

GENERAL NOTES

- 1. THE SUBJECT PROPERTY IS ZONED R-MH PER THE 02/02/04 COMPREHENSIVE ZONING PLAN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY AND MSHA STANDARDS, IF APPLICABLE.
3. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410)-313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
4. THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
MGS UTILITY 1-800-257-7777
C&P TELEPHONE COMPANY (410) 725-9976
HOWARD COUNTY BUREAU OF UTILITIES (410) 313-6900
A&T CABLE LOCATION DIVISION (410) 393-3533
BALTIMORE GAS & ELECTRIC (410) 685-0123
STATE HIGHWAY ADMINISTRATION (410) 531-5533
HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION (410) 313-1880

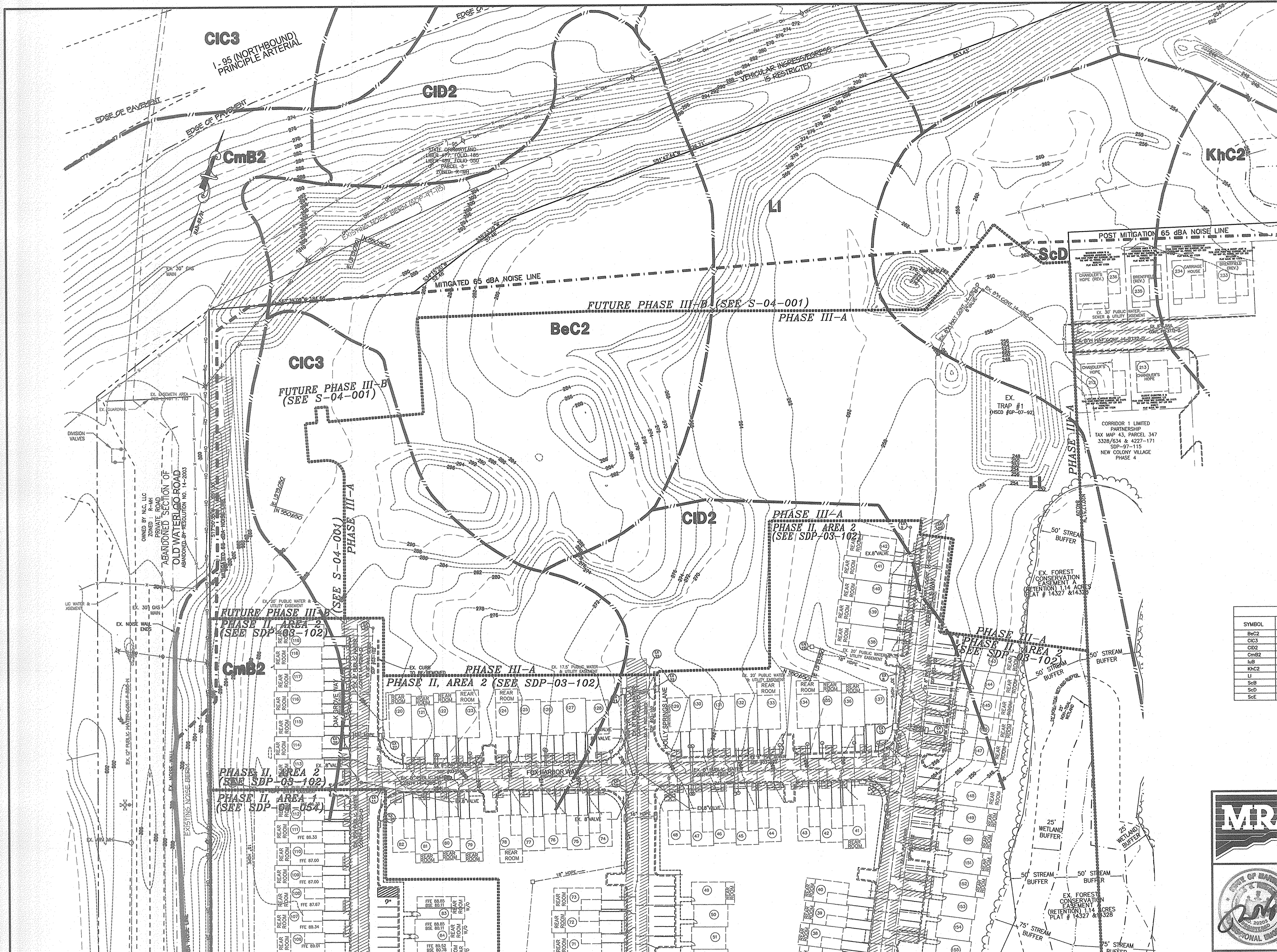
- 5. PROJECT BACKGROUND:
LOCATION: TAX MAP 43 - PARCEL 3 - FIRST ELECTION DISTRICT.
ZONING: R-MH (BULK REGULATIONS PER R-4-15)
GROSS AREA OF TRACT: 26.76 AC. (INCLUDED PHASE II, AREA 1, PHASE III & FUTURE PHASES III-B & V)
AREA OF PLAN SUBMISSION: 4.26 AC. OR 185,453.05 SQ. FT. (PHASE III-A)
PROPOSED USE FOR SITE: RESIDENTIAL (SINGLE FAMILY ATTACHED)
BUILDING COVERAGE PERCENTAGE: 49.0104 SQ. FT. = 27.1% (PHASE III-A)
DPZ FILE NOS.: S-94-39, S-04-001, SDP-03-102, S-94-39, WP-96-32, SDP-96-20, SDP-97-03, SDP-97-88, SDP-97-114, SDP-97-115, SDP-01-121, SDP-02-044, WP-03-89, SDP-04-54, F-00-188, PLAT #14327-14328, F-01-011, PLAT #14344-14345, F-05-001, PLAT #17135-17144, F-04-066, PLAT #17327-17345

- 6. BOUNDARY SHOWN HEREON IS BASED ON A PLAT ENTITLED "CONDOMINIUM STAGING PLAN FOR VILLAGE TOWNS CONDOMINIUM" PLAT M.D.R. NO 15842, DATED MARCH 5, 2003. TOPOGRAPHY SHOWN HEREON IS BASED ON FIELD RUN SURVEYS ON NOVEMBER 27, 2008 AND JANUARY 8, 2007 BY MORRIS & RITCHE ASSOCIATES, INC. STREAM INVERT VERIFICATION IN OCTOBER 2003 BY MILDBERG, BOENDER & ASSOCIATES, INC.
7. COORDINATES BASED ON NAD83 MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 43A1 & 43A2.

- 8. ALL DRIVEWAY ENTRANCES FOR THIS PROJECT WILL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL R 6.03. LOCAL TRAVEL WAY PAVING IS TO BE TYPE P-2 OR P-3 PAVING SEE DETAILS ON SHEET 4.
9. HOWARD COUNTY STANDARD R-301-MODIFIED COMBINATION CURB AND GUTTER WILL BE USED, UNLESS OTHERWISE NOTED.
10. ALL ROADS AND STORM DRAIN SYSTEMS IN THIS DEVELOPMENT ARE PRIVATE.
11. STORMWATER MANAGEMENT FOR PHASE II, AREAS 1 & 2, PHASE III AND FUTURE PHASES IS PROVIDED BY AN EXTENDED DETENTION IN THE WET POND.
12. (POND #2) INSTALLED UNDER SDP-03-102. WATER QUALITY IS BEING PROVIDED BY EXTENDED DETENTION IN THE WET POND.
13. THERE ARE NO EXISTING STRUCTURES ON-SITE.
14. THERE ARE NO EXISTING UTILITIES ON-SITE.
15. NO HISTORIC STRUCTURES OR BURIAL GROUNDS EXIST ON-SITE PER THE HOWARD COUNTY HISTORIC SITES LIST DATED DECEMBER 1994 AND THE HOWARD COUNTY SCHOENES AND GRAVE SITES INVENTORY, RESOLUTION # 47-1994. TO THE BEST OF THE KNOWLEDGE OF THE CURRENT OWNER, NO GRAVES EXIST ON-SITE.
16. FLOODPLAIN STUDY PREPARED BY MILDBERG, BOENDER & ASSOCIATES, INC. ON JUNE 1995, APPROVED UNDER SDP-96-20.
17. WETLAND DELINEATION PERFORMED BY HILLS-CARNEAS ASSOCIATES, INC. ON AUGUST 1996, APPROVED BY THE US ARMY CORPS OF ENGINEERS, REF. NO. 1996-01042-3.
18. PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
19. TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP, INC. ON JUNE 15, 1995, APPROVED UNDER S-94-39. AN UPDATED TRAFFIC STUDY WAS PREPARED ON JUNE 9, 1998 BY THE TRAFFIC GROUP, INC. AND APPROVED UNDER NEW COLONY VILLAGE, PHASE 4, SDP-97-115. UPDATE PREPARED BY THE TRAFFIC GROUP, INC. ON FEBRUARY 2, 2007.
20. NOISE STUDY AND MITIGATION WAS APPROVED AS PART OF THE NEW COLONY VILLAGE, PHASE 3 THRU 6, SDP-97-114, SDP-97-115, SDP-00-07, AND SDP-01-121.
21. ON-SITE FOREST CONSERVATION EASEMENT 6.52 AC. (RETENTION) HAS BEEN PROVIDED UNDER NEW COLONY VILLAGE, PHASE 4 (SDP-97-115). A THIRD OF THE 20.67 ACRES REFORESTATION REQUIRED (6.89 ACRES) HAS BEEN SATISFIED VIA OFF-SITE REFORESTATION ON ROSEBAR PROPERTY, PRESERVATION PARCEL A UNDER NEW COLONY VILLAGE, PHASE 4. THE REMAINING 13.78 ACRES OF REFORESTATION REQUIRED HAS BEEN DIVIDED BETWEEN THE REMAINING PHASES OF THE PROJECT, ONE-THIRD OR 4.593 ACRES OF REFORESTATION WAS REQUIRED AS PART OF EACH PHASE. THIS REQUIREMENT HAS BEEN SATISFIED VIA PAYMENT OF A FEE-IN-LIEU OF REFORESTATION OF \$60,021.33 FOR PHASE 5 (SDP-00-70). PAYMENT OF FEE-IN-LIEU OF REFORESTATION OF \$100,035.54 FOR PHASE 6 (SDP-01-121), AND OFF-SITE REFORESTATION OF 4.543 ACRES ON ROMITI FARM, TAX MAP 2, PARCEL 61 SEE P.O.F.C.E. PLAT 3 15440 FOR PHASE 7 (SDP-02-044).

- 22. NEW COLONY VILLAGE PHASES 4-7 ENCOMPASS THE AREAS IN VILLAGE TOWNS PHASE I, PHASE II AREAS 1 & 2, PHASE III-A AND THE FUTURE PHASES.
23. PLAN OF FOREST CONSERVATION (FOR ON-SITE RETENTION) AND PUBLIC 100 YEAR FLOODPLAIN & UTILITY EASEMENT FOR NEW COLONY VILLAGE WAS RECORDED AS PLAT #14327-14328 (F-00-188). THE OFF-SITE REFORESTATION HAS BEEN RECORDED AS REVISION PLAN FOR ROSEBAR PROPERTY, PRESERVATION PARCEL A, UNDER PLAT # 14344-14345 (F-01-011).
24. DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO ENSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
A) WIDTH - 8 FEET (SINGLE GARAGE TOWNHOUSES)
B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING.
C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE AND MINIMUM OF 45-FOOT RADIUS.
D) STRUCTURES (CULVERT / BRIDGES) - CAPABLE OF SUPPORTING 25 GROSS TONS (HQS LOADING).
E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100-YEAR FLOOD WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE.
F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
G) MAINTENANCE - SUFFICIENT TO ENSURE ALL WEATHER USE.

- 25. IF MATERIAL IS WITHIN 8% OF OPTIMUM MOISTURE, WORKING THE MATERIAL UNTIL RECOMPACTION IS ACHIEVED IS CONTRACTOR'S RESPONSIBILITY.
26. PER SECTION 12B OF THE ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN HEIGHT MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACK PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 10 FEET INTO THE FRONT OR REAR YARD SETBACK.
27. ZONING AND SETBACK CRITERIA BASED ON R-4-15 AS ALLOWED UNDER R-MH ZONING SECTION 12B.C.
28. INDIVIDUAL HOUSES ARE RESTRICTED TO A MAXIMUM 5% FOOT HEIGHTS FROM THE MEAN OF ROOF TO THE MEAN GRADE ALONG THE SIDE OF THE HOUSE.
29. NO DISTURBING CLEARING OR GRADING IS PERMITTED IN WETLAND, WETLAND & STREAM BUFFERS, FLOODPLAIN, AND FOREST CONSERVATION, OTHER THAN THAT WHICH WAS APPROVED UNDER WP-03-89.
30. THE ENTIRE DEVELOPMENT EXCLUDING THE UNITS WILL BE OWNED BY ONE (1) ENTITY. THE OPERATION AND MAINTENANCE OF THE COMMON FEATURES/ELEMENTS WILL BE BY THAT SAME ENTITY, VILLAGE TOWNS CONDOMINIUM ASSOCIATION.
31. PROPOSED WATER AND SEWER CONNECTION WILL BE MADE TO CONTRACT NOS. # 14-4263-D AND # 14-4312-D. SEWER WILL BE PRIVATE. SEE SHEETS 10 OF 16 AND 11 OF 16.
32. WATER AND SEWER SERVICE TO THIS UNITS WILL BE GRANTED UNDER THE PROVISIONS OF SECTION 18.122B OF THE HOWARD COUNTY CODE. PUBLIC WATER AND PUBLIC SEWER ALLOCATION WILL BE GRANTED AT THE TIME OF THE ISSUANCE OF THE BUILDING PERMIT IF CAPACITY IS AVAILABLE AT THAT TIME.
33. PLANS FOR PUBLIC WATER SYSTEMS HAVE BEEN APPROVED BY THE DEPARTMENT OF THE ENVIRONMENT AND THESE FACILITIES WILL BE AVAILABLE TO ALL UNITS OFFERED FOR SALE.
34. EXISTING SEDIMENT CONTROL APPROVED UNDER SDP-96-20 AND SUPPLEMENTED BY PROPOSED ON-SITE SP. CONTROLS UNDER THIS PLAN ARE TO BE UTILIZED.
35. ALL PLAN DIMENSIONS ARE TO THE BOTTOM FACE OF CURB, UNLESS OTHERWISE NOTED.
36. PARCEL 3 IS SUBJECT TO MODERATE INCOME HOUSING UNIT DECLARATION OF COVENANTS AND RESTRICTIONS FOR THE THIRTY (30) UNITS PROPOSED UNDER SDP-01-121 RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6754 - FOLIO 674. THESE DOCUMENTS STATE THAT VILLAGE TOWNS, PHASE I, UNIT 390, 391, AND 392, THE THREE (3) REQUIRED MODERATE INCOME HOUSING UNITS, ARE SUBJECT TO THESE COVENANTS AND RESTRICTIONS. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 1, SDP-04-54, WHICH REQUIRES FIVE (5) REQUIRED MODERATE INCOME HOUSING UNITS (UNITS 162 THRU 166) FOR THE THIRTY (30) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6508 - FOLIO 509. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2, WHICH REQUIRES TWENTY (20) REQUIRED MODERATE INCOME HOUSING UNITS (UNITS 134 THRU 142 AND UNITS 167 THRU 177) FOR THE ONE HUNDRED TWENTY SEVEN (127) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6101 - FOLIO 609. COVENANTS AT L3101 F. 398. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 1 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (11) MODERATE INCOME HOUSING UNITS (UNITS 184, 188, 190, 192, 188, 205, 207, 221, 223, 229, & 245) FOR THE SIXTY-TWO (62) UNITS, HAVE BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND AT LIBER 6170 - FOLIO 617. ADDITIONAL DOCUMENTS FOR VILLAGE TOWNS, PHASE II, AREA 2 - SDP-07-103, WHICH REQUIRES ELEVEN (



LEGEND

- EX. 10' CONTOUR
 - EX. 2' CONTOUR
 - EX. PROPERTY LINE
 - EX. ADJACENT PROPERTY LINE
 - EX. RIGHT OF WAY DEDICATION
 - EX. TREELINE
 - EX. PAVEMENT/CONCRETE
 - EX. CURB
 - EX. BUILDING
 - EX. FENCE
 - EX. EASEMENT
 - EX. STREAM
 - EX. STORM DRAIN
 - EX. SANITARY
 - EX. UG ELECTRIC
 - EX. UG TELEPHONE
 - EX. WATER LINE
 - EX. GAS LINE
 - EX. SOILS LINE
-
- EX. WATER METER
 - EX. WATER VALVE
 - EX. FIRE HYDRANT
 - EX. REDUCER
 - EX. UTILITY POLE
 - EX. MAILBOX
 - EX. SIGN
 - PROP. PHASE LINE

SOILS LEGEND		
SYMBOL	NAME/DESCRIPTION	SOIL TYPE
BeC2	BELTSVILLE SILT LOAM, 5-10% SLOPES, MODERATELY ERODED	C
CiC3	CHILLUM GRAVELLY LOAM, 8-15% SLOPES, SEVERELY ERODED	B
CiD2	CHILLUM GRAVELLY LOAM, 15-25% SLOPES, MODERATELY ERODED	B
CmB2	CHILLUM SILT LOAM, 1-5% SLOPES, MODERATELY ERODED	B
IuB	IUKA LOAM, LOCAL ALLUVIUM, 1-5% SLOPES	C
KhC2	KEYPORT SILT LOAM, 3-10% SLOPES, MODERATELY ERODED	C
L1	LEONARDSTOWN SILT LOAM	D
SaB	SANDY AND CLAYEY LAND, GENTLY SLOPING	B
ScD	SANDY AND CLAYEY LAND, MODERATELY SLOPING	B
ScE	SANDY AND CLAYEY LAND, MODERATELY STEEP	B

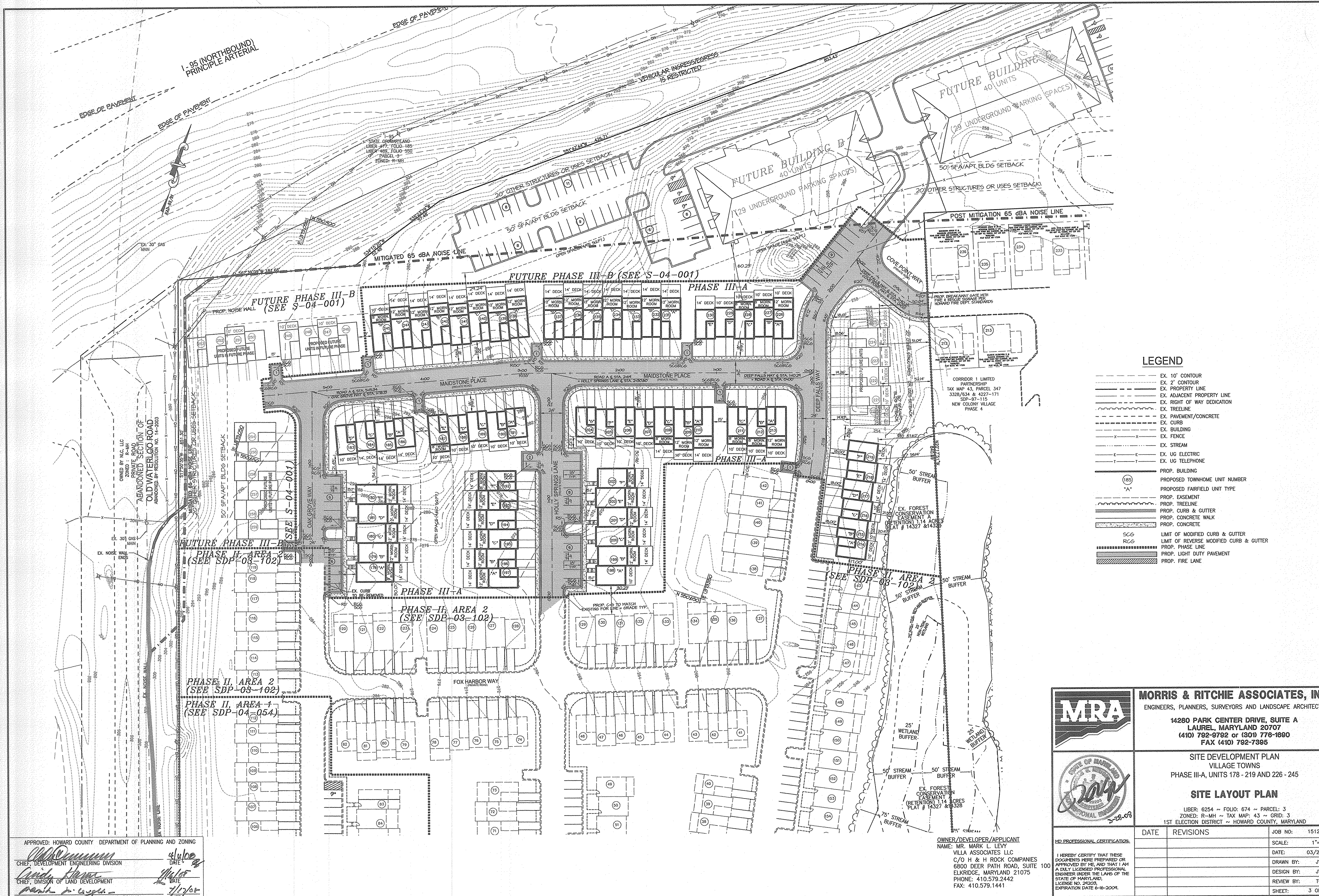
MRA
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245
EXISTING CONDITIONS PLAN
 LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
		15129.02
		SCALE: 1"=40'
		DATE: 03/28/08
		DRAWN BY: CKE
		DESIGN BY: JYW
		REVIEW BY: TCN
		SHEET: 2 OF 16

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/16/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 4/16/08
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 4/17/08
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



- LEGEND**
- EX. 10' CONTOUR
 - EX. 2' CONTOUR
 - EX. PROPERTY LINE
 - EX. ADJACENT PROPERTY LINE
 - EX. RIGHT OF WAY DEDICATION
 - EX. TREELINE
 - EX. PAVEMENT/CONCRETE
 - EX. CURB
 - EX. BUILDING
 - EX. FENCE
 - EX. STREAM
 - EX. UG ELECTRIC
 - EX. UG TELEPHONE
 - PROP. BUILDING
 - PROP. TOWNHOME UNIT NUMBER
 - PROP. FAIRFIELD UNIT TYPE
 - PROP. EASEMENT
 - PROP. TREELINE
 - PROP. CURB & GUTTER
 - PROP. CONCRETE WALK
 - PROP. CONCRETE
 - SCG
 - RCG
 - LIMIT OF MODIFIED CURB & GUTTER
 - LIMIT OF REVERSE MODIFIED CURB & GUTTER
 - PROP. PHASE LINE
 - PROP. LIGHT DUTY PAVEMENT
 - PROP. FIRE LANE

	MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 14280 PARK CENTER DRIVE, SUITE A LAUREL, MARYLAND 20707 (410) 792-9792 or (301) 776-1890 FAX (410) 792-7385		
	SITE DEVELOPMENT PLAN VILLAGE TOWNS PHASE III-A, UNITS 178 - 219 AND 226 - 245 SITE LAYOUT PLAN LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND		
	DATE: 03/28/08	REVISIONS:	JOB NO.: 15129.02 SCALE: 1"=40' DATE: 03/28/08 DRAWN BY: JYW DESIGN BY: JYW REVIEW BY: TCN SHEET: 3 OF 16

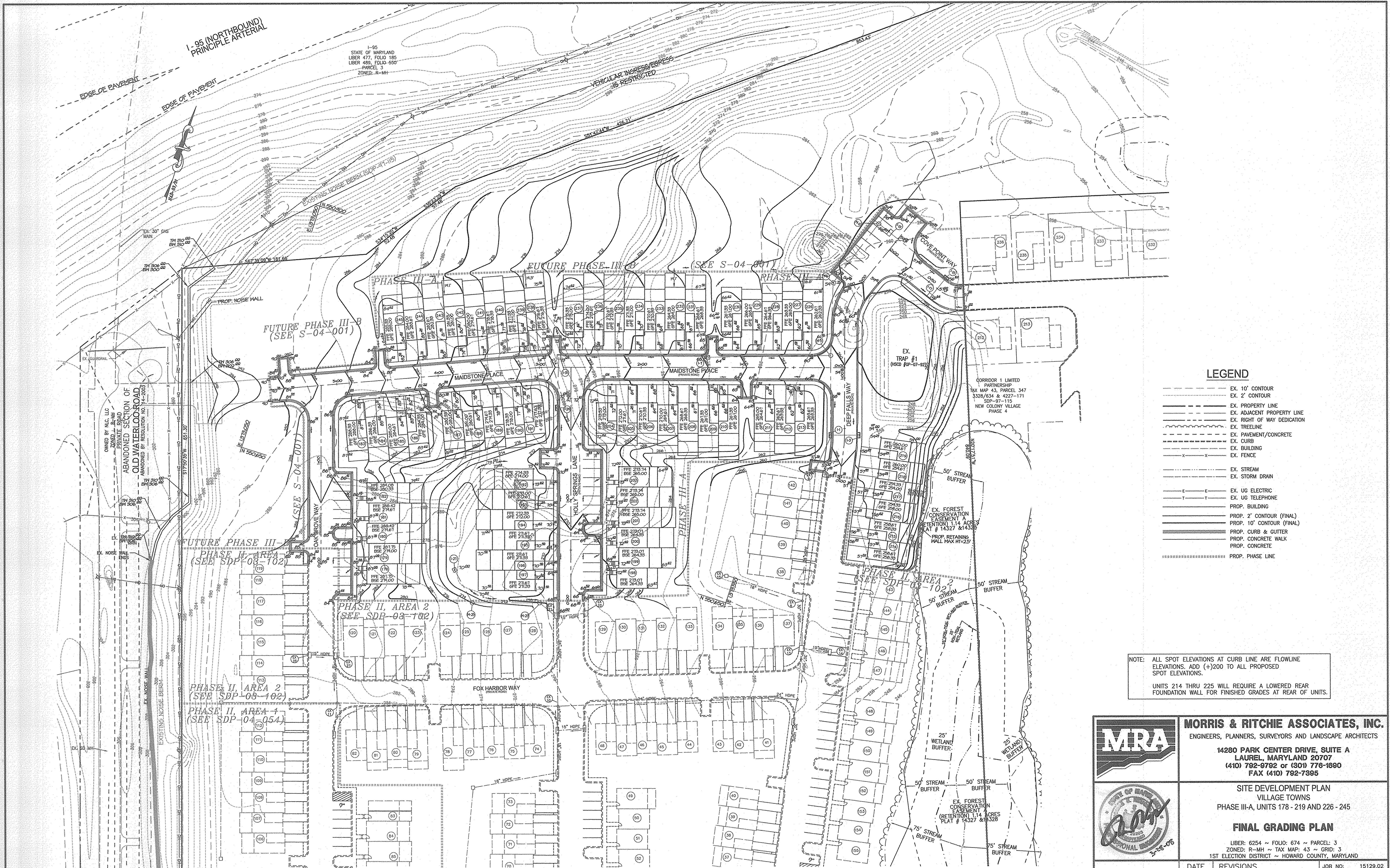
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 3/18/08

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 3/17/08

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
 DATE: 3/17/08

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



LEGEND

- EX. 10' CONTOUR
- EX. 2' CONTOUR
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY DEDICATION
- EX. TREELINE
- EX. PAVEMENT/CONCRETE
- EX. CURB
- EX. BUILDING
- EX. FENCE
- EX. STREAM
- EX. STORM DRAIN
- EX. UG ELECTRIC
- EX. UG TELEPHONE
- PROP. BUILDING
- PROP. 2' CONTOUR (FINAL)
- PROP. 10' CONTOUR (FINAL)
- PROP. CURB & GUTTER
- PROP. CONCRETE WALK
- PROP. CONCRETE
- PROP. PHASE LINE

NOTE: ALL SPOT ELEVATIONS AT CURB LINE ARE FLOWLINE ELEVATIONS. ADD (+)200 TO ALL PROPOSED SPOT ELEVATIONS.

