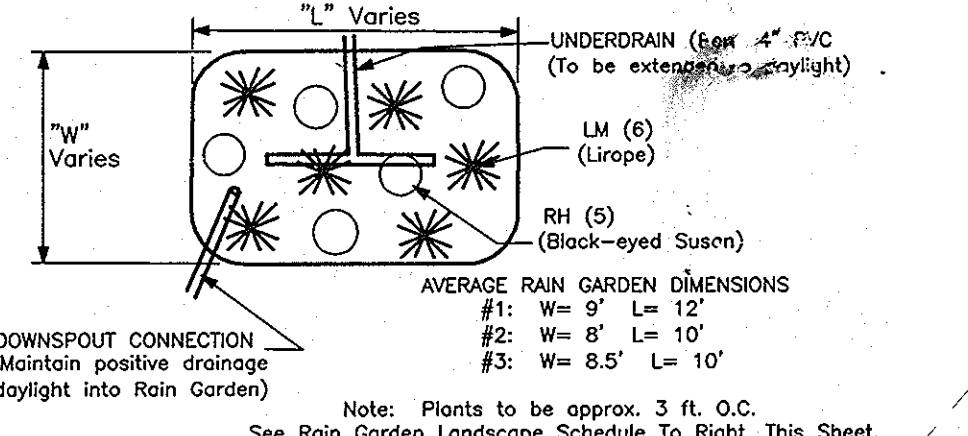
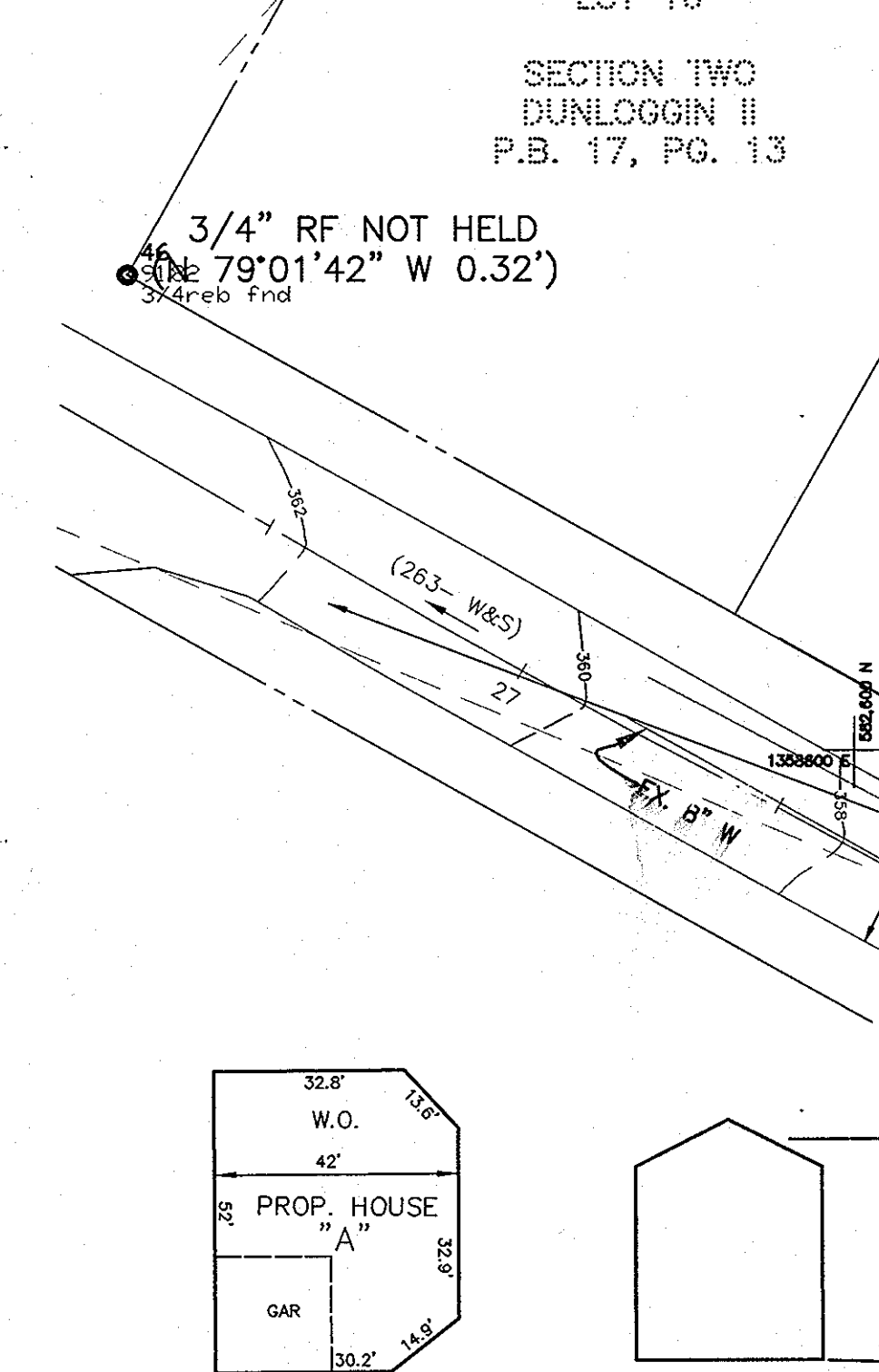


