

SWM DISCHARGE SUMMARY						
	STUDY POINT #1		STUDY POINT #2		STUDY POINT #3	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
1-YEAR	7.1 cfs	6.3 cfs	0.03 cfs	0.00 cfs	0.03 cfs	0.02 cfs
10-YEAR	51.8 cfs	78.4 cfs	0.06 cfs	0.00 cfs	0.06 cfs	0.05 cfs
100-YEAR	98.1 cfs	139.4 cfs	0.38 cfs	0.00 cfs	0.23 cfs	0.22 cfs

1-YEAR MANAGEMENT FOR STUDY AREA 1 PROVIDED BY THE PREVIOUSLY CONSTRUCTED EXTENDED DETENTION FACILITY AND THE PROPOSED UNDERGROUND CMP PIPE EXTENDED DETENTION FACILITY
 1-YEAR MANAGEMENT FOR STUDY AREAS 2 AND 3 PROVIDED BY LAND USE & DRAINAGE AREA CHANGES
 10- AND 100-YEAR MANAGEMENT FOR NOT REQUIRED

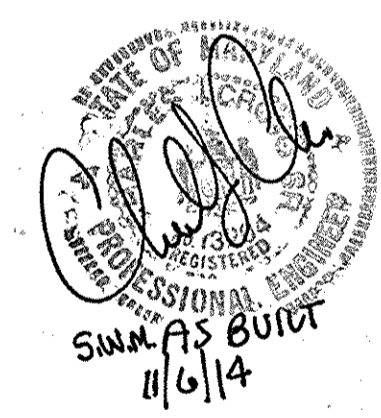
NOTE:
SEE GEOMETRY PLAN, SHEET 9 FOR ENTRANCE DETAILS.

OVERALL SITE SWM REQUIREMENTS SUMMARY			
	Rev VOLUME	Rev AREA	WQV
REQUIRED	0.173 ac/ft	2.081 ac	0.693 ac/ft
PROVIDED COURTYARDS	0.147 ac/ft	0.00 ac	0.431 ac/ft
PROVIDED BIORETENTION	0.026 ac/ft	0.00 ac	0.128 ac/ft
PROVIDED SAND FILTER	0.00 ac/ft	0.00 ac	0.161 ac/ft
TOTAL PROVIDED	0.173 ac/ft	0.00 ac	0.721 ac/ft

RECHARGE REQUIREMENTS MET IN ACCORDANCE WITH THE MDE DESIGN MANUAL BY GRAVEL STORAGE BENEATH THE DRY SWALE APPROVED UNDER SDP-02-55 AND IN GRAVEL STORAGE BENEATH THE PROPOSED BIORETENTION FACILITY.
 WATER QUALITY VOLUME REQUIREMENTS MET IN ACCORDANCE WITH THE MDE DESIGN MANUAL BY A MICRO-POOL FACILITY (P-1) APPROVED UNDER SDP-02-55 AND IN THE BIORETENTION FACILITY (F-6) AND UNDERGROUND SAND FILTER (F-2) PROPOSED AT THIS TIME.

LEGEND	
SYMBOL	DESCRIPTION
-----	EXISTING STORM DRAIN LINE
x - x	EXISTING FENCE
-----	BOUNDARY/RIGHT OF WAY LINE
B.L.	BUILDING RESTRICTION LINE
-----	PROPOSED CURB TRANSITION
-----	PROPOSED STORM DRAIN PIPE
-----	PROPOSED PERFORATED PIPE
-----	PROPOSED WATER PIPE
-----	PROPOSED SEWER PIPE
-----	PROPOSED CONCRETE
-----	PROPOSED PAVING
-----	PROPOSED LIGHT

Note:
The commercial identification sign was reviewed and approved by the Sign Administrator and complies with the Howard County Sign Code.



MEADOWRIDGE ROAD
MARYLAND ROUTE 103
 SHA (MINOR ARTERIAL) 54941 & 54943

DATE	DESCRIPTION
10-1-10	Revised Building No. 2.
8-16-09	Add Pylon Sign location & approval note.
11-20-08	Add grease trap, Bldg #1 add dual Dumpster Pad, rev exterior stairway loc. to Bldgs. #1, 2 & 3
9-15-08	Add dumpster pad, clock tower and elevator between buildings 2 and 3, Change Plan Title, Add grease traps, remove roof drains
6/30/10	REPLACE ALIGNMENT OF PRIVATE WATER MAIN TO BLDGS. 1, 2 & 3
2-29-11	Revised Building No. 2.
7/5/11	RENAMED BUILDING NO. 2
4/18/12	AMEND AS SAC BYPASS, CHANGED SAC SIZE TO 4" AND MOVED THE 6" X 8" TEE AND 6" WATER VALVE.

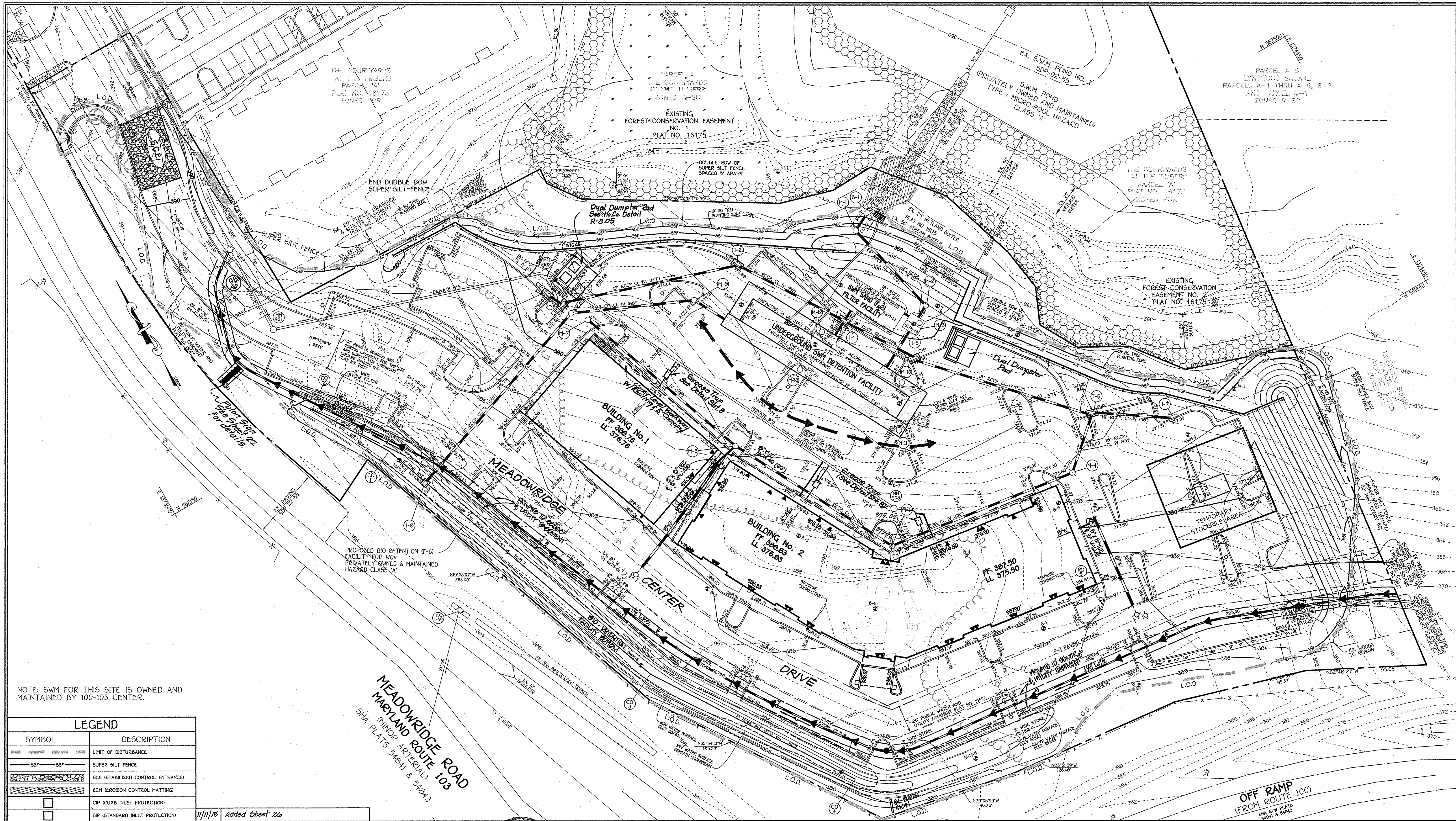
FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL OFFICE: 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 (410) 461-2955

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21143
 413-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING			
<i>[Signature]</i>	Director - Department of Planning and Zoning	12/13/12	Date
<i>[Signature]</i>	Chief, Division of Land Development	12/14/12	Date
<i>[Signature]</i>	Chief, Development Engineering Division	11/26/12	Date
SUBDIVISION	SECTION/AREA	PARCEL NO.	
THE COURTYARDS AT THE TIMBERS	N/A	617	
DEED REF. 5609 / 511	BLOCK NO. 3	ZONE POR	TAX MAP 37
PLAT NO. 1996-19957	FIRST ELEC. DIST. 6030	CENSUS TR.	
WATER CODE D 04	SEWER CODE 2610000		

SITE DEVELOPMENT PLAN
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: NOVEMBER 13, 2007
 SHEET 2 OF 26



NOTE: SWM FOR THIS SITE IS OWNED AND MAINTAINED BY 100-103 CENTER.

LEGEND	
SYMBOL	DESCRIPTION
	LIMIT OF DISTURBANCE
	SUPER SILT FENCE
	SCE (STABILIZED CONTROL ENTRANCE)
	ECM (EROSION CONTROL MATTING)
	CIP (CURB INLET PROTECTION)
	SIP (STANDARD INLET PROTECTION)

DATE	DESCRIPTION
11/11/15	Added Sheet 26
11/11/15	AMEND PLAN TO SHOW REVISED WPP, BLOWER MAIN OUTFALL, AS-BUILT CONTIGUOUS BIO-RETENTION AREA & POWER EASEMENT
4/16/16	ADDED 1" DIA. STAIRS, CHANGED SLOPE SIZE TO 4" AND MOVED THE TOP OF 12" DIA. AND 6" WATER VALVE
7/5/11	REVISED BUILDING NO. 2
4/05/11	REVISED BUILDING NO. 2
11-10-11	REVISED BUILDING NO. 2
6/30/10	REVISE ALIGNMENT OF PRIVATE WATER MAIN TO CURB 1, 2 & 3
6-16-09	Add Pylon on Sign location.
11-20-08	Add grease trap to Bldg #1, dual dumpster pad, & rev exterior stairwell loc. to Bldg. #1, 2 & 3
9-16-08	Add dumpster pad, Clock Tower, Grease Trap planters, elevator Fountain. Rev. Plan Name

ENGINEER'S CERTIFICATE
 I certify that the development and erosion control represents a practical and workable plan based on the knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 11-13-07

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature of Developer: *[Signature]* Date:

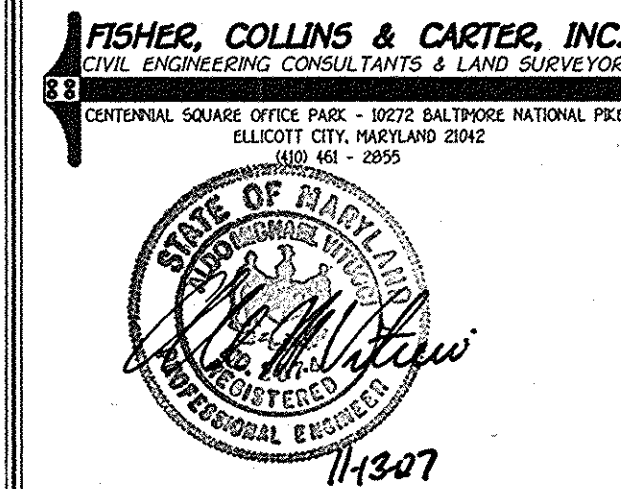
Reviewed for HOWARD-SEP and meets Technical Requirements
 U.S.D.A.-Natural Resources Conservation Service
 Date: 11/13/07
 Approved: *[Signature]* Date: 11/13/07
 Howard Sign: *[Signature]* Date: 11/13/07

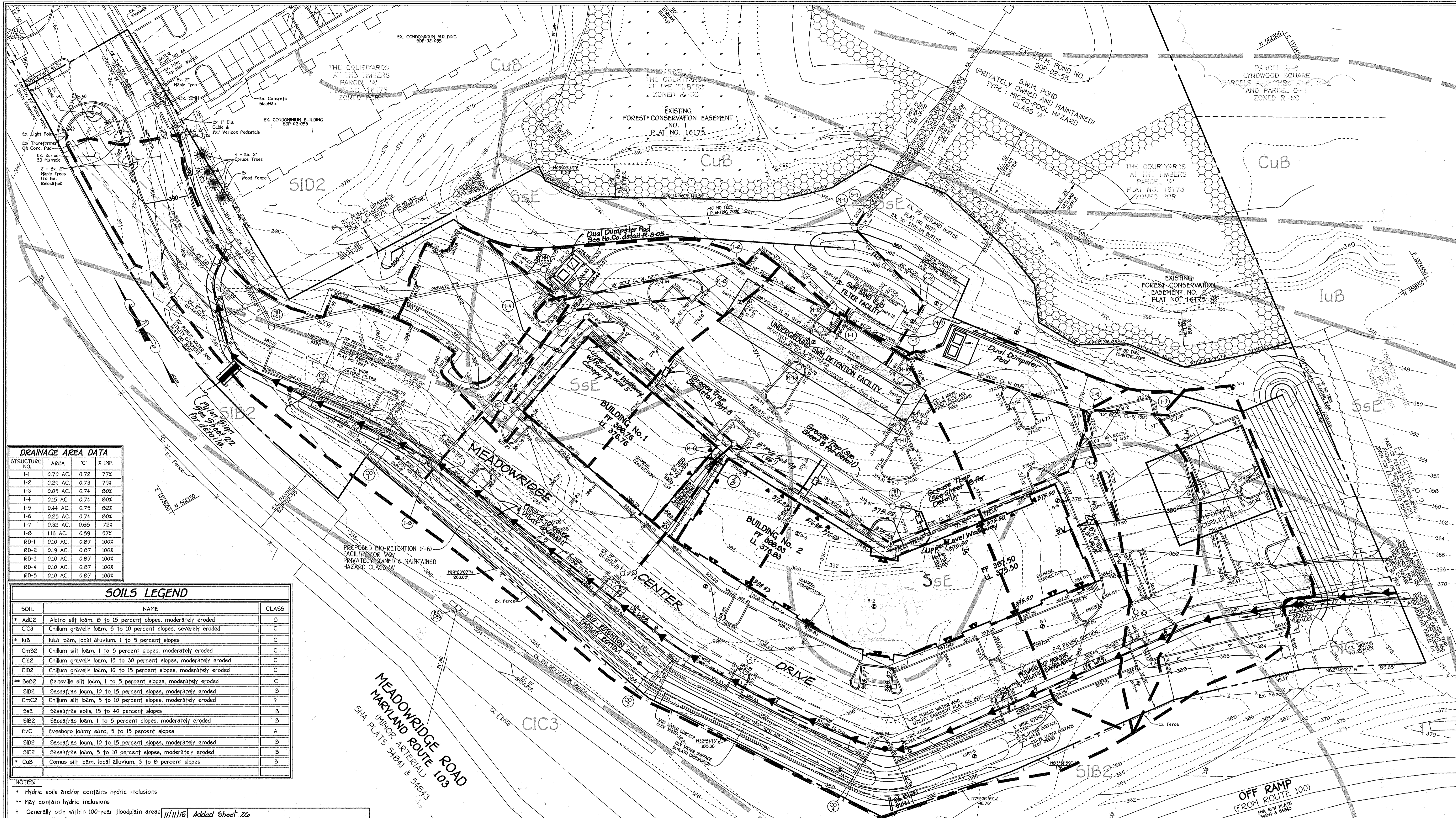
DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division
 Date: 12/13/10
 Date: 12/14/10
 Date: 11/20/10

SUBDIVISION	SECTION/AREA	PARCEL NO.
THE COURTYARDS AT THE TIMBERS	N/A	617
DEED REF.	BLOCK NO.	ZONE
2609 / 611	3	POR
PLAT NO. 1956-19517	TAX MAP	ELEC. DIST.
	37	FIRST
WATER CODE	SEWER CODE	CENSUS TR.
D 04	2610000	6030

SEDIMENT CONTROL PLAN
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER
 ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: NOVEMBER 13, 2007
 SHEET 3 OF 26





STRUCTURE NO.	AREA	% C	% IMP.
I-1	0.70 AC.	0.72	77%
I-2	0.29 AC.	0.73	79%
I-3	0.05 AC.	0.74	80%
I-4	0.15 AC.	0.74	80%
I-5	0.44 AC.	0.75	82%
I-6	0.25 AC.	0.74	80%
I-7	0.32 AC.	0.68	72%
I-8	1.16 AC.	0.59	57%
RD-1	0.10 AC.	0.87	100%
RD-2	0.19 AC.	0.87	100%
RD-3	0.10 AC.	0.87	100%
RD-4	0.10 AC.	0.87	100%
RD-5	0.10 AC.	0.87	100%

SOIL	NAME	CLASS
* AdC2	Aldino silt loam, 0 to 15 percent slopes, moderately eroded	D
CiC3	Chillum gravelly loam, 5 to 10 percent slopes, severely eroded	C
* IuB	Iuka loam, local alluvium, 1 to 5 percent slopes	C
CmB2	Chillum silt loam, 1 to 5 percent slopes, moderately eroded	C
CiE2	Chillum gravelly loam, 15 to 30 percent slopes, moderately eroded	C
CiD2	Chillum gravelly loam, 10 to 15 percent slopes, moderately eroded	C
** BeB2	Beltsville silt loam, 1 to 5 percent slopes, moderately eroded	C
SID2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B
CmC2	Chillum silt loam, 5 to 10 percent slopes, moderately eroded	?
SsE	Sassafras soils, 15 to 40 percent slopes	B
SIB2	Sassafras loam, 1 to 5 percent slopes, moderately eroded	B
EvC	Evesboro loamy sand, 5 to 15 percent slopes	A
SID2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B
SiC2	Sassafras loam, 5 to 10 percent slopes, moderately eroded	B
* CuB	Comus silt loam, local alluvium, 3 to 8 percent slopes	B

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas

DATE	DESCRIPTION
11/11/15	Added Sheet 26
11/11/15	AMEND PLAN TO SHOW REVISED W/S, POWER MAIN DETAIL, AND BUILD CONTIGUOUS OF BIO-RETENTION AREA & POWER EASEMENT
4/10/12	ADDED AN S&C BYPASS, CHANGING PAD SIZE TO 4" AND WIDENED THE S&C BYPASS AND S&C WATER VALVE
7/5/11	REVISED BUILDING NO. 2
2-25-11	REVISED BUILDING NO. 2
11-10-11	REVISED BUILDING NO. 2
6/30/10	CHANGE ALIGNMENT OF PRIVATE WATER MAINS TO BUILDING NO. 2
8-16-09	Add Pylon Sign location.
11-20-08	Add grease trap to Bldg #1, dual dumpster pad, & rev exterior stairwell loc. to Bldgs #1, 2 & 3
9-16-08	Add dumpster pad, Clock tower, planter, grease pits and fountain, Revise plan name

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 WOODBRIDGE, MARYLAND 21092
 410-591-8800
 www.fccarter.com

APPROVED: DEPARTMENT OF PLANNING AND ZONING

David M. Fisher
 Director, Department of Planning and Zoning
 Date: 12/14/07

Andy Stewart
 Chief, Division of Land Development
 Date: 12/14/07

Mike DeWitt
 Chief, Development Engineering Division
 Date: 11/20/07

SUBDIVISION	THE COURTYARDS AT THE TIMBERS	SECTION/AREA	N/A	PARCEL NO.	617
DEED REF.	2509 / 511	BLOCK NO.	3	ELEC. DIST.	6030
PLAT NO.	1916-1957	ZONE	POR	FIRST	6030
TAX MAP	37	SEWER CODE	2610000		
WATER CODE	D 04				

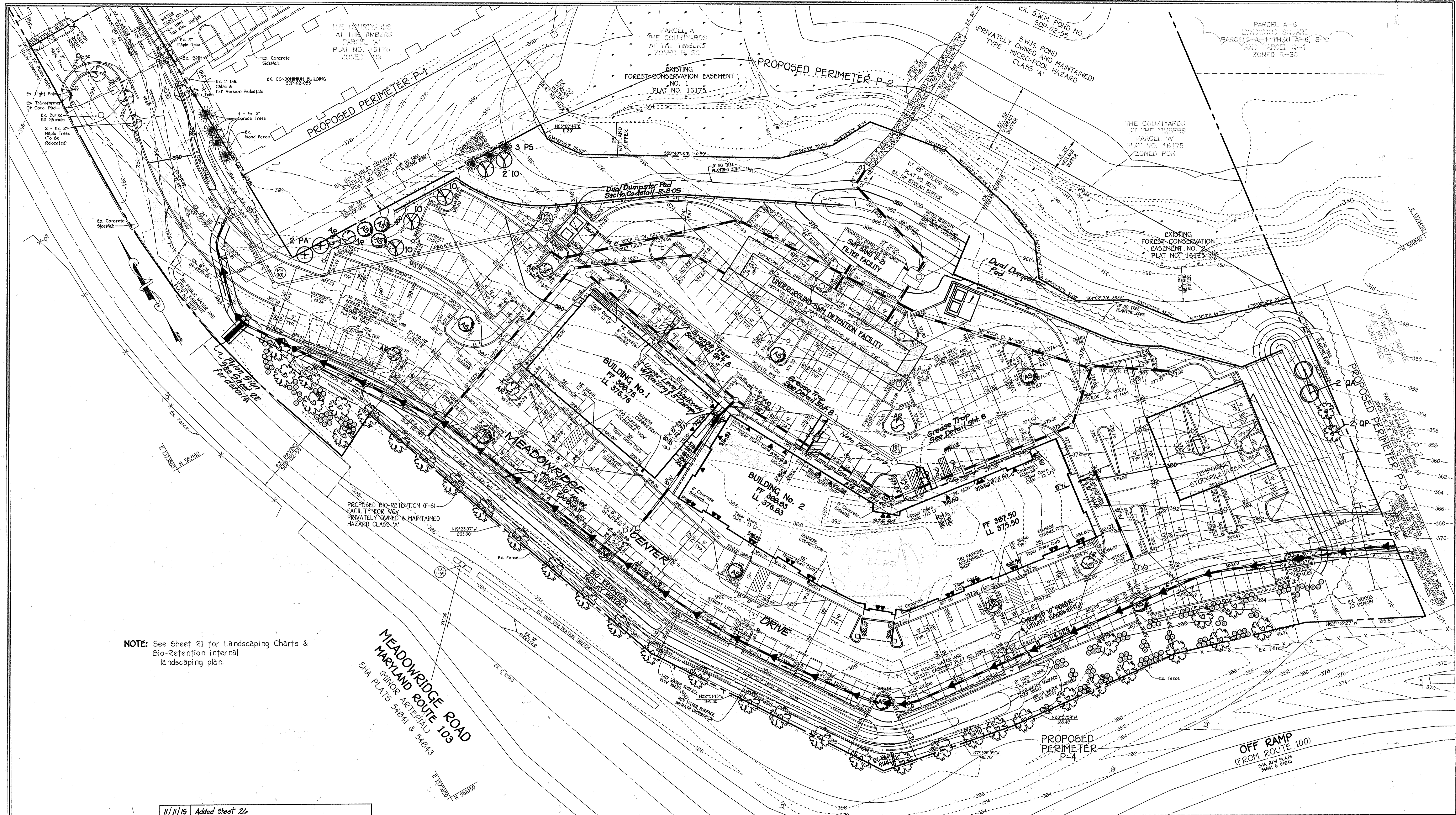
DRAINAGE AREA AND SOILS MAP

**THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER**

ZONED: POR
 TAX MAP NO. 37 PARCEL NO. 617 GRID NO. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: NOVEMBER 13, 2007
 SHEET 4 OF 26

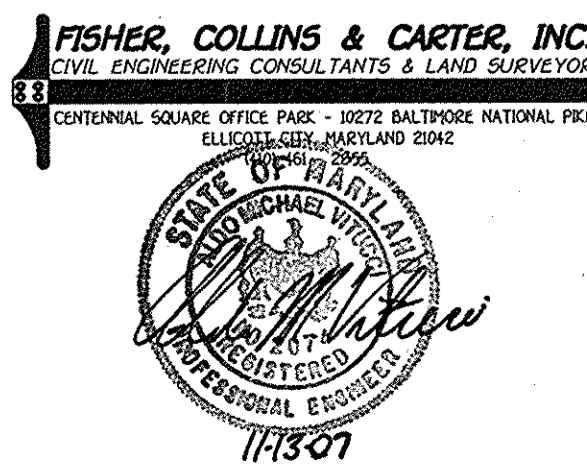
DEVELOPER/OWNER

100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-9422



NOTE: See Sheet 21 for Landscaping Charts & Bio-Retention internal landscaping plan.

DATE	DESCRIPTION
11/11/15	Added Sheet 26
11/11/15	AMEND PLAN TO SHOW REVISED UTIL. POWER MAIN OUTFALL AS-BUILT CONDITIONS OF BIO-RETENTION AREA & SEWER EASEMENT
4/18/12	ADDED 1" DIA. BRASS CHANGEOVER VALVE TO AP AND MOVED THE 8" DIA. TIE AND 6" WATER VALVE
7/5/11	REVISED BUILDING NO. 2
7/5/11	REVISED BUILDING NO. 2
11-17-10	Revised Building No. 2
6/30/10	REVERSE ALIGNMENT OF PRIVATE 6" WATER MAINS TO BUILDINGS 1, 2 & 3
3-16-09	Add Pylon Sign location.
11-20-08	Add grease trap to Bldg #1, add dual dumpster pad, rev exterior stair wall loc. <i>Change # 1283</i>
9-16-08	Reloc tower, dumpster pad, elevator fountain and grease trap.

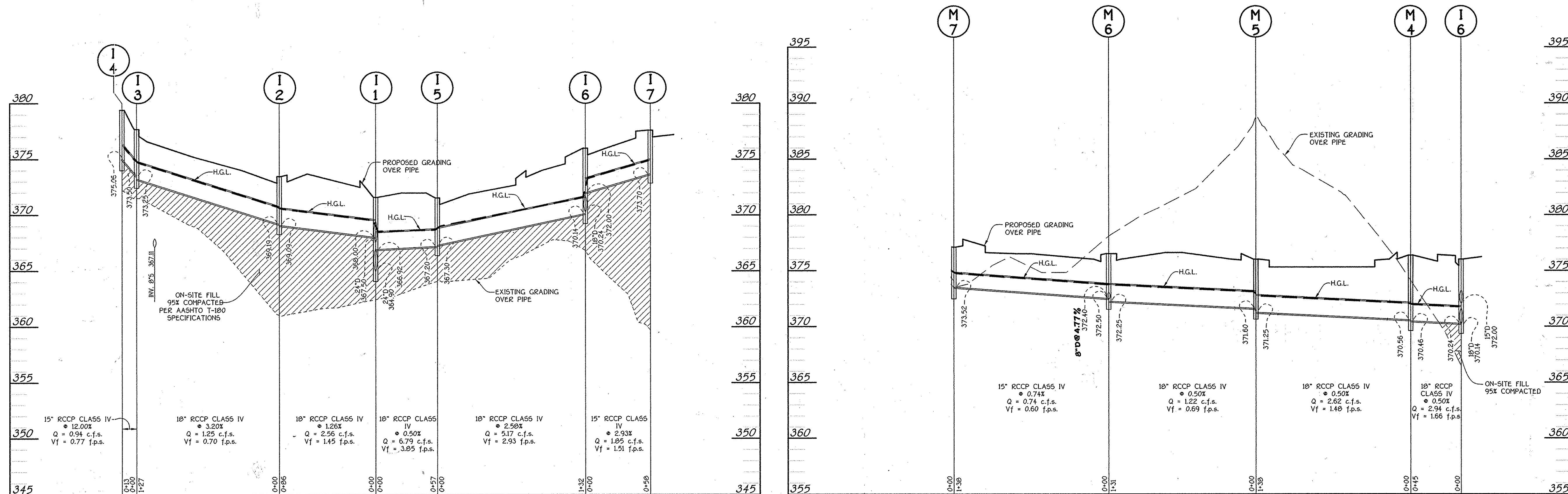


DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>Matthew A. ...</i> Director - Department of Planning and Zoning	12/12/13 DATE
<i>Andy ...</i> Chief, Division of Land Development	12/11/13 DATE
<i>...</i> Chief, Development Engineering Division	11/20/13 DATE
SUBDIVISION THE COURTYARDS AT THE TIMBERS	SECTION/AREA N/A
PARCEL NO. 617	PARCEL NO. 617
TAX MAP No. 37	TAX MAP No. 37
ZONE POR	ELEC. DIST. 6030
WATER CODE D 04	SEWER CODE 2610000

LANDSCAPE PLAN
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30'
 DATE: NOVEMBER 13, 2007
 SHEET 5 OF 26

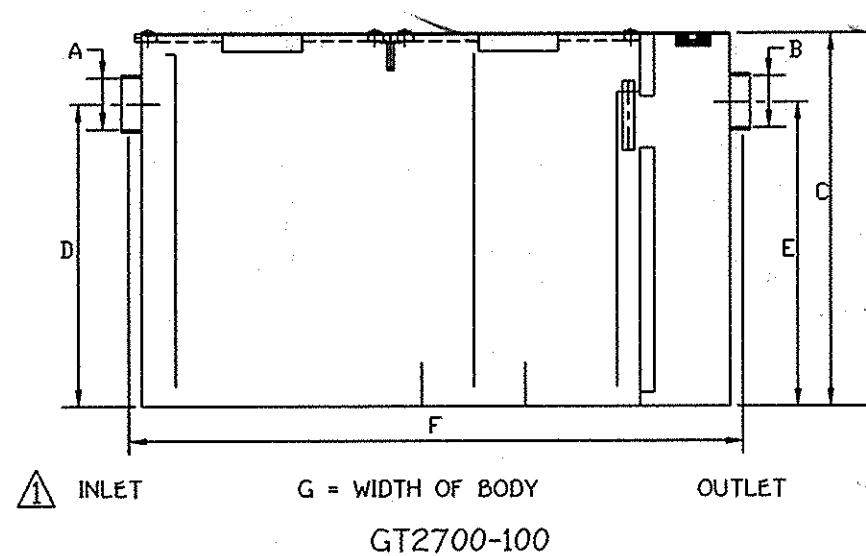


PROFILE

SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'

PROFILE

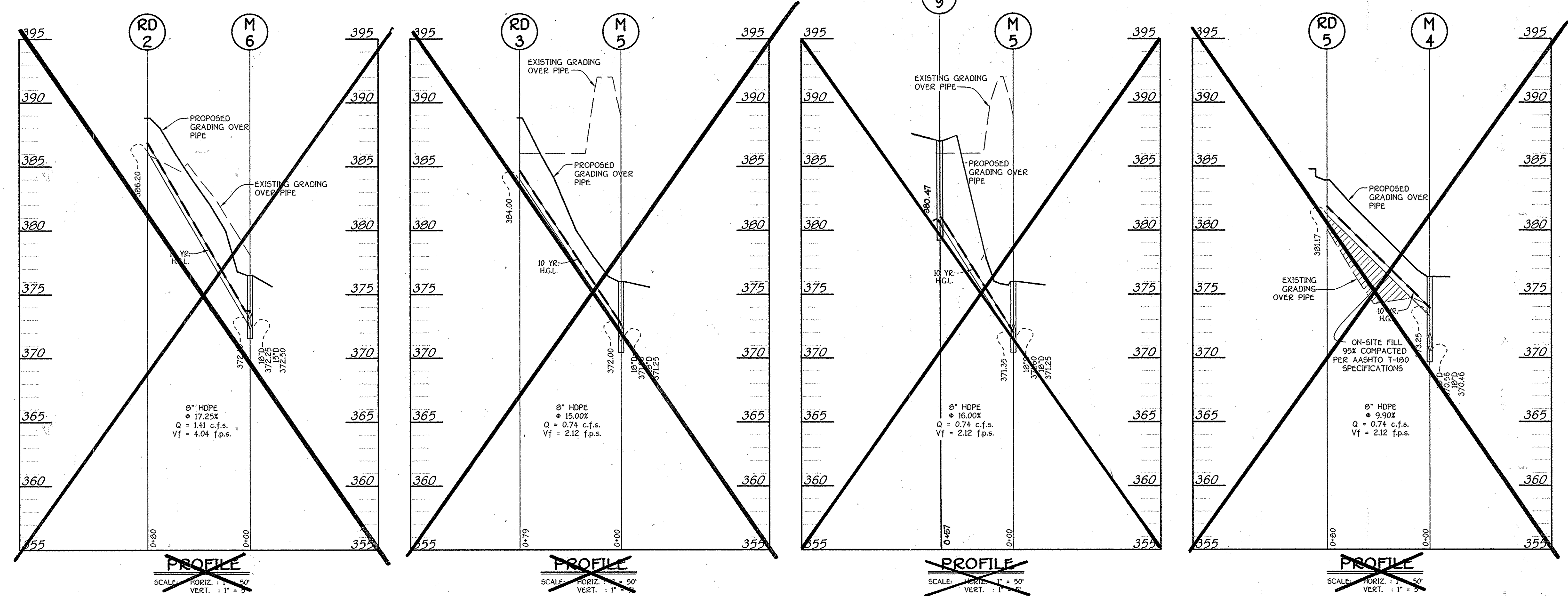
SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'



Model Number	A/B Inlet/Outlet No-Hub	Flow Rate G.P.M. [L]	Capacity Grease Lbs. [kg]	Dimensions in Inches		
				C	D/E	F
GT2700-100	6 (152)	100 (379)	200 (91)	27 (685)	23 (584)	42 3/4 (1086)

ZURN LIGHT COMMERCIAL PRODUCTS
2640 South Work Street
Falconer, N.Y. 147363
Phone: 1-800-906-5060 ; Fax: 716-665-3126 Web Site: www.zurn.com

GREASE TRAP DETAIL
SCALE: NO SCALE



~~PROFILE~~

~~SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'~~

~~PROFILE~~

~~SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'~~

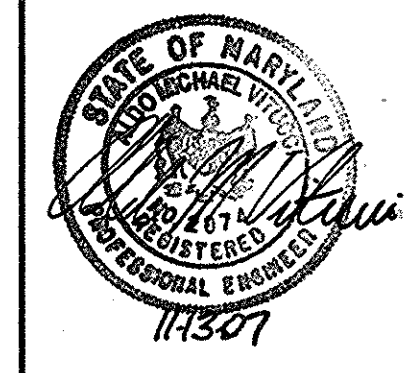
~~PROFILE~~

~~SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'~~

~~PROFILE~~

~~SCALE: HORIZ. : 1" = 50'
VERT. : 1" = 5'~~

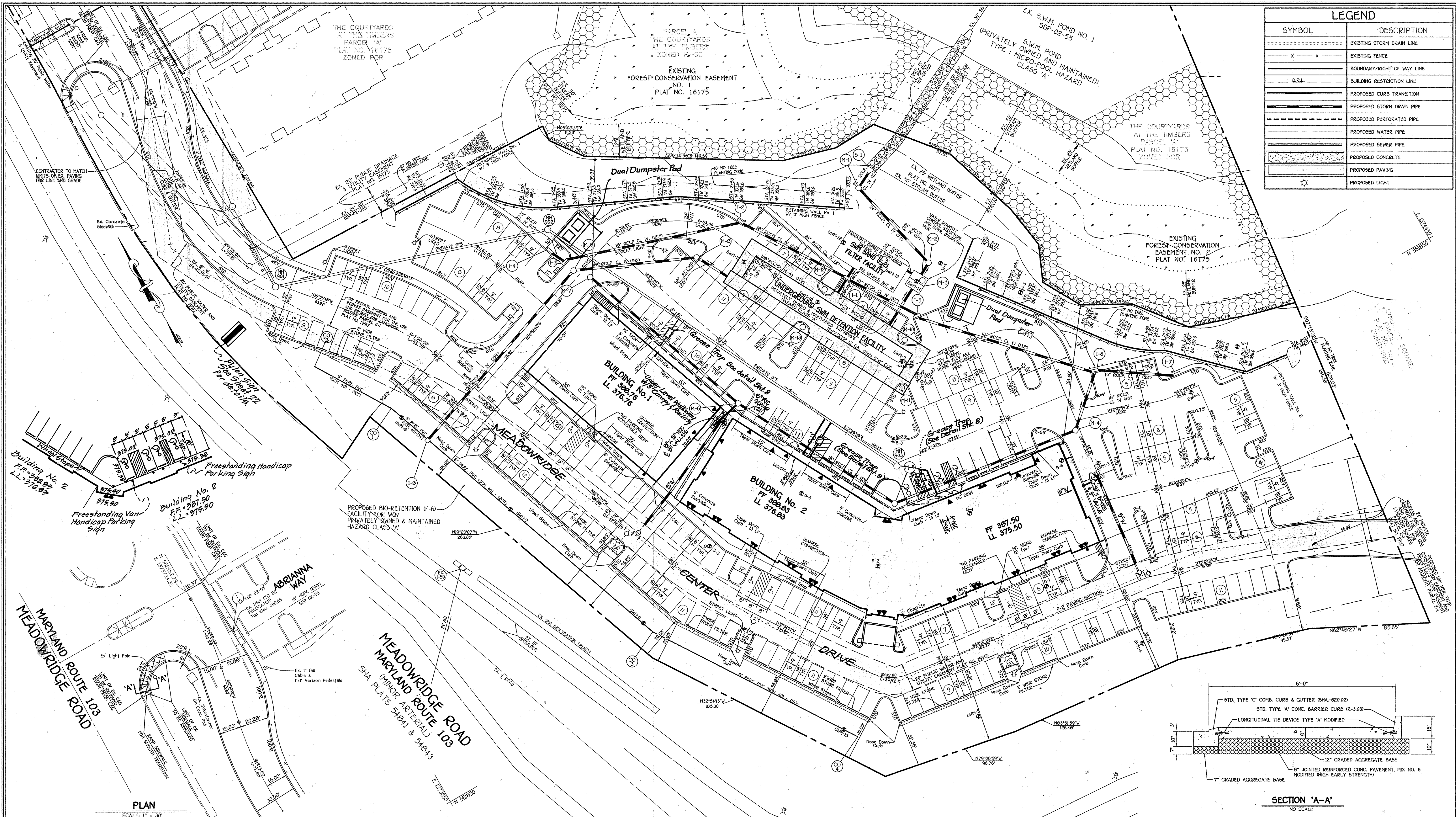
DATE	DESCRIPTION
11-11-10	Added Sheet 26
2-25-11	REVISED ROOF DRAIN INVERTS ON PROFILE M-7 THRU I-G
11-10-11	Removed profile between I-9 & M-5.
08/20/08	Add dumpster pad and elevator with clock tower between buildings 2 and 3. Change the name to 'Meadowridge Center'. Add 2 grease traps for proposed restaurants. Revise Architectural Plans to reflect 2 story buildings. Address County comments of 6/30/08 Submission. Remove roof drains from sides of buildings since roof pitches towards front.



DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
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443-367-0422

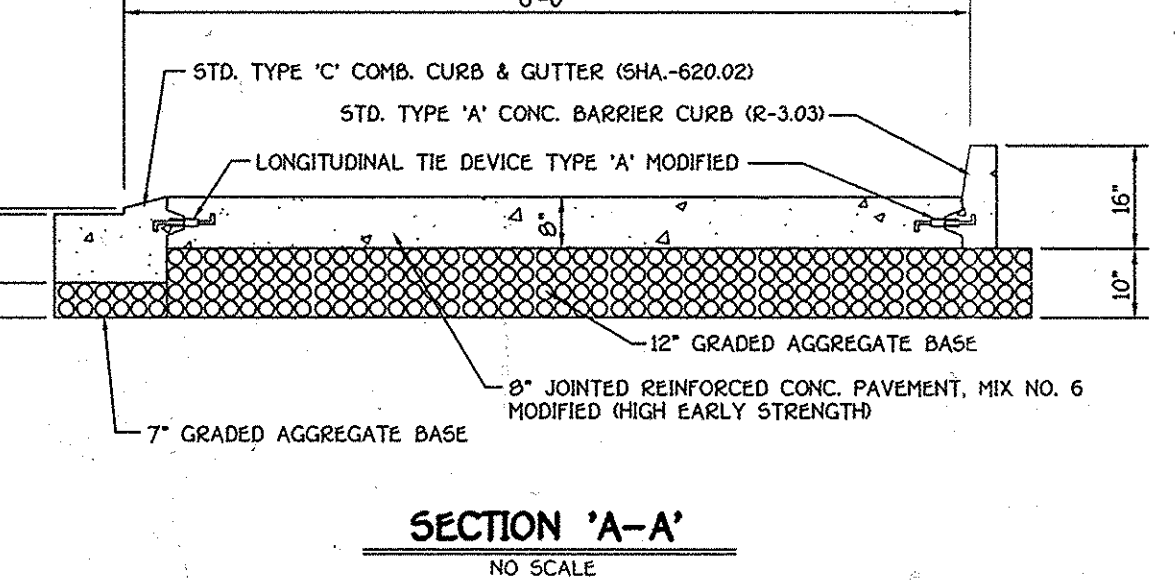
APPROVED: DEPARTMENT OF PLANNING AND ZONING			
<i>Paul H. Gault</i> Director, Department of Planning and Zoning	12/13/10	Date	
<i>Chris Stant</i> Chief, Division of Land Development	12/14/10	Date	
<i>David Williams</i> Chief, Development Engineering Division	12/20/10	Date	
SUBDIVISION THE COURTYARDS AT THE TIMBERS	SECTION/AREA N/A	PARCEL NO. 617	
DEED REF. 5509 / 611	BLOCK NO. 3	TAX MAP 37	ELEC. DIST. 6030
PLAT NO. 19516-19517	ZONE POR	CENSUS TR. 6030	
WATER CODE D 04	SEWER CODE 2610000		

STORM DRAIN PROFILES
THE COURTYARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER
ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: NOVEMBER 13, 2007
SHEET 8 OF 24



LEGEND	
SYMBOL	DESCRIPTION
-----	EXISTING STORM DRAIN LINE
-X-X-	EXISTING FENCE
-----	BOUNDARY/RIGHT OF WAY LINE
-B-E-L-	BUILDING RESTRICTION LINE
-----	PROPOSED CURB TRANSITION
-----	PROPOSED STORM DRAIN PIPE
-----	PROPOSED PERFORATED PIPE
-----	PROPOSED WATER PIPE
-----	PROPOSED SEWER PIPE
-----	PROPOSED CONCRETE
-----	PROPOSED PAVING
☆	PROPOSED LIGHT

PLAN
SCALE: 1" = 30'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLICOTT CITY, MARYLAND 21042
4100 461 - 2955

T. E. SCOTT & ASSOCIATES, INC.
118 COCKEYSVILLE ROAD, SUITE 300
NEWTOWN, MARYLAND 21120
Phone: 410-438-0551
Fax: 410-289-0516
tes@teas.com

DATE	DESCRIPTION
11-11-15	Added sheet 26
4/16/16	ADDED 4" PVC BYPASSES, CHANGED SMO SIZE TO 4" AND MOVED THE BYPASSES TO THE WATER VALVE
7/5/11	REVISED BUILDING NO. 2
7/5/11	REVISED BUILDING NO. 2
11-17-10	REVISED BUILDING NO. 2
6/20/10	REVISED ALIGNMENT OF PRIVATE EASEMENT TO BUILDINGS
3-16-09	Add Pylon Sign location.
11-20-08	Add grease trap to Bldg. #1, add dual dumpster pad, re-locate stairwell loc. to Bldgs. #1, 2 & 3
9-15-08	Add dumpster pad, clock tower, planters, Grease Traps & Fountains, Rev. plan name

STATE OF MARYLAND
Professional Engineer
11/3/07

DEVELOPER/OWNER
103-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21043
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

David L. Taylor 12/12/07
Director - Department of Planning and Zoning Date

Condy Thomas 12/14/07
Chief, Department of Planning and Zoning Date

Challinor 11/20/07
Chief, Development Engineering Division Date

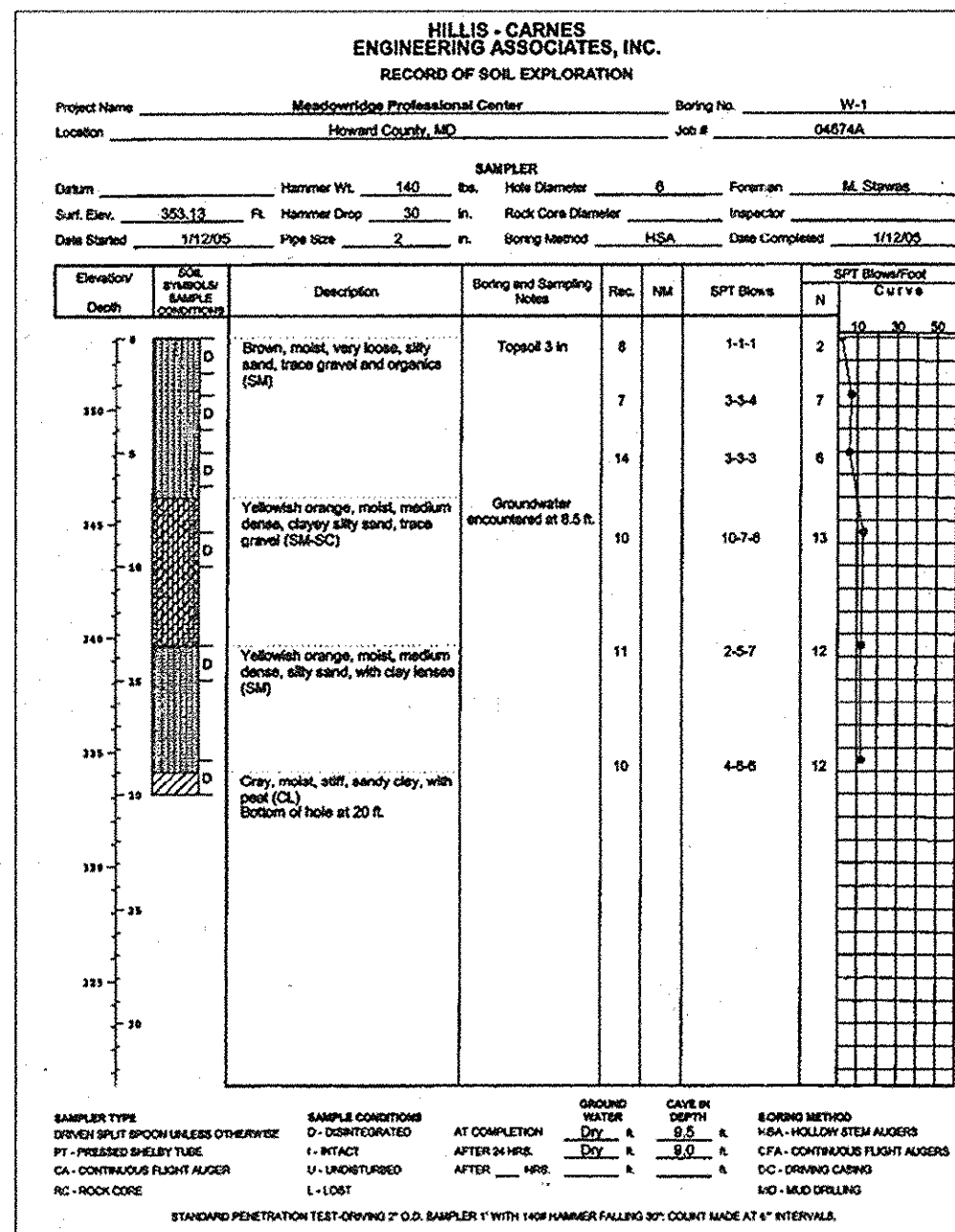
SUBDIVISION	SECTION/AREA	PARCEL NO.			
THE COURTYARDS AT THE TIMBERS	N/A	617			
DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
5509, 7, 511	3	POR	37	FIRST	6030
PLAT NO.	SEWER CODE	WATER CODE			
19916-19517	2510000	D 04			

GEOMETRY PLAN

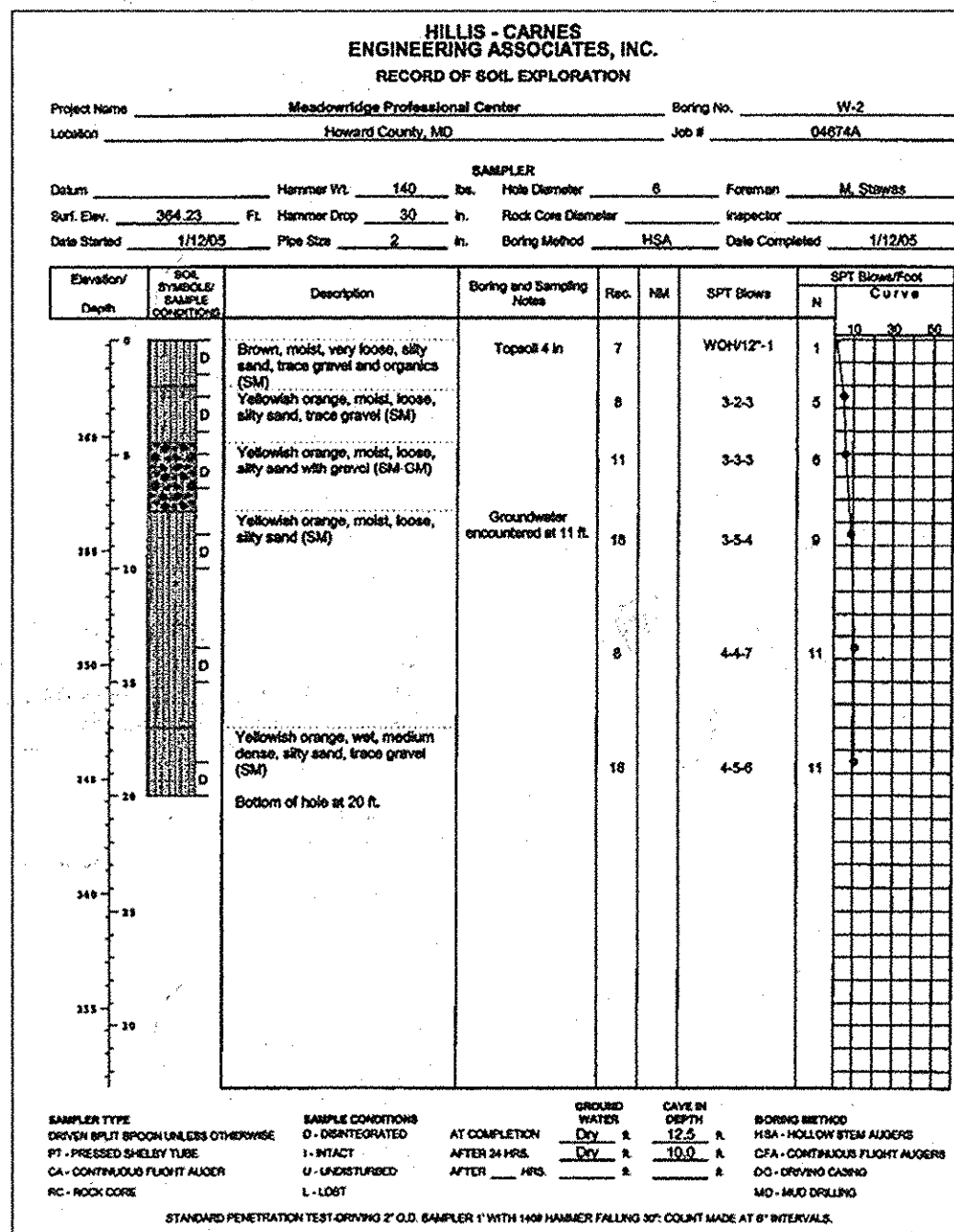
THE COURTYARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER

ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30"
DATE: NOVEMBER 13, 2007
SHEET 9 OF 26