UNITS 214 THRU 225 WILL REQUIRE A LOWERED REAR FOUNDATION WALL FOR FINISHED GRADES AT REAR OF UNITS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark L. Levy
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/11/07

Andy Kamler
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 4/11/07

Marissa A. Lytle
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/11/07

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELK RIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

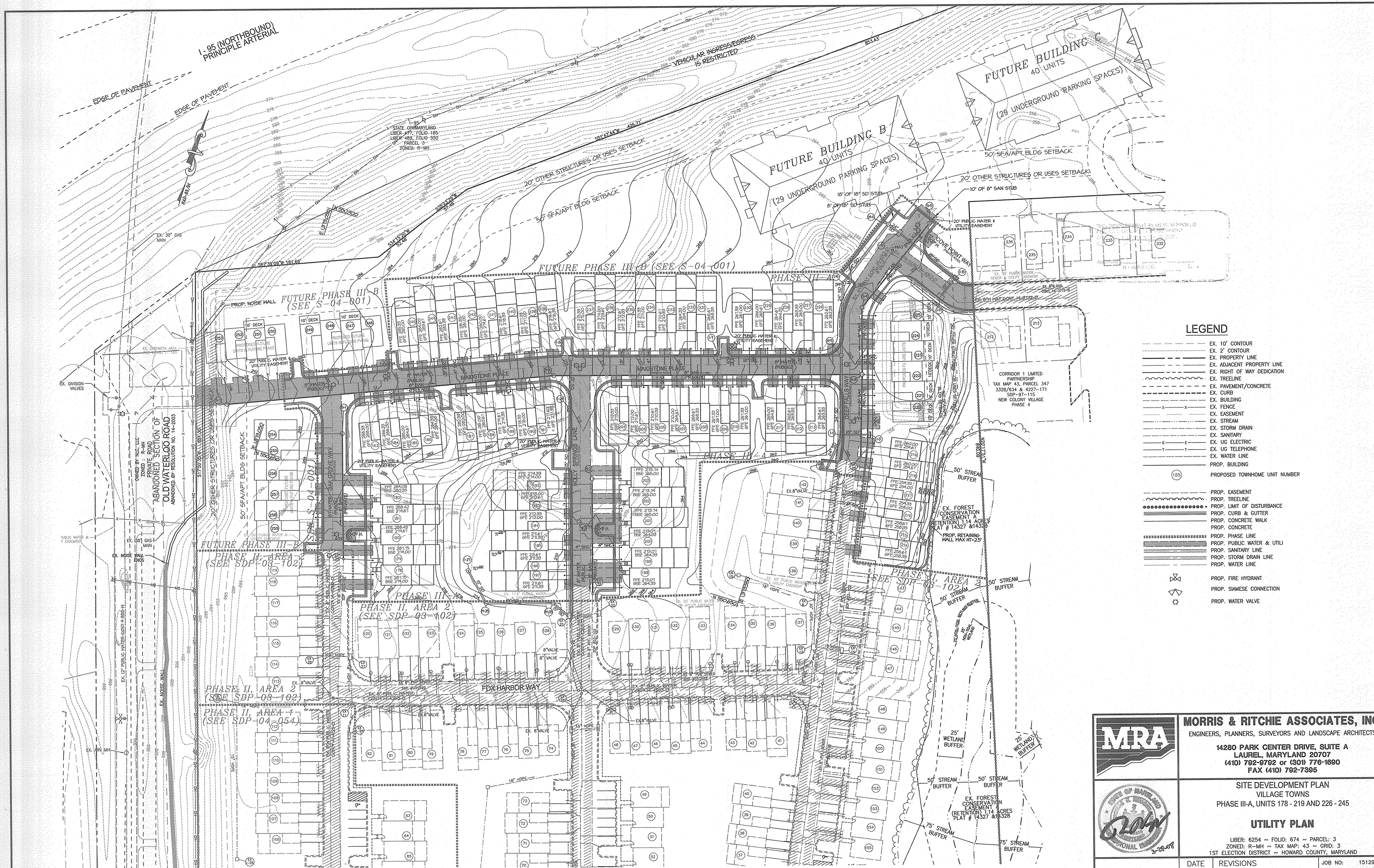
FINAL GRADING PLAN

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

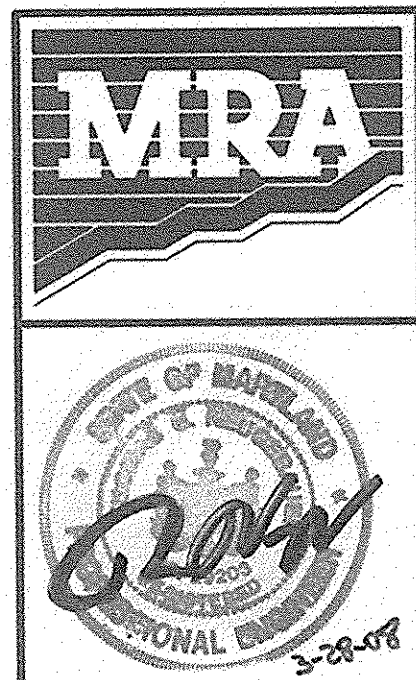
DATE	REVISIONS	JOB NO:
		15129.02

SCALE: 1"=40'
 DATE: 03/28/08
 DRAWN BY: JYW
 DESIGN BY: JYW
 REVIEW BY: TCN
 SHEET: 4 OF 16

M2 PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 24203, EXPIRATION DATE 6-16-2009.



- LEGEND**
- EX. 10' CONTOUR
 - EX. 2' CONTOUR
 - EX. PROPERTY LINE
 - EX. ADJACENT PROPERTY LINE
 - EX. RIGHT OF WAY DEDICATION
 - EX. TREELINE
 - EX. PAVEMENT/CONCRETE
 - EX. CURB
 - EX. BUILDING
 - EX. FENCE
 - EX. EASEMENT
 - EX. STREAM
 - EX. STORM DRAIN
 - EX. SANITARY
 - EX. US ELECTRIC
 - EX. US TELEPHONE
 - EX. WATER LINE
 - PROP. BUILDING
 - PROP. TOWNHOME UNIT NUMBER
 - PROP. EASEMENT
 - PROP. TREELINE
 - PROP. LIMIT OF DISTURBANCE
 - PROP. CURB & GUTTER
 - PROP. CONCRETE WALK
 - PROP. CONCRETE
 - PROP. PHASE LINE
 - PROP. PUBLIC WATER & UTILITY
 - PROP. SANITARY LINE
 - PROP. STORM DRAIN LINE
 - PROP. WATER LINE
 - PROP. FIRE HYDRANT
 - PROP. SIAMESE CONNECTION
 - PROP. WATER VALVE



MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
FAX (410) 792-7395

SITE DEVELOPMENT PLAN
VILLAGE TOWNS
PHASE III-A, UNITS 178 - 219 AND 226 - 245

UTILITY PLAN

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
		15129.02
		SCALE: 1"=40'
		DATE: 03/28/08
		DRAWN BY: JWV
		DESIGN BY: JCW
		REVIEW BY: TCN
		SHEET: 5 OF 16

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21203, EXPIRATION DATE 6-16-2009.

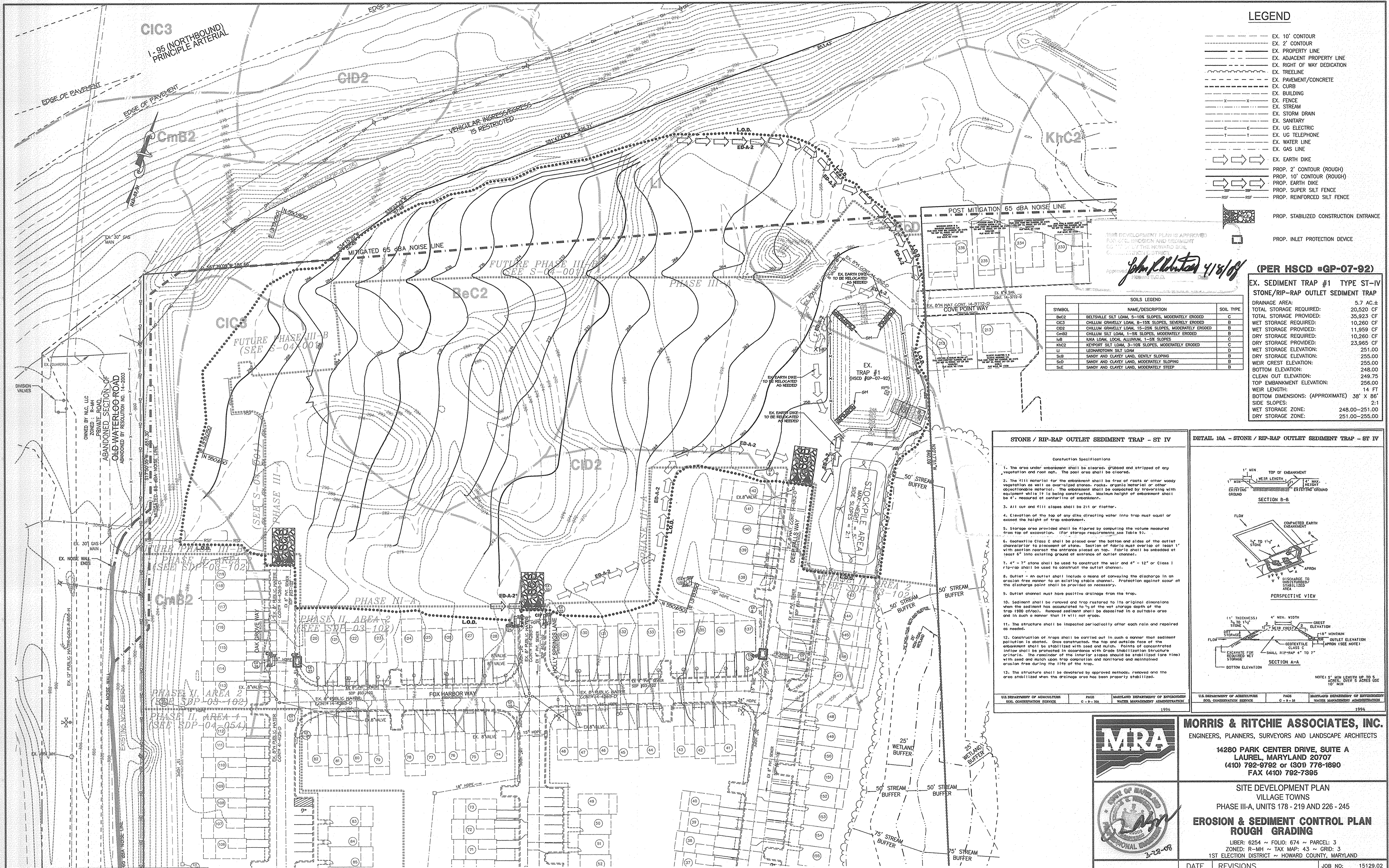
OWNER/DEVELOPER/APPLICANT
NAME: MR. MARK L. LEVY
VILLA ASSOCIATES LLC
C/O H & H ROCK COMPANIES
6800 DEER PATH ROAD, SUITE 100
ELKBRIDGE, MARYLAND 21075
PHONE: 410.579.2442
FAX: 410.579.1441

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/16/08

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 4/16/08

 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/16/08



LEGEND

- EX. 10' CONTOUR
- EX. 2' CONTOUR
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY DEDICATION
- EX. TREETLINE
- EX. PAVEMENT/CONCRETE
- EX. CURB
- EX. BUILDING
- EX. FENCE
- EX. STREAM
- EX. STORM DRAIN
- EX. SANITARY
- EX. UG ELECTRIC
- EX. UG TELEPHONE
- EX. WATER LINE
- EX. GAS LINE
- EX. EARTH DIKE
- PROP. 2' CONTOUR (ROUGH)
- PROP. 10' CONTOUR (ROUGH)
- PROP. EARTH DIKE
- PROP. SUPER SILT FENCE
- PROP. REINFORCED SILT FENCE
- PROP. STABILIZED CONSTRUCTION ENTRANCE
- PROP. INLET PROTECTION DEVICE

SOILS LEGEND

SYMBOL	NAME/DESCRIPTION	SOIL TYPE
BeC2	BELTSVILLE SILT LOAM, 5-10% SLOPES, MODERATELY ERODED	C
CiC3	CHILLUM GRAVELLY LOAM, 8-12% SLOPES, SEVERELY ERODED	B
CoC2	CHILLUM GRAVELLY LOAM, 15-25% SLOPES, MODERATELY ERODED	B
CoB2	CHILLUM SILT LOAM, 1-5% SLOPES, MODERATELY ERODED	B
luB	LUKA LOAM, LOCAL ALLUVIUM, 1-2% SLOPES	C
KnC2	KEYPORT SILT LOAM, 3-10% SLOPES, MODERATELY ERODED	C
LeC2	LEONARDTOWN SILT LOAM	D
SbB	SANDY AND CLAYEY LAND, GENTLY SLOPING	B
SdD	SANDY AND CLAYEY LAND, MODERATELY SLOPING	B
SdC	SANDY AND CLAYEY LAND, MODERATELY STEEP	B

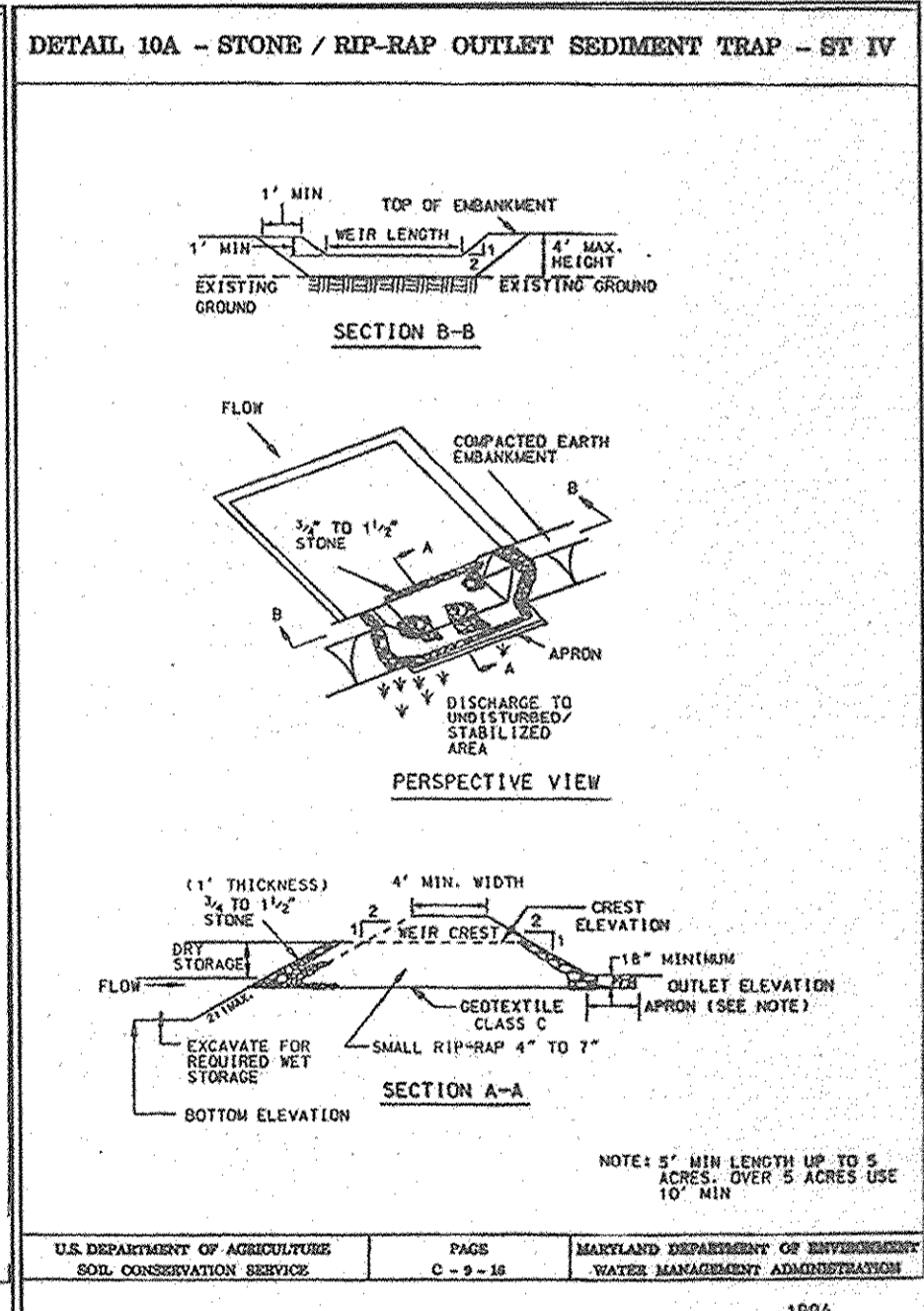
**EX. SEDIMENT TRAP #1 TYPE ST-IV
STONE/RIP-RAP OUTLET SEDIMENT TRAP**

DRAINAGE AREA:	5.7 AC.±
TOTAL STORAGE REQUIRED:	20,520 CF
TOTAL STORAGE PROVIDED:	35,923 CF
WET STORAGE REQUIRED:	10,260 CF
WET STORAGE PROVIDED:	11,959 CF
DRY STORAGE REQUIRED:	10,260 CF
DRY STORAGE PROVIDED:	23,965 CF
WET STORAGE ELEVATION:	251.00
DRY STORAGE ELEVATION:	255.00
WEIR CREST ELEVATION:	255.00
BOTTOM ELEVATION:	248.00
CLEAN OUT ELEVATION:	249.75
TOP EMBANKMENT ELEVATION:	255.00
WEIR LENGTH:	14 FT
BOTTOM DIMENSIONS (APPROXIMATE):	38' X 86'
SIDE SLOPES:	2:1
WET STORAGE ZONE:	248.00-251.00
DRY STORAGE ZONE:	251.00-255.00

STONE / RIP-RAP OUTLET SEDIMENT TRAP - ST IV

Construction Specifications

- The area under embankment shall be cleared, grubbed and stripped of any vegetation and root mat. The pool area shall be cleared.
- The fill material for the embankment shall be free of roots or other woody vegetation as well as oversized stones, rocks, organic matter, or other objectionable material. The embankment shall be compacted by troweling with equipment while it is being constructed. Maximum height of embankment shall be 4' measured at centerline of embankment.
- All cut and fill slopes shall be 2:1 or flatter.
- Elevation of the top of any dike directing water into trap must equal or exceed the height of trap embankment.
- Storage area provided shall be figured by computing the volume measured from top of excavation. (For storage requirements see Table 9.)
- Geotextile Class C shall be placed over the bottom and sides of the outlet characteristic or placement of stone. Section of fabric must overlap at least 1' with section nearest the entrance placed on top. Fabric shall be embedded at least 4" into existing ground at entrance of outlet channel.
- 4" - 7" stone shall be used to construct the weir and 4" - 12" or Class 1 Rip-rap shall be used to construct the outlet channel.
- Outlet - An outlet shall include a means of conveying the discharge in an erosion free manner to an existing stone channel. Protection against scour at the discharge point shall be provided as necessary.
- Outlet channel must have positive drainage from the trap.
- Sediment shall be removed and trap restored to its original dimensions when the sediment has accumulated to 1/2 of the wet storage depth of the trap (1800 cfs). Removed sediment shall be deposited in a suitable area and in such a manner that it will not erode.
- The structure shall be inspected periodically after each rain and repaired as needed.
- Construction of traps shall be carried out in such a manner that sediment pollution is cleared. One construction, the trap and outlet, the embankment shall be stabilized with seed and mulch. Points of concentrated inflow shall be protected in accordance with Grade Stabilization Structure criteria. The remainder of the interior slopes should be stabilized (one time) with seed and mulch upon trap completion and monitored and maintained erosion free during the life of the trap.
- The structure shall be dewatered by approved methods, removed and the area stabilized when the drainage area has been properly stabilized.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark L. Levy 4/16/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE

Paula D. Wright 4/16/08
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE

Paula D. Wright 4/16/08
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
DATE

OWNER/DEVELOPER/APPLICANT
NAME: MR. MARK L. LEVY
VILLA ASSOCIATES LLC
C/O H & H ROCK COMPANIES
6800 DEER PATH ROAD, SUITE 100
ELKRIDGE, MARYLAND 21075
PHONE: 410.579.2442
FAX: 410.579.1441

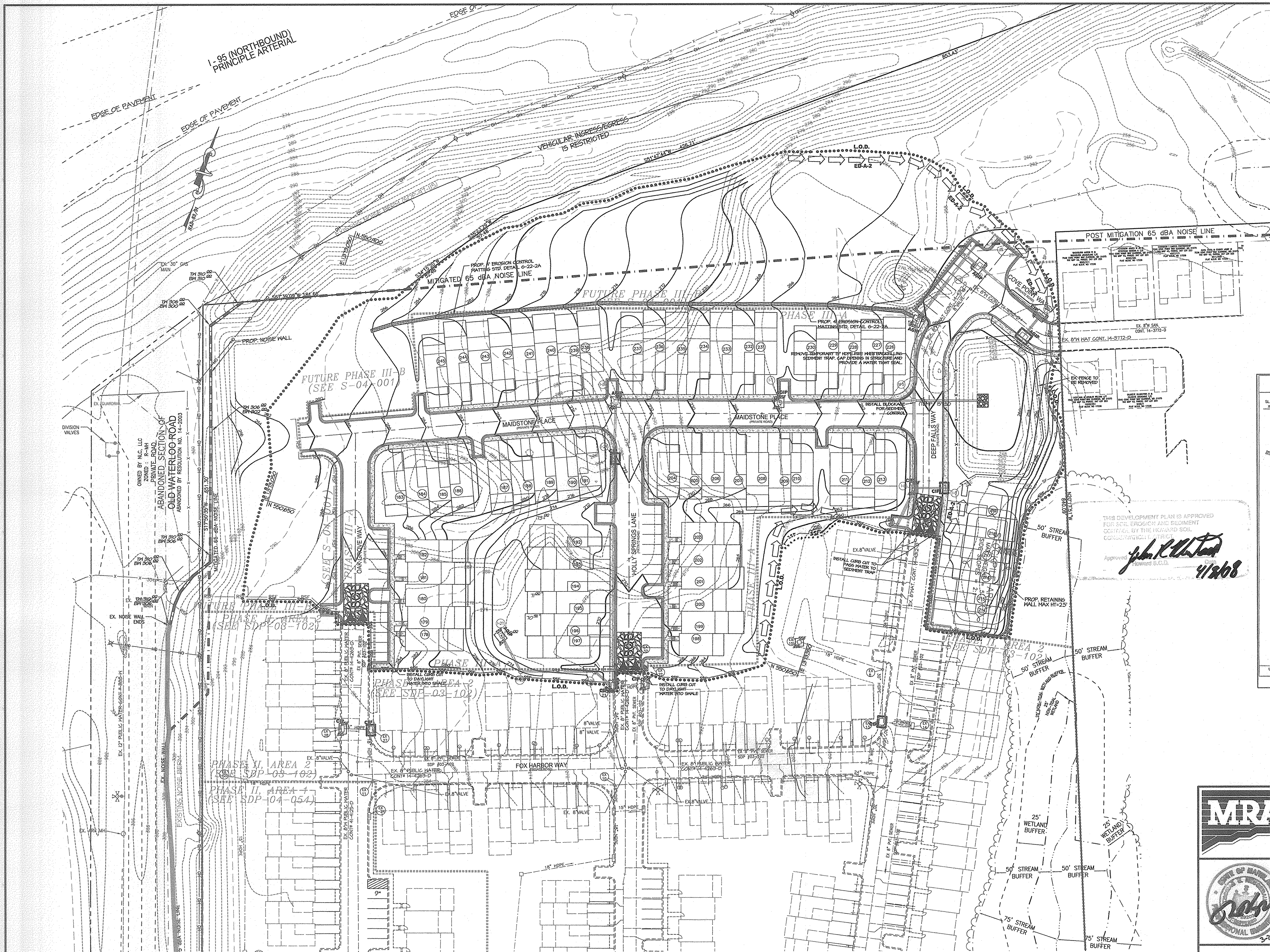
NO PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 24209, EXPIRATION DATE 6-16-2004.

