

SITE DATA

- 1. LOCATION: TAX MAP 43, GRID 14, PARCELS A, B & C.
2. 6TH ELECTION DISTRICT
3. ZONING: CAC-CL1
4. WATERSHED: DORSEY RUN, STREAM USE-1
5. NUMBER OF DWELLING UNITS PROPOSED: 366
6. DENSITY CALCULATION:
GROSS AREA OF PROJECT: 16,6255 AC
100 YEAR FLOOD PLAIN: 0.349 AC
NET TRACT AREA: 16,2766 AC
ALLOWED DENSITY = (16,4906 x 25/DU/NET AC) = 412 DU
PROPOSED DENSITY = (22,1945 DU / NET AC) = 366 DU
7. THE DENSITY CALCULATION INCLUDES THE LAND AREA OF PARCEL B. NO RESIDENTIAL DEVELOPMENT WILL OCCUR ON PARCEL B.
8. AREA OF PROPOSED HOWARD COUNTY PUBLIC ROAD DEDICATION: 0.2589 AC
9. AREA OF PROPOSED MSHA PUBLIC ROAD DEDICATION: 0.6664 AC
10. AREA OF PROPOSED RESIDENTIAL CONDO PARCEL 'A': 7,1571 AC
11. AREA OF PROPOSED RESIDENTIAL APARTMENT PARCEL 'C': 6,5928 AC
12. AREA OF PROPOSED OFFICE/COMMERCIAL USE ON PARCEL 'C': 25,035 SQ FT
13. AREA OF PROPOSED OFFICE/COMMERCIAL PARCEL 'B' (PHASE 2): 1,9602 AC
14. AREA OF PROPOSED OFFICE/COMMERCIAL USE ON PARCEL 'B' (PHASE 2): 64,000 SQ FT
15. NO MINIMUM OPEN SPACE OR RECREATION OPEN SPACE REQUIRED IN CAC-CL1 ZONE PER ZONING ORDINANCE. THE RTE 1 MANUAL REQUIRES 10% OF THE NET SITE AREA BE PROVIDED AS PEDESTRIAN AMENITY AREAS
16. ALL COMMUNITY OPEN SPACES WILL BE ACCESSIBLE TO ALL RESIDENTS OF THE COMMUNITY. SITE AMENITY AREAS ARE DESIGNED IN ACCORDANCE WITH ALL APPLICABLE ADA STANDARDS.
17. SEE CALCULATION ON SHEET 6 FOR LISTING OF SITE AMENITIES.

Table with 3 columns: SITE TABULATION, PARKING REQUIRED, PARKING PROVIDED. Rows include 2 OVER 2 CONDOS, REAR LOAD TOWNHOMES, ON-STREET GUEST PARKING, and TOTAL PARKING FOR PARCEL A.

Table with 3 columns: SITE TABULATION, PARKING REQUIRED, PARKING PROVIDED. Rows include MULTI-FAMILY, GARAGE GUEST PARKING, TOTAL RESIDENTIAL PARKING, COMMERCIAL, and TOTAL PARKING FOR PARCEL C.

* POOL PARKING OF 25 SPACES @ 250 PEOPLE MAX CAPACITY x 0.1 SP/PERSON IS TO BE PROVIDED IN THE GARAGE ON PARCEL C AS PART OF THE 61 EXTRA GARAGE SPACES ON RESIDENTIAL LEVELS.
*A MAXIMUM OF 10 BUSINESS VEHICLES WILL BE ALLOWED TO BE PARKED ON-SITE AS PART OF THE 25 EXTRA SPACES IN THE GROUND LEVEL GARAGE.
* INCLUDES 12 ACCESSIBLE SPACES (3 VAN ACCESSIBLE) IN GARAGE AND 3 ACCESSIBLE SPACES (1 VAN ACCESSIBLE) ON STREET.

GENERAL NOTES

- 29. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
30. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
31. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
32. TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
33. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
34. FLOODPLAIN ELEVATIONS WERE TAKEN FROM A PLAT FOR PARCEL A, PLEASANT CHASE AND A SIMPLIFIED FLOODPLAIN STUDY APPROVED UNDER SDP-06-18.
35. NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, PAVING, AND NEW STRUCTURES SHALL BE PERMITTED WITHIN THE REQUIRED WETLANDS, STREAM, OR THEIR BUFFERS, FRESH CONSERVATION EASEMENT AREAS, AND 100 YEAR FLOODPLAIN, EXCEPT AS SHOWN AND APPROVED PER WP-06-096.
36. THE SUBJECT PROPERTY IS ZONED CAC-CL1 PER THE 2/2/04 COMPREHENSIVE ZONING PLAN AND THE COMP LITE ZONING AMENDMENTS, EFFECTIVE 7/28/06.
37. IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS, PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACKS.
38. DRIVEWAYS SHALL BE PROVIDED PRIOR TO ISSUANCE OF A USE AND OCCUPANCY PERMIT FOR ANY NEW DWELLINGS TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
WIDTH - 12' (16' SERVING MORE THAN ONE RESIDENCE)
- 18' AND 18' SHARED ACCESS WIDTH
SURFACE - 6" OF COMPACTED CRUSHER RUN BASE WITH 1-1/2" MIN. ASPHALT GEOMETRY - MAX 14% GRADE, MAX 10% GRADE CHANGE, AND MIN 45' TURNING RADIUS
STRUCTURES - CAPABLE OF SUPPORTING 25 GROSS TONS (H25 LOADING)
DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE MAINTENANCE - SUFFICIENT TO INSURE ALL-WEATHER USE
39. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE LANDSCAPE MANUAL.
40. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$133,210 FOR 312 SHADE TREES @ \$300/TREE, 49 EVERGREEN TREES @ \$150/TREE, 142 SHRUBS @ \$30/SHRUB, AND 106 FEET OF FENCE AROUND THE TRASH ENCLOSURE @ \$101/FT.
41. THIS PROJECT COMPLIES WITH THE REQUIREMENTS OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION AS PART OF F-07-156 BY PROVIDING 0.45 ACRES OF ON-SITE REFORESTATION, 0.15 ACRES OF ON-SITE RETENTION, AND 4.69 ACRES OF OFF-SITE CONSERVATION. FOREST CONSERVATION SURETY WAS POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$9,801.00 (19,602 SF @ \$0.50/SF) FOR REFORESTATION AND \$1,306.80 (6,534 SF @ \$0.20/SF) FOR ON-SITE RETENTION.
42. LIGHT TRESPASS ALONG THE BOUNDARY OF THIS SITE ADJACENT TO RESIDENTIAL AREAS ZONED R-SC IS LIMITED TO 0.1 FOOT CANDLES AS MEASURED 3 FEET ABOVE THE GROUND AT THE PROPERTY LINE. LIGHTS SHALL BE SHIELDED IN ACCORDANCE WITH HOWARD COUNTY ZONING SECTION 134.

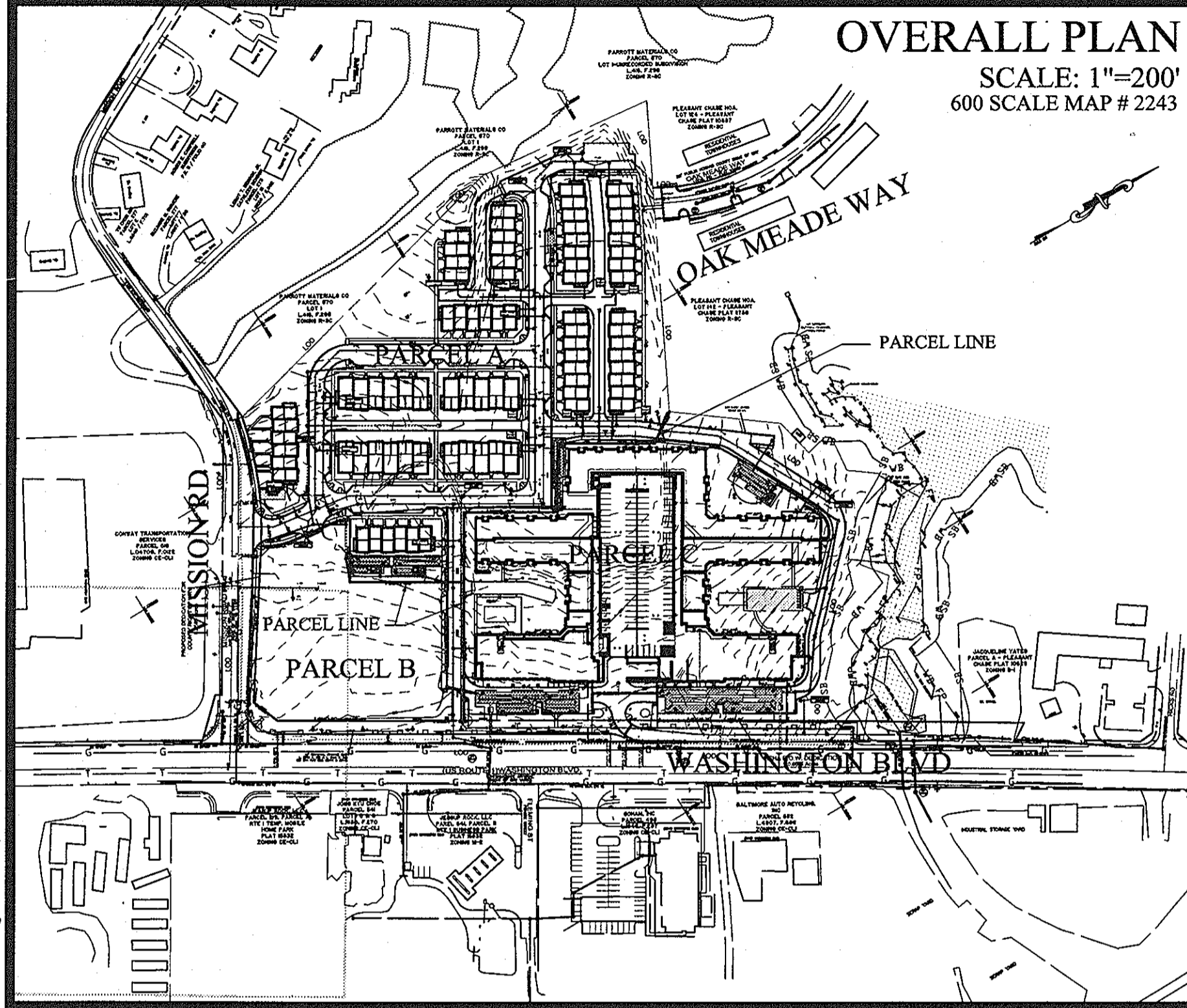
GENERAL NOTES ARE CONTINUED ON SHEET 6.

Professional certification and signature blocks for the developer, engineer, and director. Includes dates and titles for John P. Robertson, Stephen C. Kelly, and Ron Mijan.

SHEET INDEX

- 1. COVER SHEET
2-6. SITE DEVELOPMENT PLAN
7. SITE DEVELOPMENT DETAILS
8-12. GRADING & SEDIMENT CONTROL PLAN
13. SEDIMENT CONTROL DETAILS
14-17. PRIVATE STORM DRAIN PROFILES
18. PRIVATE STORM DRAIN DETAILS
19-22. PRIVATE STORM WATER MANAGEMENT DETAILS
23-24. PUBLIC STORM DRAIN PROFILES
25. EXISTING SHA STORM DRAIN PROFILE
26-27. PRIVATE SANITARY PROFILES
28. PRIVATE WATER, SANITARY & SWM DETAILS
29-33. LANDSCAPE AND STREET TREE PLANS
34. AMENITY SPACE LANDSCAPING
35-40. LANDSCAPE DETAILS
41-42. PROPOSED DRAINAGE AREA & SOILS MAP
43-44. EXISTING DRAINAGE AREA MAPS
45-46. LANDSCAPE EXHIBITS
47-53. PAVING AND MARKING PLANS

SITE DEVELOPMENT PLAN MISSION PLACE 6th ELECTION DISTRICT HOWARD COUNTY, MARYLAND

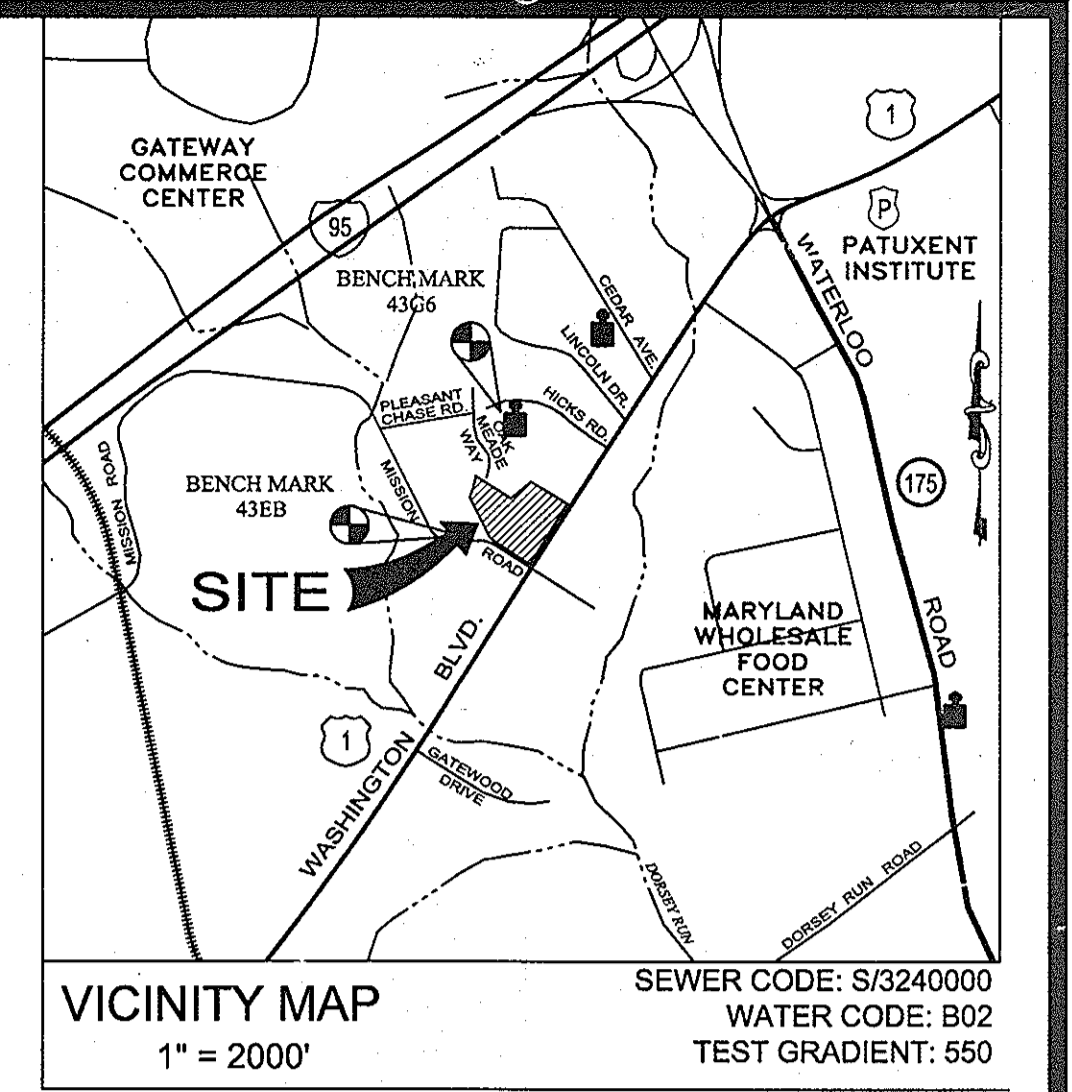


Address chart table with columns: PARCEL A: TOWNHOUSES & CONDOMINIUMS, UNIT NO., ADDRESS, UNIT NO., ADDRESS. Lists addresses from 8170 Mission Road to 8164 Washington Boulevard.

Site analysis data chart table with columns: SITE ANALYSIS DATA CHART, TOTAL PROJECT AREA, AREA OF PLAN SUBMISSION, LIMIT OF DISTURBED AREA, CAC-CL1 ZONING DESIGNATION, TOTAL UNITS ALLOWED FOR PROJECT, PROPOSED USE FOR SITE, TOTAL UNITS PROPOSED ON THIS SDP-07-104, APARTMENTS, TOWNHOMES, 2-OVER-2, TOTAL UNITS PROPOSED FOR FUTURE SDP-07-113, PARKING SPACES REQUIRED, PARKING SPACES PROVIDED, OPEN SPACE ON SITE, AREA OF RECREATION OPEN SPACE REQUIRED, ACRES REQUIRED, ACRES PROVIDED, BUILDING COVERAGE, PERCENTAGE OF GROSS AREA, DPZ FILE REFERENCES, FLOOR SPACE USE IN APARTMENT BUILDING, PHASING PLAN, PHASE 1 (EST. START 2007) WILL CONSIST OF THE FOLLOWING WORK, PHASE 2 (EST. START 2008) WILL CONSIST OF THE FOLLOWING WORK, PERMIT INFORMATION CHART.

BENCH MARKS

- CONTROL STATION 43G6 ELEVATION 220.11 N 544,117.545 E 1,370,550.825 LOCATED NEAR THE ENTRANCE TO TRAILER PARK, 68.8' SOUTH FROM FIRE HYDRANT
CONTROL STATION 43EB ELEVATION 216.99 N 545,963.658 E 1,371,573.830 LOCATED 78' NORTH OF HICKS ROAD.



SEE SHEET SHEET 6 FOR A LIST OF ALTERNATIVE COMPLIANCE REQUESTS AND APPROVALS.

GENERAL NOTES

- 1. THE PROJECT IS IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS UNLESS WAIVERS HAVE BEEN APPROVED. WAIVER PETITION WP-06-096 REQUESTING MODIFICATION TO SUBDIVISION & LAND REGULATIONS SECTION 16.119(1) TO ALLOW RIGHT-IN ACCESS FROM ROUTE 1; SECTION 16.116(a)(1) TO ALLOW GRADING, REMOVAL OF VEGETATIVE COVER AND TREES AND TO ALLOW PAVING WITHIN 25 FEET OF A WETLAND FOR THE PURPOSE OF THE PRIMARY SITE ENTRANCE FROM MISSION ROAD, AND SECTION 16.116(a)(2)(ii), TO ALLOW GRADING, REMOVAL OF VEGETATIVE COVER WITHIN 75 FEET OF A PERENNIAL STREAM FOR THE PURPOSE OF REMOVAL OF EXISTING WATER & SEWER MAINS, PAVING AND DEBRIS, TO REGRADE AND RESTORE AN AREA OUTSIDE OF THE EXISTING TREELINE, TO PROVIDE A DECELERATION LANE OF US ROUTE 1, AND TO ALLOW CONSTRUCTION OF AN 18' WIDE PRIVATE ROAD AND A RETAINING WALL, WAS APPROVED ON AUGUST 9, 2006, SUBJECT TO THE FOLLOWING CONDITIONS:
1. FOLLOWING THE REMOVAL OF THE PUBLIC UTILITIES AND PAVEMENT FROM THE ENVIRONMENTAL BUFFERS LYING ALONG THE NORTHEASTERN EDGE OF THE SITE, THE APPLICANT SHALL REFOREST THE AREA BETWEEN THE PRIVATE ROAD/RETAINING WALL AND THE EXISTING FOREST. THIS REFORESTATION SHALL BE DONE TO THE MAXIMUM EXTENT POSSIBLE, BUT SHALL NOT BE LESS THAN THE 0.17 ACRES IDENTIFIED ON THE APPLICANT'S EXHIBIT DATED 8/22/06.
2. PER SCD COMMENTS DATED 4/20/06:
a. MOVE RETAINING WALL/FOOTER EDGE TO NO CLOSER THAN 10' FROM BUFFER EDGE.
b. SHOW STREAM FROM PLEASANT CHASE POND OUTFALL.
3. THE APPLICANT SHALL ACQUIRE AN ACCESS PERMIT FROM SHA FOR THE ACCESS FROM ROUTE 1. ADMINISTRATIVE ADJUSTMENT PETITION AA-06-016 REQUESTING MODIFICATION TO ZONING ORDINANCE SECTION 127.5-D-2.a, TO INCREASE MAXIMUM BUILDING HEIGHT FROM 55 FEET TO 60.65 FEET WAS APPROVED ON JUNE 16, 2006, SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS.
2. THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE PROPOSED APARTMENT COMPLEX AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING OR USE.
3. A BUILDING PERMIT FOR THE APARTMENT COMPLEX SHALL BE OBTAINED WITHIN 2 YEARS FROM THE DATE OF THIS ORDER AND SUBSTANTIAL CONSTRUCTION SHALL BE COMPLETED WITHIN 3 YEARS. THE PETITIONER SHALL SUBMIT A COPY OF THIS DECISION AND ORDER WITH THE BUILDING PERMIT APPLICATION.
4. THIS DECISION AND ORDER SHALL BE MAINTAINED IN THE OWNER'S PROPERTY RECORDS AND SHALL BE TRANSFERRED TO ANY SUCCEEDING OWNER OF THE PROPERTY.
2. THIS PLAN SHALL BE SUBJECT TO THE AMENDED FIFTH EDITION OF THE HOWARD COUNTY SUBDIVISION REGULATIONS AND AMENDED ZONING REGULATIONS PER COUNCIL BILL 75-2003; APRIL 13, 2004.
3. THE EXISTING TOPOGRAPHY ON-SITE IS FROM THE ROUGH GRADING PROPOSED UNDER SDP-07-101. TOPOGRAPHY OF ADJACENT PUBLIC STREETS IS TAKEN FROM A FIELD RUN SURVEY WITH TWO FOOT CONTOUR INTERVALS PREPARED BY DEWBERRY & DAVIS, LLC, DATED JULY 7, 2004. TOPOGRAPHIC INFORMATION FOR ADJACENT PROPERTIES TAKEN FROM AVAILABLE RECORDS.
4. PROJECT BOUNDARY IS BASED ON A BOUNDARY SURVEY BY DEWBERRY & DAVIS, LLC, AUGUST 20, 2004. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM. HOWARD COUNTY MONUMENT NOS. 43EB AND 43G6 ARE THE CLOSEST TO THIS PROJECT AND WERE USED FOR THIS PROJECT.
5. PUBLIC WATER WILL BE PROVIDED FOR ALL PARCELS. CONTRACT #24-4402-D; DORSEY RUN DRAINAGE AREA.
6. PUBLIC SEWER WILL BE PROVIDED FOR ALL PARCELS. CONTRACT #24-4402-D; DORSEY RUN DRAINAGE AREA.
7. EXISTING UTILITIES WERE PLOTTED FROM FIELD SURVEY AND AS-BUILT DRAWINGS.
8. THIS DEVELOPMENT IS A REDEVELOPMENT OF EXISTING INDUSTRIAL, COMMERCIAL AND RESIDENTIAL DEVELOPMENT. STORMWATER MANAGEMENT WILL BE PROVIDED ON-SITE BY 5 PRIVATE UNDERGROUND COLLECTION, 2 PRIVATE DETENTION AND 1 PRIVATE GROUND WATER RECHARGE AS SHOWN ON PLAN. EACH FACILITY IS ENCUMBERED BY A PRIVATE SWM EASEMENT.
9. THERE ARE WETLANDS ON SITE AS SHOWN BASED ON FIELD STUDY DONE BY MCCARTHY & ASSOCIATES, FEBRUARY 2006. MDE PERMIT 07-NT-3012, USACE PERMIT 200706033.
10. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, DATED FEBRUARY 2006. AN AFPO STUDY BY THE TRAFFIC GROUP, DATED MAY 26, 2007, WAS APPROVED AS PART OF SP-06-18. SEE PHASING NOTES BELOW FOR ALLOCATION BREAKDOWN.
11. NOISE STUDY FOR THIS PROJECT WAS PREPARED BY POLYSONICS, DATED FEBRUARY 9, 2006.
12. GEOTECHNICAL REPORT FOR THIS PROJECT WAS PREPARED BY EGS, LLC, DATED AUGUST 2004 & DECEMBER 2005.
13. FOREST STAND DELINEATION BY DEWBERRY & DAVIS, LLC, MARCH 2006.
14. STREET LIGHTING IS SHOWN ON THIS PLAN. PEDESTRIAN STREET LIGHTING IS SHOWN ALONG ROUTE 1, MISSION ROAD, AND ON-SITE USING THE US 1 CORRIDOR POST-TOP LIGHT FIXTURE ON A DIRECT BURY POST, WITH A MOUNTING HEIGHT OF 15 FEET. INSTALLATION SHALL BE COORDINATED WITH THE DIVISION OF TRANSPORTATION PLANNING TO AVOID CONFLICTS. STREET LIGHTS SHALL BE A MINIMUM OF 20 FEET FROM ANY TREE (SEE SHEET #35 FOR DETAILS).
15. SEDIMENT & EROSION CONTROL WILL BE PROVIDED PER THIS PLAN.
16. THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT FOR PUBLIC WATER & SEWER.
17. THERE ARE NO BURIAL OR CEMETERY LOCATIONS ON THIS SITE.
18. A PETITION (HO-827) ASKING TO DEMOLISH THE EXISTING LOG CABIN RESTAURANT AND ALL ASSOCIATED STRUCTURES IN ORDER TO DEVELOP THE SITE AS MIXED USED PER THE CAC-CL1 ZONE WAS HEARD BY THE HISTORIC DISTRICT COMMISSION ON MAY 3, 2007. THE COMMISSION VOTED IN FAVOR OF THE PETITION.
19. ALL EXISTING 8066 POLES ON-SITE WERE REMOVED OR RELOCATED WITH SDP-07-101 AND PERMITS.
20. THE PROPOSED RETAIL AREA WILL CONSIST OF 6 OR MORE RETAIL USES OR RETAIL AND SERVICE USES THAT ARE DESIGNED, DEVELOPED AND MANAGED AS AN INTEGRAL ENTITY AND THAT SHARE COMMON ACCESS AND PARKING TO BE ELIGIBLE FOR THE SHOPPING CENTER PARKING REQUIREMENTS OF 5 PARKING SPACES PER 1000 SQ FT IN ACCORDANCE WITH SECTION 103.A.149 OF THE ZONING ORDINANCE.
21. TRASH PICKUP FOR THE 2 OVER 2 AND TOWNHOUSE UNITS WILL BE PRIVATE CURBSIDE SERVICE IN THE ALLEYS. TRASH PICKUP FOR THE OFFICE, COMMERCIAL AND APARTMENT UNITS WILL BE PROVIDED AT TRASH ENCLOSURES AS SHOWN ON PLANS.
22. VEHICULAR AND PEDESTRIAN STREETLIGHTS ARE PROVIDED THROUGHOUT THIS DEVELOPMENT IN ACCORDANCE WITH THE DESIGN MANUAL.
23. ALL CROSSWALKS SHOWN ON PLANS WILL BE PAINTED STRIPES.
24. ALL SITE AMENITIES, FURNITURE AND FIXTURES ARE SHOWN ON THE LANDSCAPE PLANS.
25. INDOOR NOISE MITIGATION FOR RESIDENTIAL UNITS FACING US ROUTE 1 WILL BE REQUIRED WITH THE BUILDING PERMIT.
26. MIHU (MODERATE INCOME HOUSING UNITS) AGREEMENT WAS PROVIDED FOR THIS PROJECT AS PART OF SP-06-018. SIXTY ONE (61) UNITS ARE REQUIRED. SIXTY ONE (61) UNITS ARE PROVIDED AND WILL BE LOCATED IN THE APARTMENT BUILDING IN THIS PHASE. NOTE: THE NET SQUARE FOOTAGE OF A MIHU 1-BEDROOM UNIT SHALL NOT EXCEED 900 SQ FT. THE NET SQUARE FOOTAGE OF A MIHU 2-BEDROOM UNIT SHALL NOT EXCEED 1,100 SQ FT.
27. THIS SITE WAS PREVIOUSLY CLEARED AND GRADED IN ACCORDANCE WITH SDP-07-101. ALL EXISTING UTILITIES, PAVEMENT, STRUCTURES, AREAS OF STEEP SLOPE, AND VEGETATION ON-SITE, WITHIN THE LIMITS OF DISTURBANCE OF SDP-07-101 AND LOCATED OUTSIDE OF PUBLIC RIGHTS-OF-WAY WERE DEMOLISHED AND REMOVED. NO EXISTING SLOPES GREATER THAN 25% REMAIN ON THIS SITE. A PERMANENT RETAINING WALL BUILT UNDER SDP-07-101 EXISTS ON SITE SOUTH OF THE FOREST CONSERVATION EASEMENT.
28. ALL BUILDINGS WILL HAVE AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEMS EXCEPT THE PARKING DECK IN THE APARTMENT BUILDING. A KNOX BOX WILL BE INSTALLED ON THE APARTMENT BUILDING WITHIN 6 FEET OF THE RIGHT SIDE OF THE MAIN DOOR, AT A HEIGHT OF 4-5 FEET. THE BOX SHALL BE INTEGRATED INTO THE FIRE ALARM SYSTEM PER NFPA-1 10.12.1. THE BUREAU OF LIFE SAFETY MUST BE NOTIFIED PRIOR TO THE INSTALLATION OF ACCESS CONTROL DEVICES SUCH AS GATES.

Mission Place Parcels A & C Apartments, Townhouses and Commercial. Includes Dewberry logo, contact information, and professional certification details.

NOTE:
PARCEL 'C' HAS ONE BUILDING CONTAINING 5 LEVELS OF RESIDENTIAL APARTMENTS ABOVE GROUND FLOOR COMMERCIAL ALONG THE ENTIRE EAST FRONTAGE.

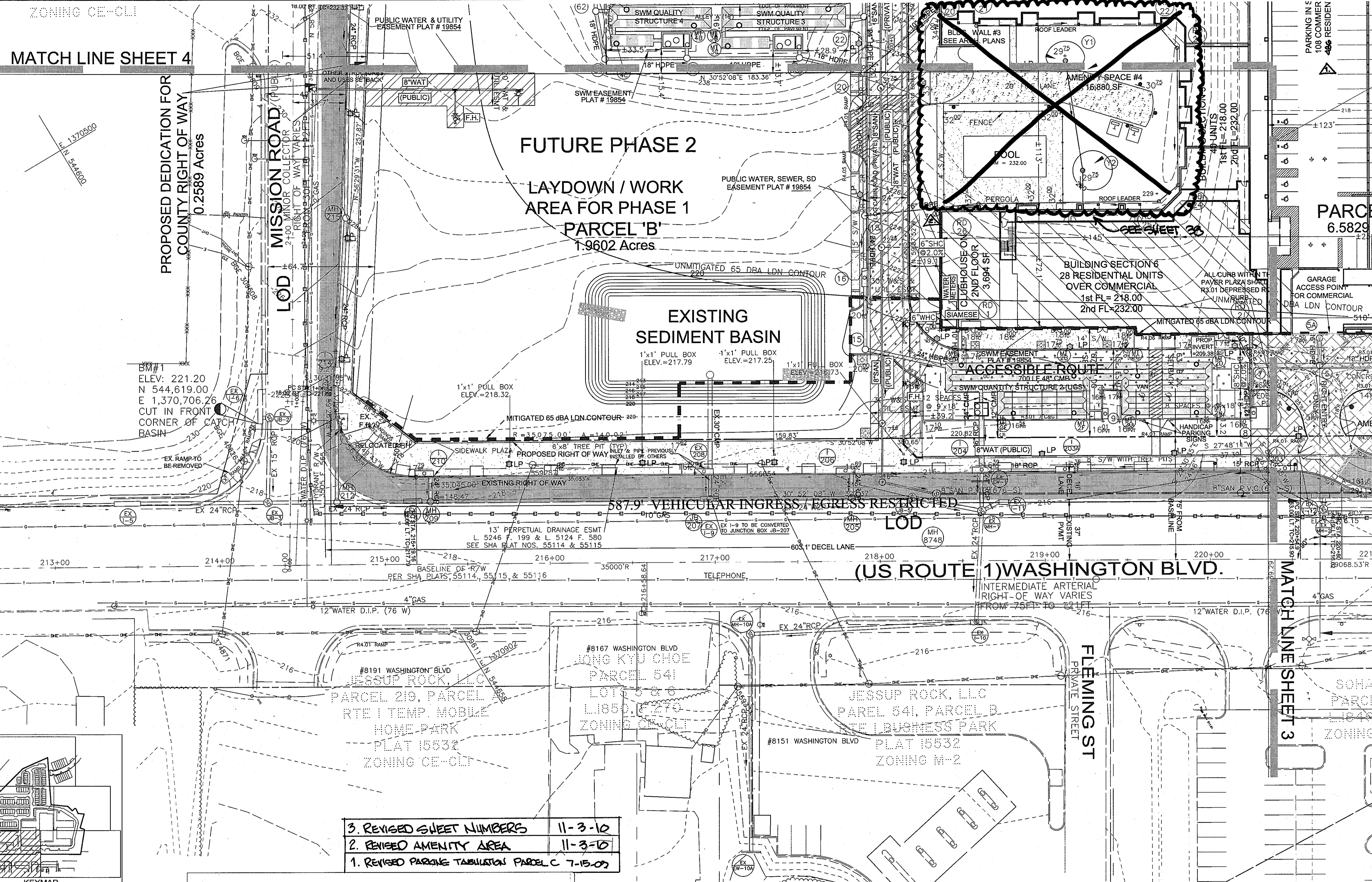
A MULTI-STORY PARKING STRUCTURE IS LOCATED IN THE CENTER OF THE APARTMENT BUILDING. COMMERCIAL PARKING IS ON THE FIRST LEVEL, ACCESSED FROM THE FRONT. RESIDENTIAL PARKING IS LOCATED ON LEVELS 2-7, ACCESSED FROM SOUTH SIDE OF LEVEL 3.

NOTATIONS OF SECTIONS 1-7 OF THIS BUILDING REFER TO FIRE SEPARATION ZONES ONLY.

DESIGNATES COMMERCIAL SPACE ON GROUND FLOOR.

NOTE:
4,230 SF of clubhouse is proposed on the 2nd floor of the building

- LEGEND:**
- EXISTING**
- 8" SAN (76"-S) SANITARY SEWER
 - 12" WATER (76" W) WATER LINE, METER, VALVE & HYDRANT
 - 24" STORM STORM DRAIN
 - SITE BOUNDARY
 - LOT LINE
 - TREE LINE
 - FENCE
 - WETLANDS & BUFFER
 - STREAM BUFFER
 - 100 YR FLOODPLAIN
 - BUILDING
 - POWER POLE
 - CURB
 - EDGE OF PAVEMENT
 - SIDEWALK
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGR. TELE.
 - BENCH MARK & ELEV.
- PROPOSED**
- 8" SAN (PRIVATE) SANITARY SEWER
 - 6" SWAT (PUBLIC) WATER LINE, METER, VALVE & HYDRANT
 - 6" SWAT (PUBLIC) W&S CONNECTIONS
 - 6" WHIC BEND STRUCTURE
 - 24" STORM STORM DRAIN
 - LOT LINE
 - TREE LINE
 - LIMITS OF DISTURB.
 - BUILDING
 - CURB
 - EDGE OF PAVEMENT
 - SIDEWALK
 - 150 WATT POST-TYPE PRIVATE STREET LIGHT
 - 150 WATT POST-TYPE



- 3. REVISED SHEET NUMBERS 11-3-10
- 2. REVISED AMENITY AREA 11-3-10
- 1. REVISED PARKING TABULATION PARCEL C 7-15-07

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Richard O. Davis 8/15/08
COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS EROSION AND SEDIMENT CONTROL PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Stephen J. Lafferty 8/15/08
DIRECTOR

Allen P. Williams 8/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION

T. Macauley 8/15/08
CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

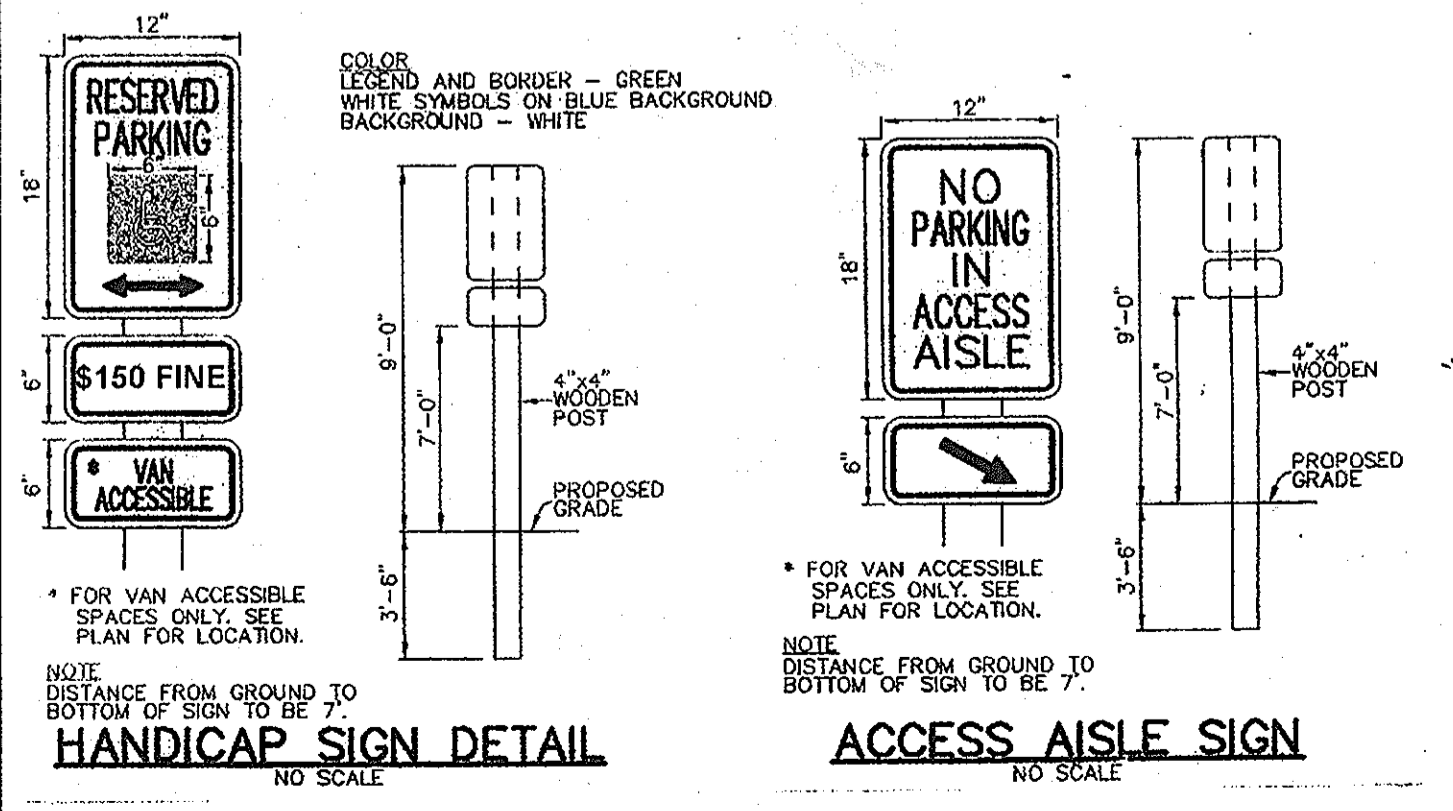
"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Scott C. Reed JULY 08 2008
SIGNATURE OF MANAGER
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Ronald M. Mijan JULY 08 2008
SIGNATURE OF ENGINEER
PRINTED NAME: RONALD MIJAN



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

Matthew Bitar 7/6/08
PROFESSIONAL ENGINEER

NOTE:
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF THE MAINS BY DIGGING TEST PITS BEHIND ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION CONTACT "MISS UTILITY" AT 486-237-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SITE DEVELOPMENT PLAN

MISSION PLACE

PARCELS A & C

APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT PLAT NO. 19054-19056 HOWARD COUNTY, MARYLAND

Dewberry

203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.348.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CL1
Sheet: 2 of 53

Section: NA Area: NA Phase: NA Scale: 1"=30'

Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008

Prior Submittal: ZB 104584 SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

File number: SDP-07-104

P:\PROJECTS\2007\FW\Mission Place\500020715\CAD\CIVIL\SDP-Parcel_A_C\SDP_A_C-PLAN_02-07.dwg, 7/8/2008 9:28:19 AM, auburn

MATCH LINE SHEET 6

BM#2
ELEV: 246.75
N 544.857.64
E 1,370,074.88
HYDRANT BONNET
BOLT

PARROTT MATERIALS CO
PARCEL 570
LOT 1
L.416, F.298
ZONING B-3C

PARCEL 'A'
7.1571 Acres LP
AMENITY SPACE #1
18,800 SF

PUBLIC WATER & UTILITY
EASEMENT PLAT # 19854

- LEGEND:**
- EXISTING**
- SANITARY SEWER
 - WATER LINE, METER, VALVE & HYDRANT
 - STORM DRAIN
 - SITE BOUNDARY
 - LOT LINE
 - TREE LINE
 - FENCE
 - WETLANDS & BUFFER
 - STREAM BUFFER
 - 100 YR FLOODPLAIN
 - BUILDING
 - POWER POLE
 - EDGE OF PAVEMENT
 - SIDEWALK
 - C&S LINE
 - OVERHEAD UTILITY
 - UNDERGR. TELE.
 - BENCH MARK & ELEV.
- PROPOSED**
- SANITARY SEWER
 - WATER LINE, METER, VALVE & HYDRANT
 - WAS CONNECTIONS
 - BEND STRUCTURE
 - STORM DRAIN
 - LOT LINE
 - TREE LINE
 - LIMITS OF DISTURB.
 - BUILDING
 - EDGE OF PAVEMENT
 - SIDEWALK
 - 150 WATT POST-TYPE PRIVATE STREET LIGHT
 - 150 WATT POST TYPE

290' SIGHT LINE

CONWAY TRANSPORTATION SERVICES
PARCEL 510
L.04708, F.0122
ZONING CE-CL1

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
[Signature]
DATE: 8/15/08

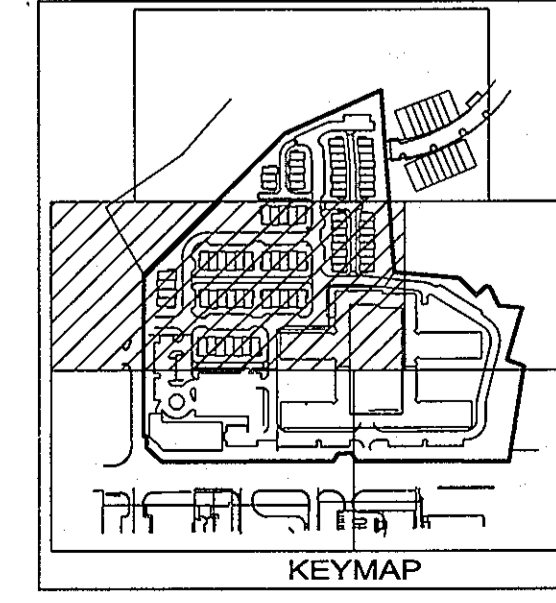
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.
[Signature]
DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
[Signature]
DATE: 8/15/08

BY THE DEVELOPER:
"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature]
DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
[Signature]
DATE: JULY 08 2008
PRINTED NAME: RON MIJAN

NOTE:
3,694 SF of clubhouse is proposed on the 2nd floor of the building



NO	REVISIONS	Date
10	Rev Grades Units 7 thru 12	3-2-2012 By F.C.C., Inc
9	REVISED SHEET NUMBERS	
8	REVISED AMENITY AREA	
7	Rev Arch. Units 19-22, 47-56 (8) - 26 By F.C.C. Inc 4-26-10	
6	Rev. Bldg. Joys and Grade Units 57-62, By F.C.C., Inc.	12-1-09
5	Rev. Units 35-46 & 57-62, add ex. field top. & regrade by F.C.C., Inc.	7-28-09
4	REVISED PARKING TABULATION PARCEL C 7-15-09	
3	Reverse Units 23/24, 25/26, 27/28 & 33/34 Add out decks 23/24, 25/26, 33/34 & 1-6	
2	Rev. Building Rm. 570 Location Units 1-6	10-15-09
1	Rev. Units 1-6, Rev. grad. & units 23-34 by Fisher, Collins & Carter, Inc.	9-17-08

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872
EXPIRATION DATE: 12/01/08

STATE OF MARYLAND PROFESSIONAL ENGINEER
STATE OF MARYLAND PROFESSIONAL ENGINEER
STATE OF MARYLAND PROFESSIONAL ENGINEER

SEE SHEET 28 FOR NEW LANDSCAPE LAYOUT

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST VERIFY THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT THE UTILITY AT 1-800-997-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SITE DEVELOPMENT PLAN

MISSION PLACE
APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
PLAT NO. 19854 - 19858
HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GATHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

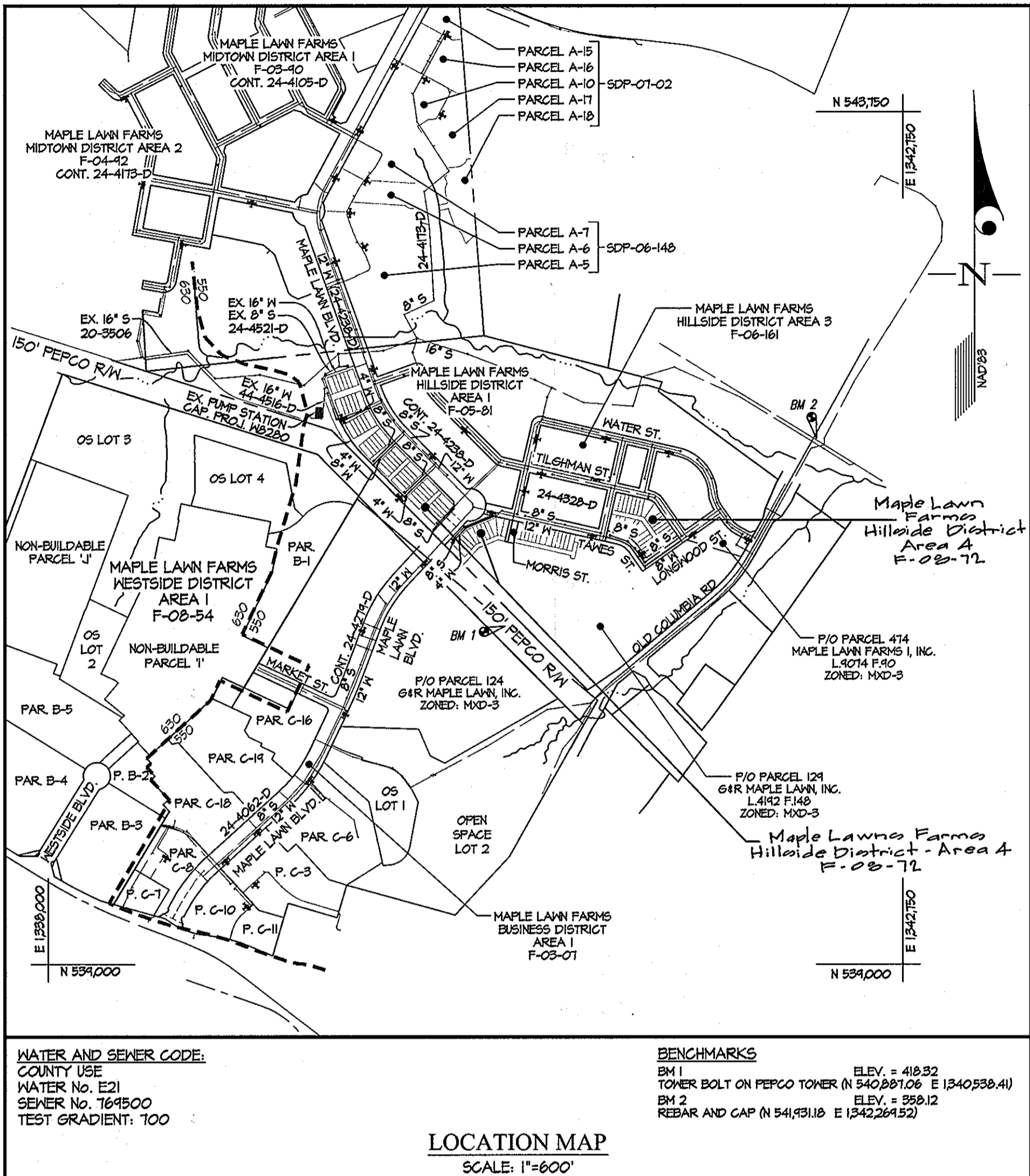
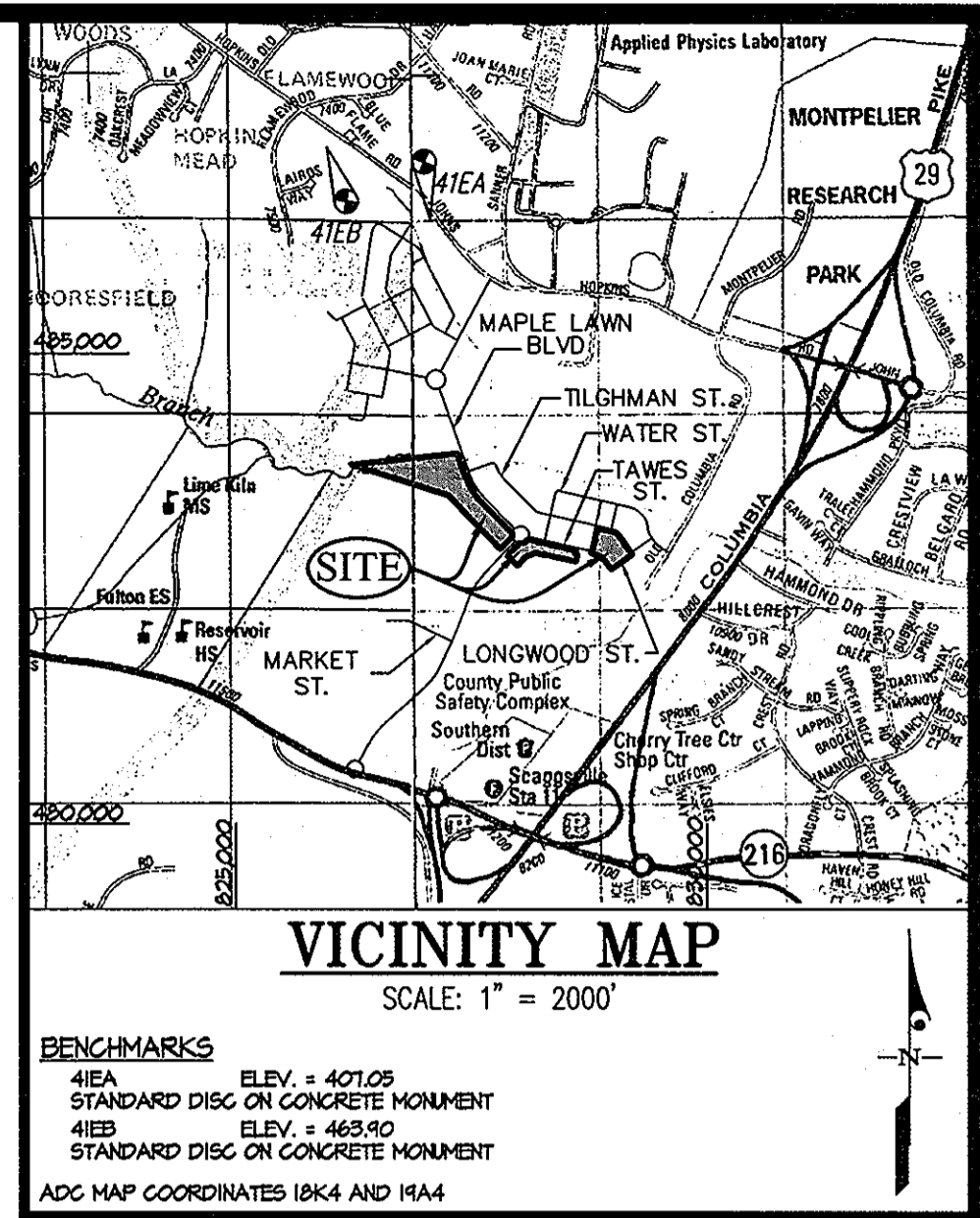
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CL1
Scale: 1"=30'
Sheet: 4 of 53

Section: N/A Area: Phase: N/A Scale: 1"=30'
Date: JULY 2008
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C
Prior Submittals: ZB 1048M SP-06-18 F-07-156
HO-827 SDP-07-101 SDP-07-113
WP-06-096 AA-06-016

QUANTITIES				
ITEMS	QUANTITIES ESTIMATED	AS-BUILT		
		QUANTITIES	TYPE	MANUFACTURER/SUPPLIER
12" WATER MAIN	174 L.F.			
8" WATER MAIN	1026 L.F.			
6" WATER MAIN	304 L.F.			
4" WATER MAIN	542 L.F.			
1-1/2" W/C	1102 L.F.			
THIN 1" METER BOX	31 EA.			
SINGLE 1" METER BOX	10 EA.			
12" 1/16 HB	1 EA.			
12" VALVE	2 EA.			
12"x8" TEE	1 EA.			
12"x6" T (FHT)	1 EA.			
12" CAP & BUTTRESS	1 EA.			
8" VALVE	1 EA.			
8"x6" REDUCER	1 EA.			
8" CAP & BUTTRESS	1 EA.			
8"x6" T (FHT)	2 EA.			
8"x4" TEE	3 EA.			
6" 1/16 HB	1 EA.			
6" CAP & BUTTRESS	1 EA.			
4" VALVE	3 EA.			
4" 1/16 HB	2 EA.			
FIRE HYDRANT - 5.5'	3 EA.			
8" D.I.P. SEWER	823 L.F.			
8" P.V.C. SEWER	666 L.F.			
4" P.V.C. (SHC)	1612 L.F.			
MANHOLES	14 EA.			
NAME OF UTILITY CONTRACTOR:				
SURVEY AND DRAFTING DIV.		CHECKBOX:	AS-BUILT DATE:	

TYPE OF BUILDING	SINGLE FAMILY ATTACHED
NUMBER OF UNITS	100
NUMBER OF S.H.C.'s	70
NUMBER OF W.H.C.'s	77
AREA OF COMMERCIAL LOT/PARCEL	0
SEWER SHED	LITTLE PATUXENT
PUMPING STATION	LITTLE PATUXENT WRP

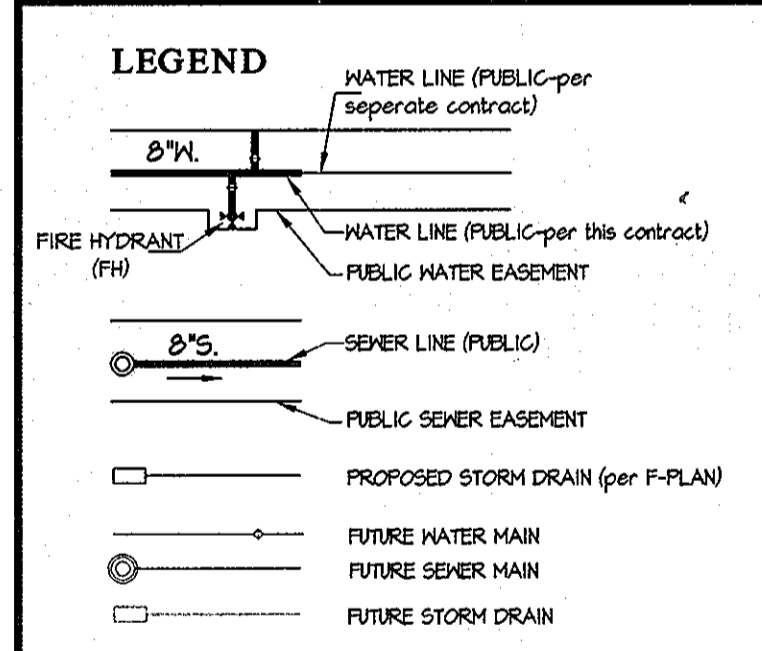
NOTE: THE W.H.C.'s/SH.C.'s FOR LOTS 244-324 HAVE BEEN PROVIDED UNDER CONTRACT No. 24-4328-D. THE SH.C.'s FOR LOTS 244-246 HAVE BEEN PROVIDED UNDER CONTRACT No. 24-4521-D. W.H.C.'s/SH.C.'s HAVE ALSO BEEN PROVIDED FOR FUTURE LOTS UNDER THESE PLANS. (F1 through F10)



CONTRACT No. 24-4430-D
 MAPLE LAWN FARMS
 HILLSIDE DISTRICT - AREA 4
 LOTS 241 THRU 340, OPEN SPACE LOT 341
 AND COMMON OPEN AREAS 342 THRU 347
 HOWARD COUNTY, MARYLAND
 DEPARTMENT OF PUBLIC WORKS

- GENERAL NOTES**
- PART I**
- APPROXIMATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
 - TOPOGRAPHIC FIELD SURVEYS WERE PERFORMED IN MAY 1997 BY SDI.
 - HORIZONTAL AND VERTICAL SURVEY CONTROLS. THE COORDINATES SHOWN ON THE DRAWINGS ARE BASED ON MARYLAND STATE REFERENCE SYSTEM NAD 83/91 AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS No. 41EA AND No. 41EB.
 - ALL VERTICAL CONTROLS ARE BASED ON NAVD 88. VERTICAL CONTROLS PROVIDED ON DRAWINGS ARE STANDARD DICS ON CONCRETE MONUMENTS.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
 - CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 3'-0" MINIMUM OR TUNNEL AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONTACTED THE UTILITY COMPANIES AND HAS MADE ARRANGEMENTS FOR BRACING OF POLES AS SHOWN ON THE DRAWINGS. IN THE EVENT THE CONTRACTOR'S WORK REQUIRES BRACING OF ADDITIONAL POLES, ANY COST INCURRED BY THE OWNER FOR THE BRACING OF ADDITIONAL POLES OR DAMAGES SHALL BE DEDUCTED FROM MONIES OWED THE CONTRACTOR. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES TO SCHEDULE THE BRACING OF THE POLES.
 - FOR DETAILS NOT SHOWN ON THE DRAWING, AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME IV, STANDARD SPECIFICATIONS AND DETAILS FOR CONSTRUCTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF VOLUME IV ON THE JOB.
 - WHERE TEST FITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE IDENTIFIED BY THE SYMBOLS AT THE LOCATIONS OF THE TEST FITS. A NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS IS INCLUDED ON THE DRAWINGS. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DUG SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
 - THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK ON THESE PLANS:

AT&T	1-800-252-1133
BGE (CONTRACTOR SERVICES)	410-250-4620
BGE (UNDER GROUND DAMAGE CONTROL)	410-695-1400
BUREAU OF UTILITIES	410-313-4900
COLONIAL PIPELINE CO.	410-195-1390
MISS UTILITY	1-800-251-TTTT
STATE HIGHWAY ADMINISTRATION	410-531-5533
VERIZON	1-800-743-0033 / 410-224-4210
 - TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED WITHIN THE CONSTRUCTION AREA STRIP ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PAYMENT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONSTRUCTION OF THE MAIN.
 - THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410)-313-7450 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BORING/JACKING OF ANY COUNTY ROAD FOR LAYING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE DRAWINGS WILL CONSTITUTE COMPLIANCE WITH DPM REQUIREMENTS PER SECTION 18.114(a) OF THE HOWARD COUNTY CODE.
- PART II - WATER**
- ALL MAINS SHALL BE D.I.P. CLASS 54 UNLESS OTHERWISE NOTED.
 - TOPS OF ALL WATER MAINS SHALL HAVE A MINIMUM OF 3'-6" OF COVER UNLESS OTHERWISE NOTED.
 - VALVES ADJACENT TO TEES SHALL BE STRAPPED TO TEES.
 - ALL FITTINGS SHALL BE BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH STANDARD DETAILS UNLESS OTHERWISE PROVIDED FOR ON THE DRAWINGS.
 - FIRE HYDRANTS SHALL BE SET TO THE BURY LINE ELEVATIONS SHOWN ON THE DRAWINGS. ALL FIRE HYDRANTS SHALL BE RESTRAINED AND BUTTRESSED OR ANCHORED WITH CONCRETE IN ACCORDANCE WITH THE STANDARD DETAILS. THE SOIL AROUND THE FIRE HYDRANT SHALL BE COMPACTED IN ACCORDANCE WITH SECTION 1000 AND 1005 OF THE STANDARD SPECIFICATIONS.
 - THE CONTRACTOR SHALL NOT OPERATE ANY WATER MAIN VALVES ON THE EXISTING WATER SYSTEM.
 - ALL WATER HOUSE CONNECTIONS SHALL BE 1 1/2" WITH A 1" METER.
- PART III - SEWER**
- ALL SEWER MAINS SHALL BE D.I.P. OR P.V.C. UNLESS OTHERWISE NOTED.
 - ALL MANHOLES SHALL BE 4'-0" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
 - FORCE MAINS SHALL BE D.I.P. ONLY.
 - MANHOLES SHOWN WITH THE 12" AND 16" WALLS ARE FOR BRICK MANHOLES ONLY.
 - MANHOLES DESIGNATED "HT. IN PLAN AND PROFILE SHALL HAVE WATER-TIGHT FRAME AND COVER, STANDARD DETAIL 65.52. WHERE WATER-TIGHT MANHOLE FRAMES AND COVERS ARE USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
 - HOUSE(S) WITH THE SYMBOL "C.N.S." INDICATES THE CELLAR CANNOT BE SERVED.
 - ALL SEWER HOUSE CONNECTIONS SHALL BE 4".



SHEET INDEX

- COVER SHEET
- WATER AND SEWER EXTENSION PLAN
- WATER AND SEWER PROFILES
- WATER AND SEWER DETAILS

SEDIMENT CONTROL MEASURES WILL BE IMPLEMENTED IN ACCORDANCE WITH SECTION 219 OF THE SPECIFICATIONS & WITH ROAD DRAWINGS F-08-72; DRAWINGS FOR SEDIMENT & EROSION CONTROL.

REVIEWED FOR HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENT

[Signature] DATE

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

[Signature] 9-30-08 DATE

PREPARED FOR:
 G&R MAPLE LAWN, LLC
 SUITE 300 WOODHOLME CENTER
 1829 REISTERSTOWN ROAD
 BALTIMORE, MD 21208
 410-484-8400
 ATTN: CHARLIE O'DONOVAN

DEPARTMENT OF PUBLIC WORKS HOWARD COUNTY, MARYLAND <i>[Signature]</i> CHIEF, BUREAU OF UTILITIES	DEPARTMENT OF PLANNING AND ZONING HOWARD COUNTY, MARYLAND <i>[Signature]</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION	GLWGUTSCHICK LITTLE & WEBER, P.A. CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS 3009 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK BURTONSVILLE, MARYLAND 20866 TEL: 301-421-4024 FAX: 301-989-2524 FAX: 301-421-4186	DATE AUG. 2008 G.L.W. No. 06001 PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12975 EXP. DATE: MAY 26, 2010	rev. quantities & number of W.H.C.'s & S.H.C.'s 11/30/09 DATE	600' SCALE MAP NO. 41/46 BLOCK NO. 22(41)/4(46)	MAPLE LAWN FARMS CONTRACT No. 24-4430-D HILLSIDE DISTRICT - AREA 4 LOTS 241 THRU 340, OPEN SPACE LOT 341 AND COMMON OPEN AREAS 342 THRU 347 HOWARD COUNTY, MARYLAND ELECTION DISTRICT No. 5	SCALE AS SHOWN SHEET 1 OF 6
---	---	---	--	---	---	--	--------------------------------



SITE AMENITY TABULATION:

REQUIRED AMENITY AREA CALCULATION
 (10% OF NET SITE AREA IS REQUIRED AS PEDESTRIAN AMENITY AREAS PER RTE 1 MANUAL)
 NET SITE AREA = 694,910 SQ FT
 10% x NET SITE AREA = 69,491 SQ FT REQUIRED

PROPOSED AMENITY AREAS	AREA (SQ FT)	AMENITY / USE
AMENITY AREA #1	18,800	TOT LOT, PLAYGROUND, PICNIC AREA
AMENITY AREA #2	11,240	BARBEQUE, PICNIC AREA
AMENITY AREA #3	18,490	BARBEQUE, PLAY AREA, PICNIC AREA
AMENITY AREA #4	15,880	POOL, PLAY AREA, PICNIC AREA
AMENITY AREA #5 (PHASE 2)	5,590	OUTDOOR DINING, PUBLIC GATHERING
AMENITY AREA #6	2,160	PUBLIC GATHERING
TOTAL AMENITY AREA PROVIDED:	72,160	

AMENITY AREAS 1 THROUGH 6 WILL BE ACCESSIBLE TO ALL RESIDENTS OF THE COMMUNITY. AMENITY AREAS 5 & 6 ARE PUBLIC AMENITY SPACES OPEN TO GENERAL PUBLIC AS WELL. SITE FURNITURE AND FIXTURES FOR ALL AMENITY AREAS ARE SHOWN ON THE LANDSCAPE PLANS.

ALTERNATIVE COMPLIANCE REQUESTS IN ACCORDANCE WITH THE ROUTE 1 MANUAL:

REQUEST A REDUCTION TO COMMERCIAL SPACE RATIO OF 300 SQ FT / DU TO 235 SQ FT / DU. APPROVED BY THE DIRECTOR, MAY 4, 2006.

REQUEST AN INCREASED BUILDING SETBACK FROM RTE 1 TO SIXTY EIGHT AND A HALF FEET. APPROVED BY THE DIRECTOR, MAY 4, 2006.

REQUEST TO ALLOW A PORTION OF THE COMMERCIAL PARKING ADJACENT TO RTE 1. APPROVED BY THE DIRECTOR, MAY 4, 2006.

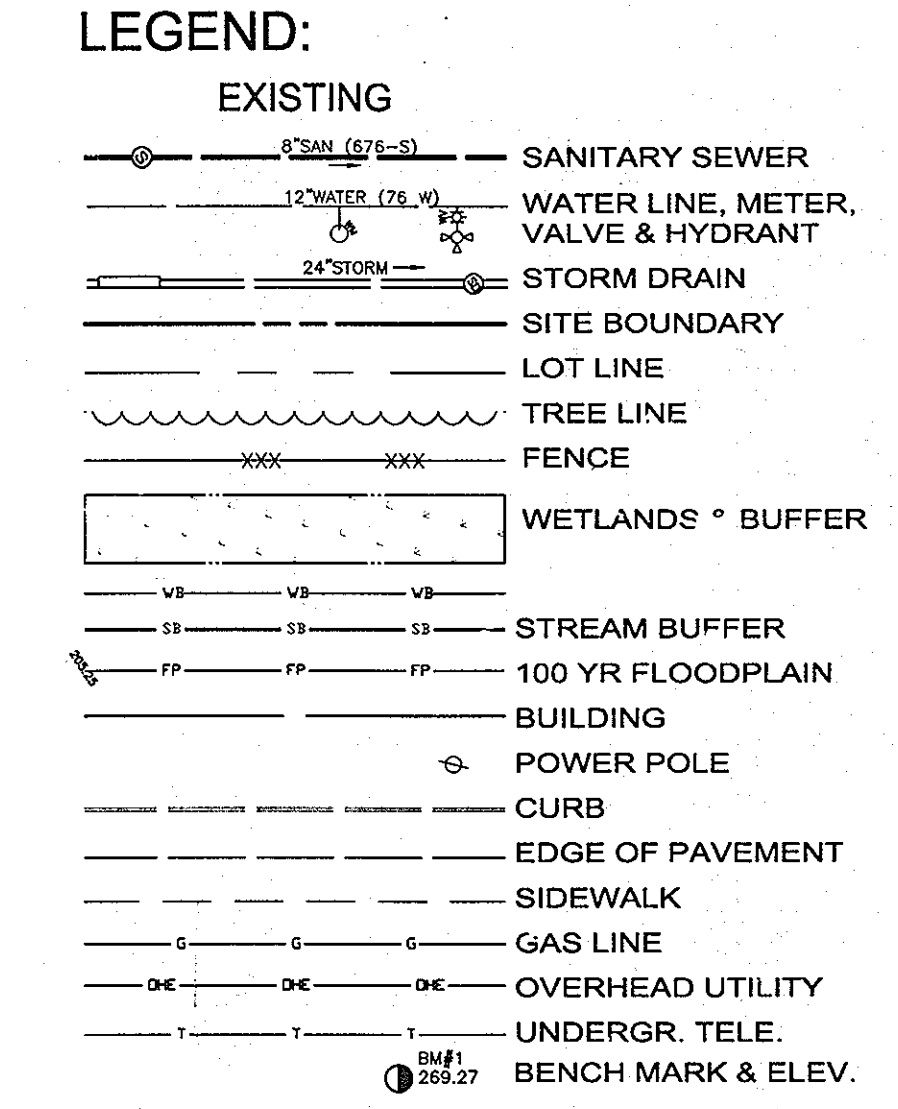
REQUEST TO ELIMINATE 50% RETAIL REQUIREMENT FOR FIRST FLOOR OF OFFICE BUILDINGS. DENIED BY DIRECTOR, MAY 4, 2006. 50% RETAIL WILL BE PROVIDED ON THE FIRST FLOOR OF THE OFFICE BUILDING.

REQUEST A WAIVER TO DESIGN MANUAL VOLUME 3, SECTION 2.3.1.B, TO REDUCE SIGHT DISTANCE TO 240' AND TO ALLOW SIGHT LINE ACROSS ADJACENT PROPERTY WITHOUT AN EASEMENT. DENIED BY DIRECTOR, OCTOBER 18, 2006. IN LIEU OF THE WAIVER, THE DEVELOPER WILL PURSUE ROAD IMPROVEMENTS AT FINAL PLAN AS NECESSARY TO MEET SIGHT DISTANCE REQUIREMENTS.

REQUEST A WAIVER TO DESIGN MANUAL VOLUME 1, SECTION 5.2.7.D.1(b), TO ALLOW ACCESS POINTS TO SWM FACILITIES WITHIN TRAVEL LANES, AND TO SECTION 5.2.7.D.1(g), TO ALLOW THE SWM FACILITIES TO BE CONSTRUCTED OF DIFFERING MATERIALS. APPROVED BY THE DIRECTOR, SEPTEMBER 20, 2006.

REQUEST WAIVER TO REDUCE 5' TO 4' SIDEWALKS. APPROVED BY THE DIRECTOR ON AUGUST 31, 2007.

REQUEST A REDUCTION FOR RESIDENTIAL PARKING ON PARCEL C APPROVED BY THE DIRECTOR MAY 18, 2009



MATCH LINE SHEET 4

PARCEL 'A'
 7.1571 Acres LP
 AMENITY SPACE #1
 18,800 SF

MATCH LINE SHEET 5

PARCEL 'C'
 LOT 142 - PLEASANT CHASE PLAT #1758
 ZONING R-30

GENERAL NOTES (CONTINUED FROM SHEET 1)

- THE 65DBA NOISE CONTOUR LINE DRAWN ON THIS DEVELOPMENT PLAN IS ADVISORY AS REQUIRED BY HOWARD COUNTY DESIGN MANUAL, CHAPTER 5, REVISED FEBRUARY, 1992, AND CANNOT BE CONSIDERED TO EXACTLY LOCATE THE 65 DBA NOISE EXPOSURE. THE 65 DBA NOISE LINE WAS ESTABLISHED BY HOWARD COUNTY TO ALERT DEVELOPERS, BUILDERS AND FUTURE RESIDENTS THAT AREAS BEYOND THIS THRESHOLD MAY EXCEED GENERALLY ACCEPTED NOISE LEVELS ESTABLISHED BY THE U.S. DEPARTMENT OF HOUSING AND URBAN DEVELOPMENT.
- PER HOWARD COUNTY ZONING SECTION 127.5D, THE MINIMUM SETBACK TO ADJACENT PROPERTIES FOR RESIDENTIAL BUILDINGS AND RELATED STRUCTURES IS 20 FEET. FOR PRIMARY STRUCTURES AND RELATED USES, THE MINIMUM SETBACK TO ROUTE 1 AND TO MISSION ROAD IS ZERO (0) FEET. PER ALTERNATIVE COMPLIANCE APPROVED BY THE DIRECTOR ON MAY 4, 2006, THE MAXIMUM SETBACK FROM ROUTE 1 IS 68.5 FEET.
- THE PROPERTY IS SUBJECT TO A "BLANKET" BALTIMORE GAS AND ELECTRIC CO. RIGHT OF WAY AGREEMENT RECORDED IN LIBER 10663 AT FOLIO 410.
- A MAINTENANCE AGREEMENT FOR THE MAINTENANCE OF ALL SPECIAL PAVEMENT, STREET TREES, AND PEDESTRIAN LIGHTING WITHIN THE MSHA RIGHT OF WAY WILL BE PART OF THE DEVELOPERS AGREEMENT.
- ALL PROPOSED IMPROVEMENTS WITHIN THE RIGHTS OF WAY OF MISSION ROAD AND US ROUTE 1 WILL BE DONE AS PART OF SDP-07-104, INCLUDING ALL IMPROVEMENTS TO THE FRONTAGE OF PARCEL B.
- THIS SITE IS A REDEVELOPMENT PROJECT. WATER QUALITY TREATMENT IS BEING PROVIDED FOR 20% OF THE NEW ON-SITE IMPERVIOUS AREA, ALONG WITH WATER QUALITY AND CHANNEL PROTECTION FOR ALL NEW ON-SITE IMPERVIOUS AREAS. ADDITIONAL COMPENSATION IS PROVIDED ON SITE FOR THE MISSION ROAD AND ROUTE 1 IMPROVEMENTS. SEE TABLE ON SHEET 5 FOR AN OUTLINE OF STORMWATER MANAGEMENT REQUIREMENTS.
- THE ENTIRE GROUND LEVEL (100%) OF THE APARTMENT BUILDING (BUILDING SECTIONS 4 AND 6, AND THE FRONT PORTION OF BUILDINGS 3 AND 5) WILL BE OCCUPIED BY RETAIL AND SERVICE ORIENTED COMMERCIAL USES. THE FIRST FLOOR OF THE BUILDING FACADE IS DESIGNED AS STOREFRONTS, WITH ENTRANCES DESIGNED AS PART OF THE ROUTE 1 STREETScape. NO INDIVIDUAL RETAIL BUSINESS SHALL EXCEED 20,000 SF OF FLOOR AREA.
- A 4,230 SF CLUBHOUSE IS PROPOSED ON THE SECOND FLOOR OF APARTMENT BUILDING SECTION 6.
- TOWNHOUSES AND 2/2 CONDO UNITS HAVE NO BASEMENTS. THERE IS NO CELLAR ELEVATION FOR THESE UNITS. FIRST FLOOR ELEVATION (FF) = SLAB ELEVATION.
- SEE SHEET # 36 FOR DESCRIPTION OF EXISTING ON-SITE AND VEGETATION FOR THE FOREST STAND ANALYSIS.
- A RIGHT OF ENTRY AGREEMENT WAS MADE ON NOVEMBER 8, 2007 BY CONWAY TRANSPORTATION SERVICES, INC. NOW KNOWN AS CONWAY FREIGHT INC. A DELAWAY CORPORATION RECORDED IN LIBER 11088 AT FOLIO 724.

