

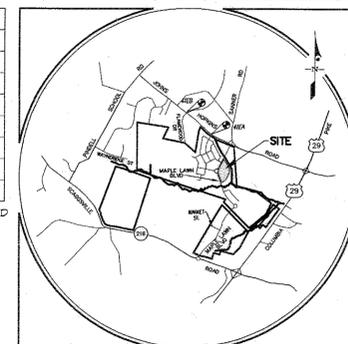
# SITE DEVELOPMENT PLAN MAPLE LAWN FARMS PARCELS A-5, A-6, AND A-7

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN (OVERALL PLAN 1" = 40')
- SITE DEVELOPMENT PLAN - PARCEL A-5
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- SITE DETAILS
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- SEDIMENT CONTROL PLAN (OVERALL PLAN 1" = 40')
- SEDIMENT CONTROL NOTES AND DETAILS
- SEDIMENT CONTROL NOTES, FOND CONVERSION PLAN AND SOIL BORING LOGS
- STORM DRAIN DRAINAGE AREA MAP (OVERALL PLAN 1" = 40')
- STORM DRAIN AND UTILITY PROFILES
- STORM DRAIN PROFILES
- UTILITY PROFILES
- STORMWATER MANAGEMENT DRAINAGE AREA MAP (OVERALL PLAN 1" = 40')
- STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS
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- STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS
- LANDSCAPE PLAN
- LANDSCAPE DETAILS AND NOTES
- RETAINING WALL DETAILS AND NOTES

FILE NUMBER	AREA OF RETAIL
SOP 04-96	10,941 S.F.
SOP 05-08	9,312 S.F.
SOP 05-36	0
SOP 05-47	0
SOP 06-61	0
SOP 06-148	0
TOTAL	20,253 S.F.

A TOTAL OF 152,510 S.F. OF RETAIL IS ALLOWED IN ACCORDANCE WITH 5-01-11.



VICINITY MAP  
SCALE: 1" = 4000'

BENCHMARKS  
41E4 STANDARD DISC ON CONCRETE MONUMENT ELEV. = 407.05  
41E5 STANDARD DISC ON CONCRETE MONUMENT ELEV. = 469.90

## SITE ANALYSIS DATA CHART

	PARCEL A-5	PARCEL A-6	PARCEL A-7	TOTAL
1. GROSS AREA OF PARCEL:	215,335 Sq. Ft. (4.94 ac.)	12,251 Sq. Ft. (0.28 ac.)	84,358 Sq. Ft. (1.94 ac.)	311,944 Sq. Ft. (7.16 ac.)
2. LIMIT OF DISTURBED AREA (AREA OF PLAN SUBMISSION)	215,440 Sq. Ft. (4.9 ac.)	6,696 Sq. Ft. (0.15 ac.)	82,764 Sq. Ft. (1.9 ac.)	304,900 Sq. Ft. (7.0 ac.)
3. ZONING:	MXD-3	MXD-3	MXD-3	
4. PROPOSED USE:				
FIRST FLOOR	MEDICAL OFFICE (14,368 S.F.)	MECHANICAL (1820 S.F.)	N/A	MIXED OFFICE USE (10,044 S.F.)
SECOND FLOOR	MEDICAL OFFICE (14,368 S.F.)	LOBBY (1320 S.F.)	GENERAL OFFICE (9,818 S.F.)	MIXED OFFICE USE (12,491 S.F.)
THIRD FLOOR	MEDICAL OFFICE (14,368 S.F.)	N/A	GENERAL OFFICE (9,818 S.F.)	MIXED OFFICE USE (12,491 S.F.)
5. BUILDING COVERAGE (% OF GROSS ACRES)	25,501 Sq. Ft. (11.84 %)	12,481 Sq. Ft. (17.21 %)	13,572 Sq. Ft. (16.09 %)	51,554 Sq. Ft. (15.14 %)
6. FLOOR AREA RATIO (F.A.R.):	0.1230 S.F. * (1.29) **SEE GENERAL NOTE 35.	0.48	0.24	0.33

NOTE:  
1. A MAXIMUM OF 18,400 SQUARE FEET WILL BE USED FOR MEDICAL OFFICE IN BUILDING 3.  
2. A MAXIMUM OF 14,000 SQUARE FEET WILL BE USED FOR MEDICAL OFFICE IN BUILDING 4.

## PARKING TABULATION

	PARCEL A-5	PARCEL A-6	PARCEL A-7	TOTAL
TOTAL GROSS FLOOR AREA	62,730 S.F. *	54,918 S.F.	24,754 S.F.	122,402 S.F.
NET LEASABLE (1)	56,451 S.F.	9,426 S.F.	22,274 S.F.	101,625 S.F.
FLOOR AREA FOR MEDICAL USE	38,743 S.F.	18,408 S.F.	19,055 S.F.	76,206 S.F.
NUMBER OF SPACES REQUIRED (2)	184	92	46	322
FLOOR AREA FOR OFFICE USE	17,664 S.F.	13,018 S.F.	3,714 S.F.	33,396 S.F.
NUMBER OF SPACES REQUIRED (3)	51	43	10	112
TOTAL NUMBER OF SPACES REQUIRED	235	135	106	444
NUMBER OF SPACES PROVIDED	255	136	114	535
HANDICAP SPACES REQUIRED	7	5	5	17
HANDICAP SPACES PROVIDED	7	5	5	17
VAN ACCESSIBLE SPACES REQUIRED	2	1	1	4
VAN ACCESSIBLE SPACES PROVIDED	2	2	2	6

AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES AND THE HOWARD COUNTY ZONING REGULATIONS DEFINITION "FLOOR AREA NET" - SECTION 103.A.61, THE SUM OF THE AREAS OF THE AREAS OF THE SEVERAL FLOORS OF THE STRUCTURE(S) AS MEASURED BY THE EXTERIOR FACES OF THE WALLS, LESS ANY AREA WITHIN THE STRUCTURE(S) DEVOTED TO PARKING, VEHICULAR DRIVEWAYS, ATRIA, OFFICE BUILDING STORAGE AREAS, OR ENCLOSED MALLS AND SIMILAR AREAS.  
 (2) SPACES REQUIRED CALCULATED AT A RATE OF 5 SPACES / 1000 S.F.  
 (3) SPACES REQUIRED CALCULATED AT A RATE OF 3.5 SPACES / 1000 S.F.

## DISTRIBUTION OF PARKING SPACES

	PARCEL A-5	PARCEL A-6	PARCEL A-7	TOTAL
TOTAL NUMBER OF SPACES	255	136	114	535
ON STREET PARALLEL SPACES	1	7	7	25
ON-SITE PARALLEL SPACES	4	0	0	4
ON-SITE HEAD IN SPACES	270	129	107	506

## FLOOR AREA RATIO (F.A.R.) TRACKING CHART

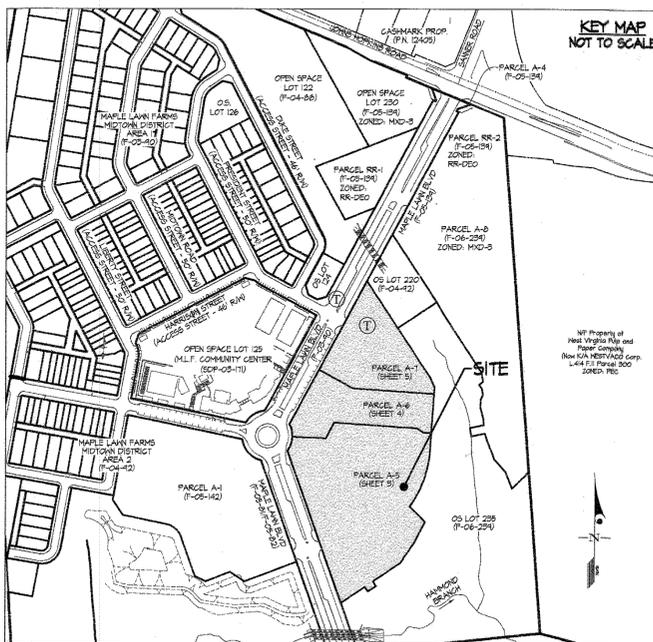
FILE #	PARCEL AREA	FLOOR AREA	F.A.R.
SOP 04-44 (OFFICE BUILDING 1)	4.40 AC. (191,605 S.F.)	93,945 S.F.	0.49
SOP 04-96 (RETAIL BLDG. 1 & BANK)	3.11 AC. (137,933 S.F.)	24,088 S.F.	0.17
SOP 05-08 (RETAIL BLDG. 2 & GAS STATION)	3.20 AC. (139,518 S.F.)	22,218 S.F.	0.16
SOP 05-036 (OFFICE BUILDING 2)	3.21 AC. (139,880 S.F.)	93,945 S.F.	0.67
SOP 05-047 (OFFICE BUILDING 3)	5.58 AC. (243,230 S.F.)	133,016 S.F.	0.41
SOP 06-067 (OFFICE BUILDING 4)	2.84 AC. (125,167 S.F.)	100,288 S.F.	0.80
SOP 06-148 (MEDICAL AND 3 OFFICE)	8.54 AC. (371,950 S.F.)	122,402 S.F.	0.33
REMAINING RECORDED EMPLOYMENT LAND	10.24 AC. (448,282 S.F.)	0	
TOTAL	41.28 AC. * (1,798,151 S.F.)	594,902 S.F.	0.32

\* TOTAL AREA (41.28 AC.) = TOTAL RECORDED EMPLOYMENT (55.14 AC.) - PUBLIC R/W RECORDED AS EMP. (11.86 AC.)

BUILDING No.	STREET ADDRESS
1 & 2	7625 MAPLE LAWN BOULEVARD
3	7585 MAPLE LAWN BOULEVARD
4	7515 MAPLE LAWN BOULEVARD

WATER CODE:	SEWER CODE:
E21	7645000

SECTION/AREA	PARCELS
MIDTOWN DISTRICT/AREA 2	PARCEL A-5 THRU A-7
PLAT No. 18194 & 18195	TAX MAP 41 BLOCK 21 ELEC. DIST. 5
DATE	JULY, 2016
SCALE	AS SHOWN
ZONING	MXD-3
G. L. W. FILE No.	05015
SHEET	1 OF 21



(1) = TRANSIT STOP/BUS SHELTER

## EMPLOYMENT

PARCEL SIZE  
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

HEIGHT  
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:

- COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND SANNER ROAD (MAPLE LAWN BOULEVARD) PARCEL A-3 NOT EXCEED THREE STORIES.
- COMMERCIAL BUILDINGS EAST OF SANNER ROAD (MAPLE LAWN BOULEVARD), PARCEL A-2 AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT LOCATED BETWEEN 300 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT BEYOND 500 FEET OF MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES.

## PERMITTED USES

THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

EMPLOYMENT USES PERMITTED ONLY WITHIN M-4 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE P-8, P-11 AND M-4 DISTRICTS, AS PER PETITIONER'S PDP EXHIBIT 7B, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND GINNEER THEATERS, PUBLIC UTILITY USES EXCLUDING STAND-ALONE COMMUNICATION TOWERS, GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.

THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE P-8, P-11 AND M-4 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS COMPREHENSIVE SKETCH PLAN, PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY WRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED:

- PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
- THEATERS, LEGITIMATE AND DINNER
- THEATERS, MOVIE
- PUBLIC UTILITY USES LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMUNICATION TOWERS

## THE FOLLOWING USE RESTRICTIONS ALSO APPLY:

- NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
- CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED.
- A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
- NO SINGLE RETAIL CENTER SHALL EXCEED 100,000 SQUARE FEET. RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION, HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL STORES AND PERSONAL SERVICE ESTABLISHMENTS SHALL NOT EXCEED 1,000 SQUARE FEET PER GROSS ACRE. NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE M-3-DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.

## SECTION 129.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

## COVERAGE

NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

## FLOOR AREA RATIO (F.A.R.)

OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

## PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12375

EXPIRATION DATE: MAY 26, 2018



DATE: 7/14/16

## GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS NEHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-251-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:  
LOCATION: TAX MAP #41, GRID 21  
ZONING: MXD-3  
ELECTION DISTRICT: 5TH  
SITE AREA: 8,558 SQ. AC.  
REG. REF.: PLAT 18194 & 18195 (F-06-239)
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 313-4400 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: OFFICE AND MEDICAL BUILDINGS
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD RUN SURVEY INFORMATION BY GUTSCHICK, LITTLE & WEBER, P.A. BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE 83 ND STATE COORDINATE SYSTEM (NAD 83) AS PROJECTED BY HOWARD COUNTY. GEODETIC CONTROL STATIONS NO. 41E4, 41E5, 41E6 AND NO. 46B2.
- PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. PER ZB-415M WAS APPROVED 02/08/01 GRANTING APPROVAL TO FDP.
- SEE DEPARTMENT OF PLANNING AND ZONING FILE NUMBERS: 5-01-11, ZB 415M, PB-355, MP 01-111, SP 05-03, P 03-01, P 04-01, F 03-10, F 04-19, F 04-26, F 04-32, F 05-81, F 05-82, F 05-194, F 05-142, F 06-41, F 06-216, F 06-239, SOP 03-140, AND SOP 03-171.
- WATER AND SEWER SERVICE IS PUBLIC.
- ALL EXISTING WATER AND SEWER IS PER CONTRACT Nos. 24-4105-D, 24-4238-D, AND 44-4401-D.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-10.
- STORMWATER MANAGEMENT IS BEING PROVIDED BY AN ON-SITE FACILITY AND STORMCEPTOR ON THIS SITE PLAN. THE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. THE POND WILL BE A TYPE P-2 POND WITH AN HAZARD CLASS.
- RECORDING REFERENCE: PLAT NO. 18194 & 18195 (F-06-239)
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE ARE NO FLOOD PLAIN, 2% STEEP SLOPES, STREAMS, WETLANDS OR BUFFERS LOCATED WITHIN PARCELS A-5, A-6 OR A-7.
- THIS PROPERTY HAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER FB CASE NO. 353 (5-01-11).
- AS A CONSEQUENCE OF THE SKETCH PLAN 5-01-11 APPROVAL PRIOR TO NOVEMBER 5, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-415M AND THE DECISION AND ORDER FOR FB CASE NO. 353 (5-01-11).
- THE TRAFFIC STUDY WAS APPROVED AS PART OF SKETCH PLAN 5-01-11.
- WATER AND SEWER HOUSE CONNECTION LINES SHOWN ON THESE PLANS IS FROM THE ROAD R/W TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER ON CONSTRUCTION.
- FOREST CONSERVATION REQUIREMENTS PER SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL FOR PHASE 5 OF THIS PROJECT WITH AN AFFORESTATION OBLIGATION OF 0.45 ACRES AND RETENTION IN THE AMOUNT OF 0.21 ACRE WILL BE FULFILLED BY PROVIDING 10.44 ACRES OF CREDITED AFFORESTATION. 10.06 ACRES OF EXCESS FOREST CONSERVATION WILL BE UTILIZED IN FUTURE PHASES. FOREST CONSERVATION SURETY IN THE AMOUNT OF \$200,000.00 WAS PROVIDED WITH THE DFP, DEVELOPERS AGREEMENT AND UNDER F-04-92.
- ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDED PLAT# 18194 & 18195 (F-06-239), UNLESS OTHERWISE NOTED.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
- BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM IN AN INSIDE METER.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING IS POSTED WITH THE DEVELOPER'S AGREEMENT AND GRADING PERMIT APPLICATION IN THE AMOUNT OF \$26,980.00 (COMBINED TOTAL). FOR THE BREAK-DOWN OF THE LANDSCAPE SURETY AMOUNT, SEE SHEET 20.

## LEGEND

366	EX. CONTOUR	700	TOP OF PAVING SPOT SHOT
300	PROP. CONTOUR	(P)	NUMBER OF PARKING SPACES
LOD	LIMIT OF DISTURBANCE	(P)	PROP. LIGHT FIXTURE & POLE
EX. STORM DRAIN	EX. SANITARY SEWER	(P)	EX. LIGHT FIXTURE & POLE
PROP. STORM DRAIN	EX. WATERLINE	(P)	HANDICAPPED PARKING
EX. 8" X 8"	PROP. SANITARY SEWER	(P)	BUILDING ENTRANCE
PROP. 8"	PROPOSED WATERLINE	(P)	EX. TREES (PER F-03-07)
PROP. 8"	EX. CURB & GUTTER		
PROP. 8"	PROPOSED CURB & GUTTER		
PROP. 8"	PROPOSED REVERSE CURB & GUTTER		
PROP. 8"	CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD		
PROP. 8"	EX. EASEMENTS		

APPROVED  
PLANNING BOARD  
of HOWARD COUNTY

DATE: 04/09/2015

APPROVED: FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer: *Maura Rossman* 10/26/2016

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director: *Valentino Zylia* 10-31-16  
Chief, Division of Land Development: *Victor Love* 10-31-16  
Chief, Development Engineering Division: *Chad* 10-13-16

GLW GUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DES. DEV. DRN. AWL. CHK. DEV.

DATE	REVISION
07-11-16	REPLACEMENT SHEET - REV. BUILDING INFORMATION CHARTS & TABULATIONS TO REFLECT REVISIONS TO BUILDINGS 3 & 4.
06-11-09	MP-04-204 NOTE ADDED.
05-18-04	REV. LANDSCAPE SURETY.
11-26-07	REV. PARKING REG. NOTE & REV. PARKING PROVIDED IN TABULATION CHARTS.

## PREPARED FOR:

G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

## REVISED SITE DEVELOPMENT PLAN - COVER SHEET

MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 18194 & 18195 (F-06-239)

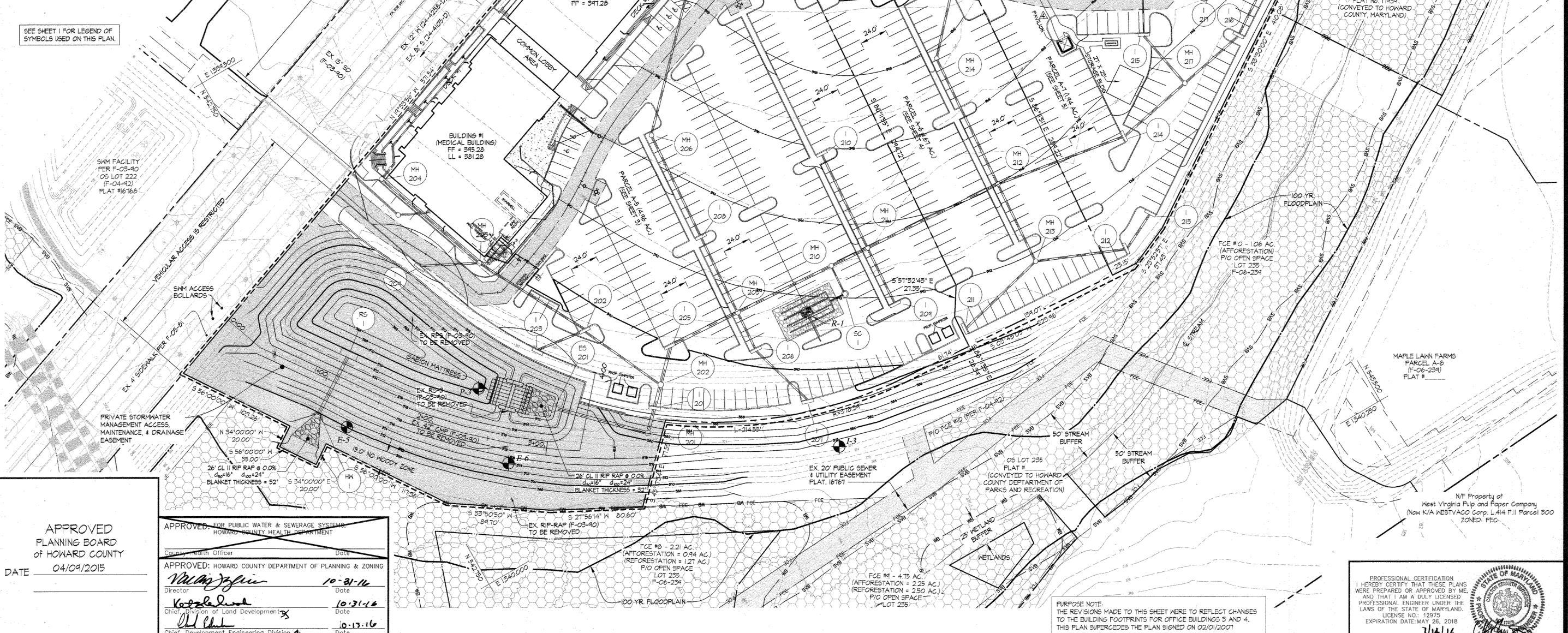
ELECTION DISTRICT No. 5

From No.	To No.	PIPE	LENGTH	From No.	To No.	PIPE	LENGTH
I-218	MH-214	15" HDPE	120 LF	I-210	MH-211	15" HDPE	88 LF
I-217	MH-214	15" HDPE	34 LF	I-204	MH-211	15" HDPE	51 LF
MH-214	I-216	18" HDPE	38 LF	MH-211	MH-210	24" HDPE	31 LF
I-216	MH-217	18" HDPE	54 LF	MH-210	MH-205	24" HDPE	86 LF
DECK #6	MH-218	10" HDPE	84 LF	D-201	MH-204	12" HDPE	26 LF
DECK #5	MH-218	10" HDPE	105 LF	MH-204	MH-207	12" HDPE	41 LF
MH-218	I-216	10" HDPE	45 LF	DECK (#2)**	MH-207	8" HDPE	8 LF
I-215	MH-217	15" HDPE	52 LF	MH-207	MH-206	12" HDPE	114 LF
MH-217	I-214	18" HDPE	67 LF	MH-206	I-208	12" HDPE	94 LF
I-214	MH-212	18" HDPE	114 LF	I-208	MH-205	15" HDPE	84 LF
DECK (#4)	MH-216	8" HDPE	137 LF	I-207	I-206	15" HDPE	61 LF
DECK (#3)	MH-216	8" HDPE	145 LF	I-206	MH-205	15" HDPE	32 LF
MH-216	D-202	10" HDPE	34 LF	MH-205	I-205	30" HDPE	34 LF
D-202	MH-215	10" HDPE	54 LF	I-205	MH-204	30" HDPE	31 LF
RD-228	RD-227	8" HDPE	30 LF	DECK (#1)*	MH-204	15" HDPE	10 LF
RD-227	RD-226	8" HDPE	30 LF	RD-208	MH-204	4" HDPE	10 LF
RD-226	RD-225	8" HDPE	30 LF	RD-204	MH-205	4" HDPE	10 LF
RD-225	RD-224	10" HDPE	30 LF	MH-204	MH-203	15" HDPE	108 LF
RD-224	MH-215	10" HDPE	30 LF	I-204	MH-203	15" HDPE	44 LF
RD-220	RD-224	8" HDPE	30 LF	RD-209	RD-202	6" HDPE	28 LF
DECK #7	MH-215	8" HDPE	76 LF	RD-202	RD-201	6" HDPE	42 LF
MH-215	MH-214	12" HDPE	104 LF	DECK #1	MH-203	8" HDPE	22 LF
MH-214	MH-212	12" HDPE	10 LF	MH-203	I-202	15" HDPE	105 LF
I-213	I-212	15" HDPE	55 LF	I-202	I-202	15" HDPE	34 LF
I-212	MH-213	15" HDPE	76 LF	I-202	MH-202	18" HDPE	78 LF
I-211	MH-213	15" HDPE	81 LF	MH-202	I-201	30" HDPE	17 LF
MH-213	MH-212	18" HDPE	71 LF	I-201	MH-201	30" HDPE	13 LF
MH-212	MH-211	24" HDPE	122 LF	MH-201	E5-201	30" HDPE	82 LF
				DECK #1	MH-203	8" HDPE	22 LF

HDPE=HIGH DENSITY POLYETHYLENE  
 \*DECK (#1) INCLUDES DRAINAGE FROM RD-206 THROUGH RD-214  
 \*\*DECK (#2) INCLUDES DRAINAGE FROM RD-220 THROUGH RD-223

- NOTES
- SEE SHEETS 3, 4, AND 5 FOR GRADING AROUND BUILDINGS 1, 2, 3, AND 4 RESPECTIVELY.
  - FOR FOND GRADING AND DETAILS, SEE SHEET 8.
  - ALL CURB RADII ARE 5' UNLESS OTHERWISE NOTED.

SEE SHEET 1 FOR LEGEND OF SYMBOLS USED ON THIS PLAN.



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Walter J. Griffin* 10-21-16  
 Chief, Division of Land Development *Kathleen L. ...* 10-21-16  
 Chief, Development Engineering Division *...* 10-13-16

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 200 - BURTOWNSVILLE OFFICE PARK  
 BURTOWNSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
07-11-16	REPLACEMENT SHEET - REVISED BUILDING 3 & 4 FOOTPRINTS, UTILITY ROOMS, DECKS & UTILITIES. SHOWN PAVILION & STORAGE BUILDING.	gt	DEV.
01-11-12	ADDED OUTSIDE ACCESS FOR PROP. TENANT	MSJ	DEV.
11-26-07	REVISED BUILDING 3 & 4 FOOTPRINTS, REMOVED GREASE INTERCEPTOR & REVISED STORM DRAINS	MSJ	DEV.

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - SITE DEVELOPMENT PLAN  
**MAPLE LAWN FARMS  
 MIDDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS**  
 PLAT No. 18794 & 18795 (F-06-239)  
 HOWARD COUNTY, MARYLAND

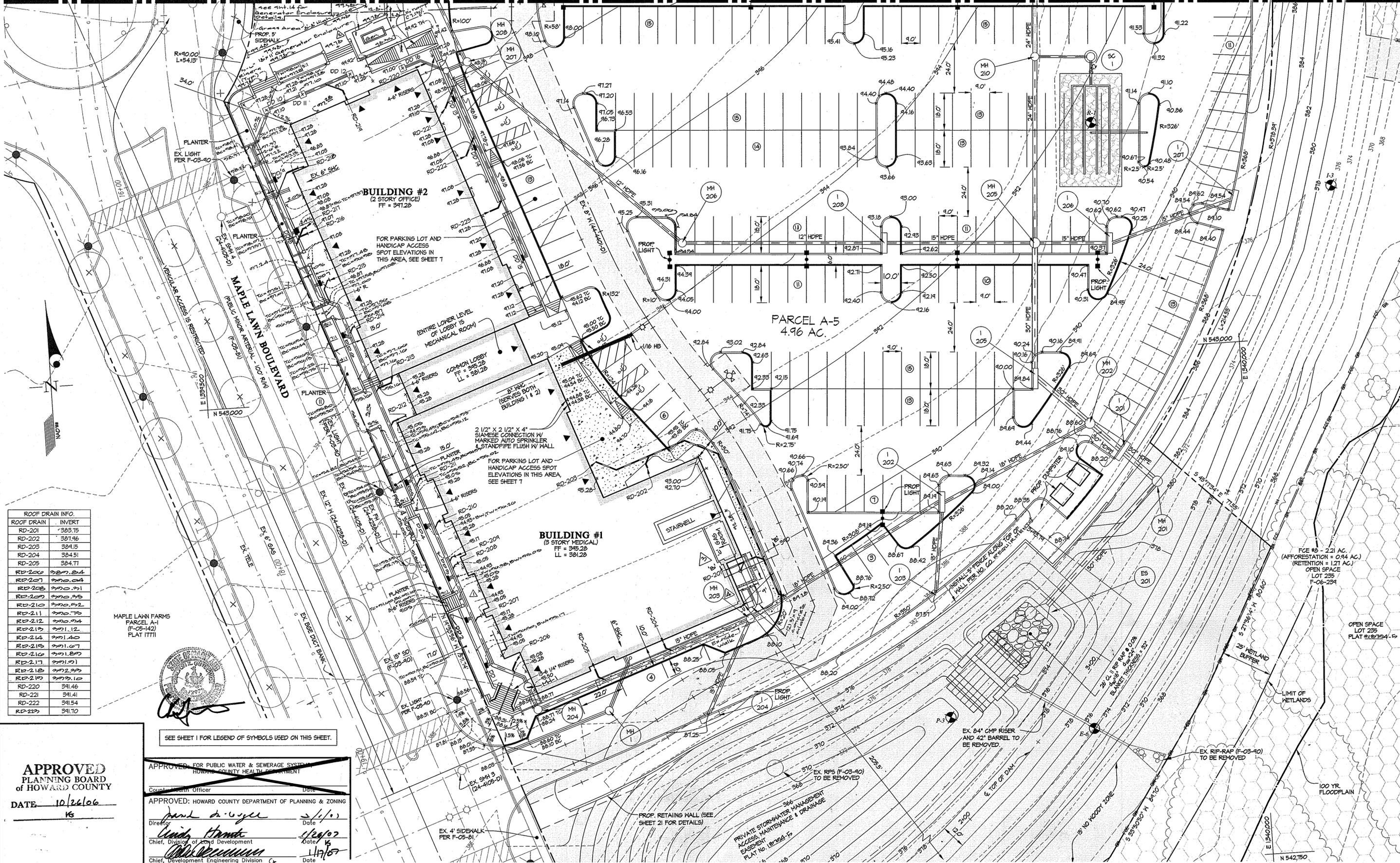
SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	2 OF 21

PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975  
 EXPIRATION DATE: MAY 26, 2018  
 7/4/16



L:\CADD\DRAWINGS\02001\05015\SDP\05015-01-26\_Sheet\_02.dwg 15/3/2016 9:28:27 AM EST



ROOF DRAIN	INVERT
RD-201	388.75
RD-202	387.96
RD-203	384.15
RD-204	384.51
RD-205	384.71
RD-206	380.84
RD-207	380.04
RD-208	380.91
RD-209	380.95
RD-210	380.92
RD-211	380.75
RD-212	380.74
RD-213	381.12
RD-214	381.40
RD-215	381.67
RD-216	381.80
RD-217	381.01
RD-218	382.33
RD-219	382.10
RD-220	381.46
RD-221	381.41
RD-222	381.54
RD-223	381.70



SEE SHEET 1 FOR LEGEND OF SYMBOLS USED ON THIS SHEET.

