

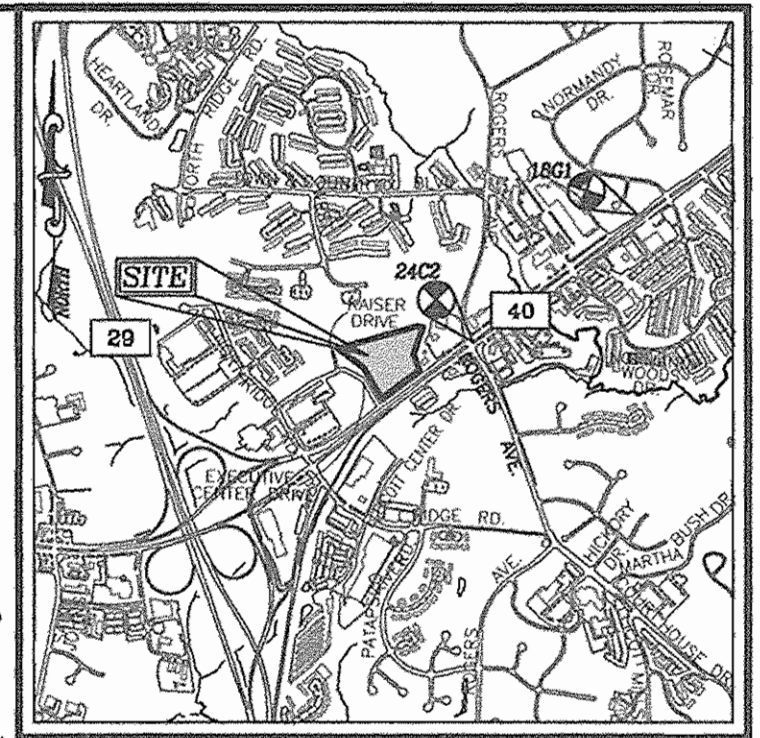
GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY OR CARMAX STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 VERIZON TELEPHONE COMPANY: 1-410-954-6281
 HOWARD COUNTY BUREAU OF UTILITIES: 313-2366
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.A.E. CO. CONTRACTOR SERVICES: 650-4620
 B.G.A.E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
 TOTAL PROJECT AREA: 6.83 AC.
 PRESENT ZONING: B-2
 USE OF STRUCTURE: MOTOR VEHICLE DEALERSHIP
 TOTAL BUILDING SQUARE FOOTAGE: 19,563 SF (0.45 AC. OR 0.66% OF GROSS AREA)
 TOTAL BUILDING COVERAGE: 20,482 SF (0.47 AC. OR 7.18% OF GROSS AREA)
 PAVED PARKING LOT AREA ON SITE: 5.00 AC. OR 77.75% OF GROSS AREA
 AREA OF LANDSCAPE ISLAND: 0.99 AC. OR 15.11% OF GROSS AREA
 GROSS AREA OF PARCEL: 6.55 ACER (PER 98-012)
 LIMIT OF DISTURBED AREA: 6.53 AC. UNLESS OTHERWISE NOTED ON PARCEL 733, LOT 73)
 CUT: 35,000 CY FILL: 0 CY
 TOTAL BUILDING COVERED AREA:
 ONE STORY BUILDING:
 SALES: 10,605 SF
 PRESENTATION: 2,920 SF
 SERVICE (INDOOR): 6,130 SF
 CARWASH: 936 SF
 TOTAL: 20,481 SF
- PROJECT BACKGROUND:
 LOCATION: ELLICOTT CITY, MD.; TAX MAP 24, BLOCK 6, PARCEL "H" OF 2 PARCEL 848
 ZONING: B-2
 SUBDIVISION: N/A
 SECTION/AREA: N/A
 SITE AREA: 6.83 AC.
 DPZ REFERENCES: S-95-016, S-98-00, P-97-02, WP-95-84, F-96-91, F-98-12, SDP-98-129, AA-06-25, F-07-094, 1800-11, F-07-181, 1917
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM ROAD CONSTRUCTION PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING ON-SITE WATER LINE LOCATION IS APPROXIMATED FROM VAULE LOCATIONS AND RECORD DRAWINGS. CONTRACTOR TO VERIFY LOCATION BEFORE CONSTRUCTION.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2006.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2006.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL, P-2 UNLESS OTHERWISE NOTED. (SEE DETAIL SHEET 9). SEE SHEET 9 FOR LOCATION OF HEAVY DUTY PAVING.
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED. (SEE DETAIL SHEET 4)
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AVAILABLE THROUGH CONTRACT 14-309-D. THIS PROPERTY IS LOCATED IN THE PATAPSCO DRAINAGE AREA.
- STORMWATER MANAGEMENT QUANTITY PROVIDED BY AN UNDERGROUND FACILITY AND WATER QUALITY CONTROL CONSTRUCTED UNDER THE PERMITS PROVIDED BY EXISTING STORMWATER TREATMENT FACILITIES. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. STORMWATER QUALITY AND QUANTITY FOR EXECUTIVE CENTER ROAD AND A PORTION PARCEL "H" WERE DETERMINED UNDER F-98-12. THESE DRAINAGE DIVIDES ARE MAINTAINED UNDER THIS SDP. CONTRACTOR TO INSPECT AND CLEAN/REMOVE ALL DEBRIS FROM FACILITY TO ENSURE IT IS IN PROPER WORKING ORDER PER SDP-98-129. IF ANY DEVIATIONS OR DAMAGE IS FOUND CONTRACTOR TO NOTIFY CARMAX AND THE ENGINEERING IMMEDIATELY.
- ALL EXTERIOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (DETAIL ON SHEET 4)
- GEOTECHNICAL REPORT PREPARED BY ENGINEERING CONSULTING SERVICES, LLC., DATED DECEMBER 19, 2005.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$25,320.00 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED JULY 25, 2006, AND AFPO STUDY APPROVED AUGUST 15, 2006.
- ALL STORMWATER PIPE BEDDING IS TO BE CLASS "C".
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN.
- THE FOREST CONSERVATION OBLIGATION FOR PARCEL H2 WAS MET BY THE SUBDIVISION, F-98-012, HOENES PROPERTY, PARCELS H,J,K AND L, BY CREATING A 4.8 ACRE OFFSITE AFFORESTATION FOR PRES. PARCEL B, TM 14, TM PARCEL 14. THE FOREST CONSERVATION OBLIGATION OF 1.2 ACRES OF REFORESTATION FOR TM PARCEL 369, TM 17, BLOCK 24, WHERE A SECTION OF THE PRIVATE ROAD THAT SERVES THIS SITE WAS CONSTRUCTED PER SDP-98-129, WAS MET BY A FEE-IN-LIEU PAYMENT OF \$15,681.60 TO THE HO. CO. FOREST CONSERVATION FUND.
- THE EXISTING BUILDING SHALL BE REMOVED, IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS, PRIOR TO CONSTRUCTION.
- THERE ARE NO FLOOD PLANS LOCATED ON THIS PARCEL.
- THERE ARE NO WETLANDS ON THIS PARCEL.
- ADMINISTRATIVE ADJUSTMENT AA-08-25, APPROVED 11/13/2006 TO ALLOW 20% REDUCTION, 2 FEET, TO THE 10 FEET PARKING USE SETBACK FROM THE 26' PUBLIC ACCESS EASEMENT, ALONG NORTHERN BOUNDARY.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NEPA-1, 10.12.1. A KNOX BOX IS ALSO REQUIRED AT THE GATED ENTRANCE TO THE SALES/DISPLAY LOT. SEE DETAIL 42.
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME III (1993) AND AS MODIFIED BY 7 GUIDELINES FOR STREET LIGHT IN RESIDENTIAL DEVELOPMENTS (JUNE 1993) AND AS A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE), 3' LONG A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY MONUMENT NOS. 1801 AND 24C2 WHICH WERE USED FOR THIS PROJECT.
- VEHICLE DISPLAY AREAS SHOWN ON SHEET 9.
- ALL LOADING AND UNLOADING MUST OCCUR ON PARCEL H, AND IS NOT PERMITTED WITHIN A PUBLIC ROAD R/W OR ANY REQUIRED ZONING USE SETBACK.
- THE PUBLIC ACCESS EASEMENT ALONG THE NORTH PROPERTY LINE IS TO BE MAINTAINED BY HOWARD COUNTY, INCLUDING MAINTENANCE, REPAIR, LIABILITY, AND SNOW REMOVAL.
- THE EXISTING STREET TREES ALONG US RT. 40 AND EXECUTIVE CENTER ROAD ARE PER F-98-12. ANY STREET TREES PROPOSED UNDER F-98-12 THAT DO NOT CURRENTLY EXIST ARE TO BE PROVIDED AS SHOWN ON SHEET 10.
- CONTRACTOR TO INSPECT AND VERIFY ALL EXISTING STORM DRAIN STRUCTURES TO REMAIN FOR STABILITY CONFORMANCE TO HOWARD COUNTY STANDARD DETAILS AND SDP-98-129. EXISTING PIPES/STRUCTURES TO REMAIN ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. ANY DEVIATIONS OR PARTIALLY COMPLETED STRUCTURES TO BE COMPLETED/RECONSTRUCTED AS NECESSARY, UNDER THE SUPERVISION OF A REPRESENTATIVE OF THE DEVELOPER. THESE ITEMS TO BE INCLUDED IN BASE BID.
- ALL DISTURBED AREAS TO BE VEGETATIVELY STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER, UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES/UTILITIES TO BE ABANDONED, REMOVED, OR RELOCATED, ARE TO BE INCLUDED IN THE BASE BID. ALL WORK RELATING TO EXISTING UTILITY RELOCATIONS SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS, AND SHALL BE APPROVED BY SUCH.
- THERE SHALL BE NO GAP GREATER THAN 48" BETWEEN THE GUARDRAIL AND ANY OTHER OBJECTS SUCH AS BUILDINGS, SITE WALLS, ORNAMENTAL FENCE OR DELTA SECURITY GATES, CONCRETE AT THE SALES LOT, AND THE WIP AREAS.
- FOR BASE LINE CONTROL POINT, SEE SHEET 4 IN NORTH CORNER ACCESS ROAD CONNECTION.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISPOSED OF OFFSITE. ANY REMAINING OBJECTS SHALL BE SUBJECT TO LOCAL ORDINANCES.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER, UNLESS OTHERWISE NOTED.
- FRENCH DRAINS SHALL BE INSTALLED IF DIRECTED BY GEOTECHNICAL ENGINEER.
- ALL PROPOSED STORM PIPE ENTERING STRUCTURES SHALL BE GROUNDED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS TO ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION TO AVOID PONDING OR RUTTING.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASS AND PAVED AREAS.

CARMAX #7663 AUTO DEALERSHIP PARCEL "H" P/O TM PARCEL 848 SITE DEVELOPMENT PLAN

LEGEND

- Existing Contour
- Proposed Contour
- Existing Spot Elevation
- Proposed Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Light Poles
- Soil Type
- Concrete



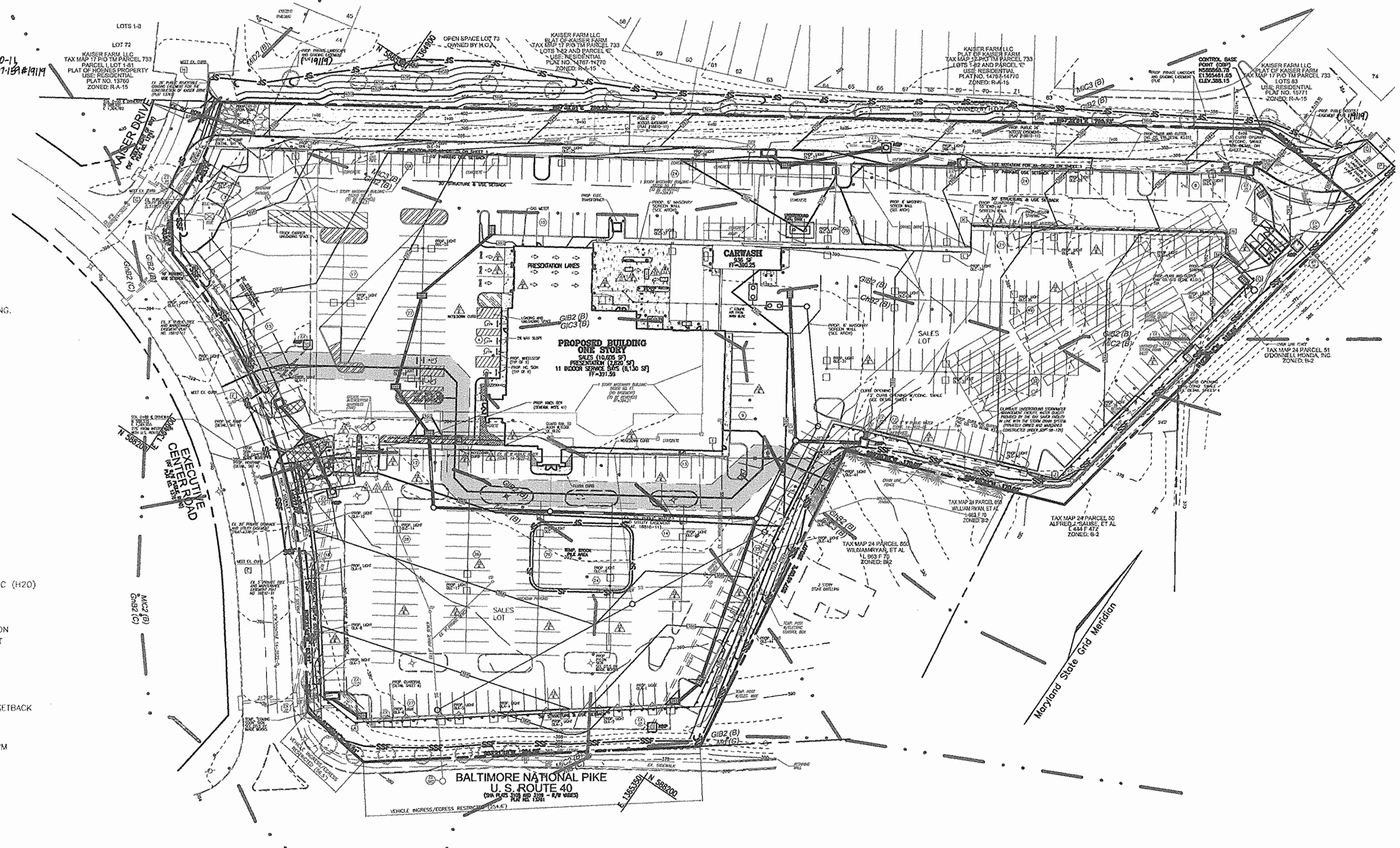
VICINITY MAP
SCALE: 1"=2000'

BENCHMARKS

COORDINATES AND ELEVATIONS SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID HEREIN NAD 83/91 AS PROJECTED BY HOWARD COUNTY, MARYLAND CONTROL STATIONS (US FEET) AND ELEVATIONS ON THESE CONTROL STATIONS ARE NATIONAL GEODETIC VERTICAL DATUM 1929. (US FEET)

HOWARD COUNTY BENCHMARK 18G1 (CONCRETE MONUMENT)
N 589984.958 E 1367750.246 ELEV. 407.81

HOWARD COUNTY BENCHMARK 24C2 (CONCRETE MONUMENT)
N 588648.324 E 1366038.160 ELEV. 354.09



ADDRESS CHART	
LOT/PARCEL#	STREET ADDRESS
H	8801 EXECUTIVE CENTER ROAD

PERMIT INFORMATION CHART				
SUBDIVISION NAME	HOENES PROPERTY	SECTION/AREA	PARCEL NUMBER	PARCEL "H"
DEED REF.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.
1800-11	6	B-2	24	2nd
PLAN				CENSUS TR.
				6026.00
WATER CODE: F-03		SEWER CODE: 1452800		

PARKING TABULATION

VEHICLE DISPLAY:	REQUIRED
1.0 SPACE PER 1,000 SF	55 SPACES
VEHICLE SALES FLOOR AREA: 13,425 SF	
2.0 SPACES PER 1,000 SF	27 SPACES
SERVICE BAYS: 11	
(INDOOR - 6,130 SF TOTAL)	
3 SPACES PER BAY	33 SPACES
TOTAL SPACES REQUIRED:	115 SPACES
TOTAL SPACES PROVIDED:	185 SPACES (INCLUDING 6 HANDICAP)
VEHICLE DISPLAY AREA ("SALES AREA"):	361 SPACES

