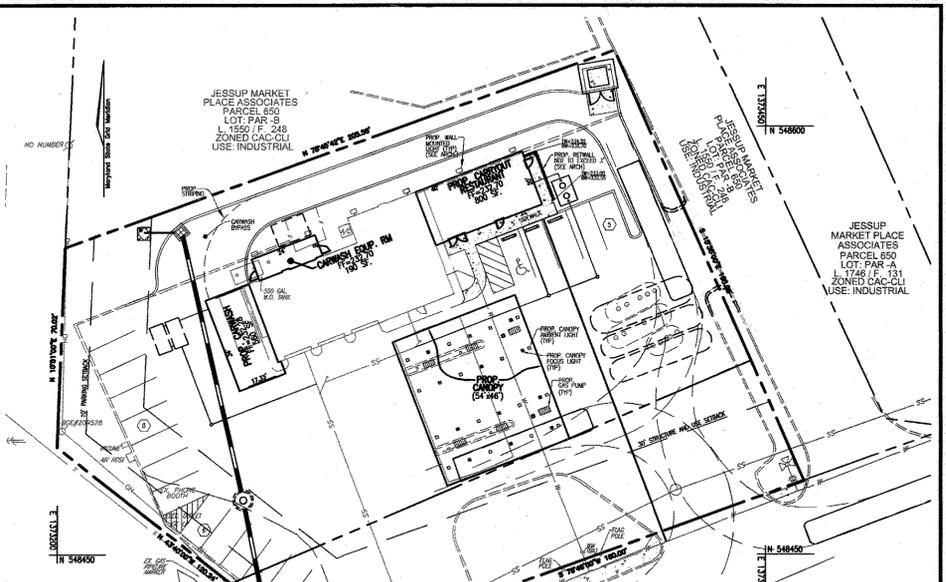
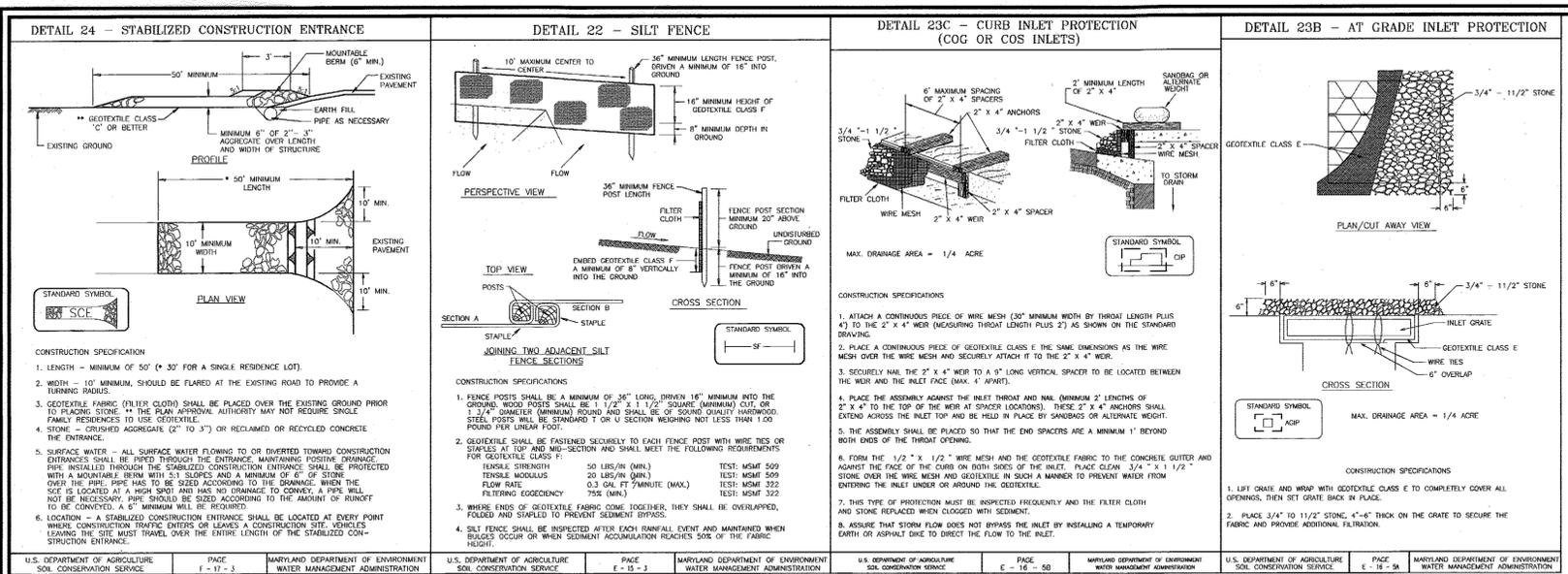
BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 [Signature] DATE 3/21/08
 SIGNATURE OF ENGINEER

NO.	REVISION	DATE
3	REVISE PLAN TO REFLECT THE EXISTING	02/21/08
2	OPENING TO THE ADJACENT DRIVEWAY	
2	REVISE SEWER SERVICE AND RELOCATE GREASE INTERCEPTOR	4/17/09
1	ADD GRINDER PUMP FOR NEW SANITARY SERVICE CONNECTION	1/16/09
	ADD STAIRCASE TO REAR OF BUILDING	

