

GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARD AND SPECIFICATIONS IF APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF INSPECTION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
3. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
4. THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4900 AT LEAST FIVE WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
5. AREA OF PLAN SUBMISSION = 2.52 acres. DISTURBED AREA: 1.25 acres
6. EXISTING MASS GRADED TOPOGRAPHY WAS DERIVED FROM THE APPROVED ROAD PLANS UNDER F-06-019. ALL TOPOGRAPHY IS REPRESENTED BY 2-FOOT CONTOUR INTERVALS.
7. COORDINATES AND BEARINGS ARE BASED UPON THE MD STATE PLANE SYSTEM (NAD '83).
8. EXISTING WATER AND SEWER SHOWN WAS DERIVED FROM THE APPROVED PUBLIC WATER & SEWER PLANS UNDER CONTRACTS 24-4335-D.
9. EXISTING STORM DRAIN SHOWN IS PER F-06-019 AND PREVIOUS PLANS CURRENTLY UNDER FILE AT HOWARD COUNTY.
10. STORMWATER MANAGEMENT QUALITY & QUANTITY CONTROL IS PROVIDED BY EXISTING POND A, DESIGNED UNDER F-07-043. THE RECHARGE (Rev) REQUIREMENT FOR PARCEL A IS ALSO PROVIDED BY SWMF A.
11. CONTRACTOR SHALL UTILIZE PVC PIPE FOR ALL SEWER HOUSE CONNECTIONS. CONTRACTOR SHALL UTILIZE D.I.P. (CL. 51) FOR 4" AND 6" WATER HOUSE CONNECTIONS AND D.I.P. (CL. 50) FOR 8" WHC.
12. CONTRACTOR TO FIELD LOCATE ALL EXISTING UTILITY CONNECTIONS. SHOULD SUBSTANTIAL DISCREPANCIES ARISE, THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER BEFORE MAKING ADJUSTMENTS.
13. THIS PARCEL DOES NOT APPEAR ON THE COUNTY'S CEMETERY INVENTORY AS HAVING CEMETERIES OR BURIAL GROUNDS. ALSO, THERE IS NO PHYSICAL EVIDENCE OF EITHER CEMETERIES OR BURIAL GROUNDS BEING PRESENT ON THE SITE.
14. COORDINATES AND BEARINGS ARE BASED UPON THE '83 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS Nos. 2243002, 2243003.
15. ALL EXTERIOR LIGHTING SHALL CONFORM TO SECTION 134 OF THE ZONING REGULATIONS.
16. FOREST CONSERVATION FOR THIS SITE WILL BE PROVIDED UNDER F-06-019 AND HAS BEEN REVISED UNDER F-08-117.

17. (*) ON JULY 14, 2004, WP 04-105, A WAIVER OF SECTION 16.120.C.(4) WAS GRANTED WHICH REQUIRES SINGLE FAMILY ATTACHED LOTS TO HAVE AT LEAST 15' OF FRONTAGE ONTO A PUBLIC ROAD RIGHT-OF-WAY; SECTION 16.119.E.(5), WHICH REQUIRES TRUNCATION OF PUBLIC ROAD RIGHT-OF-WAY BOUNDARIES WHERE PUBLIC ROADS INTERSECT (AT CORNER LOTS); AND SECTION 16.116.A.2.(f) WHICH PROHIBITS DISTURBANCE TO STREAMS AND STREAM BUFFERS, TO ALLOW CONSTRUCTION OF TWO PEDESTRIAN BRIDGES TO CROSS THE STREAMS. SUBJECT TO THE FOLLOWING 2 CONDITIONS IN THE APPROVAL LETTER:
 1. THE DISTURBANCE TO THE STREAM AND STREAM BUFFER RELATED TO THE PEDESTRIAN BRIDGES SHALL BE MINIMIZED. THE PRELIMINARY PLAN SHALL SHOW THE LIMIT OF DISTURBANCE AND PROPOSED GRADING ASSOCIATED WITH THE BRIDGES, AND SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE SUBDIVISION REVIEW COMMITTEE.
 2. IF IT IS DETERMINED BY THE DED THAT SIGHT DISTANCE IS INADEQUATE AT THE INTERSECTIONS FOR WHICH TRUNCATION AS WAVED, THEN THE APPROPRIATE EASEMENTS MUST BE ADDED TO THE PLAN/PLAT.

18. (**) ON MARCH 23, 2006, WP-06-45, APPROVED THE WAIVERS FOR THE FOLLOWING: SECTION 16.116(a)(1) REQUEST TO BE PERMITTED TO GRADE WITHIN 25 FEET OF A WETLAND; SECTION 16.116(a)(2)(ii), REQUEST TO BE PERMITTED TO GRADE WITHIN 75 FEET OF A PERENNIAL STREAM; SECTION 16.119(f)(1), REQUEST TO BE PERMITTED TO OBTAIN VEHICULAR ACCESS FROM MINOR ARTERIAL ROAD INSTEAD OF A LESSER CLASSIFICATION ROAD FOR A PROPOSED SUBDIVISION THAT FRONTS ON MINOR AND PRINCIPLE ARTERIAL ROADS AND LOCAL ROAD; SECTION 16.120(c)(1), REQUEST TO BE PERMITTED TO CREATE COMMERCIAL AND APARTMENT/MULTIFAMILY PARCELS WITHOUT A MINIMUM OF 60 FEET OF FRONTAGE ON AN APPROVED PUBLIC ROAD, AND SECTION 16.114.(f) REQUEST TO BE PERMITTED TO NOT SUBMIT AND OBTAIN APPROVAL OF THE REQUIRED PRELIMINARY PLAN FOR A MAJOR SUBDIVISION BEFORE SUBMITTING THE REQUIRED FINAL PLAN/PLAT. SUBJECT TO THE FOLLOWING 4 CONDITIONS IN THE APPROVAL LETTER:
 1. COMPLIANCE WITH THE DED COMMENTS OF 2/14/06.
 2. THE STREAM AND WETLAND BUFFERS SHALL BE AFFORESTED IN ACCORDANCE WITH THE FOREST CONSERVATION PLAN FOR FINAL PLAN/PLAT, F-06-19.
 3. THE APPLICANT MUST OBTAIN ALL REQUIRED STATE/COE PERMITS.
 4. THE STREAM AND WETLAND BUFFER DISTURBANCES SHALL NOT EXCEED THE ONE SHOWN ON THE WP-06-45 EXHIBIT OF 2/2/06.

19. OWNERS: PARCEL A - SHIPLEY'S GRANT RETAIL, LLC, THE BAVAR PROPERTY GROUP. ALL OPEN SPACE LOTS (C-63, C-64, C-65), THE SHIPLEY'S GRANT COMMUNITY ASSOCIATION, INC.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Janet Wright 2/6/08
Director

Cindy Hunt 2/18/08
Chief, Division of Land Development and Research

William 1/24/08
Chief, Development Engineering Division

60 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
LCC030001

EDSA
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

Rev.	Date:	Description:	By:	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL- 301-623-1525
2				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1966 GREENSPRING DRIVE SUITE 508 LUTHERVILLE, MARYLAND 21093 ATTN: ROBERT BAVAR -410-560-0300

Project Name: **SHIPLEY'S GRANT**
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233 & 19235

Date: 01.15.08
Scale:
Drawn By: AR
Designed By: AR, HA
Approved By: HA
Project No: 805371
Tax Map-Grid: 37-1&2
Zoning: B-1, RA-15

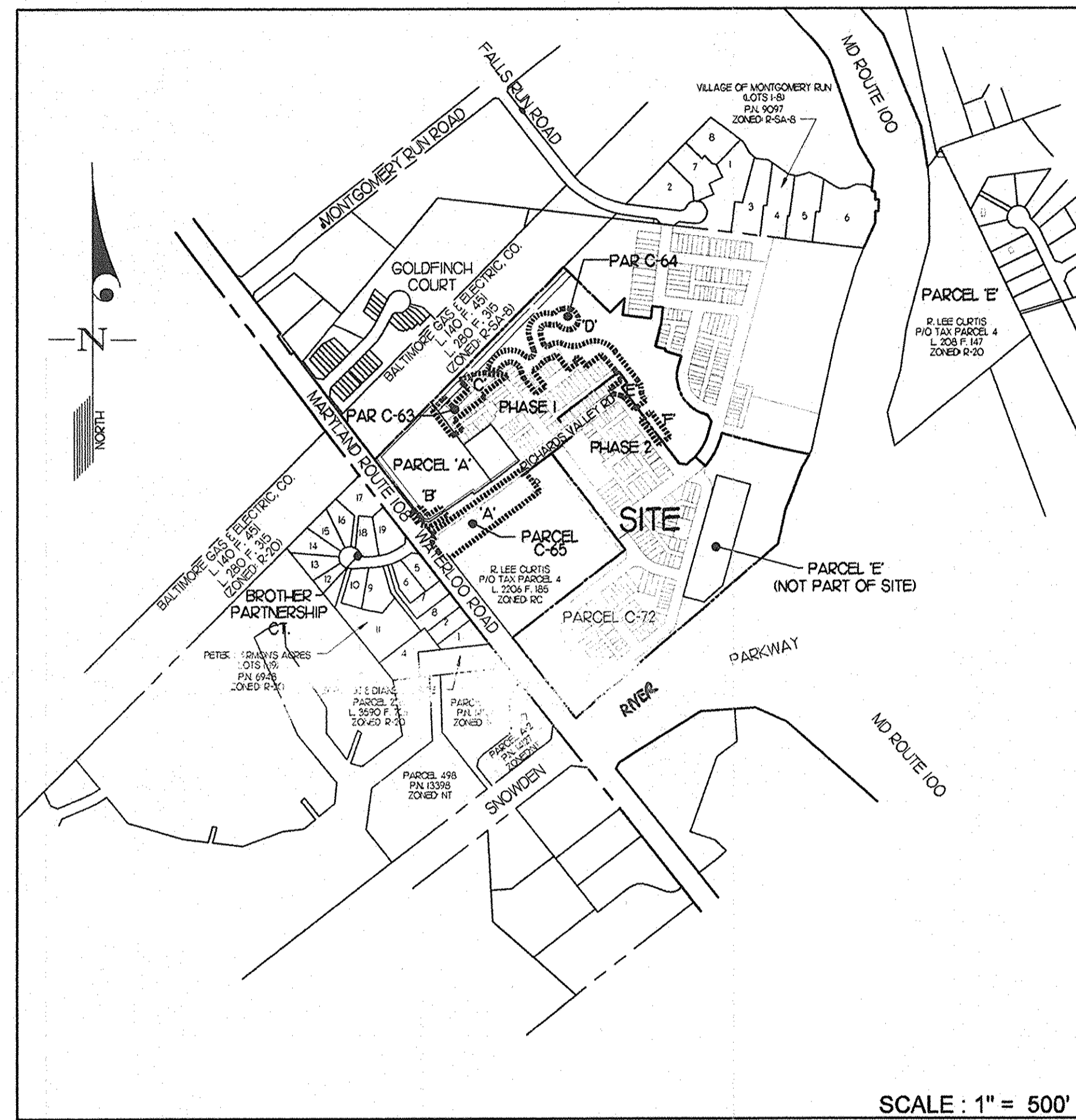
ELECTION DISTRICT NO.1
HOWARD COUNTY, MARYLAND

SITE DEVELOPMENT PLAN

SHIPLEY'S GRANT PHASE 1&2

AMENITY PACKAGE

AREA OVERVIEW



GENERAL NOTES CONTINUED

20. THIS PLAN DOES NOT IMPACT THE WATERS OF THE US, AND THEREFORE, DOES NOT REQUIRE A 404/401 PERMIT FROM THE US ARMY CORPS OF ENGINEERS.
21. COMPLIANCE WITH SECTION 128.G.4.B WAS DEMONSTRATED UNDER SKETCH PLAN S 04-009 AND PRELIMINARY PLAN P 06-004.
22. THE APPROVED SKETCH AND PRELIMINARY PLANS FOR THIS SUBDIVISION/PROJECT INDICATED THE 50' AND 75' STREAM BUFFERS REFERENCED FROM THE CENTERLINES OF THE STREAMS, WHICH DID NOT CAUSE THE STREAM BUFFERS TO BE LOCATED ON ANY RESIDENTIAL LOTS. A DPZ AND HSCD POLICY DECISION WAS MADE AT THE FINAL PLAT AND SITE DEVELOPMENT PLAN STAGES OF THIS SUBDIVISION/ PROJECT TO INDICATE 50' AND 75' STREAM BUFFERS REFERENCED FROM THE STREAM BANKS, TO ALLOW THE STREAM BUFFERS ON RESIDENTIAL LOTS LESS THAN 10 ACRES IN SIZE AND NOT REQUIRE THE 35' STRUCTURE SETBACK REFERENCED FROM A STREAM BUFFER LOCATED ON A RESIDENTIAL LOT AS NORMALLY REQUIRED BY SUBDIVISION SECTION 16.120(b)(4)(iii). THIS "GRAND FATHERING" POLICY DECISION WAS BASED ON THE EARLIER APPROVALS OF THE RELATED SKETCH AND PRELIMINARY PLANS FOR THIS SUBDIVISION/PROJECT.
23. THE OPEN SPACE LOTS C-63, C-64, AND C-65 SHOWN HEREON IS HEREBY DEDICATED TO HOMEOWNER'S ASSOCIATION FOR THE RESIDENTS OF THIS SUBDIVISION AND THE ARTICLES OF INCORPORATION FOR THE SHIPLEY'S GRANT COMMUNITY ASSOCIATION, INC. AND WAS FILED WITH THE MARYLAND STATE DEPARTMENT OF ASSESSMENTS AND TAXATION ON MAY 22, 2007, RECEIPT # D11935723

SHEET INDEX

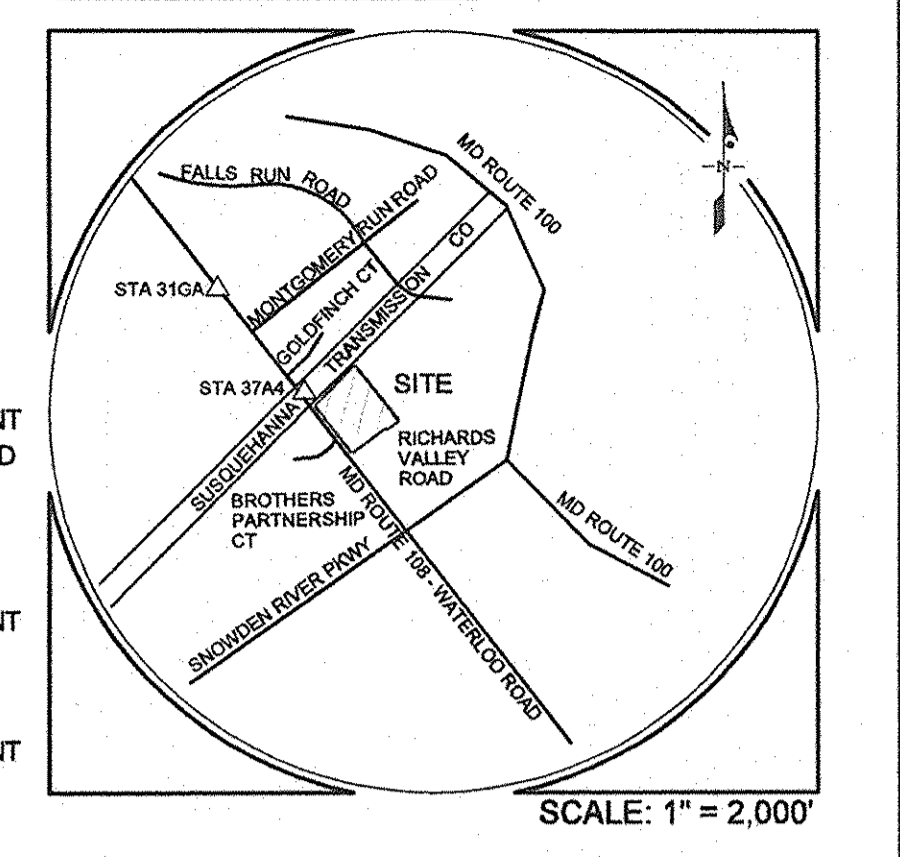
- 1 - L0.00 - COVERSHEET
- 2 - L1.00 - SITE AMENITY INDEX
- 3 - L1.01 - ENTRANCE/WATER FEATURE PLAN
- 4 - L1.02 - UNIT OPENSOURCE PARK AND TRAILHEAD
- 5 - L1.03 - TOT LOT AND TRAIL CONNECTIONS
- 6 - L1.04 - SITTING PARK AND TRAILHEAD
- 7 - L1.05 - OVERLOOK DECK
- 8 - L2.01 - HARDSCAPE DETAILS
- 9 - L2.02 - HARDSCAPE DETAILS
- 10 - L2.03 - HARDSCAPE DETAILS
- 11 - L2.04 - HARDSCAPE DETAILS
- 12 - L2.05 - HARDSCAPE DETAILS
- 13 - L2.06 - LANDSCAPE DETAILS
- 14 - L3.00 - HARDSCAPE, LANDSCAPE, SEDIMENT NOTES PLANTING SCHEDULE

SITE ANALYSIS DATA CHART

Total Project Area =	11.9716 acres
Buildable Parcel A	3.3839 AC
Open Space Lot C-63	.3258 AC
Open Space Lot C-64	7.3310 AC
Open Space Lot C-65	.9309 AC
Amenity Open Space	
A- Open Space Lot C-65 - Water Feature	1.25 acres
B - Parcel A Retail Signage	.03 acres
C - Open Space Lot C-63 - Unit Openspace	.24 acres
D - Open Space Lot C-64 - Trail and Tot Lot	.78 acres
E - Open Space Lot C-64 - Sitting Park	.15 acres
F - Open Space Lot C-64 Overlook Deck	.07 acres
Area of Plan Submission =	2.52 acres

Applicable File References = Shipley's Grant S 04-09, WP 04-105, P-06-001, P-06-004, F-06-019, WP 06-045 ZRA-65, F-07-001, F-07-043, F-07-047, F-07-048, F-07-053, F-07-059

VICINITY MAP



STANDARD DISC ON CONCRETE MONUMENT
ADC HOWARD COUNTY MAP PAGE 16 - GRID F-6

Howard County Control Stations
31GA ELEV. = 511.65
STANDARD DISC ON CONCRETE MONUMENT
N 564,925.75, E 1,367,067.65

37A4 ELEV. = 437.28
STANDARD DISC ON CONCRETE MONUMENT
N 563,835.91, E 1,367,971.65

SCALE: 1" = 2,000'

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

William 1/15/08
SIGNATURE OF ENGINEER DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

Janet Wright 1-15-08
SIGNATURE OF DEVELOPER/BUILDER DATE

ADDRESS CHART

FEATURE	STREET ADDRESS
A	5704 RICHARDS VALLEY ROAD
B	5608 LILLBURN PLACE
C	5804 RICHARDS VALLEY ROAD

PERMIT INFORMATION CHART

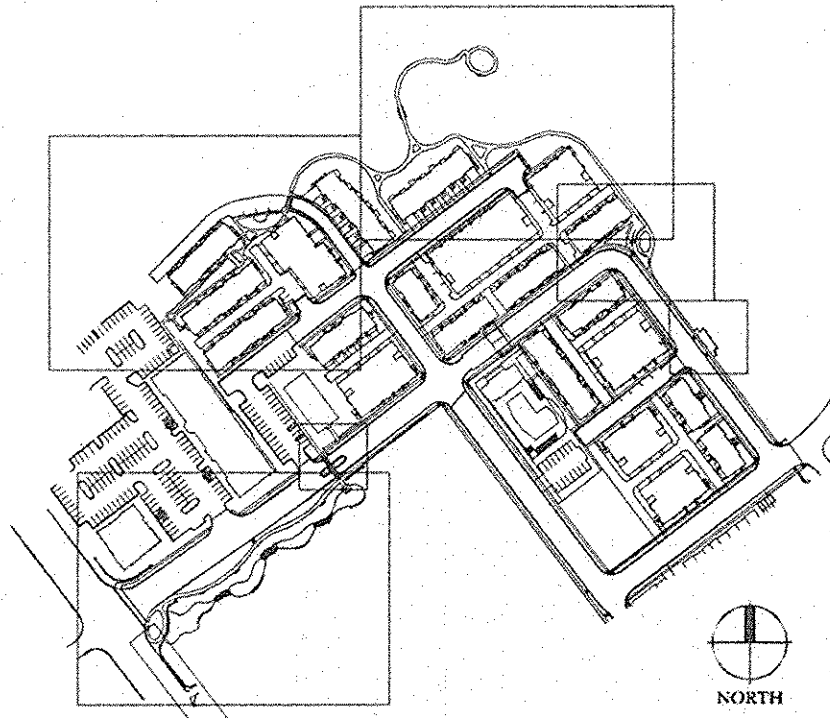
SUBDIVISION NAME:	SHIPLEY'S GRANT	SECTION/AREA	N/A	PARCEL	PARCEL A, OPEN SPACE LOTS C-63, C-64, C-65
PLAT No.	19232, 19233, 19235	ZONE	B-1, RA-15	TAX MAP	37
	19232-19235			BLOCK	1
				ELEC. DIST.	1
				CENSUS TRACT	6011.02
WATER CODE:	D07	SEWER CODE:	2780000		

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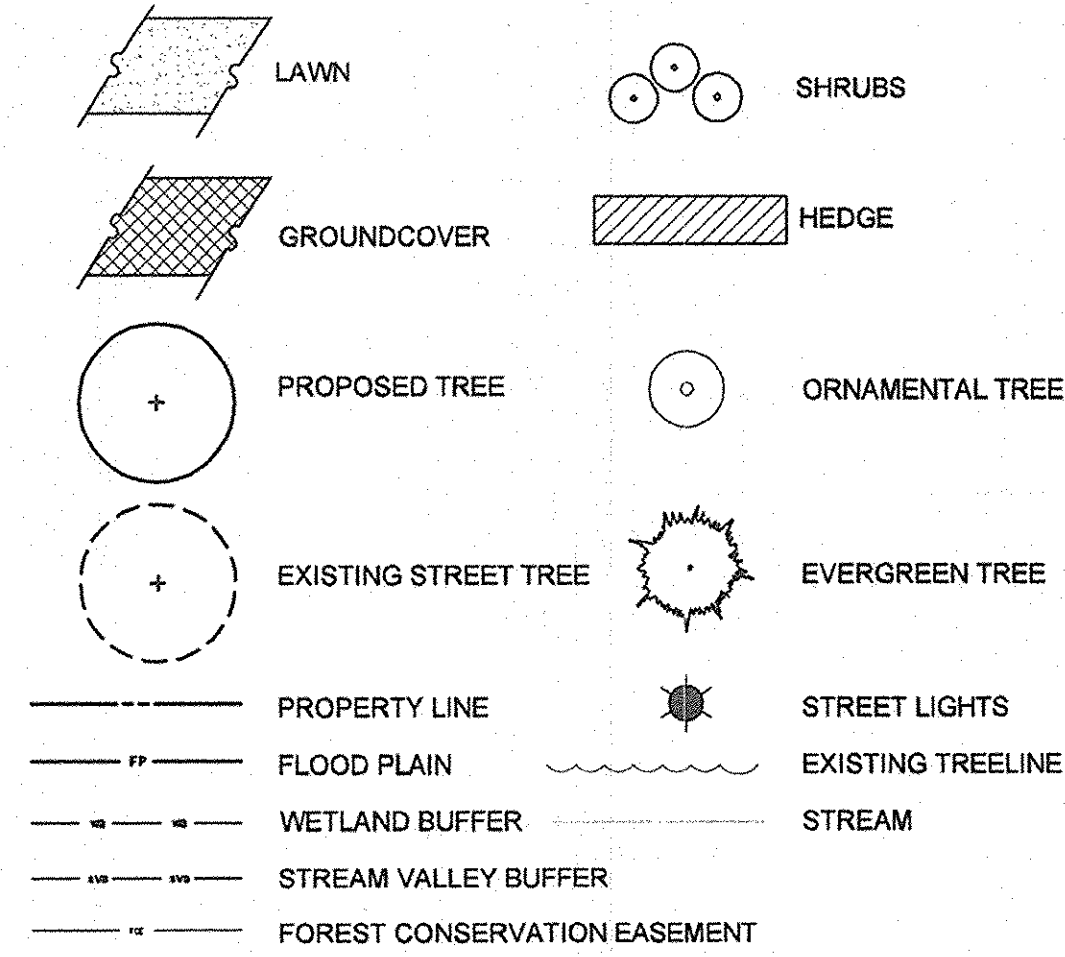
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L0.00

William 1/15/08

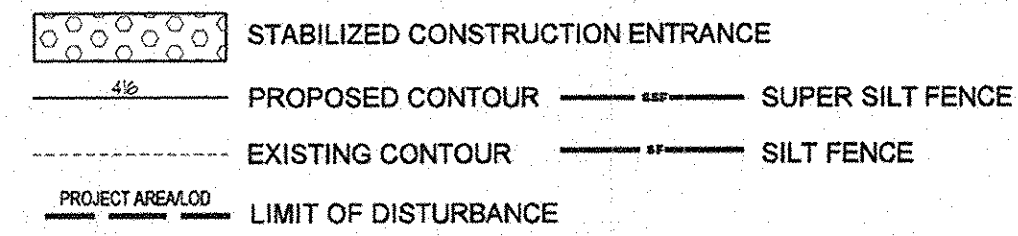
SITE KEY



PLANTING LEGEND



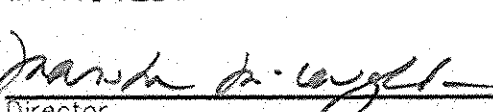


SEDIMENT CONTROL LEGEND

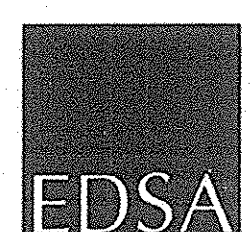


LANDSCAPE NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER AND UTILITY EASEMENT.
- THE OWNER, TENANT AND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS, BERMS AND FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, BE REPLACED WITH NEW MATERIALS TO INSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED AND REPLACED.
- FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

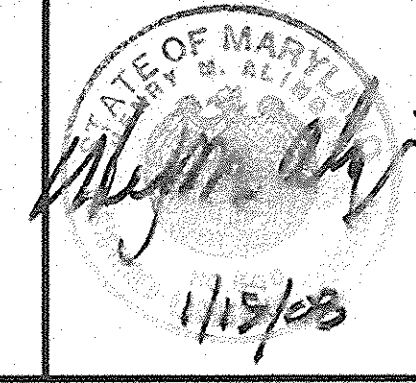
 Director 2/12/08
 Chief, Division of Land Development and Research 2/18/08
 Chief, Development Engineering Division 1/21/08


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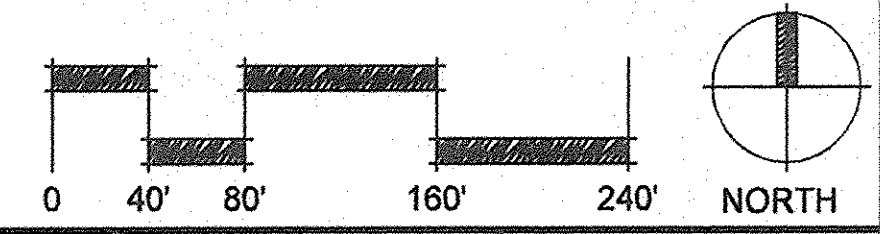
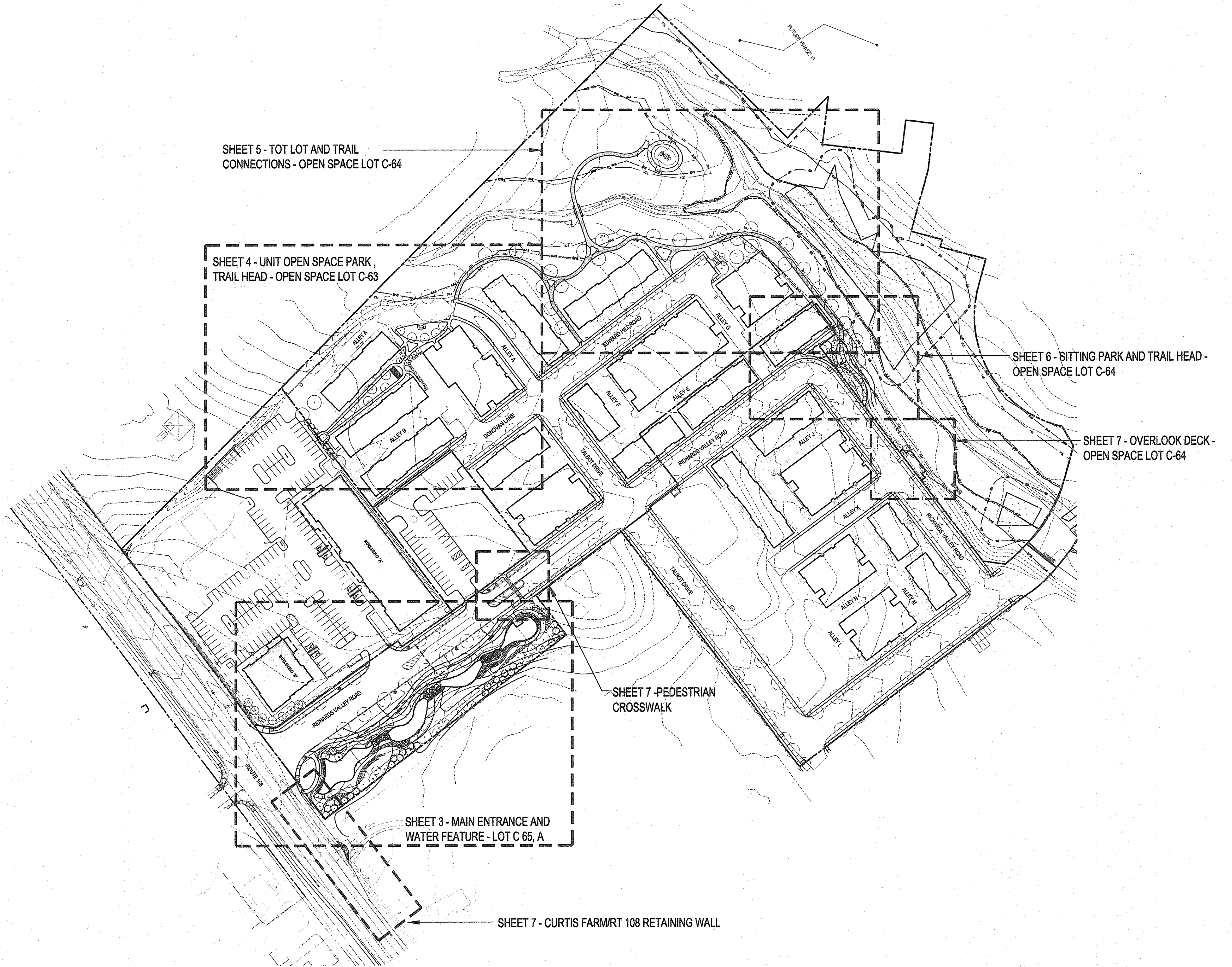
Rev:	Date:	Description:	By:	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7950 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL- 301-623-1525
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Project Name: **SHIPLEY'S GRANT**
 AMENITY PACKAGE
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233, & 19235
 ELECTION DISTRICT NO.1 HOWARD COUNTY, MARYLAND

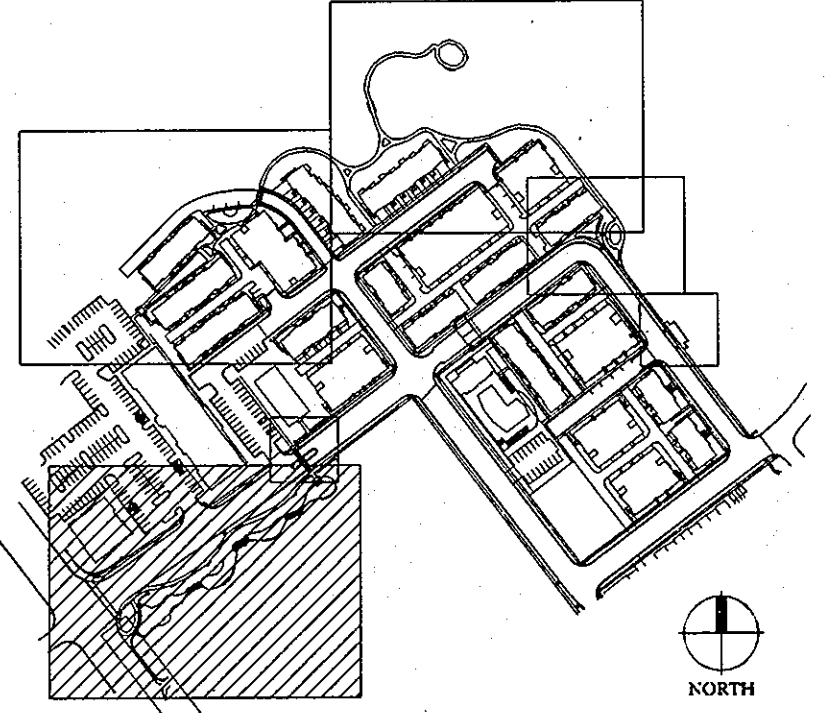
Date: 01.15.08	Scale: 1"=80'-0"
Drawn By: AR	Designed By: AR,HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

Sheet Title: **SITE AMENITY INDEX**


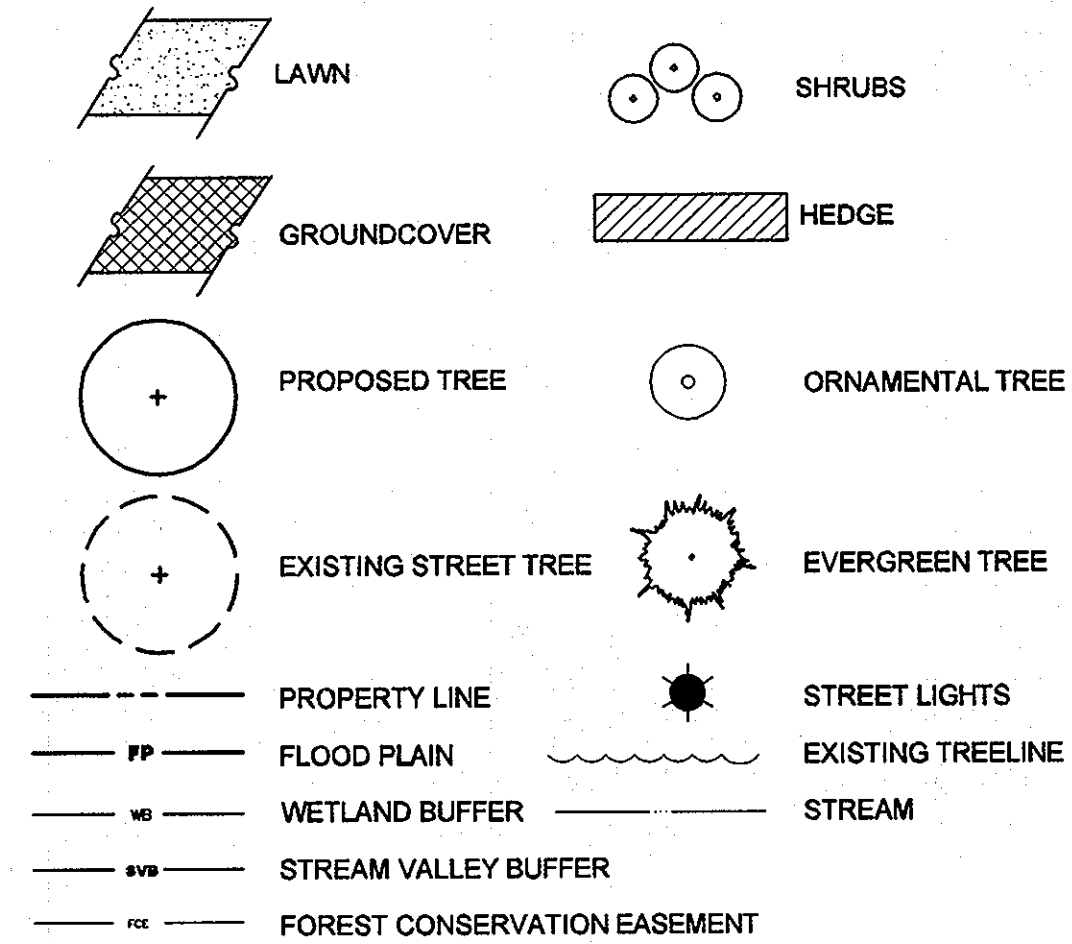
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 SHEET 2 OF 14
L1.00



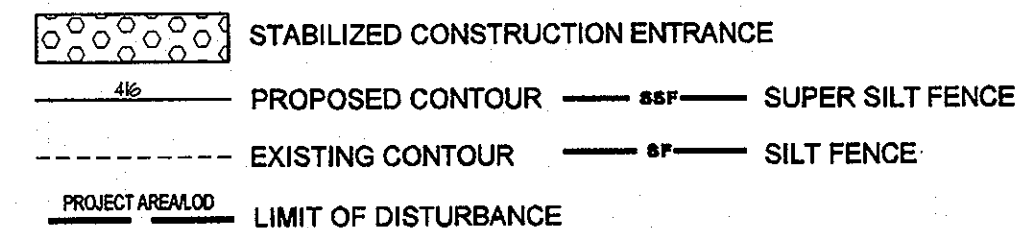
SITE KEY



PLANTING LEGEND



SEDIMENT CONTROL LEGEND



LANDSCAPE NOTES

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- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
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- FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Frank J. Leyle* Date: 2/4/08
 Chief, Division of Land Development and Research: *Cindy Horn* Date: 2/10/08
 Chief, Development Engineering Division: *[Signature]* Date: 1/23/08

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STABILIZED CONSTRUCTION ENTRANCE
 1 L3.00

OVERLOOK RAVELIN
 4 L2.06

EX. SWM (PUBLIC) CONT. NO. 24-1235-D

FEATURE A LAWN
 WATER FEATURE AMENITY SPACE
 53,660 SQ. FT.