SIGHT DISTANCE ANALYSIS NOTES
 Spring Meadow Drive is a "Minor Local" (Rural-Open Section) Roadway, with posted speed limit of 25 mph. Per Howard County Transportation Planning Department, the 85th percentile speed for this roadway is 30 mph. Based on Table 2.01 (Stopping Sight Distance) of Howard County Design Manual Vol. II, DL Left Turn - North Bound (30 MPH) = 200' DR Right Turn, Southbound (30 MPH) = 210'. Since DL, Northbound is inside a vertical curve, there is an average slope of 2.6% from the low point (Sta. 29+77) and the proposed driveway to serve Lot 47. The horizontal plan view is shown on the site plan, using a line of sight, 10' off the edge of existing paving, at the centerline of the proposed driveway. Based on the vertical and horizontal analysis, this proposed driveway has adequate sight distance.

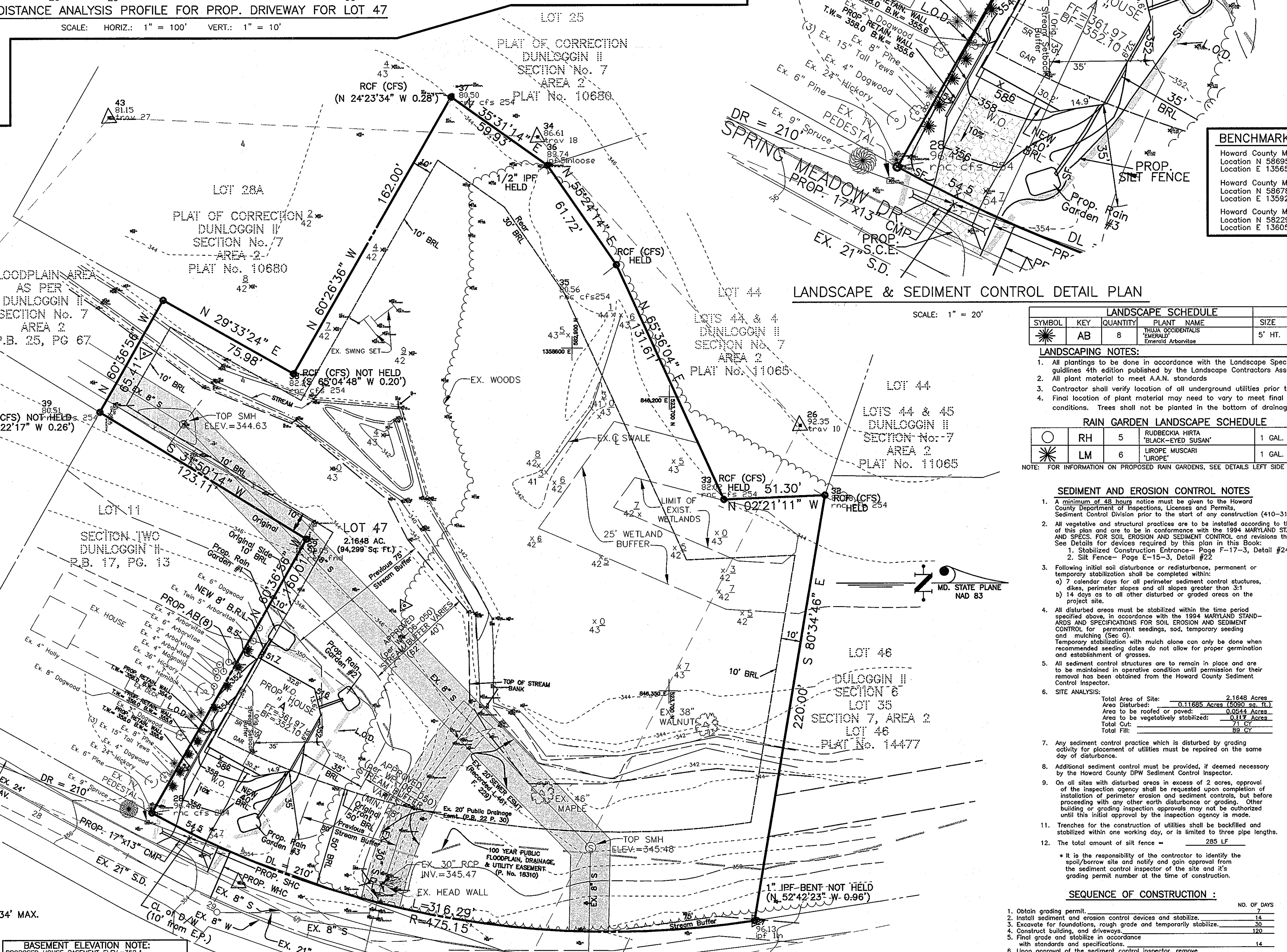


TYPICAL RAIN GARDEN DETAIL - PLAN
 NO SCALE
 UNDERDRAIN (4" PVC) (To be extended to daylight)
 LM (6) (Liriope)
 RH (5) (Black-eyed Susan)
 AVERAGE RAIN GARDEN DIMENSIONS
 #1: W=9' L=12'
 #2: W=8' L=10'
 #3: W=6.5' L=10'
 Note: Plants to be approx. 3 ft. O.C. See Rain Garden Landscape Schedule To Right, This Sheet.

TYPICAL RAIN GARDEN DETAIL - ELEVATION
 NO SCALE
 POOLING ZONE DEPTH (D)