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-9792 or (301) 776-1690
FAX (410) 792-7395

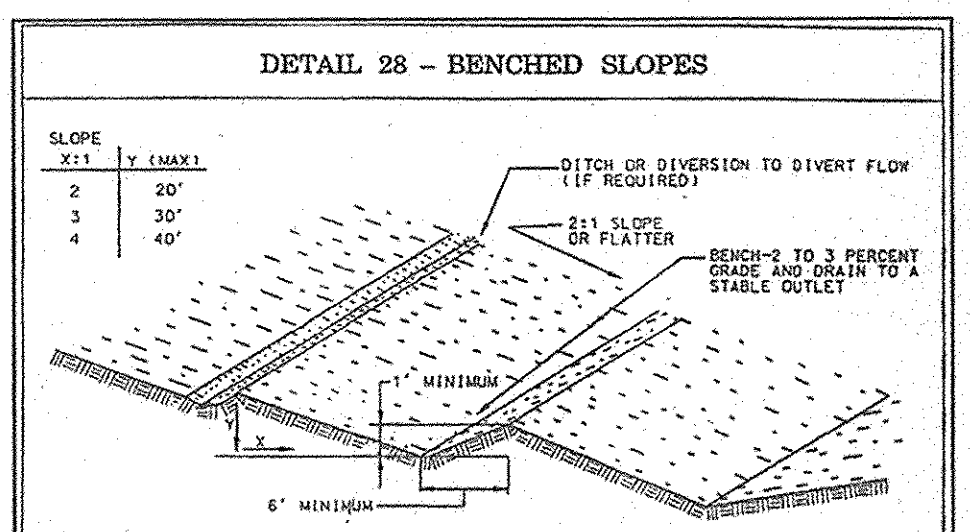
SITE DEVELOPMENT PLAN
VILLAGE TOWNS
PHASE III-A, UNITS 178 - 219 AND 226 - 245
EROSION & SEDIMENT CONTROL PLAN
ROUGH GRADING
LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.	SCALE:
		15129.02	1"=40'
			DATE: 03/28/08
			DRAWN BY: JYW
			DESIGN BY: JCW
			REVIEW BY: TCN
			SHEET: 6 OF 16



LEGEND

- EX. 10' CONTOUR
- EX. 2' CONTOUR
- EX. PROPERTY LINE
- EX. ADJACENT PROPERTY LINE
- EX. RIGHT OF WAY DEDICATION
- EX. TREELINE
- EX. PAVEMENT/CONCRETE
- EX. CURB
- EX. BUILDING
- EX. FENCE
- EX. STREAM
- EX. STORM DRAIN
- EX. SANITARY
- EX. UG ELECTRIC
- EX. UG TELEPHONE
- EX. WATER LINE
- PROP. 2' CONTOUR (FINAL)
- PROP. 10' CONTOUR (FINAL)
- PROP. BUILDING
- PROP. EASEMENT
- PROP. TREELINE
- PROP. LIMIT OF DISTURBANCE
- PROP. CURB & GUTTER
- PROP. CONCRETE WALK
- PROP. CONCRETE
- PROP. GUARDRAIL
- PROP. RETAINING WALL
- PROP. EARTH DIKE
- PROP. SUPER SILT FENCE
- PROP. REINFORCED SILT FENCE
- PROP. ESC DRAINAGE DIVIDE
- PROP. EROSION CONTROL MATTING
- PROP. STABILIZED CONSTRUCTION ENTRANCE
- PROP. INLET PROTECTION DEVICE



Construction Specifications

- All fills shall be compacted as required to reduce erosion, slippage, settlement, subsidence or other related problems. Fill intended to support buildings, structures and conduits, etc., shall be compacted in accordance with loose requirements or codes.
- All fill shall be placed and compacted in layers not to exceed 8" in thickness.
- Except for approved landfill or nonstructural fills, fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris and other objectionable materials that would interfere with or prevent construction of satisfactory fills.
- Frozen material or soft, muddy or highly compressible materials shall not be incorporated into fill slopes or structural fills. Fill shall not be placed on a frozen foundation.
- All benches shall be kept free of sediment during all phases of development.
- Seeds or surficials encountered during construction shall be handled in accordance with the Standard Specification for Subsurface Drain or other approved methods.
- All graded areas shall be permanently stabilized immediately following finished grading.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 7-19-1 MARYLAND DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES ADMINISTRATION 1994

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION SERVICE

Approved: *John C. Howard*
 Howard & C.D.
 9/18/08

* EARTH DIKES IN ROADS TO BE REPLACED WITH ASPHALT BERMS AFTER COMPLETION OF BASE PAVING.

NOTE: EROSION CONTROL MATTING TO BE PLACED IN ALL SWALES IMMEDIATELY AFTER COMPLETION OF FINE GRADING.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark L. Levy
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/14/08

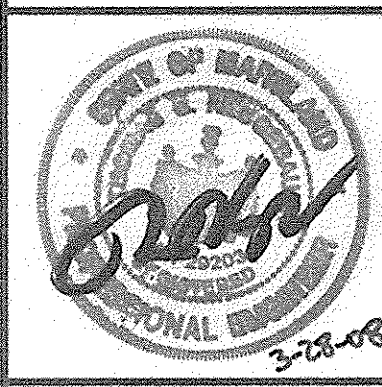
Robert K. Levy
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 4/14/08

Robert K. Levy
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/14/08

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELK RIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

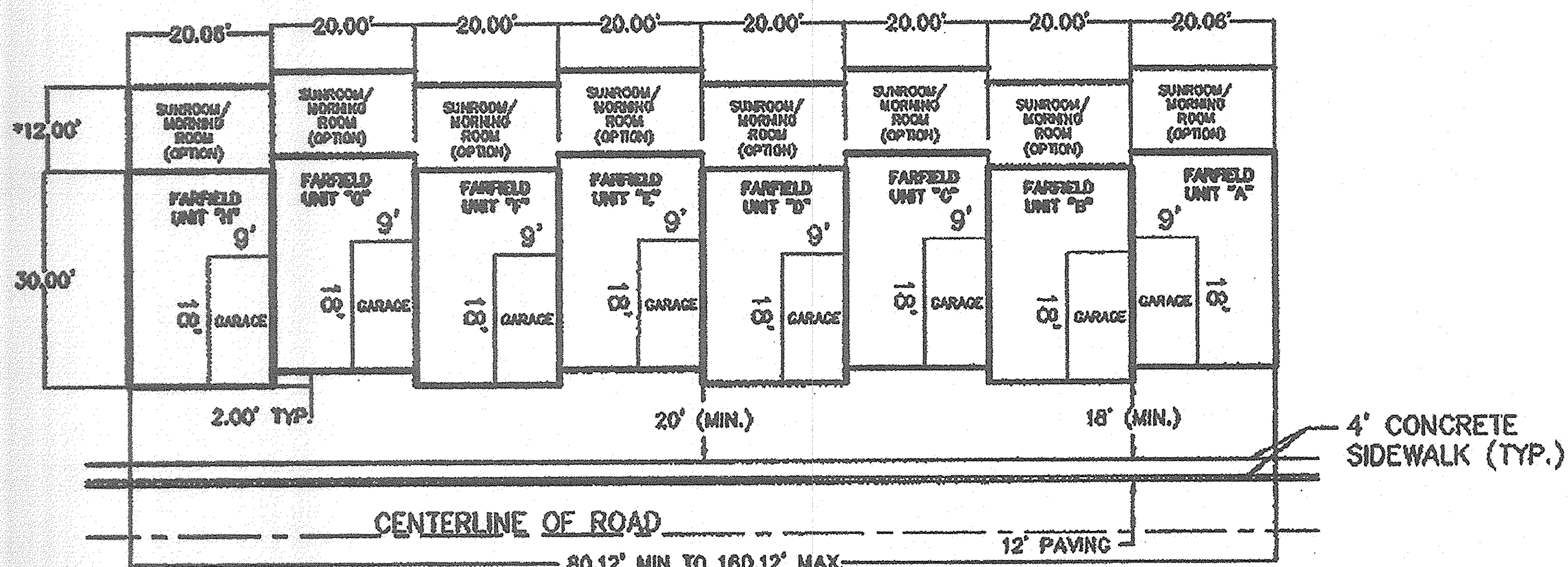


SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

EROSION & SEDIMENT CONTROL PLAN
 FINAL GRADING

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:
		15129.02
		SCALE: 1"=40'
		DATE: 03/28/08
		DRAWN BY: JYW
		DESIGN BY: JCW
		REVIEW BY: TCN
		SHEET: 7 OF 16

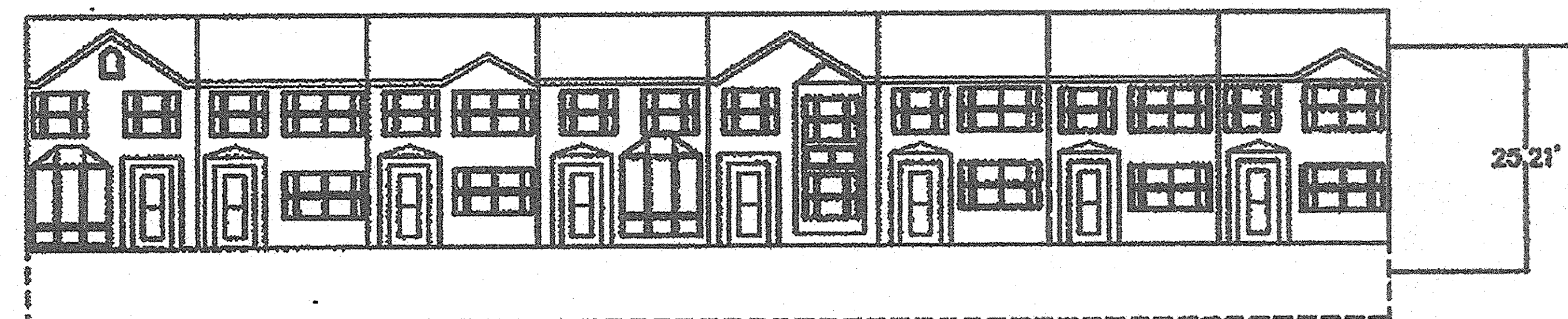


(4 UNITS) (8 UNITS)
FAIRFIELD (GARAGE UNITS)
FOUR TO EIGHT UNIT BUILDINGS
 N.T.S.

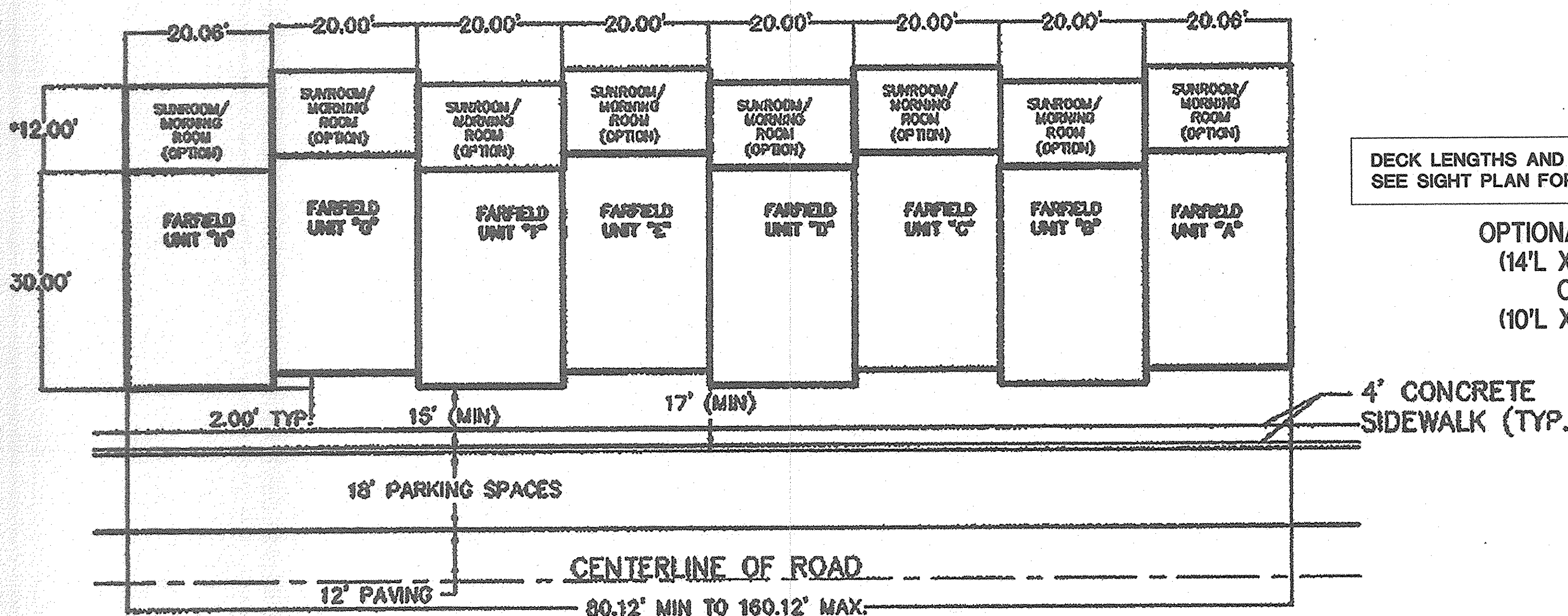
THE TYPICAL REAR ROOM DEPTH IS 12.00' AND IS UTILIZED ON UNITS 193 THRU 197, 209, 210, 213, 226, AND 231 THRU 244 . AN OPTIONAL 8.00' DEEP REAR ROOM IS UTILIZED ON UNITS 187, 192, 208, 211, 212, 227, 228, AND 245.



GARAGE UNITS (FRONT)



BASEMENT UNITS (FRONT)



(4 UNITS) (8 UNITS)
FAIRFIELD (BASEMENT UNITS)
FOUR TO EIGHT UNIT BUILDINGS
 N.T.S.

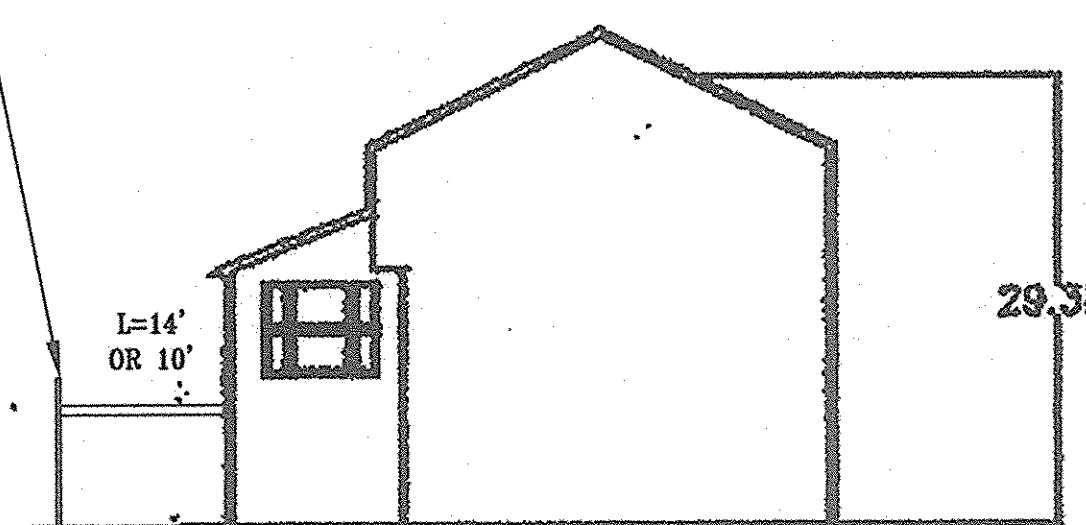
THE TYPICAL REAR ROOM DEPTH IS 12.00' AND IS UTILIZED ON UNITS 179 THRU 182, 199 THRU 202 . AN OPTIONAL 8.00' DEEP REAR ROOM IS UTILIZED ON UNITS 178 AND 203.

HOUSE MODELS

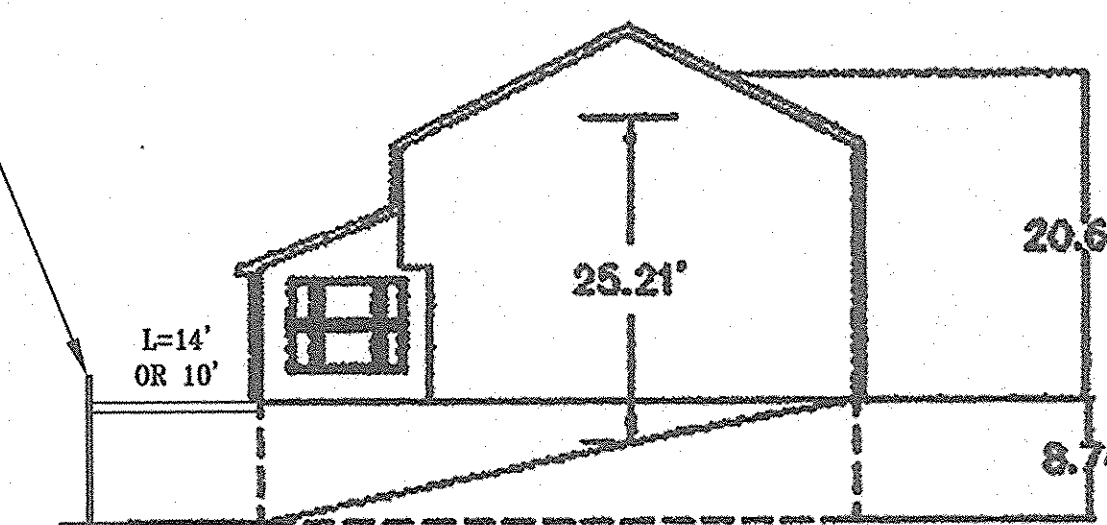
DECK LENGTHS AND LOCATIONS LIMITED PER R-MH ZONE SETBACKS. SEE SIGHT PLAN FOR ALLOWABLE DECK LOCATIONS AND LENGTHS.

OPTIONAL DECK
 (14' L X 20' W)
 OR
 (10' L X 20' W)

OPTIONAL DECK
 (14' L X 20' W)
 OR
 (10' L X 20' W)



**GARAGE UNITS
 LEFT SIDE ELEVATION**



**BASEMENT UNITS
 LEFT SIDE ELEVATION**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/11/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 4/16/08
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 4/17/08
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7385

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

UNIT DETAILS & ELEVATIONS

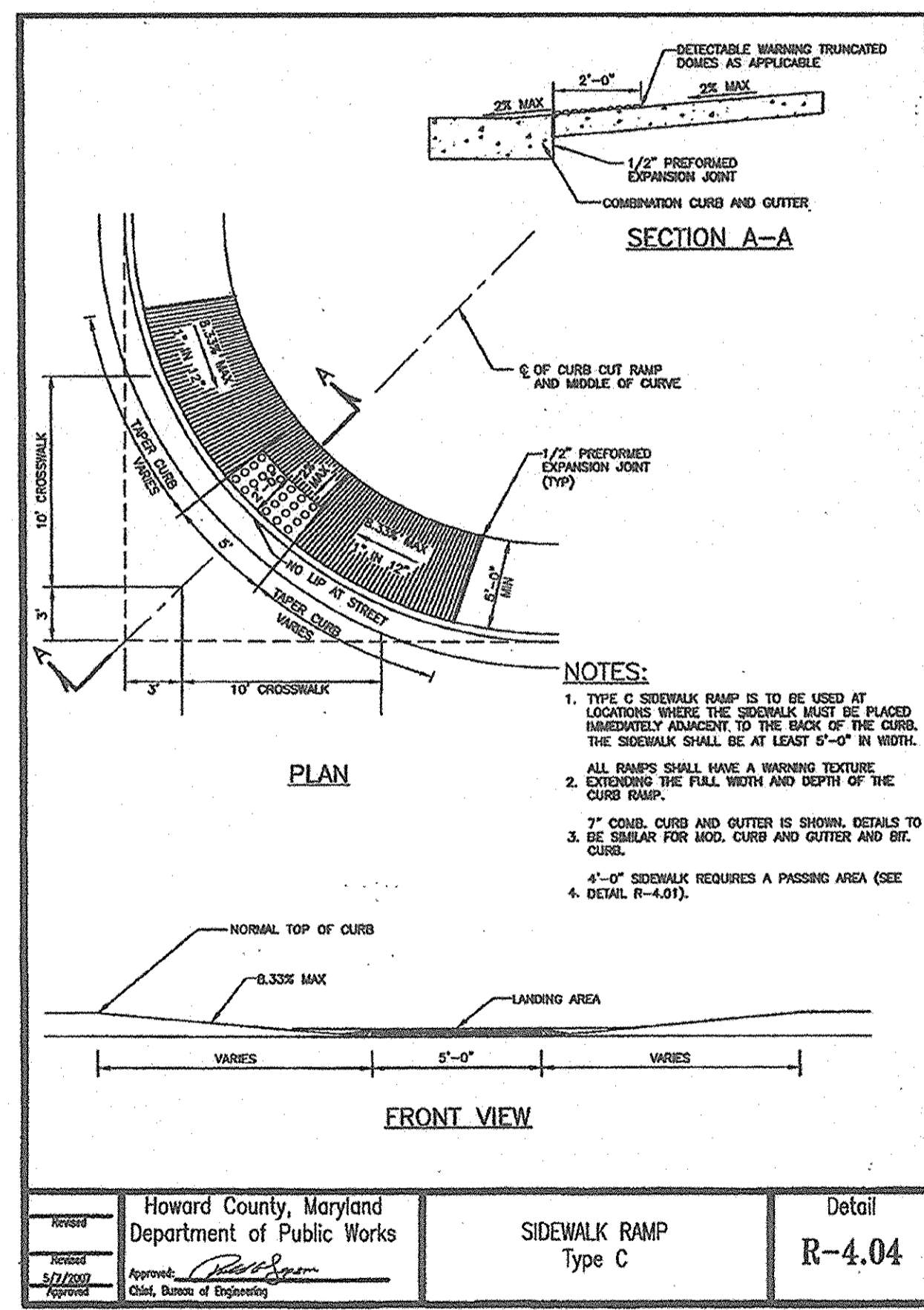
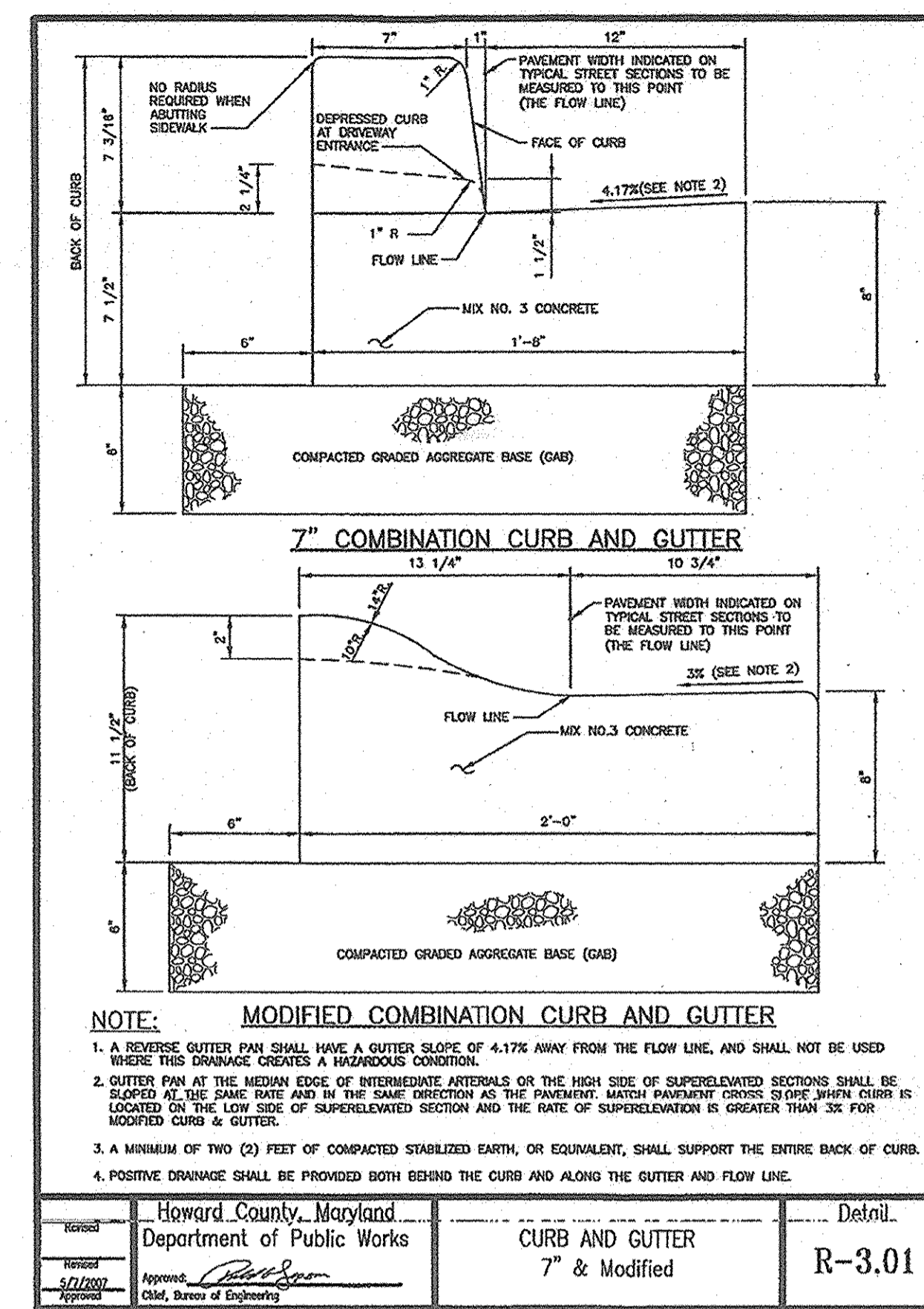
LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:	SCALE:
		15129.02	N.T.S.
			DATE: 03/28/08
			DRAWN BY: JYW
			DESIGN BY: JYW
			REVIEW BY: TCN
			SHEET: 9 OF 16

