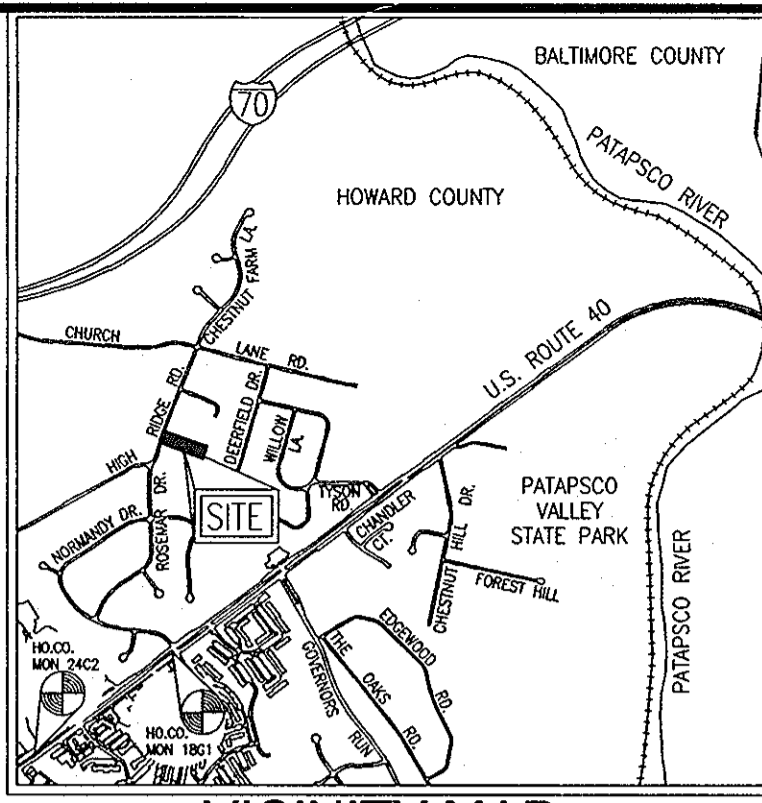


SITE DEVELOPMENT PLAN EBERHART PROPERTY LOT 3

BENCHMARKS			
NO.	NORTHING	EASTING	ELEVATION
1861	589984.951	1367750.255	408.491
24C2	588648.312	1366036.195	354.760

SITE ANALYSIS DATA CHART

LOCATION: TAX MAP 18, GRID 13, PARCEL 49
2ND ELECTION DISTRICT
EXISTING ZONING: R-20
GROSS AREA OF PROJECT: 0.81 AC OR 35,407 SF
AREA OF 100-YEAR FLOODPLAIN DRAINAGE & UTILITY EASEMENT: N/A
AREA OF STEEP SLOPES OUTSIDE THE FLOODPLAIN: N/A
NET AREA OF PROJECT: 0.81 AC OR 35,407 SF
AREA OF OPEN SPACE REQUIRED: N/A
AREA OF OPEN SPACE PROVIDED: N/A
AREA OF RECREATIONAL OPEN SPACE REQUIRED: N/A
AREA OF RECREATIONAL OPEN SPACE PROVIDED: N/A
AREA OF PROPOSED RIGHT-OF-WAY: N/A
TOTAL APPROXIMATE LIMIT OF DISTURBANCE: 13,400 SF OR 0.31 AC
DP2 REFERENCES: F-03-205



GENERAL NOTES

- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY: 1-800-257-7777
 - BELL ATLANTIC TELEPHONE CO.: 725-9976
 - HOWARD COUNTY BUREAU OF UTILITIES: 313-2369
 - VERIZON CABLE LOCATION DIVISION: 393-3553
 - B.G.&E. CO. CONTRACTOR SERVICES: 850-4620
 - B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 - STATE HIGHWAY ADMINISTRATION: 531-5533
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- IN ACCORDANCE WITH SECTION 128 OF THE HOWARD COUNTY ZONING REGULATIONS, BAY WINDOWS, CHIMNEYS, OR EXTERIOR STAIRWAYS NOT MORE THAN 16 FEET IN WIDTH MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS. PORCHES OR DECKS, OPEN OR ENCLOSED MAY PROJECT NOT MORE THAN 4 FEET INTO ANY SETBACKS.
- DRIVEWAYS SHALL BE PROVIDED PRIOR TO RESIDENTIAL OCCUPANCY TO INSURE SAFE ACCESS FOR FIRE AND EMERGENCY VEHICLES PER THE FOLLOWING MINIMUM REQUIREMENTS:
 - A) WIDTH - 12 FEET (16 FEET IF SERVING MORE THAN ONE RESIDENCE)
 - B) SURFACE - 6 INCHES OF COMPACTED CRUSHER RUN BASE WITH TAR AND CHIP COATING
 - C) GEOMETRY - MAXIMUM 15% GRADE, MAXIMUM 10% GRADE CHANGE, AND MINIMUM 45 FOOT TURNING RADIUS
 - D) STRUCTURES (CULVERTS/BRIDGES) - MUST SUPPORT 25 GROSS TON LOADING (H25 LOADING)
 - E) DRAINAGE ELEMENTS - CAPABLE OF SAFELY PASSING 100 YEAR FLOOD EVENTS WITH NO MORE THAN 1 FOOT DEPTH OVER DRIVEWAY SURFACE
 - F) STRUCTURE CLEARANCES - MINIMUM 12 FEET
 - G) MAINTENANCE - SUFFICIENT TO INSURE ALL WEATHER USE