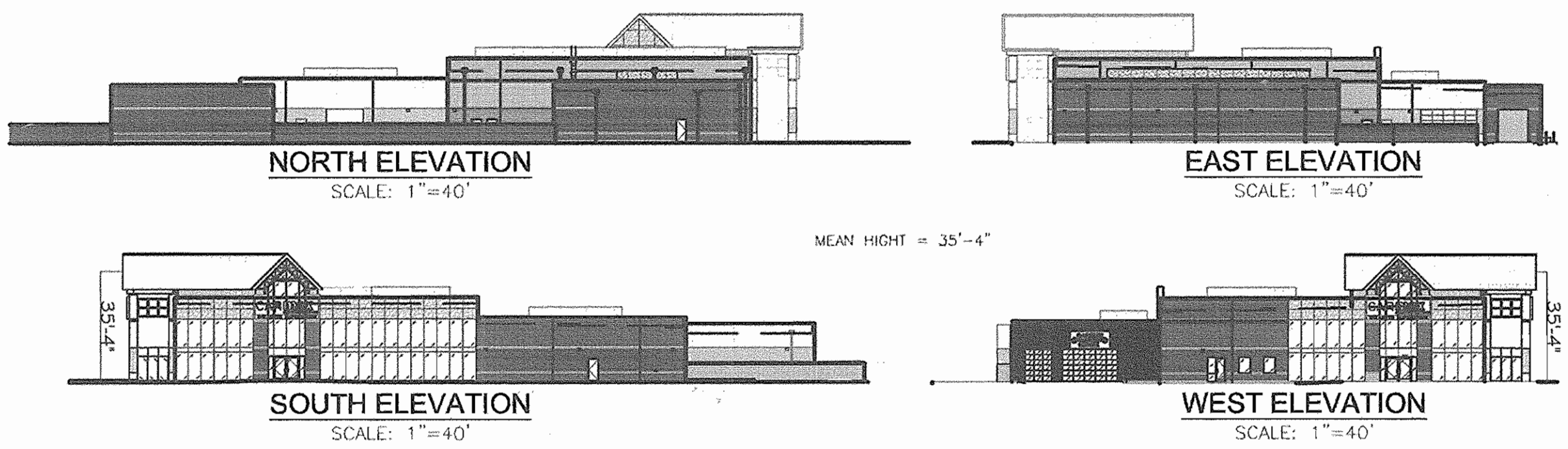
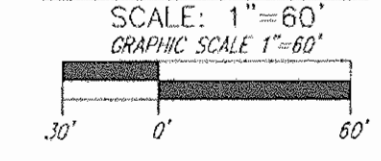
SHEET INDEX

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OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JACOBSON
(804) 747-0422

LOCATION MAP



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

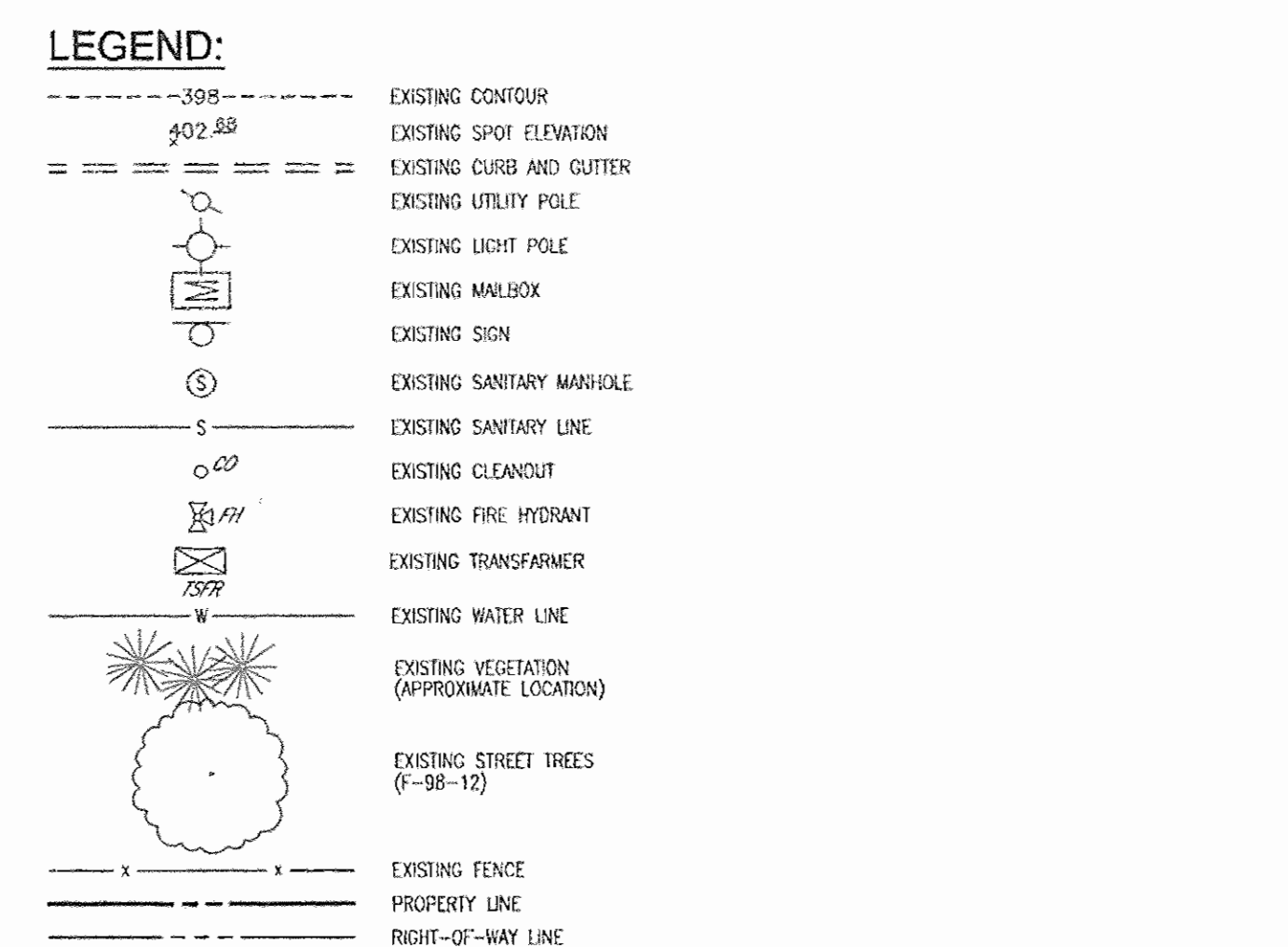
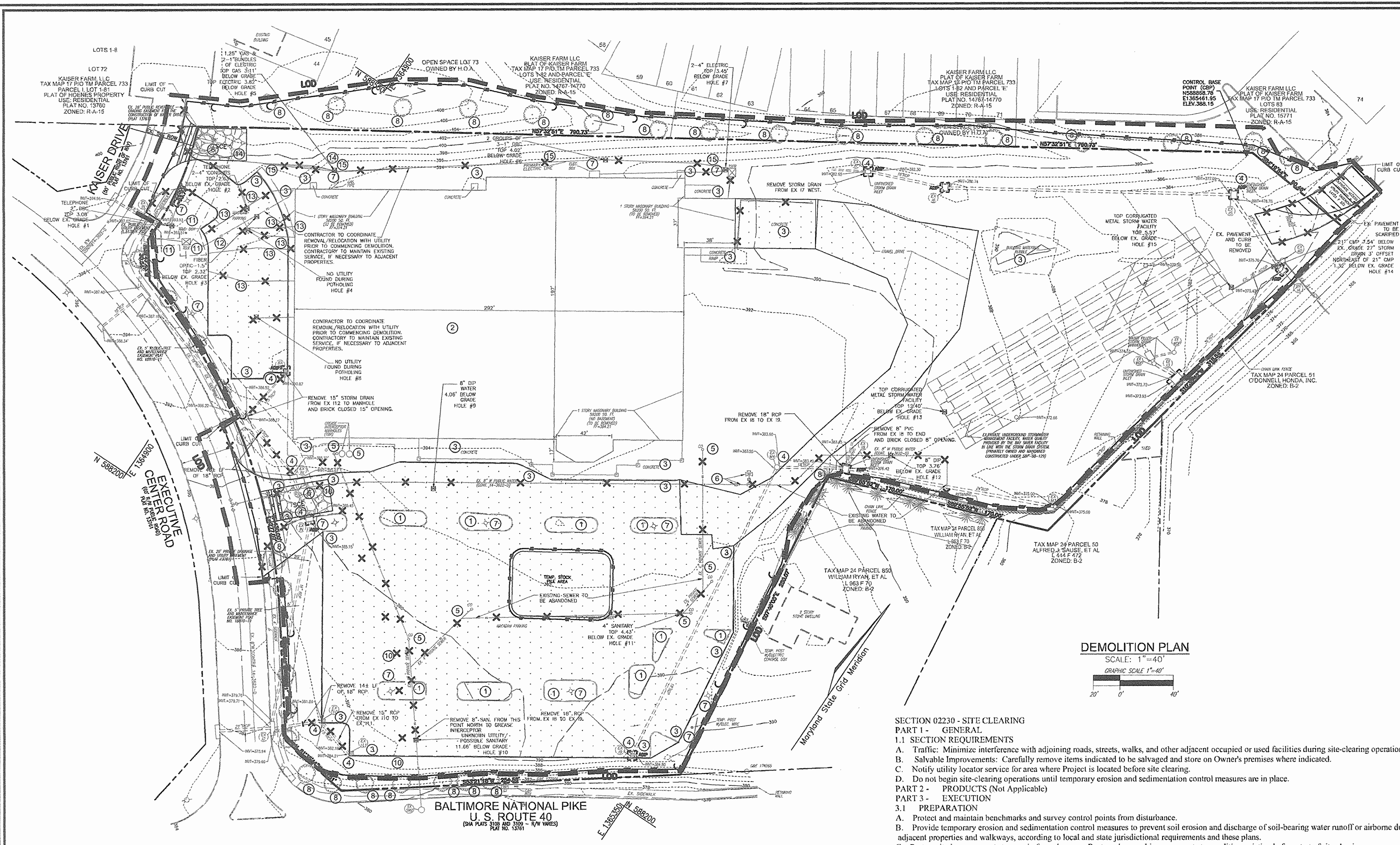
CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/26/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5/15/07
 DIRECTOR
 DATE: 5/24/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

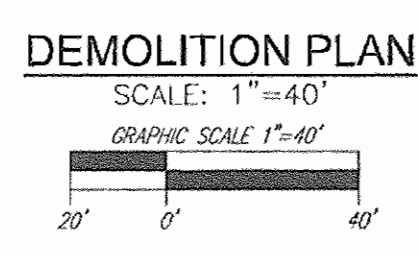
COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT
 DATE: N/A

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

CARMAX PLAN INFO:
 PART OF SP-SSDP-1 PACKAGE
C 1
 HO. CO. DPZ SHEET:
 1 SHEET OF 11



- 1 LANDSCAPE ISLAND TO BE REMOVED, IN ITS ENTIRETY
- 2 BUILDING TO BE RAZED
- 3 CURB & GUTTER, CONCRETE, SIDEWALK, RUBBLE TO BE REMOVED (ALL CURB & GUTTER TO BE REMOVED WITHIN PROPERTY LINES)
- 4 STORM DRAIN STRUCTURE TO BE REMOVED
- 5 SANITARY SEWER STRUCTURE TO BE REMOVED
- 6 WATER STRUCTURE TO BE REMOVED
- 7 LIGHT POLE / UTILITY STRUCTURE TO BE REMOVED
- 8 TREE TO BE REMOVED
- 9 LANDSCAPE ISLAND TO BE REMOVED, IN ITS ENTIRETY
- 10 APPROXIMATE LOCATION OF EXISTING 5" GAS LINE. RELOCATION TO BE COORDINATED WITH LOCAL GAS UTILITY COMPANY
- 11 TELEPHONE BOX AND PEDESTAL TO BE REMAIN. CONTRACTOR NOT TO DISRUPT SERVICE TO OR FROM THESE UTILITIES.
- 12 POSSIBLE UNDERGROUND FIBER OPTIC. CONTRACTOR TO VERIFY PROPERTIES SERVED BY UTILITY WITH APPROPRIATE COMPANY. IF SERVICE IS TO BE MAINTAINED, CONTRACTOR TO COORDINATE WITH APPROPRIATE UTILITY COMPANY TO MAINTAIN SERVICE.
- 13 TELEPHONE OR CABLE TELEVISION LINES TO BE REMOVED.
- 14 GAS SERVICE TO EXISTING BUILDING TO BE REMOVED.
- 15 ELECTRICAL SERVICE TO BE REMOVED. CONTRACTOR TO COORDINATE REMOVAL WITH APPROPRIATE UTILITY COMPANY.
- X DENOTES ITEM TO BE REMOVED
- [Pattern] PAVEMENT/GRAVEL DRIVE TO BE REMOVED
- [Pattern] PAVEMENT TO BE SCARIFIED
- Ø POT HOLE LOCATION FOR EXISTING UTILITY



SECTION 02230 - SITE CLEARING
PART 1 - GENERAL
1.1 SECTION REQUIREMENTS
 A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during site-clearing operations.
 B. Salvable Improvements: Carefully remove items indicated to be salvaged and store on Owner's premises where indicated.
 C. Notify utility locator service for area where Project is located before site clearing.
 D. Do not begin site-clearing operations until temporary erosion and sedimentation control measures are in place.

PART 2 - PRODUCTS (Not Applicable)
PART 3 - EXECUTION
3.1 PREPARATION
 A. Protect and maintain benchmarks and survey control points from disturbance.
 B. Provide temporary erosion and sedimentation control measures to prevent soil erosion and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways, according to local and state jurisdictional requirements and these plans.
 C. Protect site improvements to remain from damage. Restore damaged improvements to condition existing before start of site clearing.
 D. Locate and clearly flag trees and vegetation to remain or to be relocated.
 E. Protect remaining trees and shrubs from damage and maintain vegetation. Employ a licensed arborist to repair tree and shrub damage. Restore damaged vegetation. Replace damaged trees that cannot be restored to full growth, as determined by arborist.
 F. Do not store materials or equipment or permit excavation within drip line of remaining trees.
 G. Locate, identify, disconnect, and seal or cap off utilities indicated to be removed.
 1. Arrange with utility companies to shut off indicated utilities.

3.2 SITE CLEARING
 A. Remove obstructions, trees, shrubs, grass, and other vegetation to permit installation of new construction. Removal includes digging out stumps and obstructions and grubbing roots.
 B. Strip topsoil. Stockpile topsoil that will be reused in the Work.
 1. Stockpile surplus topsoil to allow for respreading deeper topsoil.
 C. Remove existing above- and below-grade improvements as indicated and as necessary to facilitate new construction.
 D. Remove slabs, paving, curbs, gutters, and aggregate base as indicated.
 1. Neatly saw-cut length of existing pavement to remain before removing existing pavement.
 E. In areas not to be further excavated, fill depressions resulting from site clearing. Place and compact satisfactory soil materials in 6-inch- (150-mm-) thick layers to density of surrounding original ground.
 F. Dispose of waste materials, including trash, debris, and excess topsoil, off Owner's property. Burning waste materials on-site is not permitted.
 1. Separate recyclable materials produced during site clearing from other nonrecyclable materials. Store or stockpile without intermixing with other materials and transport them to recycling facilities.

Demolition specifications are listed in Section 02221 and Site Clearing in Section 02230.

NOTE:
 ALL STORM DRAIN STRUCTURES NOT SPECIFICALLY CALLED OUT TO BE REMOVED ARE TO BE MODIFIED PER THIS SITE DEVELOPMENT PLAN.
 THE EXISTING STORMWATER MANAGEMENT FACILITY AND ASSOCIATED STRUCTURES ARE TO REMAIN.
 THE EXISTING UTILITIES SHOWN ARE BASED ON THE AVAILABLE RECORDS, FIELD SURVEYS AND LOCATIONS BY A UTILITY LOCATOR. THIS PLAN IS NOT CERTIFIED TO THE LOCATION OF ALL EXISTING UTILITIES, BUT TO THOSE THAT ARE SHOWN ON THIS PLAN.

OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

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 RICHMOND, VA 23235
 C/O JOE JAGDMANN
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DESIGN GUIDELINES - DEMOLITION PLAN

- GENERAL NOTES:**
- DEMOLITION CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES AS SHOWN ON THE EROSION CONTROL PLAN AS NECESSARY DURING DEMOLITION OPERATIONS OR AS DIRECTED BY THE ENGINEER, CITY OR COUNTY INSPECTOR TO PROTECT ADJACENT PROPERTIES AND WATER RESOURCES FROM SOIL EROSION AND SEDIMENTATION.
 - VARIATIONS TO CONDITIONS OR DISCREPANCIES IN ACTUAL FIELD CONDITIONS AS THEY APPLY TO THE DEMOLITION OR SITE DEVELOPMENT WORK MUST BE BROUGHT TO THE OWNER'S REPRESENTATIVE AND ENGINEER'S ATTENTION PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION.
 - CONTRACTOR SHALL LOCATE, IDENTIFY, PROPERLY TERMINATE, AND MARK ALL EXISTING UTILITIES WITHIN THE DEMOLITION AREA THAT ARE TO REMAIN AND PROTECT THEM FROM DAMAGE.
 - THE DEMOLITION CONTRACTOR MUST NOTIFY ALL UTILITY COMPANIES, FIRE MARSHALL, AND OWNER'S REPRESENTATIVE PRIOR TO INTERUPTION OF ANY UTILITY SERVICE. NOTIFICATION MUST BE MADE PER THE PROJECT SPECIFICATIONS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH AND ADHERENCE TO EACH UTILITY COMPANY'S AND FIRE MARSHALL'S REGULATIONS REGARDING SERVICE INTERRUPTION.
 - THE DEMOLITION CONTRACTOR MUST PROTECT ALL LANDSCAPING AND OTHER FEATURES DESIGNATED TO REMAIN AND REPLACE SUCH ITEMS IF DISTURBED DURING DEMOLITION.
 - CONTRACTOR SHALL CONDUCT ALL DEMOLITION OPERATIONS WITH MINIMUM INTERFERENCE TO PUBLIC AND/OR PRIVATE ACCESSES AND FACILITIES. ALL AREAS OUTSIDE OF THE PAVEMENT REMOVAL LINE MUST BE MAINTAINED FOR PUBLIC ACCESS.
 - THE DEMOLITION CONTRACTOR MUST PROTECT BENCH MARKS, PROPERTY CORNERS, AND ALL OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT. IF A MARKER MUST BE REMOVED, IT SHALL BE REPLACED BY A LICENSED LAND SURVEYOR AND REPLACED.
 - THE DEMOLITION CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL MEASURES AS REQUIRED IN ACCORDANCE WITH THE U.S. DEPT. OF TRANSPORTATION "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" AND GOVERNING MUNICIPALITY REQUIREMENTS.
 - DEPRESSIONS AND VOID AREAS CAUSED BY DEMOLITION WORK ARE TO BE FILLED TO SUBGRADE AND PROPERLY COMPACTED TO THE EXISTING ELEVATION TO AVOID WATER PONDING.
 - THE DEMOLITION CONTRACTOR SHALL ACQUIRE ALL PERMITS AND PAY ALL ASSOCIATED FEES PERTAINING TO THE DEMOLITION AND DISPOSAL REQUIREMENTS. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ADHERENCE TO ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS REGARDING THIS WORK. IF THERE ARE NO LOCAL, STATE OR FEDERAL REQUIREMENTS THE DEMOLITION CONTRACTOR SHALL ACQUIRE AN ENGINEER'S CERTIFICATION THAT THE WORK HAS BEEN DONE IN ACCORDANCE WITH THE PLANS.
 - THE DEMOLITION CONTRACTOR SHALL COORDINATE THE DEMOLITION TO LEAVE ACCESS AND UTILITY SERVICE TO THE NEIGHBORING BUILDINGS AT ALL TIMES.
 - THE DEMOLITION CONTRACTOR SHALL FIELD LOCATE, MARK AND PROTECT ALL EXISTING UTILITIES.
 - WHEN THE WATER LINE IS ABANDONED, ANY APPURTANCES NEED TO BE RETURNED TO HOWARD COUNTY, DEPARTMENT OF PUBLIC WORKS. THE EXISTING 2" WATER METER INSIDE OF BUILDING CAN BE REUSED BY CARMAX, IF IT MEETS THEIR SERVICE REQUIREMENTS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/20/07
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 5/18/07
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 5/22/07
 DIRECTOR DATE

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.

[Signature] 4/20/07
 USA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 4/20/07
 HOWARD S.C.D. DATE

BY THE DEVELOPER:

"I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 4/21/2007
 SIGNATURE OF DEVELOPER DATE
 Douglas M. Watts
 Vice President

BY THE ENGINEER:

"I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."

[Signature] 3/22/07
 SIGNATURE OF ENGINEER DATE

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
DEMOLITION AND PHASE 1
SEDIMENT CONTROL PLAN
CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"

TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

P/O TM PARCEL B48
 HOWARD COUNTY, MARYLAND

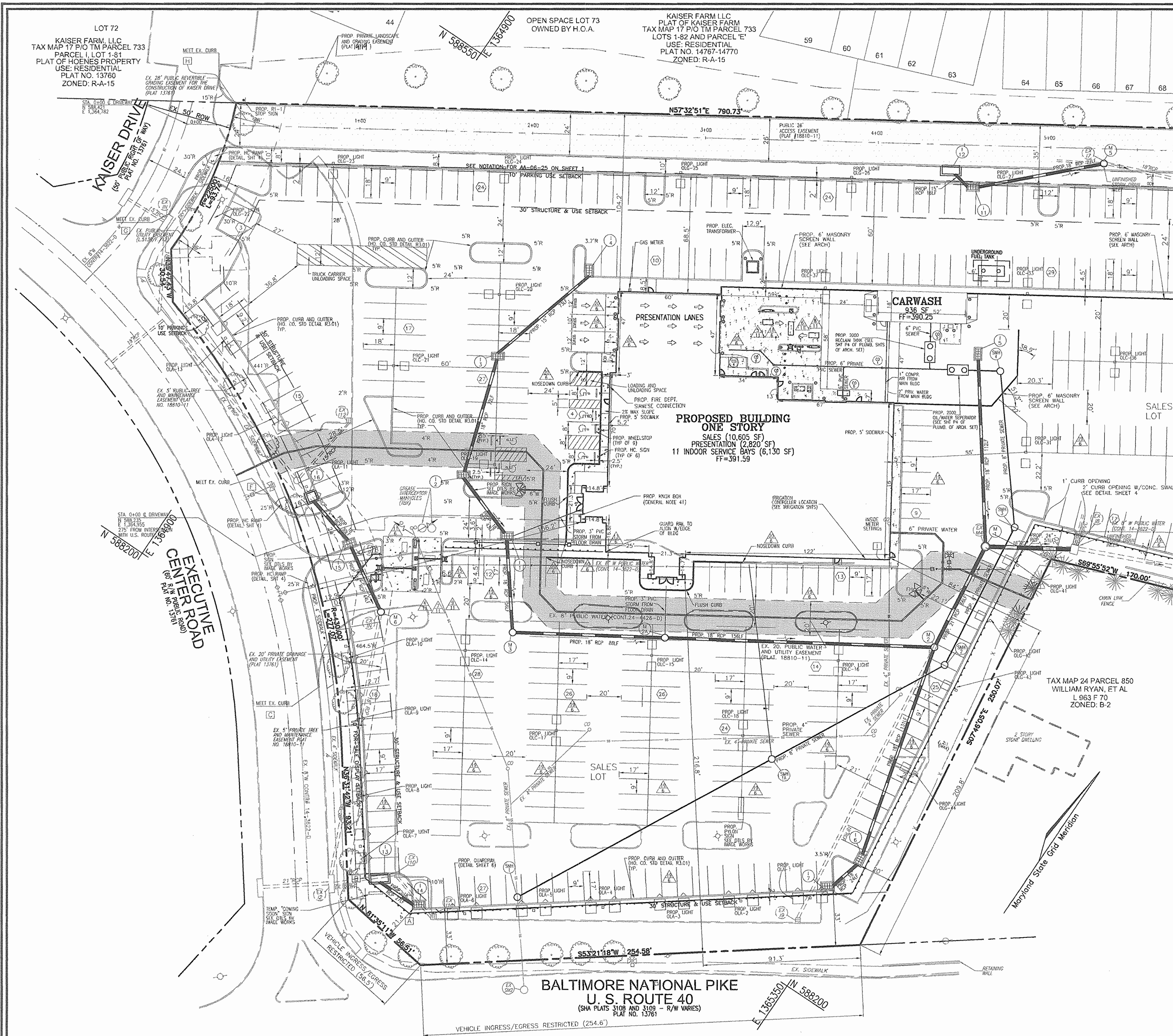
ROBERT H. VOGEL
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

CARMAX PLAN INFO:
 DESIGN BY: _____
 DRAWN BY: _____
 CHECKED BY: _____
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.O. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE
C 2

HO. CO. DPZ SHEET:
 2 SHEET OF 11

STATE OF MARYLAND
 REGISTERED PROFESSIONAL ENGINEER
 NO. 10000
 EXPIRES 12/31/08



LOT 72
KAISER FARM, LLC
TAX MAP 17 P/O TM PARCEL 733
PARCEL 1 LOT 1-31
PLAT OF HOENES PROPERTY
USE: RESIDENTIAL
PLAT NO. 13780
ZONED: R-A-15

KAISER FARM LLC
PLAT OF KAISER FARM
TAX MAP 17 P/O TM PARCEL 733
LOTS 1-82 AND PARCEL "E"
USE: RESIDENTIAL
PLAT NO. 14767-14770
ZONED: R-A-15

PROPOSED BUILDING ONE STORY
SALES (10,605 SF)
PRESENTATION (2,800 SF)
11 INDOOR SERVICE BAYS (6,130 SF)
FF=391.59

CARWASH
936 SF
FF=300.25

BALTIMORE NATIONAL PIKE
U. S. ROUTE 40
(SHA PLATS 3108 AND 3109 - R/W VARIES)
PLAT NO. 13781

PLAN VIEW
SCALE: 1" = 30'
GRAPHIC SCALE 1" = 30'

LIGHT POLE LOCATIONS		
POLE NO.	LOCATION	
OLA_1	N 588253	E 1365336
OLA_2	N 588229	E 1365304
OLA_3	N 588205	E 1365272
OLA_4	N 588181	E 1365240
OLA_5	N 588158	E 1365207
OLA_6	N 588134	E 1365175
OLA_7	N 588124	E 1365106
OLA_8	N 588153	E 1365084
OLA_9	N 588189	E 1365057
OLA_10	N 588216	E 1365033
OLA_11	N 588281	E 1364955
OLA_12	N 588304	E 1364916
OLA_13	N 588327	E 1364867
OLA_14	N 588258	E 1365087
OLA_15	N 588316	E 1365178
OLA_16	N 588374	E 1365269
OLA_17	N 588249	E 1365156
OLA_18	N 588306	E 1365248
OLA_19	N 588357	E 1365040
OLA_20	N 588440	E 1364987
OLA_21	N 588372	E 1364960
OLA_22	N 588385	E 1364923
OLA_23	N 588450	E 1364865
OLA_24	N 588503	E 1364948
OLA_25	N 588558	E 1365034
OLA_26	N 588611	E 1365118
OLA_27	N 588664	E 1365201
OLA_28	N 588719	E 1365288
OLA_29	N 588772	E 1365371
OLA_30	N 588822	E 1365450
OLA_31	N 588837	E 1365292
OLA_32	N 588585	E 1365368
OLA_33	N 588615	E 1365244
OLA_34	N 588663	E 1365319
OLA_35	N 588658	E 1365381
OLA_36	N 588609	E 1365305
OLA_37	N 588552	E 1365145
OLA_38	N 588714	E 1365513
OLA_39	N 588643	E 1365499
OLA_40	N 588552	E 1365459
OLA_41	N 588487	E 1365322
OLA_42	N 588443	E 1365328
OLA_43	N 588398	E 1365334
OLA_44	N 588344	E 1365342
OLA_45	N 588269	E 1365451
OLA_46	N 588230	E 1365390

LEGEND:

- 398--- EXISTING CONTOUR
- 406--- PROPOSED CONTOUR
- + 402.68 PROPOSED SPOT ELEVATION
- 402.68 EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING TRANSFORMER
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN INLET
- EXISTING VEGETATION (APPROXIMATE LOCATION)
- EXISTING STREET TREES (7-98-12)
- PROP. GUARDRAIL (PRO. CO. DETAIL 7-12)
- PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 6)
- PROP. ORNAMENTAL FENCE (SEE DETAIL SHEET 6)
- PROPERTY LINE
- EXISTING FENCE
- RIGHT-OF-WAY LINE
- SOILS BOUNDARY
- MIB2 MIDS
- PROPOSED SIDEWALK
- 24" PUBLIC UTILITY ACCESS EASEMENT (PLAT #18810-11)
- PROPOSED LIGHT
- EX. 24" PUBLIC WATER AND UTILITY EASEMENT (PLAT #18810-11)
- DETAIL CALLOUTS
- FLUSH CURB
- COORDINATE POINT

COORDINATES		
POINT	LOCATION	
1	N 588112.61	E 1365145.17
2	N 588115.39	E 1365113.09
3	N 588192.10	E 1365028.17
4	N 588242.36	E 1365008.95
5	N 588273.98	E 1365011.07
6	N 588269.06	E 1364940.69
7	N 588371.94	E 1364802.44
8	N 588453.53	E 1364782.04
9	N 588438.58	E 1365260.68

NOTE: THESE COORDINATES ARE FOR A FEW GUARDRAIL CORNERS, ONE BUILDING CORNER, AND WHERE THE PROPOSED CURB TIES INTO THE EXISTING CURB.

NOTE: SEE THE PLAN ON SHEET 9 FOR THE LOCATIONS OF THE OUTDOOR SALES DISPLAY AREAS.

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JACQUIANN
(804) 747-0422

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

P/O TM PARCEL 848
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

CARMAX PLAN INFO:
DRAWN BY: WCG
DESIGN BY: DZ
CHECKED BY: RHV
DATE: MAR 16, 2007
SCALE: AS SHOWN
W.G. NO.: 05-79

PART OF SP-8SDP-1 PACKAGE C 3
HO. CO. DPZ SHEET: 3 OF 11

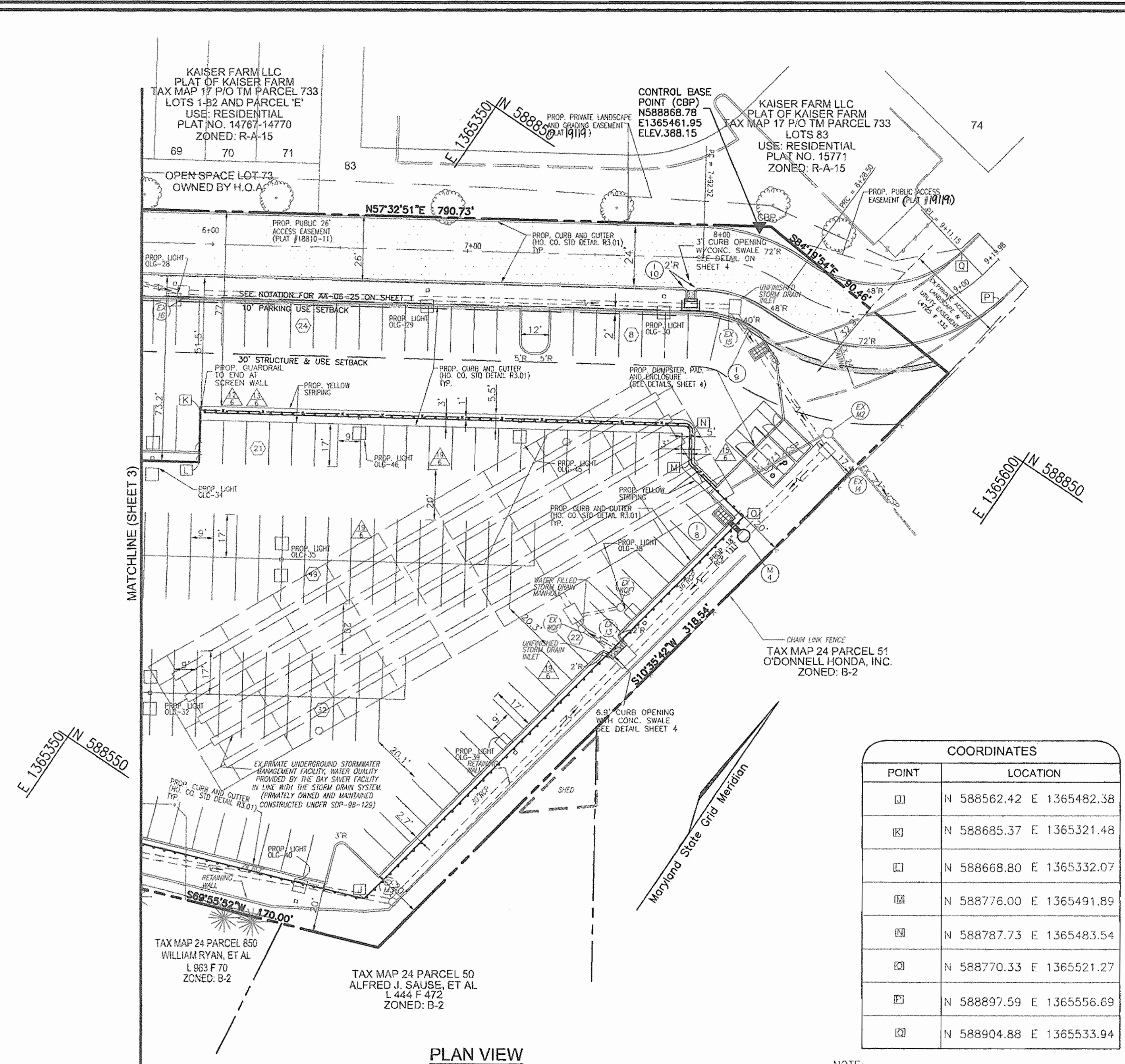
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF DEVELOPMENT ENGINEERING DIVISION
DATE: 4/26/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/18/07

DIRECTOR
DATE: 5/22/07

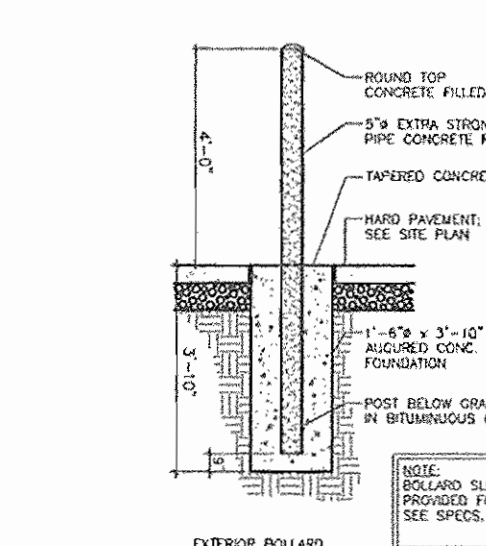
NOTE:
1. CONTRACTOR TO COORDINATE LOCATION OF BUILDING STOOPS AND DOORS WITH ARCHITECTURAL PLANS.
2. CONTRACTOR TO COORDINATE SITE SPECIFIC NUMBERING SYSTEM OF "SALES LOT" WITH ARCHITECTURAL DRAWINGS, AND DETAIL 19/6 SHOWN ON SHEET 6.