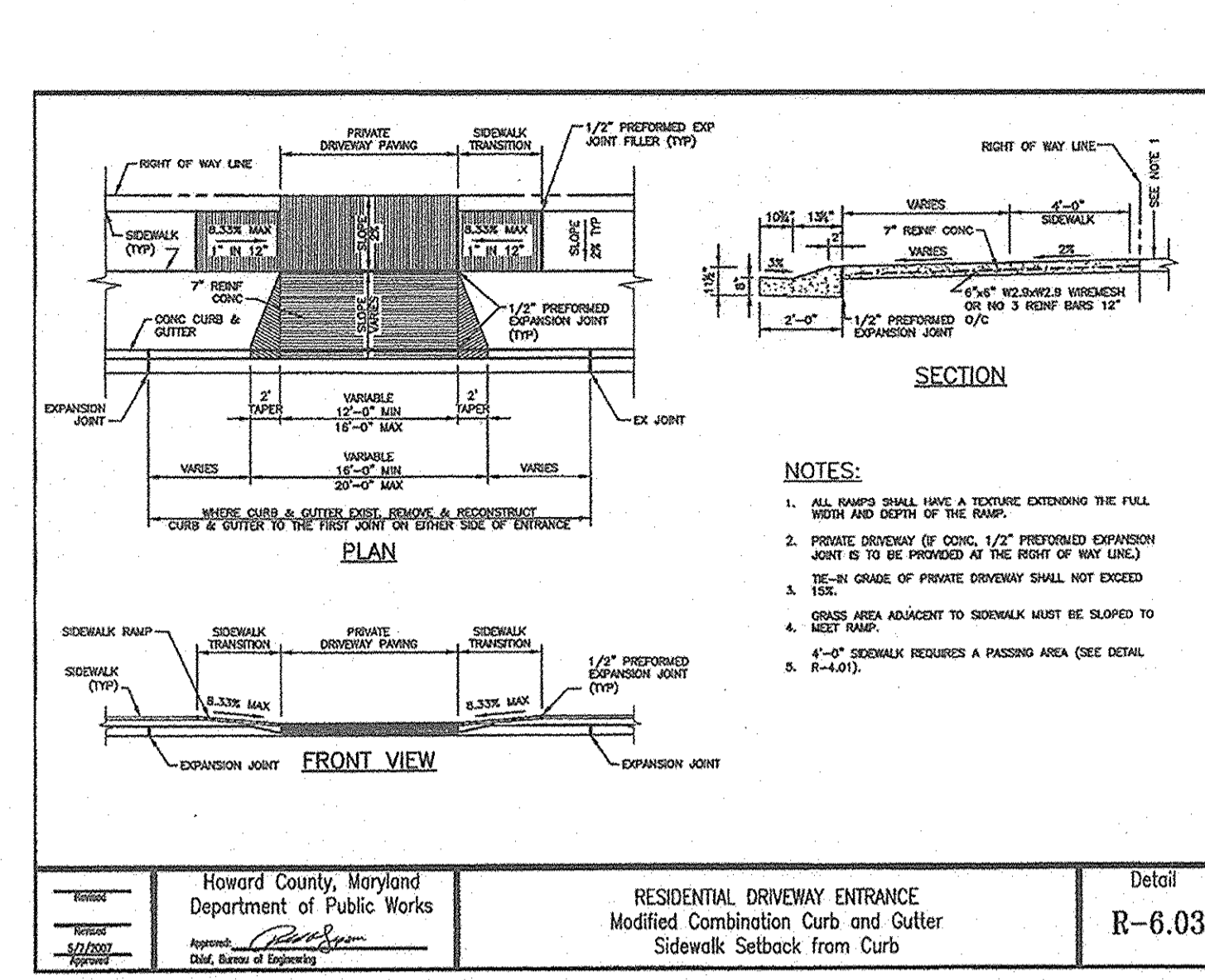
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 20025, EXPIRATION DATE 6-16-2008.

UTILITY TRENCH BACKFILL

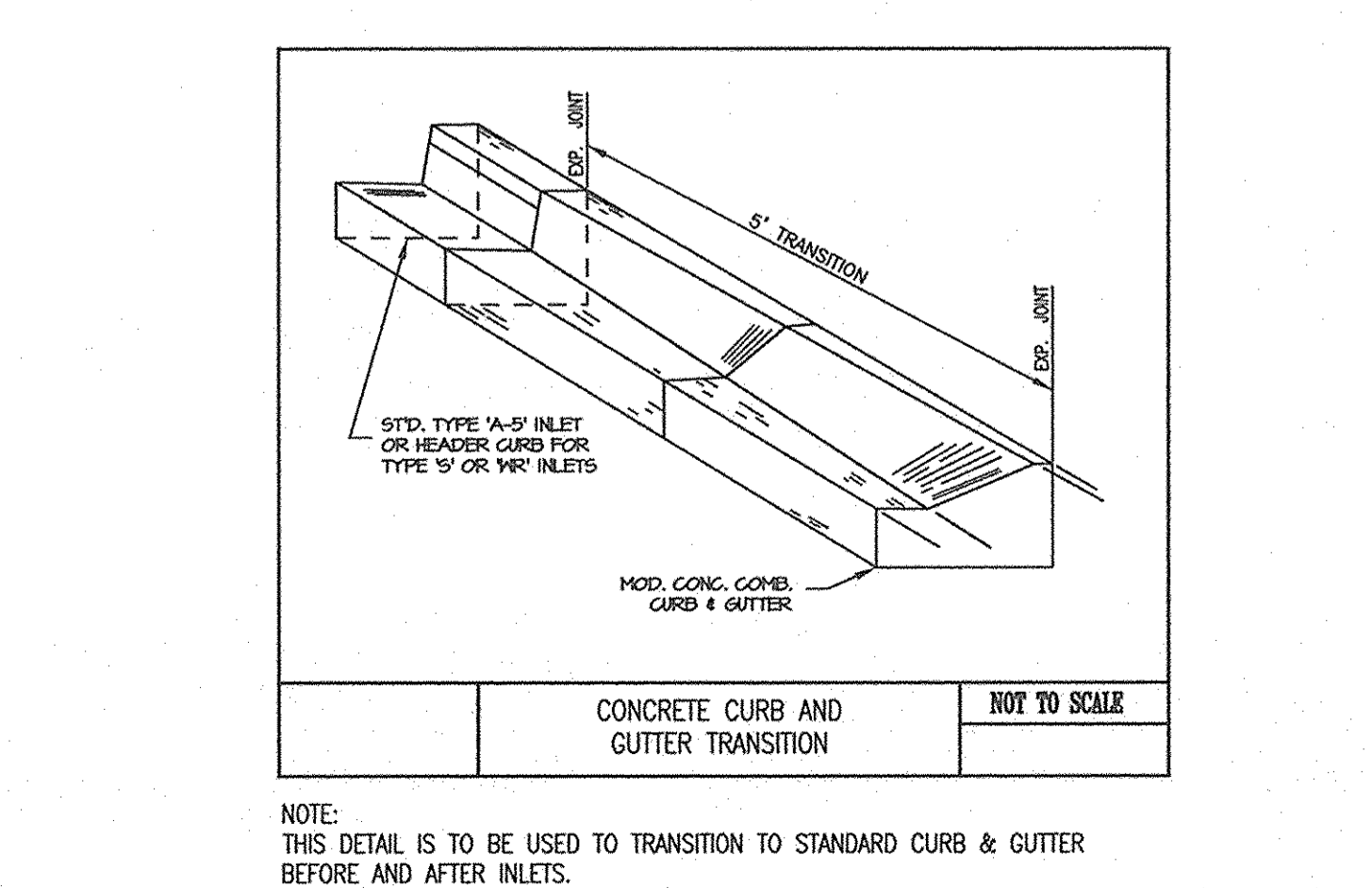
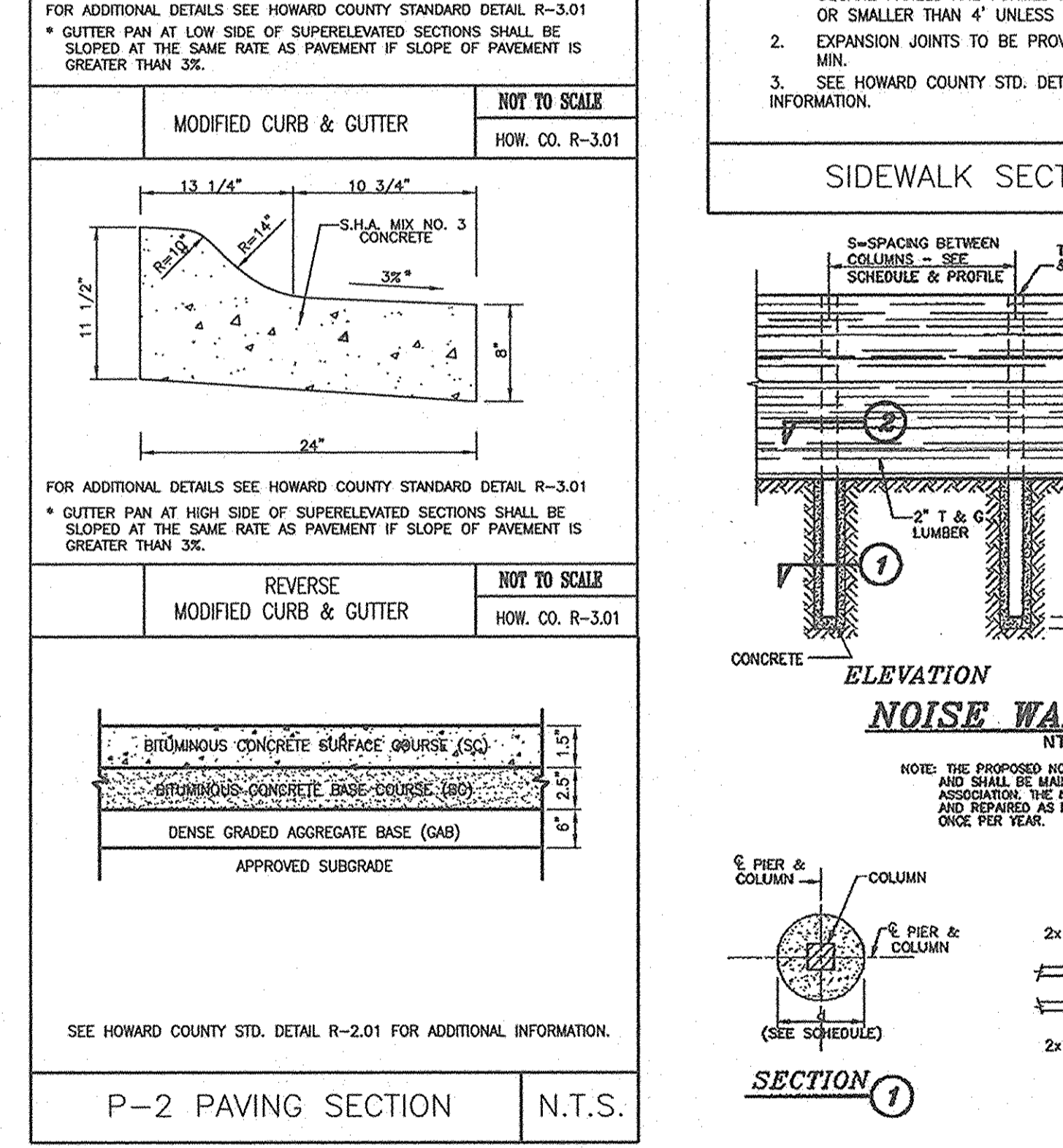
- I. Materials
- A. Pipe Bedding Material - pipe bedding material shall consist of CR-6.
- B. Backfill Materials - Use CR-6 as backfill material to the minimum extent shown on the plans. The backfill for the remainder of the trench shall consist of on-site or off-site soils conforming to the requirement of the geotechnical report and City/County specifications. No stones larger than 2 inches should be allowed within 2 feet of the utility. Larger stones, up to 6 inches in the largest dimension can be used in lifts 2 feet above the utility. No organic material shall be allowed. For granular soils (less than 35% passing #200 sieve), the soil moisture should be within 3 percentage points of optimum unless otherwise dictated by project engineer or County specifications. For fine-grained soils (greater than 35% passing #200 sieve), the soil moisture should be within 0 to plus 4 percent of optimum unless otherwise dictated by engineer or County specifications.
- The compaction requirement shall be 92 percent of the Modified Proctor (ASTM D-1557) maximum dry density for material placed below the top 12-inches of roadway subgrade. The top 12 inches should be compacted to 97% unless otherwise recommended by the geotechnical engineer. The top 12 to 24 inches of soil may be required to meet certain material properties for subgrade support for pavements.
- II. Backfilling Procedures
- A. Contractor shall place level lifts of soil adjacent to and above the utility. The lift thickness shall be dependent upon the type of equipment being used for compaction and the materials. The following shall be used as a guide:
1. Fine-Grained Materials - fine-grained materials (materials with more than 35% passing #200 sieve) should be compacted with sheep's-foot type roller. The lift thickness should not exceed 4 inches if hand operated equipment is used. Hand equipment will be required for compaction around manholes, structures and adjacent to and over the utility. If heavy construction sheep's-foot compaction equipment is used, a maximum loose lift thickness should be no greater than the length of the sheep's-foot or a maximum of eight inches. Each lift should be uniformly compacted with a sufficient number of passes to obtain the required degree of compaction.
 2. Granular Soils - granular soils (materials with less than 35% passing #200 sieve) should be compacted with a vibratory type compaction equipment. The loose lift thickness should not exceed 4 inches for hand operated equipment. Hand equipment will be required around manholes, structures and adjacent to and above the utility. If heavy vibratory compaction equipment is used, then the loose lift thickness can be increased to 8 inches. Each lift should be uniformly compacted with a sufficient number of passes to obtain the recommended degree of compaction.
 3. The backfill should be worked using hand tools around pipe haunch to provide uniform and firm support.
- B. If a lift fails to meet the required compaction, then the lift shall be re-compacted and retested. If the material is too wet or too dry, the moisture should be adjusted to within the required range prior to re-compaction.
- III. Testing
- Each lift of fill should be monitored for stability, lift thickness and compactive effort. A density test should be performed for each lift of fill placed per every 150 feet of trench. This requirement includes the utility lateral connections. The test procedure should be the sand cone method (ASTM D-1556) or the nuclear gauge method (ASTM D-2922). The test results shall be made available to the contractor upon the completion of the test. For each test, the technician shall record the following: Date; test location; test elevation; material type; degree of compaction; one-point results; lift thickness; and moisture content.



Project	Howard County, Maryland Department of Public Works	Detail	SIDEWALK RAMP Type C	R-4.04
Prepared	<i>[Signature]</i> Civil, Bureau of Engineering	Checked	<i>[Signature]</i> Civil, Bureau of Engineering	



Project	Howard County, Maryland Department of Public Works	Detail	RESIDENTIAL DRIVEWAY ENTRANCE Modified Combination Curb and Gutter Sidewalk Setback from Curb	R-6.03
Prepared	<i>[Signature]</i> Civil, Bureau of Engineering	Checked	<i>[Signature]</i> Civil, Bureau of Engineering	



SANITARY SEWER CLEAN-OUT CHART							
UNIT NO.	STATION @ MAIN	INVERT OF 8" MAIN	LENGTH TO CLEANOUT (ft)	SLOPE OF SERVICE	CLEANOUT INVERT *	TOP C/O ELEV.	MIN. CELLAR ELEVATION (MCE)
EX S-28 TO EX S-29							
214	1+37	241.95	11'	2.00%	242.33	256.67	245.86
215	1+46	241.99	11'	2.00%	242.38	256.85	245.87
216	1+55	242.09	11'	2.00%	242.48	257.24	246.01
217	1+67	242.20	12'	2.00%	242.50	257.66	246.07
218	2+05	242.29	12'	2.00%	242.70	258.04	246.20
EX S-29 TO S-3							
219	0+05	242.46	12'	2.00%	242.88	258.45	246.34
220	0+51	242.69	13'	2.00%	243.12	259.25	246.61
221	0+61	242.74	13'	2.00%	243.16	259.43	246.69
222	0+82	242.85	13'	2.00%	243.26	259.82	246.74
S-3 TO S-4							
223	0+19	243.04	12'	2.00%	243.45	260.28	246.95
224	0+40	243.15	12'	2.00%	243.56	260.72	247.01
225	0+58	243.24	15'	2.00%	243.68	260.70	247.13
S-3 TO S-6							
226	0+41	245.58	26'	2.00%	246.27	261.21	249.93
213	0+50	246.11	12'	2.00%	246.52	261.39	250.10
227	0+51	246.81	26'	2.00%	247.50	261.67	250.35
212	0+63	246.92	12'	2.00%	247.33	261.92	250.95
228	0+75	247.73	26'	2.00%	248.42	262.67	251.84
211	0+79	247.94	12'	2.00%	248.35	263.04	251.93
229	0+93	248.87	26'	2.00%	249.56	263.67	253.02
230	1+11	250.00	26'	2.00%	250.69	264.88	254.11
210	1+28	251.06	12'	2.00%	251.47	265.31	255.13
209	1+34	251.44	12'	2.00%	251.85	265.90	255.55
208	1+56	252.83	12'	2.00%	253.24	266.91	256.82
231	1+59	253.05	26'	2.00%	253.74	267.04	257.68
232	1+69	253.68	26'	2.00%	254.37	267.53	258.35
207	1+77	254.17	12'	2.00%	254.58	267.98	258.04
233	1+89	254.95	26'	2.00%	255.64	268.60	259.58
206	1+96	255.38	12'	2.00%	255.79	269.00	259.21
205	2+16	256.65	26'	2.00%	267.06	270.07	260.52
234	2+49	256.22	26'	2.00%	256.91	269.66	260.89
235	2+29	257.49	26'	2.00%	258.18	270.73	262.12
204	2+38	258.02	12'	2.00%	258.43	271.21	261.85
236	2+49	258.75	26'	2.00%	259.44	271.76	263.42
237	2+67	259.85	26'	2.00%	260.54	272.85	264.48
S-6 TO S-7							
238	0+04	262.65	26'	2.00%	263.34	275.32	267.04
191	0+14	263.25	12'	2.00%	263.66	275.88	267.08
239	0+14	263.27	26'	2.00%	263.96	276.87	267.54
190	0+24	263.81	12'	2.00%	264.22	276.43	267.68
240	0+34	264.44	26'	2.00%	265.13	277.07	268.83
189	0+44	265.00	12'	2.00%	265.41	277.59	268.83
241	0+54	265.63	26'	2.00%	266.32	278.36	269.98
195	0+67	266.37	12'	2.00%	266.78	278.93	270.24
242	0+80	267.16	26'	2.00%	267.85	279.70	271.47
187	0+87	267.56	12'	2.00%	267.97	280.15	271.39
243	1+03	268.49	26'	2.00%	269.18	281.05	272.76
244	1+16	269.31	26'	2.00%	270.00	281.89	273.62
186	1+34	270.35	12'	2.00%	270.76	282.60	274.18
245	1+37	270.54	26'	2.00%	271.23	283.78	274.65
185	1+39	270.65	12'	2.00%	271.06	283.44	274.52
184	1+59	271.84	12'	2.00%	272.25	284.42	275.67
183	1+82	273.21	12'	2.00%	273.62	285.92	277.08
246	1+83	273.27	26'	2.00%	273.96	285.83	277.45
247	1+88	273.57	26'	2.00%	274.26	286.15	277.87
248	2+07	274.72	26'	2.00%	275.41	287.33	278.90
249	2+33	276.25	26'	2.00%	276.94	288.89	280.55
250	2+72	278.57	26'	2.00%	279.26	291.01	282.75
251	2+81	279.10	26'	2.00%	279.79	291.49	283.40
252	3+01	280.29	26'	2.00%	280.98	293.18	284.47
253	3+24	281.65	26'	2.00%	282.34	295.78	285.43
EX S-21 TO EX S-24							
178	1+12	270.73	30'	2.00%	271.49	285.35	274.37
179	1+26	270.80	29'	2.00%	271.54	285.68	274.79
EX S-24 TO S-1							
180	0+18	271.00	29'	2.00%	271.74	286.03	274.84
259	0+19	270.99	27'	2.00%	271.70	285.54	274.87
258	0+41	271.11	27'	2.00%	271.82	285.87	275.03
181	0+42	271.11	29'	2.00%	271.85	286.20	275.00
182	0+62	271.21	29'	2.00%	271.95	286.55	275.16
257	0+64	271.22	27'	2.00%	271.93	286.19	275.09
256	0+84	271.32	27'	2.00%	272.03	286.48	275.23
255	1+04	271.42	27'	2.00%	272.12	286.78	275.29
254	1+24	271.52	27'	2.00%	272.38	287.05	275.59
EX S-32 TO S-2							
198	0+06	260.03	29'	2.00%	260.77	269.44	264.22
197	0+19	260.09	29'	2.00%	260.81	269.18	264.66
196	0+29	260.14	28'	2.00%	260.86	269.37	264.71
199	0+34	260.17	29'	2.00%	260.91	269.77	264.36
195	0+44	260.22	28'	2.00%	260.94	269.80	264.79
200	0+46	260.23	29'	2.00%	260.97	270.00	264.42
194	0+70	260.35	28'	2.00%	261.07	270.30	264.92
201	0+85	260.42	29'	2.00%	261.16	270.88	264.61
193	0+90	260.45	28'	2.00%	261.16	270.77	265.02
202	1+03	260.51	29'	2.00%	261.25	271.31	264.70
192	1+09	260.55	28'	2.00%	261.28	271.18	265.11
203	1+14	260.57	29'	2.00%	261.31	271.55	264.76

* SHOWN ON PROFILE VIEW

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING	DATE: 4/1/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE: 4/1/08
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE: 4/1/08
DIRECTOR, DEPARTMENT OF PLANNING AND ZONING	DATE: 4/1/08

MORRIS & RITCHIE ASSOCIATES, INC.
ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
LAUREL, MARYLAND 20707
(410) 792-8792 or (301) 776-1690
FAX (410) 792-7395

SITE DEVELOPMENT PLAN
VILLAGE TOWNS
PHASE III-A, UNITS 178 - 219 AND 226 - 245

SEWER SCHEDULE & SITE DETAILS

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:	15129.02
		SCALE:	AS SHOWN
		DATE:	03/28/08
		DRAWN BY:	JYW
		DESIGN BY:	JMC
		REVIEW BY:	TCN
		SHEET:	10 OF 16