SILT FENCING
 2 L3.00

OPEN SPACE LOT C-65 (.9309 AC)
 TO BE CONVEYED TO THE HOMEOWNERS ASSOCIATION - PRIVATE STORM WATER MANAGEMENT EASEMENT

PROPERTY OF LOIS LUCILLE CURTIS, TRUSTEE OF THE REVOCABLE TRUST L. 5542 F. 500 (ZONED: RC) HOWARD COUNTY HISTORIC DISTRICT MARYLAND HISTORIC TRUST NO. 439 CURTIS- SHIPLEY HOUSE TAX MAP PARCEL NUMBER 751

DATE: 2/17/08

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

[Signature] 1/15/08
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S/BUILDER'S CERTIFICATE
 WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

[Signature] 1-15-08
 SIGNATURE OF DEVELOPER/BUILDER DATE

SITE ANALYSIS:

TOTAL AREA OF SITE	2.52 acres
AREA DISTURBED	1.0 AC.
TOTAL CUT	1400 CU. YDS.
TOTAL FILL	1400 CU. YDS.
OFF-SITE WASTEBORROW LOCATION:	N/A
SEE SEDIMENT CONTROL NOTES ON SHEET L3.00	

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE & SPECIFICATIONS	SPACING	SPACING
TREES - DECIDUOUS SHADE						
U	10	Ulmus americana 'Princeton'	Princeton Elm	2.5'-3" Cal., 12-14" ht.	As Shown	B&B, Full
TREES - ORNAMENTAL						
BN	6	Betula nigra 'Heritage'	Heritage River Birch	2" - 2.5" Cal., 8-10" ht.	As Shown	B&B, Multi-stem, Full
MP	6	Muhlenbergia 'Prairie'	Prairie Crabapple	6-8" ht.	As Shown	B&B, Full
AMC	3	Amelanchier canadensis	Canadian Serviceberry	6-7" ht.	As Shown	B&B, Full, mixed
SHRUBS - DECIDUOUS						
CRSC	18-100	Calycanthus floridus 'Coral'	Carolina Allspice	18"-24" ht. & spd. #3	36" O.C.	Water, Full Container
CI	73-27	Clethra alnifolia 'Hummingbird'	Summersweet Clethra	18"-24" ht. & spd. #3	30" O.C.	B&B, Full Container
RE-VJ	4	Rosa virginiana 'Henry's Crown'	Henry's Crown Rose	18"-24" ht. & spd. #3	30" O.C.	B&B, Full Container
NW	30	Ilex verticillata 'Innocent'	Spicebush	24"-30" ht. #3	30" O.C.	B&B, Full Container
SHRUBS - EVERGREEN						
Igo	33	Ilex glabra 'Compacta'	Compact holly	18"-24" ht. & spd	36" O.C.	Container, Full
VJP	30	Juniperus conferta 'Blue Pacific'	Blue Pacific Juniper	15"-18" #3	24" O.C.	Container
PERENNIALS / GRASSES						
IE	250-320	Hebe x exoniensis 'Happy Returns'	Happy Returns Day Lily	1 Gal.	18" O.C.	Container
F-PPM	23-168	Fernandesia 'Echinacea'	Purple Coneflower	1 Gal.	18" O.C.	Container
IN	170-110	Impatiens 'Big Blue'	Big Blue Day Lily	1 Gal.	12" O.C.	Container
IE	65-392	Erigeron 'Cranesbill'	Blazing Star	2 Gal.	18" O.C.	Container
mv	200	Muhlenbergia 'recessosa'	Marsh Mink Grass	2 Gal.	24" O.C.	Container
mv	295	Panicum 'virginicum'	Switch Grass	2 Gal.	24" O.C.	Container
mf	162	Penstemon 'atropurpureus'	Red Hot Firecracker	2 Gal.	18" O.C.	Container
mf	132-99	Rudbeckia 'Goldsturm'	Black Eyed Susan	1 Gal.	18" O.C.	Container
mf	156	Sporobolus 'heterotriquetus'	Prairie Broomgrass	2 Gal.	24" O.C.	Container
VCS	72	Vaccinium corymbosum 'Spartan'	Spartan Highbush Blueberry	24"-30" ht. #3	4'-0" o.c.	Container

- CONSTRUCTION SEQUENCE**
- Obtain grading permit and arrange on-site pre-construction meeting with the Sediment Control Inspector (1-day).
 - Install stabilized construction entrance and install temporary perimeter silt/sediment fence in all locations (1 week).
 - Construct utilities. (1 week);
 - Grade site (3 weeks);
 - Install water features, site walks, retaining walls, dock and gazebo (2 months);
 - Remove stabilized construction entrance and stabilize (1 day);
 - Stabilize site with landscaping, grass seed and mulch or sod (2 weeks);
 - When areas draining to sediment controls have been stabilized and permission is granted by the Sediment Control Inspector, remove remaining sediment controls (1 week);

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed landscape architect under the laws of Maryland, licence No. 3273, expiration Date 11-24-2012.

Rev:	Date:	Description:	By:	Prepared for and Owner:
1	1/30/12	Revised Water Feature 4 Landscaping Design	SMZ	BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL 301-623-1525
				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1966 GREENSPRING DRIVE SUITE 508 LUTHERVILLE TIMONUM, MD 21093 ATTN: ROBERT BAVAR - 410-560-0300

Project Name: **SHIPLEY'S GRANT AMENITY PACKAGE**
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233, & 19235
 ELECTION DISTRICT NO.1
 HOWARD COUNTY, MARYLAND

Date: 01.15.08
 Drawn By: AR
 Approved By: HA
 Tax Map-Grid: 37-1&2

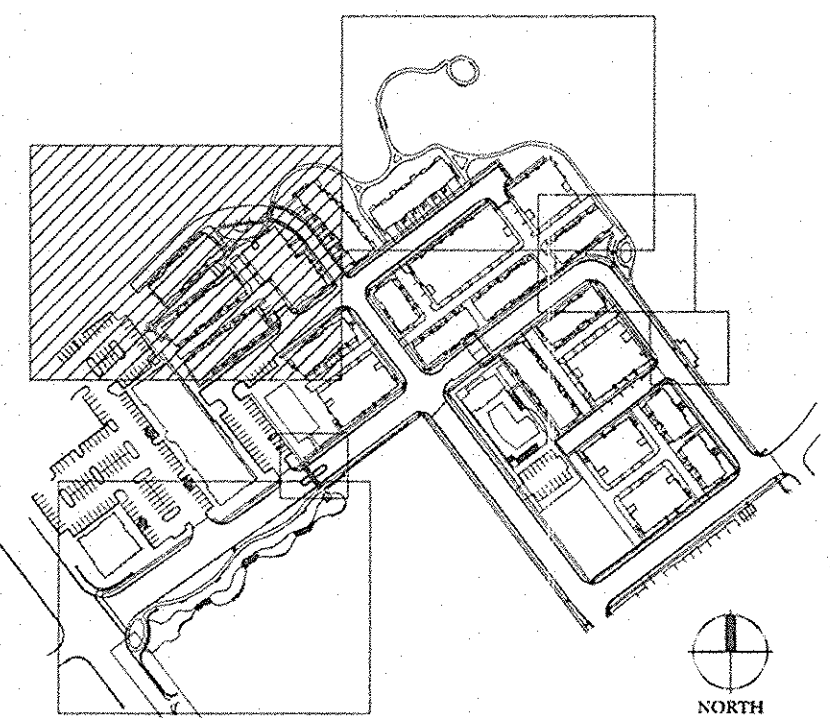
Scale: 1"=20'-0"
 Designed By: AR,HA
 Project No: 805371
 Zoning: B-1, RA-15

Sheet Title: **MAIN ENTRANCE AND WATER FEATURE LANDSCAPE AND SEDIMENT CONTROL PLAN**

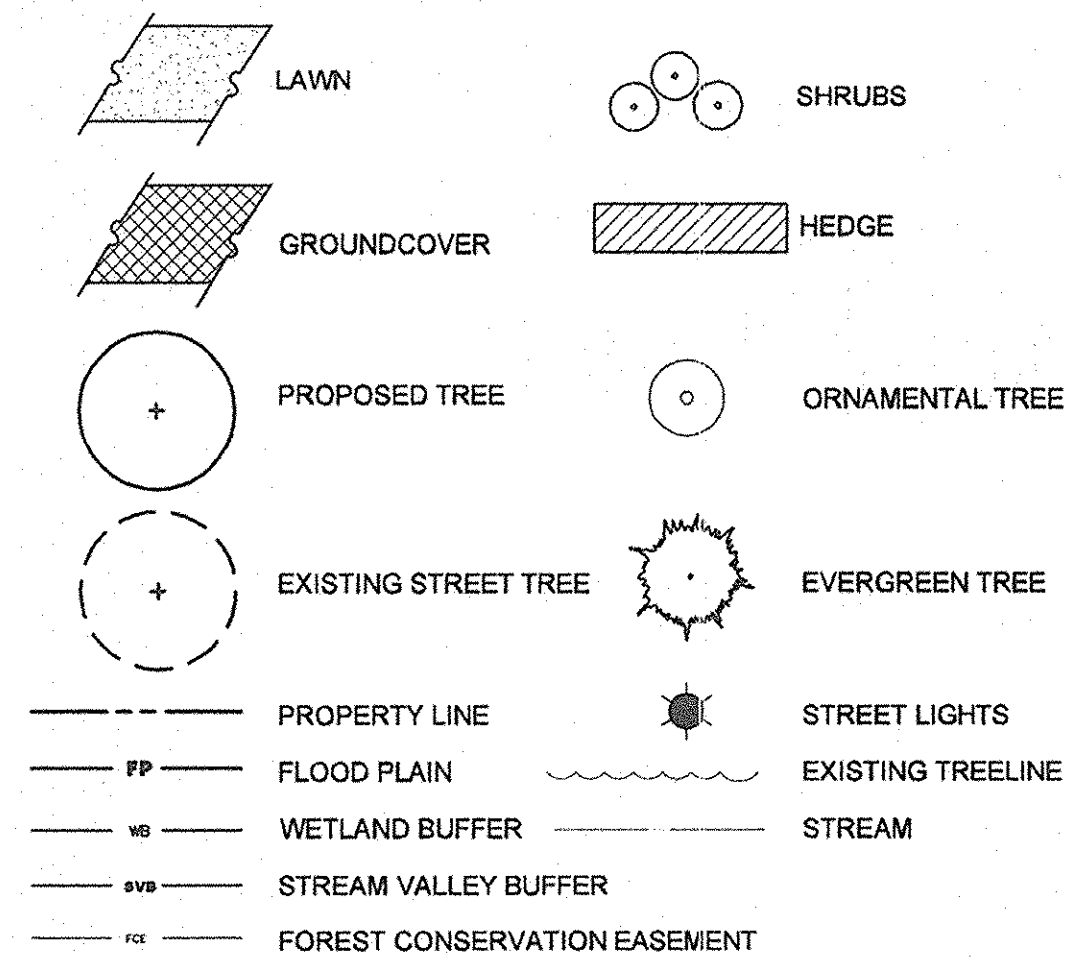
Sheet Number: SHEET 3 OF 14
L1.01

SDP 07 -092

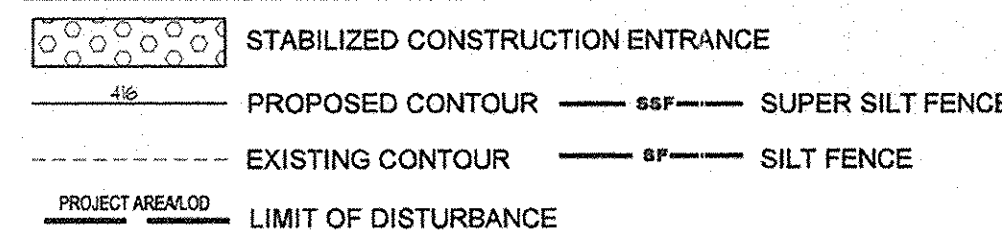
SITE KEY



PLANTING LEGEND



SEDIMENT CONTROL LEGEND



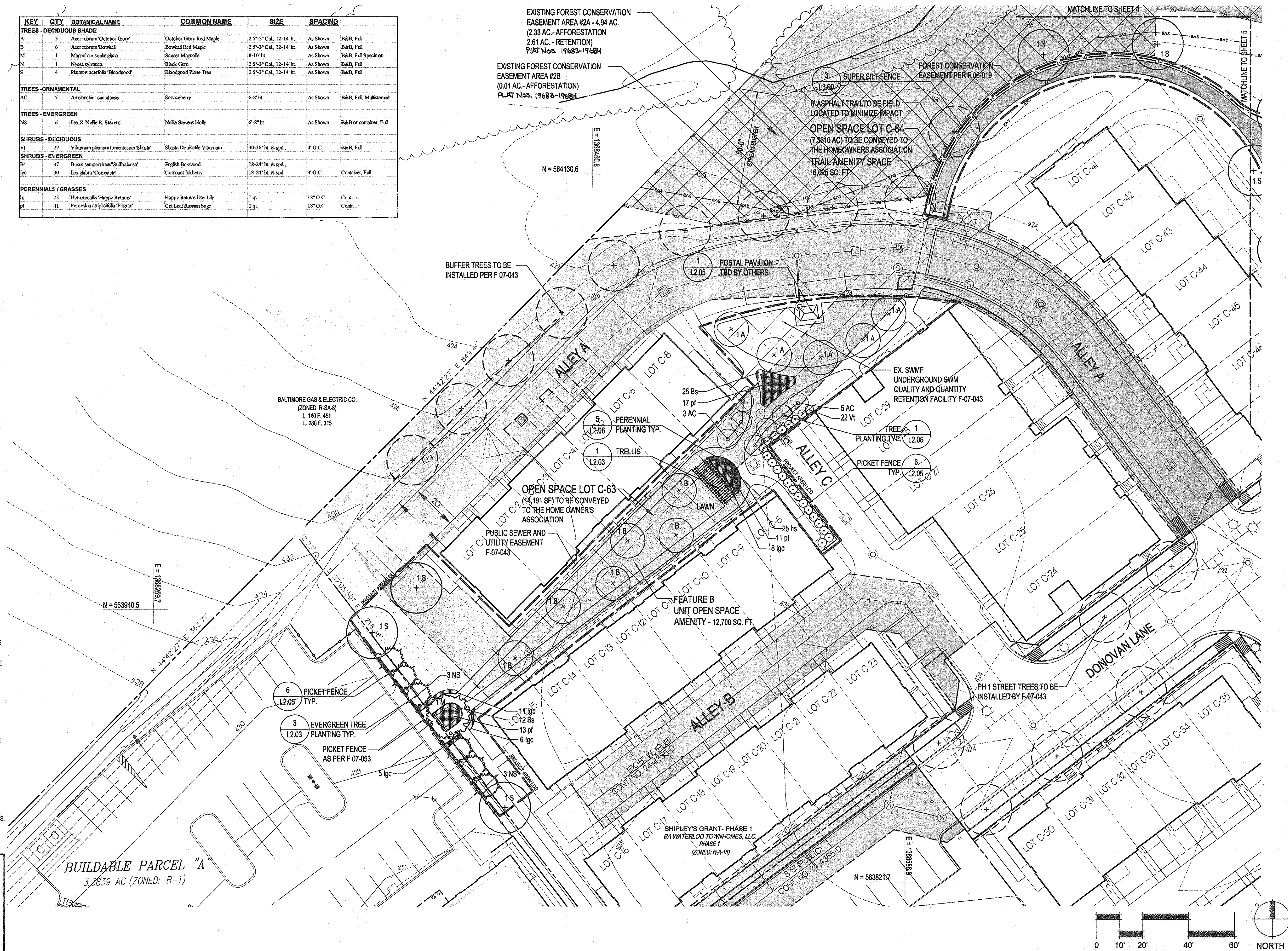
LANDSCAPE NOTES

- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
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- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
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- FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES - DECIDUOUS SHADE					
A	5	Acer rubrum 'October Glory'	October Glory Red Maple	2.5"-3" Cal., 12-14' ht.	As Shown B&B, Full
B	6	Acer rubrum 'Bowhall'	Bowhall Red Maple	2.5"-3" Cal., 12-14' ht.	As Shown B&B, Full
M	1	Magnolia x soulangeana	Saucer Magnolia	8-10' ht.	As Shown B&B, Full Specimen
N	1	Nyssa sylvatica	Black Gum	2.5"-3" Cal., 12-14' ht.	As Shown B&B, Full
S	4	Platanus acerifolia 'Bloodgood'	'Bloodgood' Plane Tree	2.5"-3" Cal., 12-14' ht.	As Shown B&B, Full
TREES - ORNAMENTAL					
AC	7	Amelanchier canadensis	Serviceberry	6-8' ht.	As Shown B&B, Full, Multistemmed
TREES - EVERGREEN					
NS	6	Ilex X 'Nellee R. Stevens'	Nellee Stevens Holly	6-8' ht.	As Shown B&B or container, Full
SHRUBS - DECIDUOUS					
Vt	22	Viburnum plicatum tomentosum 'Shasta'	Shasta Doublefile Viburnum	30-36" ht. & spd.	4' O.C. B&B, Full
SHRUBS - EVERGREEN					
gc	37	Buxus sempervirens 'Suffruticosa'	English Boxwood	18-24" ht. & spd.	3' O.C. Container, Full
gc	30	Ilex glabra 'Compacta'	Compact Inkberry	18-24" ht. & spd.	3' O.C. Container, Full
PERENNIALS / GRASSES					
lc	25	Homerochloa 'Happy Returns'	Happy Returns Day Lily	1 qt.	18" O.C. Container, Full
pf	41	Perovskia atriplicifolia 'Filigran'	Cut Leaf Russian Sage	1 qt.	18" O.C. Container, Full

EXISTING FOREST CONSERVATION EASEMENT AREA #2A - 4.94 AC. (2.33 AC - AFFORESTATION 2.61 AC - RETENTION) PLAT NOS. 19683-19684

EXISTING FOREST CONSERVATION EASEMENT AREA #2B (0.01 AC - AFFORESTATION) PLAT NOS. 19683-19684



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *March 21/10/05* Date: 2/18/05

Chief, Division of Land Development and Resources: *Cheryl Hannon* Date: 2/18/05

Chief, Development Engineering Division: *W.D. [Signature]* Date: 1/22/05

BUILDABLE PARCEL "A"
3.3839 AC (ZONED: B-1)

EDSA
60 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
LCO000017

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

Rev:	Date:	Description:	By:	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL - 301-623-1525
2				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1966 GREENSPRING DRIVE SUITE 508 LUTHERVILLE TIMONIUM, MD 21093 ATTN: ROBERT BAVAR - 410-560-0300

Project Name: **SHIPLEY'S GRANT**
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233, & 19235
ELECTION DISTRICT NO. 1
HOWARD COUNTY, MARYLAND

Date: 01.15.08	Scale: 1"=20'-0"
Drawn By: AR	Designed By: AR,HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

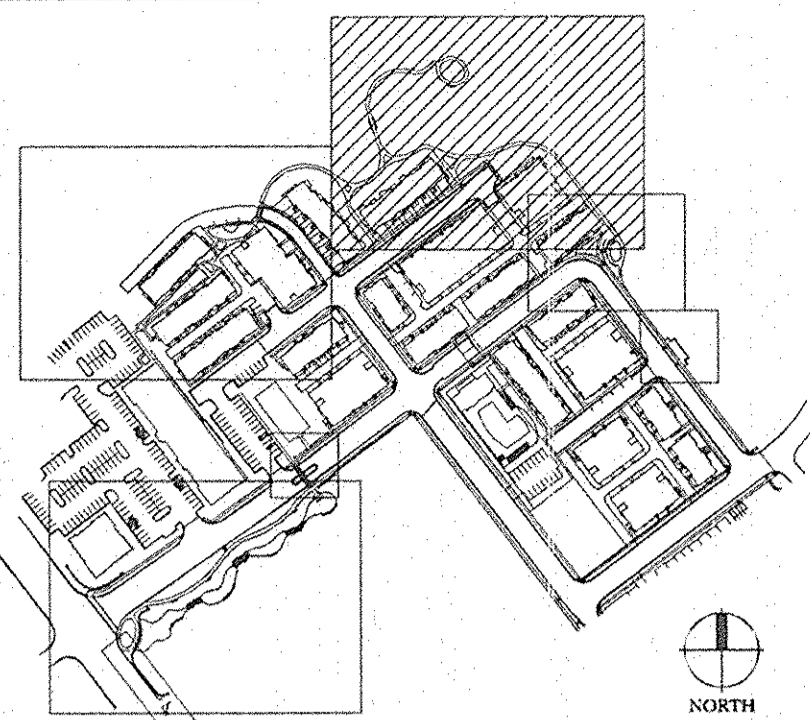
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Sheet Number: SHEET 4 OF 14
L1.02

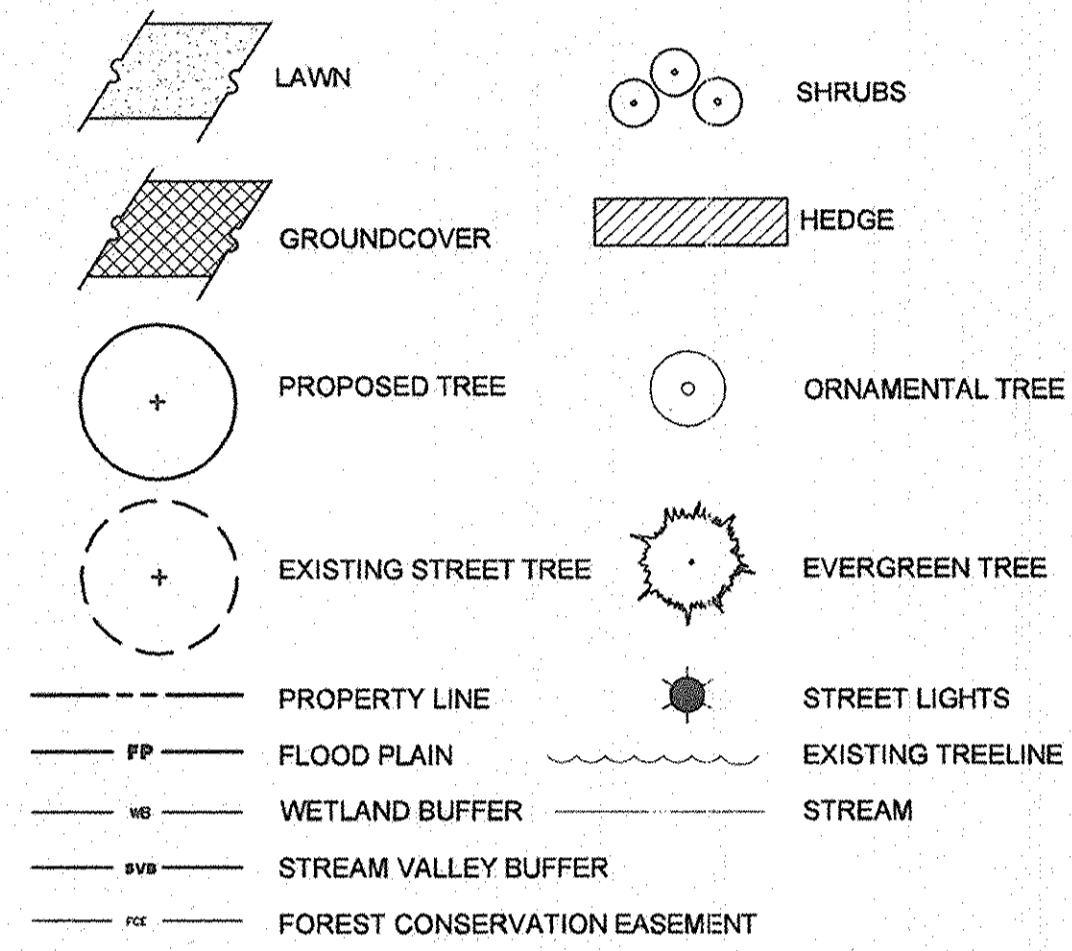
STATE OF MARYLAND
1/17/08

SDP 07 -092

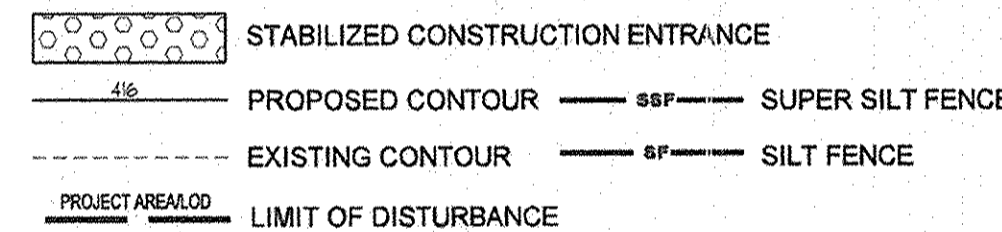
SITE KEY



PLANTING LEGEND



SEDIMENT CONTROL LEGEND



LANDSCAPE NOTES

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- FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Frank DeLuigi 2/6/08
Director

Cindy Hunt 2/6/08
Chief, Division of Land Development and Research

McDermott 1/22/08
Chief, Development Engineering Division

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/1/08

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL FOR THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 2/1/08

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Stacy M. Kelly 1/15/08
SIGNATURE OF ENGINEER DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

Robert Bavar 1-15-08
SIGNATURE OF DEVELOPER/BUILDER DATE

Rev:	Date:	Description:	By:
1			
2			
3			
4			
5			

Prepared for and Owner:
BOZZUTO HOMES, INC.
7850 WALKER DRIVE SUITE 400
GREENBELT, MARYLAND 20771
ATTN: DUNCAN SLIDELL- 301-223-1525

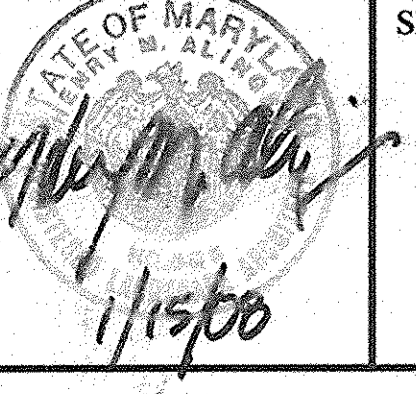
Parcel A Owner:
SHIPLEY'S GRANT RETAIL, LLC
BAVAR PROPERTIES GROUP
1986 GREENSPRING DRIVE SUITE 508
LUTHERVILLE, TIMONILUM, MD 21093
ATTN: ROBERT BAVAR - 410-560-0300

Project Name:
SHIPLEY'S GRANT
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233, & 19235
ELECTION DISTRICT NO.1