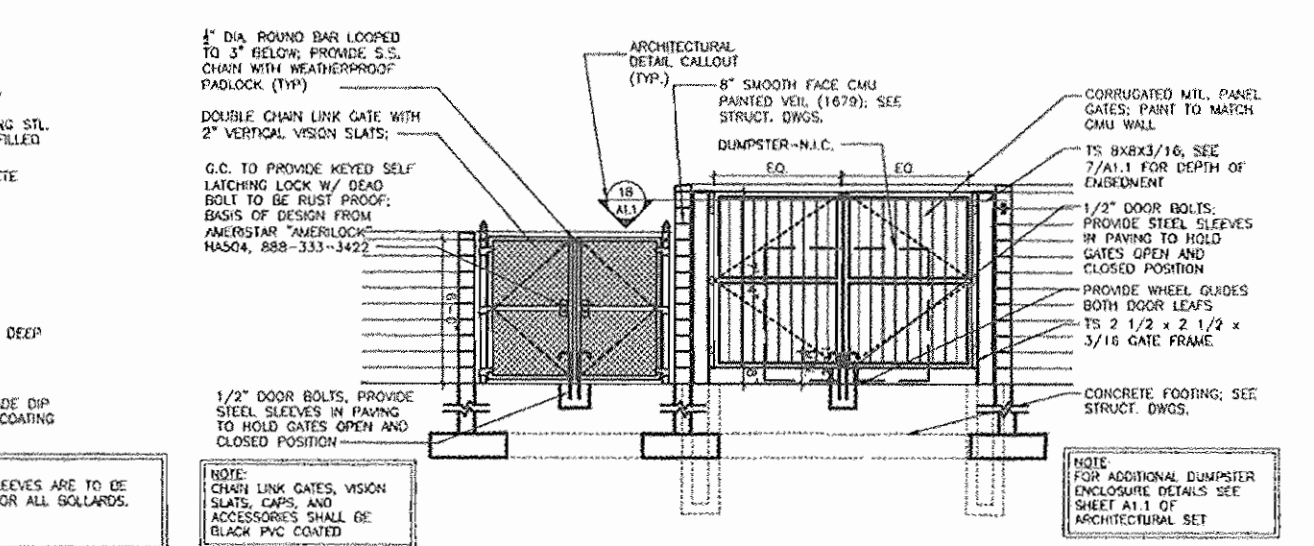
POINT	LOCATION
Q	N 588562.42 E 1365482.38
R	N 588685.37 E 1365321.48
S	N 588668.80 E 1365332.07
T	N 588776.00 E 1365491.89
U	N 588787.73 E 1365483.54
V	N 588770.33 E 1365521.27
W	N 588897.59 E 1365556.69
X	N 588904.88 E 1365533.94

INLET	ZONING	SUBAREA	AREA(AC.)	'C' FACTOR	% IMPERVIOUS
I-1	B-1	1	0.75	0.71	79
I-2	B-1	2	1.14	0.82	94
I-3	B-1	3	0.38	0.79	90
I-4	B-1	4	0.49	0.69	75
I-5	B-1	5	0.17	0.86	100
I-6	B-1	6	0.07	0.77	87
I-7	B-1	7	0.80	0.74	83
I-8	B-1	8	1.91	0.85	98
I-9	B-1	9	0.75	0.82	94
I-10	B-1	10	1.14	0.61	64
I-11	B-1	11	0.38	0.78	88
I-12	B-1	12	0.49	0.50	48
I-13	B-1	13	0.17	0.80	92
I-14	B-1	14	0.07	0.85	98
I-15	B-1	15	0.80	0.82	95
I-16	B-1	16	1.91	0.72	80
RD-1	B-1	RD-1	0.43	0.86	100
EX 13	B-1	EX 13	0.62	0.78	88
EX 14	B-1	EX 14	0.04	0.16	0
EX 18	B-1	EX 18	0.15	0.65	70

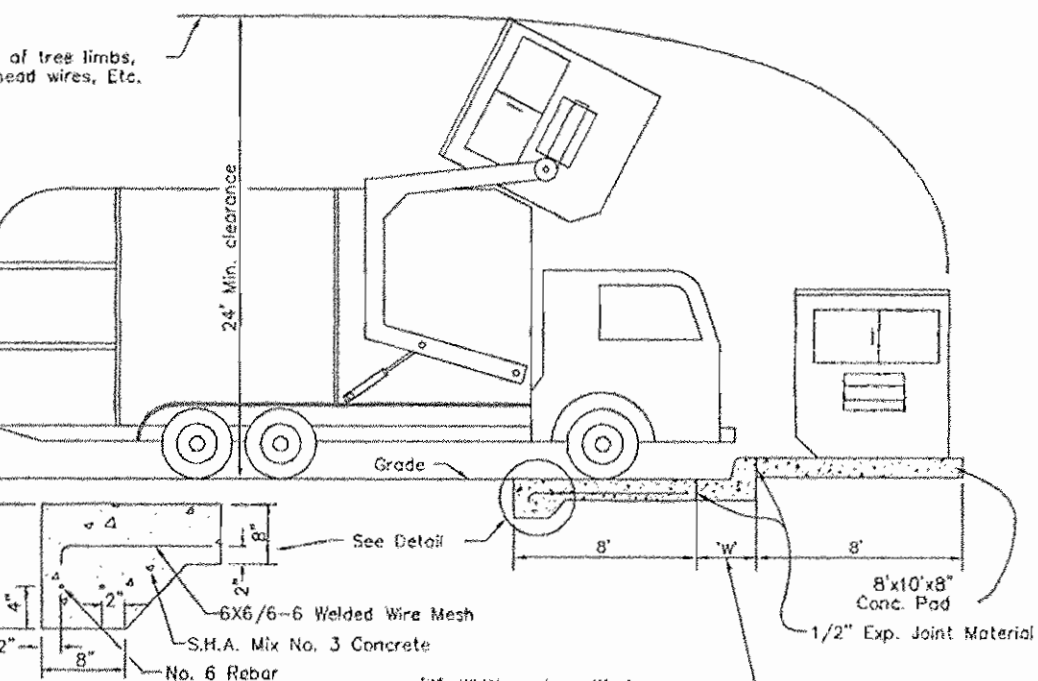
NOTE: THESE COORDINATES ARE FOR A FEW GUARDRAIL CORNERS, TWO WALL CORNERS, AND WHERE THE PROPOSED CURB TIES INTO THE EXISTING CURB.



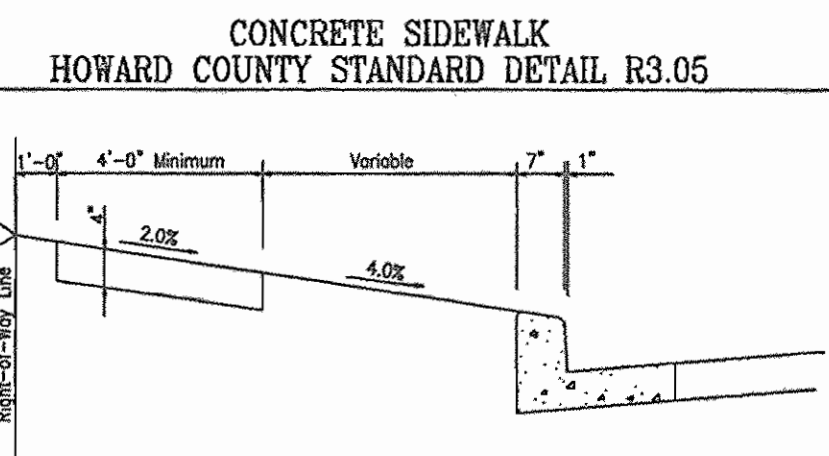
EXTERIOR BOLLARD
SCALE: NTS



DUMPSTER AND TIRE ENCLOSURE
SCALE: 1/8"=1'



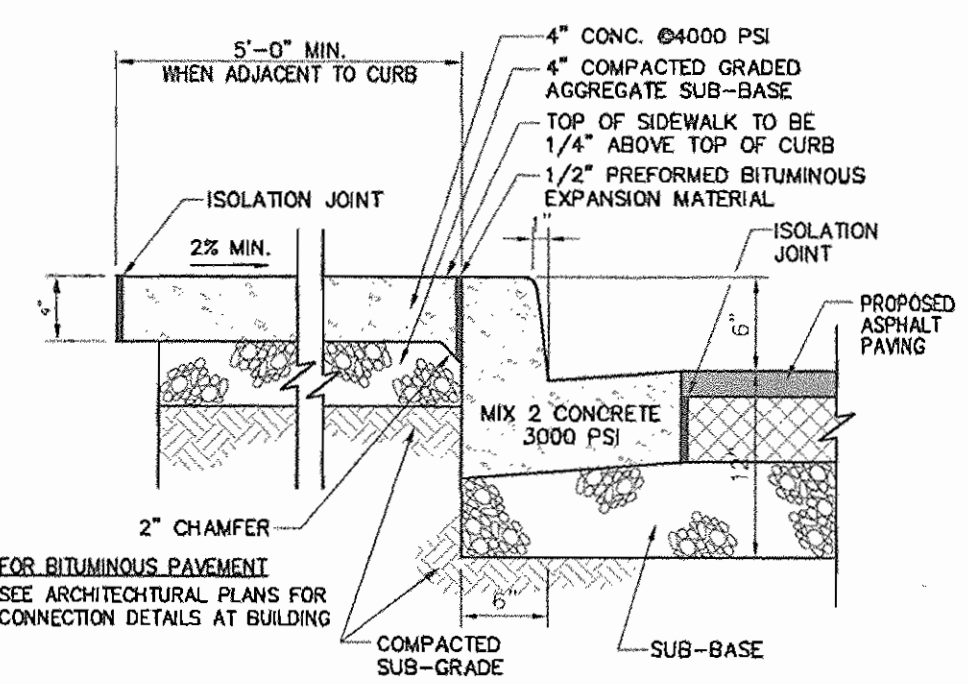
SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R 11.01
NOT TO SCALE



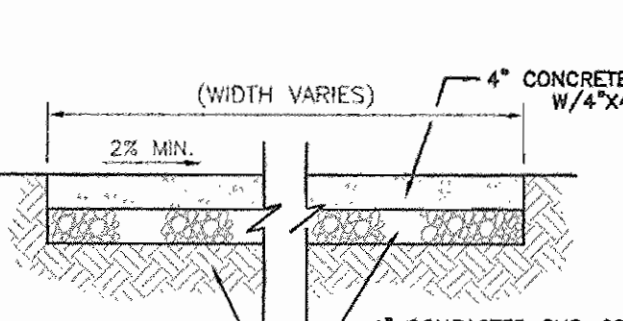
CONCRETE SIDEWALK
HOWARD COUNTY STANDARD DETAIL R3.05

LEGEND:	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING TRANSFORMER
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED STORM DRAIN INLET
---	EXISTING VEGETATION (APPROXIMATE LOCATION)
---	EXISTING STREET TREES (F=98-12)
---	PROP. GUARDRAIL (HO CO. DETAIL R-7.12)
---	PROP. CHAIN LINK FENCE (SEE DETAIL SHEET B)
---	PROPOSED PICKET FENCE
---	PROPERTY LINE
---	EXISTING FENCE
---	RIGHT-OF-WAY LINE
---	SOILS BOUNDARY
---	PROPOSED SIDEWALK
---	PROP. 24\"/>

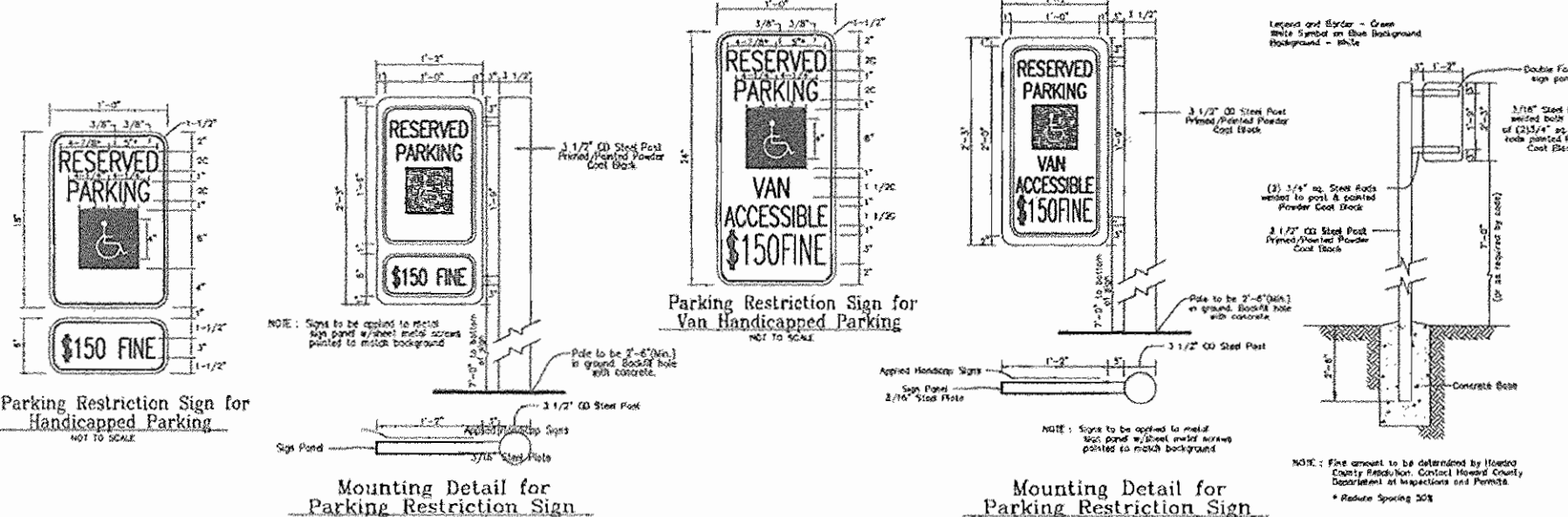
NOTE: SEE THE PLAN ON SHEET 9 FOR THE LOCATIONS OF THE OUTDOOR SALES DISPLAY AREAS.