MD PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

EXPIRATION DATE 6-10-2008

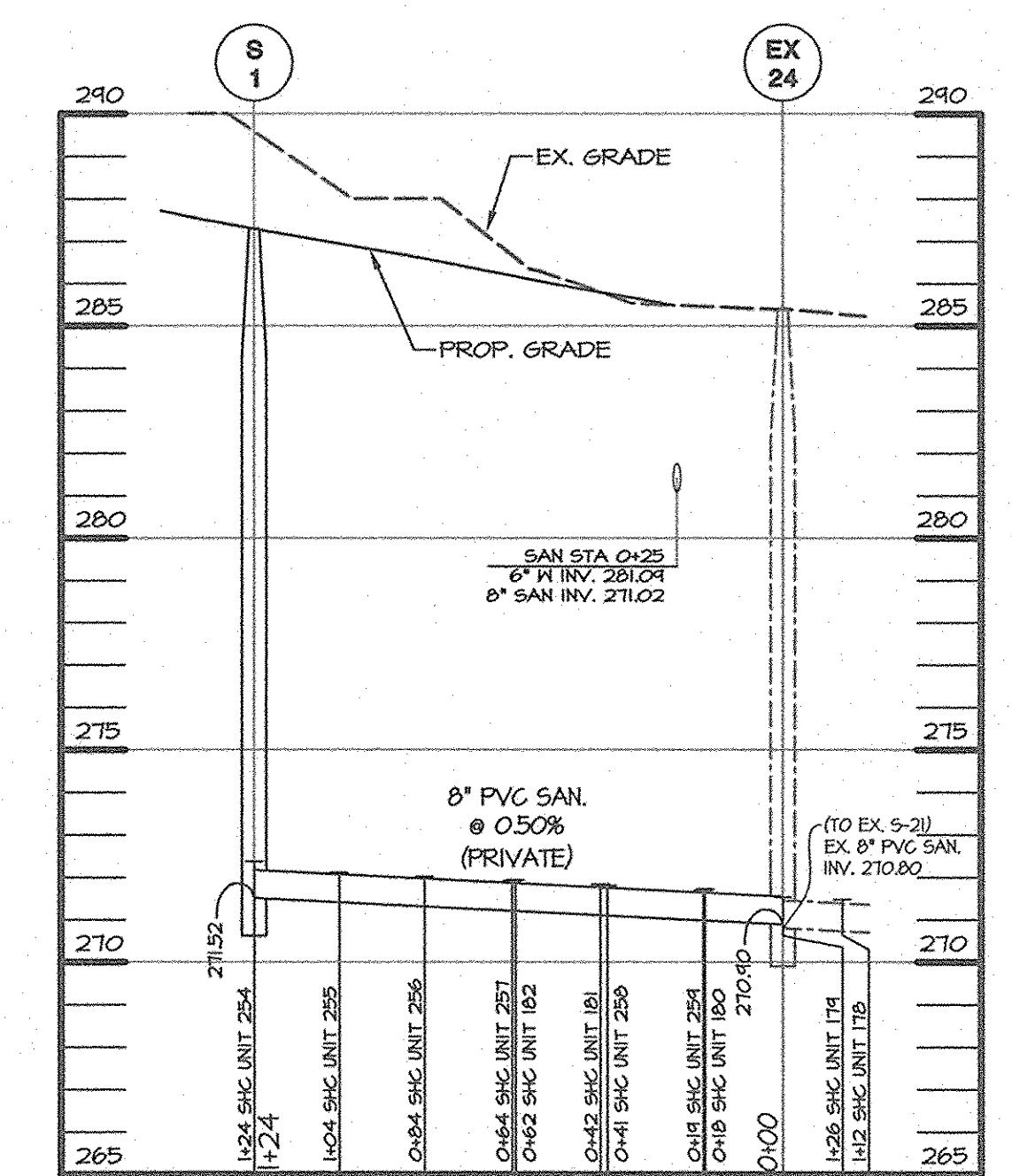
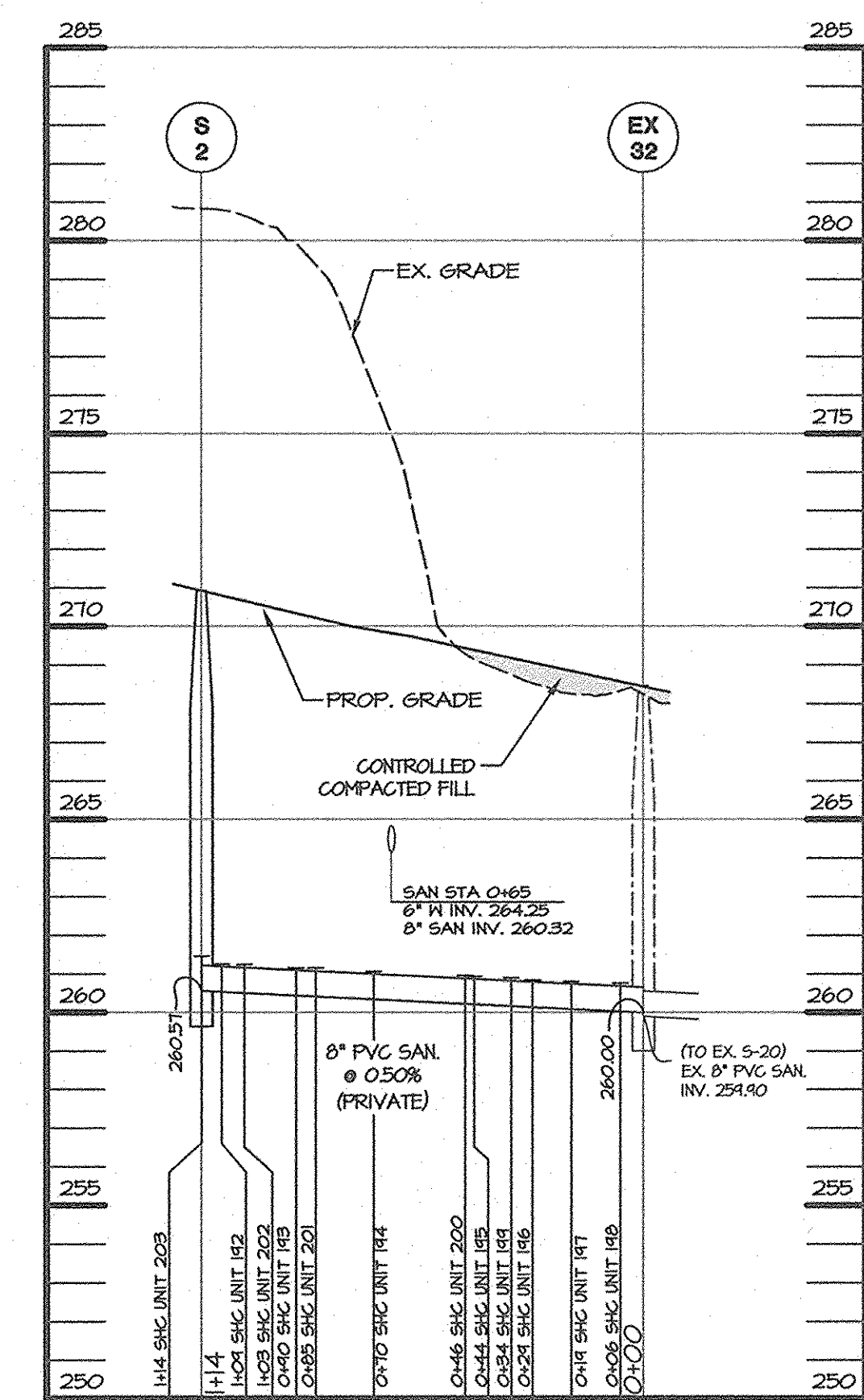
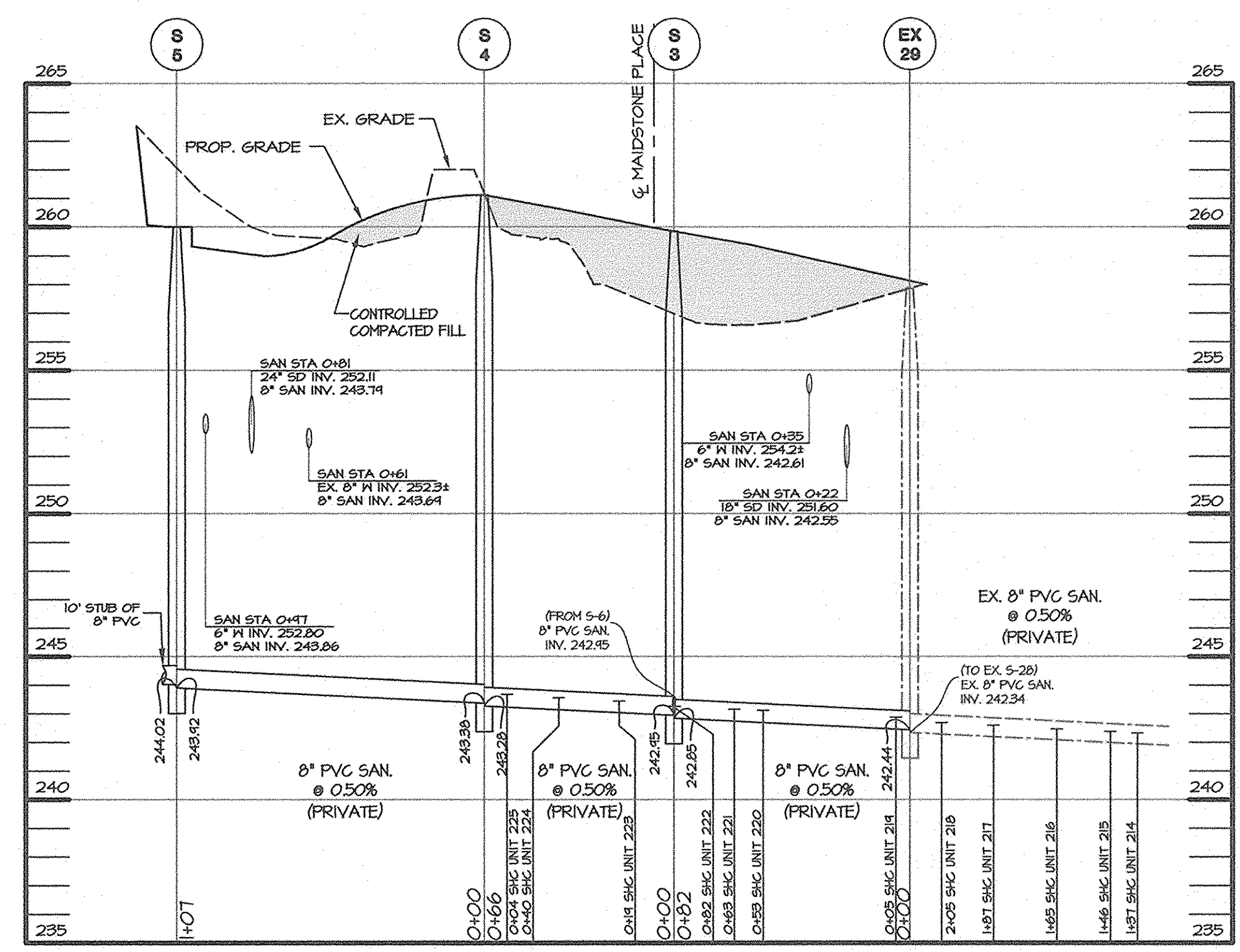
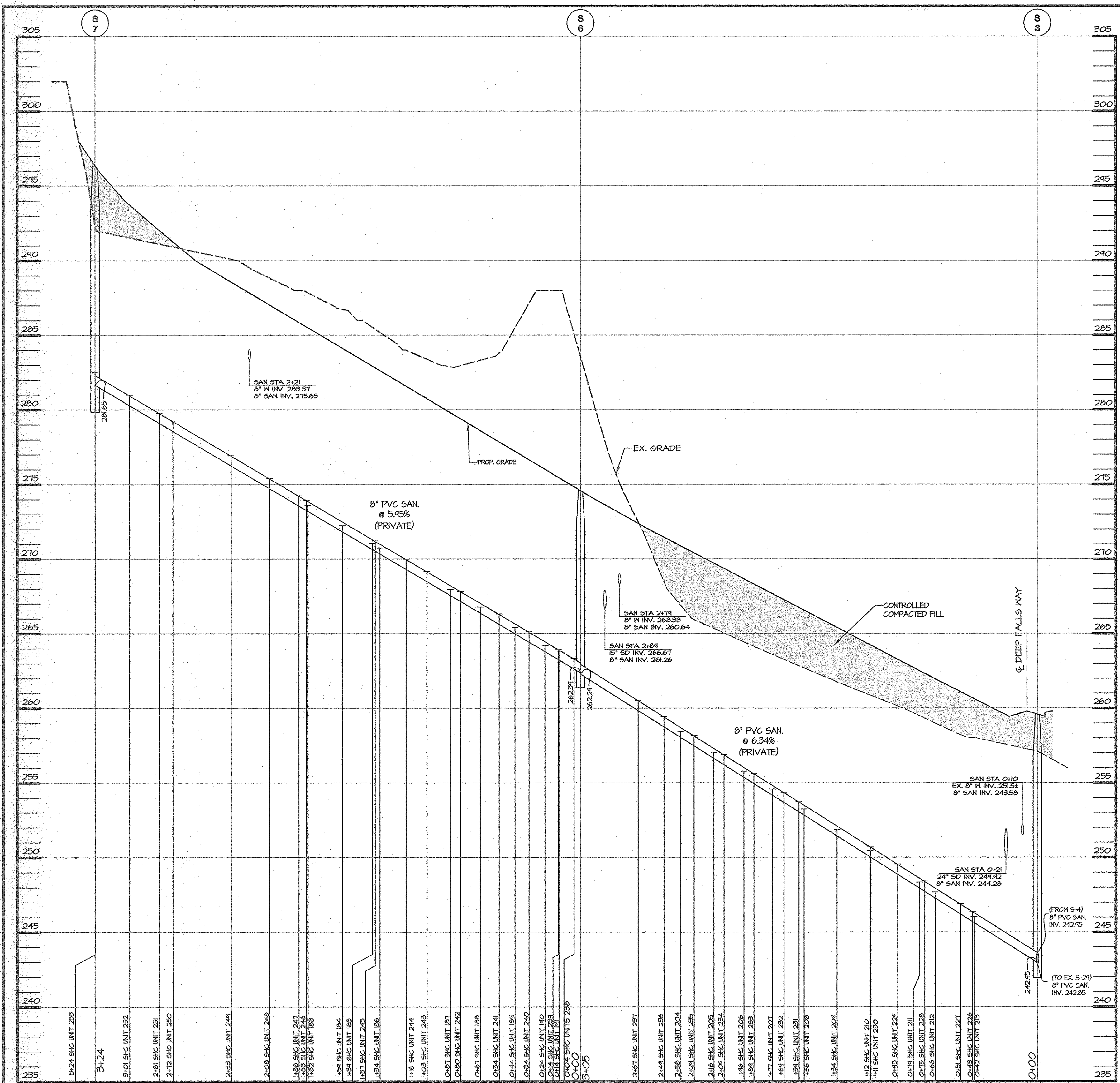
CONTROLLED AND 95% COMPACTED FILL PER AASHTO T-180, TO BE CERTIFIED BY AN APPROVED ON-SITE GEOTECHNICAL ENGINEER

COMPACTED SPECIFICATIONS FOR UTILITIES IN FILL

WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL, THE FOLLOWING APPLIES:

- A. PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT THE EXISTING RAVINE BOTTOM OR SLOPE, SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
- B. ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN SIX INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. METHOD T-180.
- C. THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.

OWNER/DEVELOPER/APPLICANT
NAME: MR. MARK L. LEVY
VILLA ASSOCIATES LLC
C/O H & H ROCK COMPANIES
6800 DEER PATH ROAD, SUITE 100
ELKRIDGE, MARYLAND 21075
PHONE: 410.579.2442
FAX: 410.579.1441



SANITARY SEWER STRUCTURE SCHEDULE (PRIVATE)

STR NO.	TOP ELEV.	INV. IN.	INV. IN.	INV. OUT.	TYPE	REMARKS	NORTHING	EASTING
SMH-1	286.78	---	---	271.52	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,691.06	1,373,126.67
SMH-2	270.90	---	---	260.57	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,722.79	1,373,375.49
SMH-3	260.48	242.95	242.95	242.85	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,902.27	1,373,598.71
SMH-4	259.60	---	---	243.38	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,965.45	1,373,578.43
SMH-5	259.07	---	---	244.02	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	551,065.36	1,373,616.79
SMH-6	274.58	---	---	262.39	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,809.03	1,373,308.41
SMH-7	296.58	---	---	281.65	H.C. STD. DETAIL GS.12	STANDARD PRECAST MH	550,684.33	1,373,009.32

● COORDINATES TO CENTERLINE OF STRUCTURE

SANITARY SEWER PIPE SCHEDULE (PRIVATE)*

SIZE	TYPE	TOTAL LENGTH
8" (MAIN)	PVC, SDR-35	1,130 FT
4" (SHC)	PVC, SDR-35	1,727 FT

- CONTROLLED AND 95% COMPACTED FILL PER AASHTO T-180, TO BE CERTIFIED BY AN APPROVED ON-SITE GEOTECHNICAL ENGINEER.
- COMPACTED SPECIFICATIONS FOR UTILITIES IN FILL
- WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL, THE FOLLOWING APPLIES:
- PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT THE EXISTING RAVINE BOTTOM OR SLOPE, SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
 - ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN SIX INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. METHOD T-180.
 - THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
Howard County Seal
 DATE: 4/16/05

CHIEF, DIVISION OF LAND DEVELOPMENT
Howard County Seal
 DATE: 4/16/05

DIRECTOR, DEPARTMENT OF PLANNING AND ZONING
 DATE: 4/16/05

MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

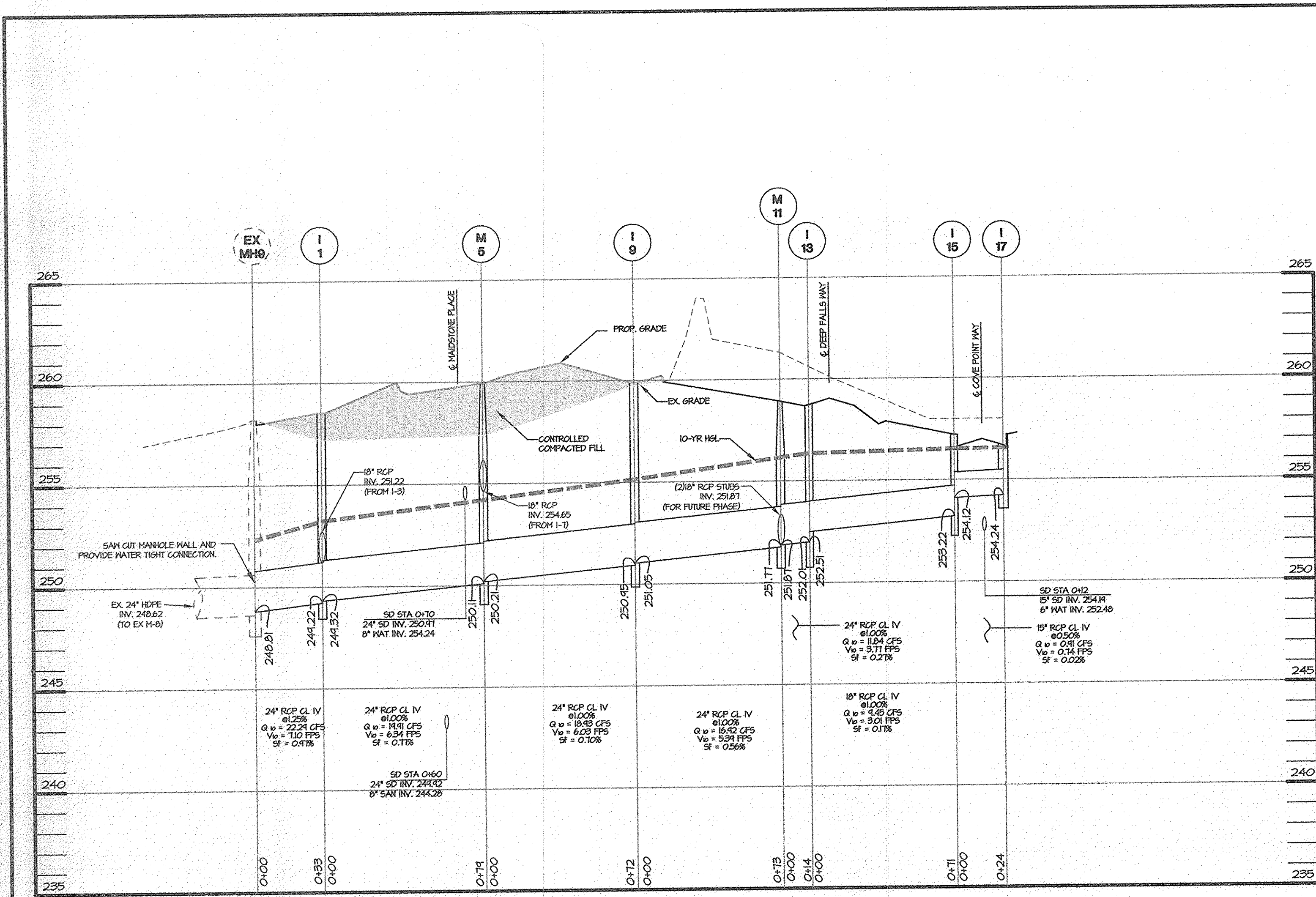
SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

SEWER PROFILES

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-1M ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

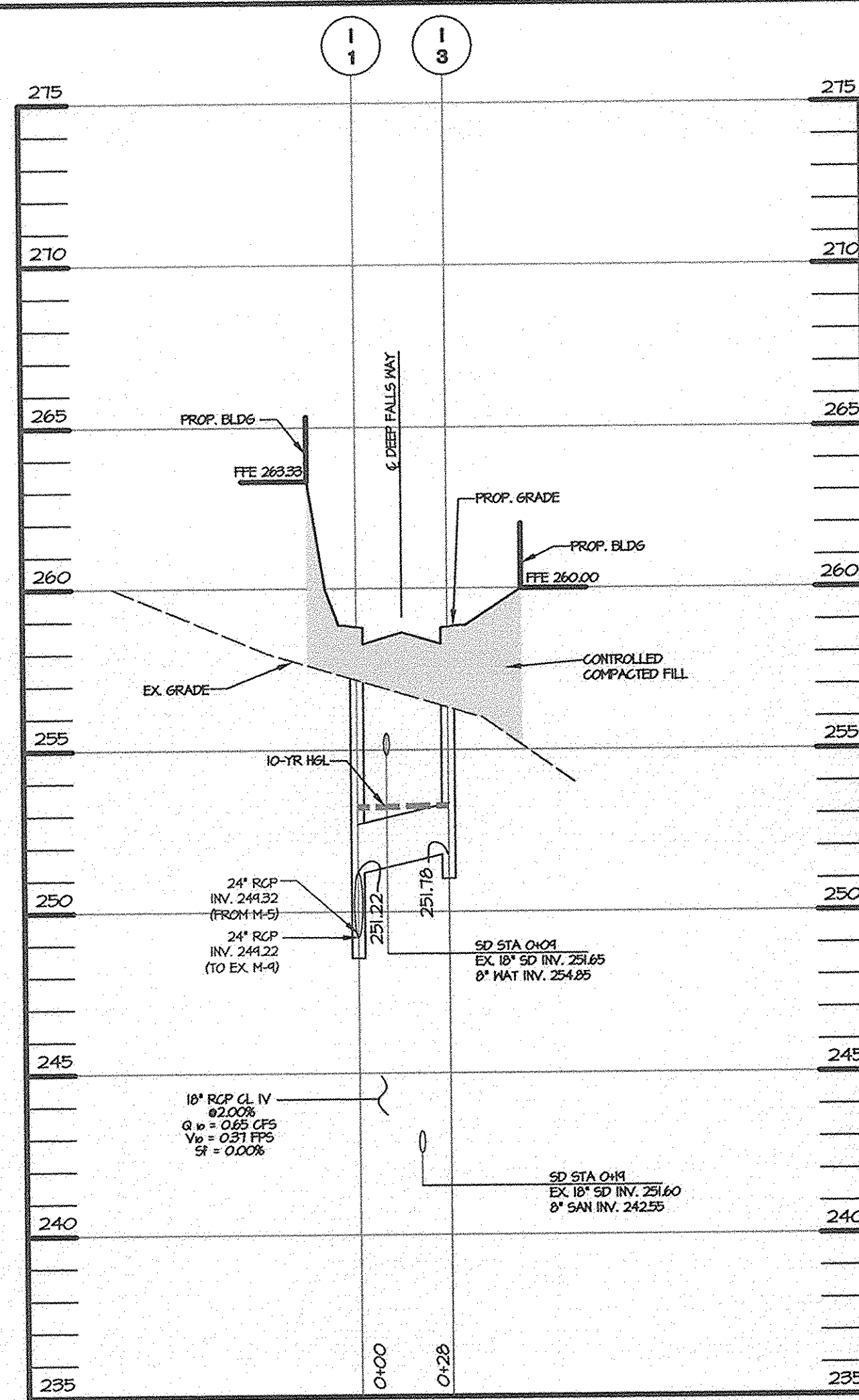
DATE	REVISIONS	JOB NO.	15129.02
		SCALE:	AS SHOWN
		DATE:	03/28/08
		DRAWN BY:	JW
		DESIGN BY:	JMC
		REVIEW BY:	TCN
		SHEET:	11 OF 16

MP PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 29003
 EXPIRATION DATE 6-16-2008



