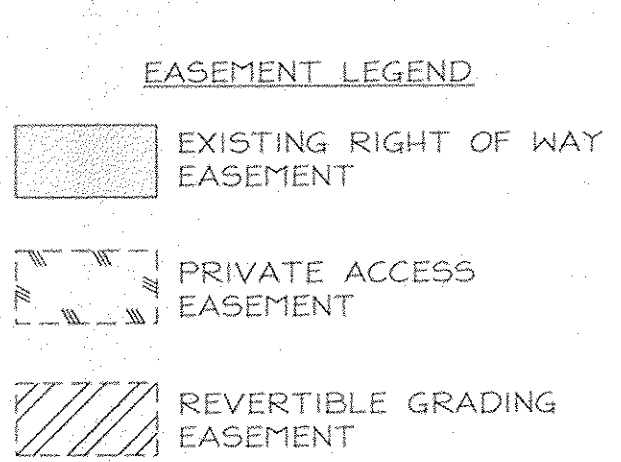
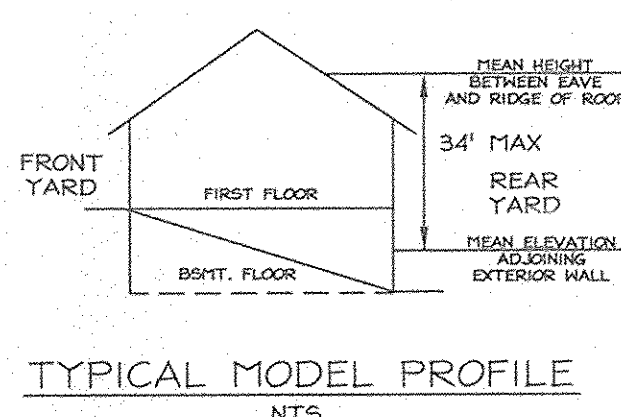
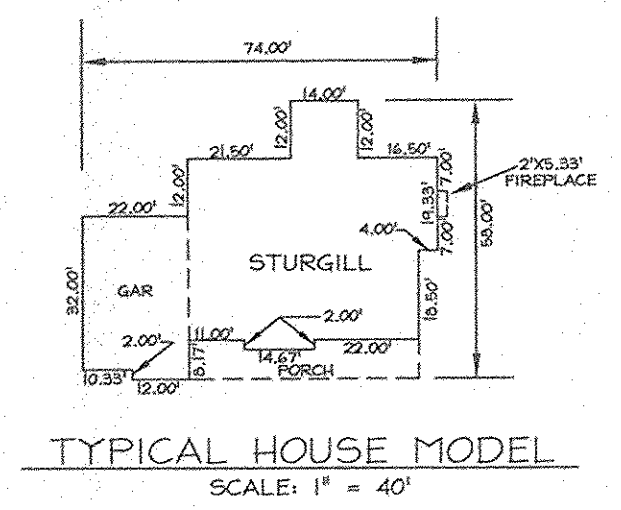


VICINITY MAP
1" = 2000'

INDEX OF SHEETS	
1	SITE DEVELOPMENT PLAN
2	SEDIMENT AND EROSION CONTROL PLAN
3	SEDIMENT CONTROL & LANDSCAPE DETAILS
4	STORMWATER MANAGEMENT NOTES & DETAILS

- GENERAL NOTES:**
- The subject property is zoned R-20 per the 2/2/04 Comprehensive Zoning Plan and per Comp-Lite Zoning Regulations dated 7/28/06.
 - All construction shall be in accordance with the latest Standards and Specifications of Howard County Design Manual Vol. IV and current MSHA Standards & Specifications.
 - Project Background:
Location: Ellicott City
Tax Map: Map 31
Tax Map Parcels: 670
914: 16
Election District: 1st
Current Deed Reference: Parcel 670 / LOT 3B L. 10284 F. 674
 - The Boundary shown hereon is based on a field run boundary by LDE, Inc. dated January, 2007.
 - The topography shown hereon was field run by LDE, Inc. in June, 2006.
 - Horizontal and Vertical Datums are related to the Maryland State Plane Coordinate System (NAD 83) as projected from Howard County Control Stations No. 31EA and 31EB.
 - Any damage caused by the contractor to existing public right-of-way, existing paving, existing curb and gutter, existing utilities, etc. shall be corrected at the contractor's expense.
 - The existing utilities shown hereon are located from field surveys and construction drawings of record. The contractor shall locate existing utilities to his own satisfaction and well in advance of any construction activities. Additionally, the contractor shall take all necessary precautions to protect all existing utilities and maintain uninterrupted service. Any damage incurred to utilities or existing features due to contractor's operation shall be repaired immediately at the contractor's expense.
 - There may be additional utilities not shown on these plans. The engineer assumes no responsibility for utility locations not shown and it shall be the responsibility of the contractor to verify the locations of all existing utilities within the limits of construction and notify the engineer of any discrepancies, prior to the start of construction.
 - Site Analysis Data:
a. Total Project Area: 1.0621 Acres
b. Area of Plan Submission: 1.18 Acres
c. Limit of Disturbed Area: 0.70 Acres
d. Present Zoning Designation: R-20
e. Proposed Site and Structure Use: 1 SFD houses
f. Building coverage of site: 4,000 s.f. (0.09 Ac), 8.5 % of site area
g. Applicable DPE File Reference: N/A
 - The wetlands shown on this site are per a field investigation by LDE, Inc. dated February, 2007. In accordance with Section 12B of the Howard County Zoning Regulations, bay windows, chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches or decks, open or enclosed may project not more than 10 feet into the front or rear yard setbacks.
 - The private common driveway will provide vehicular access to Lots 3B, 3C and 3D and secondary access to Lot 3A.
 - For flag or pipeline lots, refuse collection, snow removal and road maintenance are provided to the junction of the flag or pipeline and road right-of-way line and not onto the lot driveway. See Architectural Plans for building dimensions and design details prior to stakeout for construction. It shall be the Architect's/Builder's responsibility to provide LDE, Inc. with the most recent set of house plans prior to construction stakeout.
 - This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscaping Manual.
 - Landscaping for Lot 3B is provided in accordance with a certified landscape plan on file with this Site Development Plan. In accordance with Section 16.124 of the Howard County Code and Landscape Manual, Financial Surety for the required landscaping shall be posted as part of the Developer Agreement for (5) new shade trees in the amount of \$1500.00.
 - No grading, removal of vegetation cover or trees, paving and new structures shall be permitted within the required wetlands, streams or their buffers, Forest Conservation Easement areas and 100 Year Floodplain.
 - The Contractor or Developer shall contact the Construction Inspection Division 24 hours in advance of commencement of work at (410) 313-1881.
 - The contractor shall notify "Miss Utility" at 1-800-257-7777 at least forty-eight (48) hours prior to any excavation work being done.
 - The existing driveway shall be upgraded to the use-in-common driveway standards as required by the Howard County Design Manual prior to residential occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the following minimum requirements:
a. Width- 12' (16' serving more than one residence);
b. Surface - 6" of compacted crusher run base with tar and chip coating (1-1/2" min);
c. Geometry - Max. 14% grade, max. 10% grade change minimum 45 ft. radius;
d. Structures (culverts/bridges)-capable of supporting 25 gross tons (H25 loading);
e. Drainage Elements - capable of safely passing 100 year flood with no more than 1 ft. depth over driveway surface;
f. Maintenance - sufficient to insure weather use.
 - Public water connection is provided for this Lot via Water Contract No. 44-3727-D. Public sewer connection will be provided for this Lot via Sewer Contract No. 10-3697. The sewer house connection and water house connection within the existing 25' Utility Easement shall be installed by the Developers Contractor under the Advanced Deposit Order (ADO) process. The water and sewer connections from the edge of the easement to the proposed dwelling will be installed under separate permit by the builder's plumber.
 - Stormwater Management for the proposed improvements is provided by sheet flow to buffer, bioretention facilities and grass channel.
 - Any damage to Public "Right-of-Ways" or paved public roads shall be repaired immediately at the contractor's expense in accordance with the Howard County Standards and Specifications. All fill shall be rolled to a minimum degree of compaction of 98% of the dry unit weight as determined by AASHTO T-180.
 - Earthwork quantities shown on this plan are estimated and should not be used for bid purposes. Contractors should perform independent earthwork analysis for bid purposes. Deviations from these plans and specifications without prior written consent of the civil engineer may cause the work to be unacceptable.
 - The dimensioned distances shall govern if scaled and dimensioned distances on this plan are found to be in disagreement.
 - See sheet 3 for Landscaping Schedule 'A', Planting Detail, Landscape Notes and Landscape Perimeter Summary.
 - This Project is exempt from the requirements of Section 16.1200 of the Howard County Code for Forest Conservation for development activity on a single lot of any size since the total area of forest to be cut, cleared or graded does not exceed 40,000 square feet.
 - This subdivision plan is subject to the amended Fifth Edition of the Subdivision and Land Development Regulations per Council Bill No. 45-2003 effective October 2nd, 2003. Development of construction of this Parcel must comply with setback and buffer regulations in effect at the time of submission of the site development plan, waiver petition application, or building permit application.
 - The 100 Year Floodplain Line, Cross Sections and 100 Year Floodplain elevations (for the Rockburn Branch) are derived from the County approved Rockburn Branch Watershed Study (GC-0119-T-27-45) prepared by Sheldahl Associates dated 1987, and the study prepared by LDE, Inc. dated 1/07 for the unnamed tributary west of the project site.
 - The 100 Year Floodplain located on Lot 3B will be placed within a protective easement. Howard County will be granted a Perpetual Easement for right of entry, in accordance with Section 16.115.9.2.1, the floodplain area shall remain part of Lot 3B.
 - For driveway entrance details refer to the Howard County Design Manual, Volume IV, Standard Detail R-6.06.