- THE SUBJECT PROPERTY IS ZONED R-20 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN, AND THE COMPREHENSIVE LITE ZONING AMENDMENTS 7/28/06.
- COORDINATES AND ELEVATIONS ARE BASED ON HOWARD COUNTY MONUMENT NO.'S 1861 AND 24C2.
- THE PROJECT BOUNDARY IS BASED ON RECORD PLAT# 18893.
- THE PROPERTY OUTLINE IS BASED ON A FIELD RUN BOUNDARY SURVEY PERFORMED BY FREDERICK WARD ASSOCIATES, INC. IN APRIL 2003.
- ACCESS TO PUBLIC WATER HAS BEEN PROVIDED UNDER CONTRACT NO.70-W. ACCESS TO PUBLIC SEWER HAS BEEN PROVIDED UNDER CONTRACT NO. 21-S.
- NO BURIAL GROUNDS OR CEMETERIES ARE LOCATED ON THIS PROPERTY.
- WETLANDS ARE LOCATED ON SITE IN ACCORDANCE WITH DELINEATION PREPARED BY EXPLORATION RESEARCH DATED FEBRUARY, 2005.
- FOR DRIVEWAY ENTRANCE DETAILS REFER TO THE HOWARD COUNTY DESIGN MANUAL VOLUME IV, STANDARD DETAIL R-6.06 (OPEN SECTION).
- THE FOREST CONSERVATION OBLIGATIONS FOR THIS PROJECT HAS BEEN FULFILLED BY A FEE-IN-LIEU PAYMENT FOR THE 0.89 ACRES OF REFORESTATION REQUIRED. THE FEE OF \$19,384.20 HAS BEEN PAID WITH F-03-205.
- STORMWATER MANAGEMENT FACILITIES WILL BE REQUIRED ON LOTS 2 AND 3 IN ACCORDANCE WITH THE DESIGN MANUALS. EXEMPT, THE Q1 IS LESS THAN 2 CFS. C2V (QUALITY CONTROL). EXEMPT, THE Q1 IS LESS THAN 2 CFS. REV AND WOV REQUIREMENTS FOR LOT 2 SATISFIED BY ROOFTOP & NON-ROOFTOP DISCONNECTION. REV AND WOV REQUIREMENTS FOR LOT 3 SATISFIED BY SHEETFLOW TO BUFFER.
- LANDSCAPING FOR LOT 3 HAS BEEN PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL. SURETY IN THE AMOUNT OF \$2,700.00 SHALL BE POSTED WITH THE BUILDER'S GRADING PERMIT APPLICATION FOR 9 SHADE TREES.
- THIS SDP IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS PER COUNCIL BILL NO. 45-2003 AND ZONING REGULATIONS AS AMENDED BY COUNCIL BILL NO. 75-2003. DEVELOPMENT OR CONSTRUCTION ON THESE LOTS MUST COMPLY WITH SETBACKS AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION ON THE SITE DEVELOPMENT PLAN, WAIVER PETITION APPLICATION, OR BUILDING/GRADING PERMIT.
- A DECLARATION OF MAINTENANCE OBLIGATIONS FOR THE PRIVATE USE-IN-COMMON DRIVEWAY SERVING LOTS 2 AND 3 HAS BEEN RECORDED IN THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, DEED REFERENCE L2009-1413.
- FOR FLAG OR PIPESTEM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JUNCTION OF THE FLAG OR PIPESTEM AND ROAD RIGHT-OF-WAY LINE AND NOT TO THE PIPESTEM LOT DRIVEWAY.