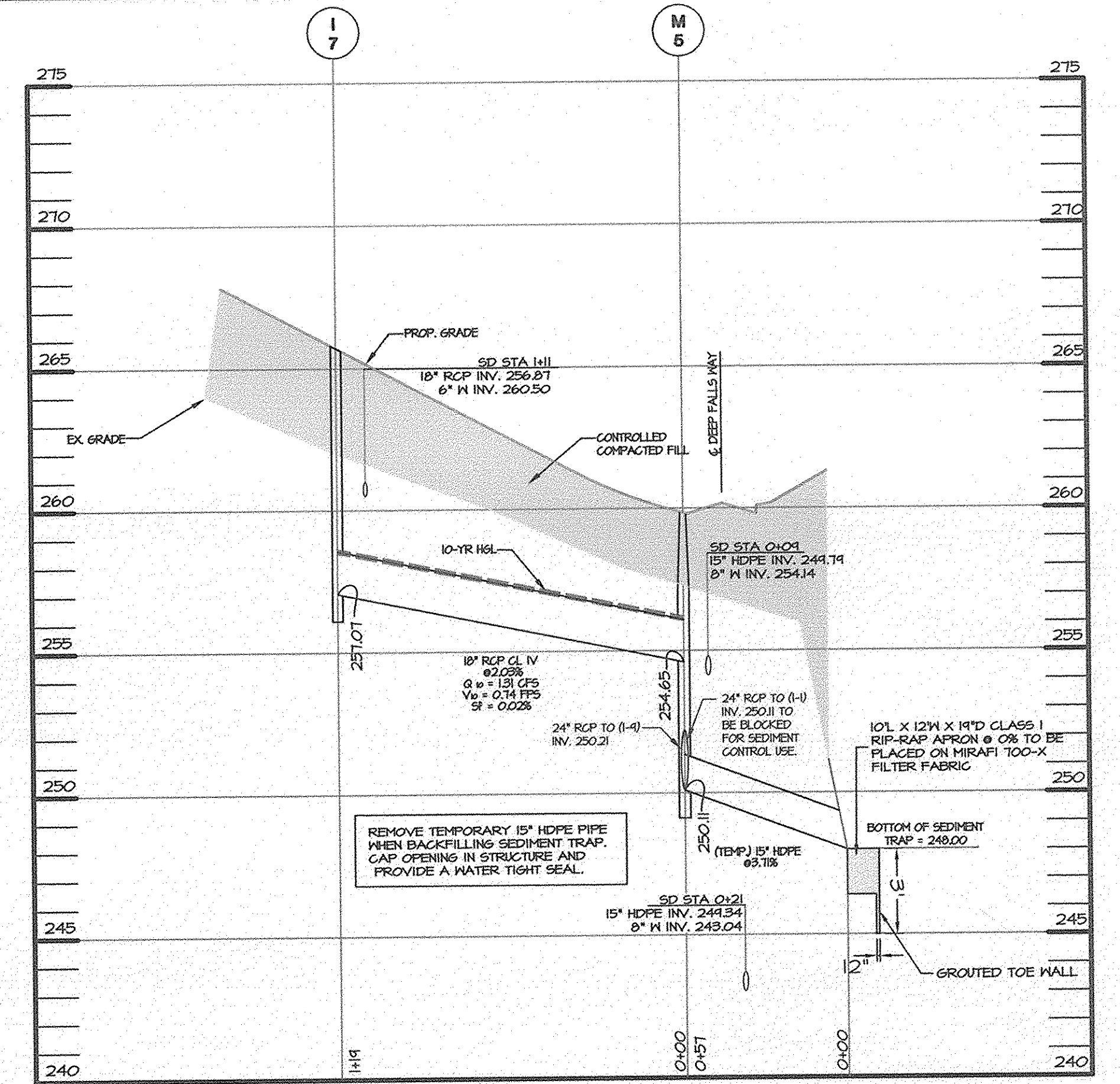
**STORM DRAIN PROFILE
EX MH-9 TO I-17**

HOR. 1" = 40'
VERT. 1" = 4'



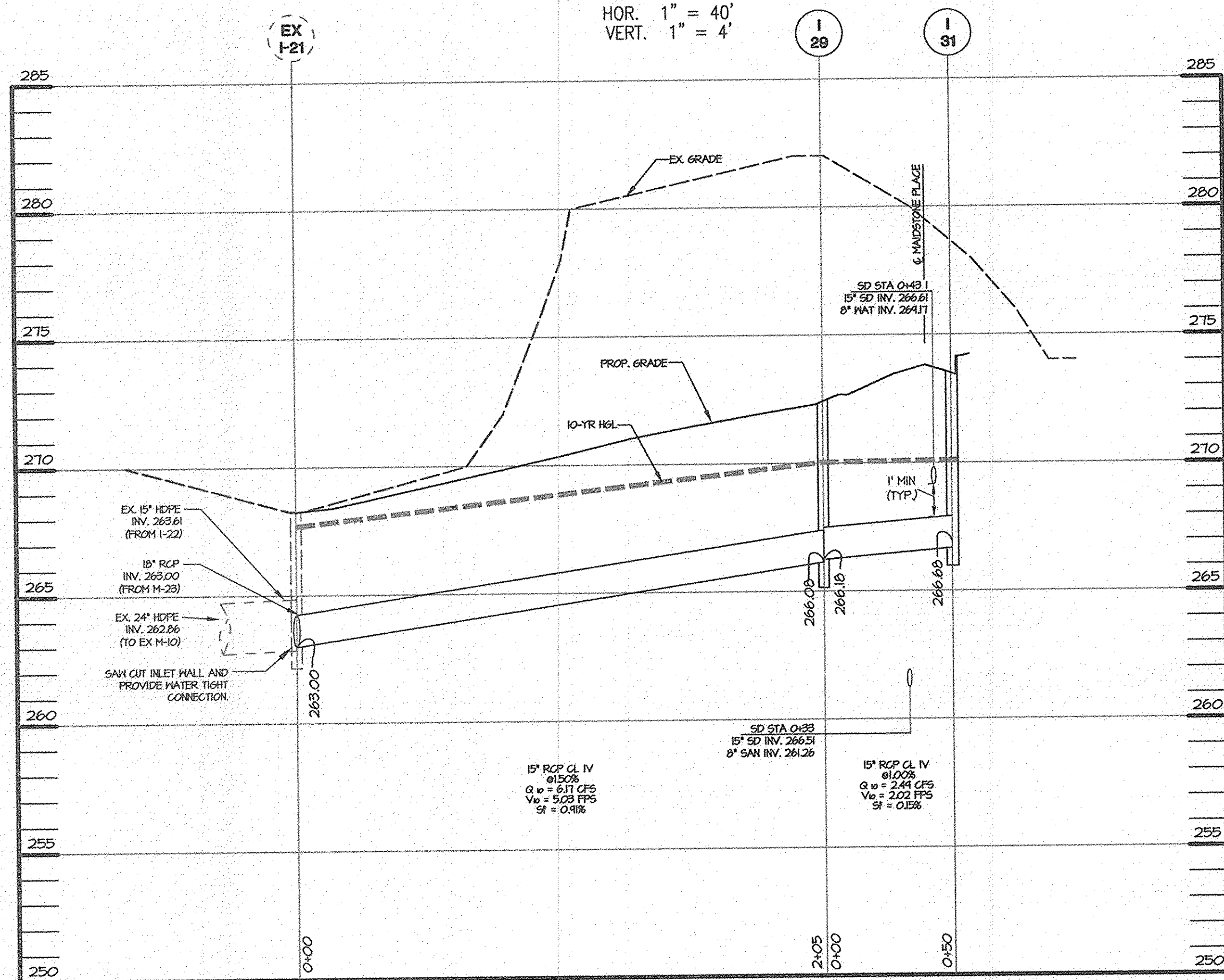
**STORM DRAIN PROFILE
I-1 TO I-3**

HOR. 1" = 40'
VERT. 1" = 4'



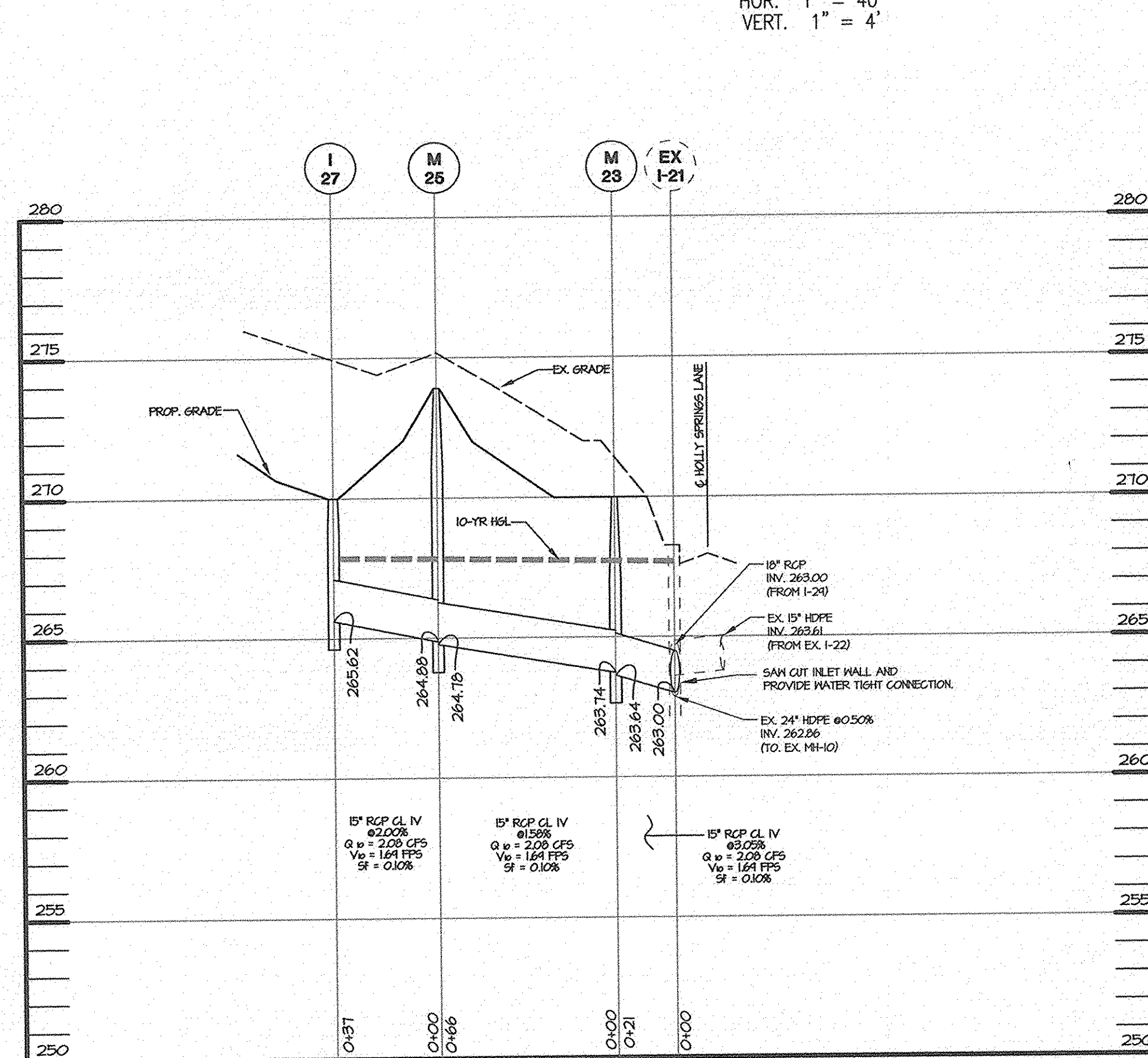
**STORM DRAIN PROFILE
I-7 TO M-6**

HOR. 1" = 40'
VERT. 1" = 4'



**STORM DRAIN PROFILE
EX I-21 TO I-31**

HOR. 1" = 40'
VERT. 1" = 4'



**STORM DRAIN PROFILE
EX I-21 TO I-27**

HOR. 1" = 40'
VERT. 1" = 4'

CONTROLLED AND 95% COMPACTED FILL PER AASHTO T-180, TO BE CERTIFIED BY AN APPROVED ON-SITE GEOTECHNICAL ENGINEER

COMPACTED SPECIFICATIONS FOR UTILITIES IN FILL

WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL, THE FOLLOWING APPLIES:

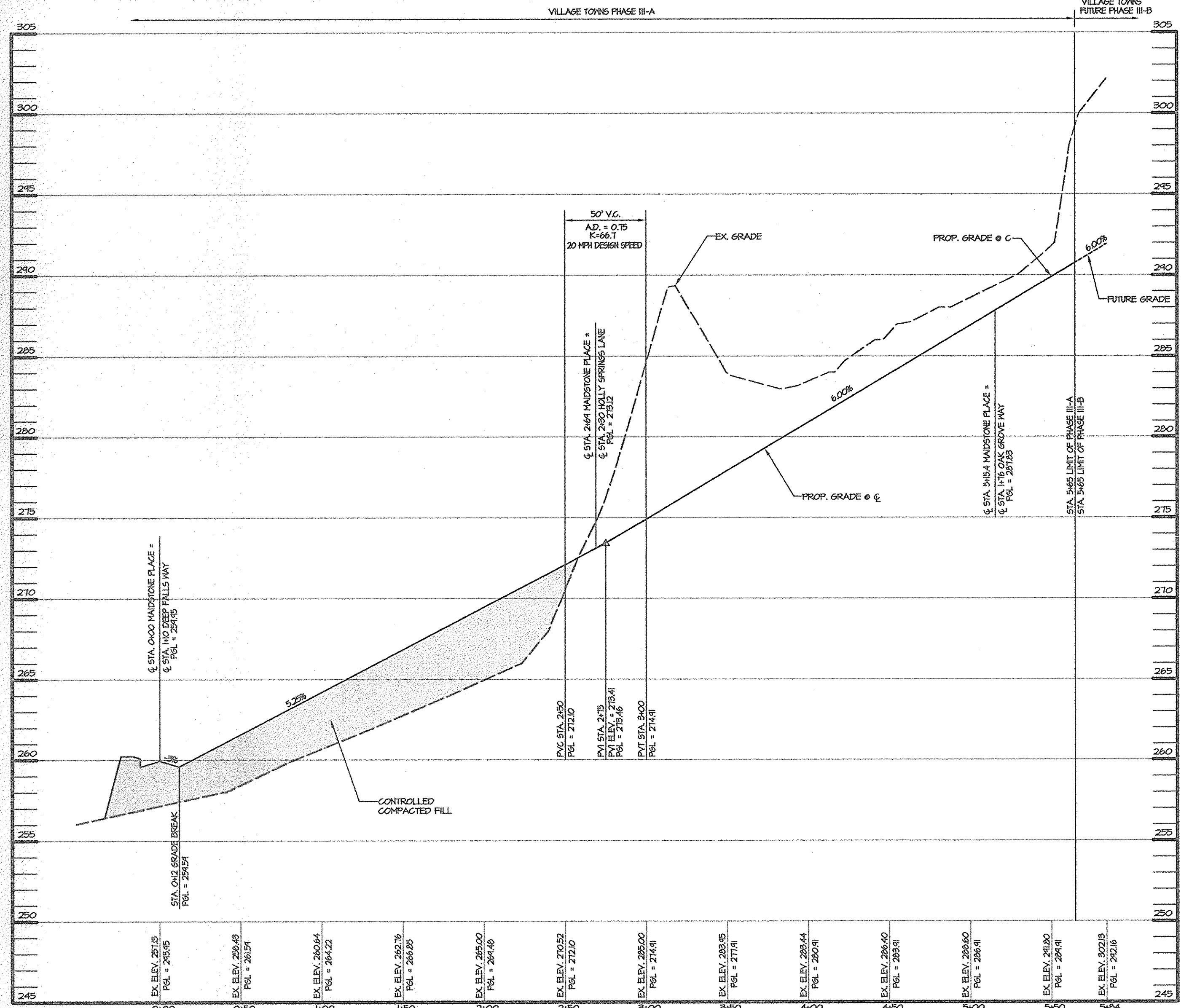
- PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT THE EXISTING RAVINE BOTTOM OR SLOPE, SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
- ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN SIX INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. METHOD T-180.
- THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.

NOTE: SEE SHEET 13 FOR STORM DRAIN STRUCTURE SCHEDULE

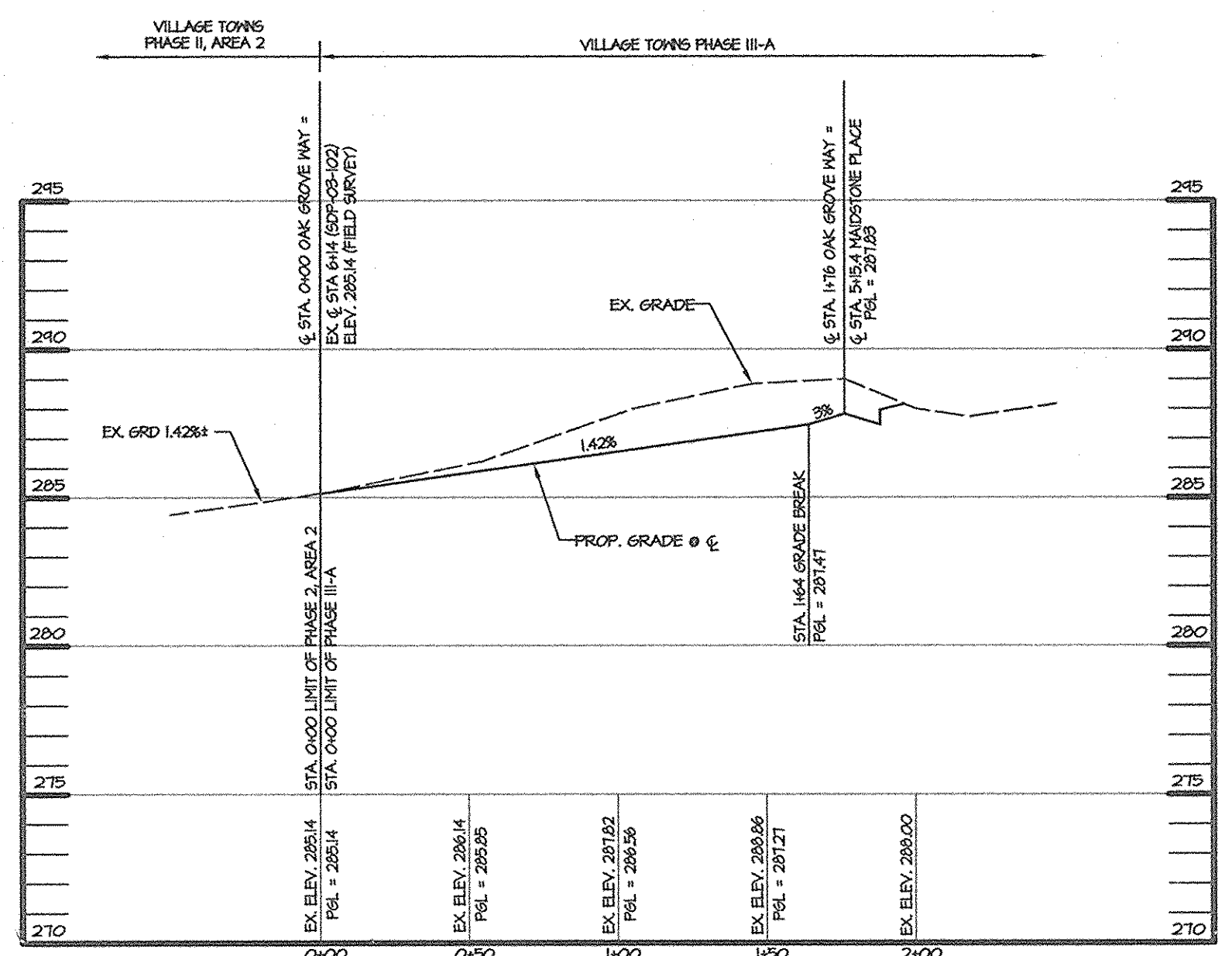
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director, Department of Planning and Zoning
 DATE: 4/11/08
 DATE: 4/16/08
 DATE: 4/23/08

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441

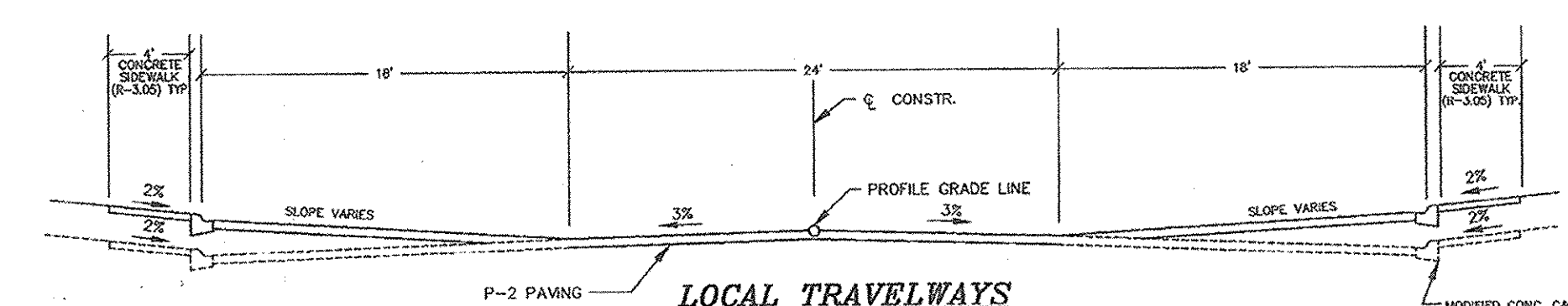
 	MORRIS & RITCHIE ASSOCIATES, INC. ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS 14280 PARK CENTER DRIVE, SUITE A LAUREL, MARYLAND 20707 (410) 792-9792 or (301) 776-1690 FAX (410) 792-7395																			
	SITE DEVELOPMENT PLAN VILLAGE TOWNS PHASE III-A, UNITS 178 - 219 AND 226 - 245 STORM DRAIN PROFILES LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND																			
MD PROFESSIONAL CERTIFICATION I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 29205 EXPIRATION DATE 6-16-2004.	<table border="1"> <thead> <tr> <th>DATE</th> <th>REVISIONS</th> <th>JOB NO.</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td>15129.02</td> </tr> </tbody> </table>	DATE	REVISIONS	JOB NO.			15129.02	<table border="1"> <thead> <tr> <th>SCALE</th> <th>DATE</th> <th>DRAWN BY</th> <th>DESIGN BY</th> <th>REVIEW BY</th> <th>SHEET</th> </tr> </thead> <tbody> <tr> <td>AS SHOWN</td> <td>03/28/08</td> <td>JYW</td> <td>JCW</td> <td>TCN</td> <td>12 OF 16</td> </tr> </tbody> </table>	SCALE	DATE	DRAWN BY	DESIGN BY	REVIEW BY	SHEET	AS SHOWN	03/28/08	JYW	JCW	TCN	12 OF 16
DATE	REVISIONS	JOB NO.																		
		15129.02																		
SCALE	DATE	DRAWN BY	DESIGN BY	REVIEW BY	SHEET															
AS SHOWN	03/28/08	JYW	JCW	TCN	12 OF 16															



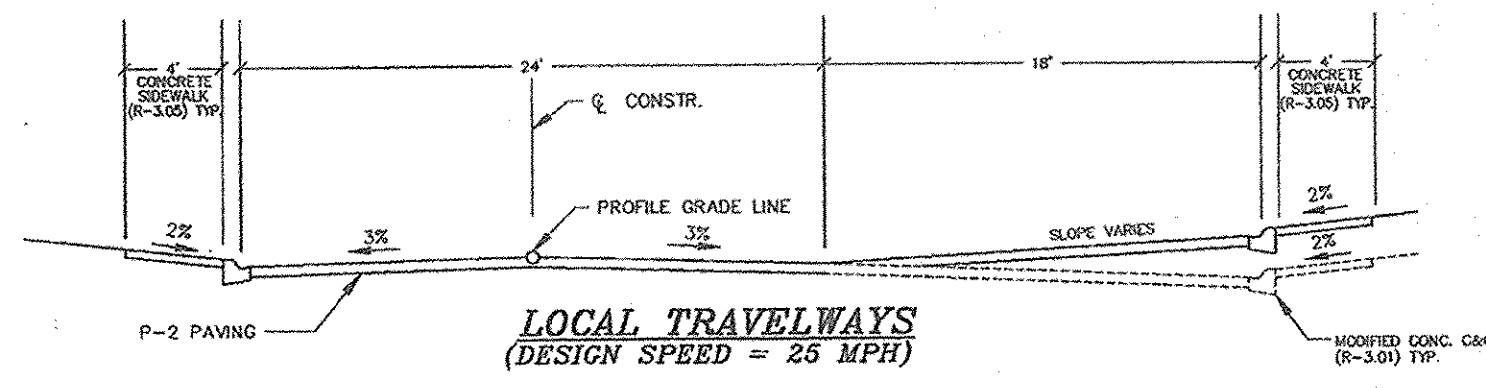
ROAD PROFILE - MAIDSTONE PLACE
 HOR. 1" = 50'
 VERT. 1" = 5'



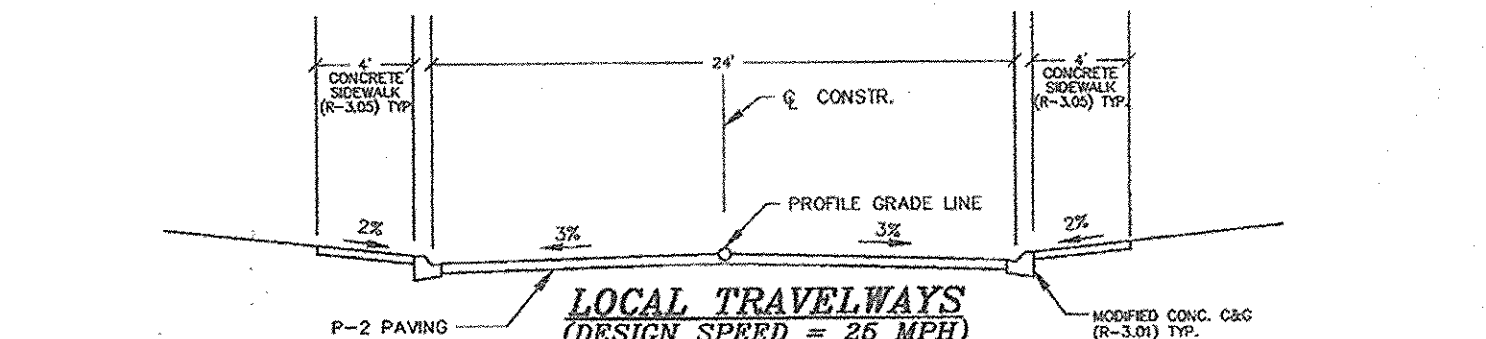
ROAD PROFILE - OAK GROVE WAY
 HOR. 1" = 50'
 VERT. 1" = 5'



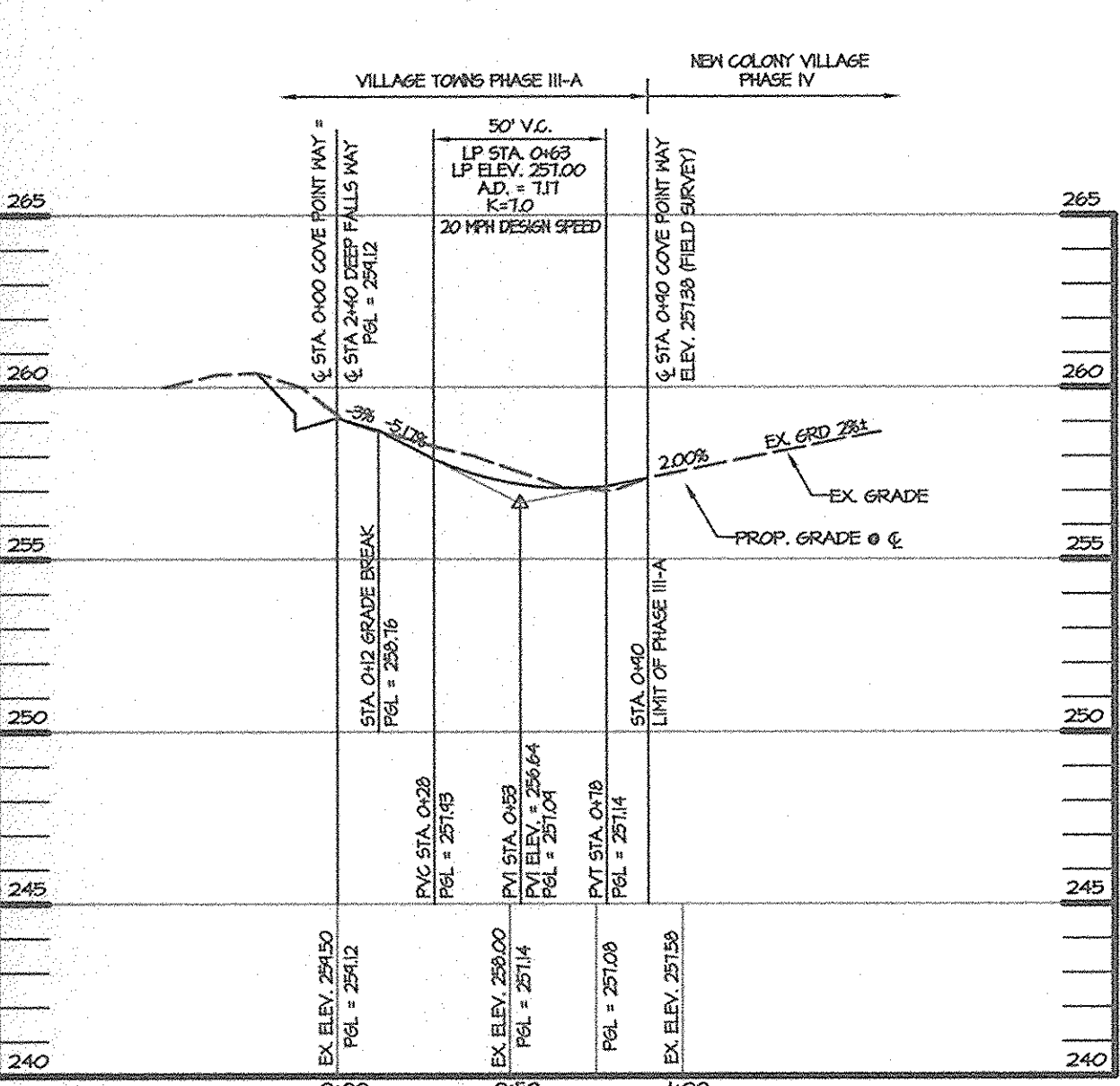
HOLLY SPRINGS LANE TYPICAL SECTION
 FOR PAVING SECTION SEE DETAIL SHEET N.T.S.