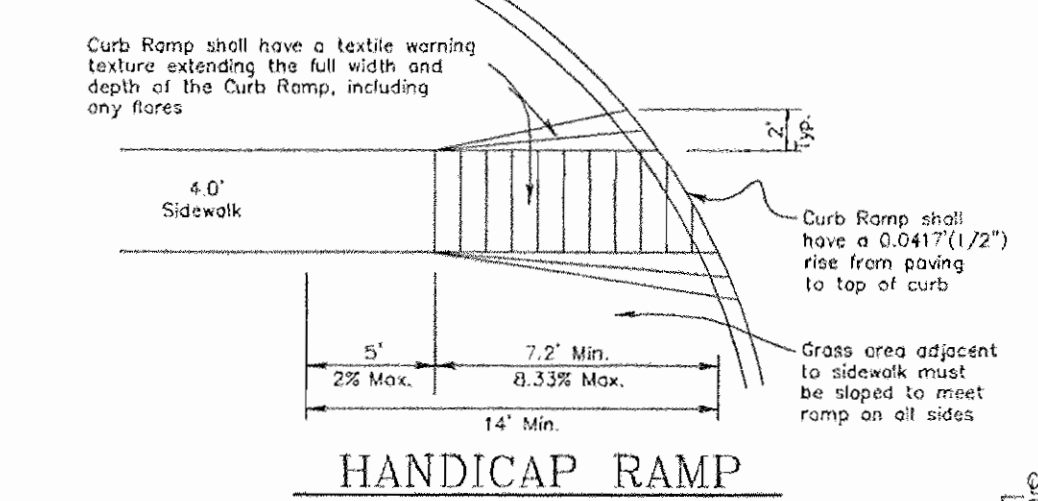
HO. CO. STD. R-3.05
TYPICAL SIDEWALK AT BUILDING
(N.T.S.)



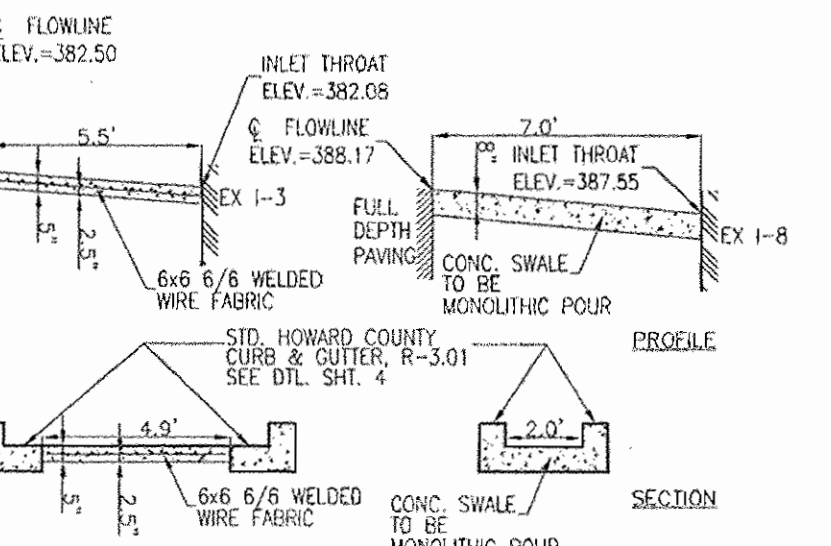
HO. CO. STD. R-3.05
TYPICAL SIDEWALK DETAIL
(N.T.S.)



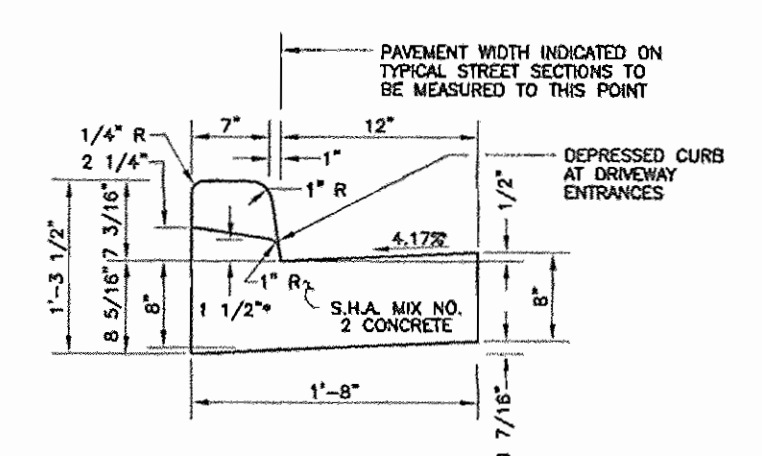
HANDICAP PARKING SIGNS
(NOT TO SCALE)



HANDICAP RAMP
NOT TO SCALE



CONCRETE SIDEWALK DETAILS
@ EX I-3 & I-8
SCALE: 1"=5'



STANDARD COMBINATION CURB AND GUTTER
HOWARD COUNTY STANDARD R-3.01
(NOT TO SCALE)

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	OLA	13	KVF 1000M VFAPL EHS	SQUARE AREA LIGHT, VFA DISTRIBUTION, FLAT LENS, HOUSE SIDE SHELD.	ONE 1000-WATT CLEAR 87-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	LH10738.2ES	110000	0.72	2160
□	OLA	15	KVF 1000M SYMFL	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, FLAT LENS.	ONE 1000-WATT CLEAR 87-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	LH11578.1ES	110000	0.72	2160
□	OLA	18	KVF 1000M ASYFL EHS	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, FLAT LENS, HOUSE SIDE SHELD.	ONE 1000-WATT CLEAR 87-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	LH11574.1ES	110000	0.72	1080

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 [Signature] 4/26/07
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 [Signature] 5/17/07
 CHIEF, DIVISION OF LAND DEVELOPMENT
 [Signature] 5/21/07
 DIRECTOR

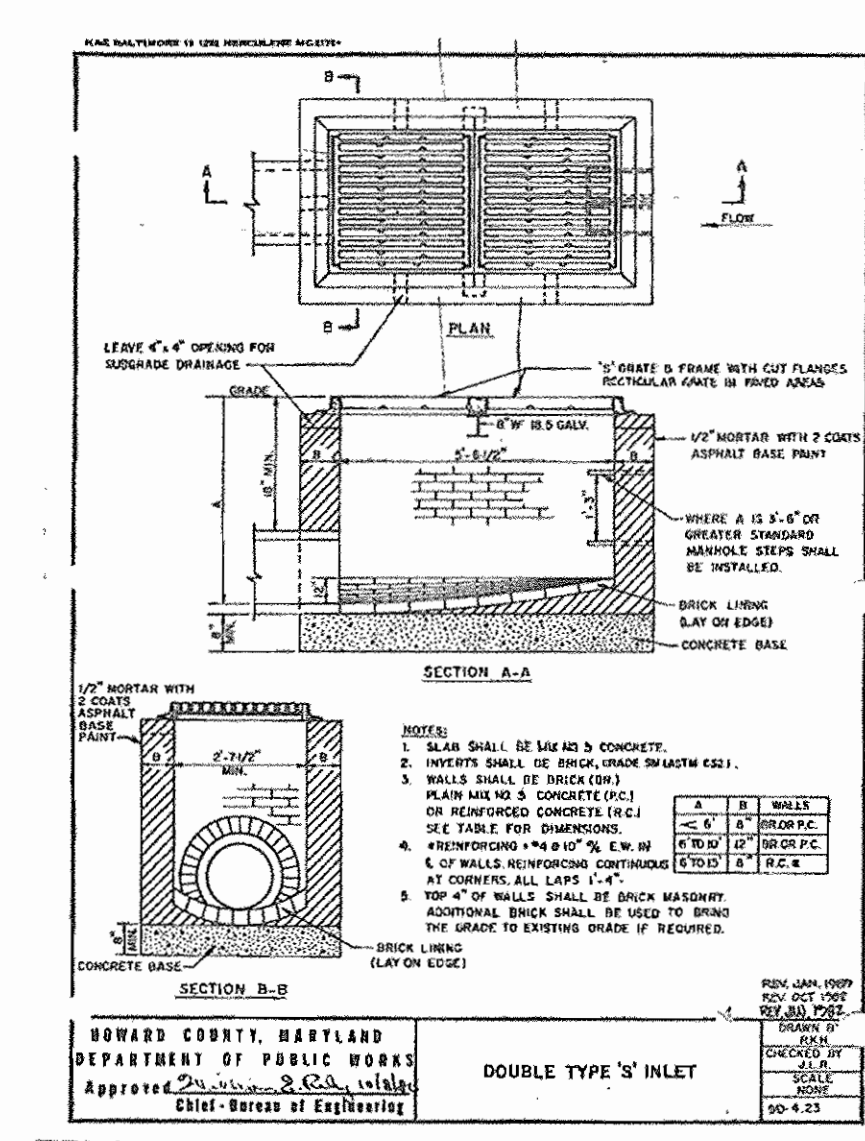
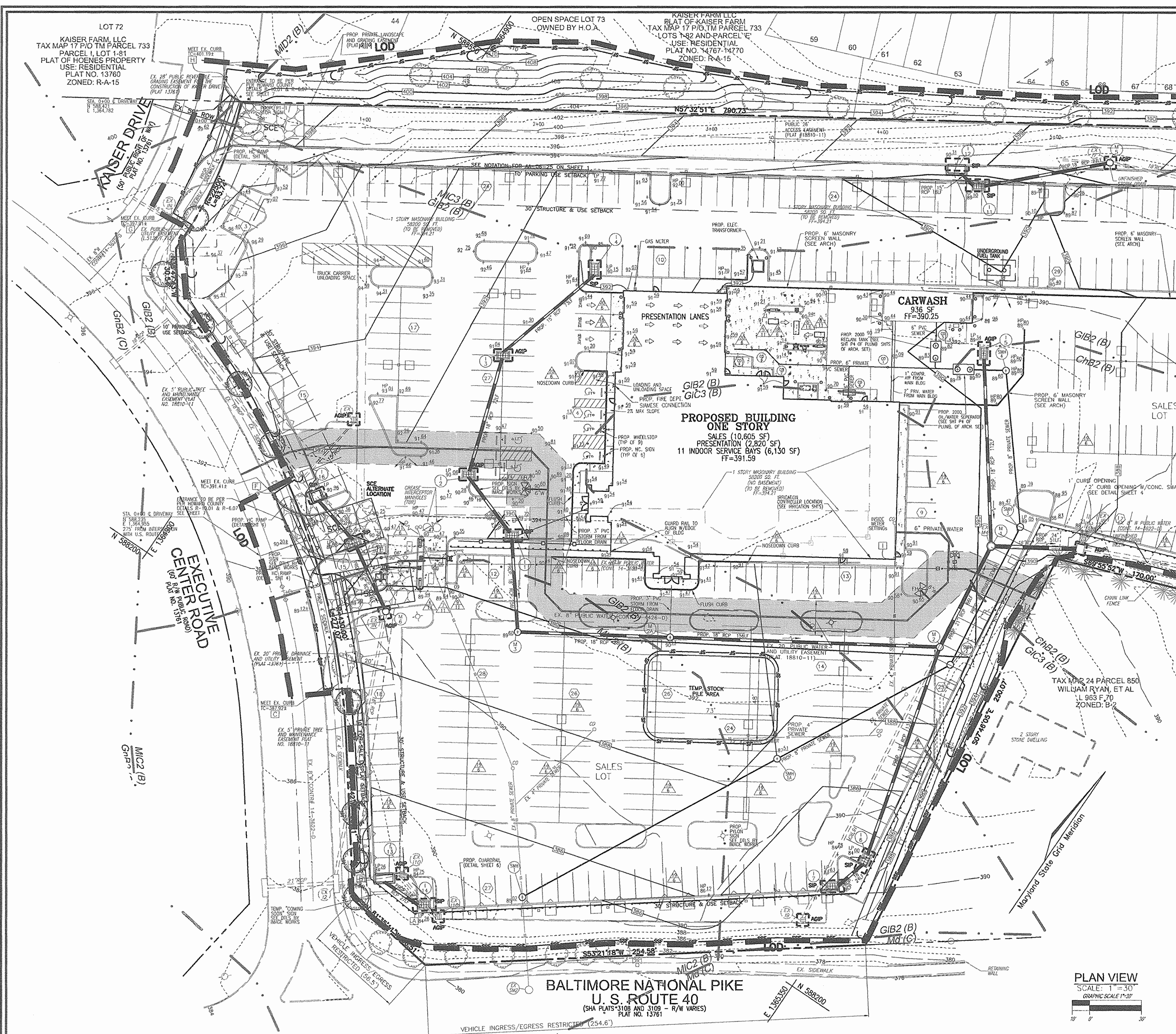
OWNER: LEONORA K. HOENES, 15115 CARRS MILL ROAD, WOODBINE, MD 21797-8013
 DEVELOPER: CARMAX AUTO SUPERSTORES, INC., 12800 TUCKAHOE CREEK PARKWAY, RICHMOND, VA 23238, C/O JOE JACOMANN (804) 747-0422

NO.	REVISION	DATE

SITE DEVELOPMENT PLAN
 SITE LAYOUT PLAN AND SITE DETAILS
 CARMAX #7663
 AUTO DEALERSHIP HOENES PROPERTY
 PARCEL "H"
 TAX MAP 24 BLOCK 6 2ND ELECTION DISTRICT
 P/O TM PARCEL 848 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043
 TEL: 410.461.7666 FAX: 410.461.8961

CARMAX PLAN INFO:
 DESIGN BY: W.G.Z.
 DRAWN BY: D.Z.
 CHECKED BY: R.H.V.
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.D. NO.: 05-79
 PART OF SP-9SDP-1 PACKAGE
 HO. CO. DPZ SHEET: 4 OF 11
 SHEET 11



LEGEND:

- 398 --- EXISTING CONTOUR
- 408 --- PROPOSED CONTOUR
- 402.58 --- PROPOSED SPOT ELEVATION
- 402.58 --- EXISTING SPOT ELEVATION
- --- EXISTING CURB AND GUTTER
- --- PROPOSED CURB AND GUTTER
- --- EXISTING UTILITY POLE
- --- EXISTING LIGHT POLE
- --- EXISTING MAILBOX
- --- EXISTING SIGN
- --- EXISTING SANITARY MANHOLE
- --- EXISTING SANITARY LINE
- --- EXISTING CLEANOUT
- --- EXISTING FIRE HYDRANT
- --- EXISTING TRANSFORMER
- --- EXISTING WATER LINE
- --- PROPOSED STORM DRAIN
- --- PROPOSED STORM DRAIN TIE
- --- EXISTING VEGETATION (APPROXIMATE LOCATION)
- --- EXISTING STREET TREES (F-98-12)
- --- PROP. GUARDRAIL (MISC. DETAIL-7.12)
- --- PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 8)
- --- PROPOSED PICKET FENCE
- --- PROPERTY LINE
- --- EXISTING FENCE
- --- RIGHT-OF-WAY LINE
- --- SOILS BOUNDARY
- --- PROPOSED SIDEWALK
- --- PROP. 26' PUBLIC ACCESS EASEMENT (PLAT #18810-11)
- --- SILT FENCE
- --- SUPER SILT FENCE
- --- LIMIT OF DISTURBANCE
- --- CURB INLET PROTECTION
- --- AT GRADE INLET PROTECTION
- --- STABILIZED CONSTRUCTION ENTRANCE
- --- PROPOSED LIGHT
- --- EX. 20' PUBLIC WATER AND UTILITY EASEMENT (PLAT #18810-11)
- --- DETAIL CALLOUTS
- --- FLUSH CURB
- --- TREE PROTECTION FENCE (SEE DETAIL ON SHEET 7 OF 11)

CONTRACTOR'S RESPONSIBILITIES

1. PREPARE AND SIGN AN NOT FORM AND SUBMIT TO THE REGULATORY AGENCY ALONG WITH ANY REQUIRED FEES AND ATTACHMENTS.
2. IMPLEMENT THE STABILIZATION, EROSION CONTROL, AND OTHER REQUIREMENTS OF THE SWPPP / EROSION SEDIMENTATION AND POLLUTION CONTROL ACT.
3. PROVIDE QUALIFIED INSPECTORS, AND DOCUMENTATION OF QUALIFICATIONS, FOR THE CONTROLS IMPLEMENTED AT THE JOB SITE.
4. CONDUCT ALL NECESSARY INSPECTIONS AT THE REQUIRED INTERVALS AND PREPARE AND RETAIN WRITTEN DOCUMENTATION OF THOSE INSPECTIONS AND ALL OTHER WRITTEN DOCUMENTATION REQUIRED BY THE GENERAL PERMIT.
5. KEEP A COPY OF THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, ALL NOTS, PERMIT CERTIFICATES, PERMITS LANGUAGE, SPILL PREVENTION, COUNTERMEASURES, AND CLEANUP ("SPCC") PLAN, INSPECTION RECORDS, AND OTHER REQUIRED RECORDS ON THE JOB SITE AND POST IN A PROMINENT PLACE NEAR THE JOB SITE ENTRANCE. THOSE DOCUMENTS REQUIRED TO BE POSTED UNDER THE TERMS OF THE GENERAL PERMIT.
6. CONTRACTOR SHALL PROVIDE MONTHLY TRAINING SESSIONS FOR ALL ENTITIES AND SUBCONTRACTORS INVOLVED WITH INSTALLING, APPLYING, PERFORMING, MAINTAINING AND INSPECTION OF THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.
7. UPDATE AND MAKE CHANGES TO THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND SUPPORTING DOCUMENTS (SUCH AS THE DPMs AND/OR SPCC) AS NEEDED AND WITH THE APPROVAL OF THE OPERATOR AND THE OPERATOR'S ENGINEER.
8. PREPARE AND SIGN A NOT FORM WHEN SITE WORK CONSTRUCTION IS COMPLETED AND STABILIZATION IS ACHIEVED. TRANSFER THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN DOCUMENTS, ALONG WITH ALL NOTS, PERMIT CERTIFICATES, NOTS, AND WRITTEN RECORDS REQUIRED BY THE GENERAL PERMIT TO THE OPERATOR FOR ARCHIVING IN BOTH PAPER AND OPTICALLY-SCANNED FORMAT ON A CD.