SITE DEVELOPMENT PLAN
 SITE LAYOUT GRADING AND
 SEDIMENT CONTROL PLAN, SOILS MAP
 KUMAR SHELL GAS STATION
 SERVICES/GAS STATION, CARWASH, CARRYOUT
 DEED: 8863/236
 TAX MAP 43 BLOCK 9 PARCEL 601
 1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET TEL: 410.461.7666
 ELICOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 EXPIRATION DATE: 09-27-2008
 DESIGN BY: [Signature] DZ
 DRAWN BY: [Signature] DZ
 CHECKED BY: [Signature] RVB
 DATE: MARCH 2008
 SCALE: AS SHOWN
 W.O. NO.: 05-46
 2 SHEET OF 5



PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously SOIL AMENDMENTS: In lieu of soil test recommendations, use one of the following:

- Preferred—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (8 lbs./1000 sq.ft.)
- Acceptable—Apply 2 tons per acre dolomitic limestone (92 lbs./1000 sq.ft.) and apply 1000 lbs. per acre 10-10-10 fertilizer (23 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil.

SEEDING: For the periods March 1 thru April 30, and August 1 thru October 15, seed with 60 lbs. per acre (1.4 lbs./1000 sq.ft.) of Kentucky 31 Tall Fescue. For the period May 1 thru July 31, seed with 60 lbs. Kentucky 31 Tall Fescue per acre and 2 lbs. per acre (.05 lbs./1000 sq.ft.) of weeping lovegrass. During the period of October 16 thru February 28, protect site by Option (1) 2 tons per acre well anchored straw mulch and seed as soon as possible in the spring. Option (2) Use sod. Option (3) Seed with 60 lbs./acre Kentucky 31 Tall Fescue and mulch with 2 tons/acre well anchored straw mulch.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq. ft.) of unrilled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre.

MAINTENANCE: Inspect all seeded areas and make needed repairs.

TEMPORARY SEEDING NOTES

SEEDBED PREPARATION: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding, if not previously SOIL AMENDMENTS: Apply 600 lbs. per acre 10-10-10 fertilizer (14 lbs./1000 sq.ft.) before seeding. Harrow or disc into upper three inches of soil. At the time of seeding, apply 400 lbs. per acre 30-0-0 ureaform fertilizer (8 lbs./1000 sq.ft.)

SEEDING: For periods March 1 thru April 30 and from August 15 thru November 15, seed with 1 1/2 bushel per acre of annual ryegrass (3.2 lbs./1000 sq.ft.) For the period May 1 thru August 14, seed with 3 lbs. per acre of weeping lovegrass (.07 lbs./1000 sq.ft.). For the period November 1 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible.

MULCHING: Apply 1 1/2 to 2 tons per acre (70 to 90 lbs./1000 sq.ft.) of unrilled small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq.ft.) of emulsified asphalt on flat areas. On slopes 8 feet or higher, use 348 gallons per acre.

REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR

SEQUENCE OF CONSTRUCTION

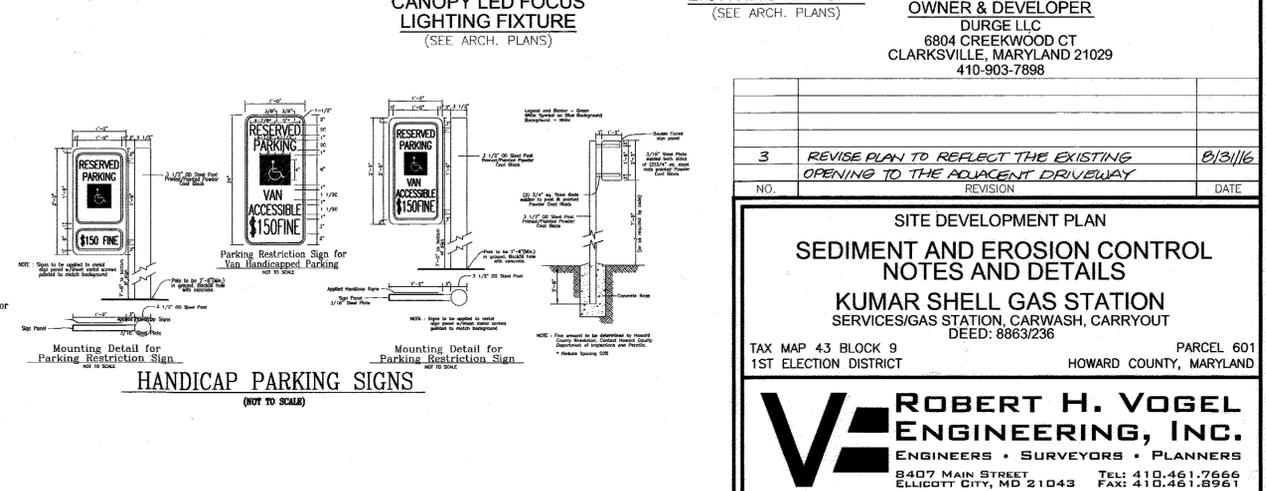
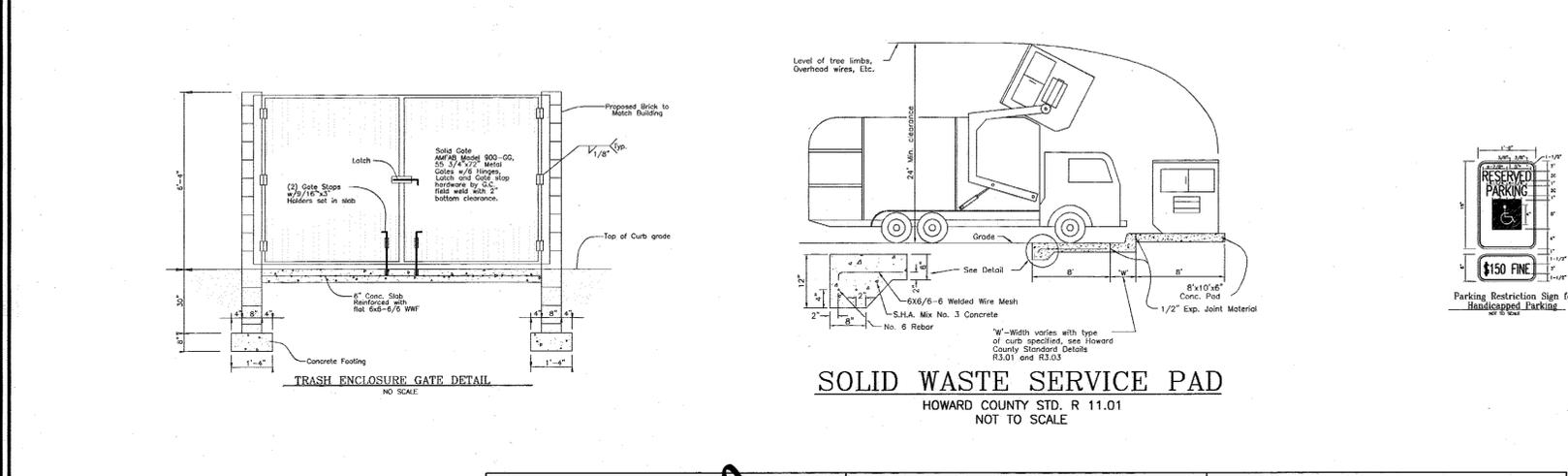
- OBTAIN HOWARD COUNTY GRADING PERMIT.
- NOTIFY HOWARD COUNTY AT LEAST 48 HOURS PRIOR TO START OF CONSTRUCTION. (WEEK 1)
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR PRIOR TO ANY LAND DISTURBANCE. (WEEK 1)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE WITH MOUNTABLE BERM. (WEEK 2)
- WITH APPROVAL OF SEDIMENT CONTROL INSPECTOR, CLEAR AND GRUB SITE. (WEEK 3)
- BEGIN GRADING OF SITE. (WEEK 3)
- BEGIN UTILITY CONSTRUCTION.
- BEGIN BUILDING CONSTRUCTION. (WEEK 9)
- INSTALL ON-SITE CURBS AND GUTTERS. (WEEK 21)
- COMPLETE BUILDING CONSTRUCTION. (WEEK 18)
- BEGIN PAVING AND INSTALL ALL SIDEWALKS. (WEEK 23)
- FINE GRADE AND STABILIZE ALL AREAS OF PARCEL INCLUDING ANY EXPOSED EARTH AREAS OUTSIDE THE LOD. REMOVE ALL TRASH JUNK AND DEBRIS FROM ENTIRE PARCEL. (WEEK 24)
- INSTALL SITE LANDSCAPING. (WEEK 25)
- REMOVE ALL SEDIMENT CONTROL MEASURES AFTER RECEIVING APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR. (WEEK 26)

SEDIMENT CONTROL NOTES

- A minimum of 48 hours notice must be given to the Howard County Department of Inspection, License and Permits Sediment Control Division prior to the start of any construction (313-1855).
- All vegetation and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within (6) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes, and all slopes greater than 3:1. (b) 14 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shall be fenced and warning signs posted around their perimeter in accordance with Vol. 1, Chapter 7, HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding, sod, temporary seeding, and mulching (Sec. G). Temporary stabilization with mulch alone shall be done when recommended seeding does not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
- Site Analysis:

Total Area	0.9081 Acres
Area Disturbed	0.49 Acres
Area to be roofed or paved	0.44 Acres
Area to be vegetatively stabilized	0.05 Acres
Total Cut	516 Cy
Total Fill	34 Cy
WASTE/BORROW LOCATION	N/A
- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment controls must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
- Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized within one working day, whichever is shorter.

* To be determined by contractor, with pre-approval of the Sediment Control Inspector with an approved and active grading permit.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 4/2/08

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 4/24/08

DIRECTOR: *[Signature]* DATE: 4/29/08

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS. DATE: 4/3/08

BY THE DEVELOPER: *[Signature]* DATE: 3-20-08

BY THE ENGINEER: *[Signature]* DATE: 3/26/08

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES FOR THE SEDIMENT AND EROSION CONTROL TRAINING PROGRAM FOR CONSTRUCTION OPERATIONS BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

3 REVISE PLAN TO REFLECT THE EXISTING OPENING TO THE ADJACENT DRIVEWAY 03/31/08

NO. REVISION DATE

SITE DEVELOPMENT PLAN
SEDIMENT AND EROSION CONTROL
NOTES AND DETAILS

KUMAR SHELL GAS STATION
SERVICES/GAS STATION, CARWASH, CARRYOUT
DEED: 8863/236

TAX MAP 43 BLOCK 9 PARCEL 601
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