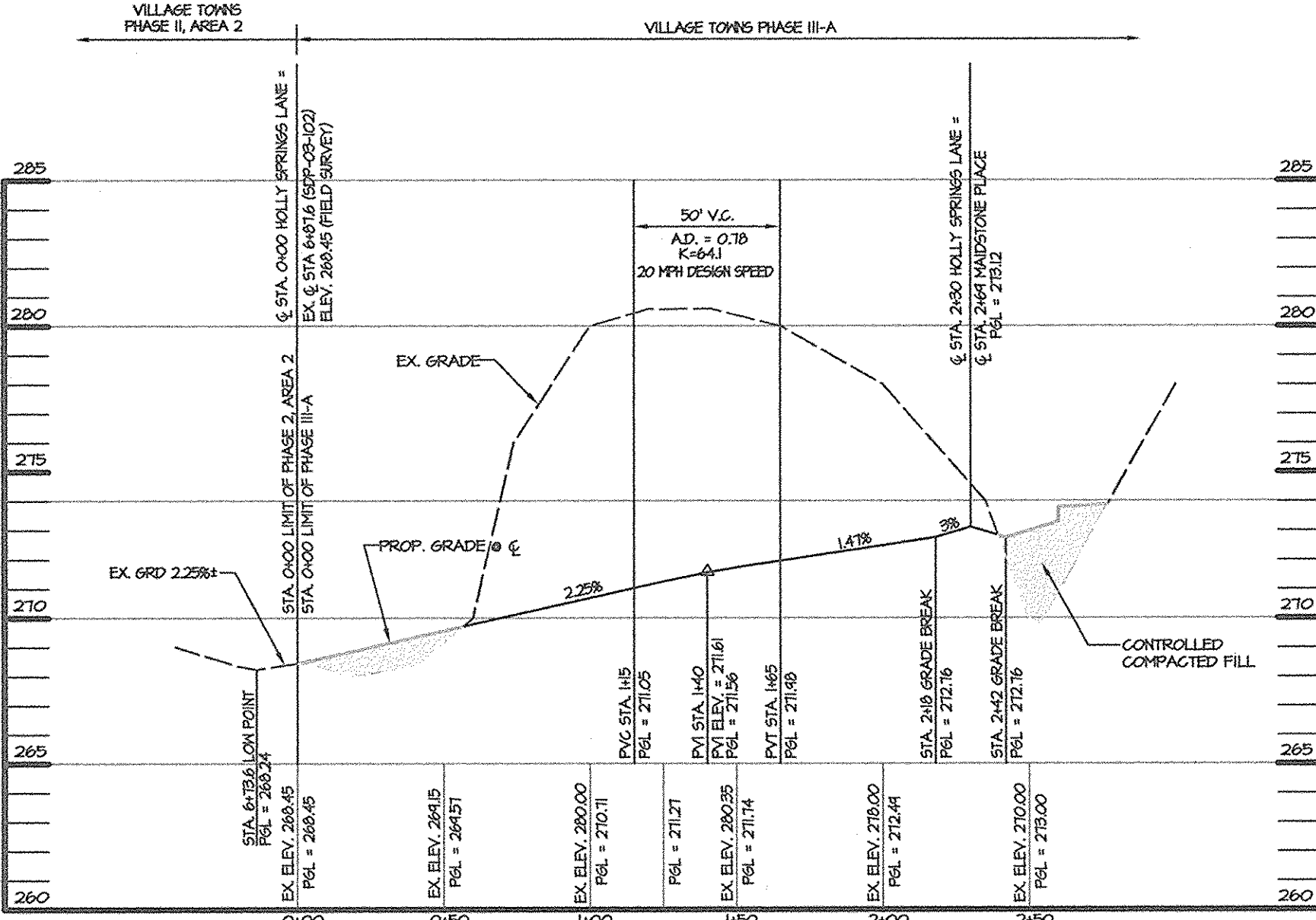
OAK GROVE WAY TYPICAL SECTION
 FOR PAVING SECTION SEE DETAIL SHEET N.T.S.



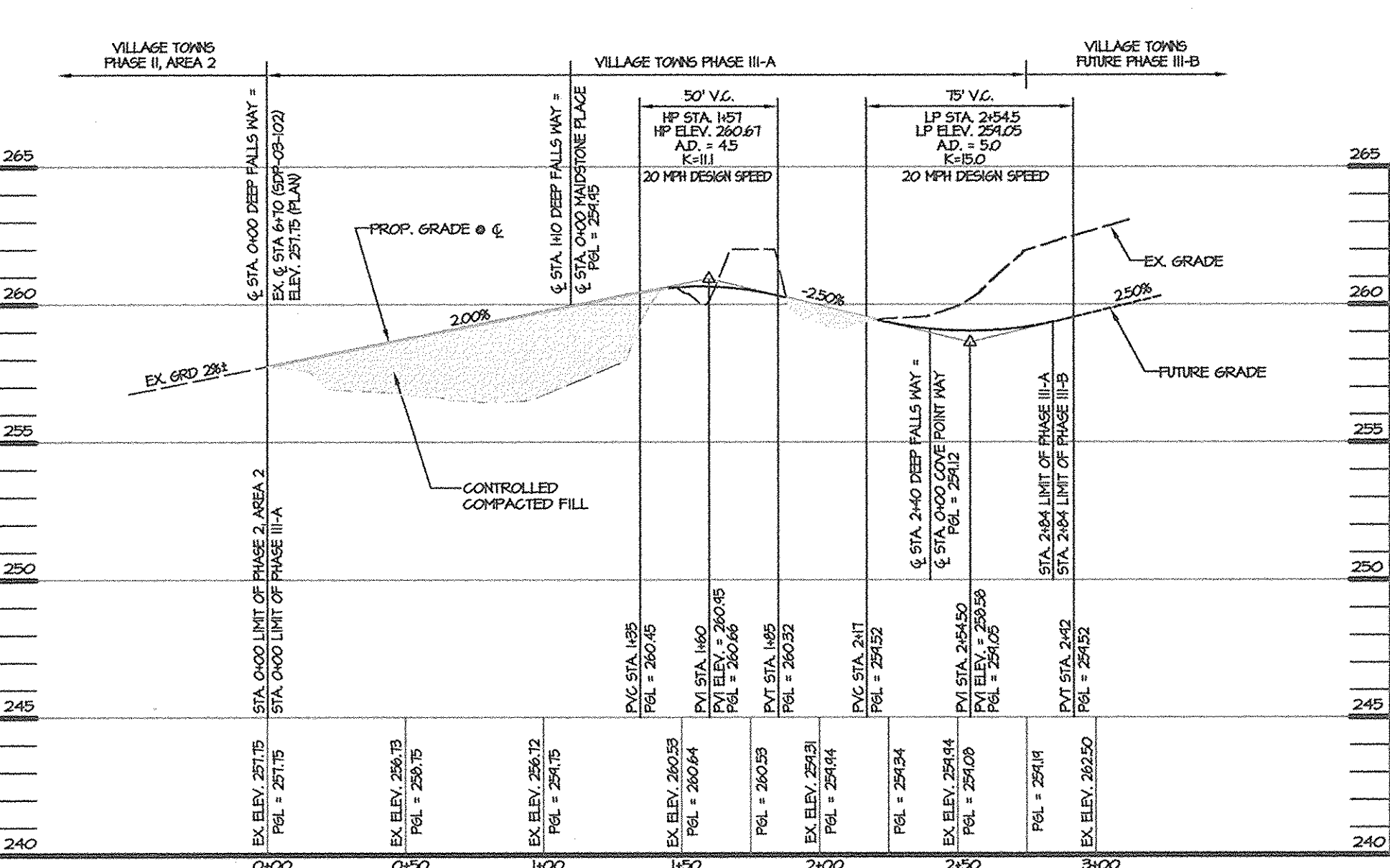
DEEP FALLS WAY TYPICAL SECTION
 FOR PAVING SECTION SEE DETAIL SHEET N.T.S.



ROAD PROFILE - COVE POINT WAY
 HOR. 1" = 50'
 VERT. 1" = 5'



ROAD PROFILE - HOLLY SPRINGS LANE
 HOR. 1" = 50'
 VERT. 1" = 5'



ROAD PROFILE - DEEP FALLS WAY
 HOR. 1" = 50'
 VERT. 1" = 5'

● COORDINATES TO CENTER OF STRUCTURE AT FLOWLINE FOR DOUBLE GRATE WR, TYPE S, COG, COS & CENTER OF STRUCTURE FOR SINGLE WR INLETS & MANHOLES.
 * TOP OF GRATE ELEVATION AT CENTER OF STRUCTURE AT FLOWLINE FOR DOUBLE GRATE WR AND TYPE S INLETS. CURB OPENING INLETS (COG, COS) ARE TOP OF SLAB AT CENTER OF STRUCTURE. MANHOLE ELEVATIONS ARE AT CENTER OF RIM.

STR NO.	TOP ELEV.	INV. IN	INV. IN	INV. OUT	TYPE	REMARKS	NORTHING	EASTING
I-17	256.84	---	---	254.24	PRECAST WR INLET, HOWARD COUNTY STANDARD DETAIL SD-4.35		550,997.72	1,373,648.45
I-15	257.31	254.12	---	253.22	TYPE 'A-5' INLET, HOWARD COUNTY STANDARD DETAIL SD-4.40		551,020.13	1,373,657.05
I-13	258.69	252.51	---	252.01	DOUBLE TYPE S INLET, HOWARD COUNTY STANDARD DETAIL SD-4.23		551,047.77	1,373,589.69
M-11	259.00	251.87	251.87	251.77	STANDARD PRECAST MANHOLE, HOWARD COUNTY STANDARD DETAIL G5.12		551,052.15	1,373,578.30
I-9	259.75	251.05	---	250.95	PRECAST SINGLE WR INLET, HOWARD COUNTY STANDARD DETAIL SD-4.37		550,982.97	1,373,553.87
M-5	259.78	250.21	254.65	250.11	STANDARD PRECAST MANHOLE, HOWARD COUNTY STANDARD DETAIL G5.12		550,914.00	1,373,573.24
I-7	265.70	---	---	257.07	PRECAST SINGLE WR INLET, HOWARD COUNTY STANDARD DETAIL SD-4.37		550,875.16	1,373,458.80
I-1	258.92	249.32	251.22	249.22	TYPE 'A-5' INLET, HOWARD COUNTY STANDARD DETAIL SD-4.40		550,839.53	1,373,598.90
I-3	258.92	---	---	251.78	TYPE 'A-5' INLET, HOWARD COUNTY STANDARD DETAIL SD-4.40		550,846.88	1,373,621.75
M-23	270.50	263.74	---	263.64	STANDARD PRECAST MANHOLE, HOWARD COUNTY STANDARD DETAIL G 5.12		550,593.78	1,373,375.77
M-25	274.00	264.88	---	264.78	STANDARD PRECAST MANHOLE, HOWARD COUNTY STANDARD DETAIL G 5.12		550,573.52	1,373,312.82
I-27	270.00	---	---	265.62	PRECAST SINGLE WR INLET, HOWARD COUNTY STANDARD DETAIL SD-4.37		550,598.99	1,373,286.30
I-29	272.67	266.18	---	266.08	TYPE 'A-5' INLET, HOWARD COUNTY STANDARD DETAIL SD-4.40		550,782.12	1,373,333.08
I-31	273.45	---	---	266.68	PRECAST SINGLE WR INLET, HOWARD COUNTY STANDARD DETAIL SD-4.37		550,830.38	1,373,319.31

SIZE	TYPE	LENGTH
15"	HDPE, ADS N-12	57 FT
15"	RCP, CL. IV	375 FT
18"	RCP, CL. IV	220 FT
24"	RCP, CL. IV	272 FT

CONTROLLED AND 95% COMPACTED FILL PER AASHTO T-180, TO BE CERTIFIED BY AN APPROVED ON-SITE GEOTECHNICAL ENGINEER

- COMPACTED SPECIFICATIONS FOR UTILITIES IN FILL**
- WHERE UTILITY PIPES ARE TO BE PLACED ON COMPACTED FILL, THE FOLLOWING APPLIES:
- PRIOR TO PLACEMENT OF COMPACTED FILL, ANY SOFT OR OTHERWISE UNSUITABLE SOILS ENCOUNTERED AT THE EXISTING RAINE BOTTOM OR SLOPE, SHALL BE UNDERCUT AND REMOVED FROM THE CONSTRUCTION AREA.
 - ACCEPTABLE COMPACTED FILL SHALL BE PLACED IN SIX INCH THICK LOOSE LIFTS AND COMPACTED TO AT LEAST 95 PERCENT OF THE MAXIMUM DENSITY AS DETERMINED BY A.A.S.H.T.O. METHOD T-180.
 - THE COMPACTED FILL SHALL BE BENCHED INTO THE EXISTING VIRGIN SLOPES WITH EACH LIFT PLACED TO A SMOOTH TRANSITION FROM VIRGIN TO FILL SOILS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director, Department of Planning and Zoning

DATE: 4/11/08
 DATE: 4/11/08
 DATE: 4/12/08

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441

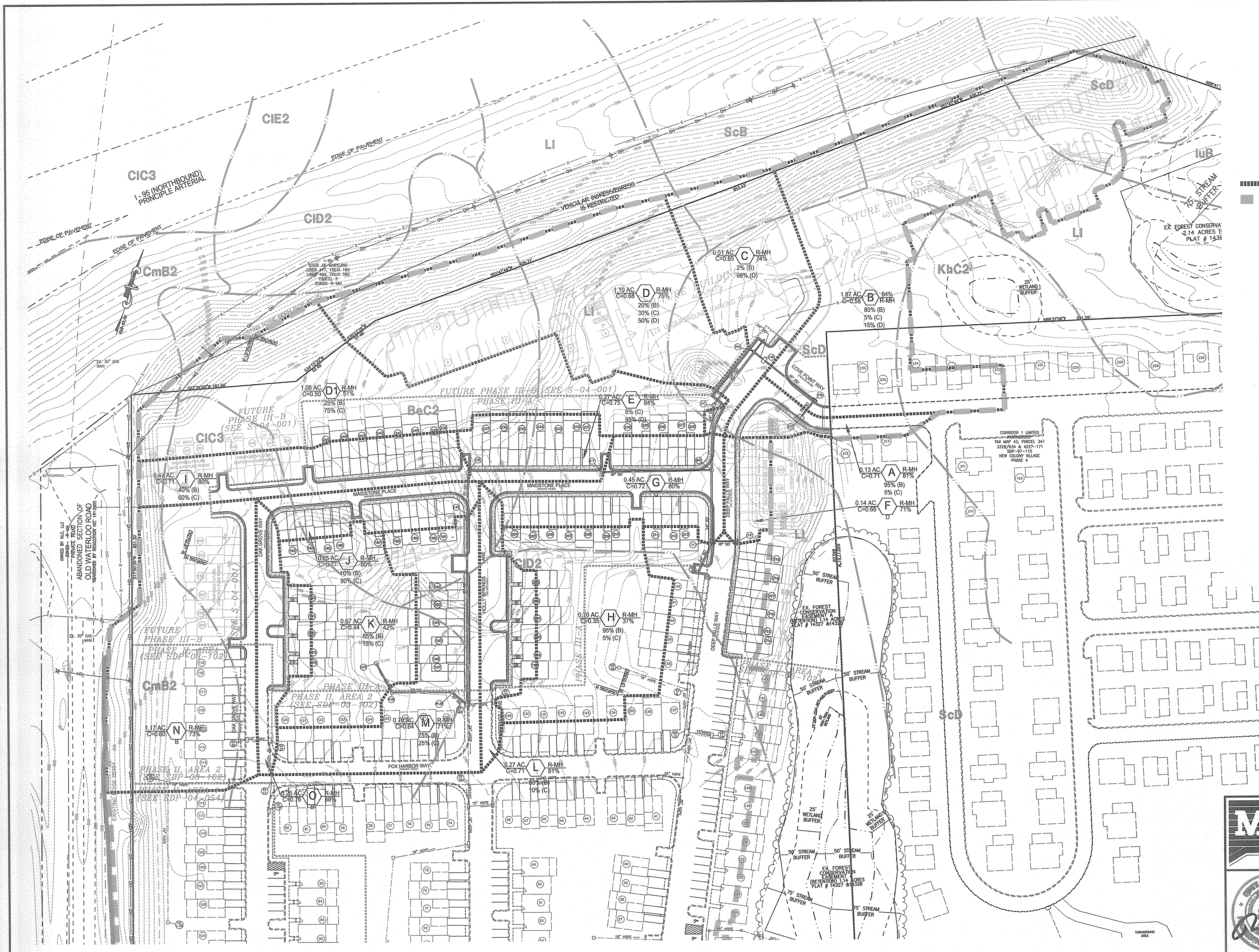
MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS
 14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

ROAD PROFILES

LIBR: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
		15129.02
		SCALE: AS SHOWN
		DATE: 03/28/08
		DRAWN BY: JYW
		DESIGN BY: JMC
		REVIEW BY: TCN
		SHEET: 13 OF 16



LEGEND

- PROP. DRAINAGE DIVIDE
- EX. STORMWATER MANAGEMENT DIVIDE
- SDP-03-102

SOILS LEGEND

SOIL LABEL	SOIL NAME	TR-55 SOIL TYPE
BeG2	BELTSVILLE SILT LOAM, 5-10% SLOPES, MODERATELY ERODED.	C
CIC3	CHILLUM GRAVELLY LOAM, 5-10% SLOPES, SEVERELY ERODED.	B
CID2	CHILLUM GRAVELLY LOAM, 10-15% SLOPES, MODERATELY ERODED.	B
CIE2	CHILLUM GRAVELLY LOAM, 15-30% SLOPES, MODERATELY ERODED.	B
Cmb2	CHILLUM SILT LOAM, 1-5% SLOPES, MODERATELY ERODED.	B
IuB	LUKA LOAM, LOCAL ALLUVIUM, 1-5% SLOPES.	C
KbC2	KEYPORT SILT LOAM, 3-10% SLOPE, MODERATELY ERODED.	C
II	LEONARDTOWN SILT LOAM.	D
ScB	SANDY AND CLAYEY LAND, GENTLY SLOPING.	B
ScD	SANDY AND CLAYEY LAND, MODERATELY SLOPING.	B

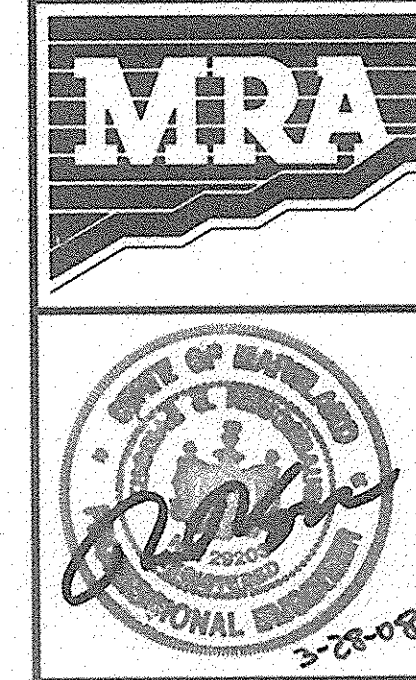
SOILS MAP LEGEND

- SOIL TYPE DMDE
- CID2** SOIL TYPE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director, Department of Planning and Zoning

DATE: 4/11/08
 DATE: 4/11/08
 DATE: 4/11/08

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKBRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

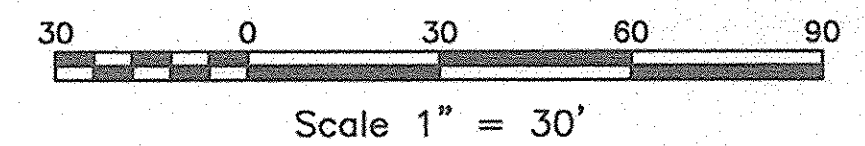
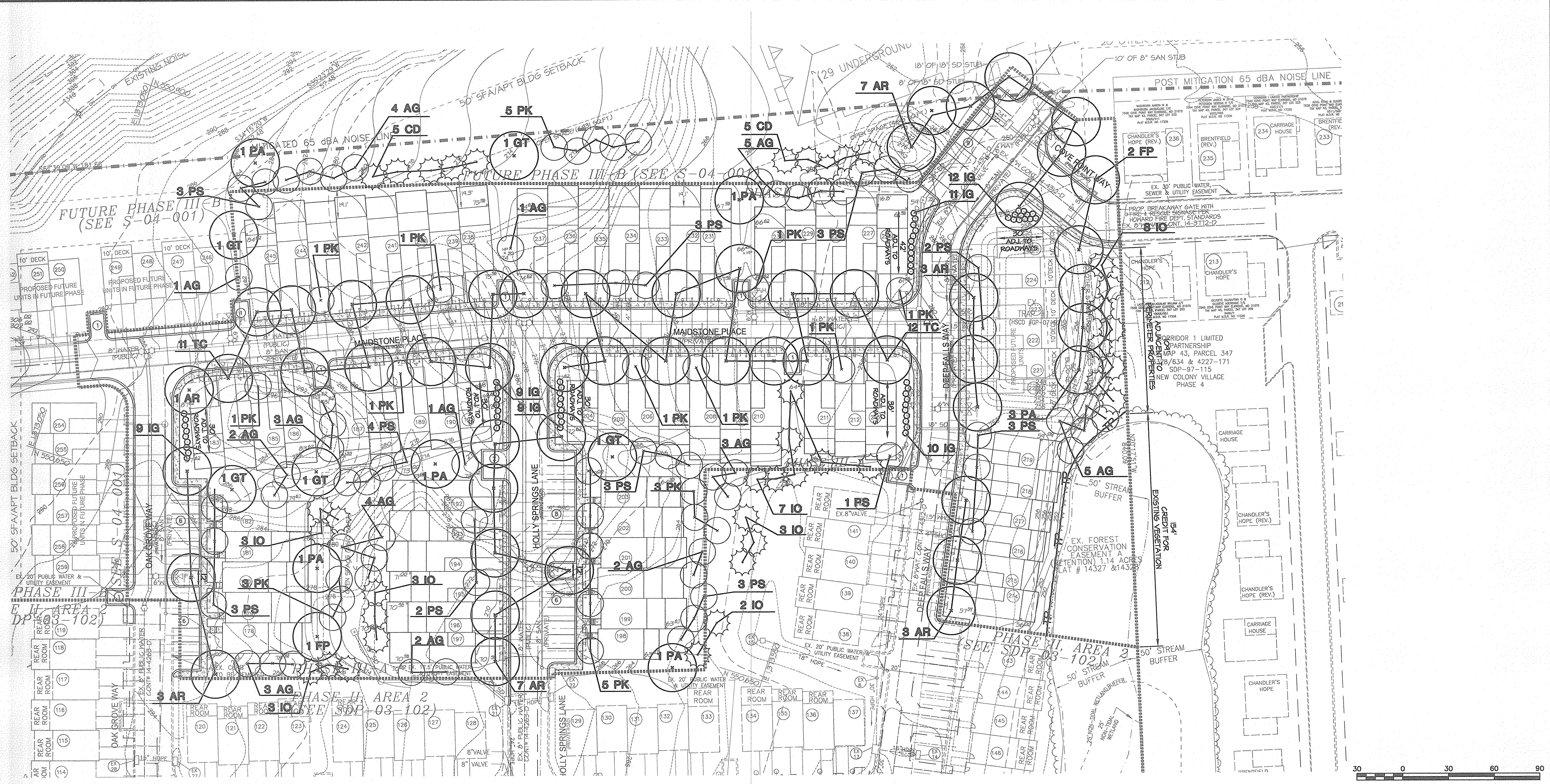
14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