**APPROVED PLANNING BOARD OF HOWARD COUNTY**  
 DATE: 10/26/06  
 BY: [Signature]

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer: [Signature] Date: 10/10/06  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] Date: 12/26/07  
 Chief, Division of Land Development: [Signature] Date: 1/17/07  
 Chief, Development Engineering Division: [Signature]

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-899-2524 FAX: 301-421-4186

NO.	DATE	REVISION	BY	APP'R.
1	11.14.11	Revise outside access details	JK	
2	11.01.11	Added outside access for Prop. Tenant	JK	
3	11.22.07	Add generator and generator enclosure	JK	DEW
4	11.22.07	Rev. Storm Drain & walls along Bldg. Enclosure & steps along north side of Bldg.	JK	DEW

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

**SITE DEVELOPMENT PLAN - PARCEL A-5**  
**MAPLE LAWN FARMS**  
**MIDTOWN DISTRICT - AREA 2**  
**MEDICAL & GENERAL OFFICE BUILDINGS**  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12 1724-5 (F-06-239)  
 ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	3 OF 21

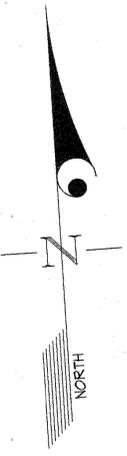
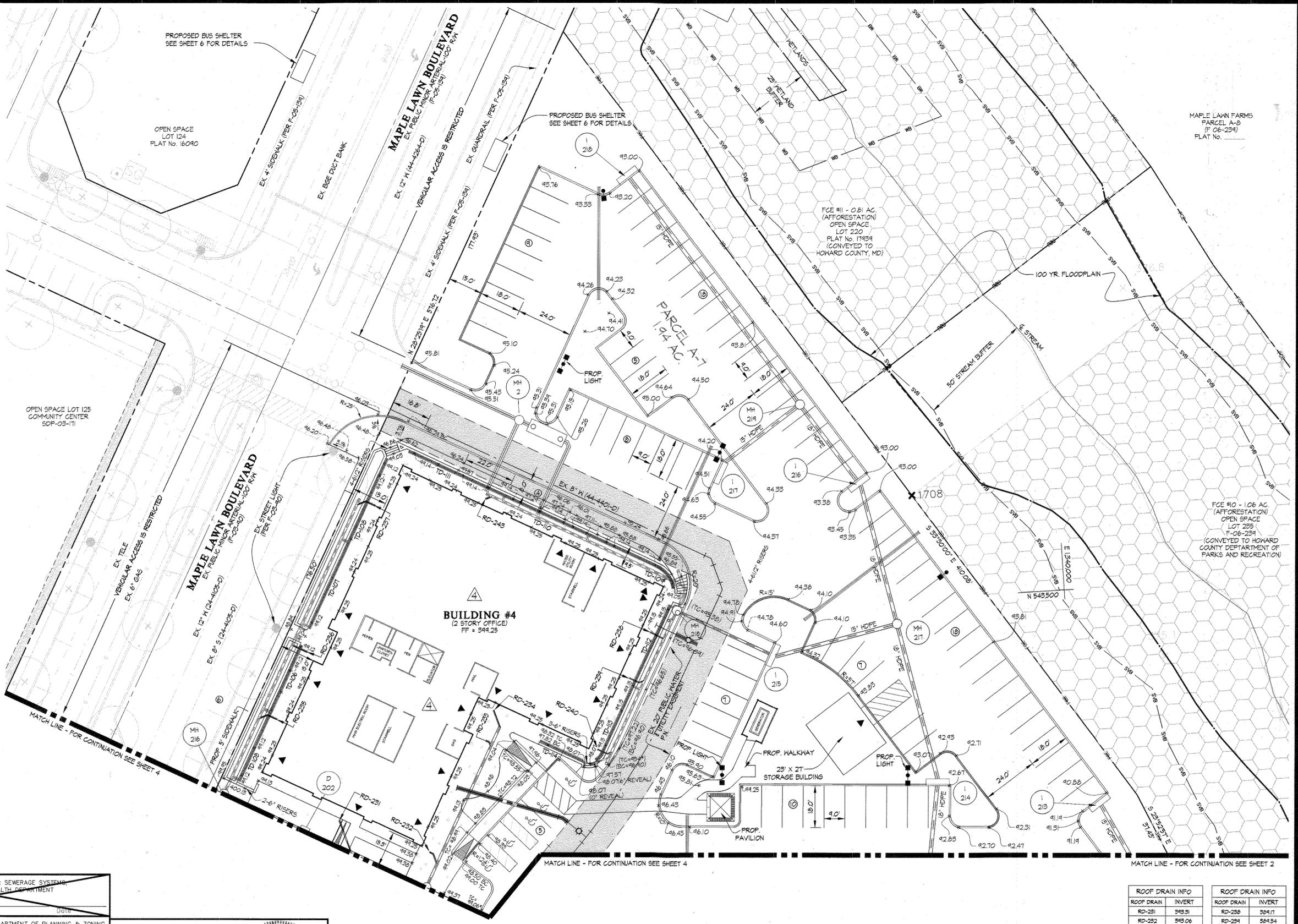


N 543,150  
E 1294500

MAPLE LAWN FARMS  
PARCEL A-2  
(F-06-234)  
PLAT No. \_\_\_\_\_

**LEGEND**

- 366 EX. CONTOUR
- 300 PROP. CONTOUR
- LOD LIMIT OF DISTURBANCE
- EX. STORM DRAIN
- PROP. STORM DRAIN
- 2' S EX. SANITARY SEWER
- EX. 2" W EX. WATERLINE
- PROP. 8" S PROP. SANITARY SEWER
- PROP. WATERLINE
- EX. CURB & GUTTER
- PROP. CURB & GUTTER
- PROP. REVERSE CURB & GUTTER
- CONCRETE SIDEWALK, DUMPSTER PAD OR UTILITY PAD
- EX. EASEMENTS
- TOP OF PAVING SPOT SHOT
- NUMBER OF PARKING SPACES
- PROP. LIGHT FIXTURE & POLE
- EX. LIGHT FIXTURE & POLE
- HANDICAPPED PARKING
- BUILDING ENTRANCE
- EX. TREES (PER F-03-07)



E 1294500  
N 543500

APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY  
DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT

County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director *Mark Jaffe* Date 10-31-16

Chief, Division of Land Development *Victor D'Amico* Date 10-31-16

Chief, Development Engineering Division *Chad Clark* Date 10-19-16

PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS  
WERE PREPARED OR APPROVED BY ME,  
AND THAT I AM A DULY LICENSED  
PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018  
7/14/16

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

ROOF DRAIN INFO		ROOF DRAIN INFO	
ROOF DRAIN	INVERT	ROOF DRAIN	INVERT
RD-231	343.51	RD-238	344.11
RD-232	343.06	RD-239	344.64
RD-233	343.60	RD-240	344.64
RD-234	343.73	RD-241	344.11
RD-235	344.10	RD-242	340.28
RD-236	344.21	RD-243	340.52
RD-237	344.61		

**GLW**  
GUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
BURTONVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

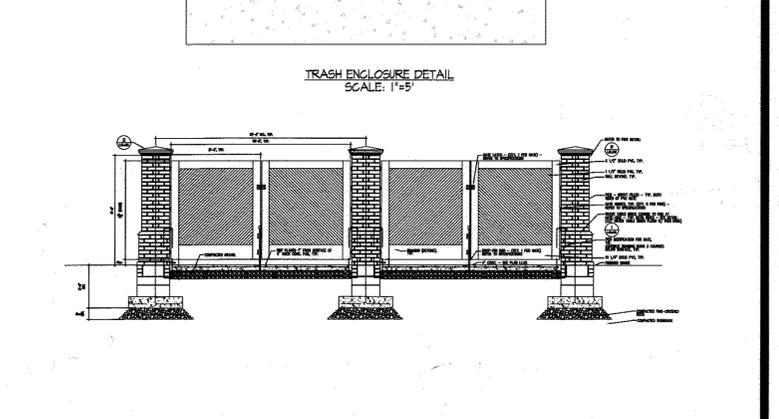
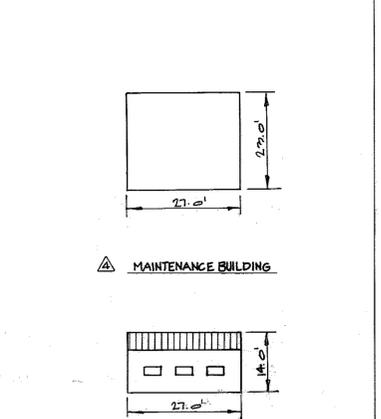
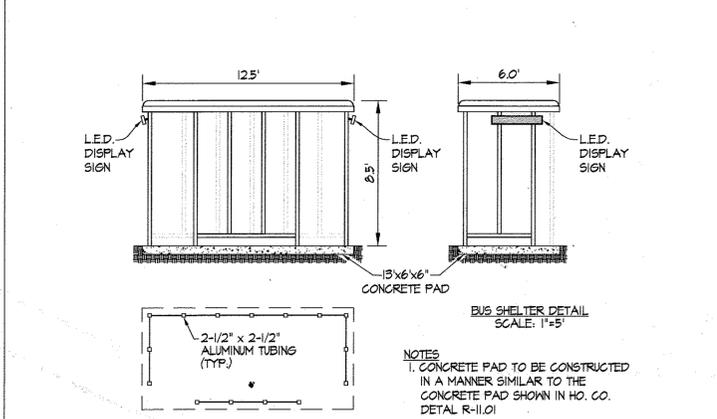
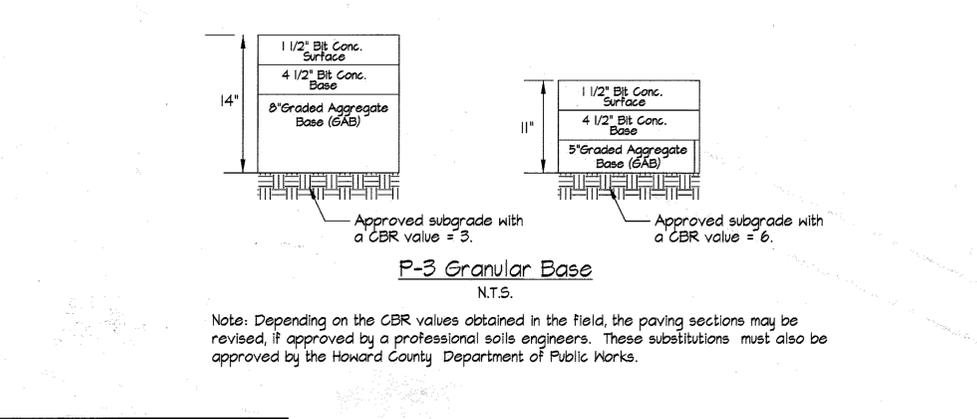
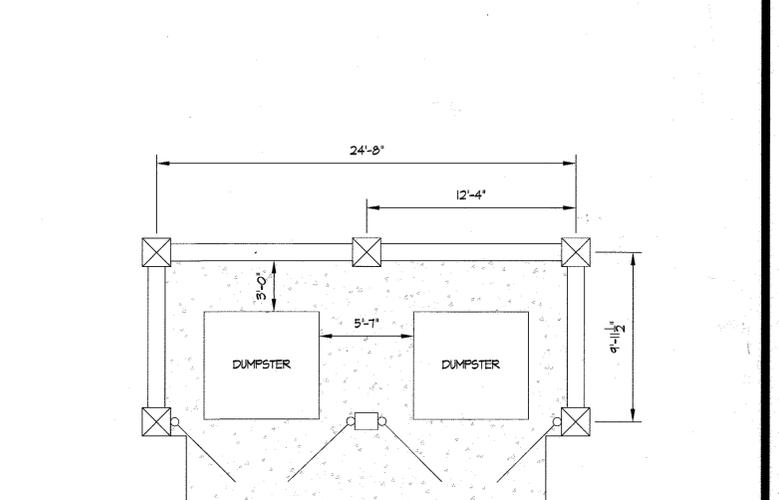
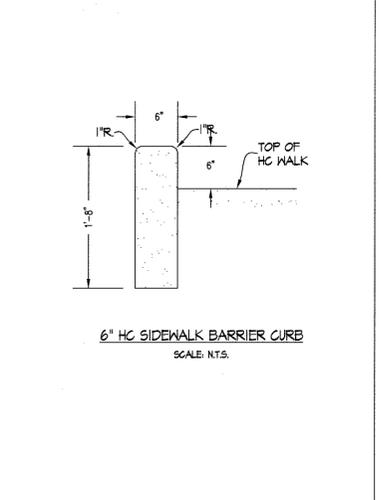
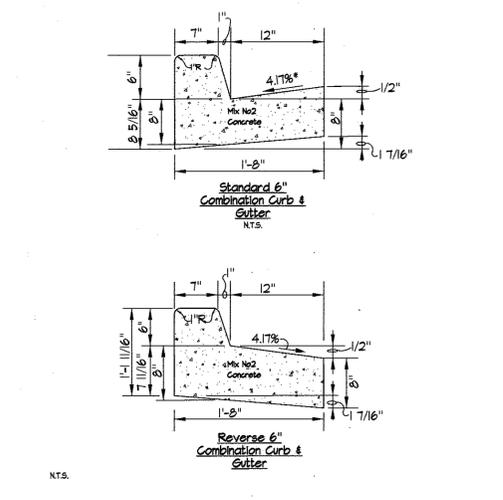
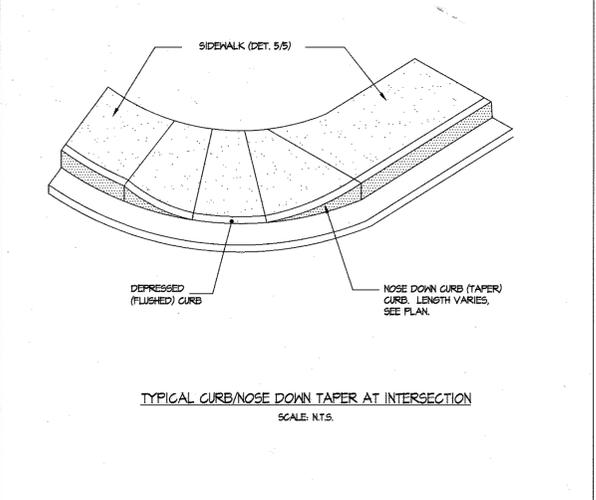
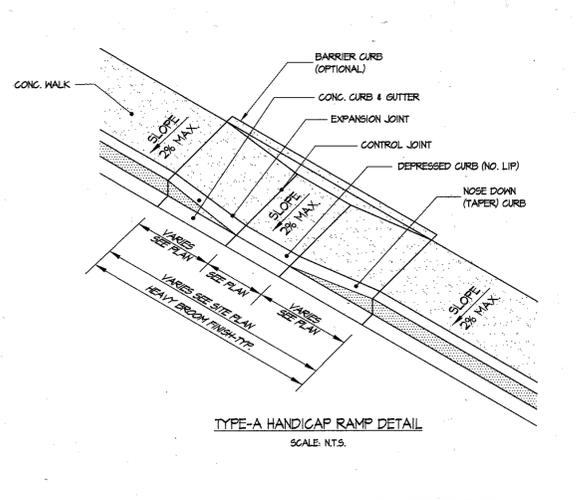
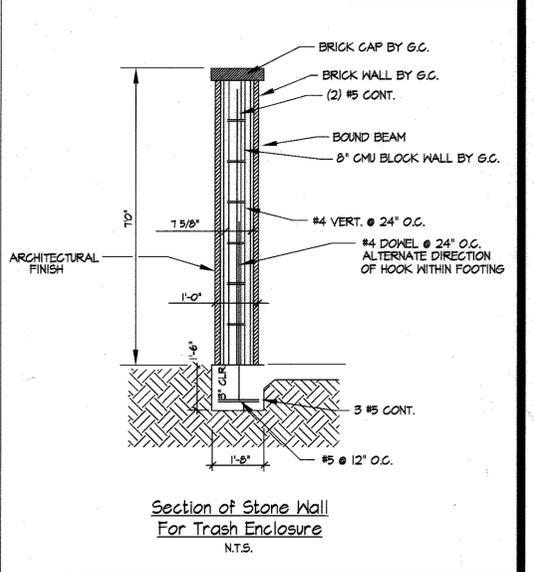
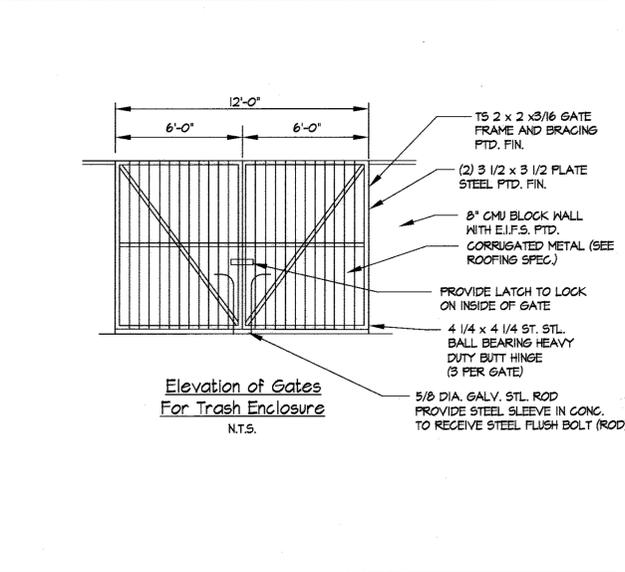
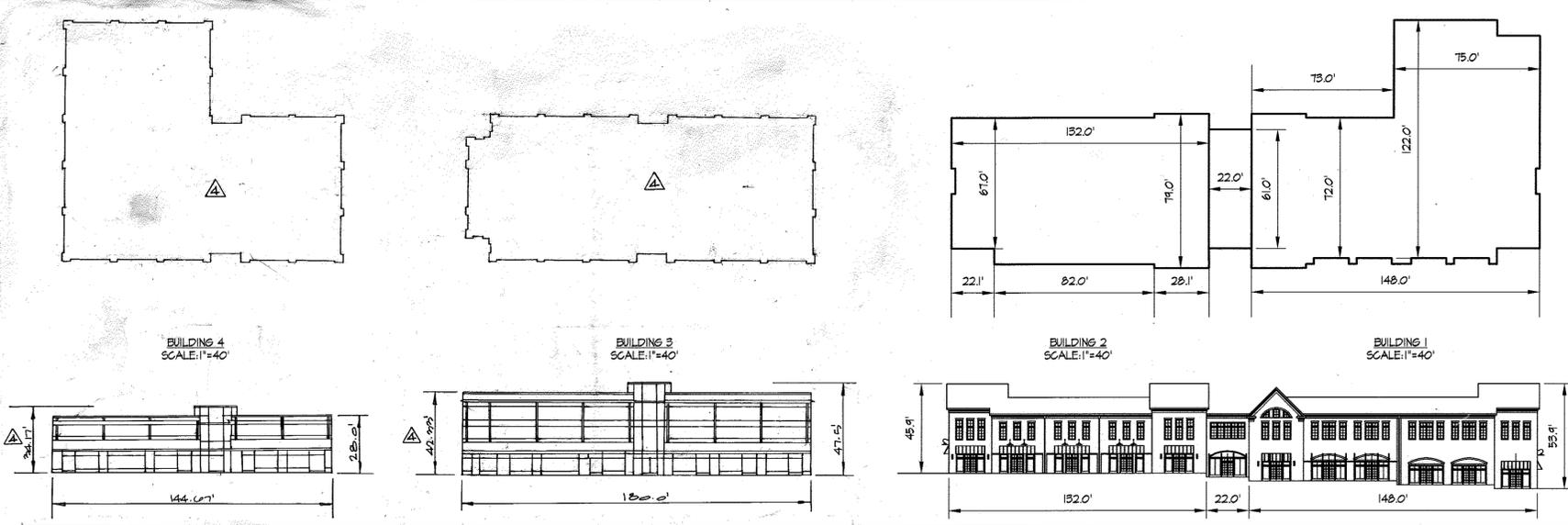
DATE	REVISION	BY	APP'R
07-11-16	REPLACEMENT SHEET - REV. FOOTPRINT FOR BUILDING 4, UTILITY ROOMS, DECKS & UTILITIES. SHOWED PAVILION AND STORAGE BUILDING.	gt	DEV.
11-26-07	REV. BUILD. FOOTPRINTS, 6" W/C TO BLDGS., ROOF & DECK DRAINS & PARK. ISL. & ADDED UTILITY ROOMS.	MSJ	DEV.

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - SITE DEVELOPMENT PLAN - PARCEL A-7  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6 & A-7  
PLAT No. 18794 & 18795 (F-06-239)  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=20'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	5 OF 21

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**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 10/26/06  
vs

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
HOWARD COUNTY HEALTH DEPARTMENT  
County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
Director \_\_\_\_\_ Date 2/1/07  
Chief, Division of Land Development \_\_\_\_\_ Date 1/26/07  
Chief, Development Engineering Division \_\_\_\_\_ Date 1/17/07

APPROVED  
PLANNING BOARD OF HOWARD COUNTY  
DATE 02-09-2015



**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

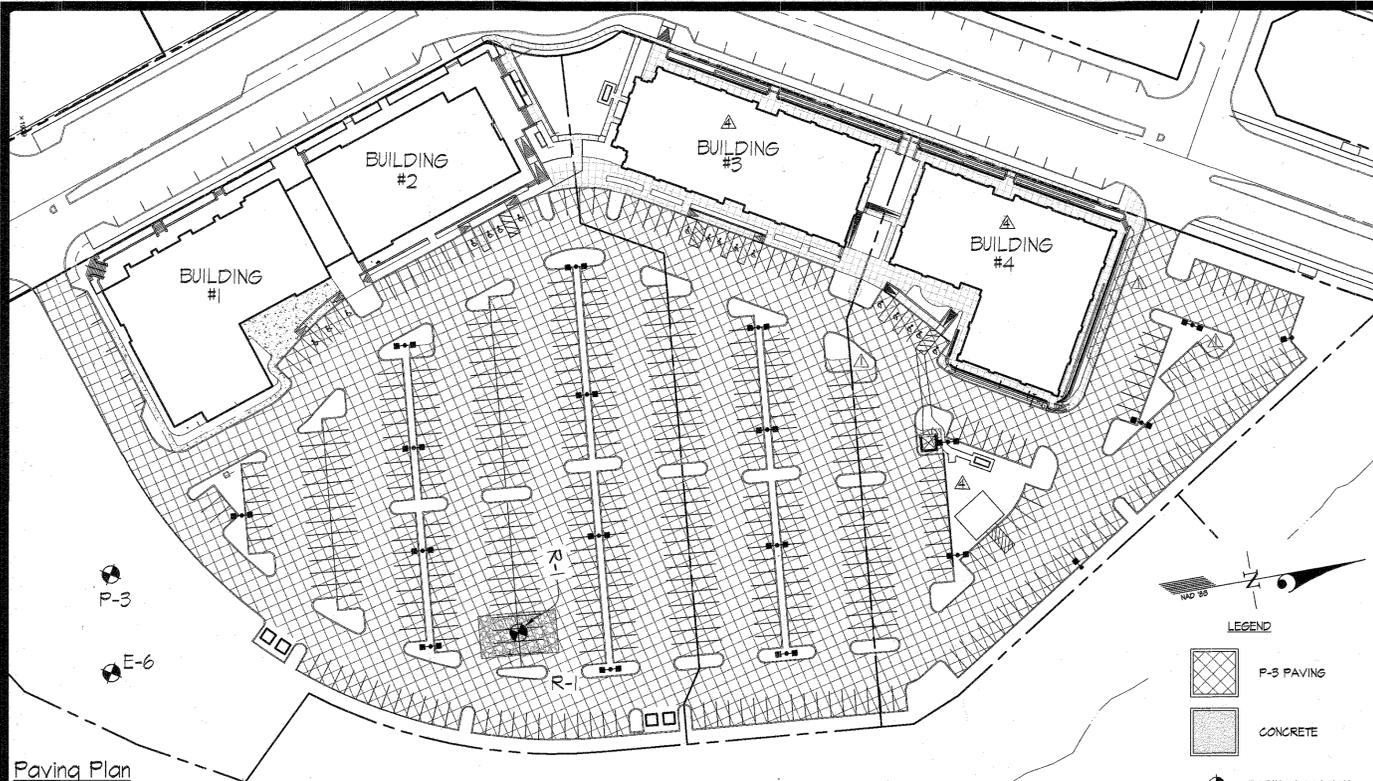
DATE	REVISION	BY	APP'R.
1-22-10	Rev Bldg Elev & added the Maintenance Bldg & Pavilion	gt	Dev
11-20-07	Rev Bldg 2nd Footprint per Arch changes	Wol	Dev

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**SITE DETAILS**  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 12-12-5 (P-06-239)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	6 OF 21