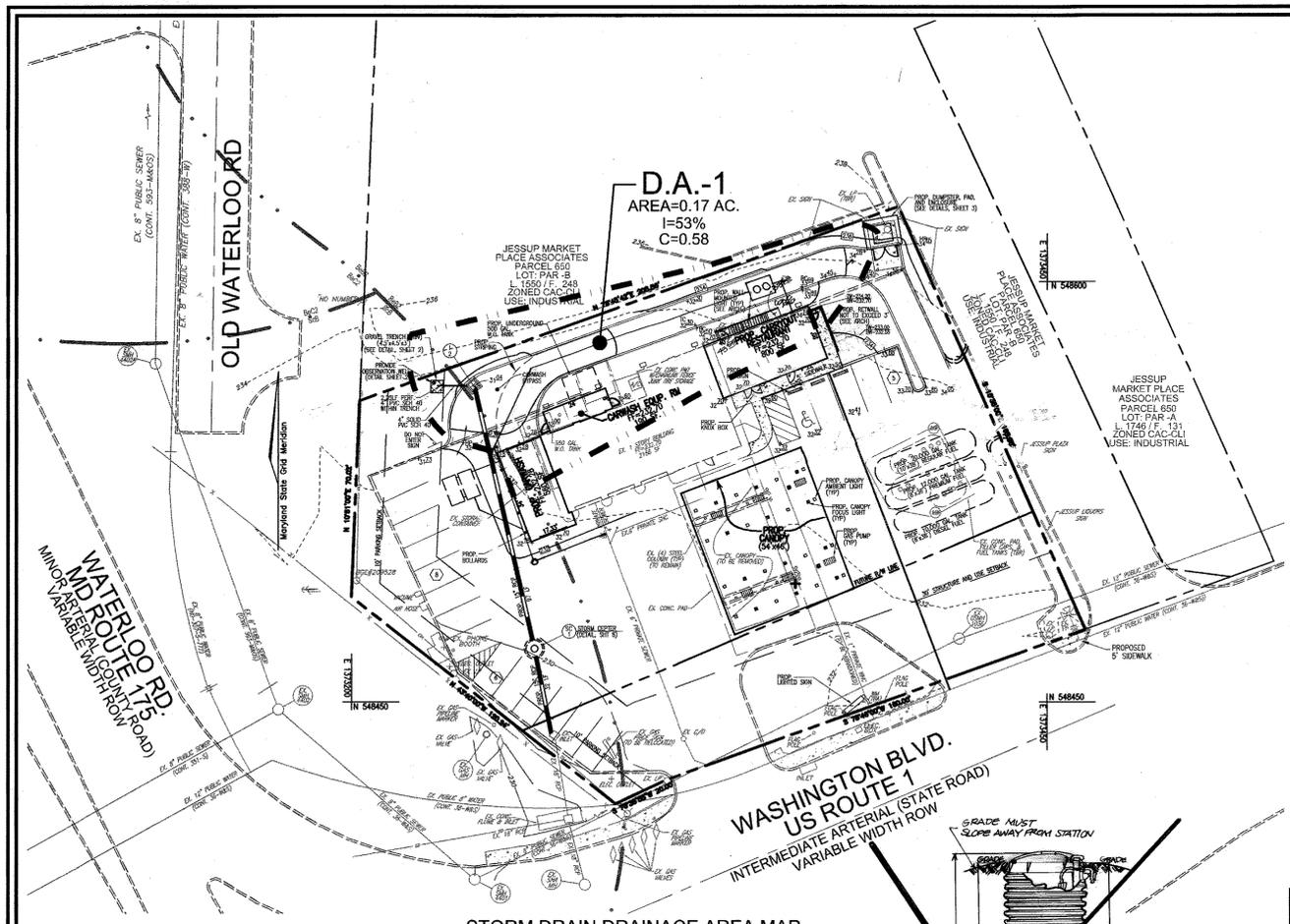
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: OZ
DRAWN BY: OZ
CHECKED BY: RHV
DATE: MARCH 2008
SCALE: AS SHOWN
W.O. NO.: 05-46