NOTES

1. FOR CONSTRUCTION DETAILS AND PROFILES OF PROPOSED SANITARY SEWER, STORM DRAIN, AND WATER, SEE SHEETS 7, 8, AND 9, OF 11.
2. CONTRACTOR TO REFER TO SHEET 7 OF 11 FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS.
3. TEMPORARY SEEDING & STABILIZATION TO BE PROVIDED IN ACCORDANCE WITH "SEDIMENT CONTROL NOTE" #3 AND "TEMPORARY SEEDING NOTES" ON SHEET 7 OF 11.

OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

DEVELOPER
 CARMAX AUTO SUPERSTORES, INC.
 12800 TUCKAHOE CREEK PARKWAY
 RICHMOND, VA 23238
 C/O JOE JAGDMANN
 (804) 747-0422

NO. _____ REVISION _____ DATE _____

SITE DEVELOPMENT PLAN
SITE GRADING AND SEDIMENT CONTROL PLAN
CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"

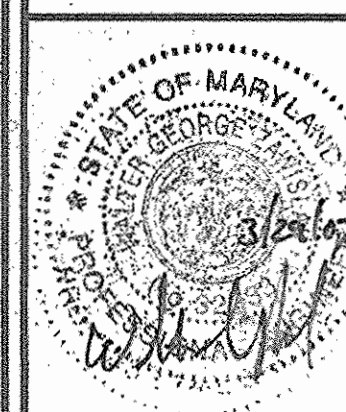
TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

P/O TM, PARCEL 848
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS

8407 MAIN STREET
 ELLICOTT CITY, MD 21043

TEL: 410-461-7666
 FAX: 410-461-8966



CARMAX PLAN INFO:

DESIGN BY: WJZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.O. NO.: 05-79

PART OF SP-SSDP-1 PACKAGE

HO. CO. DPZ SHEET:

5 SHEET **11**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 4/26/07
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 5/10/07
 CHIEF, DIVISION OF LAND DEVELOPMENT

[Signature] 5/22/07
 DIRECTOR

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.

BY THE DEVELOPER:
 [Signature] 4/26/07
 USDA-NATURAL RESOURCES CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

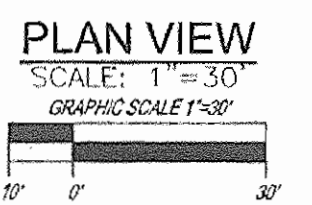
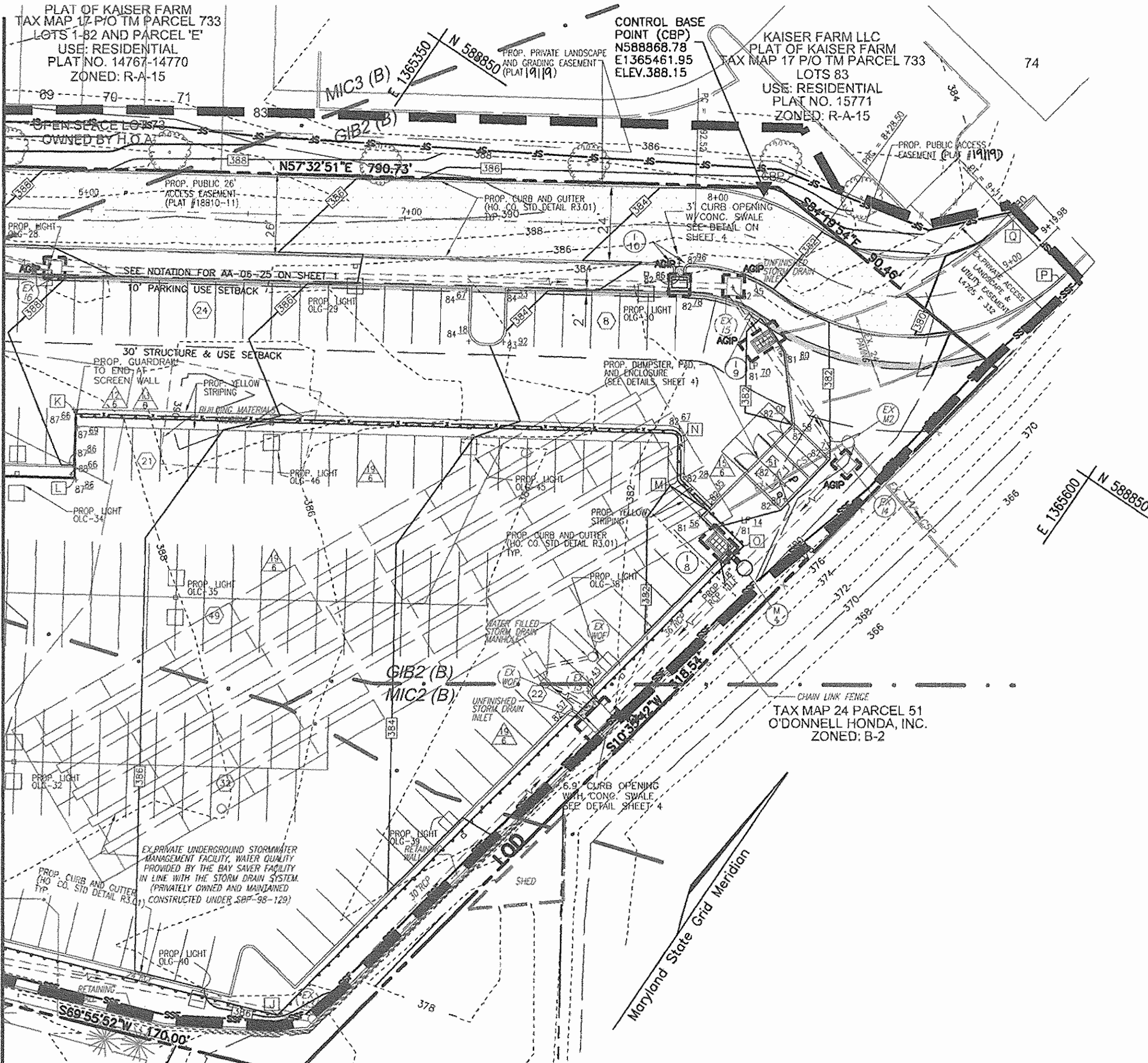
[Signature] 4/26/07
 HOWARD S.C.D.

BY THE ENGINEER:
 [Signature] 3/26/07
 K. Douglas Moore
 Vice President

BY THE ENGINEER:
 [Signature] 3/26/07
 W. H. Vogel
 SIGNATURE OF ENGINEER

GRADING & EROSION CONTROL NARRATIVE

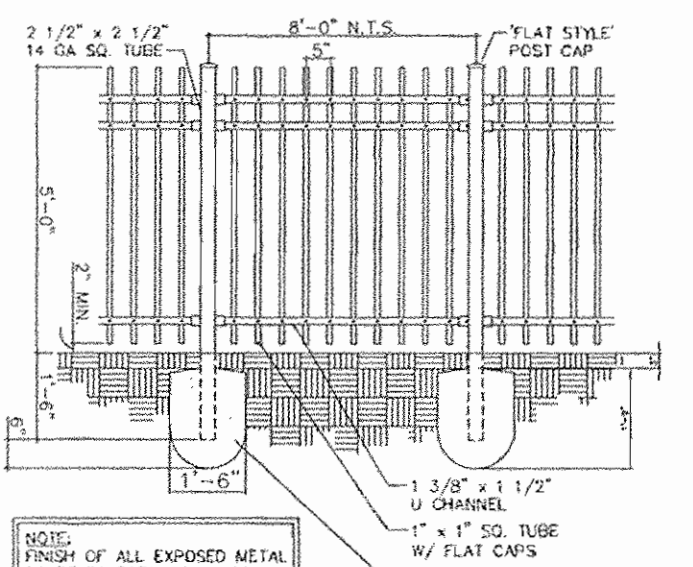
INITIAL SITE DISTURBANCES SHALL BE LIMITED TO THE PLACEMENT OF TREE SAVE AND SILT FENCING AND THE EXCAVATION AND CLEARING NECESSARY TO CONSTRUCT THE SEDIMENT CONTROL MEASURES. A GEOTECHNICAL ENGINEER SHALL APPROVE ALL SOILS USED. AS SOON AS CONSTRUCTION ACTIVITIES PERMIT, ALL CUT AND FILL SLOPES ARE TO BE STABILIZED AND LANDSCAPING MATERIALS (TREES AND SHRUBS) SHALL BE PLACED.



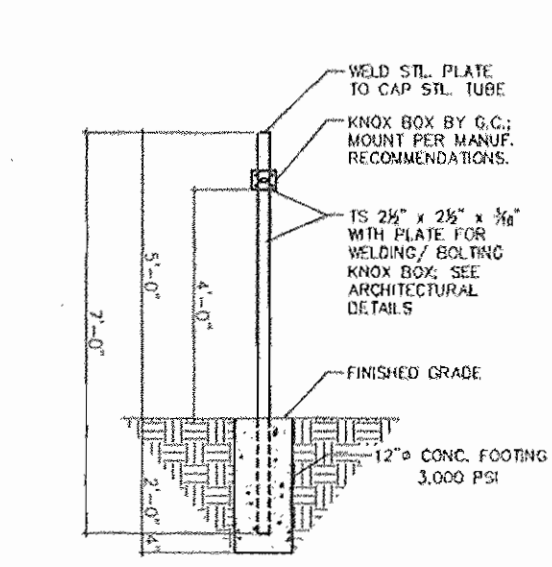
BAWSAVER OPERATION AND MAINTENANCE SCHEDULE
 BAWSAVER SYSTEMS MUST BE INSPECTED ANNUALLY AND MAINTAINED AS NEEDED. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. IS CLEAN.
 MAINTENANCE CONSISTS OF THE FOLLOWING:
 A. PRIMARY MANHOLE:
 1. PUMP CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 2. REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
 3. CLEAN MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVING FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
 B. STORAGE MANHOLE:
 1. REMOVE THE TOP 12 INCHES OF OIL, DEBRIS, AND WATER BY VACUUM.
 2. PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 3. REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY THE VACUUM TRUCK.
 4. CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
 CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM.

NOTE
 SEE SHEET 5 OF 11 FOR ADDITIONAL PLAN REQUIREMENTS

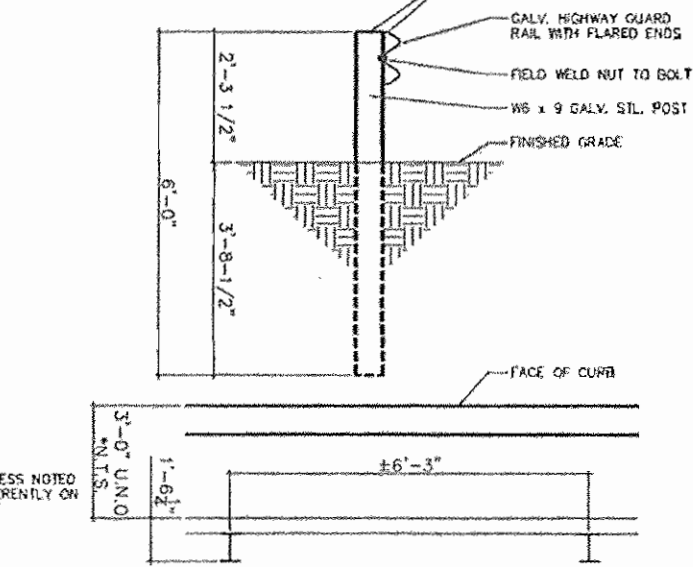
NOTE
 CONTRACTOR TO SEE SHEET 7 FOR ADDITIONAL EROSION CONTROL DETAILS, INFORMATION AND REQUIREMENTS.



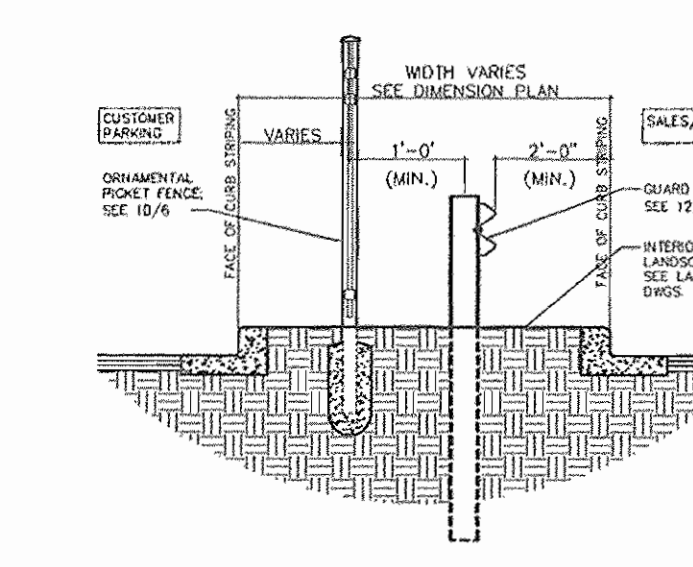
10 ORNAMENTAL PICKET FENCE
 SCALE: N.T.S.



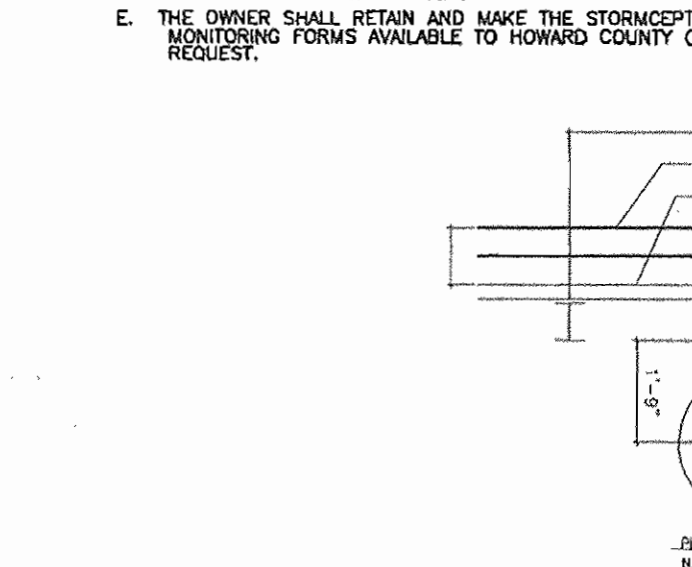
11 KNOX BOX DETAIL
 SCALE: N.T.S.