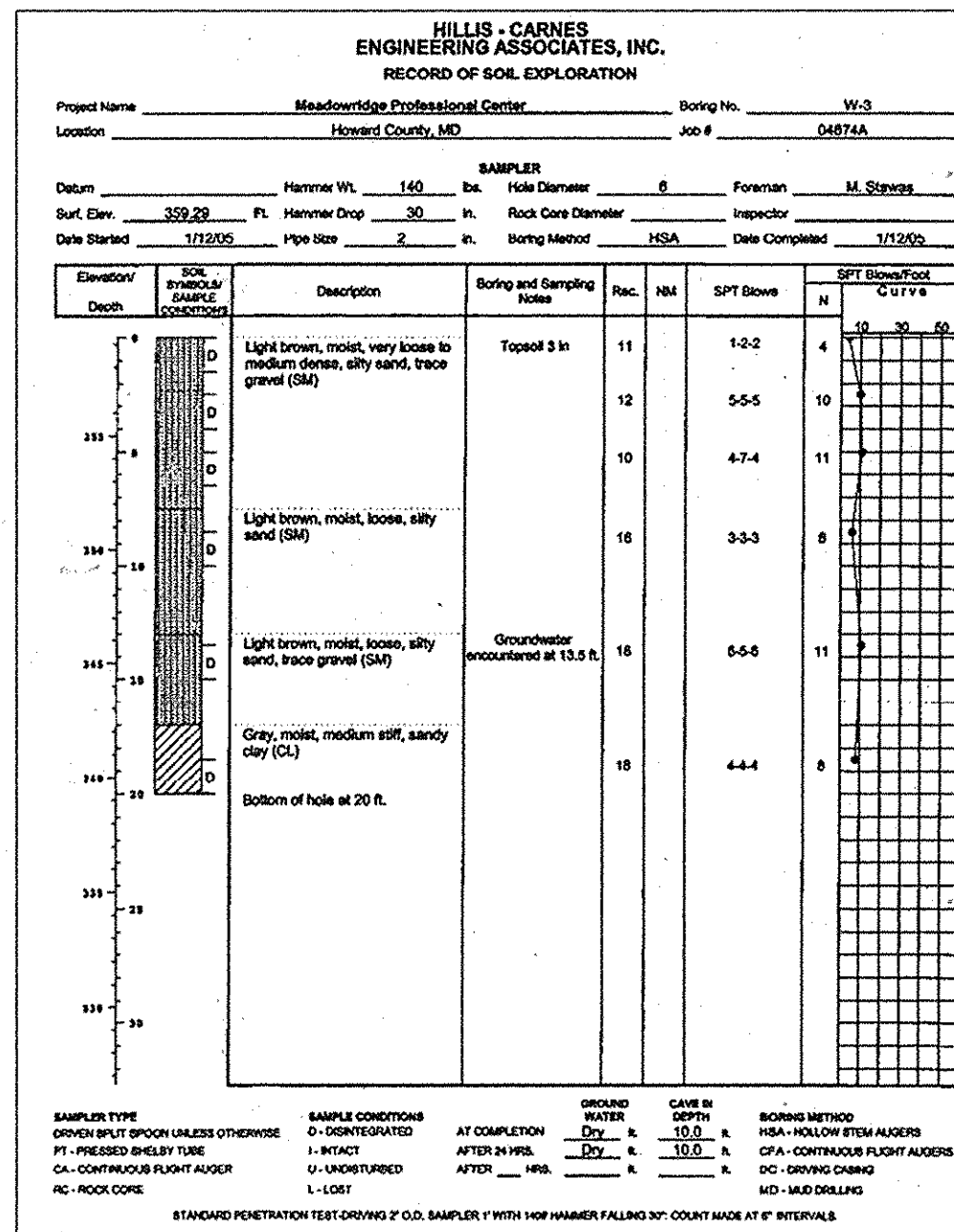
BORING W-1



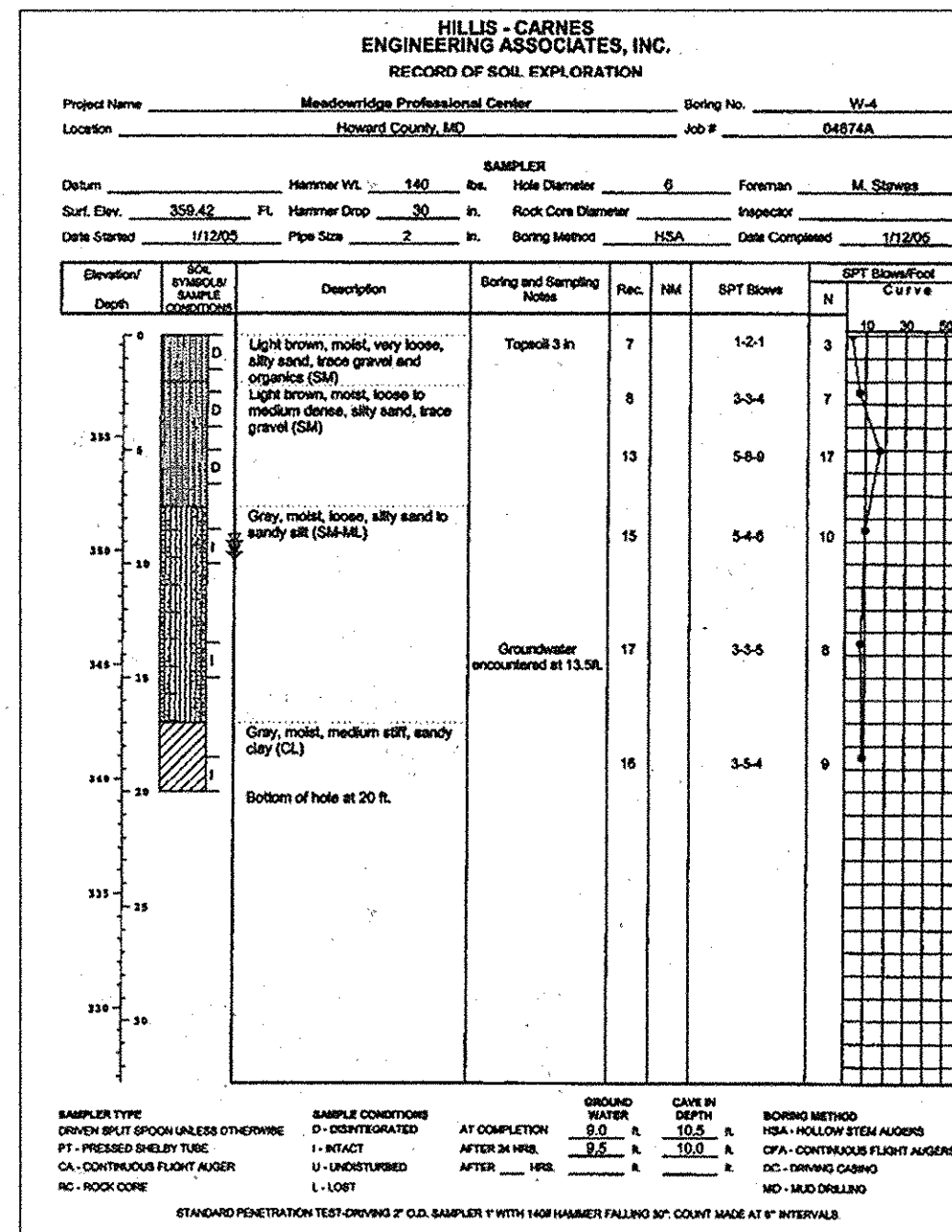
BORING W-2



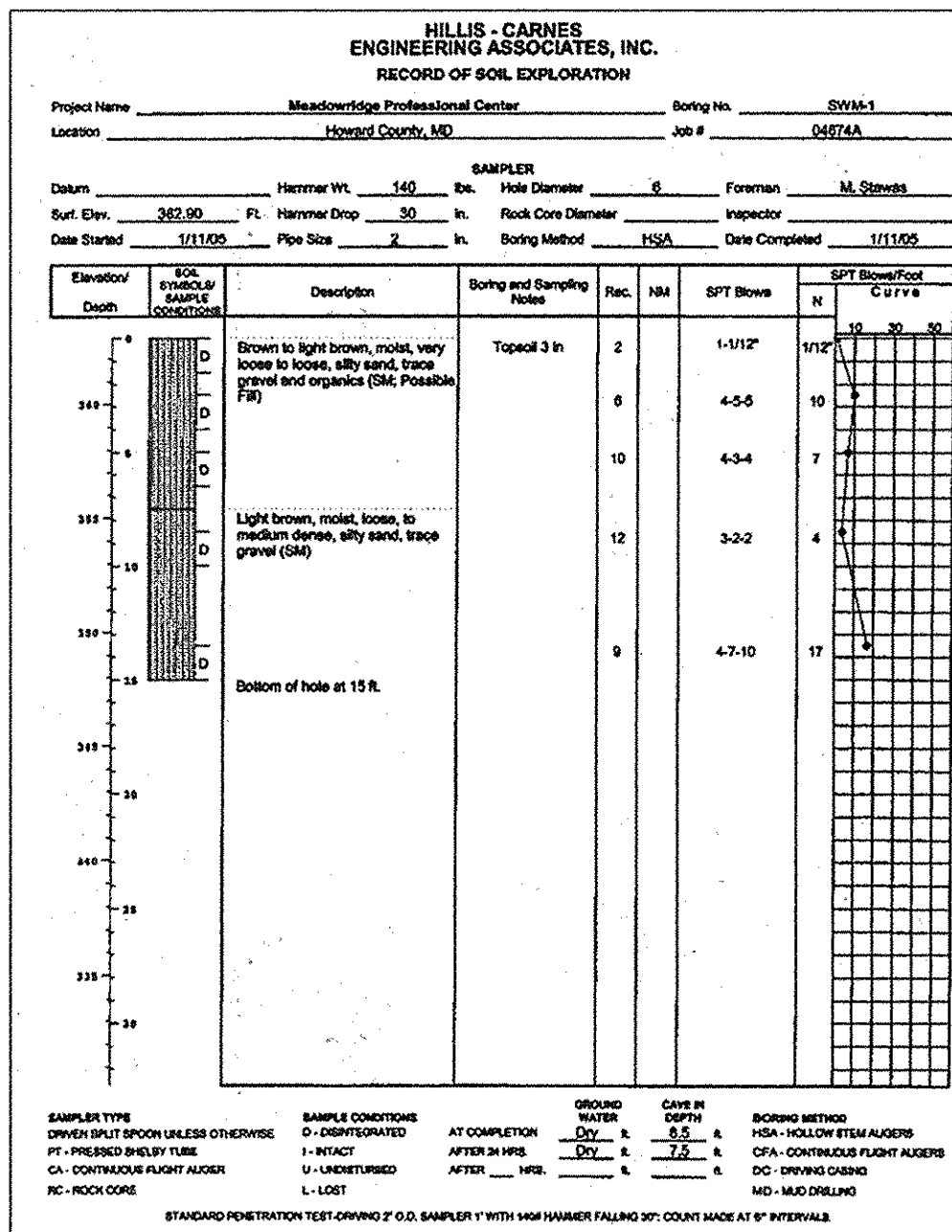
BORING W-3



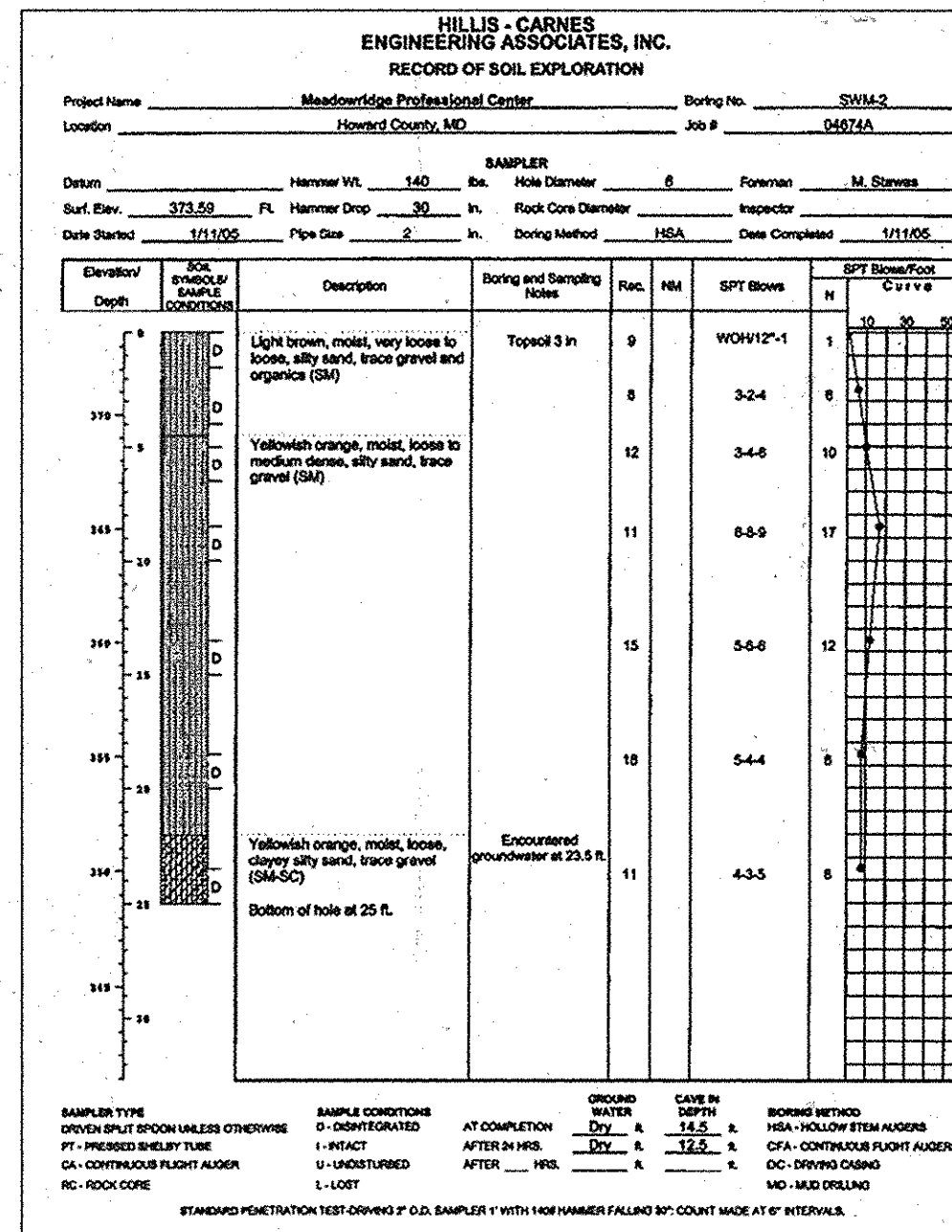
BORING W-4



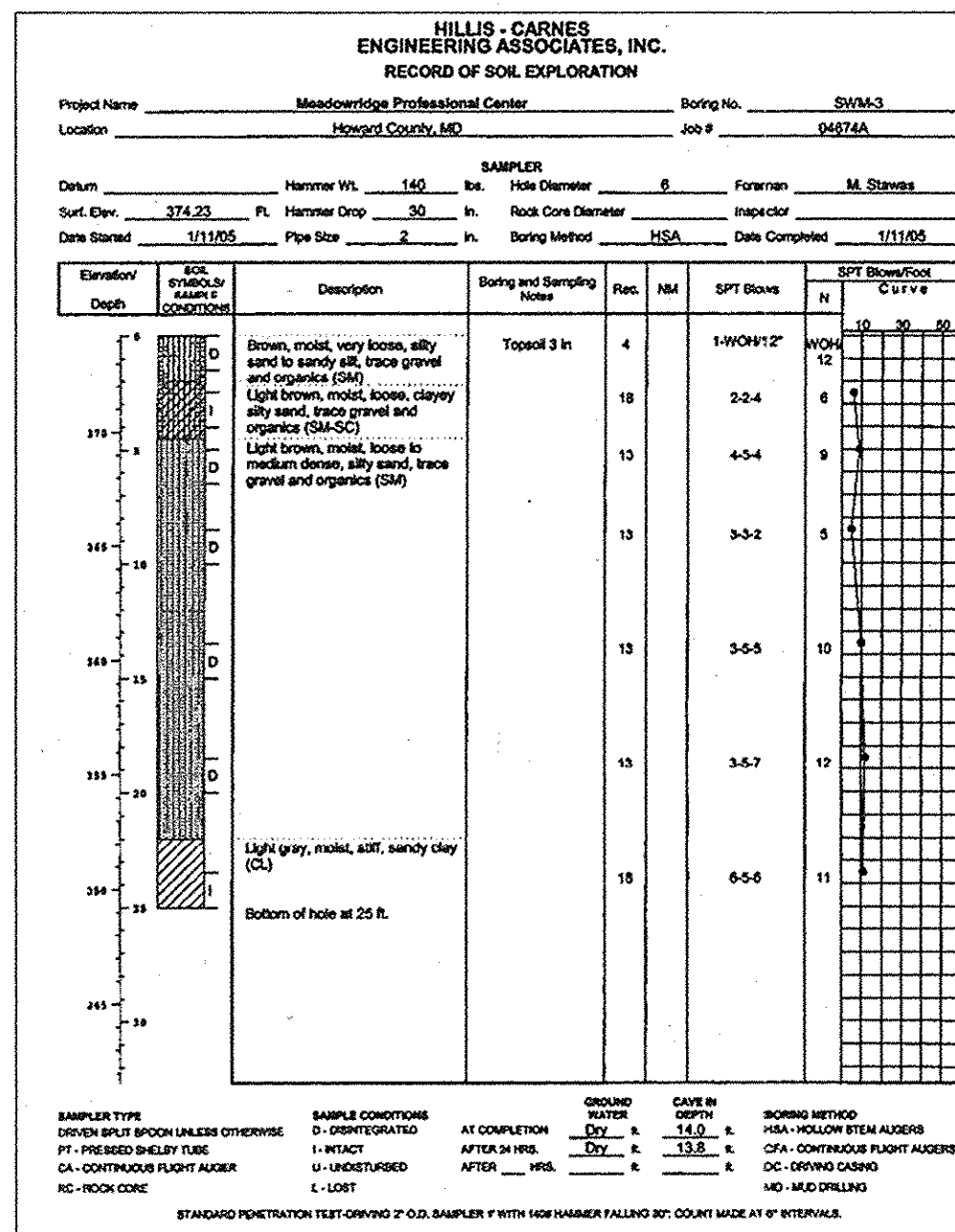
BORING SWM-1



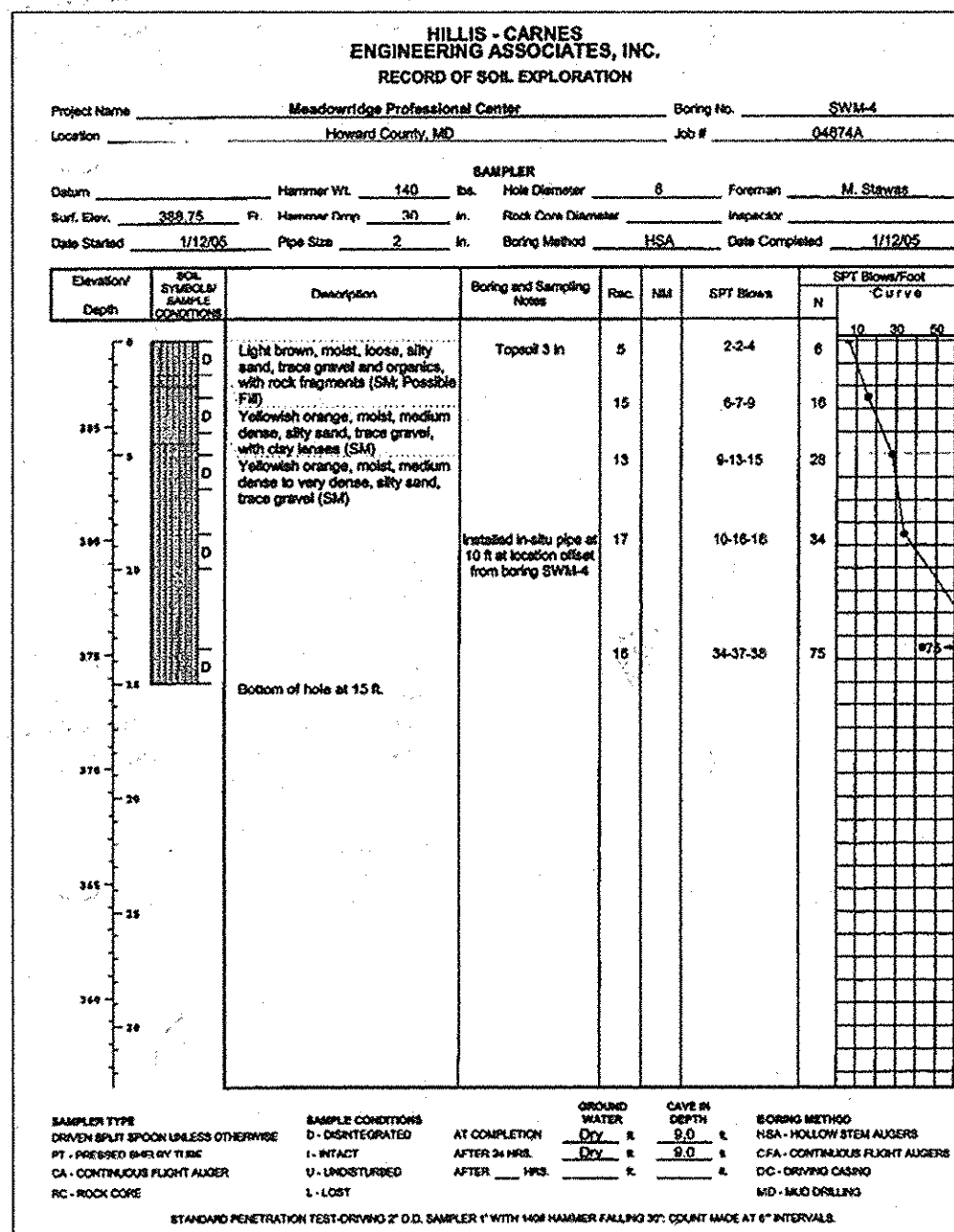
BORING SWM-2



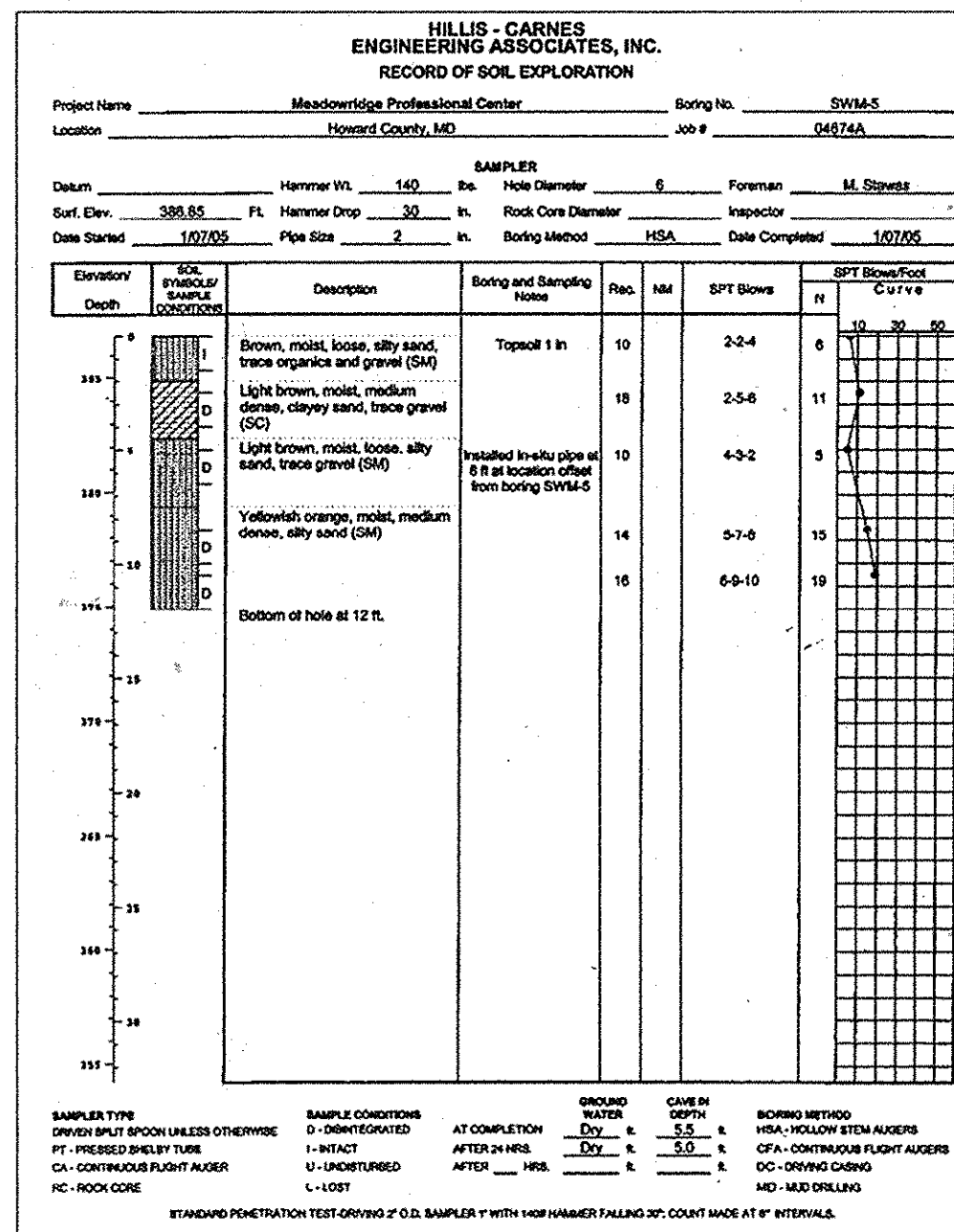
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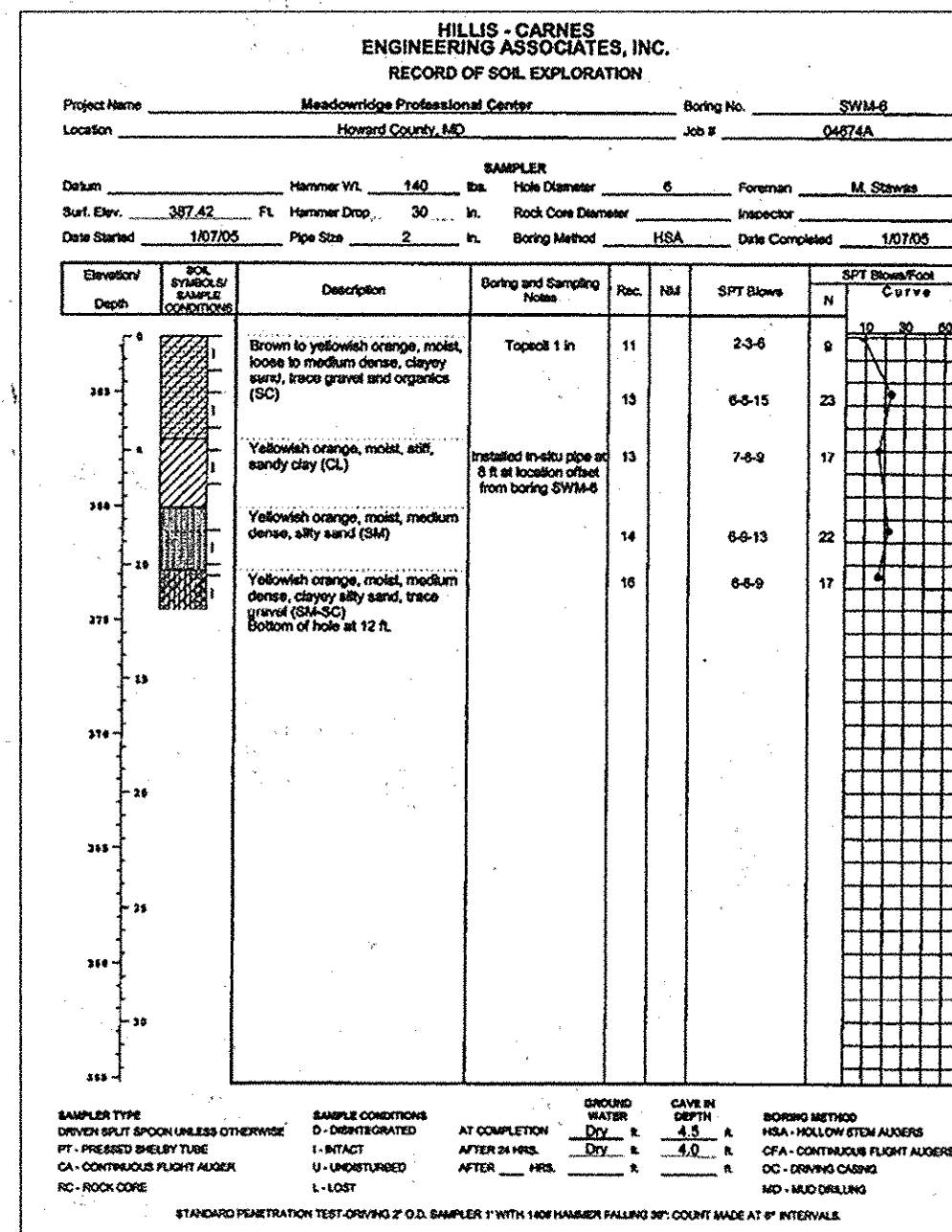
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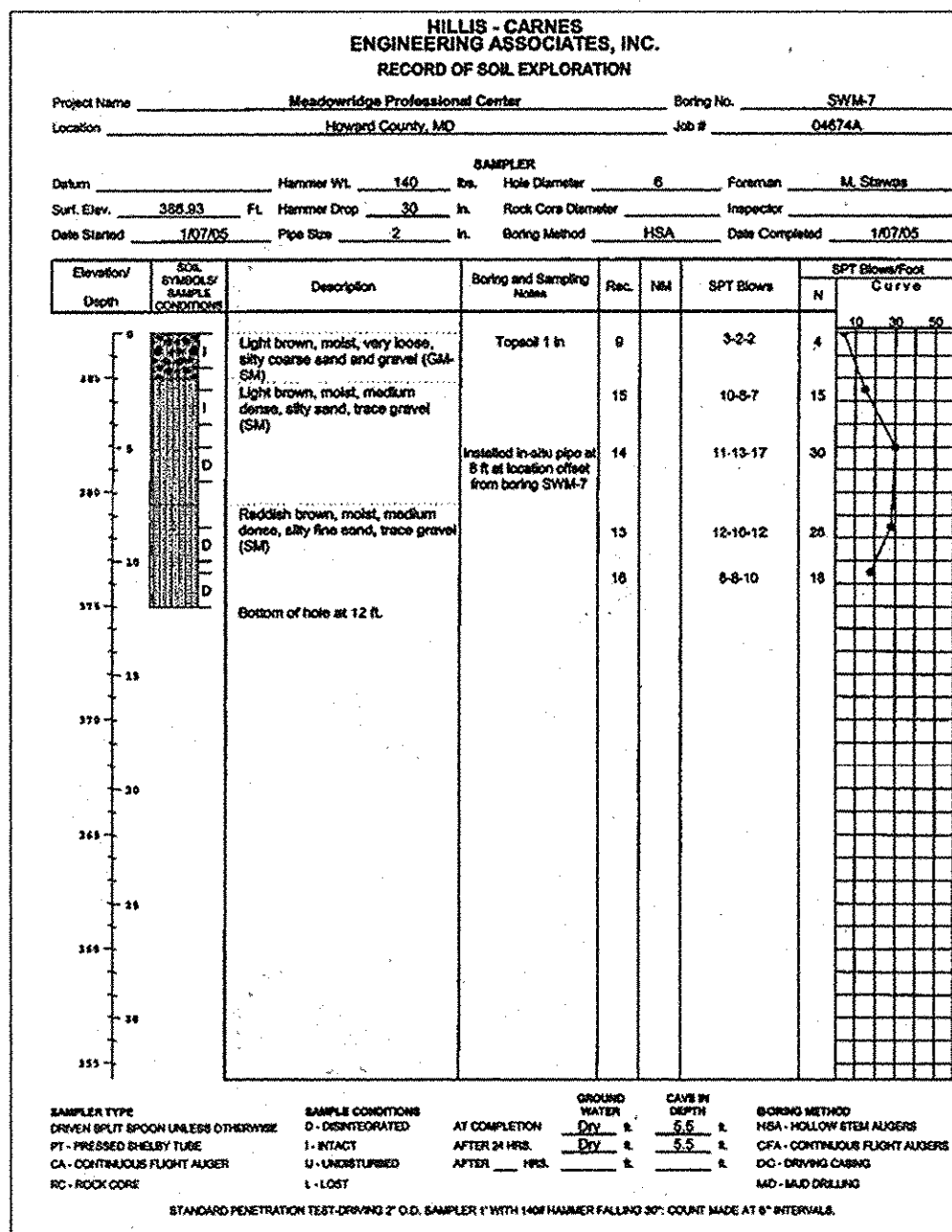
BORING SWM-5



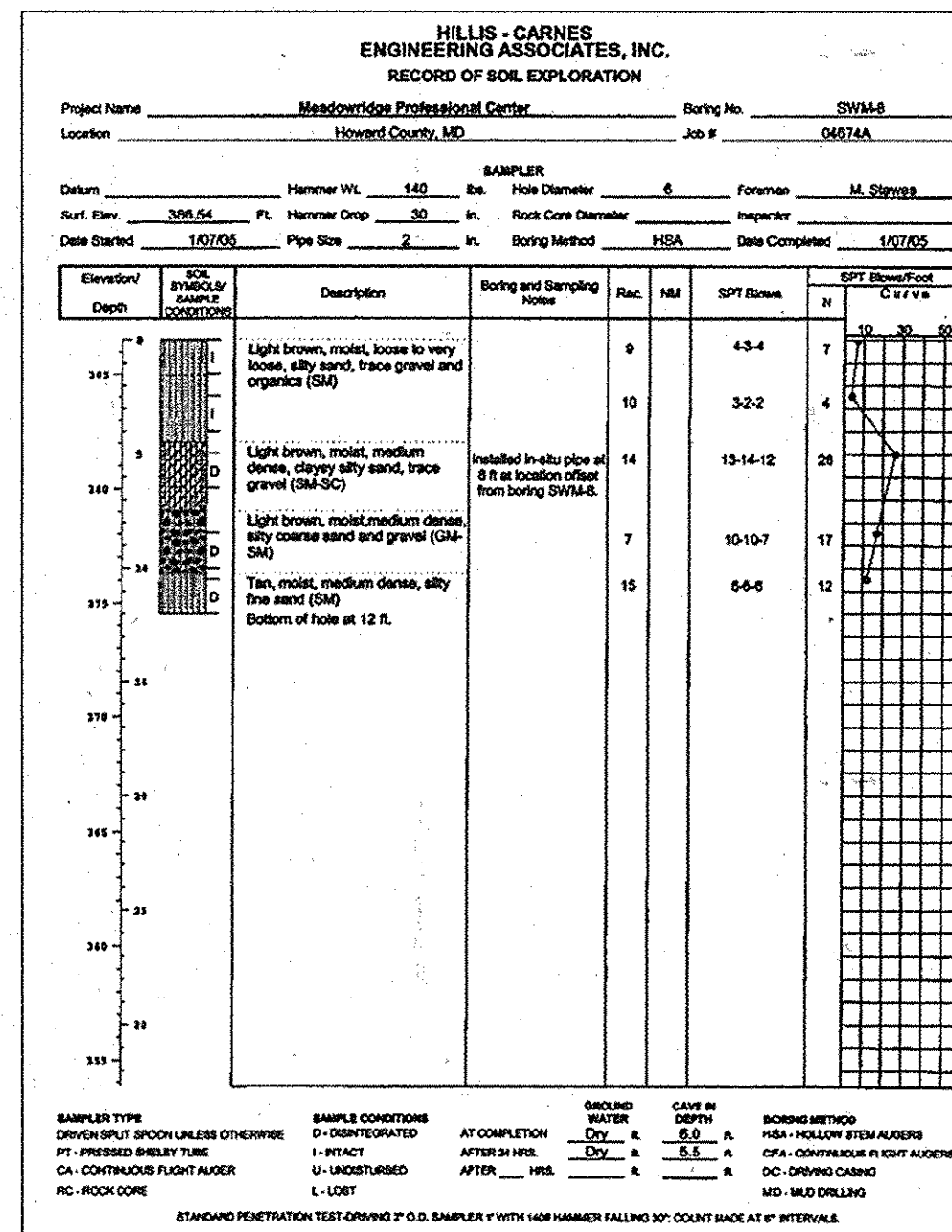
BORING SWM-6



BORING SWM-7



BORING SWM-8



NOTES:

- SEE SHEET 18 FOR SWM-9, SWM-10 & SWM-11
- SEE SHEET 19 FOR SWM-12, SWM-13 & SWM-14
- SEE SHEET 20 FOR SWM-15

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10725 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114

11-11-15 Added Sheet 26

9-17-08 Revised title block subdivision name

DATE DESCRIPTION REVISION BLOCK

ENGINEER'S CERTIFICATE

I certify that the design and erosion control represents a practical and workable plan based on the knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* Date: 11/13/07

DEVELOPER'S CERTIFICATE

I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will receive a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Signature: *[Signature]* Date: 11/13/07

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Signature: *[Signature]* Date: 11/20/07

Howard SCD

DEVELOPER/OWNER

100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21143
 443-367-0422

APPROVED DEPARTMENT OF PLANNING AND ZONING

Signature: *[Signature]* Date: 12/12/07

Director - Department of Planning and Zoning

Signature: *[Signature]* Date: 12/11/07

Chief, Division of Planning and Development

Signature: *[Signature]* Date: 11/20/07

Chief, Development Engineering Division

SUBDIVISION: THE COURTYARDS AT THE TIMBERS SECTION/AREA: N/A PARCEL NO.: 617

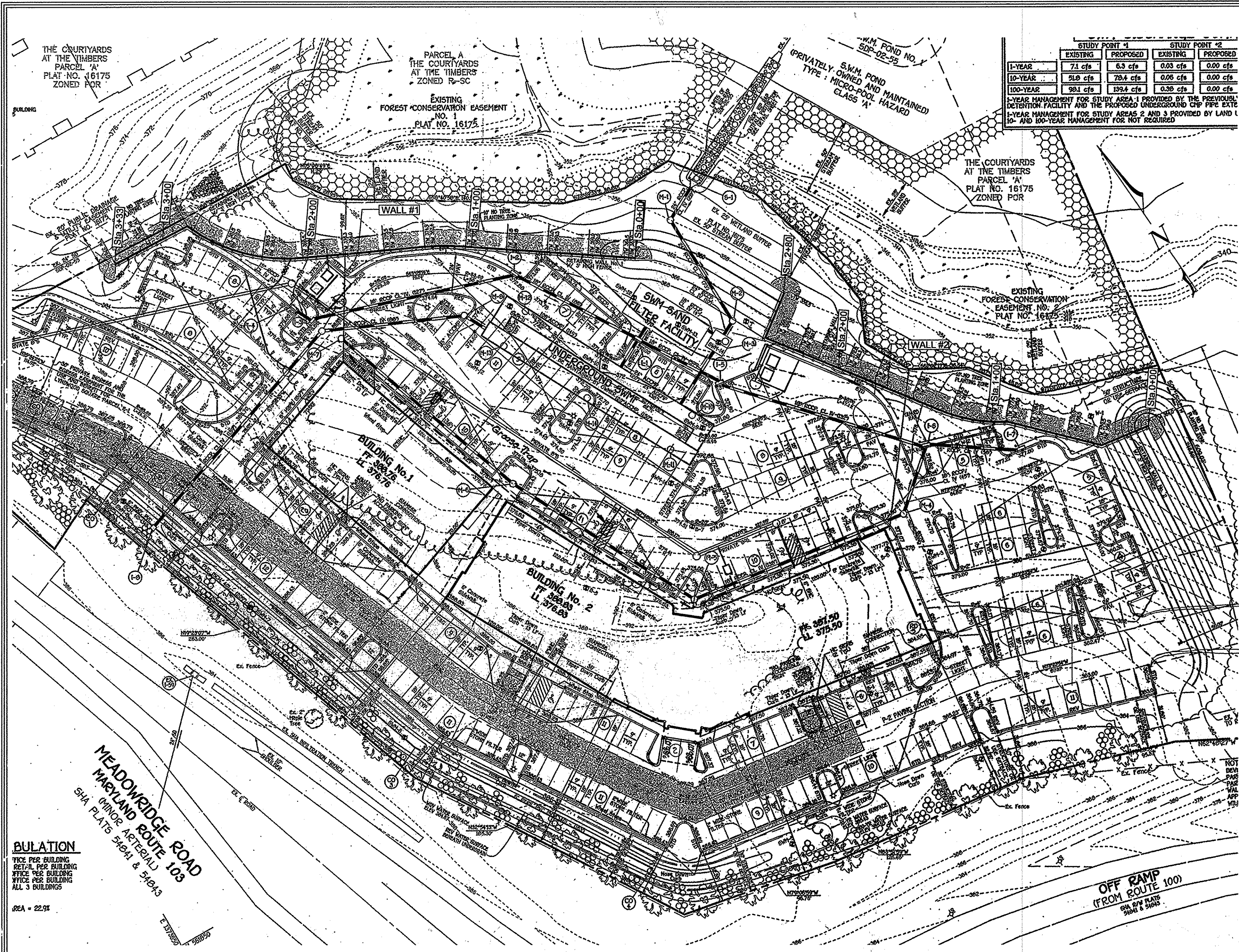
DEED REF.: 5509 / 611 BLOCK NO.: 3 ZONE: POR TAX MAP: 37 ELEC. DIST.: FIRST CENSUS TR.: 6030

WATER CODE: D 04 SEWER CODE: 2610000

BORING LOGS

THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: A5 SHOWN
 DATE: NOVEMBER 13, 2007
 SHEET II OF 2/G



WALL LOCATION PLAN
1"=40'

SPECIFICATIONS
KEYSTONE MODULAR CONCRETE BLOCK RETAINING WALL

PART 1: GENERAL

- 1.01 Description
 A. Work shall consist of furnishing and construction of a KEYSTONE Retaining Wall System in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans.
 B. Work includes preparing foundation soil, furnishing and installing leveling pad, unit drainage fill and backfill to the lines and grades shown on the construction drawings.
 C. Work includes furnishing and installing geogrid soil reinforcement of the type, size, location, and lengths designated on the construction drawings.

- 1.02 Delivery, Storage and Handling
 A. Contractor shall check all materials upon delivery to assure that the proper type, grade, color, and certification has been received.
 B. Contractor shall protect all materials from damage due to job site conditions and in accordance with manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

PART 2: PRODUCTS

- 2.01 Modular Concrete Retaining Wall Units
 A. Modular concrete units shall conform to the following architectural requirements:
 face color - concrete gray - standard manufacturers' color may be specified by the Owner.
 face finish - sculptured rock face in angular tri-planer configuration. Other face finishes will not be allowed without written approval of Owner.
 bond configuration - running with bonds nominally located at midpoint vertically adjacent units, in both straight and curved alignments.
 exposed surfaces of units shall be free of chips, cracks or other imperfections when viewed from a distance of 10 feet under diffused lighting.
 B. Modular concrete materials shall conform to the requirements of ASTM C1372 - Standard Specifications for Segmental Retaining Wall Units.
 C. Modular concrete units shall conform to the following structural and geometric requirements measured in accordance with appropriate references:
 compressive strength = 3000 psi minimum;
 absorption = 8 % maximum (5% in northern states) for standard weight aggregates;
 dimensional tolerances = ± 1/8" from nominal unit dimensions not including rough split face, ± 1/16" unit height - top and bottom planes;
 unit size - 8" (H) x 18" (W) x 18" (D) minimum;
 unit weight - 95 lbs/unit minimum for standard weight

- aggregates;
 inter-unit shear strength - 1000 pif minimum at 2 psi normal pressure;
 geogrid/unit peak connection strength - 1000 pif minimum at 2 psi normal force.
 D. Modular concrete units shall conform to the following constructability requirements:
 vertical setback = 1/8" per course (near vertical) or 1" per course per the design;
 alignment and grid positioning mechanism - fiberglass pins, two per unit minimum;
 maximum horizontal gap between erected units shall be 1/2 inch.

- 2.02 Shear Connectors
 A. Shear connectors shall be 1/2 inch diameter thermoset isophthalic polyester resin-protuded fiberglass reinforcement rods or equivalent to provide connection between vertically and horizontally adjacent units. Strength of shear connectors between vertical adjacent units shall be applicable over a design temperature of 10 degrees F to + 100 degrees F.
 B. Shear connectors shall be capable of holding the geogrid in the proper design position during grid pre-tensioning and backfilling.

- 2.03 Base Leveling Pad Material
 A. Material shall consist of a compacted #57 crushed stone base as shown on the construction drawings.

- 2.04 Unit Drainage Fill
 A. Unit drainage fill shall consist of #57 crushed stone

- 2.05 Reinforced Backfill
 A. Reinforced backfill shall type SM, be free of debris and meet the following gradation tested in accordance with ASTM D-422 and meet other properties shown on the plan:
- | Sieve Size | Percent Passing |
|------------|-----------------|
| 2 inch | 100-75 |
| 3/4 inch | 100-75 |
| No. 40 | 0-50 |
| No. 200 | 0-40 |
- Plasticity Index (PI) < 7 and Liquid Limit < 40 per ASTM D-4318.
 B. Material can be site excavated soils where the above requirements can be met. Unsuitable soils for backfill (high plastic clays or organic soils) shall not be used in the reinforced soil mass.

- 2.06 Geogrid Soil Reinforcement
 A. Geosynthetic reinforcement shall consist of geogrids manufactured specifically for soil reinforcement

- applications and shall be manufactured from high tenacity polyester yarn.
 D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

PART 3: EXECUTION

- 3.01 Excavation
 A. Contractor shall excavate to the lines and grades shown on the construction drawings. Owner's representative shall be responsible for inspecting and approving the excavation prior to placement of leveling material or fill soils.

- 3.02 Base Leveling Pad
 A. Leveling pad material shall be placed to the lines and grades shown on the construction drawings, to a minimum thickness of 6 inches and extend laterally a minimum of 6" in front and behind the modular wall unit.
 B. Leveling pad shall be prepared to insure full contact to the base surface of the concrete units.

- 3.03 Modular Unit Installation
 A. First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in contact with the base and properly seated.
 B. Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
 C. Install shear/connecting devices per manufacturer's recommendations.
 D. Place and compact drainage fill within and behind wall units. Place and compact backfill soil behind drainage fill. Follow wall erection and drainage fill closely with structure backfill.
 E. Maximum stacked vertical height of wall units, prior to unit drainage fill and backfill placement and compaction, shall not exceed three courses.

- 3.04 Structural Geogrid Installation
 A. Geogrid shall be oriented with the highest strength axis perpendicular to the wall alignment.
 B. Geogrid reinforcement shall be placed at the strengths, lengths, and elevations shown on the construction design drawings or as directed by the Engineer.
 C. The geogrid shall be laid horizontally on compacted backfill and attached to the modular wall units. Place the next course of modular concrete units over the geogrid. The geogrid shall be pulled taut, and anchored prior to

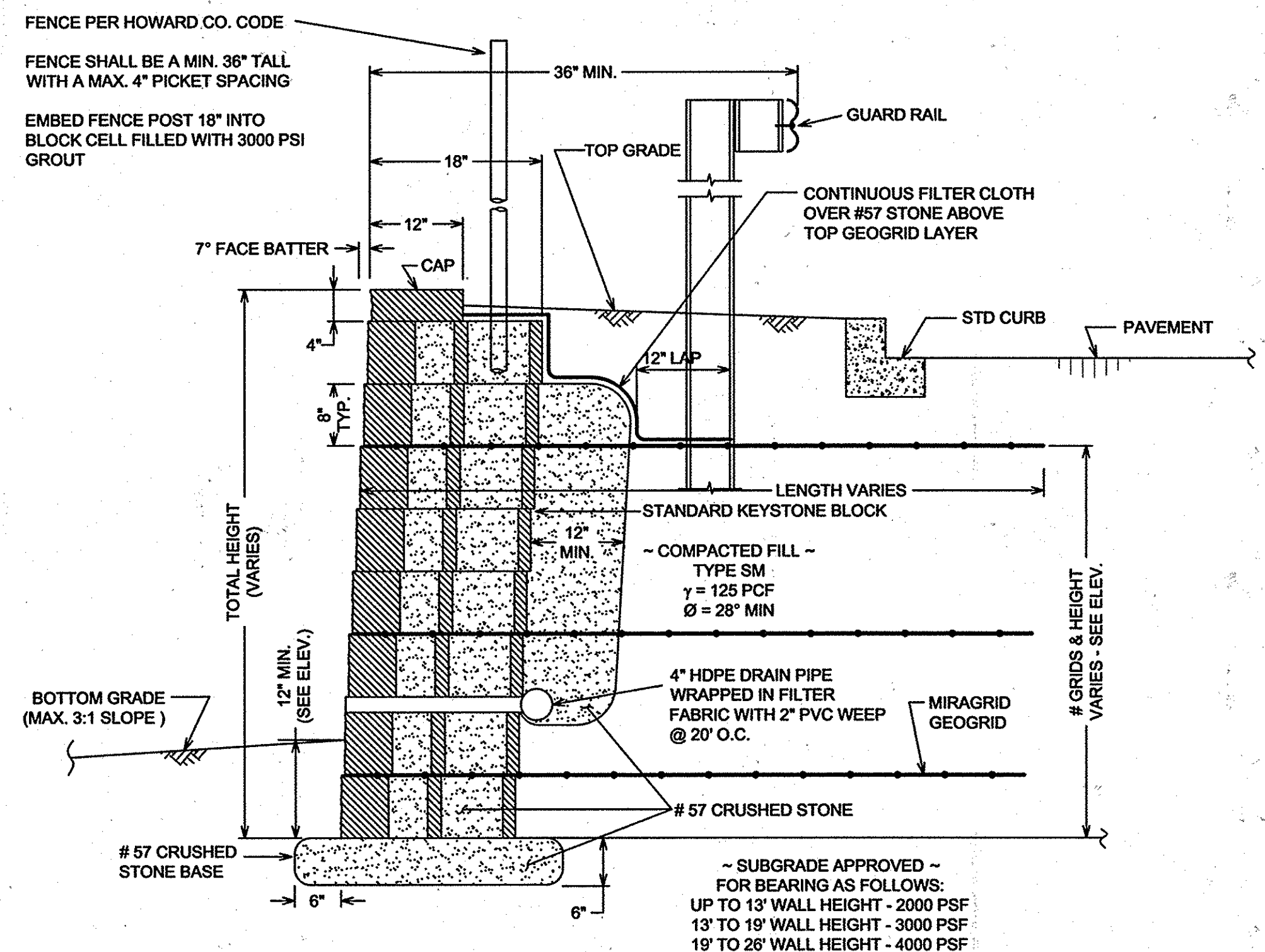
- backfill placement on the geogrid.
 D. Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps between adjacent pieces of geogrid are not permitted.

- 3.05 Reinforced Backfill Placement
 A. Reinforced backfill shall be placed, spread, and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage.
 B. Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches where hand compaction is used, or 8 - 10 inches where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density as required.
 C. Reinforced backfill shall be compacted to 95% of the maximum density as determined by ASTM D698. The moisture content of the backfill material prior to and during compaction shall be uniformly distributed throughout each layer and shall be + 3% to - 3% of optimum.
 D. Only lightweight hand-operated equipment shall be allowed within 3 feet from the tail of the modular concrete unit.

- E. Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging the geogrid.
 F. Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and sharp turning shall be avoided.
 G. At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.

- 3.06 Cap Installation
 A. Cap units shall be glued to underlying units with an all-weather adhesive recommended by the manufacturer.

- 3.07 Field Quality Control
 A. The Owner shall engage inspection and testing services, including independent laboratories, to provide quality assurance and testing services during construction.
 B. As a minimum, quality assurance testing should include foundation soil inspection, soil and backfill testing, verification of design parameters, and observation of construction for general compliance with design drawings and specifications.



TYPICAL WALL SECTION
NTS

- NOTES:**
- 1.) No trees shall be planted within 10 feet of the top of the retaining wall.
 - 2.) Retaining walls shall only be constructed under the observation of a registered professional engineer and a (NICET, WACEL, or equiv.) certified soils technician.
 - 3.) The required bearing pressure beneath the wall system shall be verified in the field by a certified soils technician. Testing documentation must be provided to the Howard County Inspector prior to start of construction. The required bearing test shall be the Dynamic Cone Penetrometer test ASTM STP-399.
 - 4.) The suitability of fill material shall be confirmed by the on-site soils technician. Each 8" lift must be compacted to a minimum 95% standard proctor density and the testing report shall be made available to the Howard County Inspector upon completion of construction.
 - 5.) One soil boring is required every one hundred feet along the length of the wall. Copies of the boring reports shall be provided to the Howard County Inspector prior to the start of the construction.

FISHER, COLLINS & CARTER, INC.
 CIVIL, ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461 - 2855

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 380-4788 Fax: (410) 880-4098

DATE	DESCRIPTION
11-11-15	Added sheet 2c
7/05/11	REVISED BUILDING NO. 2
11-11-10	Revised Building No. 2
11-20-08	add dual dumpster pad, grease trap (Bid #1) and rev. exterior stair well loc. to Bid #1 1, 2 & 3
0-15-08	Add dumpster pad, clock tower, elevator, fountain and grease traps
	REVISION BLOCK



APPROVED: DEPARTMENT OF PLANNING AND ZONING

HCEA JOB NO.: 04198-B

DESIGNED BY: CX
 Director - Department of Planning and Zoning

DRAWN BY: CX
 Chief, Division of Land Development

APPROVED BY: RWS
 Chief, Development Engineering Division

DEVELOPER/OWNER
 THE COURTYARDS AT THE TIMBERS
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-387-0422

SUBDIVISION: THE COURTYARDS AT THE TIMBERS
 DEED REF. 5609 / 611
 BLOCK NO. 3
 ZONE POR
 WATER CODE D 04

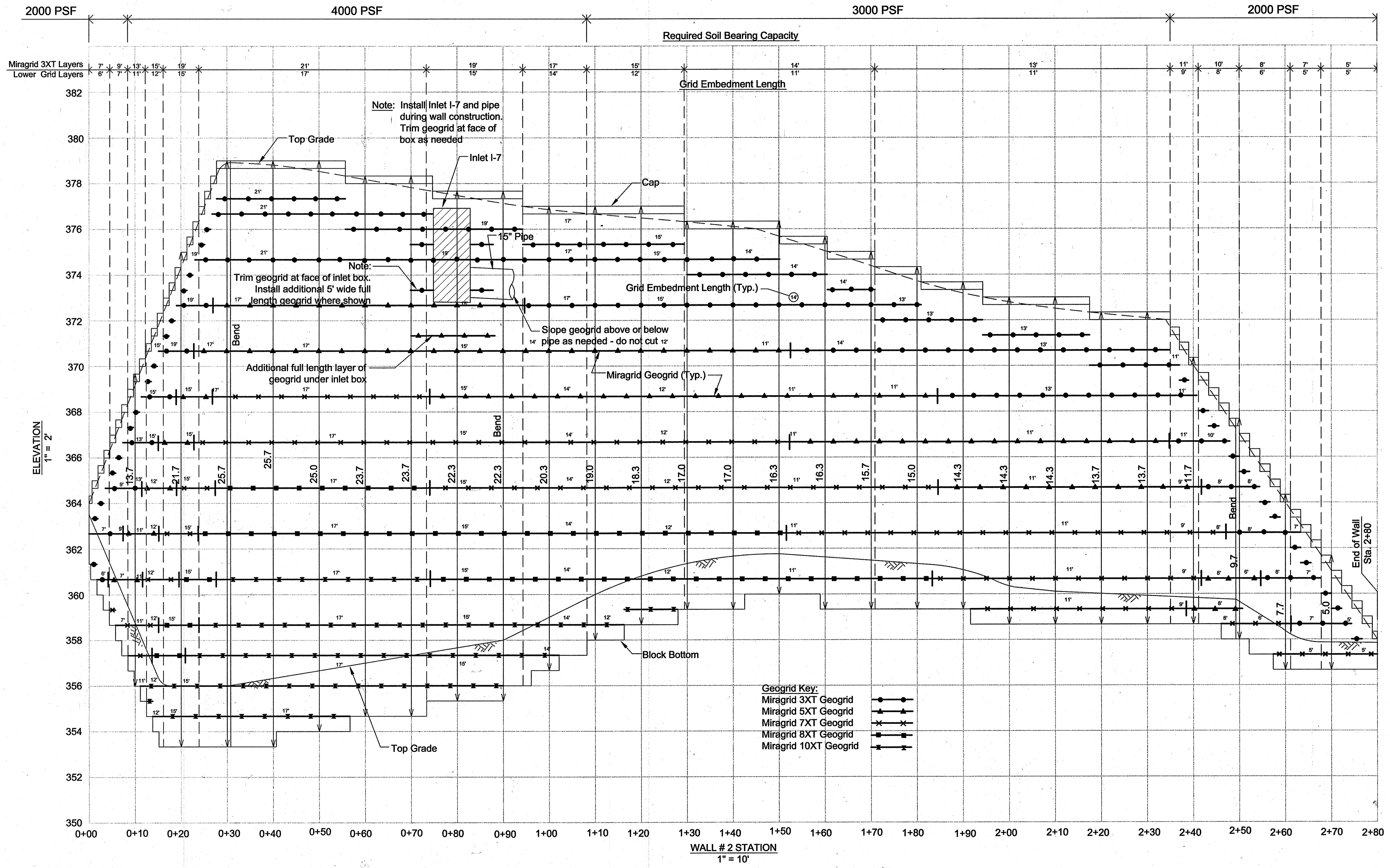
SECTION/AREA: N/A
 TAX MAP 37
 SEWER CODE 2610000

PARCEL NO. 617
 ELEC. DIST. FIRST
 CENSUS TR. 6030

RETAINING WALL CONSTRUCTION DETAILS
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: OCTOBER 2007
 SHEET 12 OF 26

SDR07-005



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 461-2855

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 Fax: (410) 880-4098

DATE	DESCRIPTION	REVISION BLOCK
11-11-15	Added Sheet 2C	
9-17-08	Revised title block subdivision name	