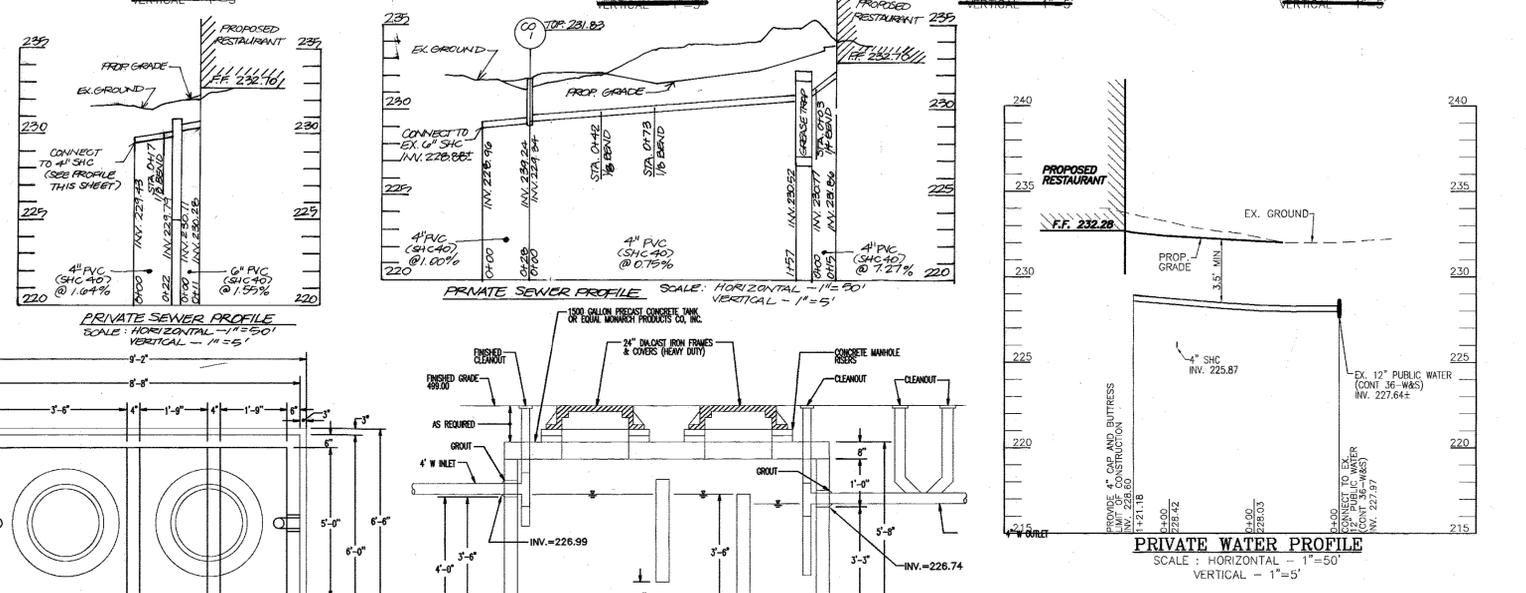
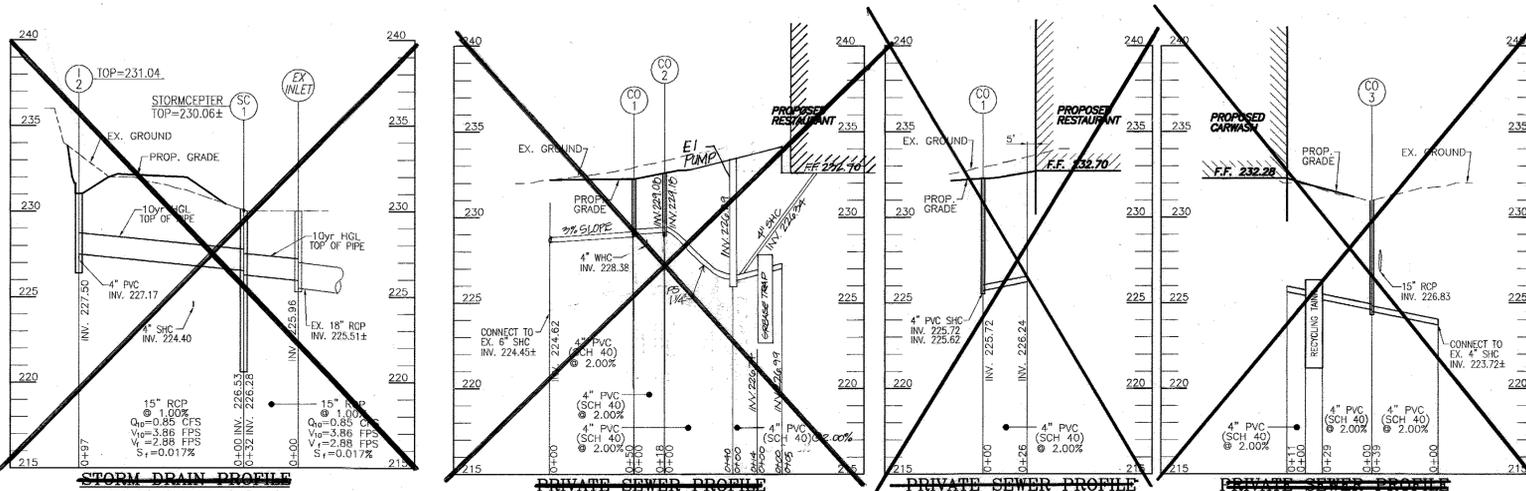
PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
EXPIRATION DATE: 09-27-2008

3 SHEET OF 5

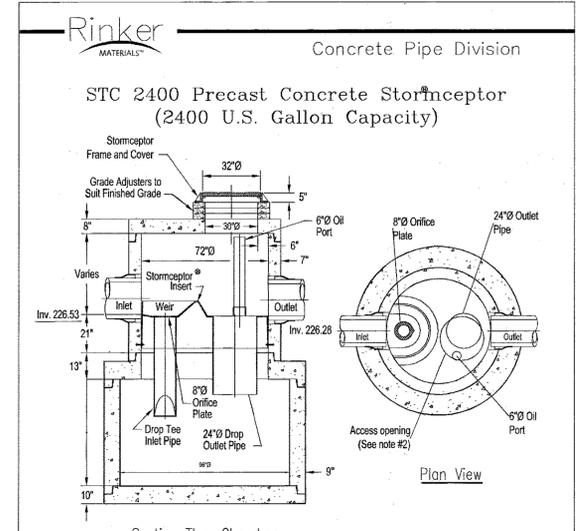
SDP 07-120



STORM DRAIN DRAINAGE AREA MAP
SCALE: 1"=30'



GREASE TRAP DETAIL
NOT TO SCALE



OPERATION AND MAINTENANCE SCHEDULE FOR STORMCEPTOR WATER QUALITY STRUCTURE

- The Stormceptor Water Quality structure shall be periodically inspected and cleaned to maintain operation and function. The owner shall inspect the Stormceptor unit yearly or a minimum, utilizing the Stormceptor inspection/monitoring form. Inspections shall be done by using a clear fiberglass tube (flexible/hinged) to extract a water column sample. When the sediment depth exceeds the level specified in table 6 of the Stormceptor Technical Manual, the unit must be cleaned.
- The Stormceptor water quality structure shall be checked and cleaned immediately after petroleum spills. The owner shall contact the appropriate regulatory agencies.
- The maintenance of the Stormceptor unit shall be done using a vacuum truck which will remove the water, sediment, debris, floating hydrocarbons and other materials in the unit. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
- The inlet and outlet pipes shall be checked for any obstructions at least once every six months. If obstructions are found the owner shall have them removed. Structural parts of the Stormceptor unit shall be repaired as needed.
- The owner shall retain and make the Stormceptor Inspection/Monitoring forms available to the Howard County officials upon their request.