BENCH MARKS:

Control Station 31EA: Elev. 469.604
Brass or aluminum disc on concrete column on South side of Ilchester Road near BGE substation.

Control Station 31EB: Elev. 453.398
Brass or aluminum disc on concrete column on South West side of Talbot's Landing between driveway entrance to #5149 and #5160.

LEGEND

- 340--- EXISTING 10' CONTOUR
- 342--- EXISTING 2' CONTOUR
- 342--- PROPOSED 10' CONTOUR
- 342--- PROPOSED 2' CONTOUR
- --- EXISTING TIE LINE
- --- PROPOSED TIE LINE
- --- PROPOSED PAVING
- --- EXISTING PAVING
- --- EXISTING TREES
- --- EXISTING SEWER
- --- EXISTING WATER
- --- SOILS DIVIDE
- --- EX NON-TIDAL WETLANDS
- --- 25' WETLAND BUFFER
- --- 75' STREAM BANK BUFFER
- --- 100 YEAR FLOODPLAIN

- GENERAL NOTES CONT.**
- The existing 12' right of way for ingress and egress (L.1922 F.551) located along the Easterly lot line of Lot 3A has been expanded and modified by right of way easement agreement (L.10504 F.420). The expanded right of way provides exclusive vehicular access to Lots 3B, 3C and 3D, and secondary access to the rear of Lot 3A. A use-in-common maintenance agreement for the shared driveway dated 1/8/08, has been recorded in the Land Records of Howard County, MD in Liber 11039 Folio 153.
 - The owners of Lot 3A, 3C and 3D have provided permission to Kassit, LLC for supplementary grading of the use-in-common driveway, office grading and stormwater management construction. See letter of permission dated 1/3/08.
 - No clearing of existing vegetation is permitted within the landscaped edge; however, landscape maintenance is authorized.

ADDRESS CHART	
Lot No.	Street Address
3B	8260 TALBOTS LANDING

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED	BDB	SCALE	1" = 40'
DRAWN	MDL	DRAWING	1 OF 4
CHECKED	BDB	JOB NO.	06-020
DATE	1/2008	FILE NO.	SDP-07-091

PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. MY LICENSE EXPIRES ON DATE: 6/30/09.
Bruce D. Burton
SIGNED: BRUCE D. BURTON