- BASED ON A FIELD SURVEY NO WELL OR SEPTIC SYSTEMS WERE PRESENT ON-SITE. SHOULD ANY WELLS AND/OR SEPTIC SYSTEMS BE ENCOUNTERED DURING GRADING PROCEDURES THE CONTRACTOR IS TO CONTACT THE HEALTH DEPARTMENT FOR PROPER ABANDONMENT PROCEDURES.
- NO 100 YEAR FLOODPLAINS EXIST ON SITE.
- NO DISTURBANCE IS PERMITTED WITHIN THE LIMITS OF WETLANDS, STREAMS, 100-YEAR FLOODPLAIN AND ITS BUFFERS.
- GRAVITY SEWER SERVICE, FIRST FLOOR ONLY, BASEMENT SEWER SERVICE TO BE PROVIDED BY PRIVATE ON-SITE PUMP. REF. DESIGN MANUAL, WALKER OF VOLUME II, SECTION 1.8.7, APPROVED ON FEBRUARY 19, 2004.
- DESIGN MANUAL VOLUME III, SECTION 2.5.2.H, WAIVER WAS APPROVED ON MARCH 9, 2004, TO UTILIZE STOPPING SIGHT DISTANCE IN LIEU OF INTERSECTION SIGHT DISTANCE.
- WETLANDS SHOWN HEREON IN ACCORDANCE WITH REPORT AND DELINEATION PREPARED BY ECO-SCIENCE PROFESSIONALS 4/21/03.
- THE DWELLING/GARAGE HAS BEEN SITED ON THIS LOT SO THAT A SECOND CAR, IF PARKED IN THE DRIVEWAY, WILL NOT OVERHANG INTO THE PRIVATE USE-IN-COMMON DRIVEWAY (18' MINIMUM CLEARANCE).
- THE RECORDED 35' REAR BUILDING RESTRICTION LINE (BRL) COINCIDES WITH THE BOUNDARY OF THE 35' SETBACK FROM THE WETLAND BUFFER; THEREFORE, THE DISTANCE FROM THE REAR BUILDING RESTRICTION LINE TO THE REAR PROPERTY LINE WILL VARY IN DISTANCE, NOT TO BE LESS THAN 30 FEET PER THE R-20 ZONING REGULATIONS, SECTION 16.120 (b) (4). (ii) C OF THE SUBDIVISION REGULATIONS PROHIBITS THE BUILDING ENVELOPE TO BE NO CLOSER THAN 35 FEET FROM THE WETLAND BUFFER.

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
GnB2	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	C
MIB2	MANOR LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED	B
MdD	MONTALTO AND RELAY VERY STONY SILT LOAMS, 3 TO 25 PERCENT SLOPES	B

NOTE: HOWARD SOIL SURVEY, MAP NUMBER 16

LEGEND

- EXISTING CONTOUR: 440
- PROPOSED CONTOUR: 417
- SPOT ELEVATION: 482.53
- DIRECTION OF FLOW: (Symbol)
- EXISTING TREES TO REMAIN: (Symbol)
- SUPER SILT FENCE: SSF
- LIMIT OF DISTURBANCE: LOD
- EROSION CONTROL MATTING: (Symbol)
- NON-TIDAL WETLAND: (Symbol)
- 24' PRIVATE ACCESS & UTILITY EASEMENT: (Symbol)
- CONSTRUCTION ENTRANCE: (Symbol)
- SOIL TYPE: BA, GnB2

COORDINATE TABLE

POINT	NORTH	EAST
204	N 592337.024	E 1368621.706
205	N 592219.433	E 1368587.553
210	N 592449.658	E 1367997.352
216	N 592333.555	E 1367954.178

MINIMUM LOT SIZE CHART

LOT NO.	GROSS AREA	PIPE STEM AREA	MINIMUM LOT SIZE
3	35,407 sq	4,505 sq	30,902 sq

WETLAND LINE TABLE

LINE	BEARING	DISTANCE
W-1	N08°49'35"W	5.19'
W-2	N66°04'43"W	26.85'
W-3	N14°46'50"W	30.56'
W-4	N28°24'29"E	19.17'
W-5	N46°34'00"E	15.08'
W-6	N74°19'25"E	23.86'
W-7	N17°47'22"W	24.65'
W-8	N10°13'34"E	20.30'