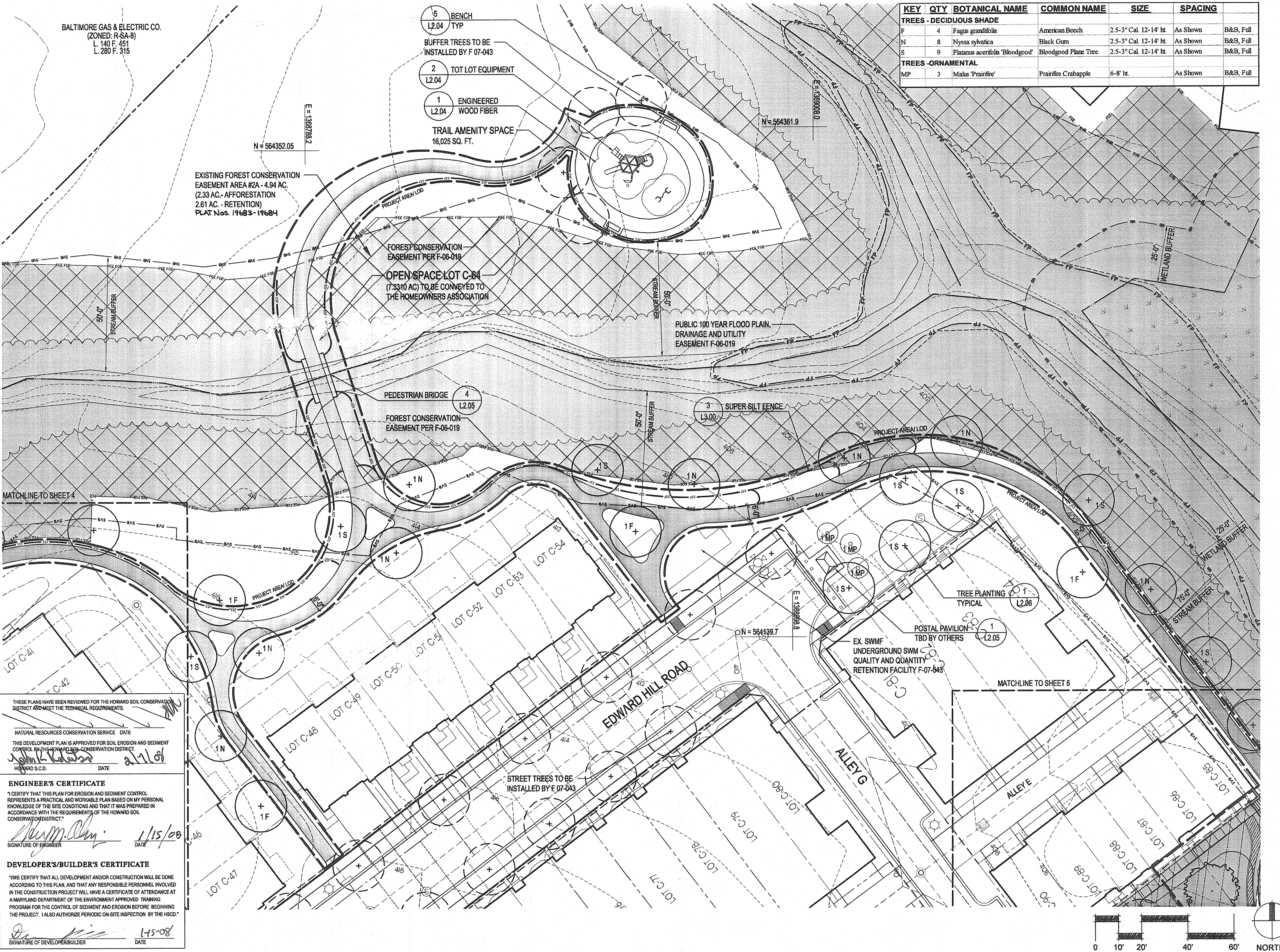
Date: 01.15.08
Scale: 1"=20'-0"
Drawn By: AR
Designed By: AR,HA
Approved By: HA
Project No: 805371
Tax Map-Grid: 37-1&2
Zoning: B-1, RA-15

Sheet Title:
TOT LOT AND TRAIL CONNECTIONS TRAIL SEDIMENT CONTROL

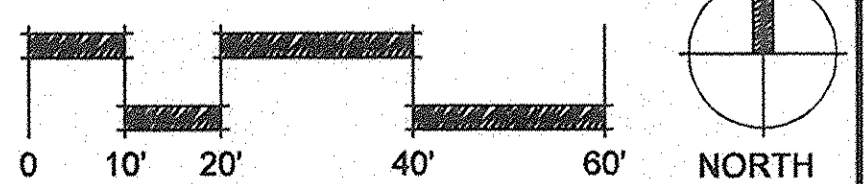
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SHEET 5 OF 14
L1.03



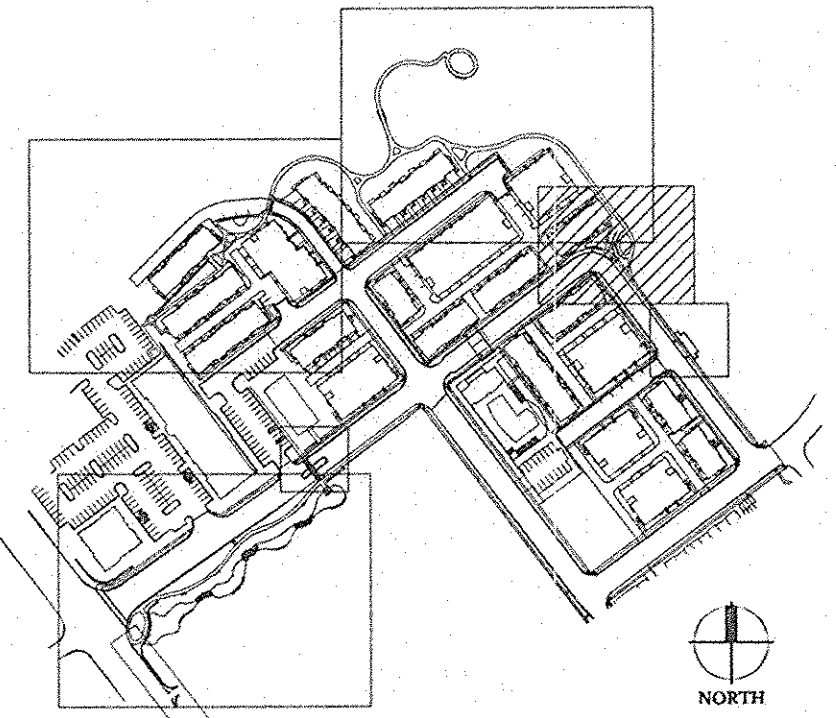
EDSA
160 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
L102002071
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN



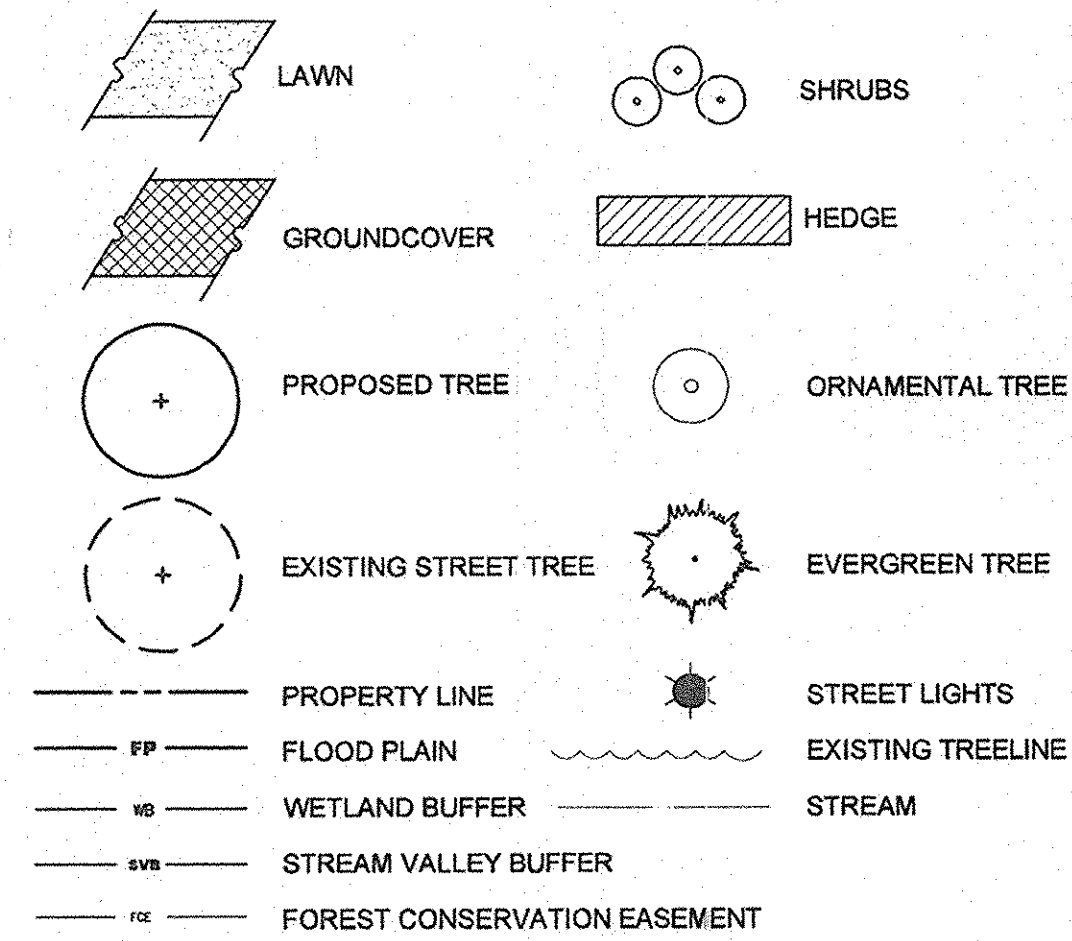
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES - DECIDUOUS SHADE					
F	4	Fagus grandifolia	American Beech	2.5-3" Cal. 12-14' ht.	As Shown B&B, Full
N	8	Nyssa sylvatica	Black Gum	2.5-3" Cal. 12-14' ht.	As Shown B&B, Full
S	9	Platanus acerifolia 'Bloodgood'	Bloodgood Plane Tree	2.5-3" Cal. 12-14' ht.	As Shown B&B, Full
TREES - ORNAMENTAL					
MP	3	Malus 'Prairifire'	Prairifire Crabapple	6-8' ht.	As Shown B&B, Full



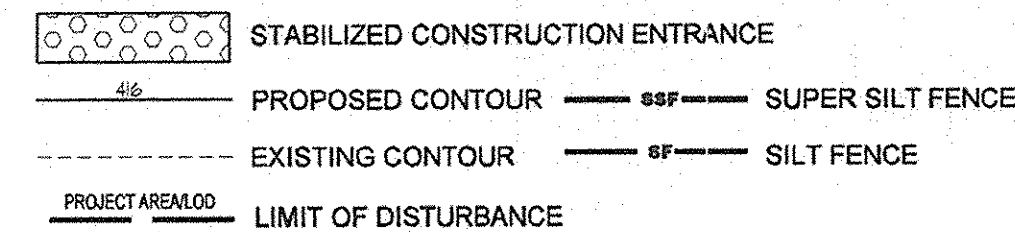
SITE KEY



PLANTING LEGEND



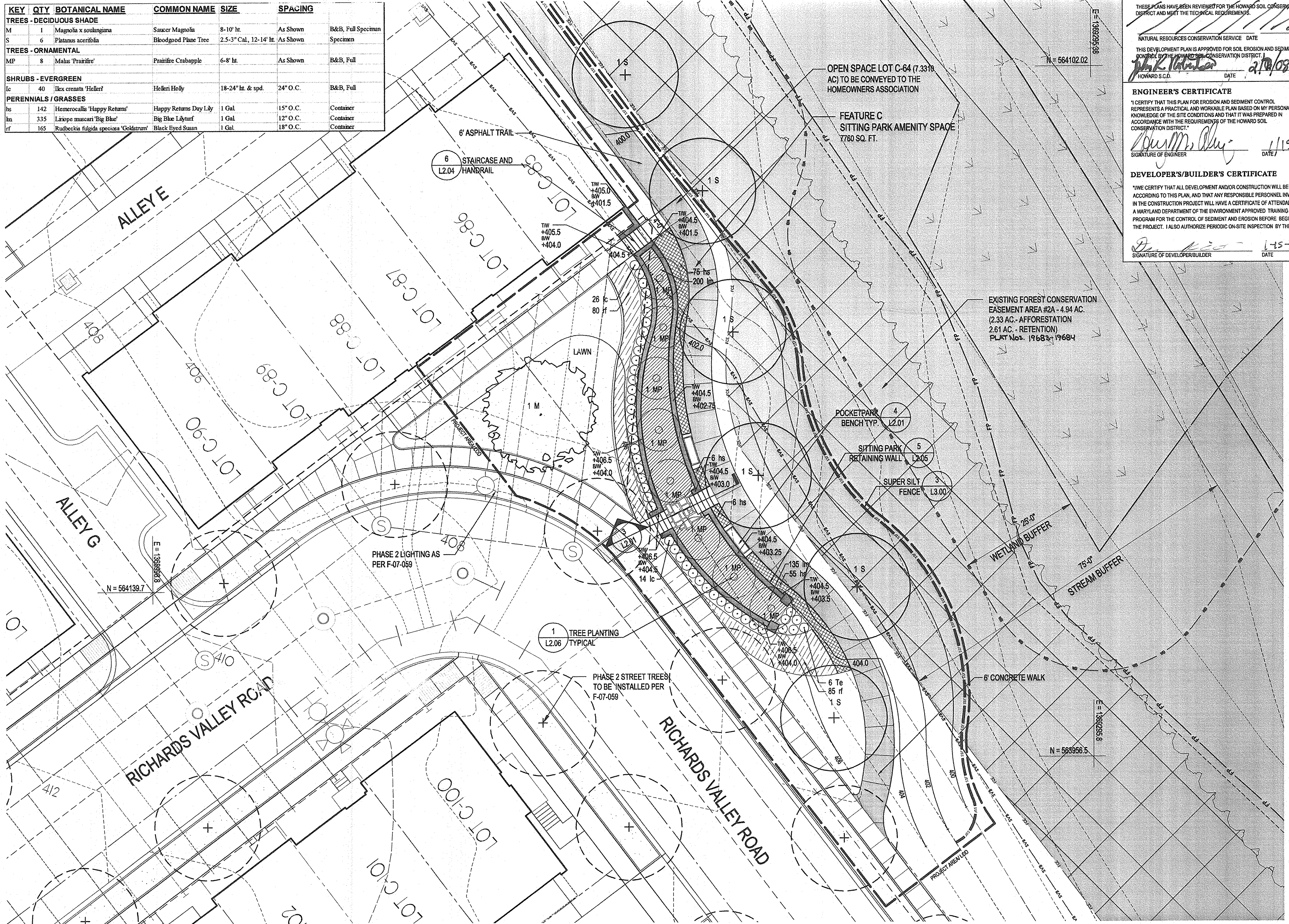
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- FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES - DECIDUOUS SHADE					
M	1	Magnolia x soulangiana	Saucer Magnolia	8-10' ht.	As Shown
S	6	Platanus acerifolia	Bloodgood Plane Tree	2.5-3" Cal., 12-14' ht.	As Shown
TREES - ORNAMENTAL					
MP	8	Malus 'PrairiFire'	PrairiFire Crabapple	6-8' ht.	As Shown
SHRUBS - EVERGREEN					
lc	40	Ilex crenata 'Heller'	Heller's Holly	18-24" ht. & spd.	24" O.C.
PERENNIALS / GRASSES					
hs	142	Hemerocallis 'Happy Returns'	Happy Returns Day Lily	1 Gal.	15" O.C.
ln	335	Liriope muscari 'Big Blue'	Big Blue Liriope	1 Gal.	12" O.C.
rf	165	Rudbeckia fulgida speciosa 'Goldstrum'	Black Eyed Susan	1 Gal.	18" O.C.



THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE: 2/19/08

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

HOWARD S.C.D. DATE: 2/19/08

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Signature of Engineer: [Signature] DATE: 1/15/08

DEVELOPER'S/BUILDER'S CERTIFICATE

WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

Signature of Developer/Builder: [Signature] DATE: 1-15-08

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 2/16/08

Chief, Division of Land Development and Research: [Signature] Date: 2/18/08

Chief, Development Engineering Division: [Signature] Date: 1/22/08

EDSA

60 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.639.3350
L00300001

PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

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2			
3			
4			
5			

Prepared for and Owner:
BOZZUTO HOMES, INC.
7850 WALKER DRIVE SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL 301-671-1500

Parcel A Owner:
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BAVAR PROPERTIES GROUP
1986 GREENSPRING DRIVE SUITE 508
LUTHERVILLE TIMONIUM, MD 21093
ATTN: ROBERT BAVAR - 410-560-0300

Project Name:
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AMENITY PACKAGE
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Date: 01.15.08
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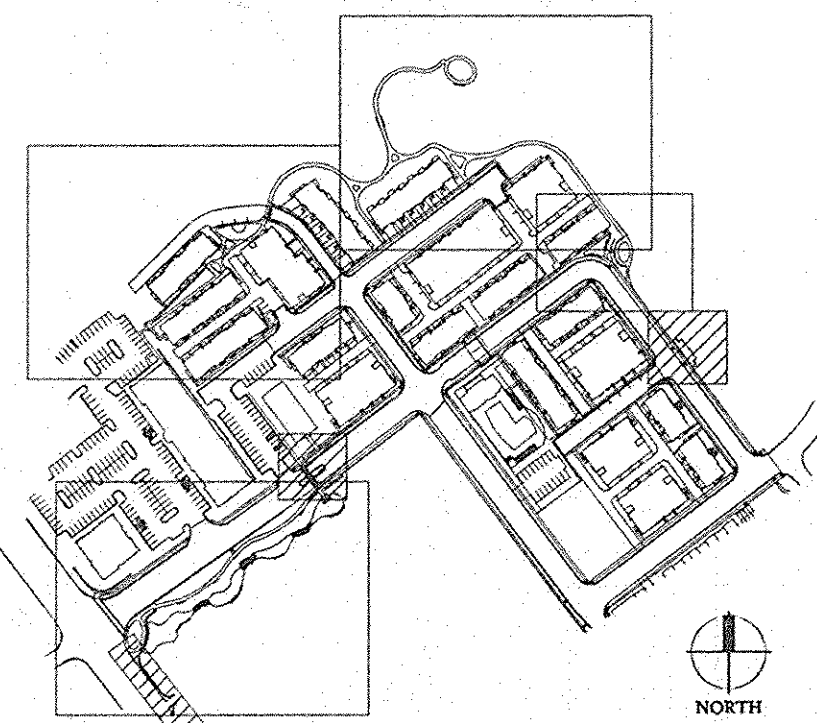
Sheet Title:
SITTING PARK AND TRAIL HEAD

Sheet Number:
SHEET 6 OF 14
L1.04

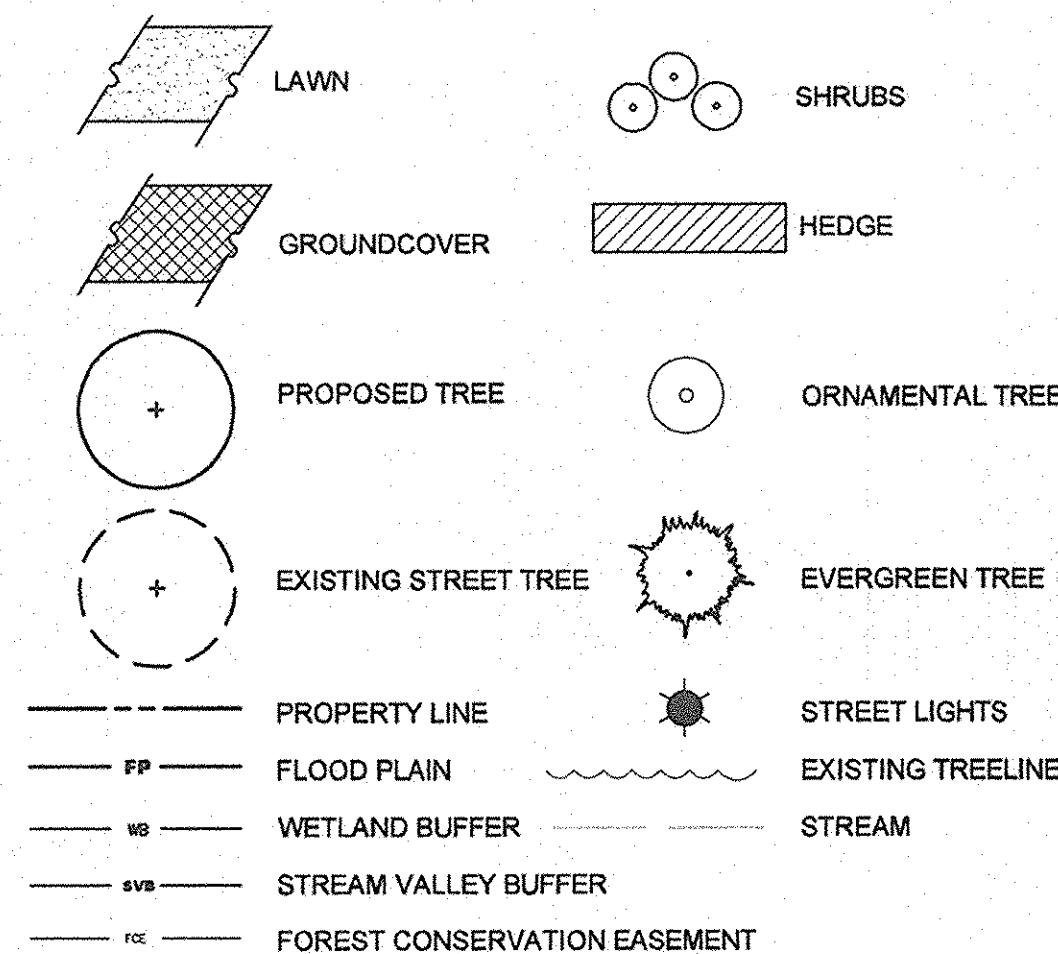
Signature: [Signature] DATE: 1/15/08

SDP 07-092

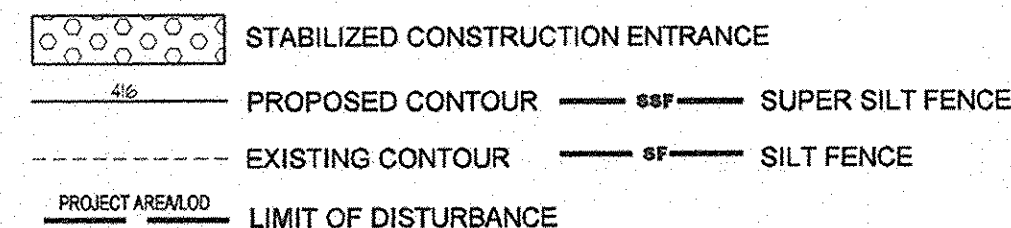
SITE KEY



PLANTING LEGEND



SEDIMENT CONTROL LEGEND

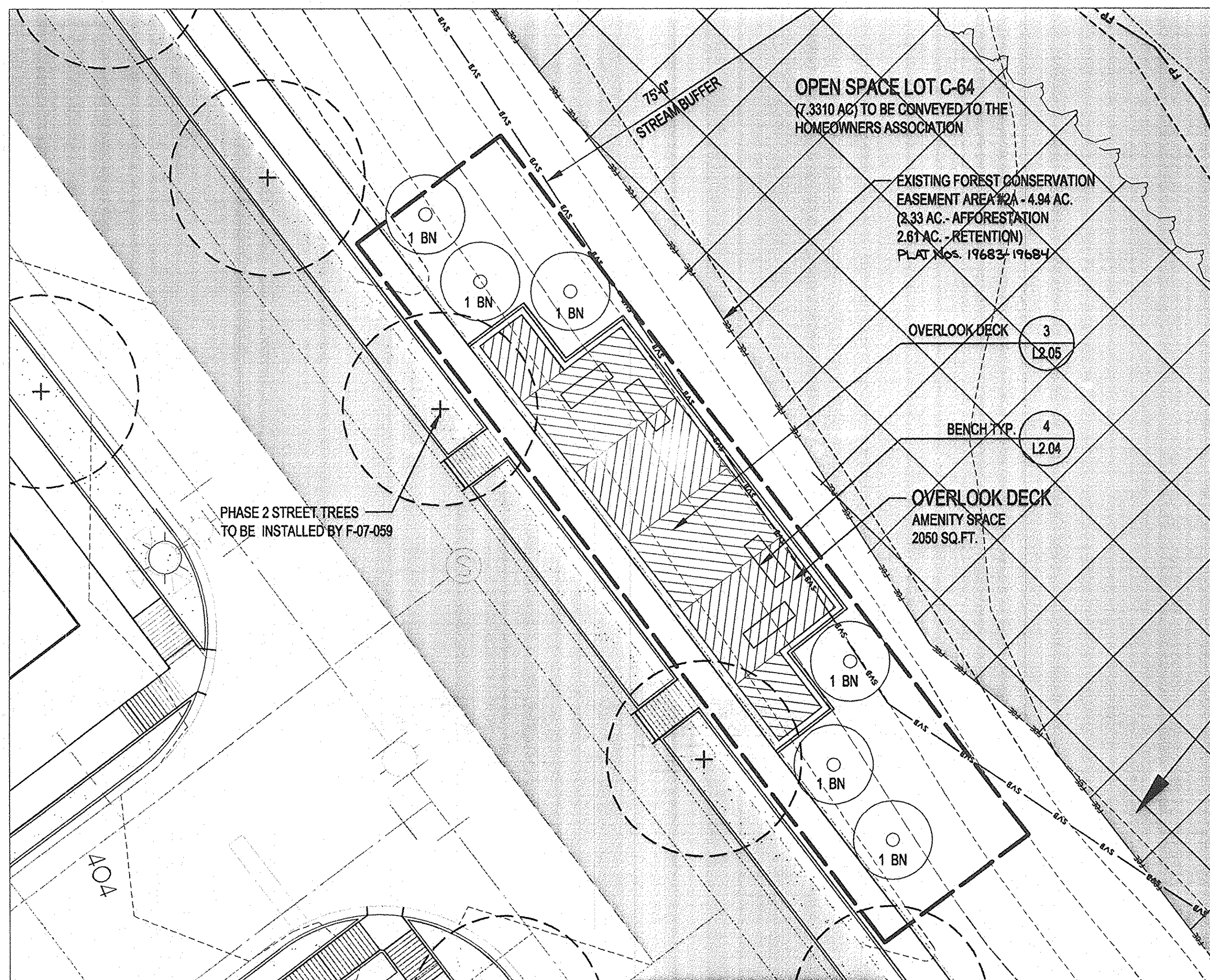


LANDSCAPE NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET No. 1 SHALL APPLY.
2. FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
3. PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
4. ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE A.A.N. SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
5. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
6. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
7. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
8. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.
9. DO NOT PLANT WITHIN THE PUBLIC WATER AND UTILITY EASEMENT.
10. THE OWNER, TENANT AND OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING, INCLUDING BOTH PLANT MATERIALS, BERMS AND FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, BE REPLACED WITH NEW MATERIALS TO INSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION AND WHEN NECESSARY, REPAIRED AND REPLACED.
11. FOR ADDITIONAL PLANTING NOTES SEE SHEET 14

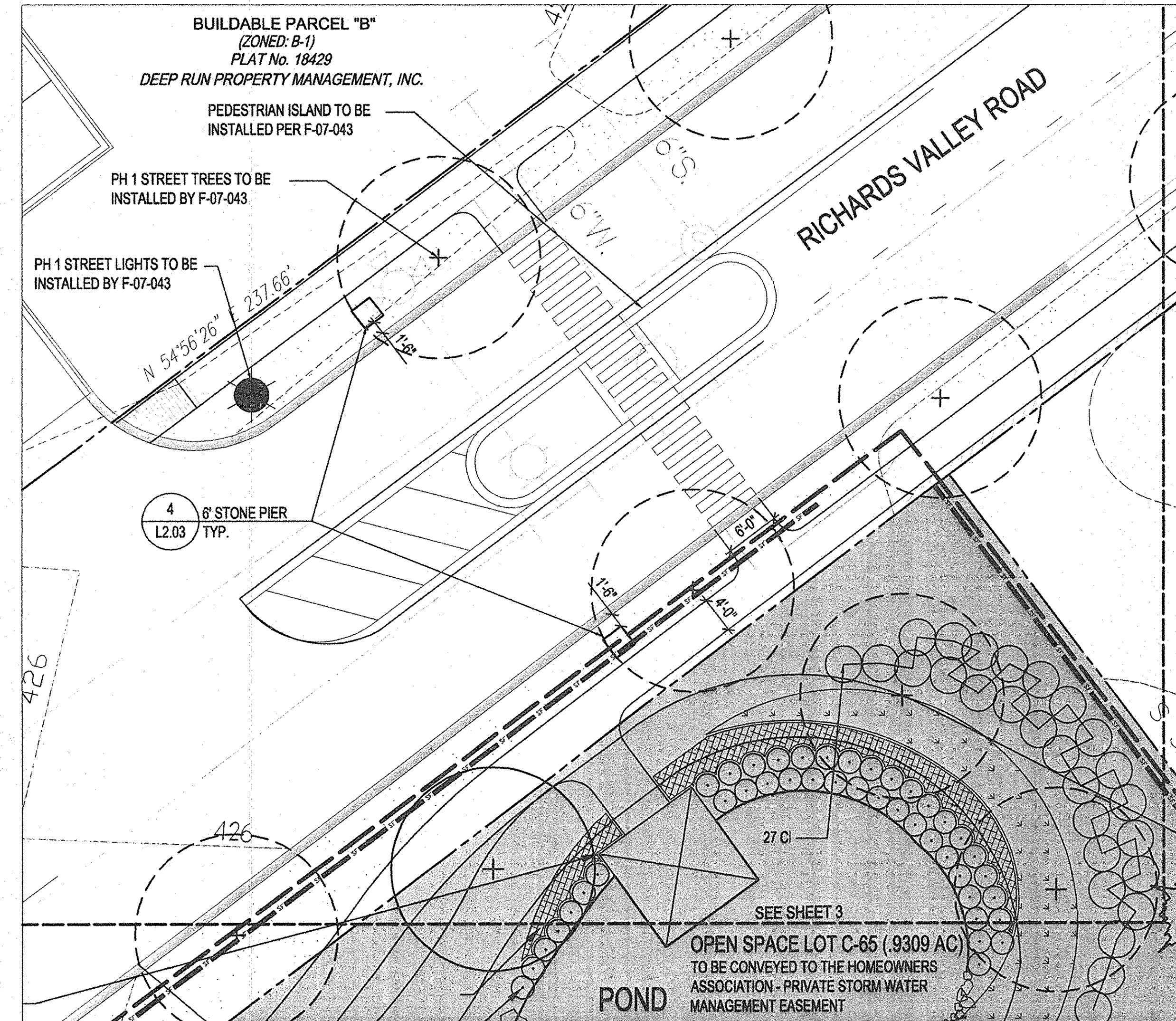
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *[Signature]* Date: 2/8/08
 Chief, Division of Land Development and Research: *[Signature]* Date: 2/8/08
 Chief, Development Engineering Division: *[Signature]* Date: 1/28/08



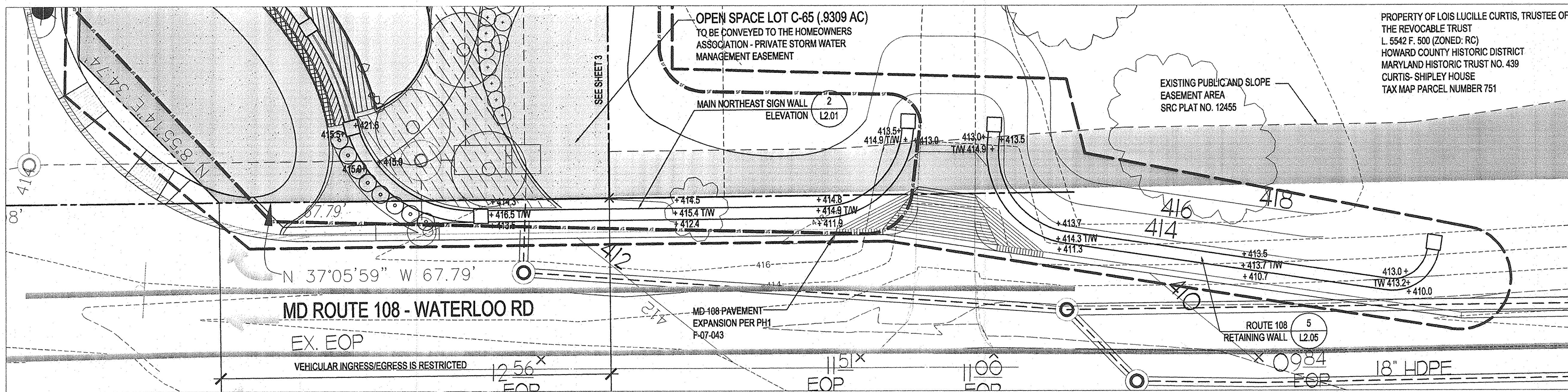
1 OVERLOOK DECK

PLAN 1" = 10'-0"



2 PEDESTRIAN CROSSWALK PIERS

PLAN 1" = 10'-0"



3 CURTIS FARM RETAINING WALL

PLAN 1" = 10'-0"



EDSA
 PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

Rev:	Date:	Description:	By:
1			
2			
3			
4			
5			

Prepared for and Owner:
 BOZZUTO HOMES, INC.
 7850 WALKER DRIVE SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL-301-623-1625

Parcel A Owner:
 SHIPLEY'S GRANT RETAIL, LLC
 BAVAR PROPERTIES GROUP
 1868 GREENSPRING DRIVE SUITE 508
 LUTHERVILLE TIMONIUM, MD 21088
 ATTN: ROBERT BAVAR -410-560-6300

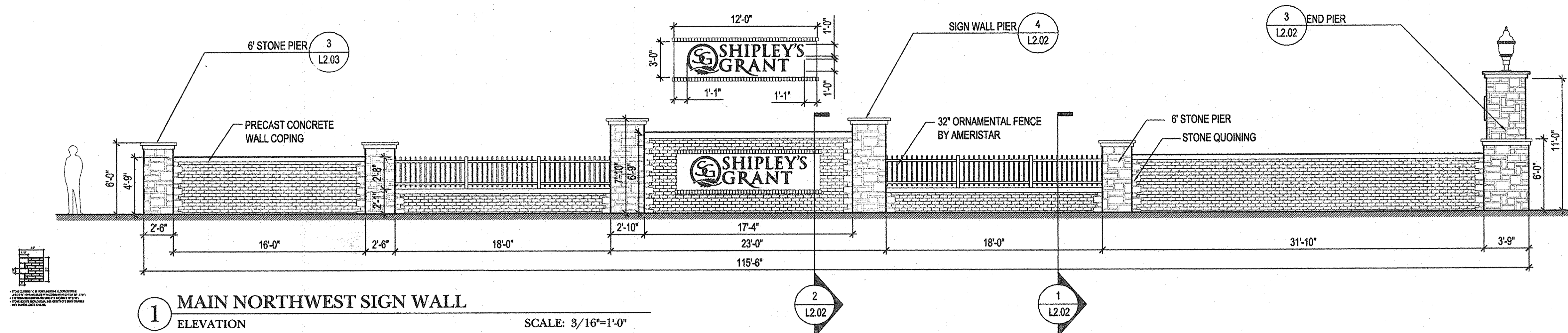
Project Name:
SHIPLEY'S GRANT
 AMENITY PACKAGE
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233, & 19235
 ELECTION DISTRICT NO. 1 HOWARD COUNTY, MARYLAND