HCEA JOB NO.: 04198-B
 DESIGNED BY: CX
 DRAWN BY: CX
 APPROVED BY: RWS

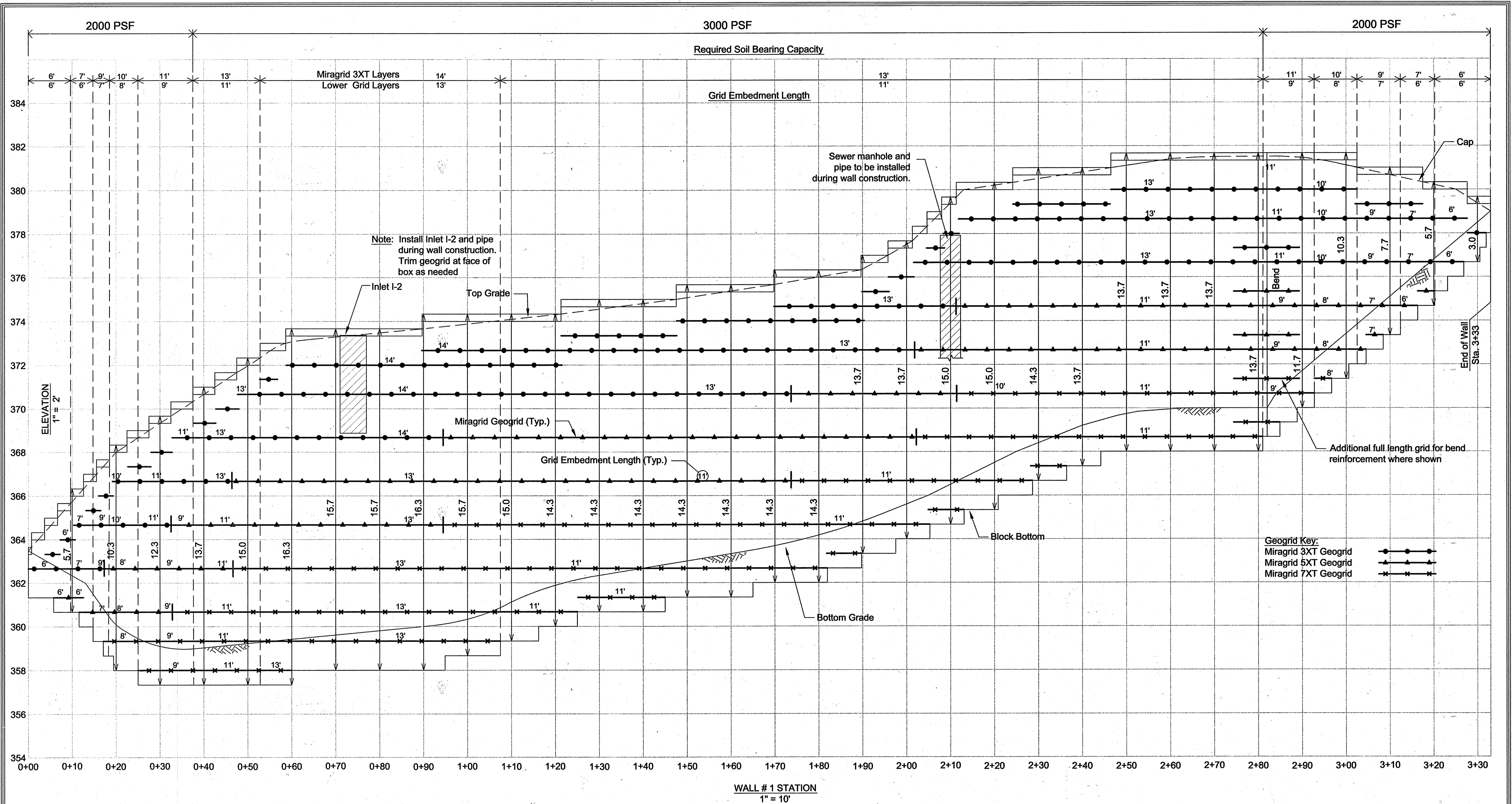
APPROVED: DEPARTMENT OF PLANNING AND ZONING					
Director - Department of Planning and Zoning			Date: 12/12/10		
Chief, Division of Land Development			Date: 12/14/10		
Chief, Development Engineering Division			Date: 11/20/10		
SUBDIVISION		SECTION/AREA		PARCEL NO.	
THE COURTYARDS AT THE TIMBERS		N/A		617	
DEED REF.	BLOCK NO.	ZONE	TAX MAP	ELEC. DIST.	CENSUS TR.
5609 / 611	3	POR	37	FIRST	6030
WATER CODE			SEWER CODE		
D 04			2610000		

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELICOTT CITY, MARYLAND 21043
 443-387-0422

RETAINING #2 WALL ELEVATION

THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: OCTOBER 2007
 SHEET 13 OF 24



FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2855

HILLIS-CARNES
 ENGINEERING ASSOCIATES
 10975 Guilford Road, Suite A Annapolis Junction, Maryland
 (410) 880-4788 Fax: (410) 880-4088

DATE	DESCRIPTION
11-11-15	Added sheet 26
2-17-08	Revised title block subdivision name



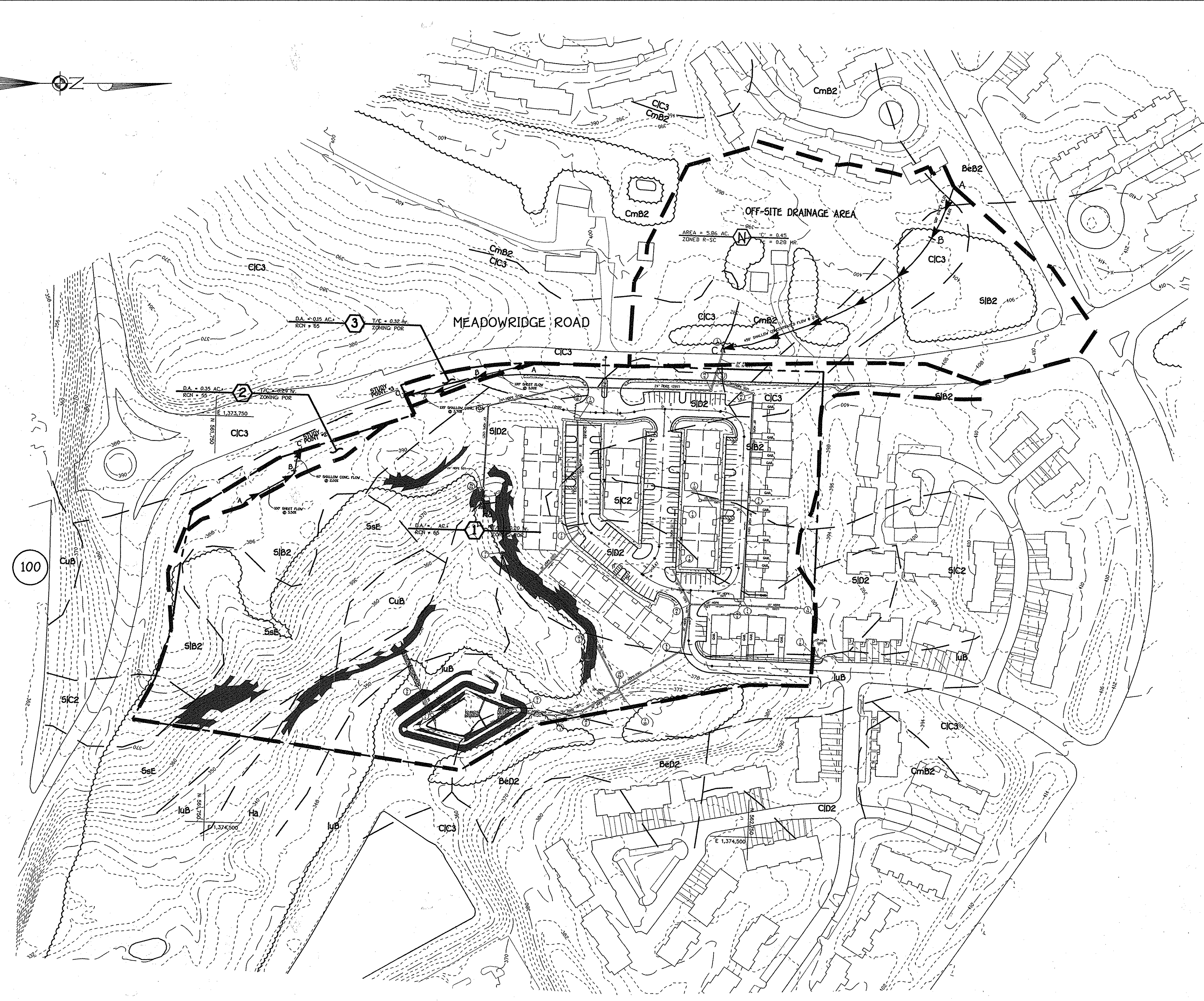
HCEA JOB NO.: 04198-B	DESIGNED BY: CX	DRAWN BY: CX	APPROVED BY: RWS
APPROVED: DEPARTMENT OF PLANNING AND ZONING <i>Maranda L. Gagliardi</i> Director - Department of Planning and Zoning <i>Chris Steinhilber</i> Chief, Division of Land Development <i>Michael J. ...</i> Chief, Development Engineering Division			
DEVELOPER/OWNER		SECTION/AREA	
THE COURTYARDS AT THE TIMBERS		N/A	
DEED REF. 5609 / 611	BLOCK NO. 3	ZONE POR	TAX MAP 37
5300 DORSEY HALL DRIVE SUITE 102 ELLICOTT CITY, MARYLAND 21043 443-387-0422		ELEC. DIST. FIRST	CENSUS TR. 6030
WATER CODE D 04		SEWER CODE 2610000	

RETAINING #1 WALL ELEVATION

THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER

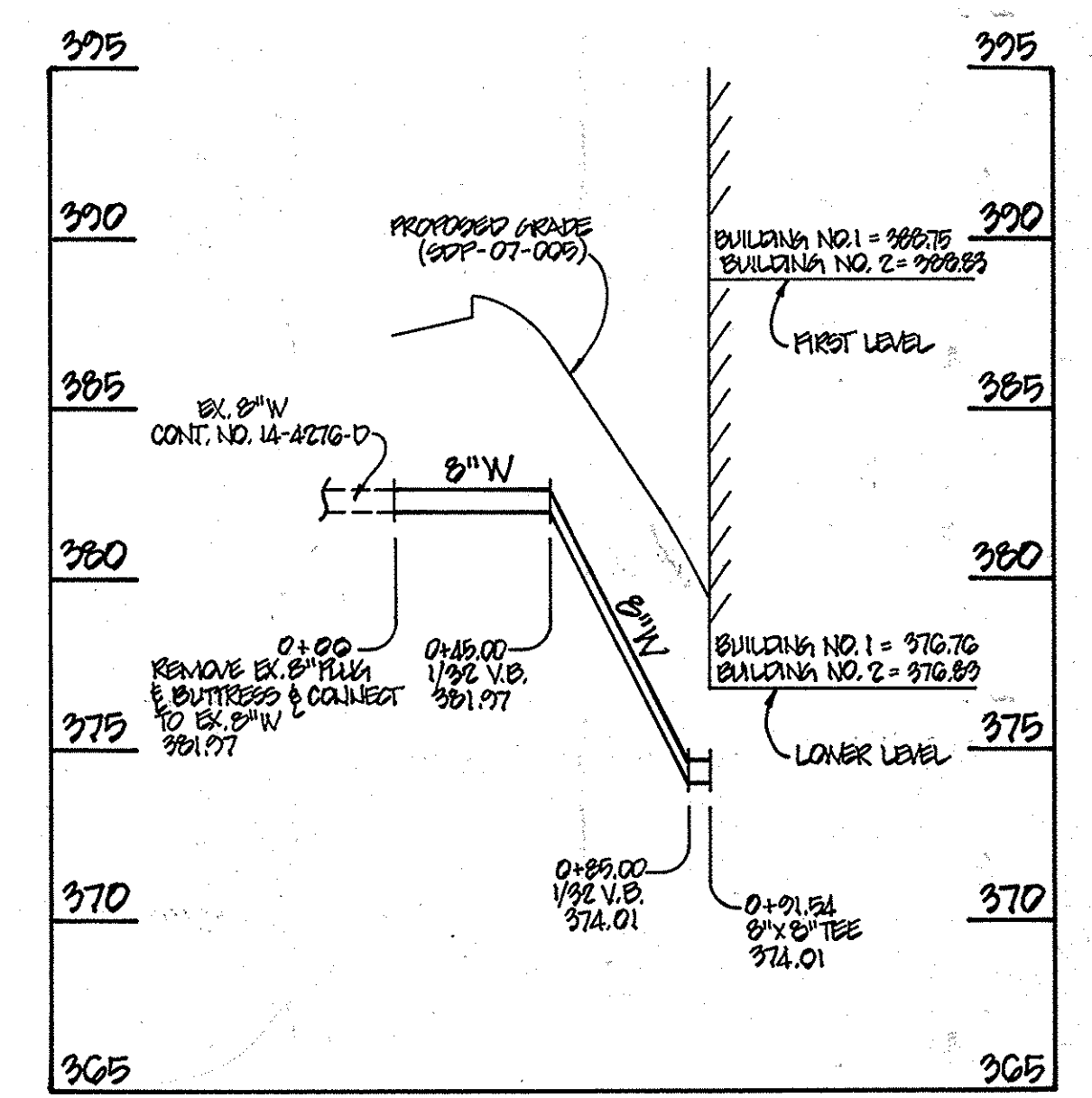
ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: OCTOBER 2007
 SHEET 14 OF 26

SDR-07-005



SOILS LEGEND		
SOIL	NAME	CLASS
** BeD2	Beltville silt loam, 10 to 15 percent slopes, moderately eroded	C
CID2	Chillum gravelly loam, 10 to 15 percent slopes, moderately eroded	C
CIC3	Chillum gravelly loam, 5 to 10 percent slopes, severely eroded	C
Cmb2	Chillum silt loam, 1 to 5 percent slopes, moderately eroded	C
* CuB	Comus silt loam, local aluminum, 3 to 8 percent slopes	B
** Ha	Hatboro silt loam	D
* LuB	Luka loam, local aluminum, 1 to 5 percent slopes	C
Sib2	Sassafras loam, 1 to 5 percent slopes, moderately eroded	B
Sic2	Sassafras loam, 5 to 10 percent slopes, moderately eroded	B
Sid2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B
Sse	Sassafras soils, 15 to 40 percent slopes	B

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas



8" WATER MAIN; BUILDING NO'S. 1 & 2
 PROFILE
 SCALE: HORIZ. = 1" = 50'
 VERT. = 1" = 5'

WATER MAIN TABULATION CHART			
WATER MAIN STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAIN; TO BUILDING NO'S. 1 & 2			
0+00.00	EX. 8" PULL & BUTTRESS	561951.97	1979807.90
0+22.53	PC (GRIMP RADIUS 407)	561957.70	1979808.49
0+57.22	PT (GRIMP RADIUS 407)	561974.12	1979920.07
0+91.54	8" x 8" TEE	561980.01	1979931.17

LEGEND

- DENOTES 15% - 24.99% SLOPES
- DENOTES 25% OR GREATER SLOPES
- DENOTES DRAINAGE AREA LIMITS
- DENOTES TIME OF CONCENTRATION (T/C)

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PkE.
 ELLICOTT CITY, MARYLAND 21042
 410.461.2000

T. E. SCOTT & ASSOCIATES, INC.
 128 COCKEYSVILLE ROAD, SUITE 300 Phone: 410.438.2001
 HART WALKER, MARYLAND 21040 Fax: 410.293.0316

DATE	DESCRIPTION	REVISION BLOCK
11/11/15	Added Sheet 26	
6/20/10	CHANGE SHEET TITLE TO INCLUDE "WATER MAIN PROFILE"	
6/20/10	ADD WATER MAIN TABULATION CHART, BUILDING NO'S. 1 & 2	
6/20/10	ADD 8" WATER MAIN PROFILE, BUILDING NO'S. 1 & 2	
9-17-08	Revised title block subdivision name	

ENGINEER'S CERTIFICATE
 I certify that the design, preparation and erosion control represents a practical and workable plan based on the best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 11/13/07

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 11/13/07

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* Date: _____

Howard SCD
 Date: _____

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

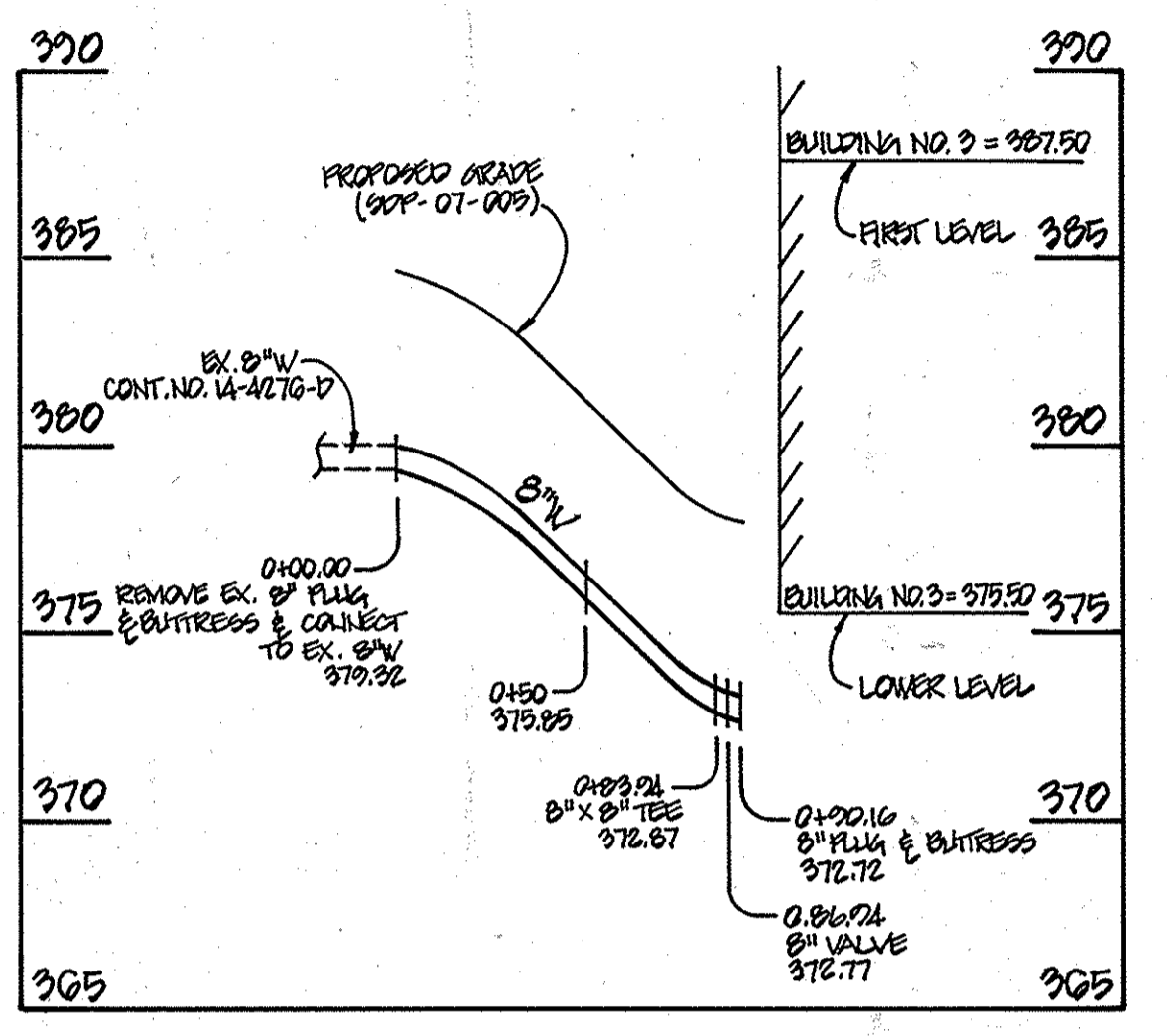
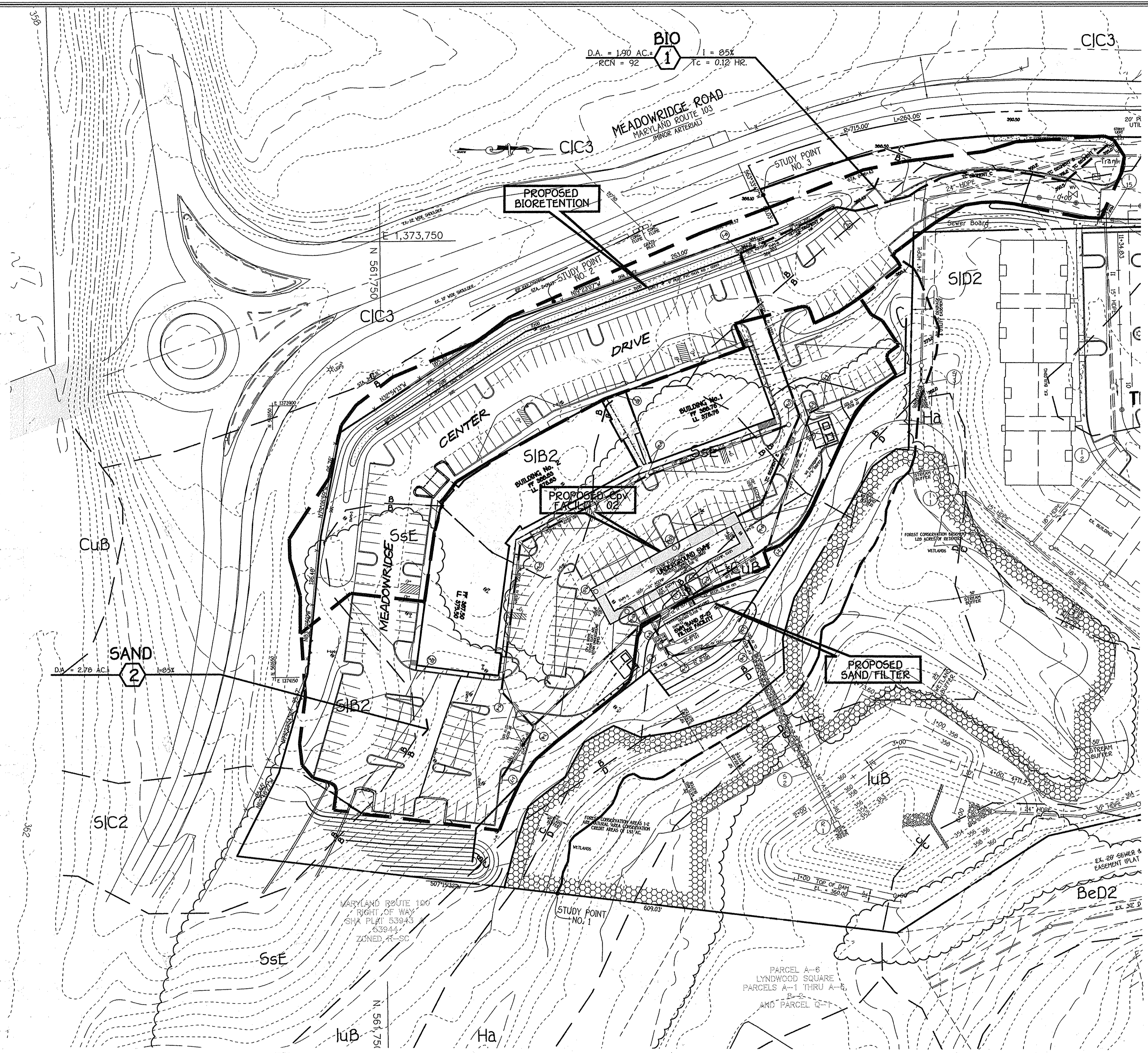
Signature: *[Signature]* Date: 11/13/07
 Signature: *[Signature]* Date: 12/1/07
 Signature: *[Signature]* Date: 11/20/07

SUBDIVISION	COURTYARDS AT THE TIMBERS	SECTION/AREA	N/A	PARCEL NO.	617
DEED REF.	5509 / 611	BLOCK NO.	3	ELEC. DIST.	FIRST
FLAT NO.	1956-1957	ZONE	37	CENSUS TR.	6030
WATER CODE	D 04	SEWER CODE	2610000		

EXISTING CONDITIONS, DRAINAGE AREA MAP & WATER MAIN PROFILE

THE COURTYARDS AT THE TIMBERS
 PARCEL B
MEADOWRIDGE CENTER

ZONED: POR
 TAX MAP NO. 37 PARCEL NO. 617 GRID NO. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 100'
 DATE: NOVEMBER 13, 2007
 SHEET 15 OF 26



8" WATER MAIN: BUILDING NO. 3
 PROFILE
 SCALE: HORIZ. 1" = 50'
 VERT. 1" = 5'

WATER MAIN TABULATION CHART			
WATER MAIN STA.	APPURTENANCE	NORTHING	EASTING
8" WATER MAINS TO BUILDING NO. 3			
0+00.00	EX. 8" FLUA & BUTRESS	561793.98	1374154.81
0+00.04	8" x 8" TEE	561897.97	1374164.38
0+00.04	8" VALVE	561897.72	1374161.40
0+00.16	8" FLUA & BUTRESS	561898.00	1374158.10

- LEGEND**
- EXISTING 2' CONTOURS
 - EXISTING 10' CONTOURS
 - GLB2 MLC2 SOIL LINES AND TYPES
 - LIMIT OF DRAINAGE AREA
 - TIME OF CONCENTRATION PATH
 - PROPOSED CONTOUR
 - DESIGN POINT

SOILS LEGEND		
SOIL	NAME	CLASS
** BeD2	Beltville silt loam, 10 to 15 percent slopes, moderately eroded	C
CID2	Chillum gravelly loam, 10 to 15 percent slopes, moderately eroded	C
CIC3	Chillum gravelly loam, 5 to 10 percent slopes, severely eroded	C
OmB2	Chillum silt loam, 1 to 5 percent slopes, moderately eroded	C
* CuB	Comus silt loam, local alluvium, 3 to 8 percent slopes	B
** Ha	Hatboro silt loam	D
** luB	lata loam, local alluvium, 1 to 5 percent slopes	C
SIB2	Sassafras loam, 1 to 5 percent slopes, moderately eroded	B
SIC2	Sassafras loam, 5 to 10 percent slopes, moderately eroded	B
SIB2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B
SuE	Sassafras soils, 15 to 40 percent slopes	B

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas

DATE	DESCRIPTION	REVISION BLOCK
11/11/15	Added Sheet 26	
2/05/11	Revised BUILDING NO. 2	
11/11/10	Revised BUILDING NO. 2	
6/30/10	REVISE SHEET TITLE TO INCLUDE "WATER MAIN PROFILE"	
6/30/10	ADD WATER MAIN TABULATION CHART, BUILDING NO. 3	
6/30/10	ADD 8" WATER MAIN PROFILE, BUILDING NO. 3	
11-20-08	Add dual dumpster pad & rev. exterior stair way for Bldgs # 1, 2 & 3	
9-15-08	Add dumpster pad, block tower and elevator change Plan name	

ENGINEER'S CERTIFICATE
 I certify that the design of sediment and erosion control represents a practical and workable plan based on the best available knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: [Signature] Date: 11/3/07

DEVELOPER'S CERTIFICATE
 I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the control of Sediment and Erosion before beginning the project. I also authorize periodic site inspection by the Howard Soil Conservation District.
 Signature of Developer: [Signature] Date: 11/13/07

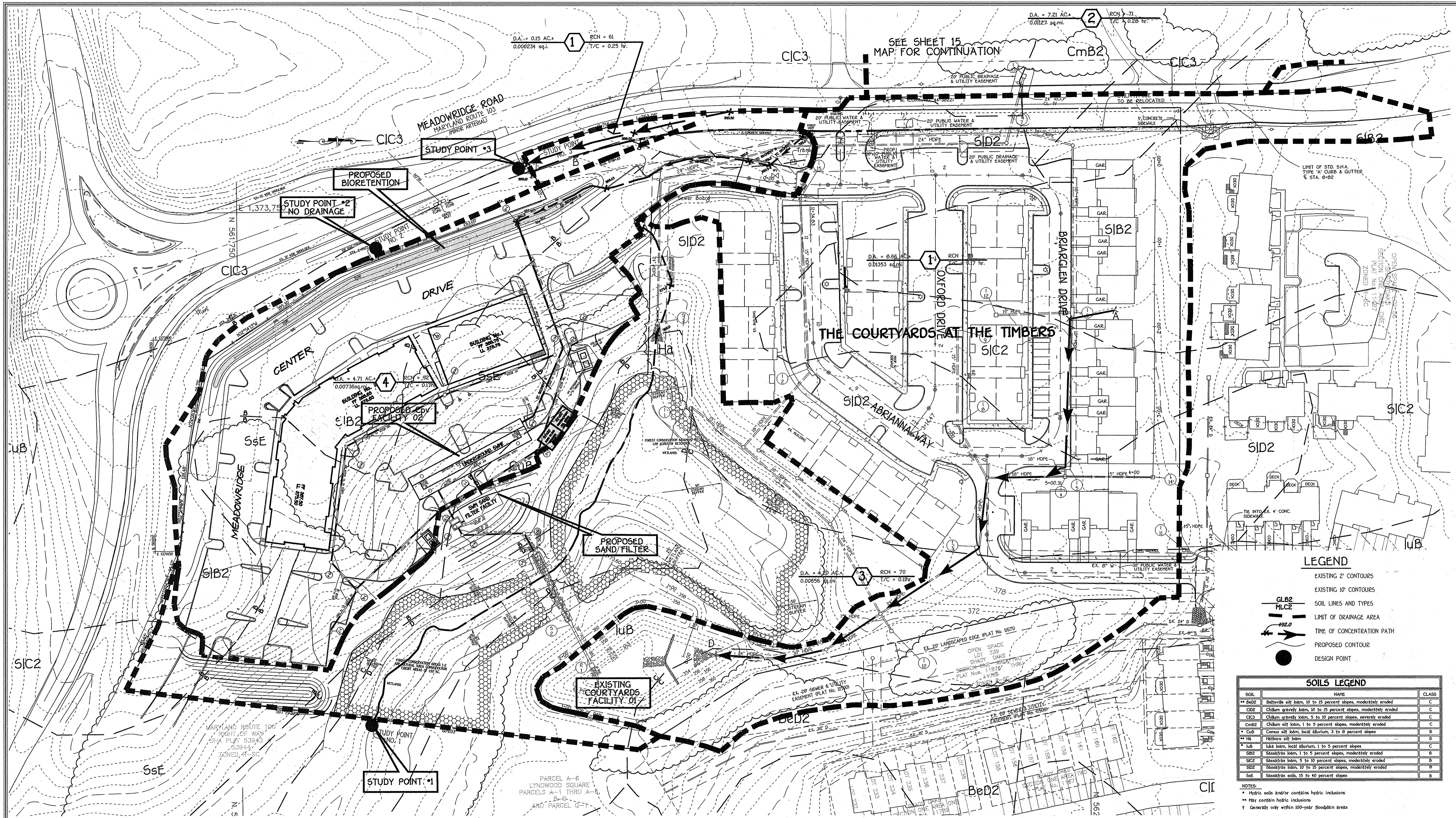
Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Howard SCD
DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division
 SUBDIVISION: THE COURTYARDS AT THE TIMBERS
 SECTION/AREA: N/A
 PARCEL NO.: 617
 DEED REF.: 2509 / 611
 PLAT NO.: 1958-19517
 BLOCK NO.: 3
 ZONE: POR
 TAX MAP: 37
 ELEC. DIST.: FIRST
 CENSUS TR.: 6030
 WATER CODE: D 04
 SEWER CODE: 2610000

WATER QUALITY ANALYSIS, PROPOSED CONDITIONS, DRAINAGE AREA MAP & WATER MAIN PROFILE
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER
 PROFESSIONAL OFFICE BUILDING
 ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: NOVEMBER 13, 2007
 SHEET 16 OF 26

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL FEE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461-2955

T. E. SCOTT & ASSOCIATES, INC.
 128 ROCKY HILLS ROAD, SUITE 300
 HUNT VALLEY, MARYLAND 21084
 (410) 461-2955



LEGEND

- EXISTING 2' CONTOURS
- EXISTING 10' CONTOURS
- SOIL LINES AND TYPES
- LIMIT OF DRAINAGE AREA
- TIME OF CONCENTRATION PATH
- PROPOSED CONTOUR
- DESIGN POINT

SOILS LEGEND

SOIL	NAME	CLASS
** BeD2	Belleville silt loam, 10 to 15 percent slopes, moderately eroded	C
CID2	Chilum gravelly loam, 10 to 15 percent slopes, moderately eroded	C
CIC3	Chilum gravelly loam, 5 to 10 percent slopes, severely eroded	C
CmB2	Chilum silt loam, 1 to 5 percent slopes, moderately eroded	C
* CuB	Cornus silt loam, local aluminum, 3 to 6 percent slopes	B
** H4	Hiltoro silt loam	D
** luB	luB loam, local aluminum, 1 to 5 percent slopes	C
SIB2	Sassafras loam, 1 to 5 percent slopes, moderately eroded	B
SIC2	Sassafras loam, 5 to 10 percent slopes, moderately eroded	B
SIB2	Sassafras loam, 10 to 15 percent slopes, moderately eroded	B
SaE	Sassafras soils, 15 to 40 percent slopes	B

NOTES:
 * Hydric soils and/or contains hydric inclusions
 ** May contain hydric inclusions
 † Generally only within 100-year floodplain areas

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 4100 461 - 2929

T. E. SCOTT & ASSOCIATES, INC.
 1200 ROCKHILL ROAD, SUITE 300
 HOUSTON, TEXAS 77058
 281-462-9911

NO.	DESCRIPTION	DATE
5	Added Sheet 26	11-11-15
4	Revised Building No. 2	6/22/11
3	Revised Building No. 2	11-11-10
2	Add dual dumpster pad rev. exterior stairwell loc. Bldgs. 1, 2 & 3 Add Clock Tower, Elevator, Grease Traps, Foundry/Dumpster Pad, Rev. Plan Name	11-20-08
1		9-16-08

ENGINEER'S CERTIFICATE
 I certify that the sediment and erosion control represents a practical and workable plan based on my knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Date: 11/3/07

DEVELOPER'S CERTIFICATE
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 Date: 11/13/07

Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Date: 11/13/07

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21143
 443-367-0422

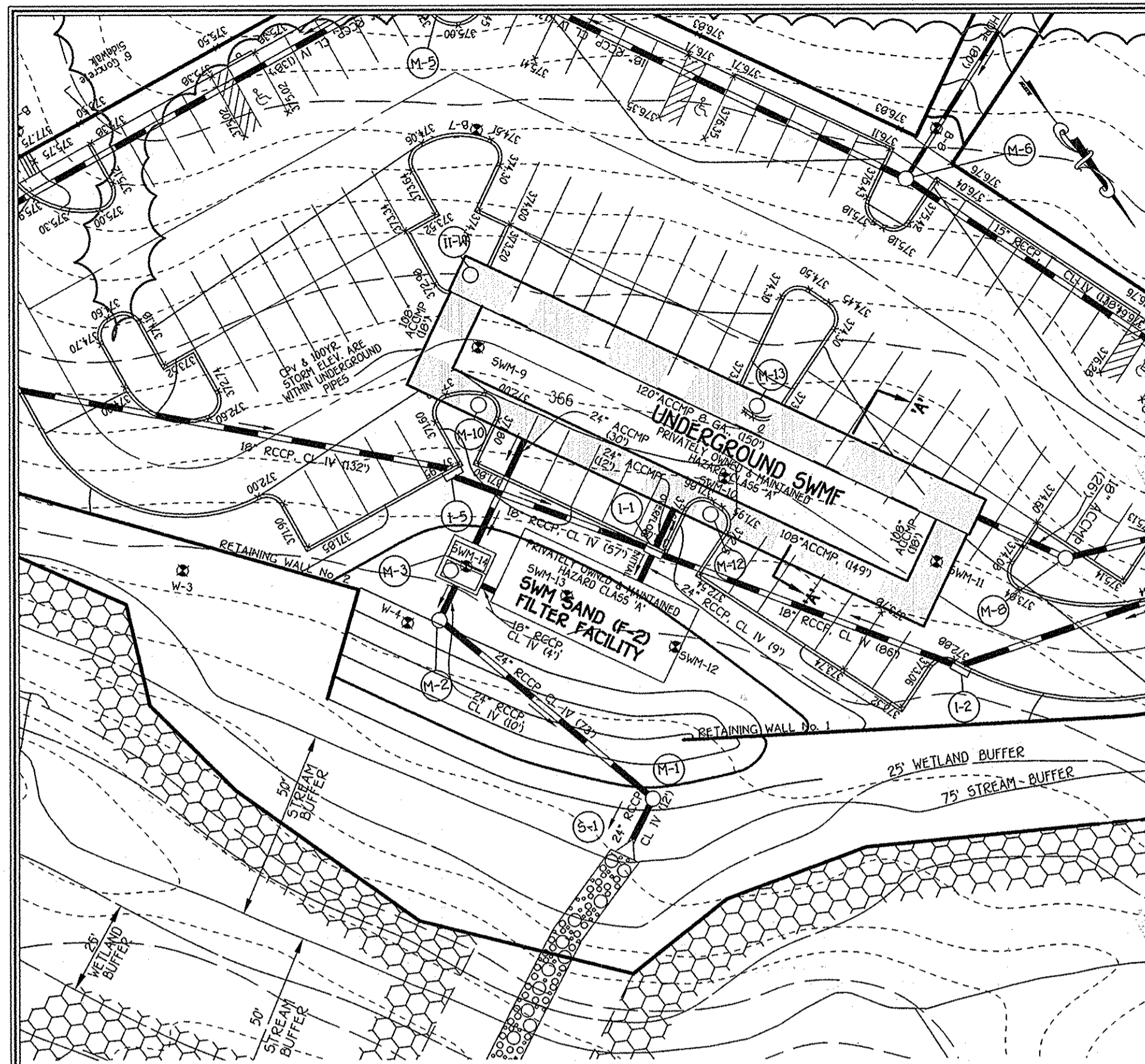
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