PIPE SCHEDULE - PRIVATE		
SIZE	TYPE	LENGTH
15"	RCP, CLIV	129 LF
4"	PVC, SHC	135 LF
4"	DIP, WHC	125 LF

STRUCTURE SCHEDULE						
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS
1-2	TYPE 'S' INLET	N 548563 E 1373244	231.04	227.50	227.50	HO, CO, STD SD-4.32
SC	STORM CEPTER	N 548468 E 1373266	230.06	226.53	226.28	STC 4501 (SEE DETAIL, THIS SHEET)

- NOTE: 1. TOP ELEVATIONS ARE AT CENTER TOP OF HEADPIECE FOR TYPE 'A-S' INLETS; AT CENTER TOP OF CRATE FOR DOUBLE TYPE 'S' AND YARD INLETS AND TOP OF MANHOLE COVER FOR PRECAST MANHOLES.
2. FOR TOP SLAB SLOPES SEE GRADING PLAN.
3. SEE ARCHITECTURAL PLANS FOR ROOF DRAIN DETAILS.
4. ALL CUSTOM AND NON-STANDARD STRUCTURES TO BE DESIGNED BY A QUALIFIED STRUCTURAL ENGINEER.

SUMMARY TABLE					
AREA A 0.81 AC.	REQUIREMENT	VOLUME REQUIREMENT W/O CREDITS	CREDITS	VOLUME REQUIREMENT AFTER CREDITS	NOTES
1	WATER QUALITY VOLUME WQV	2264 CF	-	2264 CF	STORMCEPTOR ENTIRE SITE
2	RECHARGE VOLUME REV	22.2 CF	N/A	22.2 CF	FOR NEW IMPERVIOUS ONLY
3	CHANNEL PROTECTION VOLUME CPV	N/A	N/A	N/A	REDEVELOPMENT
4	OVERHEAD FLOOD PROTECTION, Q10P	N/A	N/A	N/A	
5	EXTREME FLOOD VOLUME, Q100P	N/A	N/A	N/A	

NOTE: WQV PROVIDED BY STORMCEPTOR. REV PROVIDED BY GRAVEL TRENCH.

- Notes:
1. The Use of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
USDA-NATURAL RESOURCES CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE DEVELOPER:
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

OWNER & DEVELOPER
DURGE LLC
6804 CREEKWOOD CT
CLARKSVILLE, MARYLAND 21029
410-903-7898

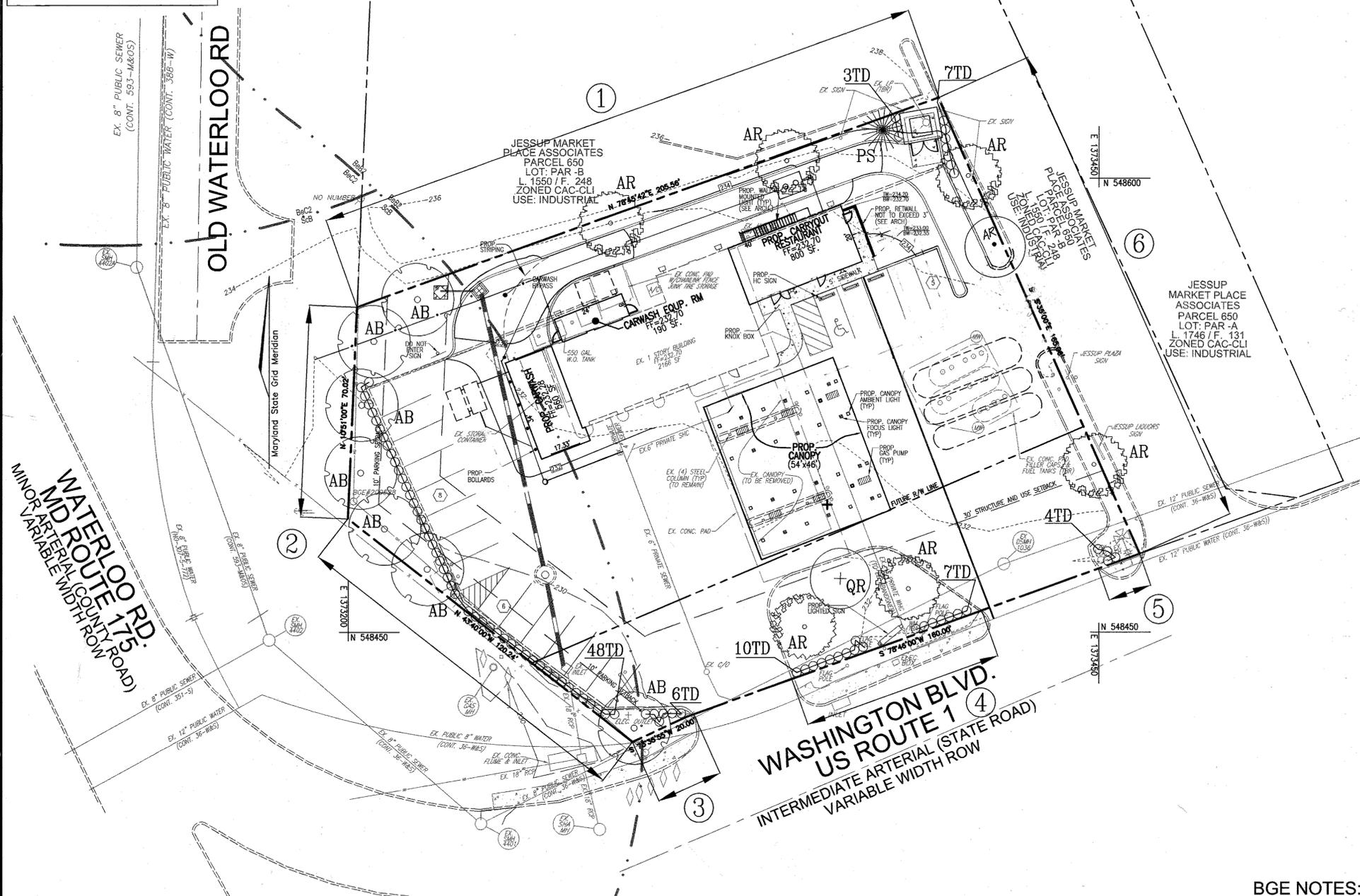
NO.	REVISION	DATE
3	REVISE PLAN TO REFLECT THE EXISTING OPENING TO THE ADJACENT DRIVEWAY	8/21/16
2	REVISE SEWER SERVICE AND RELOCATE GREASE INTERCEPTOR	11/10/15
1	ADD GRINDER RUMP FOR NEW SANITARY SERVICE CONNECTIONS; ADD STAIR CASE TO REAR OF BUILDING	1/6/09