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

Michael J. Jamin 8/15/08
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Joseph Lafferty 8/15/08
 DIRECTOR

Michael Jamin 8/15/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

T. Maerhart 8/15/08
 CHIEF, DIVISION OF LAND DEVELOPMENT

REVISIONS

No.	REVISIONS	Date
1	REVISED PARKING TABULATION PARCEL 'C'	7-15-09

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Scott C. Reed JULY 08 2008
 SIGNATURE OF MANAGER
 PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

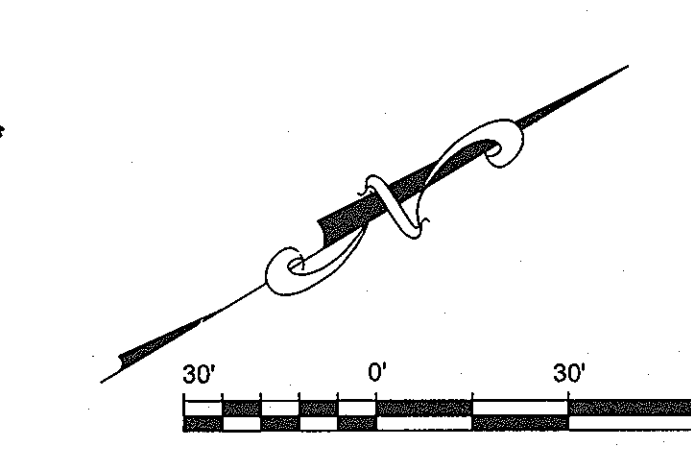
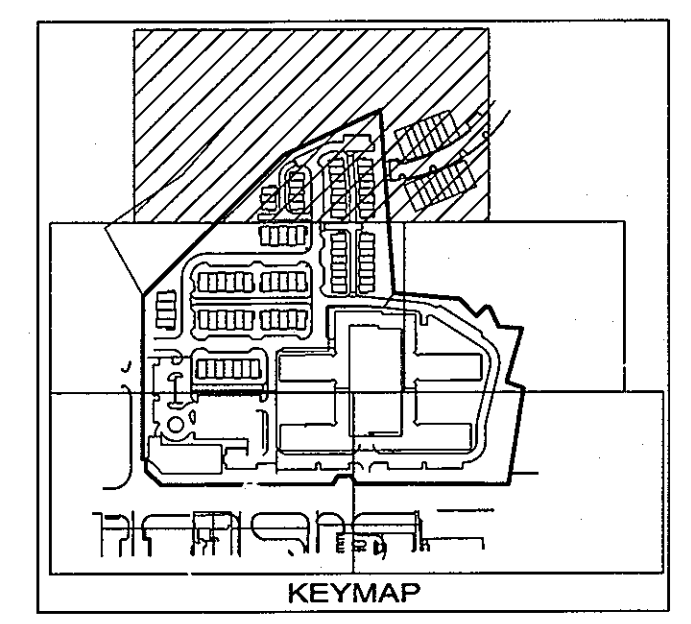
Ronald M. Mijan JULY 08 2008
 SIGNATURE OF ENGINEER
 PRINTED NAME: RON MIJAN

REVISED SHEET NUMBERS

No.	REVISED SHEET NUMBERS	Date
3	Rev. Bldg Location Units 68-70, Add Opt Decks	11-3-10
2	Rev. O.H. Units 78-80 & 97-104	2-18-10
1	Rev. Architecture Units 63-72 by Fisher, Collins & Carter, Inc.	1-5-10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Matthew Bitar 11/20/08
 LICENSE NO. 19872
 EXPIRATION DATE: 12/01/08



NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISCELLANEOUS" AT 410-977-6171 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHOEVER SHALL CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SITE DEVELOPMENT PLAN

MISSION PLACE
 APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT HOWARD COUNTY MARYLA: D

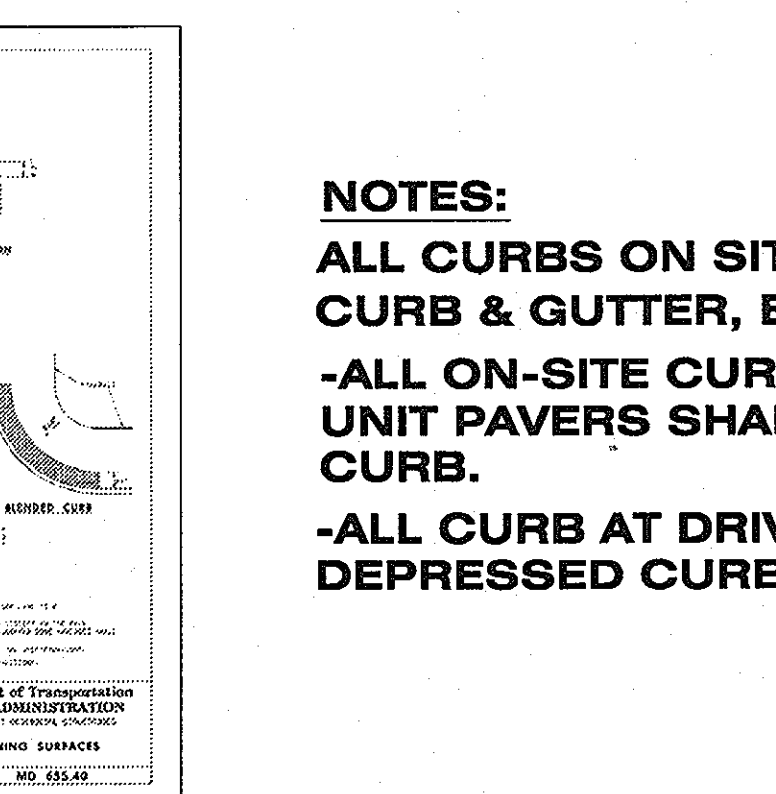
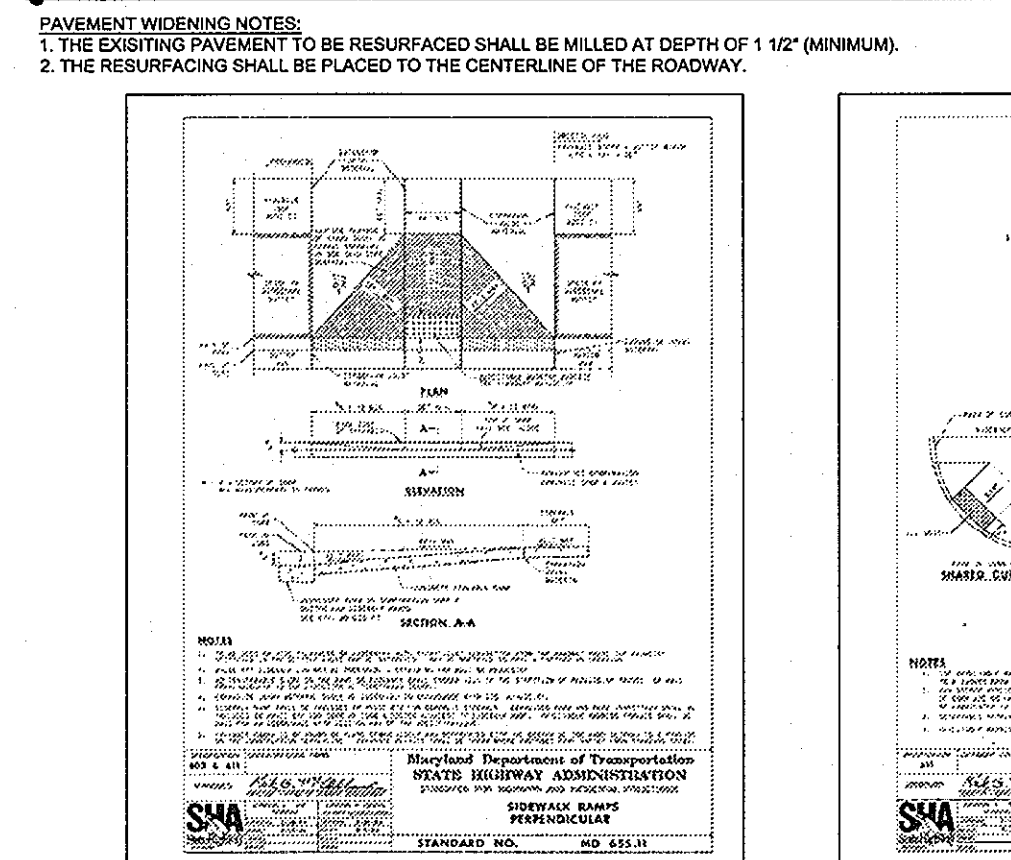
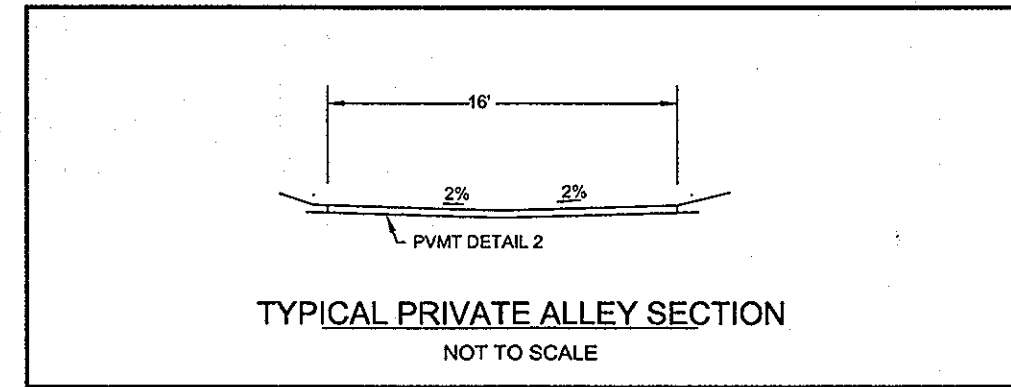
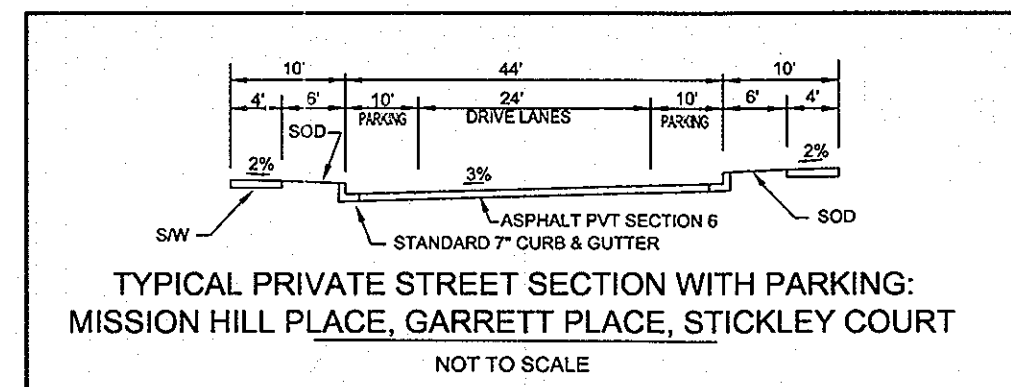
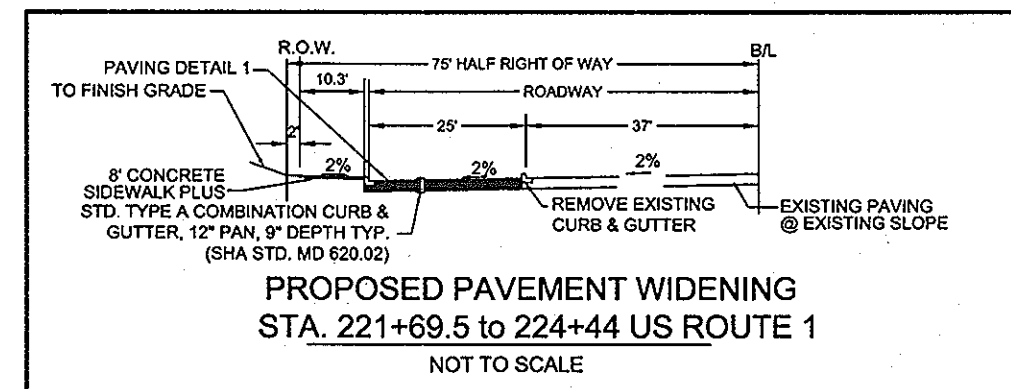
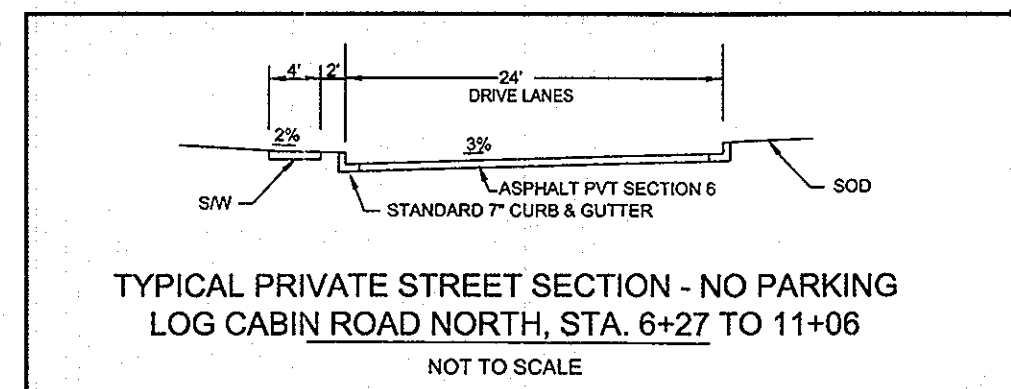
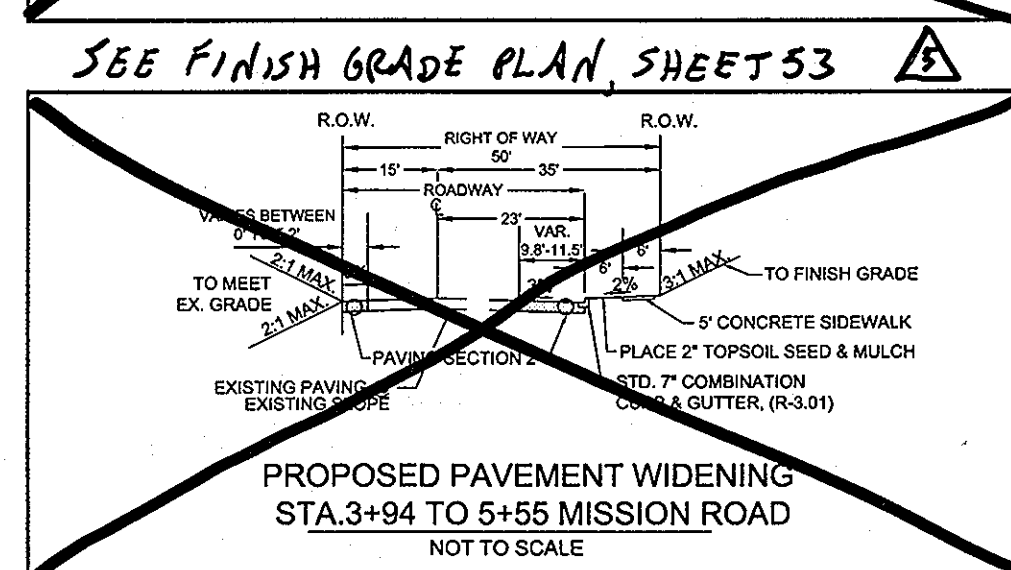
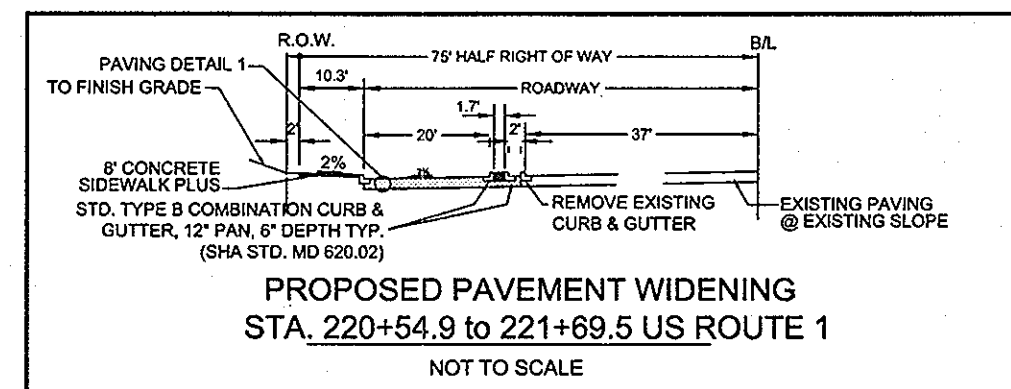
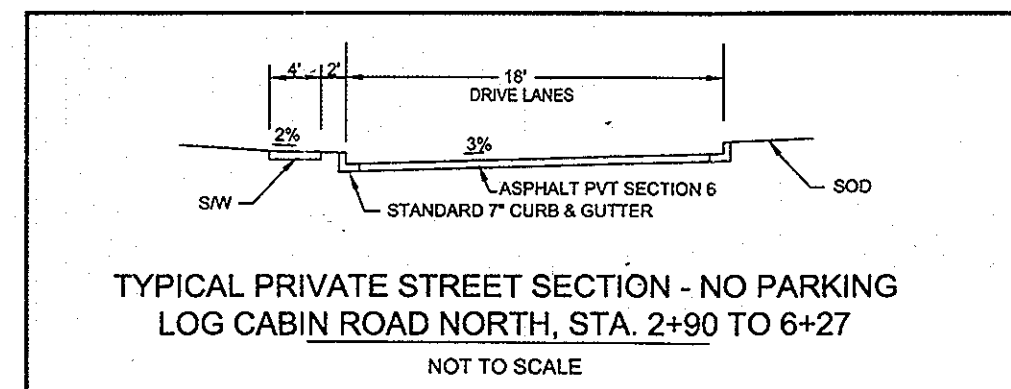
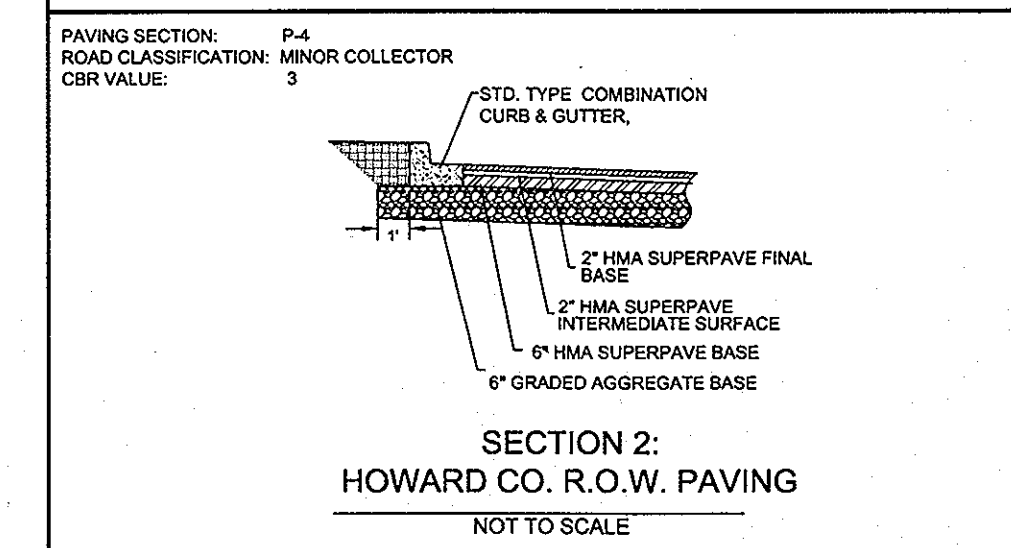
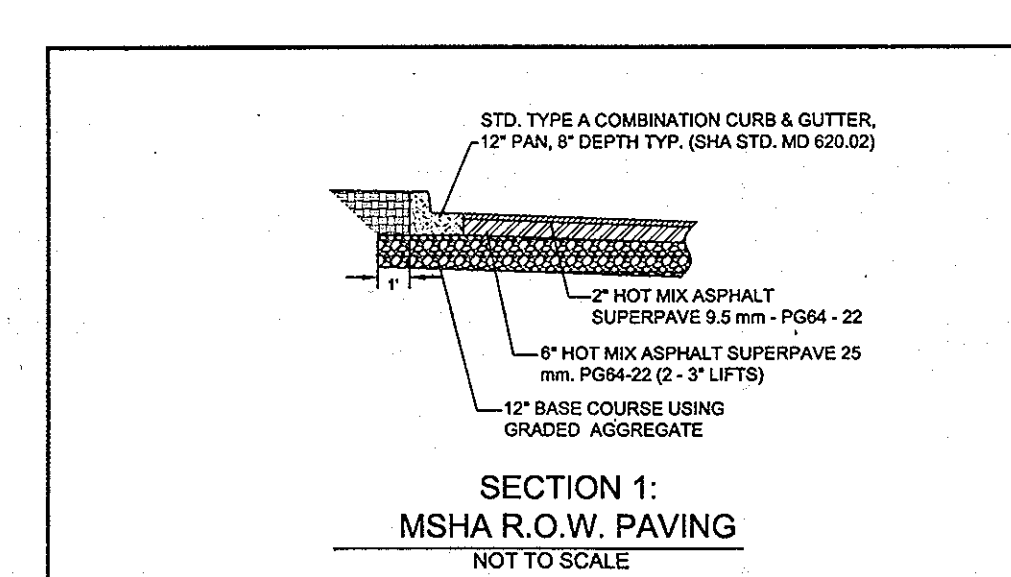
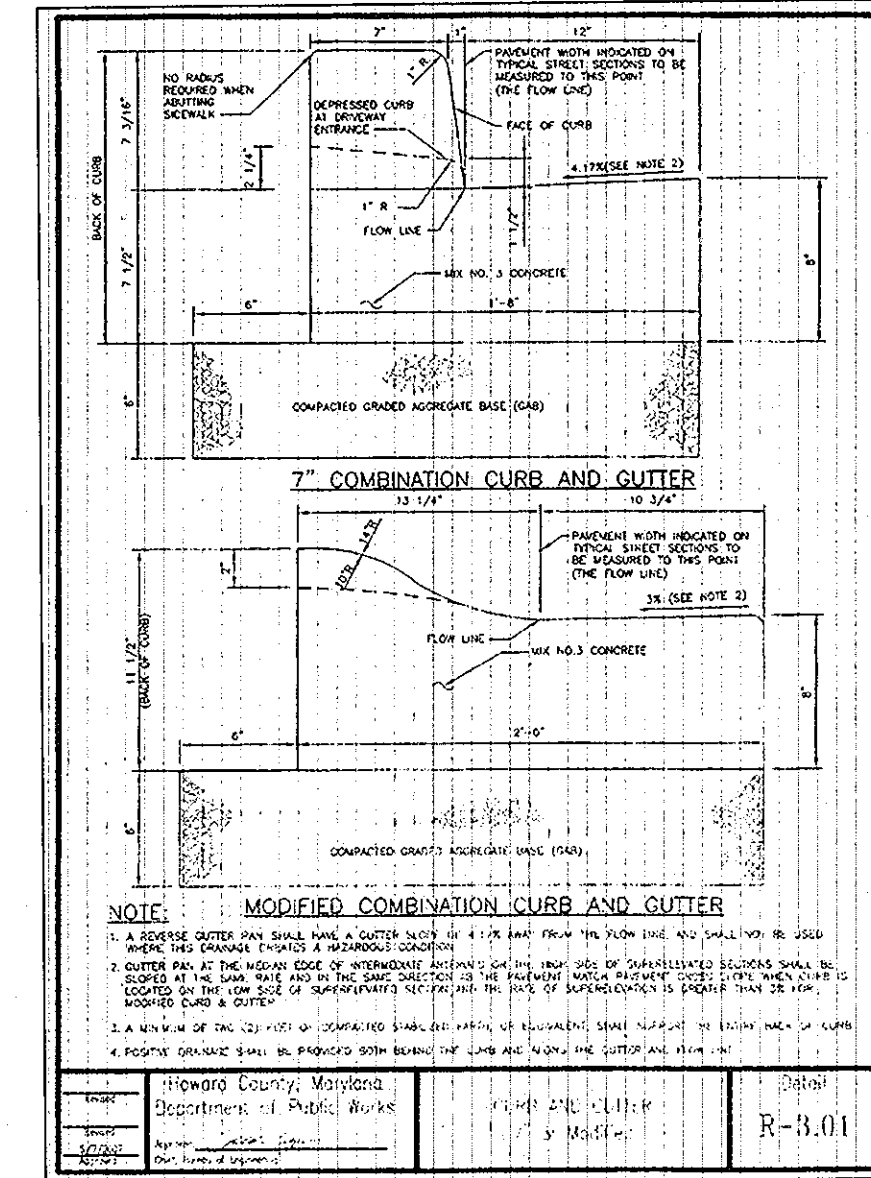
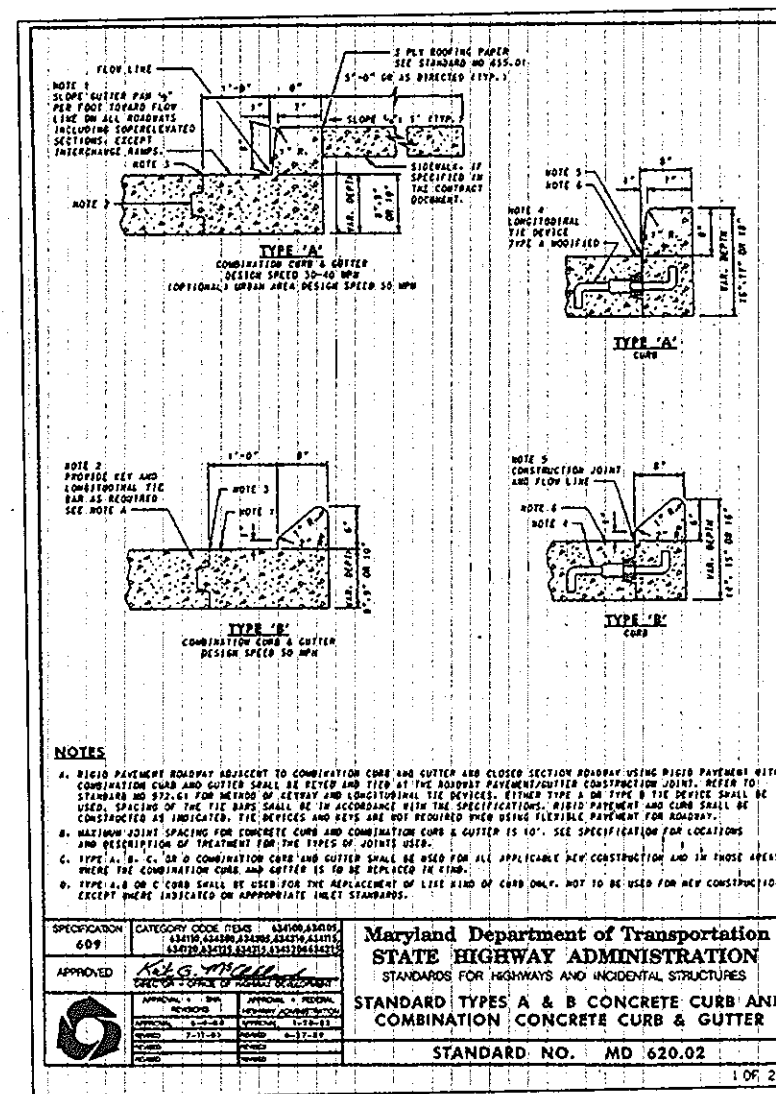
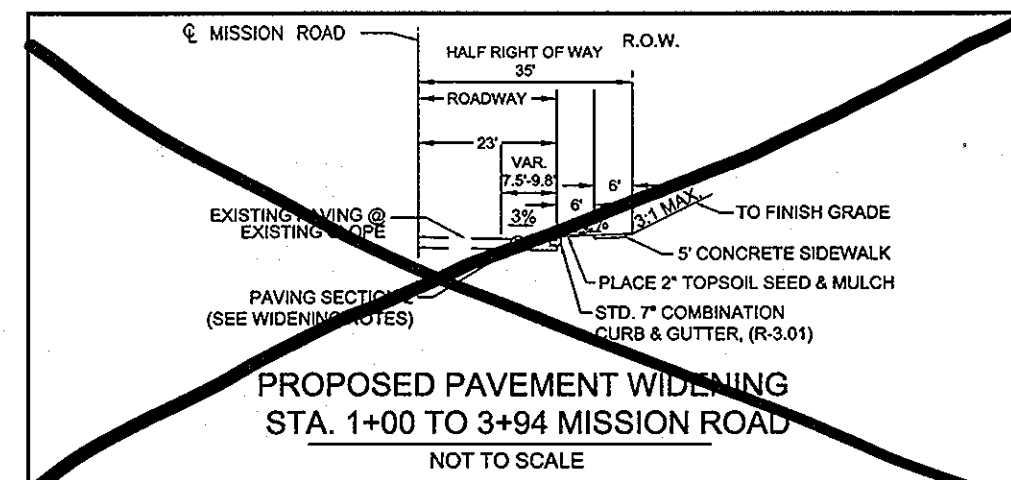
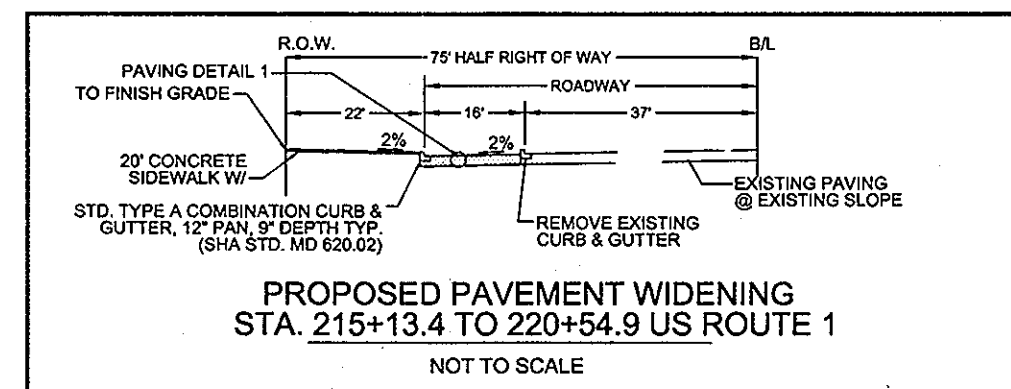
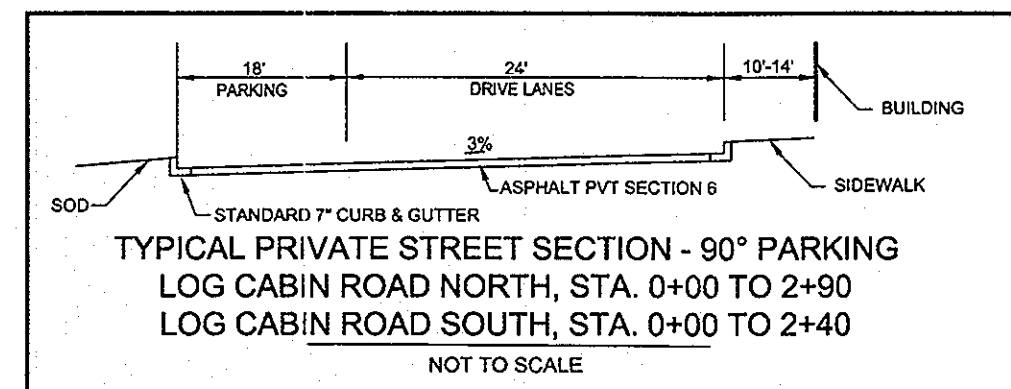
Dewberry
 205 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2ND FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

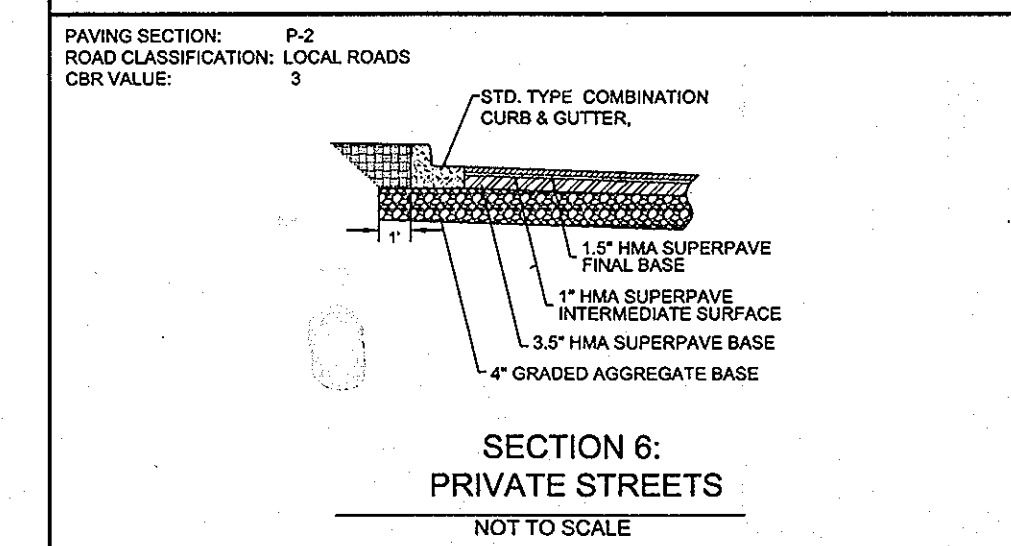
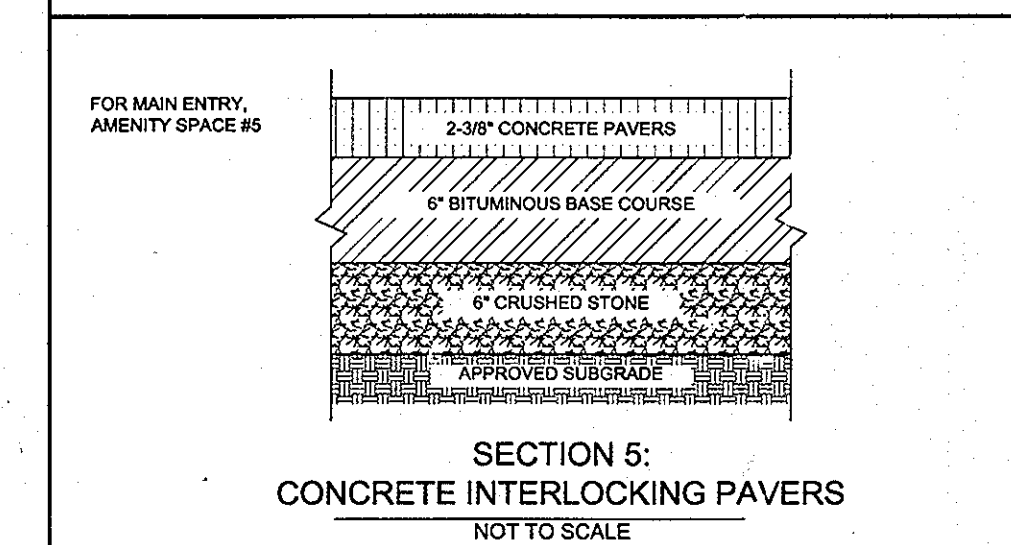
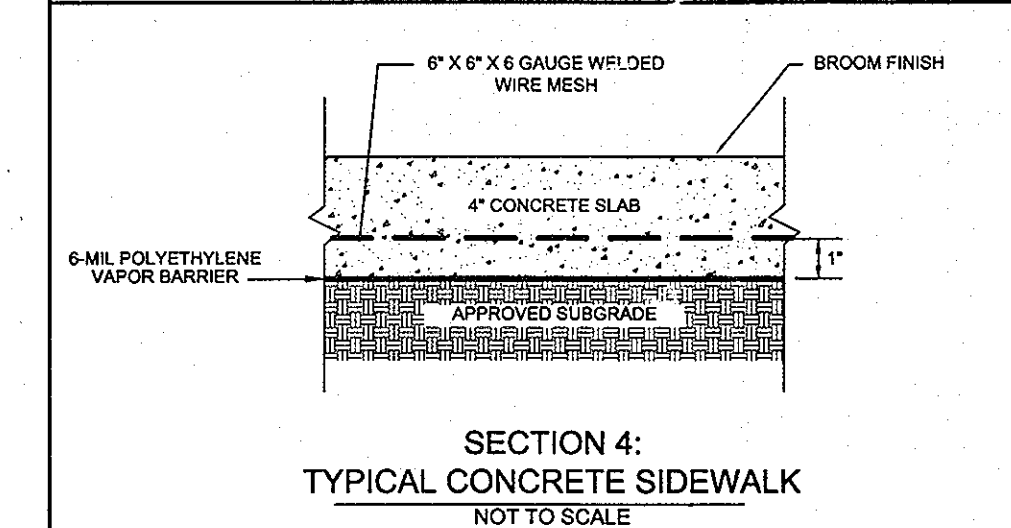
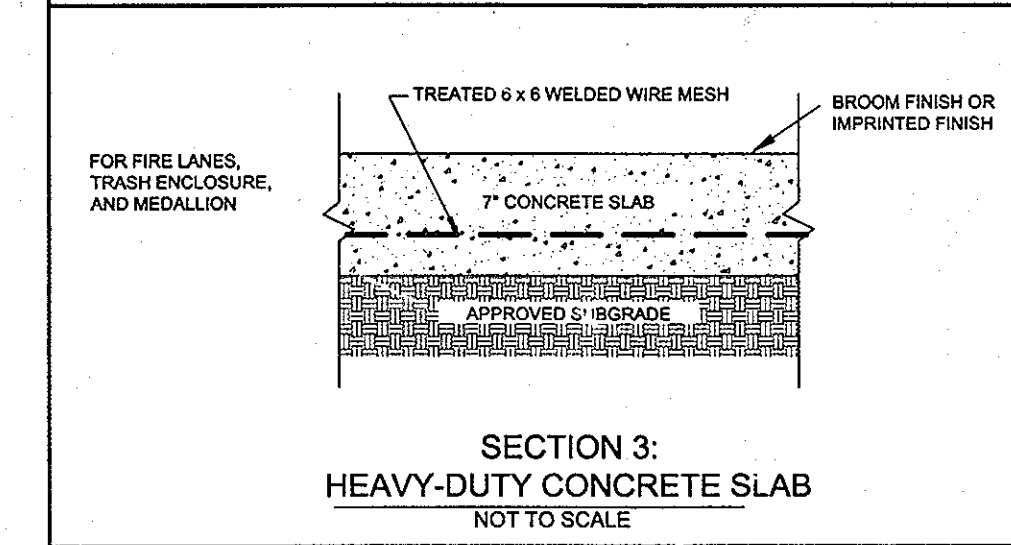
Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zone: CAC-CLI

Section: NA Area: NA Phase: NA Scale: 1"=30' sheet: 6 of 53

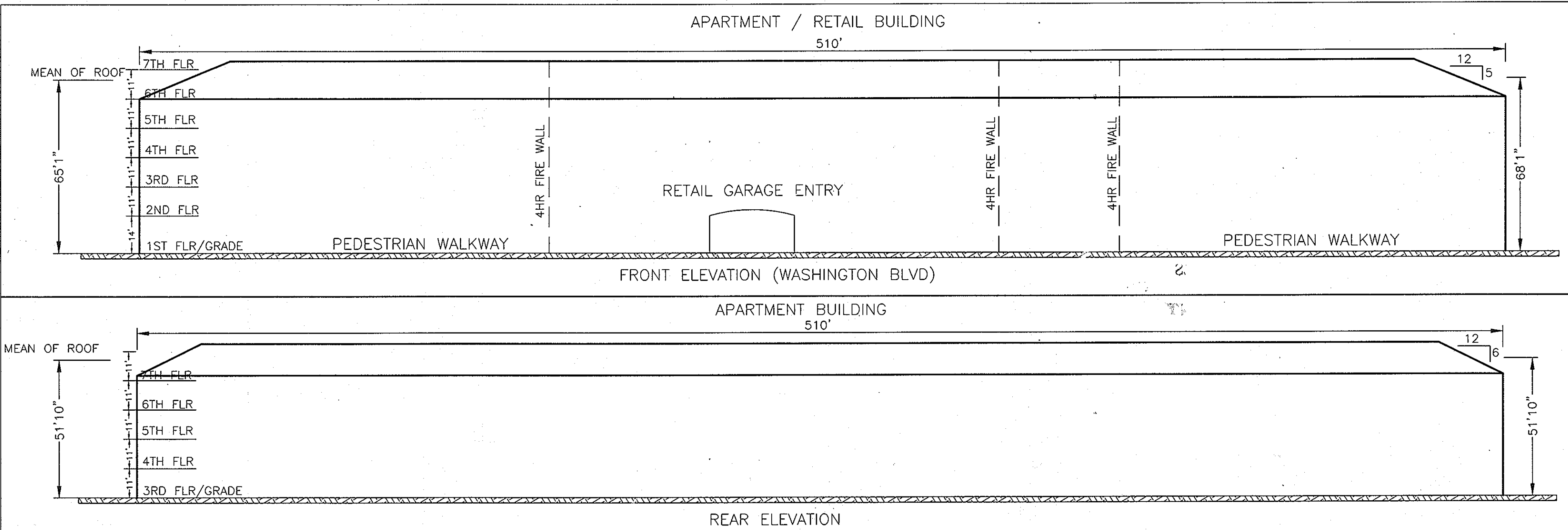
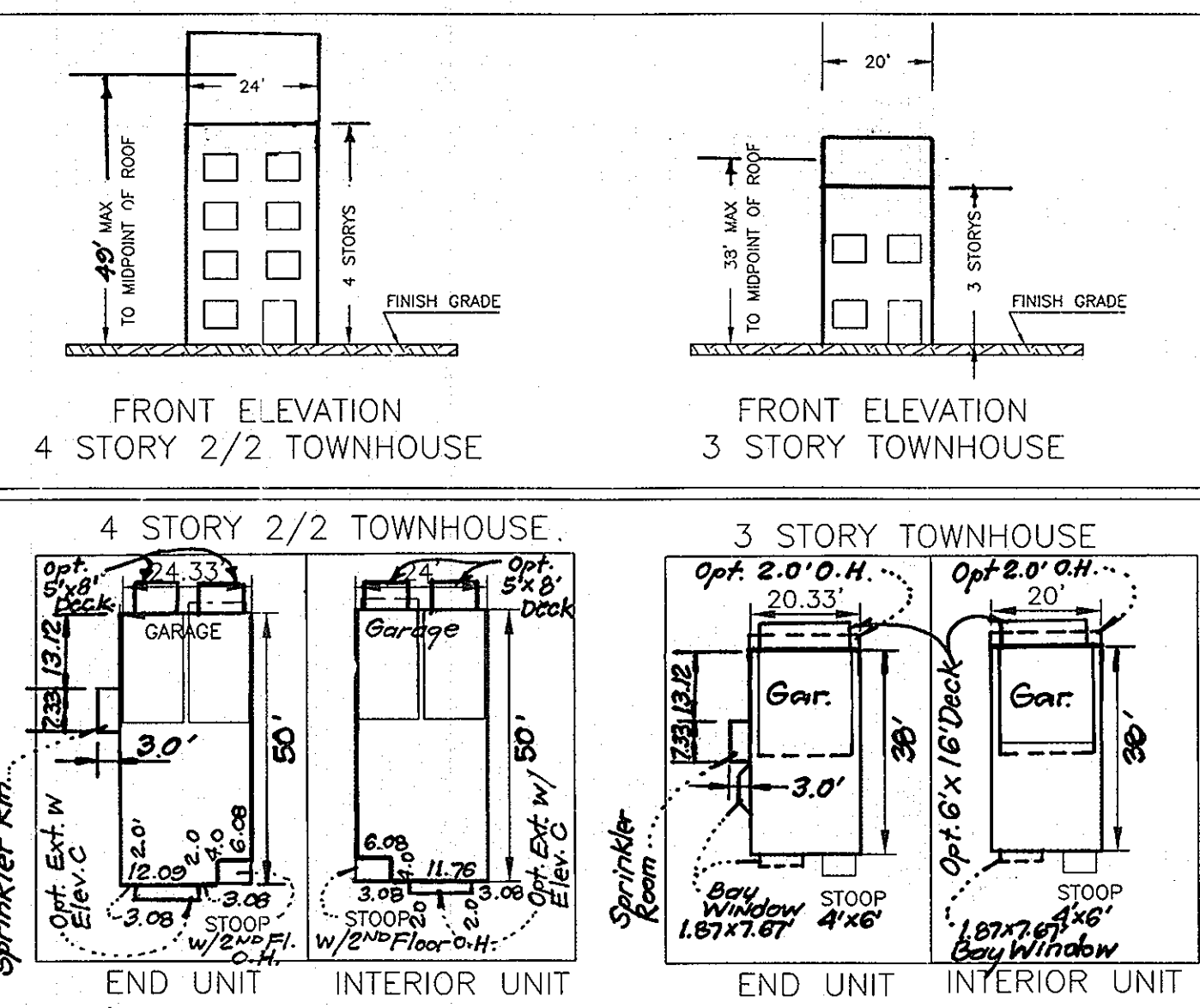
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008 Price Submitted: ZB 1043M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-05-016 File number: 11208



NOTES:
ALL CURBS ON SITE SHALL BE STD 3.01 7\"/>



STREET SECTIONS



ACCESSIBLE CURB RAMP DETECTABLE WARNING SURFACES

REFER TO WEBSITE FOR UPDATED AND ADDITIONAL DETAILS:
<http://www.sha.state.md.us/BusinessWithSHA/bizStdSpecs/ManualStdPub/publicationsonline/ohd/bookstd/index.asp>

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT

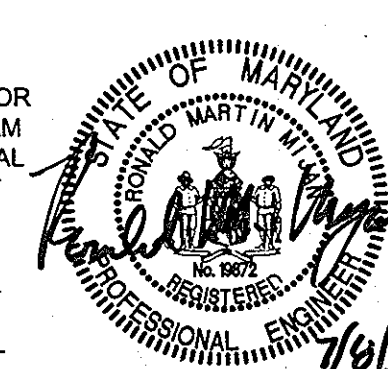
BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF MANAGER
 PRINTED NAME: SCOTT C. REED
 DATE: JULY 08 2008

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT.
 SIGNATURE OF ENGINEER
 PRINTED NAME: RON MIJAN
 DATE: JULY 08 2008

AVERAGE BUILDING HEIGHT=
 (HIGHEST FRONT ELEV. + HIGHEST REAR ELEV.)/2 =
 68'-1" + 51'-10" = (119'-11")/2 = 59'-11 1/2"

NO	REVISIONS	Date
5	Rev. Mission Rd Sections, corrected by Dewberry	10-14-11
4	REVISED SHEET NUMBERS by Dewberry	11-3-10
3	Add Opt. Decks & Revise Bldg Height by F.C.C., Inc.	3-20-09
2	Rev. Sprinkler Rm. Size & location by F.C.C., Inc.	10-15-08
1	Rev. Typical Units by F.C.C., Inc.	9-17-08

PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 19872
 EXPIRATION DATE: 12/01/08



NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-757-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SITE DEVELOPMENT DETAILS

MISSION PLACE

APARTMENTS, TOWNHOUSES AND COMMERCIAL
 W&S CONTRACT: 24-4402-1D
 PLAT NO. 1965A-1965B HOWARD COUNTY, MARYLAND

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

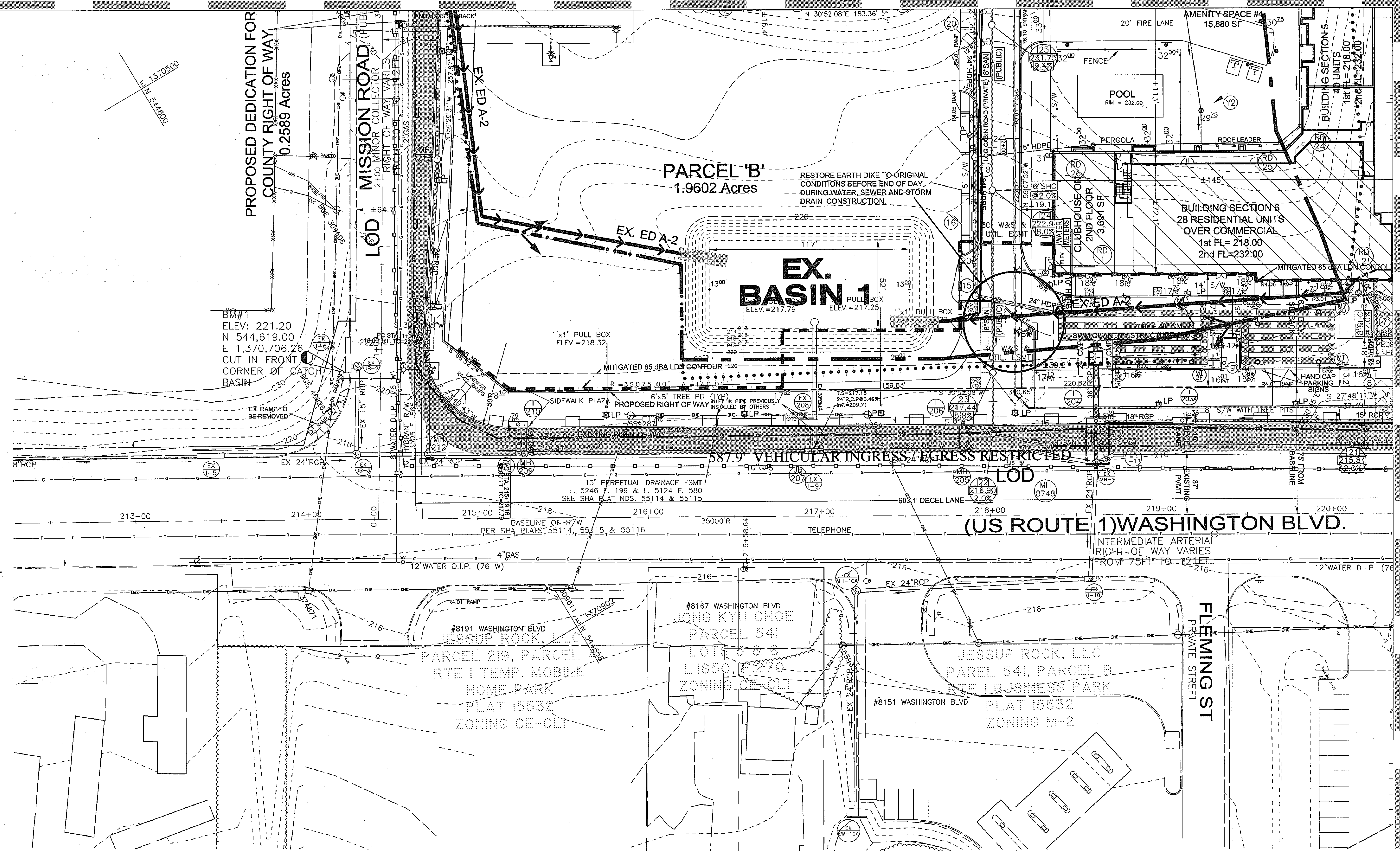
OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2ND FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Drawn by: KDM
 Signed by: KDM
 Checked by: JMC
 Zoned: CAC-CL1

Scale: AS SHOWN
 Date: JULY 2008
 File number: 7 of 53

LEGEND:

- EXISTING**
- 8" SAN (676-S) SANITARY SEWER
 - 12" WATER (76-W) WATER LINE, METER, VALVE & HYDRANT
 - 24" STORM STORM DRAIN
 - SITE BOUNDARY
 - LOT LINE
 - TREE LINE
 - FENCE
 - WETLANDS & BUFFER
 - VS VS VS STREAM BUFFER
 - FP FP FP 100 YR FLOODPLAIN
 - BUILDING
 - POWER POLE
 - CURB
 - EDGE OF PAVEMENT
 - SIDEWALK
 - GAS LINE
 - OVERHEAD UTILITY
 - UNDERGR. TELE.
 - BENCH MARK & ELEV.
- PROPOSED**
- 8" SAN (PRIVATE) SANITARY SEWER
 - CSHC WATER LINE, METER, VALVE & HYDRANT
 - W&S CONNECTIONS
 - BEND STRUCTURE
 - STORM DRAIN
 - LOT LINE
 - TREE LINE
 - LIMITS OF DISTURB.
 - BUILDING
 - CURB
 - EDGE OF PAVEMENT
 - SIDEWALK
 - LP 150 WATT POST-TYPE PRIVATE STREET LIGHT
 - LP 150 WATT POST-TYPE PUBLIC STREET LIGHT



MATCH LINE SHEET 9

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NOAA-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

John R. Robertson 8/15/08
DIRECTOR DATE

Stephen W. Harty 8/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

T. Maenherst 8/15/08
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Scott C. Reed JULY 08 2008
SIGNATURE OF MANAGER DATE
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

Ronald M. Mijan JULY 08 2008
SIGNATURE OF ENGINEER DATE
PRINTED NAME: RON MIJAN

1. REVISED SHEET NUMBERS 11-3-10

NOTE: PARCEL 'C' HAS ONE BUILDING CONTAINING 5 LEVELS OF RESIDENTIAL APARTMENTS ABOVE GROUND FLOOR COMMERCIAL ALONG THE ENTIRE EAST FRONTAGE.

A MULTI-STORY PARKING STRUCTURE IS LOCATED IN THE CENTER OF THE APARTMENT BUILDING. COMMERCIAL PARKING IS ON THE FIRST LEVEL, ACCESSED FROM THE FRONT. RESIDENTIAL PARKING IS LOCATED ON LEVELS 2-7, ACCESSED FROM SOUTH SIDE OF LEVEL 3.

NOTATIONS OF SECTIONS 1-7 OF THIS BUILDING REFER TO FIRE SEPARATION ZONES ONLY.

DESIGNATES COMMERCIAL SPACE ON GROUND FLOOR.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

Ronald M. Mijan
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08

7/15/08

KEYMAP

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SEDIMENT CONTROL PLAN

MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
PLAT NO. 1925A-1925B HOWARD COUNTY, MARYLAND

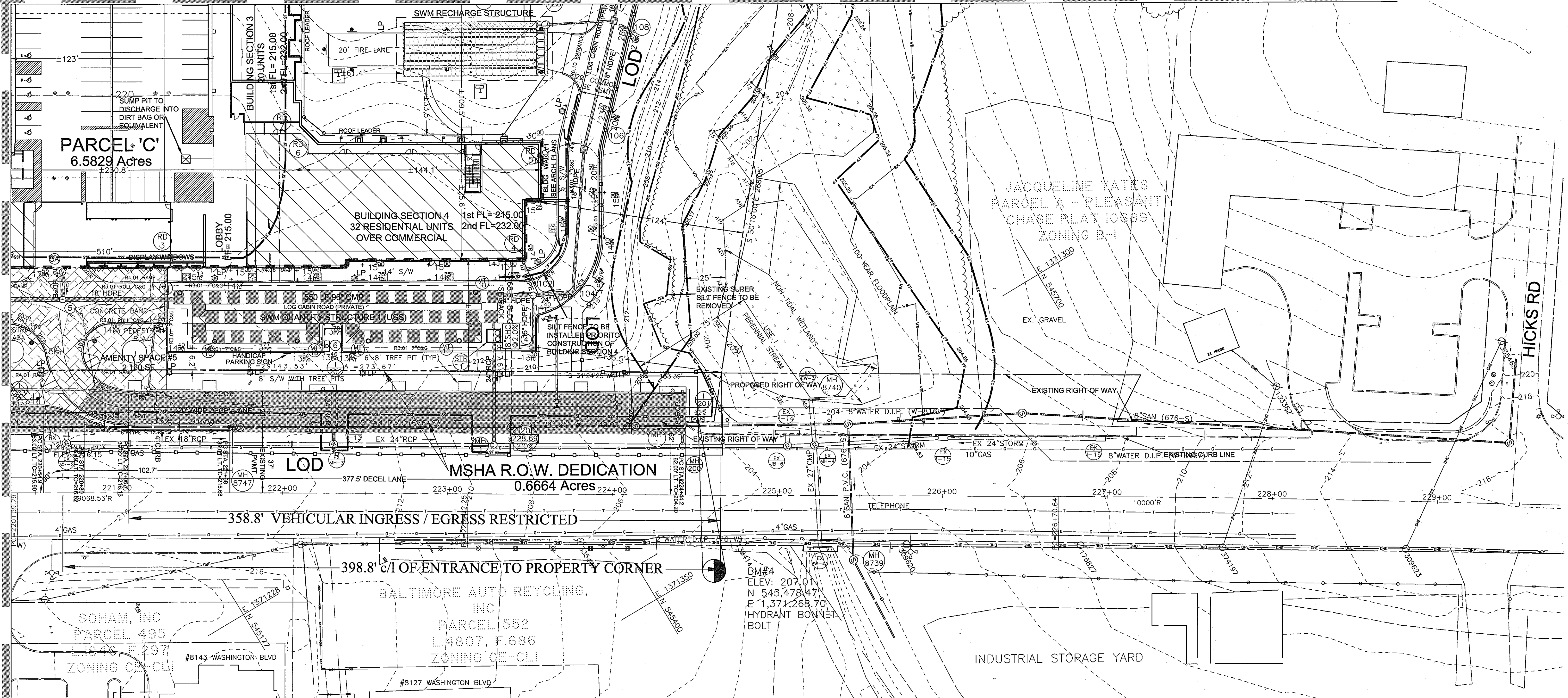
Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Section: NA Area: NA Phase: NA Scale: 1"=30'

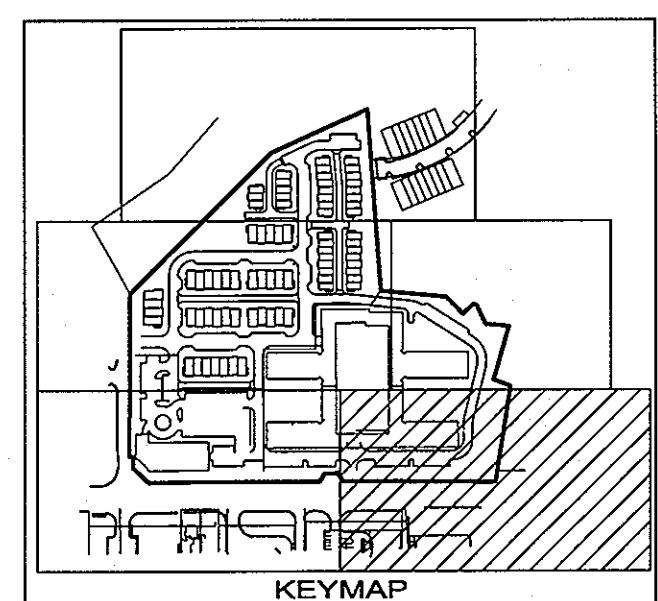
Tax Map Grid & Parcel: MAP 45, GRID 14 PARCELS A & C Date: JULY 2008 Price Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 8 of 53
File number: SDP-07-104



LEGEND:

- | | | | |
|--|------------------------------------|--|---|
| | EXISTING | | PROPOSED |
| | SANITARY SEWER | | SANITARY SEWER |
| | WATER LINE, METER, VALVE & HYDRANT | | WATER LINE, METER, VALVE & HYDRANT |
| | STORM DRAIN | | W&S CONNECTIONS |
| | SITE BOUNDARY | | BEND STRUCTURE |
| | LOT LINE | | STORM DRAIN |
| | TREE LINE | | LOT LINE |
| | FENCE | | TREE LINE |
| | WETLANDS & BUFFER | | LIMITS OF DISTURB. |
| | STREAM BUFFER | | BUILDING |
| | 100 YR FLOODPLAIN | | CURB |
| | BUILDING | | EDGE OF PAVEMENT |
| | CURB | | SIDEWALK |
| | EDGE OF PAVEMENT | | 150 WATT POST-TYPE PRIVATE STREET LIGHT |
| | SIDEWALK | | 150 WATT POST-TYPE PUBLIC STREET LIGHT |
| | GAS LINE | | |
| | OVERHEAD UTILITY | | |
| | UNDERGR. TELE. | | |
| | BENCH MARK & ELEV. | | |



NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF THE UTILITIES BY PRODDING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITIES AT 1-800-277-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 19872
 EXPIRATION DATE: 12/01/08



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

John P. Robertson 9/14/08
 Director

Stephen LaFollette 8/15/08
 Chief, Development Engineering Division

T. Maenhout 8/15/08
 Chief, Division of Land Development

BY THE DEVELOPER:
 "WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Manager: Scott C. Reed
 Date: JULY 08 2008

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: Ronald M. Mijan
 Date: JULY 08 2008

1. REVISED SHEET NUMBERS 11-3 to 11-3 to

NOTE: PARCEL 'C' HAS ONE BUILDING CONTAINING 5 LEVELS OF RESIDENTIAL APARTMENTS ABOVE GROUND FLOOR COMMERCIAL ALONG THE ENTIRE EAST FRONTAGE.

A MULTI-STORY PARKING STRUCTURE IS LOCATED IN THE CENTER OF THE APARTMENT BUILDING. COMMERCIAL PARKING IS ON THE FIRST LEVEL, ACCESSED FROM THE FRONT. RESIDENTIAL PARKING IS LOCATED ON LEVELS 2-7, ACCESSED FROM SOUTH SIDE OF LEVEL 3.

NOTATIONS OF SECTIONS 1-7 OF THIS BUILDING REFER TO FIRE SEPARATION ZONES ONLY.

DESIGNATES COMMERCIAL SPACE ON GROUND FLOOR.

SEDIMENT CONTROL PLAN

MISSION PLACE
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 W&S CONTRACT: 24-4402-D
 PLAT NO. 19854-10552 HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR., 2ND FL.
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Section: NA Area: NA Phase: NA Scale: 1"=30'

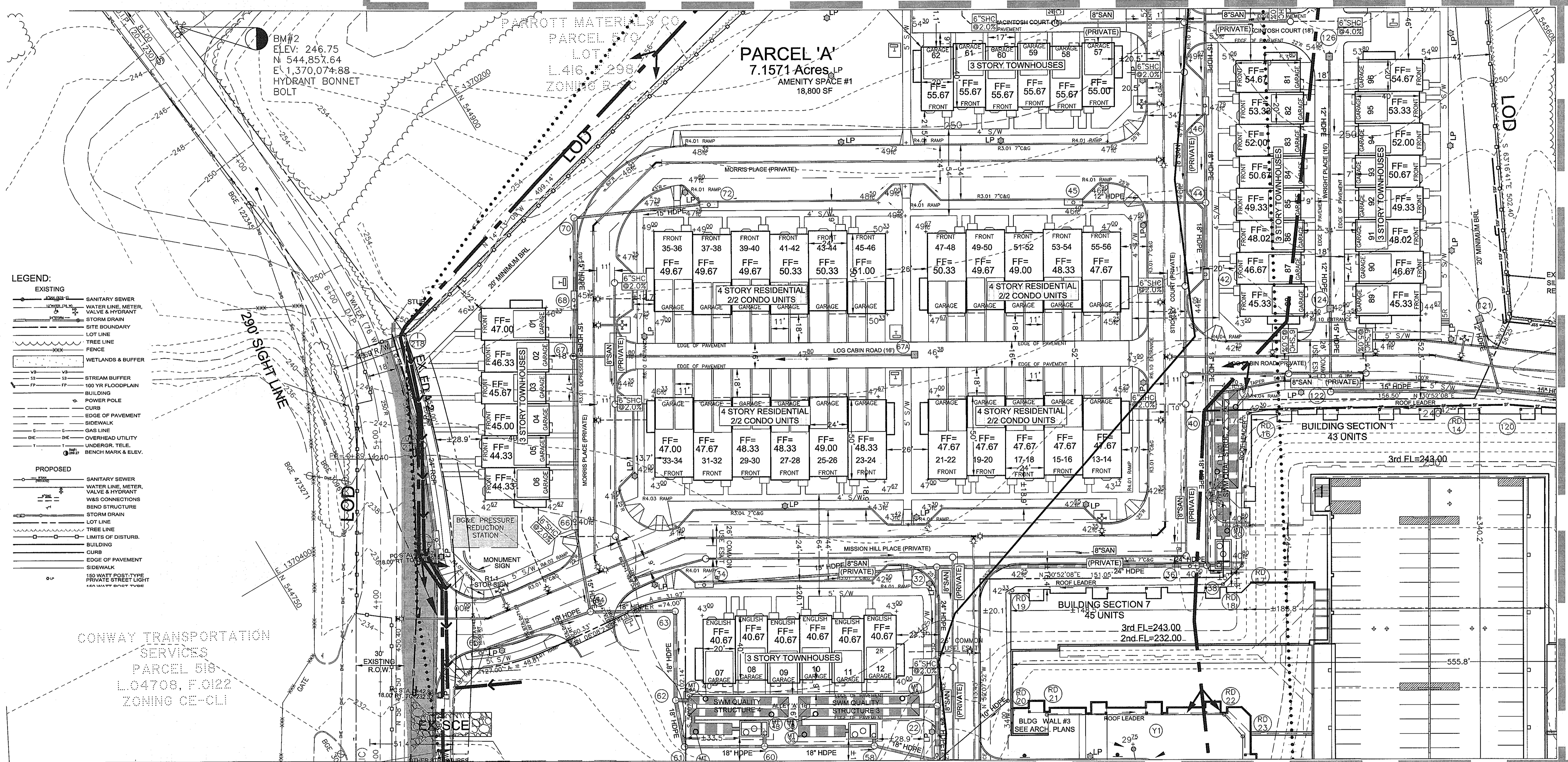
Tax Map Grid & Parcel: MAP 45, GRID 14 PARCELS A & C Date: JULY 2008

Prior Submittals: ZS 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zoned: CAC-CLI
 Sheet: 9 of 53

File number: 1

MATCH LINE SHEET 12



LEGEND:

EXISTING		PROPOSED	
	SANITARY SEWER		SANITARY SEWER
	WATER LINE, METER, VALVE & HYDRANT		WATER LINE, METER, VALVE & HYDRANT
	STORM DRAIN		STORM DRAIN
	SITE BOUNDARY		SITE BOUNDARY
	LOT LINE		LOT LINE
	TREE LINE		TREE LINE
	FENCE		FENCE
	WETLANDS & BUFFER		WETLANDS & BUFFER
	STREAM BUFFER		STREAM BUFFER
	100 YR FLOODPLAIN		100 YR FLOODPLAIN
	BUILDING		BUILDING
	POWER POLE		POWER POLE
	CURB		CURB
	EDGE OF PAVEMENT		EDGE OF PAVEMENT
	SIDEWALK		SIDEWALK
	GAS LINE		GAS LINE
	OVERHEAD UTILITY		OVERHEAD UTILITY
	UNDERGR. TELE.		UNDERGR. TELE.
	BENCH MARK & ELEV.		BENCH MARK & ELEV.
PROPOSED		PROPOSED	
	SANITARY SEWER		SANITARY SEWER
	WATER LINE, METER, VALVE & HYDRANT		WATER LINE, METER, VALVE & HYDRANT
	WAS CONNECTIONS		WAS CONNECTIONS
	BEND STRUCTURE		BEND STRUCTURE
	STORM DRAIN		STORM DRAIN
	LOT LINE		LOT LINE
	TREE LINE		TREE LINE
	LIMITS OF DISTURB.		LIMITS OF DISTURB.
	BUILDING		BUILDING
	CURB		CURB
	EDGE OF PAVEMENT		EDGE OF PAVEMENT
	SIDEWALK		SIDEWALK
	150 WATT POST-TYPE PRIVATE STREET LIGHT		150 WATT POST-TYPE PRIVATE STREET LIGHT
	150 WATT BASE TYPE		150 WATT BASE TYPE

MATCH LINE SHEET 8

MATCH LINE SHEET 9

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DATE: 8/15/08

DATE: 8/15/08

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: SCOTT C. REED

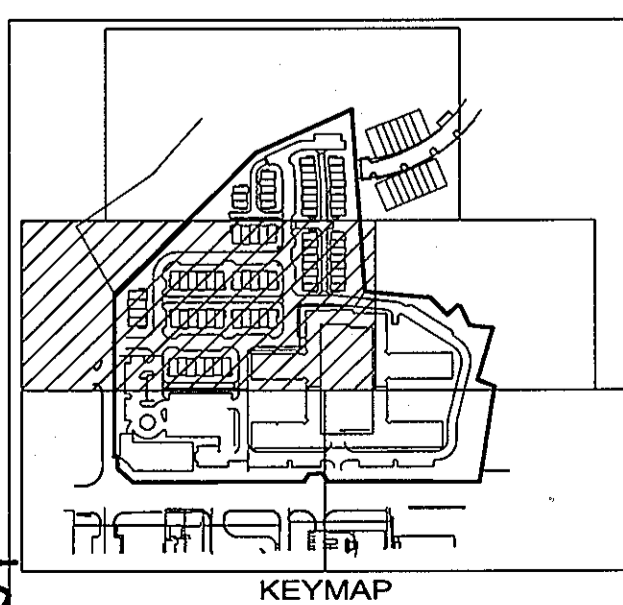
DATE: JULY 08 2008

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: RON MIJAN

DATE: JULY 08 2008

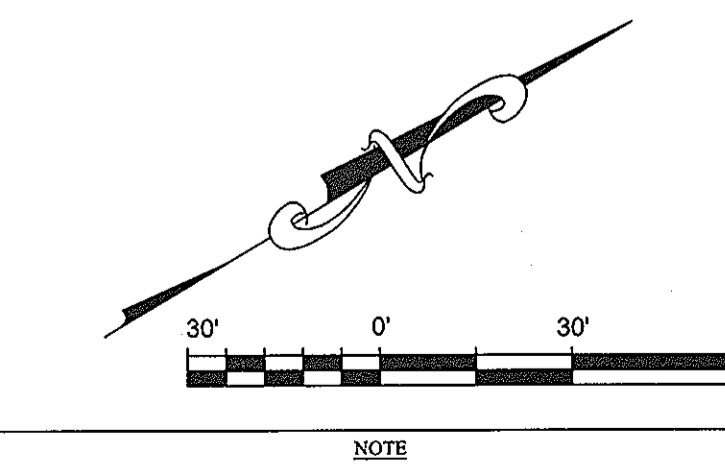


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LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/6/08



NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION CONTACT 'MISS' UTILITY AT 1-800-277-7747 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

SEDIMENT CONTROL PLAN

MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT PLAT NO. 1924-1925 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.912.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Section:	NA	Area:	NA	Phase:	NA	Scale:	1"=30'	Sheet:	10 of 53
Tax Map Grid & Parcel:	MAP 43, GRID 14	Date:	JULY 2008	Prior Submittals:	ZB 1048M SP-06-18 F-07-156	HO-827 SDP-07-101 SDP-07-113	WP-06-096 AA-06-016	File number:	1

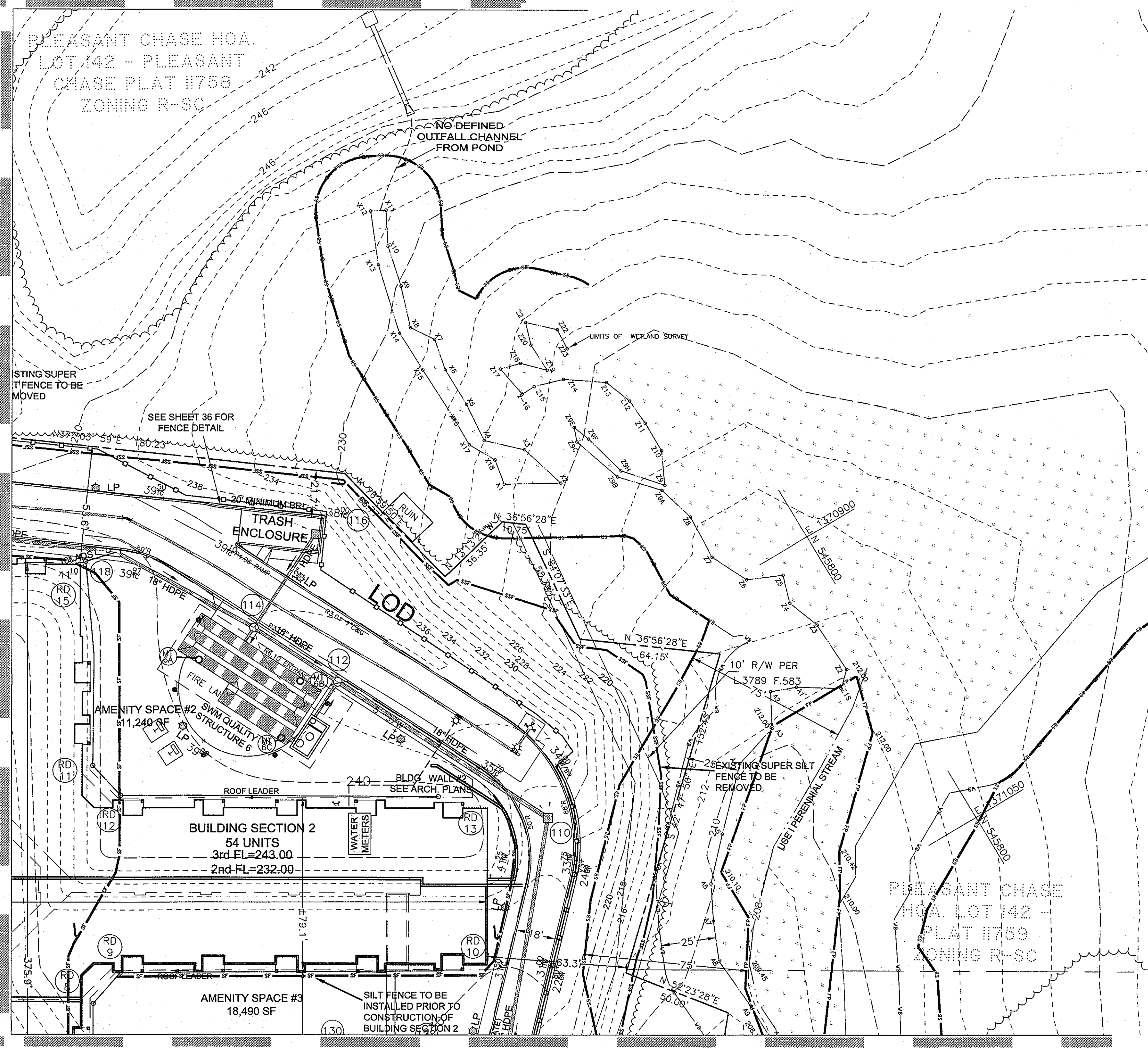
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI

1. REVISED SHEET NUMBERS 11-3-10

MATCH LINE SHEET 11

MATCH LINE SHEET 12

MATCH LINE SHEET 10



MATCH LINE SHEET 9

LEGEND:

EXISTING	PROPOSED
8" SAN (67'-5)	SANITARY SEWER
12" WATER (78'-0)	WATER LINE, METER, VALVE & HYDRANT
24" STORM	STORM DRAIN
---	SITE BOUNDARY
---	LOT LINE
---	TREE LINE
XXX XXX	FENCE
---	WETLANDS & BUFFER
---	STREAM BUFFER
---	100 YR FLOODPLAIN
---	BUILDING
---	POWER POLE
---	CURB
---	EDGE OF PAVEMENT
---	SIDEWALK
---	GAS LINE
---	OVERHEAD UTILITY
---	UNDERGR. TELE.
---	BENCH MARK & ELEV.
	PROPOSED
	SANITARY SEWER
	WATER LINE, METER, VALVE & HYDRANT
	W&S CONNECTIONS
	BEND STRUCTURE
	STORM DRAIN
	LOT LINE
	TREE LINE
	LIMITS OF DISTURB.
	BUILDING
	CURB
	EDGE OF PAVEMENT
	SIDEWALK
	150 WATT POST-TYPE PRIVATE STREET LIGHT
	150 WATT POST-TYPE PUBLIC STREET LIGHT
	SUPER SILT FENCE
	FIRE HYDRANT

Figure 2. Temporary Sediment Basin Design Data Sheet

Computed by: **RAI** Date: **APR '07** Checked by: _____ Date: _____
 Project name: **MISSION PLACE** Basin #: **1**
 Location: **HOWARD COUNTY**

Total area draining to basin: **9.2** acres (ac)

Basin Volume Design
 Note: 1. Also see Surface Area Design #30, this form.
 2. To convert ft³ to yd³, divide ft³ by 27. To convert ft³ to yd³, divide ft³ by 9.

- Min. required vol. = 3600 ft³/ac x 9.2 ac drainage = **33,120 ft³**
- Actual Volume of basin = **54,085 ft³**
- Excavate _____ ft³ to obtain required capacity.
- Vol. at dewatering elev. = 1800 ft³/ac x 9.2 ac = **16,560 ft³**
- Vol. of basin at dewater = 900 ft³/ac x 9.2 ac = **8,280 ft³**
- Elevation corresponding to min. required volume of basin (river crest elevation) **217.50** ft.
- Permanent pool elevation **215.50** ft.
- Distance from river crest elevation to permanent pool elevation **2.0** ft.
- Basin dewater elevation **214.25** ft.
- Distance from river crest elevation to dewater elevation **3.25** ft.

Spillway Design
 11. $Q_p = 39.49$ cfs (peak discharge from 10-yr, 24-hr storm event, at-site computations)

Principal Spillway (Open, See Form 11)
 12. Design Principal Spillway (Barrel) discharge, Design $Q_p = 39.49$ cfs (min. 10% of 10 year peak or 8" Diameter Pipe)
 13. H = _____ ft. Barrel length = _____ ft.
 14. Barrel Diam. **30** in. Note: Q_p must equal or exceed Design Q_p .
 $Q_p = Q$ from Table 13 or 14 x (length correction factor) _____
 15. River Diameter **36** in.; River Height _____ ft.; River Head (h) = _____ ft.
 16. Truck Rack Height **34** in.; Truck Rack Height = _____ ft.

NOTE: A table showing design data shall be included on the plan for each basin.

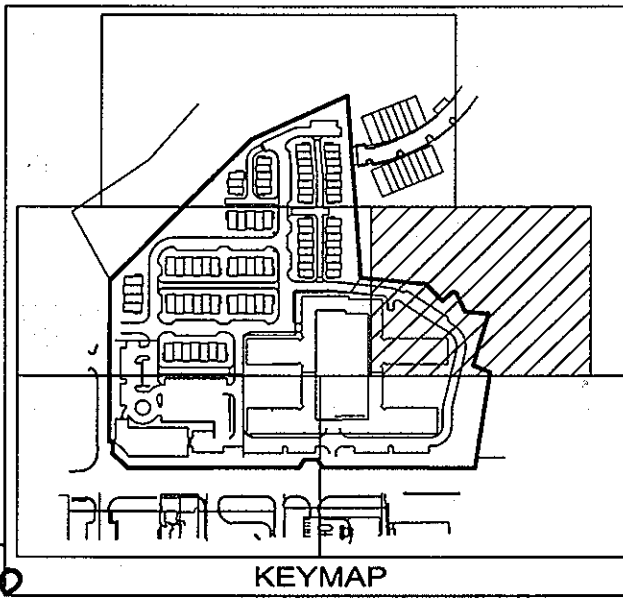
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

BY THE DEVELOPER:
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 Signature: *Scott C. Reed* DATE: **JULY 08 2008**
 PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
 Signature: *Ronald M. Mijan* DATE: **JULY 08 2008**
 PRINTED NAME: RON MIJAN

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 Signature: *Stephen LaFollette* DATE: **8/15/08**
 DIRECTOR

Signature: *Tom MacArthur for CH* DATE: **8/15/08**
 CHIEF, DIVISION OF LAND DEVELOPMENT



PROFESSIONAL CERTIFICATION:
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 LICENSE NO. **19872**
 EXPIRATION DATE: **12/01/08**
 Signature: *Ronald M. Mijan* DATE: **7/8/08**

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SEDIMENT CONTROL PLAN

MISSION PLACE
 PARCELS A & C
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 W&S CONTRACT: 24-4402-D
 PLAT NO. 0054-1050 HOWARD COUNTY, MARYLAND

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

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 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2nd FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Drawn by: **KDM**
 Designed by: **KDM**
 Checked by: **JMC**
 Zone: **CAC-CLI**
 Section: **NA** Area: **NA** Phase: **NA** Scale: **1"=30'**
 Tax Map Grid & Parcel: **MAP 43, GRID 14 PARCELS A & C** Date: **JULY 2008** Price Submittal: **ZB 1048M SP-06-18 F-07-156** HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016
 File number: **11 of 53**

**HOWARD SOIL CONSERVATION DISTRICT
PERMANENT SEEDING NOTES**

Apply to graded or cleared areas not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seedbed Preparation: Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

1. Preferred -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil. At time of seeding, apply 400 lbs/acre 30-0-0 ureaform fertilizer (9 lbs/1000 sq. ft.)
2. Acceptable -- Apply 2 tons/acre dolomitic limestone (92 lbs/1000 sq. ft.) and 1000 lbs/acre 10-10-10 fertilizer (23 lbs/1000 sq. ft.) before seeding. Harrow or disk into upper three inches of soil.

Seeding -- For the periods March 1 -- April 30, and August 1 -- October 15, seed with 60 lbs/acre (1.4 lbs/1000 sq. ft.) of Kentucky 31 Tall Fescue. For the period May 1 -- July 31, seed with 60 lbs Kentucky 31 Tall Fescue per acre and 2 lbs/acre (.05 lbs/1000 sq. ft.) of weeping lovegrass. During the period of October 16 -- February 28, protect site by:

- Option 1 -- Two tons per acre of well anchored straw mulch and seed as soon as possible in the spring.
- Option 2 -- Use sod.
- Option 3 -- Seed with 60 lbs/acre Kentucky 30 Tall Fescue and mulch with 2 tons/acre well anchored straw.

Mulching -- Apply 1-1/2 to 2 tons per acre (70 to 90 lbs/1000 sq. ft.) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gallons per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq. ft.) for anchoring.

Maintenance -- Inspect all seeding areas and make needed repairs, replacements and reseedings.

TEMPORARY SEEDING NOTES.

Apply to graded or cleared areas likely to be re-disturbed where a short-term vegetative cover is needed.

Seedbed preparation: -- Loosen upper three inches of soil by raking, disking or other acceptable means before seeding, if not previously loosened.

Soil Amendments: -- Apply 600 lbs/acre 10-10-10 fertilizer (14 lbs/1000 sq. ft.).

Seeding: -- For periods March 1 -- April 30 and from August 15 -- October 15, seed with 2-1/2 bushel per acre of annual rye (3.2 lbs/1000 sq. ft.). For the period May 1 -- August 14, seed with 3 lbs/acre of weeping lovegrass (.07 lbs/1000 sq. ft.). For the period November 16 -- February 28, protect site by applying 2 tons/acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: -- Apply 1-1/2 to 2 tons/acre (70 to 90 lbs/1000 sq. ft.) of unrotted weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 218 gal. per acre (5 gal/1000 sq. ft.) of emulsified asphalt on flat areas. On slope 8 ft. or higher, use 348 gal. per acre (8 gal/1000 sq. ft.) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for additional rates and methods not covered.

**HOWARD SOIL CONSERVATION DISTRICT
STANDARD SEDIMENT CONTROL NOTES**

1. A minimum of 48 hours notice must be given to the Howard County Department of Inspections, Licenses and Permits, Sediment Control Division prior to the start of any construction (313-1855).
2. All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the most current MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL and revisions thereto.
3. Following initial soil disturbance or re-disturbance, permanent or temporary stabilization shall be completed within: a) 7 calendar days for all perimeter sediment control structures, dikes, perimeter slopes and all slopes greater than 3:1, b) 14 days as to all other disturbed or graded areas on the project site.
4. All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol 1, Chapter 12 of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
5. All disturbed areas must be stabilized within the time period specified above in accordance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seeding (Sec. 51), sod (Sec. 54), temporary seeding (Sec. 50) and mulching (Sec. 52). Temporary stabilization with mulch alone can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
6. All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.
7. Site Analysis:
Total Area of Site 16.63 Acres
Area Disturbed 16.43 Acres
Area to be roofed or paved 8.14 Acres
Area to be vegetatively stabilized 8.17 Acres
Total Cut 13,157 Cu. Yds.
Total Fill 13,157 Cu. Yds.
Offsite waste/borrow area location:
8. Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
9. Additional sediment control must be provided, if deemed necessary by the Howard County Sediment Control Inspector.
10. On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.
11. Trenches for the construction of utilities is limited to three pipe lengths or that which shall be back-filled and stabilized by the end of each work day, whichever is shorter.

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/14/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08

T. Moenhardt for CH DATE: 8/15/08

BY THE DEVELOPER:
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SIGNATURE OF MANAGER DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
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SIGNATURE OF ENGINEER DATE: JULY 08 2008
PRINTED NAME: RON MIJAN

**STANDARDS AND SPECIFICATIONS
FOR
TOPSOIL**

Definition

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

This practice is limited to areas having 2:1 or flatter slopes.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications.

Topsoil Specifications - Soil to be used as topsoil must meet the following:

1. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by DPS. Regardless, topsoil shall not be a mixture of contrasting textured subsoils, and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.

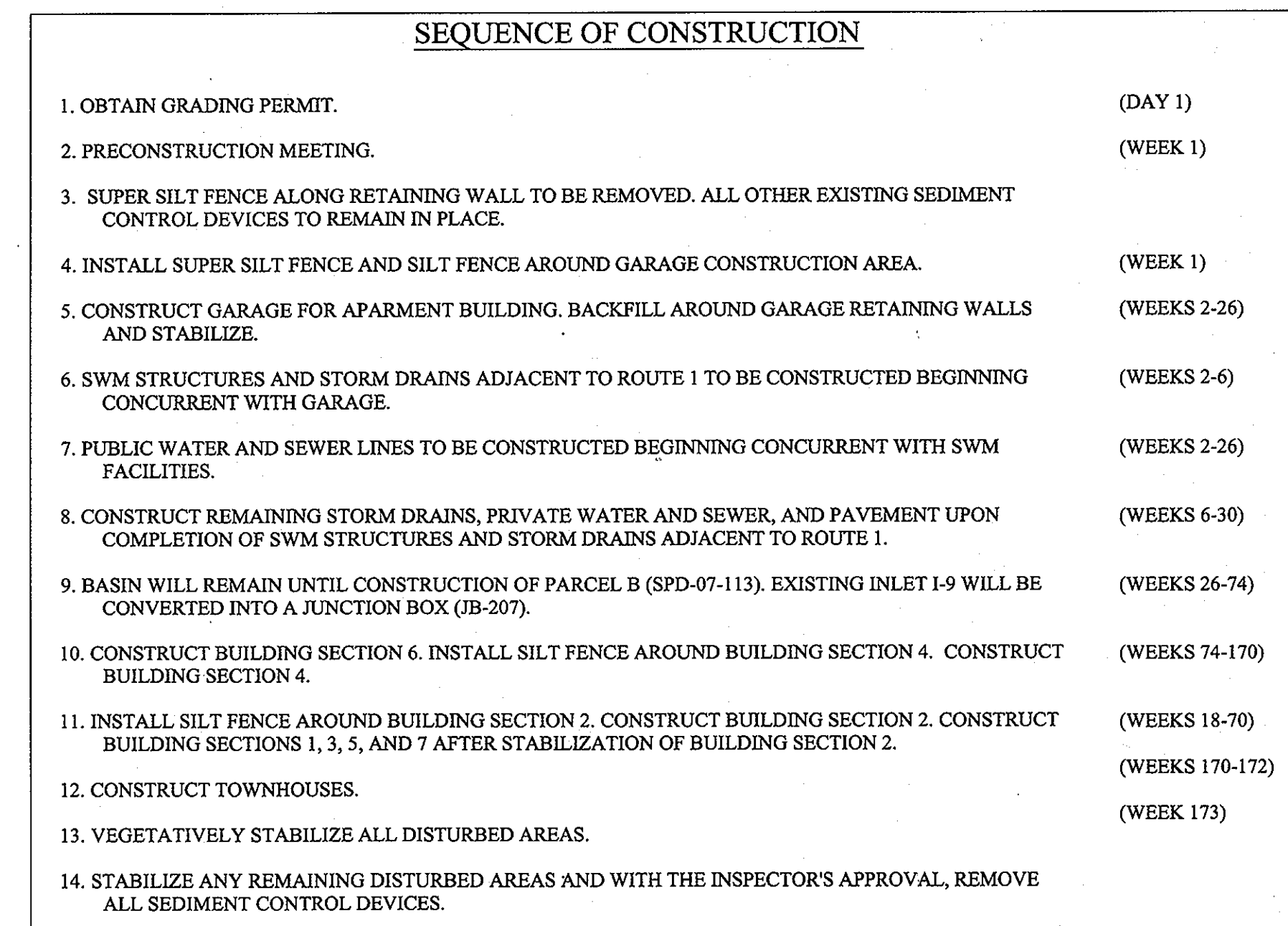
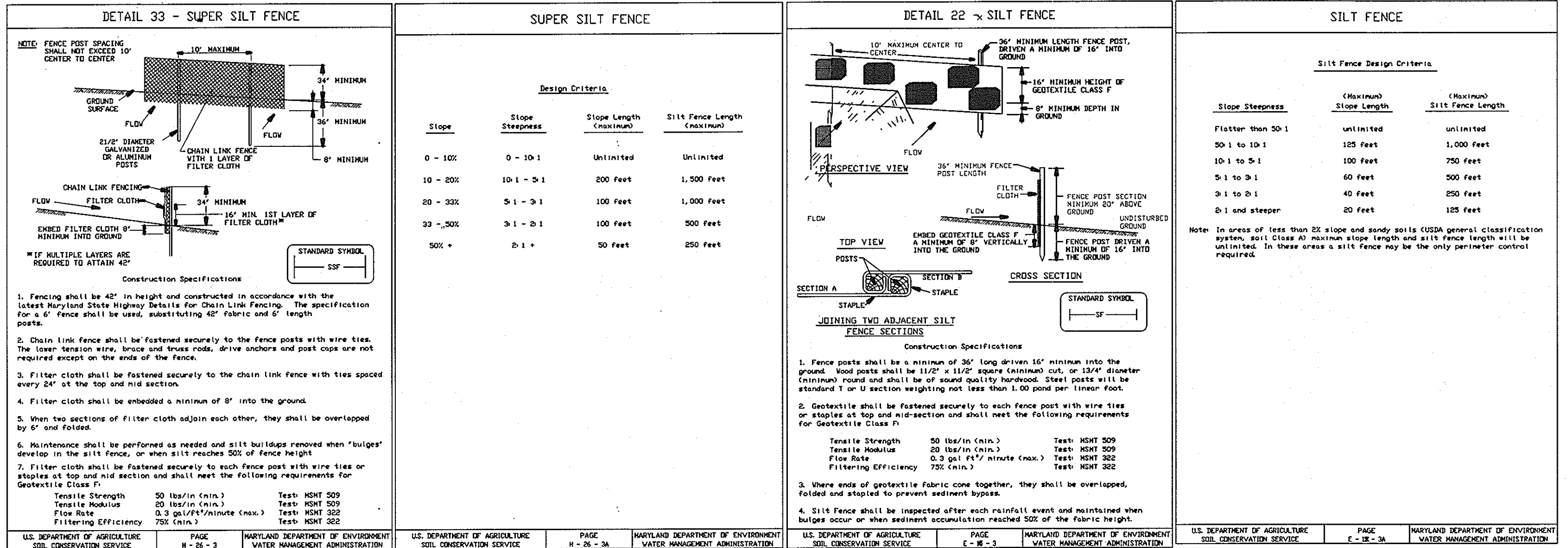
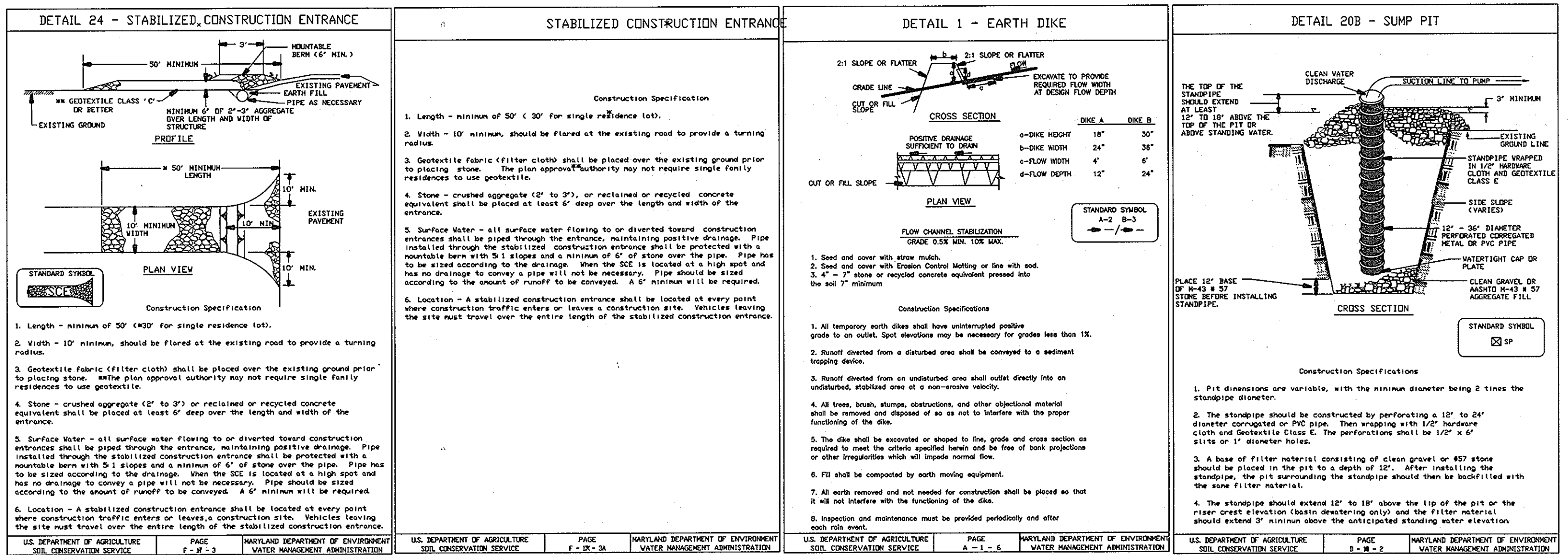
The subsoil shall be tilled to a minimum depth of 6 inches before placement of topsoil.

Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 lbs per 1000 sq ft) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil.

Topsoil shall be tested and amended as per soil test recommendations.

Topsoil Application.

1. When topsoiling, maintain needed erosion and sediment control practices.
2. Topsoil shall be uniformly distributed in a 4-8 inch layer and lightly compacted to a minimum thickness of 4 inches. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
3. Topsoil shall not be placed while the topsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.



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EXPIRATION DATE: 12/01/08

7/9/08

SEDIMENT CONTROL DETAILS & NOTES

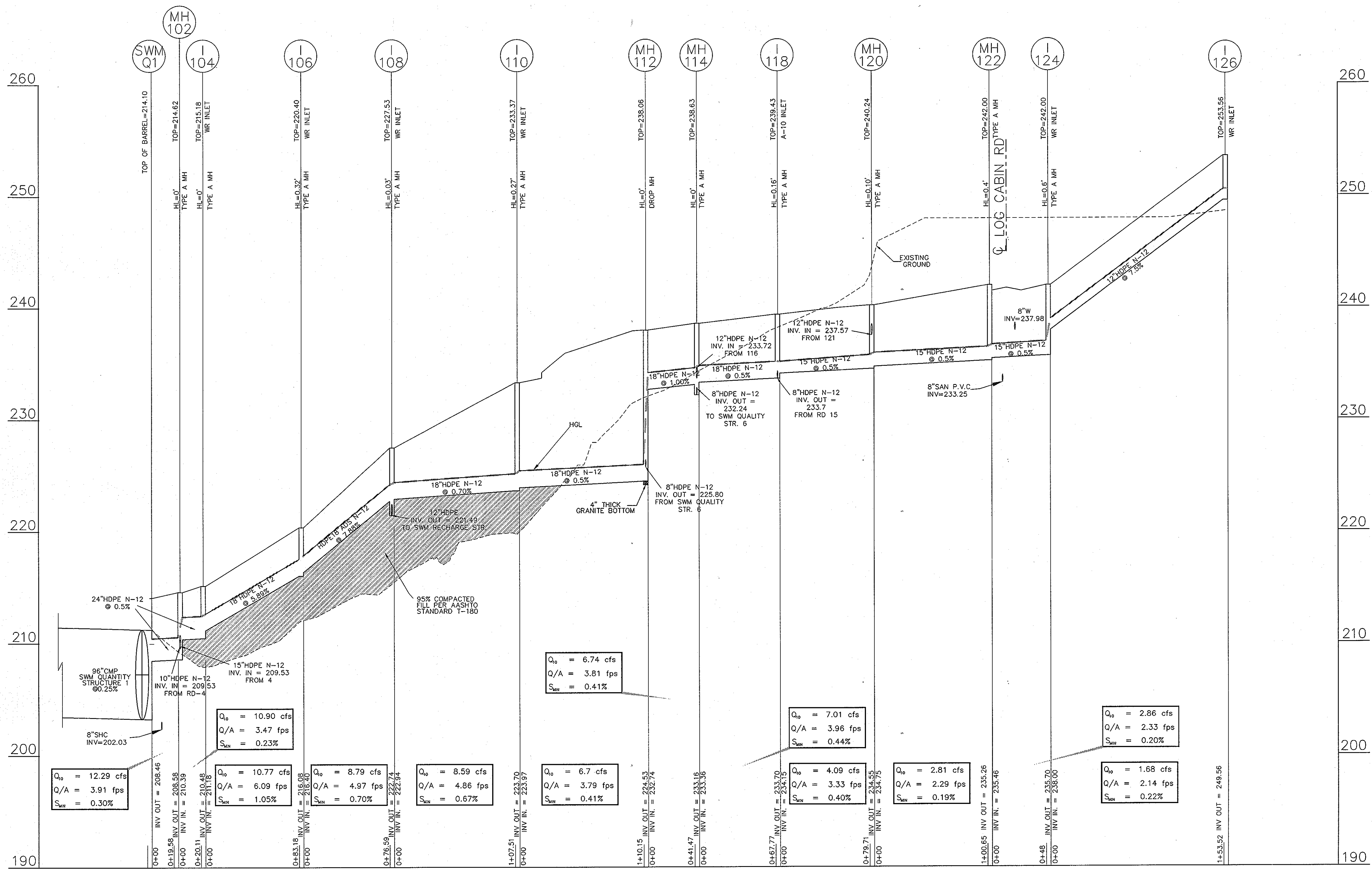
MISSION PLACE
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
PLAT NO. 1964-1959 HOWARD COUNTY, MARYLAND
6TH ELECTION DISTRICT

Dewberry
203 PERRY PARKWAY, SUITE 1
GATHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
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Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 13 of 53

Section: NA Area: NA Phase: NA Scale: AS SHOWN
Tax Map Grid & Parcel: NA-06-18 PARCELS A & C Date: JULY 2008
Prior Submittals: ZB 1048M SP-06-18 P-07-136 HO-827 SDP-07-101 AA-06-016 WP-06-096 SDP-07-113



SCALE: VERT. 1" = 5'
 HORIZ. 1" = 50'



<p>THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.</p> <p>U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE</p> <p>THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.</p>		<p>BY THE DEVELOPER:</p> <p>"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."</p> <p><i>Scott C. Reed</i> SIGNATURE OF MANAGER PRINTED NAME: SCOTT C. REED DATE: JULY 08 2008</p>	
<p>APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.</p> <p><i>Stephan Koffsky</i> DIRECTOR DATE: 8/15/08</p> <p><i>Ronald M. Mijan</i> CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08</p> <p><i>T. Maendhardt</i> CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/15/08</p>		<p>BY THE ENGINEER:</p> <p>"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."</p> <p><i>Ronald M. Mijan</i> SIGNATURE OF ENGINEER PRINTED NAME: RON MIJAN DATE: JULY 08 2008</p>	

1. REVISED SHEET NUMBERS 11-3-10

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LICENSE NO. 19872
 EXPIRATION DATE: 12/01/08

Matthew Bitar
 PROFESSIONAL ENGINEER
 7/6/08

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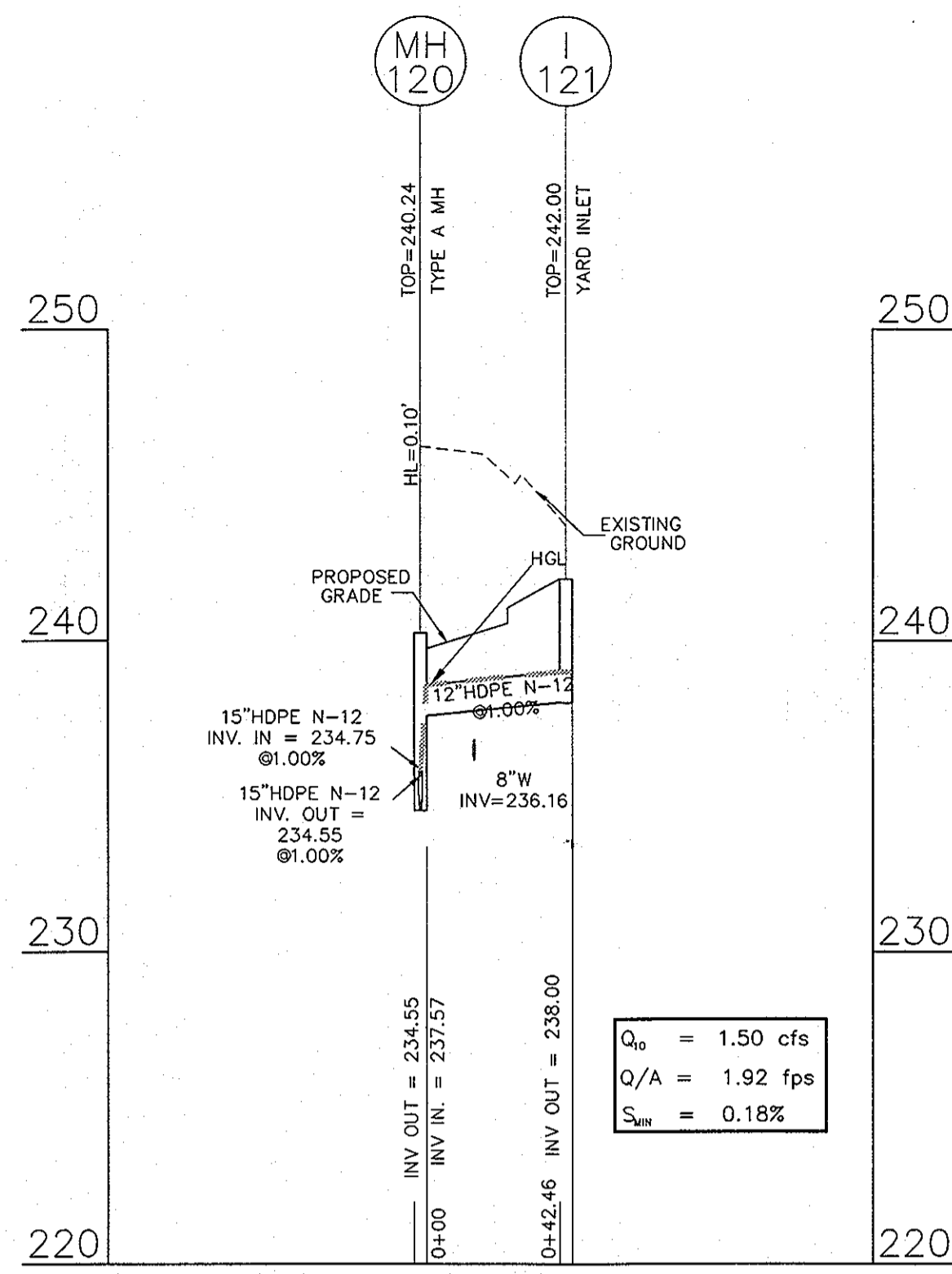
PROFILES PRIVATE PAVING AND DRAINAGE MISSION PLACE
 PARCELS A & C
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
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 PLAT NO. 1985A-1985B HOWARD COUNTY, MARYLAND
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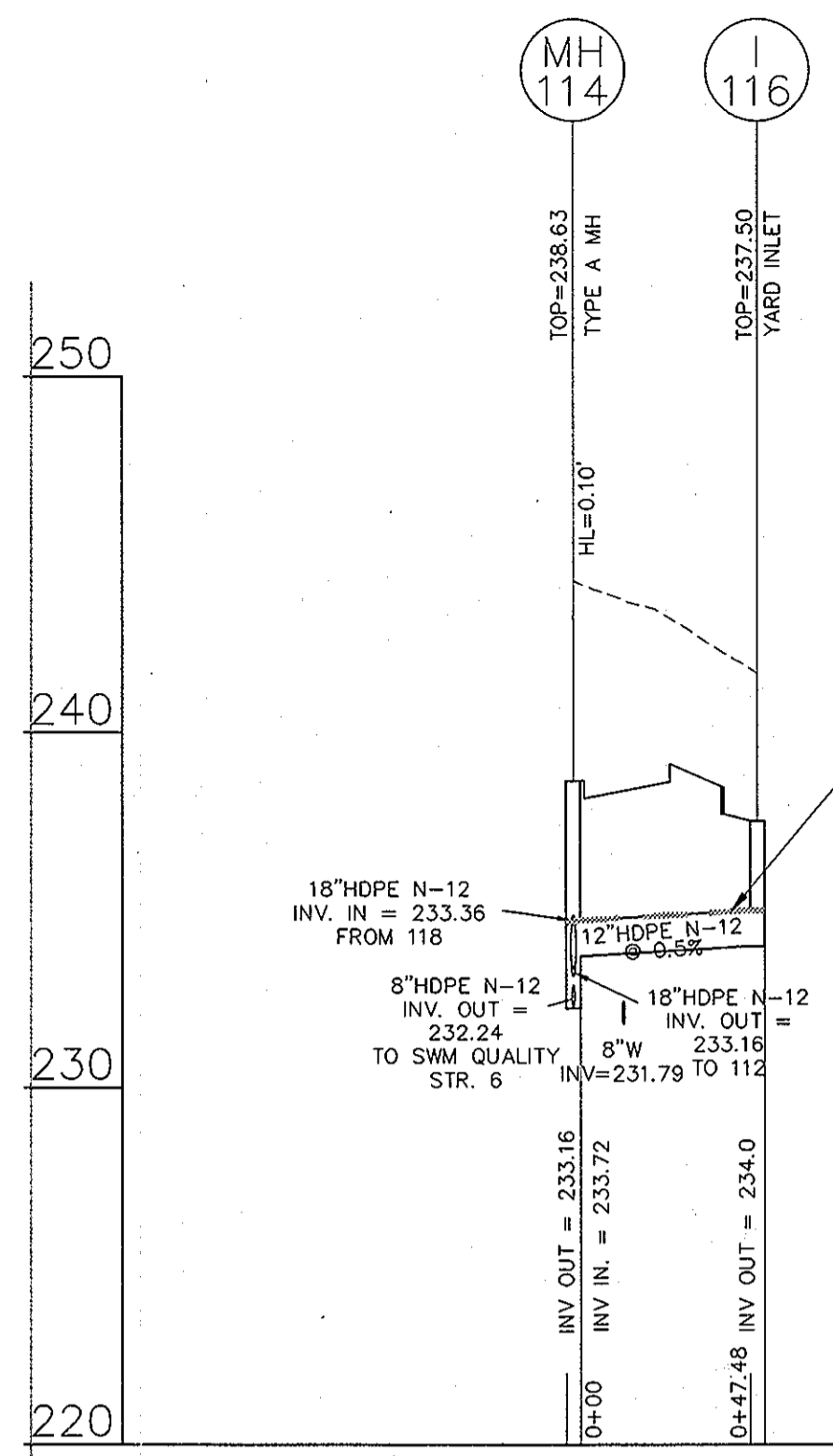
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 Sheet: 14 of 53

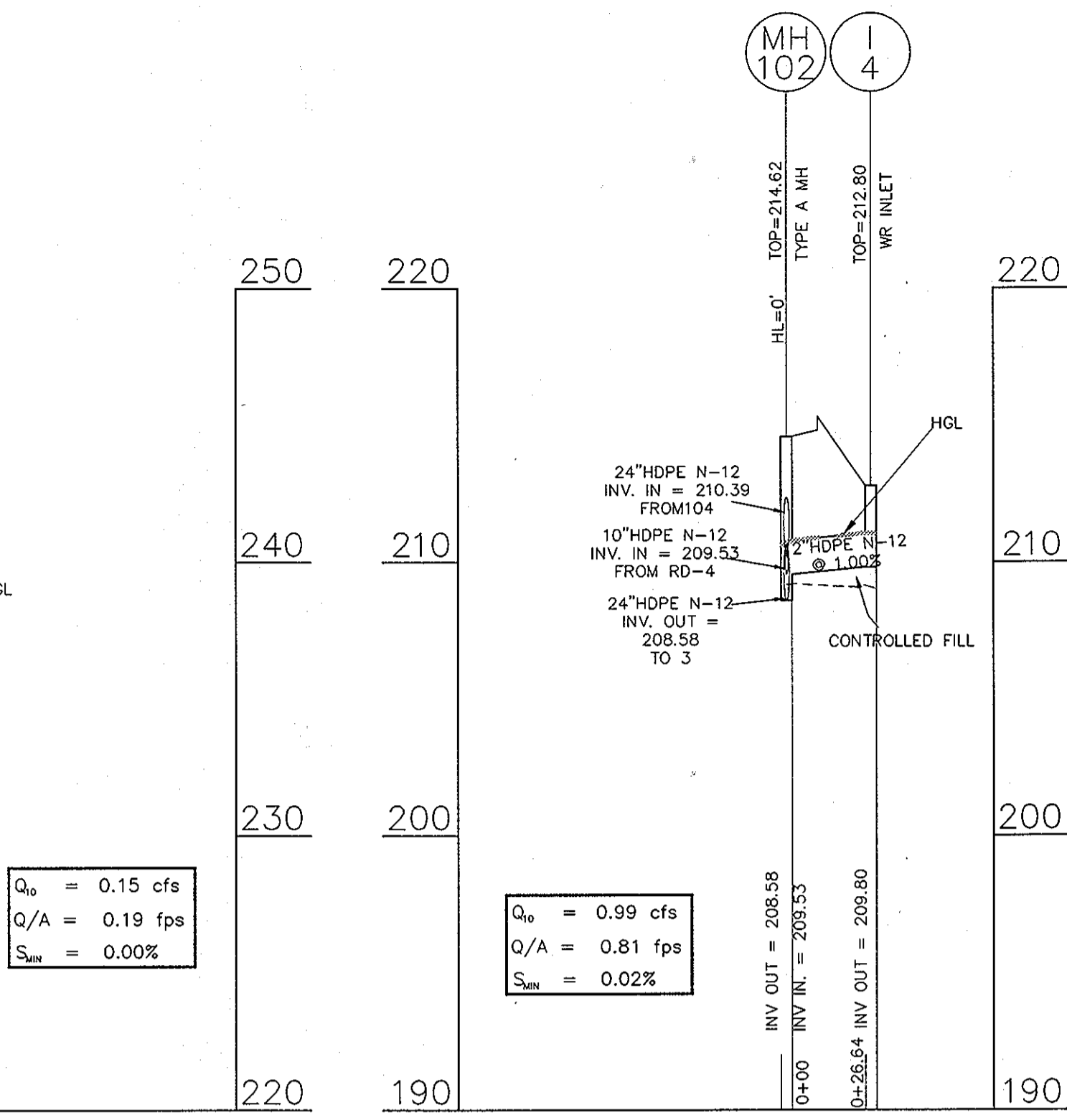
Section: NA Area: NA Phase: NA Scale: 1"=50'
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 File number:



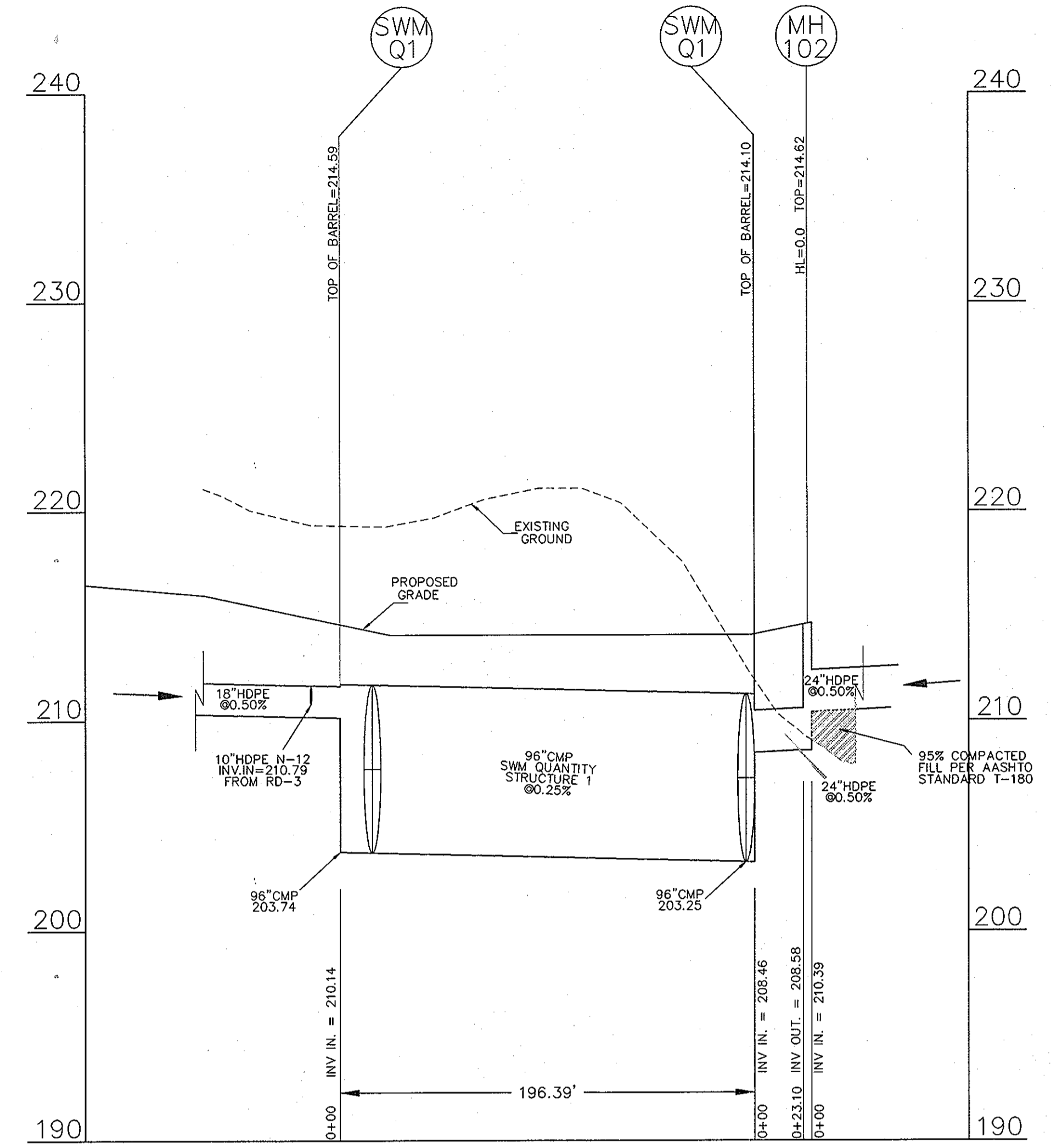
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



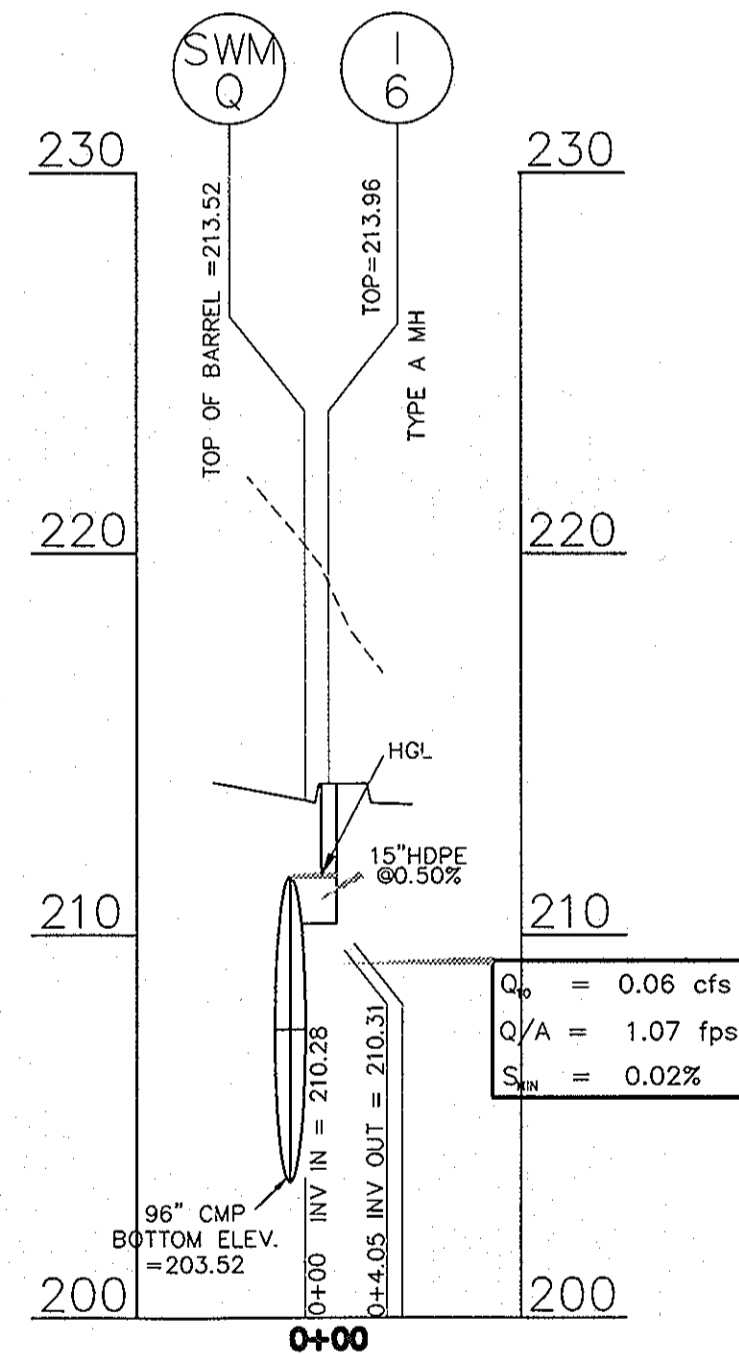
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HORIZ. 1" = 50'



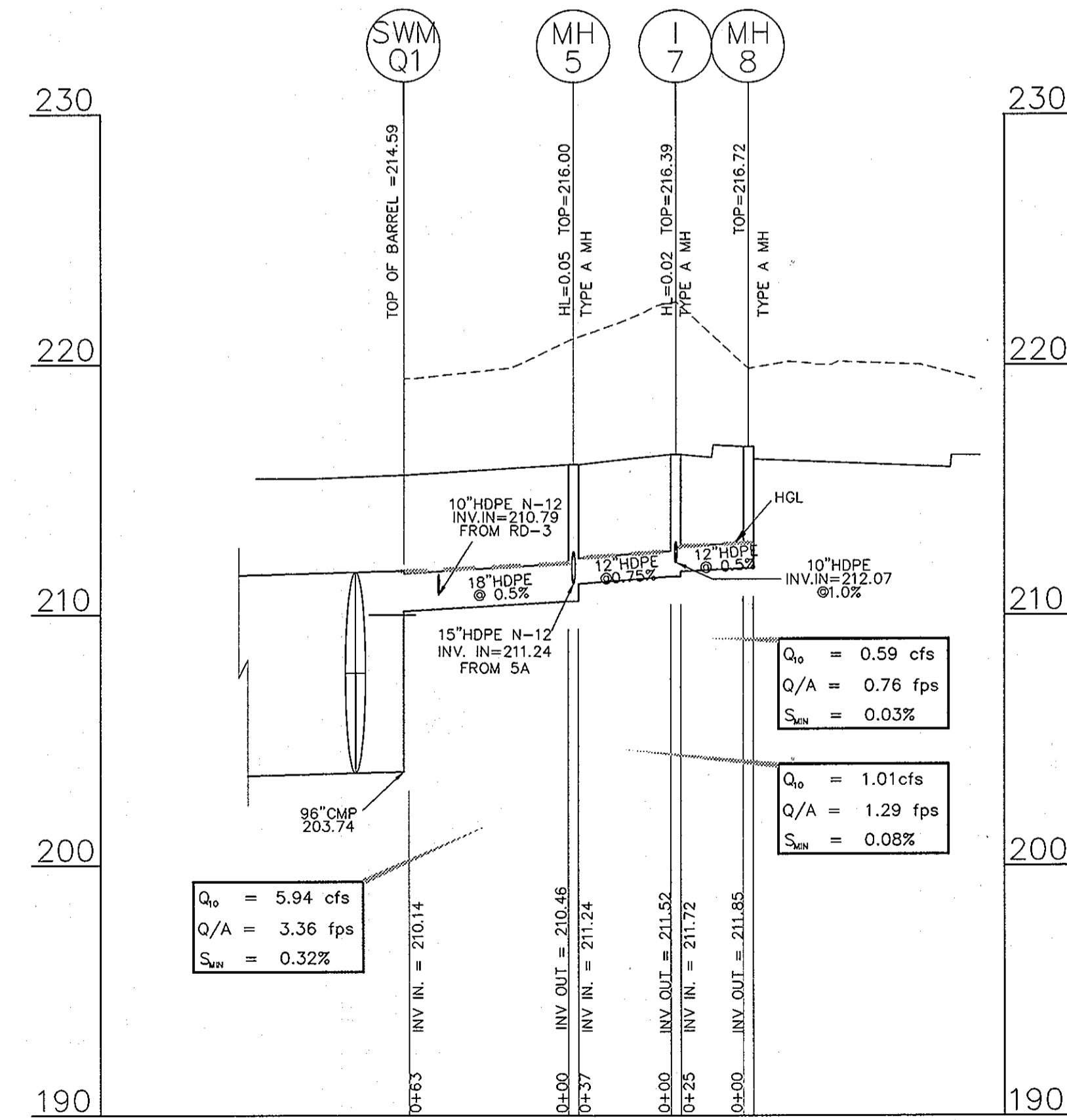
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HORIZ. 1" = 50'



SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



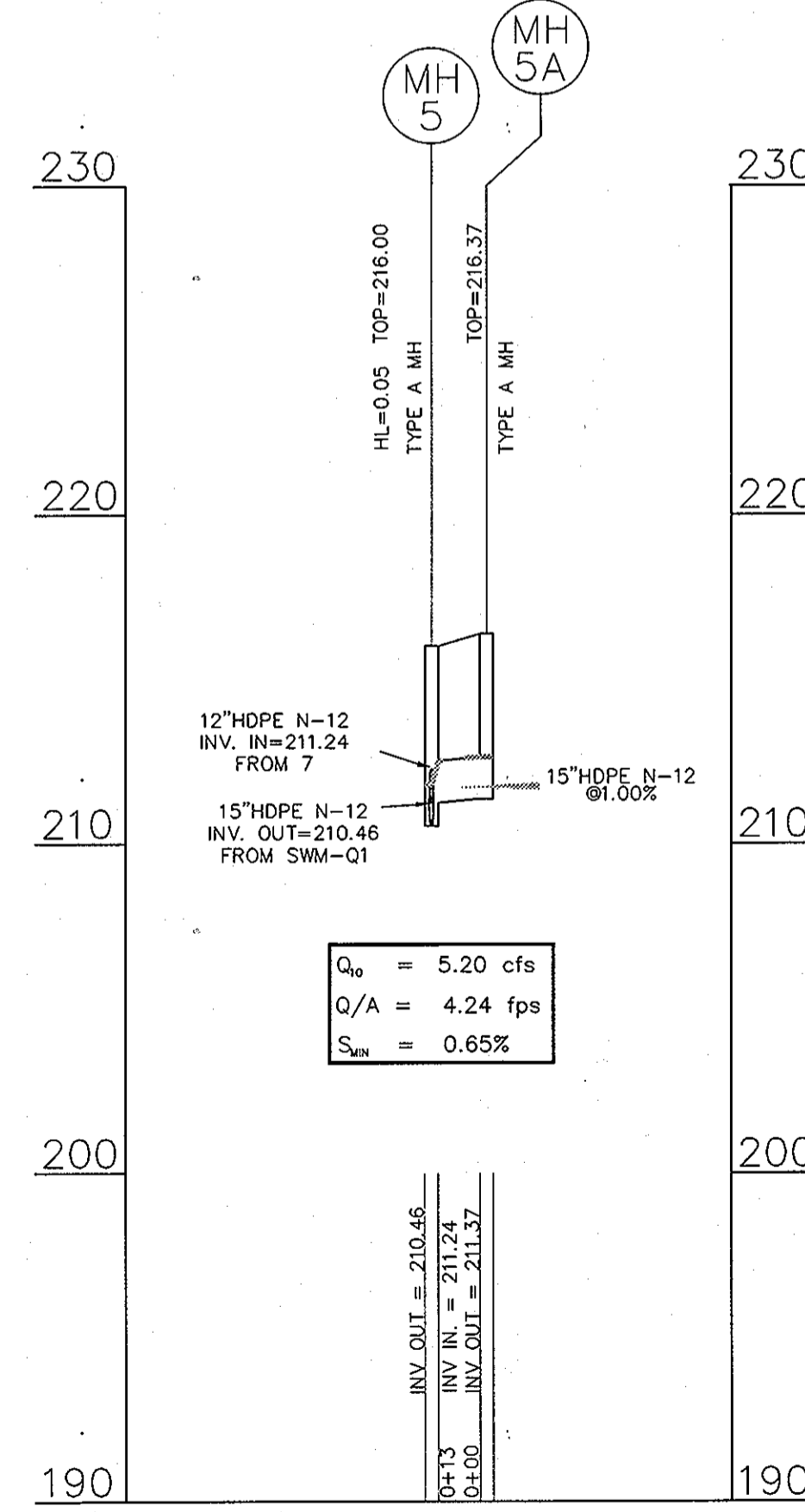
$Q_o = 0.06$ cfs
 $Q/A = 1.07$ fps
 $S_{min} = 0.02\%$



$Q_o = 0.59$ cfs
 $Q/A = 0.76$ fps
 $S_{min} = 0.03\%$

$Q_o = 1.01$ cfs
 $Q/A = 1.29$ fps
 $S_{min} = 0.08\%$

$Q_o = 5.94$ cfs
 $Q/A = 3.36$ fps
 $S_{min} = 0.32\%$



$Q_o = 5.20$ cfs
 $Q/A = 4.24$ fps
 $S_{min} = 0.65\%$

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: *Joseph Lafferty* 8/15/08

Chief, Development Engineering Division: *Matthew Bitar* 8/15/08

Chief, Division of Land Development: *T. MacArthur* 8/15/08

BY THE DEVELOPER:

"I ME CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Manager: *Scott C. Reed* DATE: JULY 08 2008

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *Ron Milian* DATE: JULY 08 2008

PRINTED NAME: RON MILIAN

1. REVISED SHEET NUMBERS 11-3-10

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08



PROFILES PRIVATE PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT PLAT NO. 985A-1066 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.912.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 15 of 53

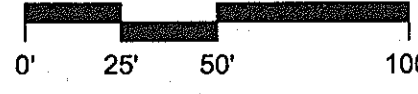
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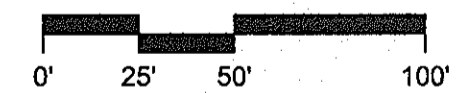
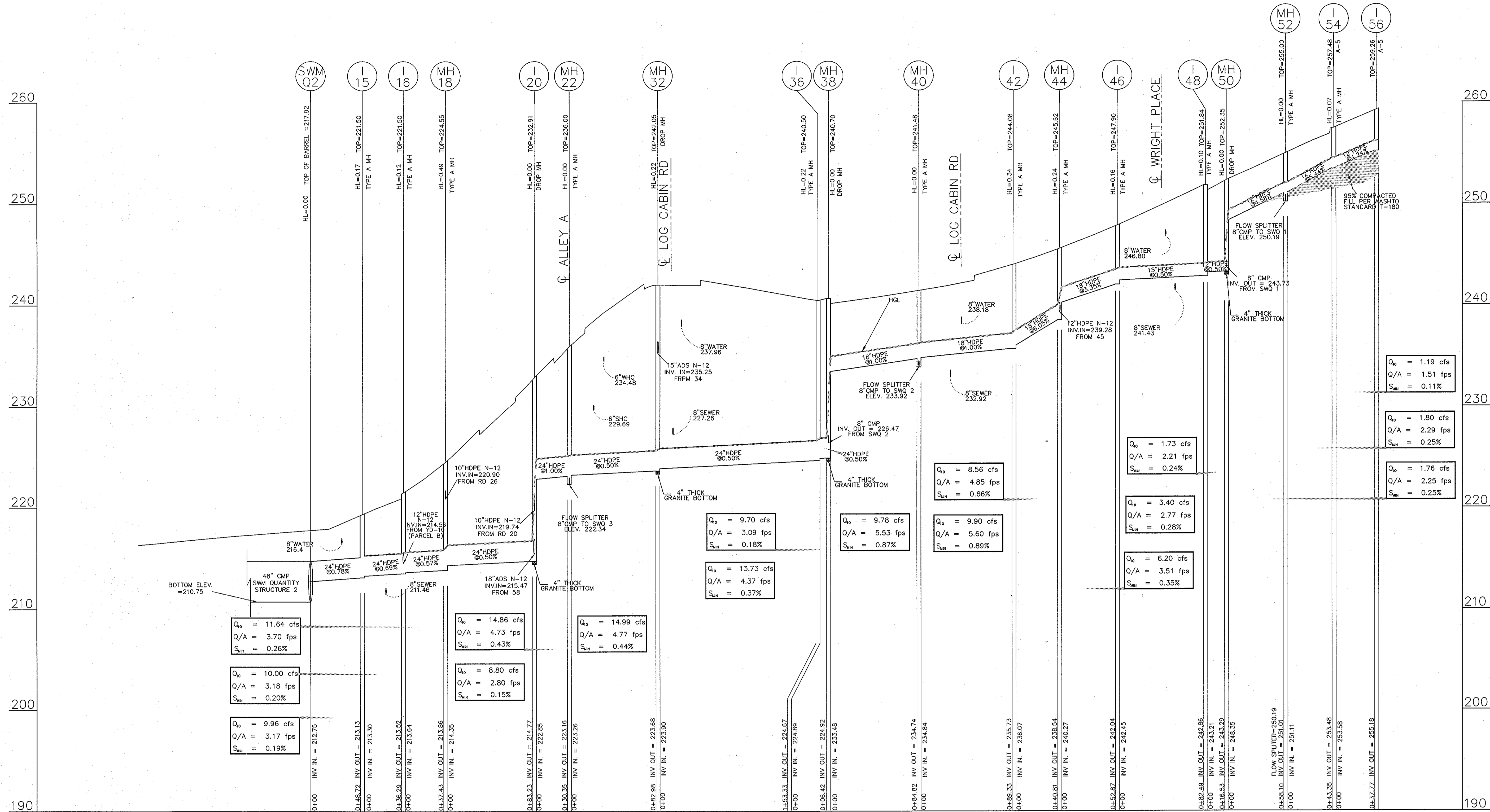
Tax Map Grid & Parcel: MAF 43, GRID 14 PARCELS A & C Date: JULY 2008

Prior Submittals:
ZB 1048M SF-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-115 WP-06-096 AA-06-016

File number:

NOTE
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST REDEFINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS PRIOR TO THE START OF EXCAVATION CONTACT "MISS UTILITY" AT 1-800-277-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.





THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: *[Signature]*

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: *[Signature]* DATE: 8/15/08

Chief, Development Engineering Division: *[Signature]* DATE: 8/15/08

Chief, Division of Land Development: *[Signature]* DATE: 8/15/08

BY THE DEVELOPER:

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Manager: *[Signature]* DATE: JULY 08 2008

Printed Name: SCOTT C. REED

BY THE ENGINEER:

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: *[Signature]* DATE: JULY 08 2008

Printed Name: RON MIJAN

1. REVISED SHEET NUMBERS 11-3-10

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

[Professional Engineer Seal] 7/8/08

NOTE

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

PROFILES PRIVATE PAVING AND DRAINAGE MISSION PLACE

APARTMENTS, TOWNHOUSES AND COMMERCIAL PARCELS A & C

6TH ELECTION DISTRICT W&S CONTRACT: 24-4402-D PLAT NO. 19054 - 19055 HOWARD COUNTY, MARYLAND

Dewberry

203 PERRY PARKWAY, SUITE 1 GAITHERSBURG, MARYLAND 20877 PHONE: 301.948.8300 FAX: 301.258.7607

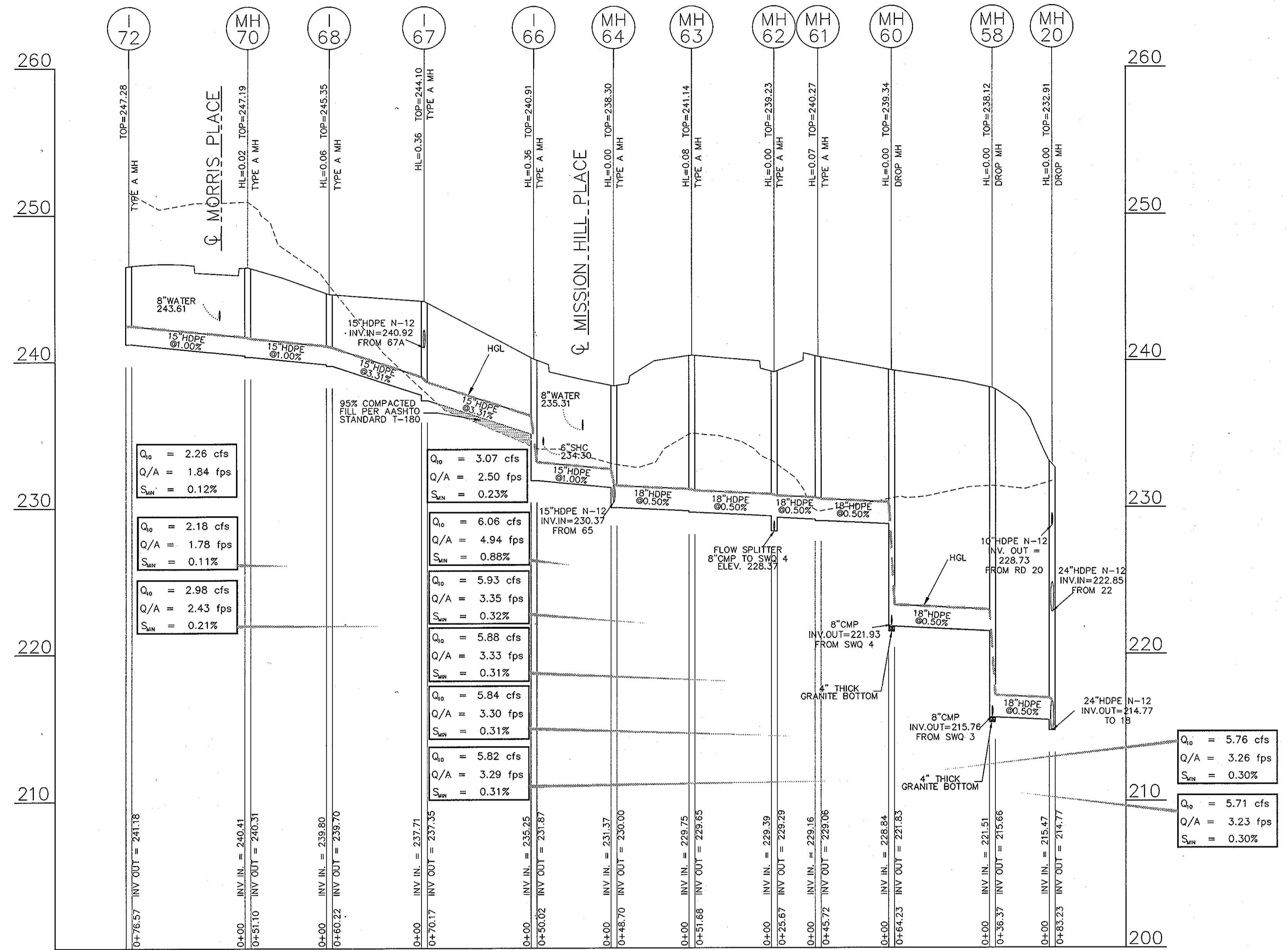
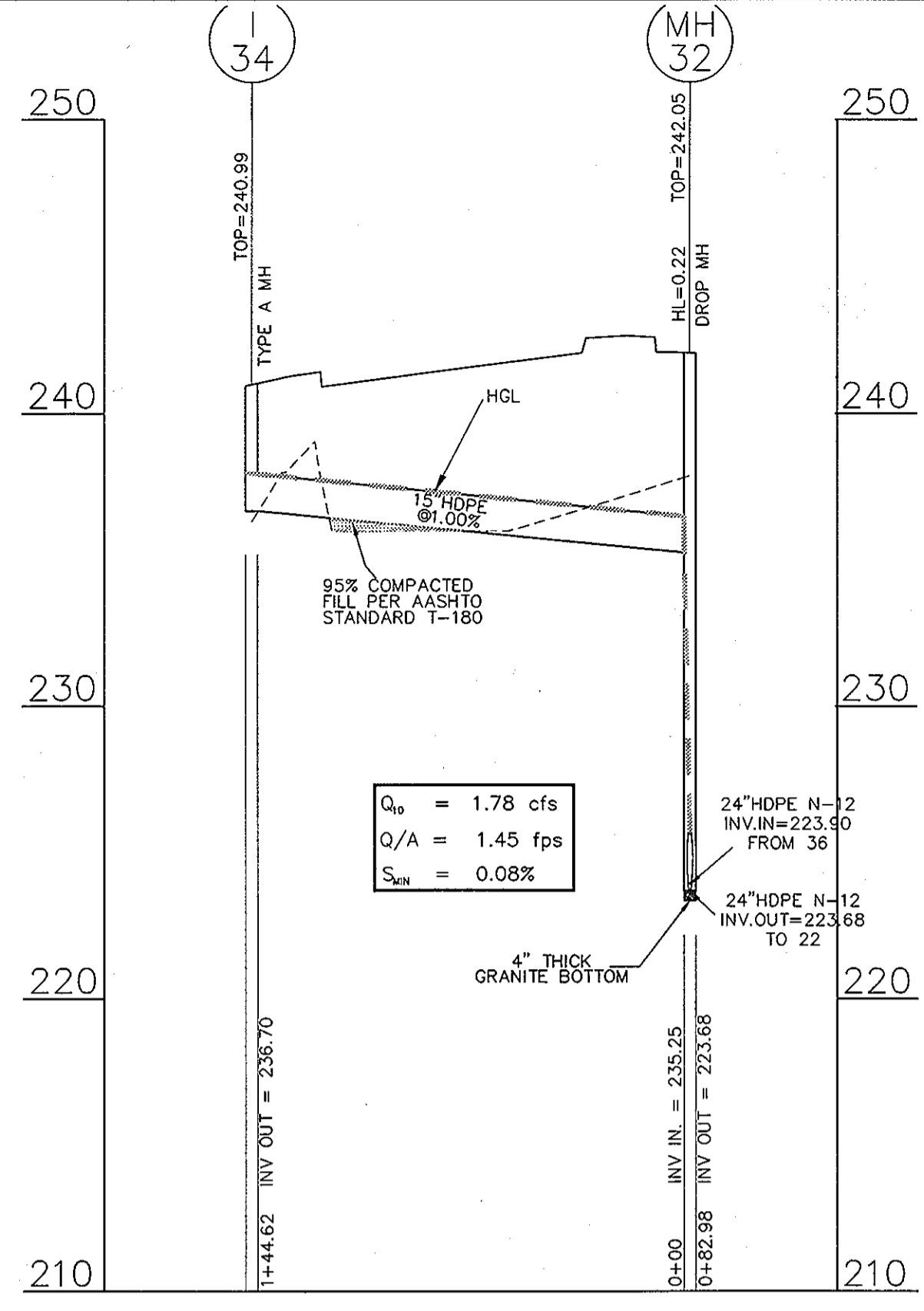
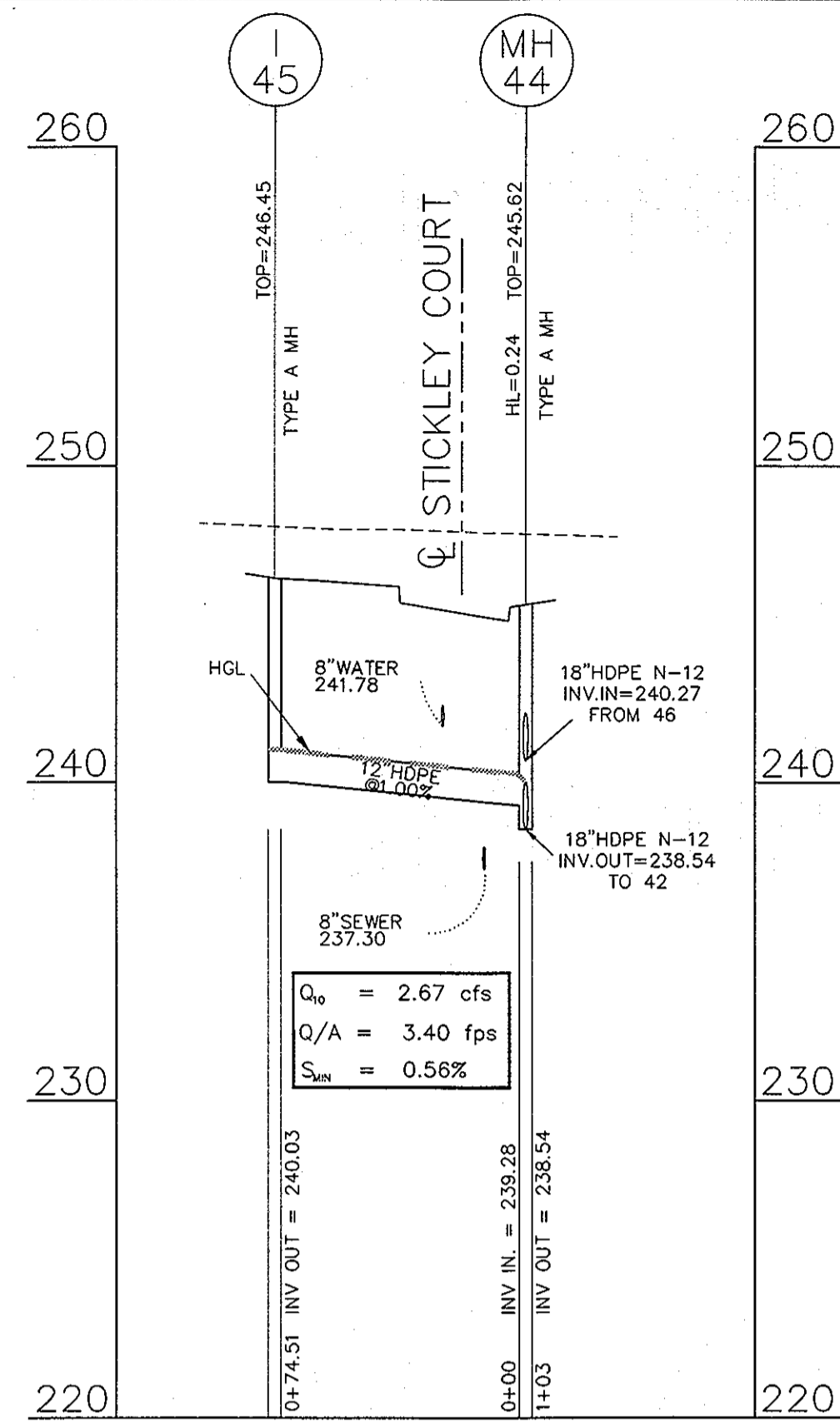
OWNER / DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBEN COMPANY, INC. 2600 MIDWAY BRANCH DR, 2ND FL ODENTON, MD 21113 CONTACT: MATTHEW BITAR PH: 301.912.3600 FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 16 of 53

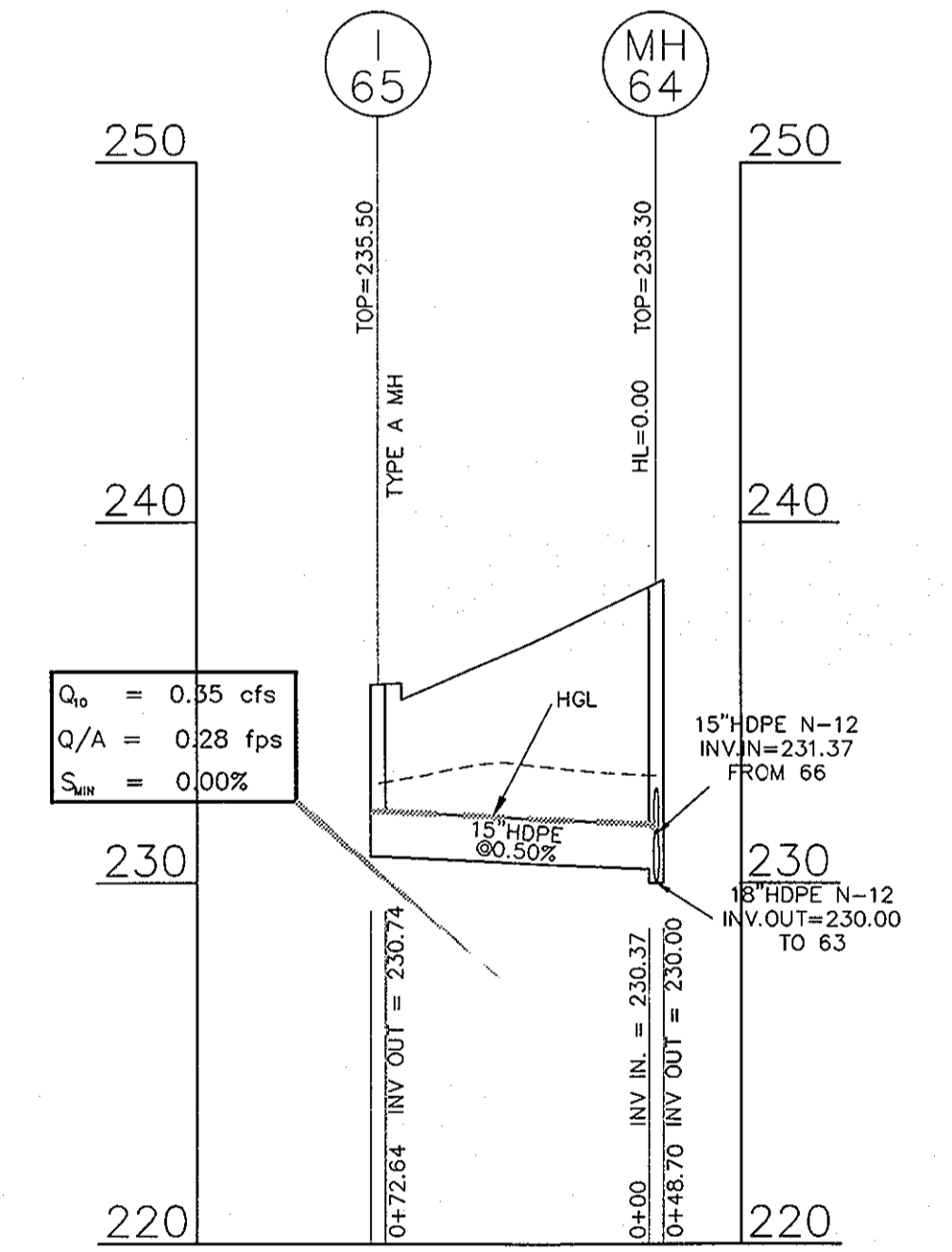
Section: NA Area: NA Phase: NA Scale: 1"=50'

Tax Map Grid & Parcel: MAP 45, GRID 14 PARCELS A & C Date: JULY 2008

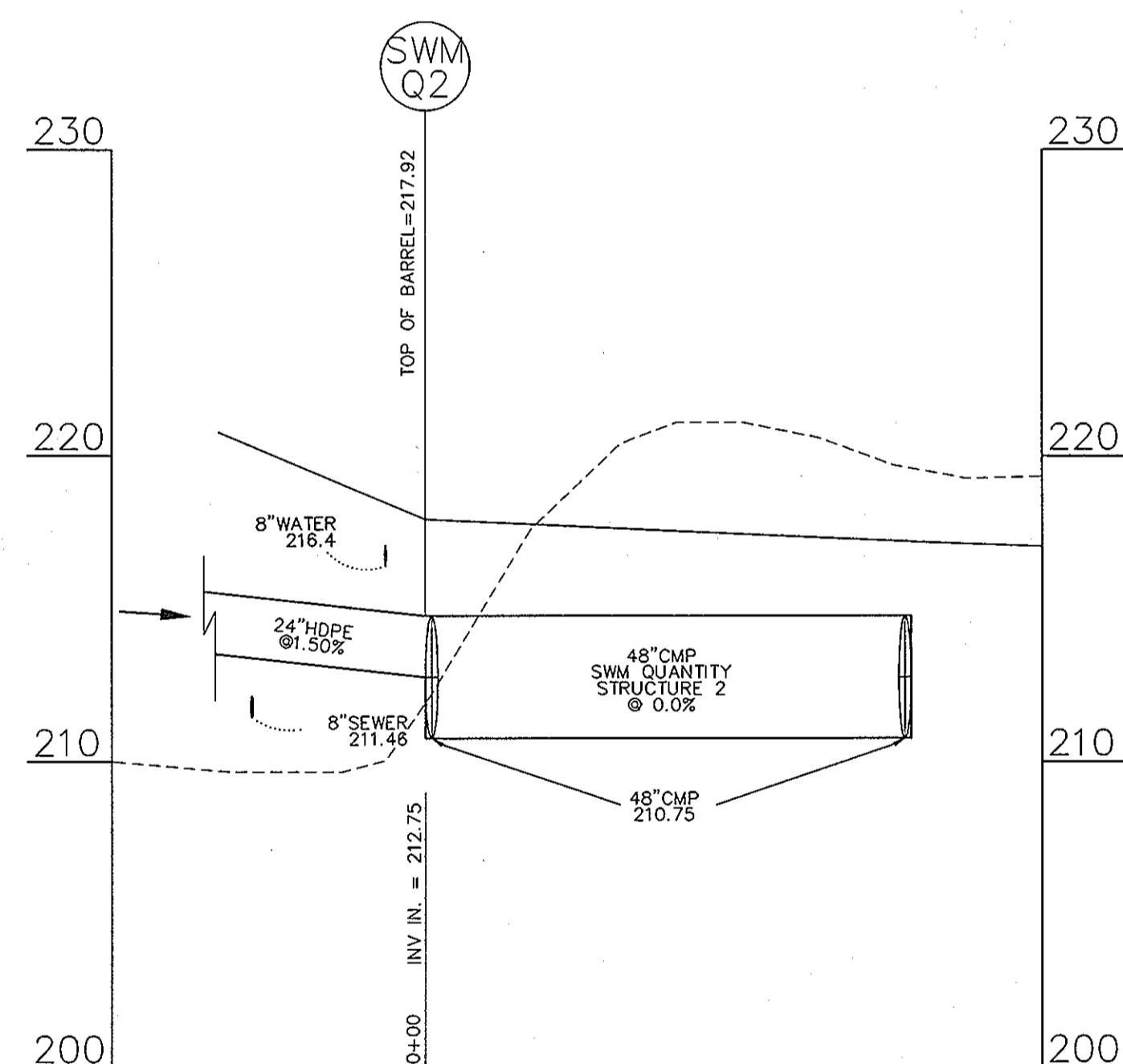
Prior Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016 File number: *[Symbol]*



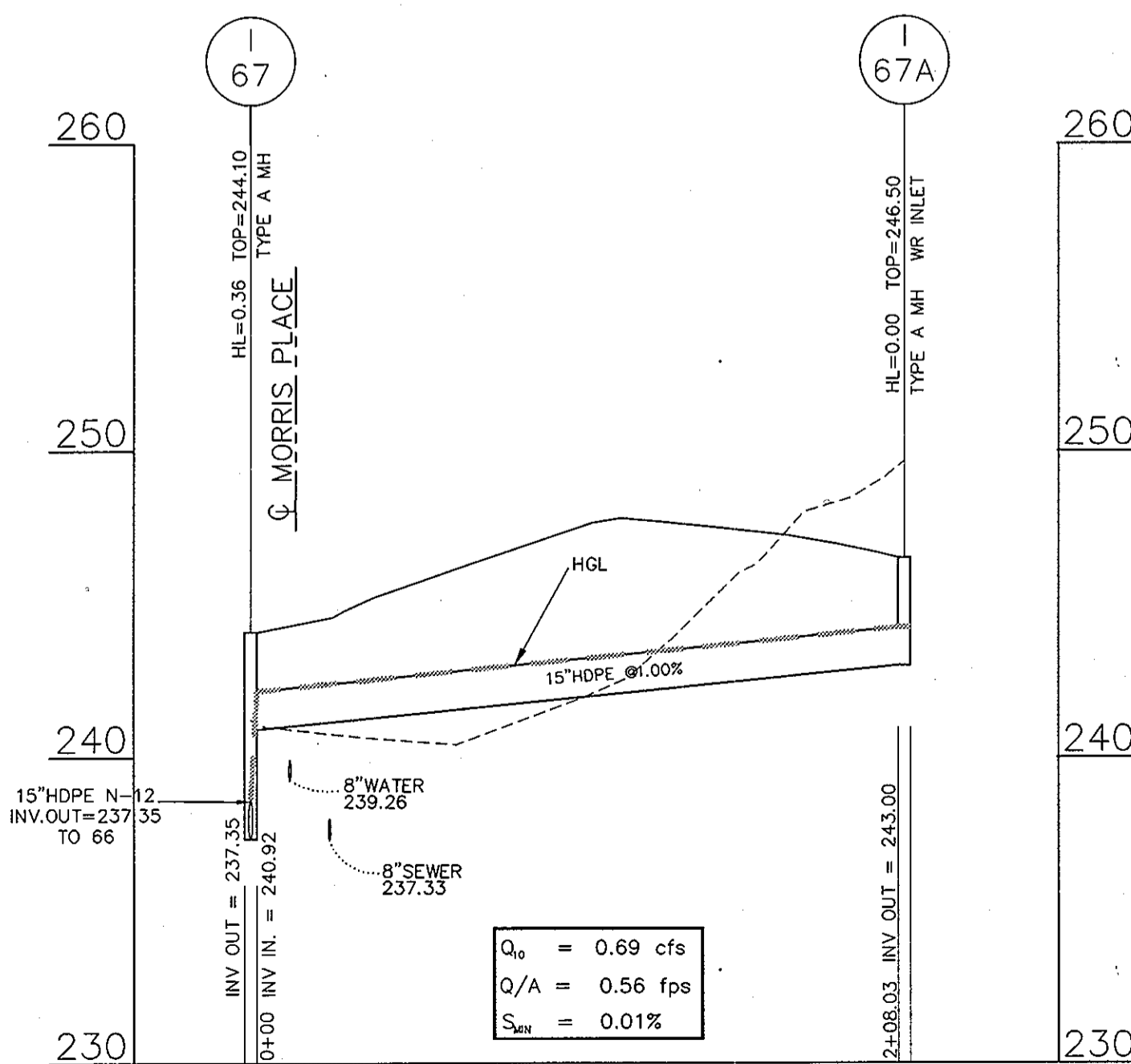
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



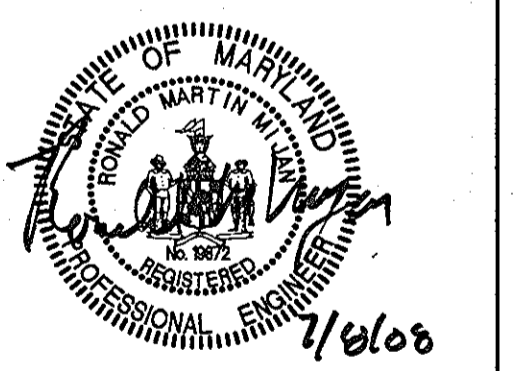
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NOTE
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION CONTACT "MISS UTILITY" AT 1-800-371-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) FEET, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
SIGNATURE OF MANAGER: Scott C. Reed
DATE: JULY 08 2008

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: Ron Miljan
DATE: JULY 08 2008

1. REVISED SHEET NUMBERS 11-3-10

PROFILES PRIVATE PAVING AND DRAINAGE
MISSION PLACE PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT PLAT NO. 19054-19056 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GATHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER/DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 17 of 53

Section: NA Area: NA Phase: NA Scale: 1"=50'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C
Date: JULY 2008
Prior Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016
File number: 11-3-10

Inspection & Maintenance Guide for Corrugated Steel Pipe Underground Detention Systems

Safety: Before entering into any storm sewer or underground detention system check to make sure all OSHA and local safety regulations and guidelines are observed during the maintenance process. Hard hats, safety glasses, steel-toed boots and any other appropriate personal protective equipment shall be worn at all times.

Frequency: Inspections shall be completed annually.

Inspection Check List:

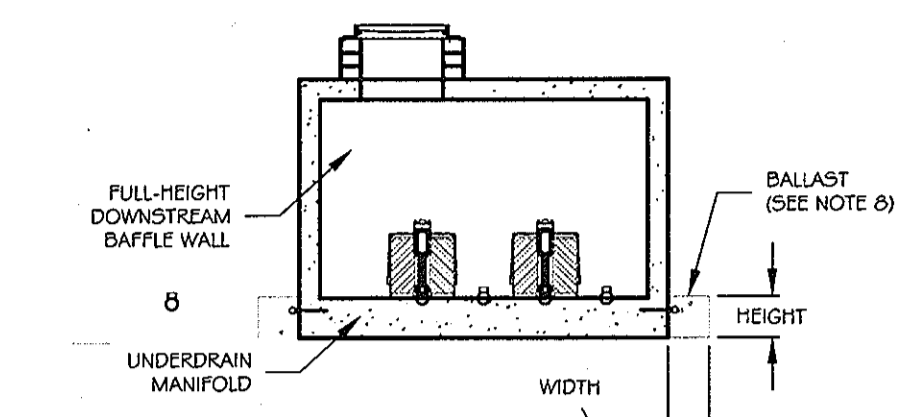
- ✓ **Check quality of parking lot surface.**
 - Is there evidence of potholes or sinkholes?
 - Is there evidence of an unusual amount of silt and soil build-up on the surface?
- ✓ **Check for pipe symmetry (uniform curvature).**
 - Flexible steel pipe is designed to handle minor deflections. Pipe structures deflected more than 7% from design shape, or those that show localized distortions may require further investigation.
- ✓ **Check for pipe joint quality.**
 - Is there evidence of backfill material infiltrating into the pipe structure?
- ✓ **Check for proper operation of outlet structure.**
 - Is the outlet drainpipe clogged?
 - In dry conditions, has the system drained to the elevation of the lowest outlet pipe.
- ✓ **Silt Deposition**
 - If accumulated silt is interfering with the operation of the detention system (i.e.: blocking outlet pipe or if silt deposition has significantly reduced the storage capacity of the system) it should be removed. This can be accomplished by the use of a "clam shell" device or vacor truck.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

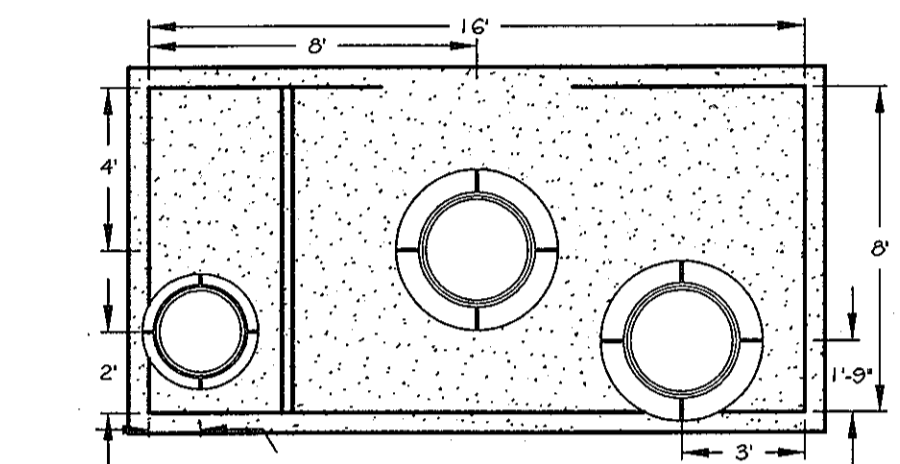
1. The sediment chamber outlet devices shall be cleaned and/or repaired when draw-down times within the chamber exceed 36 hours.
2. Debris and litter shall be removed as necessary to insure proper operation of the system.
3. Sediment shall be cleaned out of the sedimentation chamber when it accumulates to a depth of 6 inches. Vegetation within the sediment chamber shall be limited to a height of 18 inches.
4. When water ponds on the surface of the filter bed for more than 72 hours, the top few inches of discolored material shall be replaced with fresh material. Proper cleaning and disposal of the removed materials and liquid must be followed by the owner.
5. A log book shall be maintained to determine the rate at which the facility drains.
6. The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
7. Once the performance characteristics of the infiltration system have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.

GENERAL NOTES

- 1) VOLUME STORMFILTER BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OREGON (800) 548-4667.
- 2) FILTER CARTRIDGES TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL DRAWING SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- 3) PRECAST VAULT TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C957 AND C955. DETAIL DRAWING REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- 4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
- 5) VOLUME STORMFILTER REQUIRES 2.0 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
- 6) INLET AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.
- 7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.
- 8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. IF REQUIRED, BALLAST TO BE SET ALONG ENTIRE LENGTH OF BOTH SIDES OF THE STRUCTURE.
- 9) ALL STORMFILTER SYSTEMS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.



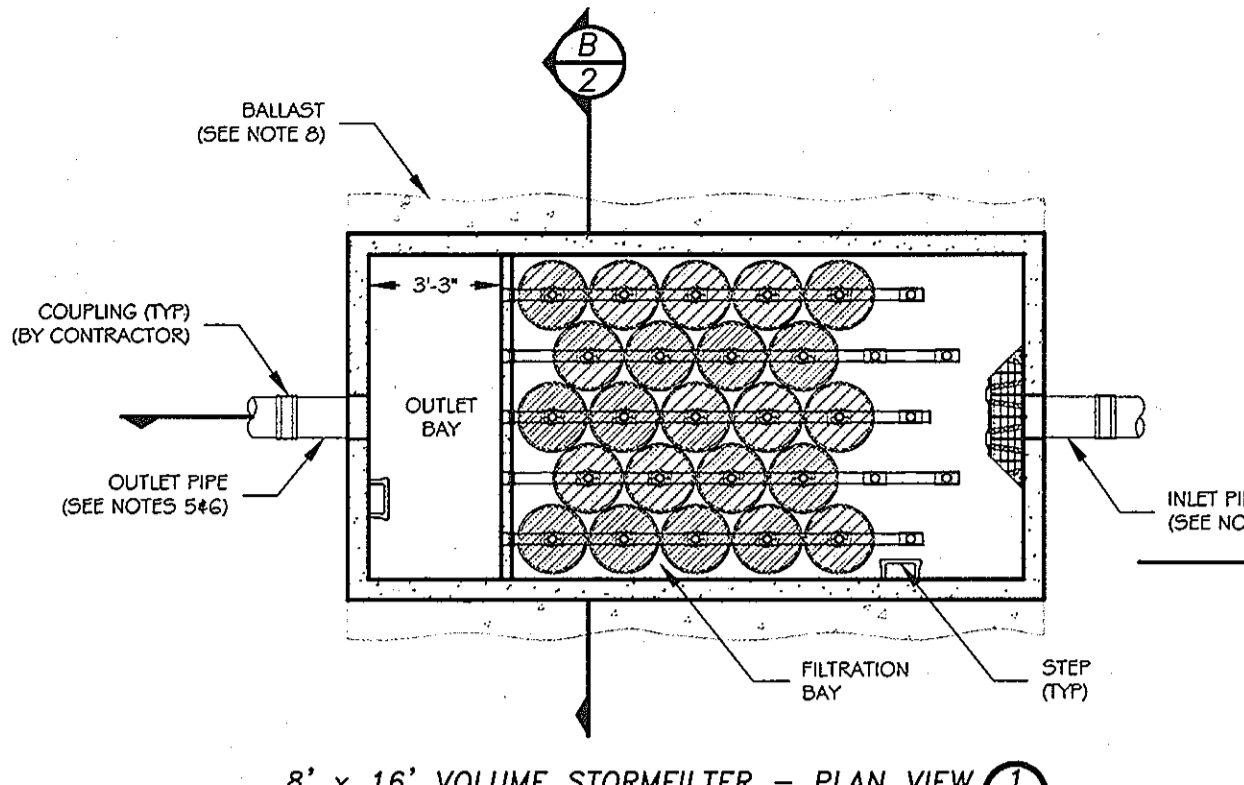
8' x 16' VOLUME STORMFILTER - SECTION VIEW B



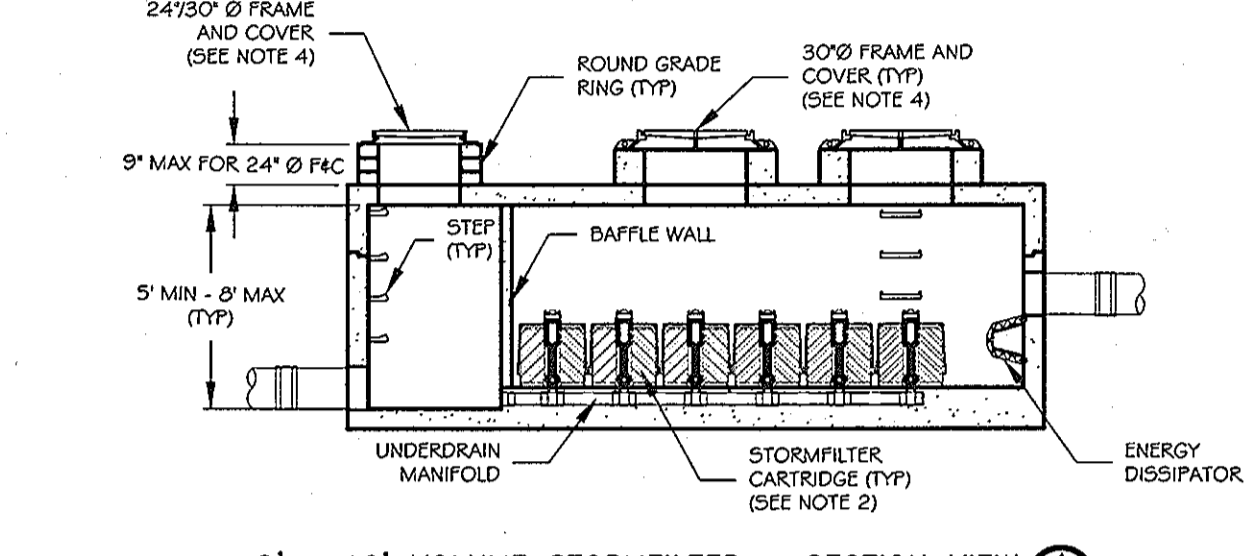
8' x 16' VOLUME STORMFILTER - TOP VIEW 7

8' x 16' PRECAST VOLUME STORMFILTER TOP AND SECTION VIEWS, NOTES AND DATA STANDARD DETAIL

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DRAWING		1/2		



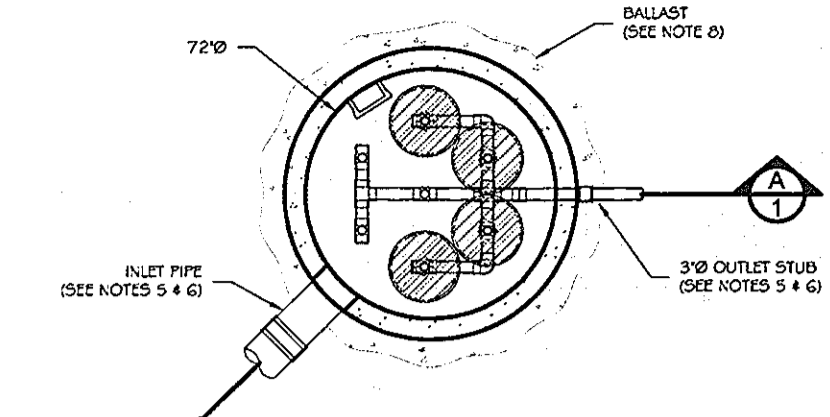
8' x 16' VOLUME STORMFILTER - PLAN VIEW 2



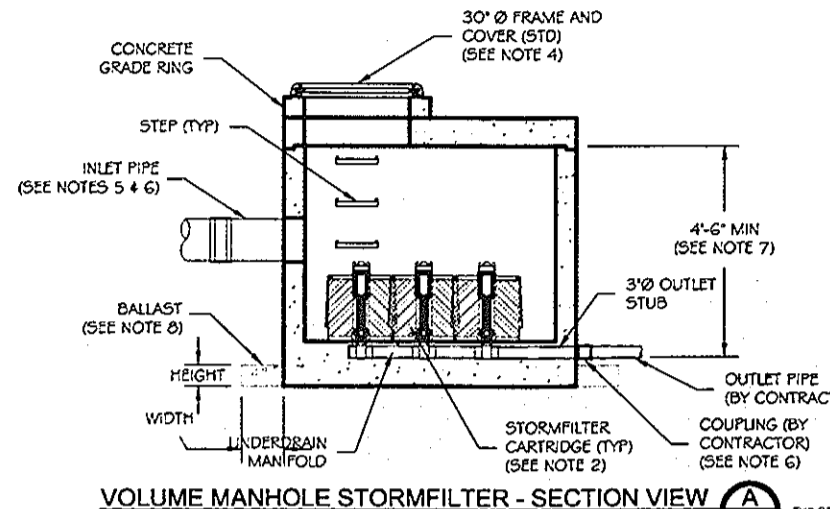
8' x 16' VOLUME STORMFILTER - SECTION VIEW A

8' x 16' PRECAST VOLUME STORMFILTER PLAN AND SECTION VIEWS STANDARD DETAIL

DATE: 08/28/08	SCALE: NONE	FILE NAME: SF816-VOLUME	DRAWN: MAM	CHECKED: ARS
DRAWING		1/2		



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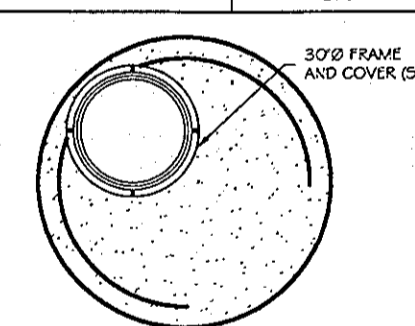
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DATE: 08/28/08	SCALE: NONE	FILE NAME: SF72M-FIT	DRAWN: MAM	CHECKED: ARS
DRAWING		1/2		

GENERAL NOTES

- 1) STORMFILTER BY CONTECH STORMWATER SOLUTIONS, PORTLAND, OR (800) 548-4667, SCARBOROUGH, ME (877) 507-6676.
- 2) FILTER CARTRIDGES TO BE SIPHON-ACTUATED AND SELF-CLEANING. STANDARD DETAIL SHOWS MAXIMUM NUMBER OF CARTRIDGES. ACTUAL NUMBER REQUIRED TO BE SPECIFIED ON SITE PLANS OR IN DATA TABLE BELOW.
- 3) PRECAST MANHOLE STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH ASTM C970. DETAIL REFLECTS DESIGN INTENT ONLY. ACTUAL DIMENSIONS AND CONFIGURATION OF STRUCTURE WILL BE SHOWN ON PRODUCTION SHOP DRAWING.
- 4) STRUCTURE AND ACCESS COVERS TO MEET AASHTO H-20 LOAD RATING.
- 5) STORMFILTER REQUIRES 2.5 FEET OF DROP FROM INLET TO OUTLET. IF LESS DROP IS AVAILABLE, CONTACT CONTECH STORMWATER SOLUTIONS.
- 6) INLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. CONNECTION TO DOWNSTREAM PIPING TO BE MADE USING A FLEXIBLE COUPLING AS REQUIRED. COUPLING BY FEDERAL OR EQUAL AND PROVIDED BY CONTRACTOR.
- 7) PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS. IF A SHALLOWER SYSTEM IS REQUIRED, CONTACT CONTECH STORMWATER SOLUTIONS FOR OTHER OPTIONS.
- 8) ANTI-FLOTATION BALLAST TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR. IF REQUIRED, BALLAST TO BE SET AROUND THE PERIMETER OF THE STRUCTURE.
- 9) ALL STORMFILTERS REQUIRE REGULAR MAINTENANCE. REFER TO OPERATION AND MAINTENANCE GUIDELINES FOR MORE INFORMATION.