SUBDIVISION: THE COURTYARDS AT THE TIMBERS
 DEED REF. 25609 / 611
 PLAT NO. 1936-19547
 WATER CODE: D 04

SECTION/AREA: N/A
 TAX MAP: 37
 SEWER CODE: 2610000

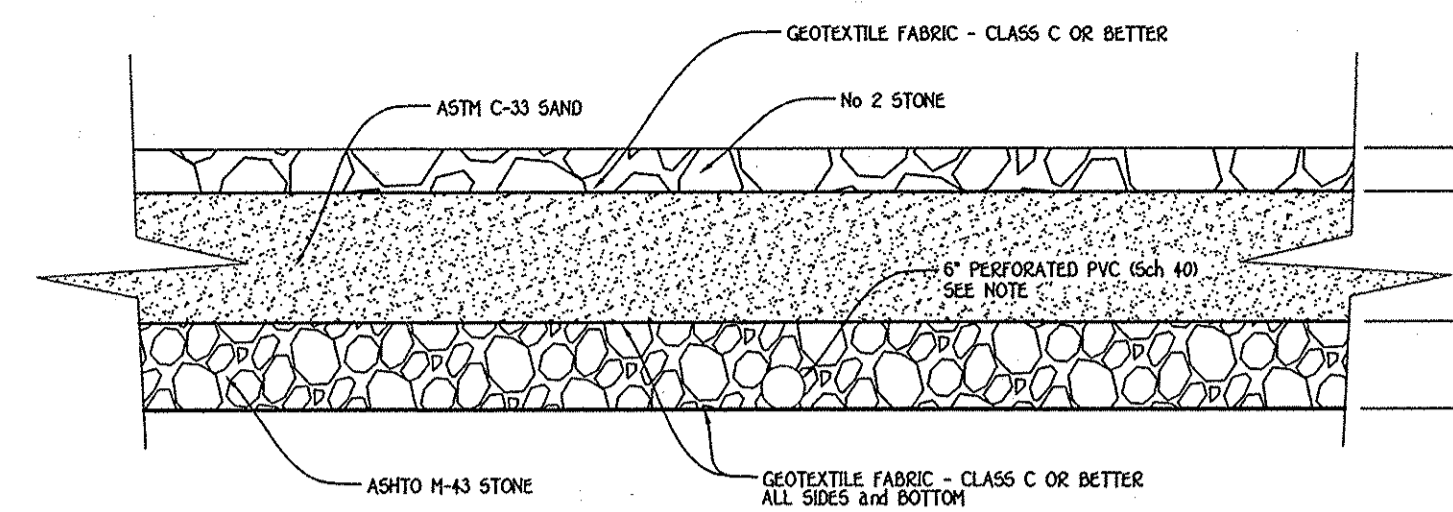
PARCEL NO.: 617
 ELEC. DIST.: FIRST
 CENSUS TR.: 6030

QUANTITY MANAGEMENT ANALYSIS
PROPOSED CONDITIONS DRAINAGE AREA MAP
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER
 PROFESSIONAL OFFICE BUILDING
 ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: NOVEMBER 13, 2007
 SHEET 17 OF 26



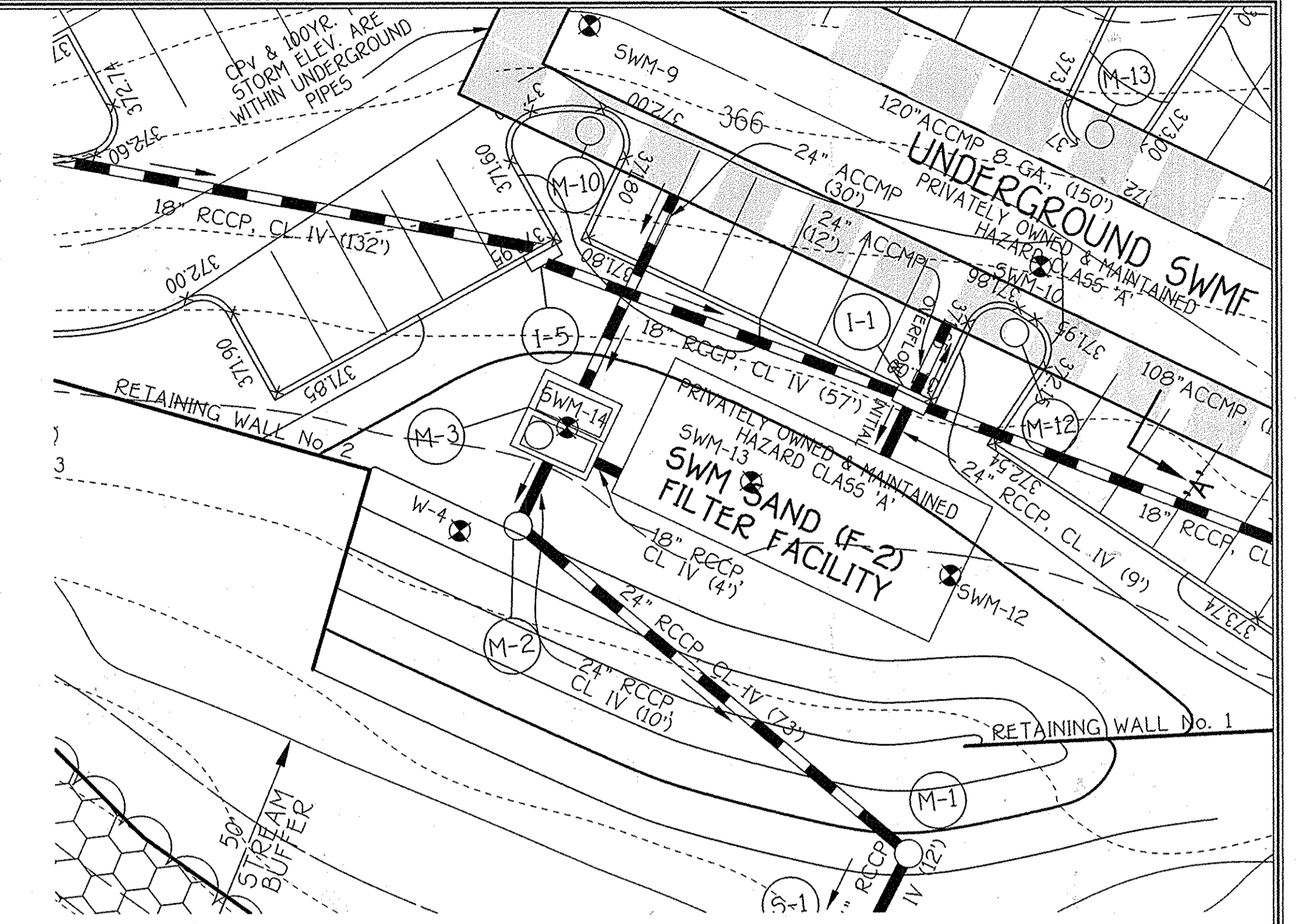
UNDERGROUND CPV FACILITY PLAN

SCALE: 1"=30'



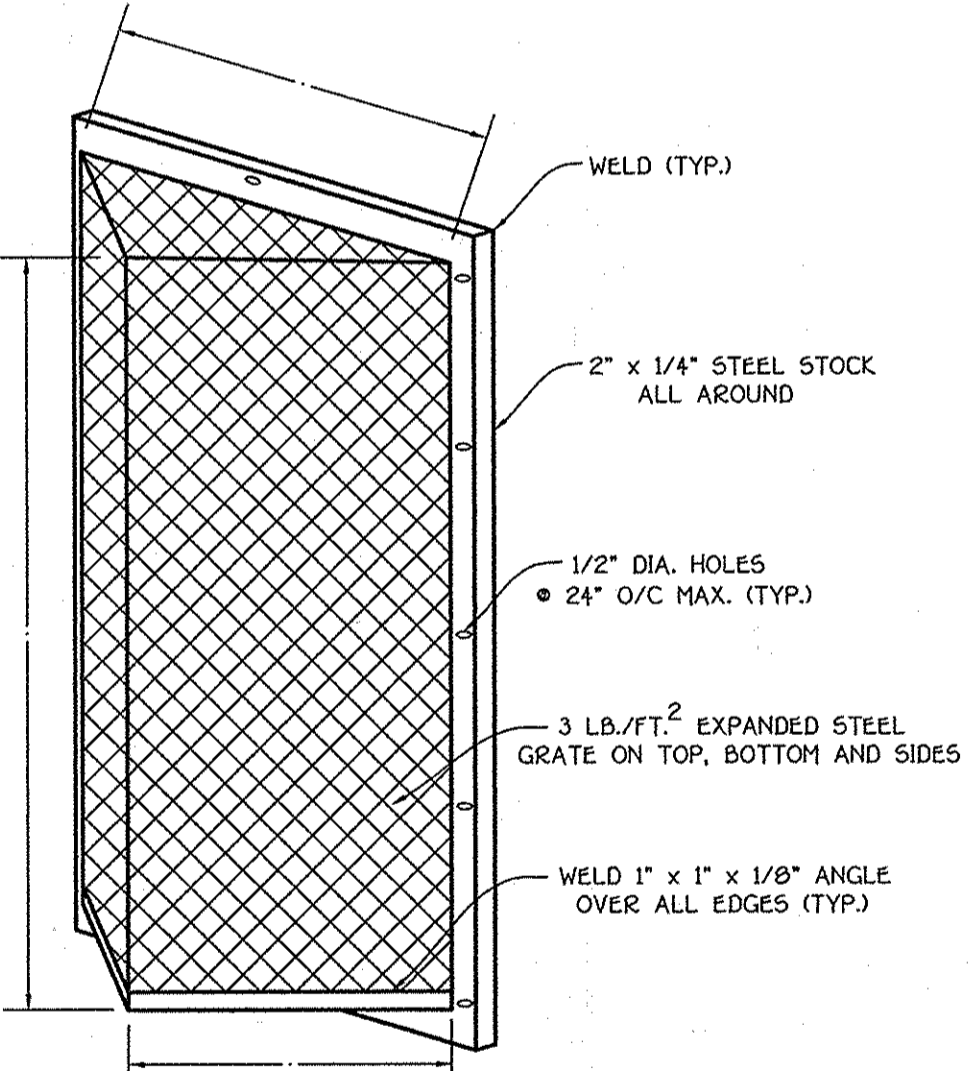
SAND FILTER TYPICAL SECTION
OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND STORMWATER FILTRATION SYSTEMS (F-2 AND F-3)

1. THE SEDIMENT CHAMBER OUTLET DEVICES SHALL BE CLEANED AND / OR REPAIRED WHEN DRAW DOWN TIMES WITHIN THE CHAMBER EXCEED 36 HOURS.
2. DEBRIS AND LITTER SHALL BE REMOVED AS NECESSARY TO INSURE PROPER OPERATION OF THE SYSTEM.
3. SEDIMENT SHALL BE CLEANED OUT OF THE SEDIMENTATION CHAMBER WHEN IT ACCUMULATES TO A DEPTH OF 6 INCHES. VEGETATION WITHIN THE SEDIMENT CHAMBER SHALL BE LIMITED TO A HEIGHT OF 10 INCHES.
4. WHEN WATER PONDS ON THE SURFACE OF THE FILTER BED FOR MORE THAN 72 HOURS, THE TOP FEW INCHES OF DISCOLORED MATERIAL SHALL BE REPLACED WITH FRESH MATERIAL. THE OWNER MUST FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID.
5. A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
6. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO THE HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
7. ONCE THE PERFORMANCE CHARACTERISTICS OF INFILTRATION SYSTEM HAVE BEEN VERIFIED THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.



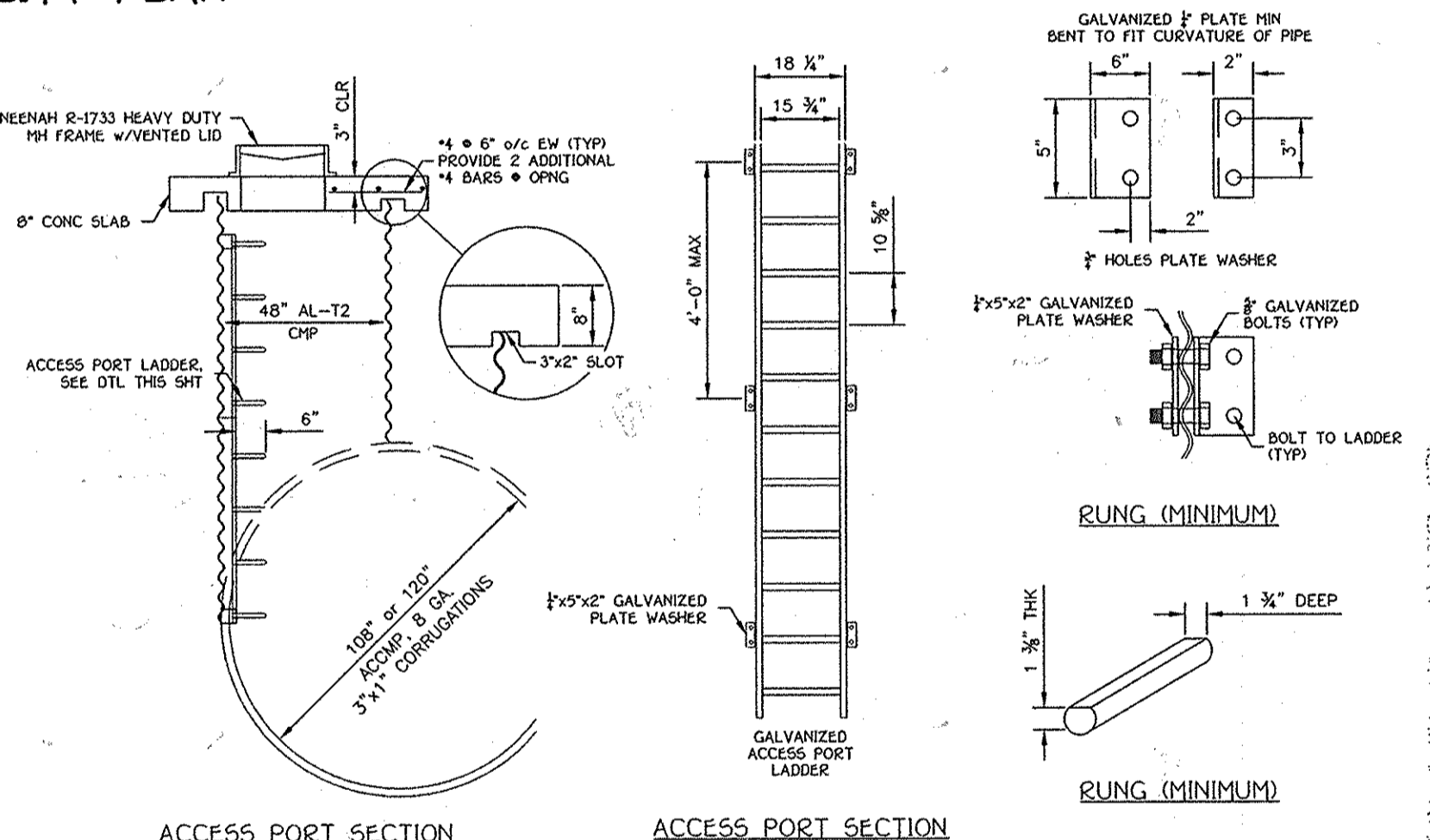
SAND FILTER FACILITY PLAN

SCALE: 1"=30'



- NOTES:
1. TRASH RACK TO BE CENTERED OVER OPENING.
 2. STEEL TO CONFORM TO ASTM A-36.
 3. ALL SURFACES TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND AFTER WELDING, THEN PAINTED WITH TWO COATS OF BATTLESHIP GRAY OR EQUIVALENT.
 4. TRASH RACK TO BE FASTENED TO THE WALL WITH 1/2" MASONRY ANCHORS. TRASH RACK TO BE REMOVABLE.

LOW FLOW TRASH RACK DETAIL
NOT TO SCALE



ACCESS PORT DETAILS
NOT TO SCALE

OPERATION AND MAINTENANCE SCHEDULE UNDERGROUND S.W.M. FACILITY

- A. ROUTINE MAINTENANCE RESPONSIBILITIES:
1. THE UNDERGROUND S.W.M. FACILITY SHALL BE INSPECTED ANNUALLY AND AFTER MAJOR STORMS. INSPECTIONS SHOULD BE PERFORMED DURING WET WEATHER TO DETERMINE IF THE FACILITY IS FUNCTIONING PROPERLY.
 2. MAINTENANCE OF THE PIPES SHALL BE PERFORMED BY FLUSHING AND VACUUMING THE SYSTEM. THE DISCHARGE ORIFICE OF THE UNDERGROUND S.W.M. FACILITY SHALL BE TEMPORARILY BLOCKED DURING SAID MAINTENANCE OPERATION.
 3. DISPOSAL OF MATERIAL SHALL BE IN ACCORDANCE WITH SIMILAR B.M.P. THAT RANGE FROM DISPOSAL IN A SANITARY LANDFILL TO INCINERATION IN A LICENSED FACILITY. PETROLEUM WASTE PRODUCTS SHOULD BE REMOVED BY A LICENSED WASTE MANAGEMENT COMPANY.
- B. NON-ROUTINE MAINTENANCE:
1. STRUCTURAL COMPONENTS OF THE UNDERGROUND FACILITY SUCH AS THE MANHOLES, PIPES AND ORIFICE SHALL BE REPAIRED UPON DETECTION OF ANY DAMAGE. THE COMPONENTS SHOULD BE INSPECTED DURING ROUTINE MAINTENANCE OPERATIONS. INSPECTION REPORTS SHALL BE KEPT UNTIL THE NEXT SUBSEQUENT INSPECTION.
 2. PROBLEMS IDENTIFIED DURING INSPECTION WILL BE PROMPTLY CORRECTED. MAJOR PROBLEMS SHALL ALSO BE BROUGHT TO THE ATTENTION OF THE HOWARD COUNTY DEPT. OF PUBLIC WORKS TO INSURE THAT PUBLIC SAFETY IS MAINTAINED.

SWM-9

Elevation Depth	SOIL SYMBOL LOCATION	Description	Boring and Sampling Notes	Roc. No.	SPT Blows	SPT Blow/Foot Curve	
						ft	blows
387.19		Topsoil-0"			1-1-1	2	
387.19		Dark brown, moist, very loose, silty clayey sand, trace gravel (SM)	No groundwater encountered while drilling	12"	5-9-12	21	
387.19		Light brown, moist, loose, silty sand (SM)		15"	5-7-9	16	
387.19		Light gray, moist, medium dense, silty sand and gravel (GM-SM)		6"	9-17-19	30	
387.19		Thin, moist, stiff to hard, silty clay with fine sand (CL)		18"	8-8-13	22	
387.19		Light gray, moist, silty, fine sand (SM)		18"	6-12-27	33	
387.19		Bottom of boring @ 18.0'		10"	8-14-30	44	

SWM-10

Elevation Depth	SOIL SYMBOL LOCATION	Description	Boring and Sampling Notes	Roc. No.	SPT Blows	SPT Blow/Foot Curve	
						ft	blows
364.35		Topsoil-0"			1-1-2	3	
364.35		Dark brown, moist, very loose, silty clayey sand, trace gravel (SM)	No groundwater encountered while drilling	12"	2-2-3	6	
364.35		Light brown, moist, loose, silty sand and gravel (GM-SM)		12"	4-8-10	28	
364.35		Thin, moist, medium dense, silty sand and gravel (GM-SM)		10"	7-6-6	10	
364.35		Light gray, moist, silty, fine sand (SM)		12"	2-2-2	4	
364.35		Thin, moist, very loose, silty sand (SM)		18"	4-5-6	11	
364.35		Bottom of boring @ 18.0'		12"	4-8-9	15	

SWM-11

Elevation Depth	SOIL SYMBOL LOCATION	Description	Boring and Sampling Notes	Roc. No.	SPT Blows	SPT Blow/Foot Curve	
						ft	blows
364.65		Topsoil-0"			1-1-2	3	
364.65		Dark brown, moist, very loose, silty sand, trace gravel (SM)	No groundwater encountered while drilling	10"	1-2-2	4	
364.65		Light brown, moist, loose, silty sand and gravel (GM-SM)		12"	4-8-11	19	
364.65		Thin, moist, medium dense, silty sand and gravel (GM-SM)		6"	16-13-15	28	
364.65		Light gray, moist, silty, fine sand (SM)		18"	6-6-6	14	
364.65		Bottom of boring @ 17.3'		17"	38-51-4	100+	

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
ELLCOTT CITY, MARYLAND 21042
410-661-2955

T. E. SCOTT & ASSOCIATES, INC.
128 ROCKHILL BLVD. SUITE 300
HUNT VALLEY, MARYLAND 21036
410-209-0216
www.teassociates.com

11/11/15 Added Sheet 26

9-17-08 Revision to titleblock subdivision name

DATE DESCRIPTION REVISION BLOCK

ENGINEER'S CERTIFICATE
I certify that the sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

11/30/07 Date

DEVELOPER'S CERTIFICATE
I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

11/13/07 Date

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning

Chief, Department of Planning and Zoning

Chief, Development Engineering Division

12/10/07 Date

12/11/07 Date

11/20/07 Date

SUBDIVISION: THE COURTYARDS AT THE TIMBERS
SECTION/AREA: N/A
PARCEL NO.: G17

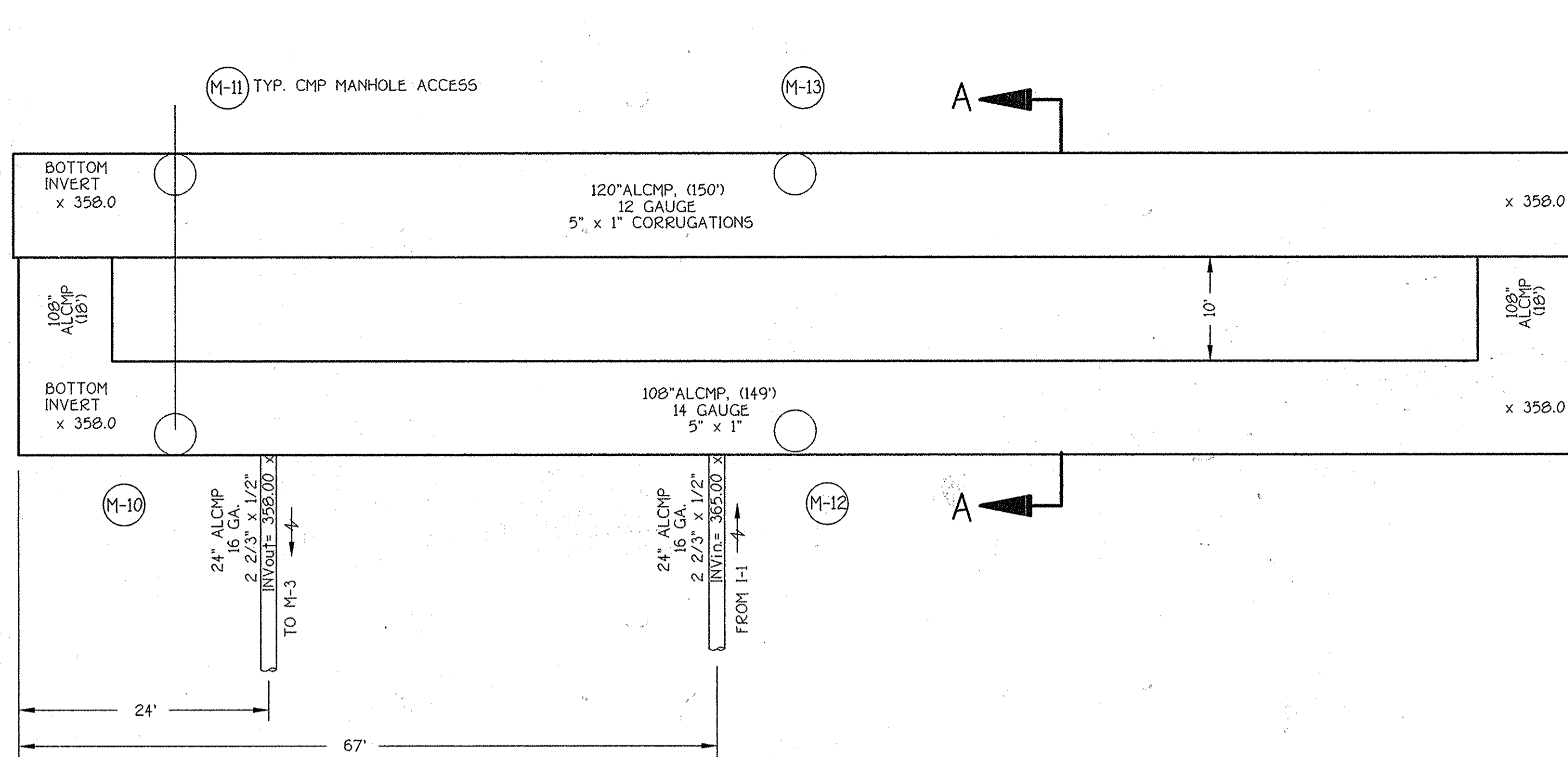
DEED REF: 2650 / 611
BLOCK NO.: 3
ZONE: POR
TAX MAP: 37
ELEC. DIST.: F1ST
CENSUS TR.: 6030

WATER CODE: D 04
SEWER CODE: 2610000

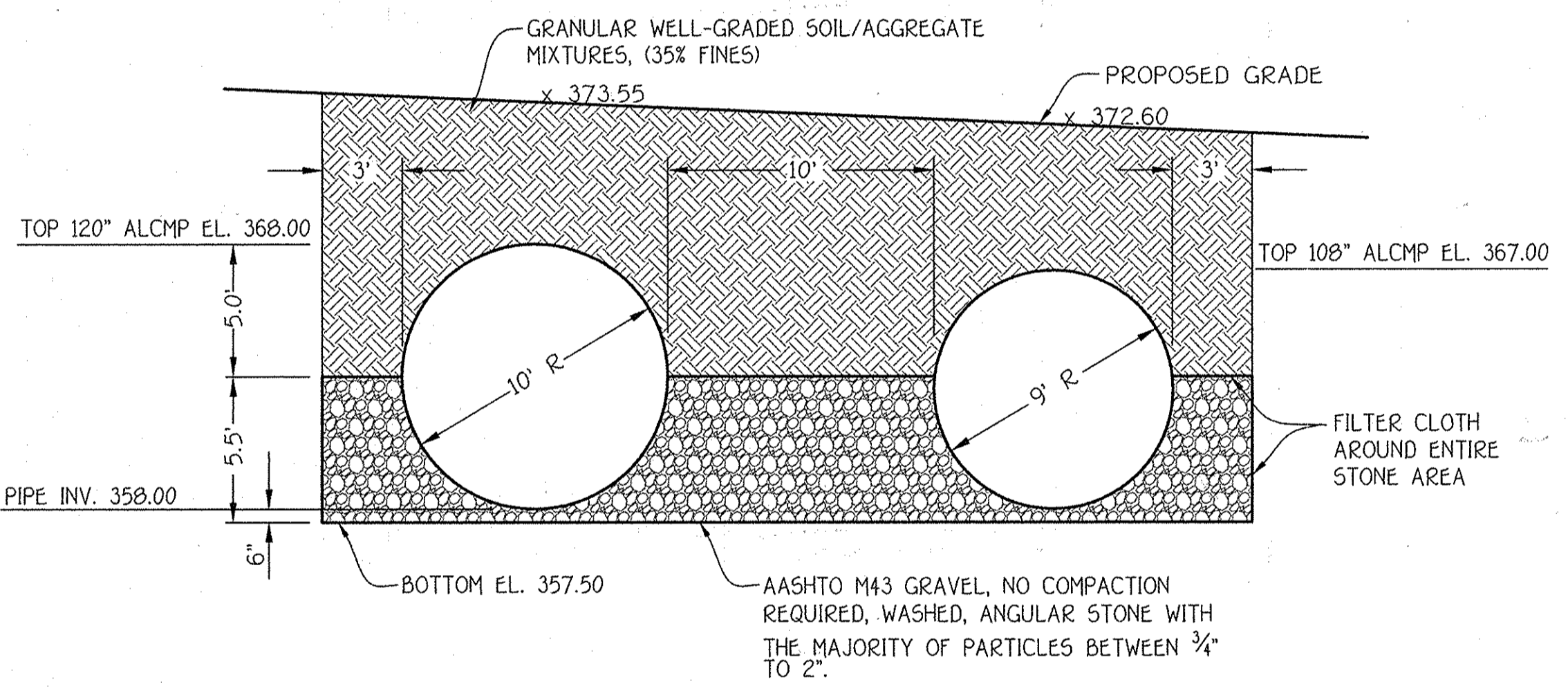
SWM CPV FACILITY & SWM SAND FILTER FACILITY

THE COURTYARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER

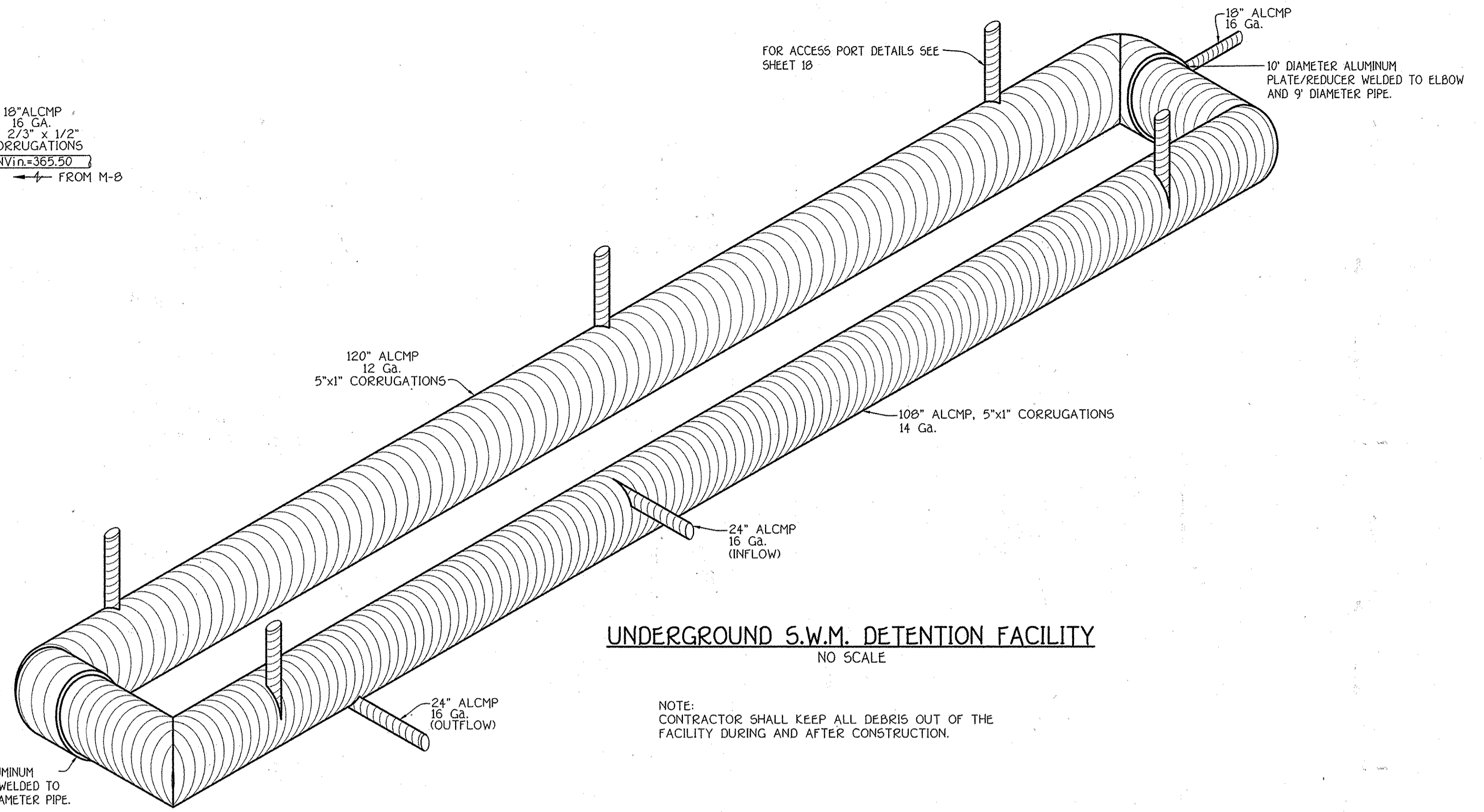
ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: NOVEMBER 13, 2007
SHEET 18 OF 26



PLAN VIEW
UNDERGROUND S.W.M. DETENTION FACILITY
 SCALE: 1" = 10"



SECTION A-A
 SCALE: 1" = 5"



UNDERGROUND S.W.M. DETENTION FACILITY
 NO SCALE

SWM-12

SAMPLER									
Date	Hammer Wt.	Bl.	Hole Diameter	Form	Foreman	SPT Blows/Feet			
4/19/07	140	2	6"	HSA	S. Wooden	1-10	10-20	20-30	30-50
360.18	30					1-1-2	3		
360.97	30					2-3-3	8		
						5-9-6	12		
						3-5-5	10		
						6-15-10	25		
						4-4-12	16		
						3-7-21	28		

SWM-13

SAMPLER									
Date	Hammer Wt.	Bl.	Hole Diameter	Form	Foreman	SPT Blows/Feet			
4/19/07	140	2	6"	HSA	S. Wooden	1-10	10-20	20-30	30-50
360.97	30					2-1-1	2		
						2-3-5	8		
						8-9-4	10		
						3-3-4	7		
						8-13-15	27		
						3-4-5	8		
						8-8-8	11		

SWM-14

SAMPLER									
Date	Hammer Wt.	Bl.	Hole Diameter	Form	Foreman	SPT Blows/Feet			
4/19/07	140	2	6"	HSA	S. Wooden	1-10	10-20	20-30	30-50
361.12	30					1-1-2	3		
						3-8-11	19		
						10-14-18	32		
						5-7-9	15		
						7-7-11	18		
						4-4-5	9		
						9-8-8	18		

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTRAL SQUARE OFFICE PARK - 10772 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21114
 410-461-2995

T. E. SCOTT & ASSOCIATES, INC.
 138 COOPERVILLE ROAD, SUITE 300
 HAVRE DE LA GRACE, MARYLAND 21055
 410-326-0016

11-11-15	Added Sheet 2c
02-17-08	Revision to title block subdivision name
DATE	DESCRIPTION
	REVISION BLOCK

ENGINEER'S CERTIFICATE
 I certify that the plan, specification, and erosion control represents a practical and workable plan based on the best knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 11/13/07

DEVELOPER'S CERTIFICATE
 I/We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic site inspection by the Howard Soil Conservation District.
 Signature: *[Signature]* Date: 11/13/07

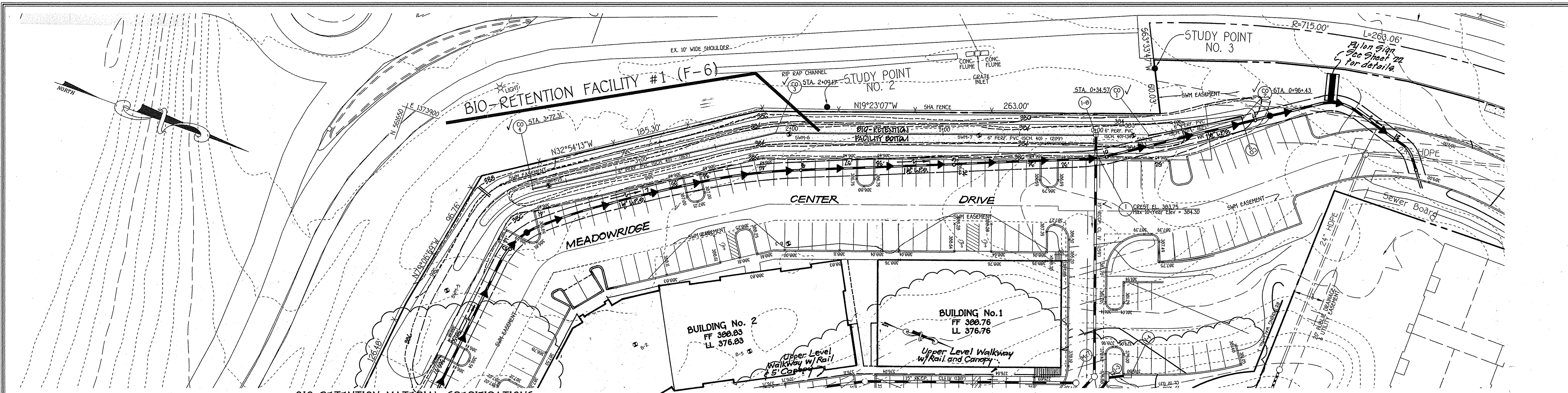
Reviewed for HOWARD SCD and meets Technical Requirements.
 U.S.D.A.-Natural Resources Conservation Service
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
 Signature: *[Signature]* Date: *[Date]*

DEVELOPER/OWNER
 100-103 CENTER, L.L.C.
 c/o LAND DESIGN AND DEVELOPMENT, INC.
 5300 DORSEY HALL DRIVE
 SUITE 102
 ELLICOTT CITY, MARYLAND 21043
 443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Signature: *[Signature]* Date: 12/13/07
 Signature: *[Signature]* Date: 12/14/07
 Signature: *[Signature]* Date: 11/20/07

SUBDIVISION: THE COURTYARDS AT THE TIMBERS
 SECTION/AREA: N/A
 PARCEL NO.: 617
 DEED REF.: 2509 / S11
 BLOCK NO.: 3
 ZONE: POR
 TAX MAP: 37
 ELEC. DIST.: FIRST
 CENSUS TR.: 6030
 WATER CODE: D 04
 SEWER CODE: 2610000

SWM DETAILS
 THE COURTYARDS AT THE TIMBERS
 PARCEL B
 MEADOWRIDGE CENTER
 ZONED: POR
 TAX MAP No. 37 PARCEL No. 617 GRID No. 3
 FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: AS SHOWN
 DATE: NOVEMBER 13, 2007
 SHEET 19 OF 26



BIO-RETENTION MATERIAL SPECIFICATIONS

SOIL TEXTURE AND STRUCTURE
Soil media shall have a sandy loam, loamy sand, or loam texture per USDA textural triangle. Maximum clay content is 5%; soil mixture shall be 50-60% sand, 20-30% loam compost and 20-30% topsoil. Leaf compost is essentially composed of aged leaf mulch and provides added organic matter to improve the health of the soil and ensure adequate soil structure. The soil shall be a uniform mix, free of stones, stumps, roots, or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the facility that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of plant or seed material of non-native, invasive species, or noxious weeds.