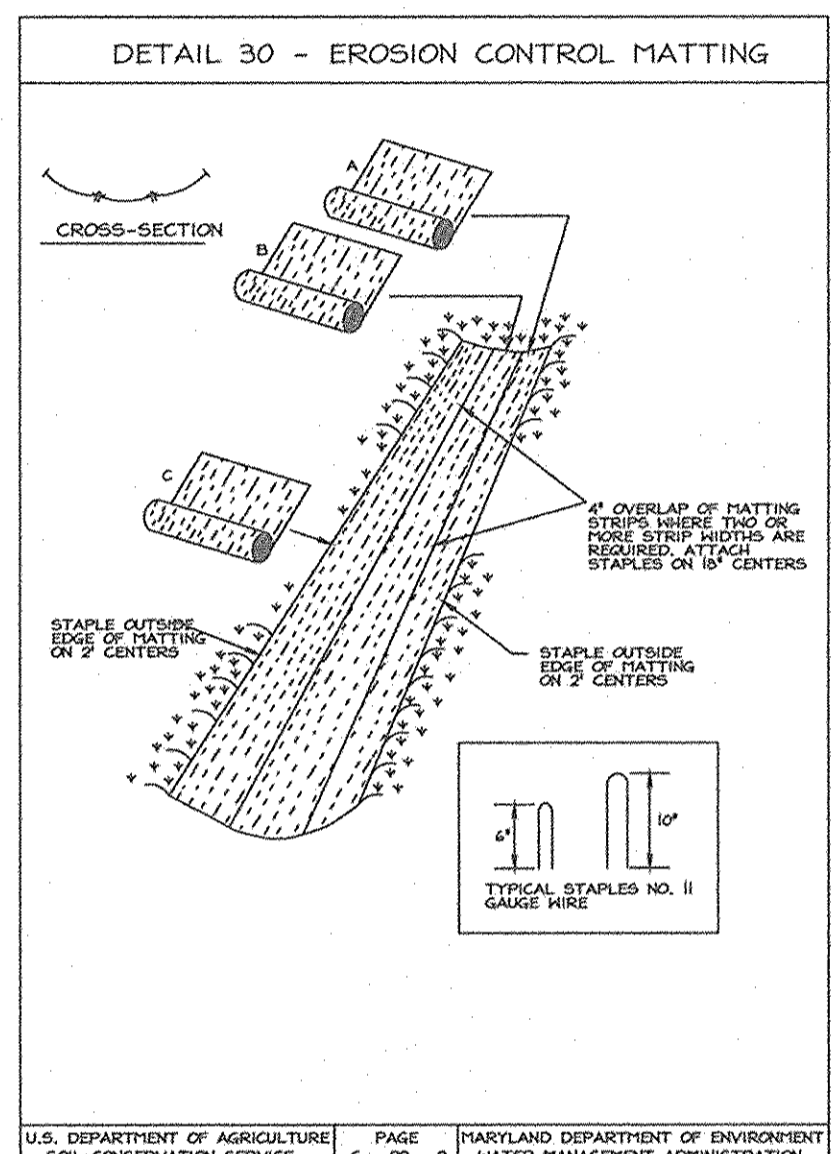
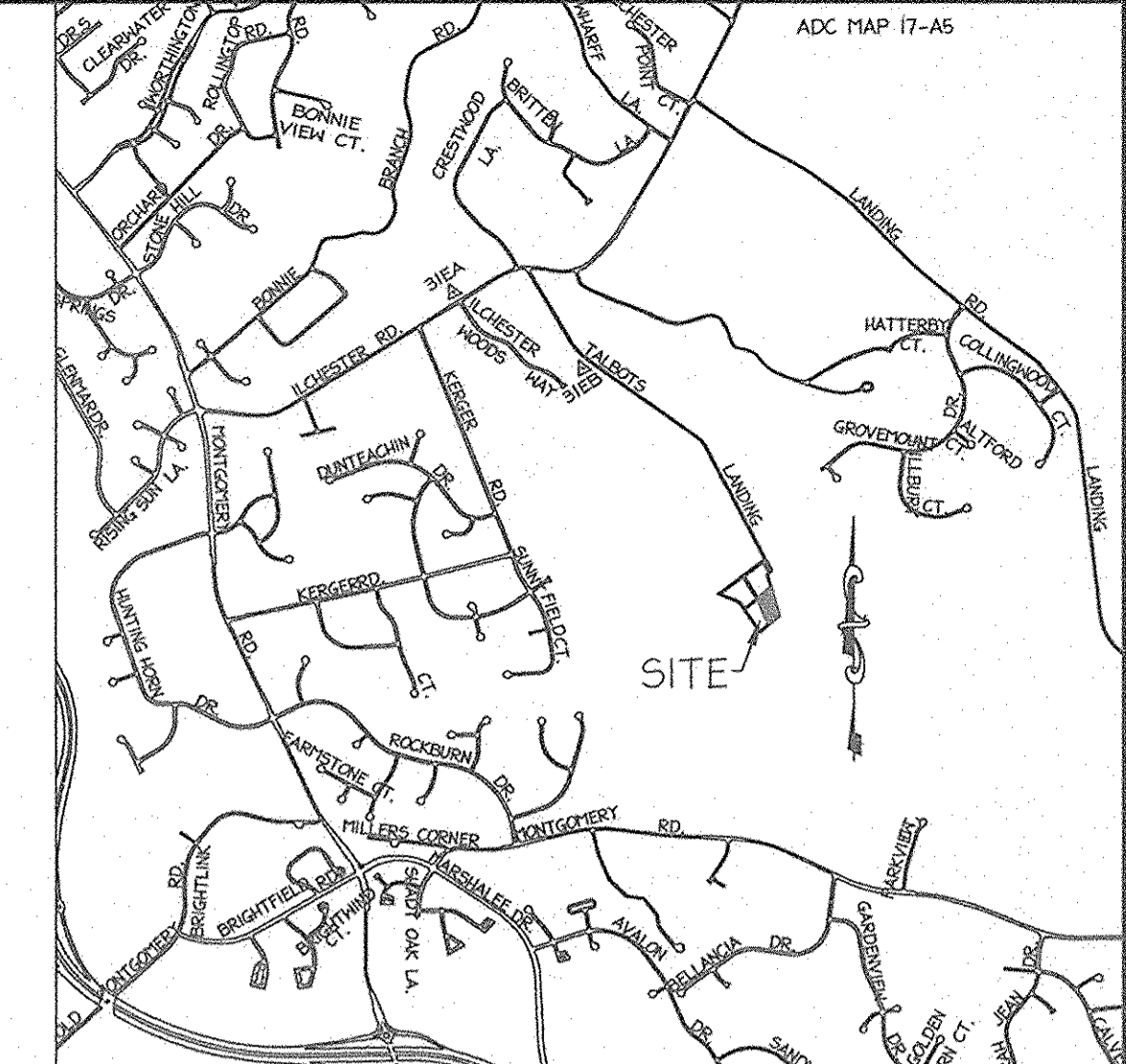
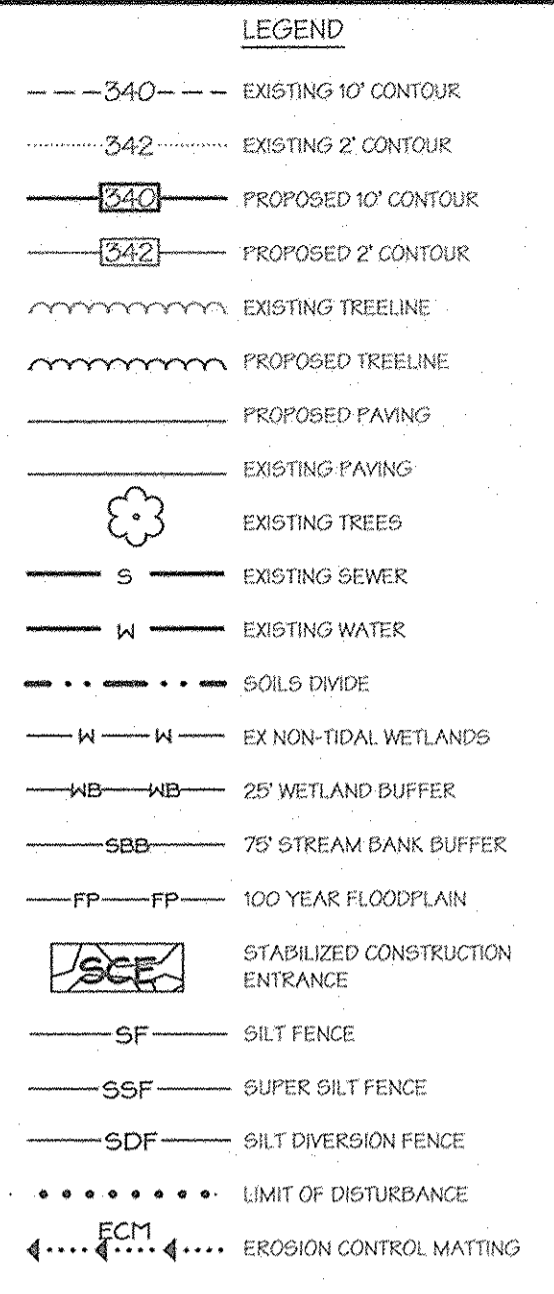
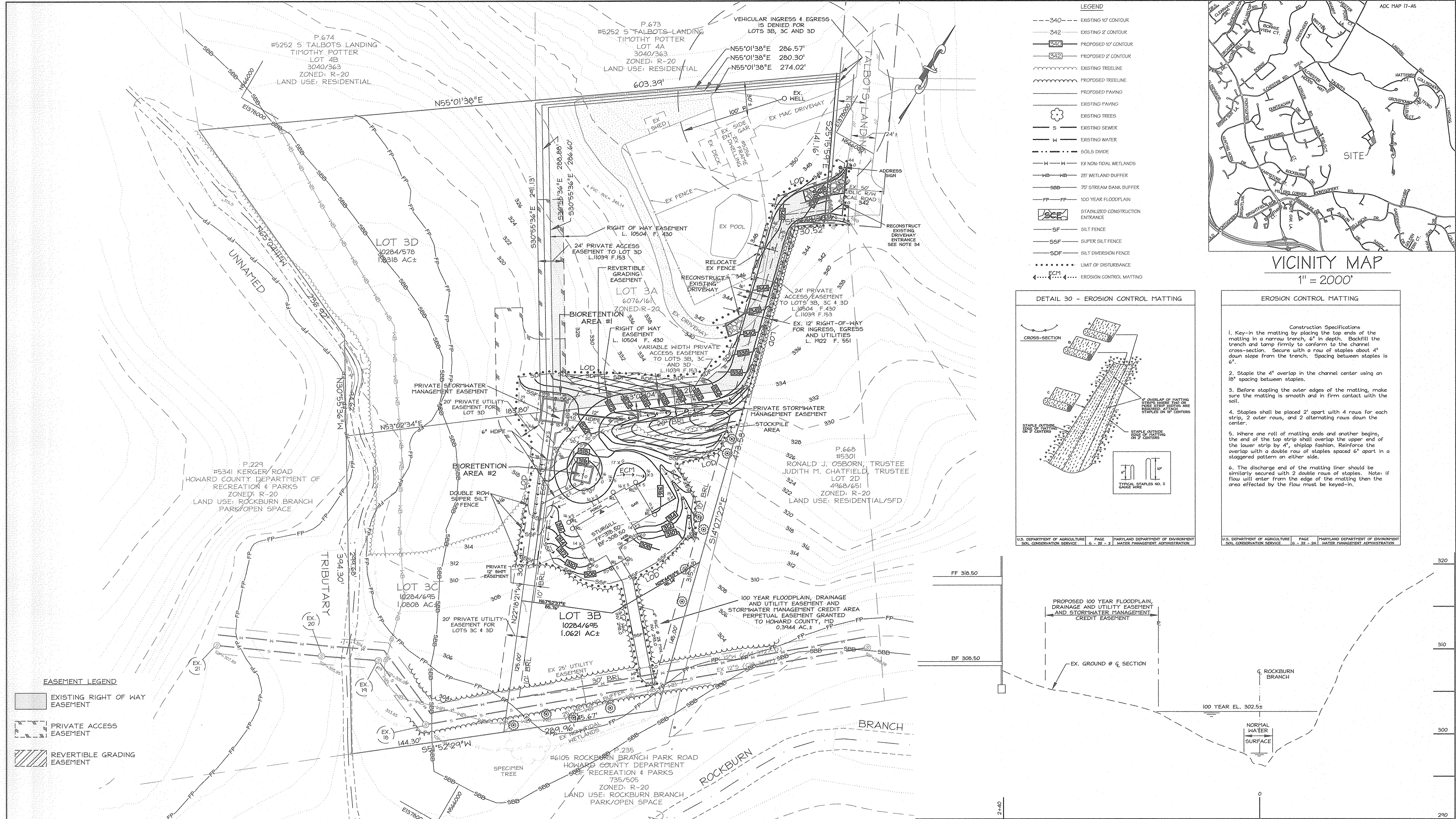
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Wanda McLaughlin 4/8/08
Cheryl Smith 4/8/08
John K. Robertson 3/25/08