PRECAST VOLUME MANHOLE STORMFILTER DATA	
STRUCTURE ID	SF2
WATER QUALITY VOLUME (ft ³)	NA
WATER QUALITY FLOW RATE (cfs)	NA
PEAK FLOW RATE (cfs)	NA
PEAK FLOW RATE (cfs)	NA
# OF CARTRIDGES REQUIRED	4
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	7.5
MEDIA TYPE (SFP, PRESILT, ZFN)	ZFCSP
MEDIA TYPE	ZFCSP



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72\" data-bbox="110 680 170 690"/>

DATE: 08/28/08	SCALE: NONE	FILE NAME: SF72M-FIT	DRAWN: MAM	CHECKED: ARS
DRAWING		2		

8' x 16' PRECAST VOLUME STORMFILTER DATA

STRUCTURE ID	
STRUCTURE ID	SF2
WATER QUALITY VOLUME (ft ³)	5,432
WATER QUALITY FLOW RATE (cfs)	6.26
PEAK FLOW RATE (cfs)	23
PEAK FLOW RATE (cfs)	23
# OF CARTRIDGES REQUIRED	19
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	7.5
MEDIA TYPE (SFP, PRESILT, ZFN)	ZFCSP
MEDIA TYPE	ZFCSP

PIPE DATA:		I.E. MATERIAL DIAMETER	
INLET PIPE #1	243.76	CMP	8"
INLET PIPE #2	243.76	CMP	8"
OUTLET PIPE	243.76	CMP	8"

RIM	
INLET	240.60
OUTLET	240.54

ANTI-FLOTATION BALLAST	
WIDTH	270"
HEIGHT	270"

NOTES/SPECIAL REQUIREMENTS:

8' x 16' PRECAST VOLUME STORMFILTER DATA

STRUCTURE ID	
STRUCTURE ID	SF3
WATER QUALITY VOLUME (ft ³)	4,414
WATER QUALITY FLOW RATE (cfs)	6.16
PEAK FLOW RATE (cfs)	19
PEAK FLOW RATE (cfs)	19
# OF CARTRIDGES REQUIRED	17
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	7.5
MEDIA TYPE (SFP, PRESILT, ZFN)	ZFCSP
MEDIA TYPE	ZFCSP

PIPE DATA:		I.E. MATERIAL DIAMETER	
INLET PIPE #1	217.79	CMP	8"
INLET PIPE #2	217.79	CMP	8"
OUTLET PIPE	217.79	CMP	8"

RIM	
INLET	236.22
OUTLET	236.29

ANTI-FLOTATION BALLAST	
WIDTH	270"
HEIGHT	270"

NOTES/SPECIAL REQUIREMENTS:

8' x 16' PRECAST VOLUME STORMFILTER DATA

STRUCTURE ID	
STRUCTURE ID	SF4
WATER QUALITY VOLUME (ft ³)	3,906
WATER QUALITY FLOW RATE (cfs)	6.09
PEAK FLOW RATE (cfs)	17
PEAK FLOW RATE (cfs)	17
# OF CARTRIDGES REQUIRED	17
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	7.5
MEDIA TYPE (SFP, PRESILT, ZFN)	ZFCSP
MEDIA TYPE	ZFCSP

PIPE DATA:		I.E. MATERIAL DIAMETER	
INLET PIPE #1	223.97	CMP	8"
INLET PIPE #2	223.97	CMP	8"
OUTLET PIPE	223.97	CMP	8"

RIM	
INLET	239.97
OUTLET	239.43

ANTI-FLOTATION BALLAST	
WIDTH	270"
HEIGHT	270"

NOTES/SPECIAL REQUIREMENTS:

8' x 16' PRECAST VOLUME STORMFILTER DATA

STRUCTURE ID	
STRUCTURE ID	SF6
WATER QUALITY VOLUME (ft ³)	5,547
WATER QUALITY FLOW RATE (cfs)	6.09
PEAK FLOW RATE (cfs)	23
PEAK FLOW RATE (cfs)	23
# OF CARTRIDGES REQUIRED	17
CARTRIDGE FLOW RATE (15 OR 7.5 gpm)	7.5
MEDIA TYPE (SFP, PRESILT, ZFN)	ZFCSP
MEDIA TYPE	ZFCSP

PIPE DATA:		I.E. MATERIAL DIAMETER	
INLET PIPE #1	227.44	CMP	8"
INLET PIPE #2	227.44	CMP	8"
OUTLET PIPE	227.44	CMP	8"

RIM	
INLET	239.45
OUTLET	239.39

ANTI-FLOTATION BALLAST	
WIDTH	270"
HEIGHT	270"

NOTES/SPECIAL REQUIREMENTS:

STORMWATER MAINTENANCE SCHEDULE

STRUCTURE TYPE	INSPECTION TIMING	POSSIBLE MAINTENANCE ACTIVITY
UNDERGROUND DETENTION (2 FACILITIES)	ONCE PER YEAR OR AFTER A MAJOR STORM EVENT	SEE INSPECTION AND MAINTENANCE GUIDE FOR CORRUGATED PIPE UNDERGROUND DETENTION SYSTEMS
STORMFILTER (5 FACILITIES)	TWICE PER YEAR OR AFTER A MAJOR STORM EVENT	SEE OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS
GROUNDWATER RECHARGE (1 FACILITY)	ONCE PER YEAR OR AFTER A MAJOR STORM EVENT	SEE INSPECTION AND MAINTENANCE GUIDE FOR CORRUGATED PIPE UNDERGROUND DETENTION SYSTEMS

NOTES:

1. MAINTENANCE SHALL BE PERFORMED BY QUALIFIED PROFESSIONALS WITH CERTIFIED CONFINED SPACE ENTRY TRAINING, AND IN ACCORDANCE WITH THE MANUFACTURERS' MAINTENANCE TRAINING AND GUIDELINES FOR MAINTENANCE, REPAIR, AND REPLACEMENT OF FACILITIES.
2. REFER TO HOWARD COUNTY PUBLICATION "MAINTAINING YOUR STORMWATER MANAGEMENT STRUCTURE" FOR ADDITIONAL COUNTY REQUIREMENTS.
3. SEDIMENT MUST BE DISPOSED OF AT AN APPROVED FACILITY.

1. **REVISED SHEET NUMBERS** 11-3-10

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE: JULY 08 2008

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: JULY 08 2008

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/15/08

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008

PRINTED NAME: SCOTT C. REED

SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008

PRINTED NAME: RON MIJAN

1. **REVISED SHEET NUMBERS** 11-3-10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

DETAILS PAVING AND DRAINAGE MISSION PLACE

APARTMENTS, TOWNHOUSES AND COMMERCIAL PARCELS A & C

W&S CONTRACT: 24-4402-D

PLAT NO. (A054-14656) HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

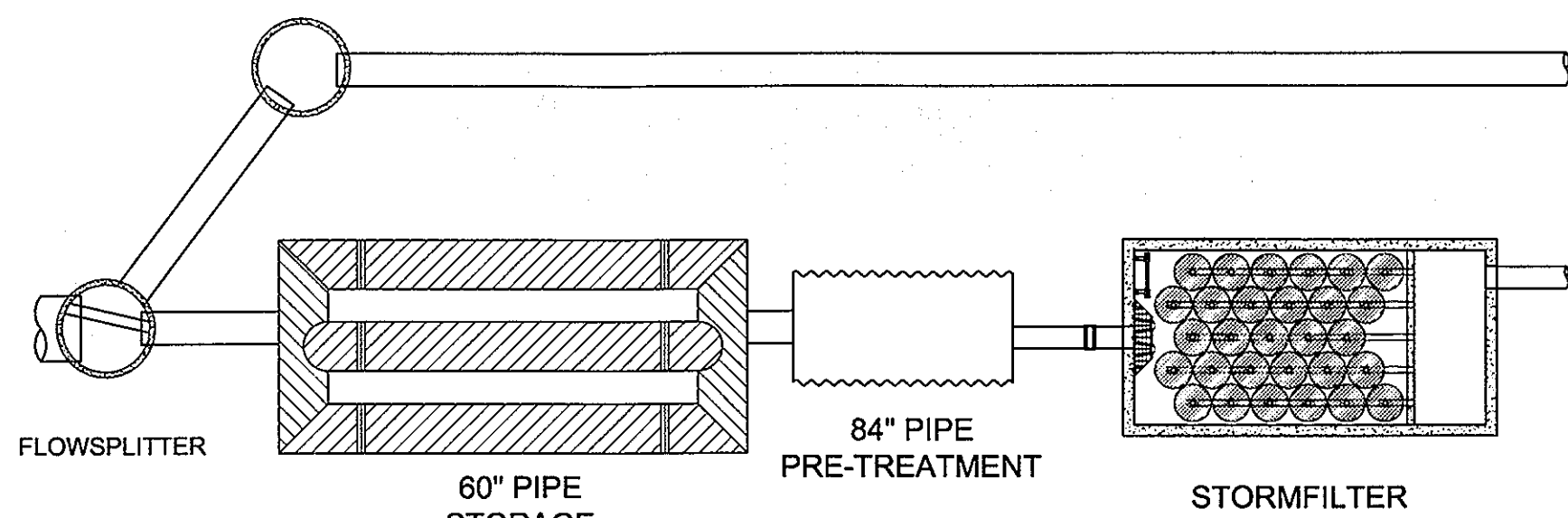
Dewberry

OWNER/DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBEN COMPANY, INC. 2600 MIDWAY BRANCH DR, 2ND FL ODEONTON, MD 21113 CONTACT: MATTHEW BITAR PH: 301.912.3600 FX: 301.912.3400

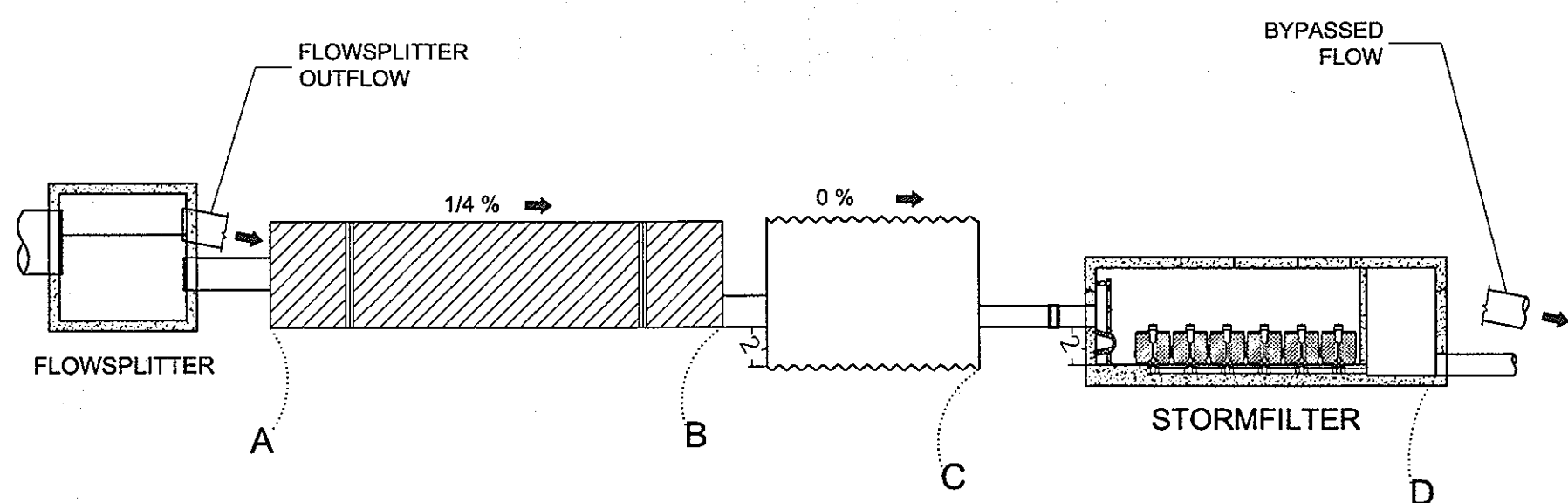
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Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI

Section: NA Area: NA Phase: NA Scale: NONE Sheet: 19 of 53

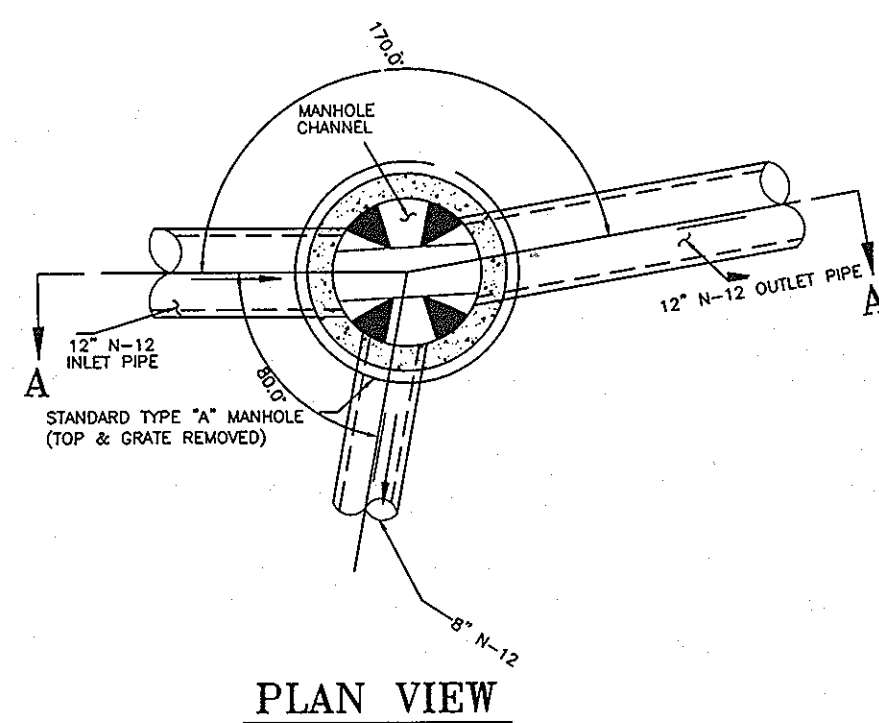
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008 Prior Submittal: ZB 1048M SP-06-06 P-07-156 HO-827 SDP-07-101 AA-06-016 WP-06-096 AA-06-016 File number: 1



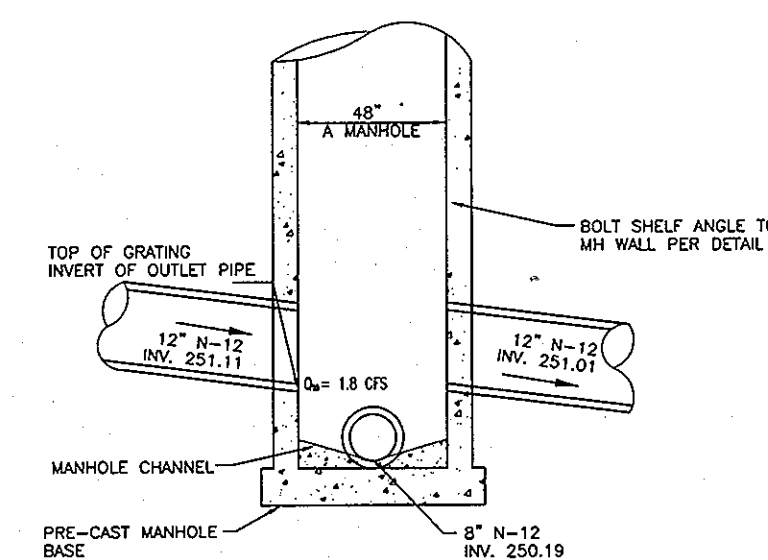
PLAN VIEW
(TOP SLABS OMITTED FOR CLARITY)



STORMFILTER STRUCTURE ELEVATIONS				
STR. No.	A	B	C	D
1	245.84	245.77	243.77	243.76
2	228.58	228.48	226.47	226.46
3	217.98	217.78	215.78	215.78
4	224.02	224.00	222.00	221.97
6	227.89	227.85	225.85	225.85



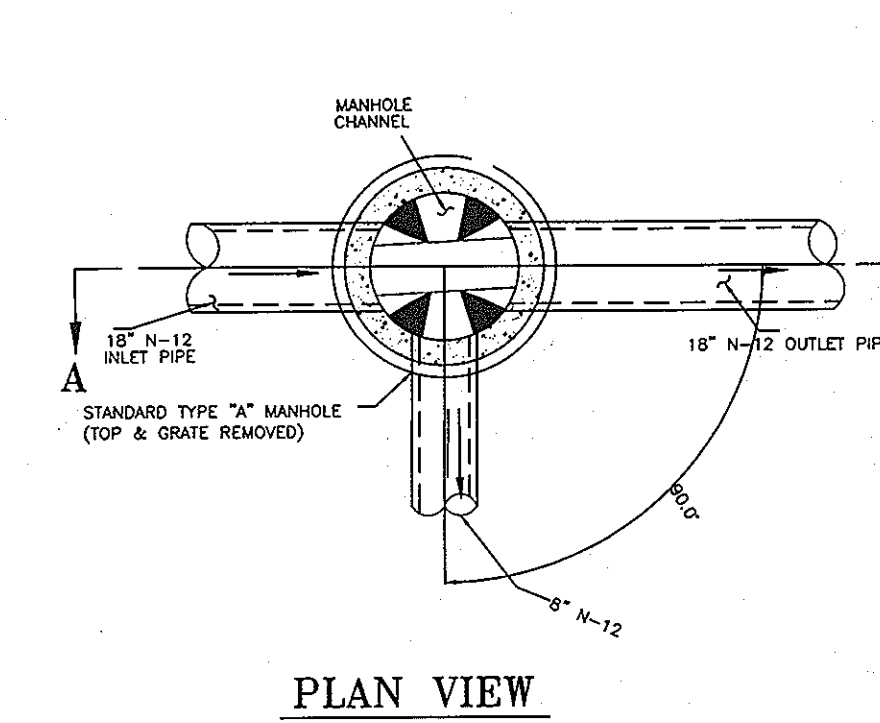
PLAN VIEW



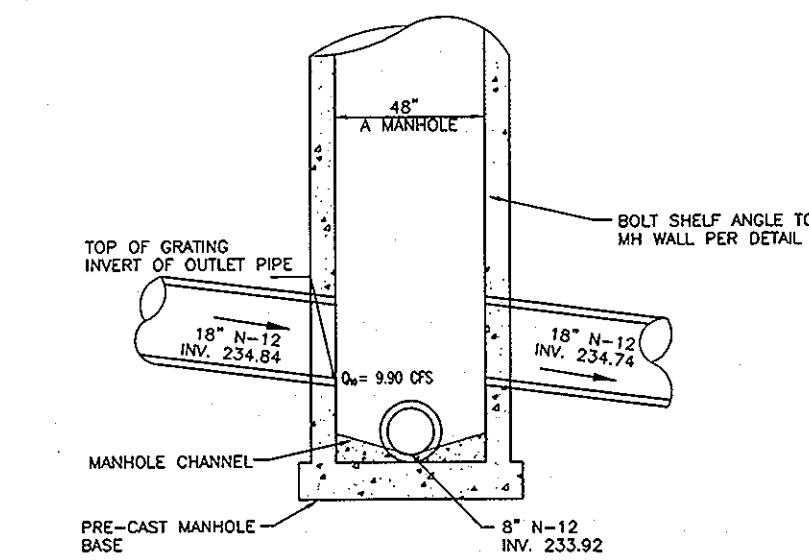
SECTION A-A

**SWM-Q1
STRUCTURE NO. 52
FLOW SPLITTER
MANHOLE DETAIL**

NTS



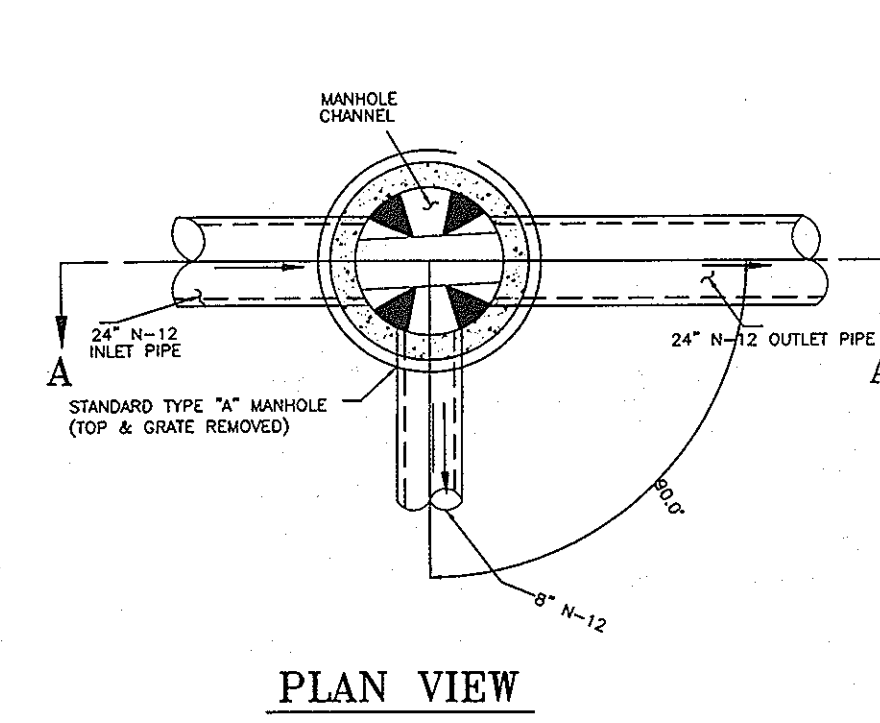
PLAN VIEW



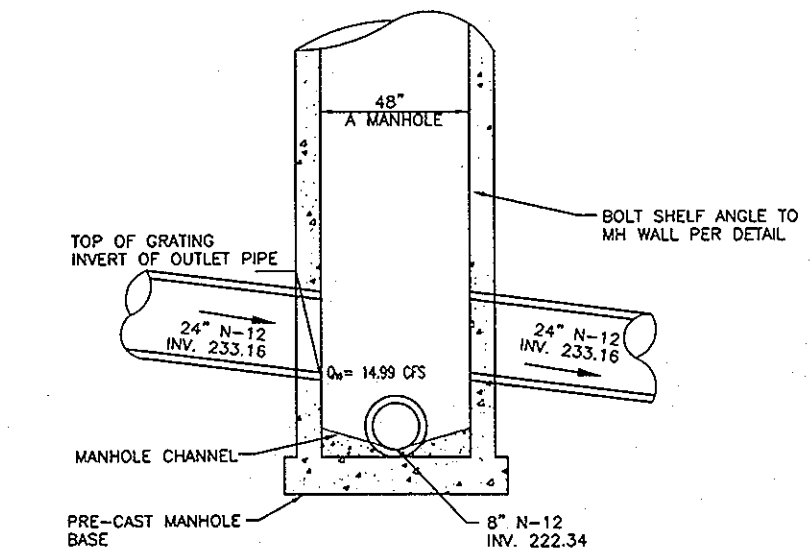
SECTION A-A

**SWM-Q2
STRUCTURE NO. 40
FLOW SPLITTER
MANHOLE DETAIL**

NTS



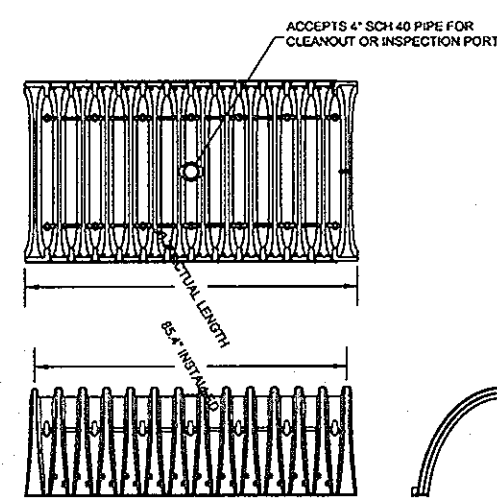
PLAN VIEW



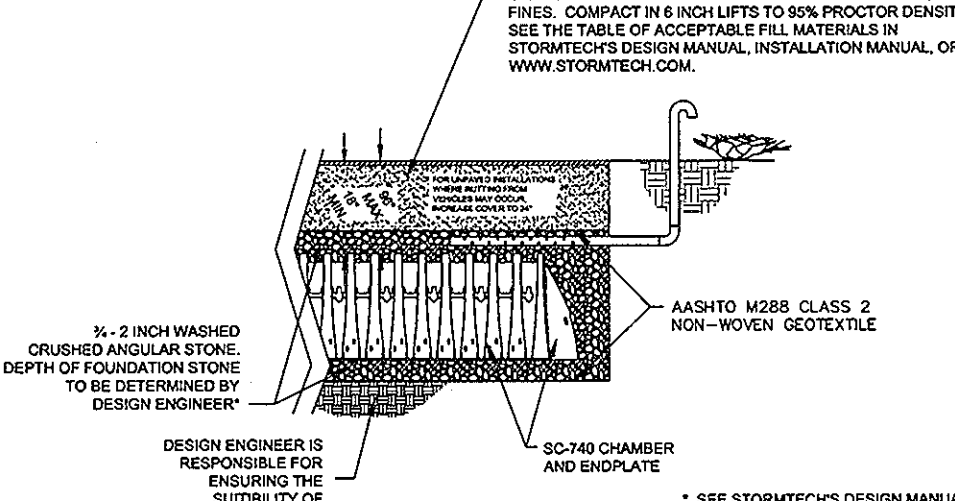
SECTION A-A

**SWM-Q3
STRUCTURE NO. 22
FLOW SPLITTER
MANHOLE DETAIL**

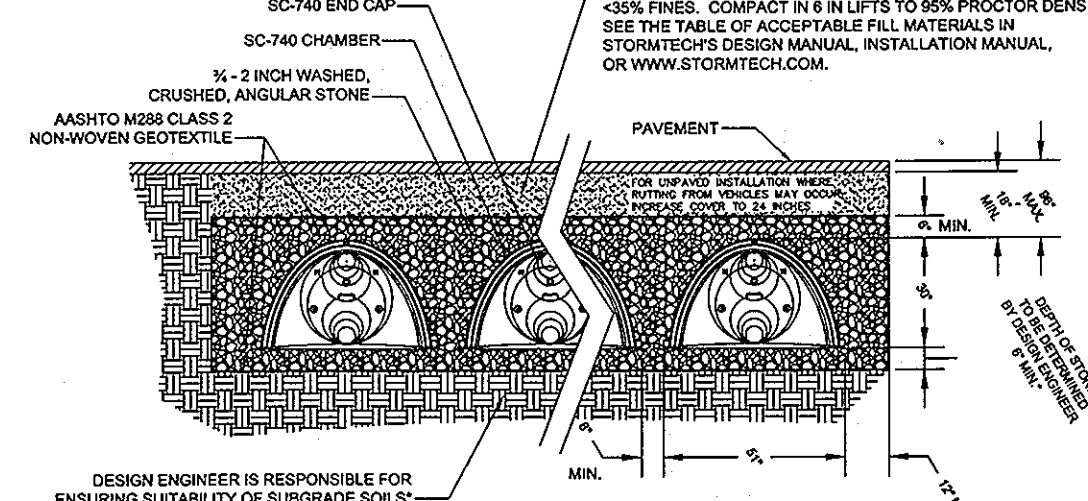
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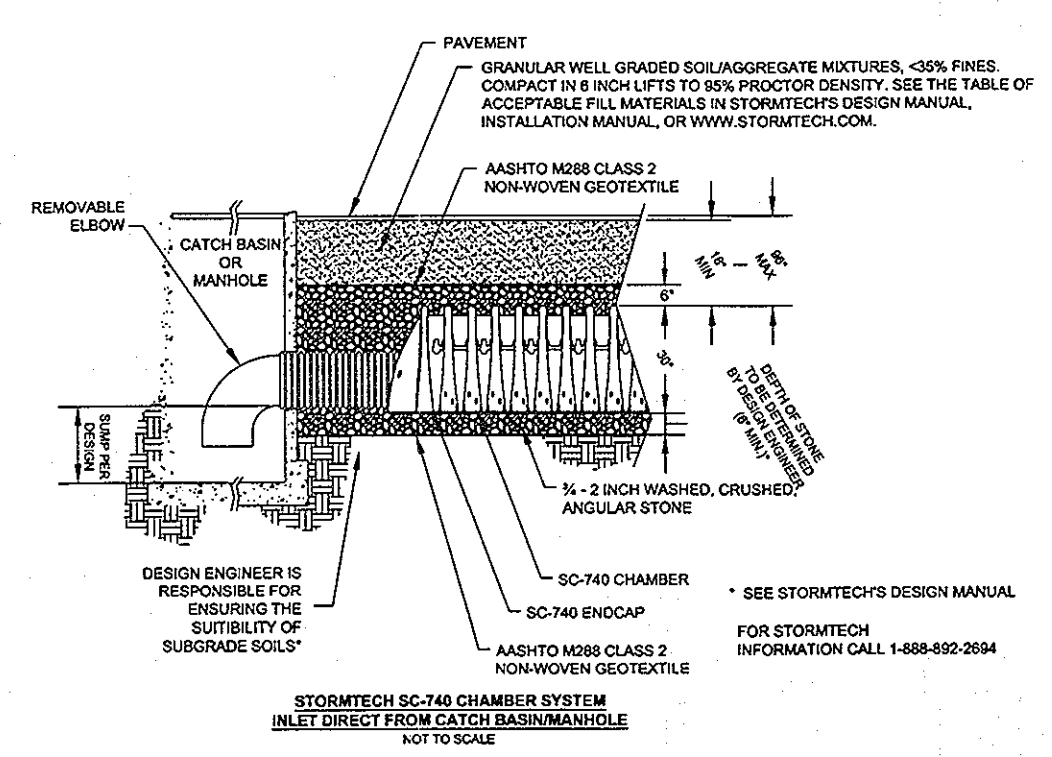
STORMTECH SC-740 CHAMBER
NOT TO SCALE



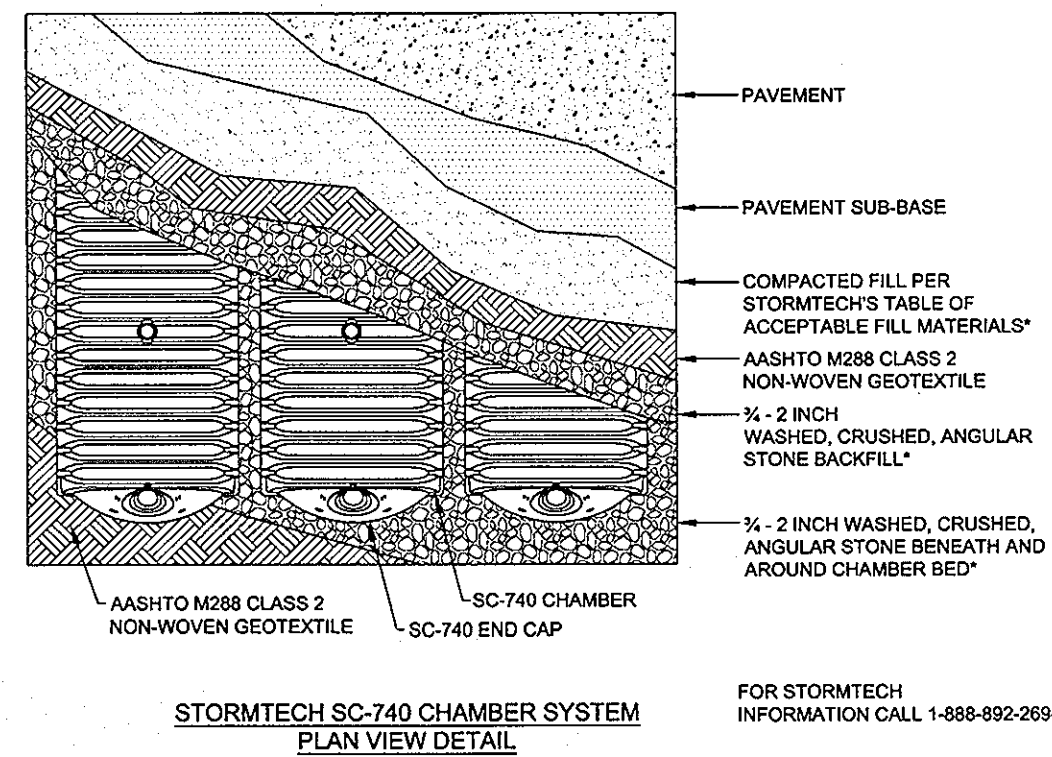
STORMTECH SC-740 CHAMBER SYSTEM
VENT DETAIL
NOT TO SCALE



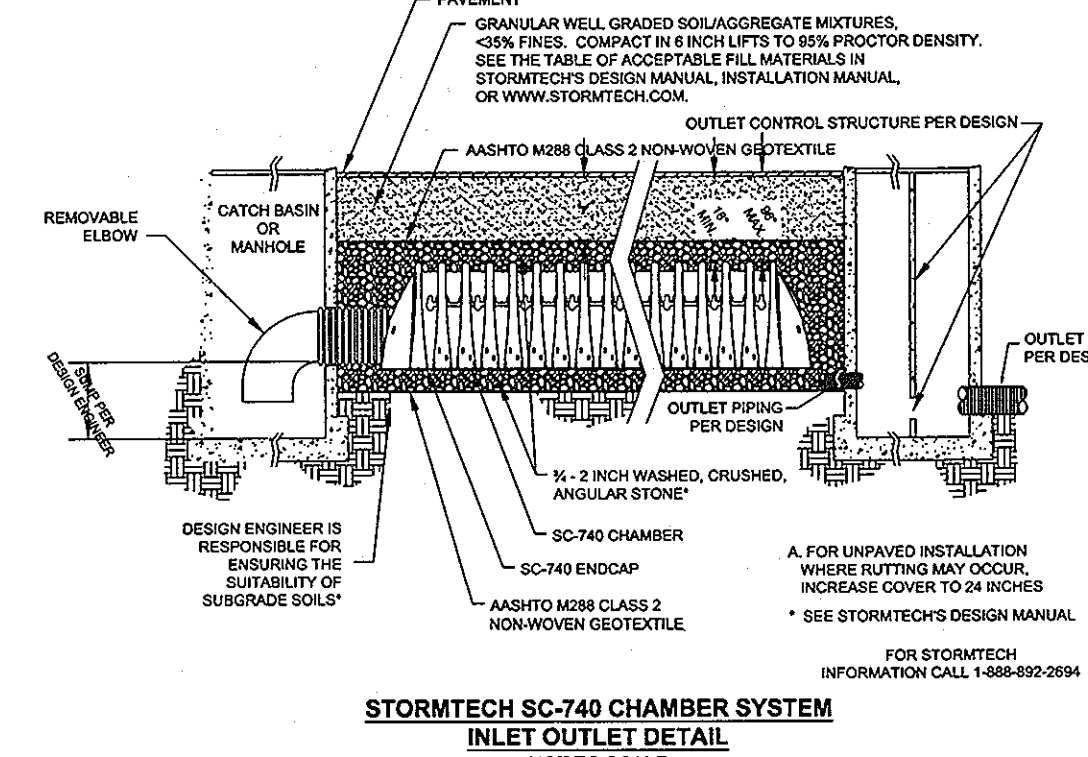
STORMTECH SC-740 CHAMBER SYSTEM
TYPICAL CROSS SECTION DETAIL
NOT TO SCALE



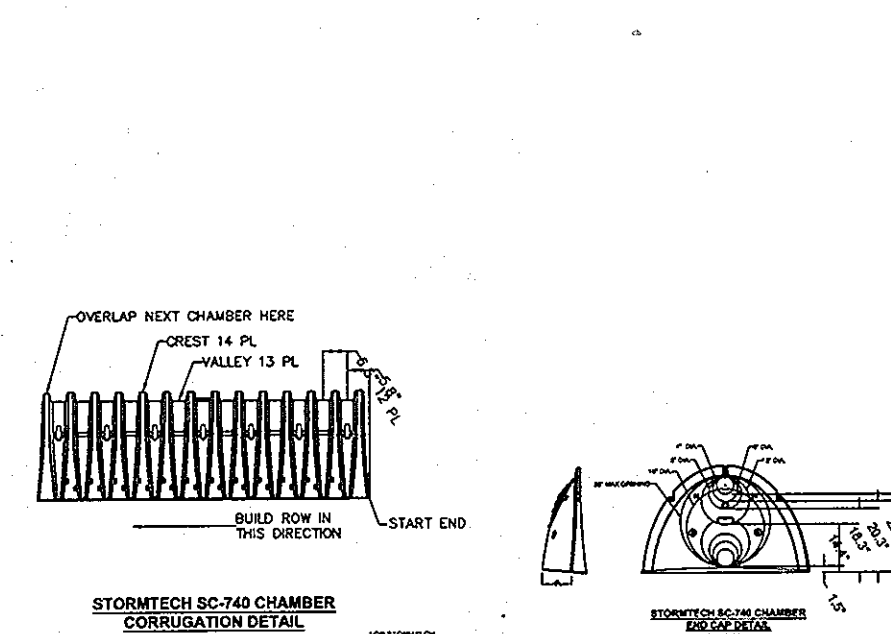
STORMTECH SC-740 CHAMBER SYSTEM
INLET DIRECT FROM CATCH BASIN/MANHOLE
NOT TO SCALE



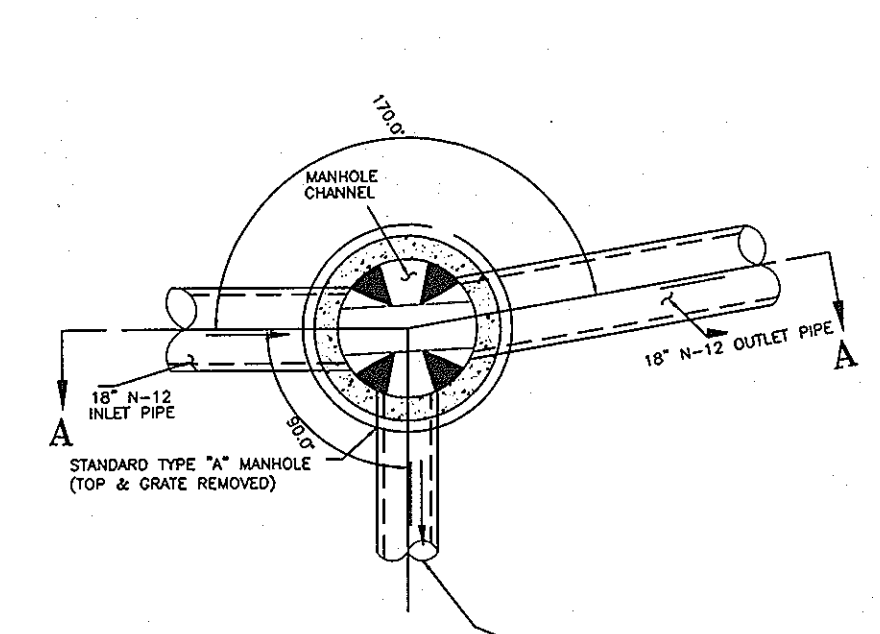
STORMTECH SC-740 CHAMBER SYSTEM
PLAN VIEW DETAIL
NOT TO SCALE



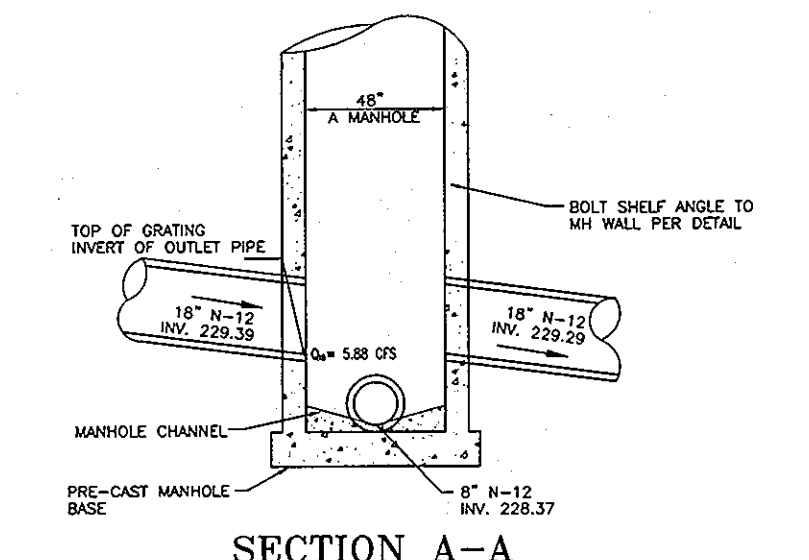
STORMTECH SC-740 CHAMBER SYSTEM
INLET/OUTLET DETAIL
NOT TO SCALE



STORMTECH SC-740 CHAMBER
CORRUPTION DETAIL
NOT TO SCALE



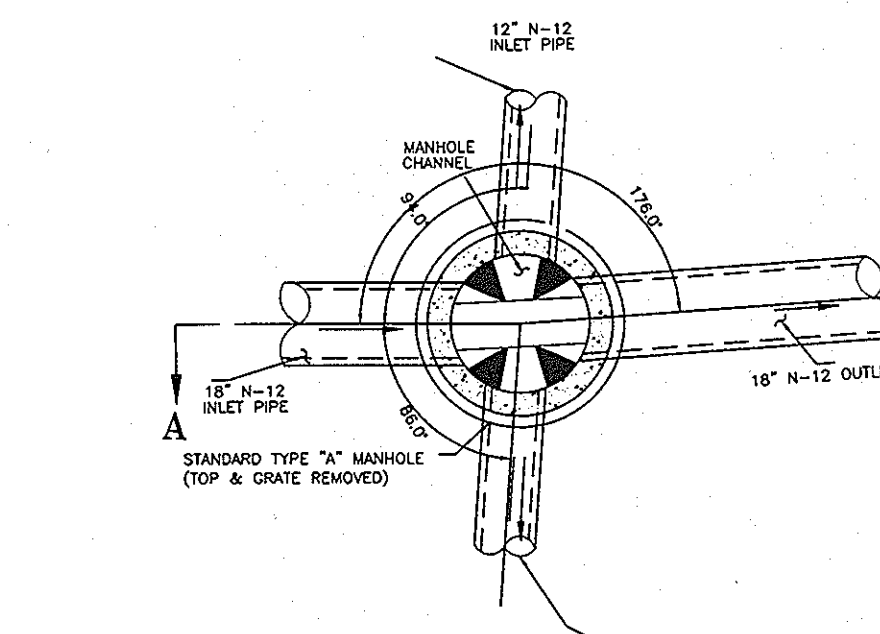
PLAN VIEW



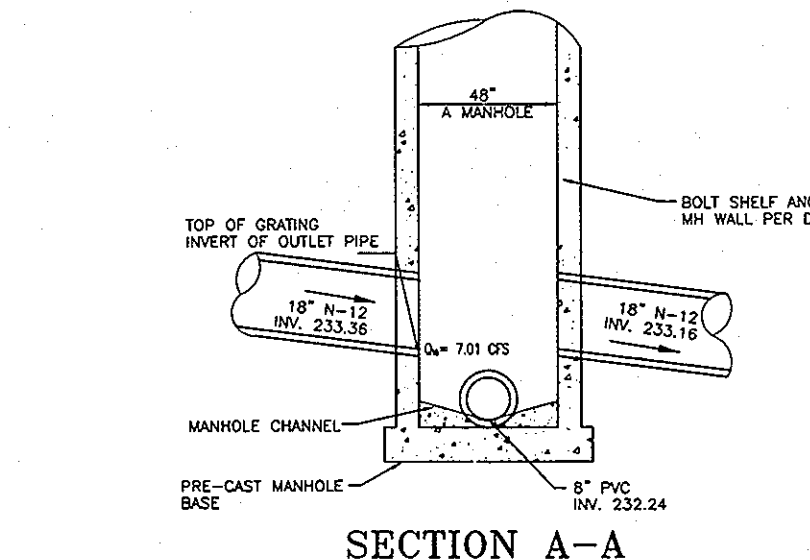
SECTION A-A

**SWM-Q4
STRUCTURE NO. 62
FLOW SPLITTER
MANHOLE DETAIL**

NTS



PLAN VIEW



SECTION A-A

**SWM-Q6
STRUCTURE NO. 114
FLOW SPLITTER
MANHOLE DETAIL**

NTS

1. REVERSED SHEET NUMBERS

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: *[Signature]*

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: *[Signature]*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *[Signature]* DATE: 8/15/08

CHIEF DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/15/08

11-3-10

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

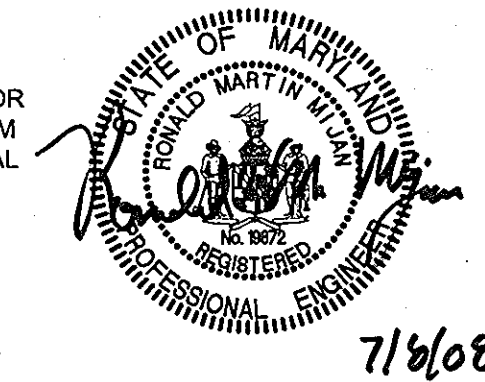
SIGNATURE OF MANAGER: *[Signature]* DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: *[Signature]* DATE: JULY 08 2008
PRINTED NAME: RON MUJAN

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08



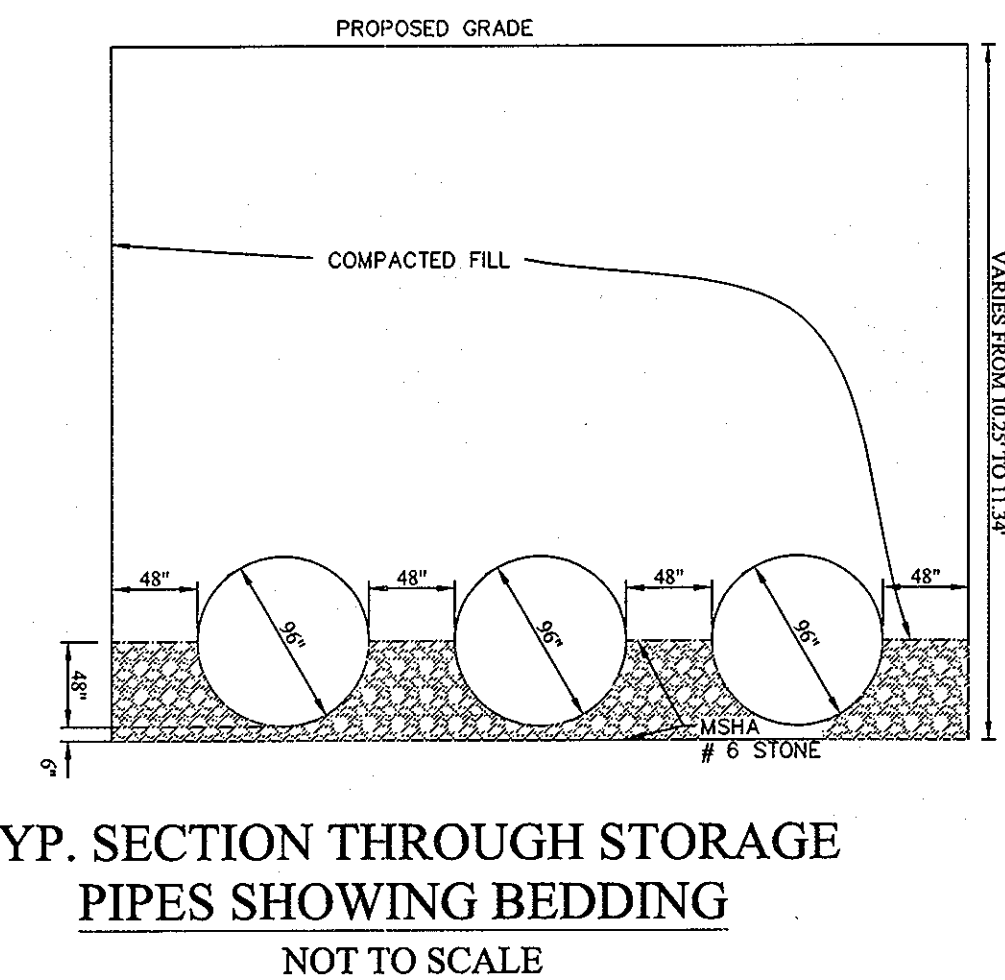
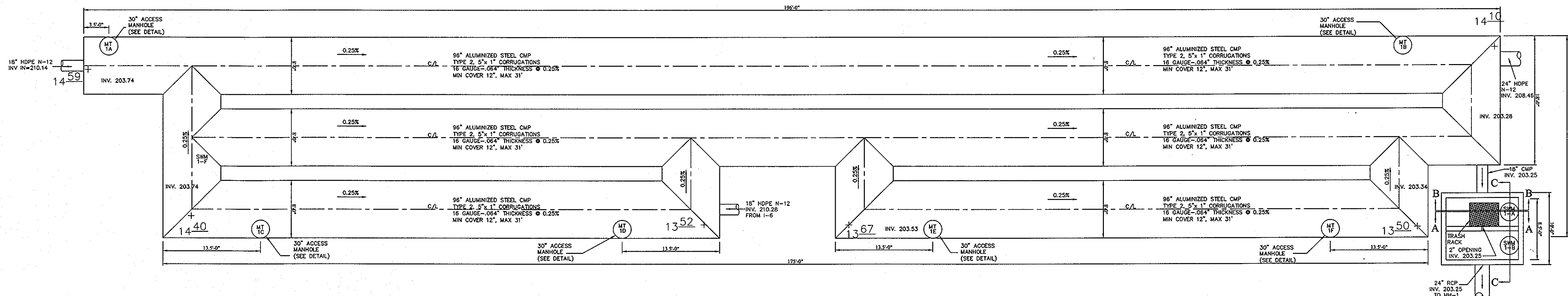
NOTE:
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7977 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

STORMWATER MANAGEMENT DETAILS
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
PLAT NO. 19054-19050 HOWARD COUNTY, MARYLAND
6TH ELECTION DISTRICT

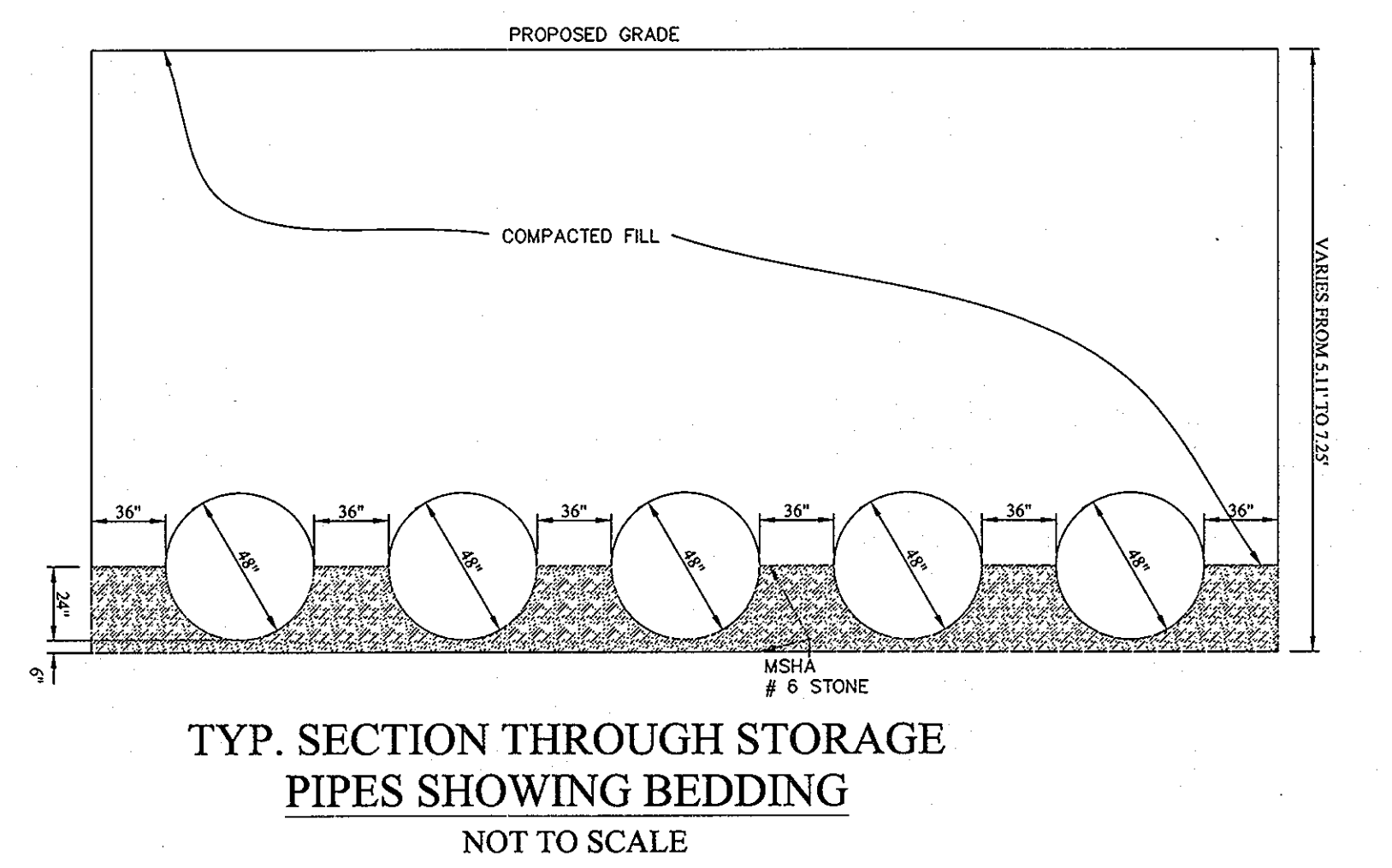
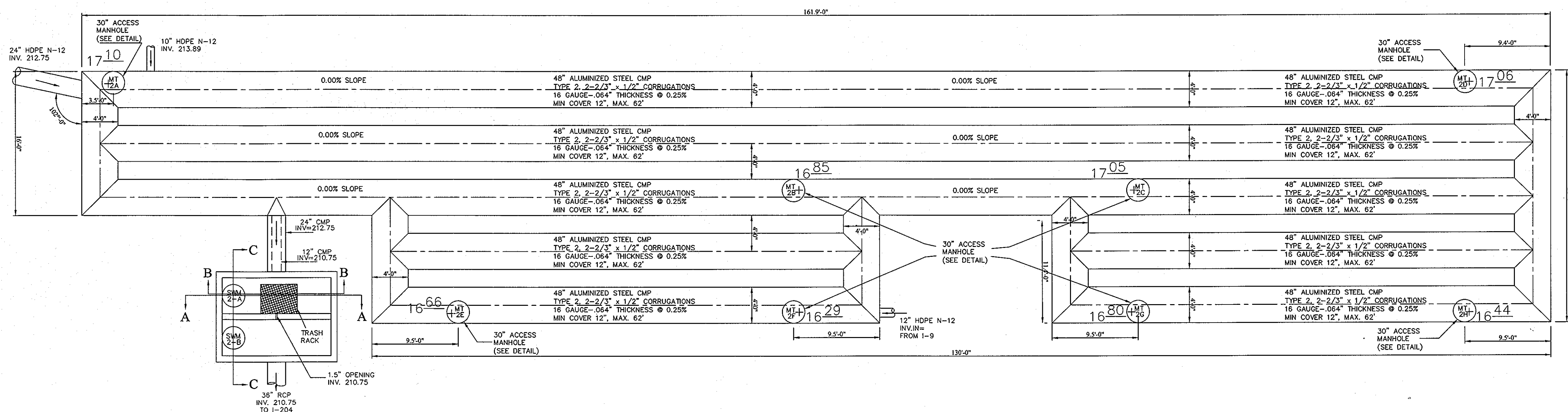
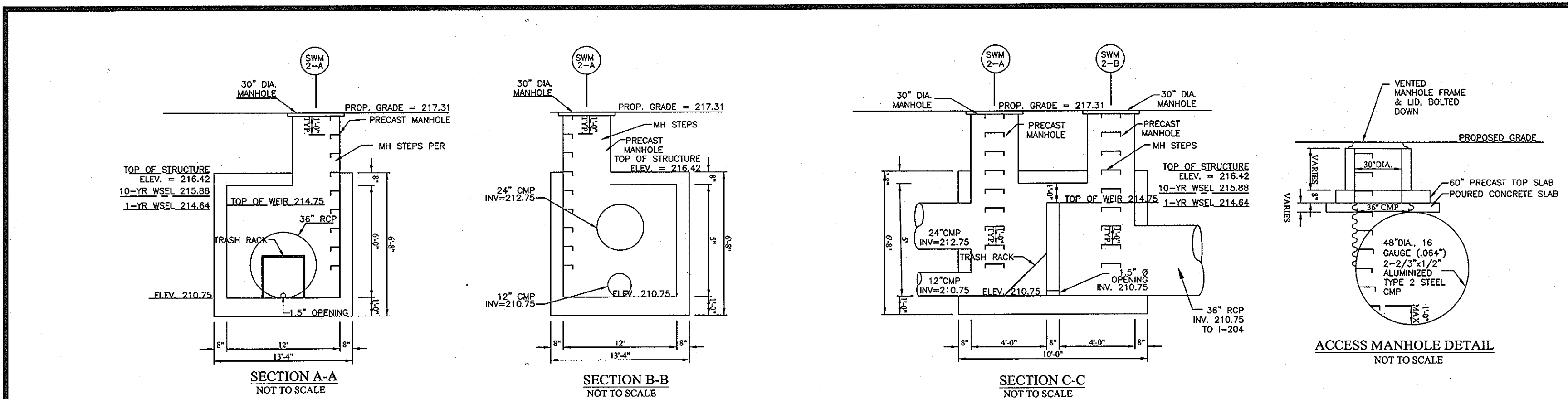
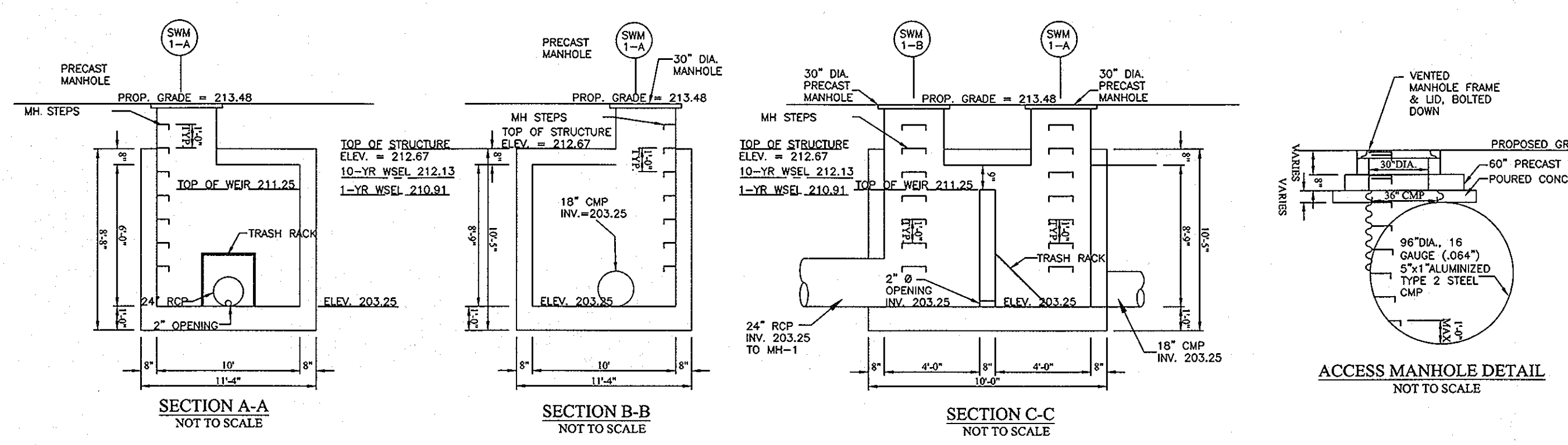
Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER/DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2500 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Section: NA Area: NA Phase: NA Scale: 1"=50'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCEL'S A & C Date: JULY 2008
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CL1
Sheet: 20 of 53
File number: *[Symbol]*



TYP. SECTION THROUGH STORAGE PIPES SHOWING BEDDING
NOT TO SCALE



TYP. SECTION THROUGH STORAGE PIPES SHOWING BEDDING
NOT TO SCALE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Stephen LaForte 8/15/08 DATE
DIRECTOR

Chad Danner 8/15/08 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

T. Maasbeek for CH 8/15/08 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

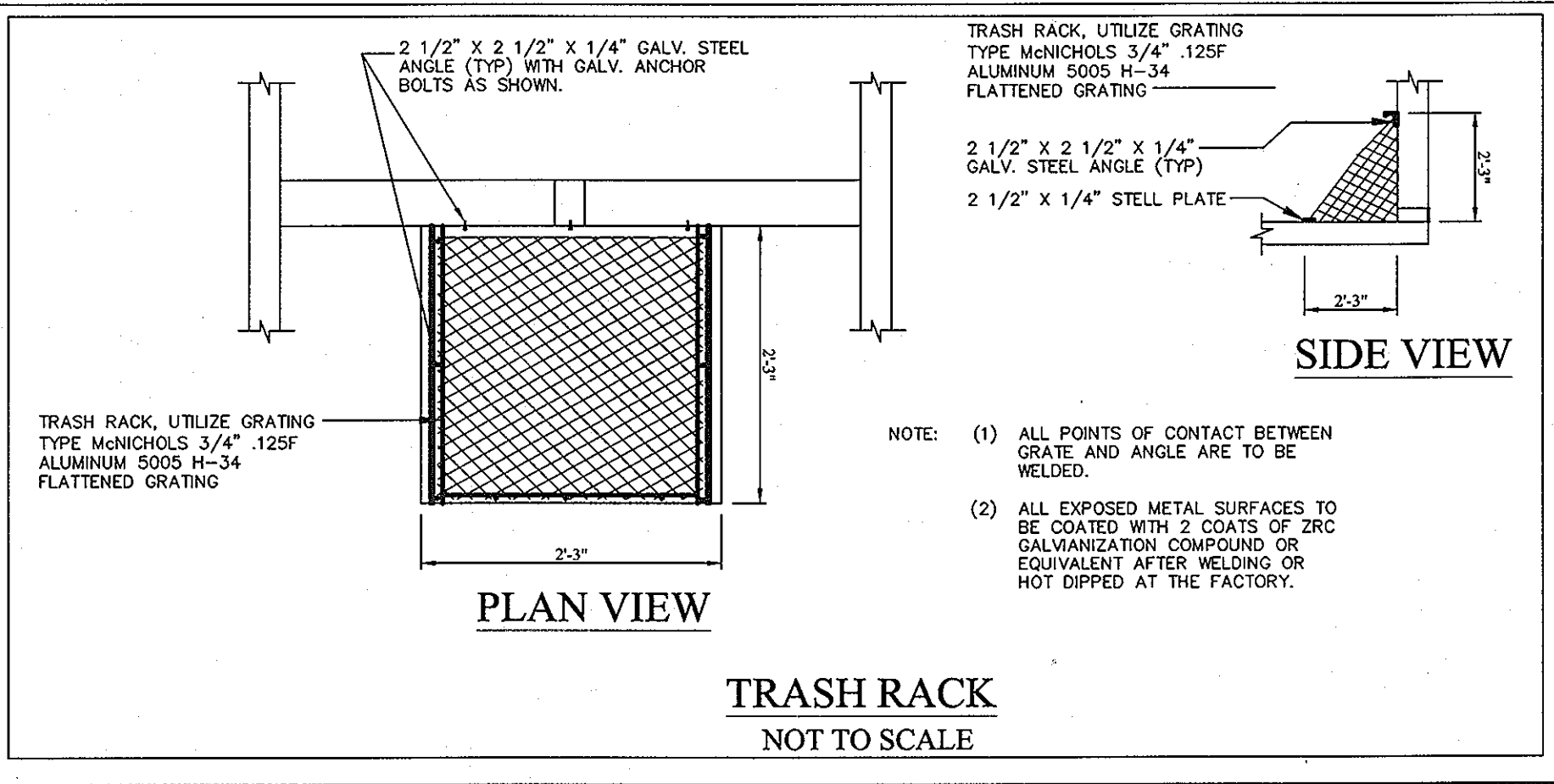
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Scott C. Reed JULY 08 2008 DATE
SIGNATURE OF MANAGER
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Ron Muan JULY 08 2008 DATE
SIGNATURE OF ENGINEER
PRINTED NAME: RON MUAN



TRASH RACK
NOT TO SCALE

1. REVISED SHEET NUMBERS 11-3-10

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

11/08

STORMWATER MANAGEMENT DETAILS
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT
FLAT NO. 19654-19658 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

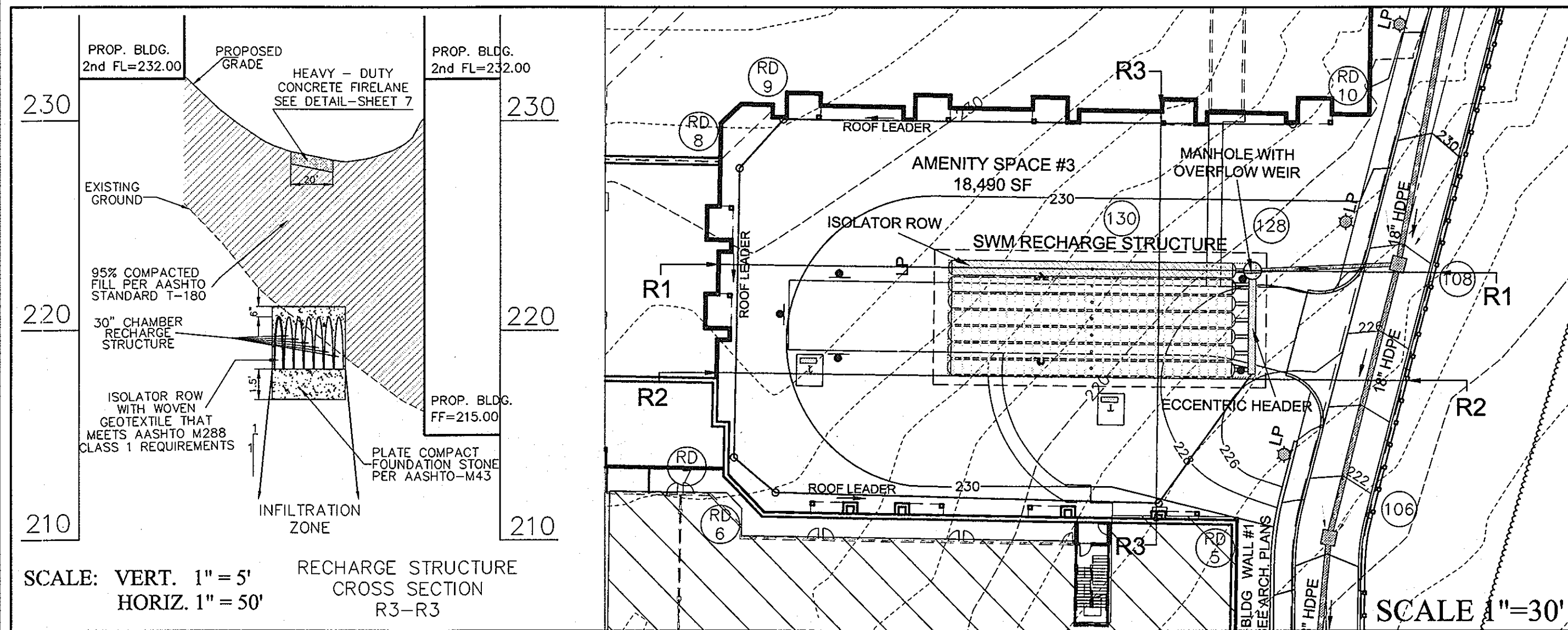
OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Section: NA Area: NA Phase: NA Scale: 1"=50' Sheet: 21 of 53

Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008

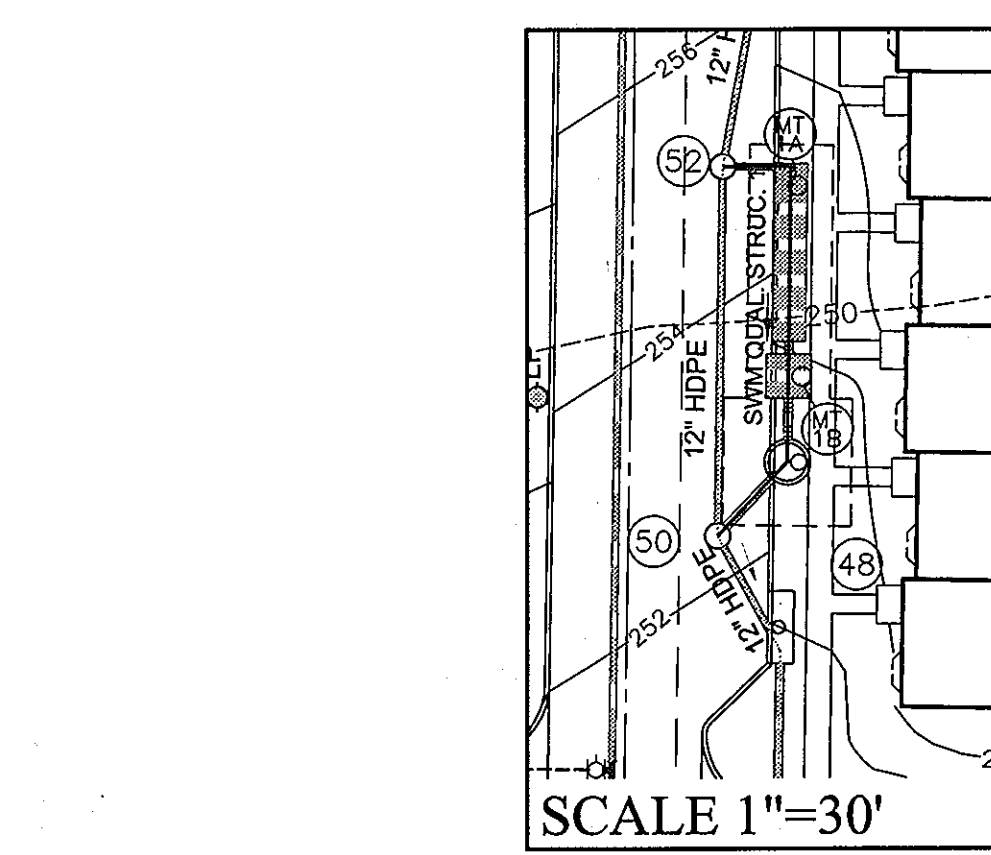
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File number: 11/08

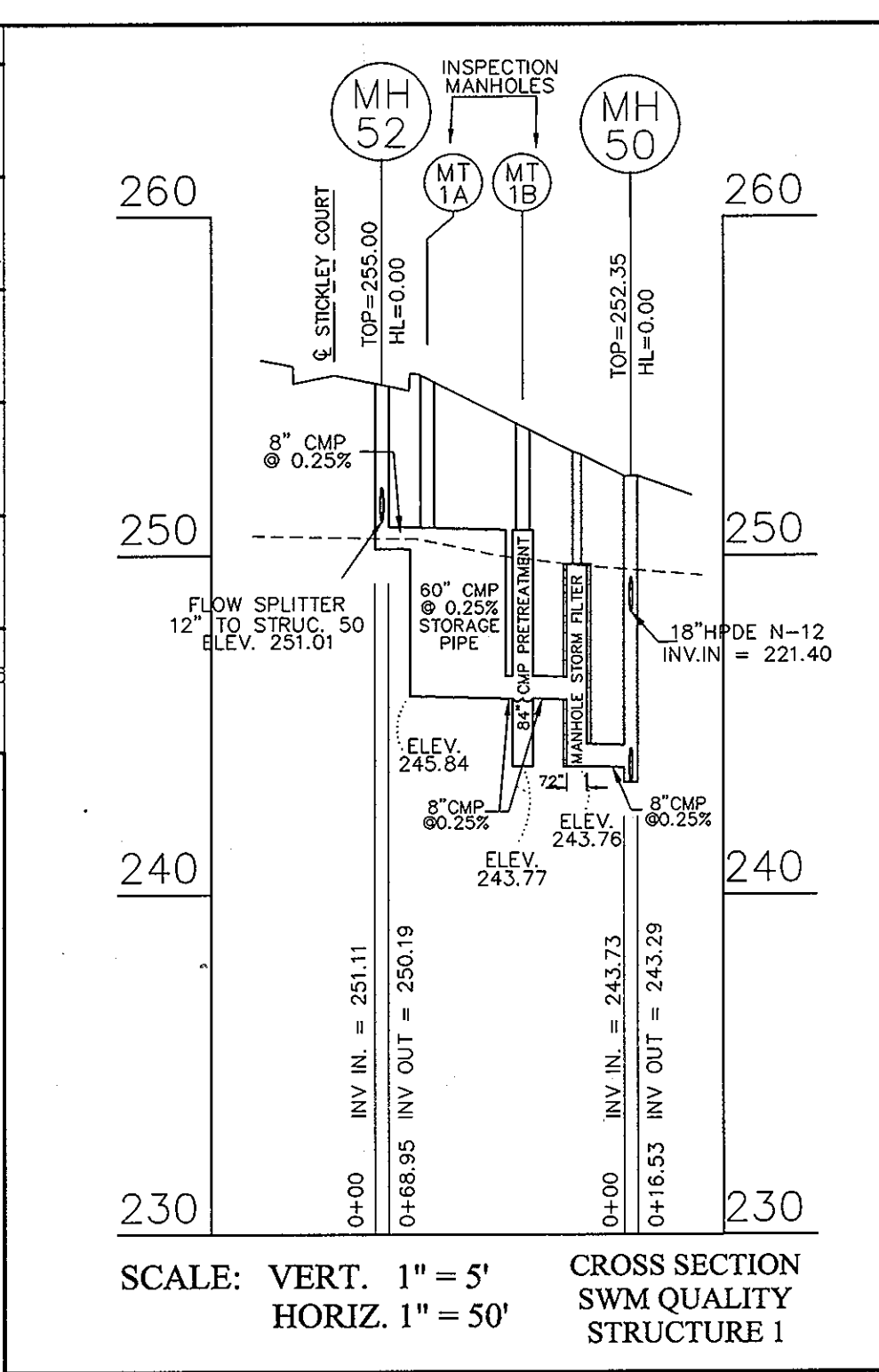


SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

RECHARGE STRUCTURE
CROSS SECTION
R3-R3

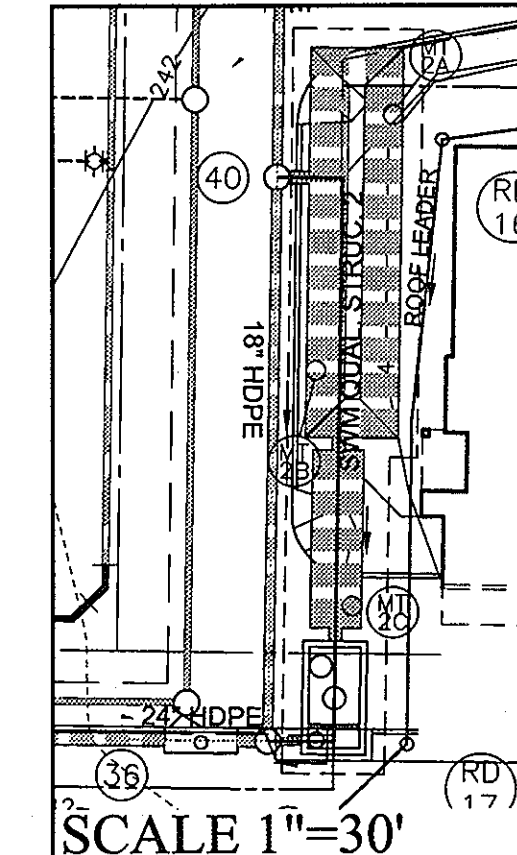


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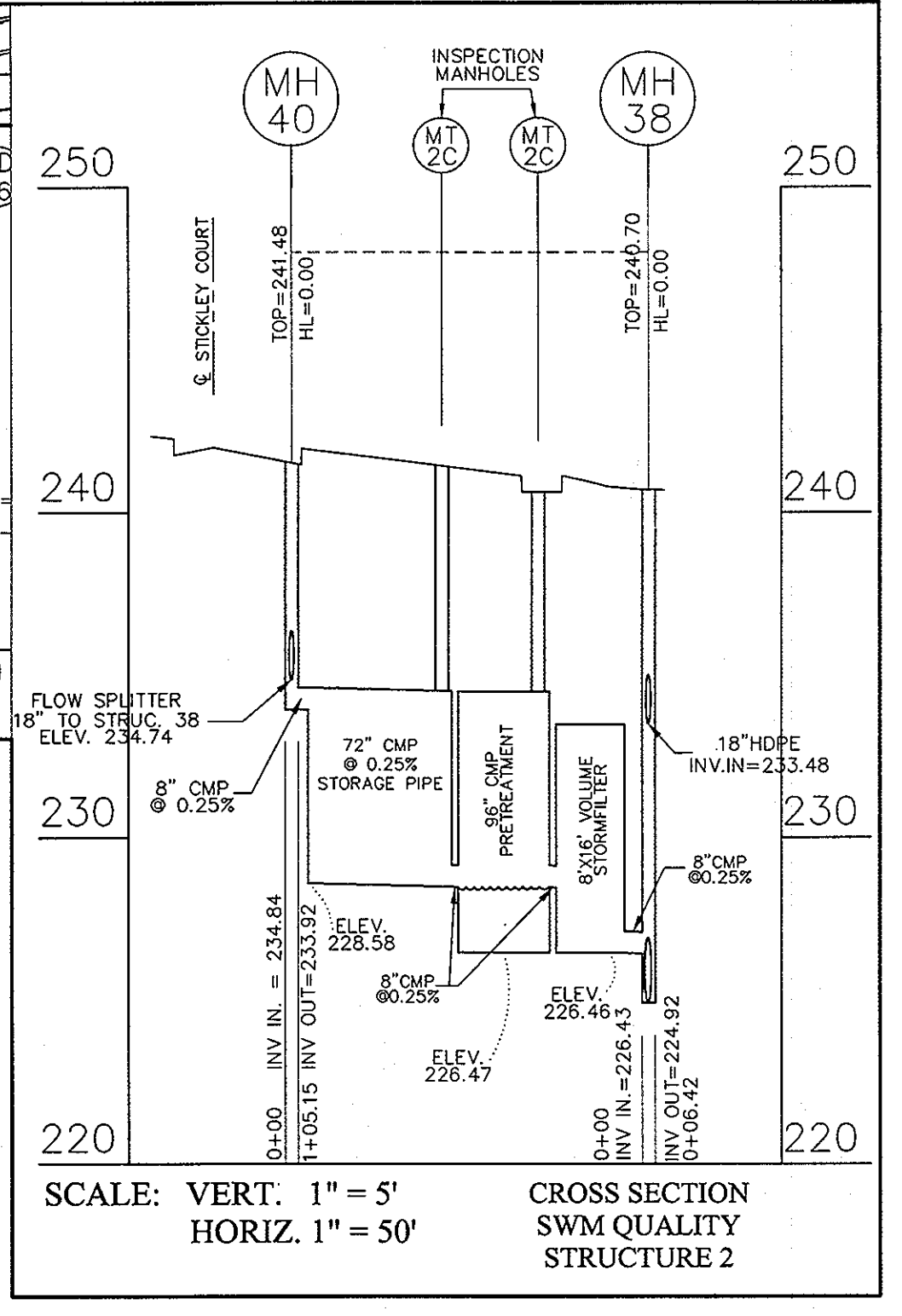


SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

CROSS SECTION
SWM QUALITY
STRUCTURE 1

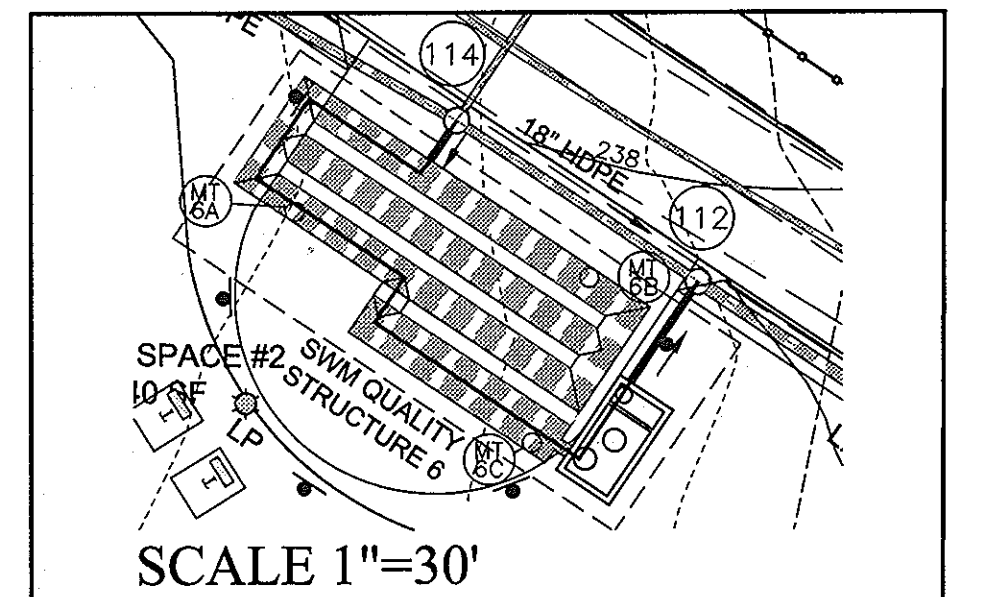


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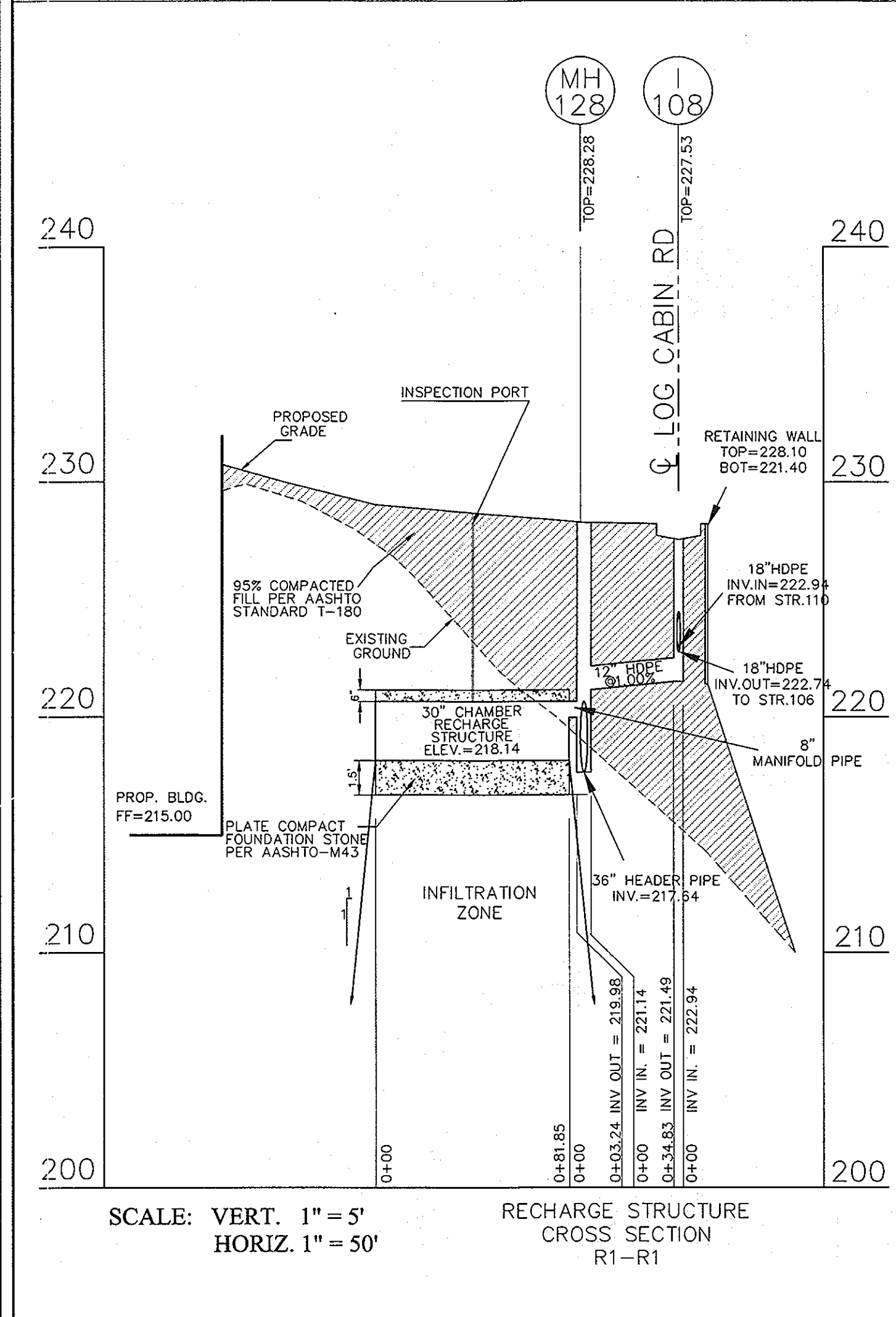


SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

CROSS SECTION
SWM QUALITY
STRUCTURE 2

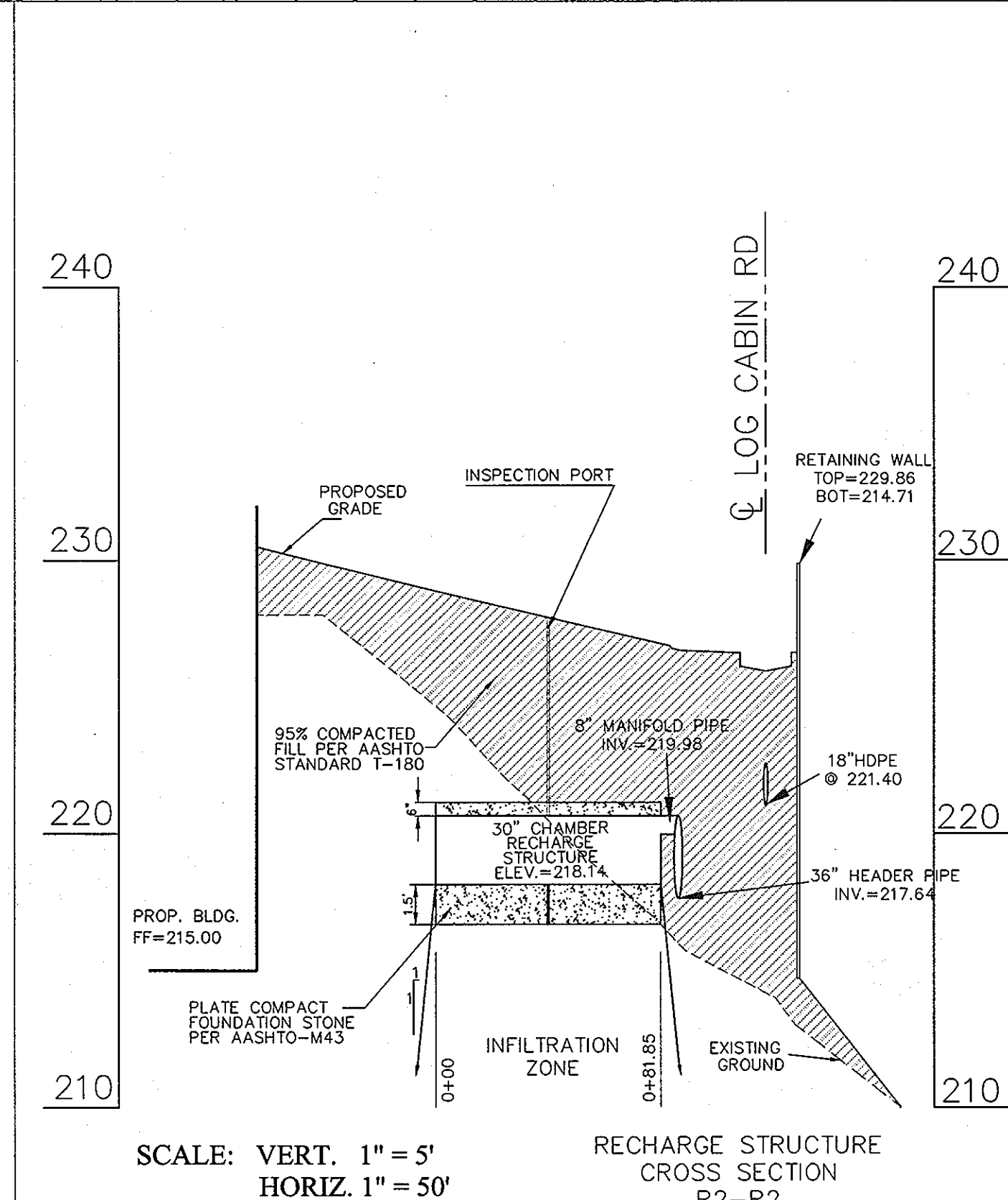


SCALE 1"=30'



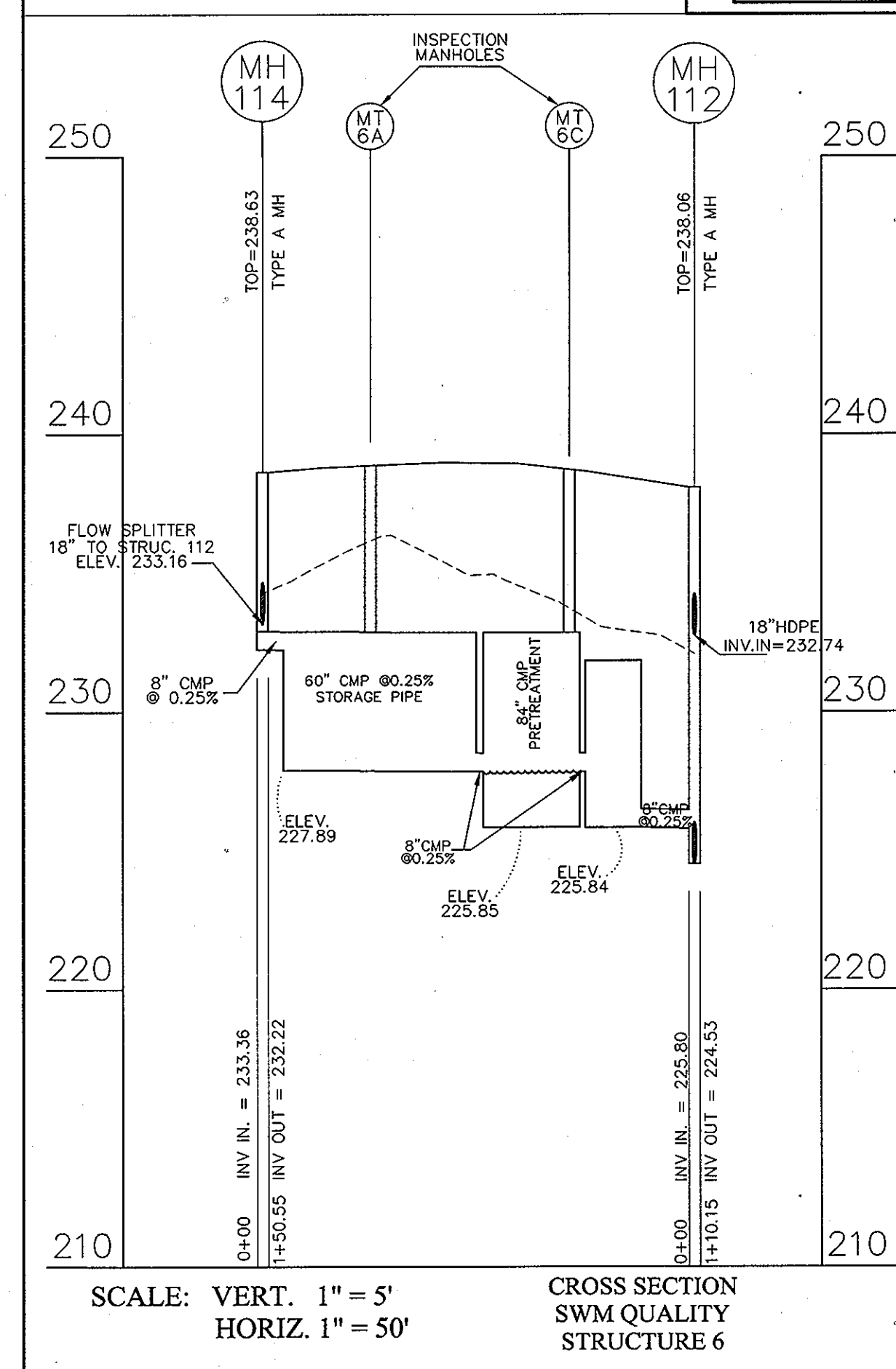
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

RECHARGE STRUCTURE
CROSS SECTION
R1-R1



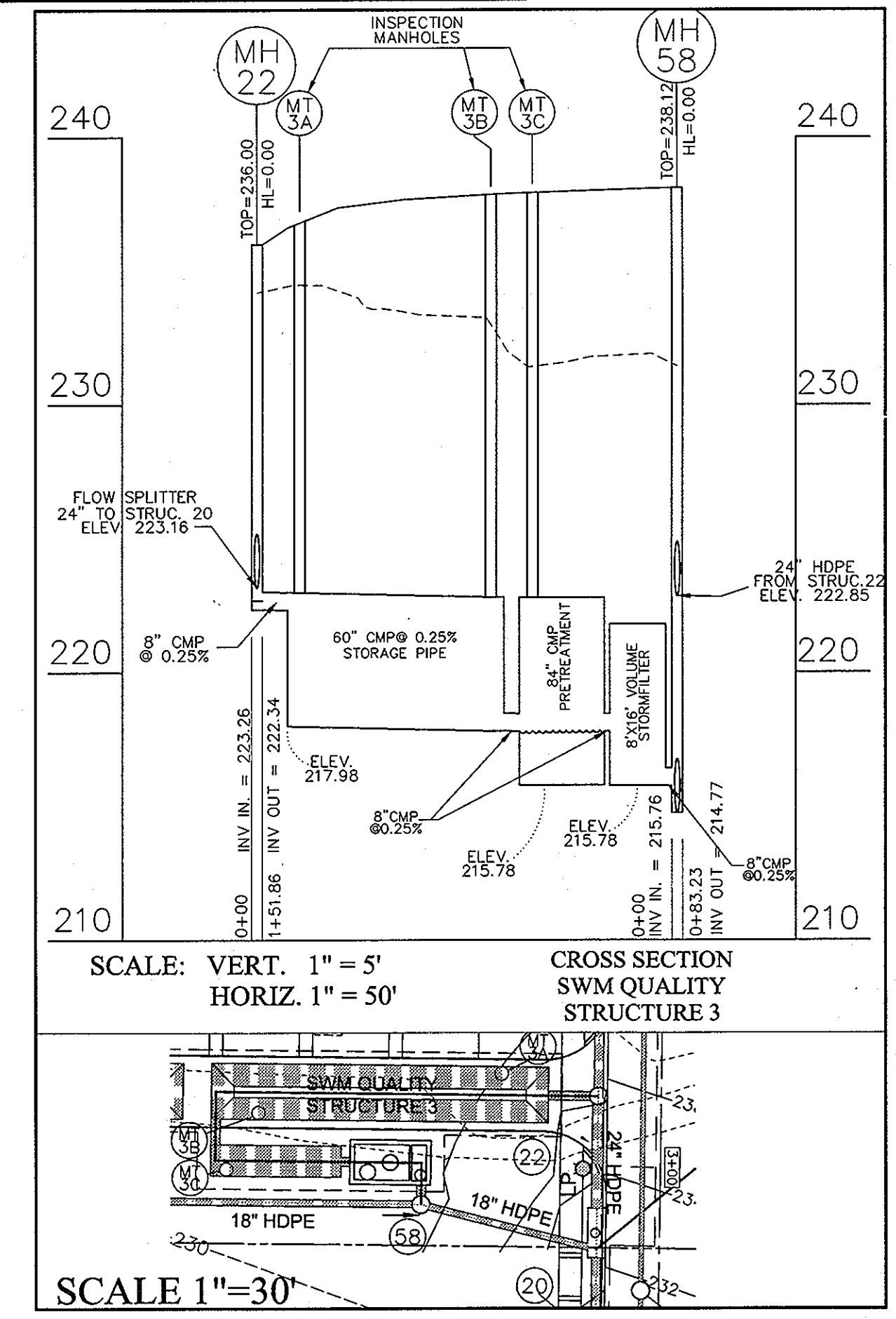
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RECHARGE STRUCTURE
CROSS SECTION
R2-R2



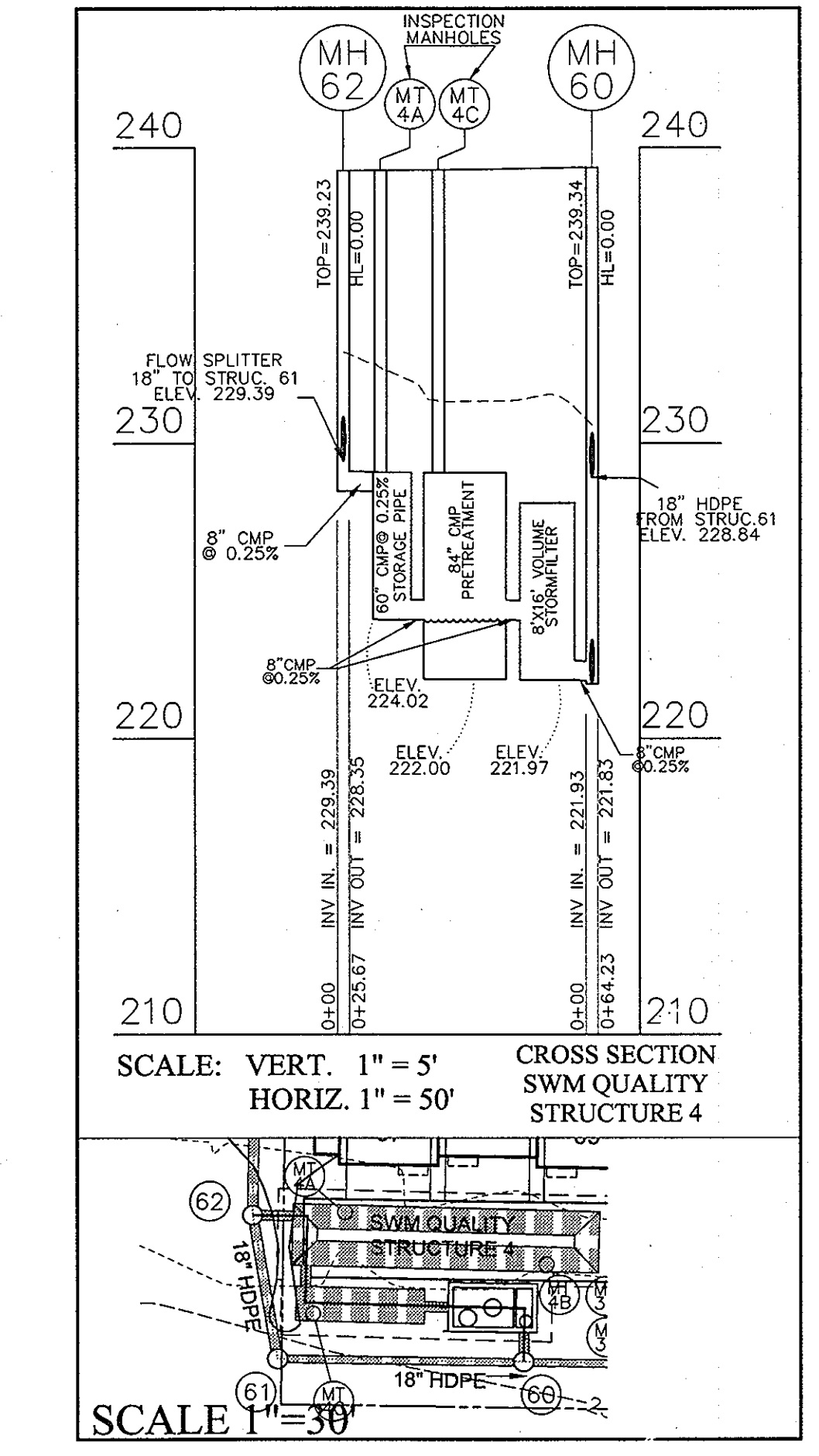
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

CROSS SECTION
SWM QUALITY
STRUCTURE 6



SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

CROSS SECTION
SWM QUALITY
STRUCTURE 3



SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

CROSS SECTION
SWM QUALITY
STRUCTURE 4

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCE CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. APPROVED: Stephen Lafferty, 8/15/08, DIRECTOR.

CHIEF, DEVELOPMENT ENGINEERING DIVISION: T. MacArthur & For CH, 8/15/08, DATE.

BY THE DEVELOPER:

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: Scott C. Reed, JULY 08 2008, DATE.

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: Ron Mijan, JULY 08 2008, DATE.

CMP INFORMATION

- 8" DIA., 16 GAUGE (.064") 1-1/2x1/4, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 365'.
- 48" DIA., 16 GAUGE (.064") 2-2/3x1/2, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 62'.
- 60" DIA., 16 GAUGE (.064") 5x1, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 50'.
- 72" DIA., 16 GAUGE (.064") 5x1, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 42'.
- 84" DIA., 16 GAUGE (.064") 5x1, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 36'.
- 96" DIA., 16 GAUGE (.064") 5x1, ALUMINIZED TYPE 2 STEEL CMP - MIN. COVER 12", MAX. 31'.

1. REVISED SHEET NUMBERS 11-3-10

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/8/08



NOTE

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) FEET, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

STORMWATER MANAGEMENT DETAILS
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBY COMPANY, INC.
2600 MIDWAY BANGOR DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

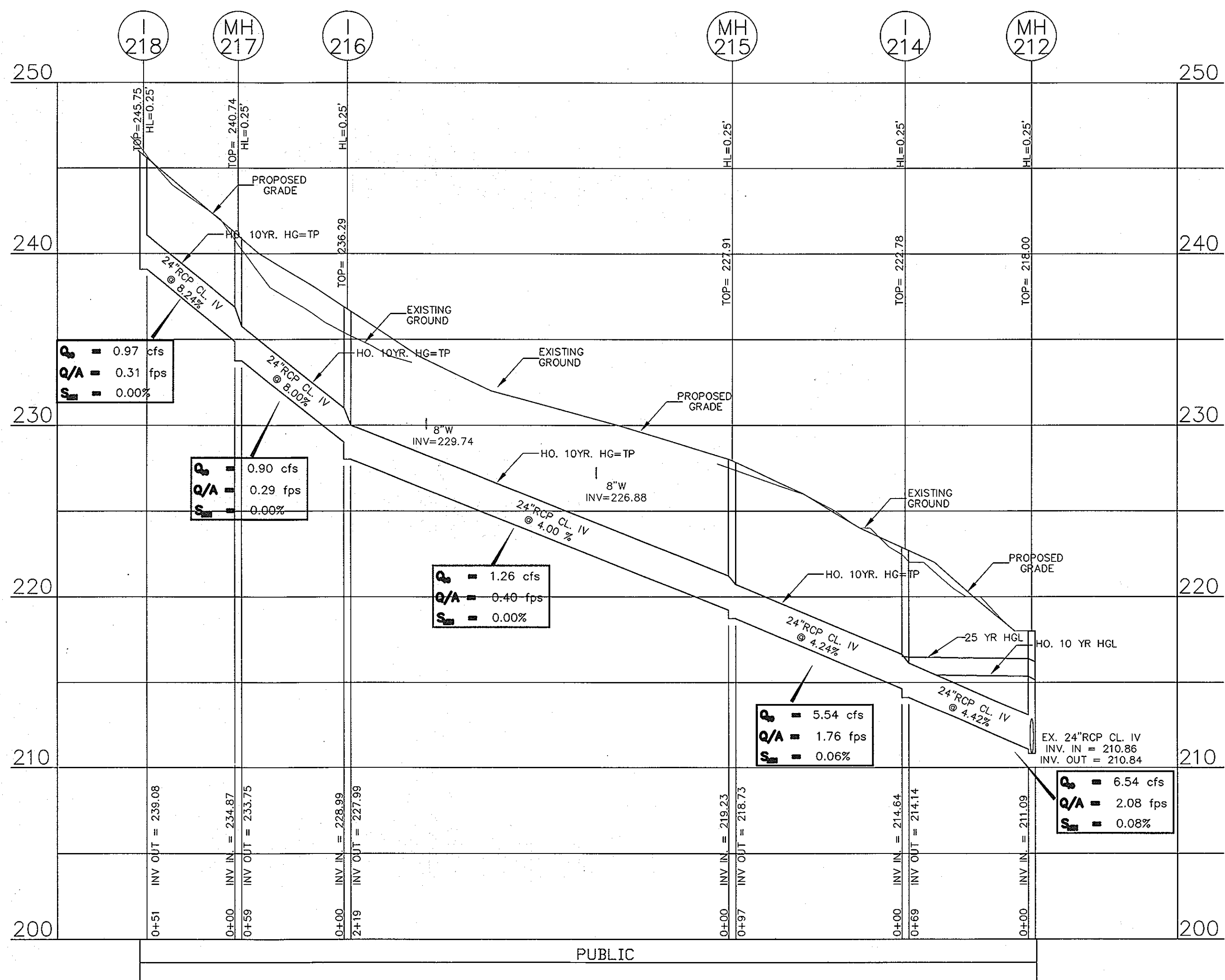
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI

Section: NA Area: NA Phase: NA Scale: 1"=50'

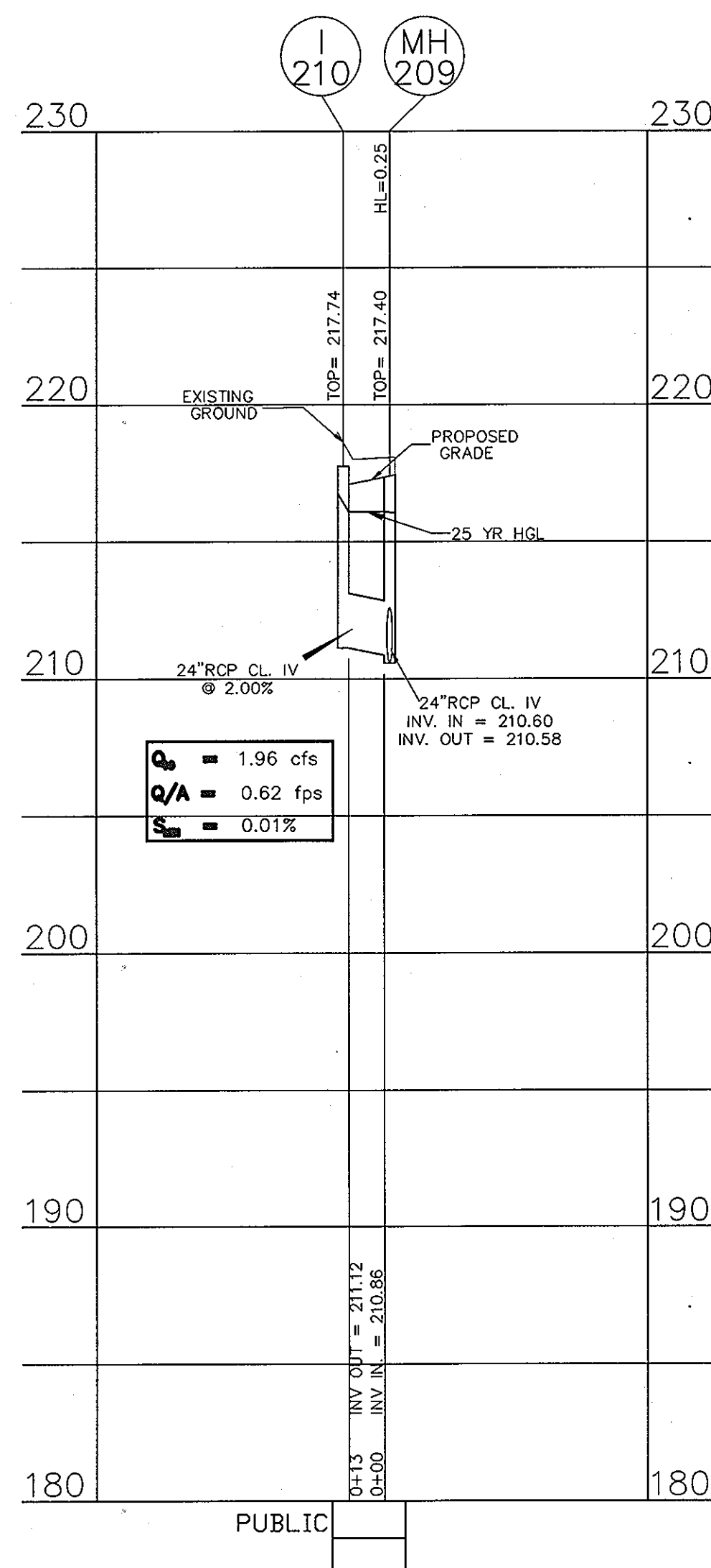
Tax Map Grid & Parcel: 23 1048M
MAP 43, GRID 14
PARCELS A & C Date: JULY 2008

Prior Submittals:
HO-827 WP-05-096
SP-06-18 SDP-07-101 AA-06-016
F-07-156 SDP-07-113

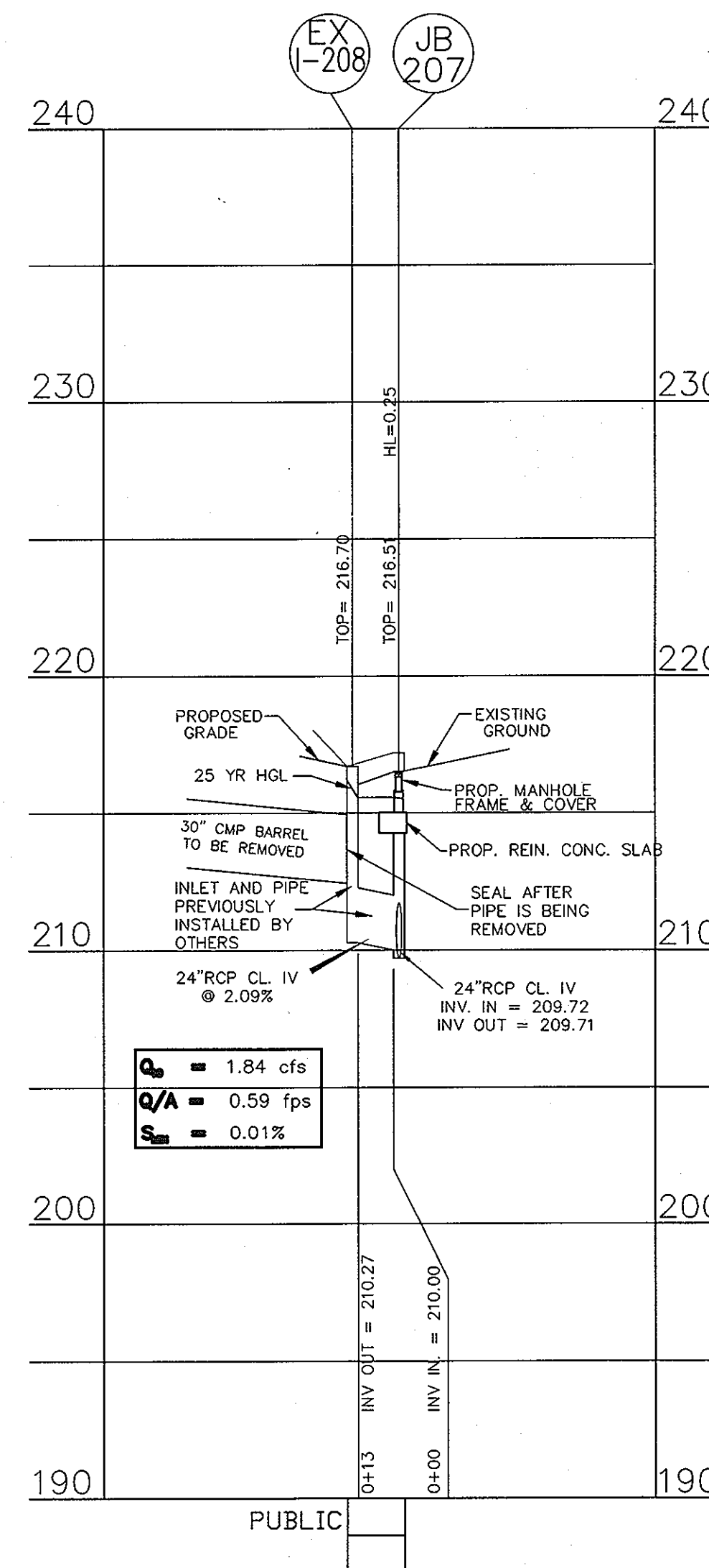
File number: 22 of 53



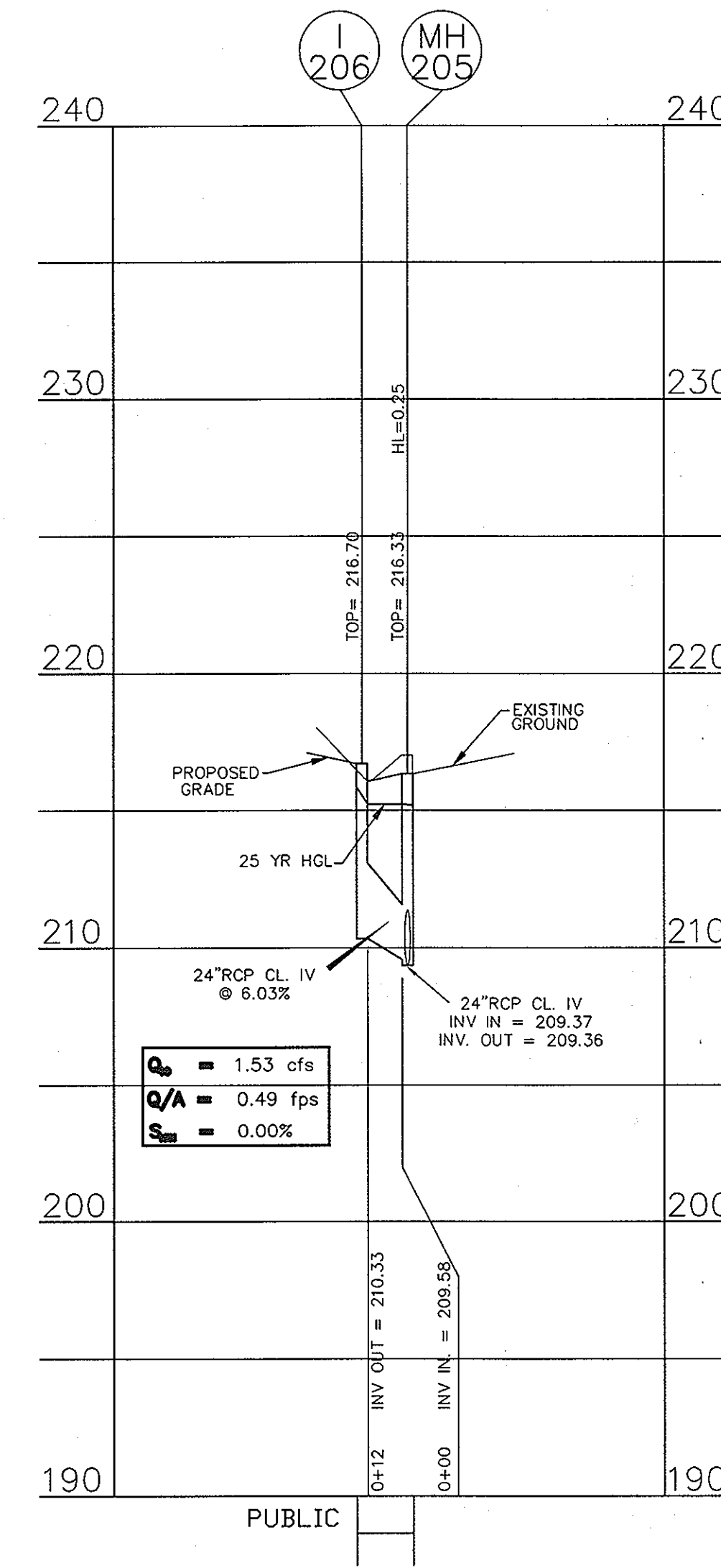
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



SCALE: VERT. 1" = 5'
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SCALE: VERT. 1" = 5'
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SCALE: VERT. 1" = 5'
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THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCE CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: 8/15/08

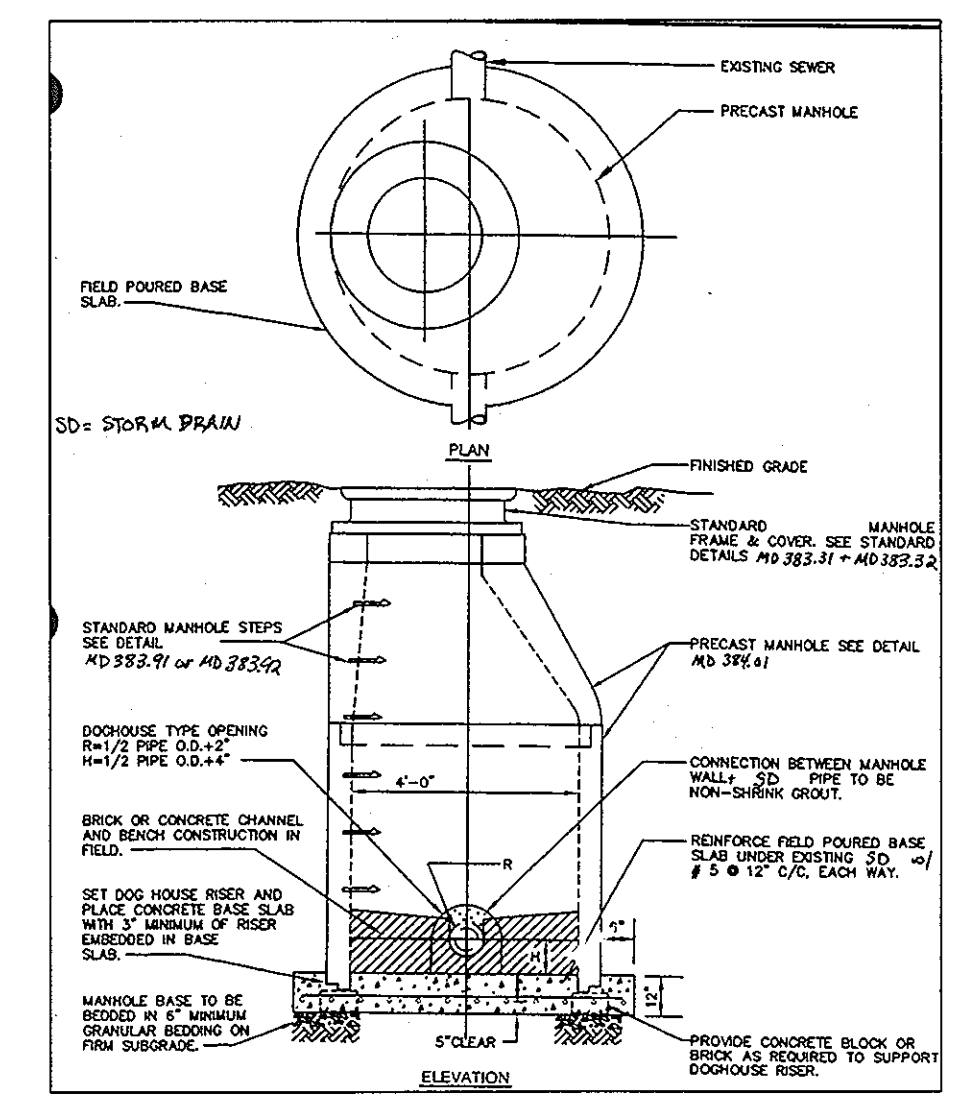
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Joseph Laffey, 8/15/08, DIRECTOR.

BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENTATION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

SIGNATURE OF MANAGER: [Signature] DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008
PRINTED NAME: RON MIJAN



'DOGHOUSE' MANHOLE DETAIL
NOT TO SCALE
FOR STRUCTURES MH-1, MH-205, MH-209, MH-212

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/8/06

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAJOR BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT 'MISS UTILITY' AT 1-800-275-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

1. REVISED SHEET NUMBERS 11-3-10

PUBLIC STORM DRAIN - PROFILES & DETAILS
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT PLAT NO. 19854-19858 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
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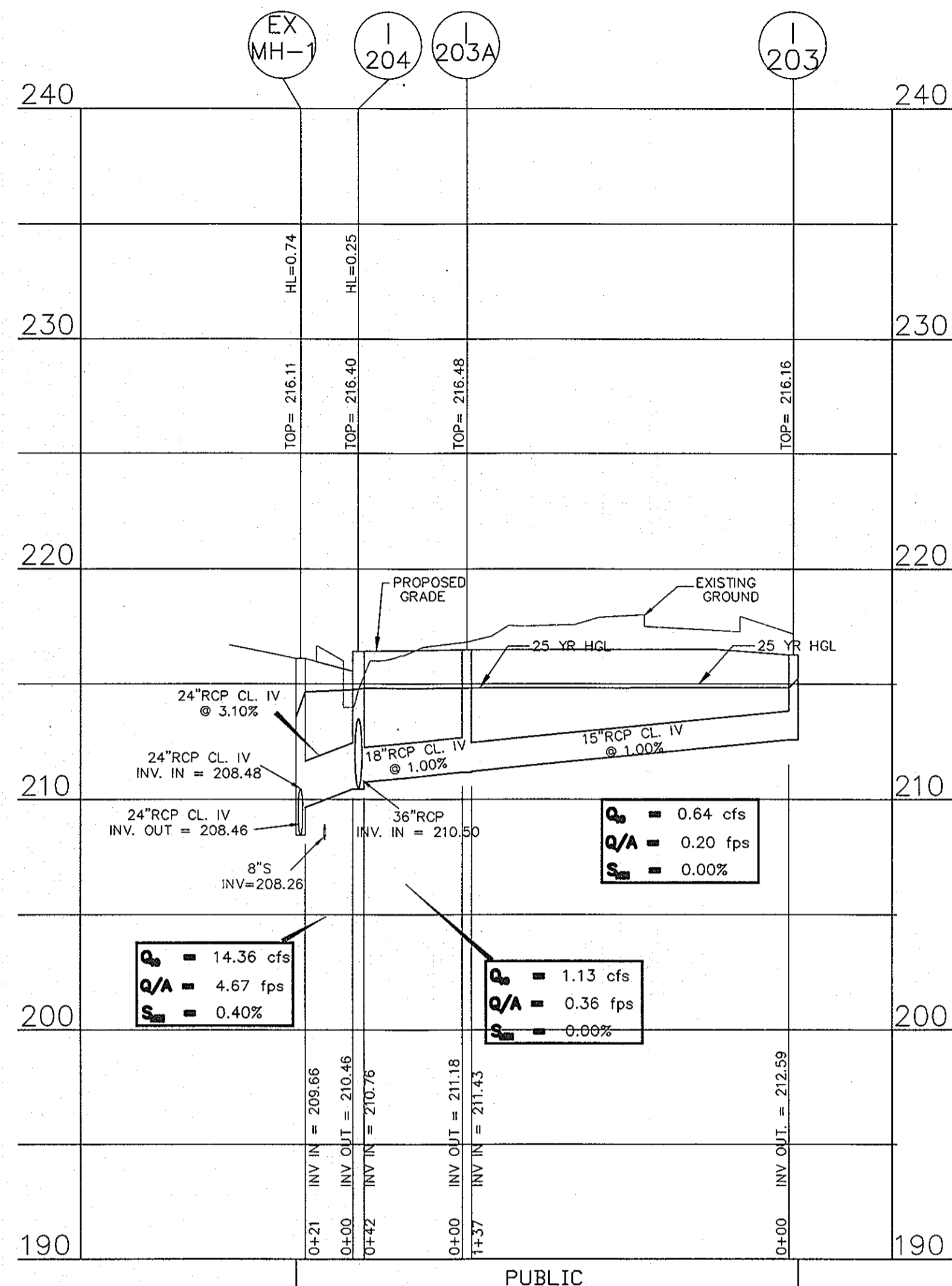
Section: NA Area: NA Phase: NA Scale: 1"=50'

Tax Map Grid & Parcel: MAP 45, GRID 14 PARCELS A & C Date: JULY 2008

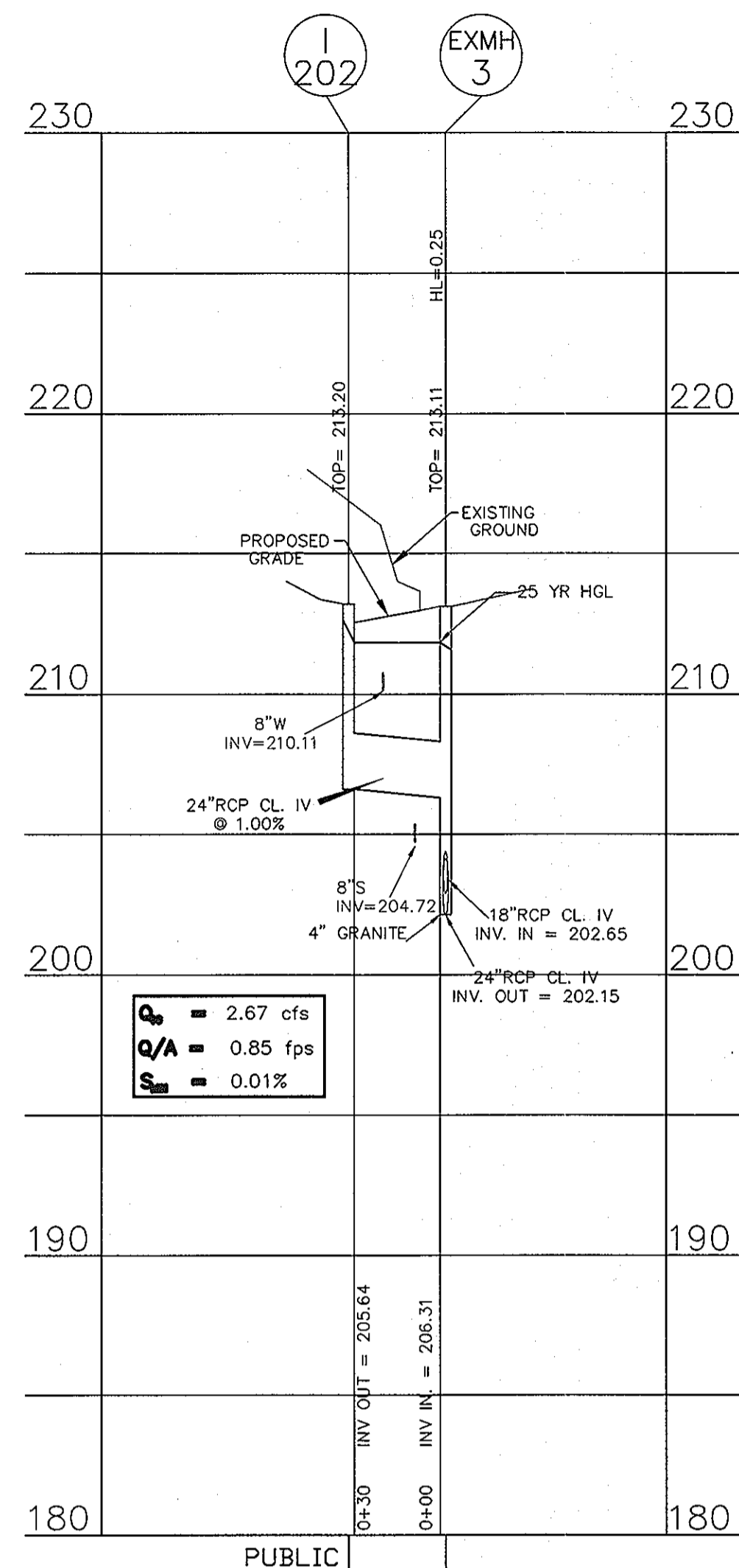
Prior Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 23 of 53

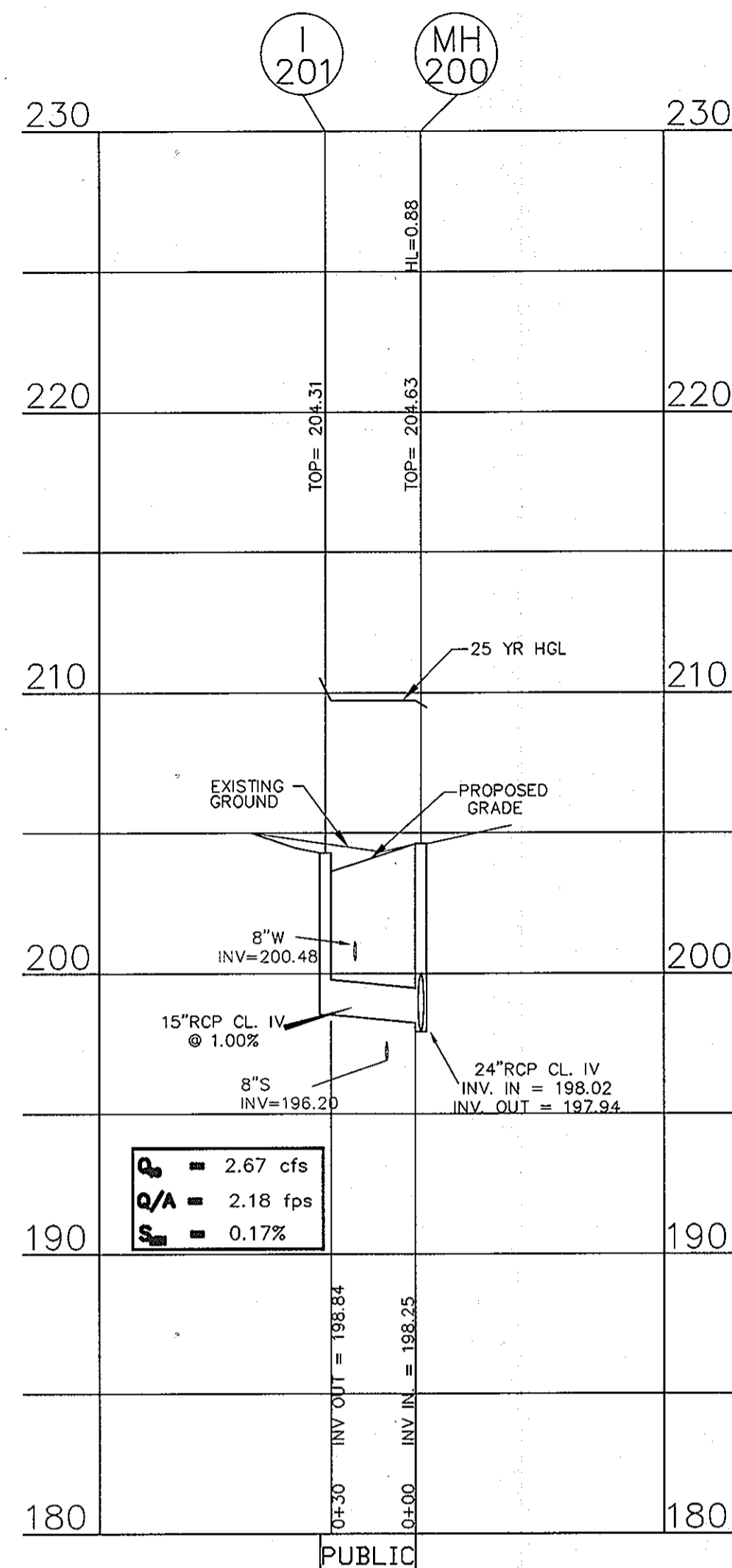
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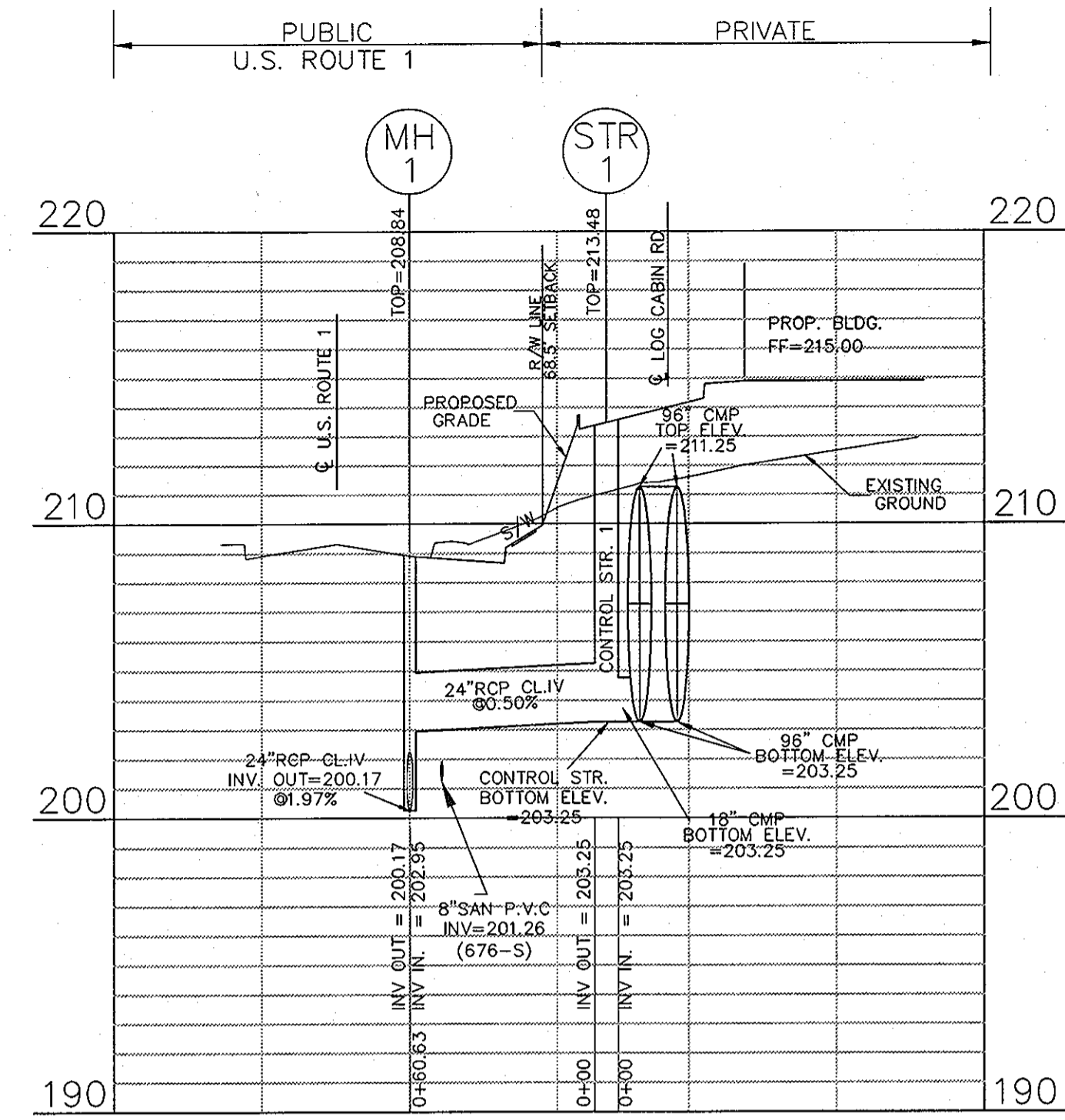
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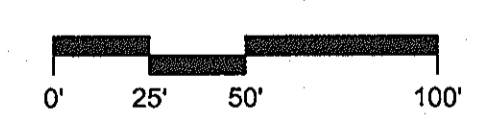
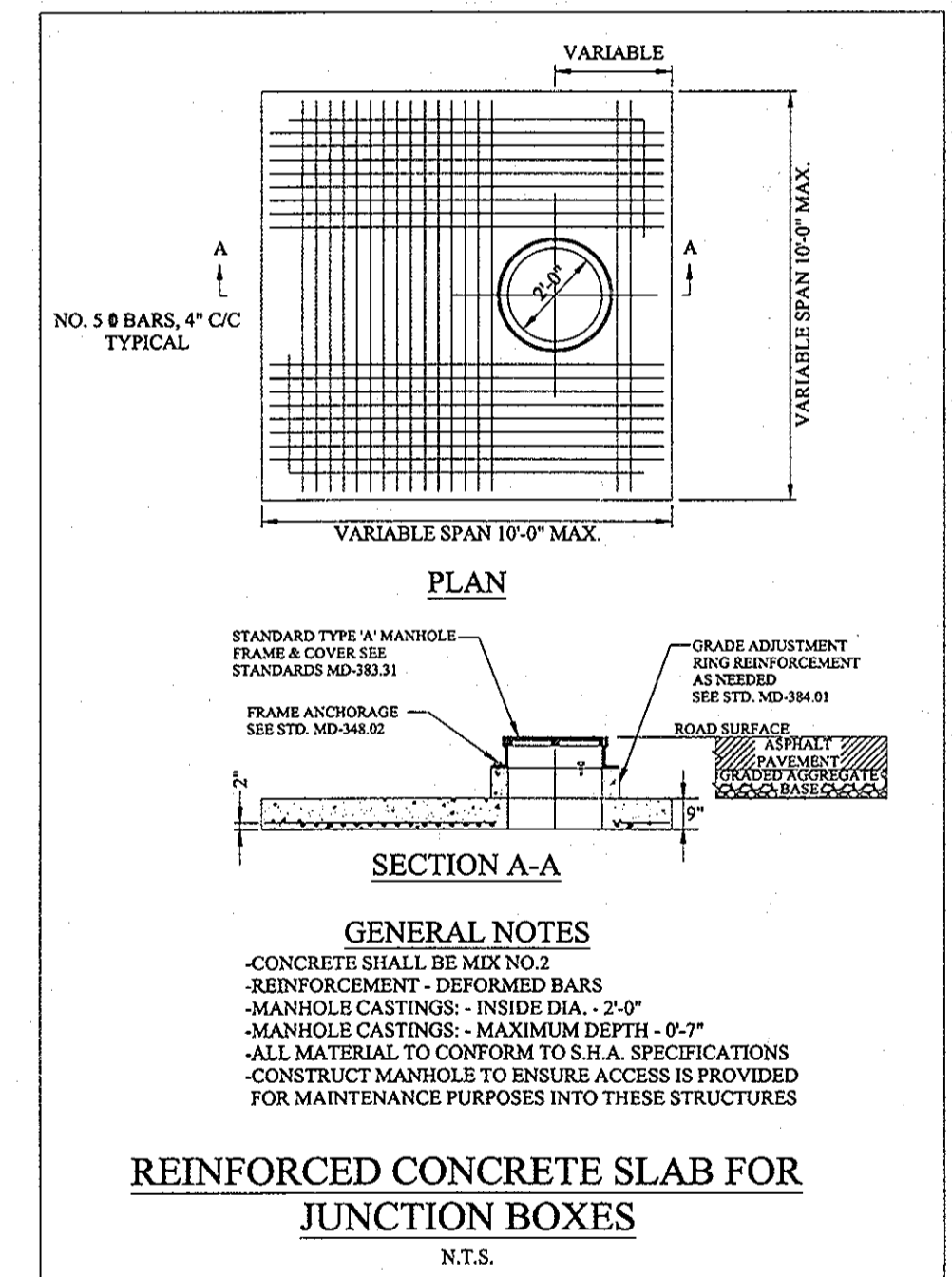
SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'

PUBLIC
STRUCTURE SCHEDULE

No.	DESCRIPTION	W	STREET	UPPER STATION	LOWER STATION	OFFSET	UPPER STATION ELEV.	LOWER STATION ELEV.	STD. NO	PRECAST	REMARKS
I-218	TYPE 'A-10' INLET		MISSION ROAD	5+57	5+46	18.00 RT.	246.34	245.71	SD 4.02	SD 4.41	HOWARD COUNTY STANDARD
MH-217	STANDARD PRECAST MANHOLE		MISSION ROAD				214.43 RT.	240.74	G 5.11		HOWARD COUNTY STANDARD
I-216	TYPE 'A-10' INLET		MISSION ROAD	4+43	4+32	18.00 RT.	236.79	236.01	SD 4.02	SD 4.41	HOWARD COUNTY STANDARD
MH-215	STANDARD PRECAST MANHOLE		MISSION ROAD				212.28 RT.	227.91	G 5.11		HOWARD COUNTY STANDARD
I-214	TYPE 'A-10' INLET		MISSION ROAD	1+22	1+11	18.00 RT.	222.80	221.92	SD 4.02		HOWARD COUNTY STANDARD
MH-212	'DOGHOUSE' STRUCTURE		US ROUTE 1				214+71	218.00±			CONSTRUCT 'DOGHOUSE' STRUCTURE MANHOLE OVER EX. 24" RCP. TOP COVER TO MATCH EX. GRADE
EX I-8	SQUARE & RECT. 10" COG INLET		US ROUTE 1				215+17	37.00 LT.			EX. INLET TO BE REMOVED. INSTALL NEW 24" RCP FROM HERE TO MH-209
I-210	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1	215+30	215+18	53.00 LT.	217.73	217.79	MD-374.51		
MH-209	'DOGHOUSE' STRUCTURE		US ROUTE 1				215+28	38.10 LT.			CONSTRUCT 'DOGHOUSE' STRUCTURE MANHOLE OVER EX. 24" RCP. TOP COVER TO MATCH EX. GRADE
EX I-208	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1	216+99	216+88	53.00 LT.	216.69	216.74	MD-374.51		INLET PREVIOUSLY INSTALLED BY OTHERS DURING ROUGH GRADING PHASE
JB-207	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1				216+97	38.46 LT.			EX. INLET CONVERTED TO JUNCTION BOX. SEE DETAIL 'A'
I-206	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1	217+85	217+74	53.00 LT.	216.69	216.73	MD-374.51		
MH-205	'DOGHOUSE' STRUCTURE		US ROUTE 1				217+83	38.53 LT.			CONSTRUCT 'DOGHOUSE' STRUCTURE MANHOLE OVER EX. 24" RCP. TOP COVER TO MATCH EX. GRADE
I-204	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1	218+67	218+56	53.00 LT.	216.39	216.41	MD-374.61		
EX EW-1	UPSTREAM EX. ENDWALL		US ROUTE 1				218+61	48 LT.			EX. ENDWALL TO BE REMOVED ALONG WITH EX. PIPE TO EX. MH-1
EX MH-1	48" DIAM. PRECAST MANHOLE	4'0"	US ROUTE 1				218+62	30 LT.			REMOVE AND REPLACE EX. MANHOLE
EX I-11	SINGLE WR INLET		US ROUTE 1				218+75	35 LT.			EX. INLET TO BE REMOVED ALONG WITH EX. PIPE TO EX. MH-1
I-203	SHALLOW 10" COG INLET	4'0"	US ROUTE 1	220+51	220+40	53.00 LT.	216.15	216.20	MD-374.66		PLACE MH ON UPHILL SIDE AND SLOPE TROUGH FLOOR TOWARDS MH
I-203A	SQUARE & RECT. 10" COG INLET	4'0"	US ROUTE 1	219+17	219+06	53.00 LT.	216.37	216.36	MD-374.61		
EX I-12	SQUARE & RECT. 10" COG INLET		US ROUTE 1				220+68	39 LT.			EX. INLET TO BE REMOVED ALONG WITH EX. PIPE TO EX. MH-2
EX MH-2	48" DIAM. PRECAST MANHOLE		US ROUTE 1				220+69	30 LT.			EX. MANHOLE TO BE REMOVED ALONG WITH EX. PIPE TO EX. MH-3
I-202	SQUARE & RECT. 15" COG INLET	4'0"	US ROUTE 1	222+32	222+16	62.00 LT.	213.06	213.73	MD-374.51		
EX I-13	SQUARE & RECT. 15" COG INLET		US ROUTE 1				222+24	37 LT.			EX. INLET TO BE REMOVED ALONG WITH EX. PIPE TO EX. MH-3
EX MH-3	48" DIAM. PRECAST MANHOLE		US ROUTE 1				222+31	30 LT.			BROCK SHUT OPENING FROM EX. MH-2. CREATE OPENING FOR PROP. 24" RCP FROM I-202. BROCK SHUT AND MORTAR VOID LEFT FROM REMOVAL OF EX. PIPE FROM EX. I-13.
MH-1	'DOGHOUSE' STRUCTURE		US ROUTE 1				223+28	30 LT.			CONSTRUCT 'DOGHOUSE' STRUCTURE MANHOLE OVER EX. 24" RCP. TOP COVER TO MATCH EX. GRADE
I-201	SQUARE & RECT. 15" COG INLET	4'0"	US ROUTE 1	224+44	224+28	62.00 LT.	204.20	204.58	MD-374.51		
MH-200	'DOGHOUSE' STRUCTURE		US ROUTE 1				224+42	30.06 LT.			CONSTRUCT 'DOGHOUSE' STRUCTURE MANHOLE OVER EX. 24" RCP. TOP COVER TO MATCH EX. GRADE

PUBLIC
PIPE SCHEDULE

SIZE	TYPE	CLASS	LENGTH
24"	RCP	IV	791
15"	RCP	IV	30



DETAIL 'A'

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/15/08

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: [Signature] DATE: JULY 08 2008

PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008

PRINTED NAME: RON MUJAN

PROFESSIONAL CERTIFICATION:

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

[Professional Seal]

NOTE

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1. REVISED SHEET NUMBERS 11-3-10

PUBLIC STORM DRAIN - PROFILES & DETAILS
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT FLAT NO. 1905A-1905B HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

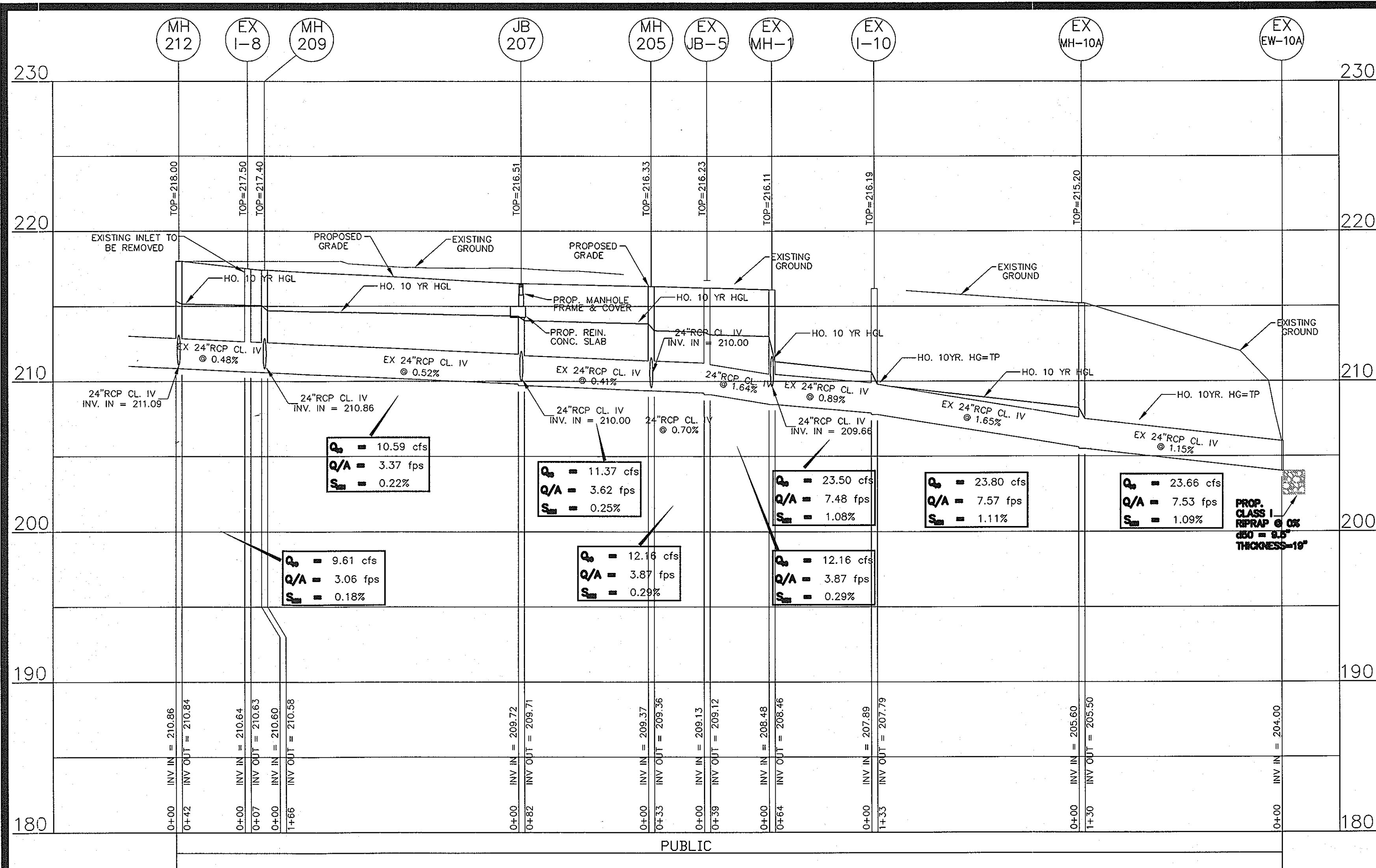
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI

Section: NA Area: NA Phase: NA Scale: 1"=50'

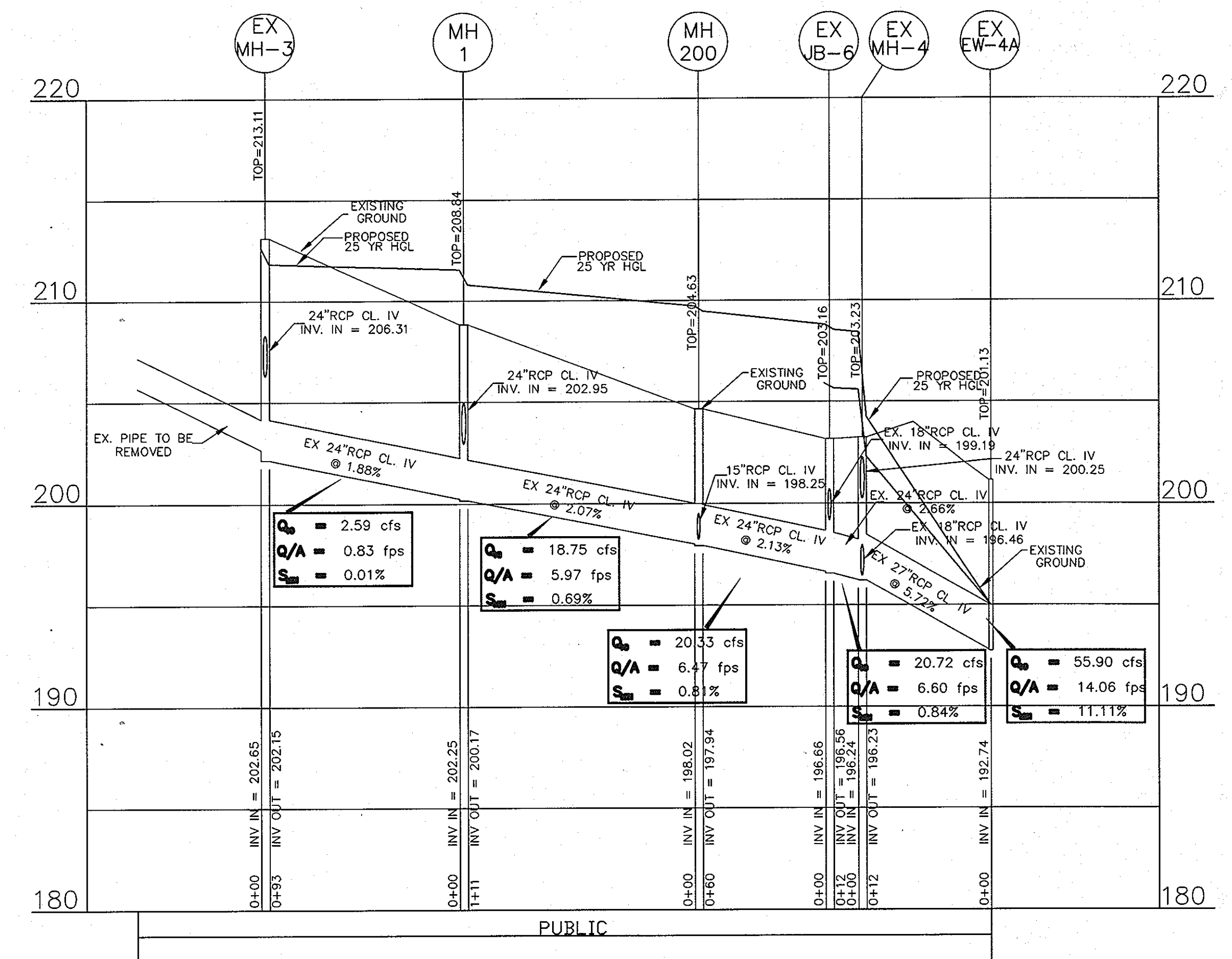
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008

Price Submitted: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 WP-06-096 AA-06-016 File number: 24 of 53

SDP-07-104



SCALE: VERT. 1" = 5'
HORIZ. 1" = 50'



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THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING DATE: 8/15/08

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
SIGNATURE OF MANAGER: Scott C. Reed DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: Ronald M. Mijan DATE: JULY 08 2008
PRINTED NAME: RON MIJAN

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08

STATE OF MARYLAND PROFESSIONAL ENGINEERING
7/8/08

NOTE
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1. REVISED SHEET NUMBERS 11-3-10

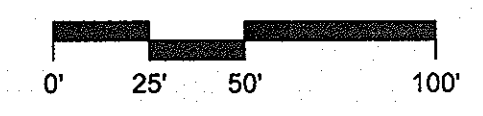
EXISTING SHA STORM DRAIN PROFILE
PAVING AND DRAINAGE
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT PLAT NO. 11254-19252 HOWARD COUNTY, MARYLAND

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLSEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI

Section: NA Area: NA Phase: NA Scale: 1"=50'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008 Price Submitted: ZS 10438M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

Sheet: 25 of 53
File number: SDP-07-104



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PROPOSED DEDICATION FOR COUNTY RIGHT OF WAY 0.2589 Acres

MISSION ROAD (PUBLIC) 21+00 MINOR COLLECTOR RIGHT OF WAY VARIES FROM 30FT TO 112FT

FUTURE PHASE 2 LAYDOWN / WORK AREA FOR PHASE 1 PARCEL 'B' 1.9602 Acres

EXISTING SEDIMENT BASIN

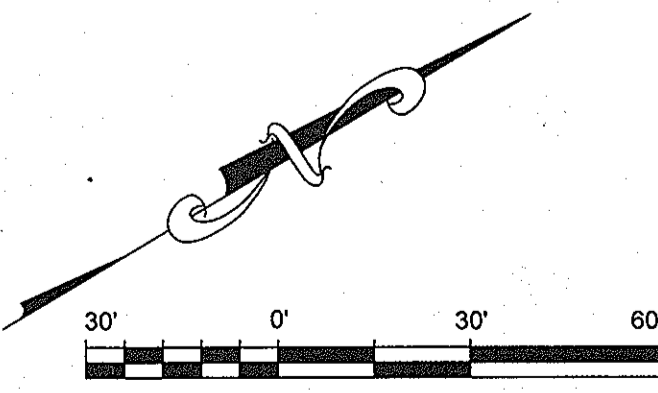
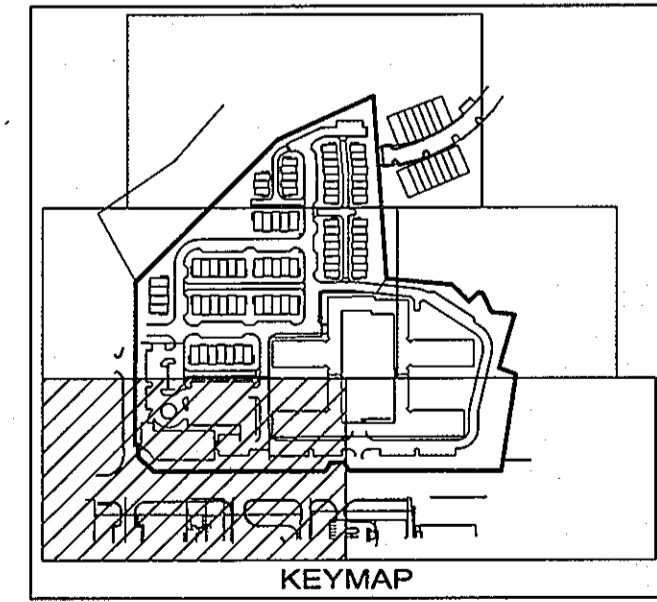
(US ROUTE 1) WASHINGTON BLVD.

PERIMETER 2 PARKING TO ROAD LENGTH: 263' TYPE E

FLEMING ST PRIVATE STREET

LANDSCAPE NOTES:

1. LANDSCAPE PERIMETERS 1, 12, & 13 ARE PART OF THE REQUIREMENTS FOR PARCEL B, AND WILL BE APPROVED AS PART OF SDP-07-113.
2. PARKING LOT LANDSCAPING FOR LOT 'A' IS PART OF THE REQUIREMENTS FOR PARCEL B, AND WILL BE APPROVED AS PART OF SDP-07-113.
3. ALL PROPOSED IMPROVEMENTS WITHIN THE RIGHTS OF WAY OF MISSION ROAD AND US ROUTE 1 WILL BE DONE AS PART OF SDP-07-104.
4. A MAINTENANCE AGREEMENT FOR THE MAINTENANCE OF ALL SPECIAL PAVEMENT, STREET TREES, AND PEDESTRIAN LIGHTING WITHIN THE MSHA RIGHT OF WAY WILL BE PART OF THE DEVELOPERS AGREEMENT.
5. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACE WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
6. AT THE TIME OF FIRST INSTALLMENT, ALL SHRUBS AND OTHER PLANTINGS HEREWITH LISTED AND APPROVED FOR THIS SITE, SHALL BE OF THE PROPER HEIGHT REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPING MANUAL. IN ADDITION, NO SUBSTITUTION OR RELOCATION OF REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THIS APPROVED LANDSCAPE PLAN MAY RESULT ON DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO APPLICABLE PLANS AND CERTIFICATES.



NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT 'MISS UTILITY' AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] 8/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION: [Signature] 8/15/08
CHIEF, DIVISION OF LAND DEVELOPMENT: [Signature] 8/15/08

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: [Signature] JULY 08 2008
PRINTED NAME: SCOTT C. REED DATE

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] JULY 08 2008
PRINTED NAME: RON MUAN DATE

11-3-10	REVISED AMENITY AREA	[Symbol]
11-3-10	1. REVISED SHEET NUMBERS	[Symbol]
DATE	REVISIONS	

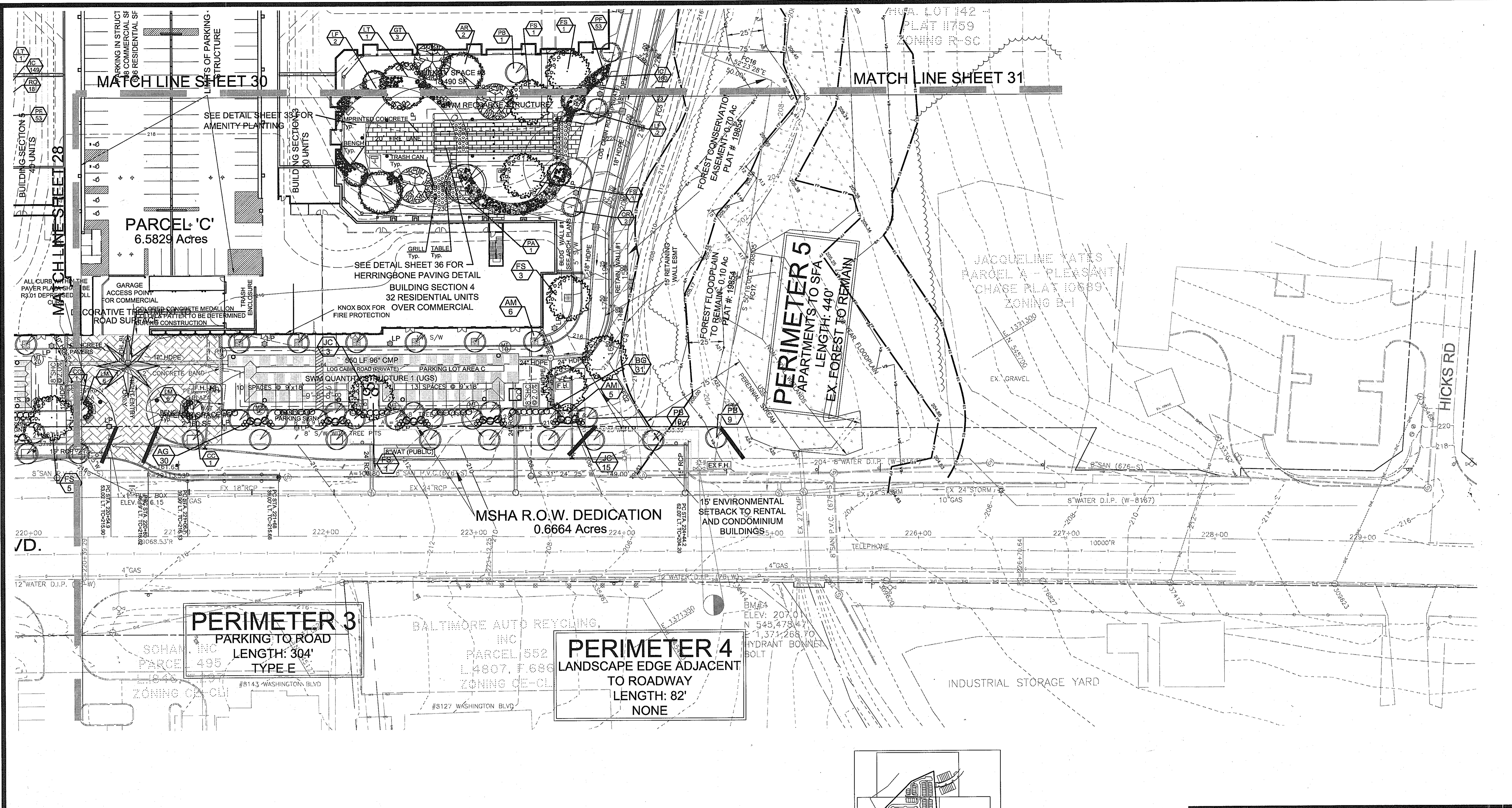
LANDSCAPE PLAN
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
PLAT NO. 19854-19858 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7807

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 29 of 53
File number: [Symbol]

Section: NA Area: NA Phase: NA Scale: 1"=30'
Tax Map Grid & Parcel: ZB 1048M SP-06-18 P-07-156 DATE: JULY 2008 Prior Submittals: HO-827 SDP-07-101 WP-05-096 AA-06-016



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: *[Signature]*

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: *[Signature]*

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. DATE: *[Signature]*

DIRECTOR DATE: *[Signature]*

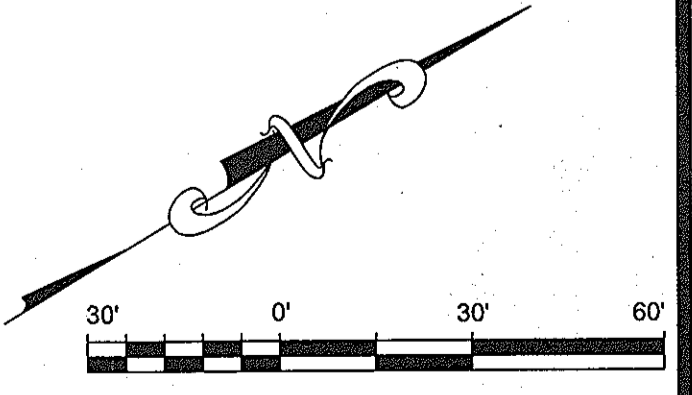
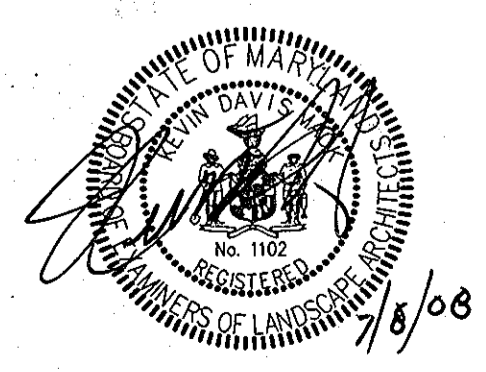
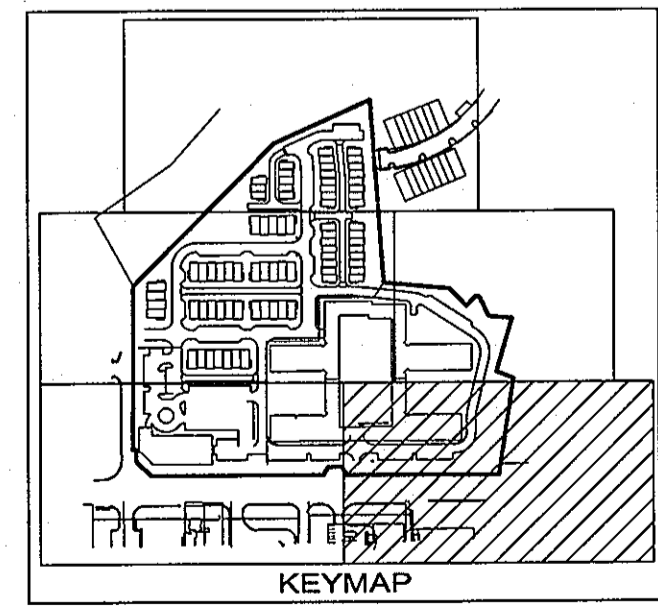
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: *[Signature]*

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: *[Signature]*

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 SIGNATURE OF MANAGER DATE: *[Signature]*
 PRINTED NAME: SCOTT C. REED DATE: JULY 08 2008

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER DATE: *[Signature]*
 PRINTED NAME: RON MIJAN DATE: JULY 08 2008

1. REVISED SHEET NUMBERS 11-3-10



NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7977 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

LANDSCAPE PLAN
MISSION PLACE
 PARCELS A & C
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 6TH ELECTION DISTRICT
 W&S CONTRACT: 24-4402-D
 PLAT NO. 19854-19856 HOWARD COUNTY, MARYLAND

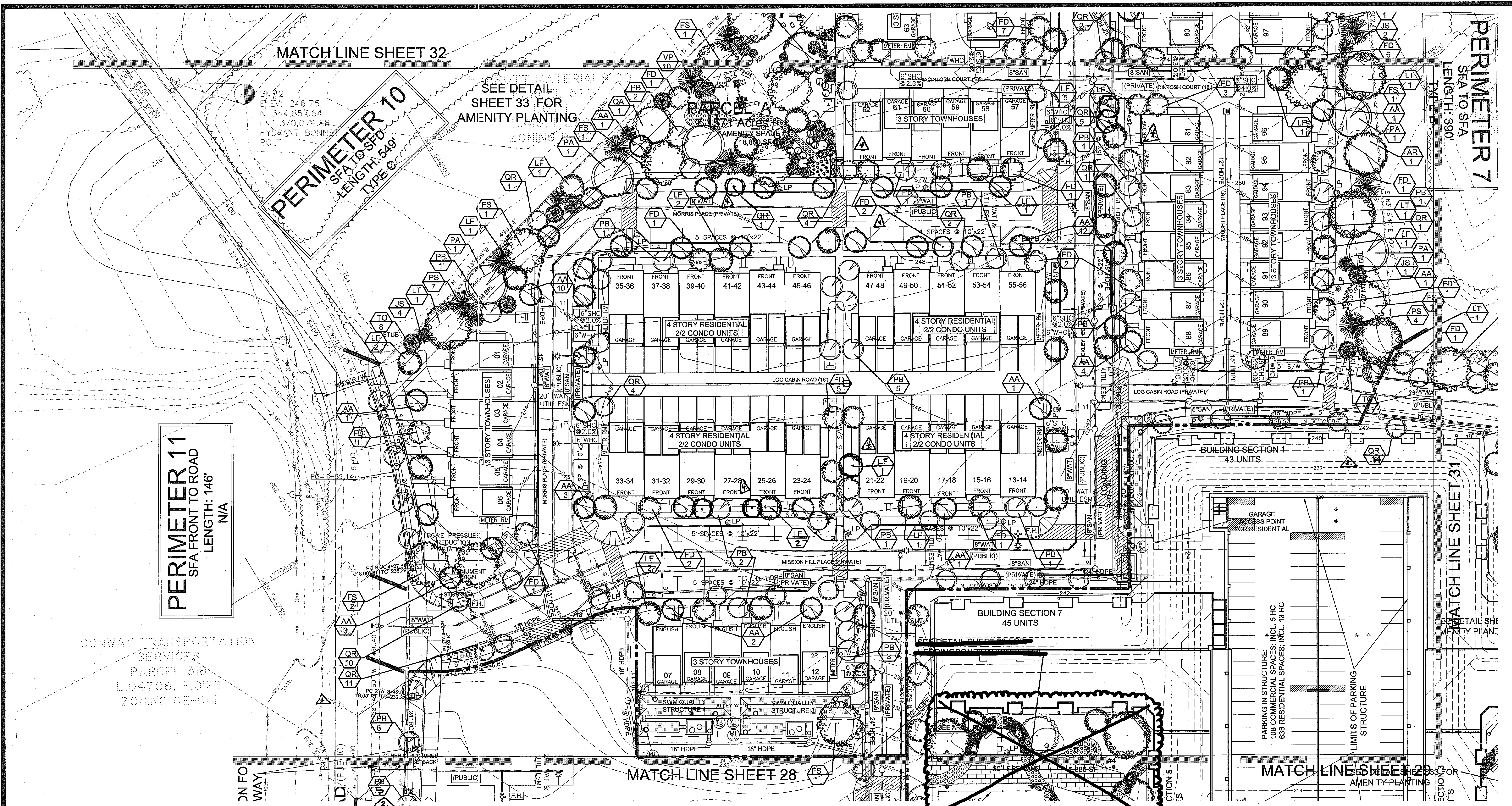
Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.259.7607

OWNER / DEVELOPER:
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 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2ND FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Drawn by: **KDM**
 Designed by: **KDM**
 Checked by: **JMC**
 Zoned: **CAC-CLI**
 Sheet: **30 of 53**

Section:	Area:	Phase:	Scale:	Sheet:
NA	NA	NA	1"=30'	30 of 53
Tax Map Grid & Parcel:	Date:	Prior Submittals:	HO-827	WP-06-096
MAP 43, GRID 14	JULY 2008	ZB 1045M	SDP-07-101	AA-06-016
PARCELS A & C		SP-06-18	F-07-156	

File number:



PERIMETER 11
SFA FRONT TO ROAD
LENGTH: 146'
N/A

PERIMETER 10
SFA TO SFD
LENGTH: 549'
TYPE G

PERIMETER 7
SFA TO SFA
LENGTH: 390'

CONWAY TRANSPORTATION SERVICES
PARCEL 516
L.04708, F.0122
ZONING CE-CL1

MATCH LINE SHEET 28

MATCH LINE SHEET 29

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT DATE: _____

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: Steph Leffler DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION

CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: Scott C. Reed DATE: JULY 08 2008

PRINTED NAME: SCOTT C. REED

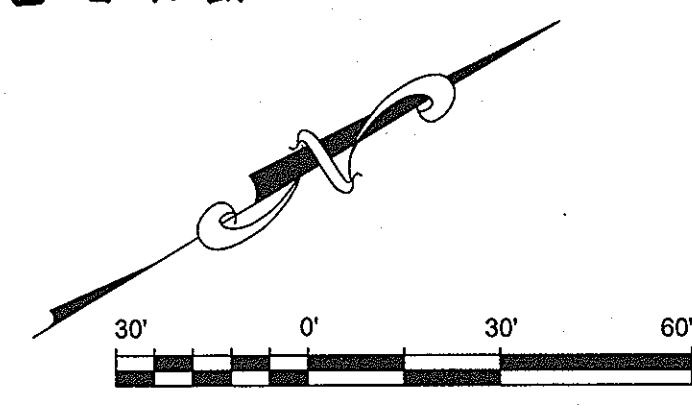
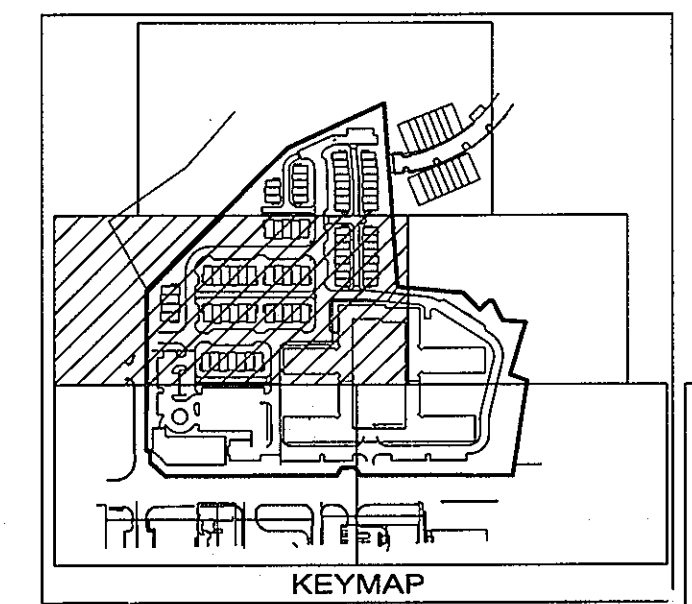
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SIGNATURE OF ENGINEER: Ronald M. Mijan DATE: JULY 08 2008

PRINTED NAME: RON MIJAN

DATE	REVISION	BY
10-14-11	Rev. Tree locations & Tot Lot entrance	4.
11-3-10	REVISED SHEET NUMBERS	3.
11-3-10	REVISED TREE COUNT	2.
11-3-10	REVISED AMENITY AREA	1.



NOTE

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LANDSCAPE PLAN

MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT
PLAT NO. 19254-19260 HOWARD COUNTY, MARYLAND

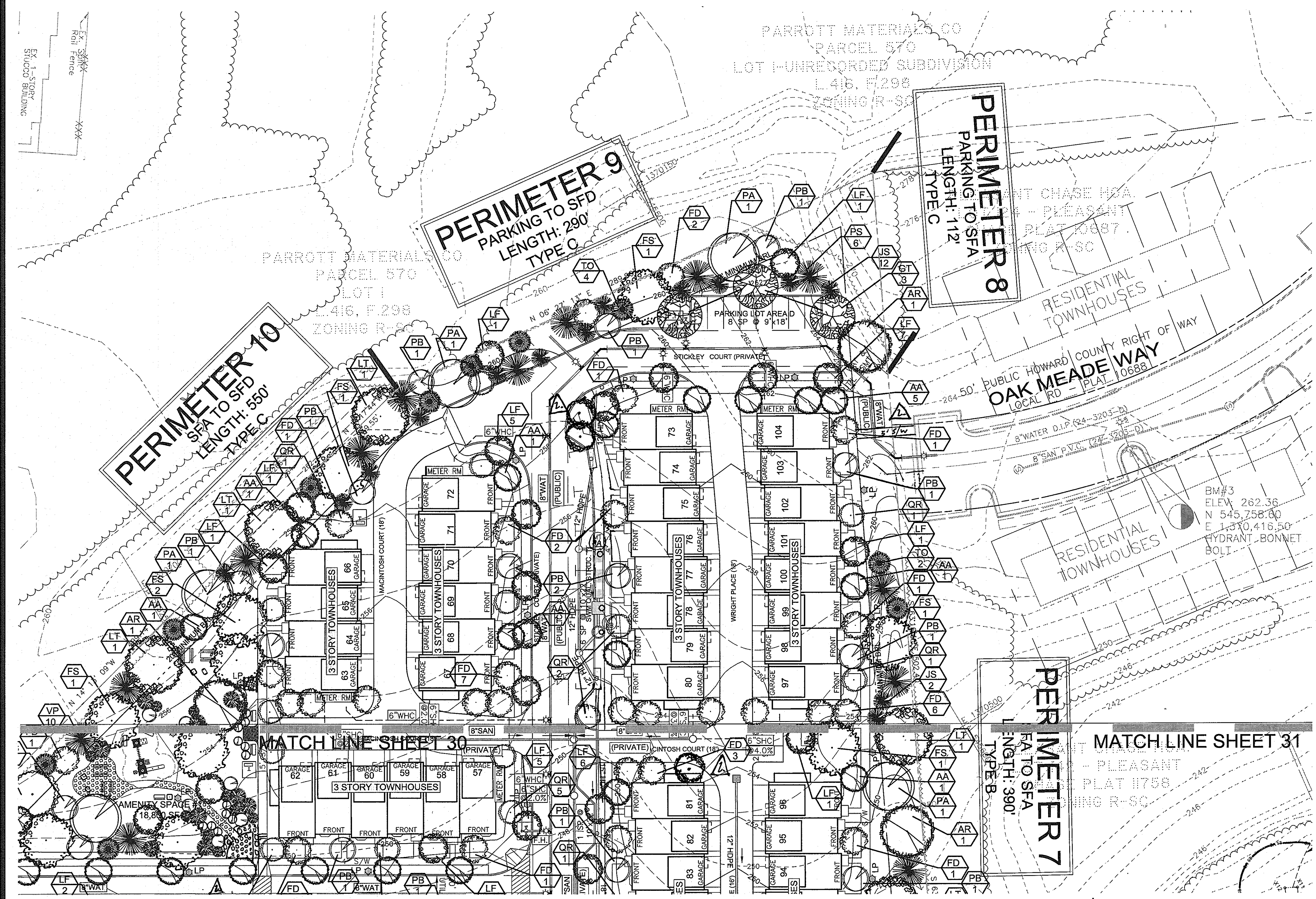
Dewberry
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CATHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

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Drawn by: **KDM**
Designed by: **KDM**
Checked by: **JMC**
Zoned: **CAC-CL1**

Section: **NA** Area: **NA** Phase: **NA** Scale: **1"=30'** Sheet: **31 of 53**

Tax Map Grid & Parcel: **MAP 43, GRID 14** Date: **JULY 2008** Price Submitted: **ZS 1043M SP-06-18 F-07-156** HO-827 SDF-07-101 AA-06-016 WP-06-096 SDF-07-101 AA-06-016



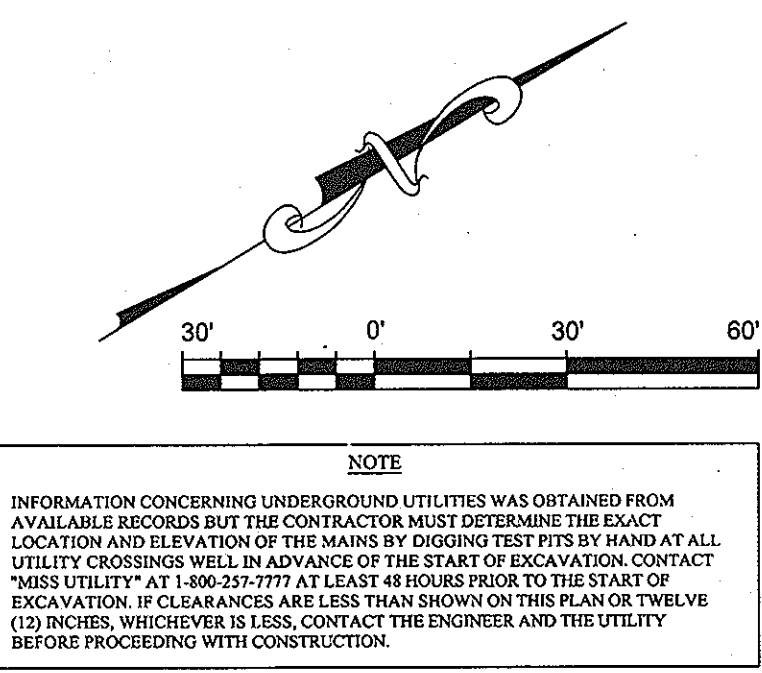
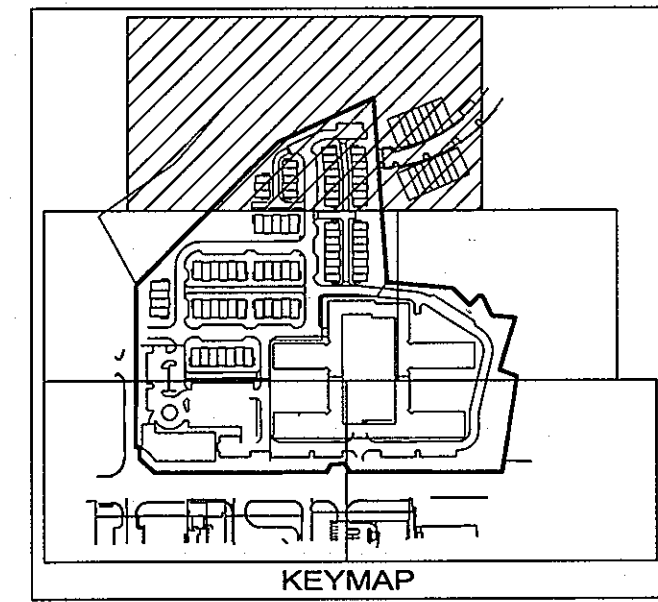
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 SIGNATURE OF MANAGER: [Signature] JULY 08 2008
 PRINTED NAME: SCOTT C. REED

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 SIGNATURE OF ENGINEER: [Signature] JULY 08 2008
 PRINTED NAME: RON MIJAN

LANDSCAPE NOTES:

1. THE OWNER, TENANT AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACE WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED OR REPLACED.
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2. Rev. Toth Entrance, tree & sidewalk locat 10-14-11
 1. REVISED SHEET NUMBERS 11-3-10



LANDSCAPE PLAN
MISSION PLACE
 PARCELS A & C
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 6TH ELECTION DISTRICT
 W&S CONTRACT: 24-4402-D
 PLAT NO. 19054 - 19056 HOWARD COUNTY, MARYLAND

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

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Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zoned: CAC-CLI
 Sheet: 33 of 53

Scale: 1"=30'
 Date: JULY 2008
 File number: [Symbol]

P:\PROJECT\2007\15\CD\DWG\SDP-19054-19056-A-C-PLAN_25-34.dwg, 7/28/2008 11:58:38 AM, sduwskw

SEE SHEETS 38 & 40 FOR AMENITIES 2 & 4 PLANT SCHEDULE

PLANT SCHEDULE

QUANTITY	KEY	SHADE AND STREET	SIZE	ROOT
8	LT	Liriodendron tulipifera TULIP TREE	2 1/2" - 3" CAL	B&B
5	AR	Acer rubrum 'October Glory' OCTOBER GLORY MAPLE	2 1/2" - 3" CAL	B&B
30	FS	Fagus sylvatica atropunicea PURPLE LEAF BEECH	2 1/2" - 3" CAL	B&B
10	PA	Platanus x acerfolia 'Columbia' COLUMBIA LONDON PLANE TREE	2 1/2" - 3" CAL	B&B
7	GT	Gleditsia triacanthos inermis 'Suncole' SUNCOLE HONEYLOCUST	2 1/2" - 3" CAL	B&B
1	QA	Quercus acutissima SAWTOOTH OAK	2 1/2" - 3" CAL	B&B
50	LF	Liriodendron tulipifera 'Fastigiata' COLUMNAR TULIP TREE	2 1/2" - 3" CAL	B&B
52	AA	Acer rubrum 'Armstrong' ARMSTRONG MAPLE	2 1/2" - 3" CAL	B&B
61	FD	Fagus sylvatica 'Dawcyk Purple' DAWYCK PURPLE BEECH	2 1/2" - 3" CAL	B&B
74	PB	Platanus x acerfolia 'Bloodgood' BLOODGOOD LONDON PLANE TREE	2 1/2" - 3" CAL	B&B
73	QR	Quercus x. robur 'Crimson Spire' CRIMSON SPIRE ENGLISH OAK	2 1/2" - 3" CAL	B&B
33	AM	Acer ginnala AMUR MAPLE	2 1/2" - 3" CAL	B&B
2	CC	Cercis canadensis EASTERN REDBUD	2 1/2" - 3" CAL	B&B

SEE SHEETS 38 & 40 FOR AMENITIES 2 & 4 PLANT SCHEDULE

PLANT SCHEDULE

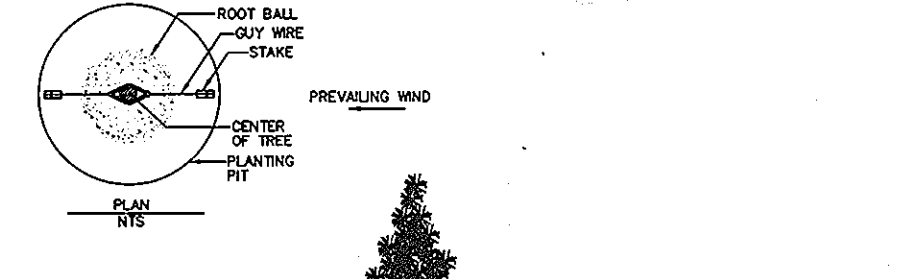
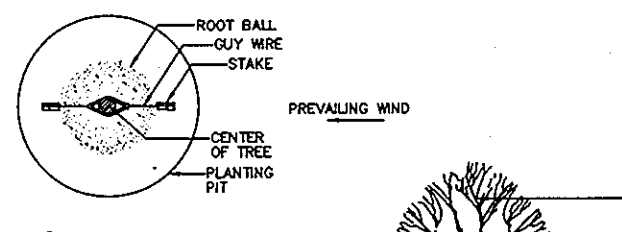
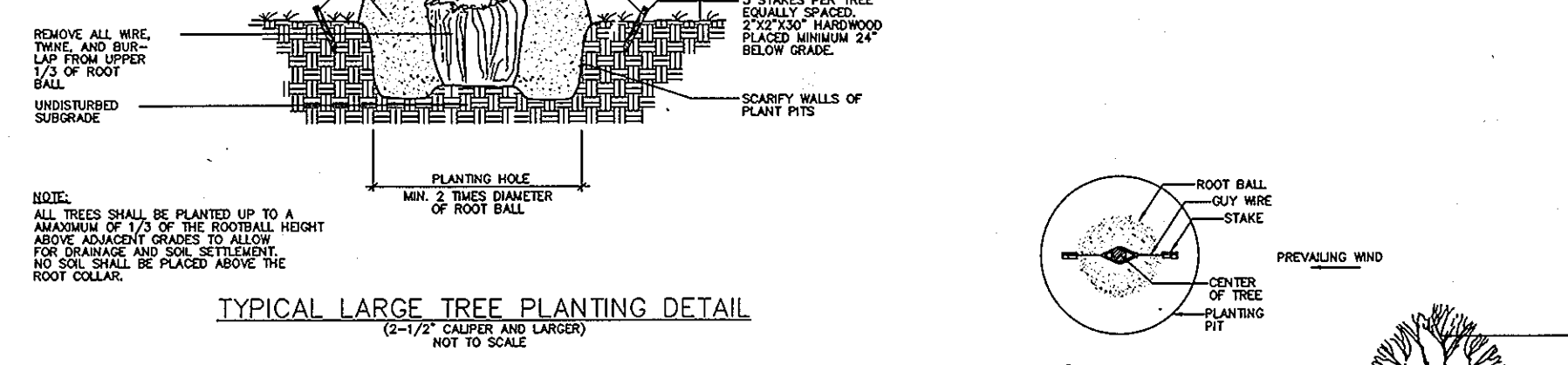
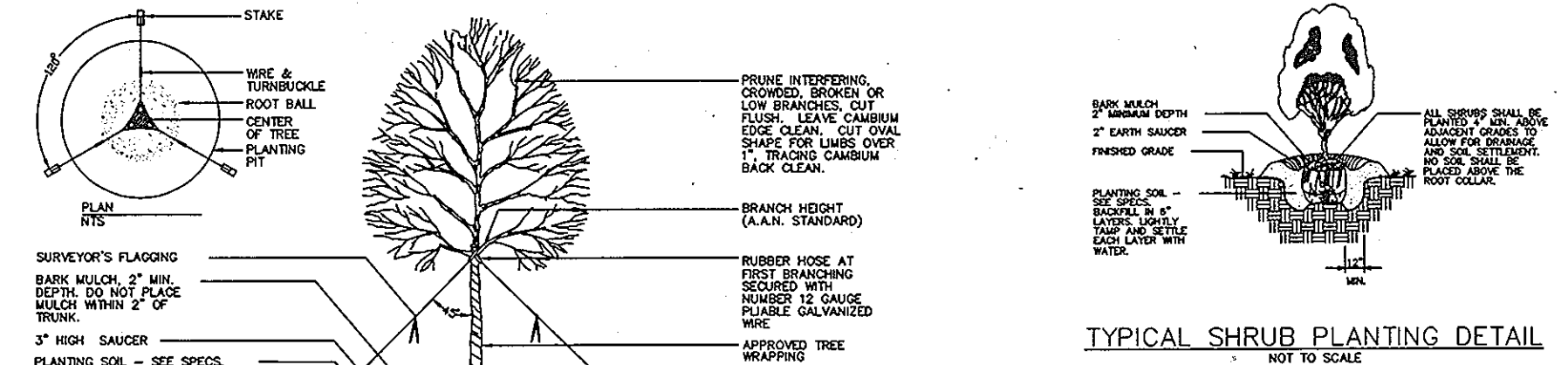
QUANTITY	KEY	EVERGREEN TREES	SIZE	ROOT
17	PS	Pinus strobus COLUMNAR WHITE PINE	6'-8"	B&B
22	TO	Thuja occidentalis 'Douglasii Pyramidalis' DOUGLAS PYRAMID ARBORVITAE	6'-8"	B&B
25	JS	Juniperus scopulorum 'Sutherland' SUTHERLAND JUNIPER	6'-8"	B&B
9	PP	Picea pungens 'Thompsonii' THOMPSEN BLUE SPRUCE	6'-8"	B&B
EVERGREEN SHRUBS				
30	JC	Juniperus chinensis 'Pfitzeriana Compacta' COMPACT PFTIZER JUNIPER	2'-2 1/2' HT	CONT.
12	IG	Ilex glabra 'Shamrock' SHAMROCK INKBERRY	2'-2 1/2' HT	CONT.
0	JH	Juniperus horizontalis 'Mother Lode' GOLDEN CREEPING JUNIPER	2'-2 1/2' HT	CONT.
DECIDUOUS SHRUBS				
7	HQ	Hydrangea quercifolia 'Alice' ALICE OAKLEAF HYDRANGEA	2 1/2'-3' HT	CONT.
10	VP	Viburnum plicatum 'Summer Snowflake' SUMMER SNOW DOUBLEFILE VIBURNUM	2 1/2'-3' HT	CONT.
23	RO	Rhododendron 'Olga Mezitt' OLGA MEZITT RHODODENDRON	2 1/2'-3' HT	CONT.
59	BG	Buxus 'Green Velvet' GREEN VELVET BOXWOOD	2 1/2'-3' HT	CONT.
10	RP	Rhododendron P.J.M. 'Compactum' P.J.M. RHODODENDRON	2 1/2'-3' HT	CONT.
64	AG	Abelia x. grandiflora 'Little Richard' LITTLE RICHARD ABELIA	2 1/2'-3' HT	CONT.
PERENNIALS				
53	PF	Pennisetum alopecuroides FOUNTAIN GRASS	1GAL	CONT.
180	IC	Imperata cylindrica 'Red Baron' JAPANESE BLOOD GRASS	1GAL	CONT.
48	PC	Phlox subulata CREEPING PHLOX	1GAL	CONT.
12	LM	Liriope muscari LIRIOPE	1GAL	CONT.

REQUIRED LANDSCAPING CALCULATIONS

PERIMETER #	EDGE CONDITION	LENGTH	BUFFER REQUIRED	PLANTS REQUIRED	PLANTS PROVIDED
PERIMETER #2	PARKING TO ROAD	263'	TYPE E	7	7
PERIMETER #3	PARKING TO ROAD	304'	TYPE E	8	8
PERIMETER #4	LANDSCAPE EDGE ADJACENT TO ROADWAY	82'	N/A	0	0
PERIMETER #5	APARTMENTS TO SFA	440'	EX. FOREST TO REMAIN	8	8
PERIMETER #6	APARTMENTS TO SFA	370'	TYPE B	10	10
PERIMETER #7	SFA TO SFA	390'	TYPE B	8	8
PERIMETER #8	PARKING TO SFA	112'	TYPE C	3	3
PERIMETER #9	PARKING TO SFD	290'	TYPE C	8	8
PERIMETER #10	SFA TO SFD	550'	TYPE C	14	14
PERIMETER #11	RESIDENTIAL FRONT TO ROAD	142'	N/A	0	0
				PLANTS REQUIRED	PLANTS PROVIDED
TOTAL PERIMETER DECIDUOUS TREES:				56	56
TOTAL PERIMETER EVERGREEN TREES:				69	69
TOTAL PERIMETER SHRUBS:				142	142

SPECIMEN TREE IDENTIFICATION LIST

BOTANICAL NAME/COMMON NAME	TRUNK Ø (d.b.h.)	TREE HEIGHT	TREE CANOPY	TREE CONDITION	TO BE RETAINED
1. Quercus alba WHITE OAK	34"	60-70'	40'	GOOD	NO
2. Quercus alba WHITE OAK	38"	60-70'	40'	GOOD	NO
3. Quercus rubra NORTHERN RED OAK	40"	65-75'	40-50'	FAIR	NO
4. Morus alba WHITE MULBERRY	31"	60-70'	25-35'	POOR	NO
5. Quercus velutina BLACK OAK	30"	90-100'	40-60'	POOR	NO



NOTES:
NO LANDSCAPING WILL BE LOCATED WITHIN ANY PUBLIC WATER, SEWER, OR STORM DRAIN EASEMENT.
LANDSCAPE SURETY WILL BE PART OF THE DEVELOPER'S AGREEMENT.
ALL EXISTING FACILITIES, WELLS, SEPTIC SYSTEMS, UTILITIES, BUILDINGS AND STRUCTURES ON SITE WILL BE REMOVED OR SEALED & ABANDONED IN PLACE IN ACCORDANCE WITH ALL APPLICABLE PERMITS AND REGULATIONS.
ALL EXISTING BG&E POLES TO BE REMOVED OR RELOCATED.

TOTAL LANDSCAPING ON-SITE
TOTAL DECIDUOUS TREES: 427
TOTAL EVERGREEN TREES: 79
TOTAL SHRUBS: 465
TOTAL PERENNIALS: 441

FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$133,270 FOR 376 SHADE TREES @ \$300/TREE, 69 EVERGREEN TREES @ \$150/TREE, 142 SHRUBS @ \$305/SHRUB, AND 106 FEET OF FENCE AROUND THE TRASH ENCLOSURE @ \$10/LF.

LANDSCAPE DETAILS
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
6TH ELECTION DISTRICT
FLAT NO. 1954-1959
HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.912.3600

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 35 of 53

Section: NA Area: NA Phase: NONE Scale: 1"=40'-0"

Tax Map Grid & Parcel: NA Date: JULY 2008

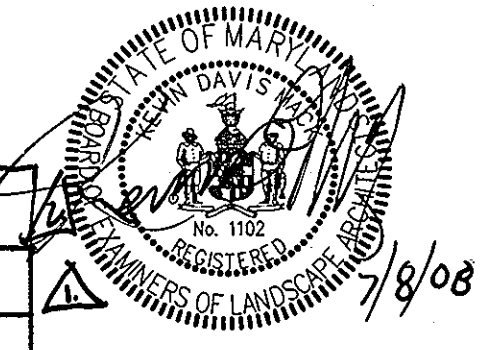
Priority Submittals:
ZB 1045M
SF-06-18
F-07-156

HO-827
SDP-07-101
SDP-07-113

WP-06-096
AA-06-016

File number: 1954-1959

DATE	REVISIONS
11-3-10	REVISED PLANT LIST
11-3-10	REVISED SHEET NUMBERS



NOTE
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-271-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
DATE: 8/15/08

HOWARD SOIL CONSERVATION DISTRICT
DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
DATE: 8/15/08

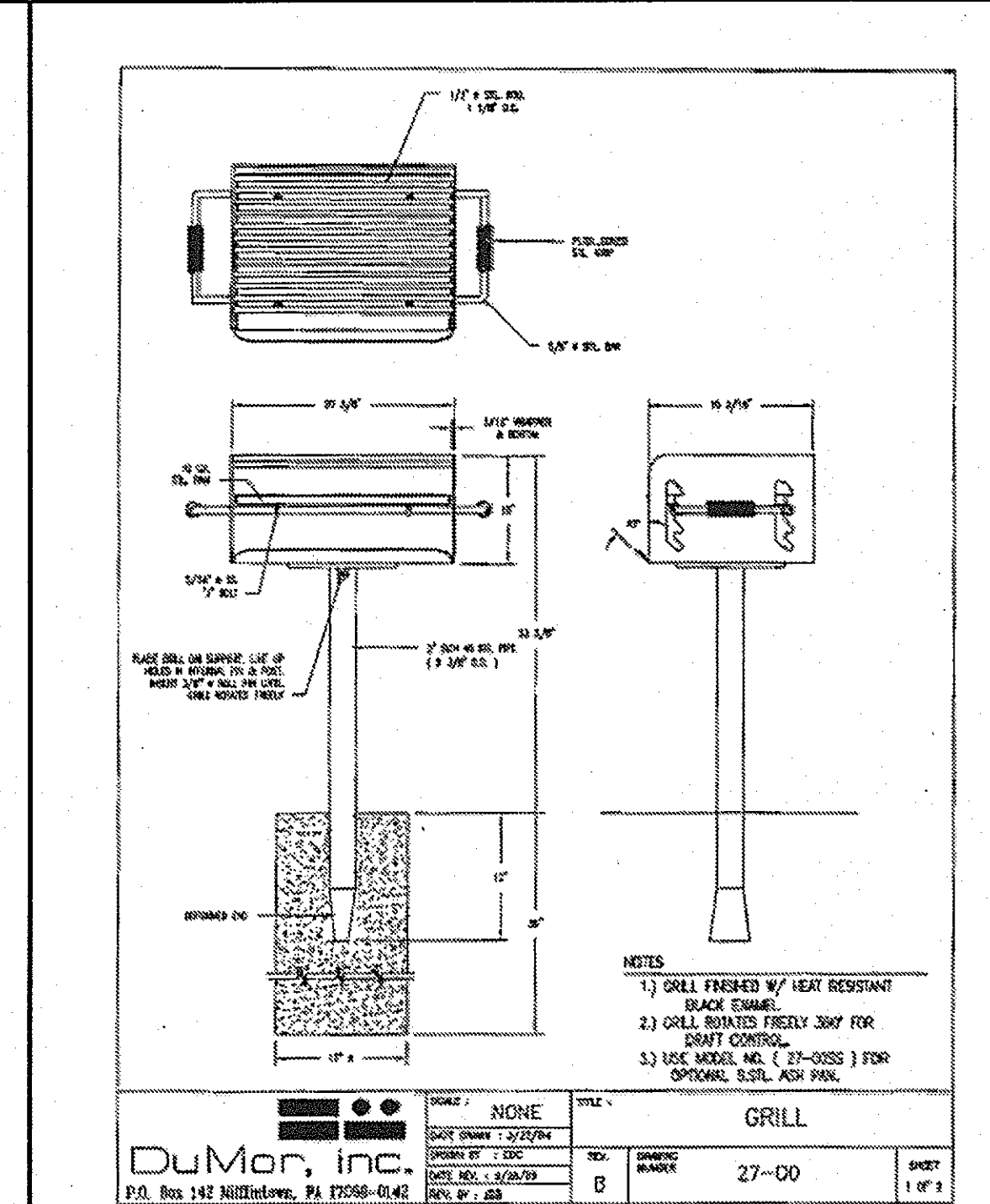
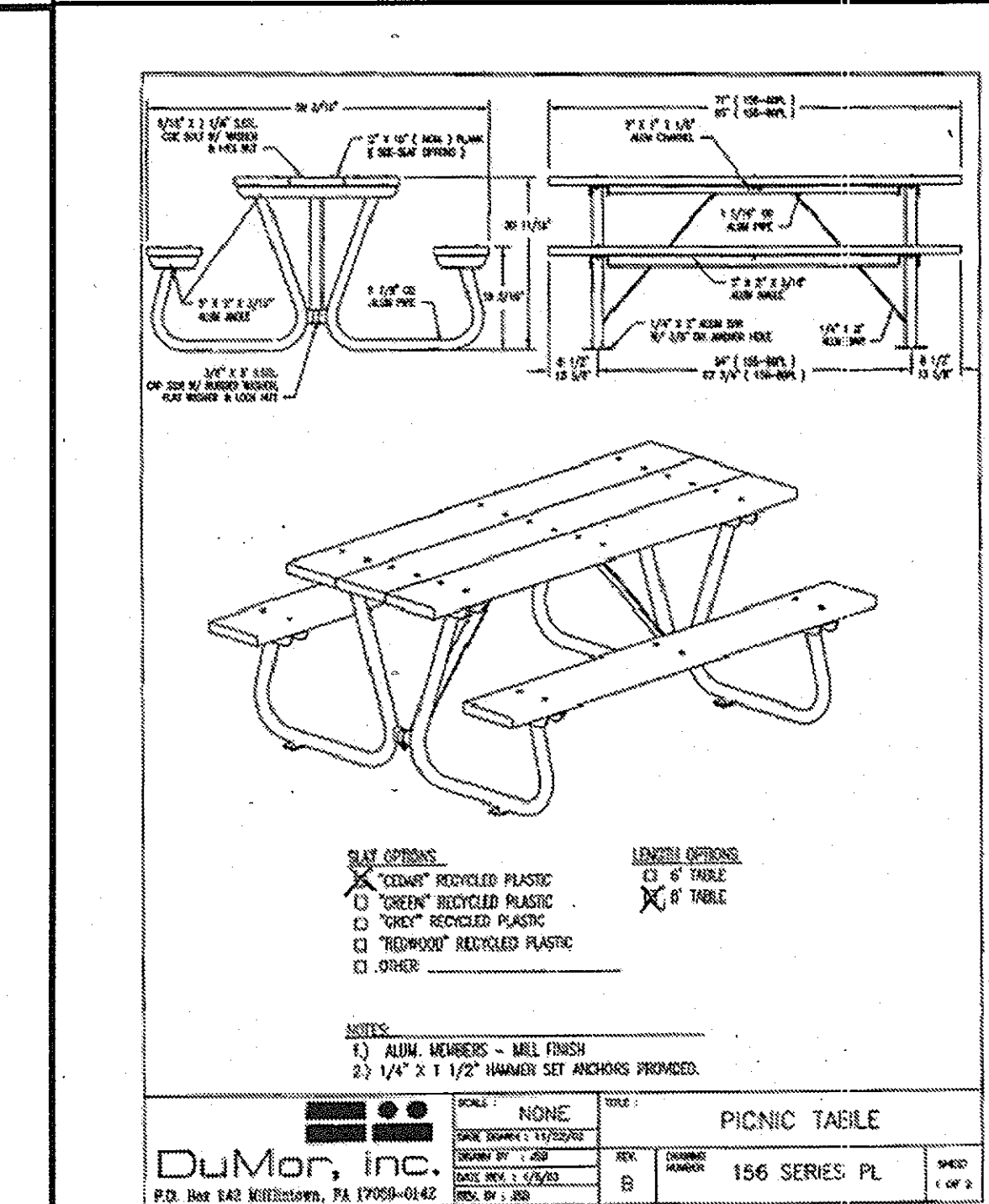
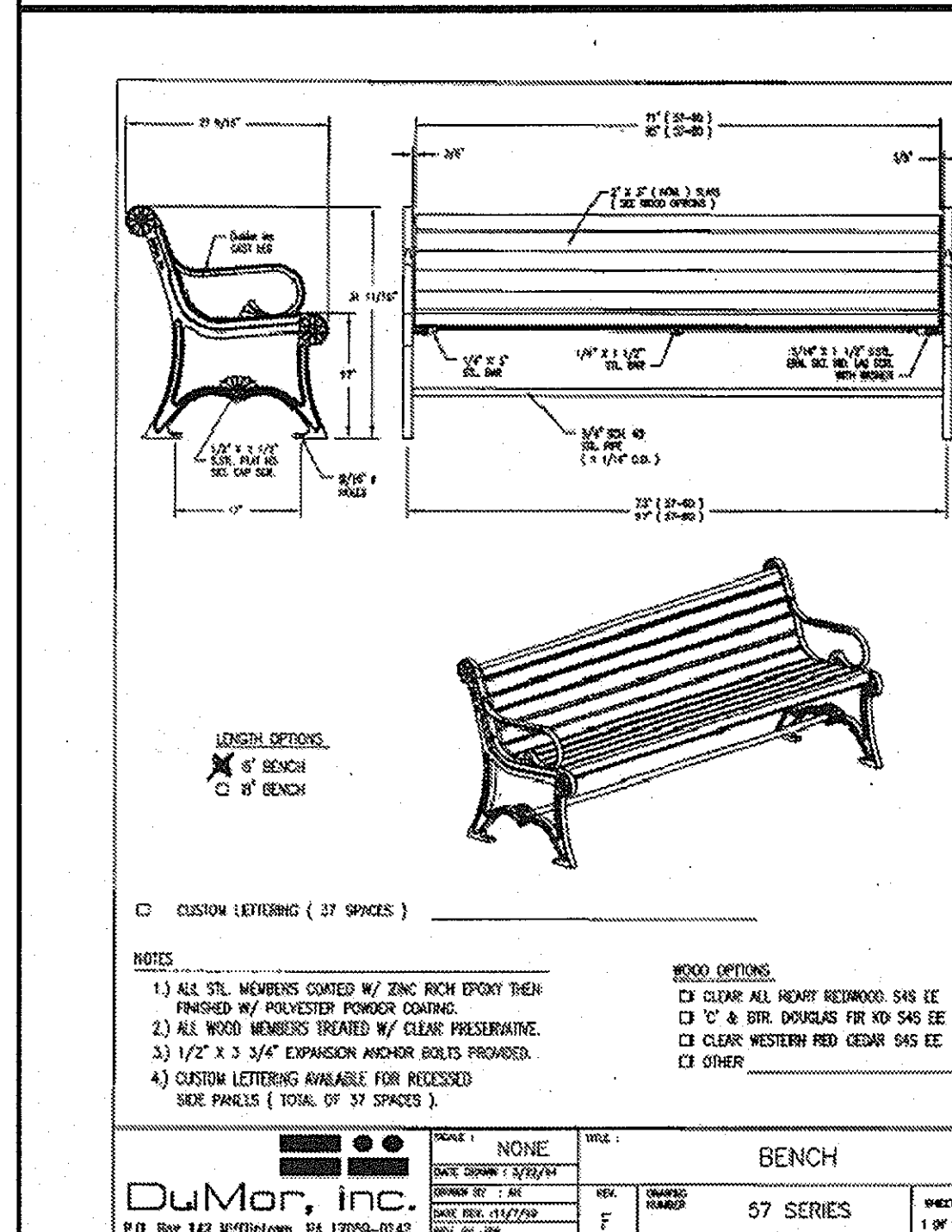
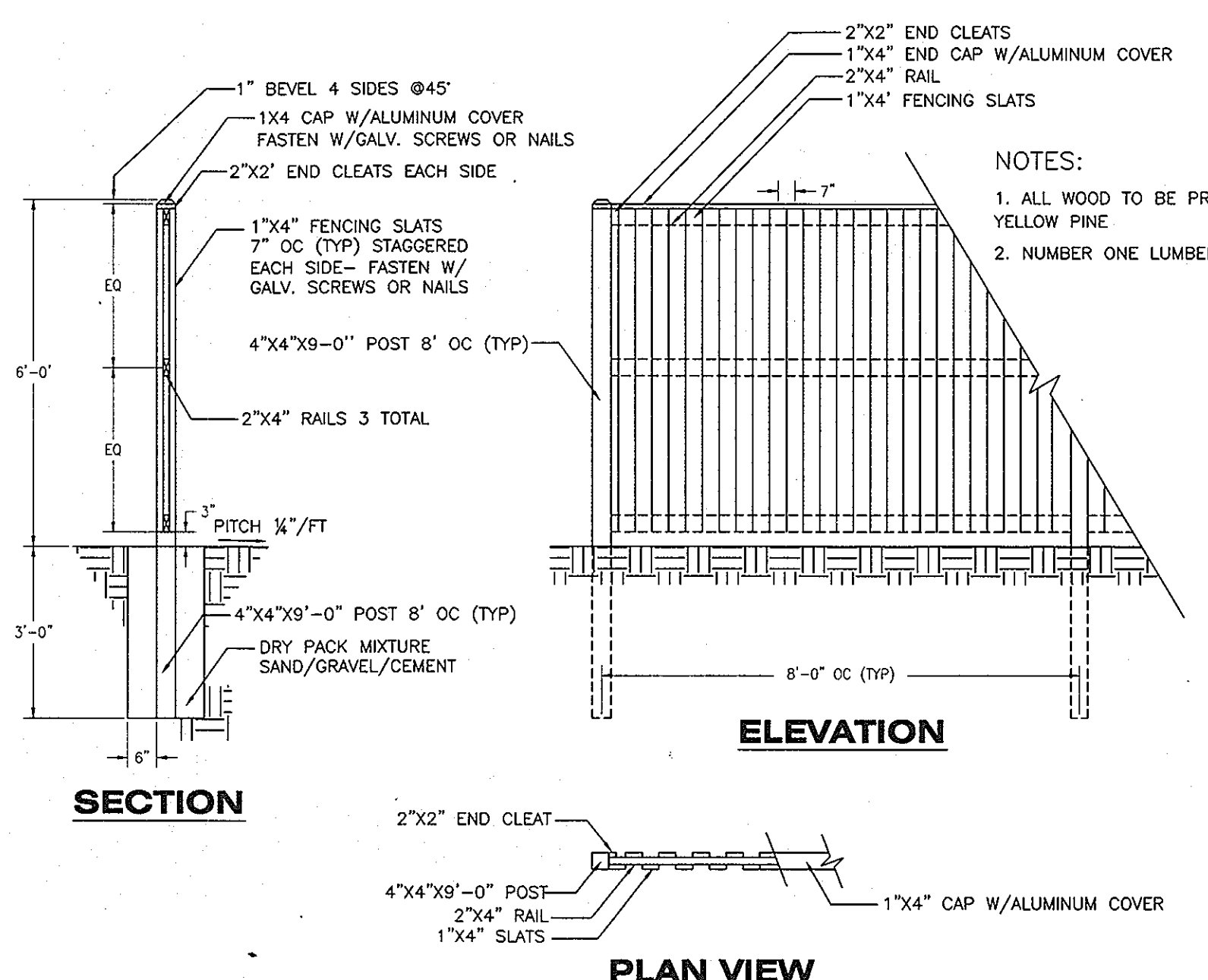
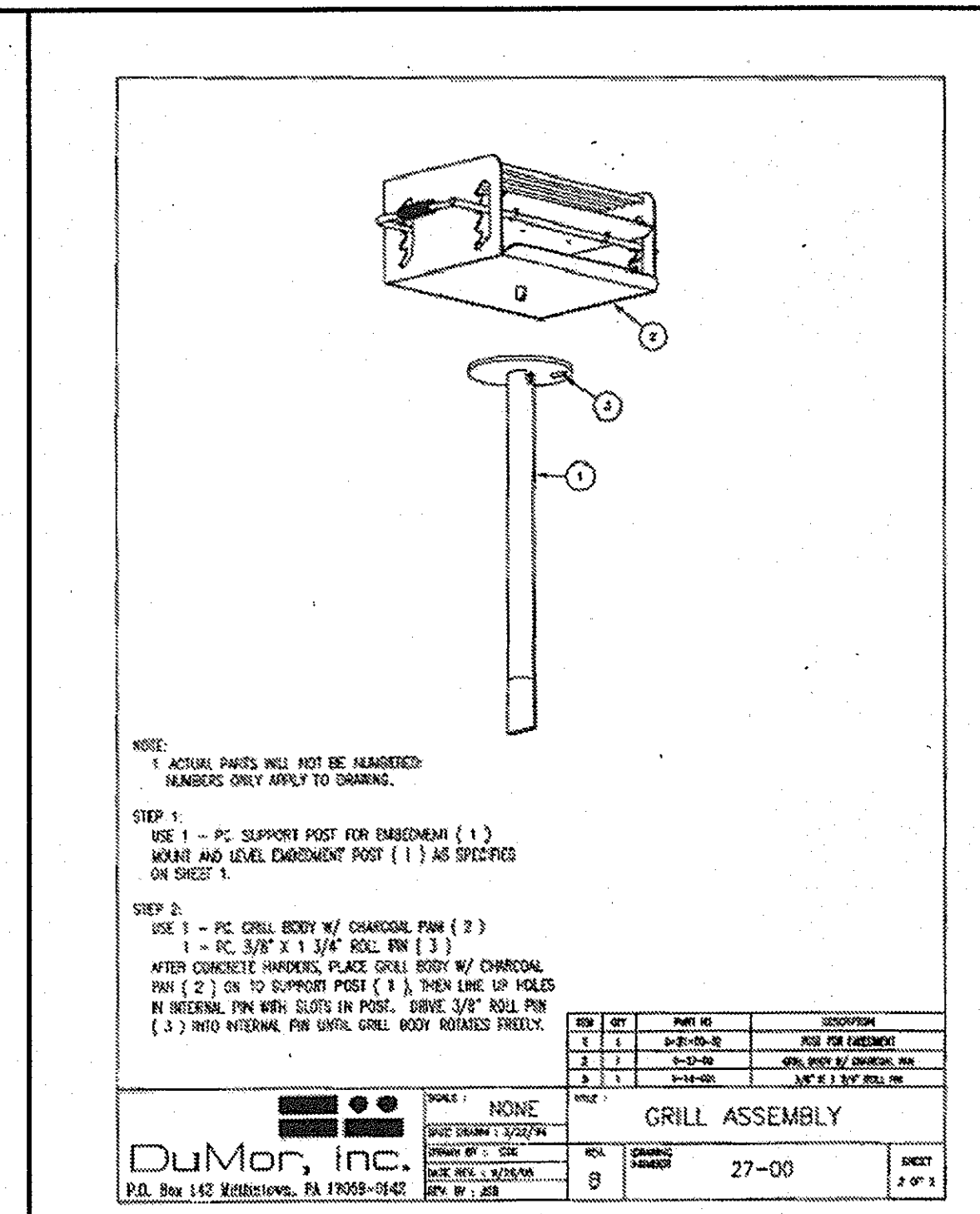
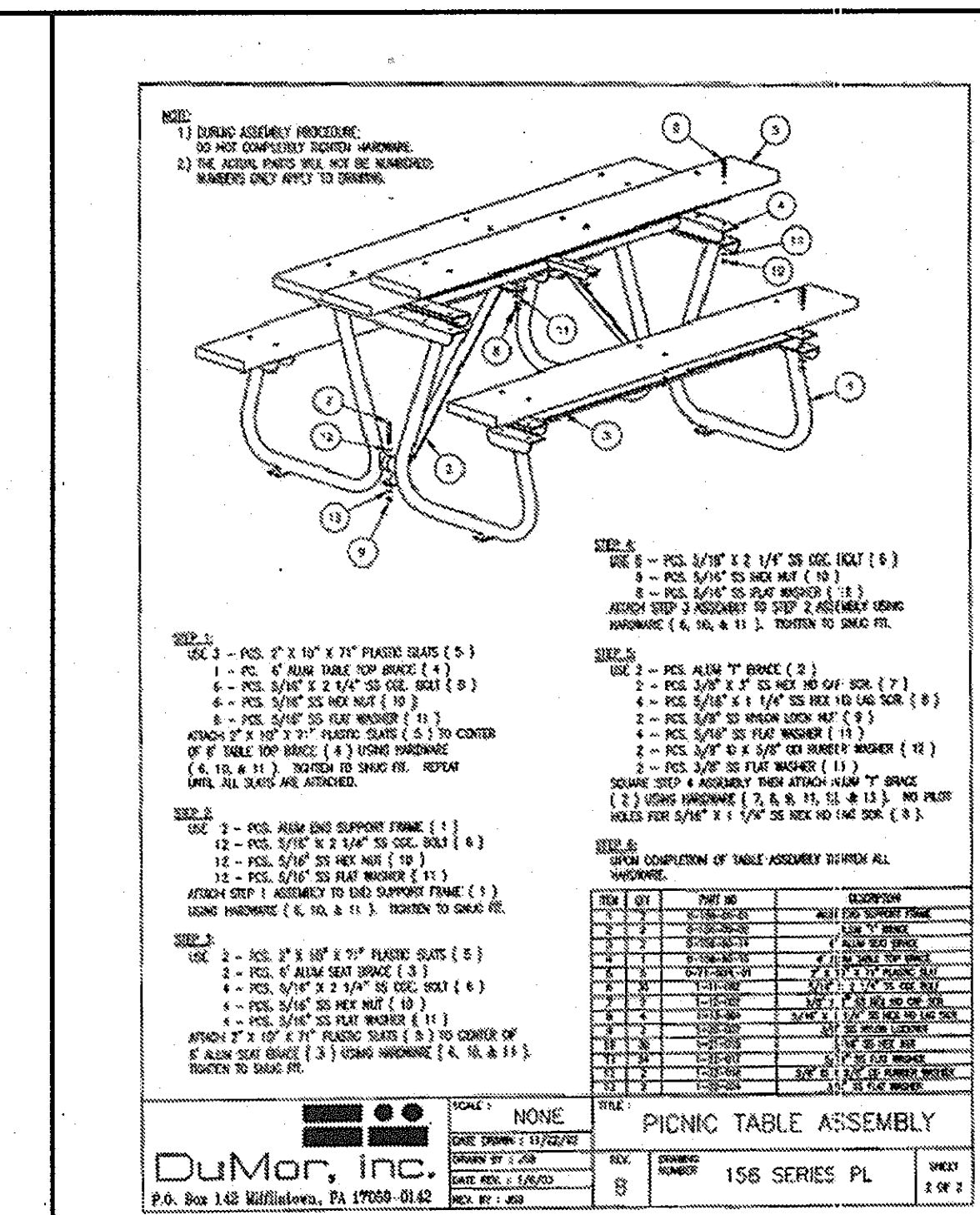
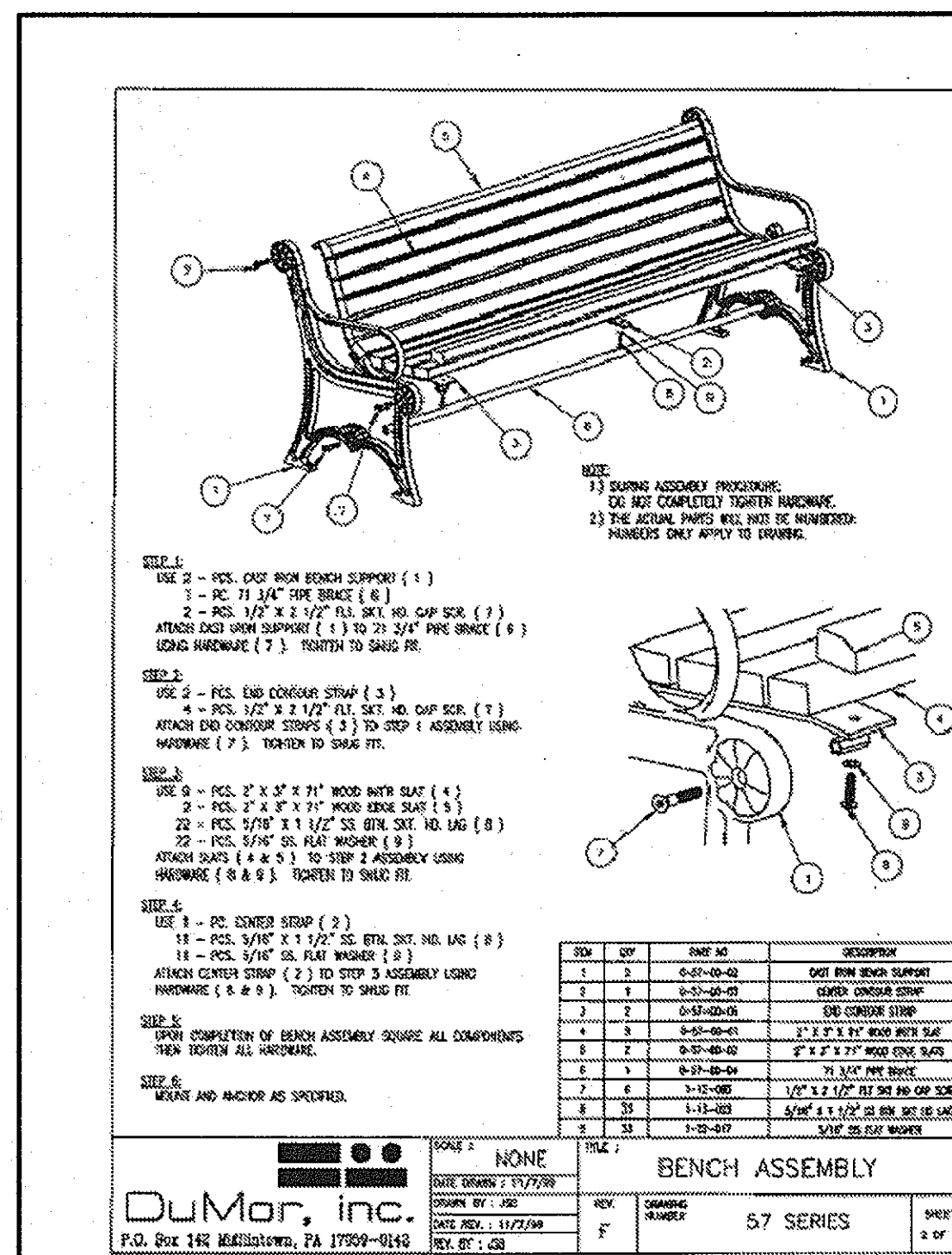
DIRECTOR: [Signature]
CHIEF, DEVELOPMENT ENGINEERING DIVISION CE

T. Marchant Sr. CH
CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
DATE: JULY 08 2008
SIGNATURE OF MANAGER: [Signature]
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
DATE: JULY 08 2008
SIGNATURE OF ENGINEER: [Signature]
PRINTED NAME: RON MIJAN

FOREST STAND F1 ANALYSIS											
KEY	TYPE OF COMMUNITY	AREA	SOIL INFORMATION			HABITAT VALUE	EXISTING VEGETATION dominant sp. & %	STAND CHARACTERISTICS			FOREST AREA IN SENSITIVE ENVIRONMENTS
			SOIL TYPE	TYPICAL FOREST COVER FOR SOIL	WOODLAND SUITABILITY			SIZE DIAM.	AGE	GENERAL CONDITION	
F-1	upland hardwood	2.64	SfD2	PINE	75-84	not a critical habitat	dominant and co-dominant sp. beeches, poplar, red maple, green ash, various oak.	6"-20"	5 to 15	closed canopy good condition	0
			SfC2	PINE	75-84		dominant species beeches, poplar, red maple, green ash, various oak, beach pine.	6"-20"	5 to 15	closed canopy	0
FOREST STAND F2 ANALYSIS											
F-2	upland hardwood	1.46	SfC2	PINE	75-84	not a critical habitat	dominant and co-dominant sp. beeches, poplar, red maple, green ash, various oak.	6"-20"	5 to 15	closed canopy good condition	0
			BeB2	PINE and OAK	65-74		beach pine	6"-20"	5 to 10	closed canopy	0
FOREST STAND F3 ANALYSIS											
F-3	lowland hardwood	0.25	SfC2	PINE	75-84	high	dominant and co-dominant sp. poplar, red maple, various oak.	6"-20"	15 to 30	closed canopy fair condition heavy dumping and trash on ground level; invasive groundcover	0.25 ac.



FOREST STAND DELINEATION

Three distinct forest stands were identified along with turf areas and hedgerows located within the subject property as follows:

Forest Stand F-1: This stand is approximately 2.64 acres of mid-age mixed hardwood forest with some variation in species composition along the stand fringe. The main characteristic of this upland forest stand is the size of the dominant species. Among these species are tulip poplar (*Liriodendron tulipifera*), American beech (*Fagus grandifolia*) and oak species (*Quercus spp.*), with a size range between 6" and 20" d.b.h. The understory is a mixture of mostly beech, green ash (*Fraxinus pennsylvanica*), red maple (*Acer rubrum*), hickory (*Carya sp.*), greenbrier (*Smilax sp.*), sweet gum (*Liquidambar styraciflua*) and various oak species. There are few understory species in this stand. The canopy closure is approximately 99%. Herbaceous species were not observed (snow time) apart from the edge of the forest. The preservation priority is high because a wetland of approximately 5,117 square feet is associated with this forest.

Forest Stand F-2: This upland forest stand occurs on approximately 1.46 acres of the Subject Property with some variation in species composition along the stand's fringe. The canopy comprises white oak (*Quercus alba*), red maple, sweet gum, and green ash. Canopy closure is approximately 75%. This forest stand is in an early seral successional level of hardwood development. Due to this stand's stage of development, most of the size classes of dominant species are in the range of 6" to 20" d.b.h. The understory composition is a mixture of black cherry (*Prunus serotina*), green ash, beech, scrub pine (*Pinus virginiana*) and eastern red cedar (*Juniperus virginiana*). The coverage within the understory is 60%. Among herbaceous species are Japanese honeysuckle (*Lonicera japonica*), brambles (*Rubus sp.*), Asiatic bittersweet (*Celastrus orbiculatus*), winterberry (*Ilex verticillata*), poison ivy (*Rhus radicans*), and other grasses. No wetland areas have been identified within this forest stand. The preservation priority is high.

Forest Stand F-3: This forest stand occurs on approximately 0.25 acres of the subject property and is a continuation of a larger forest stand on the north. The canopy composition is a mixture of red maple, tulip poplar, and oak. The understory is very dense with some hardwood saplings but mostly with invasive species such as multiflora rose (*Rosa multiflora*), greenbrier, honeysuckle, English ivy (*Hedera helix*), common onion grass (*Allium vineale*), and poison ivy. This stand is contiguous to a stream and contains approximately 1,282 square feet of wetlands and 5,877 square feet of 100-year flood plain, which makes it high priority for preservation. There is a significant amount of trash and debris along the stream bank.

Building Area -1: Building Area 1 comprises of 3.23 acres of land; ninety seven (97%) percent of it is covered by buildings and gravel parking. Although there are small green areas along the perimeter, there are no trees or shrubs within the area.

Building Area -2: Building Area 2 is totally covered by buildings and asphalt parking. There are no trees or any vegetation.

TURF-1: Turf 1 is comprised of the majority of Parcels 525, 446 and 447; it contains several houses, access driveways and a couple of wood sheds. The topography slopes down west to east. Four specimen trees were identified on this lot; a 31" white mulberry (*Morus alba*), two white oaks 34" and 36", and a 40" northern red oak (*Quercus borealis*). No environmentally sensitive areas are associated with TURF-1.

Hedgerow H-1: This upland turf row is a mix of trees, shrubs, and herbaceous species typical of middle succession growth on unused areas. The canopy comprises three sycamores (*Platanus occidentalis*), one tulip poplar, red maple, and white oak. The understory is made of green ash, various oak species, scrub pine, and red maple. Among the herbaceous species are greenbrier, bramble, honeysuckle, multiflora rose, winter berry, and poison ivy. No environmentally sensitive areas are associated with H-1.

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

HOWARD COUNTY CONSERVATION DISTRICT DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT: 8/15/08

BY THE DEVELOPER: [Signature] JULY 08 2008

BY THE ENGINEER: [Signature] JULY 08 2008

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY CONSERVATION DISTRICT."

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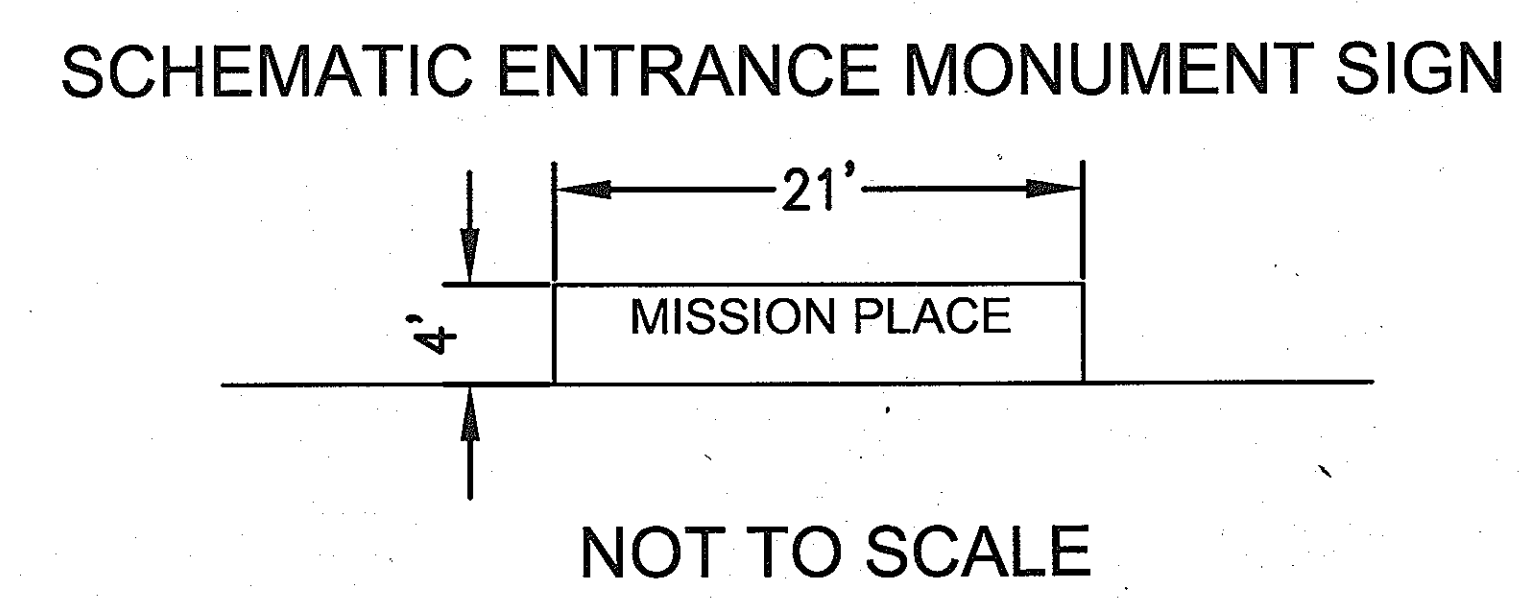
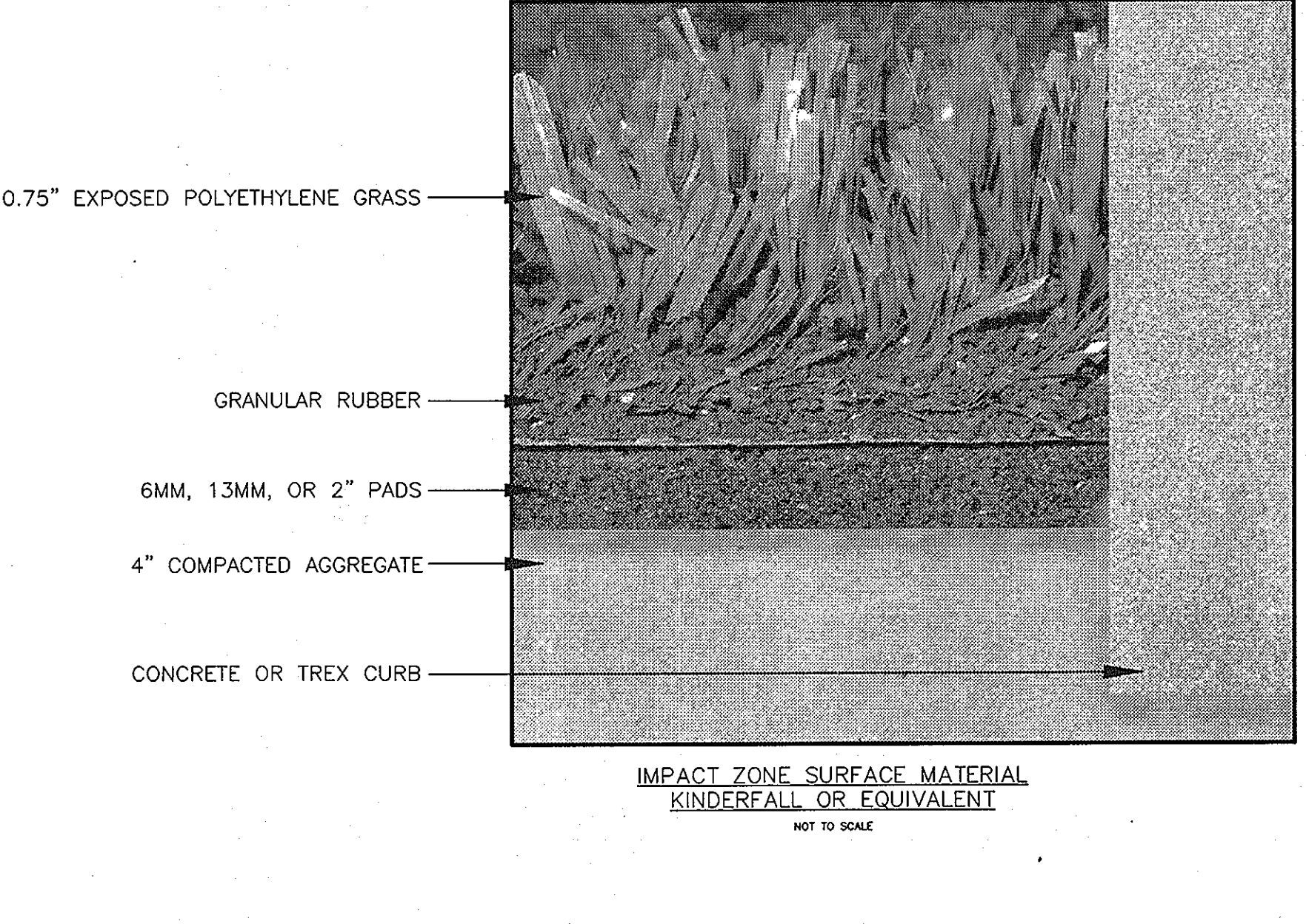
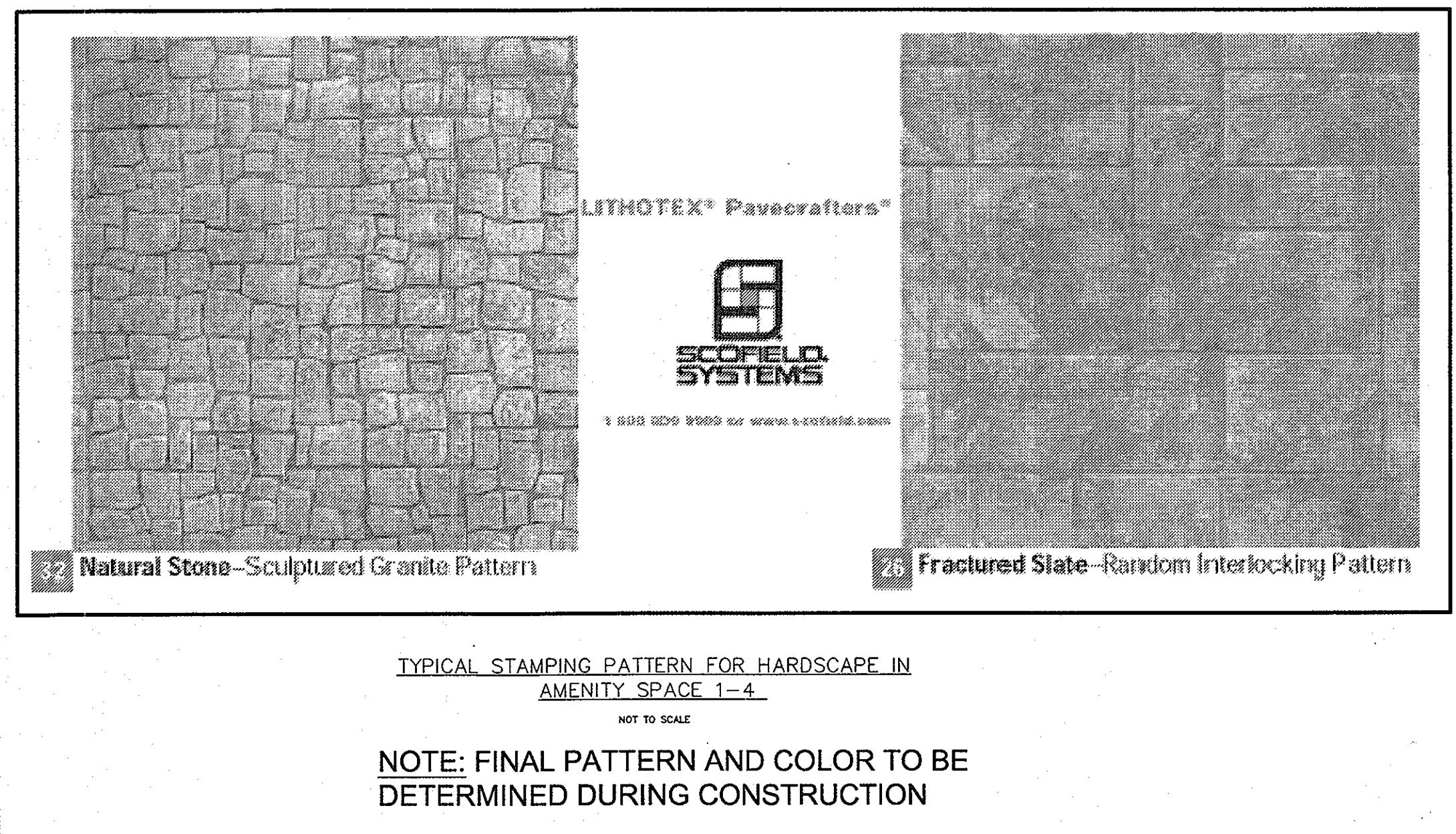
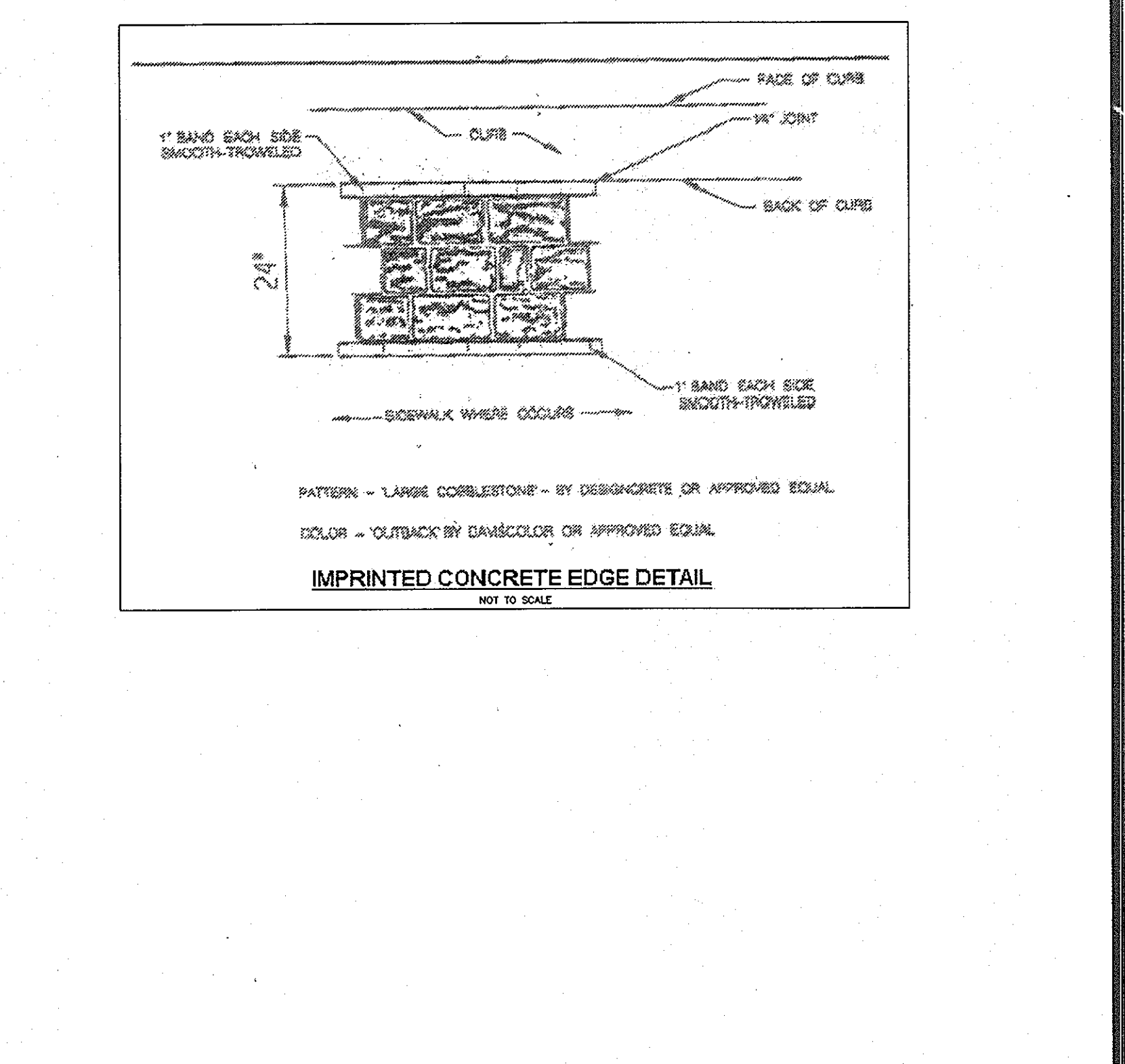
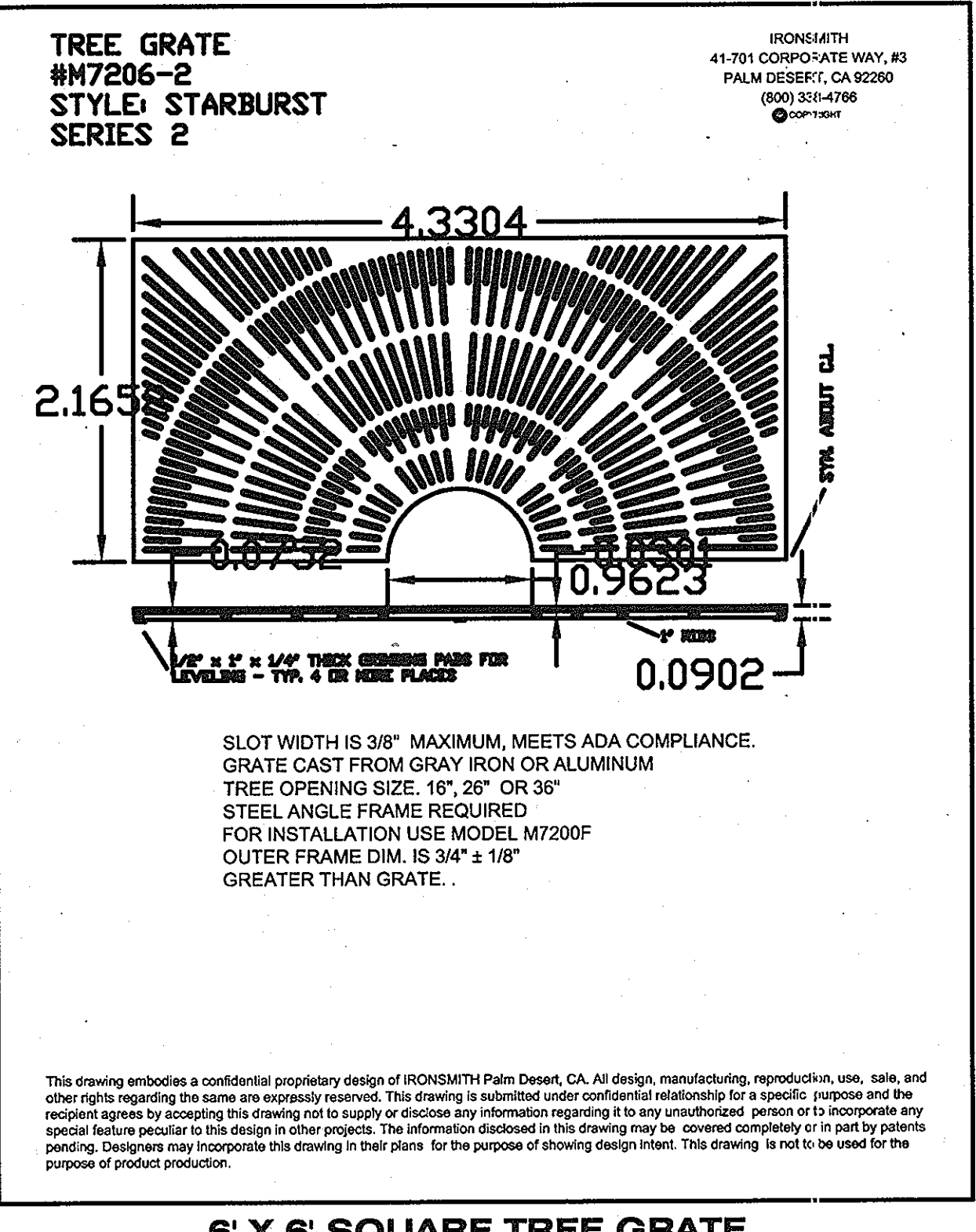
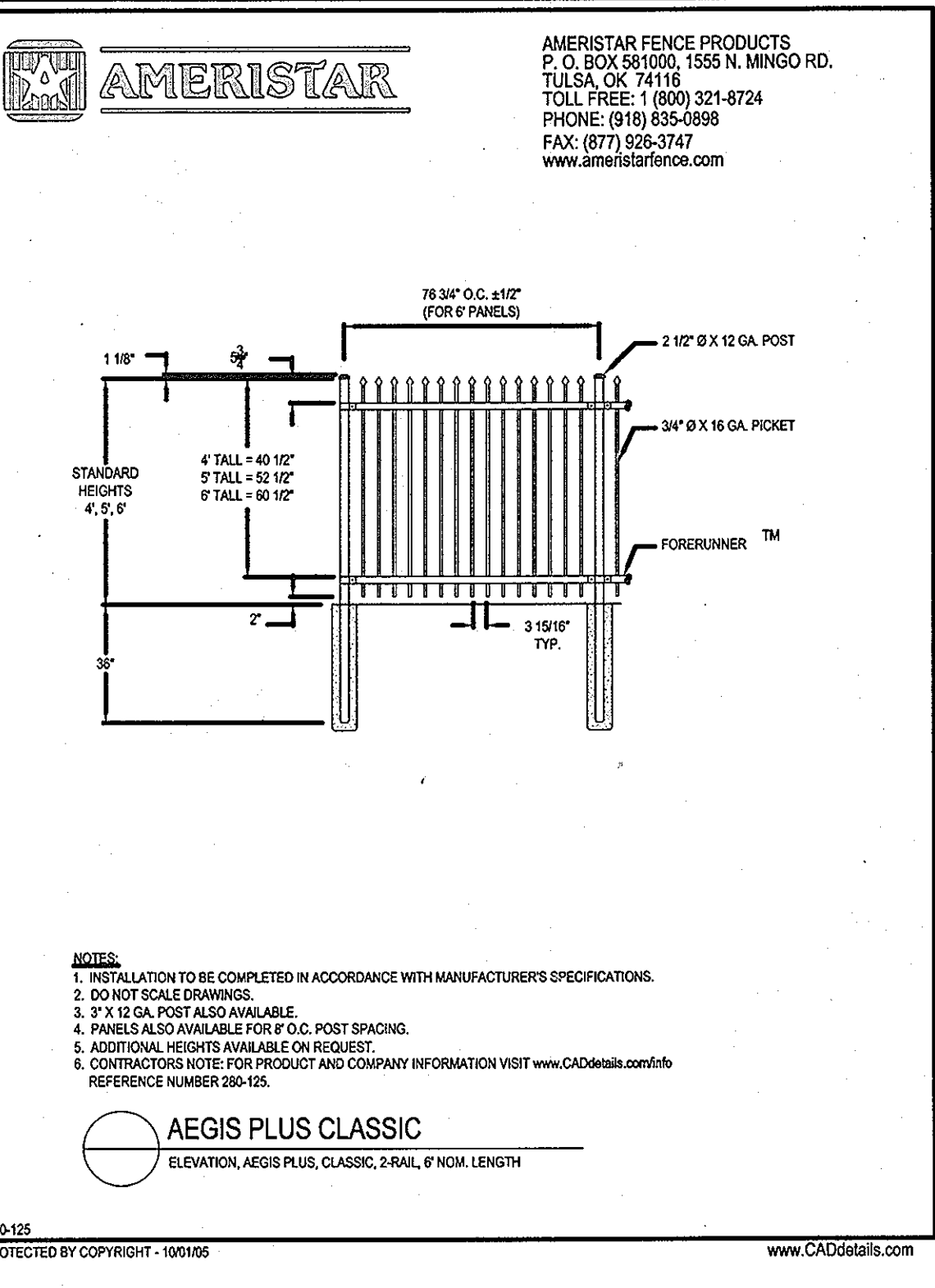
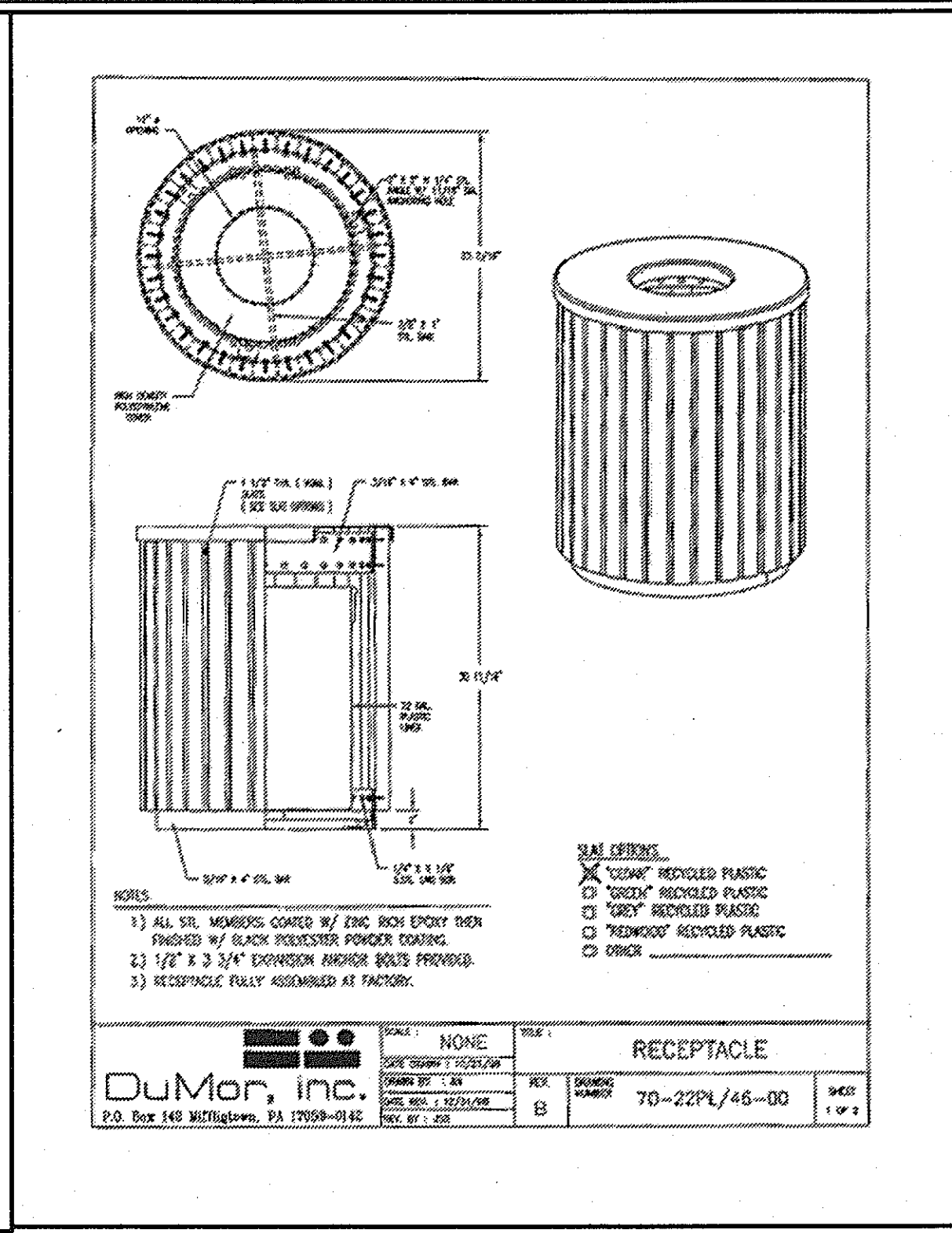
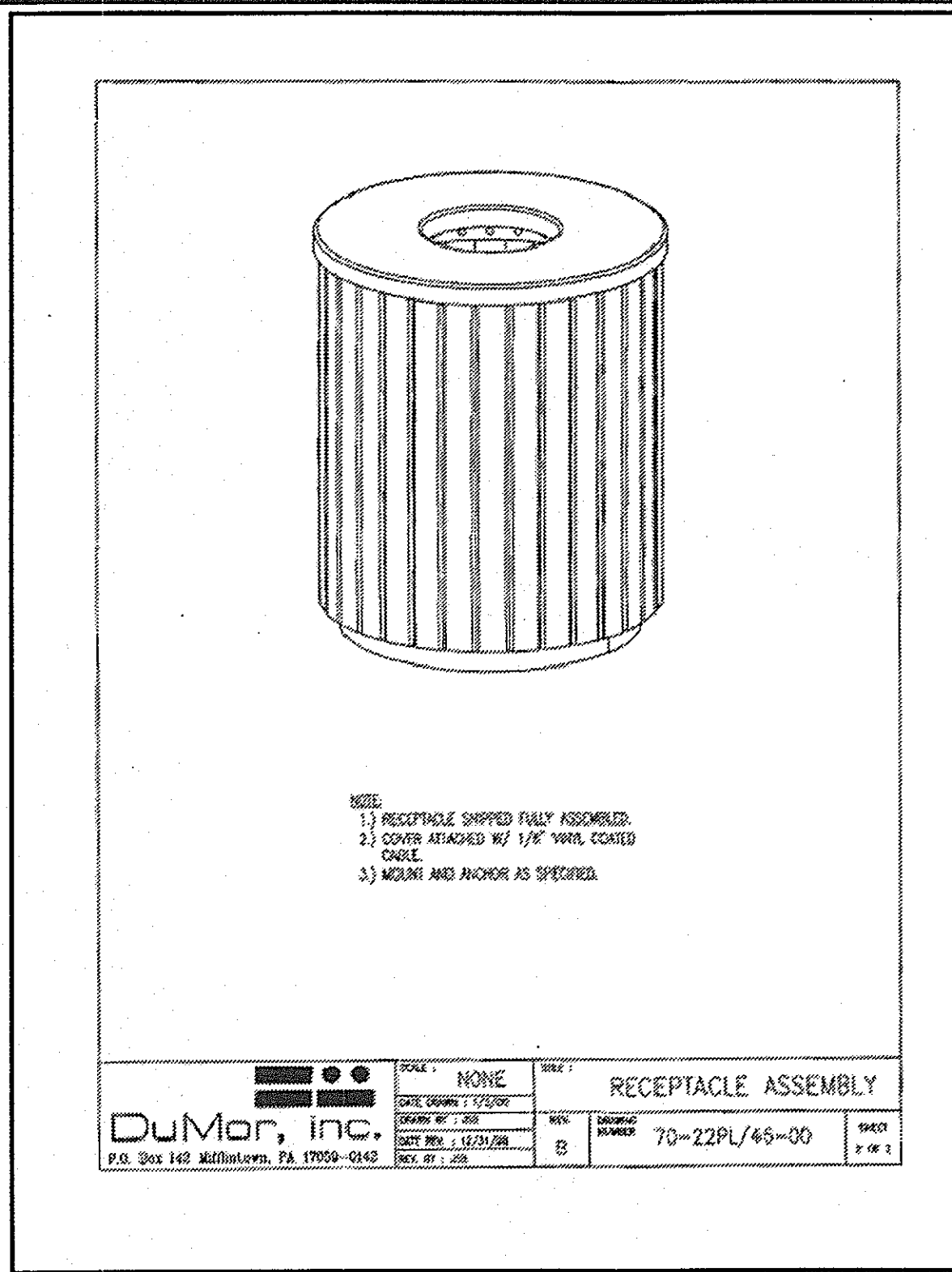
1. REVISED SHEET NUMBERS 11-3-10