Date: 01.15.08	Scale: 1"=10'-0"
Drawn By: AR	Designed By: AR,HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

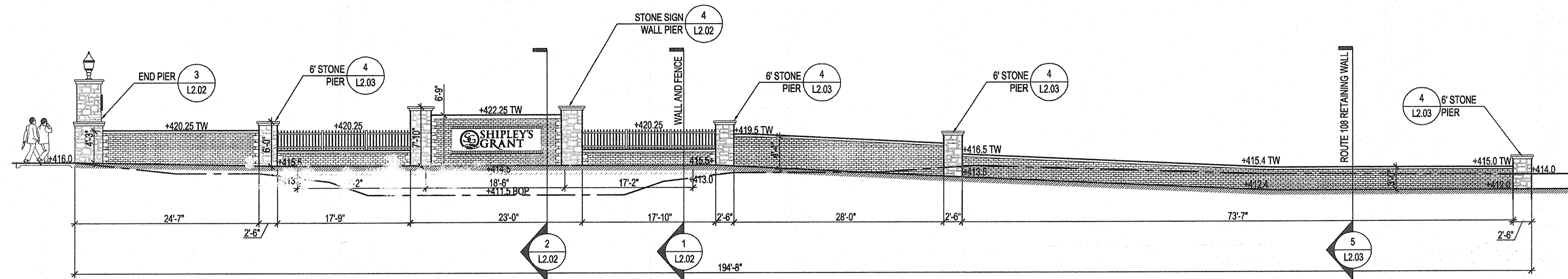
Sheet Title:
OVERLOOK DECK

Sheet Number:
 SHEET 7 OF 14
L1.05

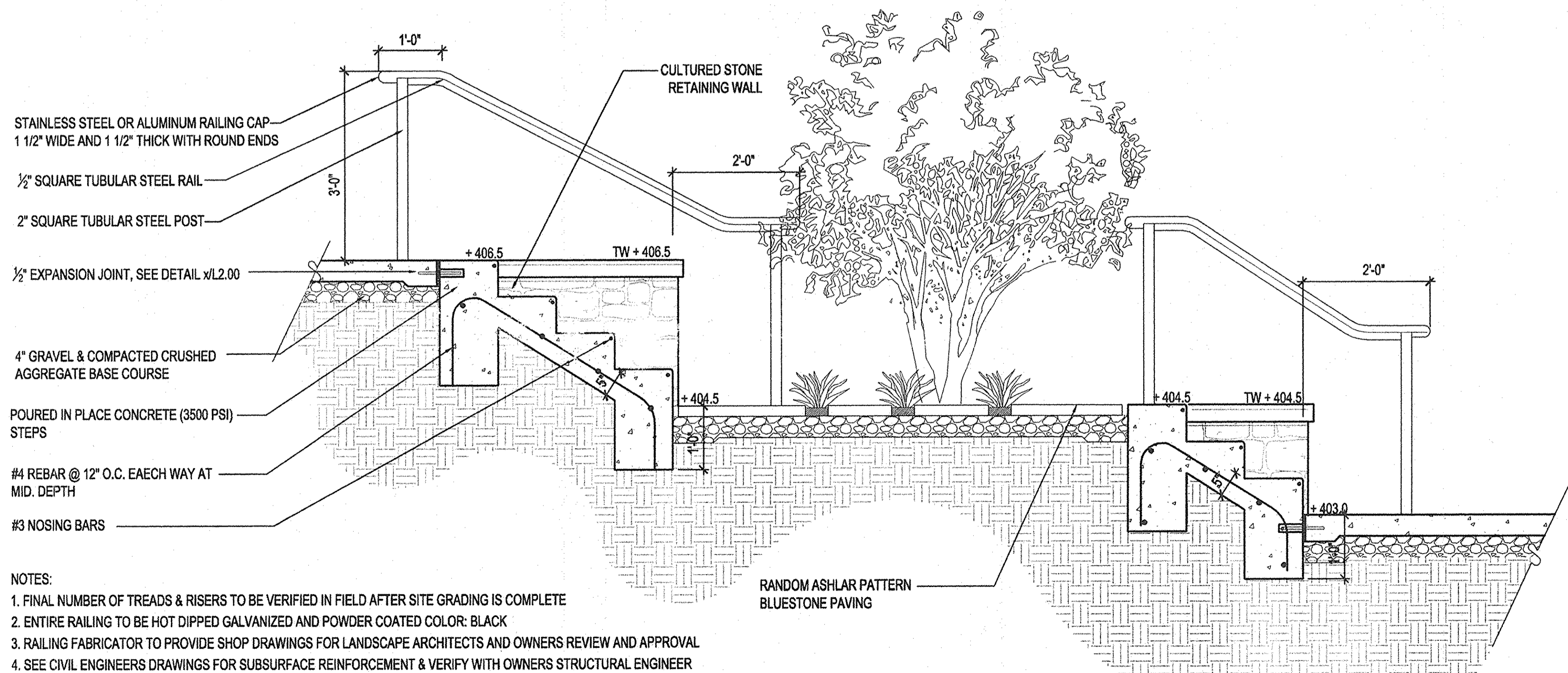
DATE OF MARYLAND SEAL: 1/28/08



1 MAIN NORTHWEST SIGN WALL
ELEVATION SCALE: 3/16"=1'-0"

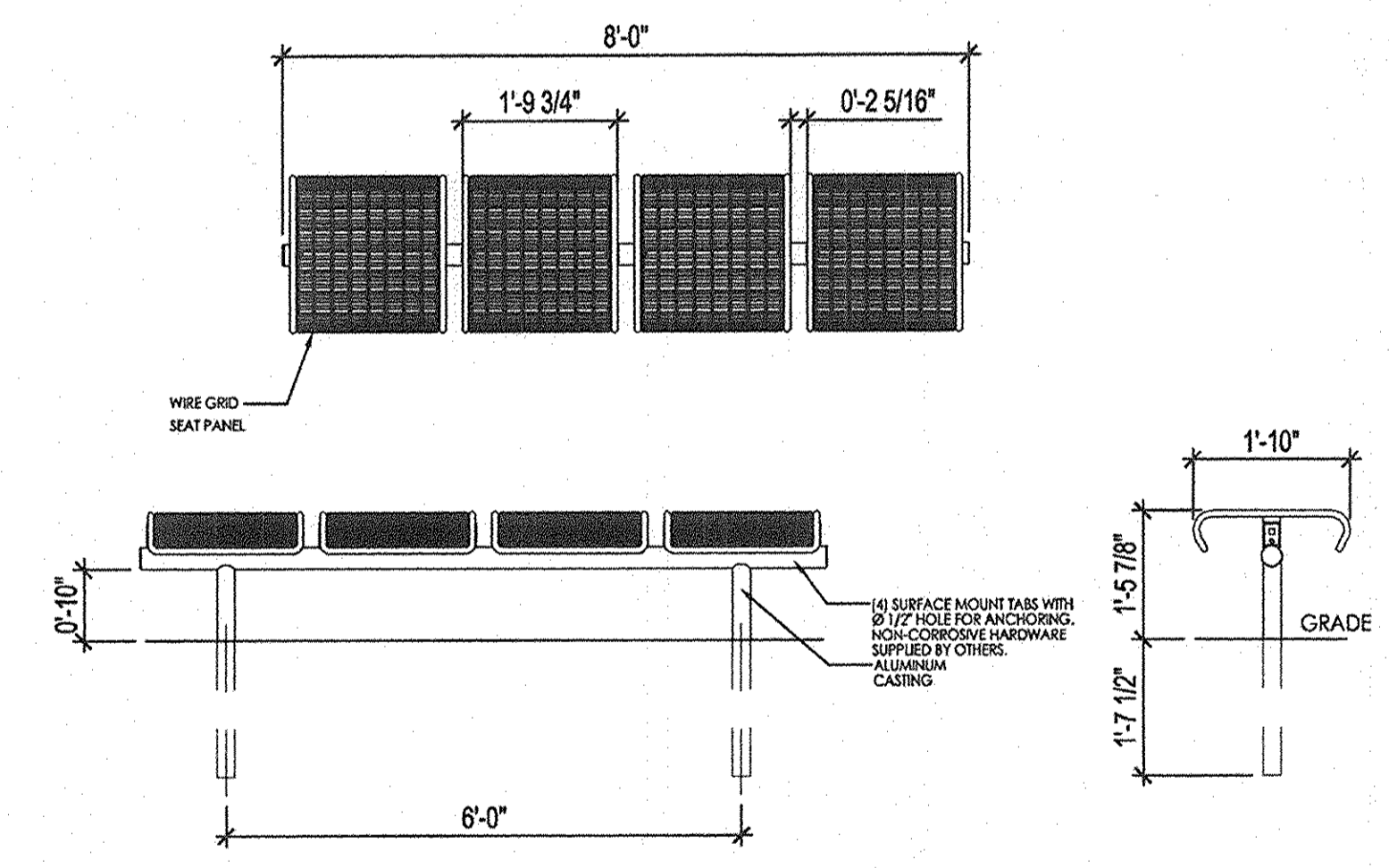


2 MAIN NORTHEAST SIGN WALL
ELEVATION FLATTENED SCALE: 1/8"=1'-0"



- NOTES:
1. FINAL NUMBER OF TREADS & RISERS TO BE VERIFIED IN FIELD AFTER SITE GRADING IS COMPLETE
 2. ENTIRE RAILING TO BE HOT DIPPED GALVANIZED AND POWDER COATED COLOR: BLACK
 3. RAILING FABRICATOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECTS AND OWNERS REVIEW AND APPROVAL
 4. SEE CIVIL ENGINEERS DRAWINGS FOR SUBSURFACE REINFORCEMENT & VERIFY WITH OWNERS STRUCTURAL ENGINEER

3 PARK STEPS
SECTION SCALE: 3/4"=1'-0"



landscapeforms
431 LAWNDALE AVE. PHONE: 800-521-2546 KALAMAZOO, MI 49048 FAX: 269-381-3455
DESIGN GROUP: PLEXUS II
DESCRIPTION: BACKLESS, 4 SEAT STRAIGHT, EMBEDDED, NO ARMS
DIMENSIONS ARE IN INCHES[mm]

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4 POCKET PARK BENCH
PLAN & ELEVATIONS SCALE: 1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Janice L. Langley* Date: 2/8/08
Chief, Division of Land Development and Research: *Cindy K. Brown* Date: 2/8/08
Chief, Development Engineering Division: *John W. Williams* Date: 1/22/08

EDSA
60 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
LCC000001
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

Rev:	Date:	Description:	By:
1			
2			
3			
4			
5			

Prepared for and Owner:
BOZZUTO HOMES, INC.
7850 WALKER DRIVE SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL - 301-623-1525
Parcel A Owner:
SHIPLEY'S GRANT RETAIL LLC
BAVAR PROPERTIES GROUP
1968 GREENSPRING DRIVE SUITE 508
LUTHERVILLE TIMONUM, MD 21088
ATTN: ROBERT BAVA* - 410-560-0300

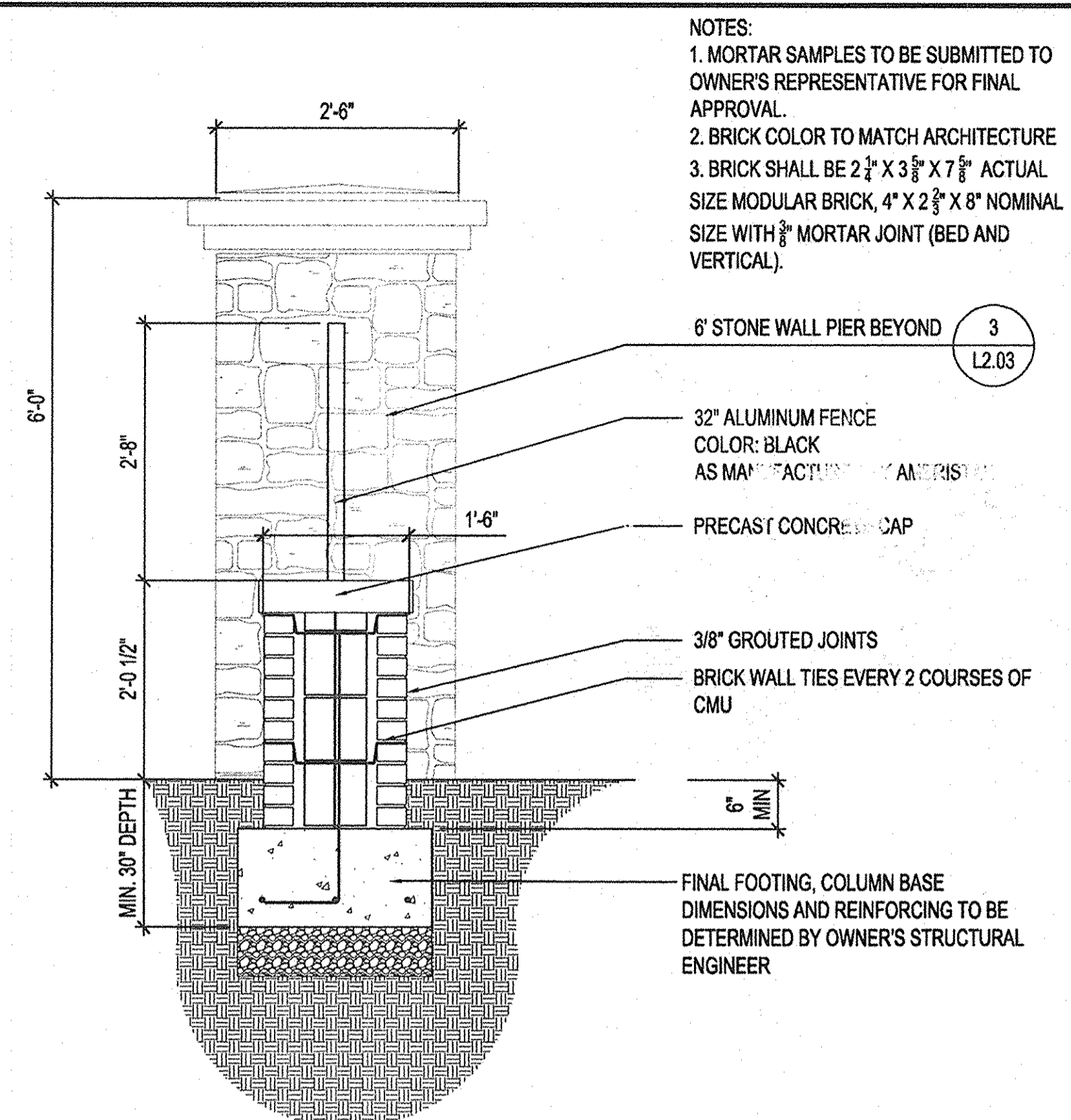
Project Name:
SHIPLEY'S GRANT
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233 & 19235
ELECTION DISTRICT NO.1 HOWARD COUNTY, MARYLAND

Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR, HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

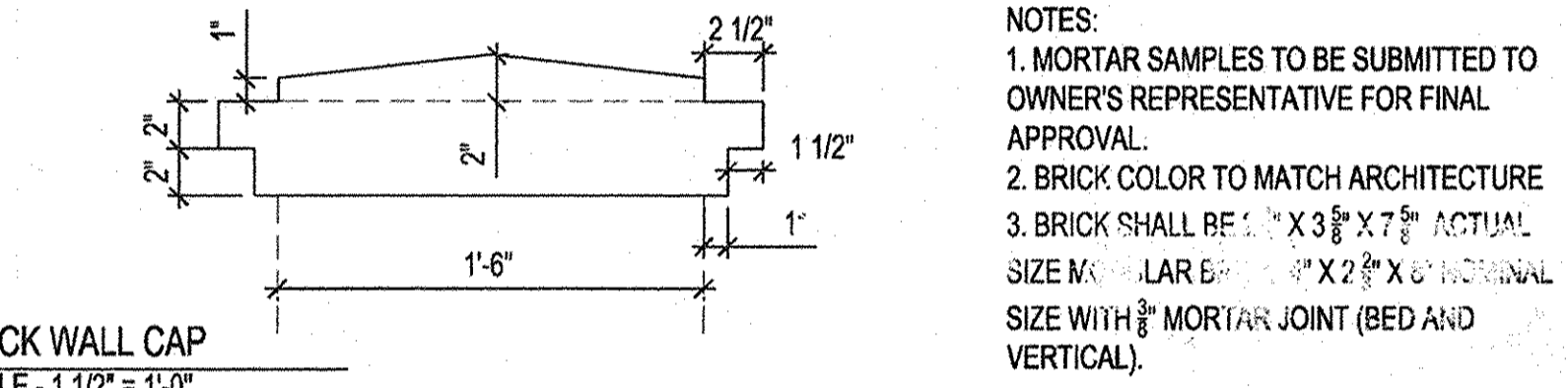
Sheet Title:
HARDSCAPE DETAILS

Sheet Number:
SHEET 8 OF 14
L2.01

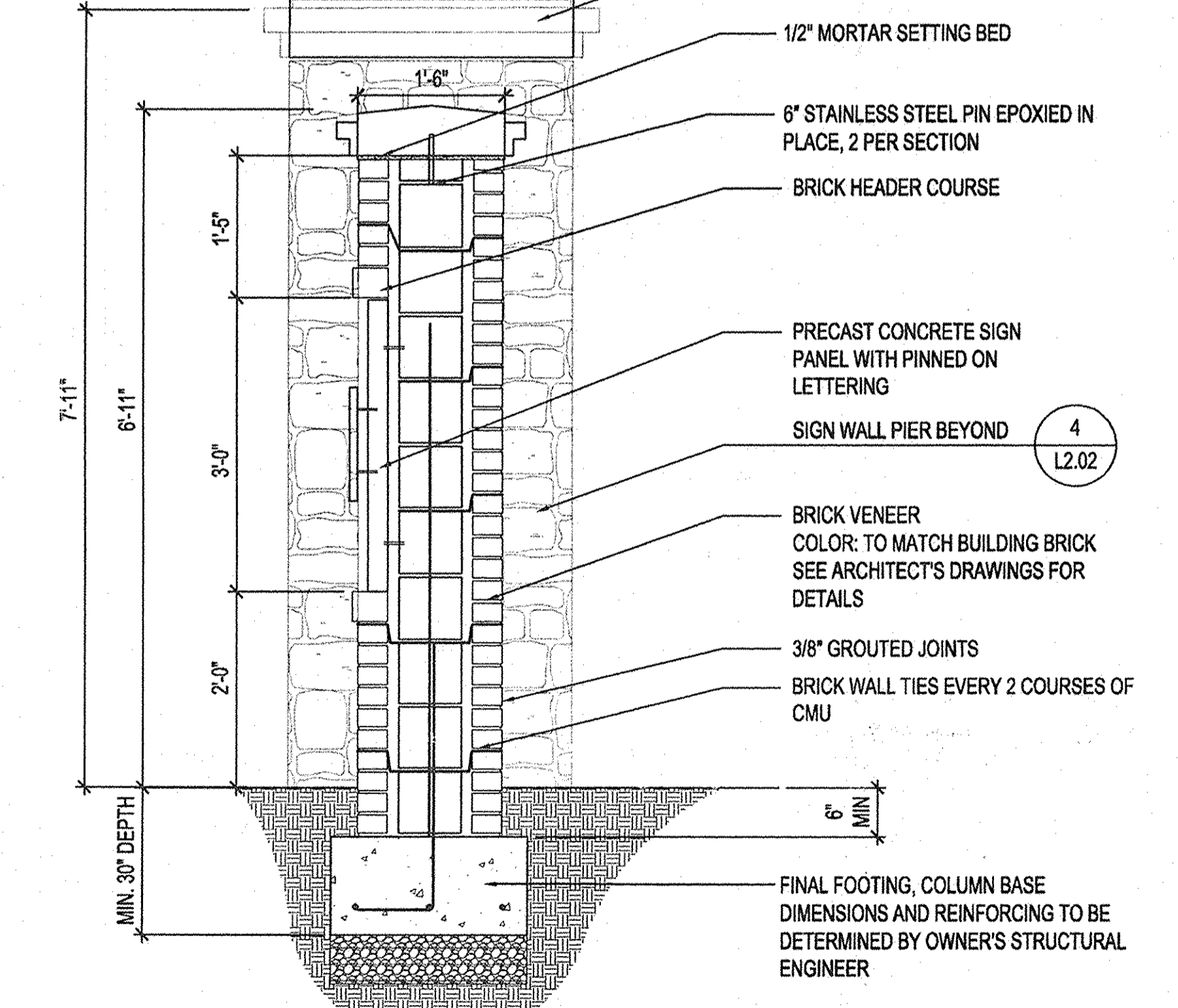
STATE OF MARYLAND
1/15/08



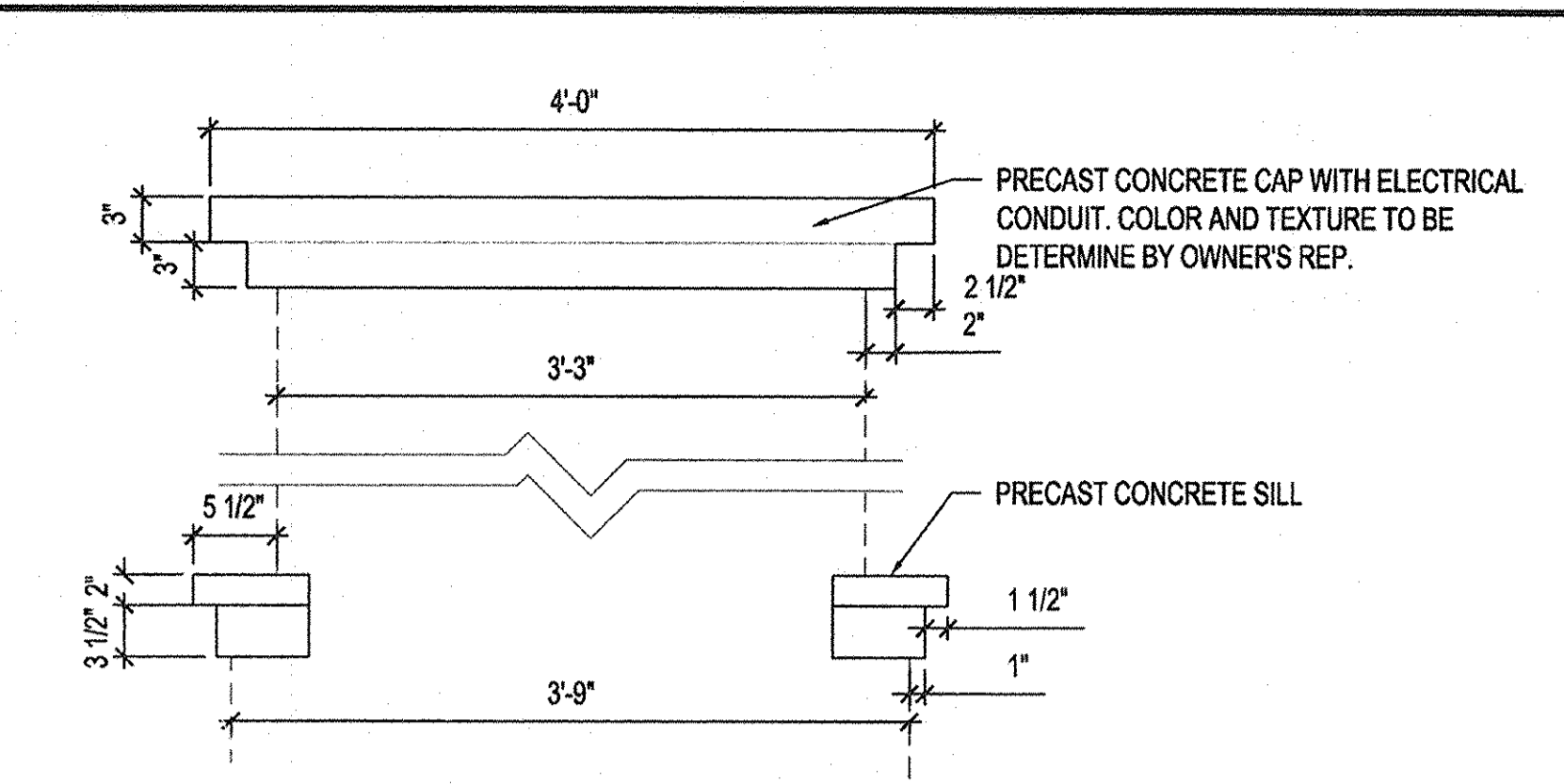
1 WALL AND FENCE
SECTION
SCALE: 3/4"=1'-0"



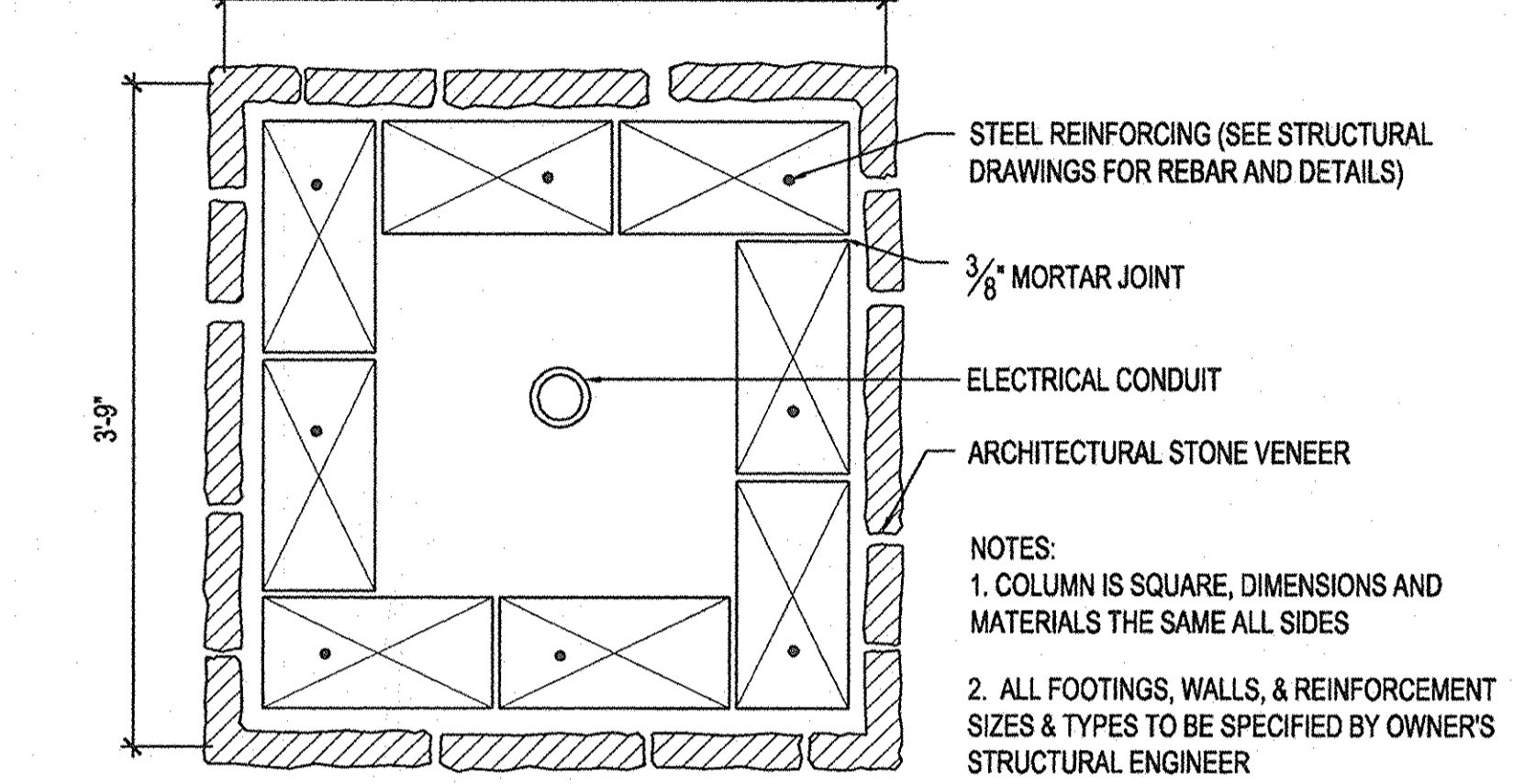
BRICK WALL CAP
SCALE: 1 1/2"=1'-0"



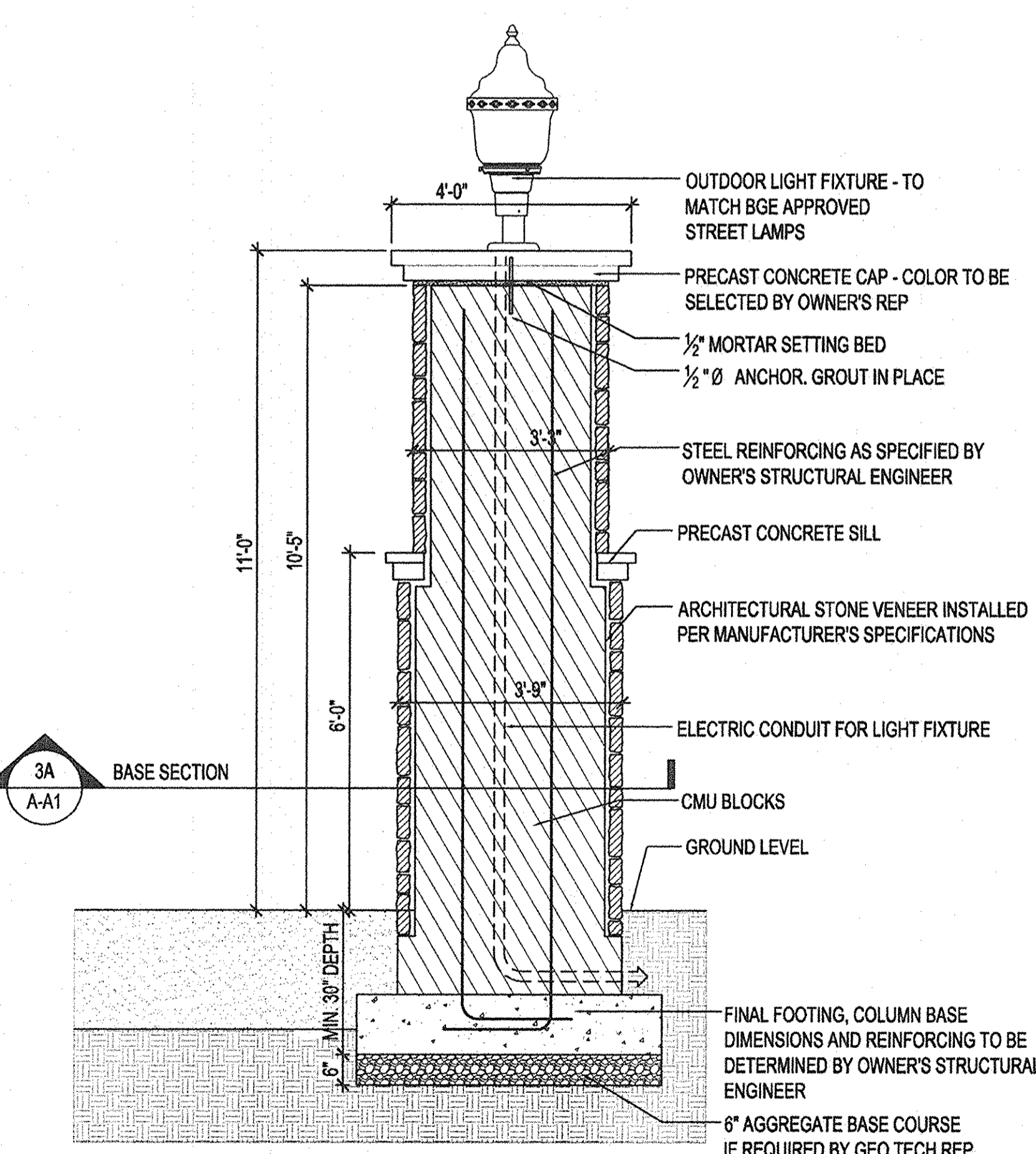
2 BRICK SIGN WALL
SECTION
SCALE: 3/4"=1'-0"