DEVELOPER'S / BUILDER'S CERTIFICATION
I certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Subdivision and Land Development Regulations and the Landscape Manual. I further certify that upon completion, a letter of notice, accompanied by an executed one year guarantee of plant materials, and a copy of this plan will be submitted to the Department of Planning and Zoning.
John K. Robertson 1-30-08
John K. Robertson 4/3/08

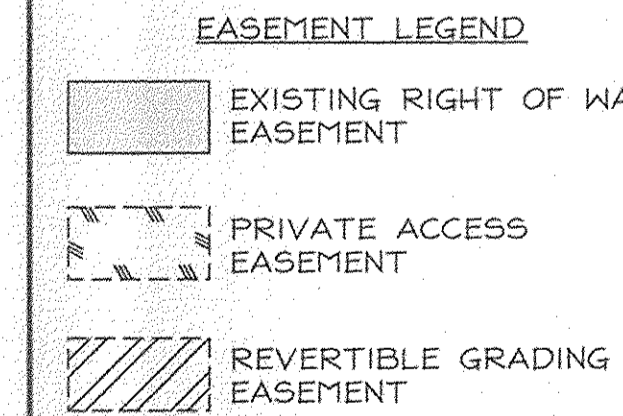
ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
Bruce D. Burton 1/29/08
John K. Robertson 1-30-08

DEVELOPER'S CERTIFICATE
I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS DEEMED NECESSARY.
John K. Robertson 1-30-08

No.	Date	Description



- EROSION CONTROL MATTING**
- Construction Specifications
1. Key-in the matting by placing the top ends of the matting in a narrow trench, 6" in depth. Backfill the trench and tamp firmly to conform to the channel cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6'.
 2. Staple the 4" overlap in the channel center using an 18" spacing between staples.
 3. Before stapling the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
 4. Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
 5. Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", shingle fashion. Reinforce the overlap with a double row of staples spaced 6' apart in a staggered pattern on either side.
 6. The discharge end of the matting liner should be similarly secured with 2 double rows of staples. Note: If flow will enter from the edge of the matting then the area affected by the flow must be keyed-in.



CROSS SECTION THRU ϕ PROPOSED DWELLING
SCALE: HORIZ. 1"=40'
VERT. 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Travis K. Laughlin 4/4/08
DIRECTOR DATE

Cindy Roman 4/3/08
CHIEF, DIVISION LAND DEVELOPMENT DATE

John R. Roberts 4/3/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

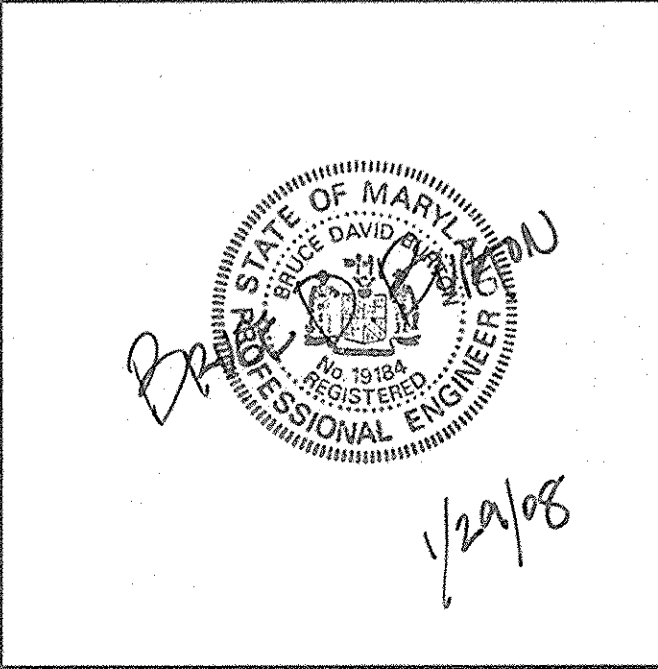
John R. Roberts 4/3/08
HOWARD SOIL CONSERVATION DISTRICT DATE

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. Bolton 1/29/08
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
"WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY."

John R. Roberts 1-30-08
SIGNATURE OF DEVELOPER DATE



No.	Date	Description

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: BDB
DRAWN: MDL
CHECKED: BDB
DATE: 1/2008