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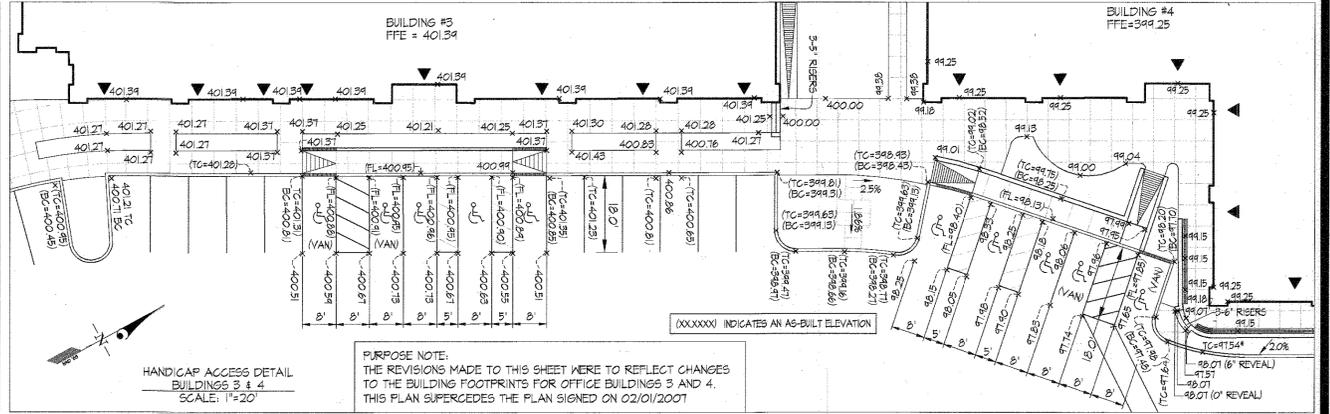
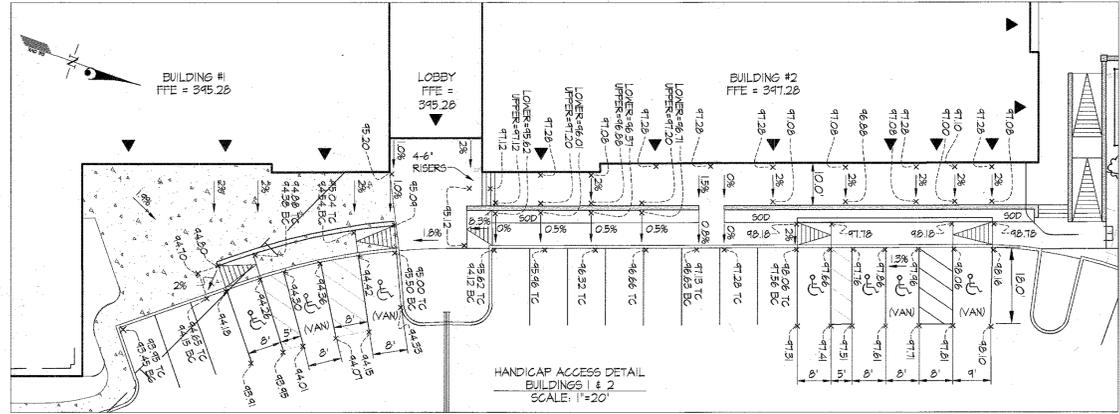
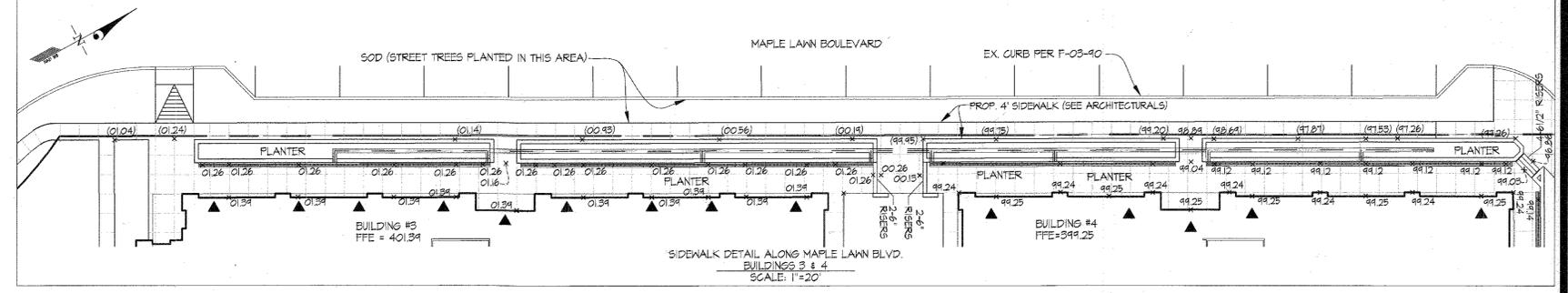
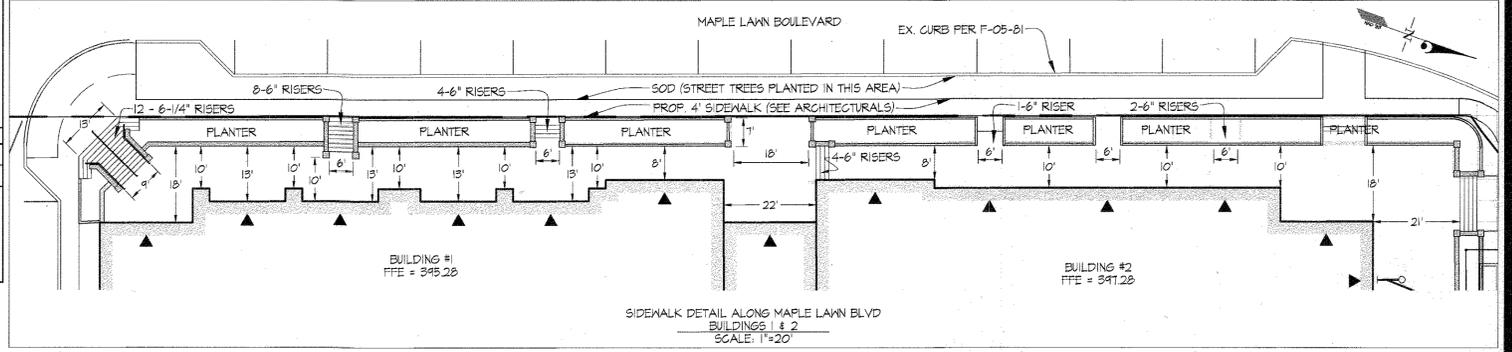
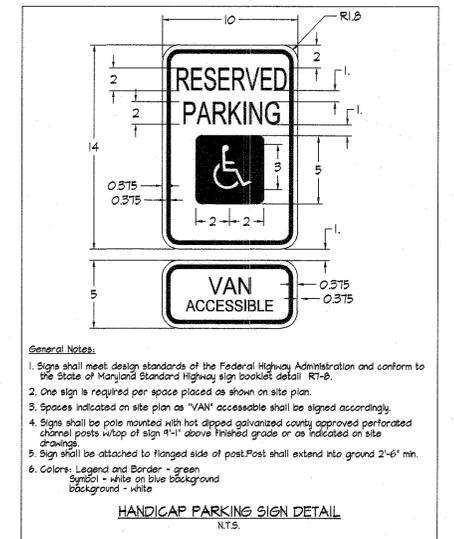
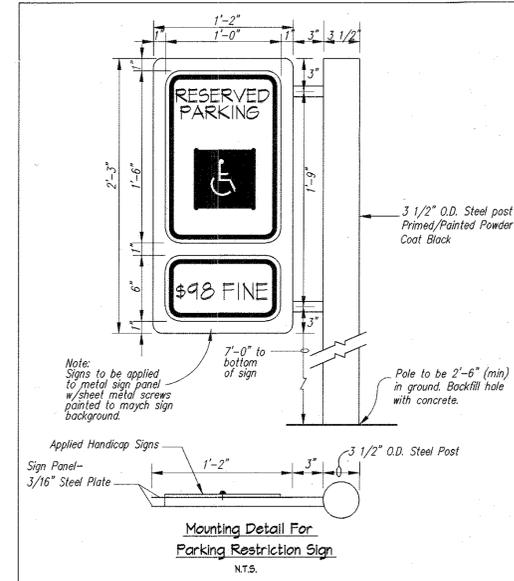
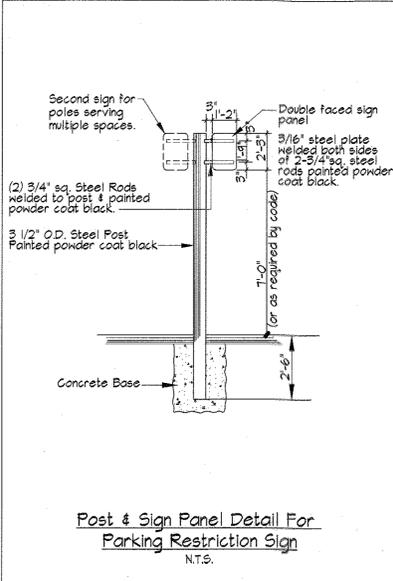


Paving Plan  
SCALE: 1"=60'

LANDSCAPE LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	WATTAGE	LAMP	MOUNTING	NOTES	SYMBOL
A	GARDCO	G-18-2-Q-25OPSMH-208-BLP	250 W	HIGH PRESSURE SODIUM	23' STRAIGHT POLE (BLACK)	FIXTURE TYPE: GULLWING SHIELD TYPE: SEMI-CUTOFF	■◆■
B	GARDCO	G-18-1-Q-25OPSMH-208-BLP	250 W	HIGH PRESSURE SODIUM	23' STRAIGHT POLE (BLACK)	FIXTURE TYPE: GULLWING SHIELD TYPE: SEMI-CUTOFF	■◆

EXTERIOR LIGHT NOTES  
 1. A partially shielded fixture must be constructed and installed in such a manner that less than 25 percent of the light is projected above the horizontal plane through the lowest part of the lamp, as certified by the lighting manufacturer or a photometric test report.  
 2. Light trespass onto a property in the "RR" zoning district, or onto a property in the MXD district designated for development of equivalent land uses, shall be limited to 0.1 foot candles.



PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975  
 EXPIRATION DATE: MAY 26, 2018  
 7/14/16

APPROVED  
 PLANNING BOARD  
 of HOWARD COUNTY  
 DATE 04/09/2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director: [Signature] 10-31-16  
 Chief, Division of Land Development: [Signature] 10-31-16  
 Chief, Development Engineering Division: [Signature] 10-13-16

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE, SUITE 200 - BURTONVILLE OFFICE PARK  
 BURTONVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - SITE / HANDICAP ACCESSIBILITY DETAILS  
**MAPLE LAWN FARMS**  
**MIDTOWN DISTRICT - AREA 2**  
**MEDICAL & GENERAL OFFICE BUILDINGS**  
 PLAT No. 18794 & 18795 (F-06-239)  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	7 OF 21

L:\CADD\DRAWINGS\02001\05015\SDP\05015SDP07.dwg 15/21/2008 10:54:42 AM EST

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*John L. Roberts* 9/30/16  
 Howard Soil Conservation District Date

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

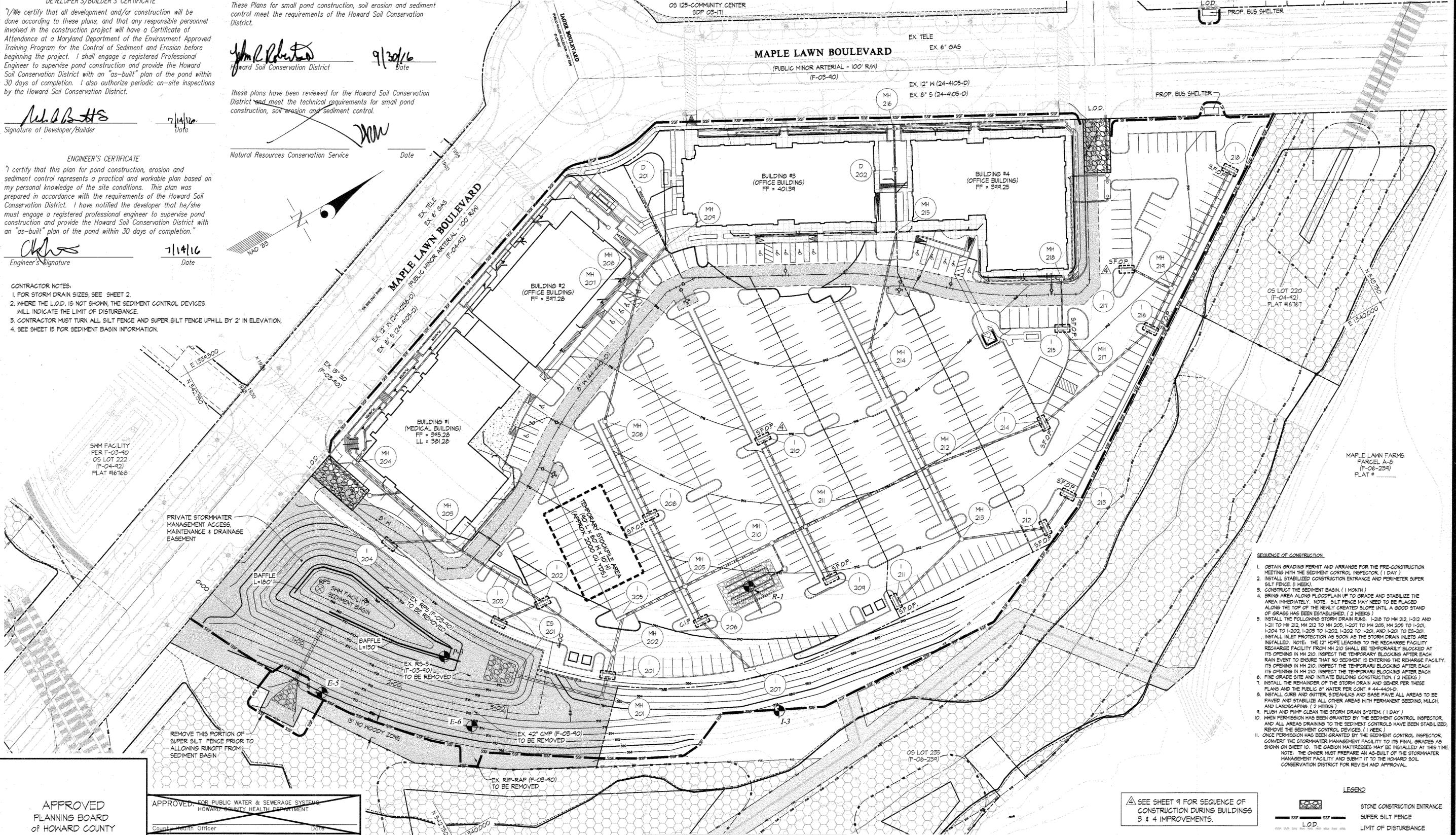
*M. B. H. S.* 7/14/16  
 Signature of Developer/Builder Date

**ENGINEER'S CERTIFICATE**  
 I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion.

Natural Resources Conservation Service Date

*Ch...* 7/14/16  
 Engineer's Signature Date

- CONTRACTOR NOTES:**
- FOR STORM DRAIN SIZES, SEE SHEET 2.
  - WHERE THE L.O.D. IS NOT SHOWN, THE SEDIMENT CONTROL DEVICES WILL INDICATE THE LIMIT OF DISTURBANCE.
  - CONTRACTOR MUST TURN ALL SILT FENCE AND SUPER SILT FENCE UPHILL BY 2' IN ELEVATION.
  - SEE SHEET 15 FOR SEDIMENT BASIN INFORMATION.



- SEQUENCE OF CONSTRUCTION**
- OBTAIN GRADING PERMIT AND ARRANGE FOR THE PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR (1 DAY)
  - INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SUPER SILT FENCE (1 WEEK)
  - CONSTRUCT THE SEDIMENT BASIN (1 MONTH)
  - BRING AREA ALONG FLOODPLAIN UP TO GRADE AND STABILIZE THE AREA IMMEDIATELY. NOTE: SILT FENCE MAY NEED TO BE PLACED ALONG THE TOP OF THE NEWLY CREATED SLOPE UNTIL A GOOD STAND OF GRASS HAS BEEN ESTABLISHED (2 WEEKS)
  - INSTALL THE FOLLOWING STORM DRAIN RINGS: 1-218 TO MH 212, 1-212 AND 1-211 TO MH 212, MH 212 TO MH 205, 1-207 TO MH 205, MH 205 TO 1-204 TO 1-202, 1-205 TO 1-202, 1-202 TO 1-201, AND 1-201 TO ES-201. INSTALL INLET PROTECTION AS SOON AS THE STORM DRAIN INLETS ARE INSTALLED. NOTE: THE 12" HOPE LEADING TO THE RECHARGE FACILITY RECHARGE FACILITY FROM MH 210 SHALL BE TEMPORARILY BLOCKED AT ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH RAIN EVENT TO ENSURE THAT NO SEDIMENT IS ENTERING THE RECHARGE FACILITY. ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH ITS OPENING IN MH 210. INSPECT THE TEMPORARY BLOCKING AFTER EACH
  - FINE GRADE SITE AND INITIATE BUILDING CONSTRUCTION (2 WEEKS)
  - INSTALL THE REMAINDER OF THE STORM DRAIN AND SEWER PER THESE PLANS AND THE PUBLIC 8" WATER PER CONT. # 44-4401-D
  - INSTALL CURB AND GUTTER, SIDEWALKS AND BASE PAVEMENT ALL AREAS TO BE PAVED AND STABILIZE ALL OTHER AREAS WITH PERMANENT SEEDING, MULCH, AND LANDSCAPING (2 WEEKS)
  - FLUSH AND PUMP CLEAN THE STORM DRAIN SYSTEM (1 DAY)
  - WHEN PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, AND ALL AREAS DRAINING TO THE SEDIMENT CONTROLS HAVE BEEN STABILIZED, REMOVE THE SEDIMENT CONTROL DEVICES (1 WEEK)
  - ONCE PERMISSION HAS BEEN GRANTED BY THE SEDIMENT CONTROL INSPECTOR, CONVERT THE STORMWATER MANAGEMENT FACILITY TO ITS FINAL GRADES AS SHOWN ON SHEET 10. THE GABION MATRESSES MAY BE INSTALLED AT THIS TIME. NOTE: THE OWNER MUST PREPARE AN AS-BUILT OF THE STORMWATER MANAGEMENT FACILITY AND SUBMIT IT TO THE HOWARD SOIL CONSERVATION DISTRICT FOR REVIEW AND APPROVAL.

SEE SHEET 9 FOR SEQUENCE OF CONSTRUCTION DURING BUILDINGS 3 & 4 IMPROVEMENTS.

**LEGEND**

	STONE CONSTRUCTION ENTRANCE
	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	100 YR. FLOODPLAIN
	EXISTING CONTOUR
	PROPOSED CONTOUR
	15' (MIN) NO-WOODY ZONE
	CURB INLET PROTECTION
	SILT FENCE ON PAVEMENT

**PURPOSE NOTE:**  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

THE PURPOSE OF THIS PLAN IS TO SHOW SEDIMENT CONTROL ONLY !!

APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

County Health Officer	Date
<i>Val...</i>	10-21-16
Director	Date
<i>K...</i>	10-31-16
Chief, Division of Land Development	Date
<i>Ch...</i>	10-13-16
Chief, Development Engineering Division	Date

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.: 12975 EXPIRATION DATE: MAY 26, 2018

7/14/16 *Ch...*



PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - SEDIMENT CONTROL PLAN  
**MAPLE LAWN FARMS**  
 MIDDLETOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 18794 & 18795 (F-06-239)

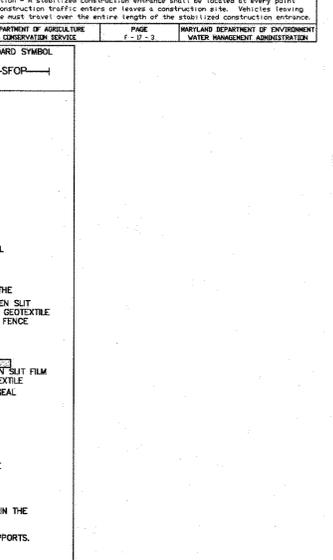
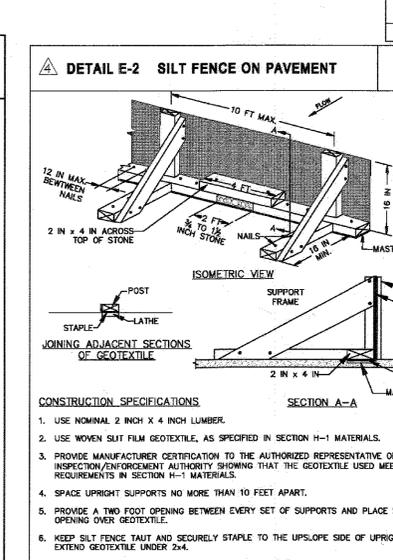
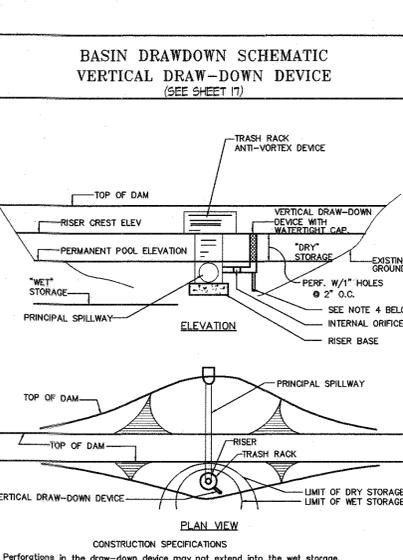
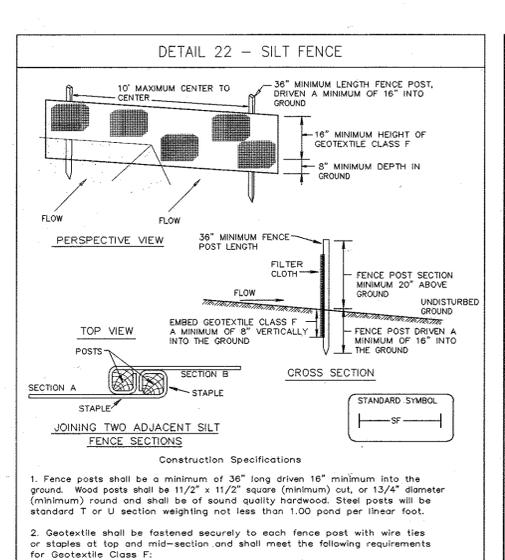
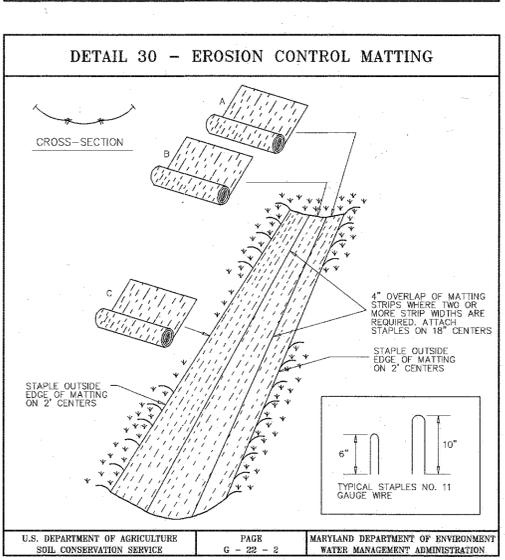
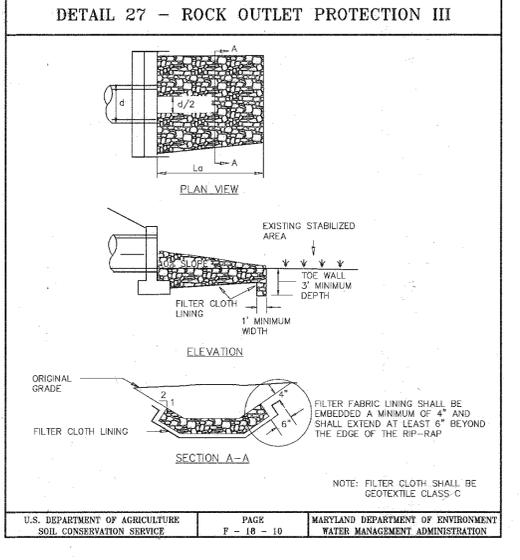
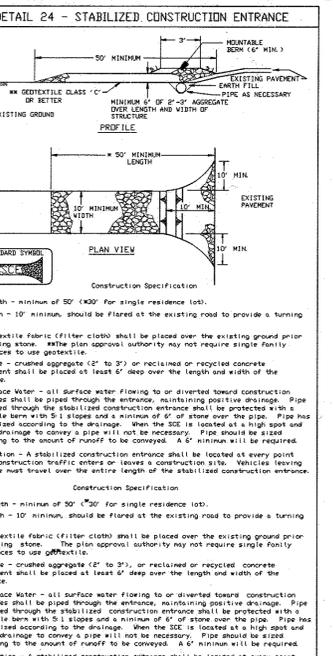
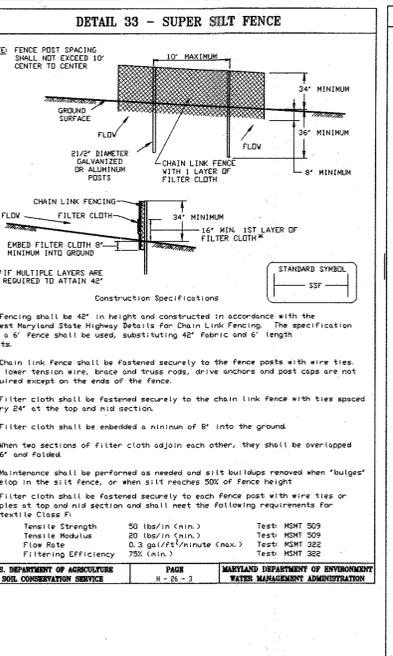
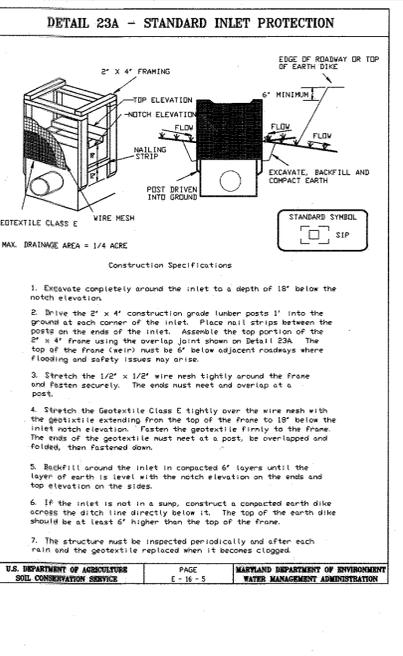
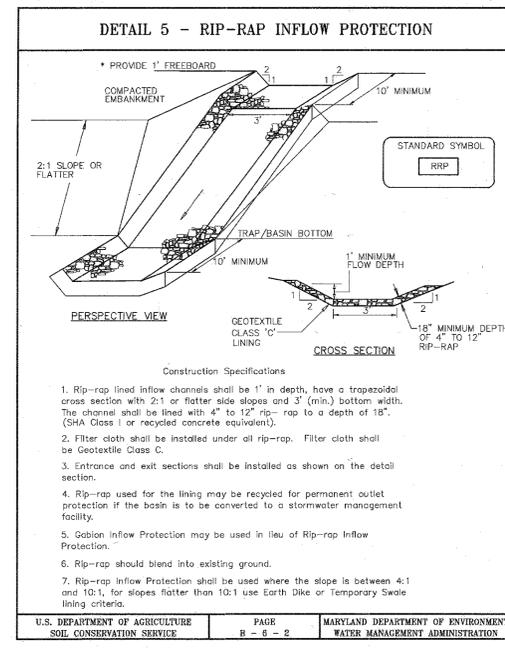
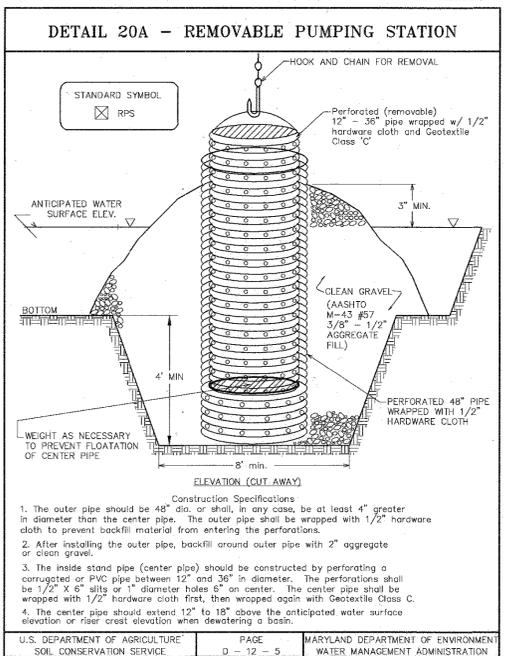
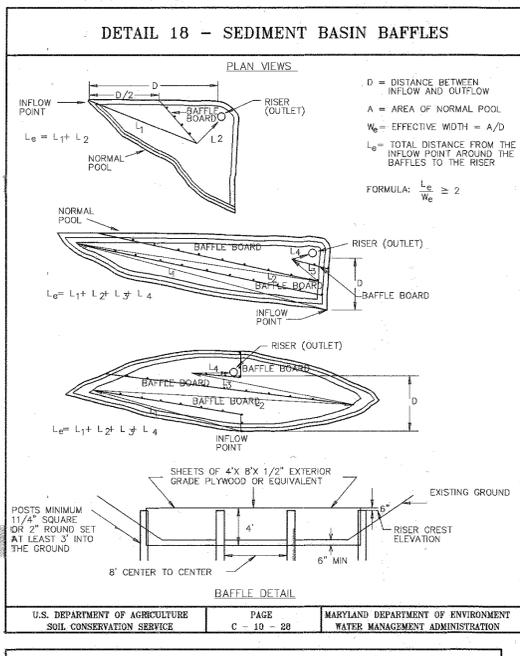
SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	8 OF 21

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

07-11-16	REPLACEMENT SHEET - REV. SEDIMENT CONTROLS FOR BUILDINGS 3 & 4 CONSTRUCTION.	3F	DEV.
11-26-07	REV. CURB, REMOVED GREASE TRAP & ADDED PURPOSE NOTE.	MSJ	DEV.
		BY	APPR.