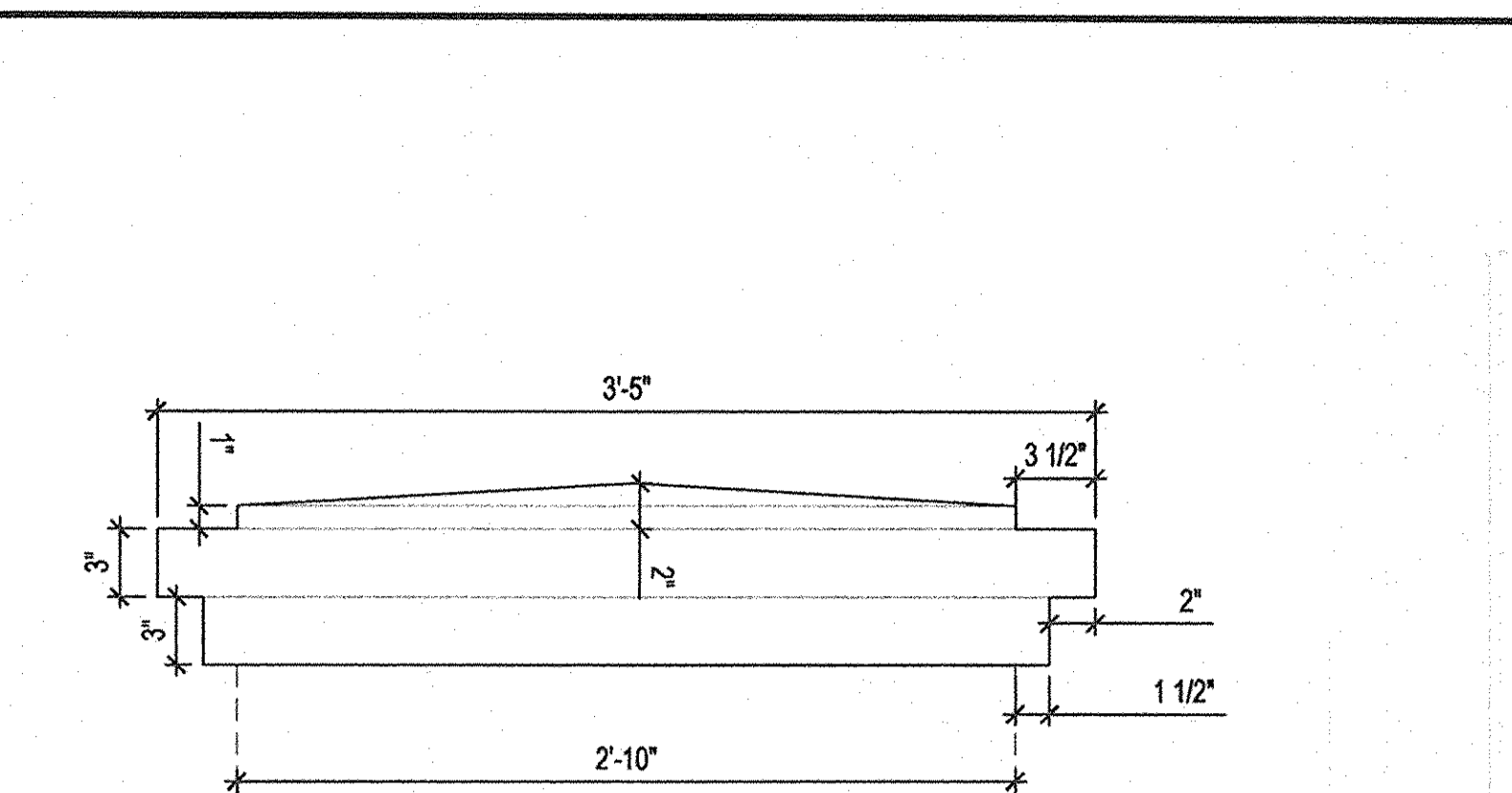
3A SECTION A-A1 - END PIER BASE
SECTION
SCALE: 1"=1'-0"



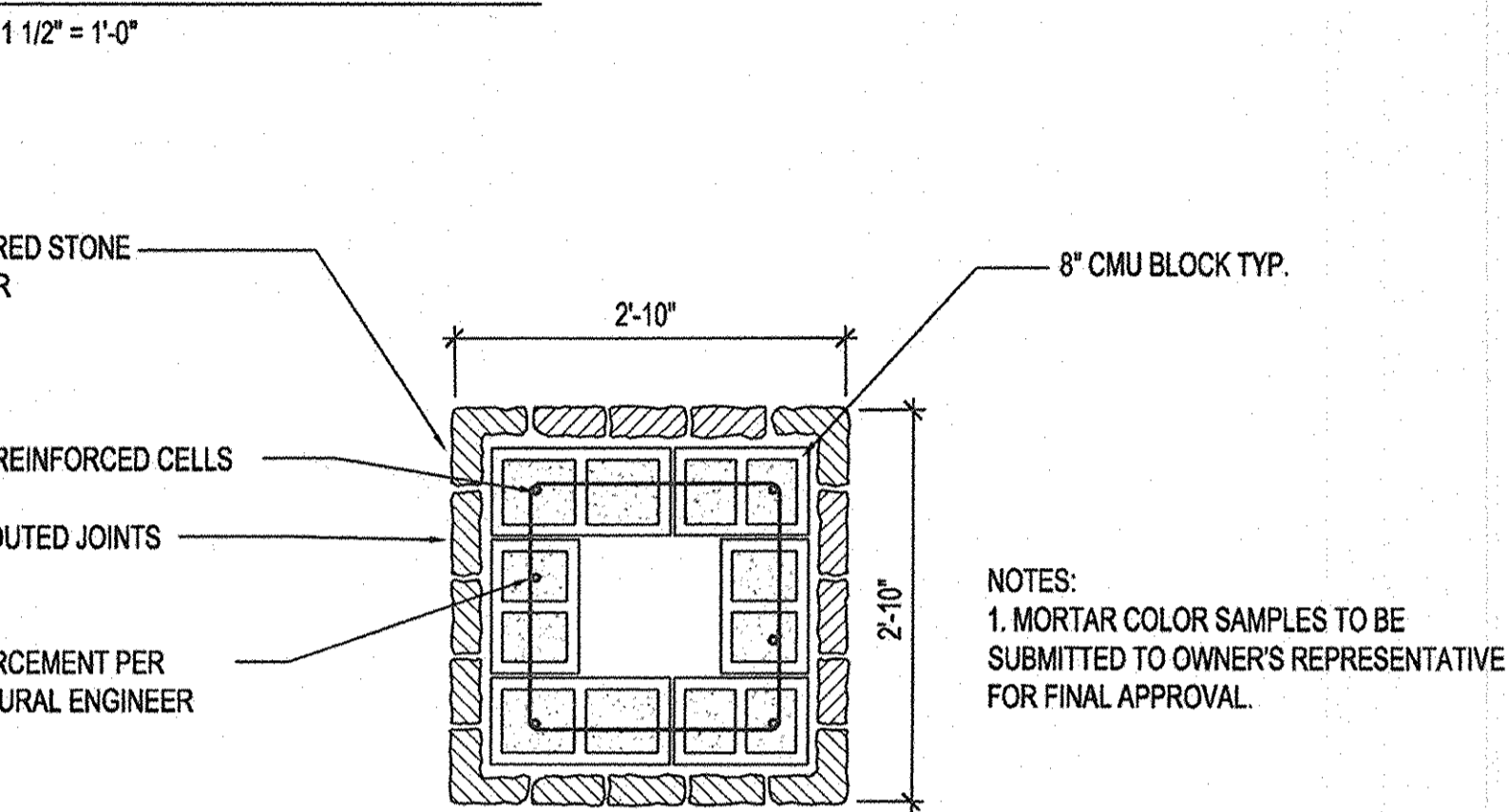
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SECTION
SCALE: 1"=1'-0"



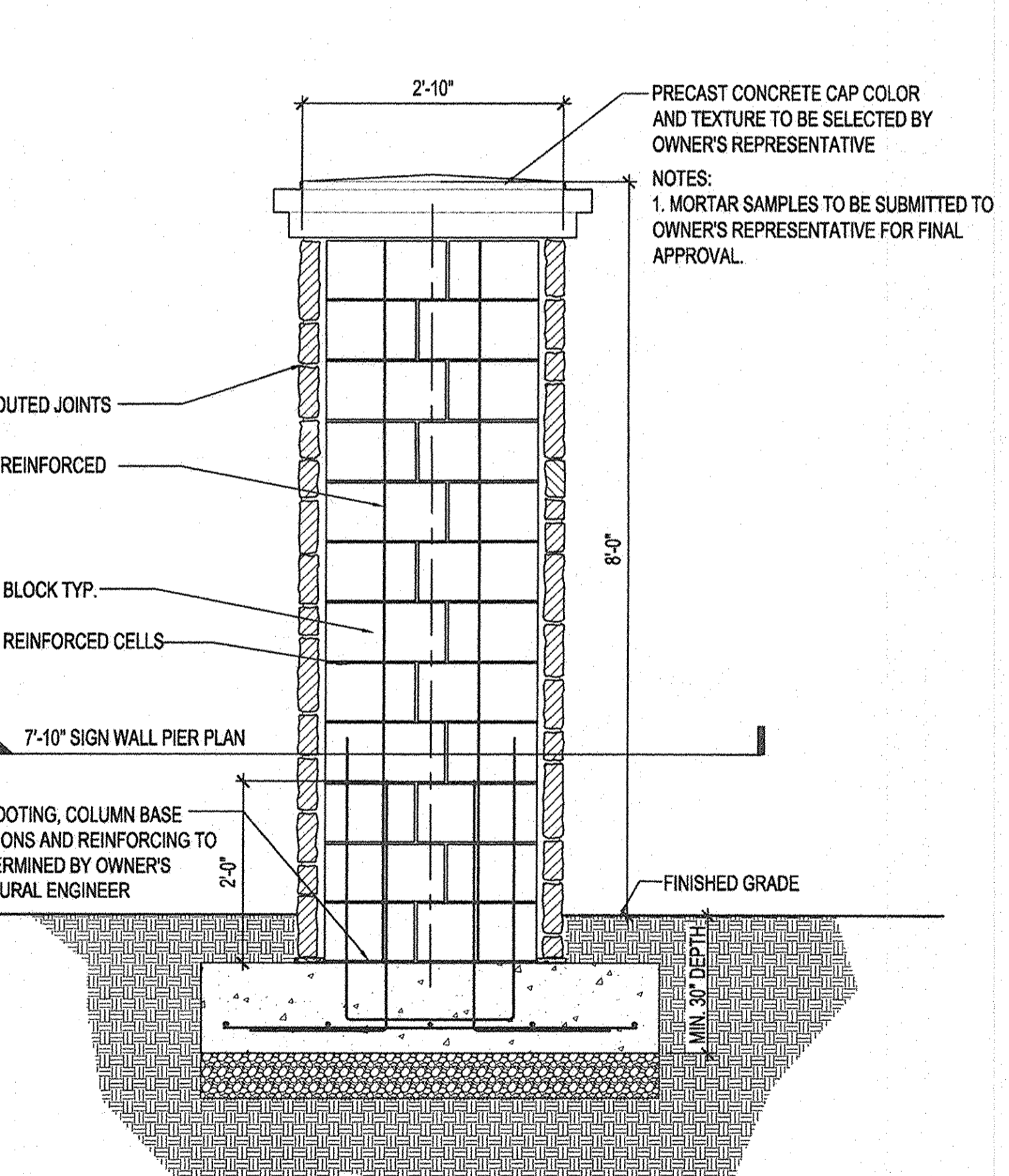
3 END PIER
SECTION
SCALE: 1/2"=1'-0"



4A SIGN WALL PIER
PLAN
SCALE: 3/4"=1'-0"



4A SIGN WALL PIER
SECTION
SCALE: 3/4"=1'-0"



4 SIGN WALL PIER
SECTION
SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 2/15/08
 Chief, Division of Land Development and Research: *[Signature]* Date: 2/15/08
 Chief, Development Engineering Division: *[Signature]* Date: 1/23/08

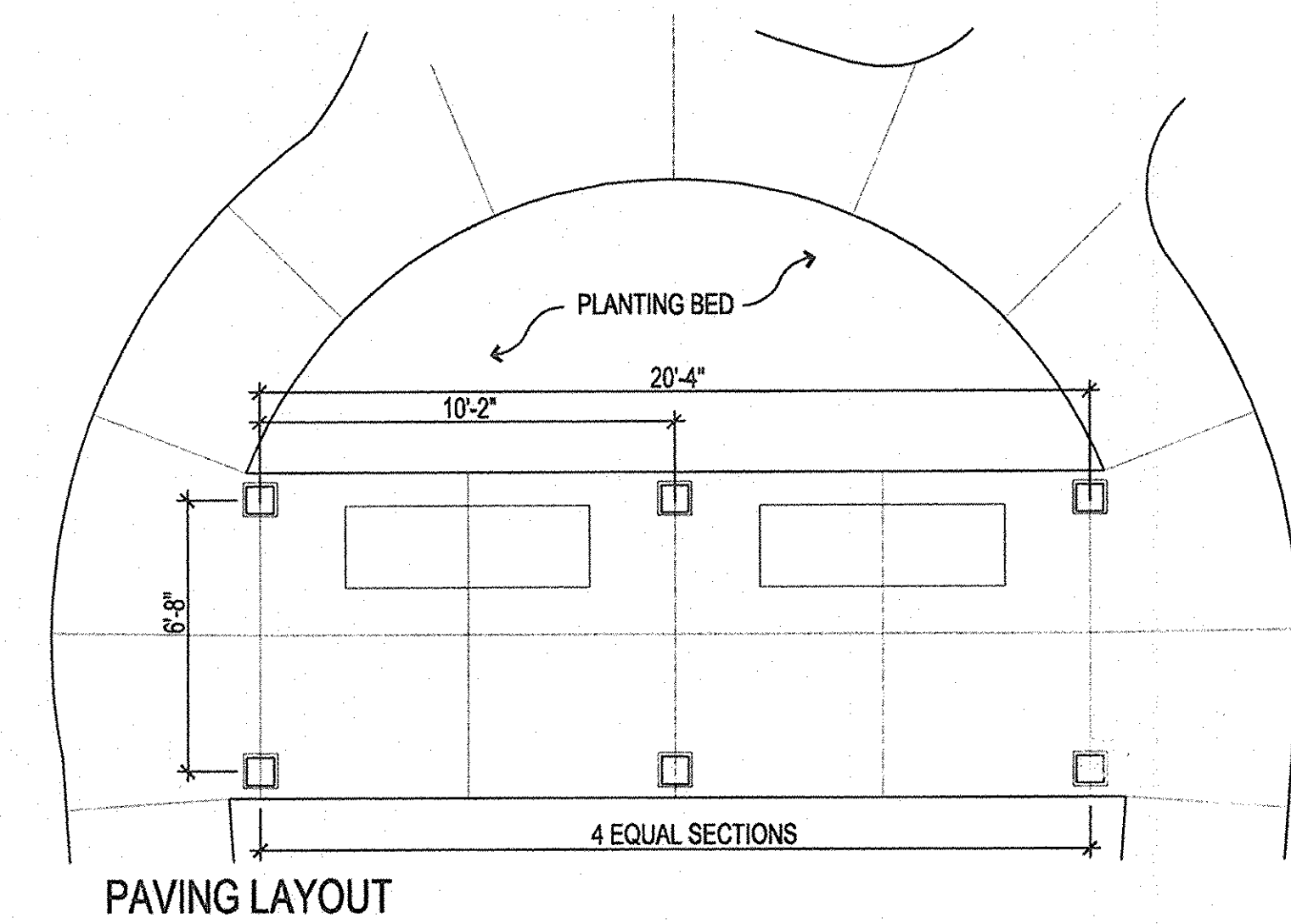
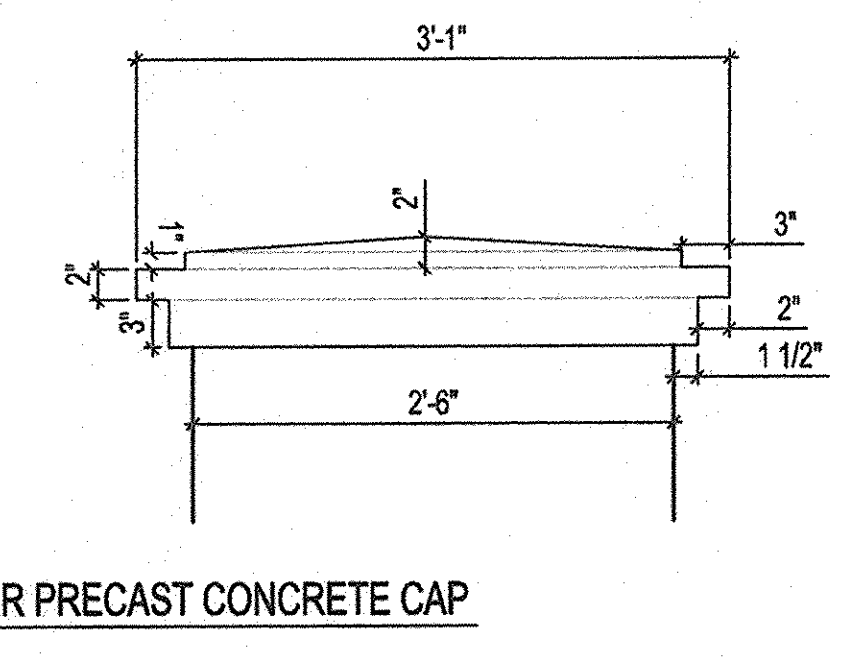
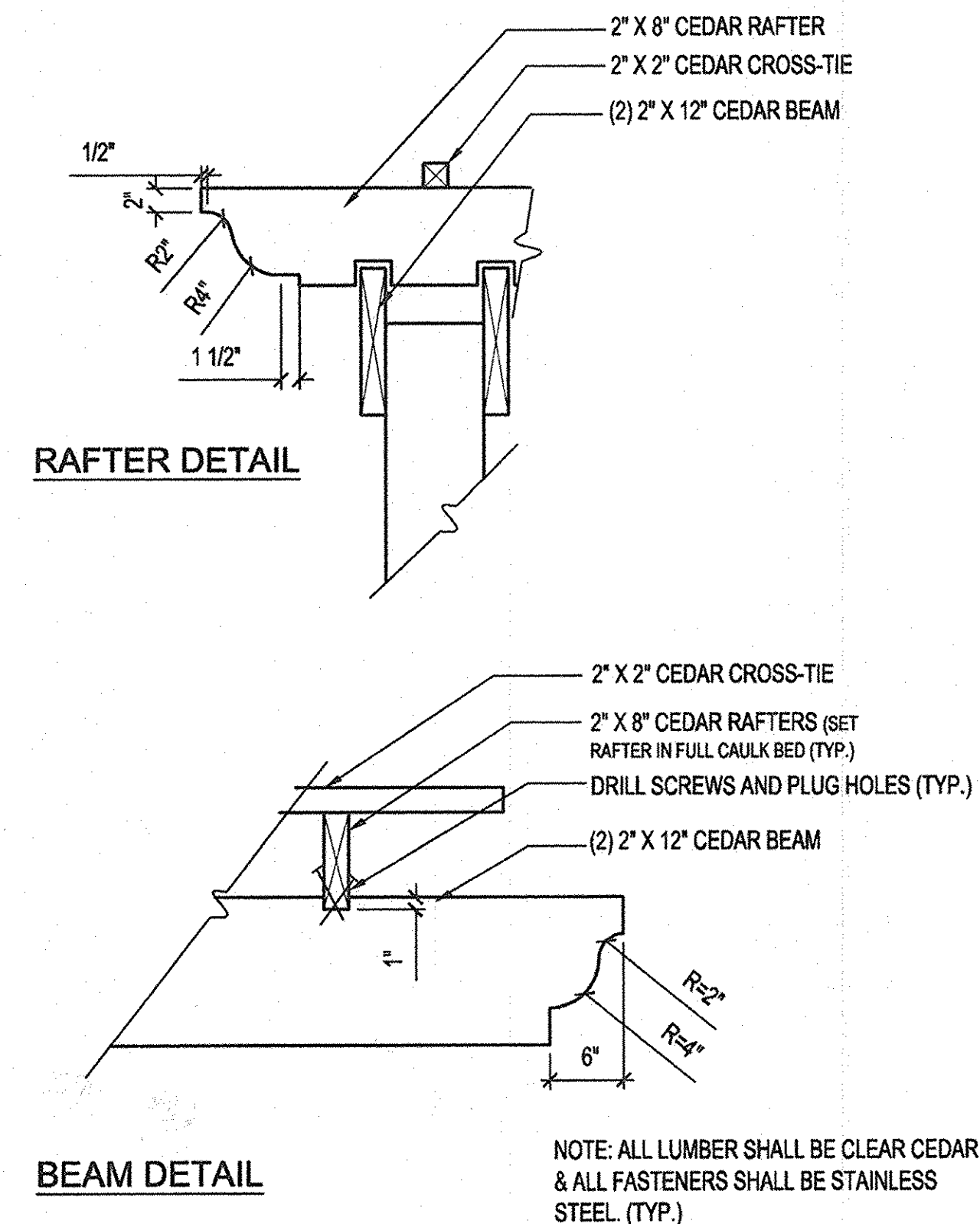
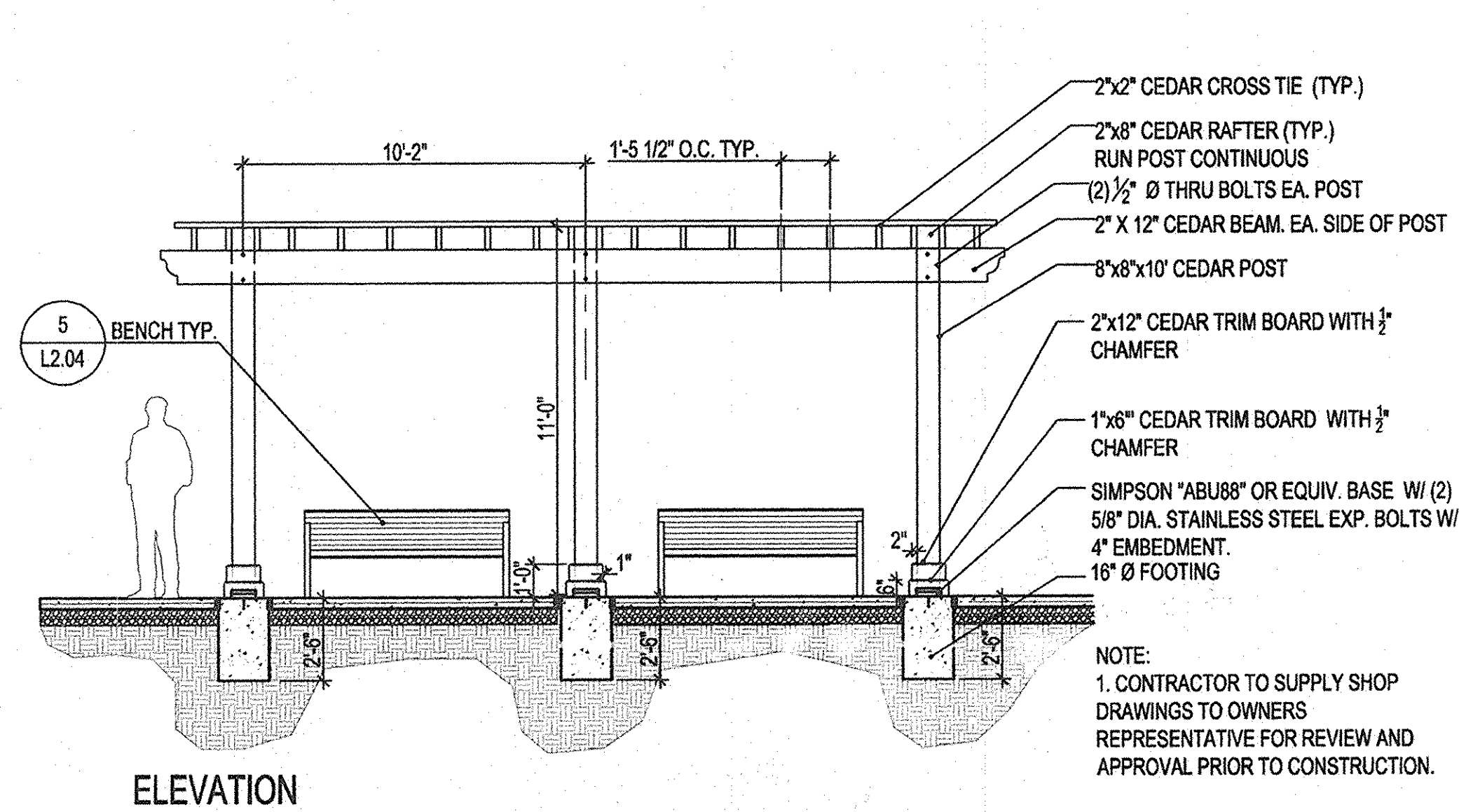
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 60 CORPORATE CENTER
 10490 LITTLE PATUXENT PARKWAY, SUITE 200
 COLUMBIA, MARYLAND 21044 USA
 TEL: 443.539.3350
 LCC000201

Rev.	Date	Description	By	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL-301-623-1525
2				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1966 GREENSPRING DRIVE SUITE 508 LUTHERVILLE TIMONIUM, MD 21093 ATTN: ROBERT BAVAR-410-560-0300

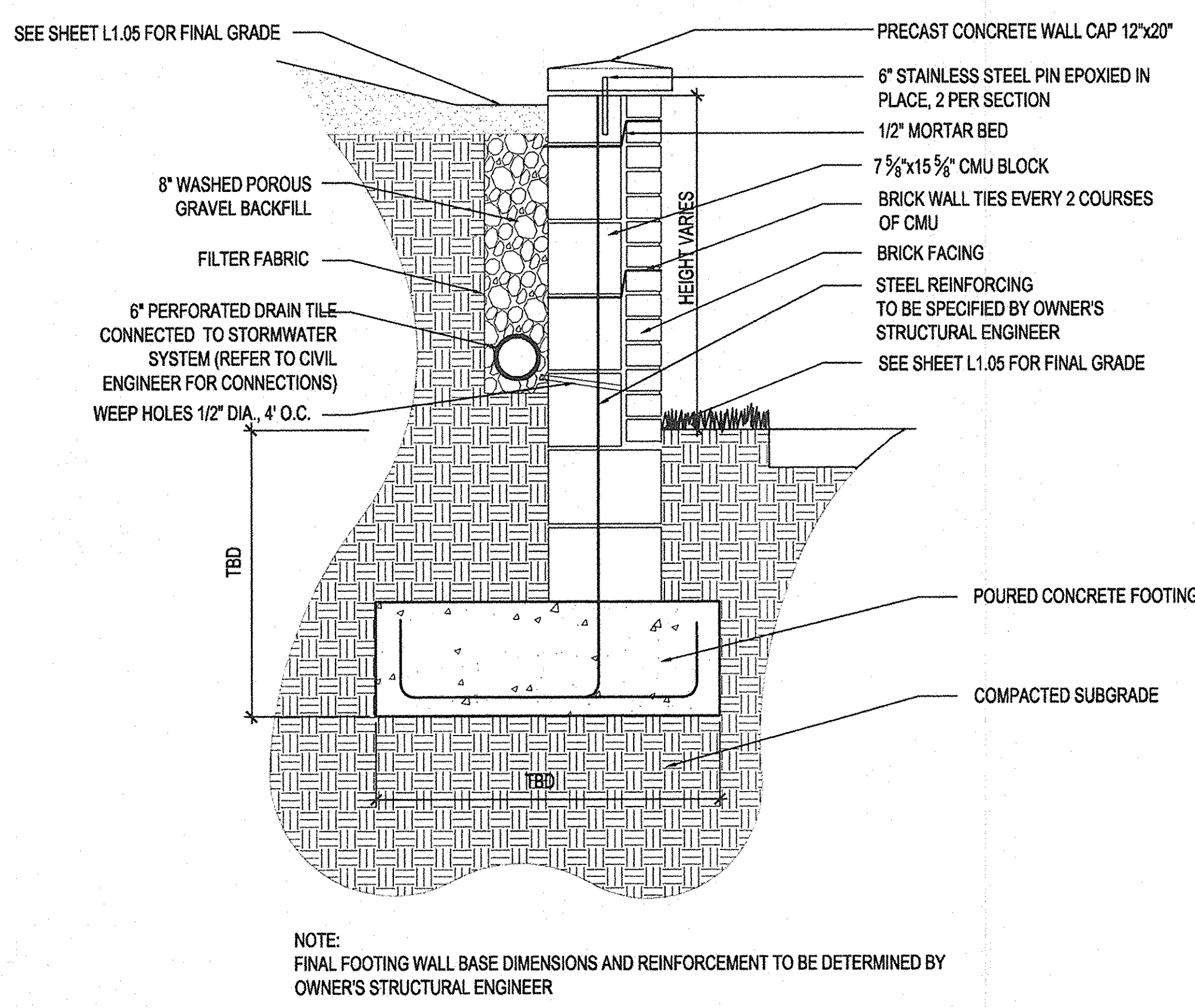
Project Name: **SHIPLEY'S GRANT AMENITY PACKAGE**
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233 & 19235
 HOWARD COUNTY, MARYLAND

Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR, HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

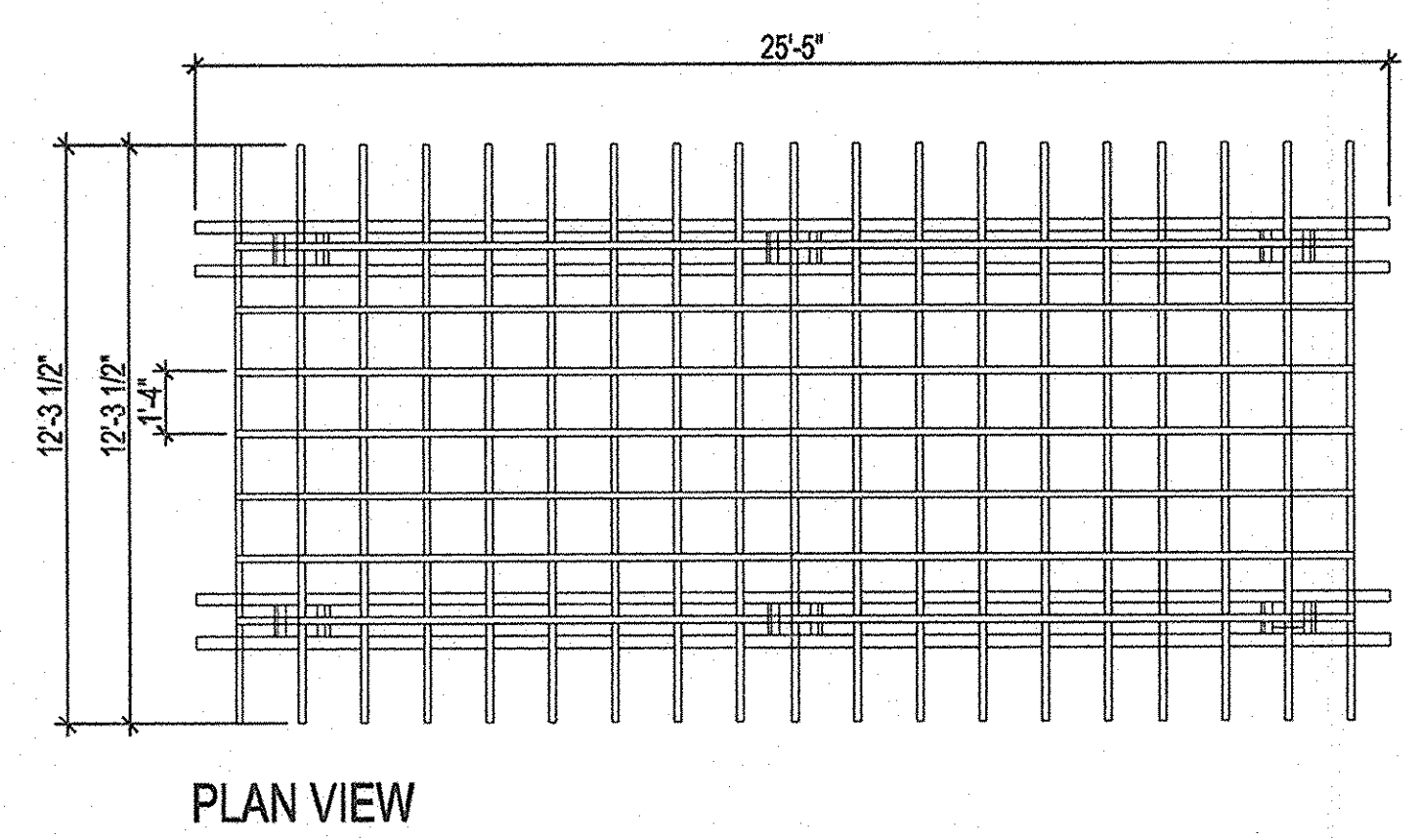
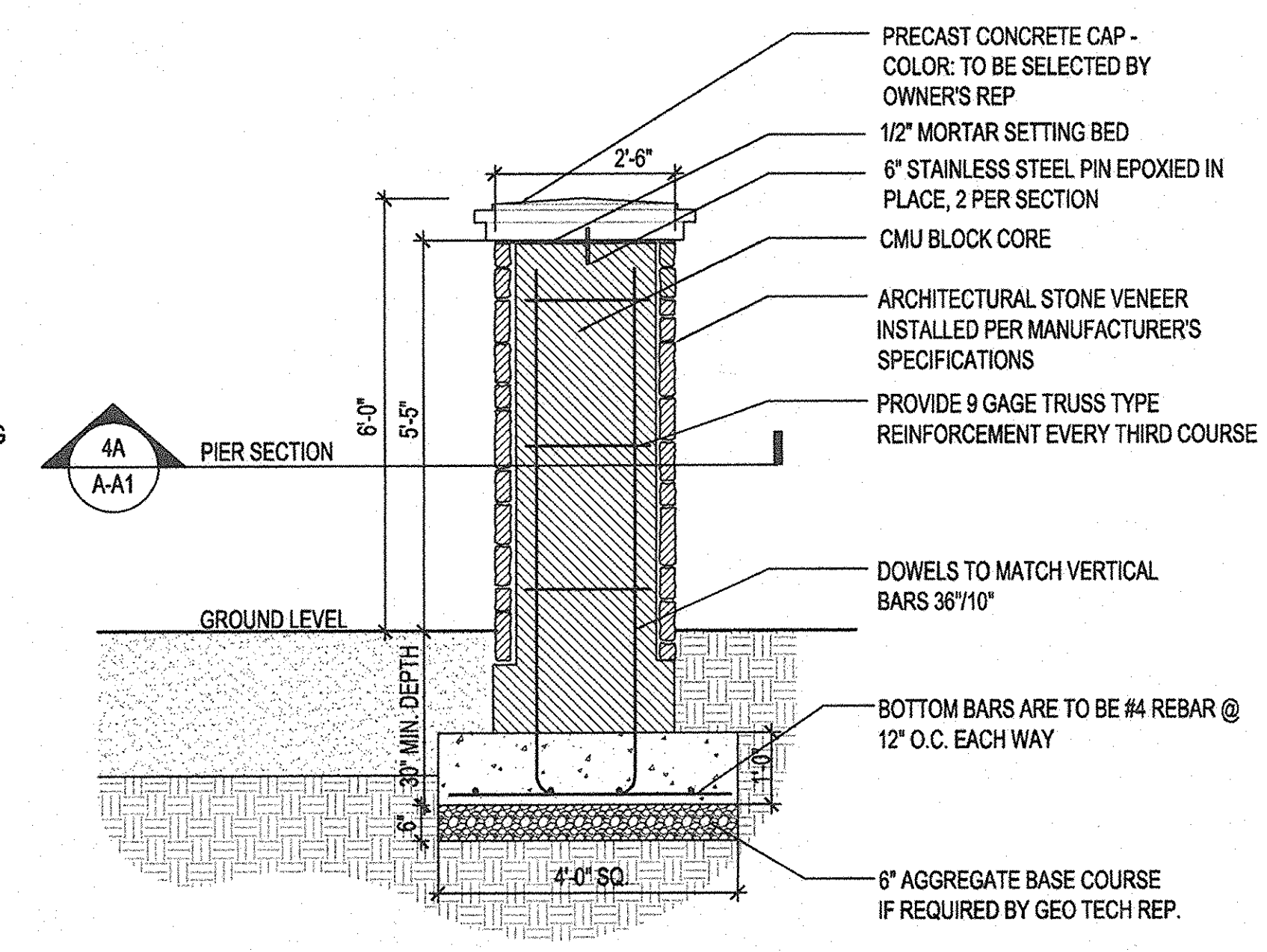
Sheet Title: **HARDSCAPE DETAILS ENTRANCE SIGNAGE**
 SHEET 9 OF 14
L2.02
 SHEET NUMBER: **L2.02**