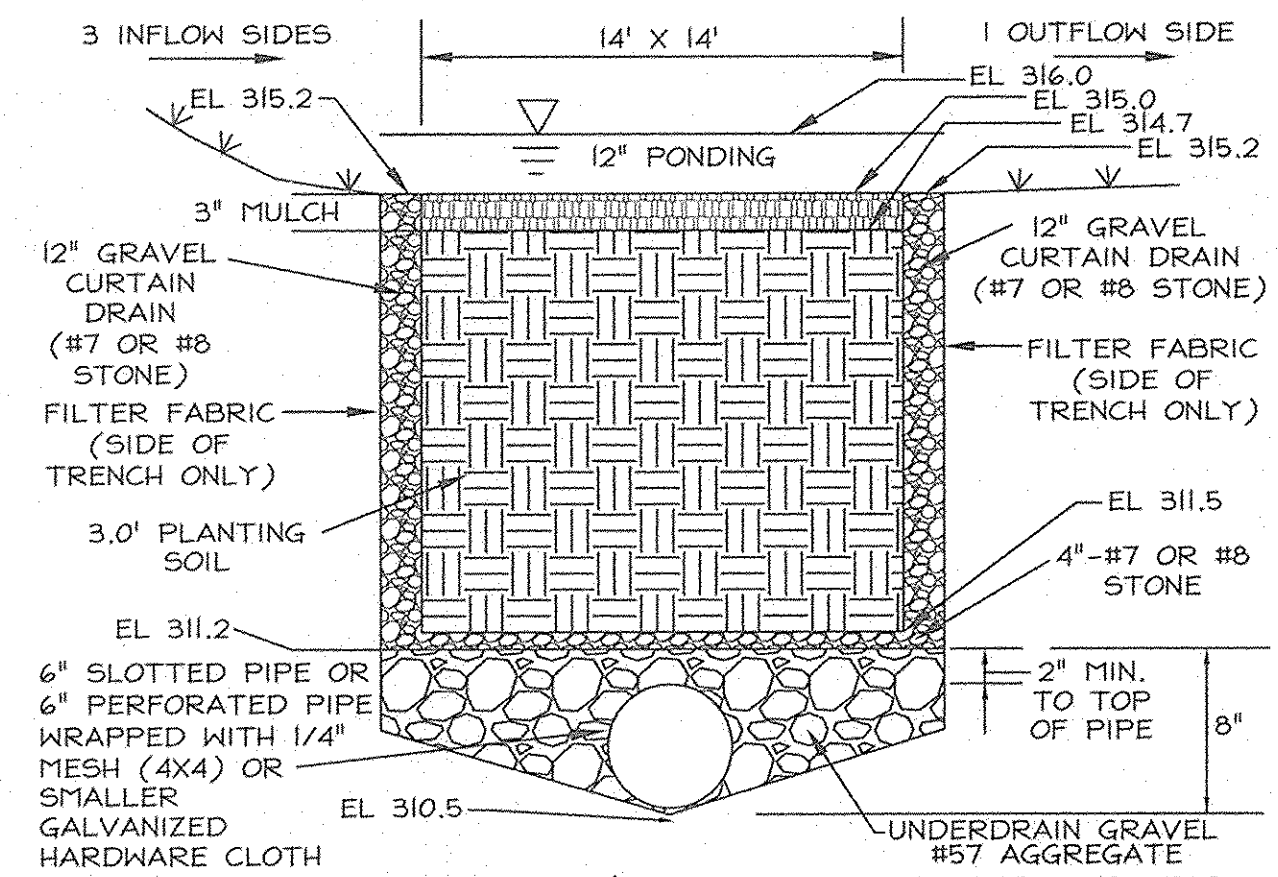
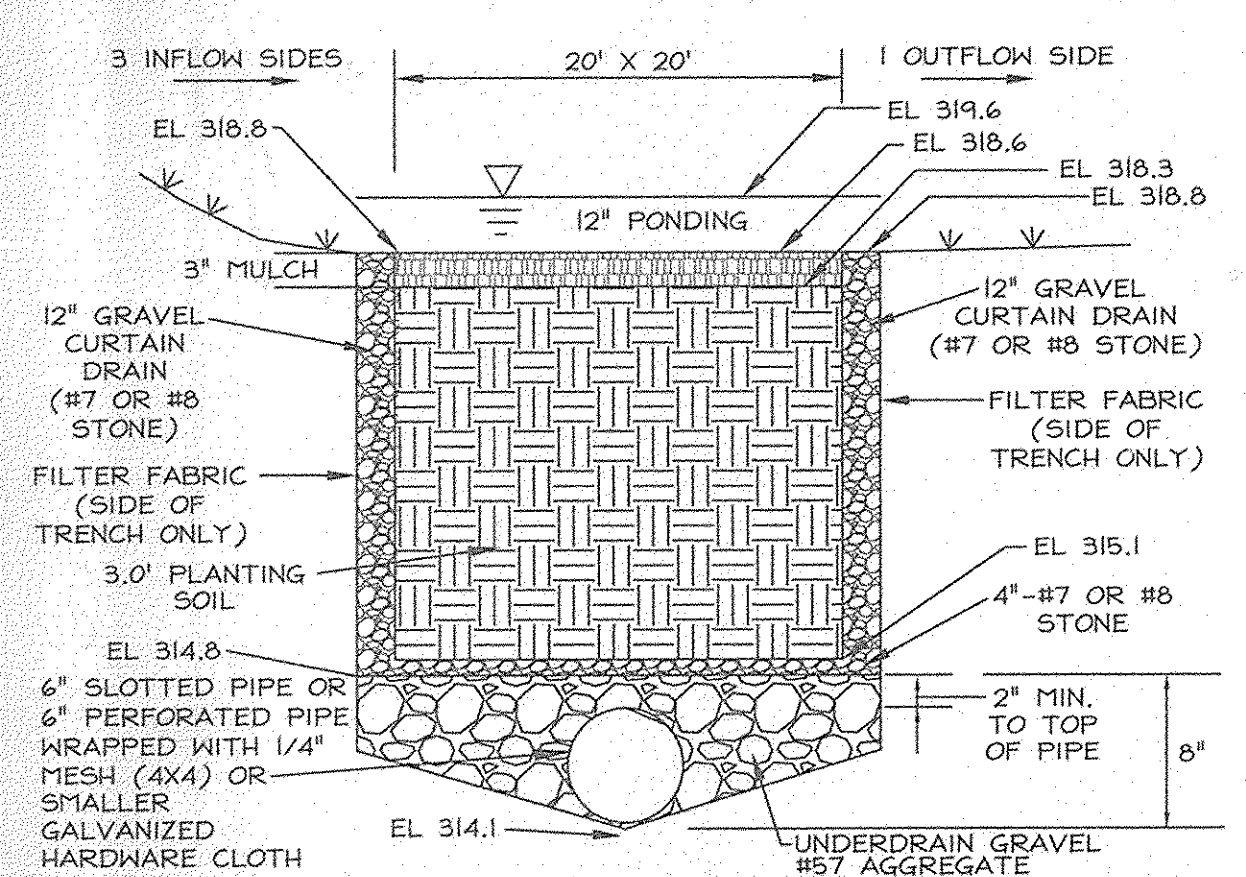
SEDIMENT & EROSION CONTROL PLAN
PROPERTY OF KASSIT, LLC
TALBOT'S LAST SHIFT
LOT 3B FOR SINGLE FAMILY DWELLING AND LOTS 3A, 3C AND 3D FOR THE USE-IN-COMMON DRIVEWAY AND THE STORMWATER MANAGEMENT CONSTRUCTION

TAX MAP 31 GRID 16 PARCEL 670
1st ELECTION DISTRICT HOWARD COUNTY MD

Previous Submitter:
OWNER/DEVELOPER: KASSIT, LLC
10211 Winopin Circle, Suite 600
Columbia, MD 21044

BUILDER: SASLOW HOMES
7820 Main Street, Suite 204
Sykesville, MD 21784

SCALE: 1"=40'
DRAWING: 2 OF 4
JOB NO.: 06-020
FILE NO.: SDP-07-091



- ### Maintenance Schedule for Bioretention
- Inspect facility on a semi-annual basis the first year, and after major storm events.
 - Inspect facility annually after the first year.
 - Test plantings bed soils on an annual basis for pH to establish acidic levels. If the pH is below 5.2, apply limestone. If the pH is above 7.0, iron sulfate plus sulfur should be added.
 - Inspect soil of bed for erosion after major storm events. Correct erosion problems as necessary.
 - Inspect surface of bed for clogging from fine sediments on an annual basis. If clogged, cores aerate non-vegetated areas to insure adequate filtration.
 - Bi-annual mulching is recommended. A 3 inch mulch depth is recommended.
 - All plant materials should be inspected annually. Dead or severely diseased species should be replaced.
 - Woody vegetation may require periodic pruning.