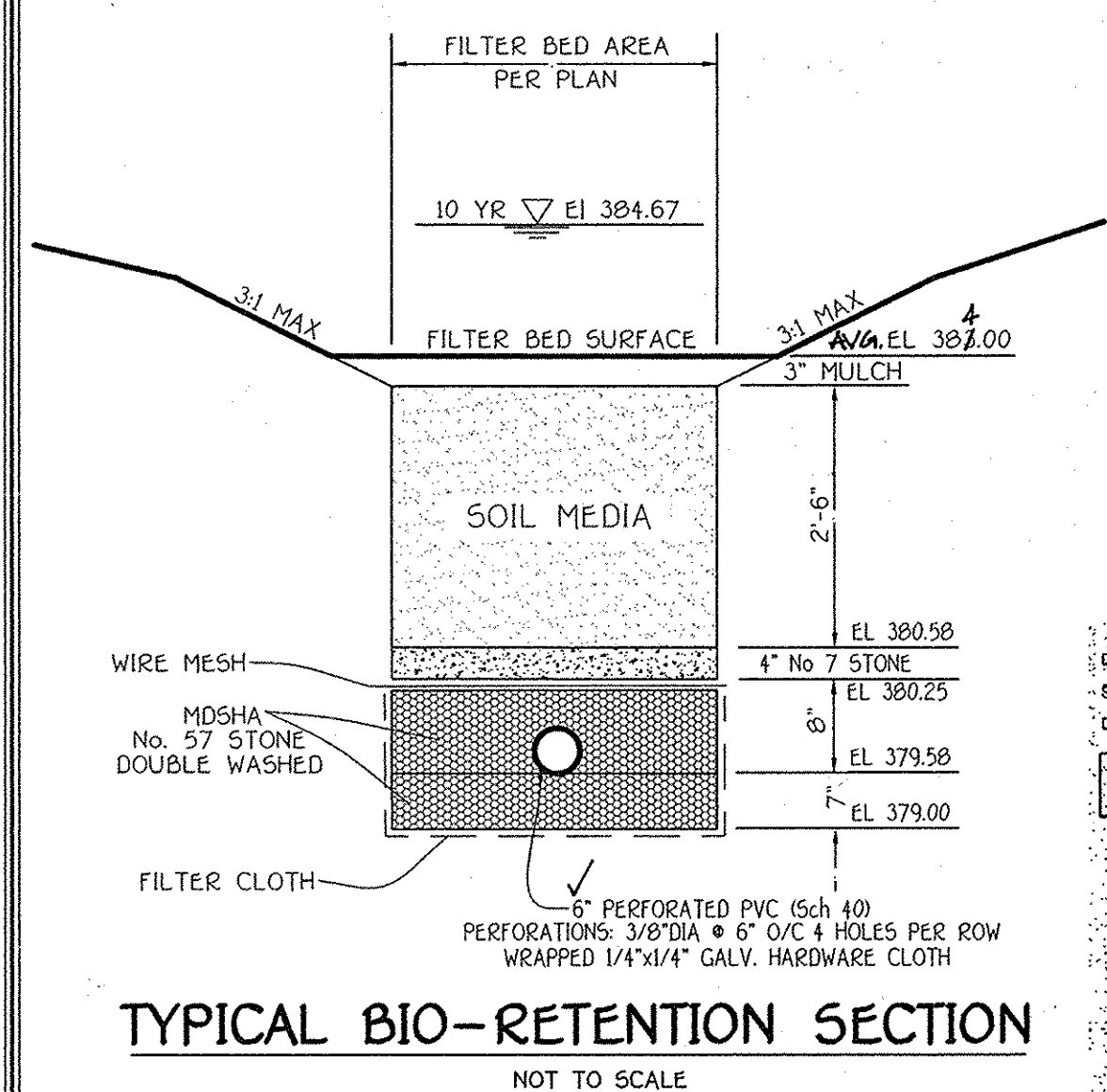
SOIL PREPARATION
Soil preparation can be performed onsite or offsite and transported to the facility location when ready for installation. Prior to transport, the soil mix shall be certified as meeting the criteria established for the soil medium and approved by the site inspector. Soil preparation can be accomplished by thoroughly mixing soil components, amendments and additives, as needed utilizing a backhoe or front-end loader.

SOIL COMPACTION
Over compaction shall be avoided by allowing time for natural compaction and settlement. No additional manual compaction of soil is necessary. Rake soil material as needed to level out. Overfill above the proposed surface invert to accommodate natural settlement to proper grade. Depending upon the soil material, up to 20% natural compaction may occur. When back filling the facility, heavy equipment shall not be used within the basin. Grade bio-retention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

SOIL PRESOAK
In order to speed up the NATURAL compaction process, presoaking the placed soil may be performed. Significant settlement can occur after the first presoak, and additional settlement may occur subsequent to the initial wetting. If time and construction scheduling permits, it is preferable to allow natural settlement to occur with the help of rain events to presoak the soil medium.

SOIL TESTING
Soil media shall be tested prior to installation for PH and organic matter. The soil should meet the following criteria (Landscape Contractors Assoc/IBS):
PH Range: 5.5 - 6.5
Organic Matter: 1.5 - 3.0%
Sieve analysis, PH and organic matter tests shall be performed for each bio-retention area.

BIO-RETENTION FACILITY #1 PLAN
SCALE: 1"=30'



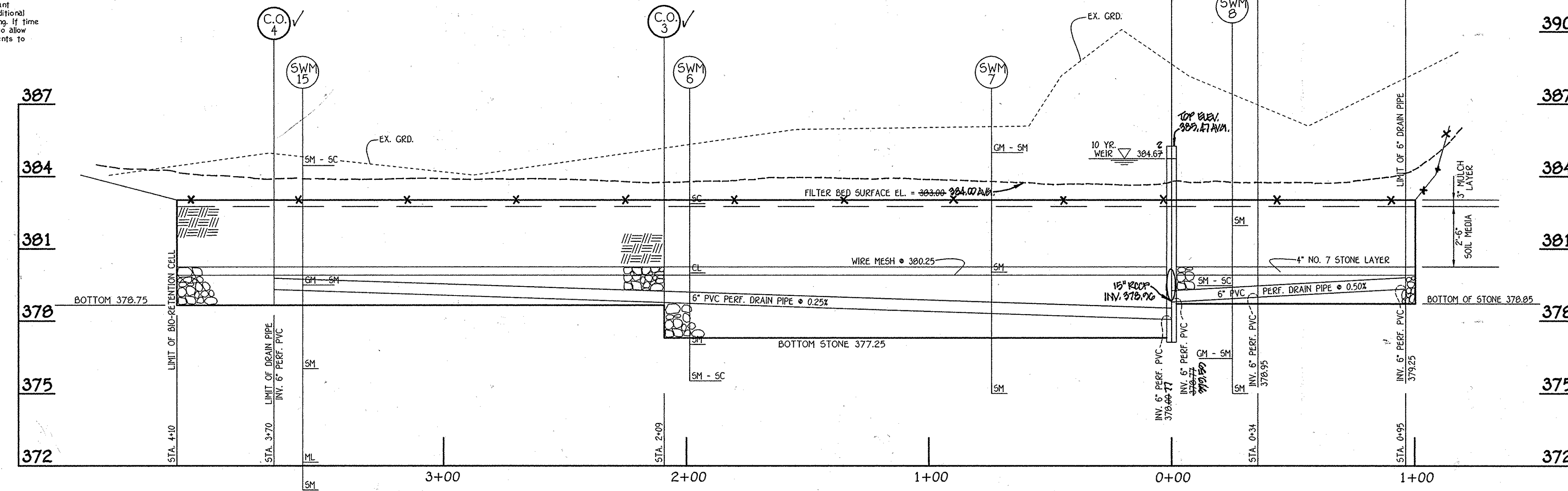
OPERATION AND MAINTENANCE SCHEDULE FOR BIO-RETENTION AREAS

- Annual maintenance of plant material, mulch layer and soil layer is required. Maintenance of mulch and soil is limited to correcting areas of erosion or wash out. Any mulch replacement shall be done in the spring. Plant material shall be checked for disease and insect infestation and maintenance will address dead material and pruning.
- Schedule of plant inspection will be twice a year in spring and fall. This inspection will include removal of dead and diseased vegetation considered beyond treatment, treatment of all diseased trees and shrubs and replacement of all deficient stakes and wires.
- Mulch shall be inspected each spring. Remove previous mulch layer before applying new layer once every 2 to 3 years.
- Soil erosion to be addressed on an as needed basis, with a minimum of once per month and after heavy storm events.

SWM-15

Station	Depth	Description	Soil	Moisture	Color	Texture	Notes
377	0-12"	Light brown, moist, very loose to loose, silty clayey sand, trace gravel and organics (SM-SC)	SM-SC	21-2	10YR 5/6	CL	No groundwater encountered while drilling
377	12-14"	Tan, moist, dense, silty fine sand, trace clay (SM)	SM	2-4-6	10YR 5/6	CL	
377	14-16"	Light brown, moist, silty fine sand, trace clay (SM)	SM	5-14-18	10YR 5/6	CL	
377	16-18"	Light brown, moist, silty fine sand, trace clay (SM)	SM	11-19-30	10YR 5/6	CL	
377	18-20"	Light brown, moist, silty fine sand, trace clay (SM)	SM	6-12-20	10YR 5/6	CL	
377	20-22"	Light brown, moist, silty fine sand, trace clay (SM)	SM	3-6-11	10YR 5/6	CL	
377	22-24"	Light brown, moist, silty fine sand, trace clay (SM)	SM	7-11-17	10YR 5/6	CL	

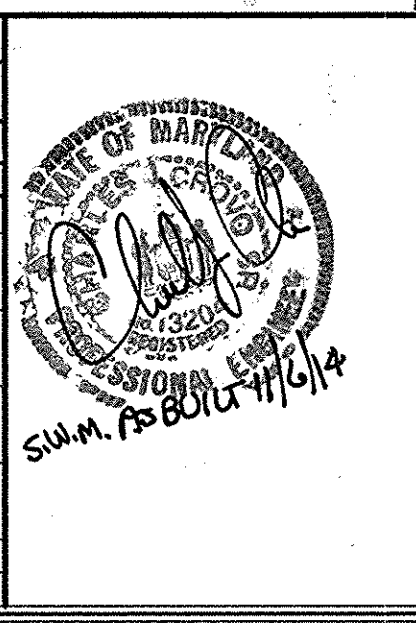
Bottom of boring @ 18.0'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PARK
ELLICOTT CITY, MARYLAND 21114
410.461.2925

T. E. SCOTT & ASSOCIATES, INC.
1800 ROCKY HILLS ROAD SUITE 300
MOUNT VERNON, MARYLAND 21092
410.461.2925

DATE	DESCRIPTION	REVISION BLOCK
11/11/15	Added Sheet 26	
11/11/15	AMENDMENT PLAN TO SHOW REVISED L.P.S. POWER MAIN OUTFALL AND-BUILT CONTAINER OF BIO-RETENTION AREA & SEWER BASIN	
2/09/11	REVISED BUILDING NO. 2	
11-11-10	Revised Building No. 2.	
8-16-09	Add Pylon Sign location.	
11-20-08	Rev. exterior stairwell locations	
9-17-08	Add Elevator, Fountain and 2nd Floor Walkway w/Rail and 5' Canopy	



ENGINEER'S CERTIFICATE
I certify that the sediment and erosion control represents a practical and workable plan for the project and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

DEVELOPER'S CERTIFICATE
I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.

Reviewed for HOWARD SCD and meets Technical Requirements.

U.S.D.A.-Natural Resources Conservation Service
This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.

Howard SCD

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLICOTT CITY, MARYLAND 21043
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Director - Department of Planning and Zoning
Chief, Division of Development
Chief, Development Engineering Division

Subdivisions: THE COURTYARDS AT THE TIMBERS
DEED REF. 5509 / G11
FLAT NO. 19516-19517
WATER CODE D 04

Section/Area: N/A
Parcel No. 617
ELEC. DIST. 37
CENSUS TR. 6030
SEWER CODE 2610000

SWM BIORETENTION FACILITIES

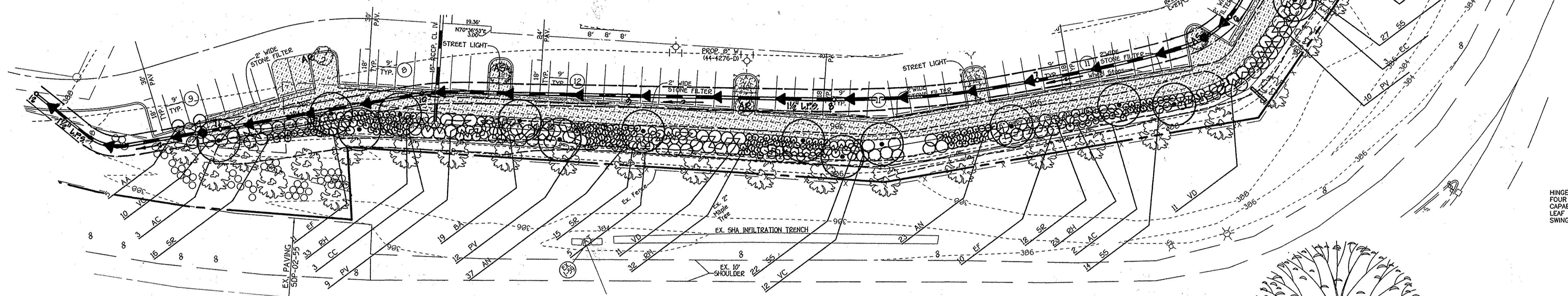
THE COURTYARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER
PROFESSIONAL OFFICE BUILDING

ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN
DATE: NOVEMBER 13, 2007
SHEET 20 OF 26

SCHEDULE A PERIMETER LANDSCAPE EDGE										
PERIMETER	CATEGORY (PROPERTIES/ROADWAYS)	LANDSCAPE TYPE	LINEAR FEET OF ROADWAY FRONTAGE PERIMETER	CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	CREDIT FOR WALL, FENCE OR BERRY (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	SHADE TREES	EVERGREEN TREES	SHRUBS	SHADE TREES	EVERGREEN TREES
P-1	ADJACENT TO PROPERTIES	C	200'	NO	NO	5	10	-	5	10
P-2	ADJACENT TO PERIMETER	C	612'	YES, 1000' (612')	NO	-	-	-	-	-
P-3	ADJACENT TO PERIMETER	A	247'	NO	NO	4	-	-	4	-
P-4	PARKING TO ROADWAY	E	1013'	NO	NO	25	-	253	35	153

NOTE: 100 SHRUBS HAVE BEEN SUBSTITUTED WITH 10 SHADE TREES ALONG PERIMETER P-4.

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	299
NUMBER OF TREES REQUIRED (1:20 SPACES)	15
NUMBER OF TREES PROVIDED:	
SHADE TREES	15
OTHER TREES (2:1 SUBSTITUTION)	-



BIO-RETENTION INTERNAL LANDSCAPING PLAN
SCALE: 1" = 30'

PLANTING SPECIFICATIONS

Plants, related material, and operations shall meet the detailed description as given on the plans and as described herein.

All plant material, unless otherwise specified, shall be nursery grown, uniformly branched, have a vigorous root system, and shall conform to the species, size, root and shape shown on the plant list and the American Association of Nurserymen (AAN) Standards. Plant material shall be healthy, vigorous, free from defects, decay, disfiguring roots, sun scald, injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will not be accepted. All plants shall be freshly dug no hold-in plants from cold storage will be accepted.

Unless otherwise specified, all general conditions, planting operations, details and planting specification shall conform to "Landscape Specification Guidelines for Baltimore-Vashington Metropolitan Areas", hereinafter "Landscape Guidelines" approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architect, latest edition, including all addenda.

Contractor shall be required to guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section of the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.

Contractor shall be responsible for notifying utility companies, utility contractors and "Miss Utility" a minimum of 48 hours prior to beginning any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.

Protection of existing vegetation to remain shall be accomplished by the temporary installation of 4 foot high snow fence or blaze orange safety fence at the drip line.

Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within the growing season of completion of site construction.

Bid shall be based on actual site conditions. No extra payment shall be made for work arising from site conditions differing from those indicated on drawings and specifications.

Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence.

All shrubs shall be planted in continuous trenches or prepared planting beds and mulched with composted hardwood mulch as details and specified except where noted on plans.

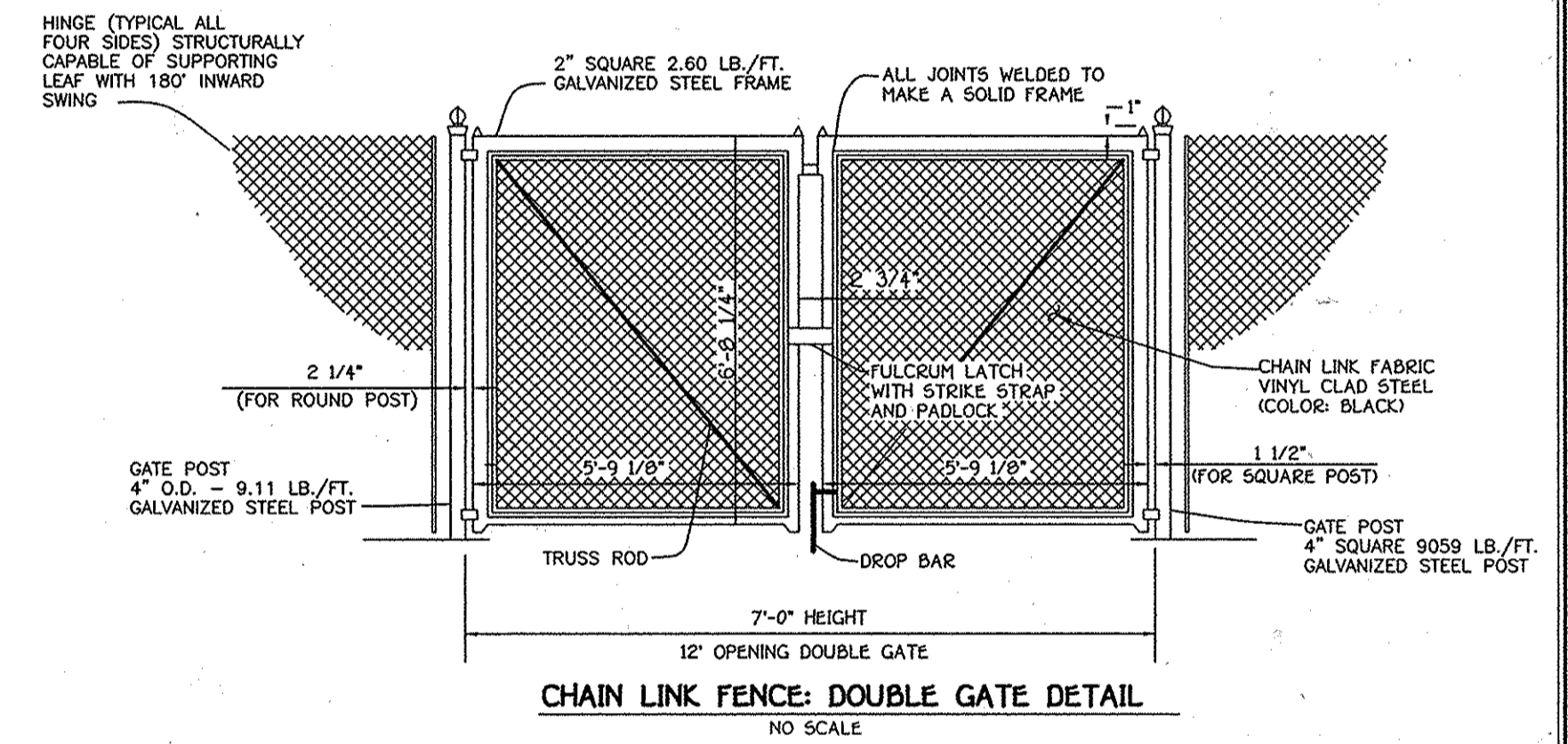
Positive drainage shall be maintained in planting beds 2 percent slope.

Planting mix shall be as follows: Deciduous Plants - two parts topsoil, one part well-rotted cow or horse manure. Add 3 lbs. of standard fertilizer per cubic yard of planting mix. Evergreen Plants - two parts topsoil, one part humus or other approved organic material. Add 3 lbs. of evergreen (acidic) fertilizer per cubic yard of planting mix. Topsoil shall conform to the Landscape Guidelines.

Weed Control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. Caution: Be sure to carefully check the chemical used to assure its adaptability to the specific ground cover to be treated.

All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded and seeded.

This plan is intended for landscape use only. See other plan sheets for more information on grading, sediment control, layout, etc.

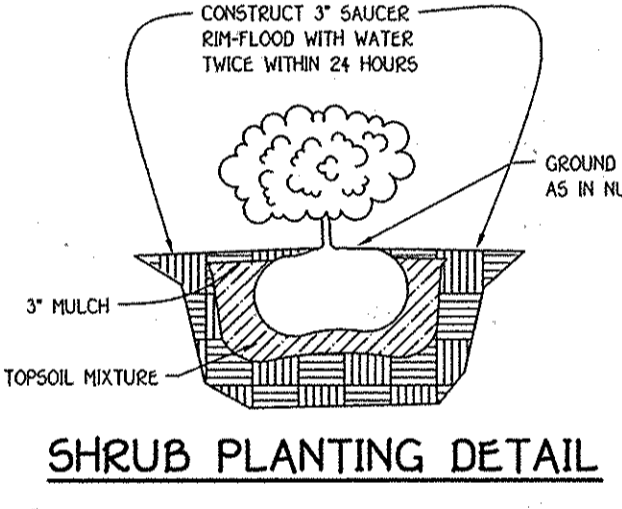


CHAIN LINK FENCE DOUBLE GATE DETAIL
NO SCALE

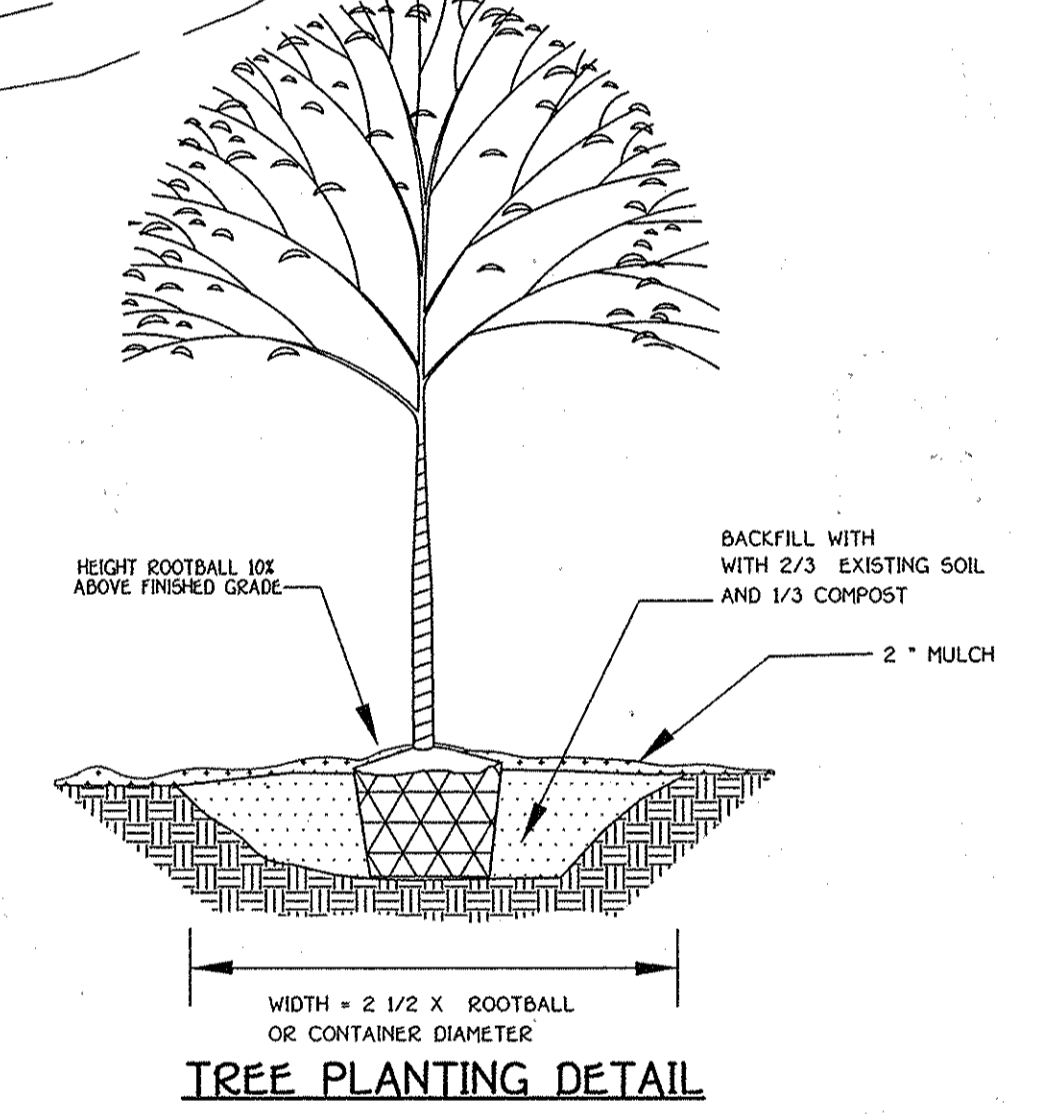
BIORETENTION PLANTING SCHEDULE				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
AC	7	AMELANCHIER CANADENSIS SERVICEBERRY	6" - 8" HEIGHT	7 STEM MAX.
AT	5	ASHNIA TRILOBA PAW PAW	6" - 8" HEIGHT	
CC	6	CARPINUS CAROLINIANA IRONWOOD	6" - 8" HEIGHT	
AA	15	ARONIA ARBUTIFOLIA RED CHOKEBERRY	36" - 42" HEIGHT	
AN	60	ASTER NOVAE-ANGLIAE NEW YORK ASTER	DEEP PLUG	
BA	39	BAPTISIA AUSTRALIS BLUE WILD INDIGO	DEEP PLUG	
EF	21	EUPATORIUM FISTULOSUM JOE-PYE WEED	30" - 36" HEIGHT	
PV	31	PANICUM VIRGATUM SWITCHGRASS	30" - 36" HEIGHT	
RH	90	RUDBECKIA HIRTA BLACK-EYED SUSAN	DEEP PLUG	
SR	43	SOLIDAGO RUGOSA ROUGH-STEMMED GOLDENROD	DEEP PLUG	
SS	63	SCHIZACHYRIUM SCOPARIUM LITTLE BLUESTEM	DEEP PLUG	
VC	33	VACCINIUM CORYMBOSUM Highbush Blueberry	5 GAL.	
VD	22	VIBURNUM DENTATUM SOUTHERN ARROWWOOD	36" - 42" HEIGHT	

LANDSCAPE LEGEND				
SYMBOL	QTY.	BOTANICAL AND COMMON NAME	SIZE	COMMENTS
AS	11	ACER SACCHARUM 'GREEN MOUNTAIN' MOUNTAIN SUGAR MAPLE	2" - 2 1/2" CAL.	
AR	9	ACER RUBRUM 'OCTOBER GLORY' RED MAPLE	2" - 2 1/2" CAL.	
QP	2	QUERCUS PHELLOS WILLOW OAK	2 1/2" - 3" CAL.	
QA	2	QUERCUS ACUTISSIMA SAWTOOTH OAK	2 1/2" - 3" CAL.	
PS	3	PINUS STROBUS EASTERN WHITE PINE	6" - 8" HEIGHT	
IO	5	ILEX OPACA AMERICAN HOLLY	6" - 8" HEIGHT	
PA	2	PICEA ABIES NORWAY SPRUCE	6" - 8" HEIGHT	
	35	PLATANUS X ACERIFOLIA 'BLOODGOOD' BLOODGOOD LONDON PLANE	2 1/2" - 3" CAL.	
	153	AZALEA 'GUMPO PINK' GUMPO PINK AZALEA AZALEA 'GUMPO WHITE' GUMPO WHITE AZALEA	18" - 24" SP.	

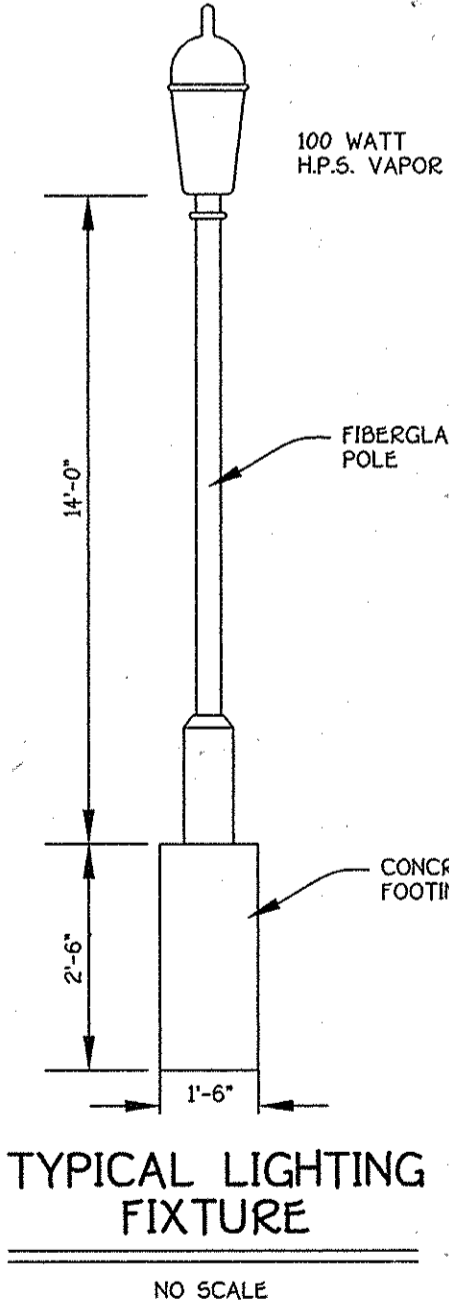
NOTE: TREE AND SHRUB TYPES ARE ONLY A RECOMMENDATION. THESE MAY BE REVISED TO A COUNTY APPROVED EQUIVALENT FROM THE HOWARD COUNTY LANDSCAPE MANUAL. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE 99 SHADE TREES, 10 EVERGREEN TREES & 153 SHRUBS HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$23,790.00.



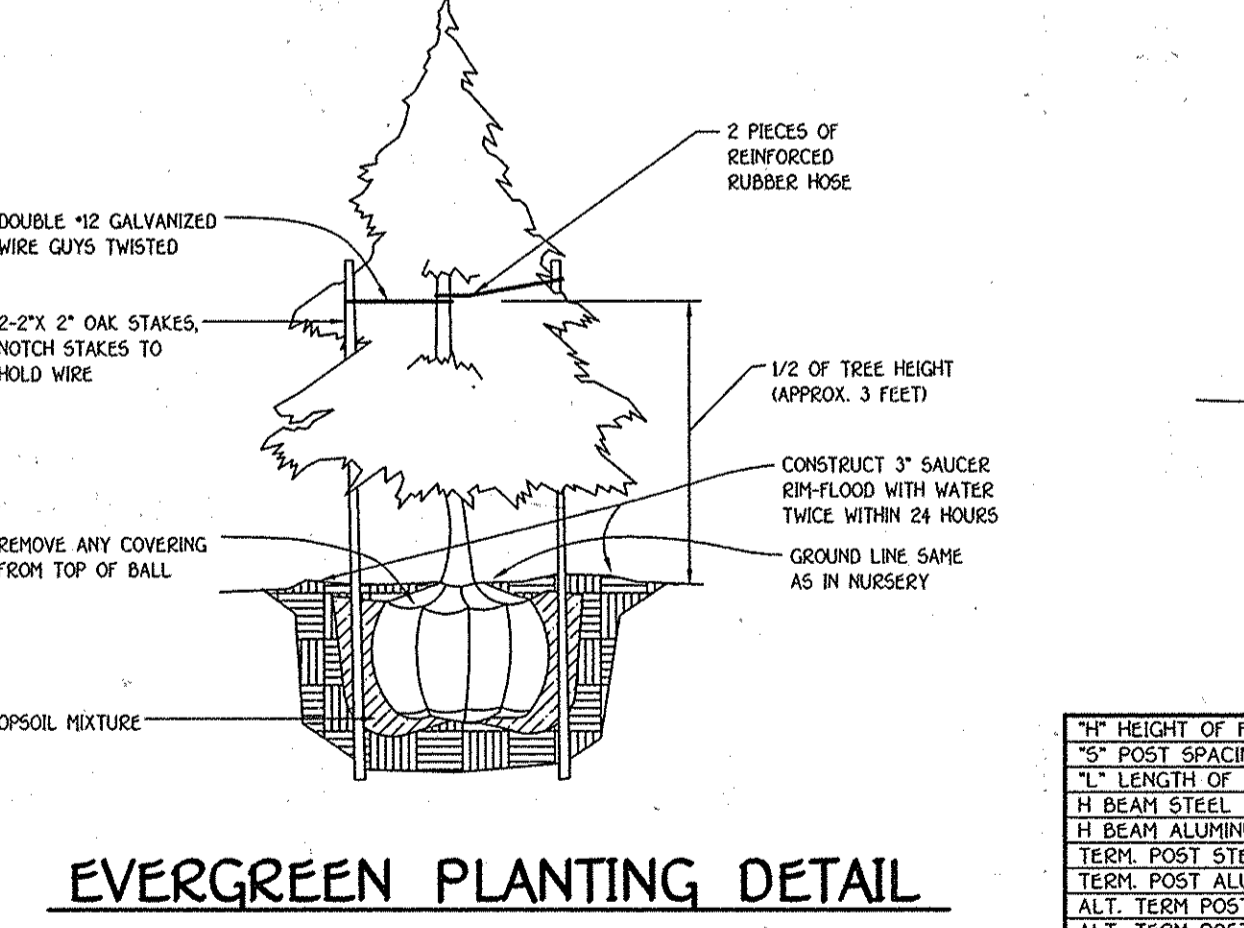
SHRUB PLANTING DETAIL



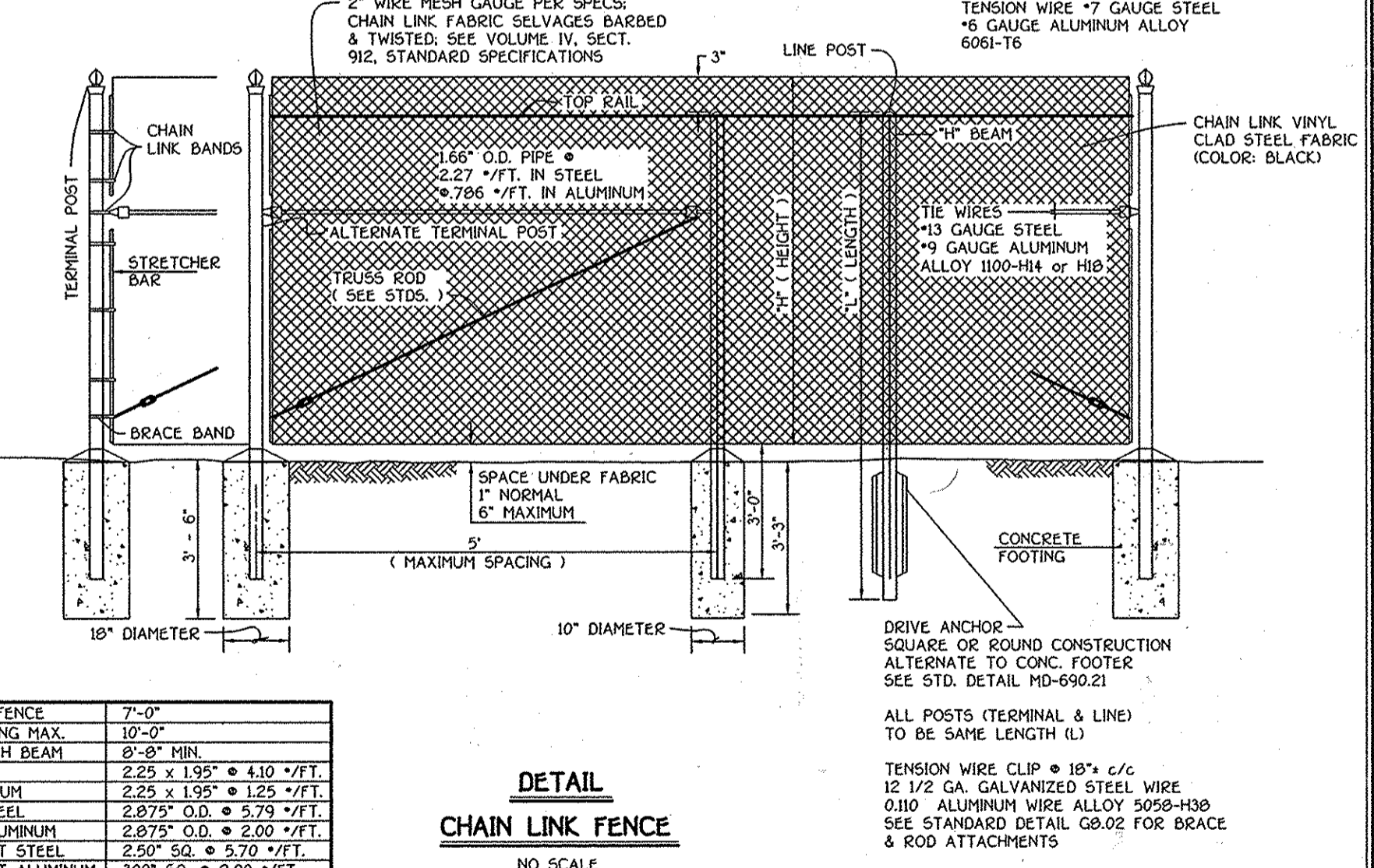
TREE PLANTING DETAIL



TYPICAL LIGHTING FIXTURE
NO SCALE

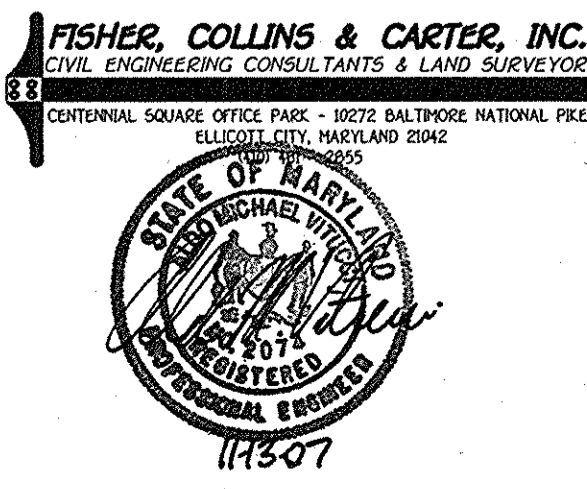


EVERGREEN PLANTING DETAIL



CHAIN LINK FENCE
NO SCALE

"H" HEIGHT OF FENCE	7'-0"
"S" POST SPACING MAX.	10'-0"
"L" LENGTH OF H BEAM	8'-0" MIN.
H BEAM STEEL	2.25 x 1.95 x 4.10 WFT.
H BEAM ALUMINUM	2.25 x 1.95 x 1.25 WFT.
TERM. POST STEEL	2.875" O.D. x 5.79 WFT.
TERM. POST ALUMINUM	2.875" O.D. x 2.00 WFT.
ALT. TERM. POST STEEL	2.50" SQ. x 5.70 WFT.
ALT. TERM. POST ALUMINUM	300" SQ. x 2.00 WFT.