2 TRELLIS MEMBERS D-5371-TRELLIS-MEM.dwg SCALE: 1"=1'-0"



4A SECTION A-A1 - 6' STONE PIER BASE SCALE: 1"=1'-0"



1 TRELLIS D-5371-TRELLIS SCALE: 1/4"=1'-0"

3 ROUTE 108 RETAINING WALL d-5371-retaining wall.dwg SCALE: 1"=1'-0"

4 6' STONE PIER d-5371-small_pier_section.dwg SCALE: 1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Deborah D. Lyght* Date: 2/8/08
 Chief, Division of Land Development and Research: *Carolee K. Smith* Date: 2/18/08
 Chief, Development Engineering Division: *Michael J. ...* Date: 1/22/08

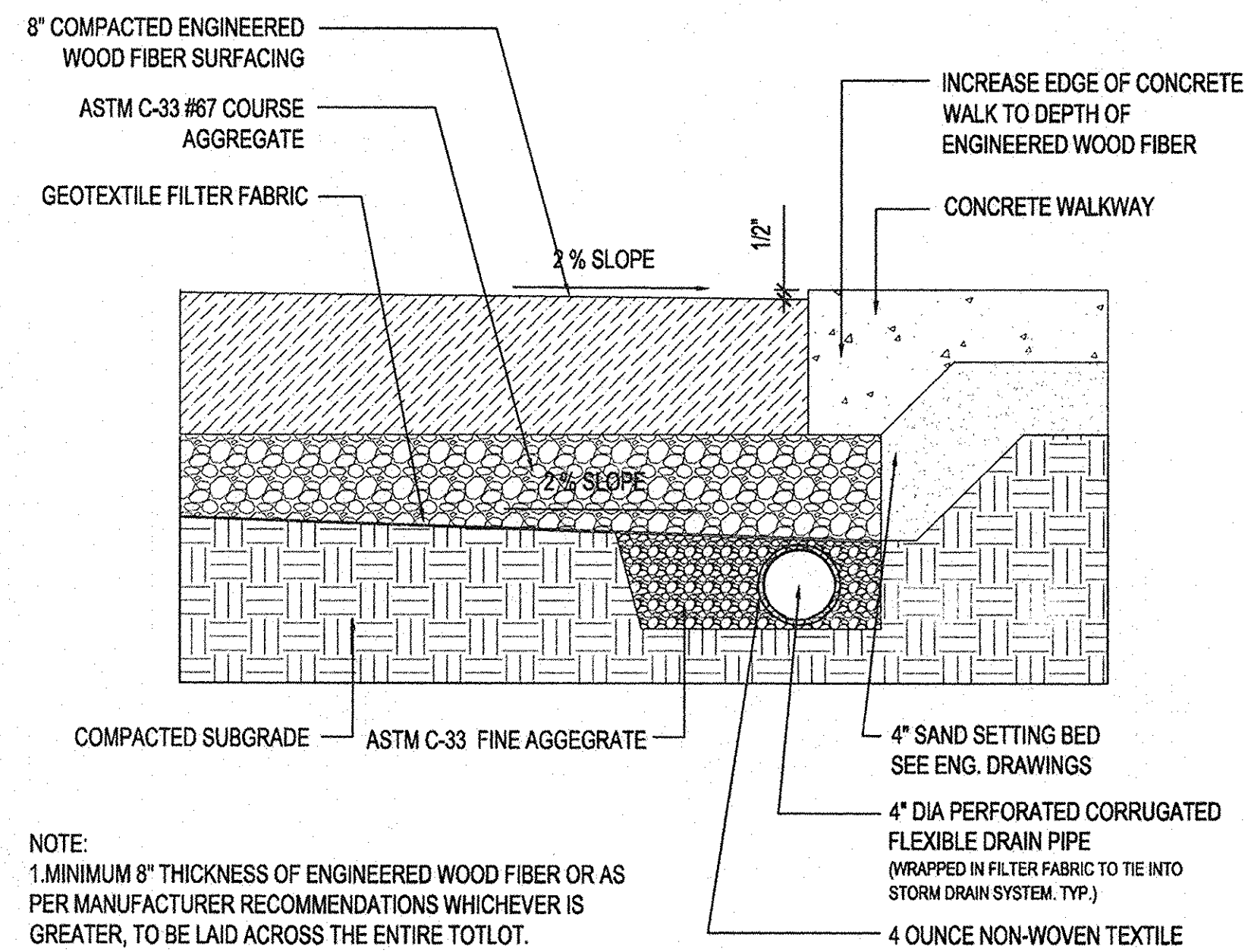
EDSA
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 60 CORPORATE CENTER
 10490 LITTLE PATUXENT PARKWAY, SUITE 200
 COLUMBIA, MARYLAND 21044 USA
 TEL: 443.539.3350
 LC02060301

Rev.	Date:	Description:	By:	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL-301-623-1525
2				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1988 GREENSPRING DRIVE SUITE 508 LUTHERVILLE TIMONIUM, MD 21088 ATTN: ROBERT BAVAR - 410-560-0300

Project Name: **SHIPLEY'S GRANT**
 AMENITY PACKAGE
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233 & 19235
 ELECTION DISTRICT NO.1 HOWARD COUNTY, MARYLAND

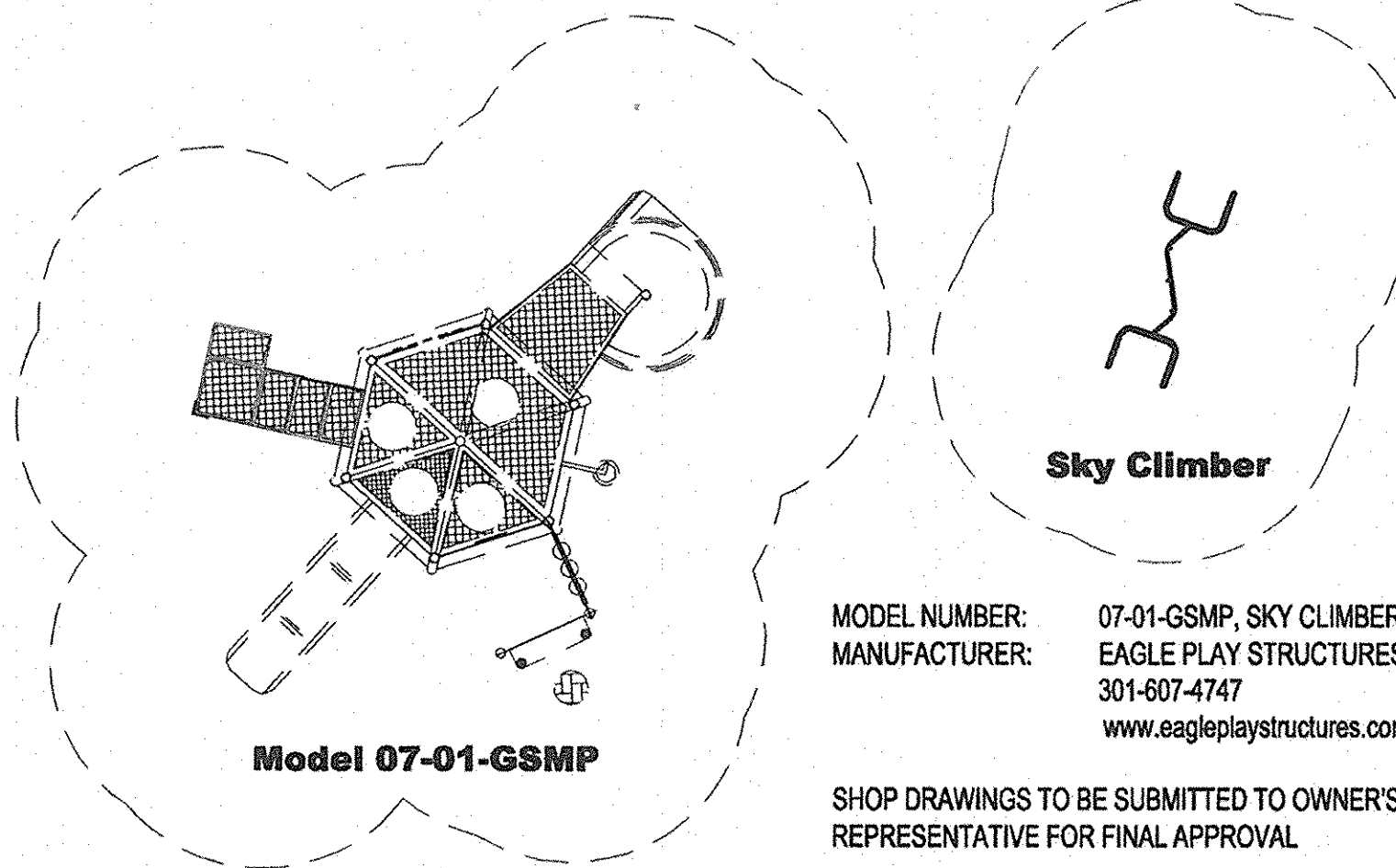
Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR, HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

Sheet Title: **HARDSCAPE DETAILS ENTRANCE SIGNAGE**
 SHEET 10 OF 14
L2.03
 SHEET NUMBER: 11/5/08



NOTE:
1. MINIMUM 8\"/>

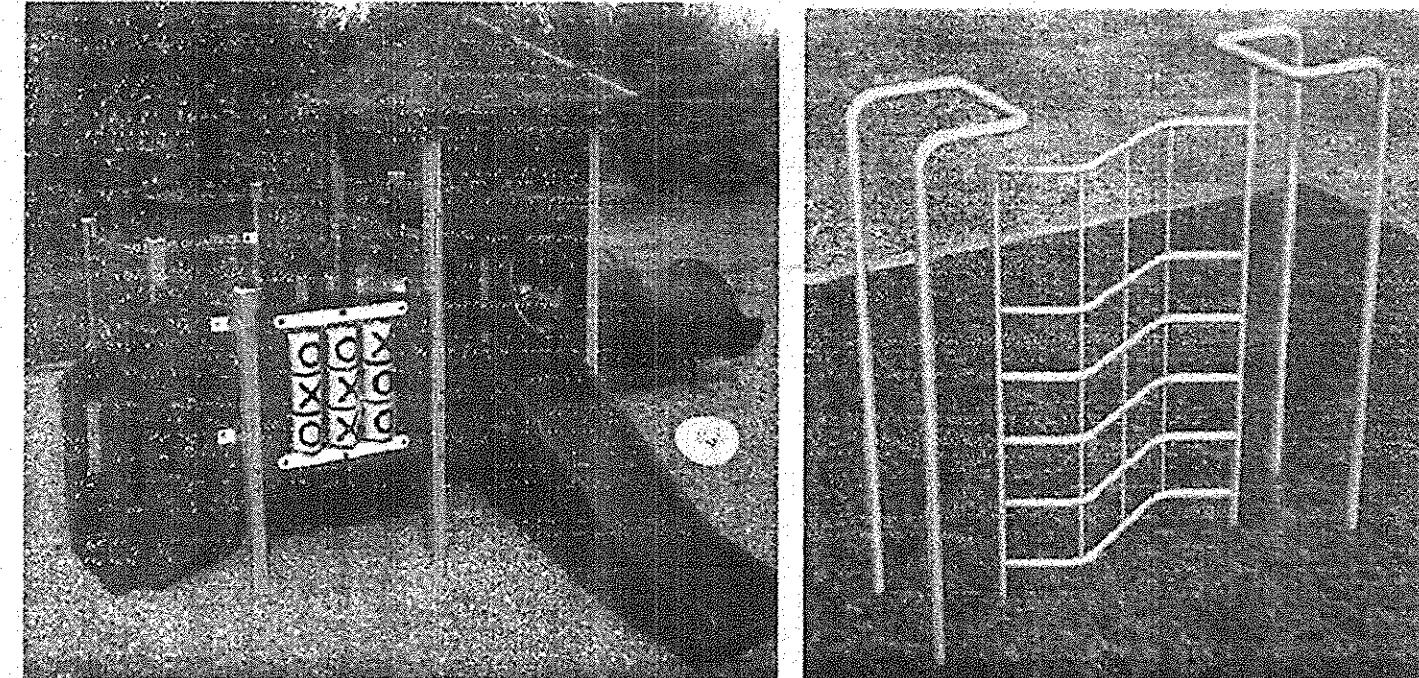
1 ENGINEERED WOOD FIBER SURFACING
SECTION SCALE: 1 1/2\"/>



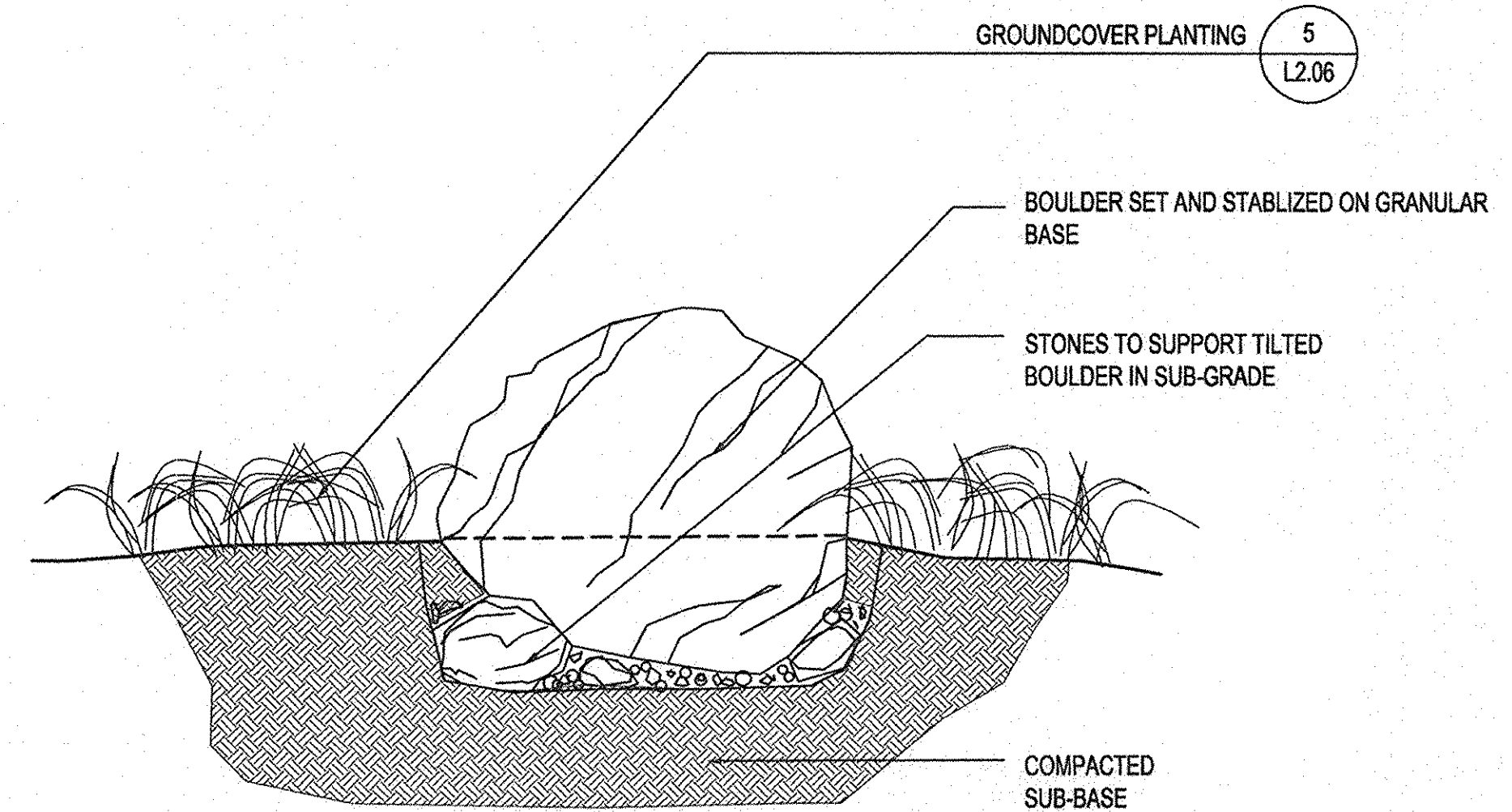
MODEL NUMBER: 07-01-GSMP, SKY CLIMBER
MANUFACTURER: EAGLE PLAY STRUCTURES
301-607-4747
www.eagleplaystructures.com

SHOP DRAWINGS TO BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR FINAL APPROVAL

FINAL STRUCTURAL DESIGN INSTALLATION TO BE PROVIDED BY MANUFACTURER.

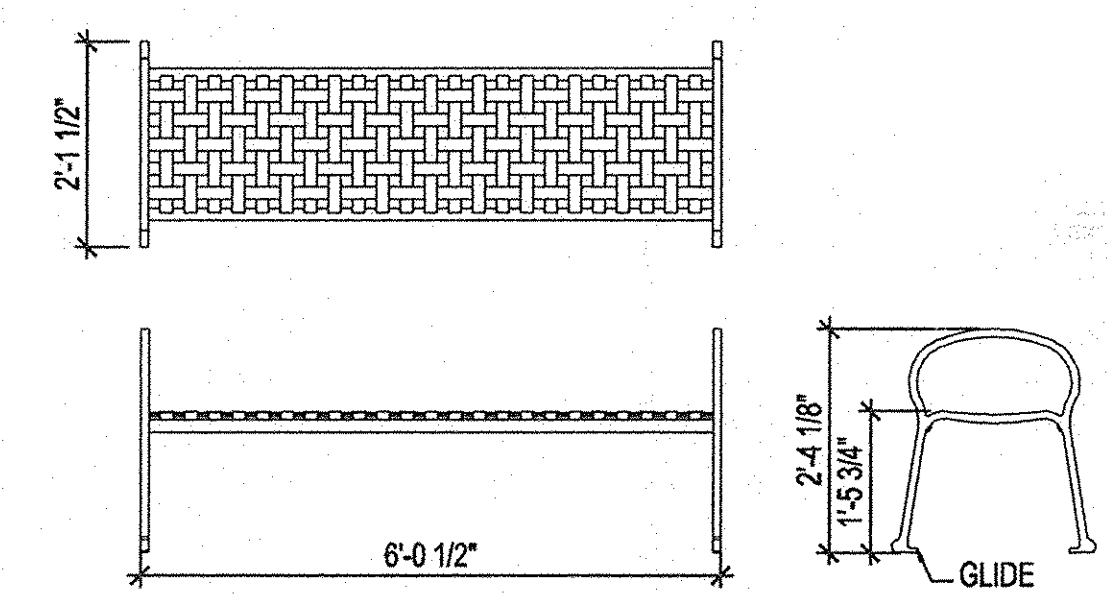


2 TOT LOT EQUIPMENT
d-5371-TOTLOT SCALE: NTS



NOTE: ALL BOULDERS TO BE SET IN GROUND UNDER LANDSCAPE ARCHITECT'S OBSERVATION CONTRACTOR TO USE CHAIN WRAPPED IN BURLAP TO PROTECT BOULDERS FROM DAMAGES.

3 BOULDER AROUND POND
d-5371-boulder SCALE: 1\"/>

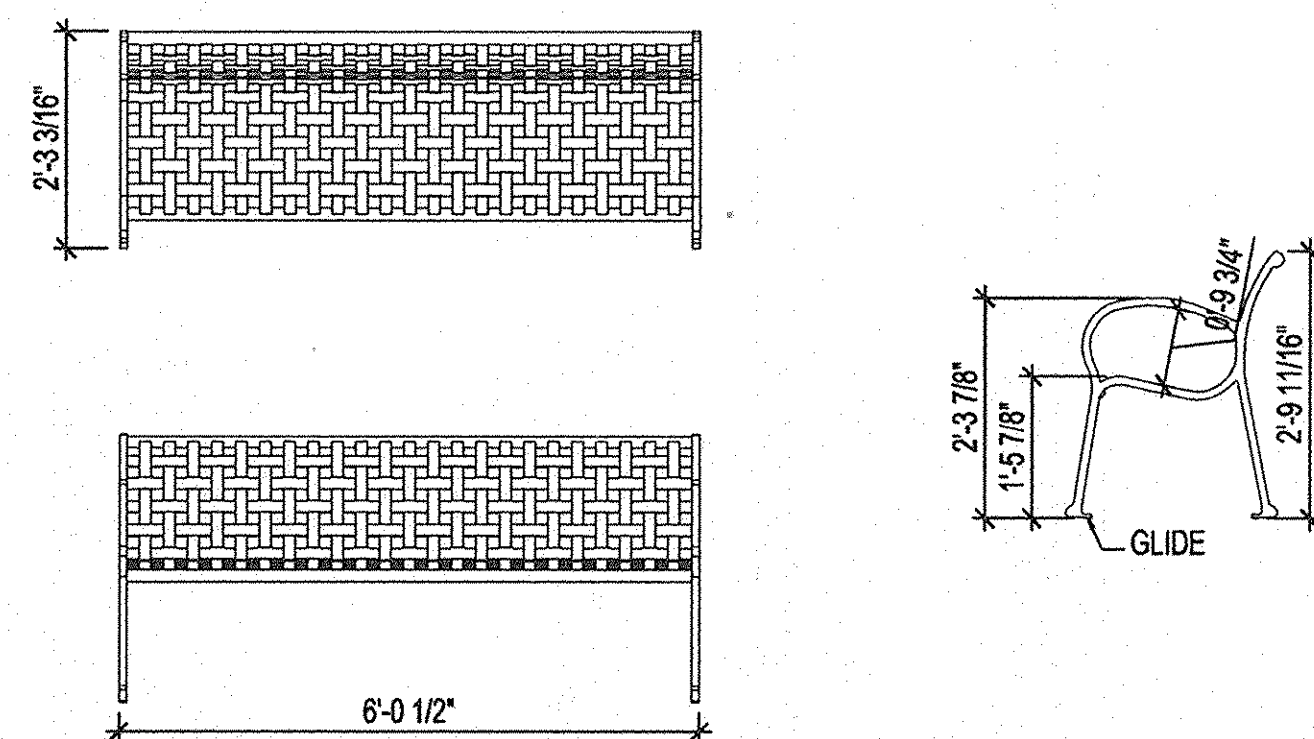


landscapeforms
431 LAWINDALE AVE.
PHONE: 800-521-2546
KALAMAZOO, MI 49048
FAX: 269-381-3455

TITLE: SCARBOROUGH 72\"/>

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4 BACKLESS BENCH
PLAN & ELEVATIONS D_ST-Bench.dwg SCALE: 1/2\"/>

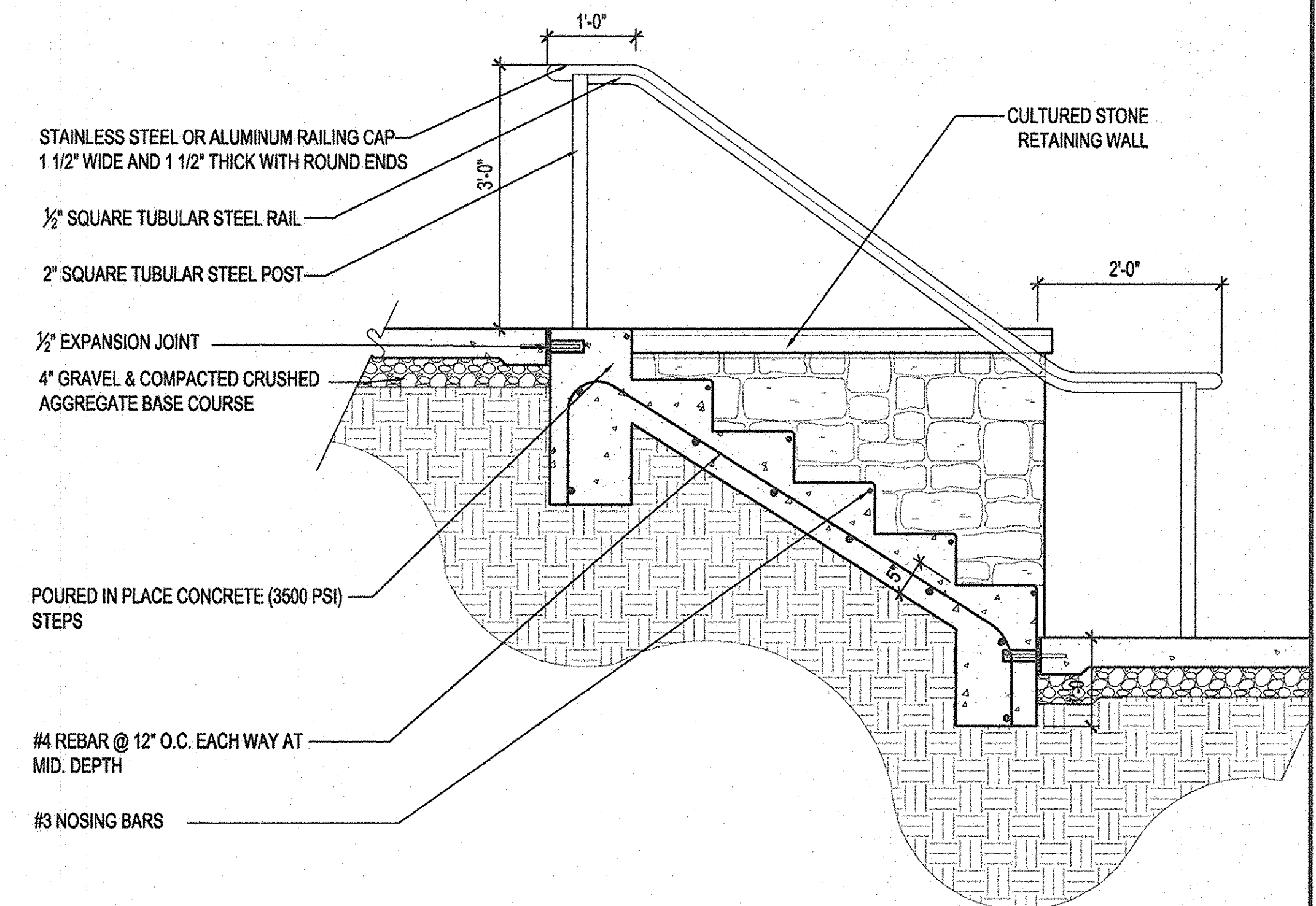


landscapeforms
431 LAWINDALE AVE.
PHONE: 800-521-2546
KALAMAZOO, MI 49048
FAX: 269-381-3455

TITLE: SCARBOROUGH 72\"/>

CONFIDENTIAL DRAWING INFORMATION CONTAINED HEREIN IS THE PROPERTY OF LANDSCAPE FORMS, INC. INTENDED USE IS LIMITED TO DESIGN PROFESSIONALS SPECIFYING LANDSCAPE FORMS, INC. PRODUCTS AND THEIR DIRECT CLIENTS. DRAWING IS NOT TO BE COPIED OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF LANDSCAPE FORMS, INC. 1994 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

5 BENCH
PLAN & ELEVATIONS D_ST-Bench.dwg SCALE: 1/2\"/>



NOTES:
1. FINAL NUMBER OF TREADS & RISERS TO BE VERIFIED IN FIELD AFTER SITE GRADING IS COMPLETE
2. ENTIRE RAILING TO BE HOT DIPPED GALVANIZED AND POWDER COATED COLOR: BLACK
3. RAILING FABRICATOR TO PROVIDE SHOP DRAWINGS FOR LANDSCAPE ARCHITECTS AND OWNERS REVIEW AND APPROVAL
4. SEE CIVIL ENGINEERS DRAWINGS FOR SUBSURFACE REINFORCEMENT & VERIFY WITH OWNERS STRUCTURAL ENGINEER

6 PARK STEPS
SECTION d-5371_STEPS.dwg SCALE: 3/4\"/>

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: [Signature] Date: 2/6/04
Chief, Division of Land Development and Research: [Signature] Date: 2/6/05
Chief, Development Engineering Division: [Signature] Date: 1/23/04

EDSA
60 CORPORATE CENTER
10480 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
L100200001
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN

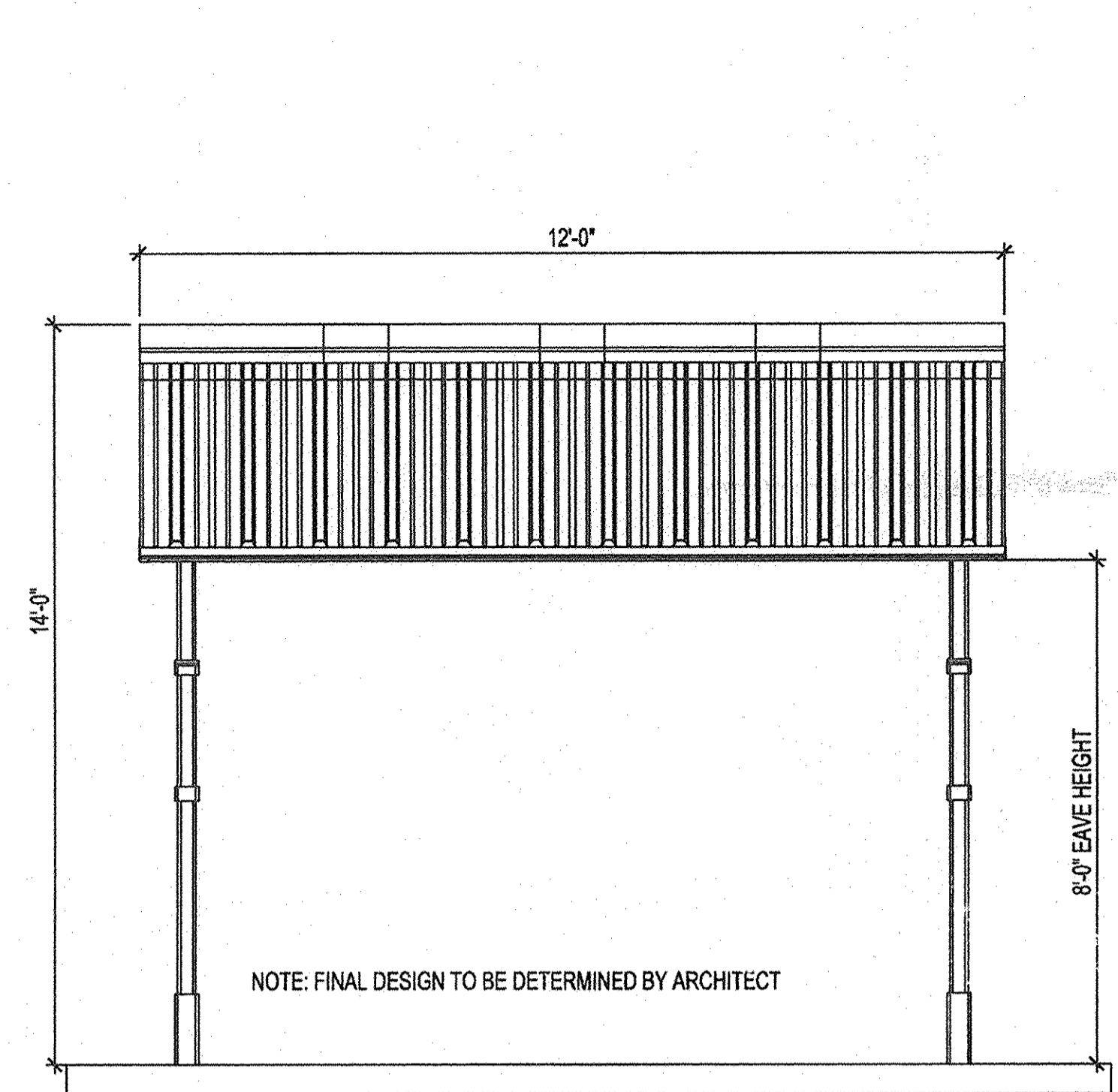
Rev:	Date:	Description:	By:	Prepared for and Owner:
1				BOZZUTO HOMES, INC. 7850 WALKER DRIVE SUITE 400 GREENBELT, MARYLAND 20770 ATTN: DUNCAN SLIDELL-301-623-1525
2				Parcel A Owner: SHIPLEY'S GRANT RETAIL, LLC BAVAR PROPERTIES GROUP 1966 GREENSPRING DRIVE SUITE 508 LUTHERVILLE TIMONIUM, MD 21088 ATTN: ROBERT BAVAR -410-560-0300

Project Name: **SHIPLEY'S GRANT**
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233 & 19235
ELECTION DISTRICT NO. 1 HOWARD COUNTY, MARYLAND

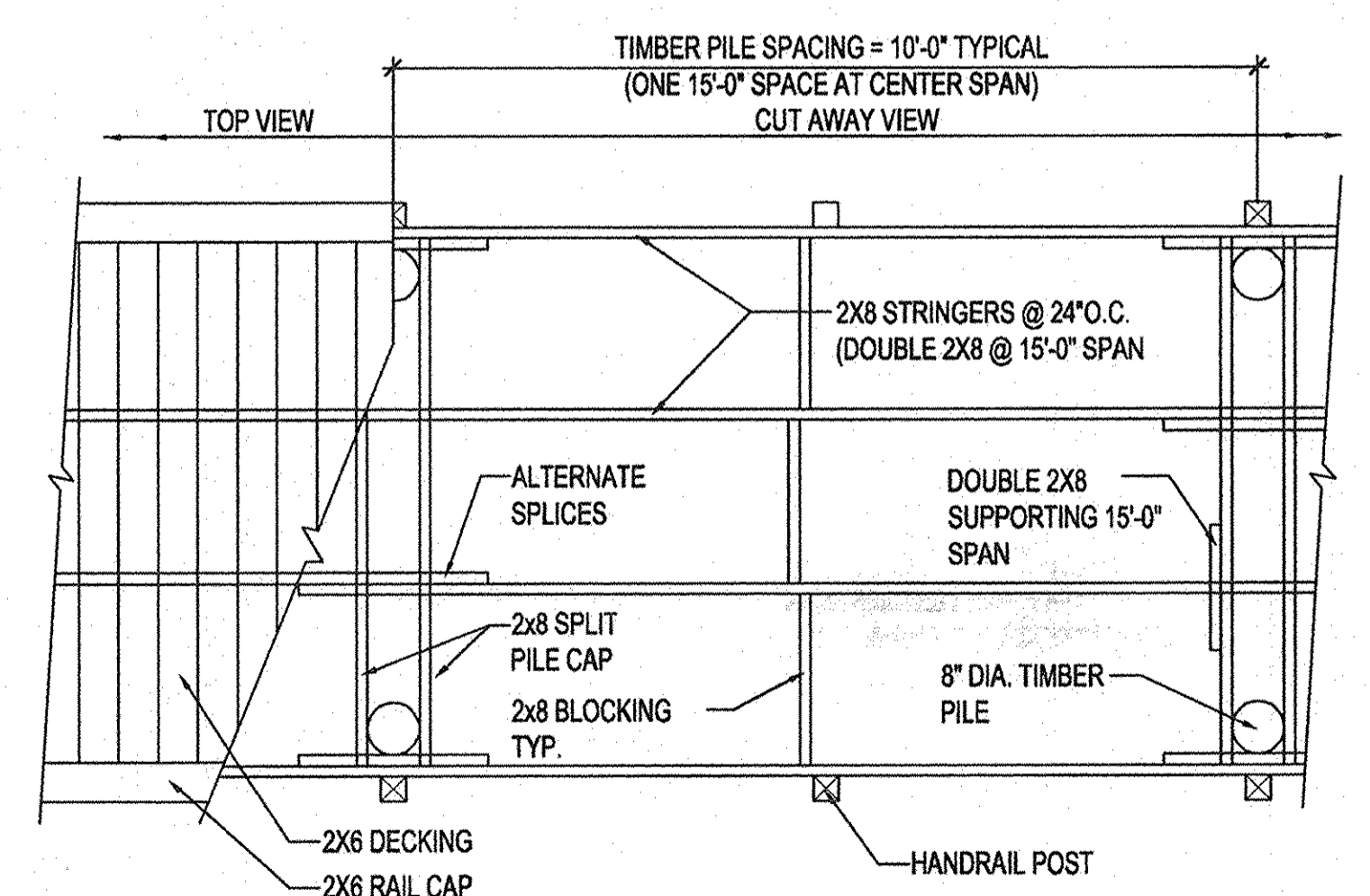
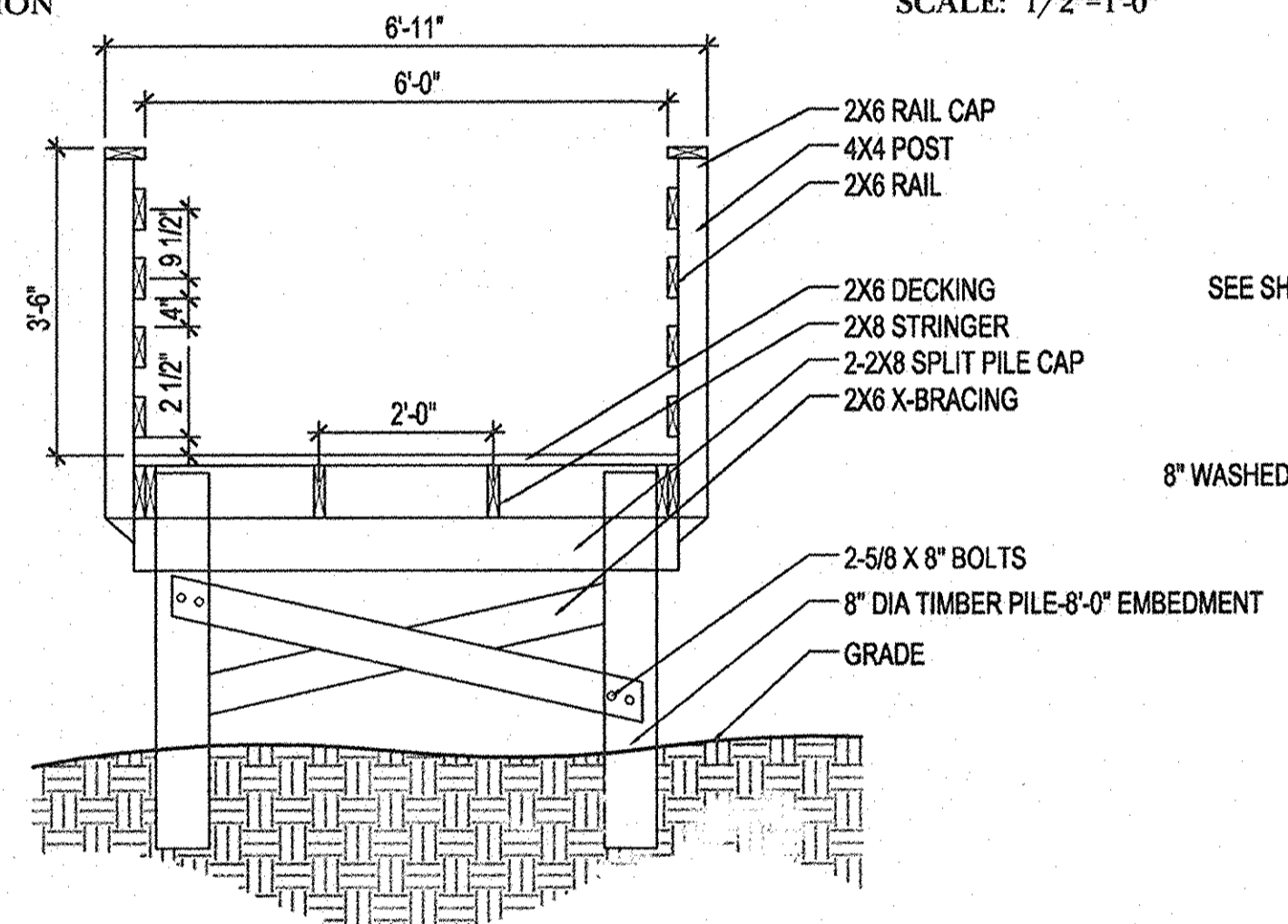
Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR,HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

Sheet Title: **HARDSCAPE DETAILS**
STATE OF MARYLAND
[Signature]
1/23/04

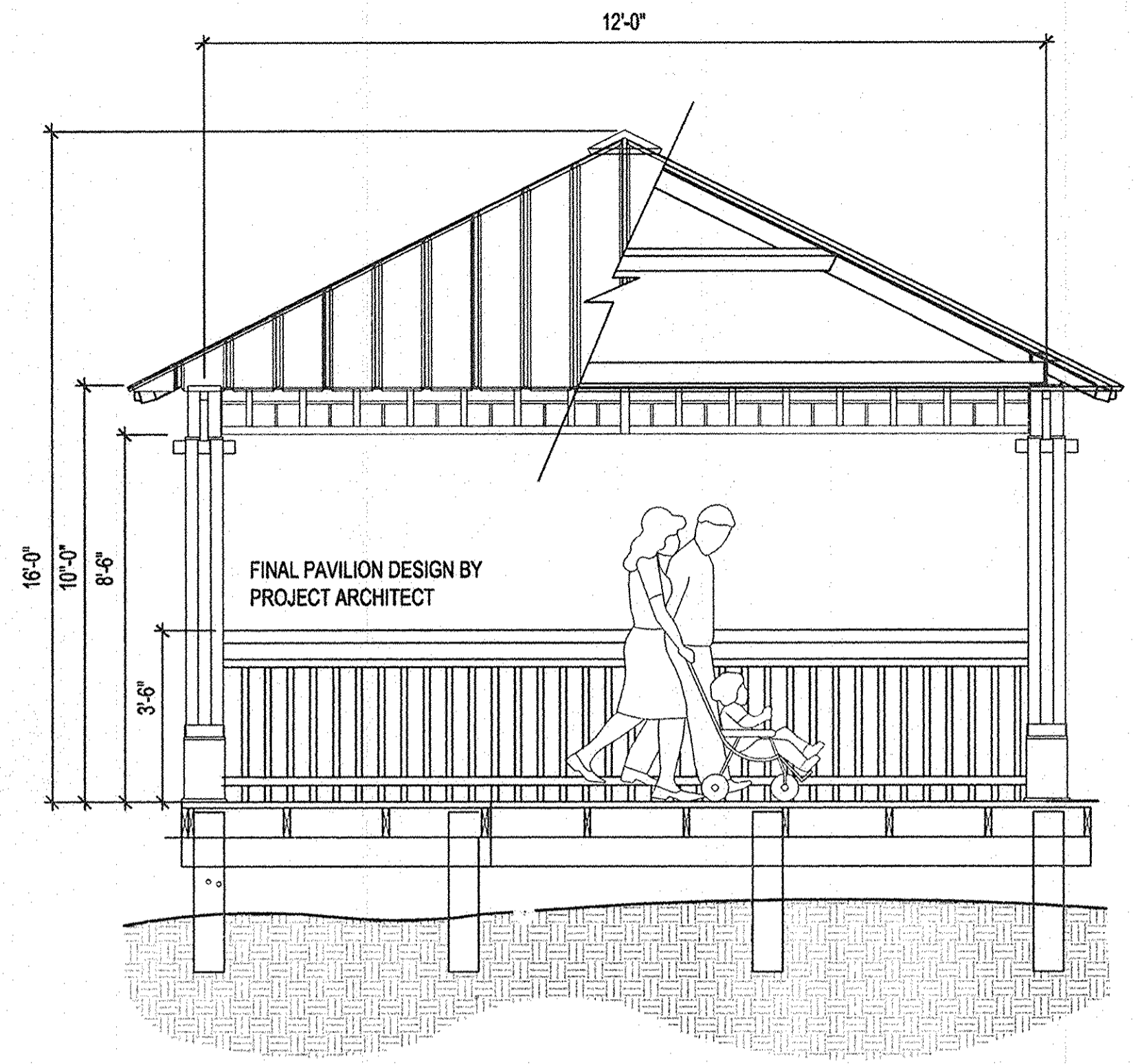
Sheet Number: SHEET 11 OF 14
L2.04



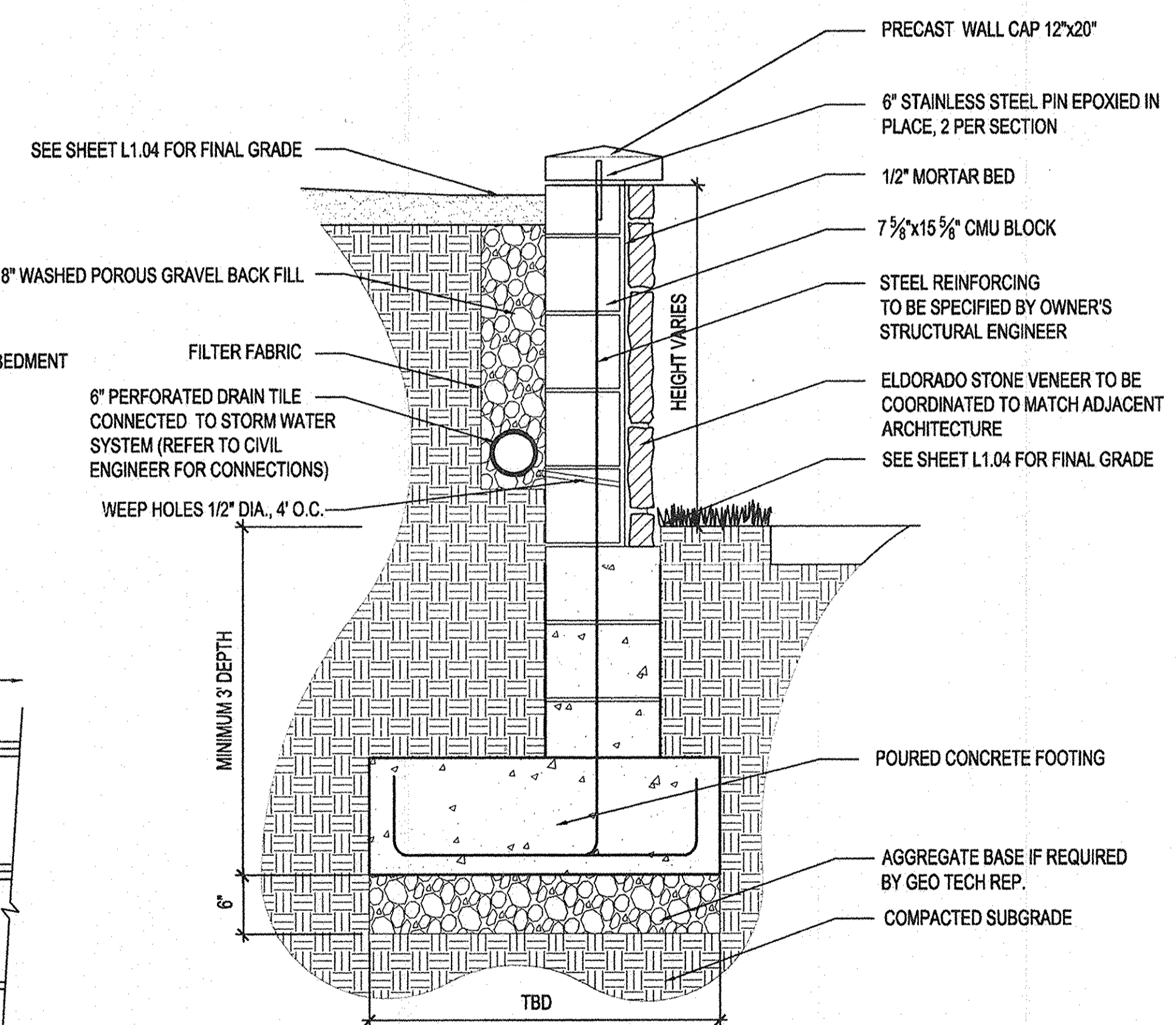
1 SCHEMATIC POSTAL PAVILION D:5371_PostalPav.dwg
ELEVATION SCALE: 1/2"=1'-0"



4 PEDESTRIAN BRIDGE d:5371-ped_bridg_plan.dwg
FIXED PIER FRAMING PLAN SCALE: 1/2"=1'-0"

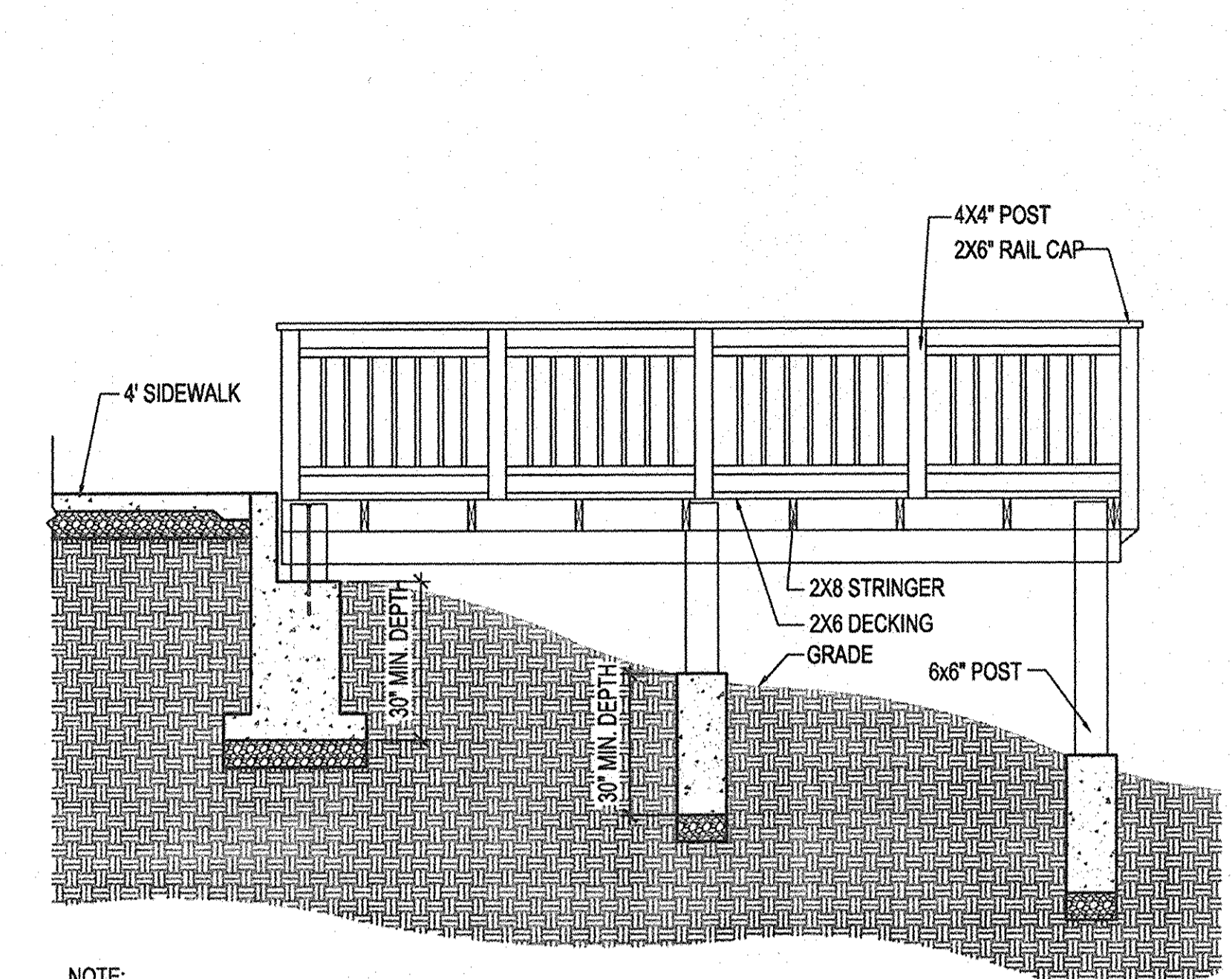


2 POND OVERLOOK PAVILION SCALE: 3/8"=1'-0"
SCHEMATIC ELEVATION



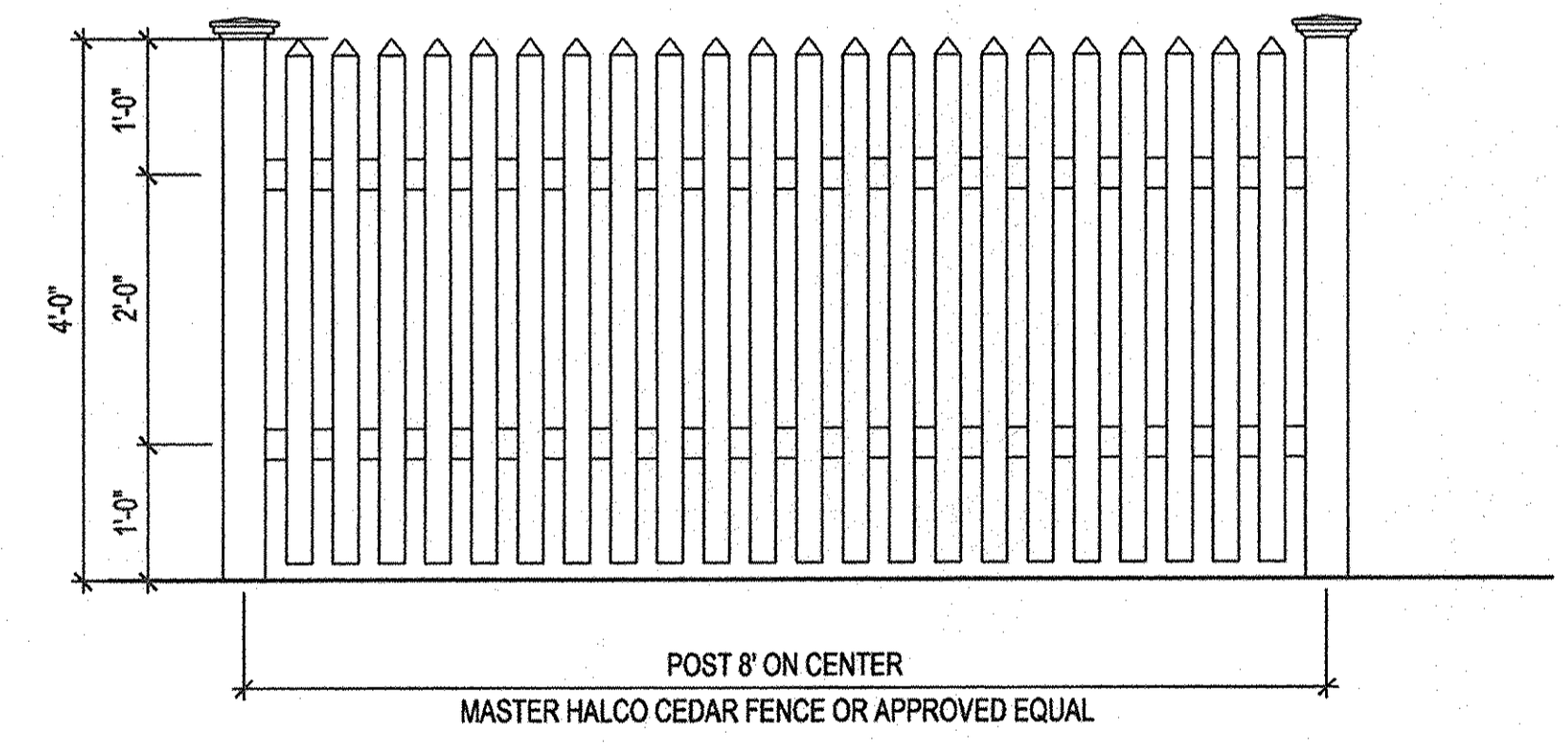
NOTE: FINAL FOOTING WALL BASE DIMENSIONS AND REINFORCEMENT TO BE DETERMINED BY OWNER'S STRUCTURAL ENGINEER
CONCRETE MASONRY UNIT WALL BASE MAY BE SUBSTITUTED FOR POURED CONCRETE WITH OWNER'S AND STRUCTURAL ENGINEERS APPROVAL PRIOR TO CONSTRUCTION

5 STONE WALL d:4171-MEsw-03.dwg
SECTION SCALE: 1"=1'-0"



NOTE: CONTRACTOR TO SUBMIT SHOP DRAWINGS TO OWNERS REP AND LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO CONSTRUCTION.

3 OVERLOOK DECK d:5371-deck_overlook.dwg
SECTION SCALE: 3/8"=1'-0"



Board Width: actual 3 1/2", nominal 4"
Board Thickness: 5/8", 1 1/16", 3/4" actual - nominal or stated size 1"
Board Height: 4"
Board Topping: Dog Ear
Board Grade: Premium, Select, Standard and Better, Standard
Board Surface: Smooth Four Sides
Rail Width: actual 3 1/2", 3 3/4" - nominal or stated size 4"
Rail Thickness: actual 1 1/2", 1 3/4" - nominal or stated size 2"
Rail Length: actual 8'
Rail Grade: Standard and Better, #2
Rail Surface: Rough
Post Width: actual 3 1/2", 3 3/4" - nominal or stated size 4"
Post Thickness: actual 3 1/2", 3 3/4" - nominal or stated size 4"
Post Height: 6', 7', 8'
Post Toppings: Post Cap to be approved by landscape architect
Post Grade: Standard and Better, #2
Post Surface: Rough, Surfaced Four Sides
Designs: Spaced Board

6 PICKET FENCE SCALE: 3/4"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *Howard County* Date: 2/18/08
Chief, Division of Land Development and Research: *Howard County* Date: 2/18/08
Chief, Development Engineering Division: *Howard County* Date: 1/22/08

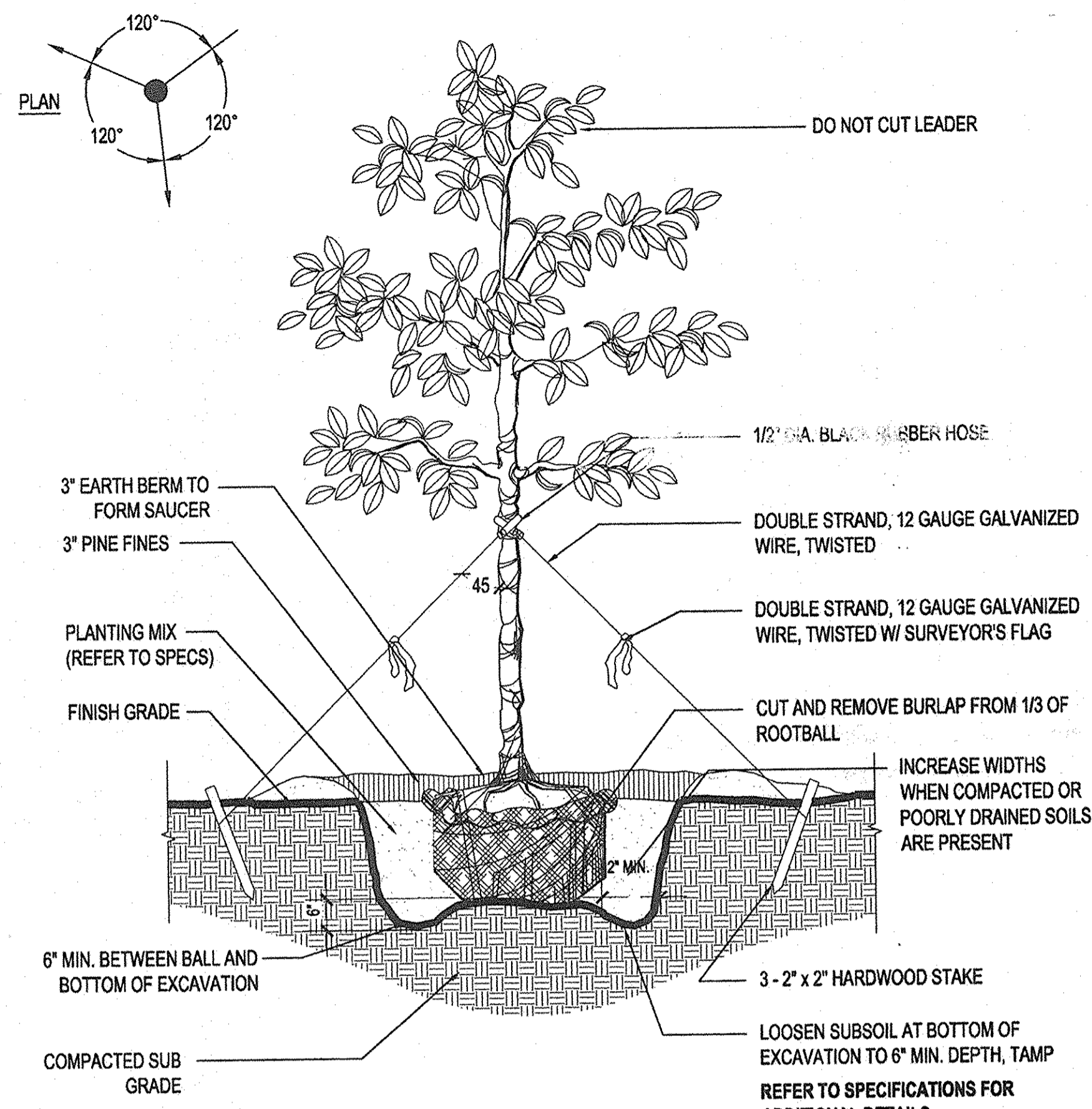
EDSA
PLANNING • LANDSCAPE ARCHITECTURE • URBAN DESIGN • GRAPHIC DESIGN
60 CORPORATE CENTER
10490 LITTLE PATUXENT PARKWAY, SUITE 200
COLUMBIA, MARYLAND 21044 USA
TEL: 443.539.3350
LIC0200001