SITE DEVELOPMENT PLAN
STORM DRAIN DRAINAGE AREA MAP
KUMAR SHELL GAS STATION SERVICES/GAS STATION, CARWASH, CARRYOUT DEED: 8663/236
TAX MAP 43 BLOCK 9 PARCEL 601
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043
TEL: 410.461.7666 FAX: 410.461.8961

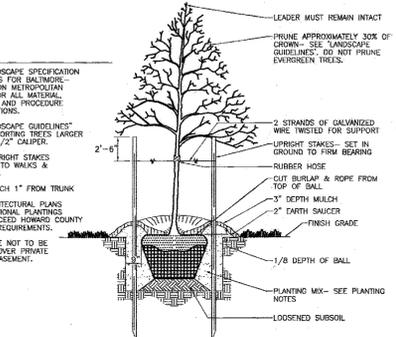
PROFESSIONAL CERTIFICATE
DESIGN BY: DZ
DRAWN BY: DZ
CHECKED BY: RHV
DATE: MARCH 2008
SCALE: AS SHOWN
W.O. NO.: 05-46
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly licensed PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 18193, EXPIRATION DATE 09-27-2008
4 SHEET OF 5

STORMWATER MANAGEMENT FACILITY TO BE PRIVATELY OWNED AND MAINTAINED

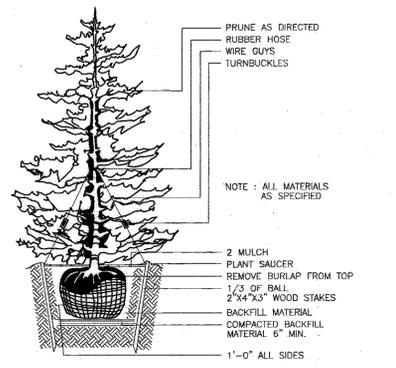


PLAN VIEW
SCALE: 1"=20'

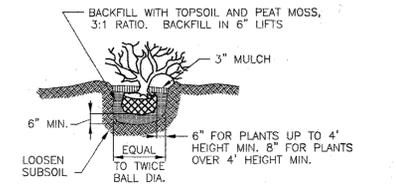
- NOTES:
- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE, WASHINGTON METROPOLITAN AREA" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
 - SEE "LANDSCAPE GUIDELINES" FOR SUPPORTING TREES LARGER THAN 2-1/2" CALIPER.
 - PLACE UPRIGHT STAKES PARALLEL TO WINDS & BUILDINGS.
 - KEEP MULCH 1" FROM TRUNK
 - SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
 - TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWERAGE EASEMENT.



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

LEGEND:

- - - - - EXISTING CONTOUR
- +--- PROPOSED CONTOUR
- + 40.288 PROPOSED SPOT ELEVATION
- 40.288 EXISTING SPOT ELEVATION
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB AND GUTTER
- +--- EXISTING UTILITY POLE
- +--- EXISTING LIGHT POLE
- +--- EXISTING MAILBOX
- +--- EXISTING SIGN
- +--- EXISTING SANITARY MANHOLE
- +--- EXISTING SANITARY LINE
- +--- EXISTING CLEANOUT
- +--- EXISTING FIRE HYDRANT
- +--- EXISTING WATER LINE
- +--- PROPOSED STORM DRAIN
- +--- PROPOSED STORM DRAIN INLET
- +--- EXISTING TREES (FIELD LOCATED)
- +--- EXISTING FENCE
- +--- PROPERTY LINE
- +--- RIGHT-OF-WAY LINE
- +--- SOILS BOUNDARY
- +--- PROPOSED SIDEWALK
- +--- PROPOSED SHADE TREE
- +--- PROPOSED EVERGREEN TREE
- +--- PROPOSED SHRUBS
- +--- LANDSCAPE PERIMETER
- +--- PROP. CANOPY FOCUS LIGHT (SEE DETAIL, SHEET 3)
- +--- PROP. CANOPY AMBIENT LIGHT (SEE DETAIL, SHEET 3)
- +--- PROP. WALL MOUNTED LIGHT (SEE ARCH. PLANS)
- +--- PROP. GAS PUMP