- ### Specifications for Bioretention
- Material Specifications:**
The allowable materials to be used in bioretention area are detailed in Table B.3.2.
 - Planting Soil:**
The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the bioretention area that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.
The planting soil shall be tested and shall meet the following criteria:

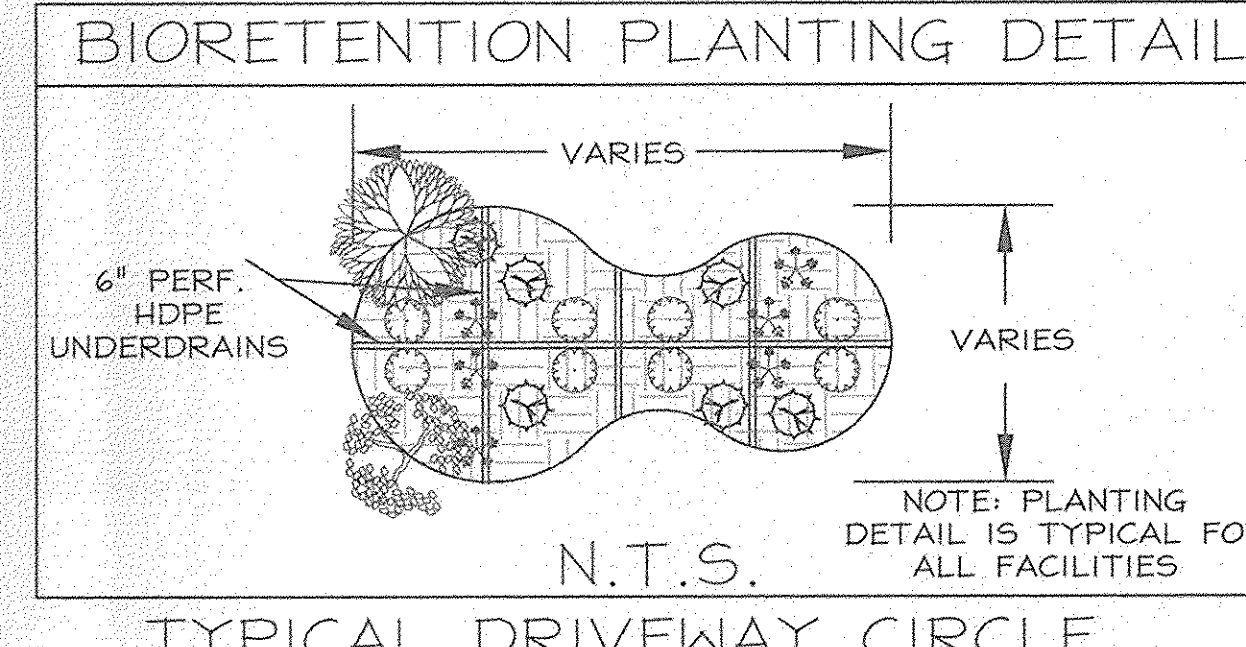
pH range	5.2 - 7.0
organic matter	1.5 - 4% (by weight)
magnesium	35 lb./ac
phosphorus (phosphate-P205)	75 lb./ac
potassium (potash-K2O)	85 lb./ac
soluble salts	not to exceed 500 ppm

TYP. SECTION FOR PROPOSED USE-IN-COMMON DRIVE BIORETENTION FACILITY # 1
SCALE: N.T.S.

TYP. SECTION FOR PROPOSED LOT 3B BIORETENTION FACILITY # 2
SCALE: N.T.S.

BIORETENTION LANDSCAPE SCHEDULE				
SYMBOL	QNTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
SHADE TREES				
RM	4	Red Maple October Glory	<i>Acer rubrum</i>	2'-2 1/2" Caliper B & B
RB	4	River Birch (Heritage Clump Birch)	<i>Betula nigra</i> 'Heritage'	10' - 12' Ht. B & B
SHRUBS				
AZ	8	Azalea	<i>Azalea sp.</i>	18" - 24" Ht. container 3" o.c.
IB	8	Inkberry	<i>Ilex glabra</i>	18" - 24" Ht. container 3" o.c.
AW	8	Arrowwood	<i>Viburnum dentatum</i>	18" - 24" Ht. container 3" o.c.
HERBACEOUS - GRASSES				
SG	500 sq. ft.	Switchgrass	<i>Panicum virgatum</i>	Seed Mixture

Planting Distribution: Facilities # 1 & 2:
(2)RM, (2)RB,
(4)AZ, (4)IB, (4)AW



TYPICAL DRIVEWAY CIRCLE
SCALE: N.T.S.