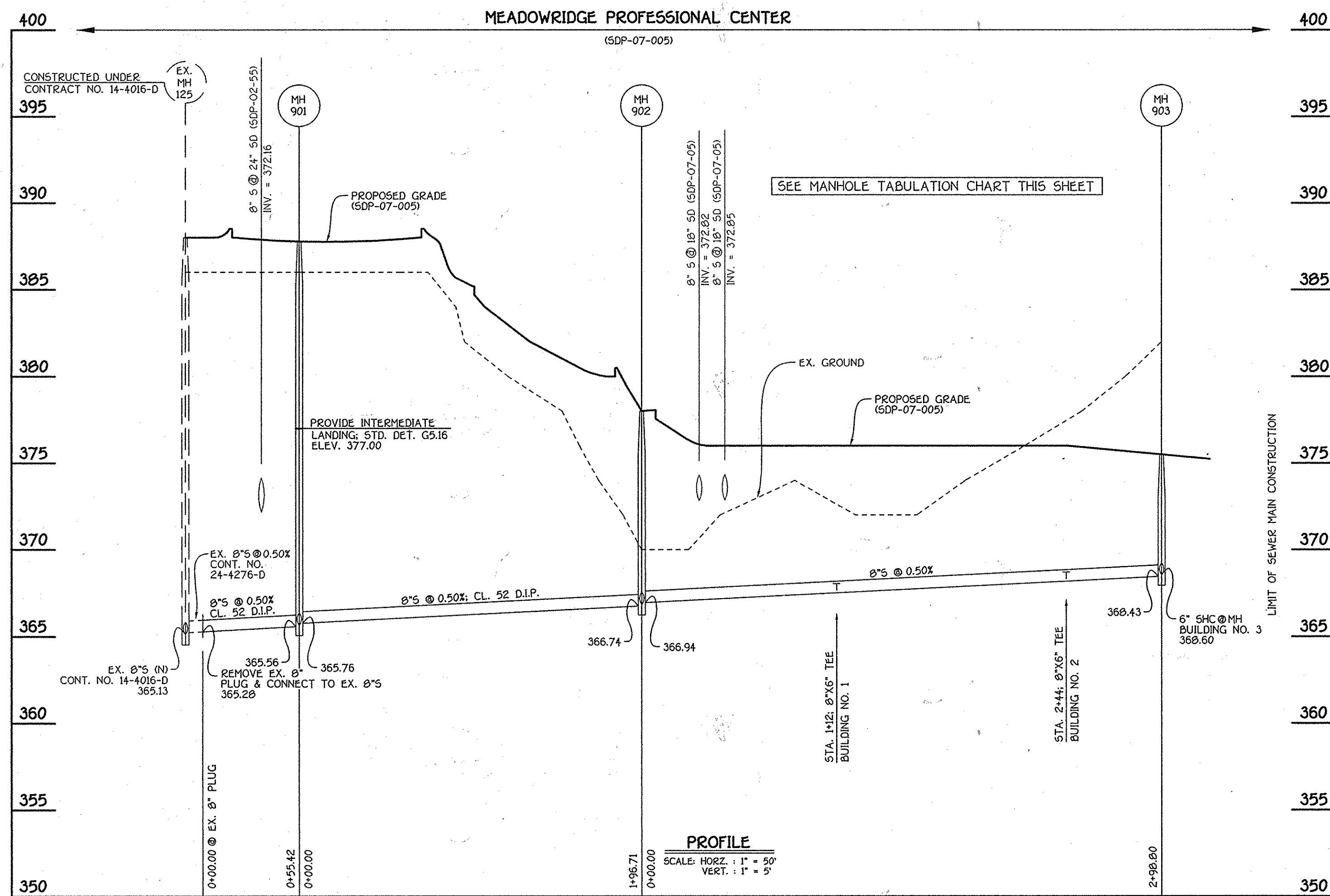
11/11/15	Added Sheet 26
1/1/16	AMEND PLAN TO SHOW REVISED W/POWER MAIN OUTFALL AS-BUILT CONTOURS OF BIO-RETENTION AREA & POWER EXPONENT
9-17-08	Revision to title block subdivision name
DATE	DESCRIPTION
	REVISION BLOCK

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

APPROVED: DEPARTMENT OF PLANNING AND ZONING
Director - Department of Planning and Zoning
Chief, Division of Public Development
Chief, Development Engineering Division

SUBDIVISION	SECTION/AREA	PARCEL NO.
THE COURTYARDS AT THE TIMBERS	N/A	617
DEED REF. 5005 / 611	BLOCK NO. 3	ZONE POR
PLAT NO. 1956-1957	TAX MAP 37	ELEC. DIST. FIRST
WATER CODE D 04	SEWER CODE	2610000
		CENSUS TR. 6030

LANDSCAPE SCHEDULES, DETAILS & NOTES
THE COURTYARDS AT THE TIMBERS PARCEL B
MEADOWRIDGE CENTER
ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 30'
DATE: NOVEMBER 13, 2007
SHEET 21 OF 26



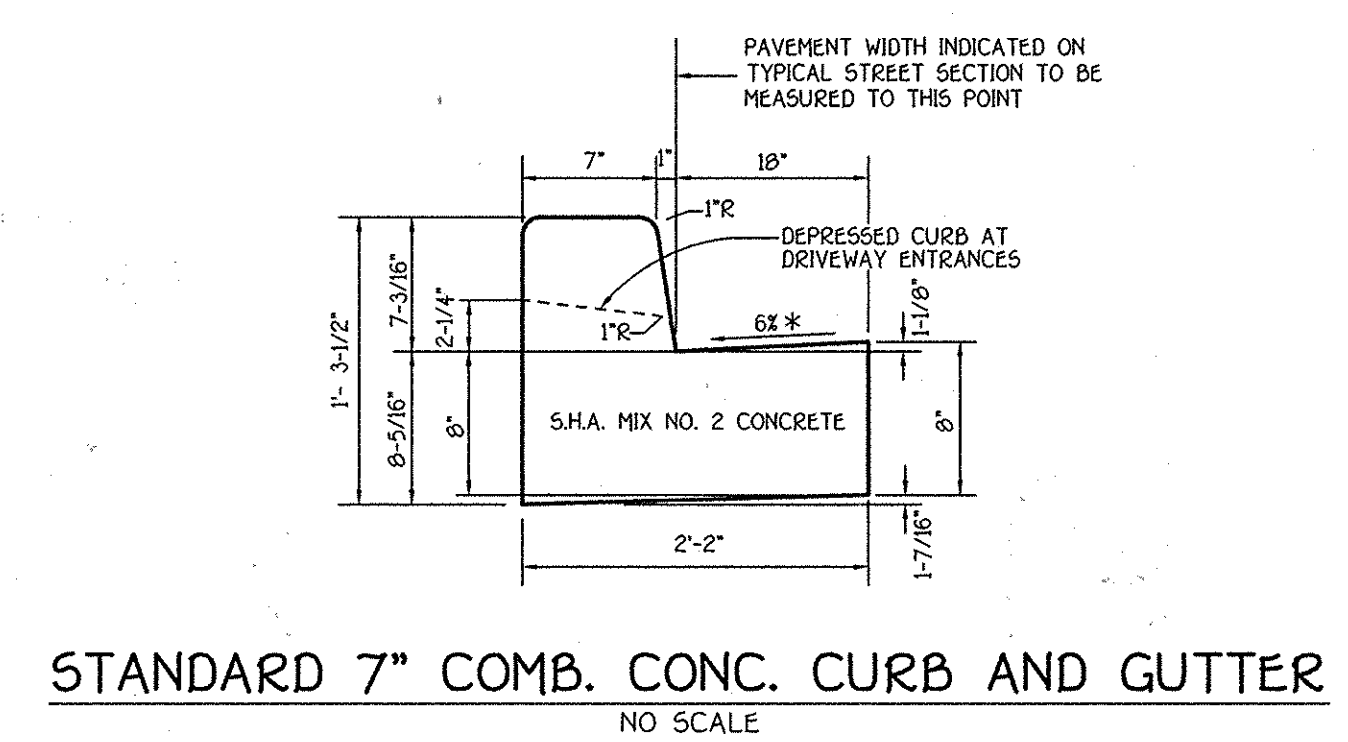
8" SEWER MAIN: BUILDINGS 1 THRU 3

SHC INVERT @ 5' FROM BUILDING		
STATION	BUILDING	ELEVATION
MH 902 TO MH 903		
1+12 RT.	1	368.06
2+44 RT.	2	368.84
3+03 RT.	3	369.22

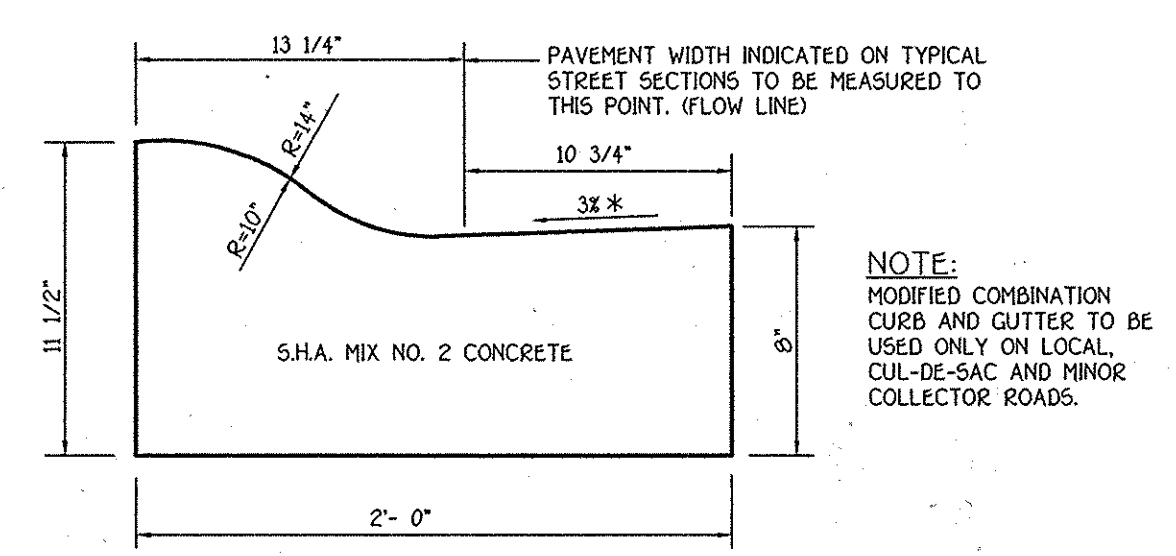
M.C.E. CHART	
BUILDING	M.C.E.
1	373.26
2	374.04
3	375.48

MANHOLE TABULATION CHART			
NO.	NORTHING	EASTING	RIM ELEVATION
901	562228.39	1373725.95	387.45
902	562167.38	1373912.96	378.50
903	561898.09	1374042.86	374.70

NOTE: SET ALL MH RIMS FLUSH W/ PROPOSED FINISHED GRADE.

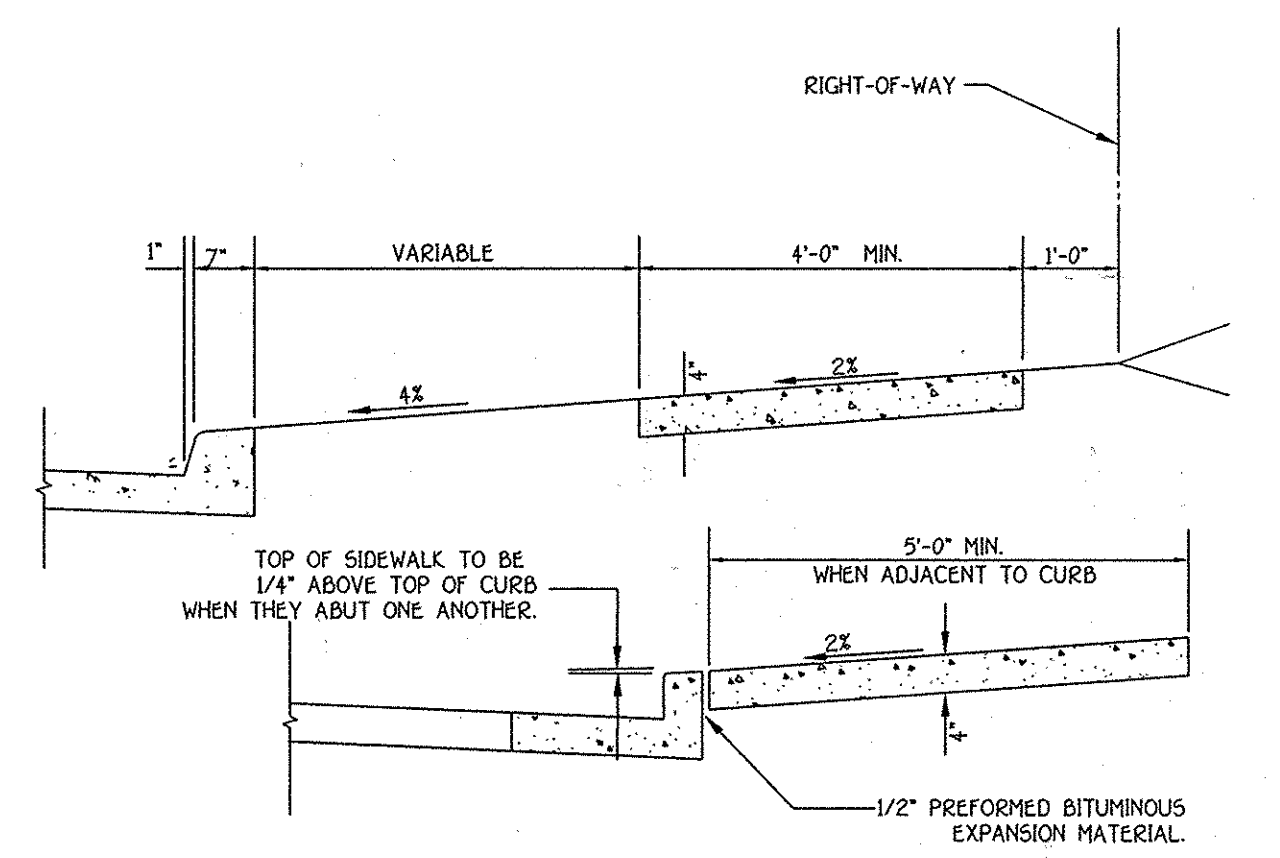


STANDARD 7" COMB. CONC. CURB AND GUTTER
NO SCALE



MODIFIED COMBINATION CURB AND GUTTER
NO SCALE

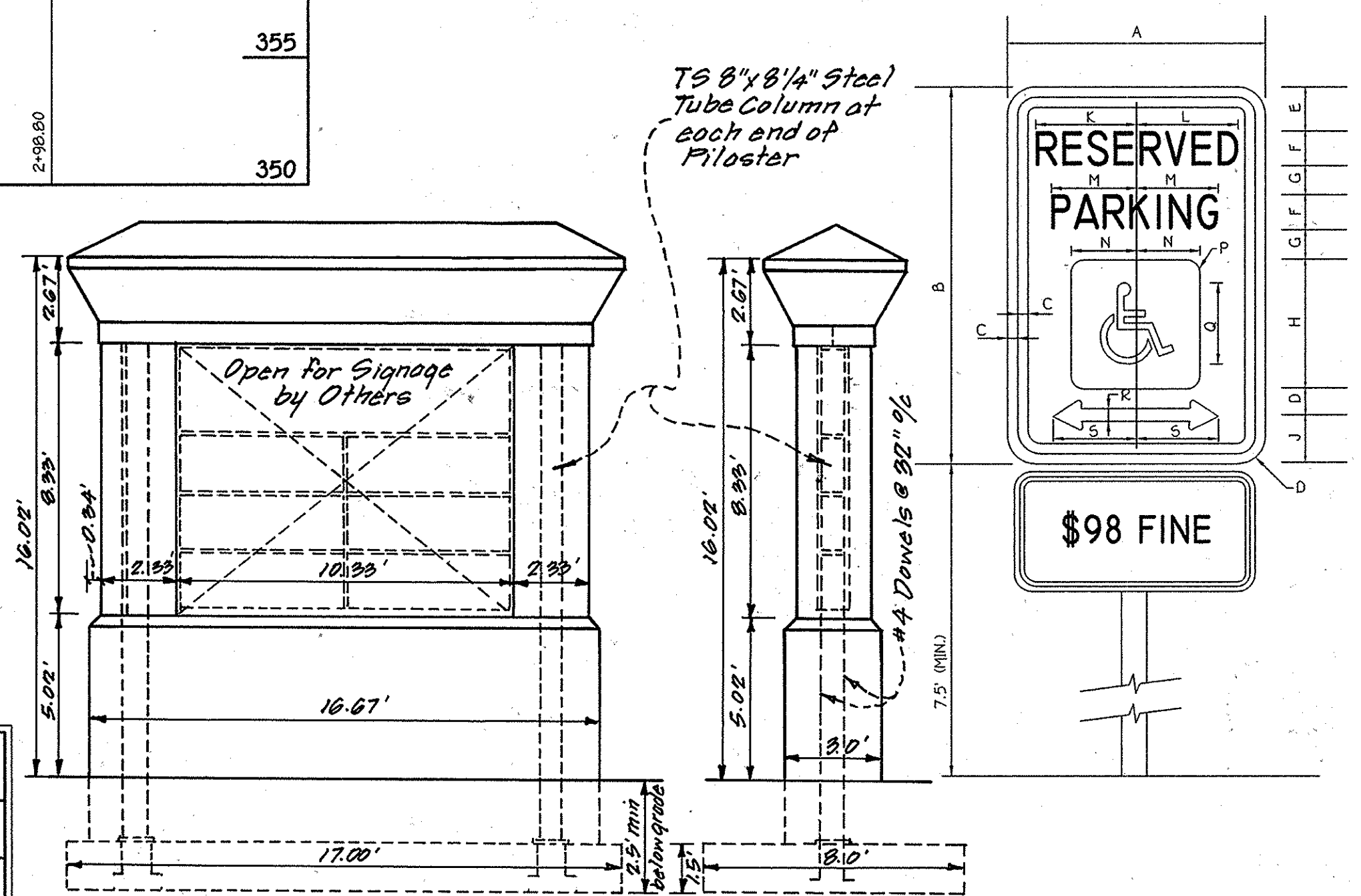
*GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIALS OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT. MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.



DETAIL 'A'

- NOTES:
- SIDEWALK TO BE SCRIBED IN 5'-0" MAXIMUM SQUARES.
 - EXPANSION JOINTS ACROSS THE SIDEWALK NOT TO MORE THAN 15' APART.
 - 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL IN EXPANSION JOINTS TO BE KEPT 1/4" BELOW SURFACE OF SIDEWALK.
 - CONCRETE TO BE MIX NO. 2.
 - WHEN SIDEWALK ABUTS CURB, WALK SHALL BE 1/4" ABOVE CURB WITH 1/2" PREFORMED BITUMINOUS EXPANSION MATERIAL BETWEEN SIDEWALK AND CURB AND RESTING ON A COMPACTED CRUSHED STONE BASE. SEE DETAIL A.
 - ON LONGITUDINAL SIDEWALK GRADES OF 5% OR GREATER, A CONCRETE HEADER, 6" THICK AND 6" DEEP BELOW THE NORMAL 4" SIDEWALK THICKNESS SHALL BE CONSTRUCTED FOR THE FULL WIDTH OF THE SIDEWALK AT INTERVALS OF 48 FEET. THE HEADERS SHALL BE PLACED AT EXPANSION JOINT LOCATIONS AND SHALL BE MONOLITHIC WITH THE SIDEWALK.

CONCRETE SIDEWALK DETAIL
NOT TO SCALE

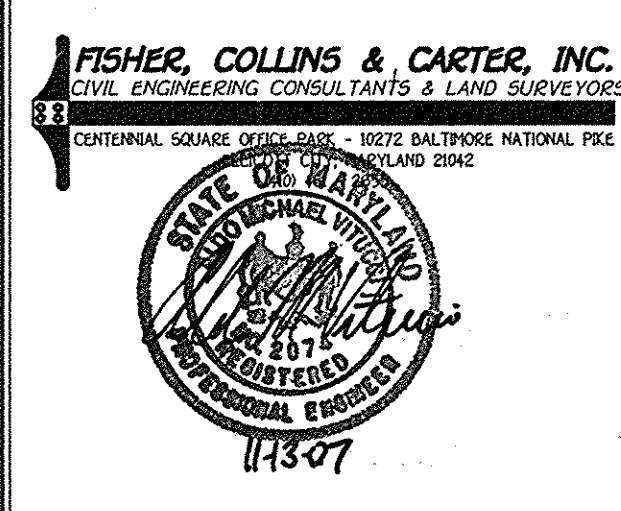


PYLON SIGN DETAIL
Not to Scale

SIGN SIZE	DIMENSIONS (INCHES)																	
	A	B	C	D	E	F	G	H	J	K	L	M	N	P	Q	R	S	
STD.	12	18	1/2	1-1/2	2	2	C	1	6	2-1/2	4-7/8	5	4-1/4	3	1/2	4	3/4	3-7/8

SIGN SIZE	DIMENSIONS (INCHES)									
	A	B	C	D	E	F	G	H	J	K
MIN.	6	12	3/8	3/8	1-1/2	1-1/2	1D	1/2	1-1/2D	
STD.	9	18	3/8	3/8	1-1/2	2-1/4	1-1/2D	1	2D	

COLORS
DIRECTIONAL
LEGEND - WHITE
BACKGROUND - BLUE
REGULATORY
LEGEND - GREEN OR BLACK
BACKGROUND - WHITE



DATE	DESCRIPTION
11-11-15	Added Sheet 26
8-18-09	Add Pylon Sign Detail.
9-17-08	Revision to title block subdivision name

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Joseph M. ... Director - Department of Planning and Zoning
Date: 12/14/07

Chris ... Chief, Division of Land Development
Date: 12/14/07

... Chief, Development Engineering Division
Date: 1/26/07

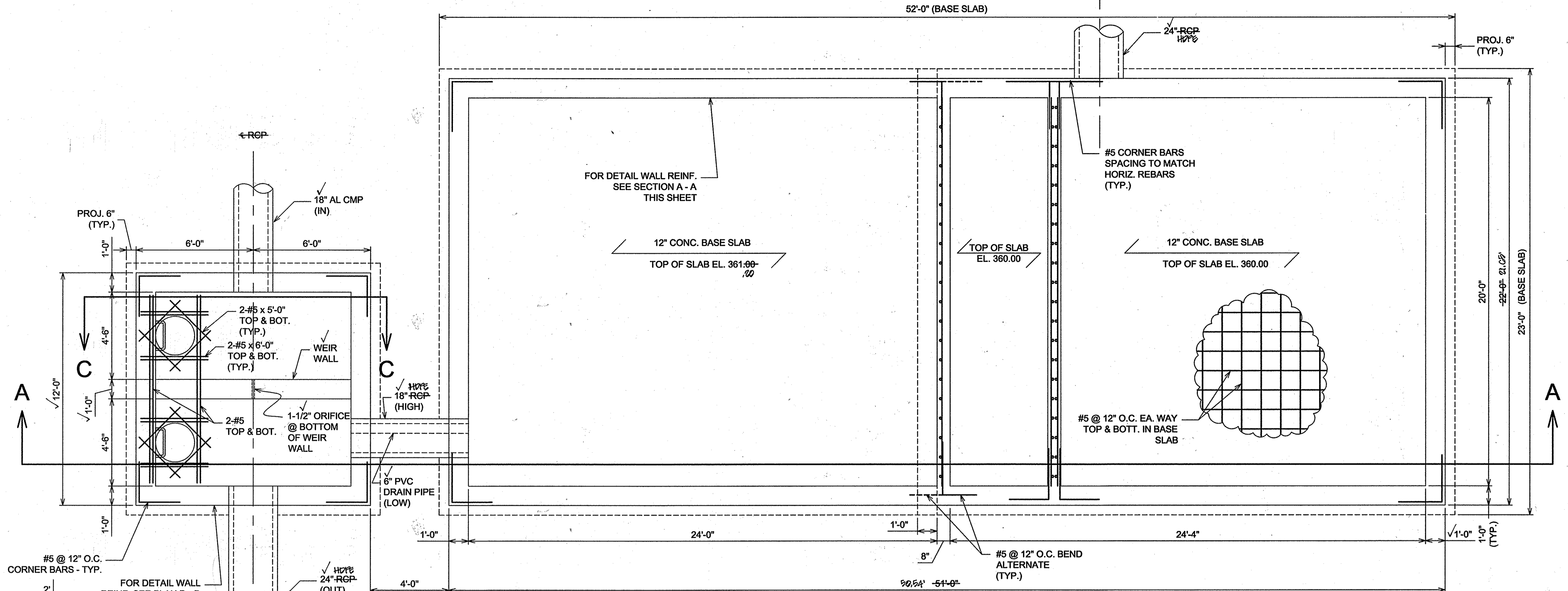
DEVELOPER/OWNER
100-103 CENTER, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELLCOTT CITY, MARYLAND 21043
443-367-0422

SUBDIVISION	SECTION/AREA	PARCEL NO.
THE COURTYARDS AT THE TIMBERS	N/A	617
DEED REF. 5809 / 511 PLAT NO. 1956-19517	BLOCK NO. 3 ZONE POR	TAX MAP 37 ELEC. DIST. FIRST CENSUS TR. 6030
WATER CODE D 04	SEWER CODE 2610000	

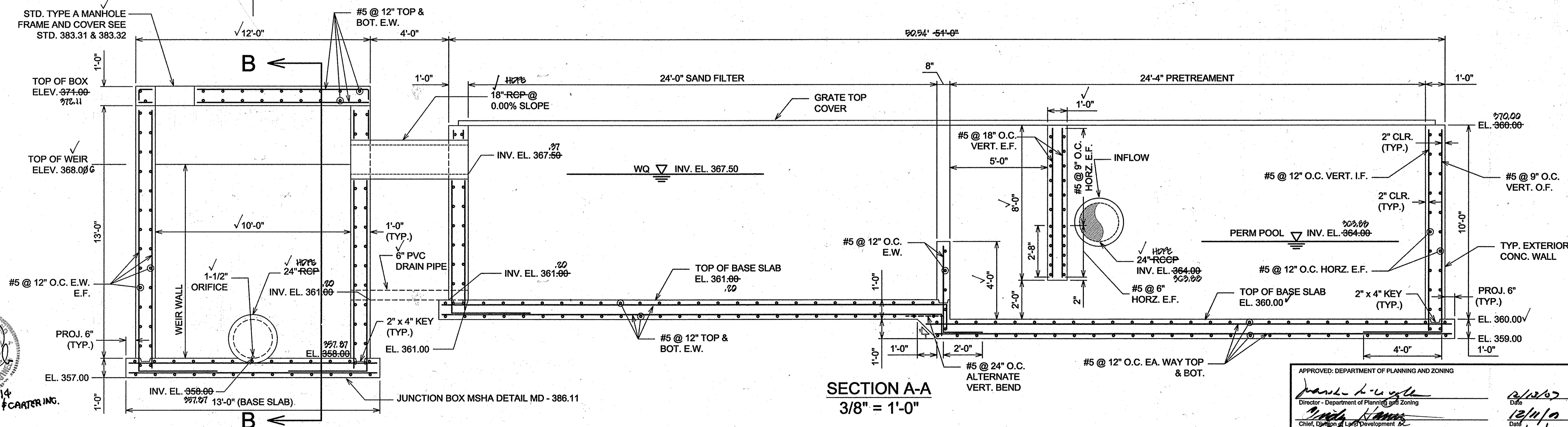
SEWER MAIN PROFILES AND SITE DETAILS

THE COURTYARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER

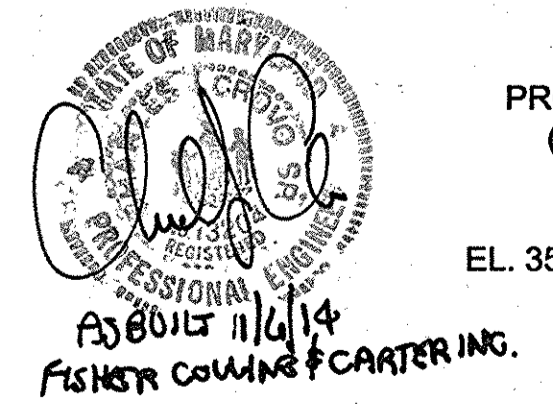
ZONED: POR
TAX MAP No. 37 PARCEL No. 617 GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50'
DATE: NOVEMBER 13, 2007
SHEET 22 OF 26



PLAN
3/8" = 1'-0"

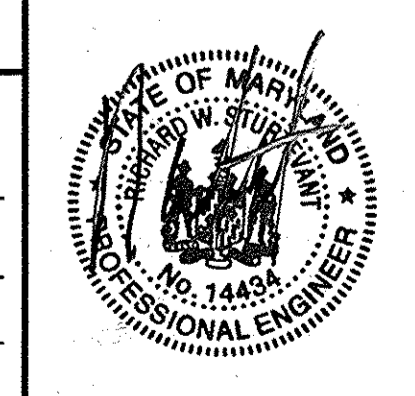


SECTION A-A
3/8" = 1'-0"



APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Director - Department of Planning and Zoning
 Chief, Division of Land Development
 Chief, Development Engineering Division

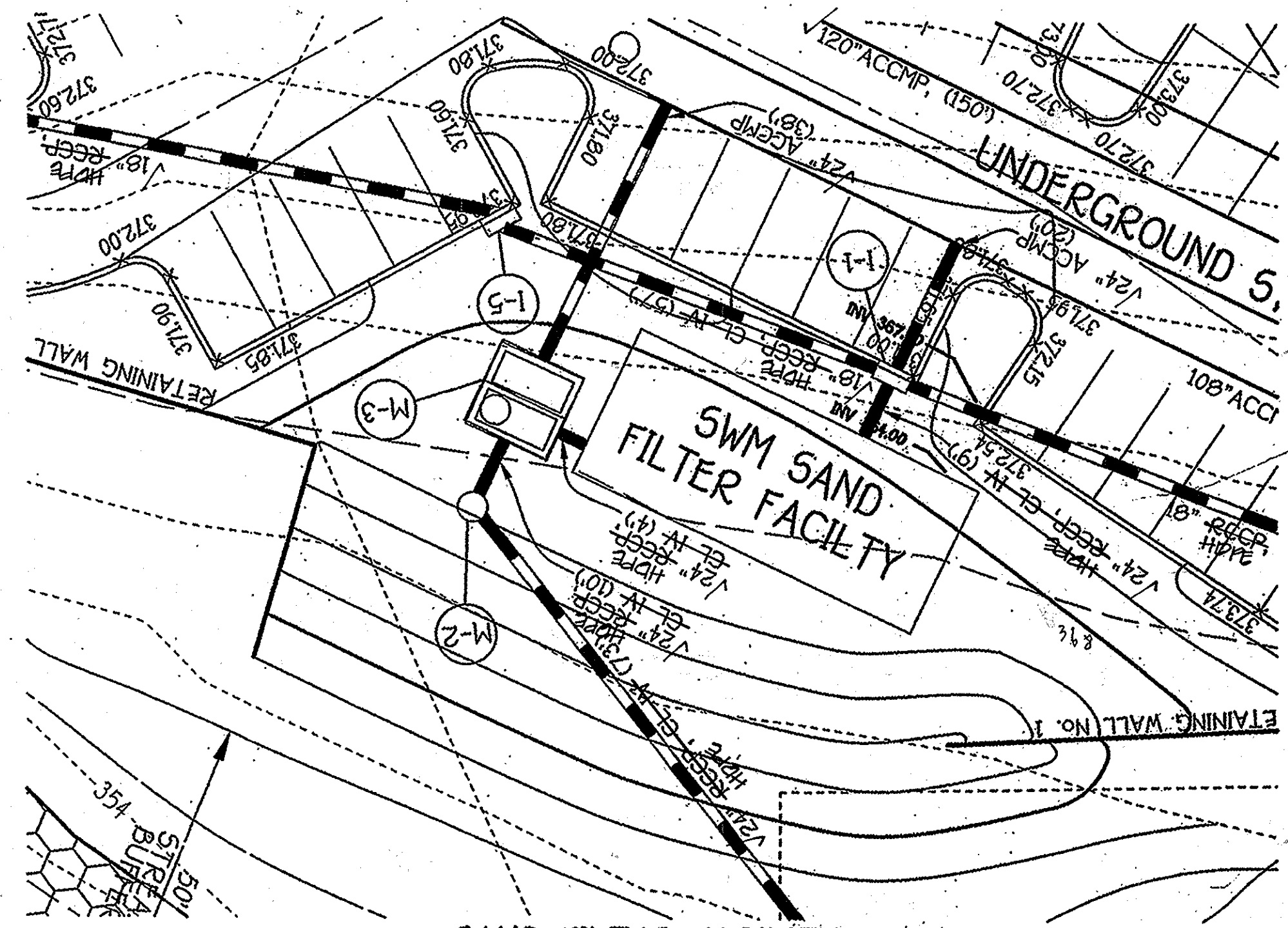
2/15/07
 2/14/07
 11/20/07



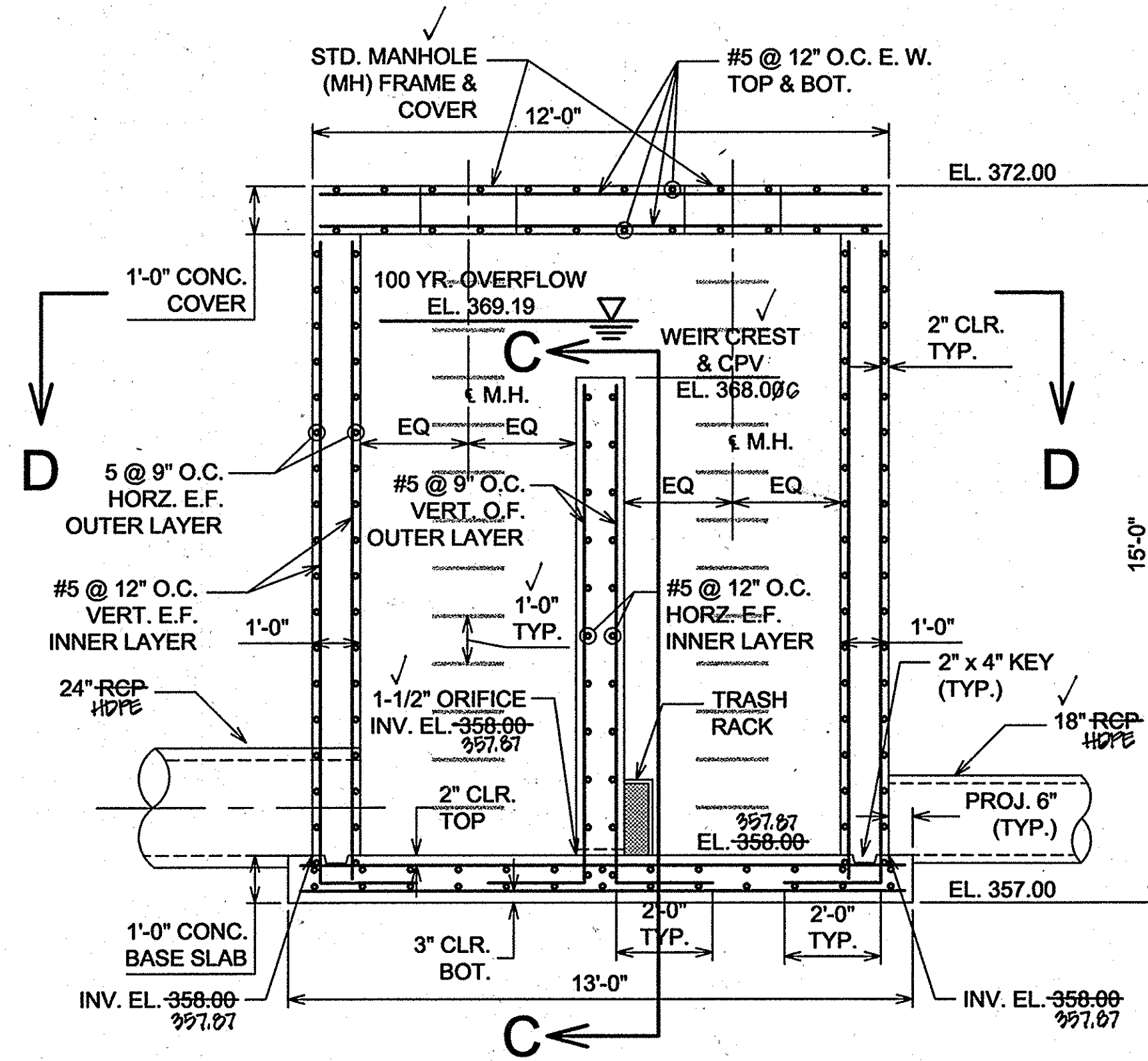
HILLIS-CARNES
 ENGINEERING ASSOCIATES
 -10975 Guilford Road, Suite A Annapolis Junction, MD
 (410) 880-4788 Fax: (410) 880-4098