PROPOSED DRAINAGE AREA MAP

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:	15129.02
		SCALE:	1"=50'
		DATE:	03/28/08
		DRAWN BY:	JYW
		DESIGN BY:	JCW
		REVIEW BY:	TCN
		SHEET:	14 OF 16



LEGEND

- | | | | |
|-----|-----------------------------|-----|-----------------------------|
| --- | EX. 10' CONTOUR | --- | PROP. BUILDING |
| --- | EX. 2' CONTOUR | --- | PROP. EASEMENT |
| --- | EX. PROPERTY LINE | --- | PROP. TREELINE |
| --- | EX. ADJACENT PROPERTY LINE | --- | PROP. CURB & GUTTER |
| --- | EX. RIGHT OF WAY DEDICATION | --- | PROP. CONCRETE WALK |
| --- | EX. TREELINE | --- | PROP. CONCRETE |
| --- | EX. PAVEMENT/CONCRETE | --- | PROP. PHASE LINE |
| --- | EX. CURB | --- | PROP. FIRE LANE |
| --- | EX. BUILDING | --- | PROP. TREE PROTECTION FENCE |
| --- | EX. FENCE | | |
| --- | EX. EASEMENT | | |
| --- | EX. STREAM | | |
| --- | EX. STORM DRAIN | | |
| --- | EX. SANITARY | | |
| --- | EX. UG ELECTRIC | | |
| --- | EX. UG TELEPHONE | | |
| --- | EX. WATER LINE | | |

PLANT LEGEND

- SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- SHRUB

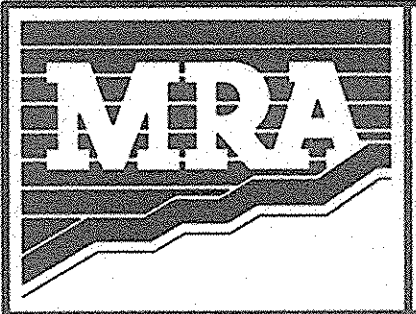
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Mark L. Levy 4/1/02
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Paul S. Cooper 4/1/02
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

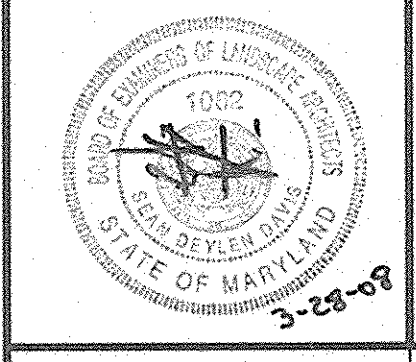
Paul S. Cooper 4/1/02
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING DATE

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELK RIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9792 or (301) 776-1690
 FAX (410) 792-7395



SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

LANDSCAPE PLAN
 LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO:	15129.02
		SCALE:	1"=30'
		DATE:	03/28/08
		DRAWN BY:	TDE
		DESIGN BY:	TDE
		REVIEW BY:	MT
		SHEET:	15 OF 16

LANDSCAPE NOTES

- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND SHALL COMPLY WITH THE 'AMERICAN STANDARD FOR NURSERY STOCK' (ANSI Z60.1), LATEST EDITION, AND ALL ADENDA PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
- TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
- TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE OF DISEASES AND INSECT INFESTATIONS.
- THE LANDSCAPE CONTRACTOR SHALL WARRANT ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) FULL YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS, UNSATISFACTORY GROWTH, DISEASE OR DEATH. UNSATISFACTORY, UNHEALTHY, DYING OR DEAD PLANT MATERIAL (IN THE OPINION OF THE LANDSCAPE ARCHITECT) SHALL BE REPLACED WITH THE SAME SIZE AND SPECIES.
- IT SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ADEQUATELY AND PROPERLY MAINTAIN THE LANDSCAPED AREAS, WHICH SHALL INCLUDE WATERING, CLEANING OF WEEDS AND DEBRIS, PRUNING AND TRIMMING, REPLACEMENT OF DEAD OR DISEASED PLANTINGS, AND FERTILIZING TO MAINTAIN HEALTHY GROWTH FOR THE WARRANTY PERIOD.
- THE LANDSCAPE CONTRACTOR SHALL STAKEOUT PLANT LOCATIONS IN THE FIELD. THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE SHALL OBSERVE THESE LOCATIONS PRIOR TO COMMENCING PLANT PIT EXCAVATION. THE LANDSCAPE CONTRACTOR SHALL MAKE ANY ADJUSTMENTS AS REQUESTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT SAUCERS AND PLANT BEDS SHALL BE MULCHED WITH DOUBLE SHREDDED HARDWOOD MULCH, A MINIMUM OF 3" IN DEPTH.
- NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE PERMITTED WITHOUT WRITTEN AUTHORIZATION OF THE LANDSCAPE ARCHITECT OR HIS REPRESENTATIVE. THIS SHALL APPLY TO SUBSTITUTIONS OF SPECIES, LOCATION, SIZE, AND QUANTITY.
- THE LANDSCAPE CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD BARK MULCH TO A DEPTH OF 3" UNDER AND SURROUNDING ALL NEW LANDSCAPED MASS PLANTING AREAS TO PROVIDE A UNIFORM AND CONTINUOUS SURFACE AND APPEARANCE BETWEEN AND AROUND ALL PLANT MATERIAL, BUILDING LINES AND PAVED AREAS. IN GENERAL, THIS PERTAINS TO ALL PLANT MATERIAL THAT IS PLANTED CLOSER THAN SIX (6) FEET CENTER TO CENTER. IT IS THE INTENT OF THIS CONTRACT TO INSTALL LANDSCAPE MAT UNDER THE ENTIRE AREA OF SHREDDED BARK MULCH.
- TREES SHALL BE LOCATED A MINIMUM OF 3' FROM SEWER/WATER CONNECTIONS. CONTRACTOR SHALL BE LIABLE FOR DAMAGE TO ANY AND ALL PUBLIC AND PRIVATE UTILITIES, WATER AND SEWER LINES.
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS AND ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
- CONTRACTOR SHALL SLIGHTLY ADJUST PLANT LOCATIONS IN THE FIELD AS NECESSARY TO BE CLEAR OF DRAINAGE SWALES AND UTILITIES. FINISHED PLANTING BEDS SHALL BE GRADED SO AS NOT TO IMPEDE DRAINAGE AWAY FROM BUILDINGS.
- TREE STAKING AND GUYING SHALL BE DONE PER DETAILS. CONTRACTOR SHALL ENSURE THAT TREES REMAIN PLUMB AND UPRIGHT FOR THE DURATION OF THE GUARANTEE PERIOD.
- ALL TREE PITS, SHRUB BEDS, AND PREPARED PLANTING BEDS ARE TO BE COMPLETELY EXCAVATED IN ACCORDANCE WITH THE PLANTING DETAILS.
- CROWN OF ROOT BALL SHALL BE HIGHER (AFTER SETTING) THAN ADJACENT SOIL.
- SHADE TREES: HEIGHT SHALL BE MEASURED FROM THE CROWN OF THE ROOT BALL TO THE TOP OF MATURE GROWTH. SPREAD SHALL BE MEASURED TO THE END OF BRANCHING EQUALLY AROUND THE CROWN FROM THE CENTER OF THE TRUNK. MEASUREMENTS ARE NOT TO INCLUDE ANY TERMINAL GROWTH. SINGLE TRUNK TREES SHALL BE FREE OF 'V' CROTCHES THAT COULD BE POINTS OF WEAK LIMB STRUCTURE OR DISEASE INFESTATION.
- CONTRACTOR MUST CONTACT THE OWNER AT LEAST TEN WORKING DAYS IN ADVANCE TO SCHEDULE ACCEPTANCE INSPECTION(S). CONTRACTOR MUST REPLACE ALL DEAD OR UNACCEPTABLE PLANTS DURING THE FOLLOWING RECOMMENDED PLANTING SEASON.
- TREES SHALL BE PLANTED DURING ACCEPTABLE PLANTING SEASONS: BETWEEN MARCH 15 AND MAY 15 AND BETWEEN AUGUST 15 AND NOVEMBER 15 OR AS APPROVED BY OWNERS REPRESENTATIVE.
- ALL TREE STAKING AND GUYING SHALL BE REMOVED BY THE CONTRACTOR AFTER THE TREES ARE ESTABLISHED.
- SEEDED AREAS THAT WASH OUT MUST BE FILLED AND GRADED AS NECESSARY AND THEN RESEDED. SOME TYPE OF ANCHORING METHOD SHOULD THEN BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATER COURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, AND ON SLOPES.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$40,200.00 (63 SHADE TREES @ \$300.00 EA., 130 FLOWERING/ EVERGREEN TREES @ \$150.00 EA., 60 SHRUBS @ \$30.00 EA.).
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF THE HOWARD COUNTY LANDSCAPE MANUAL.

CANOPY TREES

KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	SPACING
AR	24	ACER RUBRUM 'RED SUNSET' RED SUNSET RED MAPLE	2 1/2" - 3" CAL	B & B	AS SHOWN
FP	3	FRAXINUS PENNSYLVANICA 'PATMORE' PATMORE GREEN ASH	2 1/2" - 3" CAL	B & B	AS SHOWN
GT	5	GLEDITSIA TRIACANTHOS INERMIS IMPERIAL THORNLESS HONEY LOCUST	2 1/2" - 3" CAL	B & B	AS SHOWN
PA	8	PLANTANUS X ACERFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	2 1/2" - 3" CAL	B & B	AS SHOWN
TC	23	TILIA CORDATA 'CHANCELLOR' CHANCELLOR LITTLELEAF LINDEN	2 1/2" - 3" CAL	B & B	AS SHOWN

FLOWERING TREES

KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	SPACING
AG	36	ACER GRiseum PAPERBARK MAPLE	1 1/2" - 2" CAL	B & B	AS SHOWN
PK	25	PRUNUS SERRULATA 'KWANZAN' KWANZAN CHERRY	1 1/2" - 2" CAL	B & B	AS SHOWN
PS	30	PRUNUS SUBHIRTELLA HIGAN CHERRY	1 1/2" - 2" CAL	B & B	AS SHOWN

EVERGREEN TREES

KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	SPACING
CD	10	CEDRUS DEODORA DEODAR CEDAR	6'-8" HGT.	B & B	10'-15' O/C
IO	24	ILEX OPACA AMERICAN HOLLY	5'-6" HGT.	B & B	10'-15' O/C

SHRUBS

KEY	QUANTITY	BOTANICAL NAME/ COMMON NAME	SIZE	ROOT	SPACING
IG	60	ILEX GLABRA INKBERRY	24"-36" HGT.	B & B	3'-5' O/C

SCHEDULE 'A' PERIMETER LANDSCAPE EDGE

CATEGORY	ENDS OF UNITS ADJACENT TO ROADWAYS	ADJACENT TO PERIMETER PROPERTIES
LANDSCAPE TYPE	TYPE C BUFFER	TYPE C BUFFER
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	200'	263'
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	YES, 154'
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO	NO
NUMBER OF PLANTS REQUIRED (TYPE C BUFFER) SHADE TREES (1:40) EVERGREEN TREES (1:20) SHRUBS	5 SHADE TREES 10 EVERGREEN TREES	3 SHADE TREES 6 EVERGREEN TREES
NUMBER OF PLANTS PROVIDED SHADE TREES EVERGREEN TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION) (DESCRIBE PLANT SUBSTITUTION CREDITS BELOW IF NEEDED)	7 SHADE TREES 60 SHRUBS (EQUIVALENT TO 6 EVERGREEN TREES)	3 SHADE TREES 6 EVERGREEN TREES

SCHEDULE 'B' PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	31 SPACES
NUMBER OF TREES REQUIRED	1/10 = 4 SHADE TREES
NUMBER OF TREES PROVIDED SHADE TREES	5 SHADE TREES

NOTE:
5 PARKING ISLANDS REQUIRED
6 PARKING ISLANDS PROPOSED

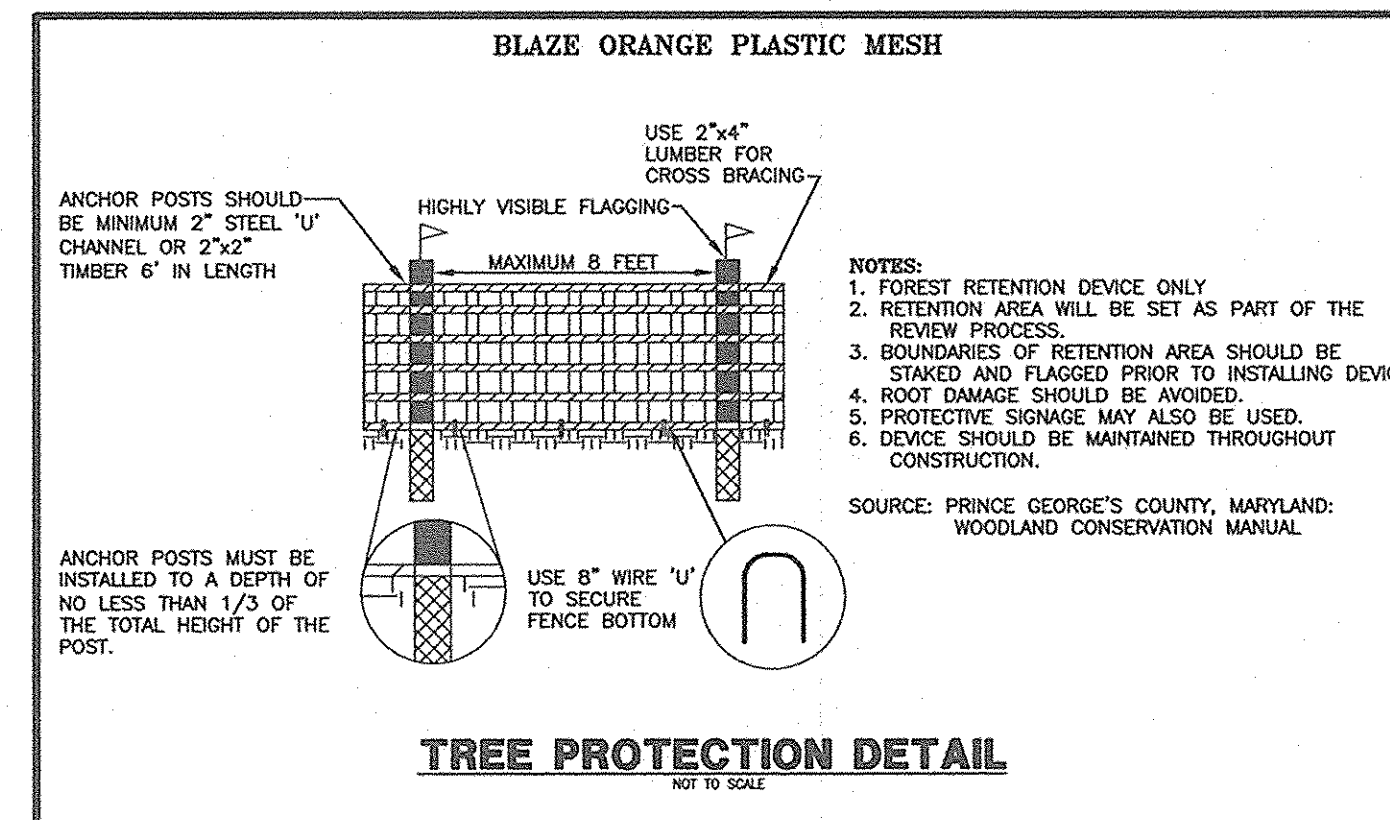
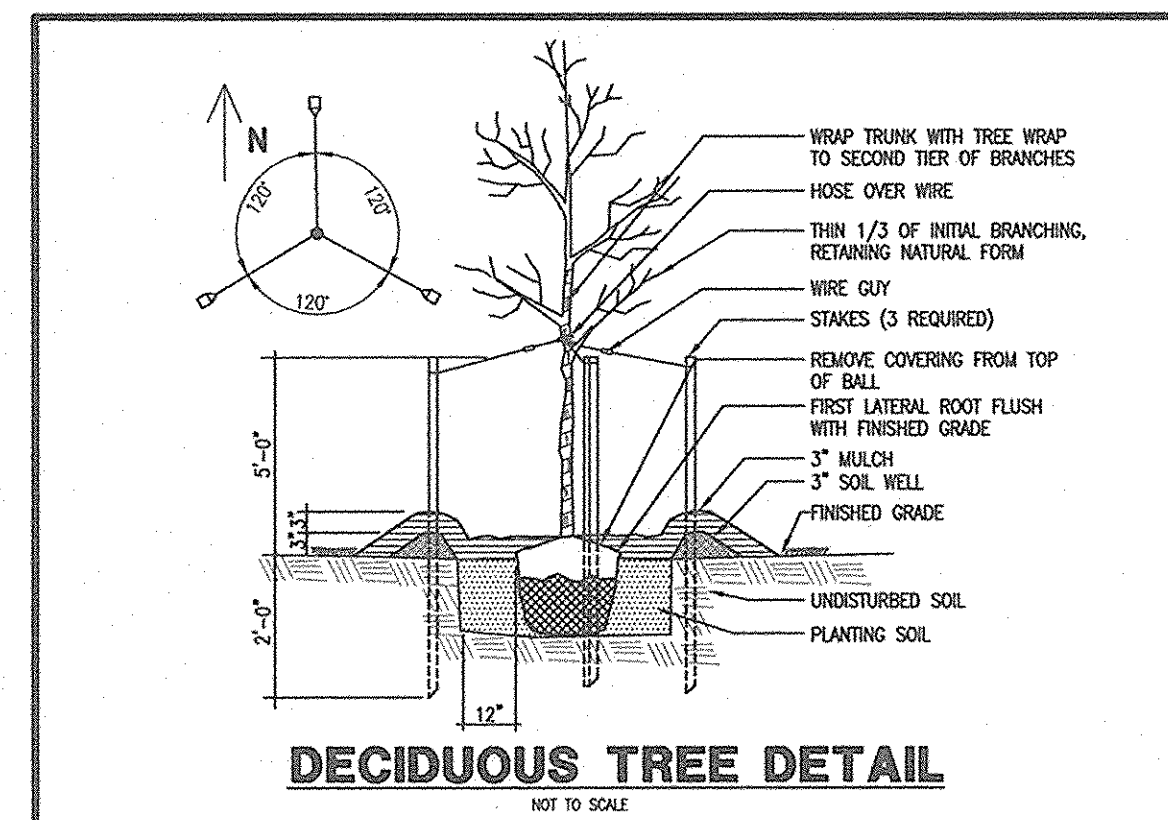
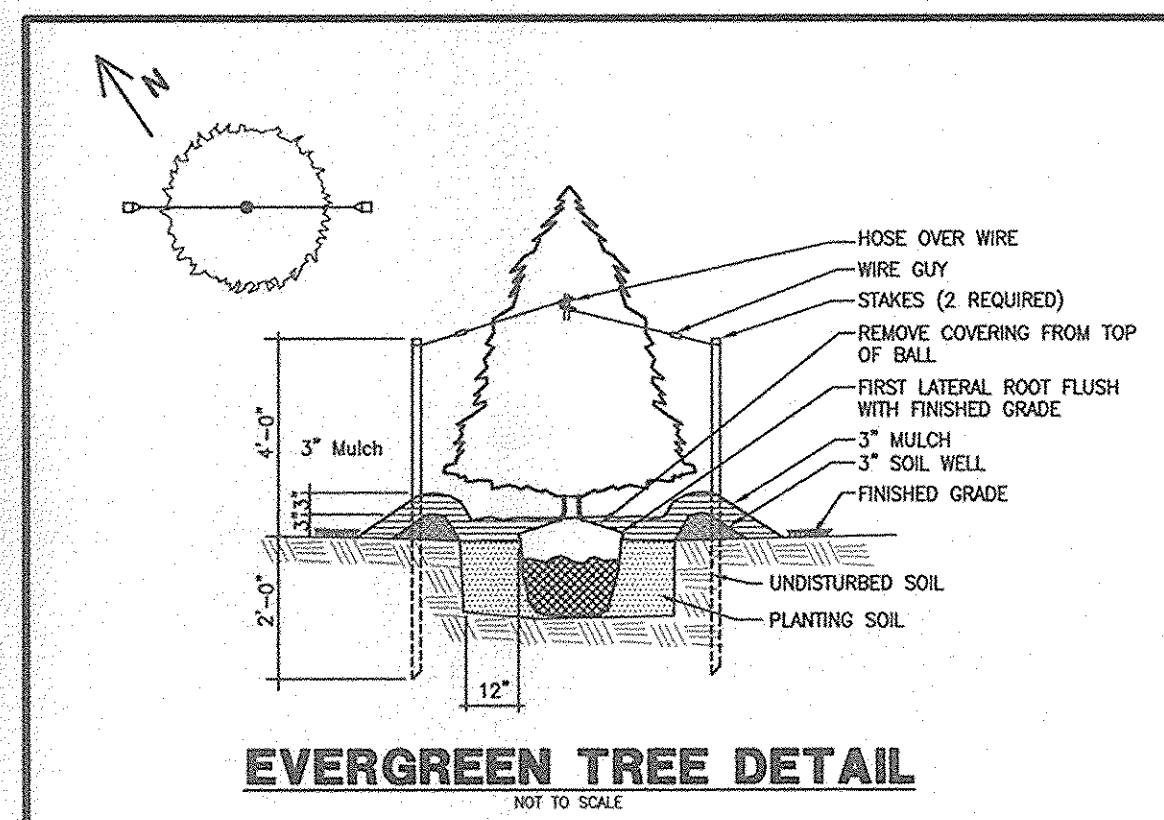
SCHEDULE 'C' RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING

NUMBER OF DWELLING UNITS	68 UNITS (INCLUDES FUTURE UNITS 220-225)
NUMBER OF TREES REQUIRED (1:DU SFA)	68 SHADE TREES
NUMBER OF TREES PROVIDED SHADE TREES OTHER TREES (2:1 SUBSTITUTION)	6 SHADE TREES 91 ORNAMENTAL TREES 33 EVERGREEN TREES

NOTE: 124 ORNAMENTAL/ EVERGREEN TREES IS
EQUIVALENT TO 62 SHADE TREES


STREET TREE PLANTINGS

LINEAR FEET OF R/W:	1666'
NUMBER OF TREES REQUIRED	1666/ 40 = 42 SHADE TREES
NUMBER OF TREES PROVIDED	42 SHADE TREES



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] DATE 4/11/08
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] DATE 4/11/08
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] DATE 4/11/08
 DIRECTOR, DEPARTMENT OF PLANNING AND ZONING

OWNER/DEVELOPER/APPLICANT
 NAME: MR. MARK L. LEVY
 VILLA ASSOCIATES LLC
 C/O H & H ROCK COMPANIES
 6800 DEER PATH ROAD, SUITE 100
 ELKCRIDGE, MARYLAND 21075
 PHONE: 410.579.2442
 FAX: 410.579.1441



MORRIS & RITCHIE ASSOCIATES, INC.
 ENGINEERS, PLANNERS, SURVEYORS AND LANDSCAPE ARCHITECTS

14280 PARK CENTER DRIVE, SUITE A
 LAUREL, MARYLAND 20707
 (410) 792-9782 or (301) 776-1890
 FAX (410) 792-7395

SITE DEVELOPMENT PLAN
 VILLAGE TOWNS
 PHASE III-A, UNITS 178 - 219 AND 226 - 245

LANDSCAPE NOTES & DETAILS

LIBER: 6254 ~ FOLIO: 674 ~ PARCEL: 3
 ZONED: R-MH ~ TAX MAP: 43 ~ GRID: 3
 1ST ELECTION DISTRICT ~ HOWARD COUNTY, MARYLAND

DATE	REVISIONS	JOB NO.
		15129.02
		SCALE: 1"=30'
		DATE: 03/28/08
		DRAWN BY: TDE
		DESIGN BY: TDE
		REVIEW BY: MT
		SHEET: 16 OF 16