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Natural Resources Conservation Service \_\_\_\_\_ Date \_\_\_\_\_

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

*John R. Roberts* 9/30/16  
Howard Soil Conservation District

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Valerie J. Joffe* 10-31-16  
Director

*Katrina Deane* 10-31-16  
Chief, Division of Land Development

*John E. ...* 10-11-16  
Chief, Development Engineering Division

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018

*7/14/16*

ENGINEER'S CERTIFICATE

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

*7/14/16*

DEVELOPER'S/BUILDER'S CERTIFICATE

"We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."

*7/14/16*

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE 04/09/2015

GLWGUTSCHICK LITTLE & WEBER, P.A.  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
BURTONVILLE, MARYLAND 20886  
TEL. 301-421-4024 BALT. 410-880-1820 DC/VA. 703-989-2524 FAX: 301-421-4186

REVISION

07-11-16	REPLACEMENT SHEET - ADDED DETAIL E-2 AND SEQUENCE OF CONSTRUCTION.
----------	--

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISION - SEDIMENT CONTROL NOTES AND DETAILS

MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT NO. 18794 & 18795 (F-06-239)

SCALE AS SHOWN

ZONING MXD-3

G. L. W. FILE NO. 05015

DATE JULY, 2016

TAX MAP - GRID 41-21

SHEET 9 OF 21

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

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**SEDIMENT CONTROL NOTES**

- A minimum of 24 hours notice must be given to the Howard County Office of Inspection and Permits prior to the start of any construction. (410) 313-1855.
- All vegetative and structural practices are to be installed according to the provisions of this plan and are to be in conformance with the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within: a) 5 calendar days for all perimeter sediment control structures, dikes and perimeter slopes and all slopes greater than 3:1, b) 7 days as to all other disturbed or graded areas on the project site.
- All sediment traps/basins shown must be fenced and warning signs posted around their perimeter in accordance with Vol. I, Chapter 12, of the HOWARD COUNTY DESIGN MANUAL, Storm Drainage.
- All disturbed areas must be stabilized within the time period specified above in accordance with the 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for permanent seedings, sod, temporary seeding and mulching (Sec. G). Temporary stabilization, with mulch alone, can only be done when recommended seeding dates do not allow for proper germination and establishment of grasses.
- All sediment control structures are to remain in place and are to be maintained in operative condition until permission for their removal has been obtained from the Howard County Sediment Control Inspector.

**7. Site Analysis:**

Total Area of Site	8.5 Acres
Area Disturbed	8.4 Acres
Area to be rooted or paved	6.2 Acres
Area to be vegetatively stabilized	2.1 Acres
Total Cut	12,000 Cu. YDS
Total Fill	12,000 Cu. YDS
Off-site waste/borrow area location:	ON-SITE

- Any sediment control practice which is disturbed by grading activity for placement of utilities must be repaired on the same day of disturbance.
- Additional sediment control must be provided, if deemed necessary by the Howard County DPM Sediment Control Inspector.
- On all sites with disturbed areas in excess of 2 acres, approval of the inspection agency shall be requested upon completion of installation of perimeter erosion and sediment controls, but before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals may not be authorized until this initial approval by the inspection agency is made.

NOTE: TOTAL CUT AND FILL QUANTITIES ARE FOR PLAN PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EARTHWORK AT TIME OF CONTRACT

**TEMPORARY SEEDING NOTES**

Apply to graded or cleared areas likely to be redistributed where a short-term vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: Apply 600 lbs per acre 10-10-10 fertilizer (14 lbs/1000 sq ft).

- Seeding: For periods March 1 thru May 15, and from August 1 thru October 15, seed with 2-1/2 bushel per acre of annual ryegrass (3.2 lbs/1000 sq ft). For the period May 1 thru August 14, seed with 5 lbs per acre of weeping lovegrass (0.7 lbs/1000 sq ft). For the period November 16 thru February 28, protect site by applying 2 tons per acre of well anchored straw mulch and seed as soon as possible in the spring, or use sod.

Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unrotted, weed-free, small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gal per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 ft or higher, use 348 gal per acre (8 gal/1000 sq ft) for anchoring.

Refer to the 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL for rate and methods not covered.

**PERMANENT SEEDING NOTES**

Apply to graded or cleared area not subject to immediate further disturbance where a permanent long-lived vegetative cover is needed.

Seeded Preparation: Loosen upper three inches of soil by raking, discing or other acceptable means before seeding (unless previously loosened).

Soil Amendments: In lieu of soil test recommendations, use one of the following schedules:

- Preferred - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 square feet) and 600lbs per acre 10-10-10 fertilizer (14 lbs/1000sq ft) before seeding. Harrow or disc into upper three inches of soil. At time of seeding, apply 400 lbs per acre 30-0-0 ureaform fertilizer (4 lbs/1000 sq ft).
- Acceptable - Apply 2 tons per acre dolomitic limestone (42 lbs/1000 sq ft) and 1000 lbs per acre 10-10-10 fertilizer (23 lbs/1000 sq ft) before seeding. Harrow or disc into upper three inches of soil.

Mulching: Apply 1-1/2 to 2 tons per acre (10 to 40 lbs/1000 sq ft) of unrotted small grain straw immediately after seeding. Anchor mulch immediately after application using mulch anchoring tool or 2lb gallons per acre (5 gal/1000 sq ft) of emulsified asphalt on flat areas. On slopes, 8 feet or higher, use 348 gallons per acre (8 gal/1000 sq ft) for anchoring.

Maintenance: Inspect all seeded areas and make needed repairs, replacements and reseedings.

**DUST CONTROL DEFINITION**

Controlling dust blowing and movement on construction sites and roads.

**PURPOSE**

To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

**CONDITIONS WHERE PRACTICE APPLIES**

This practice is applicable to areas subject to dust blowing and movements where on and off-site damage is likely without treatment.

**SPECIFICATIONS TEMPORARY METHODS**

- Mulches - See standards for vegetative stabilization with mulches only. Mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12' apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.

Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.

- Barriers - Solid board fences, silt fences, burlap fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angles to prevailing currents at intervals of about 10 times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need retreatment.

**PERMANENT METHODS**

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsailing - Covering with less erosive soil materials. See standards for topsailing.
- Stone - Cover surface with crushed stone or coarse gravel.

**STANDARD AND SPECIFICATIONS FOR TOPSOIL DEFINITION**

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

**PURPOSE**

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

**CONDITIONS WHERE PRACTICE APPLIES**

This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent material is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soil is so acidic that treatment with limestone is not feasible.

For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

**CONSTRUCTION AND MATERIAL SPECIFICATIONS**

Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the respective soil profile section in the Soil Survey published by USDA-ARS in cooperation with Maryland Agricultural Experimental Station.

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of clinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1/2" in diameter.
- Topsoil must be free of plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clay, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

For sites having disturbed areas under 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:

- pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.2 or higher.
- Organic content of topsoil shall be not less than 1.5 percent by weight.
- Topsoil having soluble salt greater than 500 parts per mill shall not be used.
- No sod or seed shall be placed on soil which has been with soil sterilants or chemicals used for weed control until sufficient time has elapsed (14 days min.) to permit dissipation of photo-toxic materials.

Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 2.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

**V. Topsoil Application**

When topsailing, maintain needed erosion and sediment control practices such as diversion, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.

Grades on the areas to be topsailed, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

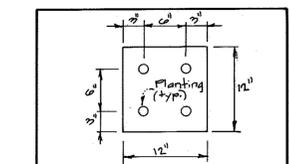
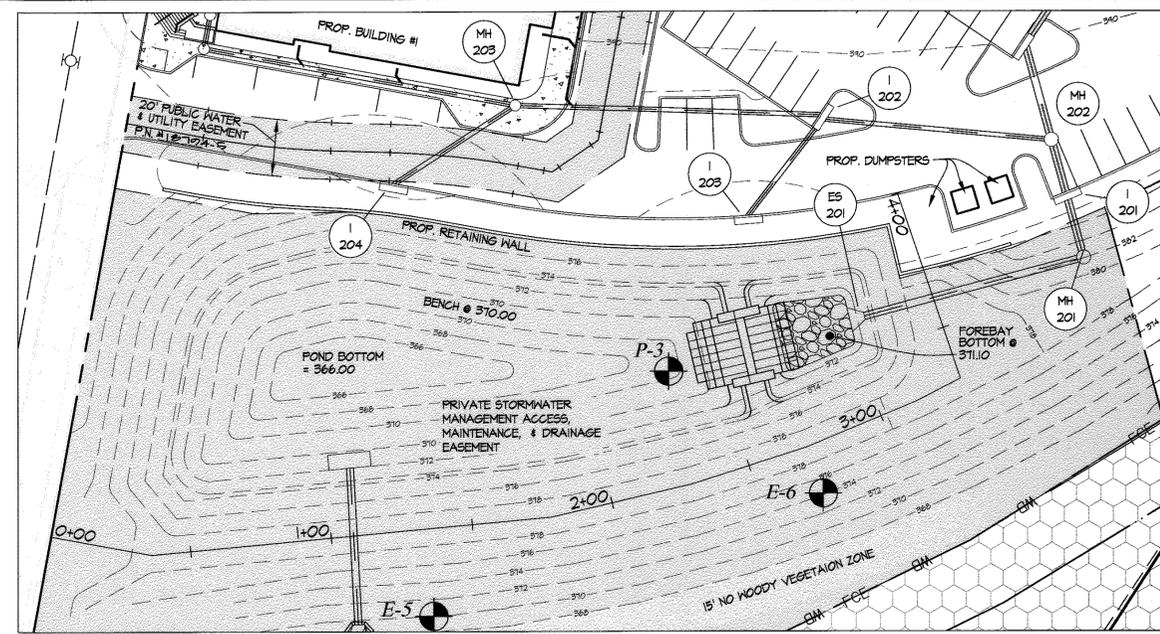
Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsailing or other operations shall be corrected in order to prevent the formation of depressions or water.

Topsoil shall not be placed while the topsoil or subsoil is frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

**VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:**

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
  - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
  - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
  - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at a rate of 4lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding, MD-VA Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.



Contractor to provide one or more of the following for aquatic benches (min. 4 per sq. ft. of area):

- Water Lily
- Wedge Water Duck Potato
- Wild Celery
- Coarse Sand Plant
- Redhead Grasses

Plant type may be dependent upon availability.

HELLIS GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

Project Name: Maple Lawn Farms, Midtown District, Howard County, Maryland

DATE	DEPTH	SOIL DESCRIPTION	WATER DEPTH	TESTS	REMARKS
08/21/06	1.0-2.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows
08/21/06	2.0-3.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows
08/21/06	3.0-4.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows
08/21/06	4.0-5.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows
08/21/06	5.0-6.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows

HELLIS GARNER ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

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08/21/06	4.0-5.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows
08/21/06	5.0-6.0	Dark brown, silty clay with some sand	1.0	Standard Penetration Test	Standard Penetration Test (SPT) 10 blows

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**DEVELOPER'S/BUILDER'S CERTIFICATE**

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Signature of Developer/Builder: *[Signature]* Date: 11-2-06

**APPROVED**

PLANNING BOARD OF HOWARD COUNTY DATE: 04.09.2010

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Signature: *[Signature]* Date: 11-2-06

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature: *[Signature]* Date: 11/2/06

**APPROVED PLANNING BOARD OF HOWARD COUNTY**

DATE: 10/26/06

Signature: *[Signature]* Date: 11/2/07

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Signature: *[Signature]* Date: 11/2/07

**APPROVED**

Signature: *[Signature]* Date: 11/2/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3809 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK  
BURTONTOWN, MARYLAND 20866  
TEL: 301-421-4024 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11-20-2010	Rev notes for improvements Buildings 3 & 4	gt	DEV
			BY

PREPARED FOR:  
G&R MAPLE LAWN INC  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**SEDIMENT CONTROL NOTES, POND CONVERSION PLAN, AND SOIL BORING LOGS**

**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 1022A-19 (F-06-239)

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	10 OF 21

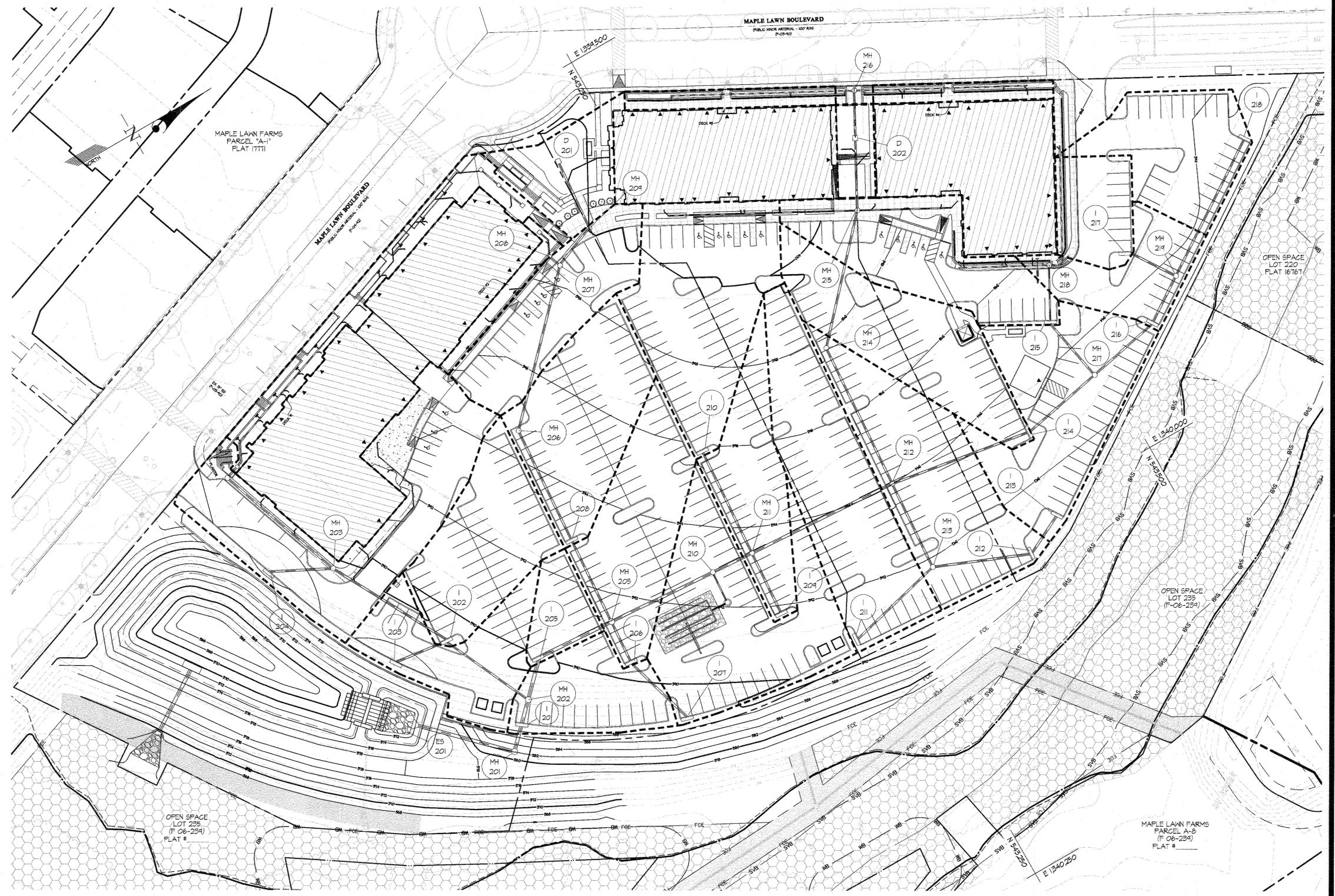
ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND

L:\CADD\DRAWINGS\02001\05015\SDP\05015SC10.dwg 10/25/2006 9:14:11 AM EST

DRAINAGE AREA INFORMATION			
INLET	AREA	'C' VALUE	% IMP.
I-201	0.17 Ac.	0.81	90%
I-202	0.26 Ac.	0.81	90%
I-203	0.22 Ac.	0.81	90%
I-204	0.56 Ac.	0.81	90%
I-205	0.08 Ac.	0.81	90%
I-206	0.27 Ac.	0.81	90%
I-207	0.41 Ac.	0.81	90%
I-208	0.44 Ac.	0.81	90%
I-209	0.21 Ac.	0.81	90%
I-210	0.34 Ac.	0.81	90%
I-211	0.34 Ac.	0.81	90%
I-212	0.38 Ac.	0.81	90%
I-213	0.36 Ac.	0.81	90%
I-214	0.31 Ac.	0.81	90%
I-215	0.30 Ac.	0.81	90%
I-216	0.15 Ac.	0.81	90%
I-217	0.12 Ac.	0.81	90%
I-218	0.23 Ac.	0.81	90%
D-201	0.15 Ac.	0.81	90%
D-202	0.05 Ac.	0.81	90%

 AREAS TO BE PICKED UP BY DECK DRAINS  
 TOTAL AREA = 0.31 AC. (100% IMPERVIOUS)  
 AREAS TO BE PICKED UP BY ROOF DRAINS  
 TOTAL AREA = 1.24 AC. (100% IMPERVIOUS)



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director Natalie J. Jolly Date 10-31-16

Chief, Division of Land Development Kurtis L. Lunden Date 10-31-16  
 Chief, Development Engineering Division Chad E. Edrington Date 10-13-16

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY ME  
 AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 12975  
 EXPIRATION DATE: MAY 26, 2018  
7/11/16



PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
 TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
 THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

THE PURPOSE OF THIS PLAN IS TO SHOW STORM DRAIN DRAINAGE DIVIDES ONLY !!

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTOWNVILLE OFFICE PARK  
 BURTOWNVILLE, MARYLAND 20886  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

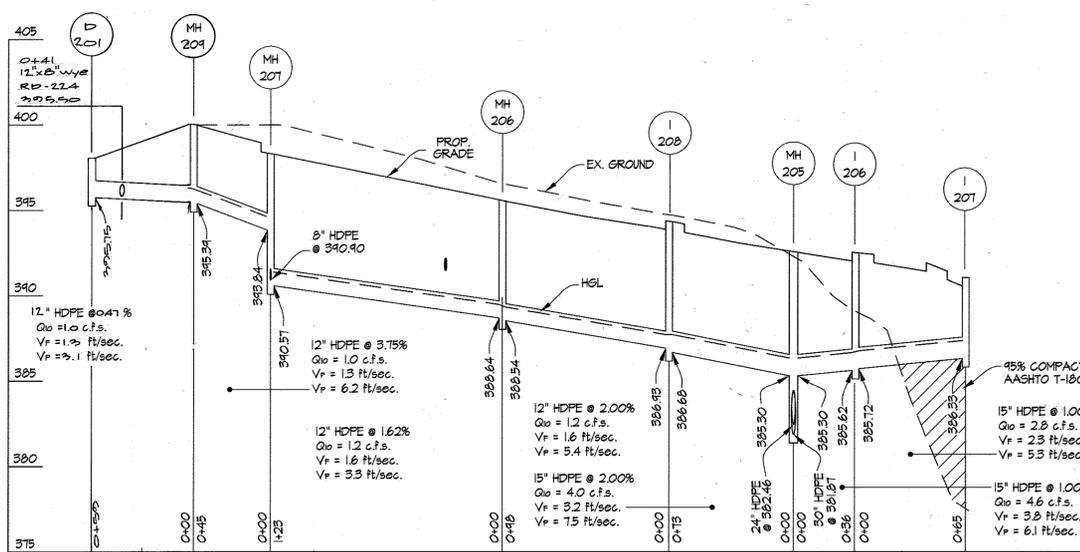
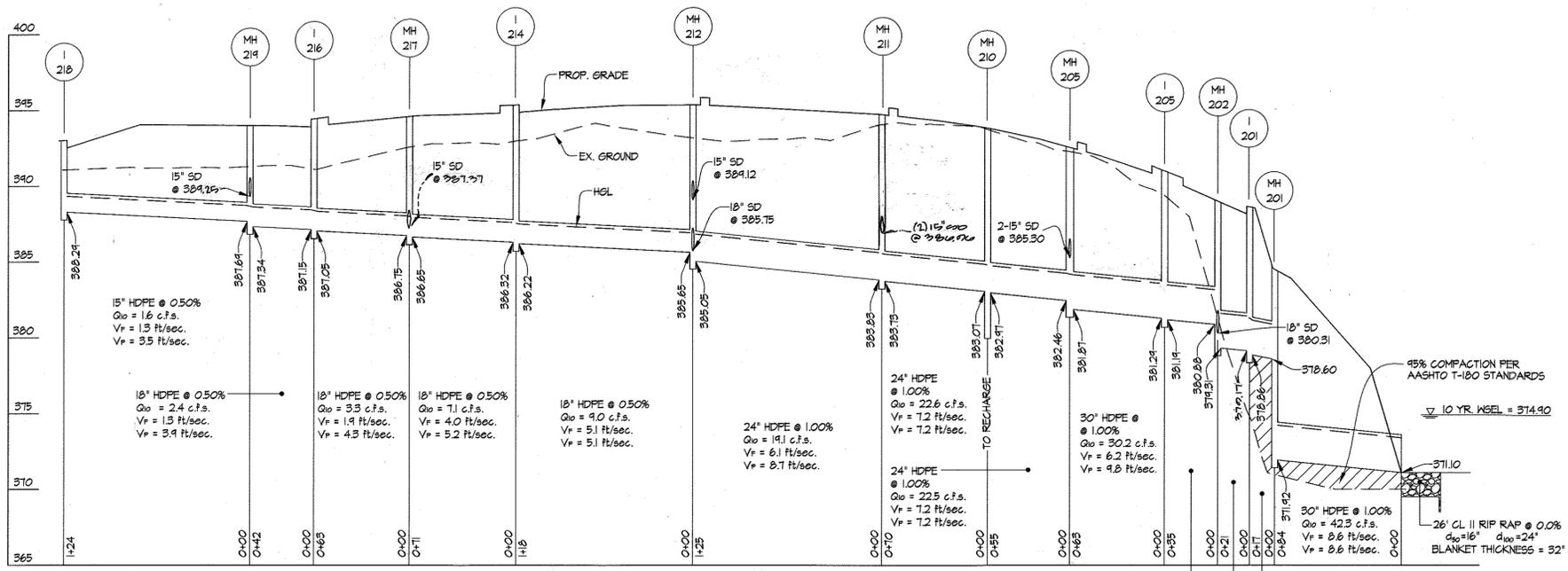
DATE	REVISION	BY	APPR.
07-11-16	REPLACEMENT SHEET - REV. BUILDING FOOTPRINTS, SHOW PAVILION AND STORAGE BUILDING.	gf	DEV.
01-11-12	ADDED OUTSIDE ACCESS FOR PROP. TENANT.	MSJ	DEV.
11-26-07	REV. CURB IN PARKING LOT & ADDED PURPOSE NOTE.	MSJ	DEV.