ADDRESS CHART

LOT #	STREET ADDRESS
3	2712 FAMILY WAY

PERMIT INFORMATION CHART

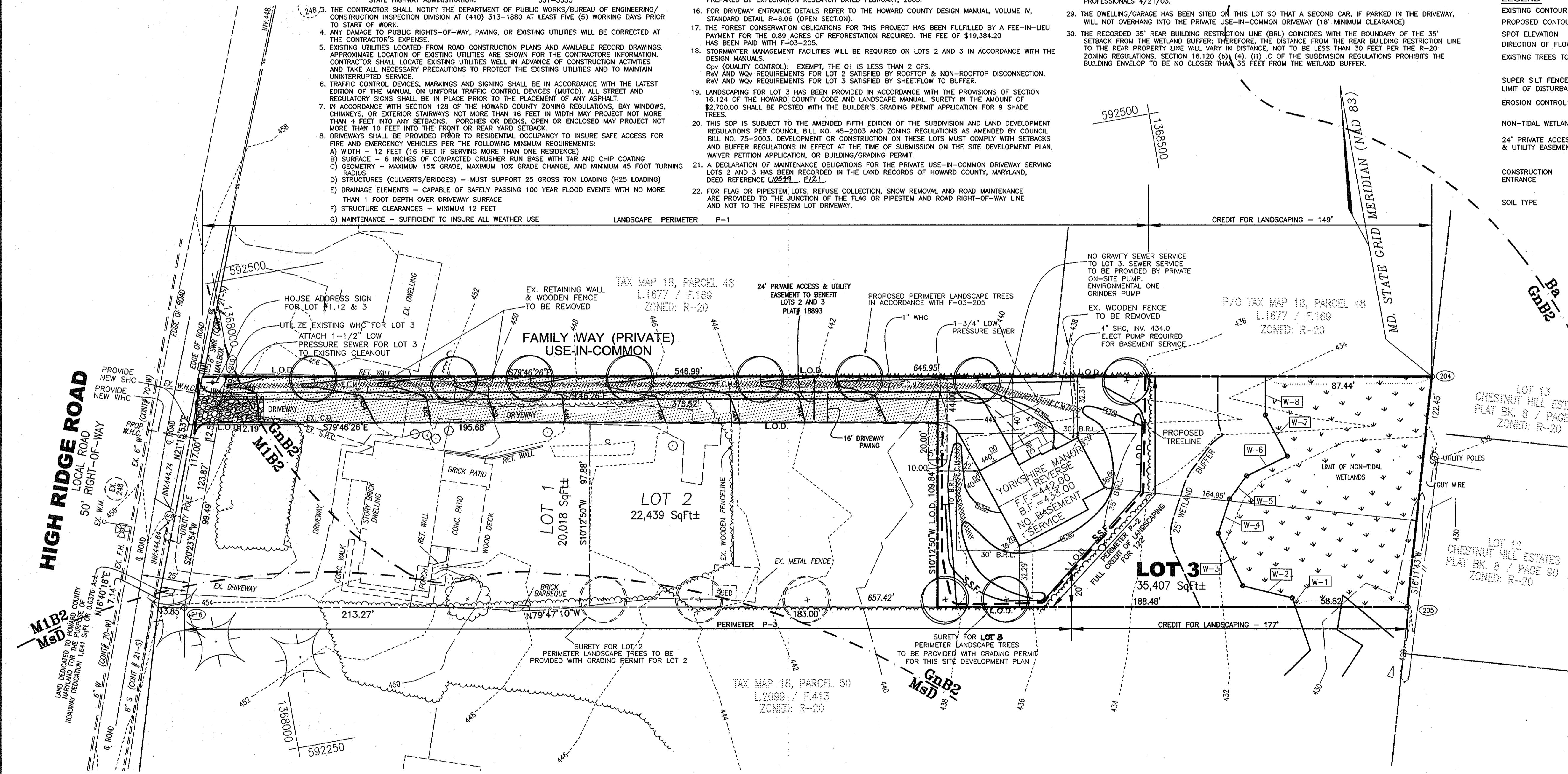
PROJECT NAME	SECTION/AREA	LOT NUMBER
EBERHART PROPERTY/LOT 3	N/A	LOT 3 PART OF PARCEL 49

PLAT REF.	BLOCK NO.	ZONE	TAX MAP	ELECT. DIST.	CENSUS TR.
18893	13	R-20	18	2ND	602600

WATER CODE: F-02 SEWER CODE: 1453600

SHEET INDEX

DESCRIPTION	SHEET NO.
SITE DEVELOPMENT AND LANDSCAPE PLAN	1 OF 2
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	2 OF 2



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, ENGINEERING DIVISION
 DATE: 7/11/07

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 7/19/07

DIRECTOR
 DATE: 7/14/07

BY THE ENGINEER

"I HEREBY CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER
 ROBERT H. VOGEL, PE
 DATE: 6/23/07

BY THE DEVELOPER

"I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE IN ACCORDANCE TO THESE PLANS, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

TRINITY QUALITY HOMES, INC.
 DATE: 06/20/07

THESE PLANS HAVE BEEN REVIEWED FOR HOWARD COUNTY SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

DATE: 6/29/07

HOWARD SCD
 DATE: 6/29/07

OWNER/DEVELOPER

TRINITY QUALITY HOMES, INC.
 3675 PARK AVENUE
 ELLICOTT CITY, MARYLAND
 21043-4511
 (410) 480-0023

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: RHV
 DRAWN BY: JMR
 CHECKED BY: RHV
 DATE: JUNE 2007
 SCALE: AS SHOWN
 W.O. NO.: 02-97 2024097

1 SHEET OF 2