OWNER & DEVELOPER
DURGE LLC
6804 CREEKWOOD CT
CLARKSVILLE, MARYLAND 21029
410-903-7898

NO.	REVISION	DATE
3	REVISE PLAN TO REFLECT THE EXISTING OPENING TO THE ADJACENT DRIVEWAY	03/11/16
2	REVISE SEWER SERVICE AND RELOCATE GREASE INTERCEPTOR	4/17/09
1	ADD GRINDER PUMP FOR NEW SANITARY SERVICE CONNECTION ADD REAR STAIR CASE	1/6/09

SITE DEVELOPMENT PLAN
LANDSCAPE PLAN
KUMAR SHELL GAS STATION
SERVICES/GAS STATION, CARWASH, CARRYOUT
DEED: 8663/236
TAX MAP 43 BLOCK 9 PARCEL 601
1ST ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8961

PROFESSIONAL CERTIFICATE
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 19187
DESIGN BY: DZ
DRAWN BY: DZ
CHECKED BY: RHV
DATE: MARCH, 2008
SCALE: AS SHOWN
W.O. NO.: 05-46
5 SHEET OF 5

BGE NOTES:

- THE PROPOSED LANDSCAPING ON WIREZONE (40' FROM BGE POLES) IS IN ACCORDANCE WITH BGE LIST OF TREES AND PLANTS, AS SHOWN ON THIS PLAN.
- BGE RESERVES THE RIGHT TO TRIM, TOP OR CUT DOWN ANY TREE IN PROXIMITY TO THE LINE THAT IN THE OPINION OF BGE SHALL BE DEEMED A HAZARD TO THE SAFE AND RELIABLE DELIVERY OF ELECTRICITY.
- THE CONTRACTOR IS TO CALL "MISS UTILITY" PRIOR TO THE INSTALLATION OF ANY LANDSCAPING TO LOCATE THE UNDERGROUND GAS LINES LOCATED ALONG OLD WATERLOO ROAD AND THE NORTH SIDE OF US. ROUTE 1. PLANTING SHOULD NOT BE INSTALLED ANY CLOSER THAN 10' FROM THE GAS LINE IN EITHER DIRECTION.

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- LANDSCAPE SURETY IN THE AMOUNT OF \$7,500.00 SHALL BE POSTED AS PART OF THE GRADING PERMIT (17 SHADE TREES @ \$300.00 PER TREE, 1 EVERGREEN @ \$150.00 PER TREE, 75 SHRUBS @ \$30.00 PER SHRUB).

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAN SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY NEED TO VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	19
NUMBER OF TREES AND ISLANDS REQUIRED	1
NUMBER OF TREES AND ISLANDS PROVIDED	1
SHADE TREES AND ISLANDS	1
OTHER TREES (2:1 SUBSTITUTION)	-

LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	CAT
AR	7	ACER RUBRUM OCTOBER GLORY RED MAPLE	2 1/2"-3" CAL.	B & B
QR	1	QUERCUS PHELLOS WILLOW OAK	2 1/2"-3" CAL.	B & B
PS	1	PINUS STROBUS EASTERN WHITE PINE	6"-8" HT.	B & B
TD	75	TAXUS MEDIA 'DENSIFORMIS' DENSIFORMIS YEW	2 1/2" - 3" HT.	B & B
AB	7	ACER FRATERNUM 'BLOODGOOD' BLOODGOOD JAPANESE RED MAPLE	4"-8" HT. (MAX. HEIGHT=20')	B & B

SCHEDULE A
PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO ROADWAYS AND PERIMETER PROPERTIES							ADJACENT TO DUMPSTER
	1	2	3	4	5	6	7	
PERIMETER/FRONTAGE DESIGNATION	A	E	E	E	A	A	C	
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	206	190	22	67	15	165	35	
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No	No	No	No	No	No
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET DESCRIBE BELOW IF NEEDED)	No	No	No	No	No	No	No	No
NUMBER OF PLANTS REQUIRED	1:60	3	1:40	1:40	1:40	0	1:60	1
SHADE TREES	-	1:4	48	1:4	6	17	4	1
EVERGREEN TREES	-	-	-	-	-	-	-	-
SHRUBS	-	-	-	-	-	-	-	-
NUMBER OF PLANTS PROVIDED	3	5	1	2	-	3	-	-
EVERGREEN TREES	-	-	-	-	-	-	-	1
OTHER TREES (2:1 SUBSTITUTION)	-	-	-	-	-	-	-	-
SHRUBS (10:1 SUBSTITUTION)	-	48	6	17	4	-	-	10*
DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED								

* Substitute 10 shrubs for one shade in Perimeter 7.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

SIGNATURE OF DEVELOPER: *[Signature]* DATE: 3-24-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* DATE: 4/1/08
CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* DATE: 4/29/08
DIRECTOR: *[Signature]* DATE: 4/29/08