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - STORM DRAIN DRAINAGE AREA MAP  
**MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS**  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 18794 & 18795 (F-06-239)  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	11 OF 21

L:\CADD\DRAWINGS\2020\155015\SUP\155015-01-26.sheet.11.dwg 10/31/2006 11:07:43 AM EST

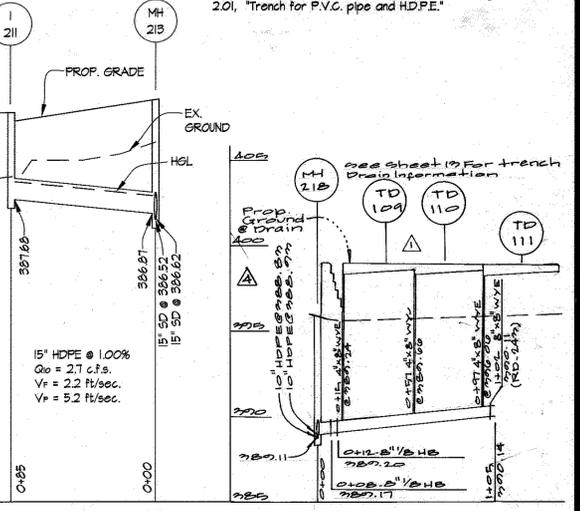
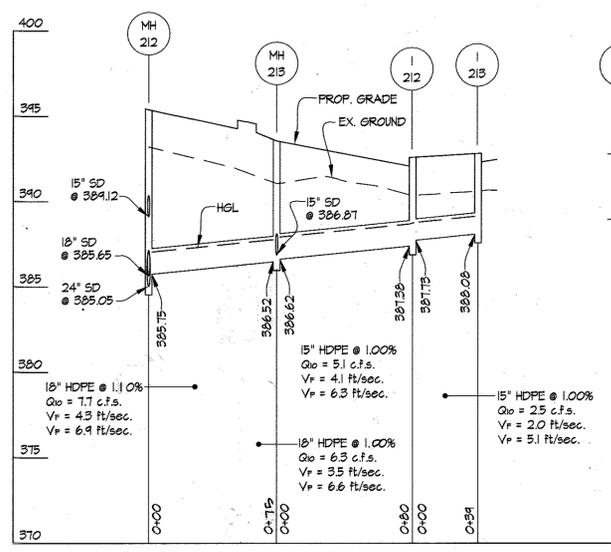
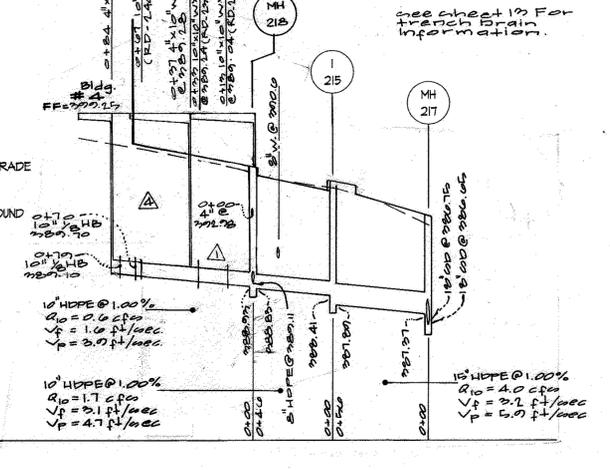
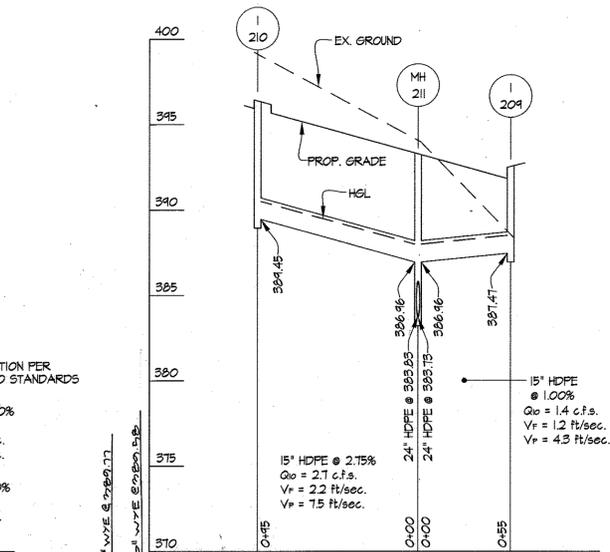


APPROVED  
 PLANNING BOARD of HOWARD COUNTY  
 DATE 04.09.2019



APPROVED  
 PLANNING BOARD of HOWARD COUNTY  
 DATE 10/26/06

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Approved: Howard County Department of Planning & Zoning  
 Director: [Signature] Date: 2/1/06  
 Chief, Division of Land Development: [Signature] Date: 1/24/07  
 Chief, Development Engineering Division: [Signature] Date: 1/17/07



STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-201	A-I O INLET	2'-6"	388.20	388.70	379.17	378.26	HO. CO. SD 4.41	N 542,984 E 1,339,849	
I-205	A-I O INLET	2'-6"	340.84	340.34	328.19	328.19	HO. CO. SD 4.41	N 542,984 E 1,339,849	
I-206	A-I O INLET	2'-6"	341.06	340.87	335.72	335.62	HO. CO. SD 4.40	N 542,968 E 1,339,724	
I-207	A-I O INLET	2'-6"	384.64	384.60	---	386.33	HO. CO. SD 4.40	N 543,052 E 1,339,434	
I-208	A-I O INLET	2'-6"	343.61	343.37	328.77	328.68	HO. CO. SD 4.40	N 543,064 E 1,340,000	
I-209	A-I O INLET	2'-6"	342.37	342.25	---	337.47	HO. CO. SD 4.40	N 543,171 E 1,339,965	
I-210	A-I O INLET	2'-6"	346.41	346.28	---	339.45	HO. CO. SD 4.40	N 543,186 E 1,339,821	
I-211	A-I O INLET	2'-6"	341.38	341.00	---	337.68	HO. CO. SD 4.41	N 543,177 E 1,339,965	
I-212	A-I O INLET	2'-6"	341.24	341.00	337.73	337.38	HO. CO. SD 4.41	N 543,186 E 1,339,821	
I-213	A-I O INLET	2'-6"	341.62	341.38	---	338.08	HO. CO. SD 4.41	N 543,302 E 1,339,974	
I-214	A-I O INLET	2'-6"	343.46	343.17	336.32	336.22	HO. CO. SD 4.41	N 543,220 E 1,340,015	
I-215	A-I O INLET	2'-6"	343.26	343.10	328.11	328.04	HO. CO. SD 4.41	N 543,481 E 1,339,871	
I-216	A-I O INLET	2'-6"	343.74	343.50	337.15	337.05	HO. CO. SD 4.41	N 543,404 E 1,340,004	
I-217	A-I O INLET	2'-6"	344.44	344.70	---	339.72	HO. CO. SD 4.41	N 543,420 E 1,339,940	
I-218	A-I O INLET	2'-6"	343.65	343.50	---	338.24	HO. CO. SD 4.41	N 543,420 E 1,339,940	
MH-201	STANDARD MANHOLE	5'-0"	---	321.20	318.60	317.42	HO. CO. G 5.13	N 542,941 E 1,339,854	
MH-202	STANDARD MANHOLE	5'-0"	---	388.84	380.88	374.31	HO. CO. G 5.13	N 542,965 E 1,339,825	
MH-205	STANDARD MANHOLE	5'-0"	---	341.32	335.70	331.87	HO. CO. G 5.13	N 543,054 E 1,339,405	
MH-206	STANDARD MANHOLE	4'-0"	---	344.60	328.04	328.94		N 543,066 E 1,339,734	
MH-207	STANDARD MANHOLE	4'-0"	---	348.42	343.84	332.97	HO. CO. G 5.12	N 543,181 E 1,339,636	
MH-209	STANDARD MANHOLE	4'-0"	---	400.00	345.44	345.34	HO. CO. G 5.12	N 543,104 E 1,339,908	
MH-210	STANDARD MANHOLE	5'-0"	---	342.86	327.07	321.05	HO. CO. G 5.13	N 543,180 E 1,339,915	
MH-211	STANDARD MANHOLE	4'-0"	---	343.35	328.76	328.73	HO. CO. G 5.12	N 543,306 E 1,339,921	
MH-212	STANDARD MANHOLE	4'-0"	---	344.00	334.12	335.05	HO. CO. G 5.12	N 543,301 E 1,339,946	
MH-213	STANDARD MANHOLE	4'-0"	---	341.82	336.87	336.52	HO. CO. G 5.12	N 543,301 E 1,339,946	
MH-217	STANDARD MANHOLE	4'-0"	---	343.14	327.37	326.65	HO. CO. G 5.12	N 543,504 E 1,339,830	
MH-218	STANDARD MANHOLE	4'-0"	---	346.00	327.11	328.84	HO. CO. G 5.12	N 543,502 E 1,339,832	
MH-219	STANDARD MANHOLE	4'-0"	---	347.56	334.25	337.34	HO. CO. G 5.12	N 543,587 E 1,339,841	
D-201	YARD INLET	---	---	342.20	---	343.75		N 543,201 E 1,339,563	

1 COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 2 NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.  
 NOTE: ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: 24-XXXX D

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (L.F.)	REMARKS
10"	HDPE	84	
15"	HDPE	600	
18"	HDPE	360	
24"	HDPE	250	
30"	HDPE	220	
8"	HDPE	151	
12"	HDPE	315	

• HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-12 by Hanco or an approved equal.  
 • Trench bedding to be provided per Howard County Detail G 201, "Trench for P.V.C. pipe and H.D.P.E."

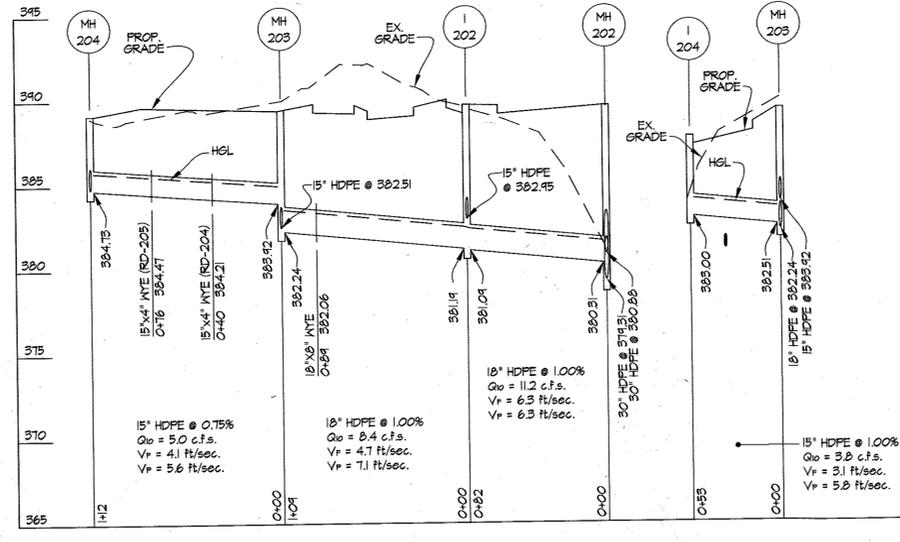
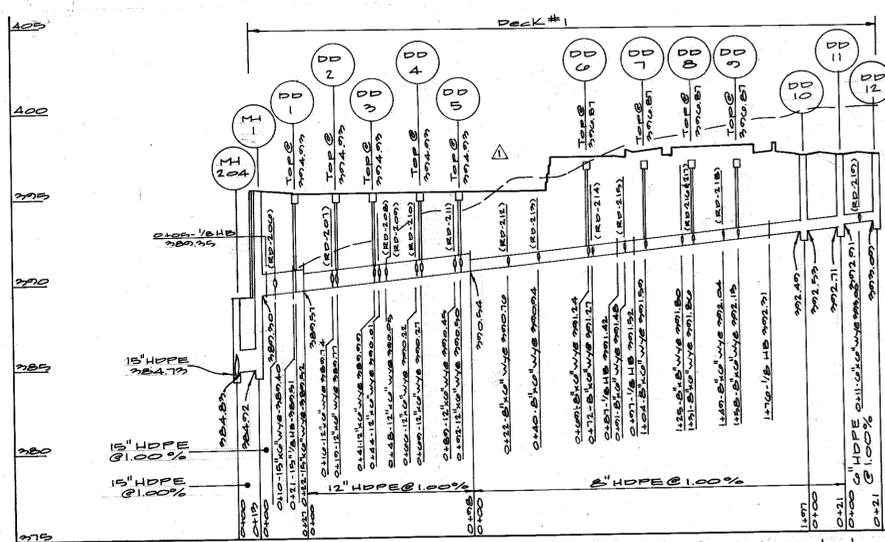
GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20886  
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
11-20-07	Rev. storm drain profiles, deck drains, roof drains & H.C. xing Per Plan changes	WJ	DEV
11-20-07	Rev. notes to Bldg's 344, removed grease interceptor & removed drain detail	WJ	DEV

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

STORM DRAIN PROFILES  
 MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12-122-6 (P-06-239)  
 ELECTION DISTRICT No. 5

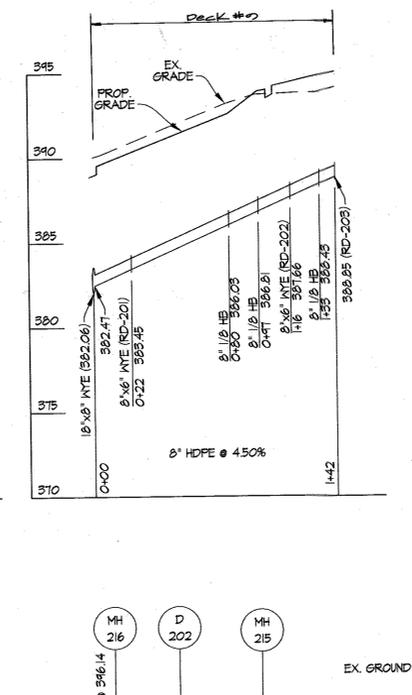
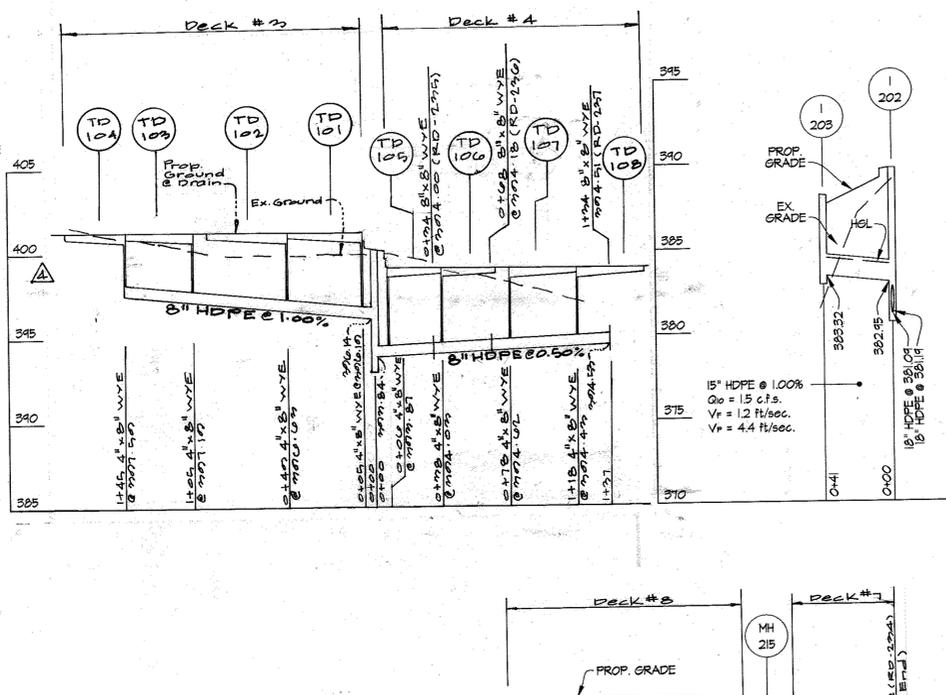
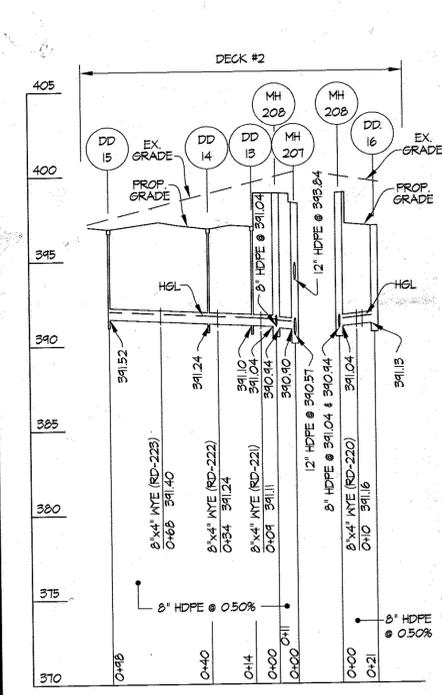
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	12 OF 21



STRUCTURE SCHEDULE									
NO	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STD. DETAIL	LOCATIONS	REMARKS
			UPPER	LOWER	UPPER	LOWER			
I-202	A-10 INLET	2'-6"	389.44	389.69	382.95	381.09	HO. CO. SD 4.40	N 542,917 E 1,339,883	
I-203	A-10 INLET	2'-6"	388.07	388.07	---	383.32	HO. CO. SD 4.40	N 542,927 E 1,339,844	
I-204	A-10 INLET	2'-6"	387.75	387.75	---	383.00	HO. CO. SD 4.40	N 542,808 E 1,339,654	
MH-1	Standard Manhole	2'-0"	395.48	---	384.71	384.71	HO. CO. G-5.12	N 542,855 E 1,339,144	
MH-202	STANDARD MANHOLE	4'-0"	388.89	---	380.88	379.31	HO. CO. G 5.12	N 542,965 E 1,339,925	
MH-203	STANDARD MANHOLE	4'-0"	389.47	---	383.42	382.24	HO. CO. G 5.12	N 542,885 E 1,339,767	
MH-204	STANDARD MANHOLE	4'-0"	389.04	---	384.83	384.73	HO. CO. G 5.12	N 542,840 E 1,339,639	
MH-207	STANDARD MANHOLE	4'-0"	398.24	---	393.84	390.57	HO. CO. G 5.12	N 543,161 E 1,339,636	
MH-208	STANDARD MANHOLE	4'-0"	399.00	---	391.04	390.94	HO. CO. G 5.12	N 543,148 E 1,339,610	
MH-212	STANDARD MANHOLE	4'-0"	394.00	---	384.12	385.03	HO. CO. G 5.12	N 543,301 E 1,339,996	
MH-214	STANDARD MANHOLE	4'-0"	397.70	---	391.43	391.38	HO. CO. G 5.12	N 543,343 E 1,339,712	
MH-215	STANDARD MANHOLE	4'-0"	399.86	---	392.91	392.58	HO. CO. G 5.12	N 543,435 E 1,339,636	
MH-216	STANDARD MANHOLE	4'-0"	400.13	---	396.14	397.67	HO. CO. G 5.12	N 543,490 E 1,339,927	
D-202	STANDARD MANHOLE	4'-0"	399.50	---	393.33	393.23		N 543,418 E 1,339,666	

NOTE: Elevations shown are to invert of main unless otherwise noted.

COORDINATE POINT GIVEN IS TO THE CENTERLINE OF STRUCTURE AT THE FACE OF CURB FOR INLETS AND TO THE CENTERLINE OF STRUCTURE FOR MANHOLES AND END SECTIONS.  
 NYLOPLAST - ADS DRAIN BASIN OR APPROVED EQUAL.  
 ALL WATER AND SEWER CROSSINGS SHOWN ARE PER CONTRACT: #44-4401-D (water) and #24-4103-D (sewer).



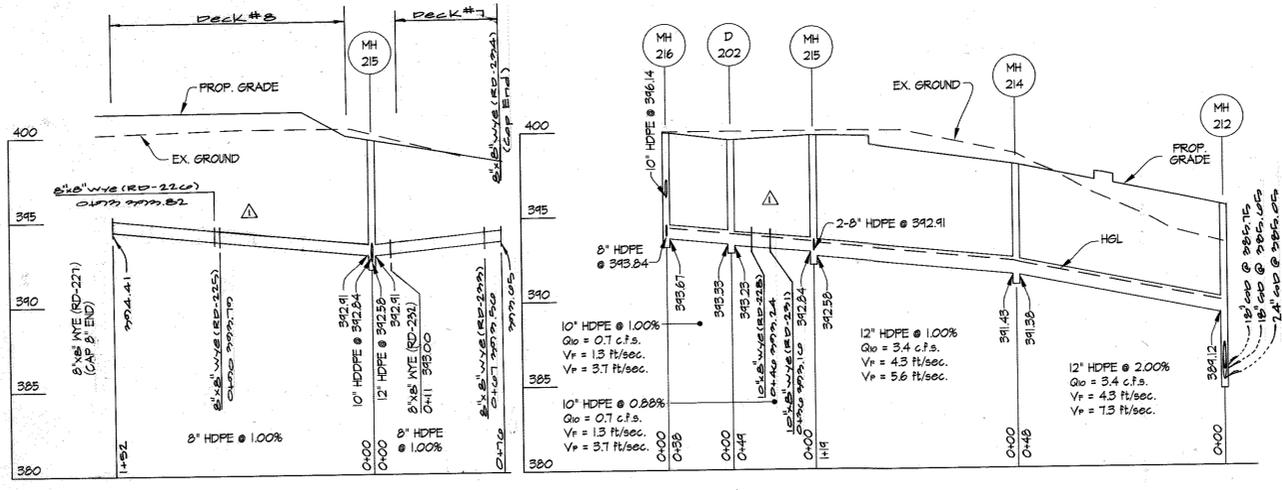
DECK DRAIN*	STRUCTURE		DECK DRAIN*	STRUCTURE	
	TOP	INV @ E		TOP	INV @ E
DD-1	394.93	389.52	DD-13	397.00	391.10
DD-2	394.93	389.77	DD-14	397.00	391.28
DD-3	394.93	390.00	DD-15	397.00	391.51
DD-4	394.93	390.23	DD-16	397.00	391.73
DD-5	394.93	390.53			
DD-6	396.87	391.31			
DD-7	396.87	391.66			
DD-8	396.87	391.23			
DD-9	396.87	392.23			
DD-10	397.10	392.64			
DD-11	397.10	392.82			
DD-12	397.10	393.00			

\*All Deck Drains to be Nyloplast-ADS Drain Basin or Approved Equal.

PIPE SCHEDULE			
SIZE	TYPE	QUANTITY (LF)	REMARKS
15"	HDPE	240	
12"	HDPE	101	
8"	HDPE	21	
6"	HDPE	1000	
10"	HDPE	87	
12"	HDPE	205	

HDPE indicates High Density Polyethylene pipe, such as N-12 by ADS, or H-12 by Hancox or an approved equal.  
 Trench bedding to be provided per Howard County Detail G 2.01.  
 \*Trench for P.V.C. pipe and HDPE.\*

Trench Drain	Top	Grate Length	inv. @ E	Trench Drain	Top	Grate Length	inv. @ E
TD-101	401.26	44 L.F.	396.19	TD-108	401.26	40 L.F.	394.43
TD-102	401.26	48 L.F.	396.69	TD-109	401.14	40 L.F.	389.24
TD-103	401.26	40 L.F.	397.17	TD-110	401.14	40 L.F.	399.00
TD-104	401.26	36 L.F.	397.50	TD-111	401.14	40 L.F.	390.00
TD-105	401.26	32 L.F.	397.87	TD-112	401.15	38 L.F.	392.78
TD-106	401.26	32 L.F.	398.03	TD-113	401.15	36 L.F.	392.28
TD-107	401.26	40 L.F.	398.62	TD-114	401.15	20 L.F.	389.77



APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 04.09.2010

APPROVED  
 PLANNING BOARD OF HOWARD COUNTY  
 DATE 10/26/06

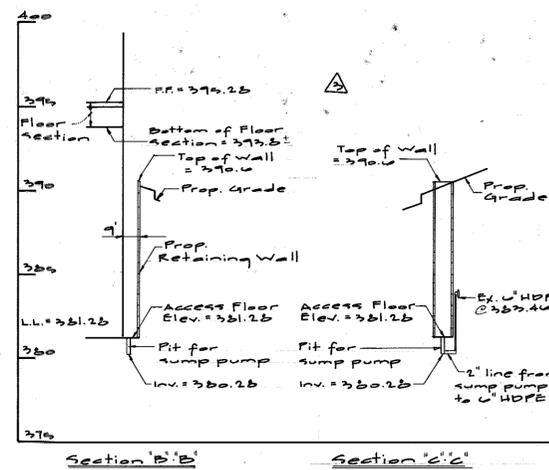
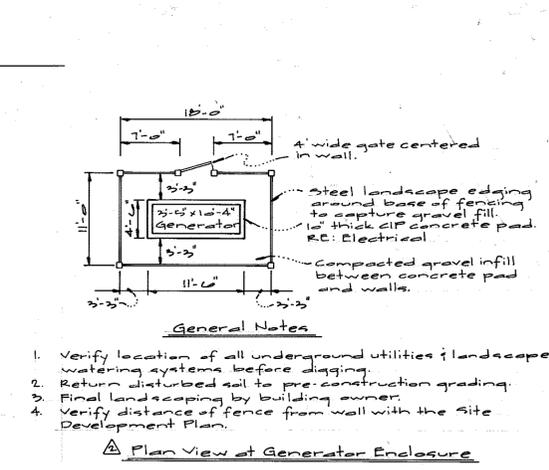
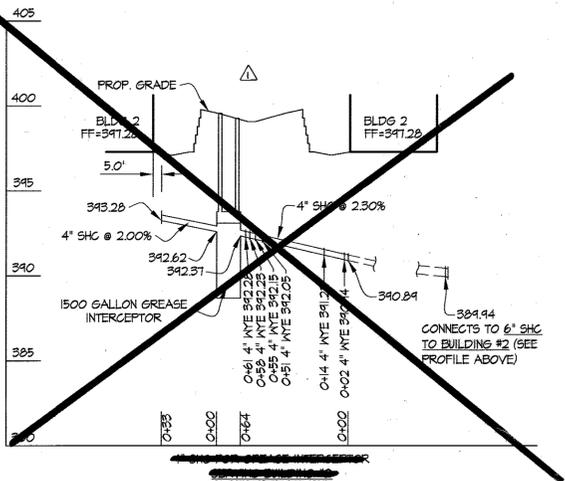
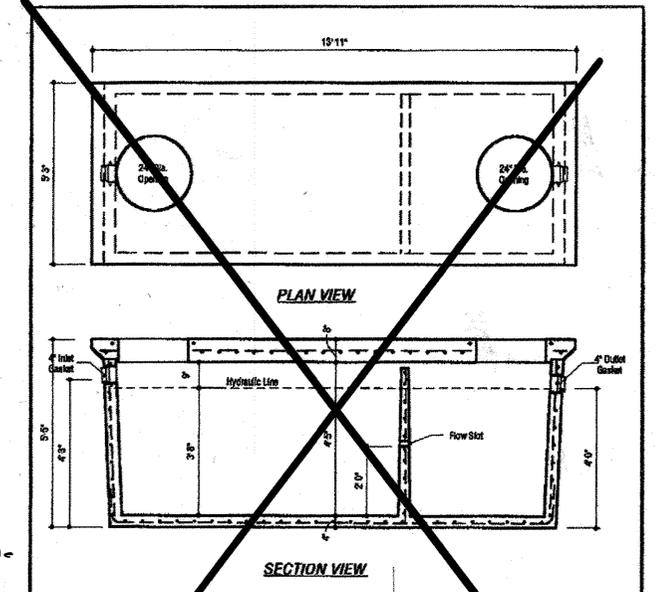
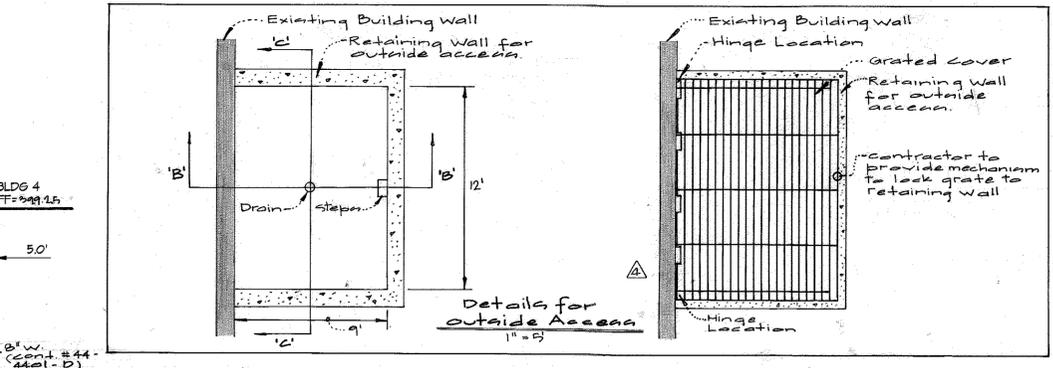
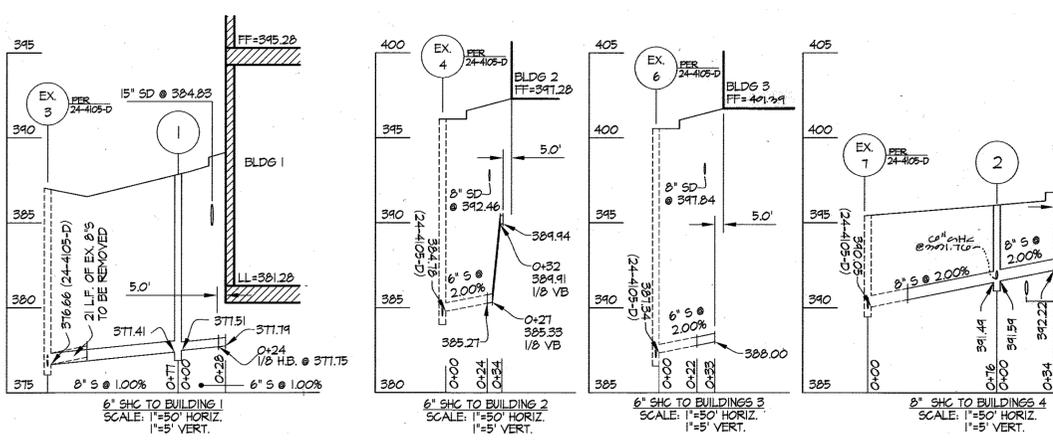
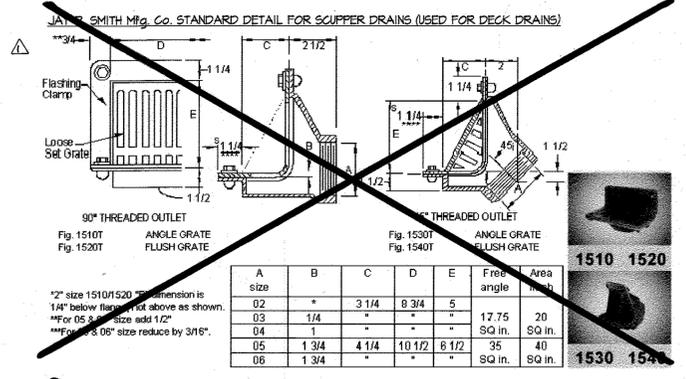
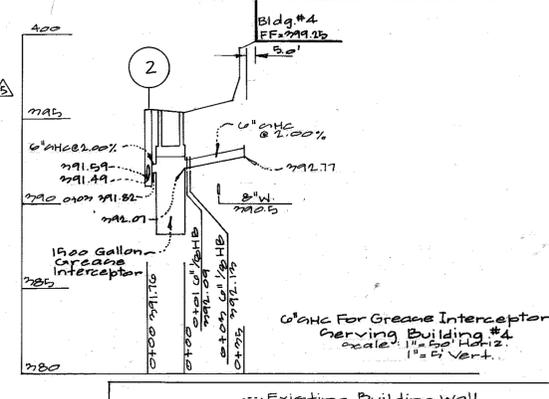
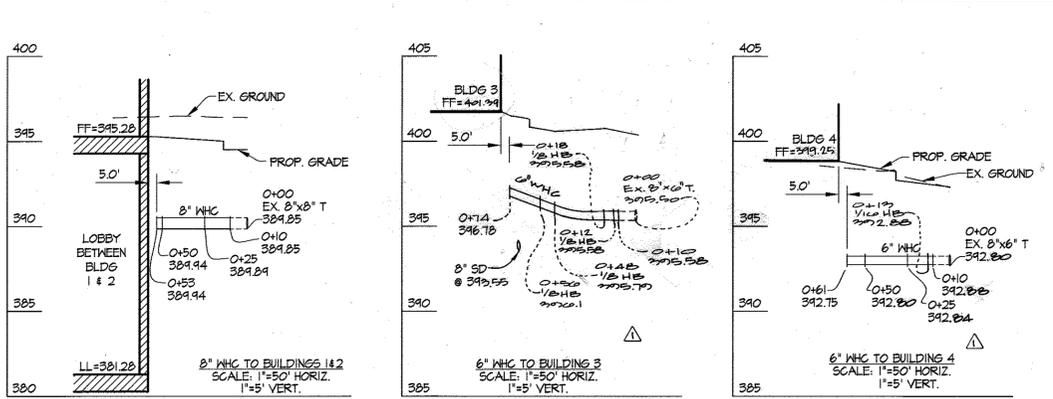
STATE OF MARYLAND  
 APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS  
 HOWARD COUNTY HEALTH DEPARTMENT  
 Director: *Martha DeLoyle* Date: 2/1/07  
 Chief, Division of Land Development: *Carly Hamilton* Date: 1/26/07  
 Chief, Development Engineering Division: *John DeLoyle* Date: 1/17/07

GLWGUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3609 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
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STORM DRAIN PROFILES  
 MAPLE LAWN FARMS  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12-24-5 (F-06-239)  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	13 OF 21

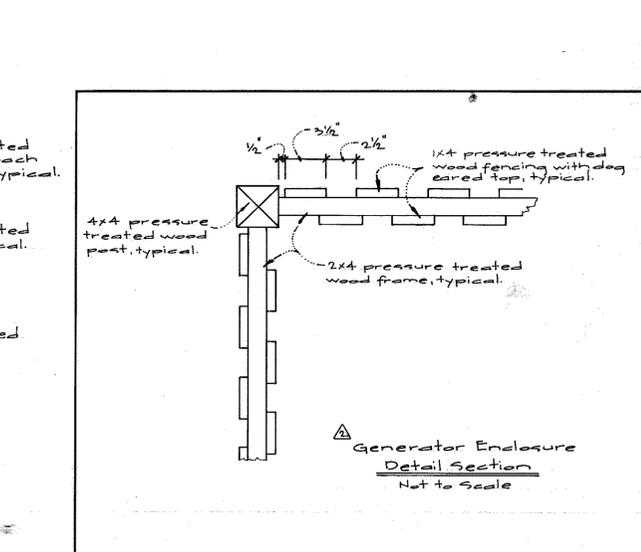
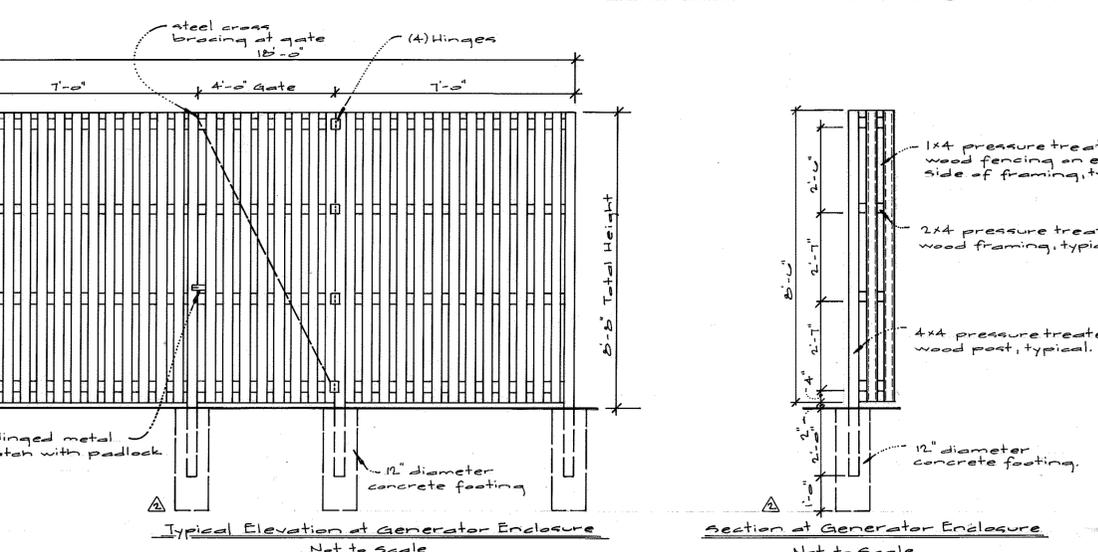


**DESIGN DATA & GENERAL NOTES**

- Concrete strength 4000 psi, 28 days. Density = 150 pcf.
- Cement - Portland Type I/II ASTM C 150-52.
- Aggregate & plasticizer per ASTM C 200-85 & C 494-82.
- Reinforcing per ASTM A 618, Grade 60, concrete. Min. 1-1/2" cover.
- Weld, base, & top designed for 15-20 loading.
- Top slab covered with safety matting.
- Minimum 6" of compact cover over top slab.

**MBI**  
Mayer Bros., Inc. 6264 Race Road, Ellicott City, MD 21037, Tel: 410.796.1434, Fax: 410.796.1436, www.mayertobrothers.com

**1500 GALLON TANK**  
Heavy Traffic Rated  
Stock Item (Approx. Wt. - 16,000 lbs.)  
Dwg. No. 1500TR No Scale Jan. 1, 2000



**APPROVED**  
PLANNING BOARD of HOWARD COUNTY  
DATE 04.09.2015

**APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS**  
HOWARD COUNTY HEALTH DEPARTMENT

**APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING**

Director: *Janice H. Leuge* 3/1/03  
Chief, Division of Land Development: *Wanda H. Smith* 1/26/03  
Chief, Development Engineering Division: *Wanda H. Smith* 1/17/02

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20866  
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
11-22-2010	Added Grease Interceptor Per plan changes	gt	DEV
12-19-12	Revise Outside Access & details	gt	DEV
01-11-12	Added storm drain for outside access & details	gt	DEV
03-20-03	Add generator enclosure details	gt	DEV
11-20-07	Rev. which to bldg #4 removed grease interceptor and removed drain detail	wjd	DEV
11-20-07		wjd	DEV

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**UTILITY PROFILES**  
**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A.5, A.6, & A.7  
PLAT No. 1270A-5 (P-06-239)

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	14 OF 21

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STORMWATER MANAGEMENT SUMMARY FOR FACILITY AT ENTRANCE FROM OLD COLUMBIA ROAD  
 DRAINAGE AREA = 7.5 AC. OR 0.011 SQ. MILES  
 PRE-DEVELOPMENT  
 CURVE NUMBER = 71 TIME OF CONCENTRATION = 0.25 HOURS  
 POST-DEVELOPMENT  
 CURVE NUMBER = 96 TIME OF CONCENTRATION = 0.11 HOURS  
 WATER QUALITY VOLUME REQUIRED: 19,449 C.F. PROVIDED: 23,246 C.F.  
 RECHARGE VOLUME REQUIRED: 2,913 C.F. PROVIDED: 2,970 C.F.  
 CHANNEL PROTECTION VOLUME REQUIRED: 38,518 C.F. PROVIDED: 42,888 C.F.  
 1 YEAR DISCHARGE = 0.41 C.F.S.  
 100 YEAR DISCHARGE = 60.11 C.F.S.

1. THE FACILITY WILL BE PRIVATELY OWNED AND MAINTAINED. AN OPEN SPACE LOT WILL BE CONVEYED TO A COMMERCIAL OWNER'S ASSOCIATION.
2. THE FACILITY WILL BE A P-2 WET POND WITH EXTENDED DETENTION.
3. THE FACILITY HAS AN 'A' POND CLASSIFICATION.

SEDIMENT BASIN (SWM FACILITY) INFORMATION

PRE-DEVELOPMENT DRAINAGE AREA	7.5 ACRES
POST-DEVELOPMENT DRAINAGE AREA	7.5 ACRES
TOTAL STORAGE REQUIRED (NET VOLUME @ 1 YR. TSSM)	64,161 C.F.
TOTAL STORAGE PROVIDED	64,161 C.F.
RISER DIMENSIONS	15' X 4'
BARREL SIZE	30" RCCP
RISER CREST ELEVATION	314.30
EMBANKMENT ELEVATION (TOP OF DAM)	318.00
OUTLET ELEVATION (LIMIT OF NET VOLUME)	311.20
CLEANOUT ELEVATION	308.60
BOTTOM ELEVATION	306.00
BOTTOM DIMENSIONS	VARIABLES
PRE-DEVELOPMENT 1 YEAR DISCHARGE	3.75 C.F.S.
POST-DEVELOPMENT 1 YEAR DISCHARGE (UNMANAGED)	20.49 C.F.S.
POST-DEVELOPMENT 1 YEAR DISCHARGE (MANAGED)	0.40 C.F.S. @ 314.16
NET VOLUME REQUIRED	13,500 CF
NET VOLUME PROVIDED	23,856 CF @ 311.20
DRY VOLUME REQUIRED	40,911 CF
DRY VOLUME PROVIDED	40,911 CF @ 314.16
Overflow \ Overflow	6.65 C.F.S./2.64 C.F.S. = 2.52

PRE-DEVELOPMENT

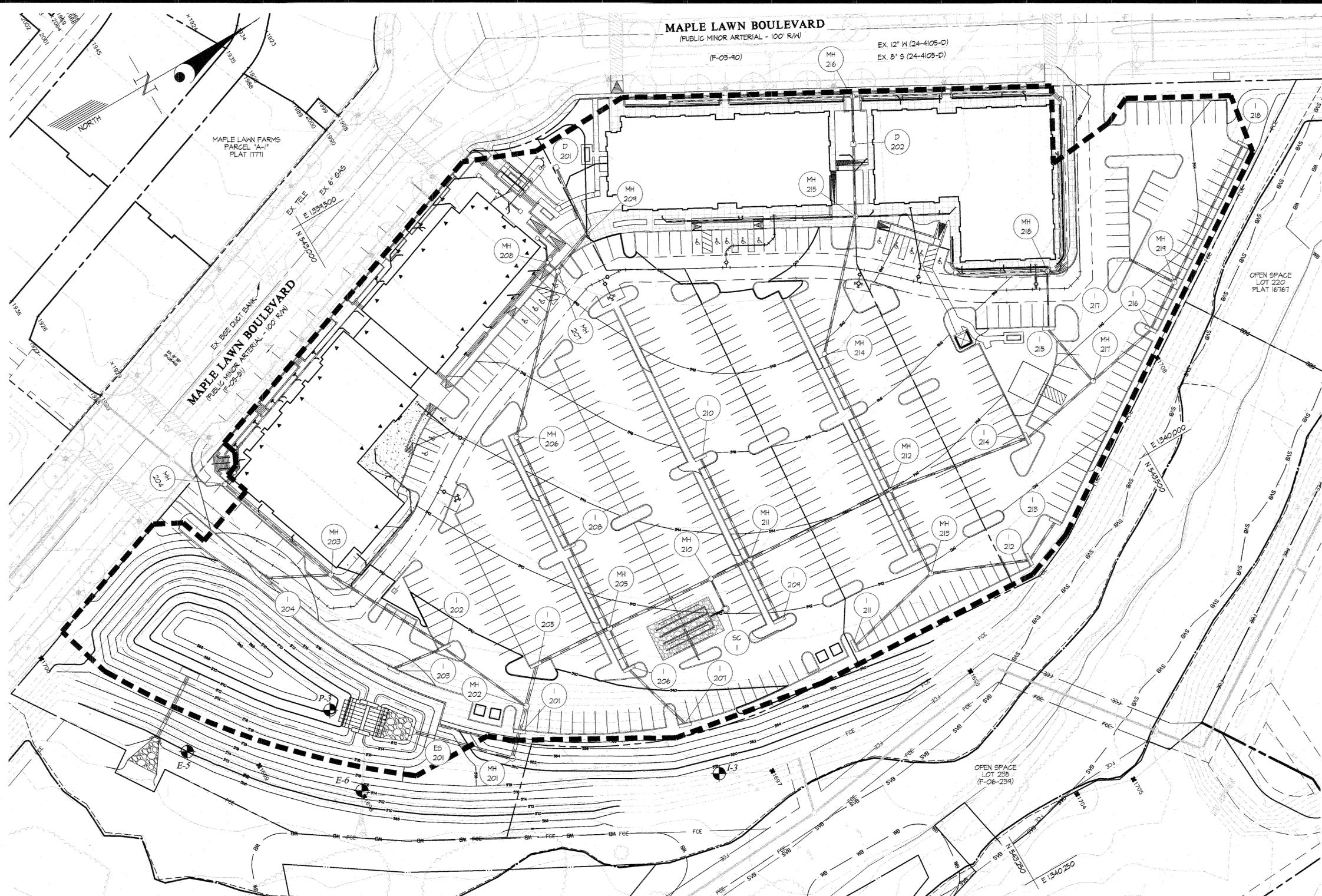
SEGMENT	DESCRIPTION	TIME
(A) - (B)	100' OVERLAND FLOW @ 3.0% (GRASS, n=0.24)	0.22 HR.
(B) - (C)	440' SHALLOW CONC. FLOW (UNPAVED) @ 8.2% (v=4.6/SEC.)	0.03 HR.
	TOTAL	0.25 HR.

POST DEVELOPMENT

SEGMENT	DESCRIPTION	TIME
(A) - (B)	5 MINUTES TO FIRST INLET	0.08 HR.
(B) - (C)	670' PIPE FLOW @ 1.0'/SEC.	0.03 HR.
	TOTAL	0.11 HR.

	POND SUMMARY		
	BEFORE	UNMANAGED	MANAGED
1 YR	3.75 C.F.S.	21.06 C.F.S.	0.41 C.F.S. @ 314.21
2 YR	6.65 C.F.S.	26.38 C.F.S.	3.91 C.F.S. @ 314.41
10 YR	11.91 C.F.S.	49.06 C.F.S.	33.93 C.F.S. @ 314.90
100 YR		63.16 C.F.S.	60.11 C.F.S. @ 315.19
	TEMPORARY SWM @ POND		
1 YR	3.75 C.F.S.	21.06 C.F.S.	0.40 C.F.S. @ 314.26
2 YR	6.65 C.F.S.	26.38 C.F.S.	3.91 C.F.S. @ 314.41
10 YR	11.91 C.F.S.	49.06 C.F.S.	33.93 C.F.S. @ 314.90

NOTE: SEE SHEET #8 FOR SEDIMENT BASIN GRADING.



APPROVED  
 PLANNING BOARD  
 OF HOWARD COUNTY  
 DATE 04/09/2015

APPROVED FOR PUBLIC WATER & SEWERAGE SYSTEMS,  
 HOWARD COUNTY HEALTH DEPARTMENT  
 County Health Officer \_\_\_\_\_ Date \_\_\_\_\_  
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING  
 Director *Nathan Joffe* 10-31-16  
 Chief, Division of Land Development *Karl Schaefer* 10-31-16  
 Chief, Development Engineering Division *Phil Edelman* 10-13-16

PROFESSIONAL CERTIFICATION  
 I HEREBY CERTIFY THAT THESE PLANS  
 WERE PREPARED OR APPROVED BY ME  
 AND THAT I AM A DULY LICENSED  
 PROFESSIONAL ENGINEER UNDER THE  
 LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO.: 12975  
 EXPIRATION DATE: MAY 26, 2018  
 7/14/16 *Old*

PURPOSE NOTE:  
 THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES  
 TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4.  
 THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

THE PURPOSE OF THIS PLAN IS TO SHOW STORMWATER DRAINAGE AREAS ONLY !!

**GLW** GUTSCHICK LITTLE & WEBER, P.A.  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-889-2524 FAX: 301-421-4186

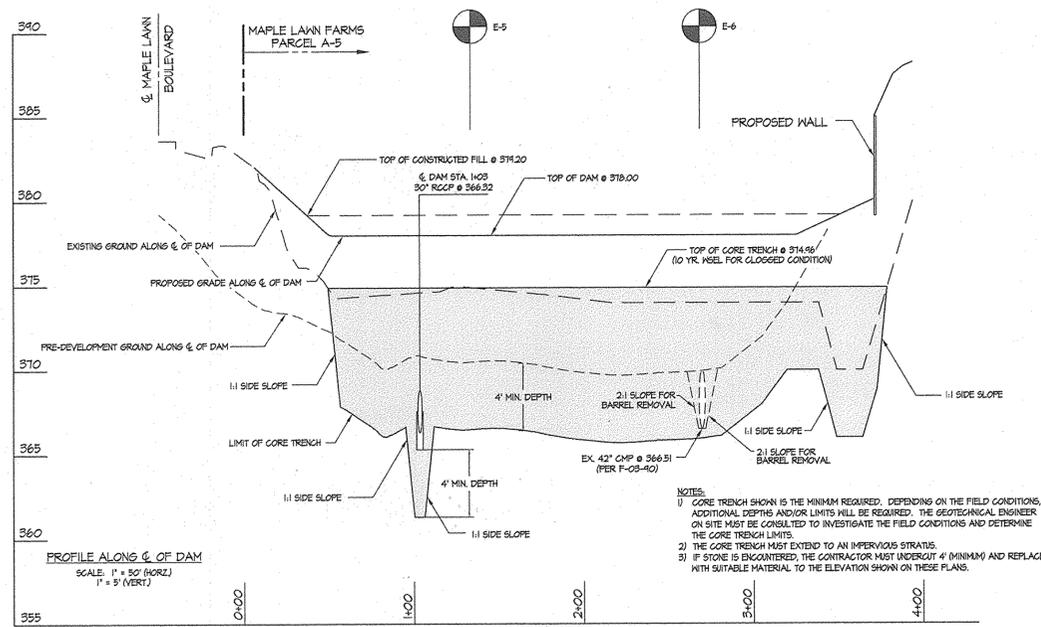
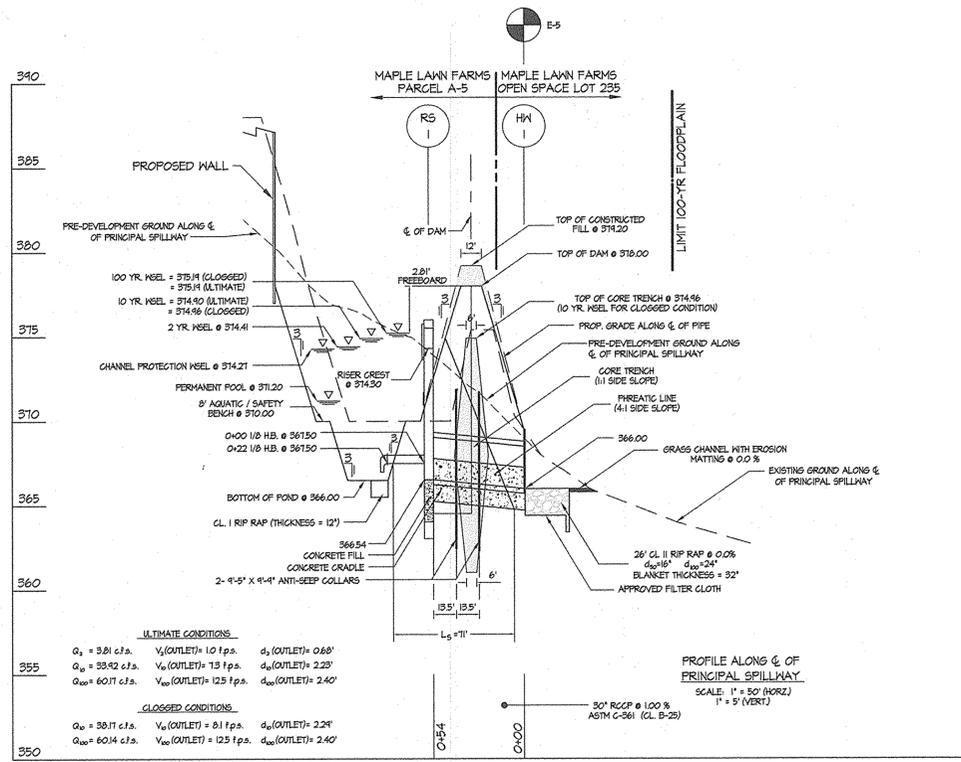
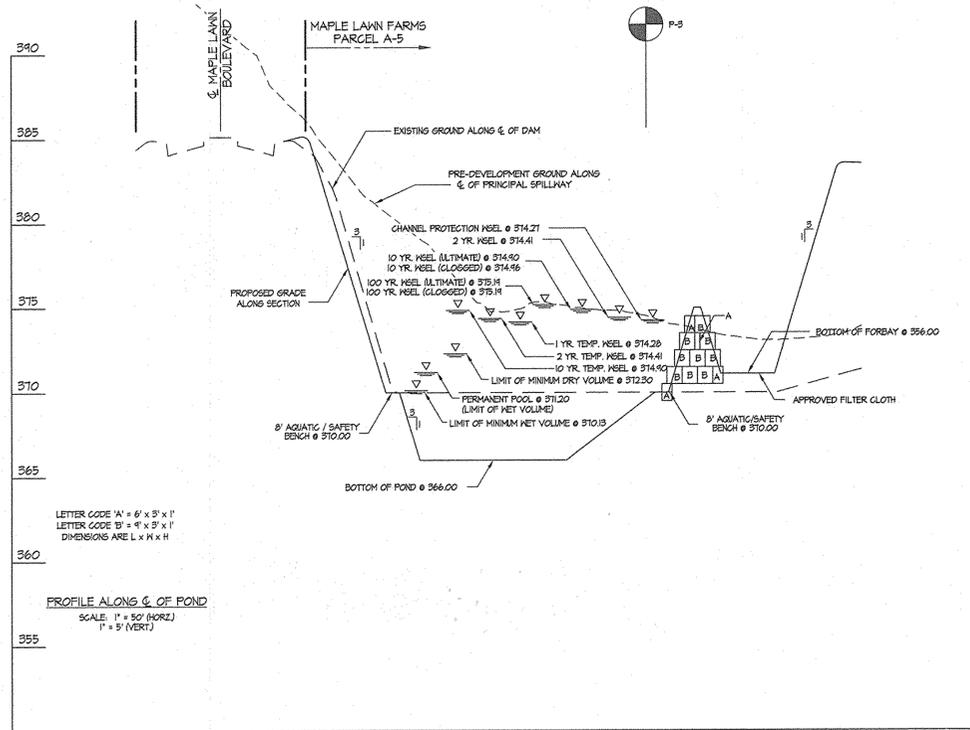
DATE	REVISION	BY	APPR.
07-11-16	REPLACEMENT SHEET - REV. BUILD. FOOTPRINTS, SHOWN PAVILION AND STORAGE BUILDING.	ST	DEV.
11-28-07	REV. CURB IN PARKING LOT, REMOVED GREASE INTERCEPTOR & ADDED PURPOSE NOTE.	MSJ	DEV.