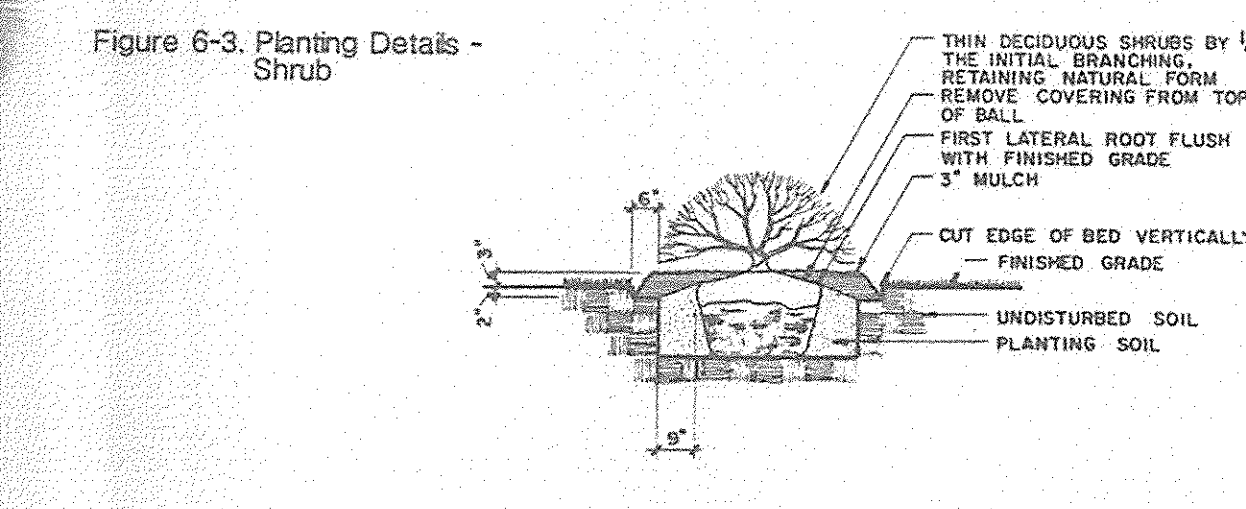


Figure 6-3. Planting Details - Shrub

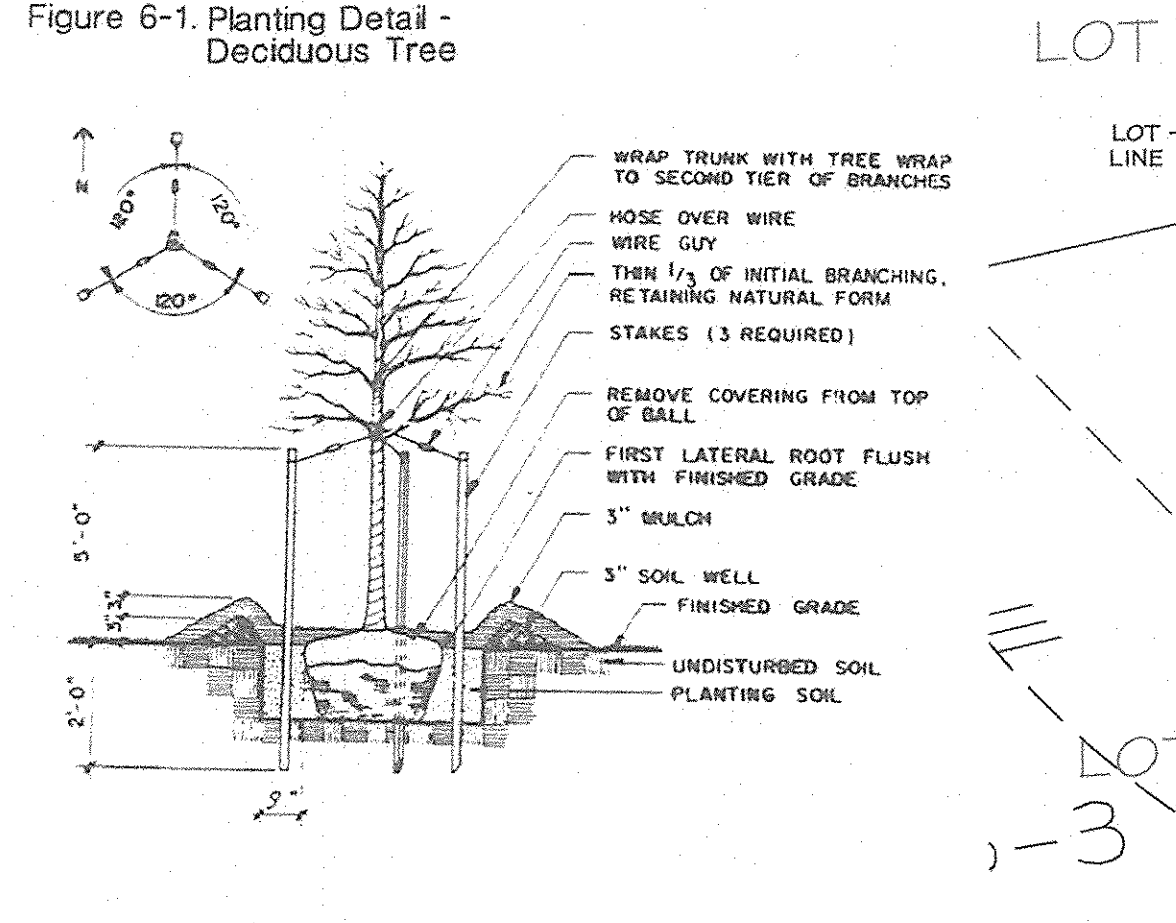


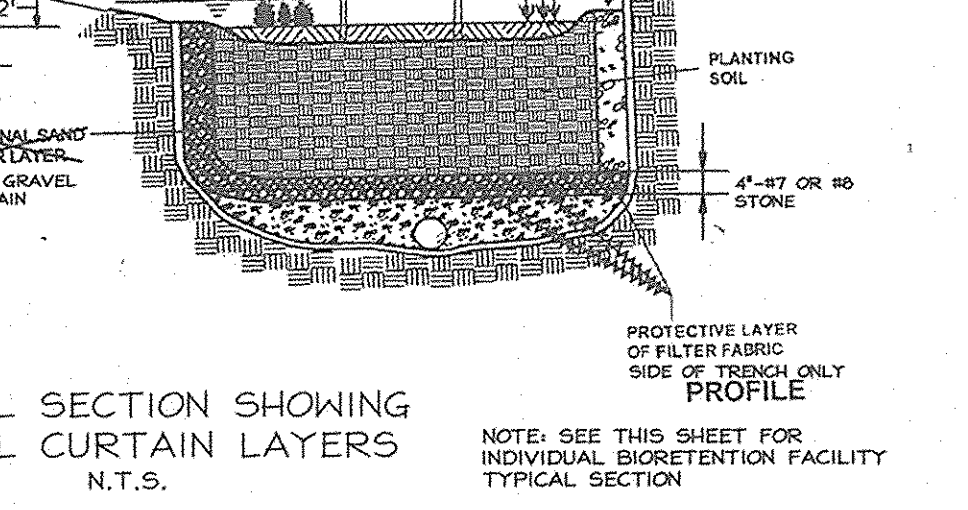
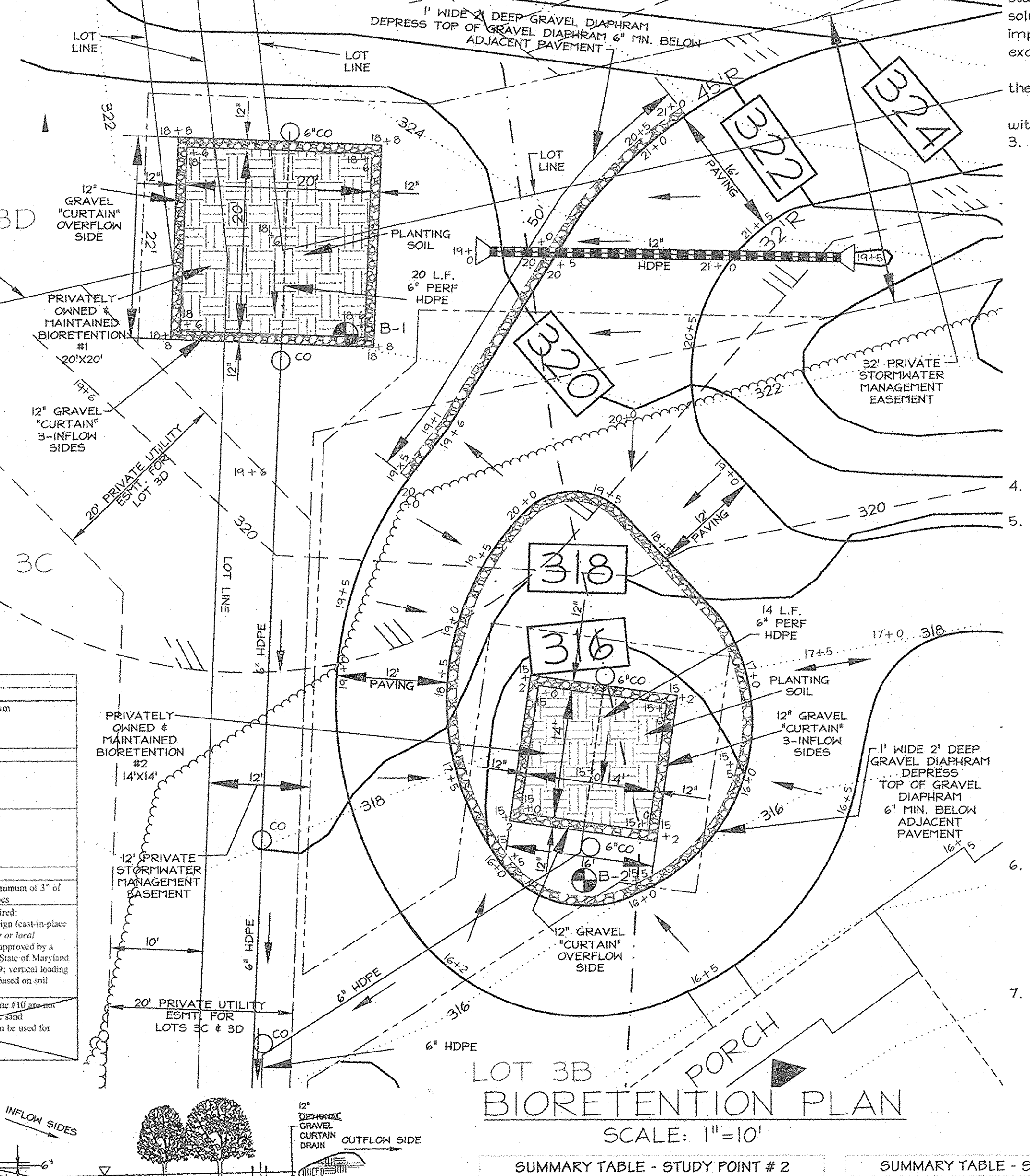
Figure 6-1. Planting Detail - Deciduous Tree