Rev:	Date:	Description:	By:
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2			
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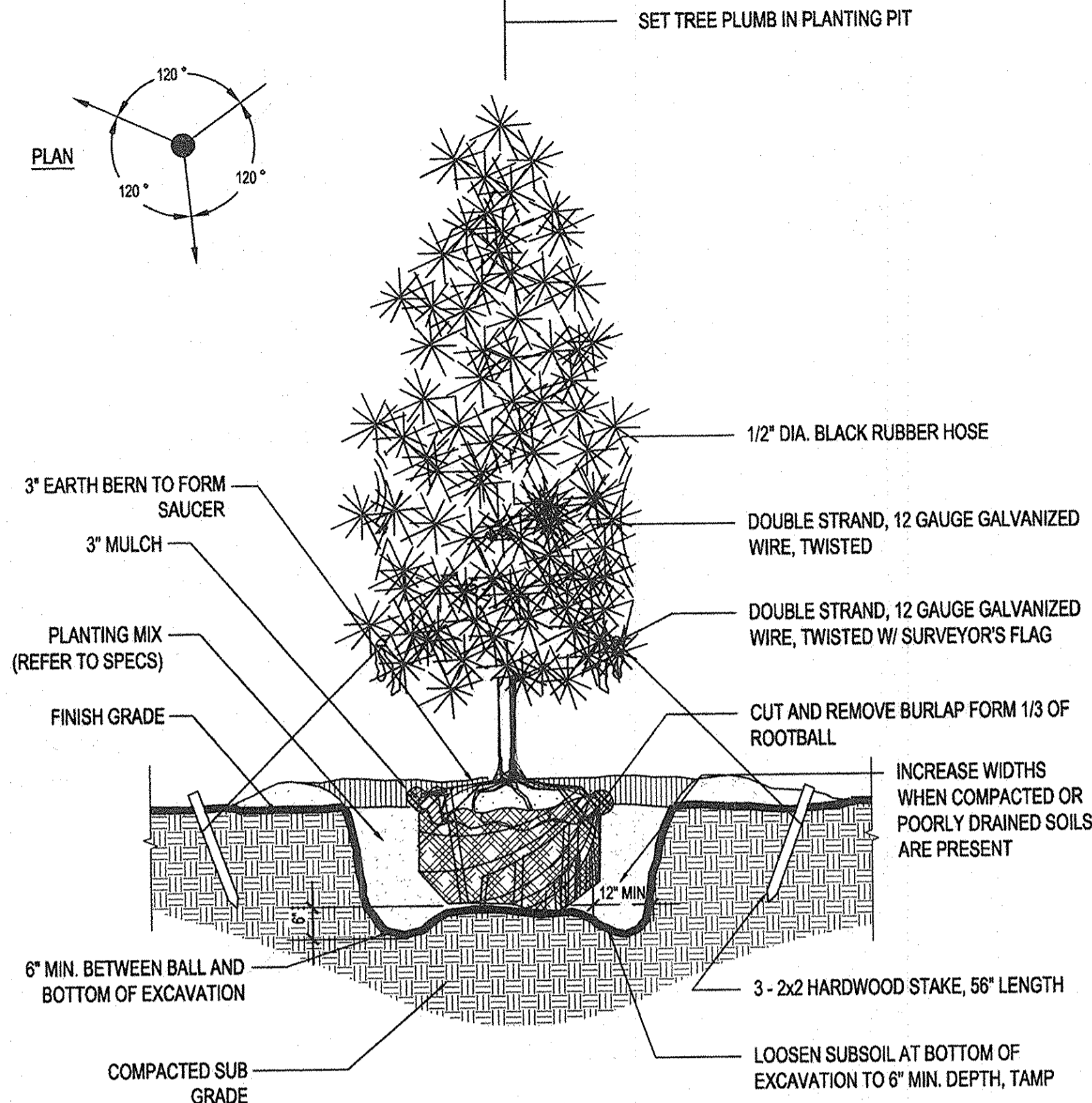
Prepared for and Owned by:
BOZZUTO HOMES, INC.
7950 WALKER DRIVE SUITE 400
GREENBELT, MARYLAND 20770
ATTN: DUNCAN SLIDELL - 301-623-1525
Parcel A Owner:
SHIPLEY'S GRANT RETAIL, LLC
BAVAR PROPERTIES GROUP
1906 GREENSPRING DRIVE SUITE 508
LUTHERVILLE TIMONUM, MD 21093
ATTN: ROBERT BAVAR - 410-560-0300
Project Name:
SHIPLEY'S GRANT
AMENITY PACKAGE
OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
PLAT NOS. 19232, 19233 & 19235
ELECTION DISTRICT NO.1 HOWARD COUNTY, MARYLAND

Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR,HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

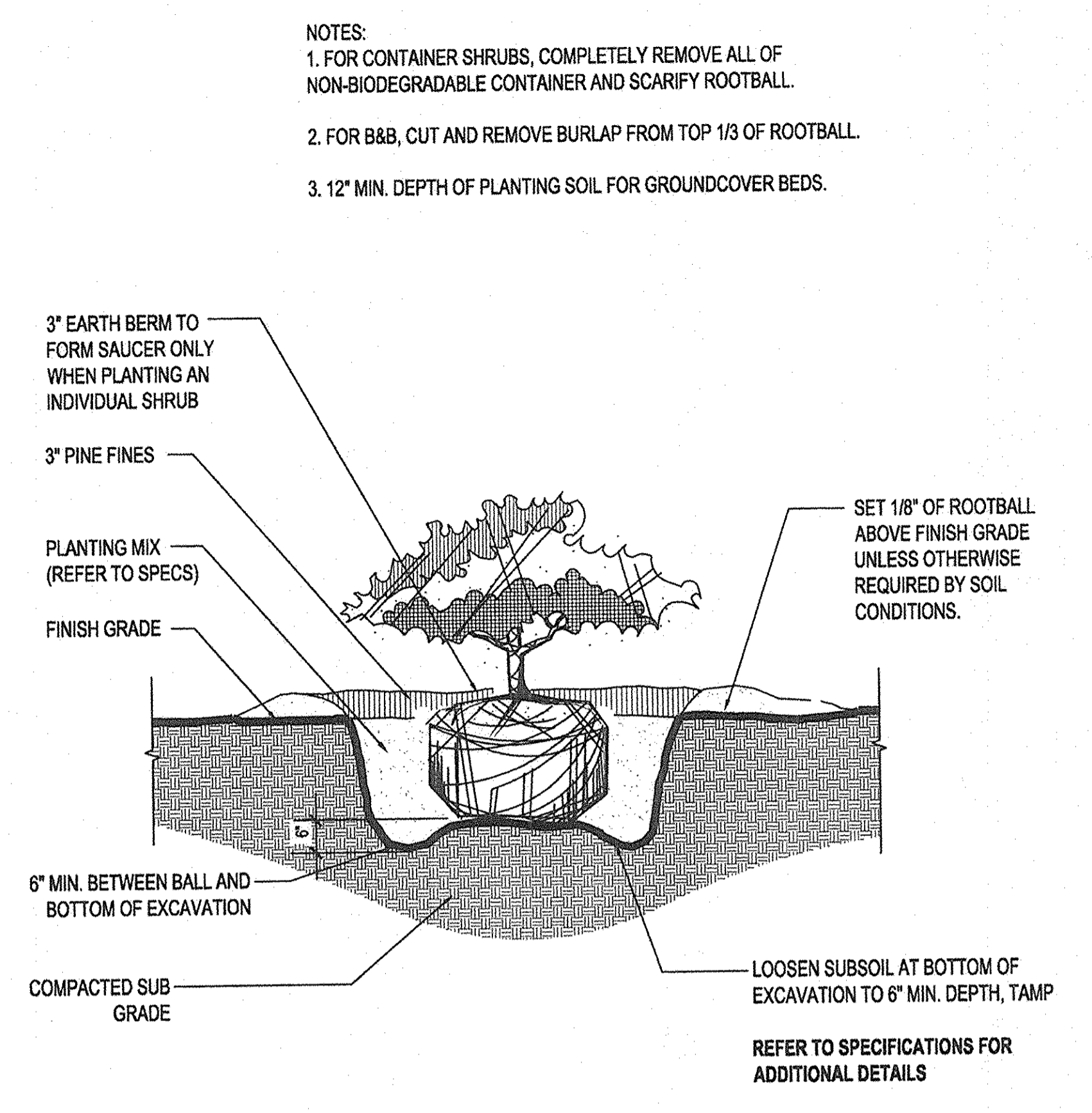
Sheet Title:
HARDSCAPE DETAILS
Sheet Number:
SHEET 12 OF 14
L2.05
SDP 07 -092



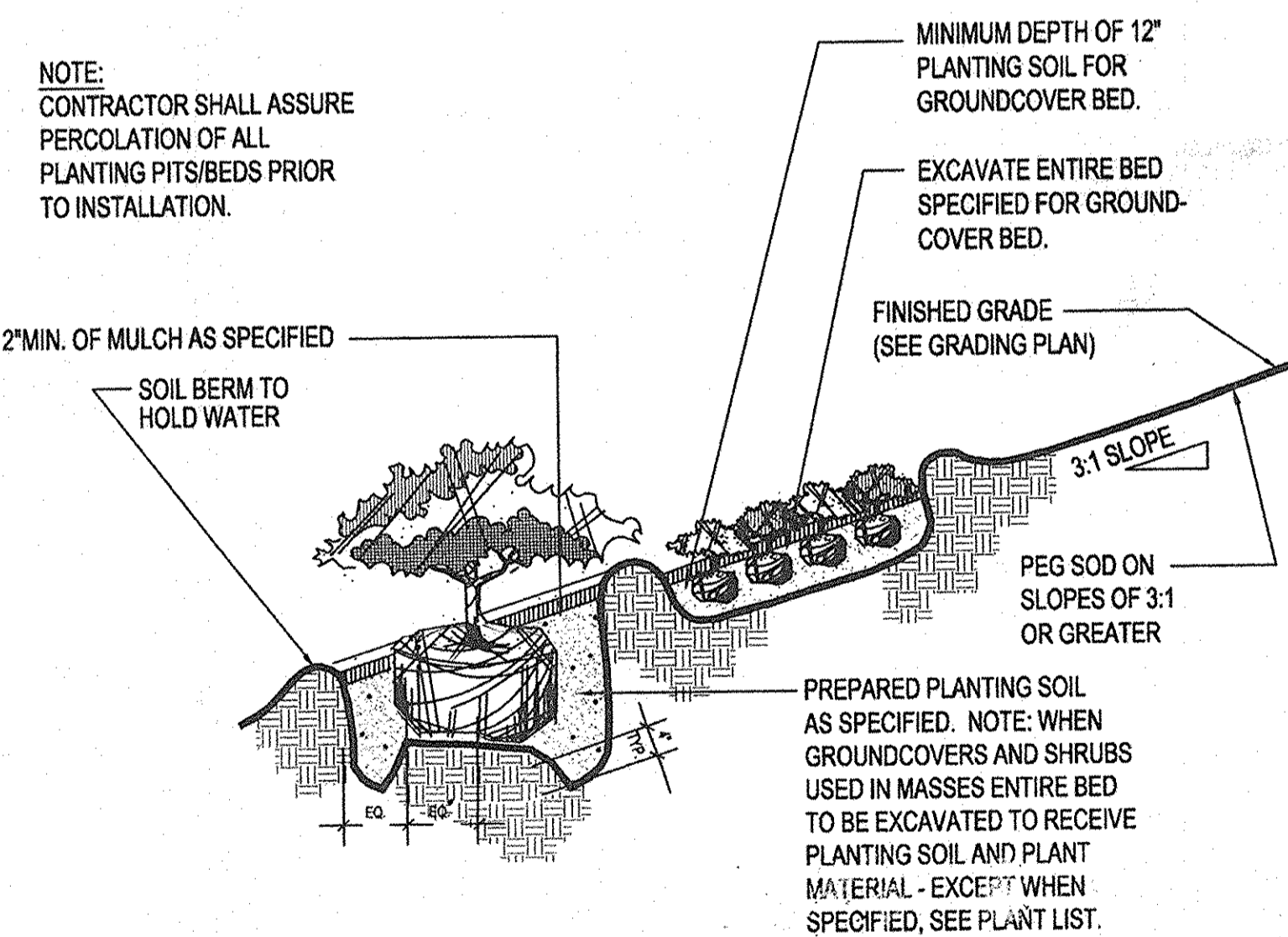
1 TREE PLANTING DETAIL
SECTION
D-CL-PL_08.dwg
SCALE: 1/2"=1'-0"



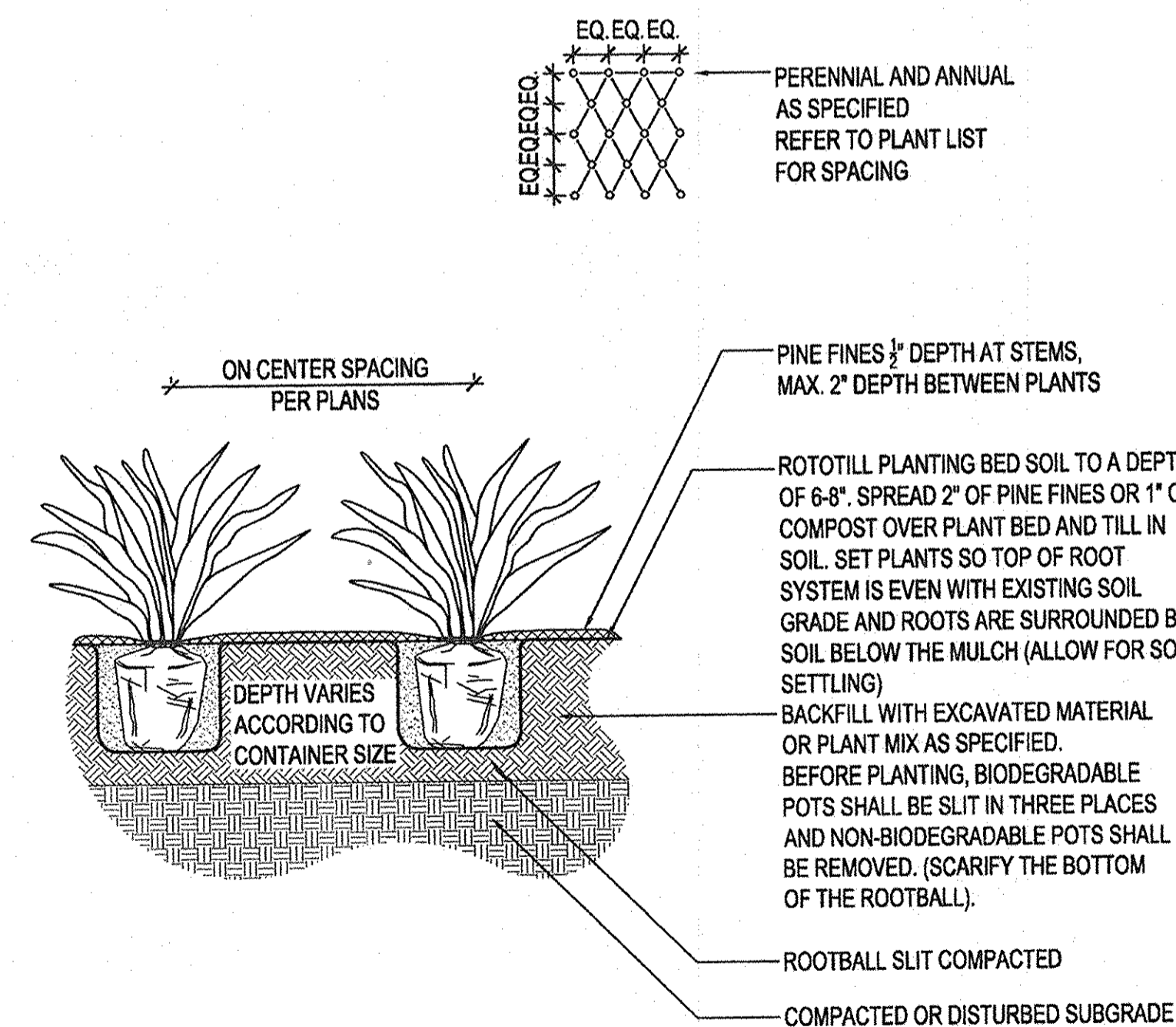
2 EVERGREEN TREE PLANTING DETAIL
SECTION
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SCALE: 1/2"=1'-0"



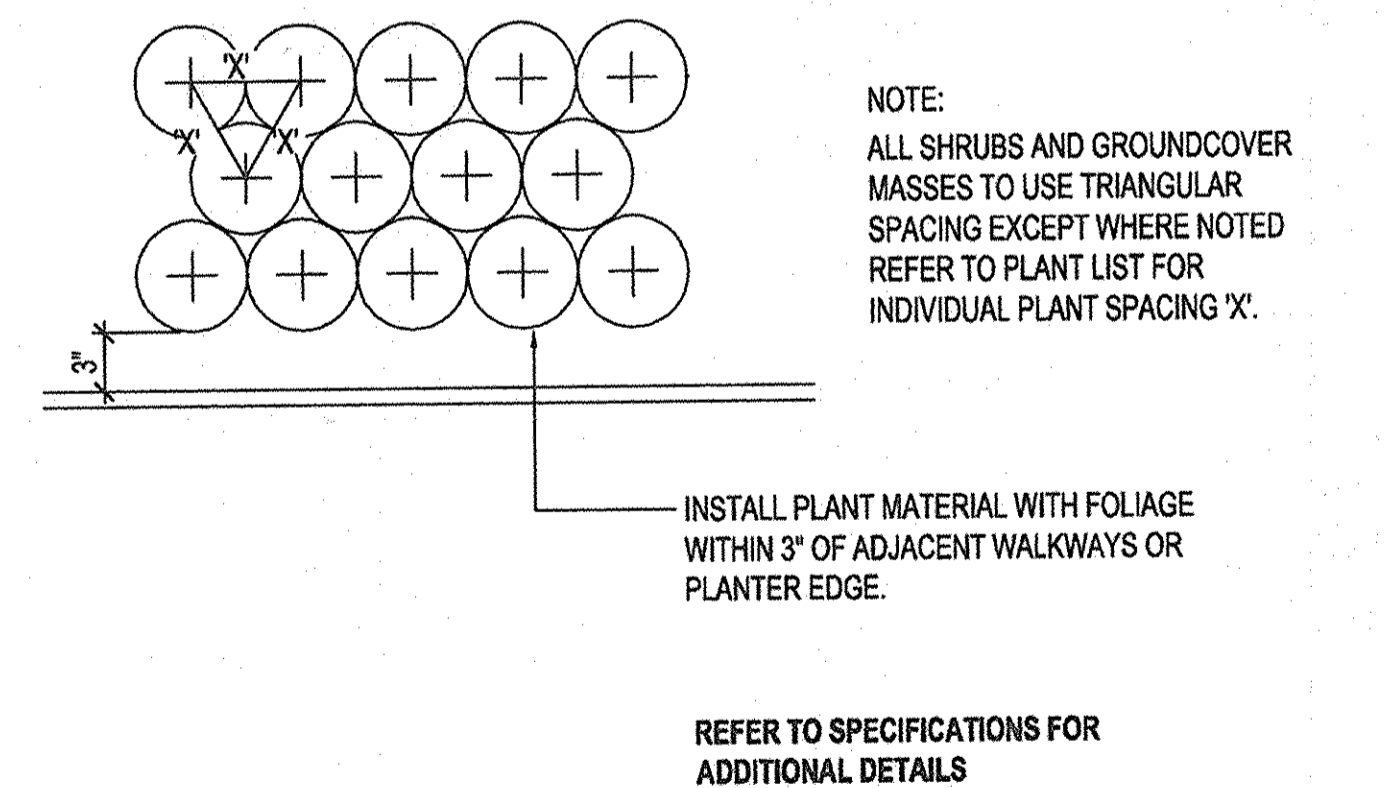
3 SHRUB PLANTING DETAIL
SECTION
D-CL-PL_05.dwg
SCALE: 1/2"=1'-0"



4 SHRUB ON SLOPE PLANTING DETAIL
SECTION
D-CL-PL_06.dwg
SCALE: 1/2"=1'-0"



5 PERENNIAL/GROUNDCOVER PLANTING DETAIL
SECTION
D-CL-PL_09.dwg
SCALE: 1"=1'-0"



6 SHRUB & GROUNDCOVER SPACING
PLAN
D-CL-PL_07.dwg
SCALE: 1/2"=1'-0"

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Leight* Date: 2/6/08
 Chief, Division of Land Development and Research: *Cindy Kautz* Date: 2/6/08
 Chief, Development Engineering Division: *John Dammann* Date: 1/22/08

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 60 CORPORATE CENTER
 10490 LITTLE PATUXENT PARKWAY, SUITE 200
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 LCC200001

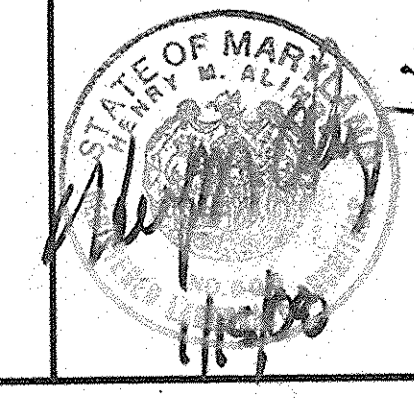
Rev:	Date:	Description:	By:
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Prepared for and Owner:
 BOZZUTO HOMES, INC.
 7850 WALKER DRIVE SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL - 301-623-1525
 Parcel A Owner:
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Project Name:
SHIPLEY'S GRANT
 AMENITY PACKAGE
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233 & 19235
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT NO.1

Date: 01.15.08	Scale: AS SHOWN
Drawn By: AR	Designed By: AR, HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

Sheet Title:
HARDSCAPE DETAILS



Sheet Number:
 SHEET 13 OF 14
L2.06

LANDSCAPE NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SUPPORTING TEXT.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND BASE INFORMATION PRIOR TO INITIATING PLANTING INSTALLATION. ALL EXISTING PLANTING SHALL REMAIN INTACT AND UNDISTURBED UNLESS OTHERWISE NOTED ON THE PLANS.
3. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND OTHER ELEMENTS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING THESE DOCUMENTS.
4. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO INITIATING CONSTRUCTION. ALL EXISTING ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.
5. UNLESS OTHERWISE NOTED, LIMITS OF CONSTRUCTION ARE THE CLEARING LIMITS NOTED ON THE DRAWINGS (REFER TO CIVIL ENGINEERING DRAWINGS).
6. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT QUANTITIES SHOWN ON THE PLAN AND QUANTITIES SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL APPLY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO THE COMMENCEMENT OF PLANTING. SEED OR SOD QUANTITY TAKEOFFS ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO BED PREPARATION.
7. LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
8. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING LAWN AREAS DAMAGED WHILE COMPLETING PLANTING INSTALLATION WITH THE SAME GRASS SPECIES TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
9. CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK AND INCLUDED IN THE SPECIFICATIONS. PRIOR TO COMMENCEMENT OF THE LANDSCAPE PLANTING WORK. THE CONTRACTOR SHALL PROVIDE COMPLETE SOIL TESTS FOR AT LEAST TWO ON-SITE AREAS.
10. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH THE "AMERICAN STANDARDS FOR NURSERY STOCK" PROCEDURES AND SPECIFICATIONS AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.). PLANT MATERIALS SHALL EXCEED IN SOME INSTANCES SOME SPECIFICATIONS IF NECESSARY TO MEET THE MINIMUM REQUIREMENTS OF OTHERS. ANY PLANT MATERIAL EXHIBITING A SPINDLY OR LOPSIDED HABIT OR ANY OTHER FEATURE THAT DETRACTS FROM ITS HEALTH OR APPEARANCE WILL BE REJECTED.
11. ALL SHADE TREES SHALL HAVE SIX FEET (6') CLEAR TRUNK UNLESS OTHERWISE SPECIFIED. CLEAR TRUNK IS NOT REQUIRED FOR FLOWERING TREES/ORNAMENTALS.
12. ALL CONTAINER SIZES NOTED ON PLANT LIST ARE MINIMUM. INCREASE SIZE IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
13. ALL TREE CALIPER SIZES NOTED ON PLANT LIST ARE MINIMUM. INCREASE SIZE IF NECESSARY TO CONFORM TO PLANT SIZE AND SPECIFICATIONS.
14. EROSION CONTROL FABRIC SHALL BE INSTALLED IN ALL SHRUB AND GROUND COVER PLANTING AREAS AS PER SPECIFICATIONS FOR ALL SLOPES THAT EXCEED 3:1. SEE CIVIL ENGINEER'S GRADING PLANS FOR LOCATION OF SLOPES GREATER THAN 3:1.
15. TYPICALLY, SHRUB AND GROUND COVER PLANTINGS ARE SHOWN AS MASS PLANTING BEDS. PLANTS SHALL BE PLACED ON A TRIANGULAR SPACING CONFIGURATION (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) IS LISTED UNDER "SPACING" ON THE PLANT LIST.
16. LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE AND/OR LANDSCAPE ARCHITECT.
17. LANDSCAPE CONTRACTOR SHALL FIELD ADJUST LOCATIONS OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE AND SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
18. ANY CURVILINEAR PLANTING OR UNCLEAR PLANTING LAYOUT IS TO BE STAKED IN THE FIELD AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
19. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.

SEDIMENT CONTROL NOTES

1. A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1655
 2. ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
 3. FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
 4. ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
 5. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOD, TEMPORARY SEEDINGS AND MULCHING (SEC. C) TEMPORARY STABILIZATION WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
 6. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- TOTAL AREA OF SITE : 2.52 ACRES
 AREA DISTURBED : 1.0 ± ACRES
 AREA TO BE ROOFED OR PAVED : .2 ± ACRES
 AREA TO BE VEGETATIVELY STABILIZED : .8 ± ACRES
 TOTAL CUT : 1,400 ± CU. YDS.
 TOTAL FILL : 1,400 ± CU. YDS.
 OFF-SITE WASTE/BORROW AREA LOCATION : NONE
8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
 9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DPW SEDIMENT CONTROL INSPECTOR.
 10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 3 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
 11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY CONSERVATION DISTRICT.

[Signature] 1/15/08
 SIGNATURE OF ENGINEER DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD."

[Signature] 1-15-08
 SIGNATURE OF DEVELOPER/BUILDER DATE

HARDSCAPE AND SITE FURNISHINGS NOTES

1. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND OTHER ELEMENTS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING THESE DOCUMENTS.
2. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PROJECT SITE PRIOR TO BIDDING THE WORK.
3. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO INITIATING CONSTRUCTION. ALL EXISTING ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.
4. REPORT ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DRAWINGS AND FIELD CONDITIONS TO THE OWNER'S REPRESENTATIVE IMMEDIATELY. FOLLOW THE OWNER'S REPRESENTATIVE'S INSTRUCTIONS ON RESOLVING ANY DISCREPANCIES.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
6. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
7. CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE.
8. ALL PAVEMENT JOINTS ARE TO BE PARALLEL, PERPENDICULAR OR TANGENT TO ADJACENT LINES UNLESS NOTED OTHERWISE. LAYOUT CURVILINEAR JOINTS AS INDICATED ON THE DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
9. ALL PAVEMENT SHALL BE STAKED IN THE FIELD USING LAYOUT GEOMETRY INDICATED ON THE SITE LAYOUT PLANS. PRIOR TO CONSTRUCTION ALIGNMENT MAY BE ADJUSTED TO ACCOMMODATE EXISTING DRAIN INLETS, MANHOLES, OR OTHER SITE ELEMENTS.
10. MAINTAIN ALL EXISTING EROSION AND SEDIMENTATION CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS TO THE WATER BODIES, EXISTING PARKING LOTS, ETC. ACCORDING TO ALL APPLICABLE FEDERAL/STATE LAW AND REGULATIONS.
11. REFER TO CIVIL ENGINEER'S GRADING PLANS FOR PAVEMENT ELEVATIONS. MATCH GRADES WITH EXISTING CONDITIONS. MAKE SURE THAT ABUTTING PAVEMENT SURFACES ARE FLUSH WITHIN 1/8" TOLERANCES.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL PROTECTION BY LOCALLY APPROVED MEANS AND MAINTAINING EROSION CONTROLS ALREADY IN PLACE. CONTRACTOR SHALL ADHERE TO ALL GOVERNING CODES AND REQUIREMENTS.
13. ALL DIMENSIONS ARE TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION OF ALL DRAIN INLETS, CATCH BASINS, YARD DRAINS AND MANHOLES INDICATED ON THE PLANS UNDER PREVIOUS CONSTRUCTION.
15. ALL PAVEMENT SURFACES SHALL BE CONSTRUCTED TO POSITIVELY DRAIN AWAY FROM VERTICAL ELEMENTS SUCH AS BUILDINGS, WALLS, COLUMNS, ETC. TOWARD AND INTO DRAINAGE STRUCTURES SHOWN ON THE CIVIL ENGINEER'S DRAWINGS.
16. WALLS, FENCES, RAMPS, STAIRS, WALKS AND TRELLISES ARE TO BE STAKED IN THE FIELD AND FINAL LOCATION IS TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
17. REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS AND SITE LAYOUT AND GRADING. REFER TO CIVIL ENGINEER'S DRAWINGS FOR OVERALL SITE LAYOUT AND GRADING.
18. WRITTEN DIMENSIONS WILL PREVAIL ON THIS PLAN. DO NOT SCALE FROM THESE PLANS.

TEMPORARY SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).
- SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).
- SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15. SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ FT). FOR THE PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOD.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES, 8 FT OR HIGHER, USE 348 GAL PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.

PERMANENT SEEDING NOTES

- APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.
- SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENEED).
- SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES
- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQUARE FEET) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL AT TIME OF SEEDING. APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (9 LBS/1000 SQ FT).
 - 2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.
- SEEDING: FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15. SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY: OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOD. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
- MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTTED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL/1000 SQ FT) FOR ANCHORING.
- MAINTENANCE: INSPECT ALL SEEDED AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES - DECIDUOUS SHADE					
A	5	Acer rubrum 'October Glory'	October Glory Red Maple	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
B	6	Acer rubrum 'Bowhall'	Bowhall Red Maple	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
M	2	Magnolia x soulangiana	Saucer Magnolia	8-10' ht.	As Shown B&B, Full Specimen
N	1	Nyssa sylvatica	Black Gum	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
S	18	Platanus acerifolia 'Bloodgood'	Bloodgood Plane Tree	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
U	9	Ulmus americana 'Princeton'	Princeton Elm	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
F	4	Fagus grandifolia	American Beech	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
N	8	Nyssa sylvatica	Black Gum	2.5"-3" Cal, 12-14' ht.	As Shown B&B, Full
TREES - ORNAMENTAL					
AC	7	Amelanchier canadensis	Serviceberry	6-8' ht.	As Shown B&B, Full, Multistemmed
MP	19	Maia 'Prairiefire'	Prairiefire Crabapple	6-8' ht.	As Shown B&B, Full
BN	6	Betula nigra	Heritage River Birch	2" - 2.5" Cal, 8-10' ht.	As Shown B&B, Multi-stem, Full
TREES - EVERGREEN					
NS	6	Ilex X Nellee R. Stevens	Nellee Stevens Holly	6'-8" ht.	As Shown B&B or container, Full
SHRUBS - DECIDUOUS					
Cf	100	Calycanthus floridus	Carolina Allspice	18"-24" ht. & spd	36" O.C. B&B, Full
CI	27	Clethra alnifolia	Summersweet Clethra	18"-24" ht. & spd	30" O.C. B&B, Full
Iv	86	Itea virginica 'Henry's Garnet'	Henry's Garnet Itea	18-24" ht. & spd.	30" O.C. B&B, Full
Rk	95	Rosa 'Knockout'	Knockout Rose	18-24" ht. & spd.	30" O.C. B&B, Full
Vt	22	Viburnum plicatum tomentosum 'Shasta'	Shasta Doublefile Viburnum	30-36" ht. & spd.	4' O.C. B&B, Full
SHRUBS - EVERGREEN					
Bs	37	Buxus sempervirens 'Suffruticosa'	English Boxwood	18-24" ht. & spd.	
Igc	63	Ilex glabra 'Compacta'	Compact Inkberry	18-24" ht. & spd	3' O.C. Container, Full
Ic	46	Ilex crenata 'Helleri'	Helleri Holly	18-24" ht. & spd.	24" O.C. B&B, Full
PERENNIALS / GRASSES					
hs	400	Hemerocallis 'Happy Returns'	Happy Returns Day Lily	1 qt.	18" O.C. Container
pf	203	Perovskia atriplicifolia 'Fragran'	Cut Leaf/Russian Sage	1 qt.	18" O.C. Container
lm	335	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 qt.	12" O.C. Container
ir	168	Iris versicolor	Iris	1 qt.	18" O.C. Container
ls	232	Liatris spicata	Blazing Star	2 Gal	18" O.C. Container
ml	200	Muhlenbergia racemosa	Marsh Munny Grass	2 Gal	24" O.C. Container
pv	295	Panicum virgatum	Switch Grass	2 Gal	24" O.C. Container
rf	95	Rudbeckia fulgida speciosa 'Goldsturm'	Black Eyed Susan	1 qt.	18" O.C. Container
sh	156	Sporobolus heterolepis	Prairie Dropseed	2 Gal	24" O.C. Container

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 2/6/08
 Director Date

[Signature] 2/8/08
 Chief, Division of Land Development and Resources Date

[Signature] 1/22/08
 Chief, Development Engineering Division Date

Rev.	Date	Description	By
1			
2			
3			
4			
5			

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

NATURAL RESOURCES CONSERVATION SERVICE DATE

DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY CONSERVATION DISTRICT.

[Signature] 2/17/08
 HOWARD S.C.D. DATE

Prepared for and Owner:
 803220 HOMES, INC.
 7850 WALKER DRIVE SUITE 400
 GREENBELT, MARYLAND 20770
 ATTN: DUNCAN SLIDELL-301-623-1525

Parcel A Owner:
 SHIPLEY'S GRANT RETAIL, LLC
 BAVAR PROPERTIES GROUP
 1985 GREENSPRING DRIVE SUITE 508
 LUTHERVILLE TIMONUM, MD 21093
 ATTN: ROBERT BAVAR - 410-560-0900

Project Name:
SHIPLEY'S GRANT
 AMENITY PACKAGE
 OPEN SPACE LOTS C-63, C-64, C-65 AND PARCEL A
 PLAT NOS. 19232, 19233 & 19235
 HOWARD COUNTY, MARYLAND
 ELECTION DISTRICT NO.1

Date: 01.15.08	Scale:
Drawn By: AR	Designed By: AR, HA
Approved By: HA	Project No: 805371
Tax Map-Grid: 37-1&2	Zoning: B-1, RA-15

Sheet Title:
LANDSCAPE, HARDSCAPE, & SEDIMENT CONTROL NOTES
PLANTING SCHEDULE

Sheet Number:
 SHEET 14 OF 14
L3.00

STATE OF MARYLAND
 DEPARTMENT OF AGRICULTURE
 SOIL CONSERVATION SERVICE
 DATE: 2/15/08