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: MARK BENNETT  
 410-484-8400

REVISED - STORMWATER MANAGEMENT DRAINAGE AREA MAP  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6 & A-7  
 PLAT No. 18794 & 18795 (F-06-239)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	15 OF 21

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**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer/Builder: *[Signature]* Date: 11-2-06

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Signature: *[Signature]* Date: 1/16/07  
Howard Soil Conservation District



**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Engineer's Signature: *[Signature]* Date: 11/2/06

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

Signature: *[Signature]* Date: 1/16/07  
Natural Resources Conservation Service

**APPROVED**  
PLANNING BOARD  
of HOWARD COUNTY

DATE: 10/26/06  
15

Approved for Public Water & Sewerage: *[Signature]*  
Approved: Howard County Planning & Zoning Director: *[Signature]* Date: 1/16/07  
Chief, Division of Land Development: *[Signature]* Date: 1/17/07  
Chief, Development Engineering Division: *[Signature]* Date: 1/17/07

**GLWGUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK  
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PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

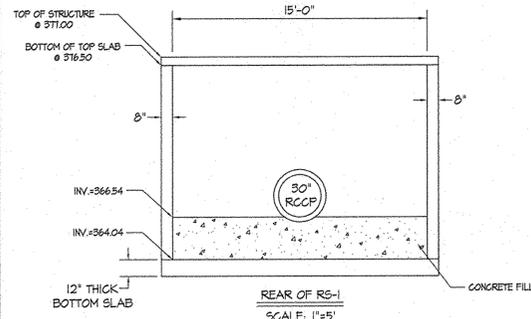
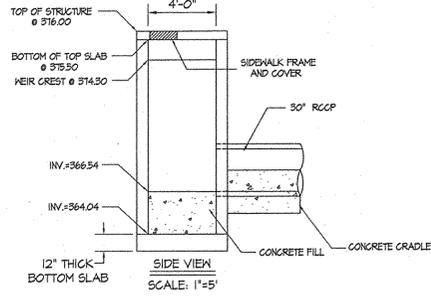
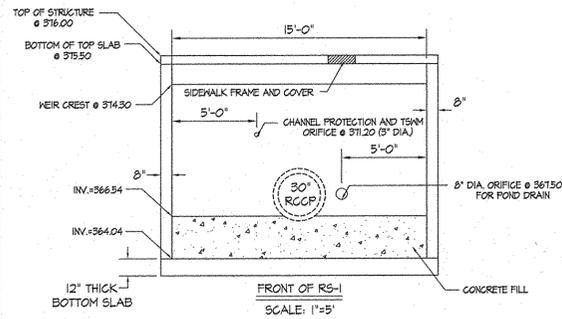
**STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS**

**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, & A-7  
PLAT No. 12724-5 (F-06-239)

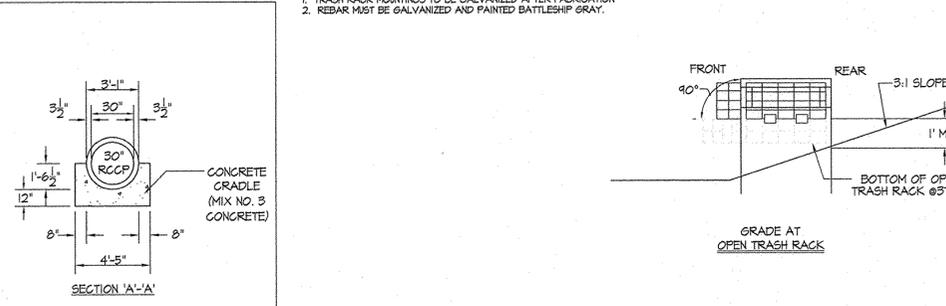
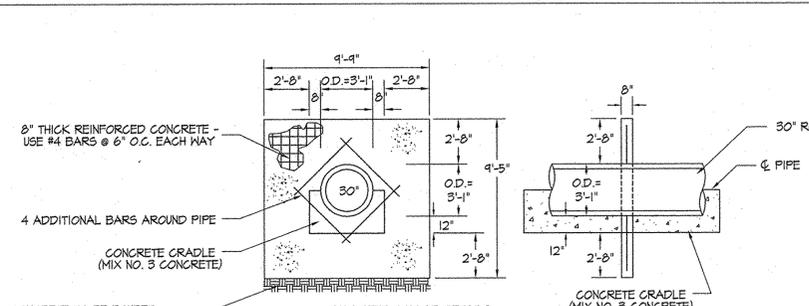
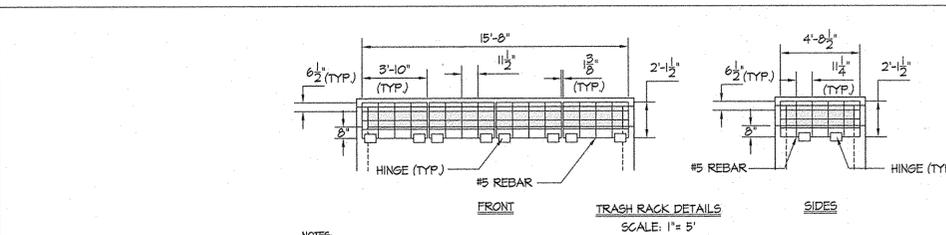
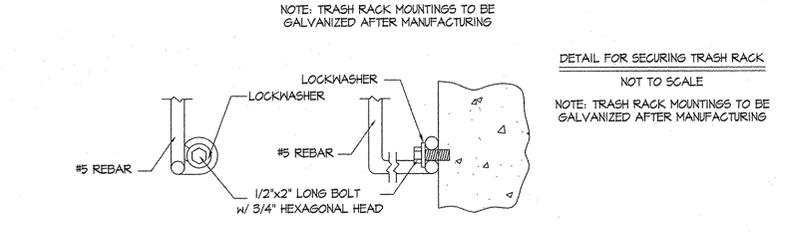
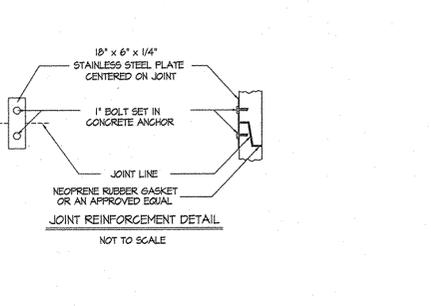
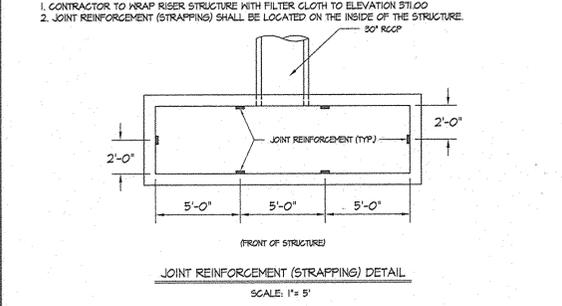
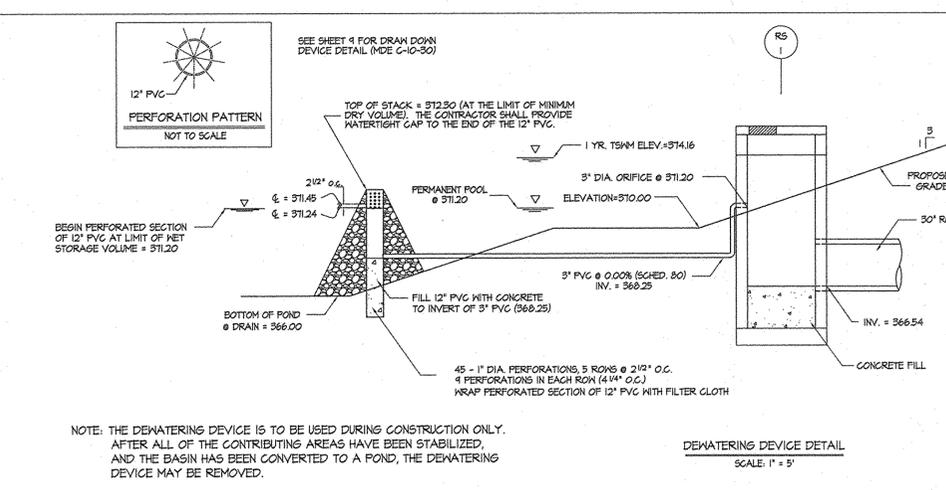
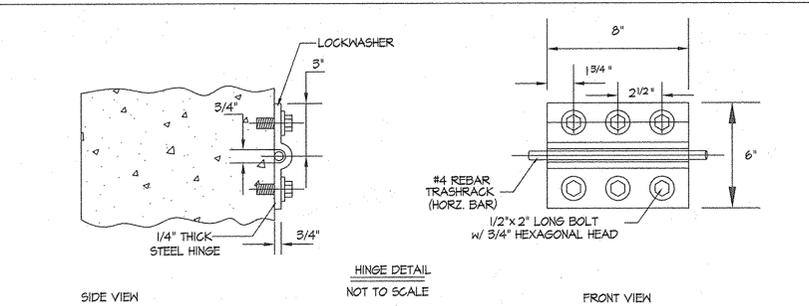
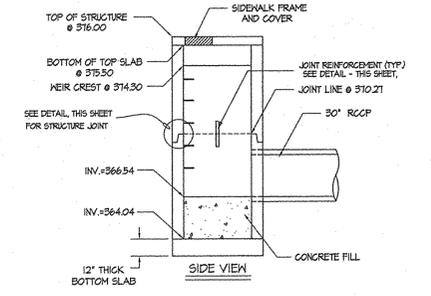
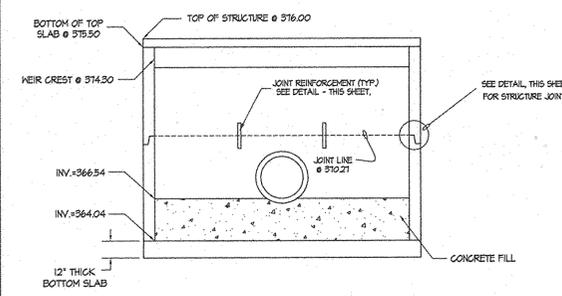
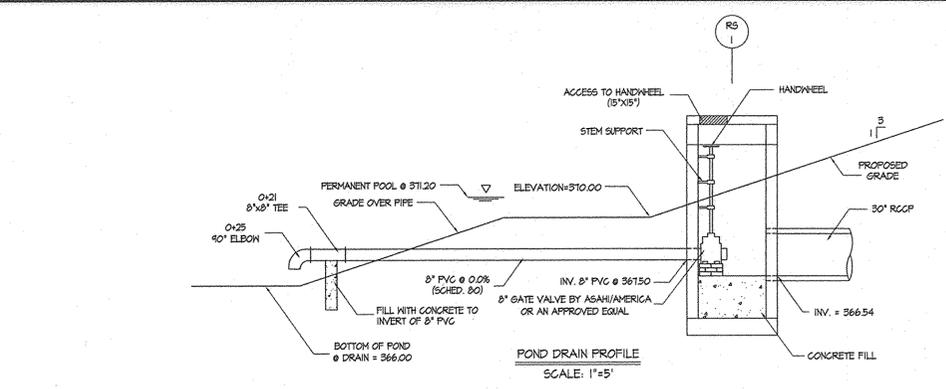
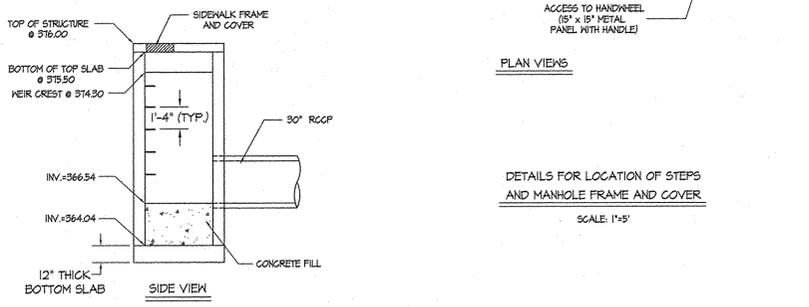
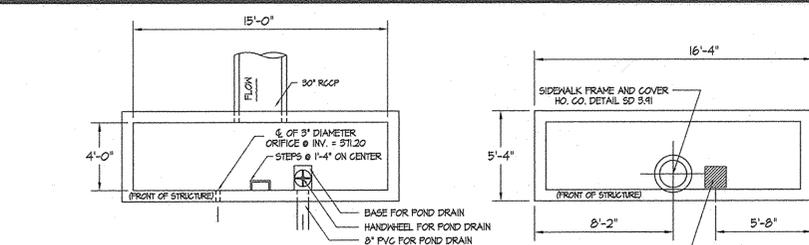
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	16 OF 21

ELECTION DISTRICT No. 5

HOWARD COUNTY, MARYLAND



- NOTES:  
 1. NEIR OPENINGS WILL BE PROVIDED ON THE FRONT AND BOTH SIDES OF RS-1  
 2. CONTRACTOR MUST PROVIDE RUBBER GASKETS AT THE PIPE JOINTS ALONG 30" RCCP  
 3. THE FIRST PIPE JOINT MUST BE WITHIN 4 FEET OF THE RISER STRUCTURE  
 4. CONTRACTOR MUST USE A MASTIC GROUT WHERE THE 30" RCCP CONNECTS TO THE RISER



**APPROVED PLANNING BOARD OF HOWARD COUNTY**  
 DATE: 10/26/06  
 Approved For Public Water & Sewerage System  
 Approved: Howard County Department of Planning & Zoning  
 Director: [Signature] Date: 1/6/07  
 Chief, Division of Land Development: [Signature] Date: 1/26/07  
 Chief, Development Engineering Division: [Signature] Date: 1/17/07

**DEVELOPER'S/BUILDER'S CERTIFICATE**  
 "I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District."  
 Signature of Developer/Builder: [Signature] Date: 11-2-06

**ENGINEER'S CERTIFICATE**  
 "I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."  
 Howard Soil Conservation District: [Signature] Date: 1/6/07  
 Natural Resources Conservation Service: [Signature] Date: 1/4/07

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK  
 BURTONSVILLE, MARYLAND 20866  
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:  
 G&R MAPLE LAWN INC.  
 1829 REISTERSTOWN ROAD  
 SUITE 300 WOODHOLME CENTER  
 BALTIMORE, MD 21208  
 ATTN: CHARLIE O'DONOVAN  
 410-484-8400

**STORMWATER MANAGEMENT PROFILES, NOTES AND DETAILS**  
**MAPLE LAWN FARMS**  
 MIDTOWN DISTRICT - AREA 2  
 MEDICAL & GENERAL OFFICE BUILDINGS  
 PARCELS A-5, A-6, & A-7  
 PLAT No. 12-2-2-1 (P-06-239)  
 ELECTION DISTRICT No. 5  
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	17 OF 21

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**Operation & Maintenance Schedule  
(For privately owned & maintained  
Retention Pond)**

**Routine Maintenance (by H.O.A.)**

1. Facility shall be inspected annually and after major storms. Inspections shall be performed during wet weather to determine if the pond is functioning properly.
2. Top and side slopes of the embankment shall be mowed a minimum of two (2) times per year, once in June and once in September. Other side slopes and maintenance access shall be mowed as needed.
3. Debris and litter shall be removed during regular mowing operations as needed.
4. Visible signs of erosion in the pond as well as the rip-rap or gabion outlet area shall be repaired as soon as it is noticed.

**Non-Routine Maintenance (by County)**

1. Structural components of the pond such as the dam, the riser, and the pipes shall be repaired upon the detection of any damage. The components shall be inspected during routine maintenance operations.
2. Sediment shall be removed from the pond, and forebay, no later than when the capacity of the pond, is half-full of sediment or when deemed necessary for aesthetic reasons, upon approval from the Department of Public Works.

**CONSTRUCTION SPECIFICATIONS**

These specifications are appropriate to all ponds facility number 1 & 3. All references to ASTM and AASHTO specifications apply to the most recent version.

**Site Preparation**

Areas designated for borrow areas, embankment, and structural works shall be cleared, grubbed and stripped of topsoil. All trees, vegetation, roots and other objectionable material shall be removed. Channel banks and sharp breaks shall be sloped to no steeper than 1:1. All trees shall be cleared and grubbed within 20 feet of the toe of the embankment.

Areas to be covered by the reservoir will be cleared of all trees, brush, logs, fences, rubbish and other objectionable material unless otherwise designated on the plans. Trees, brush, and stumps shall be cut approximately level with the ground surface.

All cleared and grubbed material shall be disposed of outside and below the limits of the dam and reservoir as directed by the owner or his representative. When specified, a sufficient quantity of topsoil will be stockpiled in a suitable location for use on the embankment and other designated areas.

**Earth Fill**

Material - The fill material shall be taken from approved designated borrow areas. It shall be free of roots, stumps, wood, rubbish, stones greater than 6", frozen or other objectionable materials. Fill material for the center of the embankment conform to Unified Soil Classification GC, SC, CH, or CL and must have at least 30% passing the #200 sieve. Consideration may be given to the use of other materials in the embankment if designed by a geotechnical engineer. Such special designs must have construction supervised by a geotechnical engineer.

Materials used in the outer shell of the embankment must have the capability to support vegetation of the quality required to prevent erosion or have lock seams with internal caulking or a neoprene band.

Placement - Areas on which fill is to be placed shall be scarified prior to placement of fill. Fill materials shall be placed in maximum 8-inch thick (before compaction) layers which are to be continuous over the entire length of the fill. The most permeable borrow material shall be placed in the downstream portions of the embankment. The principal spillway must be installed concurrently with fill placement and not excavated into the embankment.

Compaction - The movement of the hauling and spreading equipment over the fill shall be controlled so that the entire surface of each lift shall be traversed by not less than one tread track of heavy equipment or compaction shall be achieved by a minimum of four complete passes of a sheepsfoot, rubber tired or vibratory roller. Fill material shall contain sufficient moisture such that the required degree of compaction will be obtained with the equipment used. The fill material shall contain sufficient moisture so that if formed into a ball it will not crumble, yet not be so wet that water can be squeezed out.

When required by the reviewing agency the minimum required density shall not be less than 95% of maximum dry density with a moisture content within ±2% of the optimum. Each layer of fill shall be compacted as necessary to obtain that density, and is to be certified by the Engineer at the time of construction. All compaction is to be determined by AASHTO Method T-99 (Standard Proctor).

Embankment Core - The core shall be parallel to the centerline of the embankment as shown on the plans. The top width of the core shall be a minimum of four feet. The height shall extend up to at least the 10-year water elevation or as shown on the plans. The side slopes shall be 1 to 1 or flatter. The core shall be compacted with construction equipment, rollers, or hand tampers to assure maximum density and minimum permeability. In addition, the core shall be placed concurrently with the outer shell of the embankment.

**Structure Backfill**

Backfill adjacent to pipes or structures shall be of the type and quality conforming to that specified for the adjoining fill material. The fill shall be placed in horizontal layers not to exceed four inches in thickness and compacted by hand tampers or other manually directed compaction equipment. The material needs to fill completely all spaces under and adjacent to the pipe. At no time during the backfilling operation shall driven equipment be allowed to operate closer than four feet, measured horizontally, to any part of a structure. Under no circumstances shall equipment be driven over any part of a concrete structure or pipe, unless there is a compacted fill of 24" or greater over pipe.

Structure backfill may be flowable fill meeting the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 313 as modified. The mixture shall have a 100-200 psi; 28 day unconfined compressive strength. The flowable fill shall have a minimum pH of 4.0 and a minimum resistivity areas to be occupied by the permanent works. The contractor shall also furnish, install, operate, and maintain all necessary pumping and other equipment required for removal of water from various parts of the work and for maintaining the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

**Stabilization**

All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spot and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching.

**Erosion and Sediment Control**

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

**OPERATION AND MAINTENANCE**

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.

Materials - (Aluminum Pipe) - This pipe and its appurtenances shall conform to the requirements of AASHTO Specification M-196 or M-211 with watertight coupling bands or flanges. Aluminum Pipe, when used with flowable fill or when soil and/or water conditions warrant for increased durability, shall be fully bituminous coated per requirements of AASHTO Specification M-190 Type A. Aluminum surfaces that are to be in contact with concrete shall be painted with one coat of zinc chromate primer or two coats of asphalt. Hot dip galvanized bolts may be used for connections. The pH of the surrounding soils shall be between 4 and 5.

2. Coupling bands, anti-seep collars, and sections, etc., must be composed of the same material and coatings as the pipe. Metals must be insulated from dissimilar materials with use of rubber or plastic insulating materials of least 24 mils in thickness.

3. Connections - All connections with pipes must be completely watertight. The drain pipe or barrel connection to the riser shall be welded all around when the pipe and riser are metal. Anti-seep collars shall be connected to the pipe in such a manner as to be completely watertight. Dimple bands are not considered to be watertight.

All connections shall use a rubber or neoprene gasket when joining pipe sections. The end of each pipe shall be re-rolled an adequate number of corrugations to accommodate the bandwidth. The following type connections are acceptable for pipes less than 24 inches in diameter: flanges on both ends of the pipe with a circular 3/8 inch closed cell neoprene gasket, prepared to the flange ball circle, sandwiched between adjacent flanges; a 12-inch wide standard lap type band with 12-inch wide by 3/8-inch thick closed cell circular neoprene gasket; and a 12-inch wide hugger type band with a ring gaskets having a minimum diameter of 1/2 inch greater than the corrugation depth. Pipes 24 inches in diameter and larger shall be connected by a 24 inch long annular corrugated band using a minimum of 4 (four) rods and lugs, 2 on each connecting pipe end. A 24-inch wide by 3/8-inch thick closed cell circular neoprene gasket will be installed with 12 inches on the end of each pipe. Flanged joints with 3/8 inch closed cell gaskets the full width of the flange is also acceptable.

Horizontally corrugated pipe shall have either continuously welded seams or have lock seams with internal caulking or a neoprene band.

4. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

5. Backfilling shall conform to "Structure Backfill".

6. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

**Plastic Pipe** - The following criteria shall apply for plastic pipe:

1. Materials - PVC pipe shall be PVC-1120 or PVC-1220 conforming to ASTM D-1785 or ASTM D-2241. Corrugated High Density Polyethylene (HDPE) pipe, couplings and fittings shall conform to the following: 4" - 10" inch shall meet the requirements of AASHTO M252 Type S, and 12" through 24" inch shall meet the requirements of AASHTO M294 Type S.

2. Joints and connections to anti-seep collars shall be completely watertight.

3. Bedding - The pipe shall be firmly and uniformly bedded throughout its entire length. Where rock or soft, spongy or other unstable soil is encountered, all such material shall be removed and replaced with suitable earth compacted to provide adequate support.

4. Backfilling shall conform to "Structure Backfill".

5. Other details (anti-seep collars, valves, etc.) shall be as shown on the drawings.

**Concrete**

Concrete shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 414, Mix No. 3.

**Rock Riprap**

Rock riprap shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 311.

Geotextile shall be placed under all riprap and shall meet the requirements of Maryland Department of Transportation, State Highway Administration Standard Specifications for Construction and Materials, Section 921.09, Class C.

**Care of Water during Construction**

All work on permanent structures shall be carried out in areas free from water. The Contractor shall construct and maintain all temporary dikes, levees, cofferdams, drainage channels, and stream diversions necessary to protect the excavations, foundation, and other parts of the work free from water as required or directed by the engineer for constructing each part of the work. After having served their purpose, all temporary protective works shall be removed or leveled and graded to the extent required to prevent obstruction in any degree whatsoever of the flow of water to the spillway or outlet works and so as not to interfere in any way with the operation or maintenance of the structure. Stream diversions shall be maintained until the full flow can be passed through the permanent works. The removal of water from the required excavation and the foundation shall be accomplished in a manner and to the extent that will maintain stability of the excavated slopes and bottom required excavations and will allow satisfactory performance of all construction operations. During the placing and compacting of material in required excavations, the water level of the locations being refilled shall be maintained below the bottom of the excavation at such locations which may require draining the water sumps from which the water shall be pumped.

**Stabilization**

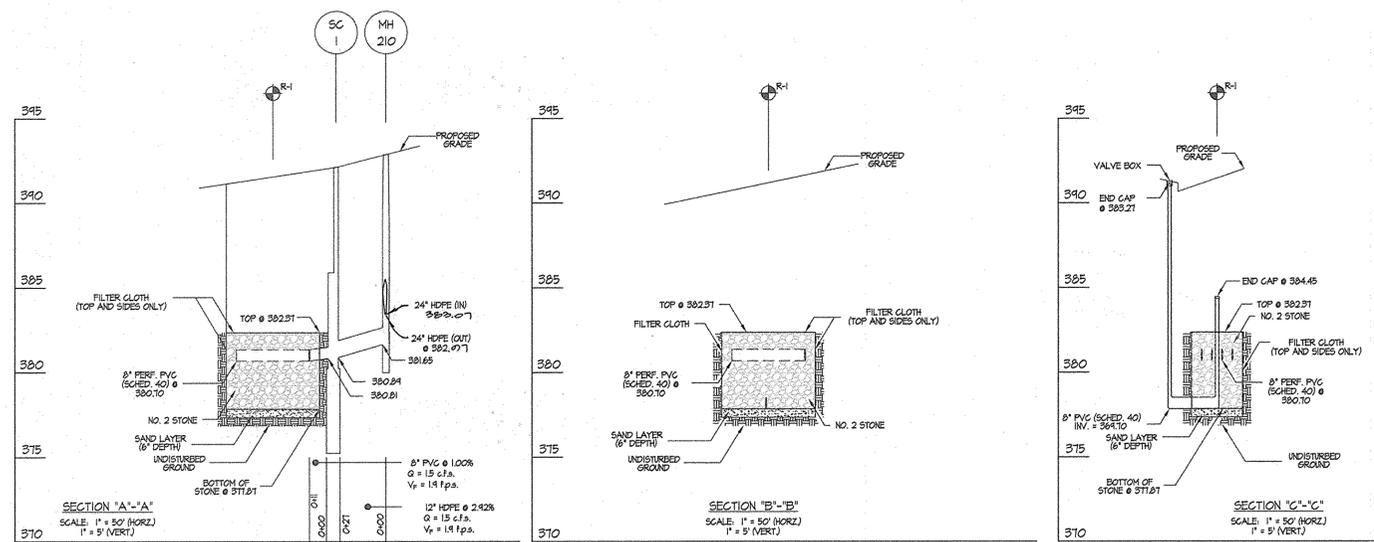
All borrow areas shall be graded to provide proper drainage and left in a slightly condition. All exposed surfaces of the embankment, spillway, spot and borrow areas, and berms shall be stabilized by seeding, liming, fertilizing and mulching.

**Erosion and Sediment Control**

Construction operations will be carried out in such a manner that erosion will be controlled and water and air pollution minimized. State and local laws concerning pollution abatement will be followed. Construction plans shall detail erosion and sediment control measures.

**OPERATION AND MAINTENANCE**

An operation and maintenance plan in accordance with Local or State Regulations will be prepared for all ponds. As a minimum, the dam inspection checklist located in Appendix A shall be included as part of the operation and maintenance plan and performed at least annually. Written records of maintenance and major repairs needs to be retained in a file. The issuance of a Maintenance and Repair Permit for any repairs or maintenance that involves the modification of the dam or spillway from its original design and specifications is required. A permit is also required for any repairs or reconstruction that involve a substantial portion of the structure. All indicated repairs are to be made as soon as practical.



**Precast Concrete Stormceptor® Order Request Form**

\* TO BE FILLED OUT ON THE DAY OF ORDER \*

CONTRACTOR INFORMATION	
Name	GRAY & SPIN, INC.
Address	430 WEST FREDERICK ROAD
City	THURMONT
State	MARYLAND
Zip Code	21783
Contact	JAY HANSEN/ENGINEER
Phone	410-771-4411
Fax	
OWNER INFORMATION	
Name	SPRINGDALE & ROSE, INC.
Address	
City	
State	
Zip Code	
Contact	JAY HANSEN/ENGINEER
Phone	410-771-4411
Fax	

APPROXIMATE DRAINAGE AREA FOR THIS UNIT

Stormceptor® Model	Insert Size
900	18"
1200	24"
1800	36"
2400	48"
	CUSTOM

PLEASE FILL OUT COMPLETELY AND FAX TO: CSR Hydro Conduit  
ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900  
FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG, PHONE (703)971-1900

**DEVELOPER'S/BUILDER'S CERTIFICATE**

"I/We certify that all development and/or construction will be done according to these plans, and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Maryland Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I shall engage a registered Professional Engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion. I also authorize periodic on-site inspections by the Howard Soil Conservation District.

Signature of Developer/Builder: *[Signature]* Date: 11-2-06

**ENGINEER'S CERTIFICATE**

"I certify that this plan for pond construction, erosion and sediment control represents a practical and workable plan based on my personal knowledge of the site conditions. This plan was prepared in accordance with the requirements of the Howard Soil Conservation District. I have notified the developer that he/she must engage a registered professional engineer to supervise pond construction and provide the Howard Soil Conservation District with an "as-built" plan of the pond within 30 days of completion."

Engineer's Signature: *[Signature]* Date: 11/2/06

These Plans for small pond construction, soil erosion and sediment control meet the requirements of the Howard Soil Conservation District.

Howard Soil Conservation District: *[Signature]* Date: 1/16/07

These plans have been reviewed for the Howard Soil Conservation District and meet the technical requirements for small pond construction, soil erosion and sediment control.