STORMWATER MANAGEMENT FILTER FACILITY
MEADOWRIDGE SWM FILTER HOWARD COUNTY, MARYLAND

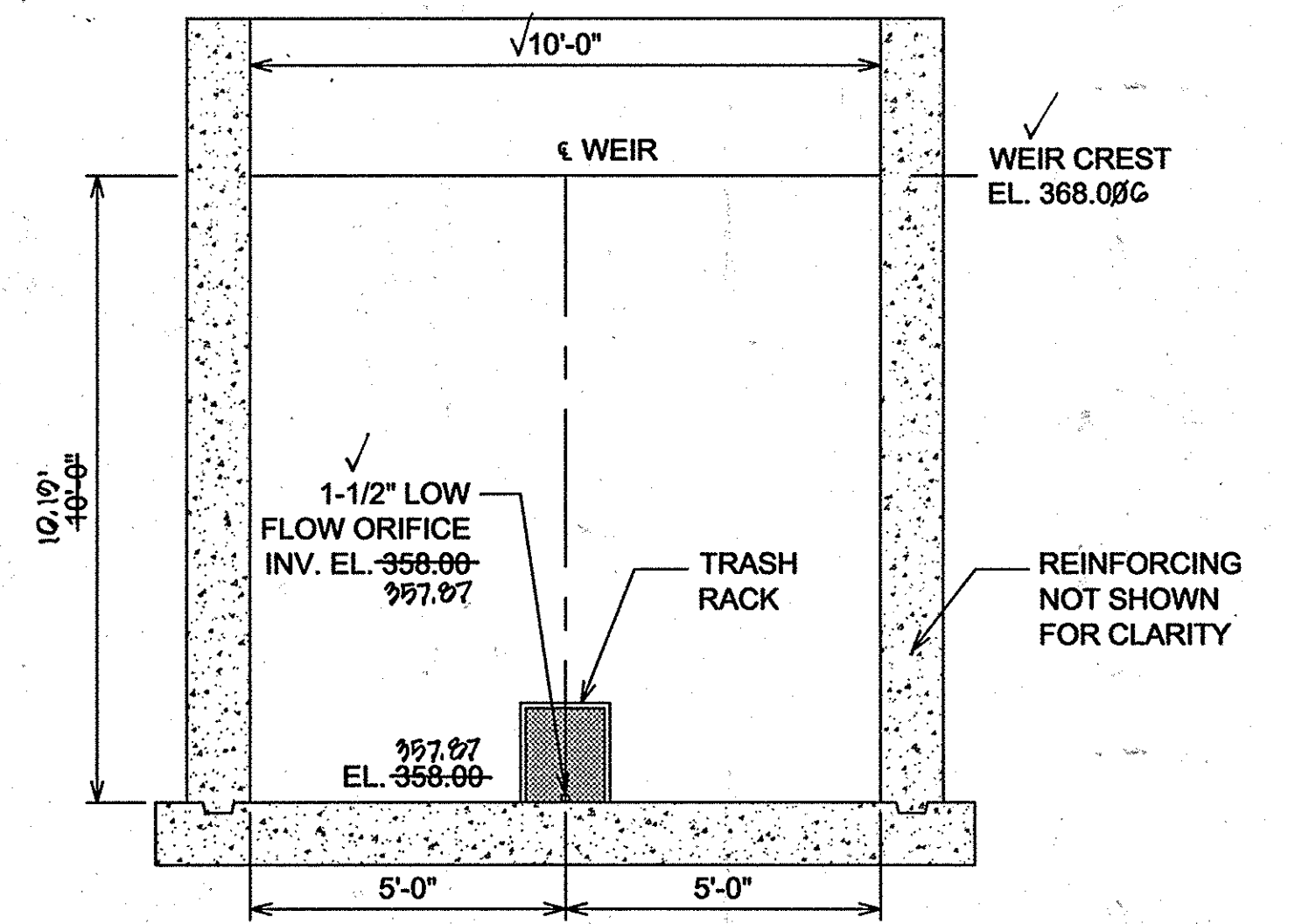
REVISIONS: 0-17-08 Rev #1, Add dumpster pad and elevator with clock tower between Bldg #2 & #3, Changed subdivision name, Add 2 grease traps, rev Arch plans to 2 story, Address county comments dated 6/30/08, remove roof drains from sides of buildings	JOB NUMBER: 07094-A	DESIGNED BY: JJC
	SCALE: AS NOTED	DRAWN BY: AM
	DATE: 03/19/07	APPROVED BY: JJC



SAND FILTER FACILITY PLAN
1" = 30'



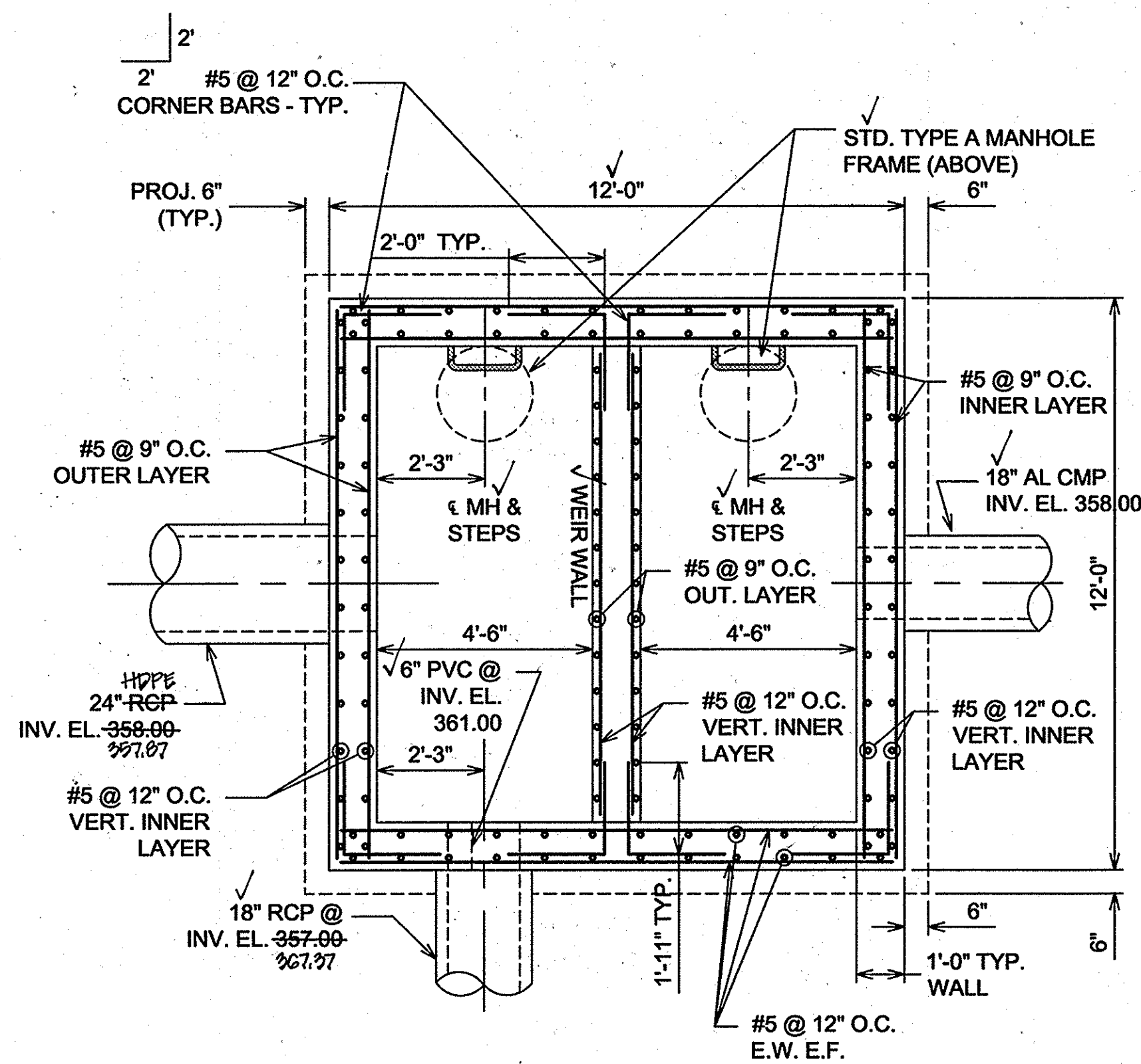
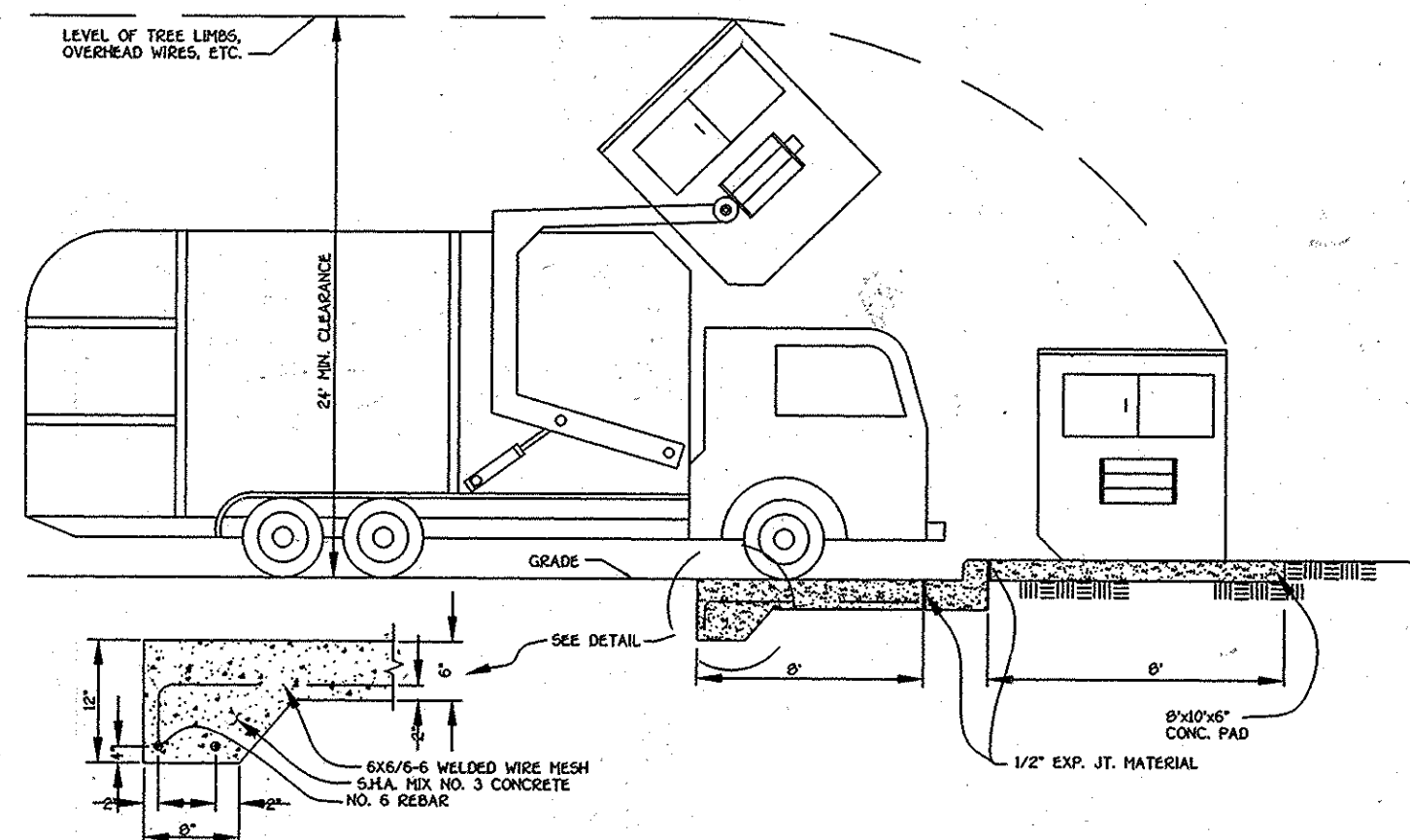
SECTION B-B
3/8" = 1'-0"



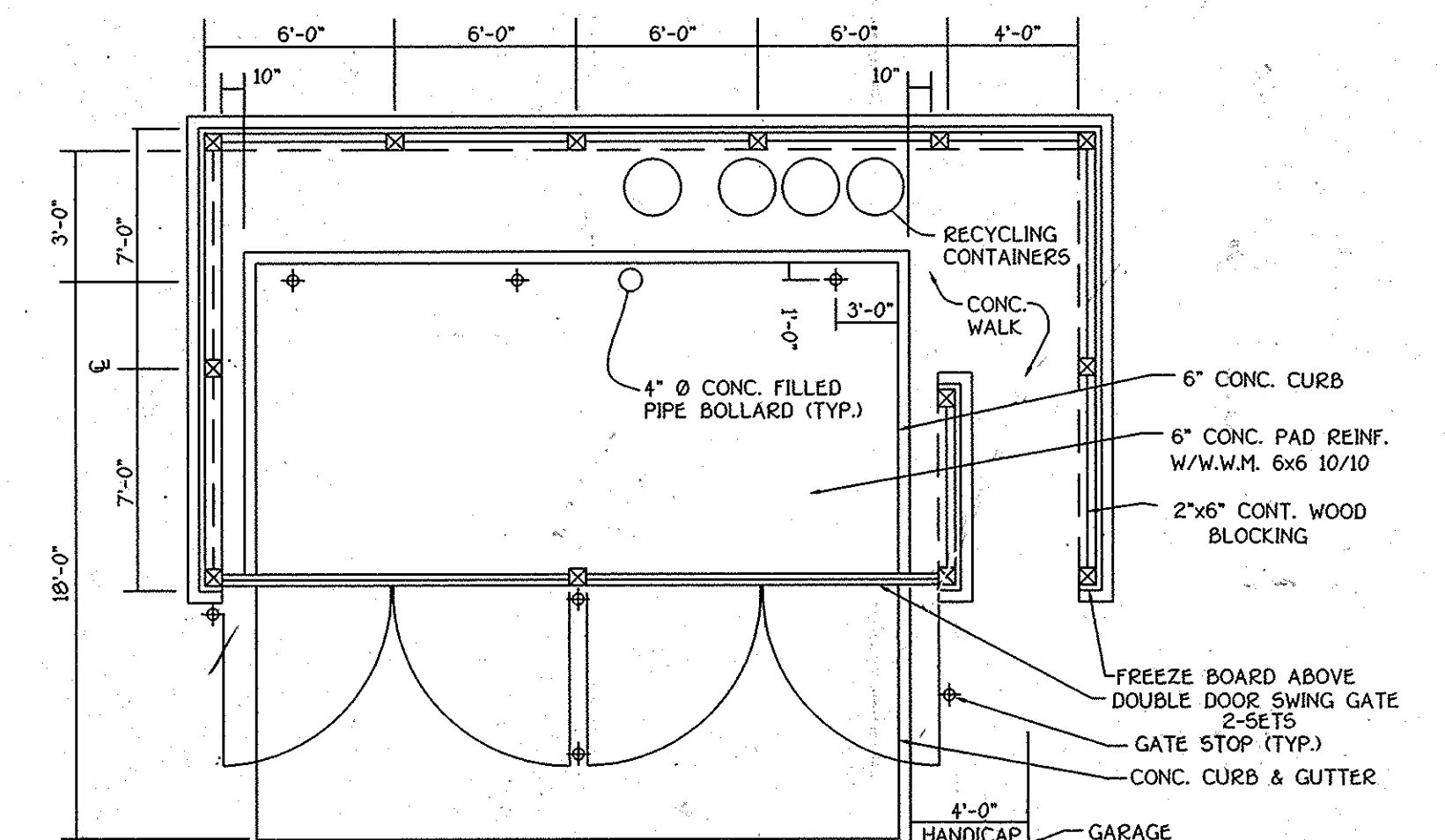
WEIR WALL ELEVATION C - C
3/8" = 1'-0"

NOTES:

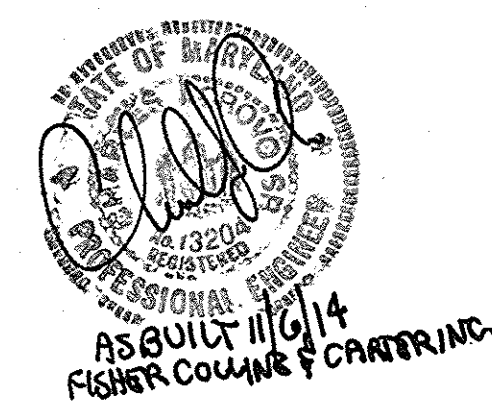
- 1) ALL CONCRETE SHALL BE 4000 PSI WITH AIR ENTRAINMENT
- 2) REINFORCING STEEL SHALL CONFORM TO ASTM A-615 GRADE 60.
- 3) BACKFILL SHALL BE COMPACTED TO 95% OF T-99.
- 4) CONCRETE WORK SHALL COMPLY WITH THE LATEST ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
- 5) ALL REBAR SPLICES NOT SHOWN SHALL BE A MINIMUM 40 BAR DIAM.
- 6) SEE PROJECT SWM SAND FILTER / CPV FACILITY DRAWINGS FOR SPECIFIC SAND FILTER DETAILS



JUNCTION BOX PLAN D - D
3/8" = 1'-0"

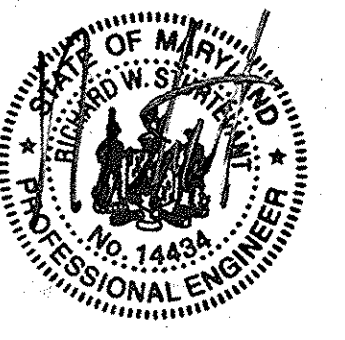


DOUBLE DUMPSTER ENCLOSURE
NO SCALE



APPROVED: DEPARTMENT OF PLANNING AND ZONING

Richard L. ...
Director - Department of Planning and Zoning
Date: 12/11/07
...
Chief, Development Engineering Division
Date: 12/11/07



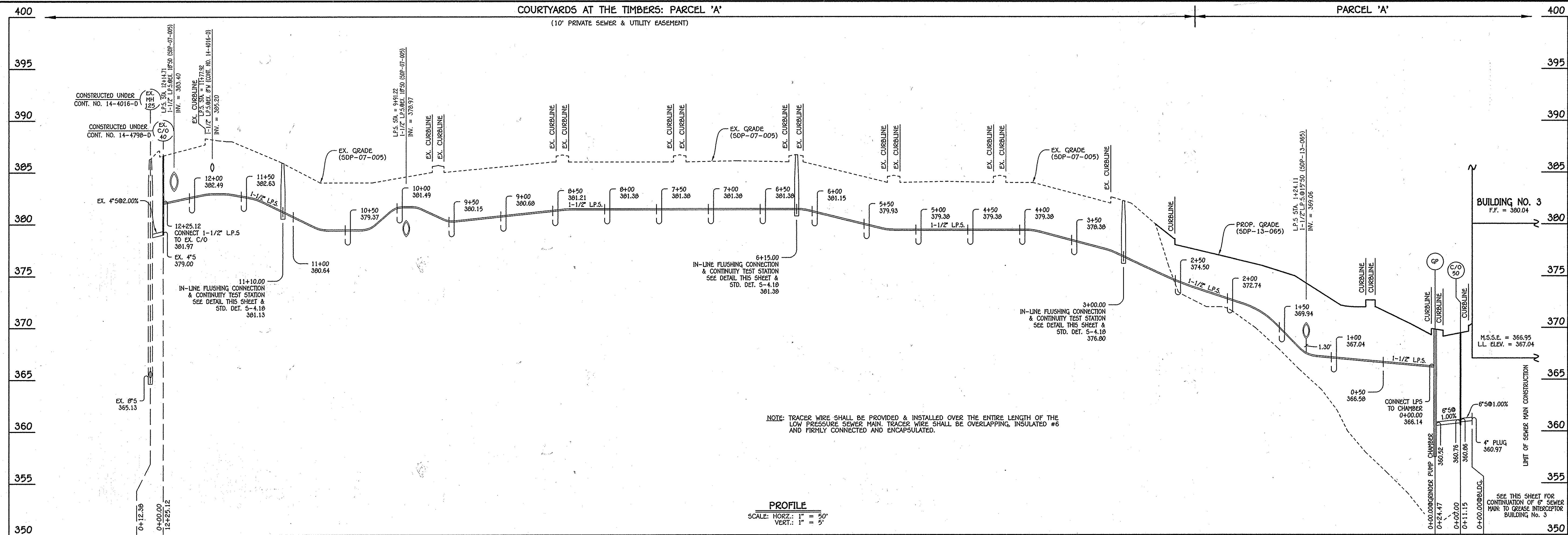
HILLIS-CARNES
ENGINEERING ASSOCIATES
10975 Guilford Road, Suite A Annapolis Junction, MD
(410) 880-4788 Fax: (410)880-4098

STORMWATER MANAGEMENT FILTER FACILITY
MEADOWRIDGE SWM FILTER HOWARD COUNTY, MARYLAND

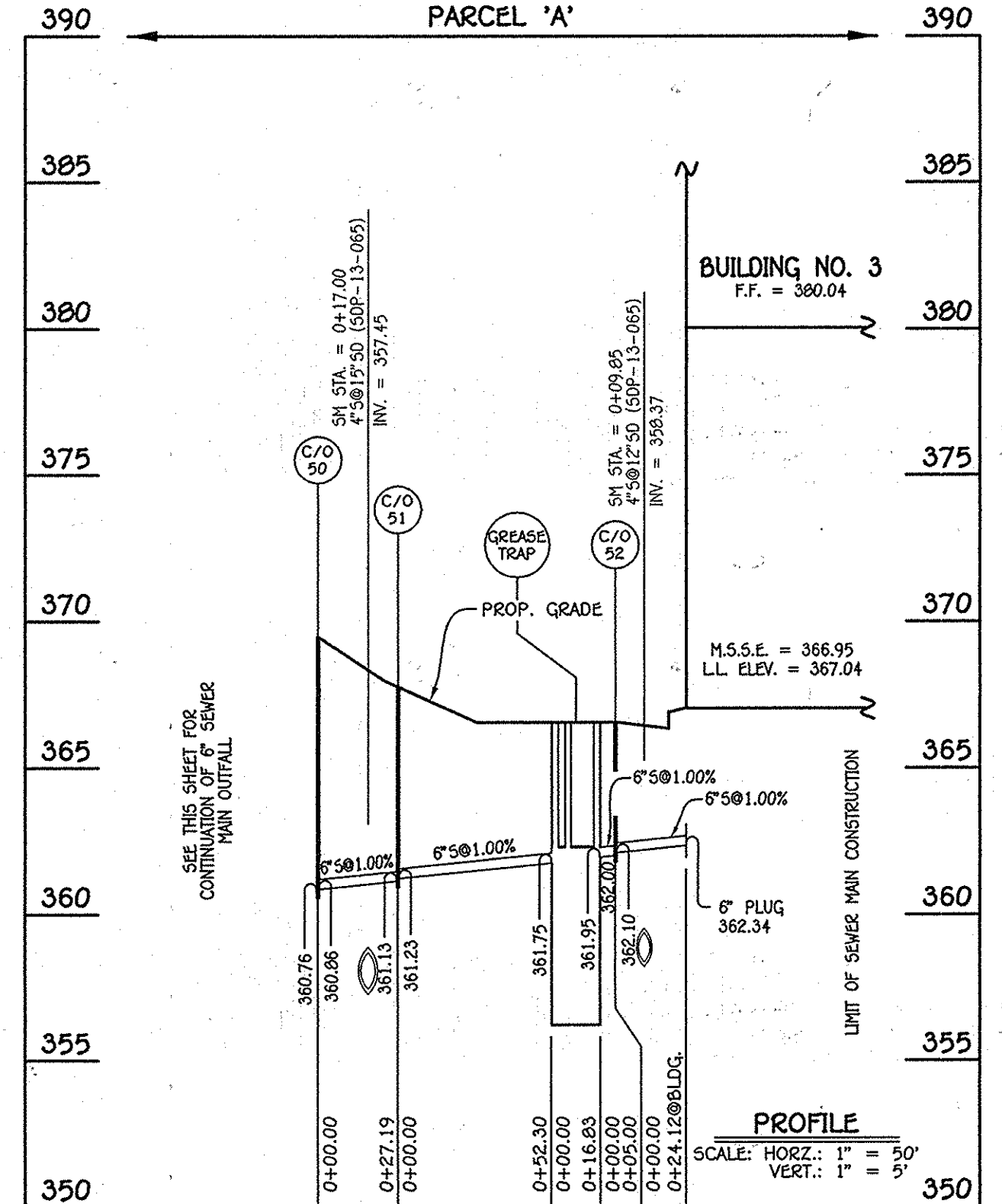
REVISIONS: 11-11-15 Added Sheet 26
0-18-08 Add dumpster pad and elevator with clock tower between Bldg 243, changed subdivision name to Meadowridge Center, add 2 grease traps, revise arch. plans to 2 story bldgs., Address Ho.Co comments of 6/30/08 submiss, remove roof drains from sides of buildings

JOB NUMBER: 07094-A DESIGNED BY: JJC
SCALE: AS NOTED DRAWN BY: AM
DATE: 03/19/07 APPROVED BY: JJC

25 OF 26 SHEET



PROFILE
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'



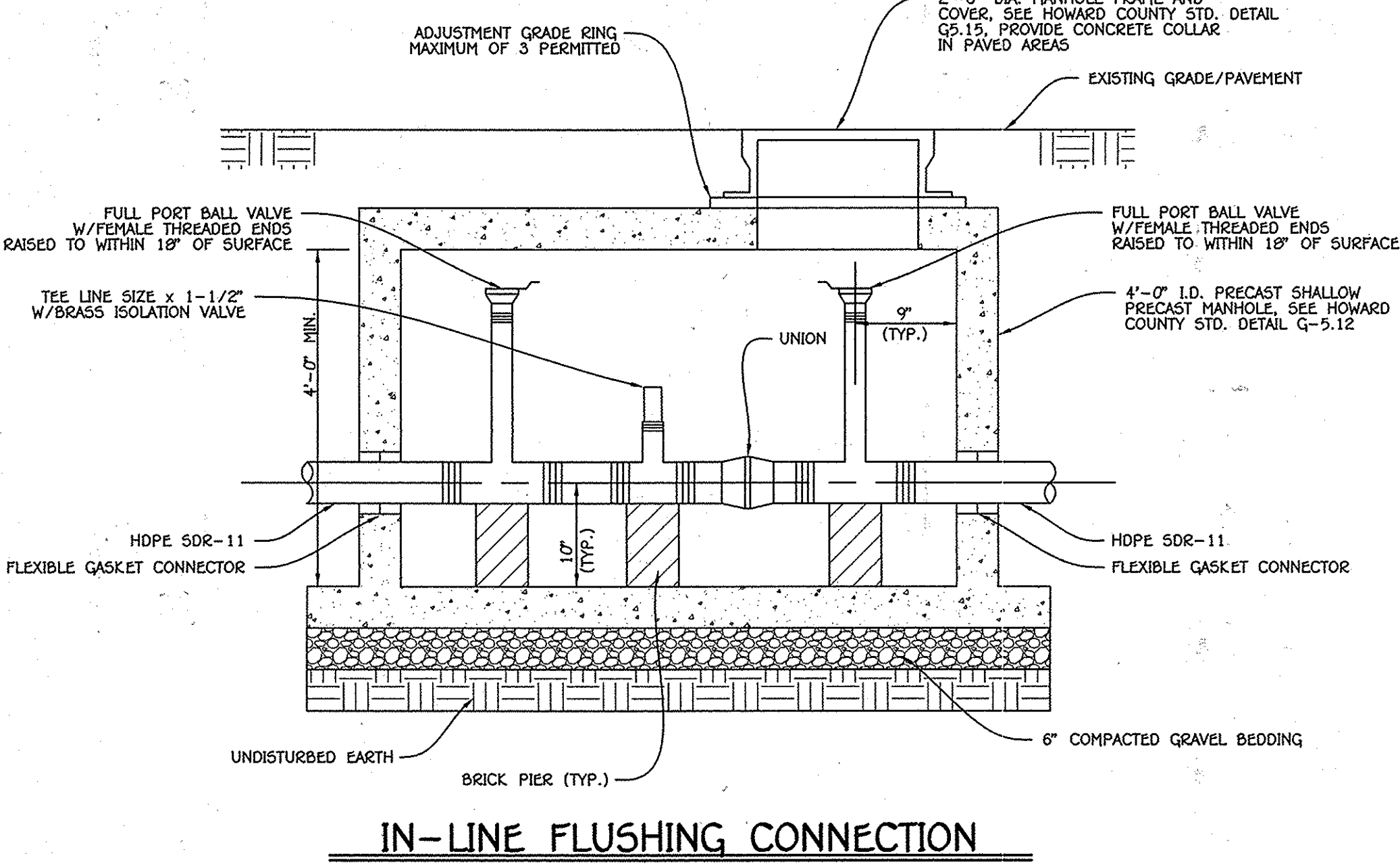
6" SEWER MAIN: TO BUILDING No. 3
SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

1-1/2" L.P.S. & 6" SEWER MAIN: BUILDING No. 3

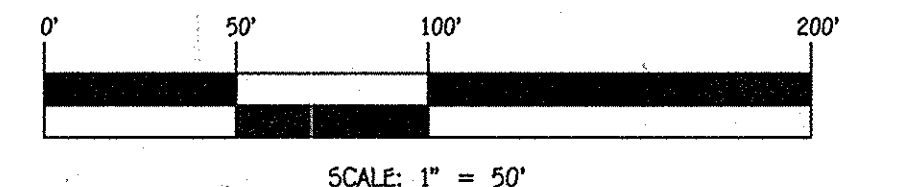
L.P.S. STA.	APPURTENANCE	NORTHING	EASTING	RIM ELEVATION
1-1/2" L.P.S. & 6" SEWER MAIN: BUILDING NO. 3				
0+00.00	6" PLUG @ BLDG.	561673.56	1374457.76	
0+11.15 = 0+00.00	C/O 50	561666.70	1374466.55	369.47
0+24.47 = 0+00.00	GRINDER PUMP UNIT	561653.82	1374487.35	369.82
0+78.14	PC CRIMP RADIUS 15'	561589.53	1374442.93	
1+02.57	PT CRIMP RADIUS 15'	561586.24	1374421.36	
2+24.77	PC CRIMP RADIUS 100'	561661.44	1374325.03	
2+53.45	PT CRIMP RADIUS 100'	561675.63	1374300.22	
3+00.00	IN-LINE FLUSHING CONNECTION	561692.72	1374256.93	382.20
3+57.23	PC CRIMP RADIUS 100'	561713.74	1374203.70	
3+83.41	PT CRIMP RADIUS 100'	561720.07	1374178.37	
5+88.89	PC CRIMP RADIUS 50'	561743.49	1373974.23	
6+15.00	IN-LINE FLUSHING CONNECTION	561752.95	1373950.21	386.55
6+28.16	PT CRIMP RADIUS 50'	561762.07	1373940.77	
6+44.79	PC CRIMP RADIUS 72.5'	561775.09	1373930.43	
7+94.30	PT CRIMP RADIUS 72.5'	561902.92	1373853.38	
9+82.58	PC CRIMP RADIUS 100'	562078.02	1373784.20	
10+05.84	PT CRIMP RADIUS 100'	562098.47	1373773.23	
10+05.84	PC CRIMP RADIUS 196.4'	562098.47	1373773.23	
11+10.00	IN-LINE FLUSHING CONNECTION	562185.45	1373715.94	385.85
11+47.56	PT CRIMP RADIUS 196.4'	562217.54	1373696.41	
11+47.56	PC CRIMP RADIUS 25'	562217.54	1373696.41	
11+68.13	PT CRIMP RADIUS 25'	562237.37	1373693.91	
12+03.26	PC CRIMP RADIUS 25'	562271.08	1373703.81	
12+21.39	PT CRIMP RADIUS 25'	562285.22	1373714.51	
12+25.12	EX. C/O 40	562287.20	1373717.67	

NO.	NORTHING	EASTING	RIM ELEVATION
C/O 50	561666.70	1374466.55	369.47
C/O 51	561689.82	1374480.86	367.77
@TANK WALL	561722.48	1374440.02	366.56
@TANK WALL	561733.00	1374426.88	366.56
C/O 52	561736.12	1374422.97	366.56
@6" PLUG	561717.28	1374407.91	-----

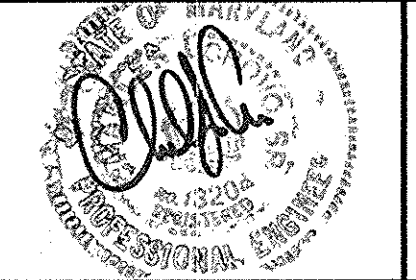
NOTE: SET RIMS FLUSH W/PROPOSED GRADE.



IN-LINE FLUSHING CONNECTION
NO SCALE FOR COMPLETE DESIGN OF THE L.P.S. REFERENCE (SDP-13-065): THE WELLNESS CENTER OF HOWARD COUNTY PARCEL 'A'



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
CORPORATE SQUARE OFFICE PARK - 10772 WALTHAM NATIONAL PLACE
ELICOTT CITY, MARYLAND 21042
(410) 461-2855



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 13204, Expiration Date: November 3, 2016.

Charles J. Cedvo, Sr., P.E.
DATE: 11/26/15

DATE	DESCRIPTION
12-9-15	Director - Department of Planning and Zoning
12-8-15	Chief, Division of Land Development
12-2-15	Chief, Development Engineering Division

DEVELOPER/OWNER
100-103 CENTER, L.L.C.
100 OVERLOOK, L.L.C.
c/o LAND DESIGN AND DEVELOPMENT, INC.
5300 DORSEY HALL DRIVE
SUITE 102
ELICOTT CITY, MARYLAND 21043
443-367-0422

Address Chart			
BUILDING NO.	STREET ADDRESS		

PROJECT	SECTION/AREA	PARCELS	LOT
THE COURT YARDS AT THE TIMBERS	ZONE	617	P/O P. 'B'
DEED REF. 5609 / 611 PLAT #19516-19517	BLOCK NO. 3	TAX MAP 37	ELEC. DIST. FIRST CENSUS TR. 6030

1-1/2" L.P.S. & 6" SEWER MAIN: PROFILES & CHARTS
THE COURT YARDS AT THE TIMBERS
PARCEL B
MEADOWRIDGE CENTER
ZONED POR
TAX MAP No. 37 P/O PARCEL No. 617, GRID No. 3
FIRST ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: 1" = 50' DATE: NOVEMBER, 2015
SHEET 26 OF 26
SDP-07-005