Material	Specification	Size	Notes
Planting soil	see Appendix A, Table A.4	n/a	USDA soil types loamy sand, sandy loam or loam
mulch	shredded hardwood	aged 6 months, minimum	
pea gravel	ASTM-D-448	pea gravel: No. 6 stone: 2" to 5"	
geotextile	Class "CC" - apparent opening size (ASTM-D-4751), grab sample strength (ASTM-D-4822), puncture resistance (ASTM-D-4833)	n/a	for use as necessary beneath underdrains only
underdrain gravel	AASHTO M-43	0.325" to 0.75"	3/8" perf. @ 6" on center, 4 holes per row; minimum of 3" of gravel over pipes; not necessary underdrain pipes
underdrain piping	F 788, Type 79.28 or AASHTO M-278	1" to 6" rigid schedule 40 PVC or SDR35	on-site testing of poured-in-place concrete required; 28 day strength and slump test; all concrete design cast-in-place or pre-cast) not using previously approved State or local standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland - design to include meeting ACI Code 350 R.8.9; vertical loading (H 10 or H 20); allowable horizontal loading (based on soil recovery) and analysis of potential cracking
poured in place concrete (if required)	MSHA Mix No. 3; F _c = 3500 psi @ 28 days, normal weight, air-entrained; reinforcing to meet ASTM 615-60	n/a	Some substitutions such as Diabase and Graystone #110 are acceptable. No cements carbonated or dolomitic-silica substitutions are acceptable. "stitch" steel can be used for steel.
1" depth	AASHTO M-6 or ASTM C-94	1/2" to 0.075"	

Table B.3.2 Materials Specifications for Bioretention

BIORETENTION FACILITY DIMENSION TABLE									
Facility No.	Width	Length	Square Feet	Depth	Top Gravel Curtain	Inv. Out	Top Pavement	Top Mulch Elev.	Location
1	20	20	361	3.0'	318.8	314.1	L.P. 319.6	318.6	Use in Common Driveway
2	14	14	196	3.0'	315.2	310.5	L.P. 316.0	315.0	LOT 3B

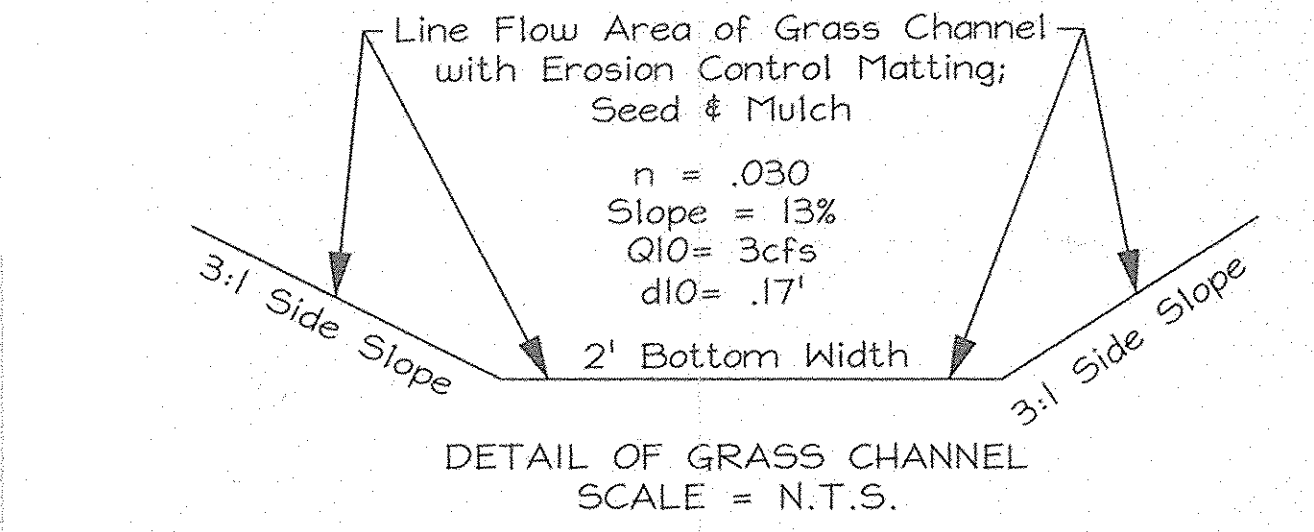
Inv. = Pipe Invert L.P. = Low Point



TYPICAL SECTION SHOWING GRAVEL CURTAIN LAYERS
SCALE: N.T.S.

SUMMARY TABLE - STUDY POINT # 2	
USE-IN-COMMON DRIVEWAY	PRIVATE BIORETENTION FACILITY # 1
Drainage Area = 0.66 Acres	Hazard Classification "A"
Water Quality Management = BIORETENTION	Water Quality (Cp) Management = See Note Below
Groundwater Recharge Volume (Rv) Required = 101 cu ft.	Groundwater Recharge Volume (Rv) Provided = 101 cu ft. *
Water Quality Volume (WQV) Required = 770 cu ft.	Water Quality Volume (WQV) Provided = 794 cu ft. **
Channel Protection Volume (Cp) Required = N/A cu ft.	Channel Protection Volume (Cp) Provided = N/A cu ft.

SUMMARY TABLE - STUDY POINT # 2	
LOT 3B	PRIVATE BIORETENTION FACILITY # 2
Drainage Area = 1.01 Acres	Hazard Classification "A"
Water Quality Management = BIORETENTION	Water Quality (Cp) Management = See Note Below**
Groundwater Recharge Volume (Rv) Required = 68 cu ft.	Groundwater Recharge Volume (Rv) Provided = 69 cu ft. *
Water Quality Volume (WQV) Required = 412 cu ft.	Water Quality Volume (WQV) Provided = 431 cu ft. **
Channel Protection Volume (Cp) Required = N/A cu ft.	Channel Protection Volume (Cp) Provided = N/A cu ft. ***



REVISIONS		
No.	Date	Description

LDE, INC.
9250 Rumsey Road, Suite 106, Columbia, MD. 21045
(410) 715-1070 (301) 596-3424 (410) 715-9540 (Fax)

DESIGNED: BDB
DRAWN: MDL
CHECKED: BDB
DATE: 1/2008

SCALE: As Shown
DRAWING: 4 OF 4
JOB NO.: 06-020
FILE NO.: SDP-07-091

STORMWATER MANAGEMENT NOTES & DETAILS
PROPERTY OF KASSIT, LLC
TALBOT'S LAST SHIFT
LOT 3B FOR SINGLE FAMILY DWELLING AND LOTS 3A, 3C AND 3D FOR THE USE-IN-COMMON DRIVEWAY AND THE STORMWATER MANAGEMENT CONSTRUCTION
TAX MAP 31 GRID 16 PARCEL 670
1st ELECTION DISTRICT HOWARD COUNTY MD

OWNER/DEVELOPER: KASSIT, LLC
10211 Manopin Circle, Suite 600
Columbia, MD 21044

BUILDER: SASLOW HOMES
7820 Main Street, Suite 204
Sykesville, MD 21784

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Howard J. Laugel 4/4/08
DIRECTOR DATE

Cheryl H. Smith 4/1/08
CHIEF, DEPARTMENT OF LAND DEVELOPMENT DATE

John J. ... 3/25/08
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
HOWARD SOIL CONSERVATION DISTRICT DATE

ENGINEER'S CERTIFICATE
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Bruce D. Burton 1/29/08
SIGNATURE OF ENGINEER DATE

DEVELOPER'S CERTIFICATE
I WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT OR THEIR AUTHORIZED AGENTS, AS ARE DEEMED NECESSARY.

[Signature] 1-30-08
SIGNATURE OF DEVELOPER DATE

STATE OF MARYLAND
PROFESSIONAL ENGINEER
[Signature] 1/29/08