 #1: D=10" (0.83')
 #2: D=8" (0.67')
 #3: D=10" (0.83')



APPROVED: DEPARTMENT OF PLANNING & ZONING
 DEVELOPMENT ENGINEERING DIVISION
 DATE: 7/15/07
 DATE: 7/15/07
 DATE: 7/15/07



DEVELOPER'S/BUILDER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan of development and plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District or their authorized agents, as are deemed necessary.
 DATE: 6-27-07

ENGINEER'S CERTIFICATE
 I hereby certify that this plan for Sediment and Erosion Control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 DATE: 6-25-07

SEQUENCE OF CONSTRUCTION:

NO.	DESCRIPTION	NO. OF DAYS
1.	Obtain grading permit.	7
2.	Install sediment and erosion control devices and stabilize.	14
3.	Excavate for foundations, rough grade and temporarily stabilize.	14
4.	Construct building, and driveways.	120
5.	Final grade and stabilize in accordance with standards and specifications.	14
6.	Upon approval of the sediment control inspector, remove sediment and erosion control devices and stabilize.	7

SITE ANALYSIS CHART

ITEM	VALUE
Total Project Area	2,164.8 acres
Area of Plan Submission	2,164.8 acres
Zoning	R-20
Proposed Use	Single Family Home Construction
Number of Units Proposed	1
Total Area of Disturbance	5,090 square feet