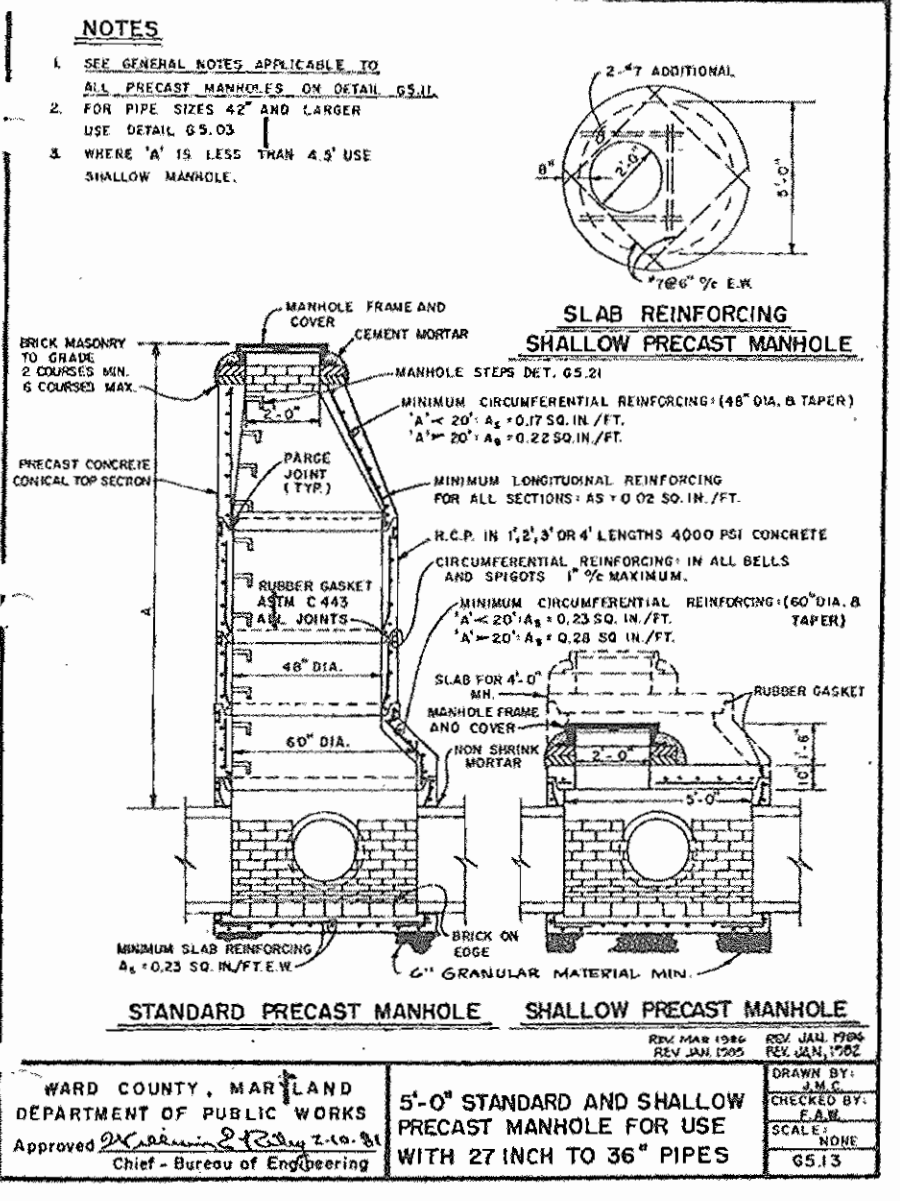
12 SECTION @ GUARD RAIL
 SCALE: N.T.S.



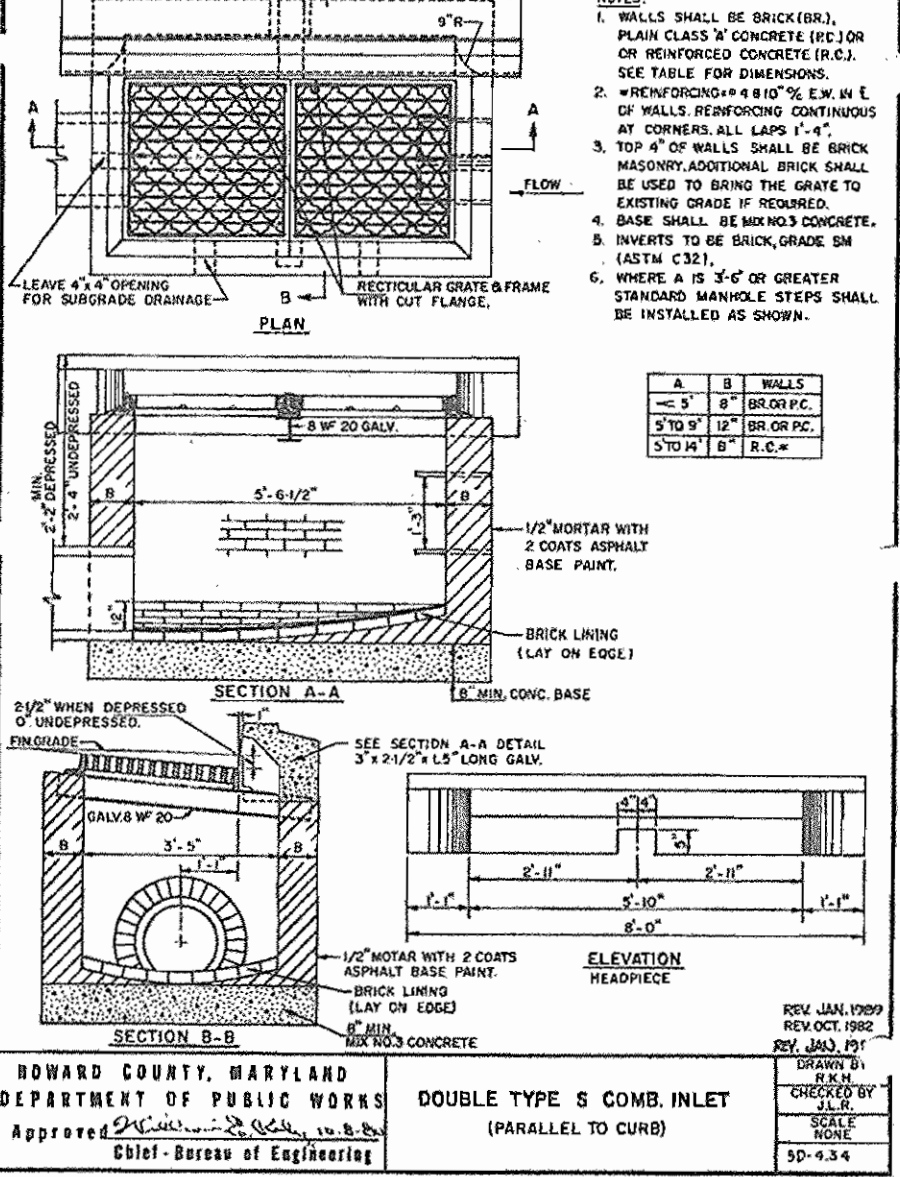
13 ORNAMENTAL FENCE/GUARD RAIL DETAIL
 SCALE: N.T.S.



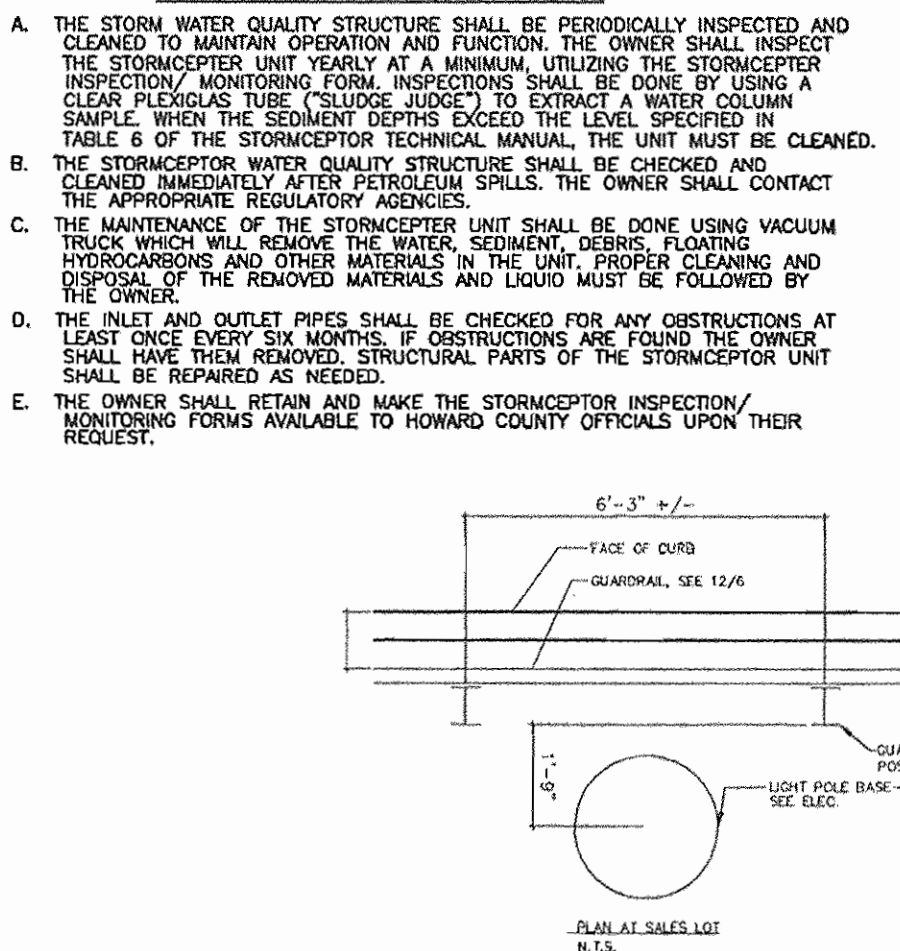
14 GUARDRAIL/POLE BASE PLAN DETAIL
 SCALE: N.T.S.



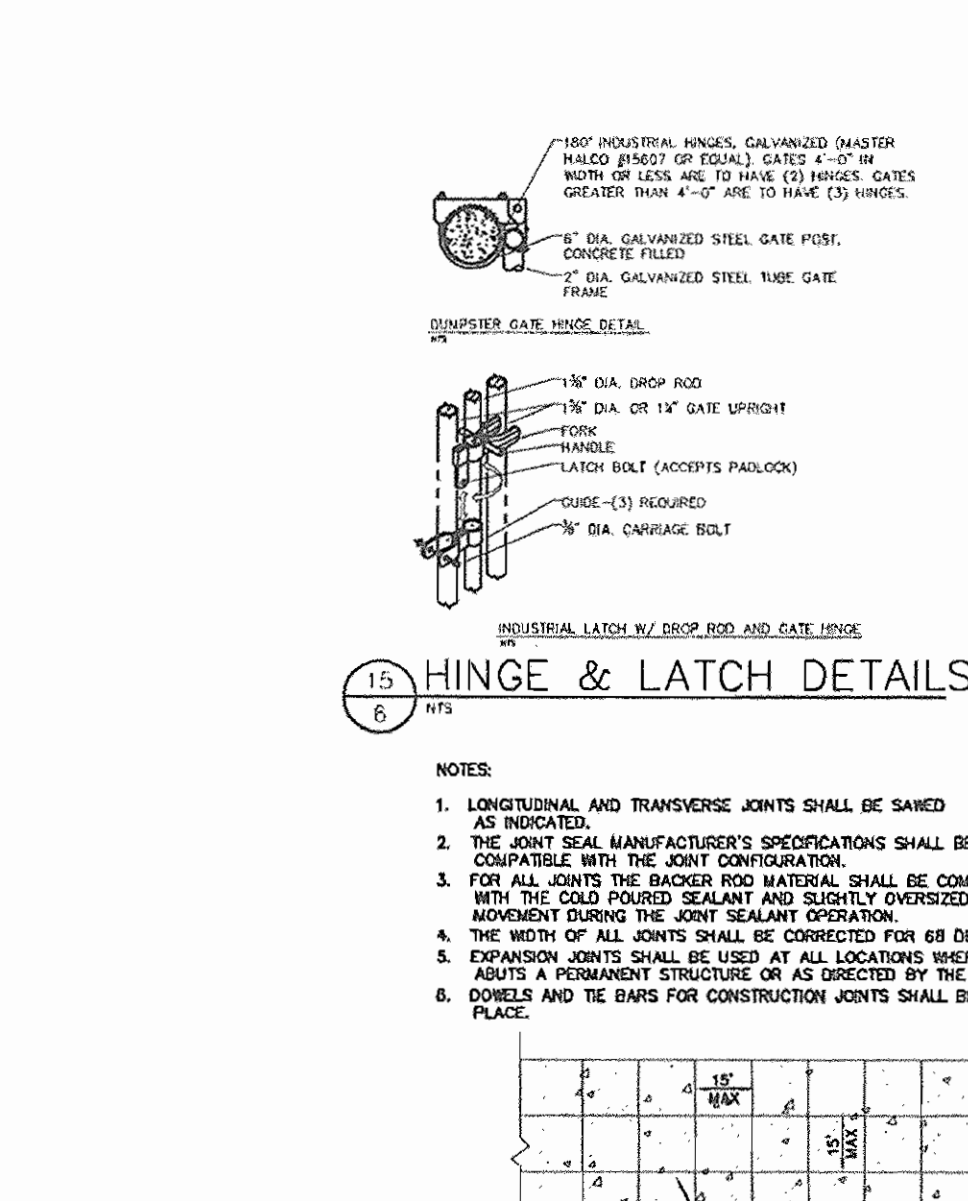
15 SLAB REINFORCING SHALLOW PRECAST MANHOLE
 SCALE: N.T.S.



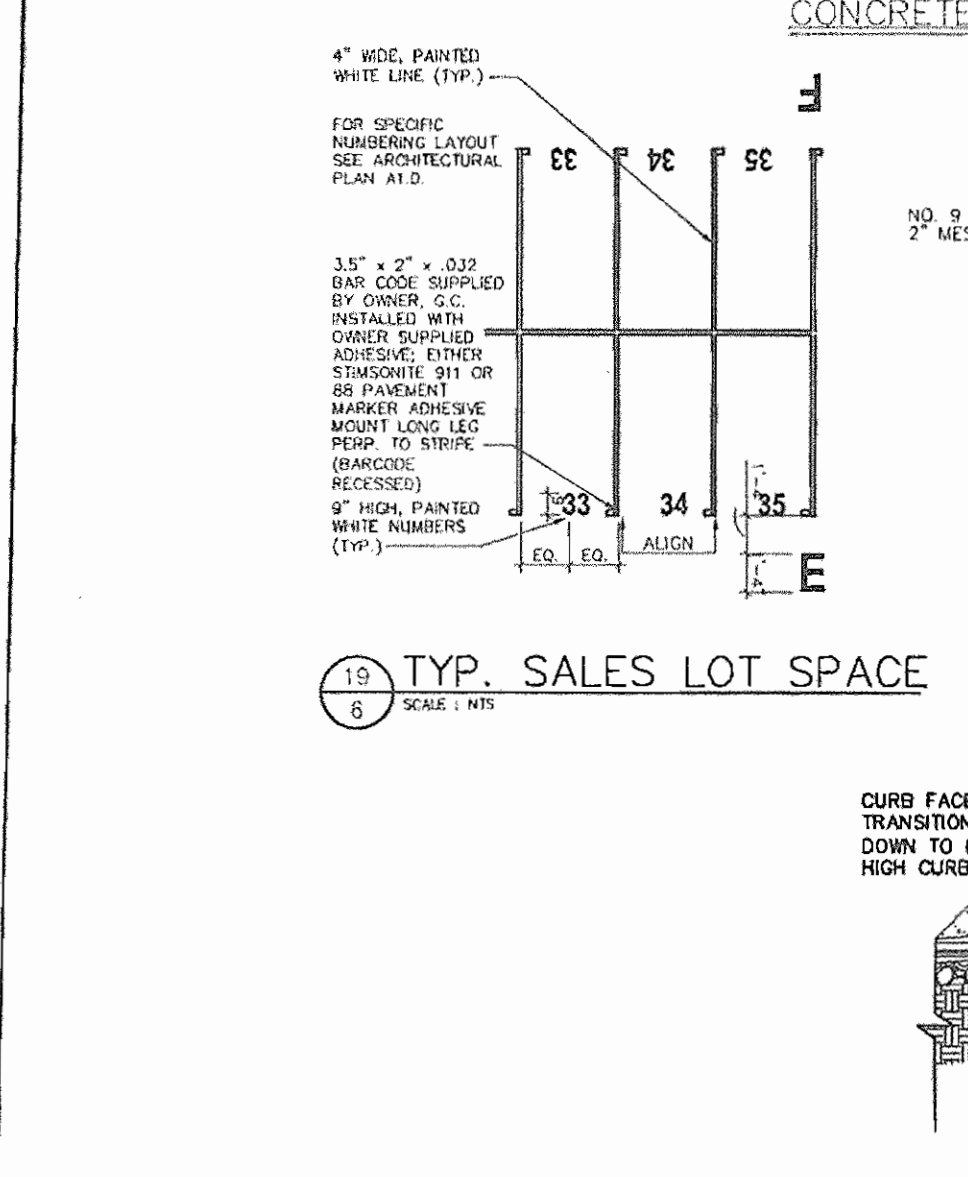
16 STANDARD PRECAST MANHOLE
 SCALE: N.T.S.