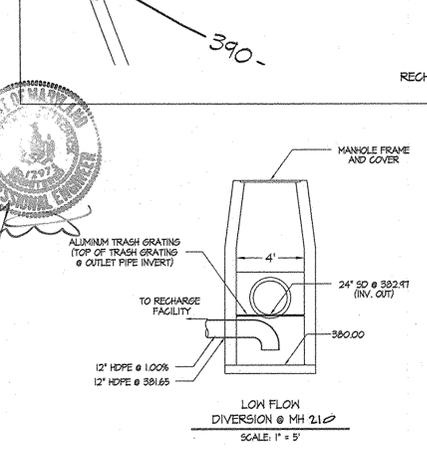
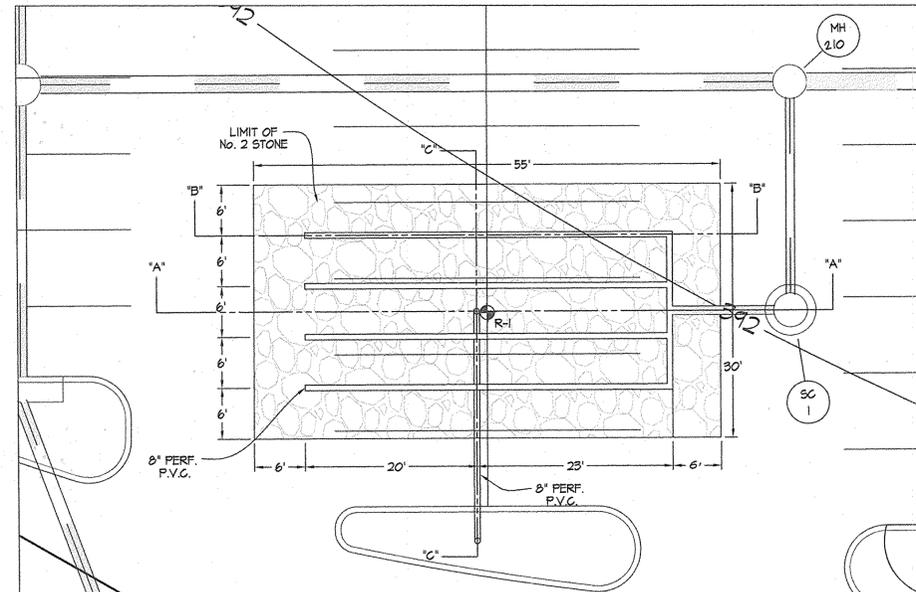
Natural Resources Conservation Service: *[Signature]* Date: 1/16/07

Approved: For Public Water & Sewerage Construction, Howard County Health Department. Health Officer: *[Signature]* Date: 1/16/07

Approved: Howard County Department of Planning & Zoning. Director: *[Signature]* Date: 1/16/07

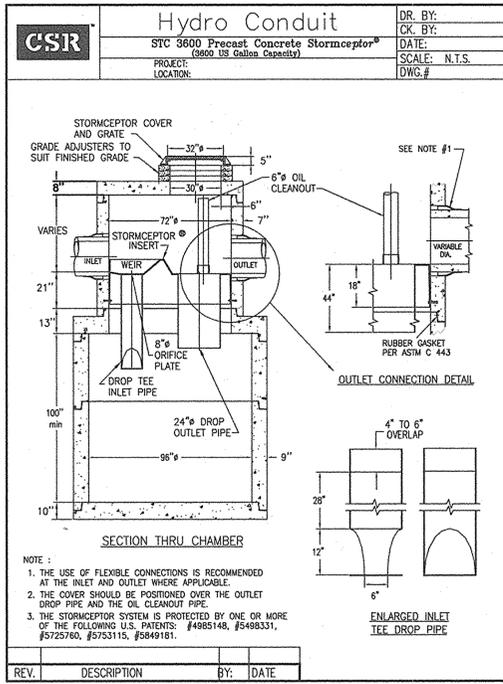
Chief, Division of Land Development: *[Signature]* Date: 1/17/07

Chief, Development Engineering Division: *[Signature]* Date: 1/17/07



**APPROVED  
PLANNING BOARD  
OF HOWARD COUNTY**

DATE: 10/26/06  
*[Signature]*



**LEGEND**

- SHRUBS
- EVERGREEN TREES
- ORNAMENTAL FLOWERING TREE
- CANOPY SHADE TREE
- F-04-92 STREET TREE
- PARKING LOT LIGHT FIXTURE

**THIS PLAN IS FOR PLANTING PURPOSES ONLY!!**

**DEVELOPER'S / BUILDER'S CERTIFICATE**

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

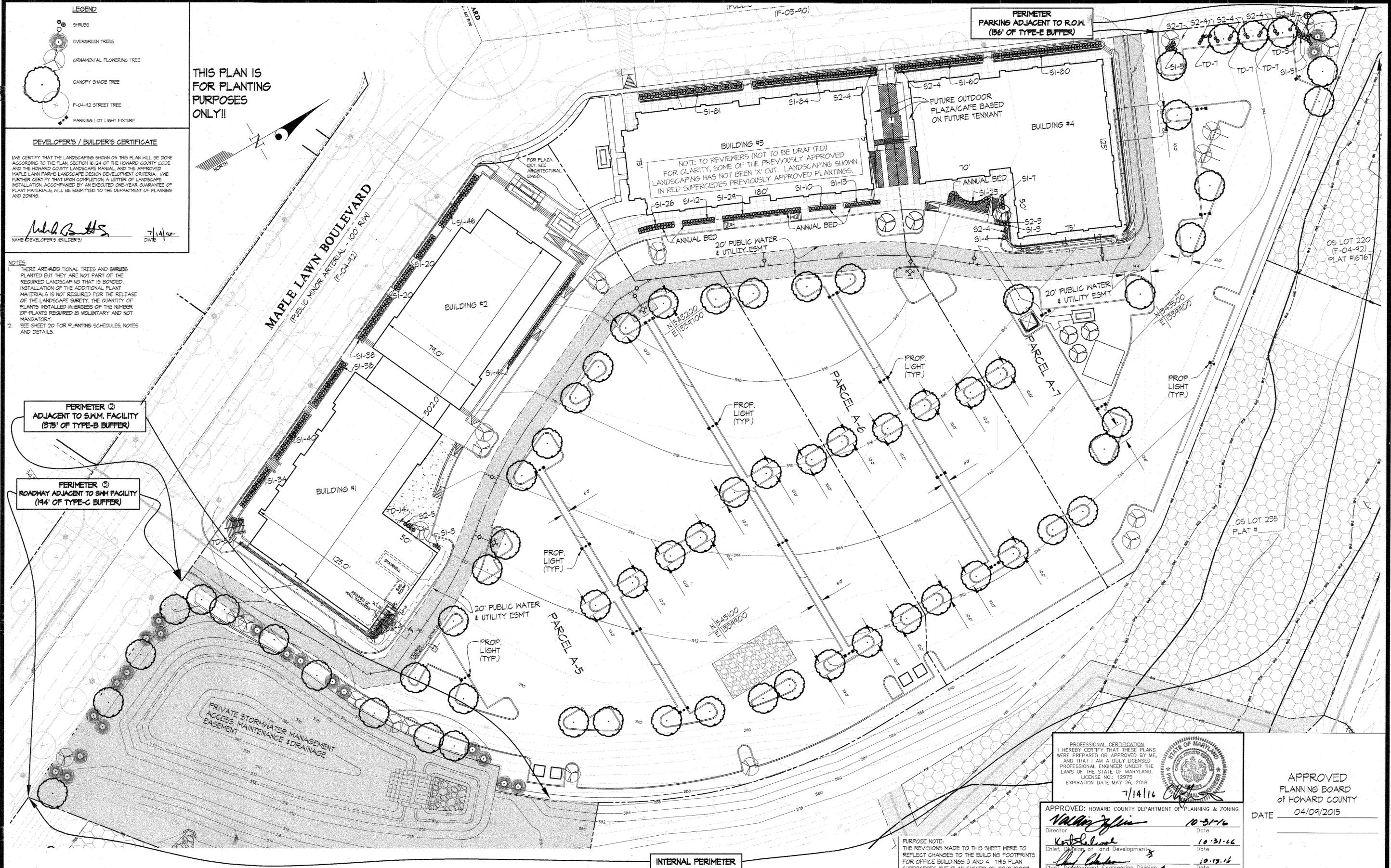
*Mark Bennett*  
NAME (DEVELOPER'S / BUILDER'S)      7/14/16  
DATE

**NOTES:**

- THERE ARE ADDITIONAL TREES AND SHRUBS PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING THAT IS BONDED. INSTALLATION OF THE ADDITIONAL PLANT MATERIALS IS NOT REQUIRED FOR THE RELEASE OF THE LANDSCAPE SURETY. THE QUANTITY OF PLANTS INSTALLED IN EXCESS OF THE NUMBER OF PLANTS REQUIRED IS VOLUNTARY AND NOT MANDATORY.
- SEE SHEET 20 FOR PLANTING SCHEDULES, NOTES AND DETAILS.

PERIMETER (C) ADJACENT TO SWM FACILITY (375' OF TYPE-B BUFFER)

PERIMETER (C) ROADWAY ADJACENT TO SWM FACILITY (144' OF TYPE-C BUFFER)



PROFESSIONAL CERTIFICATION  
I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
LICENSE NO.: 12975  
EXPIRATION DATE: MAY 26, 2018  
7/14/16



APPROVED  
PLANNING BOARD  
of HOWARD COUNTY  
DATE 04/09/2015

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

*Nancy J. J. J.* 10-31-16  
Director Date

*Kevin S. J.* 10-31-16  
Chief, Division of Land Development Date

*John J. J.* 10-17-16  
Chief, Development Engineering Division A Date

PURPOSE NOTE:  
THE REVISIONS MADE TO THIS SHEET WERE TO REFLECT CHANGES TO THE BUILDING FOOTPRINTS FOR OFFICE BUILDINGS 3 AND 4. THIS PLAN SUPERCEDES THE PLAN SIGNED ON 02/01/2007

INTERNAL PERIMETER

**GLW GUTSCHICK LITTLE & WEBER, P.A.**  
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS  
3909 NATIONAL DRIVE, SUITE 250 - BURTONSVILLE OFFICE PARK  
BURTONSVILLE, MARYLAND 20886  
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-889-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
7-11-16	REPLACEMENT SHEET - REV. BUILDING FOOTPRINTS, SHOW PAVILION AND STORAGE BUILDING	MSJ	DEV.
7-11-16	REVISE LANDSCAPING IN AREA OF STORAGE BLDG.	MSJ	DEV.
01-11-12	ADDED OUTSIDE ACCESS AND REVISED LANDSCAPING.	MSJ	DEV.
11-26-07	REV. CURB IN PARKING LOT & REMOVED GREASE INTERCEPTOR.	MSJ	DEV.

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: MARK BENNETT  
410-484-8400

REVISED - LANDSCAPE PLAN  
**MAPLE LAWN FARMS  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS**  
PARCELS A-5, A-6, & A-7  
PLAT No. 18794 & 18795 (F-06-239)  
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=30'	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
JULY, 2016	41-21	19 OF 21

L:\CADD\DRAWINGS\0200\05015\SDP\16-01-26-sheet 19.dwg 10/26/2016 12:40:57 PM EST





A. Plant Materials

The landscape contractor shall furnish and install and/or dig, ball, burlap and transplant all of the plant materials called for on drawings and/or listed in the Plant Schedule.

1. Plant Names

Plant names used in the Plant Schedule shall conform with "Standardized Plant Names," latest edition.

2. Plant Standards

All plant material shall be equal to or better than the requirements of the "USA Standard for Nursery Stock" latest edition, as published by the American Association of Nurserymen (hereafter referred to as AAN Standards). All plants shall be typical of their species and variety, shall have a normal habit of growth and shall be first quality, sound, vigorous, well-branched and with healthy, well-turmed root systems. They shall be free of disease, insect pests and mechanical injuries.

All plants shall be nursery grown and shall have been grown under the same climate conditions as the location of this project for at least two years before planting. Neither heeled-in plants nor plants from cold storage will be accepted.

3. Plant Measurements

All plants shall conform to the measurements specified in the Plant Schedule as approved by the Architectural Review Committee.

a. Caliper measurements shall be taken six inches (6") above grade for trees under four-inch (4") caliper and twelve (12") above grade for trees four inches (4") in caliper and over.

b. Minimum branching height for all shade trees shall be six feet (6'), maximum eight feet (8').

c. Caliper, height, spread and size of ball shall be generally as follows:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" diameter
3.5" - 4"	14'-16'	8'-10'	36" diameter
4" - 4.5"	16'-18'	8'-10'	40" diameter
4.5" - 5"	16'-11"	10'-12"	44" diameter
5" - 5.5"	16'-20"	10'-12"	48" diameter
5.5" - 6"	18'-20"	12'-14"	52" diameter

All plant material shall generally average the median for the size ranges indicated above as indicated in the "AAN Standards".

4. Plant Identification

Legible labels shall be attached to all shade trees, minor trees, specimen shrubs and bundles or boxes of other plant material giving the botanical and common names, size and quantity of each. Each shipment of plants shall bear certificates of inspection as required by Federal, State and County authorities.

5. Plant Inspection

The Architectural Review Committee may upon request by the builder or developer, at least ten (10) days prior to the installation of any proposed plant material, inspect all proposed plant material at the source of origin.

B. Planting Methods

All proposed plant materials that meet the specifications in Section A are to be planted in accordance with the following methods during the proper planting seasons as described in the following:

1. Planting Seasons

The planting of deciduous trees, shrubs and vines shall be from March 1st to June 15th and from September 15th to December 15th. Planting of deciduous material may be continued during the winter months providing there is no frost in the ground and frost-free topsoil planting mixtures are used.

The planting of evergreen material shall be from March 15th to June 15th and from August 15th to December 1st. No planting shall be done when ground is frozen or excessively moist. No frozen or wet topsoil shall be used at any time.

3. Excavation of Plant Pits

The landscaping contractor shall excavate all plant pits, vine pits, hedge trenches and shrub beds in accordance with the following schedule:

a. Locations of all proposed plant material shall be staked and approved in the field by the landscape architect before any of the proposed plant material is installed by the landscape contractor.

b. All pits shall be generally circular in outline, vertical sides; depth shall not be less than 6" deeper than the root ball, diameter shall not be less than two times the diameter of the root ball as set forth in the following schedule.

c. If areas are designated as shrub beds or hedge trenches, they shall be excavated to at least 18" depth minimum. Areas designated for ground covers and vines shall be excavated to at least 12" in depth minimum.

d. Diameter and depth of tree pits shall generally be as follows:

PLANT SIZE	ROOT BALL	PIT DIAMETER	PIT DEPTH
3" - 3.5" cal.	32"	64"	28"
3.5" - 4" cal.	36"	72"	32"
4" - 4.5" cal.	40"	80"	36"
4.5" - 5" cal.	44"	88"	40"
5" - 5.5" cal.	48"	96"	44"
5.5" - 6" cal.	52"	104"	48"

A 20% compaction figure of the soil to be removed is assumed and will be allowed in calculation of extra topsoil. The tabulated pit sizes are for purposes of uniform calculation and shall not override the specified depths below the bottoms of the root balls.

4. Staking, Guying and Wrapping

All plant material shall be staked or guyed, and wrapped in accordance with the following specifications:

a. Stakes: Shall be sound wood 2" x 2" rough sawn oak or similar durable woods, or lengths, minimum T-0" for major trees and 5'-0" minimum for minor trees.

b. Wire and Cable: Wire shall be #10 ga. galvanized or bethanized annealed steel wire. For trees over 3" caliper, provide 5/16" turn buckles, eyes and eyes with 4" take-up. For trees over 5" caliper, provide 3/16", 7 strand cable, continuous plated steel, with galvanized "eye" thimbles of wire and hose on trees up to 3" in caliper.

c. Hose: Shall be new, 2 ply reinforced rubber hose, minimum 1/2" I.D. "Plastic Lock Ties" or "Paul's Trees Braces" may be used in place of wire and hose on trees up to 3" in caliper.

d. All trees under 3" in caliper are to be planted and staked in accordance with the attached "Typical Tree Staking Detail".

5. Plant Pruning, Edging and Mulching

a. Each tree, shrub or vine shall be pruned in an appropriate manner to its particular requirements, in accordance with accepted standard practices. Broken or twisted branches shall be removed with clean cuts flush with the adjacent trunk or branches. All cuts over 1" in

diameter shall be painted with an approved antiseptic tree wound dressing.

b. All trenches and shrub beds shall be edged and cultivated to the lines shown on the drawing. The areas around isolated plants shall be edged and cultivated to the full diameter of the pit. Sod which has been removed and stacked shall be used to trim the edges of all excavated areas to the neat lines of the plant pit saucers, the edges of shrub areas, hedge trenches and vine pockets.

c. After cultivation, all plant materials shall be mulched with a 2" layer of fine, shredded pine bark, peat moss, or another approved material over the entire area of the bed or saucer.

6. Plant Inspection and Acceptance

The Architectural Review Committee shall be responsible for inspecting all planting projects on a periodic basis to assure that all work is proceeding in accordance with the approved plans and specifications.

7. Plant Guarantee

All plant material shall be guaranteed for the duration of one full growing season, after final inspection and acceptance of the work in the planting project. Plants shall be alive and in satisfactory growing condition at the end of the guarantee period.

a. For this purpose, the "growing season" shall be that period between the end of the "Spring" planting season, and the commencement of the "Fall" planting season.

b. Guarantee for planting performed after the specified end of "Spring" planting season, shall be extended through the end of the next following "Spring" planting season.

Sodding

All sods shall be in accordance to the "Landscape Specification Guidelines for Baltimore-Washington Metropolitan Area" latest edition, approved by the Landscape Contractors Association of Metropolitan Washington and the American Society of Landscape Architects.

All sod shall be strongly rooted sod, not less than two years old and free of weeds and undesirable native grasses. Provide only sod capable of growth development when planted and in strips not more than 18" wide x 4" long. Provide sod composed principally of improved strain Kentucky bluegrass, such as, Columbia, Victoria, or Escort.

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.024 OF THE HOWARD COUNTY CODE & CHAPTER VI OF THE HOWARD COUNTY LANDSCAPE MANUAL (ALTERNATIVE COMPLIANCE PLAN THE LANDSCAPE DESIGN CRITERIA OF SC-011 AND PD CASE NO. 293).
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLAN LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL, AND CONFORM TO THE AAN SPECIFICATIONS. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.

1. ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SODDED OR SEEDED IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.

2. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.

3. ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDDED HARDWOOD MULCH PER THE PLANTING DETAILS.

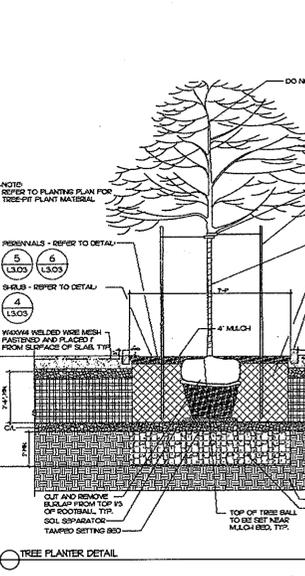
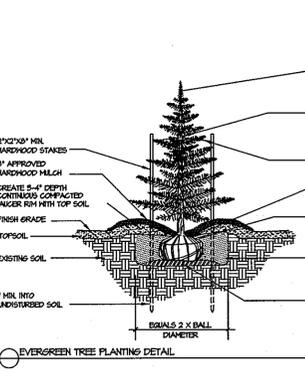
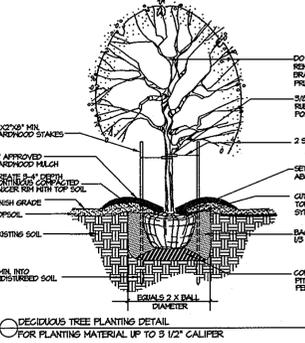
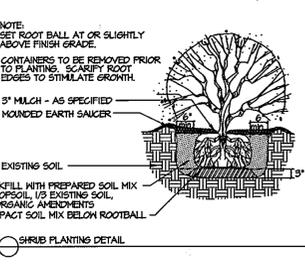
4. DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.

\* SCHEDULE "A", SCHEDULE "B" AND SCHEDULE "D" ARE PROVIDED FOR LANDSCAPE SURETY PURPOSES ONLY. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE SURETY SHALL BE POSTED TO THE DEPT DEVELOPER'S ACCOUNT IN THE AMOUNT OF \$26,500.00 FOR THE FOLLOWING:

364 SHRUBS AT \$150/SHRUB	\$ 54,600.00
43 SHADE TREES AT \$300/TREE	\$ 12,900.00
11 EVERGREEN TREES AT \$250/TREE	\$ 2,750.00

12. AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN SHALL CONFORM WITH THE PROPER DESIGN REQUIREMENTS IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DELAY OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS.

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-515-2290.



NOTE: THERE ARE ADDITIONAL TREES AND SHRUBS PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING THAT IS BONDED. INSTALLATION OF THE ADDITIONAL PLANT MATERIALS IS NOT REQUIRED FOR THE RELEASE OF THE LANDSCAPE SURETY. THE QUANTITY OF PLANTS INSTALLED IN EXCESS OF THE NUMBER OF PLANTS REQUIRED IS VOLUNTARY AND NOT MANDATORY.

\* 11. Schedule 'A', schedule 'B' & schedule 'D' are provided for landscape surety calculation purposes. Financial surety (of \$ 26,500.00 combined total) for the required landscape is posted with the developer's agreement and grading permit applications as follows:

A. \$ 21,200.00 with the developer's agreement for the following:  
 • \$ 17,900.00 for 43 shade trees at \$ 400/tree (sch.-A perimeter, 1, sch.-B & D)  
 • \$ 2,850.00 for 17 evergreen trees at \$ 160/tree (sch.-E)  
 • \$ 5,270.00 for 170 shrubs at \$ 30/shrub (sch.-A, Building 1 & 2 and perimeter-1)

B. \$ 2,400.00 with building-2 grading permit for 83 shrubs at \$ 20/shrub (sch.-A)

C. \$ 2,900.00 with building-4 grading permit for 97 shrubs at \$ 30/shrub (sch.-A)

SCHEDULE-A: PERIMETER LANDSCAPE EDGE						
CATEGORY	BUILDING LENGTHS (REAR & SIDES)			ADJACENT TO ROADWAYS (MAPLE LAWN BLVD.)	ADJACENT TO STORMWATER MANAGEMENT FACILITY	
	BUILDINGS 1&2	BUILDING 3	BUILDING 4	PARKING FRONTAGE PERIMETER ①	BUILDING FRONTAGE	SOUTH-EAST OF BUILDING #1
LOCATION	SIDE & REAR OF OFFICE BUILDINGS					
LANDSCAPE BUFFER TYPE	1 SHRUB PER 4 LF OF BLDG LENGTH			TYPE-E	NONE REQUIRED PER MLF LANDSCAPE DESIGN CRITERIA (PART-F)	PER SCHEDULE-D (BELOW)
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	556 L.F.	330 L.F.	345 L.F.	156 L.F.		
CREDIT FOR EX. VEGETATION (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE		
CREDIT FOR WALL, FENCE OR BERM (YES, NO; LINEAR FEET; DESCRIBE BELOW IF NEEDED)	NONE	NONE	NONE	NONE		
NUMBER OF PLANTS REQUIRED						
SHADE TREES	N/A	N/A	N/A	4 (at 1:40)		
EVERGREEN TREES	N/A	N/A	N/A	N/A		
ORNAMENTALS	N/A	N/A	N/A	N/A		
SHRUBS	134	83	99	40 (at 1:4)		
NUMBER OF PLANTS PROVIDED						
SHADE TREES	N/A	N/A	N/A	6		
EVERGREEN TREES	N/A	N/A	N/A	2		
ORNAMENTALS	1	N/A	1	3		
SHRUBS	151	252	361	64		
SUBSTITUTIONS MADE	NONE	NONE	NONE	NONE		
LANDSCAPE SURETY FOR REQUIRED PLANTS PER SCHEDULE-A: 4 SHADE TREES AT \$300/TREE = \$ 1,200.00 361 SHRUBS AT \$30/SHRUB = \$10,830.00						
△ PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F).						

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	520 SPACES (EXCLUDING THE PARALLEL PARKING SPACES WITHIN MAPLE LAWN BLVD.)
NUMBER OF TREES REQUIRED	26 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	50
OTHER TREES (2:1 substitution)	16 ORNAMENTALS (OPTIONAL AS SHADE TREE SUBSTITUTIONS)
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-B: 26 SHADE TREES AT \$300/TREE = \$ 7,800.00	
△ PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-G).	

SCHEDULE D -- STORMWATER MANAGEMENT AREA LANDSCAPING		
LOCATION	ADJACENT BUILDING #1	ADJACENT MAPLE LAWN BLVD.
LINEAR FEET OF PERIMETER	PERIMETER ②	PERIMETER ③
BUFFER TYPE	TYPE-B	TYPE-C
NUMBER OF TREES REQUIRED		
SHADE TREES	8	5
EVERGREEN TREES	4	10
NUMBER OF TREES PROVIDED		
SHADE TREES	7	4
EVERGREEN TREES	4	10
OTHERS (AS SUBSTITUTIONS AT 2:1)	5	1
LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-D: 13 SHADE TREES AT \$300/TREE = \$ 3,900.00 14 EVERGREEN TREES AT \$150/TREE = \$ 2,100.00		
△ PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-G).		

PLANT LIST				
SYMBOL	QUANTITY PROVIDED	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
<b>CANOPY SHADE TREES</b>				
AR	73	3-3.5" CAL.	ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE	ALL B4B
QP		3-3.5" CAL.	QUERCUS PALUSTRIS / PIN OAK	
ZP		3-3.5" CAL.	ZELKOVA SERRATA 'VILLAGE GREEN' / VILLAGE GREEN ZELKOVA	
<b>ORNAMENTAL TREE</b>				
CC	21	2.5-3" CAL.	CERCIS CANADENSIS / EASTERN REDBUD	B4B, TREE FORM (THIS PLANTING IS OPTIONAL)
<b>EVERGREEN TREES</b>				
PO	19	8" HT. MIN.	PICEA OROMORICA / SERBIAN SPRUCE	B4B, ALL SHALL HAVE AN INTACT CENTRAL LEADER
PS		8" HT. MIN.	PINUS STROBUS / EASTERN WHITE PINE	
<b>SHRUBS</b>				
S1	612	ALL 18" - 24" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'GUMPO PINK' / GUMPO WHITE / KASHIHO COTONEASTER DAMMERI / CORAL BEAUTY / CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS 'TOM THUMB' / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. 'BAR HARBOR' / 'ANDORRA' / 'WILTON BLUE ROSE' JUNIPERUS PROGRAMMATA 'NANA' / DWARF JAPANESE GARDEN JUNIPER	ALL CONTAINERIZED
S2		ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. 'DELAWARE VALLEY WHITE' / 'HERSEY RED' / KING CRIMSON BERBERIS THUNDERFII ATROPURPUREA 'CRIMSON PYGMY' / CRIMSON FIGHTY BARBERRY DEBITZIA GRACILIS / SLIMBER DEBITZIA ILEX GREBATA 'HELIX' / DWARF JAPANESE HOLLY ILEX GLABRA 'COMPACTA' / DWARF INKBERRY MANONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	
TD	104	ALL 24" - 30" SPREAD	TAXUS MEDIA 'DESIFORMIS' / DENIFORMIS YEM	CONTAINERIZED

LANDSCAPE DETAILS AND NOTES				
SYMBOL	QUANTITY PROVIDED	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
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<b>ORNAMENTAL TREE</b>				
CC	21	2.5-3" CAL.	CERCIS CANADENSIS / EASTERN REDBUD	B4B, TREE FORM (THIS PLANTING IS OPTIONAL)
<b>EVERGREEN TREES</b>				
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TD	104	ALL 24" - 30" SPREAD	TAXUS MEDIA 'DESIFORMIS' / DENIFORMIS YEM	CONTAINERIZED

**APPROVED PLANNING BC OF HOWARD COUNTY**

DATE: 10/26/06

APPROVED: [Signature] Health Officer

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: [Signature] Date: 11/1/06

Chief, Division of Land Development: [Signature] Date: 11/1/06

Chief, Development Engineering Division: [Signature] Date: 11/7/06

**GLWGUTSCHICK LITTLE & WEBER, P.A.**

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 230 - BURTNSVILLE OFFICE PARK  
BURTNSVILLE, MARYLAND 20886

TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.
5-19-00	Rev. landscape surety note.		

PREPARED FOR:  
G&R MAPLE LAWN INC.  
1829 REISTERSTOWN ROAD  
SUITE 300 WOODHOLME CENTER  
BALTIMORE, MD 21208  
ATTN: CHARLIE O'DONOVAN  
410-484-8400

**LANDSCAPE DETAILS AND NOTES**

**MAPLE LAWN FARMS**  
MIDTOWN DISTRICT - AREA 2  
MEDICAL & GENERAL OFFICE BUILDINGS  
PARCELS A-5, A-6, A-7  
PLAT No. 18792-2-5 (F-06-239)

ELECTION DISTRICT No. 5

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	05015
DATE	TAX MAP - GRID	SHEET
SEPT., 2006	41-21	20 OF 21