LEGEND

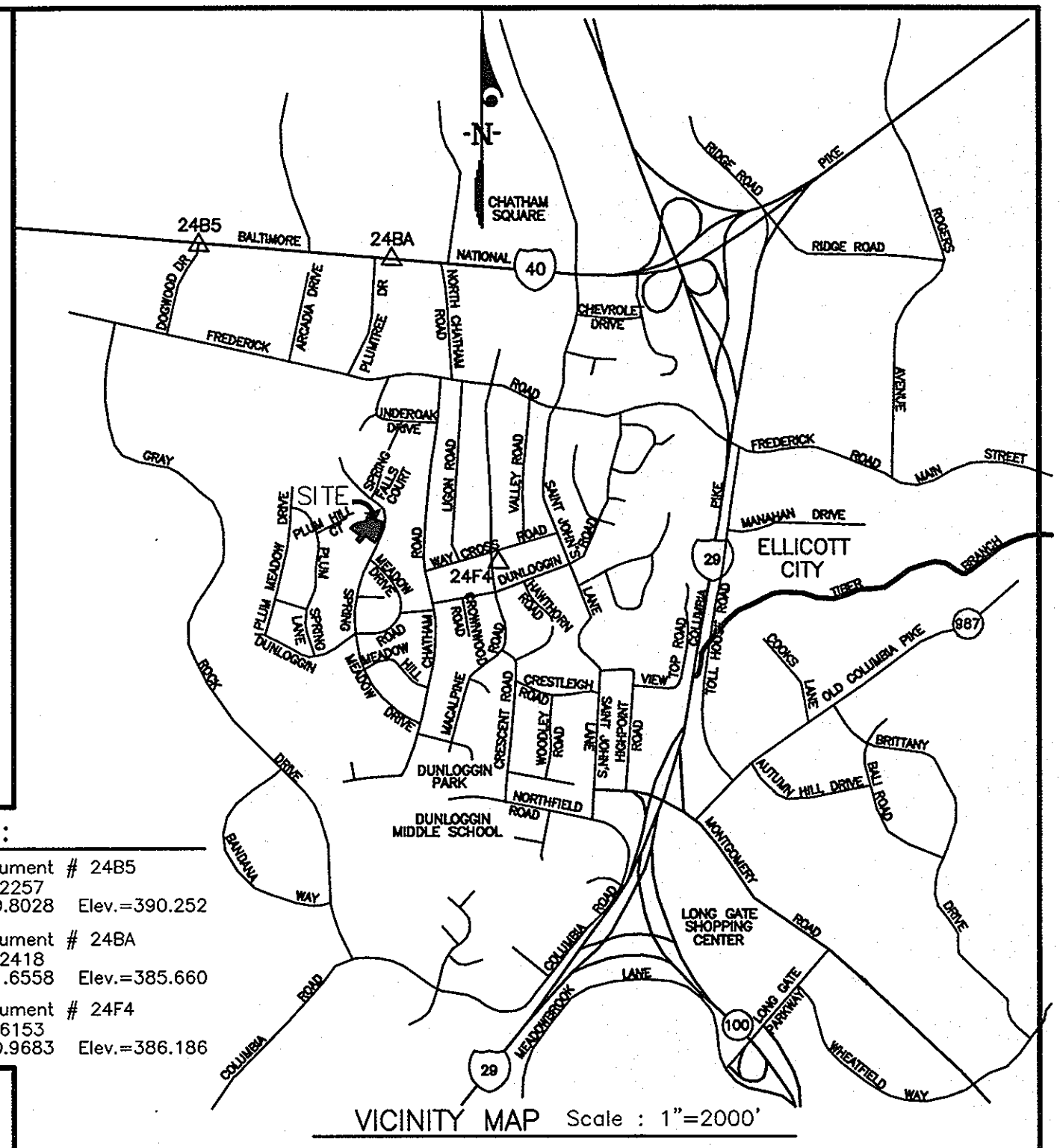
- CONTOUR INTERVAL: 2 FT.
- EXISTING CONTOUR: 350'
- PROPOSED CONTOUR: 370'
- SPOT ELEVATION: 78.3'
- EXISTING TREES TO REMAIN: (Symbol)

SEWER HOUSE CONNECTION TABLE

LOT #	% SLOPE	INV. @ R/W	MIN. CELLAR ELEV.	MIN. SEWER SERVICE ELEV.
47	2	347.5	351.3	349.3

ADDRESS CHART

LOT NUMBER	STREET ADDRESS
47	3758 Spring Meadow Drive



BENCHMARKS:
 Howard County Monument # 24B5
 Location N 588956.2257
 Location E 1356570.8028 Elev.=390.252
 Howard County Monument # 24BA
 Location N 586733.2418
 Location E 1359211.6558 Elev.=385.660
 Howard County Monument # 24FA
 Location N 582298.6153
 Location E 1360570.9683 Elev.=386.186

GENERAL NOTES:

- Subject property is zoned: R-20 per the Comprehensive Zoning Plan dated Feb. 2, 2004 and the Comp-Lite Zoning Amendments dated 7/28/06.
- The total area included in this submission is: 2,164.8 Acres.
- The total number of lots included in this submission is: 1
- Improvement to property: Single Family Detached
- Department of Planning and Zoning referenced file numbers: F-04-180, F-08-84, AA Case No. 06-038 & W-01-000.
- Utilities shown as existing are taken from approved Water and Sewer plans Contract 442-WAS and 293-WAS, approved Road Construction plans F-88-84.
- Any damage to county owned rights-of-way shall be corrected at the developer's expense.
- Roadway frontage to this property is to a rural open section public roadway (50' right-of-way).
- The existing topography is from a boundary and topographic survey prepared by Rutton, Harris, Rust, & Associates, PC (in January 2004).
- The coordinates shown here are based upon the Howard County Geodetic Control, based upon the Maryland State Plane Coordinate System - Howard County Monument No. 24BA, 24B5, & 24FA.
- The contractor shall notify the Department of Public Works/Division of Construction Inspection at (410) 313-1880 at least twenty-four (24) hours prior to start of work.
- The contractor shall notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to any excavation work.
- For driveway entrance details, refer to Ho. Co. Design Manual Volume IV details R.6.06.
- In accordance with Section 128 of Ho. Co. zoning regulations, boy windows or chimneys or exterior stairways not more than 16 feet in width may project not more than 4 feet into any setbacks, porches, or decks, open or enclosed, any project not more than 10 feet into the front or rear yard setback. The 15' minimum distance between structures does not apply to referenced roof between open decks and a dwelling structure or another deck. As an advisory, the 15' distance does not apply to the second overhang.
- No clearing, grading or construction is permitted within the required wetland and stream buffers (except for the rain garden installations). The rain gardens are to be installed as close to the proposed house as possible (but no closer than 10 feet to the house).
- SHC Elevations shown are at the easement line. SEE CHART.
- Driveways shall be provided prior to issuance of a use and occupancy permit for any new dwellings to insure safe access for fire and emergency vehicles per the minimum requirements:
 (a) Width-12' (14' serving more than one residence);
 (b) Surface-5' of compacted crusher run base with tar and chip coating (1-1/2" min.);
 (c) Geometry-max. 15% grade, max. 10% grade change and min. 45' turning radius;
 (d) Structures (culverts/bridges) - capable of supporting 25 gross tons (H25 loading);
 (e) Drainage elements-capable of safely passing 100-year flood with no more than 1 foot depth over driveway surface;
 (f) Maintenance-sufficient to insure all weather use.
- Stormwater management (Water Quality) is provided by installing rain gardens. The proposed rain gardens must be bonded at a rate of \$6,000 per rain garden for a total of \$18,000.
- A waiver petition was approved on March 9, 2006, granting a waiver from Section 16.120(b)(4)(iii)(b) to allow construction of a single family house beyond the typical 35 ft. setback from stream buffers. The waiver petition number is W-01-000, and the following are the conditions of the approval:
 1)The applicant is required to receive site development plan approval prior to filing a building permit. On the site development plan, the site and location of the dwelling must be consistent with the approved waiver petition exhibit.
 2)Because the proposed dwelling is sited close to Lot 11, the driveway must meet sight distance and must be located at least 10' from the north property line so that adequate screening can be installed along this property line.
 3)Approval of this waiver applies only to the elimination of the 35' structure setback for the purposes of constructing a dwelling on Lot 47. Any associated accessory structures are not subject to this setback. All grading and construction on the lot, however, must not impact the 75' streambank buffer for the perennial stream or the 50' streambank buffer for the intermittent stream located with the riparian channel. All compliance with the comments dated 3/7/06 from the Development Engineering Division (which was one comment: Raise the basement floor elevation of 352.0 based on requirements of the Howard County Code Section 3.101 Subsection 3.1107.1 that states that new residential structures shall be elevated at least 2 feet above the 100 year flood level).
- An Administrative Adjustment from Section 108.D.4.b.(1)(c)(i) of the Zoning regulations was approved on January 2, 2007, granting a reduction of the typical front and side yard setbacks to 40 feet & 8 feet, respectively. The approved Administrative Adjustment Case Number is: AA Case No. 06-038.
- This plan has been prepared in accordance with the provisions of Section 16.124 of the Howard County Code and the Landscape Manual. Financial surety for the required permit application for Lot 47, this project comes with the requirements of Section 16.1200 of the Howard County Code for Forest Conservation by payment of fee-in-lieu, in the amount of \$4,203.54.
- The Record Plot for Lot 47 is No. 18310, and was recorded on May 31, 2006

PERMIT INFORMATION CHART

Subdivision Name	DUNLOGGIN II	Section/Area	N/A	Lot/Parcel No.	LOT 47
Plot# or L/F	18310	Grid#	10	Zoning	R-20
Water Code		Tax Map No.	24	Elect. Distr.	2nd
		Census Tract			6023.06

CLARK · FINEFROCK & SACKETT, INC.
 ENGINEERS · PLANNERS · SURVEYORS
 7135 MINSTREL WAY · COLUMBIA, MD 21045 · (410) 381-7500 BALT. · (301) 621-8100 WASH.

SITE DEVELOPMENT, SEDIMENT CONTROL, AND SIGHT DISTANCE ANALYSIS, & LANDSCAPE PLAN
 LOT 47
 DUNLOGGIN II - Section 7

DESIGNED: J.P.
DRAWN: J.P.
CHECKED: J.P.
DATE: 07/03/07

SCALE: 1"=30'
DRAWING: Sht. 1 of 1
JOB NO.: 07-017
FILE NO.: 07-017-X

OWNER/DEVELOPER: Robert C. Goyens, Jr.
 3766 Spring Meadow Drive
 Ellicott City, Maryland 21042