LANDSCAPE PLAN

MISSION PLACE

PARCELS A & C

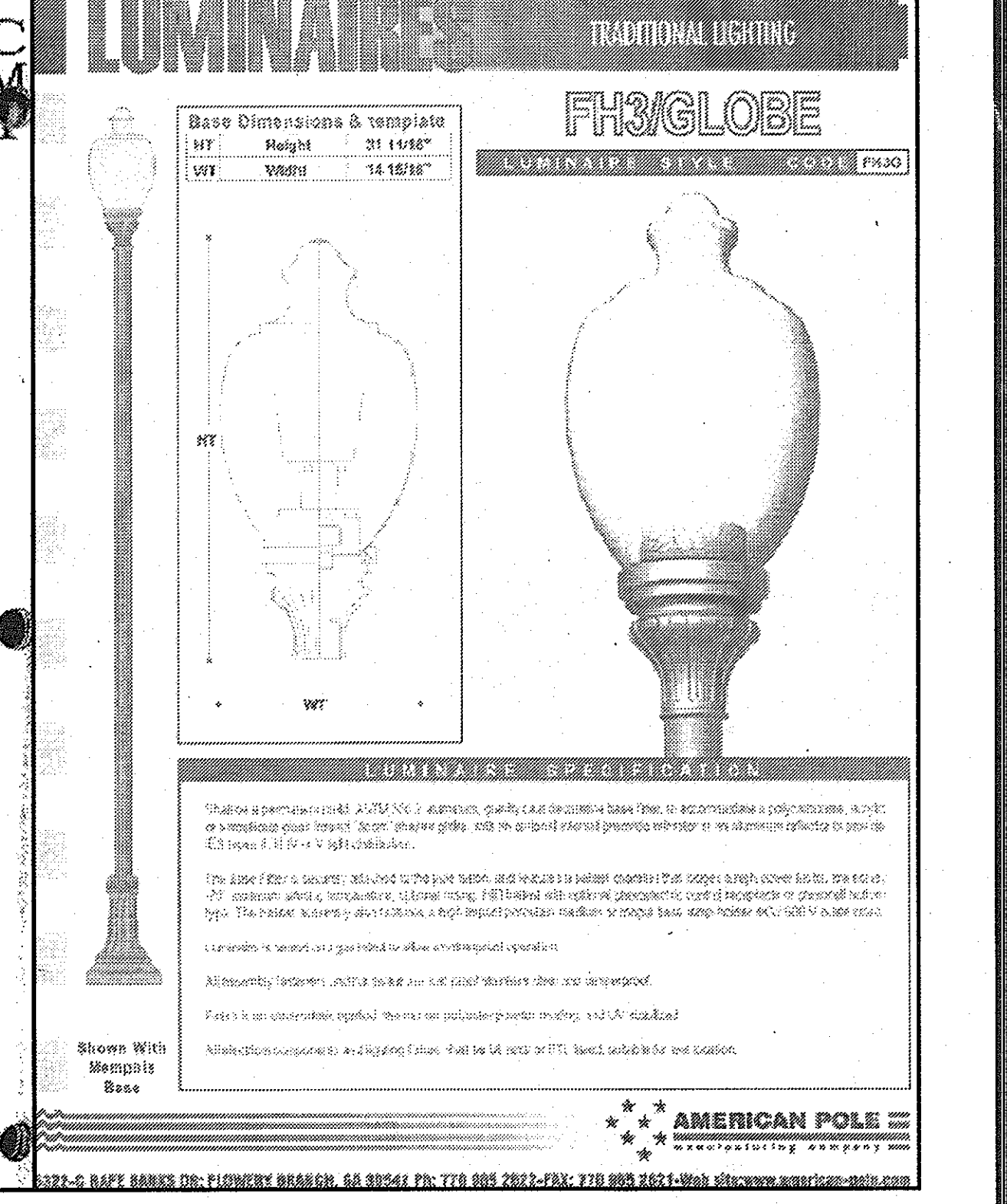
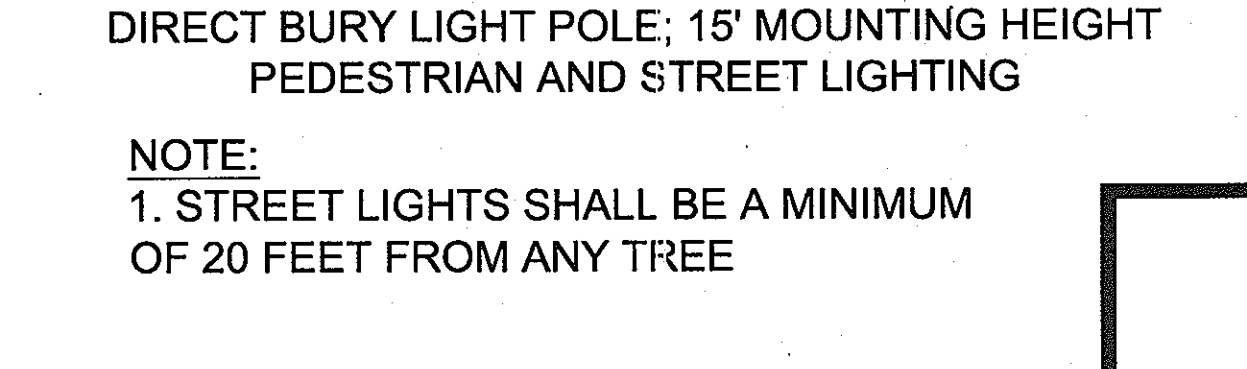
AP



POST TOP DIRECT BURIAL

Catalog Number	Nominal Height (ft.)	Shaft Length (ft.)	Weight of Pole (lbs)	Tip O.D. (in.)	Start O.D. (in.)	Minimum EPA Per Luminaire (ft)			
						50	60	100	200
MAX VERTICAL LOAD									
TB18-0-00	13	15.46	30	3.00	5.38	4.0	2.8	2.0	2.0
TB20-0-00	16	18.95	45	3.00	7.27	3.0	2.0	2.0	2.0
TB24-0-00	20	24.50	60	3.00	9.16	3.0	2.0	2.0	2.0
MIN VERTICAL LOAD									
TB18-0-00	13	13.17	24	3.00	5.84	6.0	4.4	3.3	3.1
TB20-0-00	16	15.75	30	3.00	7.27	6.0	4.0	3.3	3.0
TB24-0-00	20	20.00	42	3.00	8.68	6.0	4.0	3.3	3.0
TB30-0-00	25	25.85	57	3.70	10.59	5.8	4.0	3.3	3.0
TB36-0-00	30	36.00	75	3.70	12.50	6.0	4.0	3.3	3.0
TB40-0-00	35	39.37	87	3.70	14.41	6.0	4.0	3.3	3.0
TB44-0-00	40	43.00	99	3.70	16.32	5.8	4.0	3.3	3.0
TB48-0-00	45	46.81	111	3.70	18.23	5.8	4.0	3.3	3.0
MINIMUM VERTICAL LOAD									
TB24-0-00	12	13.75	24	4.41	6.89	6.0	4.0	3.3	3.0
TB28-0-00	15	16.50	30	4.41	8.59	6.0	4.0	3.3	3.0
TB32-0-00	18	19.25	36	4.41	10.29	6.0	4.0	3.3	3.0
TB36-0-00	21	22.00	42	4.41	11.99	6.0	4.0	3.3	3.0
TB40-0-00	24	24.75	48	4.41	13.69	6.0	4.0	3.3	3.0
TB44-0-00	27	27.50	54	4.41	15.39	6.0	4.0	3.3	3.0
TB48-0-00	30	30.25	60	4.41	17.09	6.0	4.0	3.3	3.0
TB52-0-00	33	33.00	66	4.41	18.79	6.0	4.0	3.3	3.0
TB56-0-00	36	35.75	72	4.41	20.49	6.0	4.0	3.3	3.0
TB60-0-00	39	38.50	78	4.41	22.19	6.0	4.0	3.3	3.0
TB64-0-00	42	41.25	84	4.41	23.89	6.0	4.0	3.3	3.0
TB68-0-00	45	44.00	90	4.41	25.59	6.0	4.0	3.3	3.0
TB72-0-00	48	46.75	96	4.41	27.29	6.0	4.0	3.3	3.0

Notes:
1. Maximum EPA luminaire height is 100 feet when installed with utility vehicles showing with a 1.5 degree factor. Maximum EPA for 100 high side installation and utility vehicles showing with a 1.5 degree factor.
2. Maximum luminaire height is 100 feet when installed with utility vehicles showing with a 1.5 degree factor.
3. Maximum luminaire height is 100 feet when installed with utility vehicles showing with a 1.5 degree factor.
4. EPA luminaire height is 100 feet when installed with utility vehicles showing with a 1.5 degree factor.



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
DATE: 8/15/08
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT
DATE: 8/15/08
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] 8/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION

BY THE DEVELOPER:
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF MANAGER: [Signature]
PRINTED NAME: SCOTT C. REED
DATE: JULY 08 2008

BY THE ENGINEER:
"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
SIGNATURE OF ENGINEER: [Signature]
PRINTED NAME: RON MIJAN
DATE: JULY 08 2008

LANDSCAPE DETAILS
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT
PLAT NO. 19254 - 19256
HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

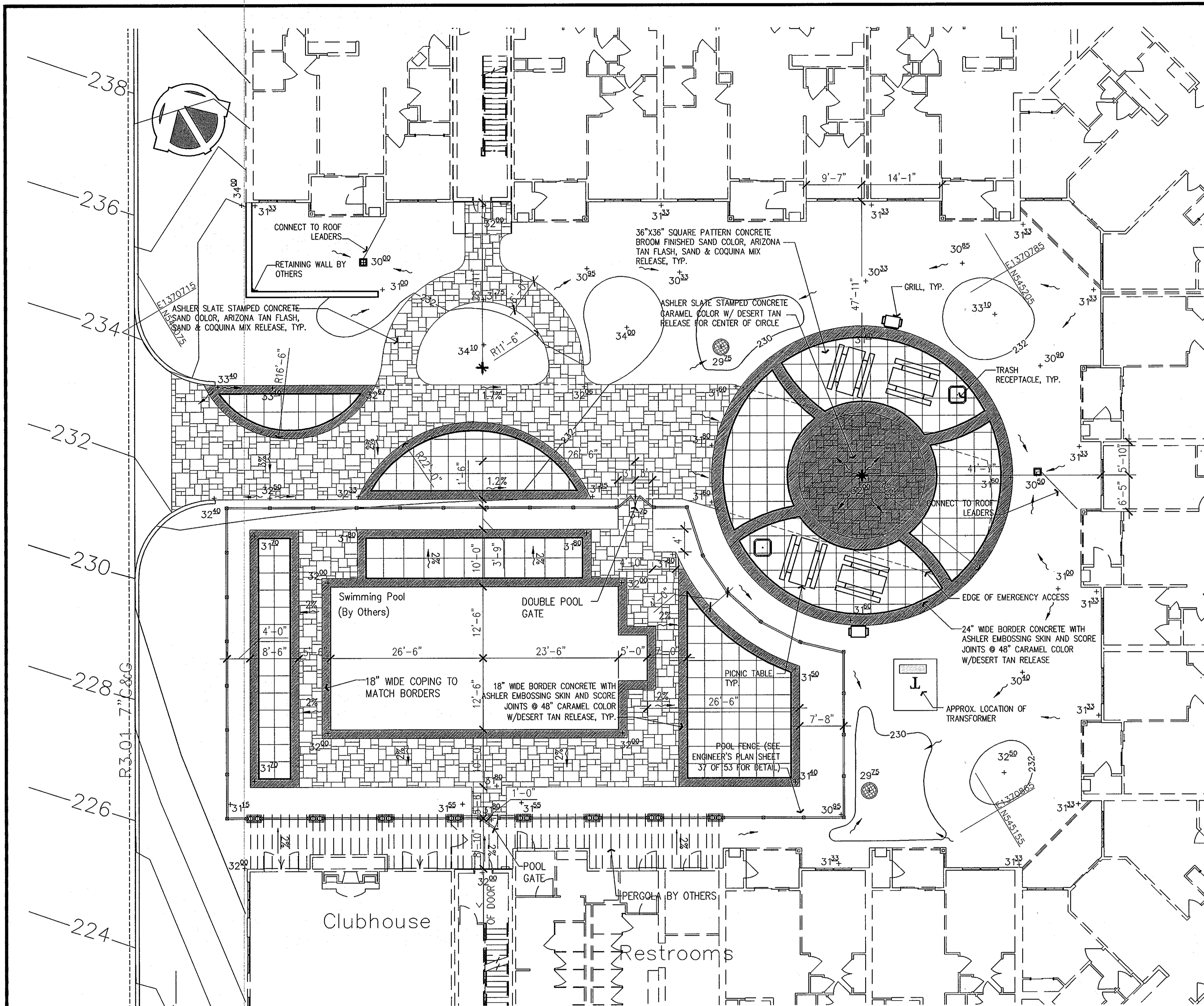
OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 37 of 53

Section: NA Area: NA Phase: NA Scale: NONE
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C
Date: JULY 2008
Prior Submittal: ZB 1048M SP-06-18 F-07-156
HO-827 SDD-07-101 AA-06-016
File number: [Symbol]

NOTE:
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS. WELL IN ADVANCE OF THE START OF EXCAVATION. IF CLEARANCE ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

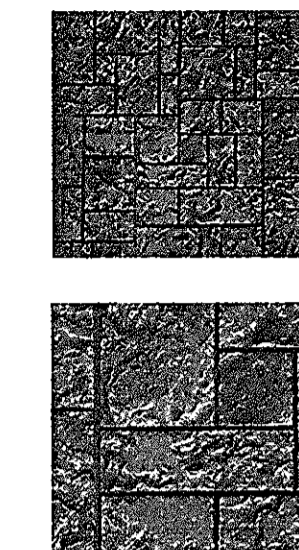
1. REVISED SHEET NUMBERS
11-3-10



LITHOTEX® Pavecrafters professional imprinting tools and embossing skins for authentic textures and realistic patterns

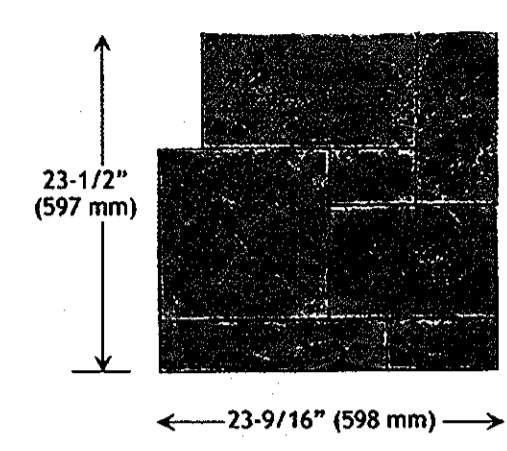


**ASHLER STONE
RANDOM INTERLOCKING PATTERN
ORDER NUMBER 400 A, B, C**

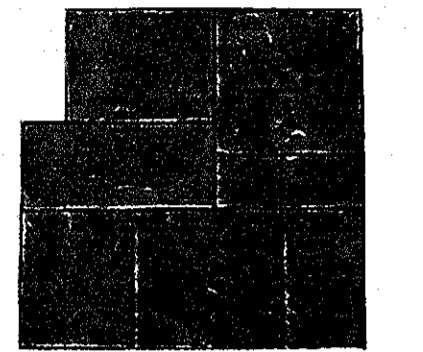


Texture Description:
Surface texture is that of rough, split, natural stone. Edges are sharp. Corners are square.

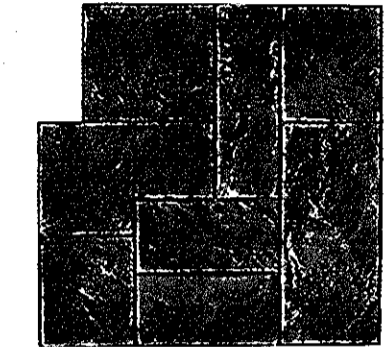
Pattern Description:
Pattern is formed of rectangular stones in various sizes laid in a random manner. The sides of the stones vary from 3-5/8" (92 mm) to 11-1/2" (292 mm). Inside joints have the appearance of a smooth-grouted, raked joint, approximately 1/8" (3 mm) deep. Outside edges have a surrounding joint, 1/8" (3 mm) wide, which matches the inside joints when tools are jointed. The completed pattern is formed by use of three tools, A, B, and C, each with a different random arrangement of stones.



ORDER NUMBER: 400 A



ORDER NUMBER: 400 B



ORDER NUMBER: 400 C

Also available:
Textured Skin Tool 1000

PROFESSIONAL GRADE TOOLS - P400
STANDARD GRADE TOOLS - S400
FLEXIBLE TOOLS - F400

natural STONES

PATTERN SHEET D-400.01

This pattern sheet is meant as a reference only. Read the Scofield Tech-Data bulletin T-404 LITHOTEX Pavecrafters for additional information, layout suggestions, and installation instructions. Contact Scofield for imprinted concrete materials and products. Follow professional standards and practices, including those published by the American Concrete Institute (ACI).

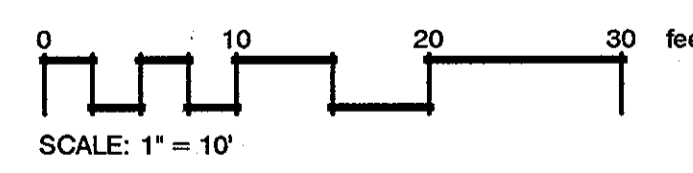
FOR PROFESSIONAL USE ONLY

Layout & Materials Notes:

- 1) ALL BASE PLAN DATUM REFERENCED FROM PROVIDED PLANS. SEE SPECIFIC SHEET FOR BASE PLAN SOURCE.
- 2) ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 3) CONTRACTOR SHALL LAYOUT ALL PROPOSED WORK FOR APPROVAL BY LANDSCAPE ARCHITECT AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
- 4) CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- 5) CONTRACTOR TO FIELD MEASURE AND SUBMIT SHOP DRAWINGS FOR APPROVAL FOR ALL FABRICATED ITEMS INCLUDING, BUT NOT LIMITED TO: FENCES, GATES, BALUSTRADES AND FOUNTAINS PRIOR TO CONSTRUCTION.
- 6) USE DIMENSIONAL INFORMATION GIVEN. VERIFY ALL DIMENSIONS PRIOR TO INSTALLATION.
- 7) ANY CHANGES TO THE LAYOUT NECESSITATED BY FIELD CONDITIONS SHALL FIRST BE APPROVED BY THE LANDSCAPE ARCHITECT, AND THEN RECORDED ON CONTRACTOR'S AS-BUILT DRAWINGS.
- 8) CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.
- 9) ALL WALKWAYS LEADING TO ENTRANCES ARE TO BE CENTERED ON DOORWAYS UNLESS OTHERWISE NOTED.
- 10) AT LOCATIONS WHERE EXISTING PAVEMENT ABUTS NEW PAVEMENT, CONTRACTOR SHALL BLEND NEW PAVEMENT TO EXISTING CONDITIONS. PAVEMENTS SHALL ALIGN BOTH VERTICALLY AND HORIZONTALLY. PONDING AT JOINTS WILL NOT BE ACCEPTED.
- 11) ALL MEASUREMENTS ARE IN FEET AND INCHES.
- 12) SHOP DRAWINGS AND FIELD MEASUREMENTS TO BE MADE PRIOR TO FABRICATING ANY SITE AMENITIES. SHOP DRAWINGS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY FABRICATION.
- 13) PROVIDE AN EXPANSION JOINT WHEREVER NEW PAVEMENT MEETS WALLS AND BUILDINGS.
- 14) CONTRACTOR TO PROVIDE SAMPLES OF ALL MATERIALS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO ORDERING MATERIALS. FAILURE TO RECEIVE APPROVAL WILL RESULT IN CONTRACTOR'S LIABILITY TO REORDER MATERIALS AT CONTRACTOR EXPENSE.
- 15) CONTRACTOR TO CONSTRUCT A 4'x4' SAMPLE OF ALL HARDSCAPE ELEMENTS (IE: WALLS, STEPS, PAVEMENTS AND STEPPERS) IN FIELD FOR APPROVAL PRIOR TO PROCEEDING WITH THE REMAINING LIKE WORK.
- 16) ALL FENCE HEIGHTS TO MEET FEDERAL, STATE AND LOCAL CODES.
- 17) ALL MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURE'S SPECIFICATIONS.
- 18) ALL WALKWAYS AND GATES TO MEET ADA STANDARDS FOR ACCESSIBLE DESIGN 28 CFR PART 36 REVISED AS OF JULY 1, 1994 AND THE US DEPT. OF HOUSING & URBAN DEVELOPMENT FAIR HOUSING ACT DESIGN MANUAL PUBLISHED IN AUGUST, 1996 AND REVISED IN 1998.

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.	
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: _____	BY THE DEVELOPER: I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	SIGNATURE OF MANAGER: <i>[Signature]</i> DATE: JULY 08 2008 PRINTED NAME: SCOTT C. REED
HOWARD SOIL CONSERVATION DISTRICT DATE: _____	BY THE ENGINEER: I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT.
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING <i>[Signature]</i> DATE: 4/23/10 DIRECTOR	SIGNATURE OF ENGINEER: <i>[Signature]</i> DATE: NOV. 18 2010 PRINTED NAME: RON MIJAN
<i>[Signature]</i> DATE: 4/23/10 CHIEF, DEVELOPMENT ENGINEERING DIVISION	<i>[Signature]</i> DATE: 4/23/10 CHIEF, DIVISION OF LAND DEVELOPMENT

- Notes:**
1. CONTRACTOR TO PROVIDE COLOR & PATTERN SAMPLES OF ALL STAMPED CONCRETE SPECIFIED.
 2. SEE SHEETS 36 & 37 FOR FURNITURE SPECIFICATIONS.
 3. SEE SHEETS 2-7 FOR ADDITIONAL GRADING AND DRAINAGE INFORMATION.
 4. SEE PLANTING DETAILS AND PLANTING NOTES.



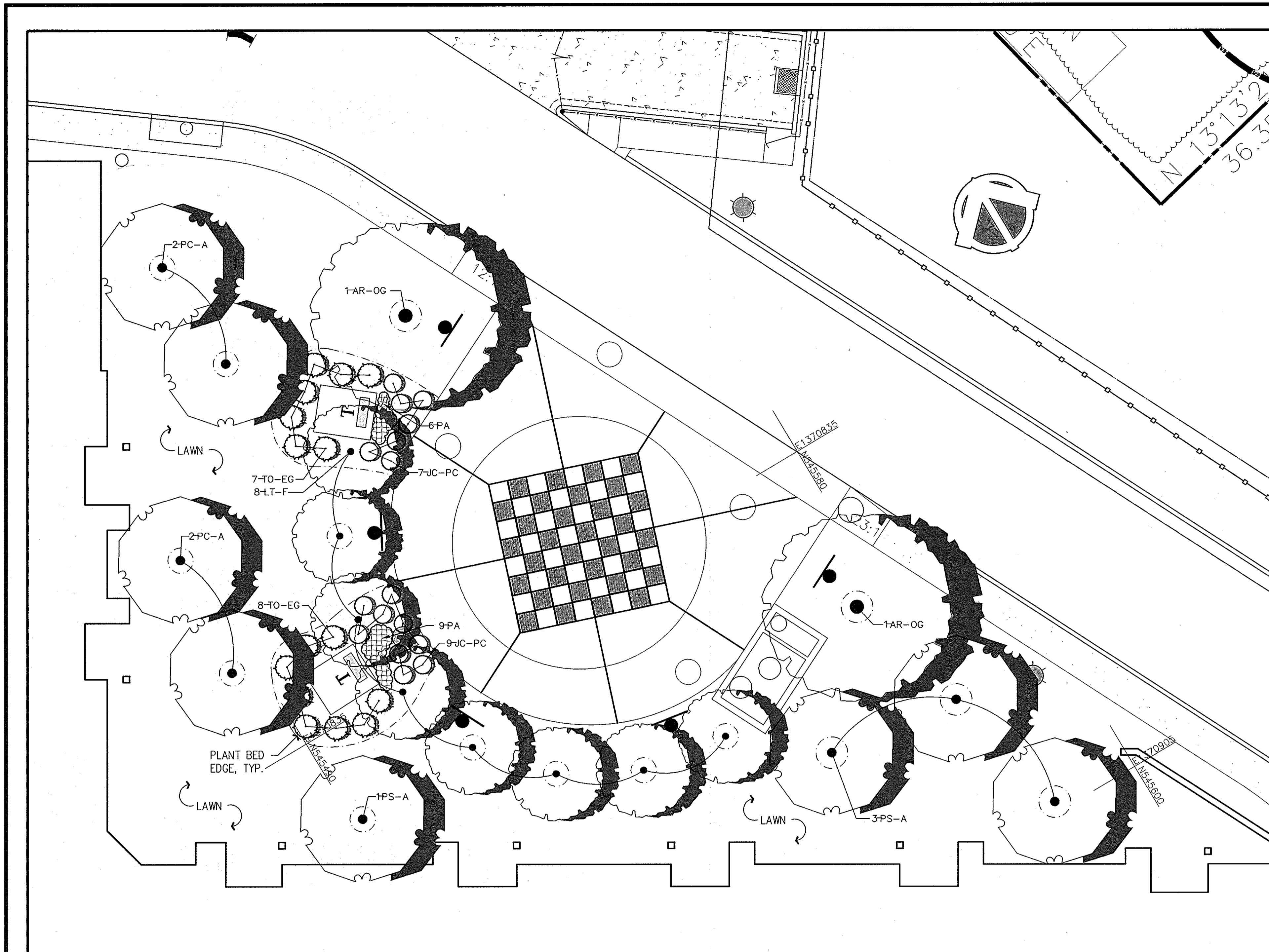
NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF THE MAINS BY GROUND TESTING BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MIRAGE" AT 410-252-0771 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWENTY (20) FEET. WHEREVER THERE IS A DISCREPANCY BETWEEN THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

**LANDSCAPE PLAN
REVISED SITE DEVELOPMENT PLAN
MISSION PLACE**

APARTMENTS, TOWNHOUSES AND COMMERCIAL
 W&S CONTRACT: 24-4402-D
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

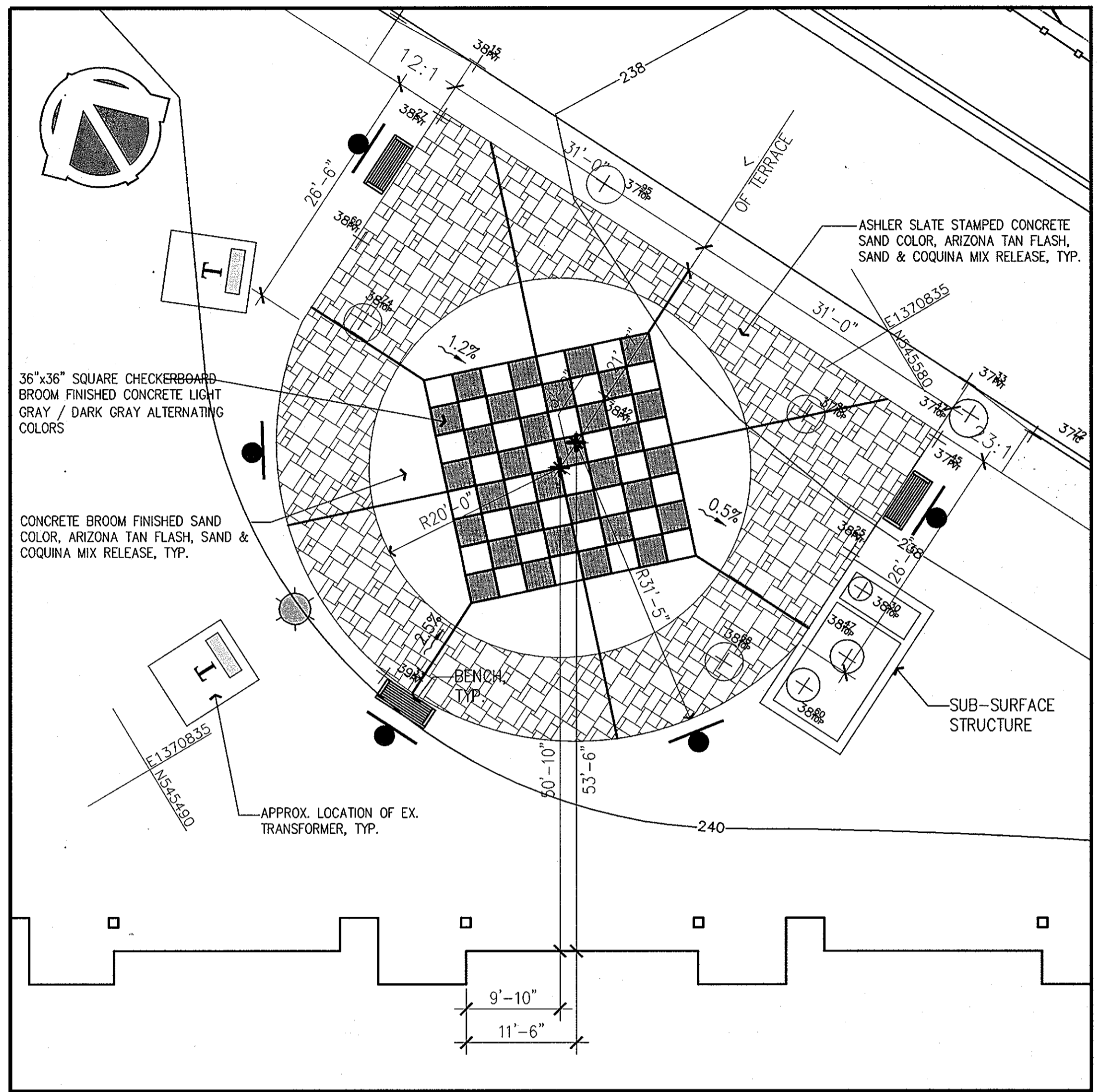
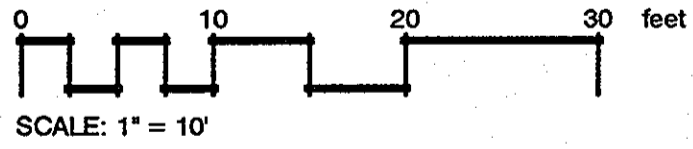
Dewberry 203 PERRY PARKWAY, SUITE 1 GAITHERSBURG, MARYLAND 20877 PHONE: 301.946.8300 FAX: 301.258.7907		OWNER / DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBEN COMPANY, INC. 2690 MIDWAY BRANCH DR, 2ND FL. COVENTON, MD 21113 CONTACT: MATTHEW BITAR PHE: 301.912.3600 FX: 301.912.3400	Drawn by: KDM Designed by: KDM Checked by: JMC Zoned: CAC-CLI Sheet: 39 of 53
Section: NA Area: NA Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C	Date: NOVEMBER 2010 Prior Submittals: 23 1045M MAP-06-18 F-07-156	Scale: AS-SHOWN HO-327 SDP-07-113 WP-06-096 AA-06-016	File number:

SDP-07-104



Planting Plan
Scale: 1"=10'-0"

Notes:
1. SEE SHEETS 36 & 37 FOR FURNITURE SPECIFICATIONS.
2. SEE SHEETS 2-7 FOR ADDITIONAL SITE GRADING AND DRAINAGE INFORMATION.



Layout & Materials Plan
Scale: 1"=10'-0"

PLANT SCHEDULE AMENITY SPACE #2

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
AR-OG	2	Acer rubrum "October Glory"	October Glory Maple	B & B	2.5-3' CAL.	
LT-F	8	Lindodendron tulipifera "Fastigiata"	Columnar Tulip Tree	B & B	2.5-3' CAL.	
PC-A	4	Pyrus calleryana "Anstocrat"	Anstocrat Flowering Pear	B & B	2.5-3' CAL.	
PS-A	4	Prunus subhirtella "Autumnalis"	Autumn Flowering Cherry	B & B	2.5-3' CAL.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
JC-PC	16	Juniperus chinensis "Pfitzeriana Compacta"	Compacta Pfitzer Juniper	B & B	15-18" SPD.	
TO-EG	15	Thuja occidentalis "Emerald Green"	Emerald Green Arborvitae	B & B	6-8' HT.	
GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT		
FA	27	Pennisetum alopecuroides	Fountain Grass	1 gal @ 18" oc		

Layout & Materials Notes:

- 1) ALL BASE PLAN DATUM REFERENCED FROM PROVIDED PLANS. SEE SPECIFIC SHEET FOR BASE PLAN SOURCE.
- 2) ALL LINES AND DIMENSIONS ARE PARALLEL OR PERPENDICULAR TO THE LINES FROM WHICH THEY ARE MEASURED UNLESS OTHERWISE INDICATED.
- 3) CONTRACTOR SHALL LAYOUT ALL PROPOSED WORK FOR APPROVAL BY LANDSCAPE ARCHITECT AND MAKE ANY NECESSARY ADJUSTMENTS PRIOR TO CONSTRUCTION.
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THE PURPOSE OF THIS SITE PLAN AND LANDSCAPE PLAN REVISION IS TO REPLACE THE PREVIOUSLY APPROVED COURTYARD AMENITY DESIGN WITH AN UPGRADED LAYOUT.

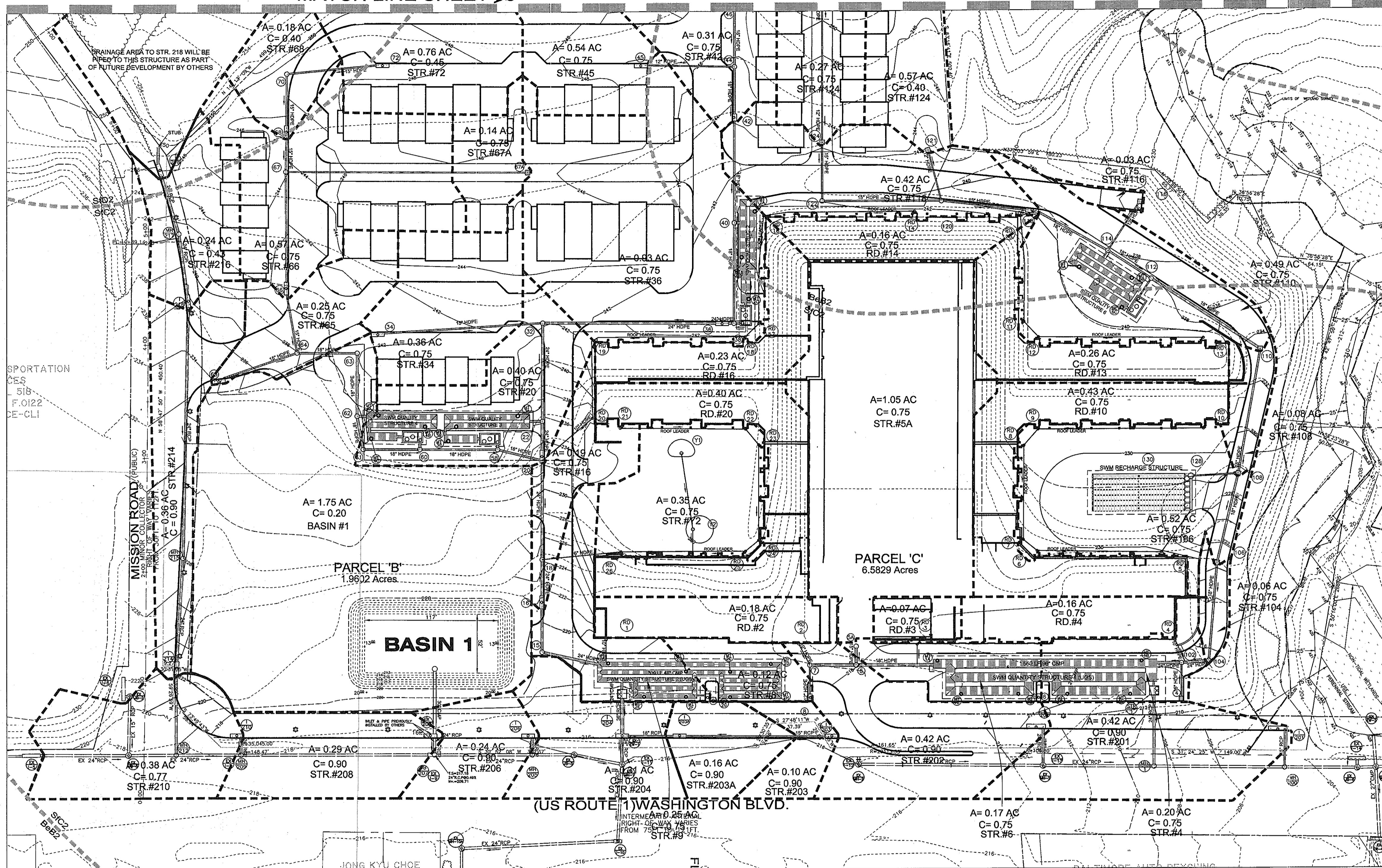
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.	
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: _____	BY THE DEVELOPER: "I AM CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF MANAGER: <i>Scott C. Reed</i> PRINTED NAME: SCOTT C. REED DATE: JULY 08 2008
THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	BY THE ENGINEER: "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT." SIGNATURE OF ENGINEER: <i>Ron Mijan</i> PRINTED NAME: RON MIJAN DATE: NOV. 18 2010
HOWARD SOIL CONSERVATION DISTRICT DATE: _____	APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. DIRECTOR: <i>Thomas E. Butler</i> 11/23/10 CHIEF, DEVELOPMENT ENGINEERING DIVISION: <i>Thomas E. Butler</i> 11/22/10 CHIEF, DIVISION OF LAND DEVELOPMENT: <i>Scott C. Reed</i> 11/23/10



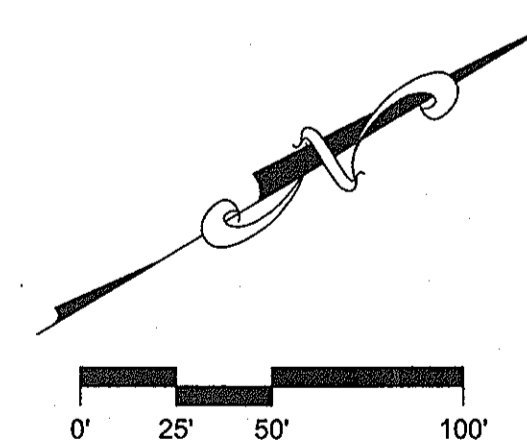
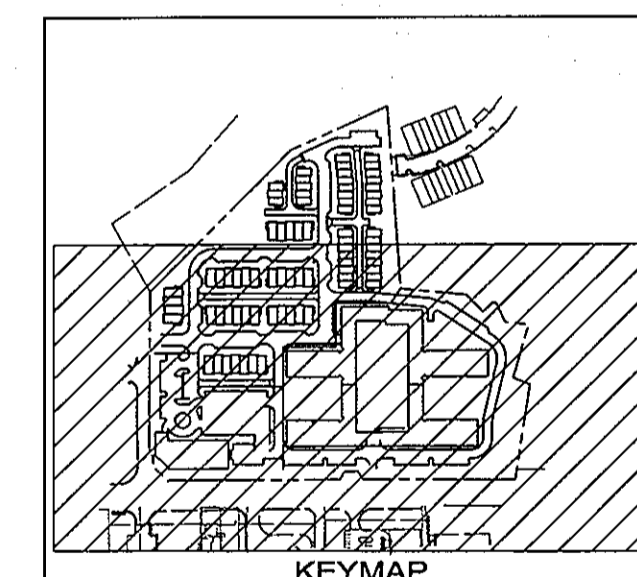
LANDSCAPE PLAN
REVISED SITE DEVELOPMENT PLAN
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

203 PERRY PARKWAY, SUITE 1 GAITHERSBURG, MARYLAND 20877 PHONE: 301.948.8300 FAX: 301.258.7607	OWNER / DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBEN COMPANY, INC. 2600 MIDWAY BRANCH DR, 2nd FL ODENTON, MD 21113 CONTACT: MATTHEW BITAR PH: 301.912.3600 FX: 301.912.3400	Drawn by: KDM Designed by: KDM Checked by: JMC Zone: CAC-CLI
	Section: NA Area: NA Scale: AS-SHOWN Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: NOVEMBER 2010 Prior Submittals: ZB 1048M SP-06-18 SDP-07-101 F-07-156 HO-827 WP-06-096 AA-06-016 File number: 40 of 53	

MATCH LINE SHEET 3842



SOILS LEGEND	
HOWARD COUNTY	
NON-HYDRIC SOILS LIST	
B6B2	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED BELTSVILLE - DEPTH TO BEDROCK UNDETERMINED; 1- 1/2 TO 3 FEET TO WATER TABLE; SEVERE LIMITATIONS FOR SEWAGE DISPOSAL FIELDS; MODERATE LIMITATIONS FOR HOMES WITH BASEMENTS; IMPEDED DRAINAGE; SEASONAL HIGH WATER TABLE.
SIC2	SASSAFRAS GRAVELLY SANDY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED
SD2	SASSAFRAS GRAVELLY SANDY LOAM, 10 TO 15 PERCENT SLOPES, MODERATELY ERODED SASSAFRAS - DEPTH TO BEDROCK UNDETERMINED; 5+ FEET DEPTH TO WATER TABLE; SLIGHT TO MODERATE LIMITATIONS FOR SEWAGE DISPOSAL FIELDS AND HOMES WITH BASEMENTS DEPENDING ON SLOPE; EROSION HAZARD.
DESCRIPTION PER HOWARD COUNTY SOIL SURVEY (1968)	



THOSE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

APPROVED: HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

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PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 19872
EXPIRATION DATE: 12/01/08



NOTE
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

1. REVISED SHEET NUMBERS

11-3-10

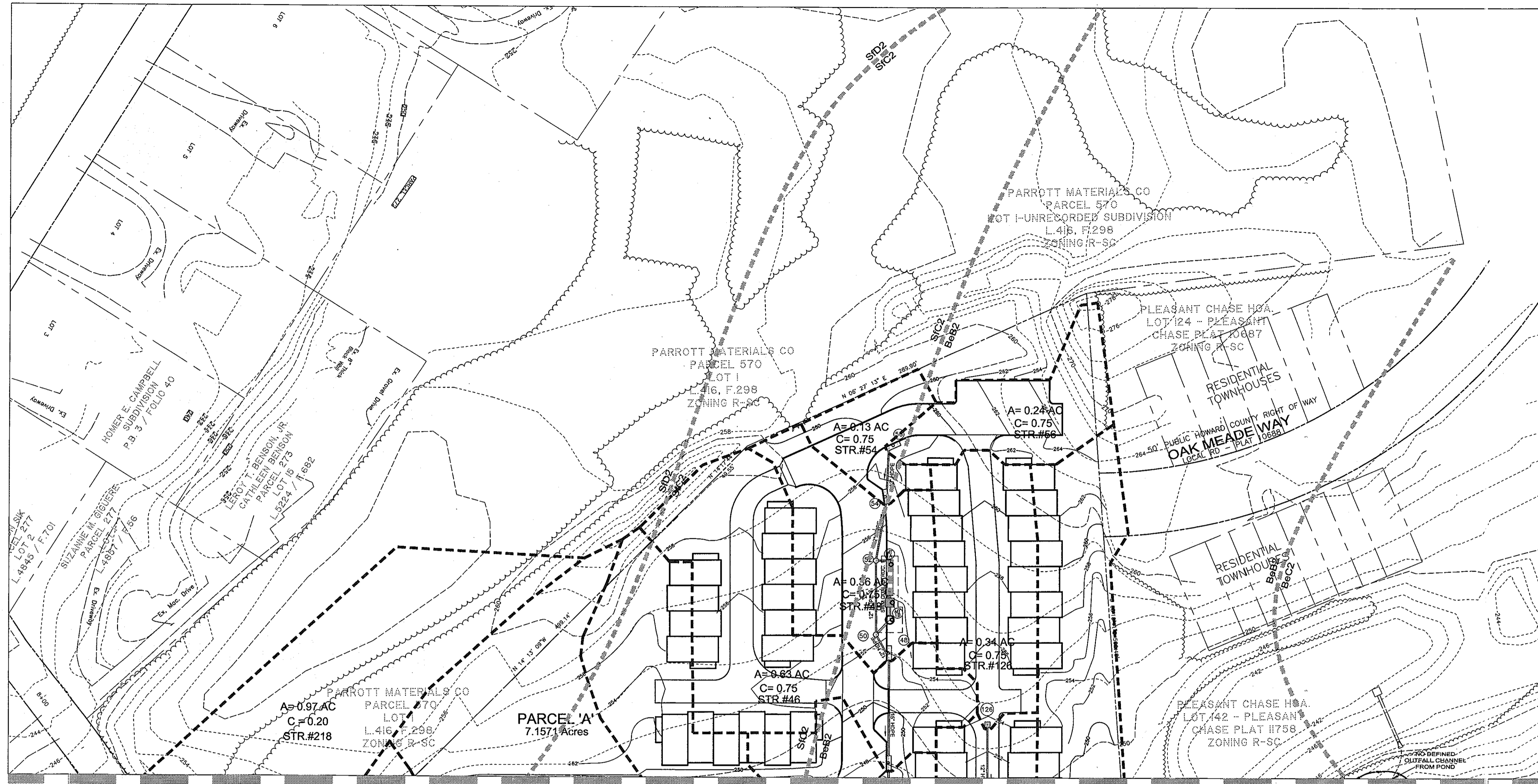
PROPOSED DRAINAGE AREA & SOILS MAP

MISSION PLACE

PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL

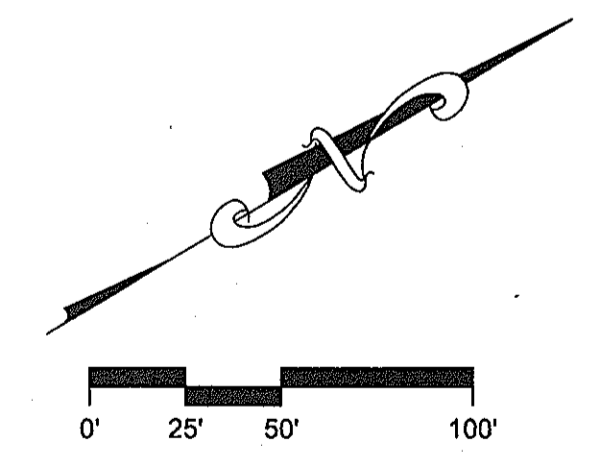
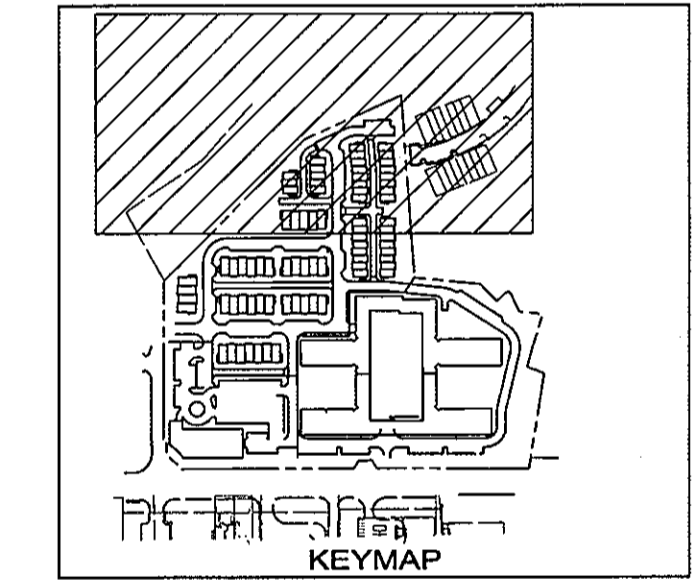
6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
PLAT NO. 19054 - 19055 HOWARD COUNTY, MARYLAND

Dewberry		OWNER / DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBEN COMPANY, INC. 2600 MIDWAY BRANCH DR, 2ND FL ODENTON, MD 21113 CONTACT: MATTHEW BITAR PH: 301.912.3600 FX: 301.912.3400		Drawn by: KDM
203 PERRY PARKWAY, SUITE 1 GAITHERSBURG, MARYLAND 20877 PHONE: 301.948.8300 FAX: 301.258.7807		Designed by: KDM		Checked by: JMC
Zone: CAC-CLI		Scale: 1"=50'		Sheet: 41 of 53
Section: NA	Area: NA	Phase: NA	Date: JULY 2008	File number: 1
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C		Prior Submittals: ZB 1048M SP-06-18 P-07-156		HO-827 SDP-07-101 SDP-07-113
		WP-06-096 AA-06-016		



MATCH LINE SHEET 34/1

SOILS LEGEND	
HOWARD COUNTY	
NON-HYDRIC SOILS LIST	
BeBz	BELTSVILLE SILT LOAM, 1 TO 5 PERCENT SLOPES, MODERATELY ERODED
BELTSVILLE - DEPTH TO BEDROCK UNDETERMINED; 1- 1/2 TO 3 FEET TO WATER TABLE; SEVERE LIMITATIONS FOR SEWAGE DISPOSAL FIELDS; MODERATE LIMITATIONS FOR HOMES WITH BASEMENTS; IMPROVED DRAINAGE; SEASONAL HIGH WATER TABLE.	
SIC2	SASSAFRAS GRAVELLY SANDY LOAM, 5 TO 10 PERCENT SLOPES, MODERATELY ERODED
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DESCRIPTION PER HOWARD COUNTY SOIL SURVEY (1988)	



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/15/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

BY THE DEVELOPER: [Signature] JULY 08 2008

BY THE ENGINEER: [Signature] JULY 08 2008

1. I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT.

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/6/08

1. REISED SHEET NUMBERS 11-3-10

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PROPOSED DRAINAGE AREA & SOILS MAP

MISSION PLACE
APARTMENTS, TOWNHOUSES AND COMMERCIAL

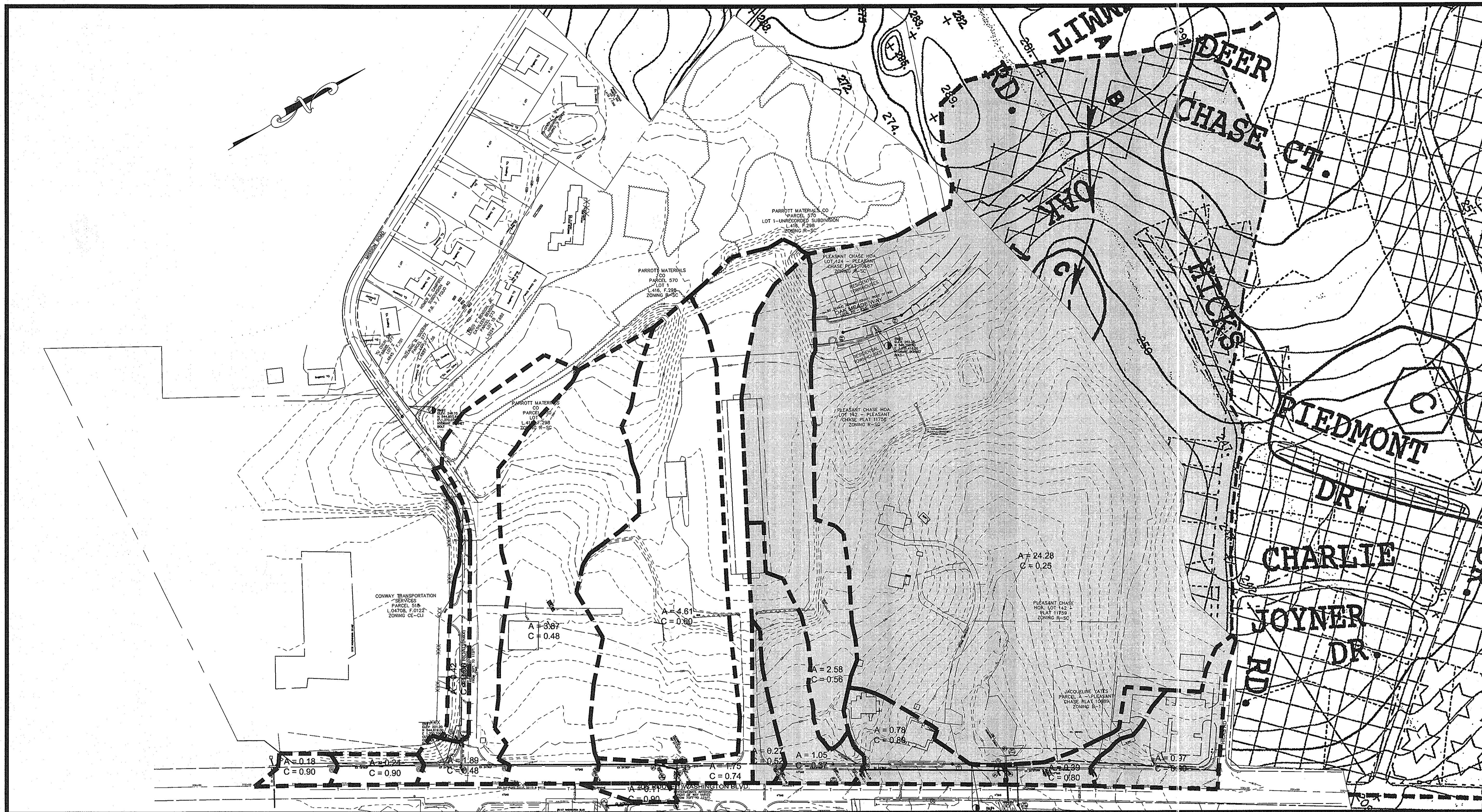
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W&S CONTRACT: 24-4402-D
PLAT NO. 19254-19252 HOWARD COUNTY, MARYLAND

Dewberry
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PHONE: 301.948.8300
FAX: 301.258.7607

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2600 MIDWAY BRANCH DR, 2nd FL
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CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 42 of 53

Section: NA Area: NA Phase: NA Scale: 1"=50'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008 Price Submittal: ZB 1045M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016 File number: 1



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U.S. NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/14/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 8/14/08
DIRECTOR

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Stephen W. Lafferty 8/15/08
DIRECTOR

Chris Dammus 8/15/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION

T. Marchant 8/15/08
CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

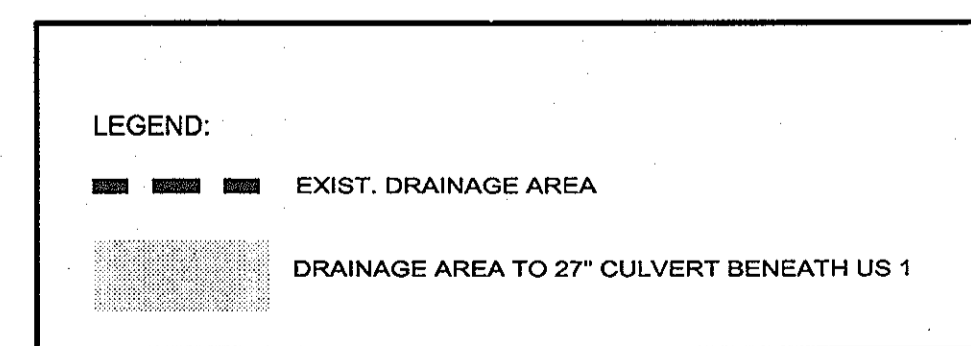
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Scott C. Reed JULY 08 2008
SIGNATURE OF MANAGER DATE
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

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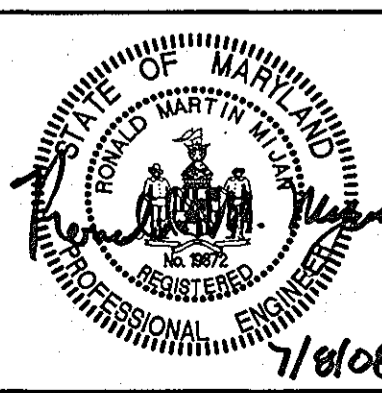
Ron Mijan JULY 08 2008
SIGNATURE OF ENGINEER DATE
PRINTED NAME: RON MIJAN



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08



1. REVISED SHEET NUMBERS 11-3-10

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "800" UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

EXISTING DRAINAGE AREA MAP

MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT W&S CONTRACT: 24-4402-D
FLAT NO. 19054-19058 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7807

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 43 of 53

Section: NA	Area:	Phase: NA	Scale: 1" = 100'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C	Date: JULY 2008	Prior Submittals: ZB 1048M SP-06-18 F-07-156	HO-827 SDP-07-101 AA-06-016

File number:



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

NATURAL RESOURCES CONSERVATION SERVICE DATE: 8/14/08

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: [Signature] DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT DATE: 8/15/08

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: [Signature] DATE: JULY 08 2008

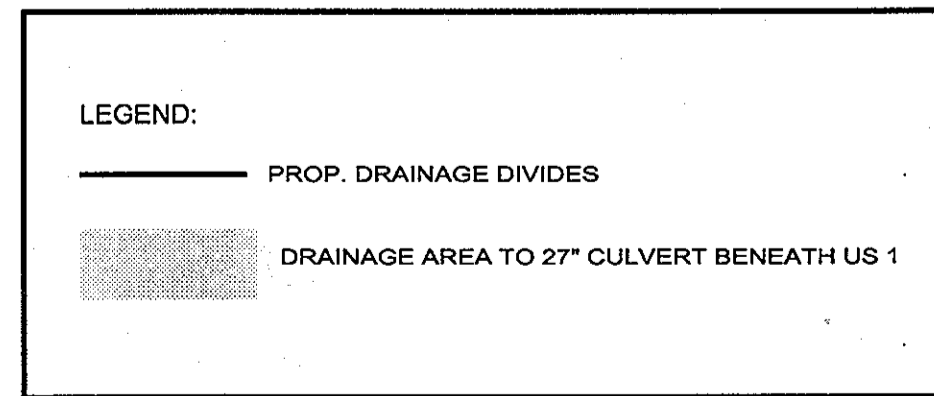
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008

PRINTED NAME: RON MIJAN



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

[Professional Engineer Seal: Ron Mijan, License No. 19872, State of Maryland]

1. REVISED SHEET NUMBERS 11-3-10

NOTE: INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-227-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

PROPOSED DRAINAGE AREA MAP

MISSION PLACE
APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
PLAT NO. 19254-19255 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PHONE: 301.912.3600
FX: 301.912.3400

Section: NA Area: NA Phase: NA Scale: 1" = 100'

Date: JULY 2008

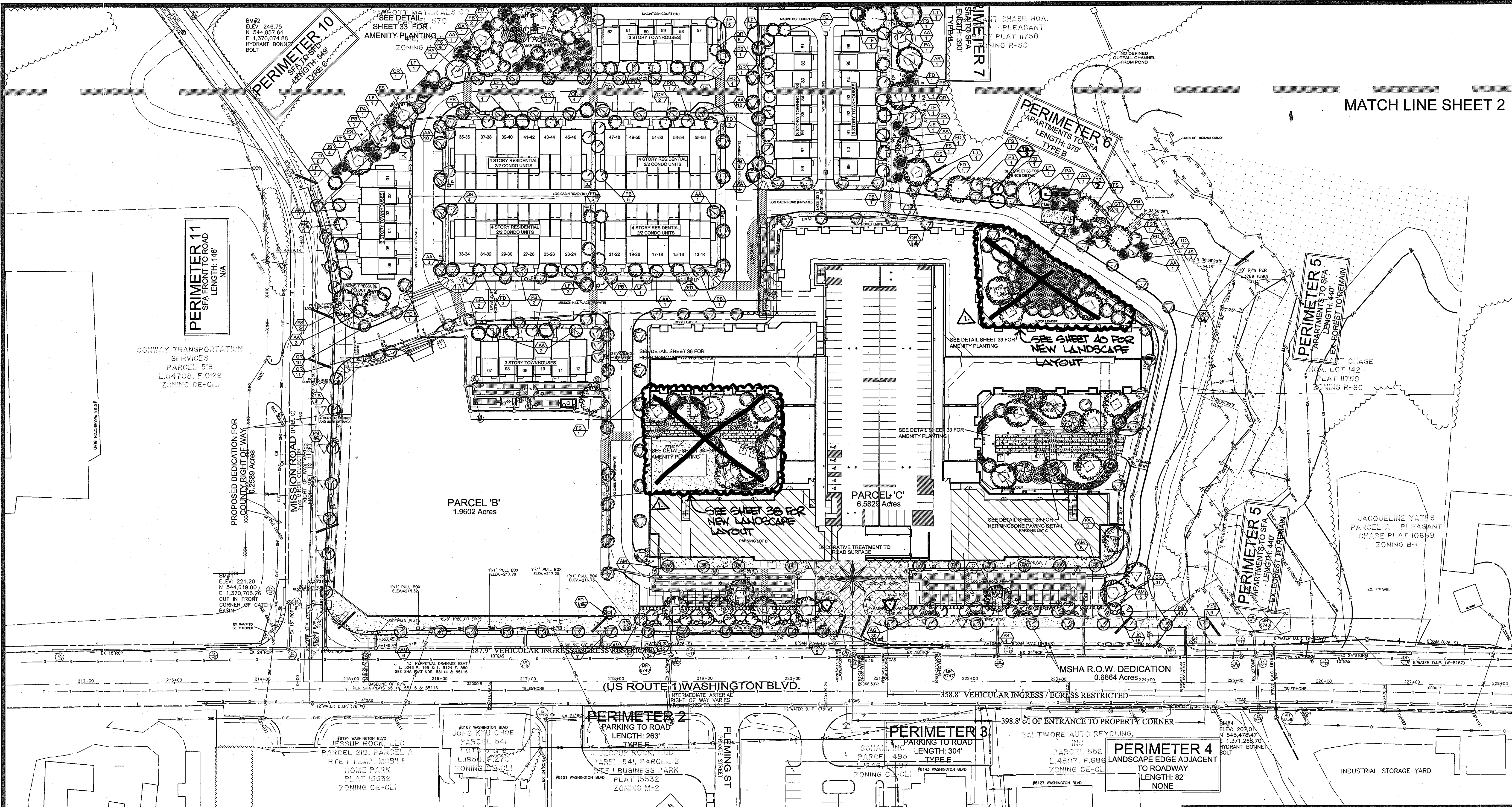
Prior Submittals:
ZB 1048M
SP-06-18
F-07-156

HO-827
SDP-07-101
SDP-07-113

WP-06-096
AA-06-016

File number: 44 of 53

File number: [Symbol]



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

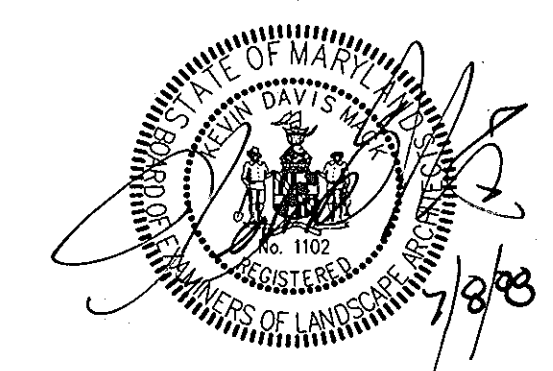
U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT
 DATE: 8/15/08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: [Signature] 8/15/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:
 "I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF MANAGER: [Signature]
 PRINTED NAME: SCOTT C. REED
 DATE: JULY 08 2008

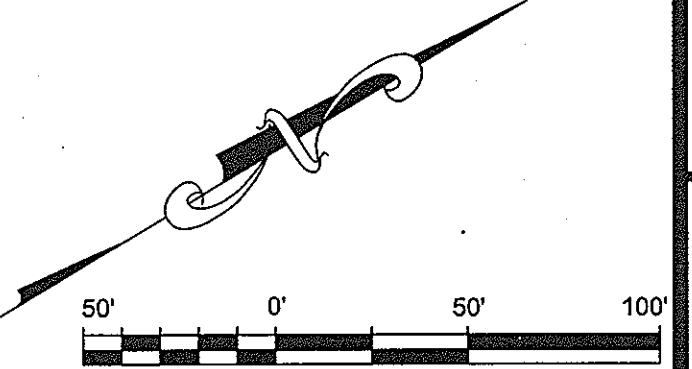
BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature]
 PRINTED NAME: RON MIJAN
 DATE: JULY 08 2008



- LEGEND**
- ▽ STREET TREE
 - PARKING LOT TREE
 - ◇ BUFFER TREE
 - ◊ AMENITY SPACE PLANTING (INCLUDED IN REQUIREMENT FOR RESIDENTIAL UNIT COUNTS)
 - RESIDENTIAL UNIT TREES (NO SYMBOL)

DATE	REVISION
11-3-10	REVISED SHEET NUMBERS
11-3-10	REVISED AMENITY AREA

NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-253-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.



LANDSCAPE EXHIBIT
STREET TREES, BUFFER YARDS & AMENITY SPACES
MISSION PLACE
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 W&S CONTRACT: 24-4402-D
 PLAT NO. 19954-19050 HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

 203 PERRY PARKWAY, SUITE 1 GAITHERSBURG, MARYLAND 20877 PHONE: 301.948.8300 FAX: 301.258.7807	OWNER / DEVELOPER: MISSION ROAD INVESTORS, LLC c/o THE DOLBY COMPANY, INC. 2600 MIDWAY BRANCH DR, 2nd FL ODENTON, MD 21113 CONTACT: MATTHEW BITAR PH: 301.912.3600 FX: 301.912.3400	Drawn by: KDM Designed by: KDM Checked by: JMC Zone: CAC-CLI
	Section: NA Area: NA Phase: NA Scale: 1"=50' Sheet: 45 of 53	Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008



MATCH LINE SHEET 1

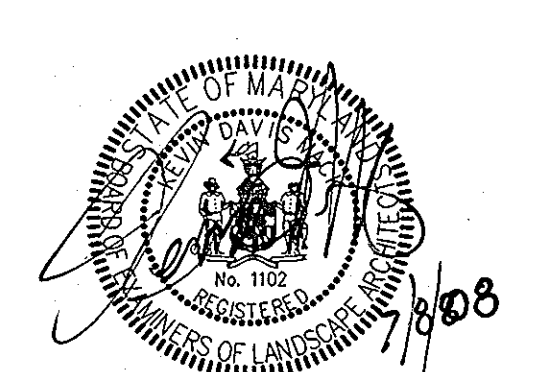
THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

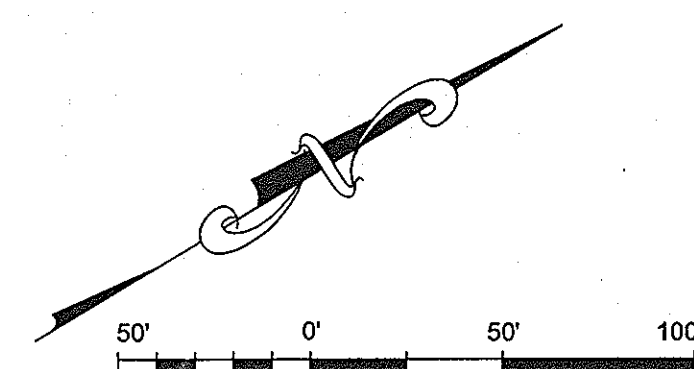
HOWARD SOIL CONSERVATION DISTRICT DATE: 8/15/08
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
 DIRECTOR: [Signature] DATE: 8/15/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 T. Marchant for CH DATE: 8/15/08
 CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF MANAGER: [Signature] DATE: JULY 08 2008
 PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature] DATE: JULY 08 2008
 PRINTED NAME: RON MEAN



- LEGEND**
- ▽ STREET TREE
 - ◇ PARKING LOT TREE
 - ◇ BUFFER TREE
 - ◇ AMENITY SPACE PLANTING (INCLUDED IN REQUIREMENT FOR RESIDENTIAL UNIT COUNTS)
 - RESIDENTIAL UNIT TREES (NO SYMBOL)



NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

1. REVISED SHEET NUMBERS 11-3-10

LANDSCAPE EXHIBIT
STREET TREES, BUFFER YARDS & AMENITY SPACES
MISSION PLACE
 APARTMENTS, TOWNHOUSES AND COMMERCIAL
 6TH ELECTION DISTRICT W&S CONTRACT: 24-4402-D
 PLAT NO. 19054 - 19056 HOWARD COUNTY, MARYLAND

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.912.7607

OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2nd FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zoned: CAC-CLI
 Sheet: 46 of 53

Section: NA Area: NA Phase: NA Scale: 1"=50'
 Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: JULY 2008
 Prior Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016
 File number: SDP-07-104

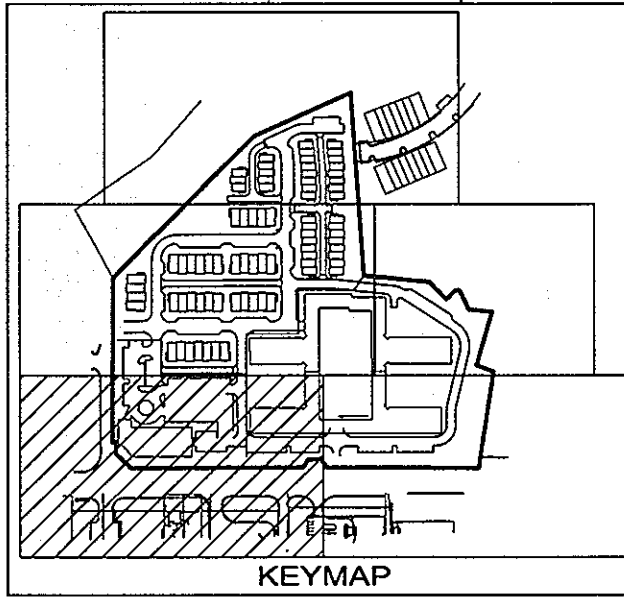
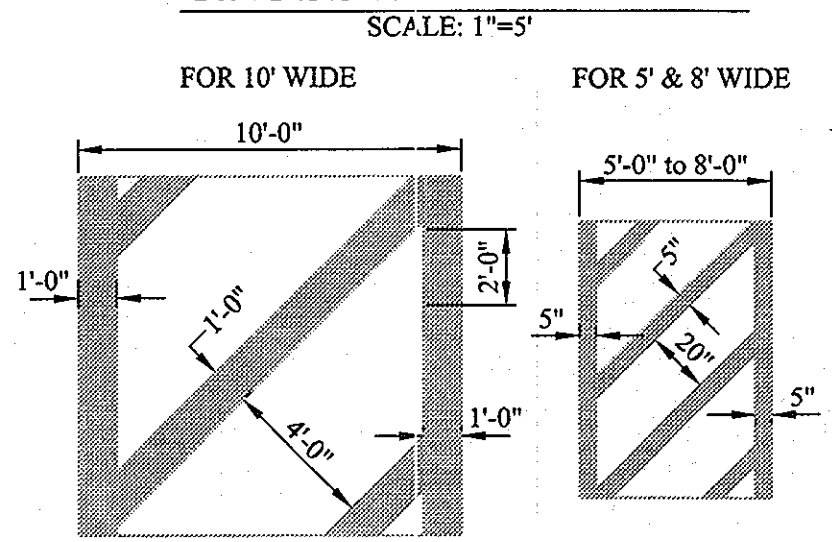
MATCH LINE SHEET 46

FUTURE PHASE 2 LAYDOWN / WORK AREA FOR PHASE 1 PARCEL 'B' 1.9602 Acres

- NOTES:**
1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 2. ALL STREET LIGHTS IN HOWARD COUNTY AND MSHA RIGHTS OF WAY TO BE INSTALLED AND MAINTAINED BY HOWARD COUNTY.
 3. ALL STREET LIGHTS SHALL BE A MINIMUM OF 20 FEET FROM ANY STREET TREE.
 4. THE STREET LIGHTS ALONG THE US 1 FRONTAGE LOCATED ADJACENT TO THE PROPOSED BUILDING (STA 215+00 TO STA 218+25) SHALL BE INSTALLED AFTER THE FRONTAGE OF THE BUILDING IS COMPLETED.
 5. THE STREET LIGHTS LOCATED IN THE SIDEWALK ALONG US 1 SHALL BE INSTALLED WITH THE ASSOCIATED HAND BOXES PRIOR TO THE SIDEWALK BEING FOUDED. PLEASE CONTACT PARRIS ZIRKENBACH AT 410-313-5752 TO COORDINATE THE INSTALLATION OF THESE STREET LIGHTS WITH BGE.
 6. CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.

- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3" LINE, 9" SPACE)
 - C. 12" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - D. 5" DOUBLE YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - E. 12" YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - F. POST MOUNTED DELINEATOR (WHITE)
 - G. REFER TO SIGNAL PLANS
 - H. EXISTING TO REMAIN
 - I. WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING ARROW
 - J. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (2" LINE, 6" SPACE)
RED PAINTED CURB WITH "NO PARKING FIRE LANE" STENCIL IN WHITE

CROSSWALK DETAIL



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR: *Debra Lafferty* 8/15/08
DATE: 8/15/08

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Ronald M. Myjan* 8/15/08
DATE: 8/15/08

CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

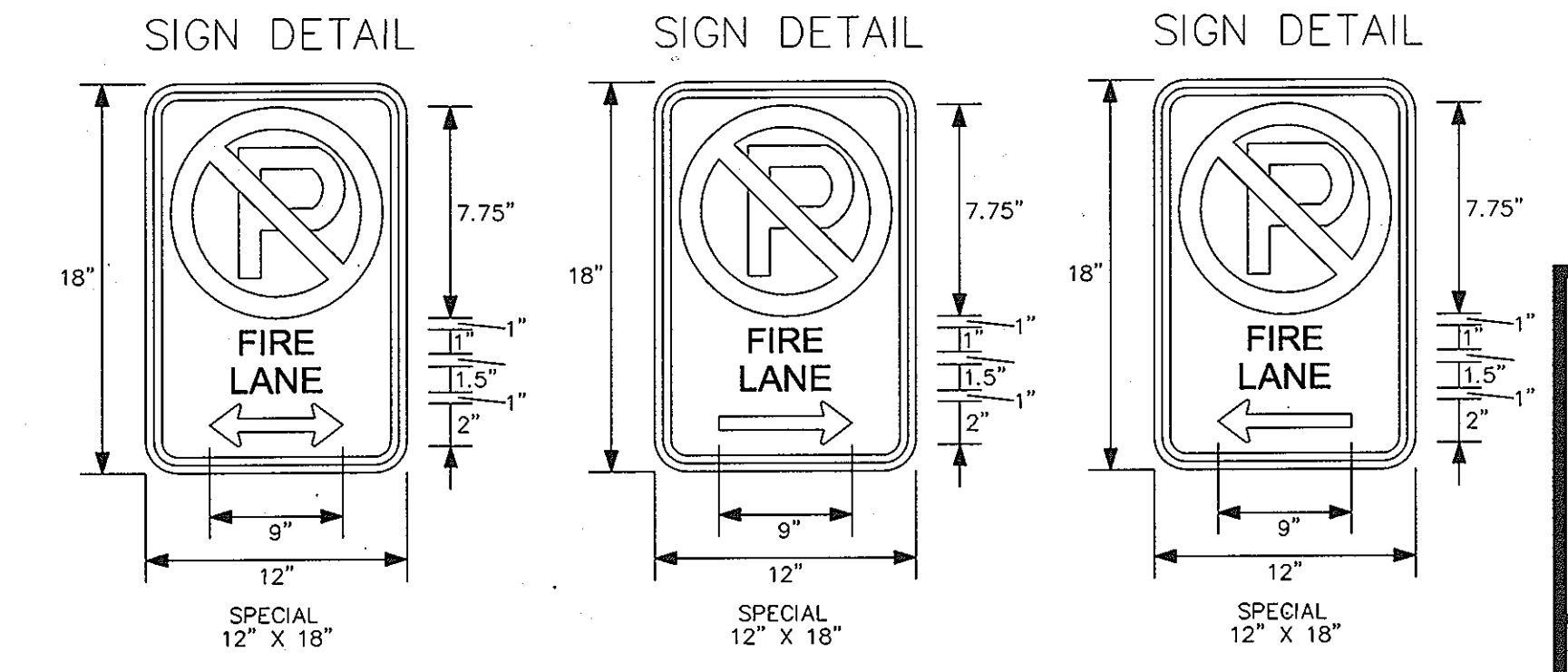
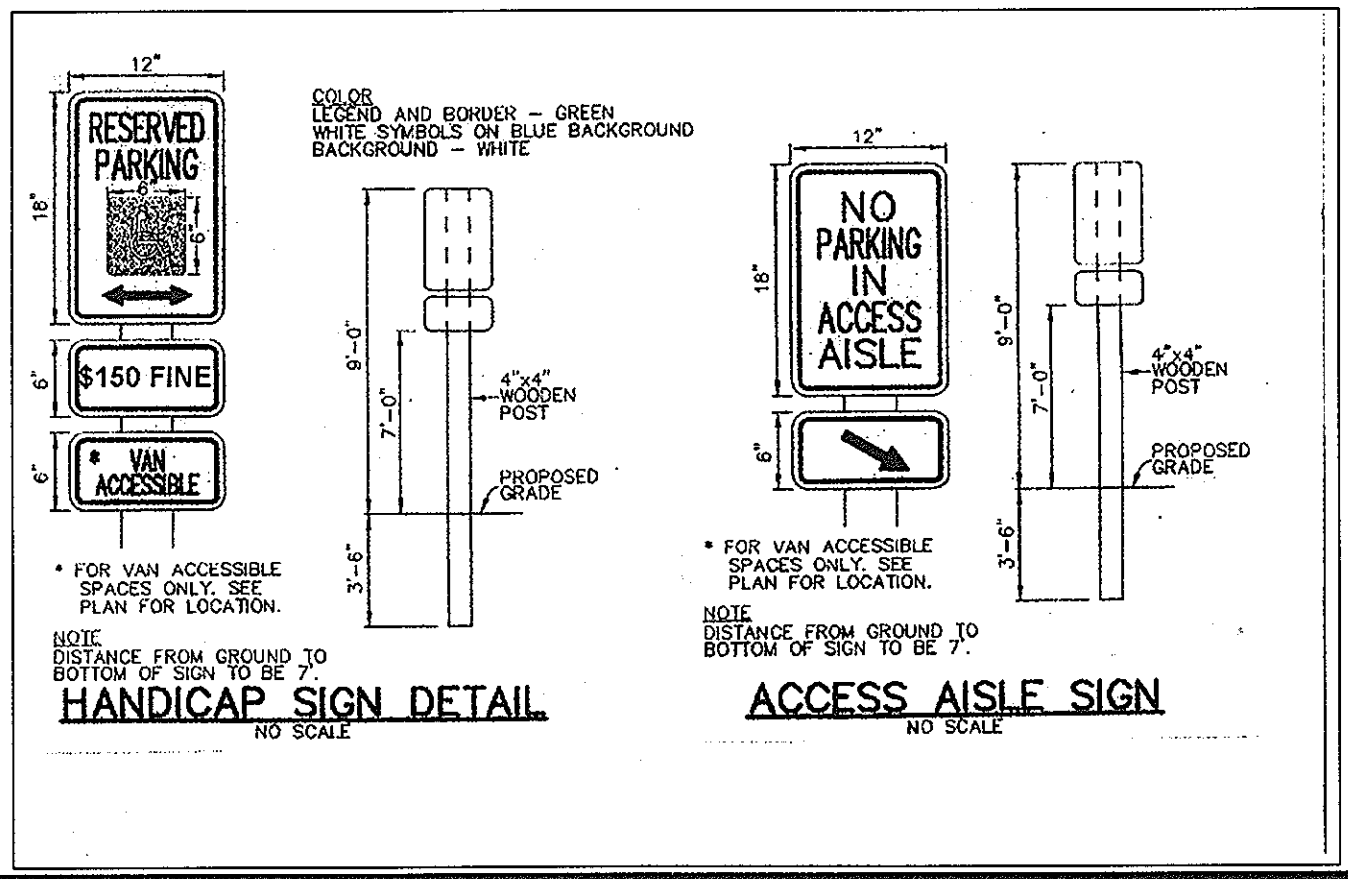
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: *Scott C. Reed*
PRINTED NAME: SCOTT C. REED
DATE: JULY 08 2008

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: *Ronald M. Myjan*
PRINTED NAME: RON MIJAN
DATE: JULY 08 2008



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

Professional Engineer Seal: *Ronald M. Myjan*, License No. 19872, State of Maryland, Mechanical Engineering, 7/10/08

1. REVISED SHEET NUMBERS 11-3-10

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITIES AT 1-800-337-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

**ON SITE
SIGNING AND PAVEMENT MARKING PLAN
MISSION PLACE**

PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
PLAT NO. 19254-19256 HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

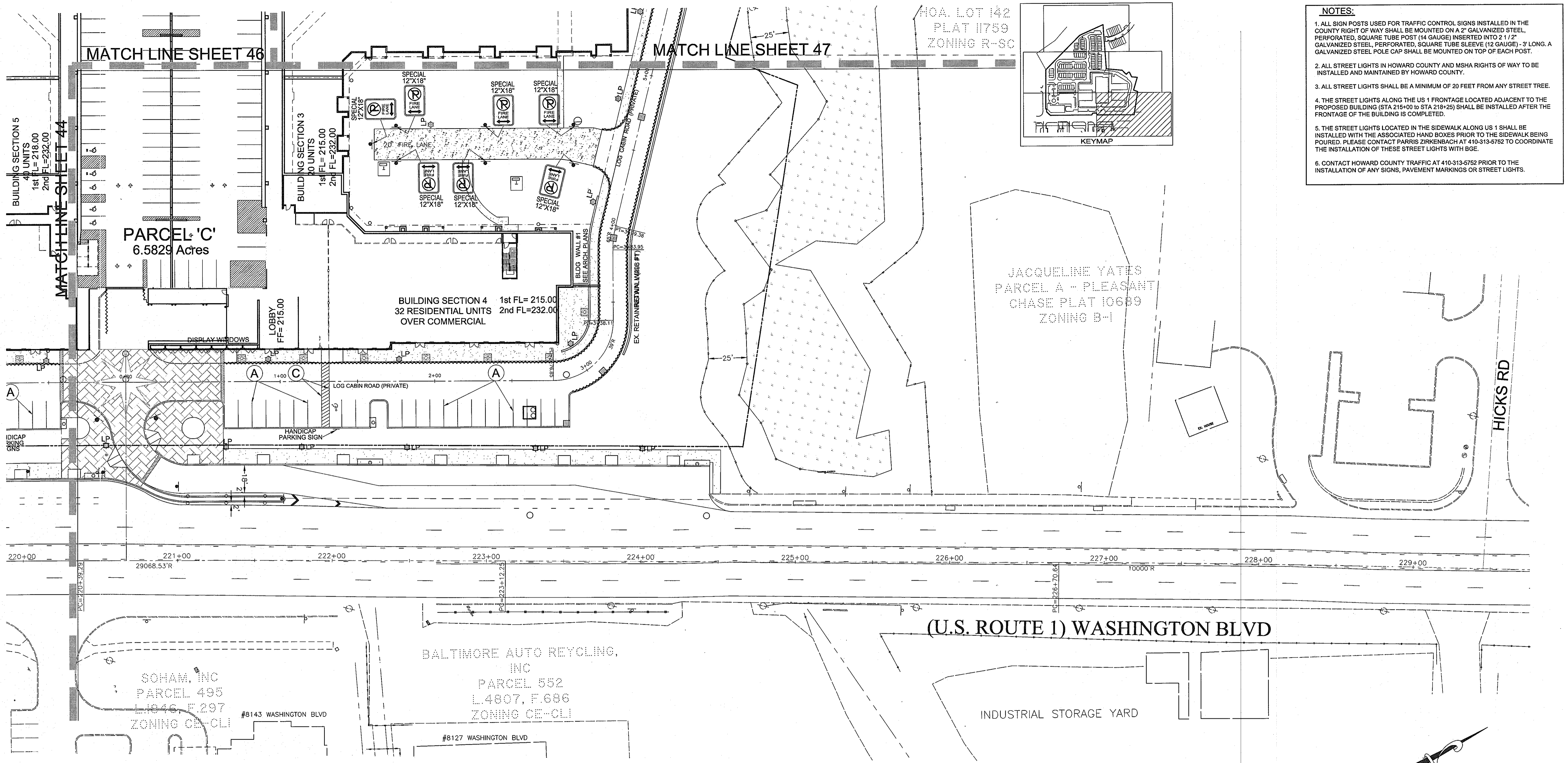
Dewberry
203 PERRY PARKWAY, SUITE 1
GANTHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBY COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

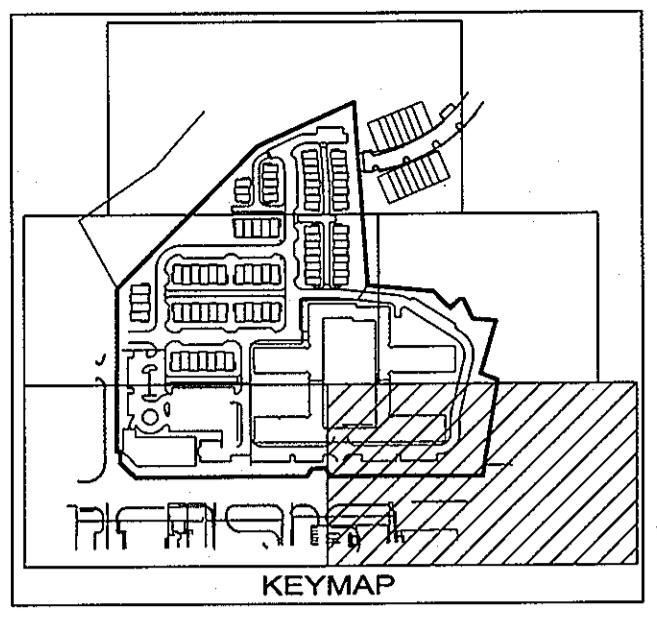
Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Sheet: 47 of 53

Section: NA Area: NA Phase: NA Scale: 1"=30'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C
Date: JULY 2008
Prior Submittals: ZB 1045M SP-06-18 F-07-156
HO-927 SDP-07-101 SDP-07-113
WP-05-096 AA-05-016
File number:

MATCH LINE SHEET 45



- NOTES:**
1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 2. ALL STREET LIGHTS IN HOWARD COUNTY AND MSHA RIGHTS OF WAY TO BE INSTALLED AND MAINTAINED BY HOWARD COUNTY.
 3. ALL STREET LIGHTS SHALL BE A MINIMUM OF 20 FEET FROM ANY STREET TREE.
 4. THE STREET LIGHTS ALONG THE US 1 FRONTAGE LOCATED ADJACENT TO THE PROPOSED BUILDING (STA 215+00 TO STA 218+25) SHALL BE INSTALLED AFTER THE FRONTAGE OF THE BUILDING IS COMPLETED.
 5. THE STREET LIGHTS LOCATED IN THE SIDEWALK ALONG US 1 SHALL BE INSTALLED WITH THE ASSOCIATED HAND BOXES PRIOR TO THE SIDEWALK BEING POURED. PLEASE CONTACT PARRIS ZIRKENBACH AT 410-313-5752 TO COORDINATE THE INSTALLATION OF THESE STREET LIGHTS WITH BGE.
 6. CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS:

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DATE

DATE

DATE

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER

DATE

PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

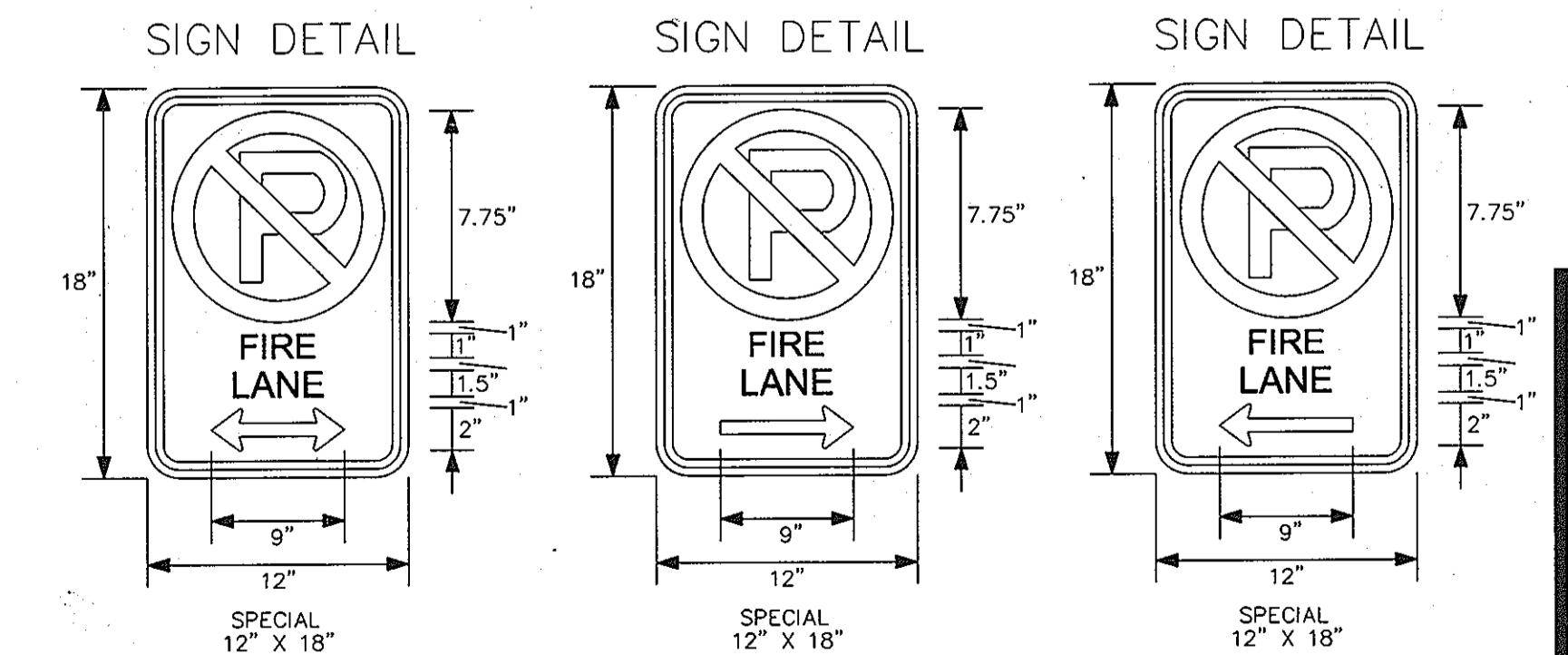
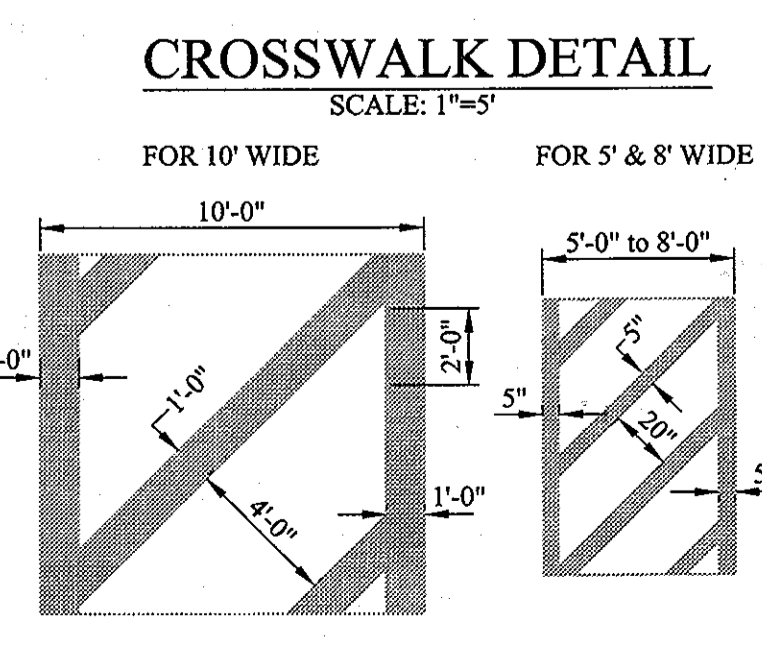
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SIGNATURE OF ENGINEER

DATE

PRINTED NAME: RON MUJAN

- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3' LINE, 9" SPACE)
 - C. 12" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - D. 5" DOUBLE YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - E. 12" YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - F. POST MOUNTED DELINEATOR (WHITE)
 - G. REFER TO SIGNAL PLANS
 - H. EXISTING TO REMAIN
 - I. WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING ARROW
 - J. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (2' LINE, 6" SPACE)
- RED PAINTED CURB WITH "NO PARKING FIRE LANE" STENCIL IN WHITE



PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

STATE OF MARYLAND PROFESSIONAL ENGINEER

1. REVISED SHEET NUMBERS 11-3-10

NOTE
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

ON SITE SIGNING AND PAVEMENT MARKING PLAN
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT
W&S CONTRACT: 24-4402-D
FLAT NO. 14054-19058 HOWARD COUNTY, MARYLAND

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI
Scale: 1"=30'
Sheet: 48 of 53
File number:

Section: NA Area: NA Phase: NA Scale: 1"=30'
Date: JULY 2008
Prior Submittal: ZB 1048M SP-06-18 SDP-07-101 F-07-156
HO-827 SDP-07-113
WP-06-096 AA-06-016

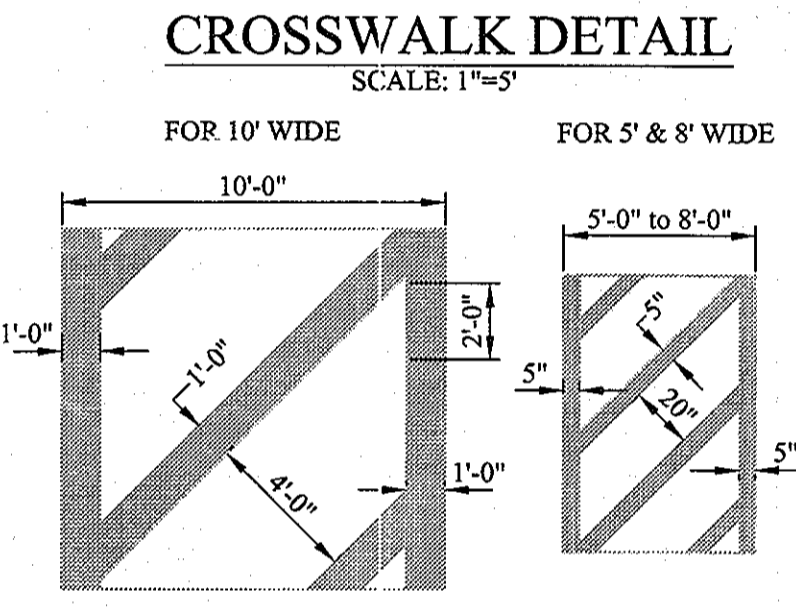
NOTES:

1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE) - 3' LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
2. ALL STREET LIGHTS IN HOWARD COUNTY AND MSHA RIGHTS OF WAY TO BE INSTALLED AND MAINTAINED BY HOWARD COUNTY.
3. ALL STREET LIGHTS SHALL BE A MINIMUM OF 20 FEET FROM ANY STREET TREE.
4. THE STREET LIGHTS ALONG THE US 1 FRONTAGE LOCATED ADJACENT TO THE PROPOSED BUILDING (STA 215+00 TO STA 218+25) SHALL BE INSTALLED AFTER THE FRONTAGE OF THE BUILDING IS COMPLETED.
5. THE STREET LIGHTS LOCATED IN THE SIDEWALK ALONG US 1 SHALL BE INSTALLED WITH THE ASSOCIATED HAND BOXES PRIOR TO THE SIDEWALK BEING POURED. PLEASE CONTACT PARRIS ZIRKENBACH AT 410-313-5752 TO COORDINATE THE INSTALLATION OF THESE STREET LIGHTS WITH BGE.
6. CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.

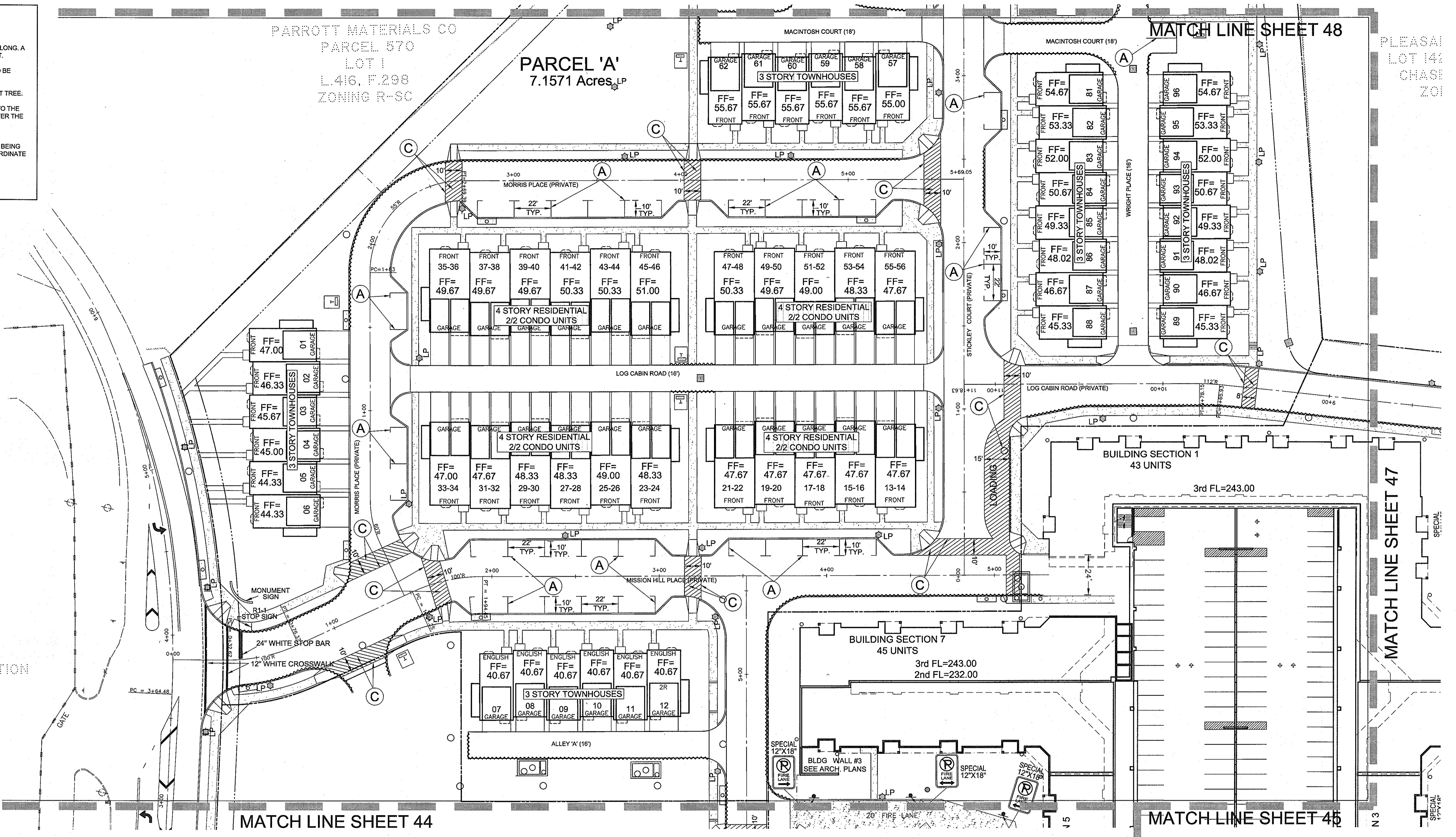
PARROTT MATERIALS CO
 PARCEL 570
 LOT 1
 L.416, F.298
 ZONING R-SC
PARCEL 'A'
 7.1571 Acres

MATCH LINE SHEET 48

PLEASE!
 LOT 14
 CHASE
 ZOI



CONWAY TRANSPORTATION
 SERVICES
 PARCEL 518
 L.04708, F.0122
 ZONING CE-CL1



MATCH LINE SHEET 44

MATCH LINE SHEET 45

MATCH LINE SHEET 47

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: *Stephen Leffler* 8/15/08
 Chief, Development Engineering Division: *Chad Damann* 8/15/08
 Chief, Division of Land Development: *T. Mankert* 8/15/08

BY THE DEVELOPER:

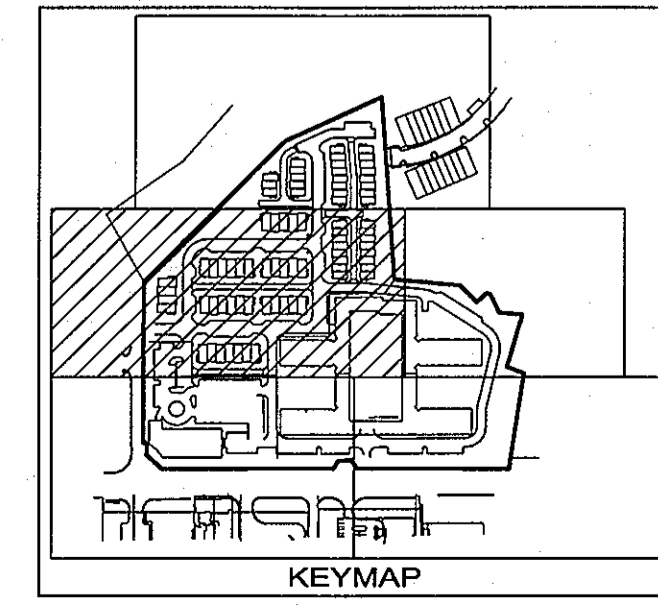
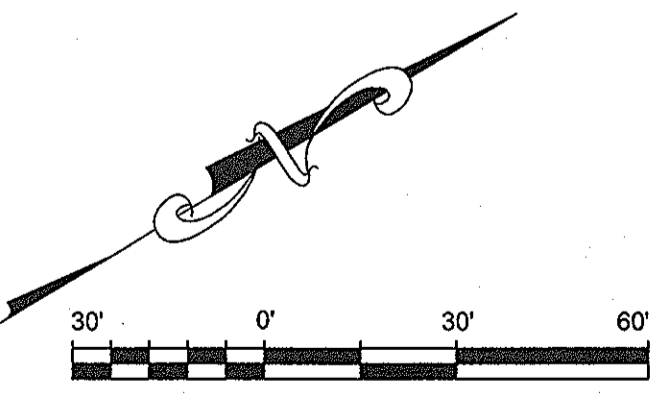
"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Manager: *Scott C. Reed* JULY 08 2008

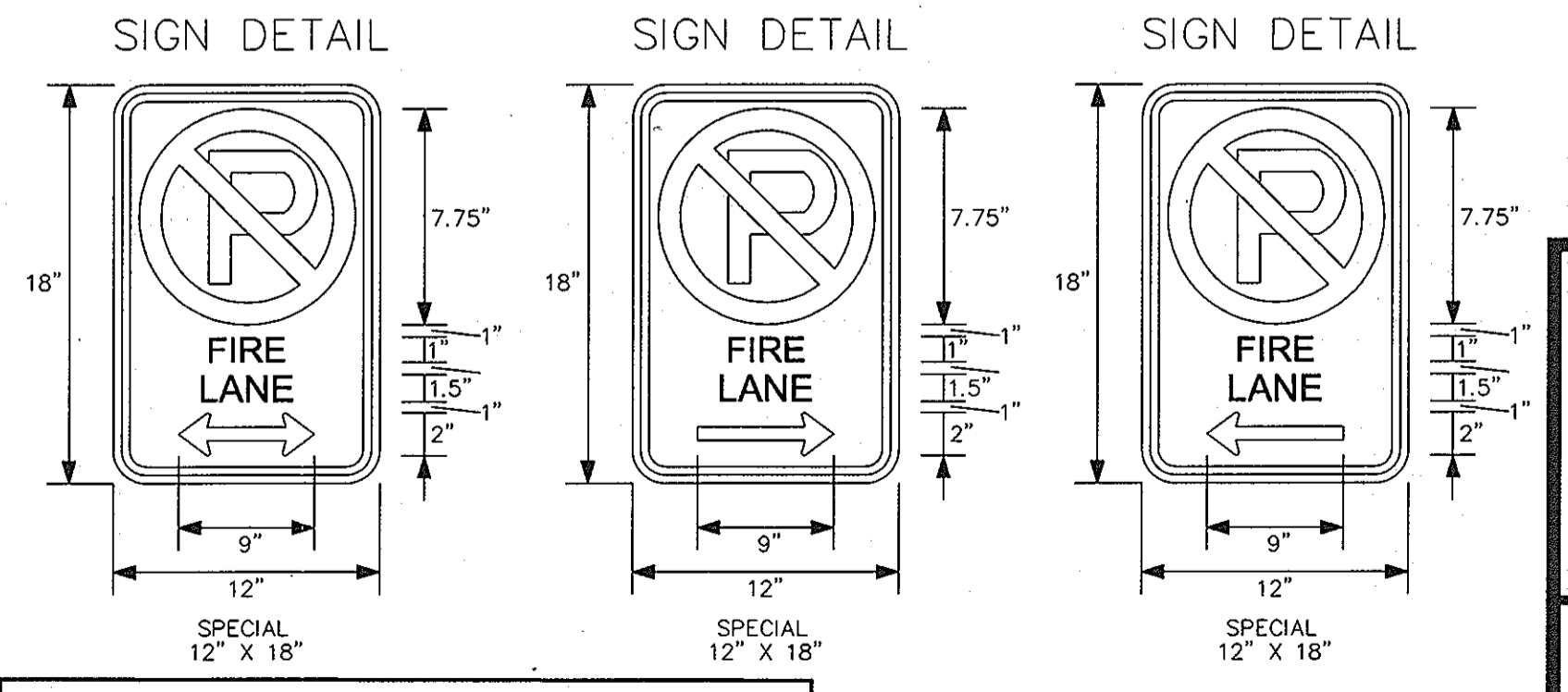
BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *Ronald M. Mijan* JULY 08 2008



- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3" LINE, 9" SPACE)
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 - G. REFER TO SIGNAL PLANS
 - H. EXISTING TO REMAIN
 - I. WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING ARROW
- RED PAINTED CURB WITH "NO PARKING FIRE LANE" STENCIL IN WHITE



PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872
 EXPIRATION DATE: 12/01/08

Professional Engineer: *W. E. 106*

1. REVERSE SHEET NUMBERS 11-3-10

NOTE
 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY OBTAINING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION CONTACT MISS UTILITY AT 1-800-485-4848 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) FEET, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION

ON SITE SIGNING AND PAVEMENT MARKING PLAN
MISSION PLACE
 APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT PLAT NO. 1854-1955 HOWARD COUNTY, MARYLAND

Dewberry
 203 PERRY PARKWAY, SUITE 107
 WASHINGTON, MARYLAND 20787
 PHONE: 301.948.8300
 FAX: 301.258.7607

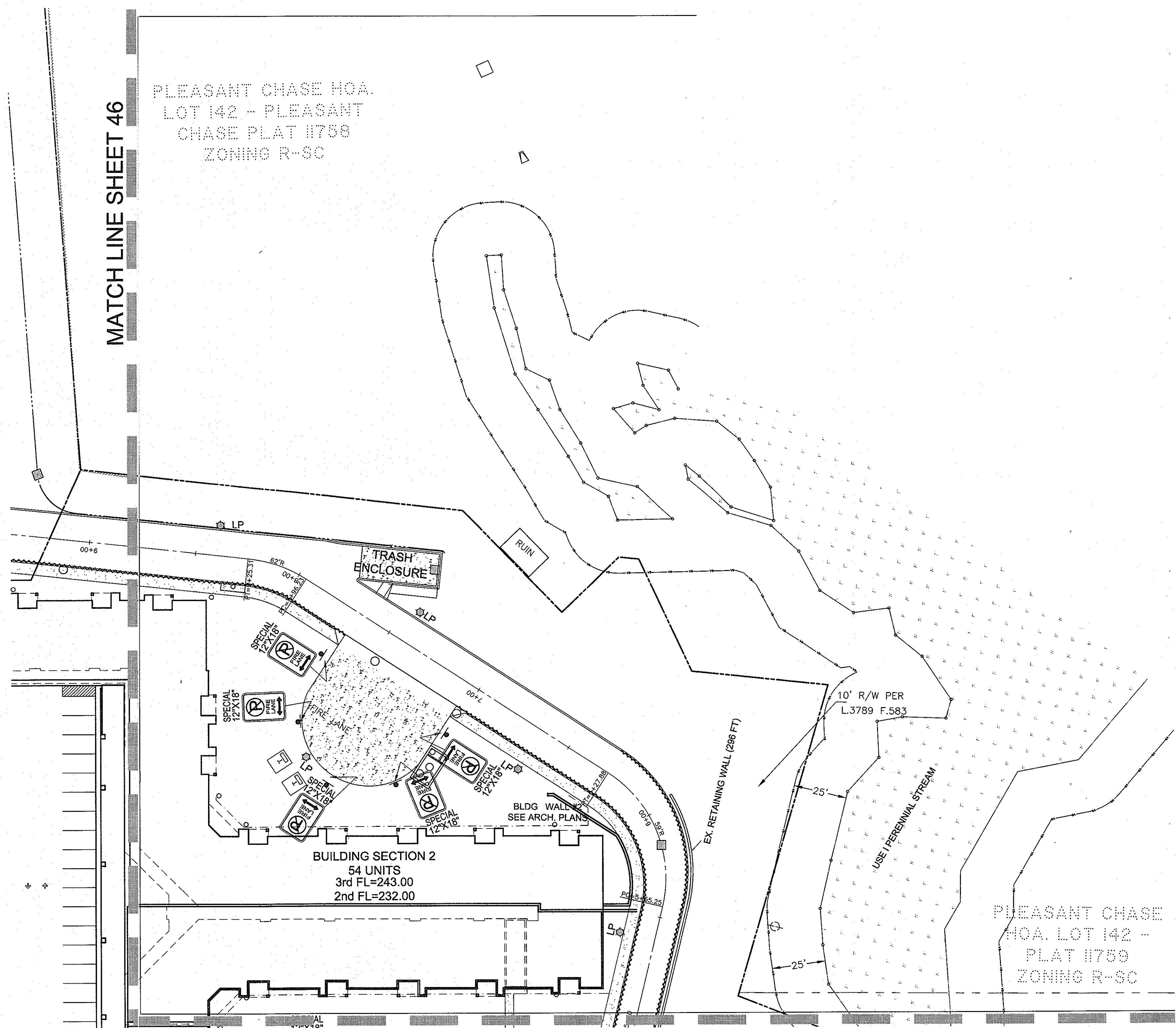
OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBEN COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2ND FL
 OENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zone: CAC-CLI
 Sheet: 49 of 53

Section: NA Area: NA Phase: NA Scale: 1"=30'
 Tax Map Grid & Parcel: 23 10BAM SP-06-18 F-07-156 Date: JULY 2008
 Prior Submittal: HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016 File number: SDP-07-104

MATCH LINE SHEET 46

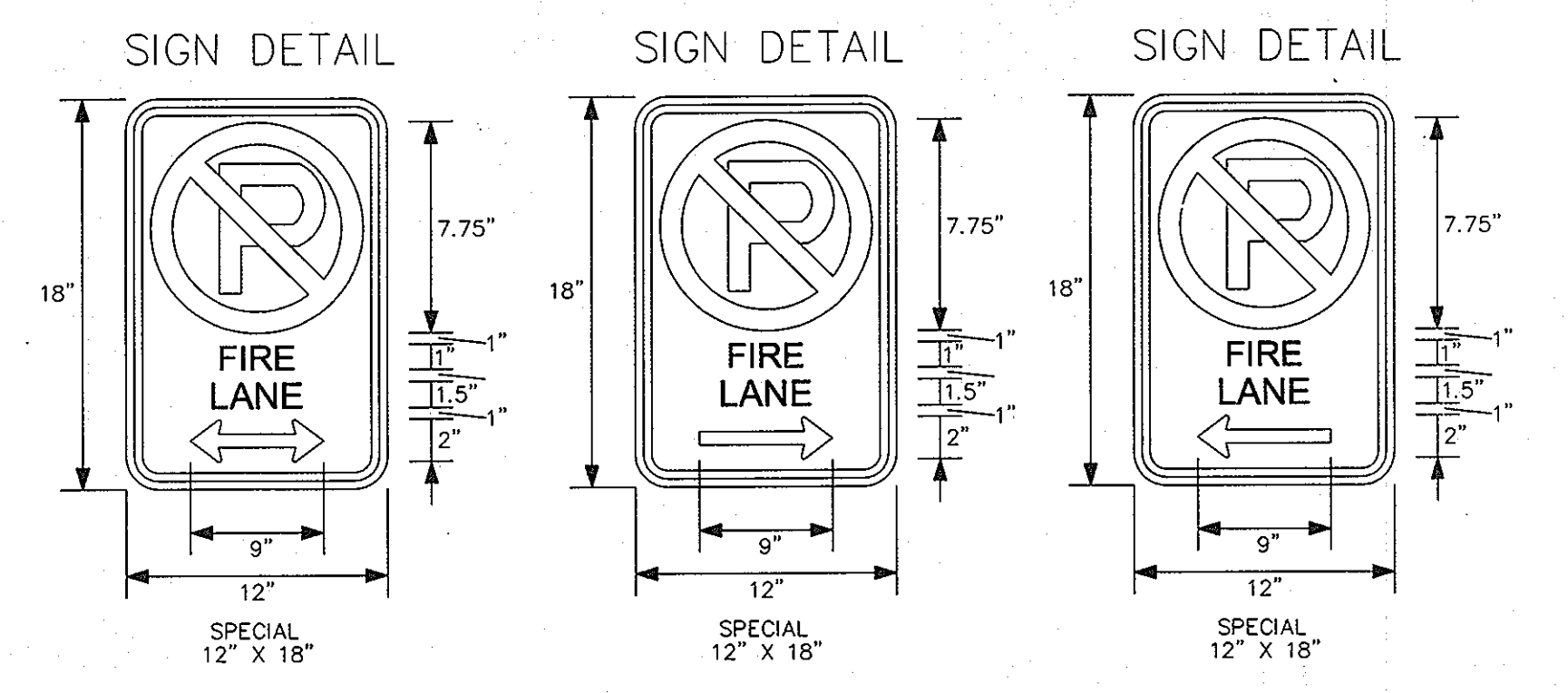
PLEASANT CHASE HOA.
LOT 142 - PLEASANT
CHASE PLAT 11758
ZONING R-9C



MATCH LINE SHEET 45

NOTES:

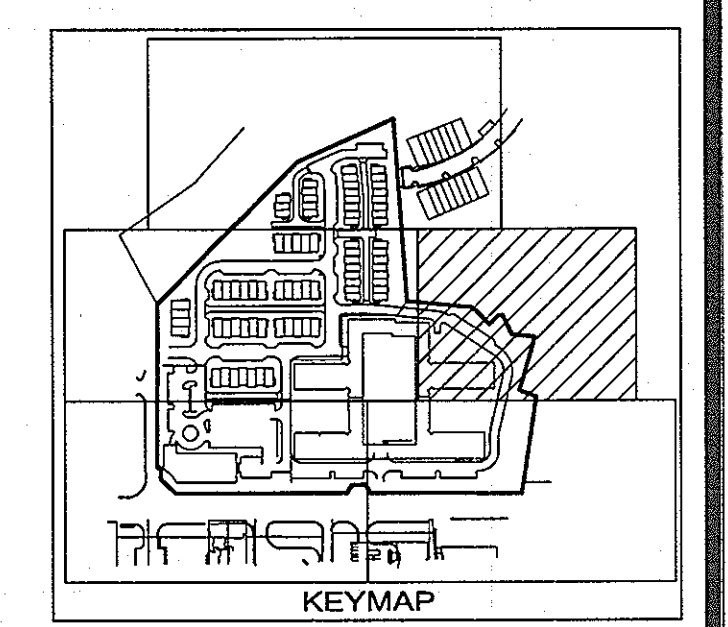
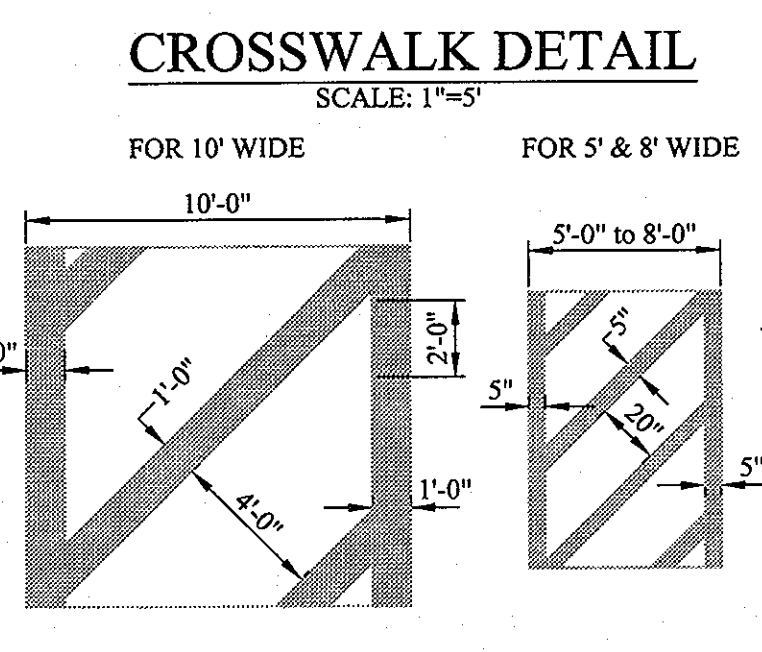
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LEGEND:

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- B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3' LINE, 9" SPACE)
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RED PAINTED CURB WITH "NO PARKING FIRE LANE" STENCIL IN WHITE



THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A. NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

DATE: 8/15/08

DATE: 8/15/08

DATE: 8/15/08

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER: *Scott C. Reed*
DATE: JULY 08 2008
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER: *Ronald M. Mijan*
DATE: JULY 08 2008
PRINTED NAME: RON MIJAN

1. REVISED SHEET NUMBERS 11-3-10

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER: _____ DATE: _____
HOWARD COUNTY HEALTH DEPARTMENT

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/8/08

NOTE

INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

ON SITE SIGNING AND PAVEMENT MARKING PLAN
MISSION PLACE
PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
PLAT NO. 19254 - 19256 HOWARD COUNTY, MARYLAND
6TH ELECTION DISTRICT

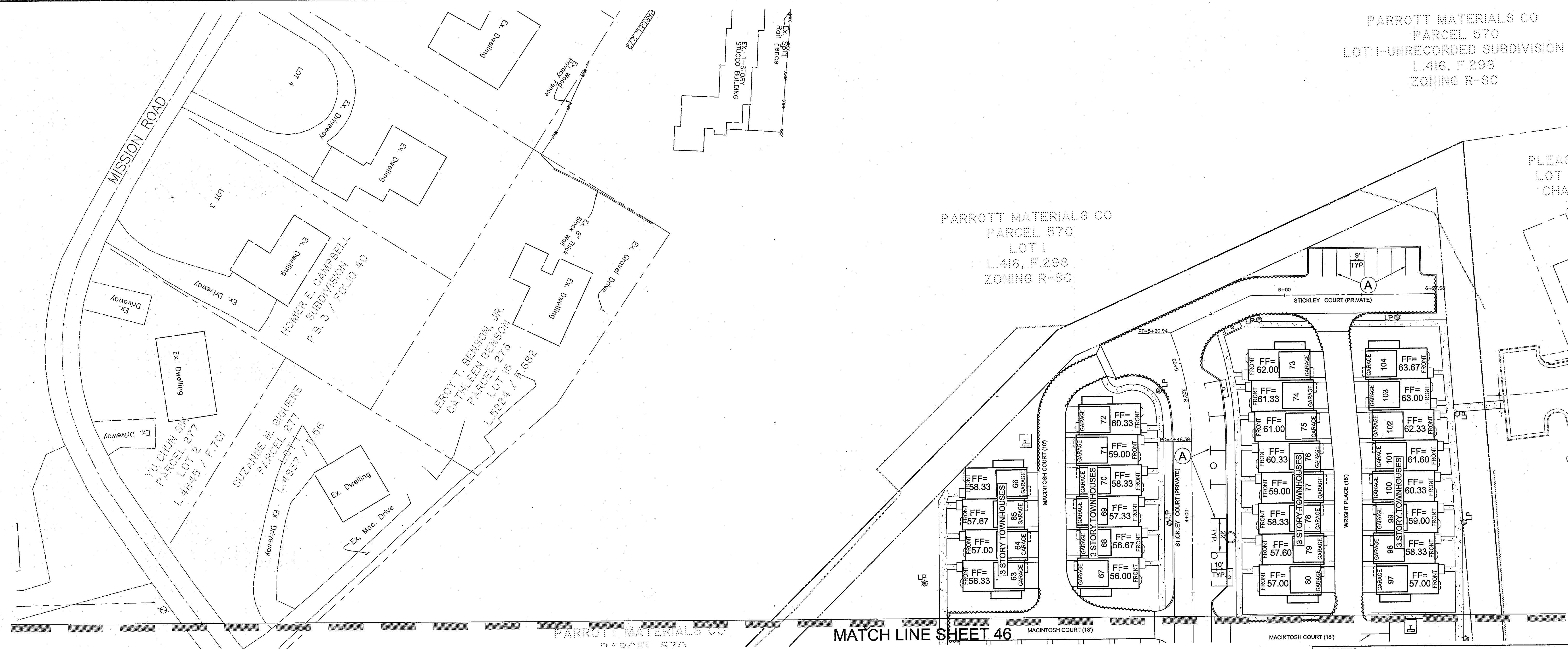
Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR., 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 50 of 53

Section: NA Area: NA Phase: NA Scale: 1"=30'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C
Date: JULY 2008
Prior Submittal: ZB 1048M SP-06-18 F-07-156
HO-827 SDP-07-101 SDP-07-113
WP-06-096 AA-06-016

PARROTT MATERIALS CO
 PARCEL 570
 LOT 1-UNRECORDED SUBDIVISION
 L.416, F.298
 ZONING R-3C

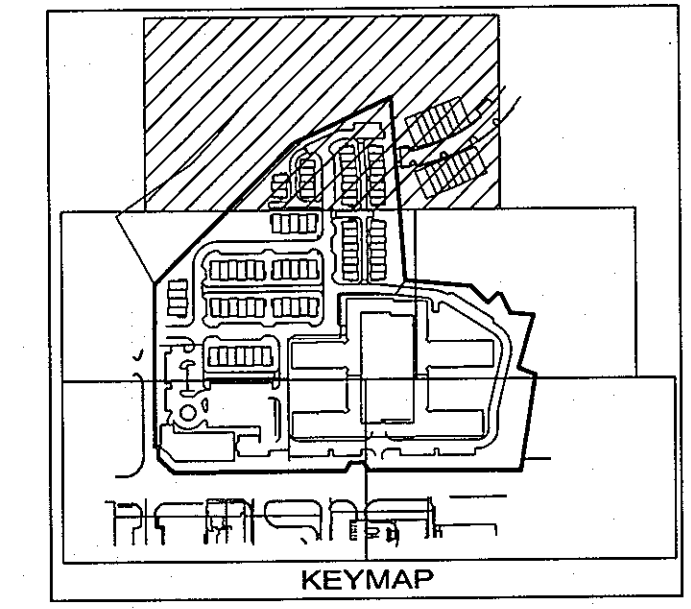
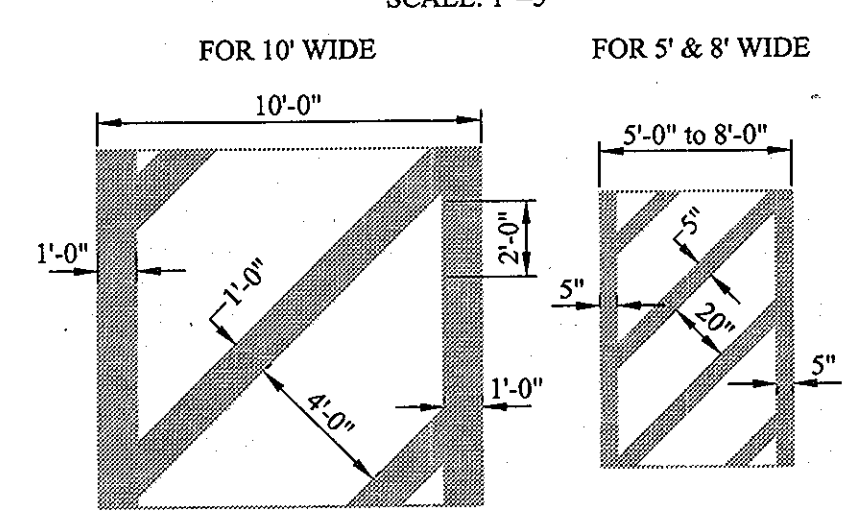


PARROTT MATERIALS CO
 PARCEL 570
 LOT 1
 L.416, F.298
 ZONING R-3C

MATCH LINE SHEET 46

- NOTES:**
1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE). 3" LONG. A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
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 6. CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.

CROSSWALK DETAIL
 SCALE: 1"=5'



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Director: *Debra Lafferty* 8/15/08

Chief, Division of Land Development: *T. Manuella* 8/15/08

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Manager: *Scott C. Reed* DATE: JULY 08 2008

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Signature of Engineer: *Ronald M. Mijan* DATE: JULY 08 2008

Printed Name: RON MIJAN

- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3" LINE, 9" SPACE)
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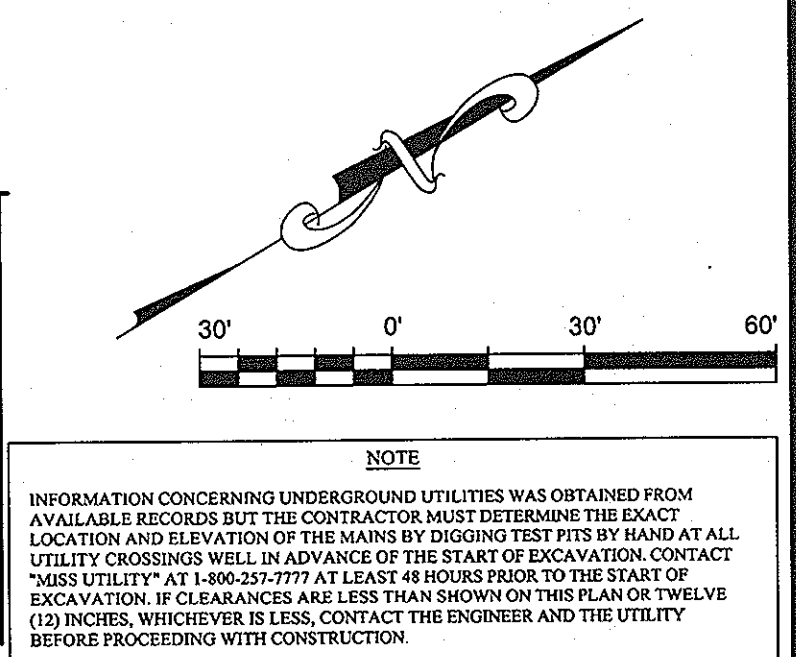
1. REVISED SHEET NUMBERS 11-3-10

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LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

Professional Engineer Seal: *Ronald M. Mijan*



ON SITE SIGNING AND PAVEMENT MARKING PLAN
MISSION PLACE
 PARCELS A & C
 APARTMENTS, TOWNHOUSES AND COMMERCIAL

6TH ELECTION DISTRICT

Dewberry
 203 PERRY PARKWAY, SUITE 1
 GAITHERSBURG, MARYLAND 20877
 PHONE: 301.948.8300
 FAX: 301.258.7607

OWNER / DEVELOPER:
 MISSION ROAD INVESTORS, LLC
 c/o THE DOLBY COMPANY, INC.
 2600 MIDWAY BRANCH DR, 2ND FL
 ODENTON, MD 21113
 CONTACT: MATTHEW BITAR
 PH: 301.912.3600
 FX: 301.912.3400

W&S CONTRACT: 24-4402-D
 PLAT NO. 19554-19556

HOWARD COUNTY, MARYLAND

Drawn by: KDM
 Designed by: KDM
 Checked by: JMC
 Zoned: CAC-CLI
 Sheet: 51 of 53

Section: NA Area: NA Place: NA Scale: 1"=30'

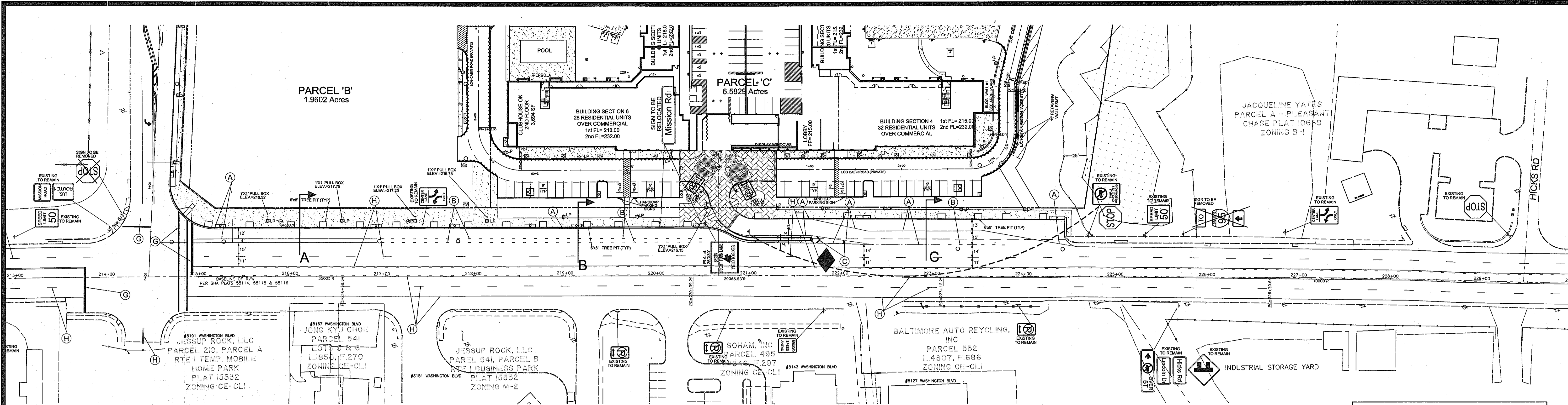
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C

Date: JULY 2008

Prior Submittals: 23 104-04 SP-06-18 F-07-156

HO-827 SDP-07-101 SDP-07-113

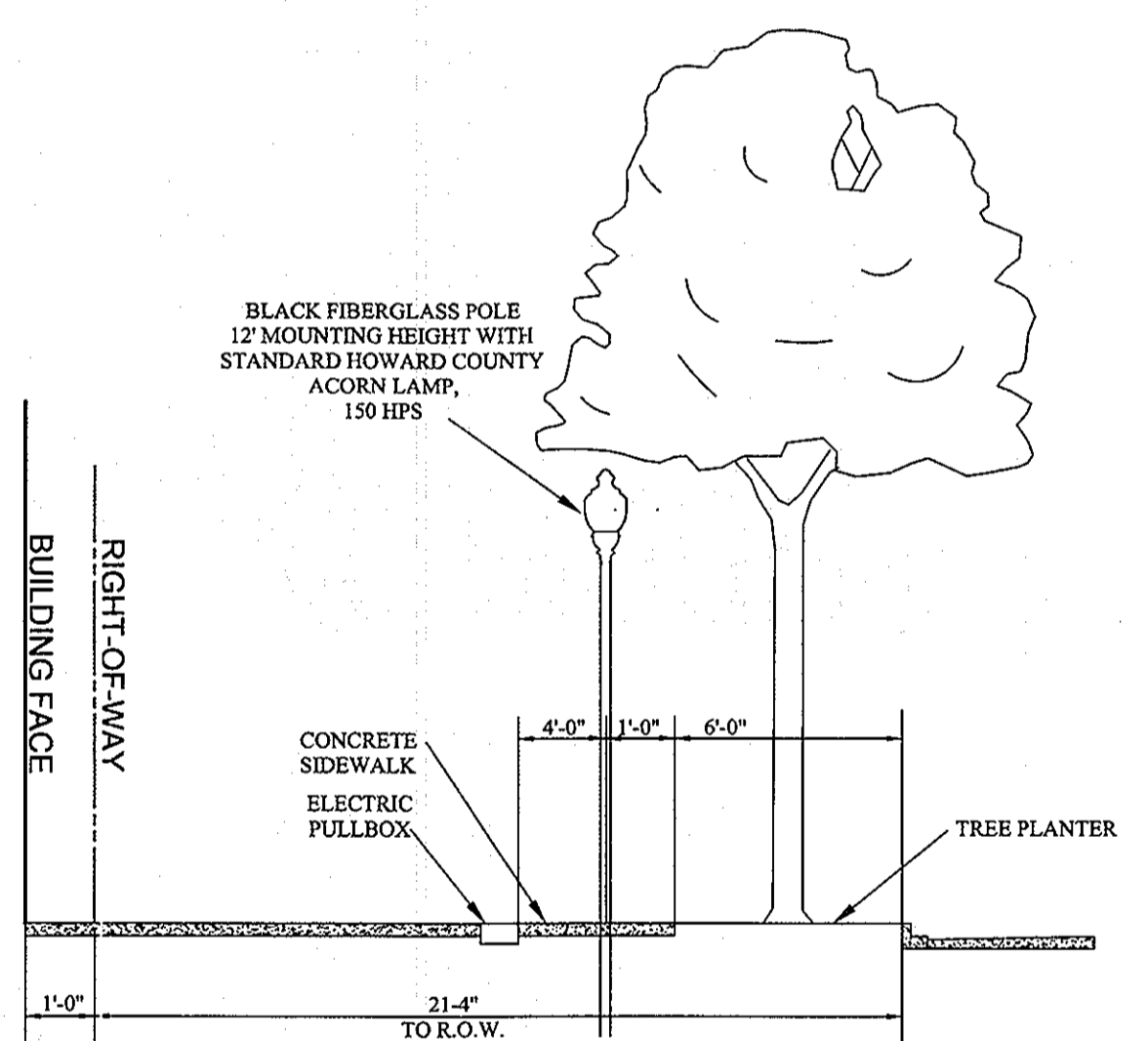
File number: 51 of 53



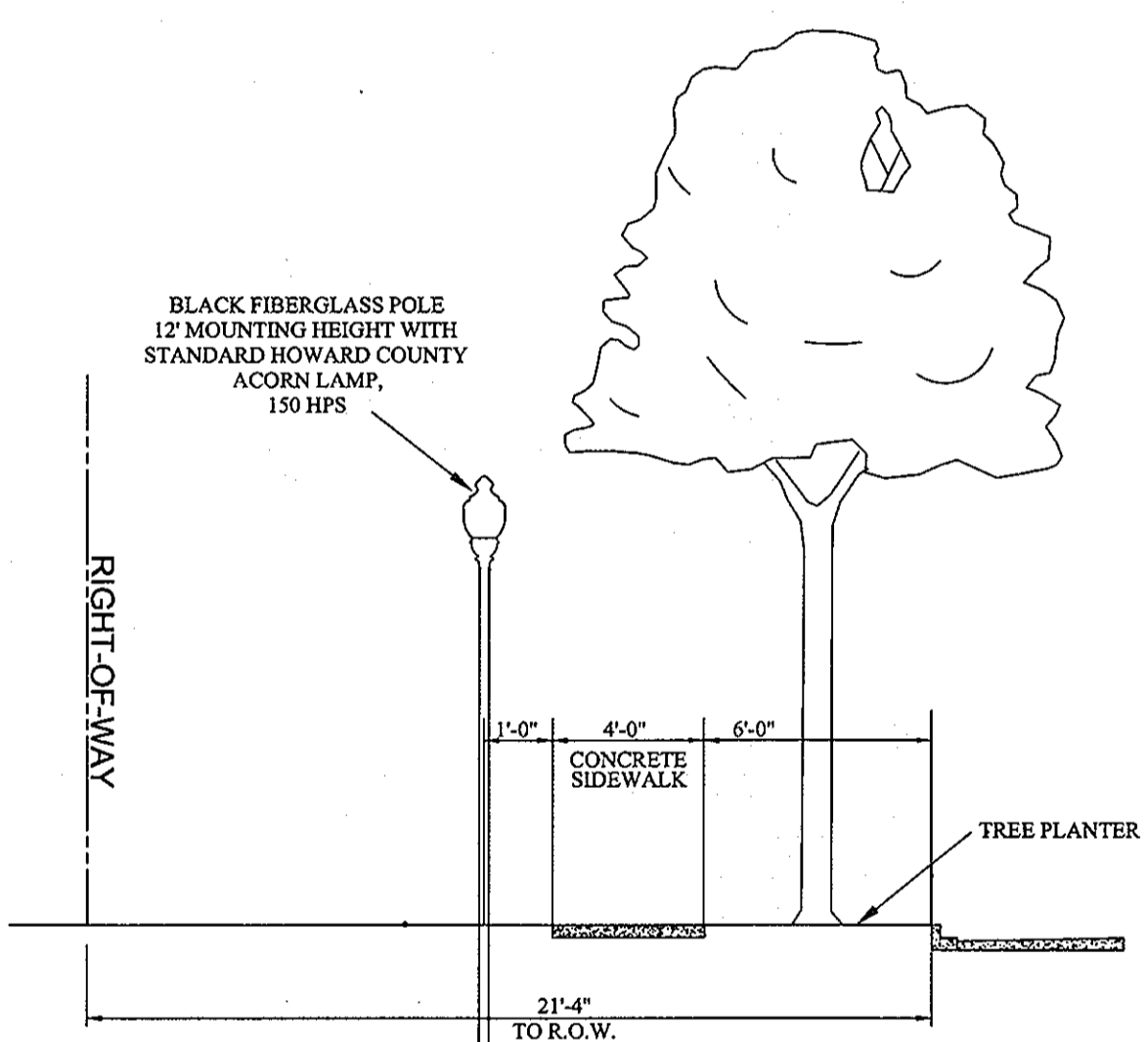
ROUTE 1 STREETS LIGHT LOCATIONS

PULL BOX WHERE STREET LIGHT IS IN SIDEWALK
STANDARD HOWARD COUNTY ACORN LAMP, 150 HPS;
12' MOUNTING HEIGHT ON BLACK FIBERGLASS POLE

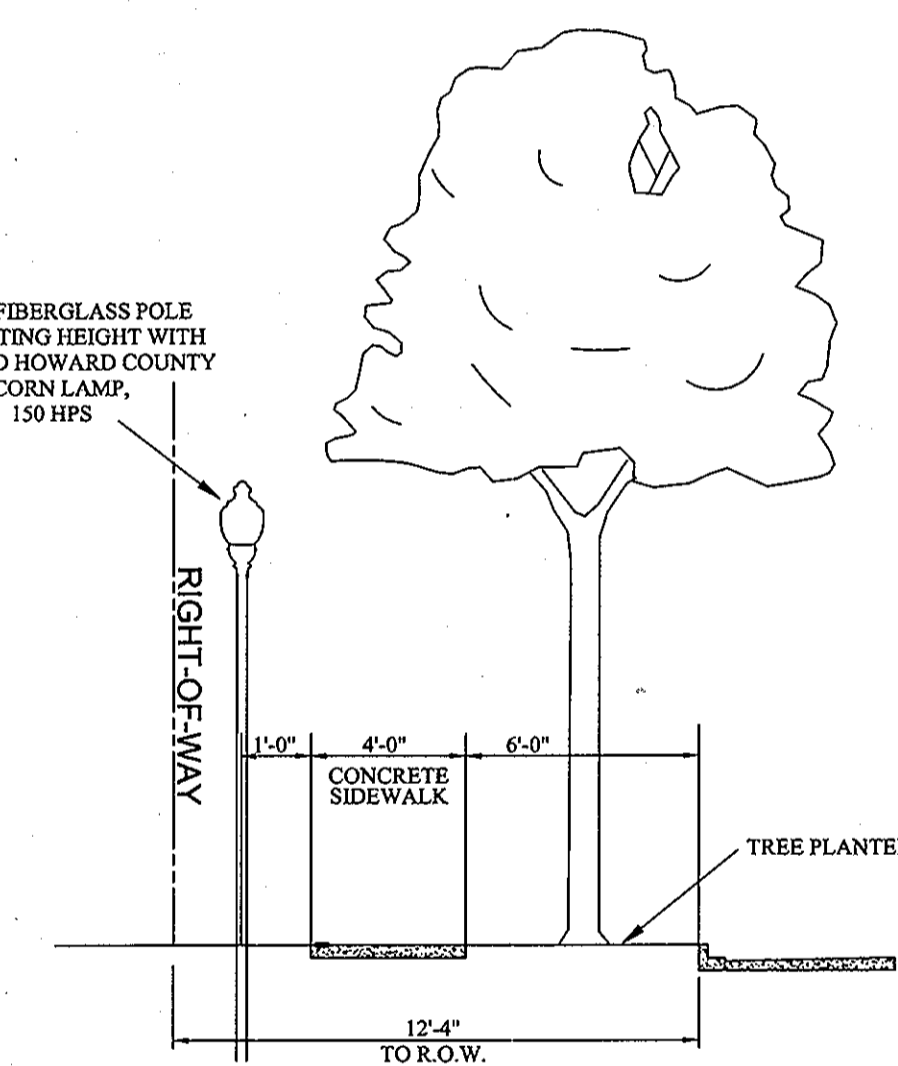
STATION	OFFSET
224+00	74'
223+31	74'
222+48	74'
221+80	74'
221+31	74'
220+54	75'
219+78	64'
218+98	64'
218+14	61'
217+36	61'
216+56	61'
215+75	61'



SECTION A



SECTION B



SECTION C

ROUTE 1 LIGHTING

- NOTES:**
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE). A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
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 - THE STREET LIGHTS ALONG THE US 1 FRONTAGE LOCATED ADJACENT TO THE PROPOSED BUILDING (STA 215+00 TO STA 218+25) SHALL BE INSTALLED AFTER THE FRONTAGE OF THE BUILDING IS COMPLETED.
 - THE STREET LIGHTS LOCATED IN THE SIDEWALK ALONG US 1 SHALL BE INSTALLED WITH THE ASSOCIATED HAND BOXES PRIOR TO THE SIDEWALK BEING POURED. PLEASE CONTACT PARRIS ZIRKENBACH AT 410-313-6762 TO COORDINATE THE INSTALLATION OF THESE STREET LIGHTS WITH BGE.
 - CONTACT HOWARD COUNTY TRAFFIC AT 410-313-6762 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.

- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (3" LINE, 9" SPACE)
 - C. 12" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - D. 5" DOUBLE YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - E. 12" YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - F. POST MOUNTED DELINEATOR (WHITE)
 - G. REFER TO SIGNAL PLANS
 - H. EXISTING TO REMAIN
 - I. WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING ARROW
 - J. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (2" LINE, 8" SPACE)
- RED PAINTED CURB WITH STENCIL IN WHITE

APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

DATE

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR

CHIEF, DEVELOPMENT ENGINEERING DIVISION

DATE

CHIEF, DIVISION OF LAND DEVELOPMENT

DATE

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF MANAGER

DATE

PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT."

SIGNATURE OF ENGINEER

DATE

PRINTED NAME: RON MIJAN

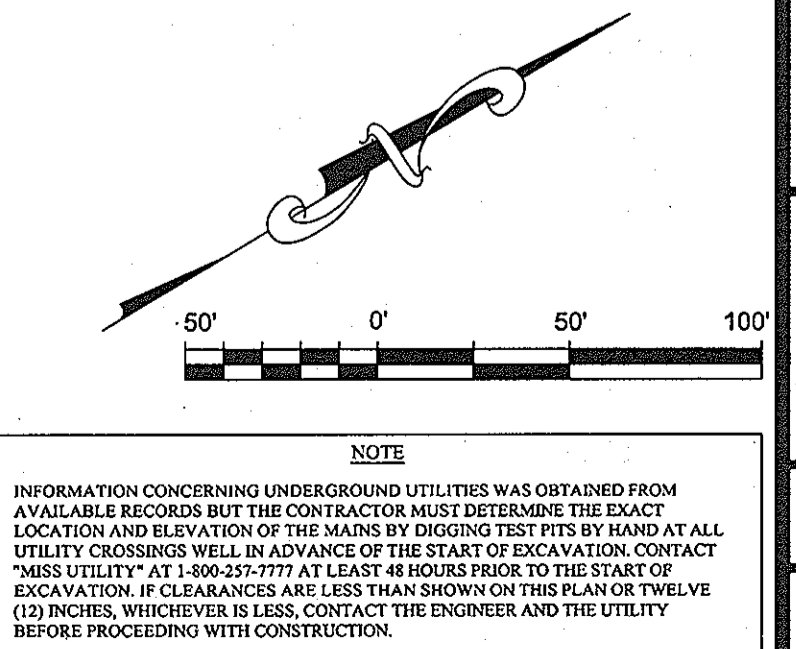
1. REVISED SHEET NUMBERS 11-3-10

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872

EXPIRATION DATE: 12/01/08

7/9/08



ROUTE 1 SIGNING AND PAVEMENT MARKING PLAN

MISSION PLACE

APARTMENTS, TOWNHOUSES AND COMMERCIAL

PARCELS A & C

W&S CONTRACT: 24-4402-D

PLAT NO. 19064 - 19068 HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

Dewberry

203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2ND FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zone: CAC-CLI
Sheet: 52 of 53

Section: NA Area: NA Phase: NA Scale: 1"=50'

Tax Map Grid & Parcel: MAP 45, GRID 14 PARCELS A & C Date: JULY 2008

Price Schedule: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 SDP-07-113 WP-06-096 AA-06-016

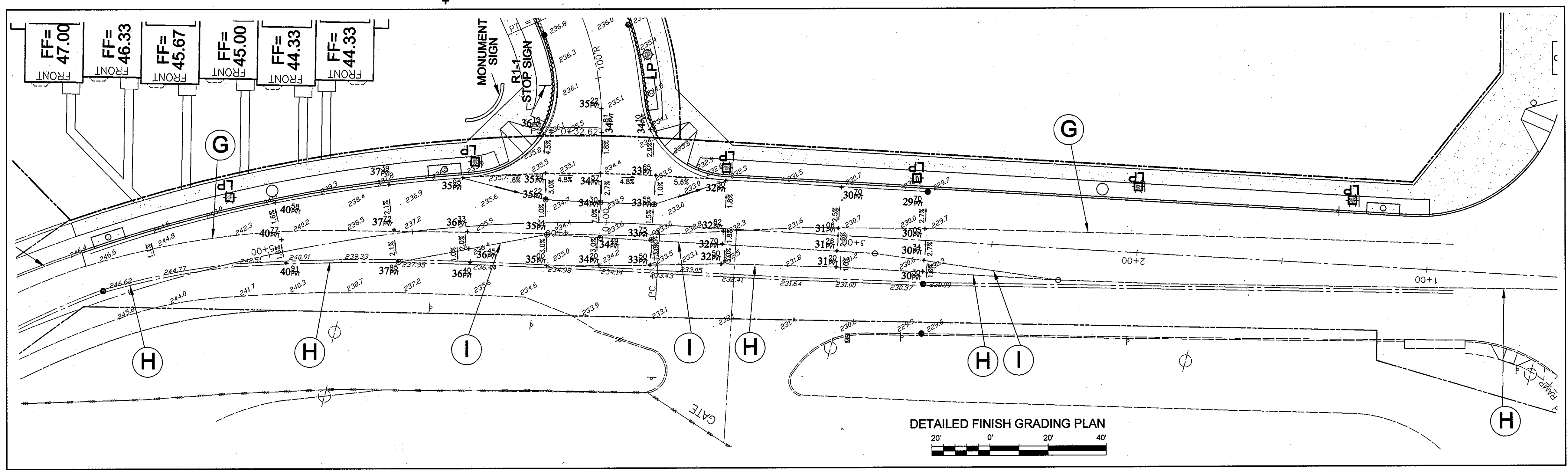
File number: 52 of 53

- NOTES:**
1. ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT OF WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO 2 1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE). 3' LONG A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
 2. ALL STREET LIGHTS IN HOWARD COUNTY AND MSHA RIGHTS OF WAY TO BE INSTALLED AND MAINTAINED BY HOWARD COUNTY.
 3. ALL STREET LIGHTS SHALL BE A MINIMUM OF 20 FEET FROM ANY STREET TREE.
 4. THE STREET LIGHTS ALONG THE US 1 FRONTAGE LOCATED ADJACENT TO THE PROPOSED BUILDING (STA 215+00 TO STA 218+25) SHALL BE INSTALLED AFTER THE FRONTAGE OF THE BUILDING IS COMPLETED.
 5. THE STREET LIGHTS LOCATED IN THE SIDEWALK ALONG US 1 SHALL BE INSTALLED WITH THE ASSOCIATED HAND BOXES PRIOR TO THE SIDEWALK BEING POURED. PLEASE CONTACT PARRIS ZIRKENBACH AT 410-313-5752 TO COORDINATE THE INSTALLATION OF THESE STREET LIGHTS WITH BGE.
 6. CONTACT HOWARD COUNTY TRAFFIC AT 410-313-5752 PRIOR TO THE INSTALLATION OF ANY SIGNS, PAVEMENT MARKINGS OR STREET LIGHTS.

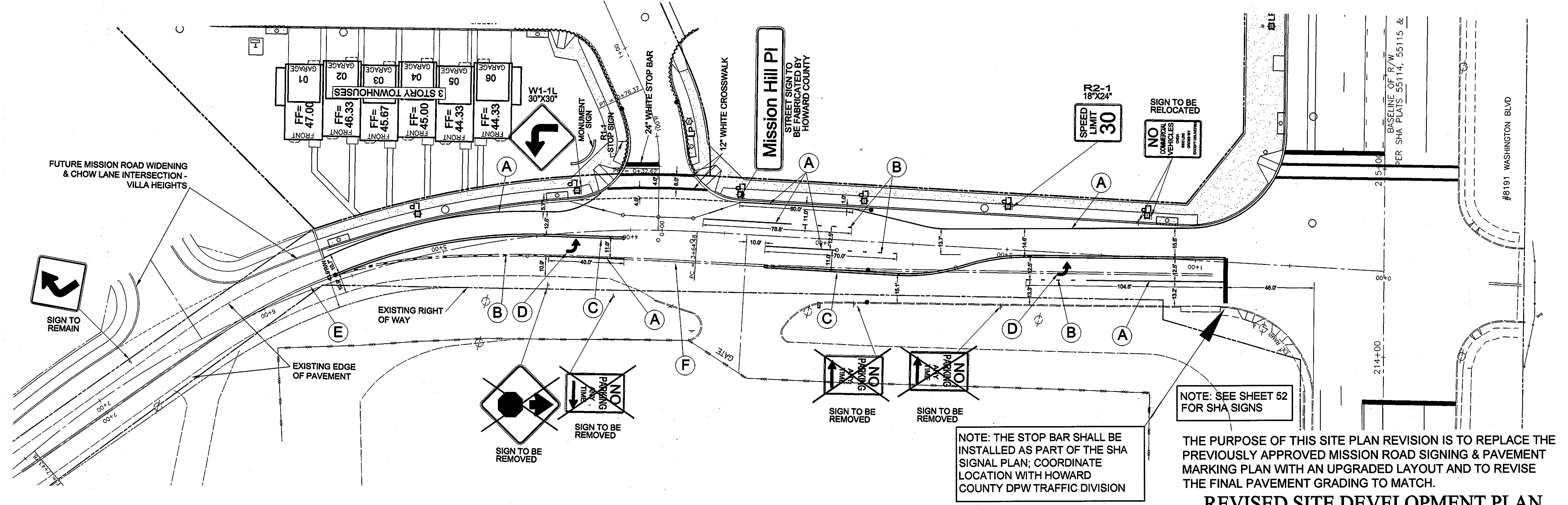
MISSION ROAD STREET LIGHT LOCATIONS

PULL BOX WHERE STREET LIGHT IS IN SIDEWALK
STANDARD HOWARD COUNTY ACORN LAMP, 150 HPS;
12' MOUNTING HEIGHT ON BLACK FIBERGLASS POLE

STATION	OFFSET
1+27	22'
2+00	22'
2+77	22'
3+39	22'
4+30	22'
5+09	22'



- LEGEND:**
- A. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - B. 5" WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (2' LINE, 6' SPACE)
 - C. 5" DOUBLE YELLOW REFLECTIVE THERMOPLASTIC PAVEMENT MARKINGS (SOLID LINE)
 - D. WHITE REFLECTIVE THERMOPLASTIC PAVEMENT MARKING ARROW
 - E. EXISTING DOUBLE YELLOW PAVEMENT MARKINGS TO REMAIN
 - F. EXISTING DOUBLE YELLOW PAVEMENT MARKINGS TO BE REMOVED
 - G. EDGE OF EXISTING PAVEMENT
 - H. EXISTING CROWN OF ROAD SECTION AND LIMITS OF 1 1/2" MILL & OVERLAY FROM Sta. 0+37 TO Sta. 5+70
 - I. PROPOSED CROWN OF ROAD SECTION
RED PAINTED CURB WITH "NO PARKING FIRE LANE" STENCIL IN WHITE



APPROVED FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

U.S.D.A.-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Thomas J. Butcher 10/20/11
DIRECTOR

Matthew Bitar 10/2/11
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Robert M. Mijan 10/20/11
CHIEF, DIVISION OF LAND DEVELOPMENT

BY THE DEVELOPER:

"I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

Scott C. Reed JULY 08 2008
SIGNATURE OF MANAGER
PRINTED NAME: SCOTT C. REED

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENT OF THE HOWARD SOIL CONSERVATION DISTRICT."

Ronald M. Mijan NOV. 18 2010
SIGNATURE OF ENGINEER
PRINTED NAME: RON MIJAN

REVISIONS

NO.	DESCRIPTION	REV. BY	DATE
1	REVISED SHEET NUMBERS	KDM	11/03/10
2	REPLACE PREVIOUS SHEET 53 TO REVISE MISSION ROAD LANE STRIPING AND PROPOSED PAVEMENT CROSS-SLOPES TO MATCH	KDM	08/18/11

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 19872
EXPIRATION DATE: 12/01/12

Matthew Bitar 10/13/2011
REGISTERED PROFESSIONAL ENGINEER

NOTE:
INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND DEPTH OF THE MANHOLE BY EXCAVATING TEST PITS AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MESH UTILITY" AT (800) 527-7777 AT LEAST 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY BEFORE PROCEEDING WITH CONSTRUCTION.

THE PURPOSE OF THIS SITE PLAN REVISION IS TO REPLACE THE PREVIOUSLY APPROVED MISSION ROAD SIGNING & PAVEMENT MARKING PLAN WITH AN UPGRADED LAYOUT AND TO REVISE THE FINAL PAVEMENT GRADING TO MATCH.

MISSION ROAD SIGNING AND PAVEMENT MARKING PLAN

MISSION PLACE

PARCELS A & C
APARTMENTS, TOWNHOUSES AND COMMERCIAL
W&S CONTRACT: 24-4402-D
PLAT Nos. 19854-19858 HOWARD COUNTY, MARYLAND

6TH ELECTION DISTRICT

Dewberry
203 PERRY PARKWAY, SUITE 1
GAITHERSBURG, MARYLAND 20877
PHONE: 301.948.8300
FAX: 301.258.7607

OWNER / DEVELOPER:
MISSION ROAD INVESTORS, LLC
c/o THE DOLBEN COMPANY, INC.
2600 MIDWAY BRANCH DR, 2nd FL
ODENTON, MD 21113
CONTACT: MATTHEW BITAR
PH: 301.912.3600
FX: 301.912.3400

Drawn by: KDM
Designed by: KDM
Checked by: JMC
Zoned: CAC-CLI

Section: NA Area: NA Phase: NA Scale: 1"=30'
Tax Map Grid & Parcel: MAP 43, GRID 14 PARCELS A & C Date: OCTOBER 2011
Prior Submittals: ZB 1048M SP-06-18 F-07-156 HO-827 SDP-07-101 AA-06-016 WP-06-096 SDP-07-113

Sheet: 53 of 53
File number: SDP-07-104