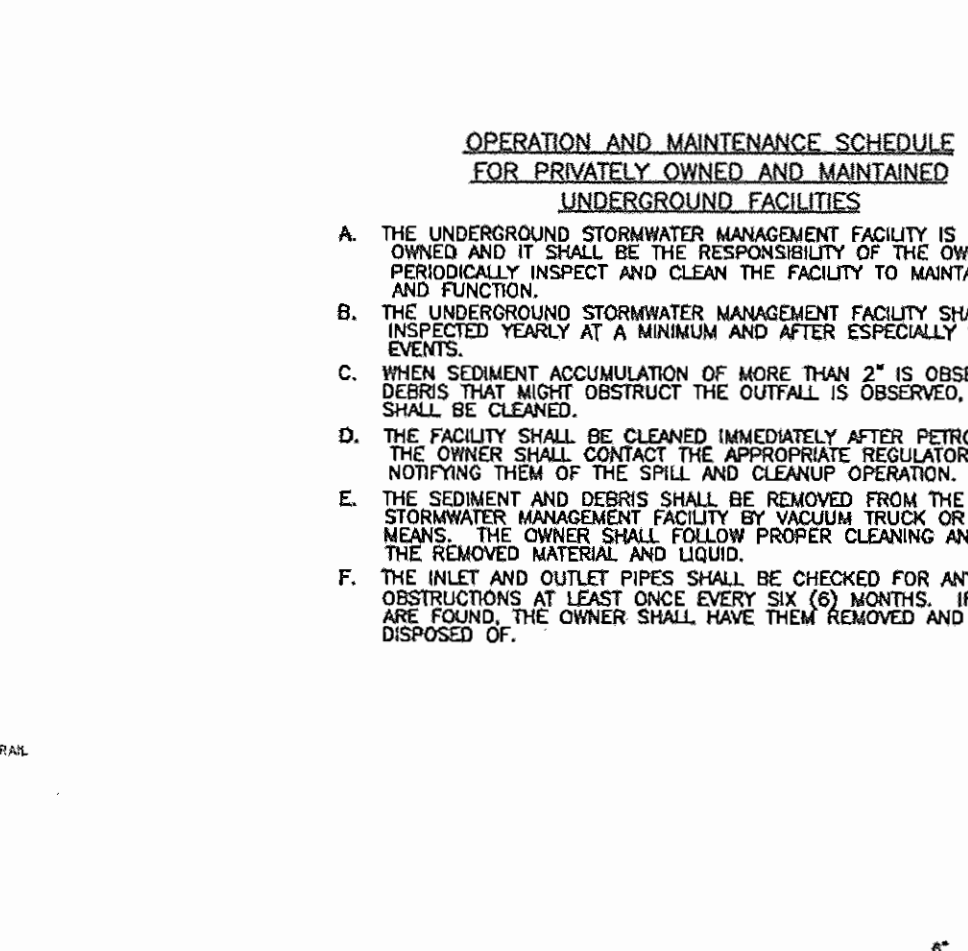
17 OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTER WATER QUALITY DEVICE
 SCALE: N.T.S.



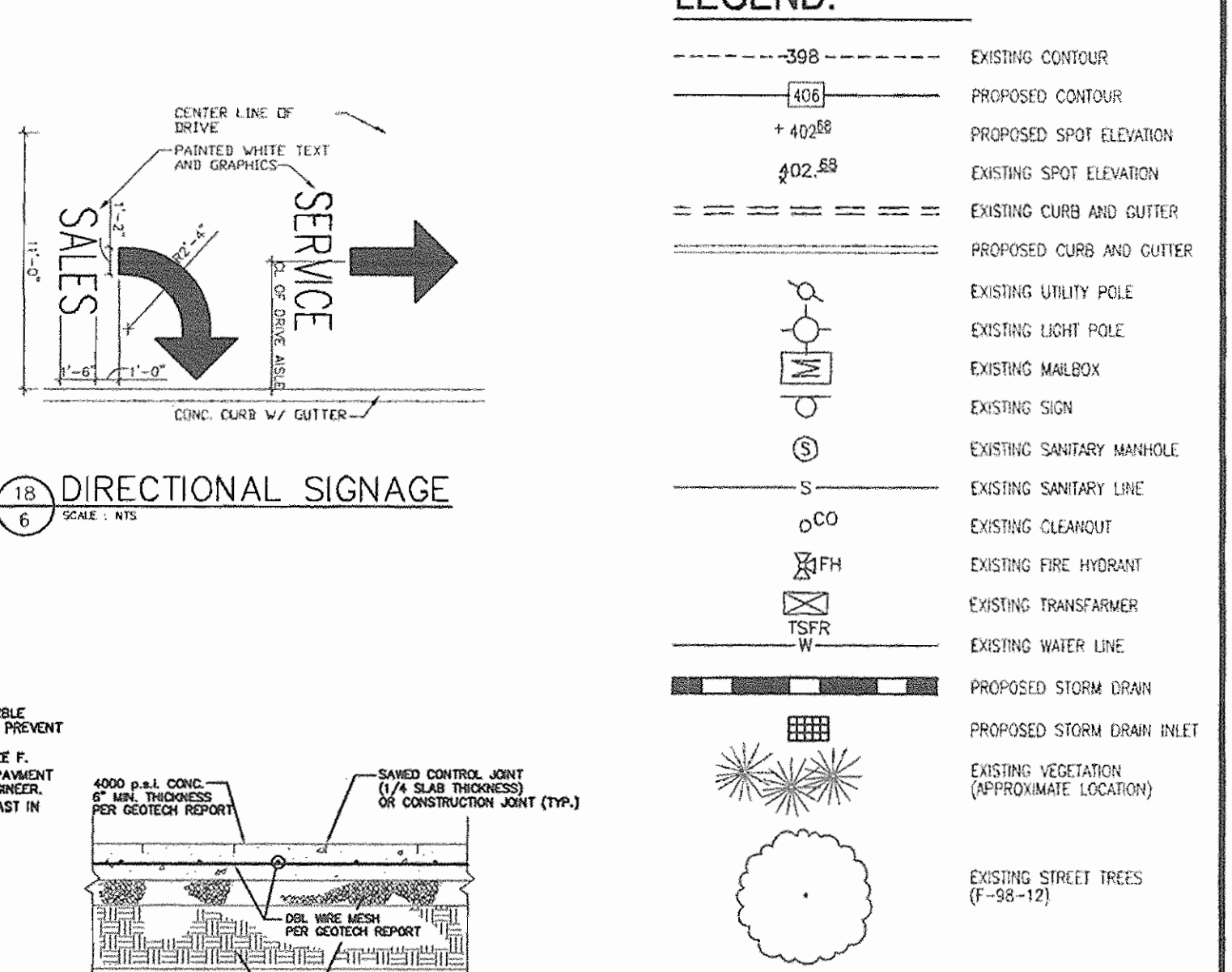
18 HINGE & LATCH DETAILS
 SCALE: N.T.S.



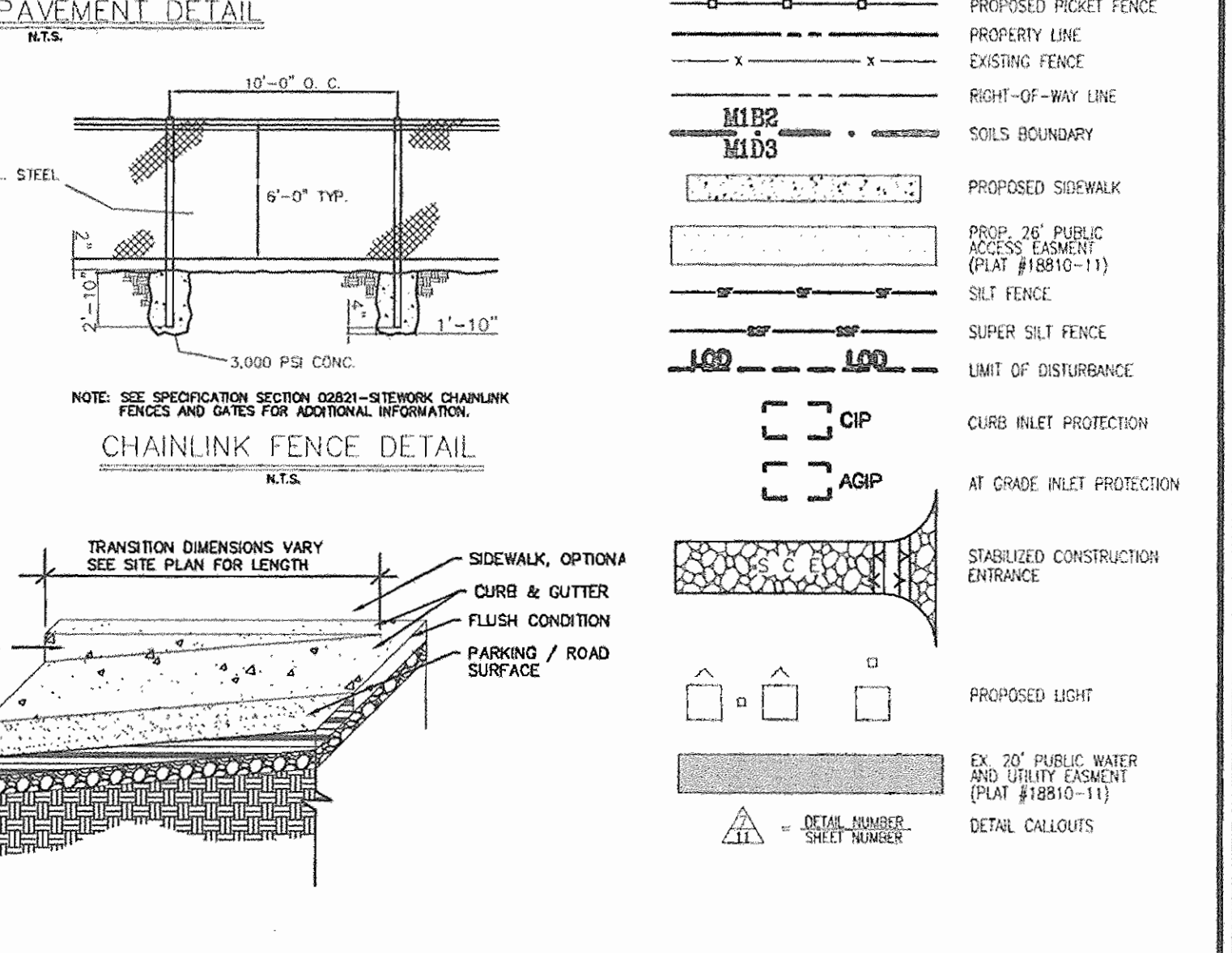
19 TYP. SALES LOT SPACE
 SCALE: N.T.S.



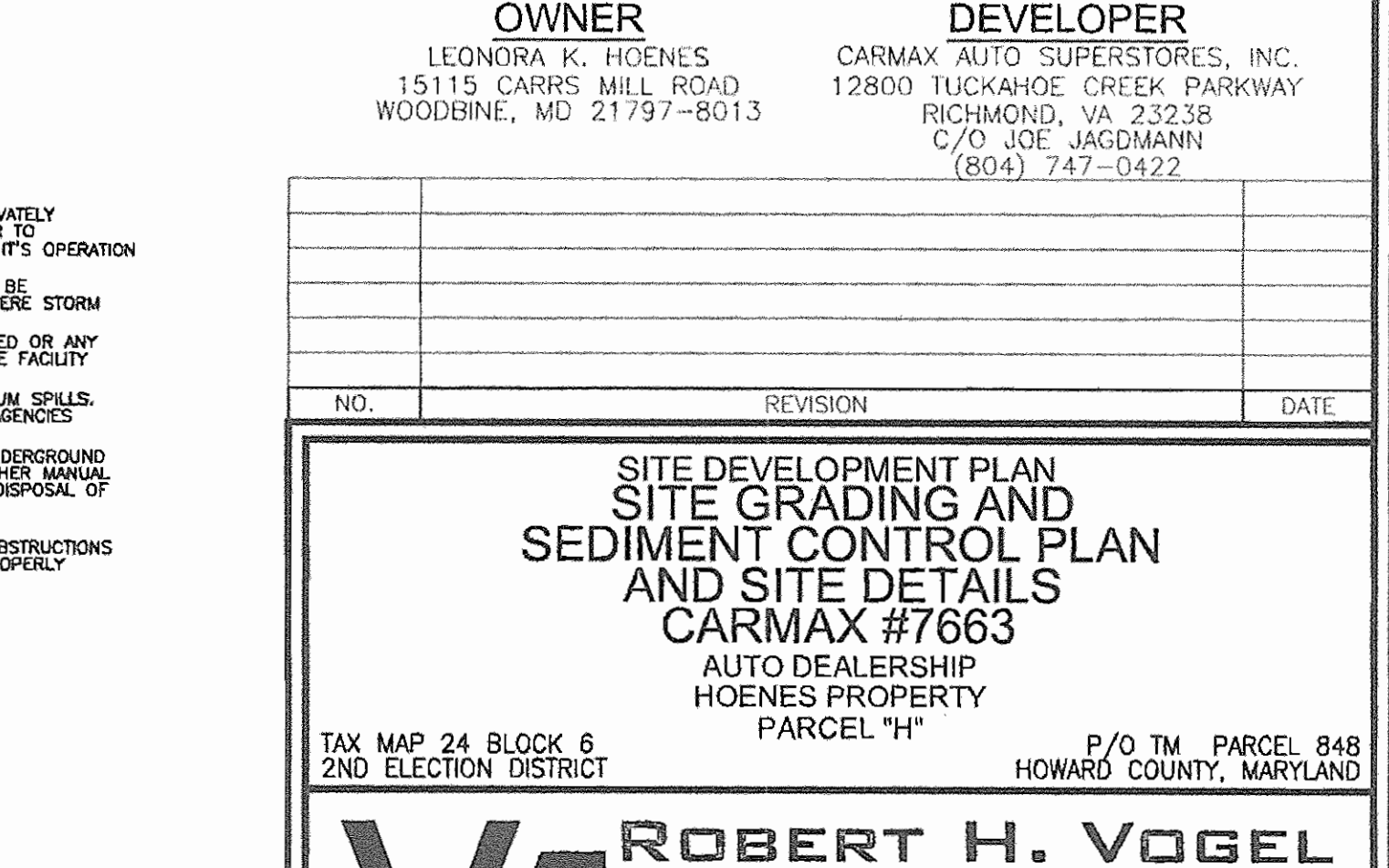
20 TRANSITION CURB DETAIL
 SCALE: N.T.S.



21 CONCRETE PAVEMENT DETAIL
 SCALE: N.T.S.



22 CHAINLINK FENCE DETAIL
 SCALE: N.T.S.



23 STANDARD WHEEL STOP
 SCALE: N.T.S.

LEGEND:

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED SPOT ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING TRANSFORMER
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED STORM DRAIN INLET
---	EXISTING VEGETATION (APPROXIMATE LOCATION)
---	EXISTING STREET TREES (F-38-12)
---	PROP. GUARDRAIL (H.C.O. DETAIL-7-12)
---	PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 6)
---	PROPOSED PICKET FENCE
---	PROPERTY LINE
---	EXISTING FENCE
---	RIGHT-OF-WAY LINE
---	SOILS BOUNDARY
---	PROPOSED SIDEWALK
---	PROP. 30" PUBLIC ACCESS EASEMENT (PLAT #18810-11)
---	SILT FENCE
---	SUPER SILT FENCE
---	LIMIT OF DISTURBANCE
---	CURB INLET PROTECTION
---	AT GRADE INLET PROTECTION
---	STABILIZED CONSTRUCTION ENTRANCE
---	PROPOSED LIGHT
---	EX. 20" PUBLIC WATER AND UTILITY EASEMENT (PLAT #18810-11)
---	DETAIL CALLOUTS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

REVIEWED FOR HOWARD S.C.O. & MEETS TECHNICAL REQUIREMENTS.
 BY THE DEVELOPER:
 1/16 CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:
 1/16 CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER: LEONORA K. HOENES
 DEVELOPER: CARMAX AUTO SUPERSTORES, INC.

OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

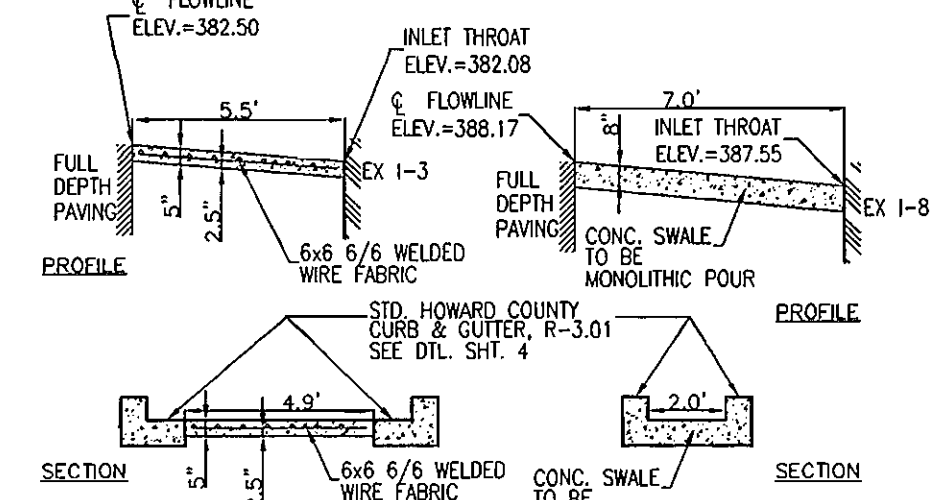
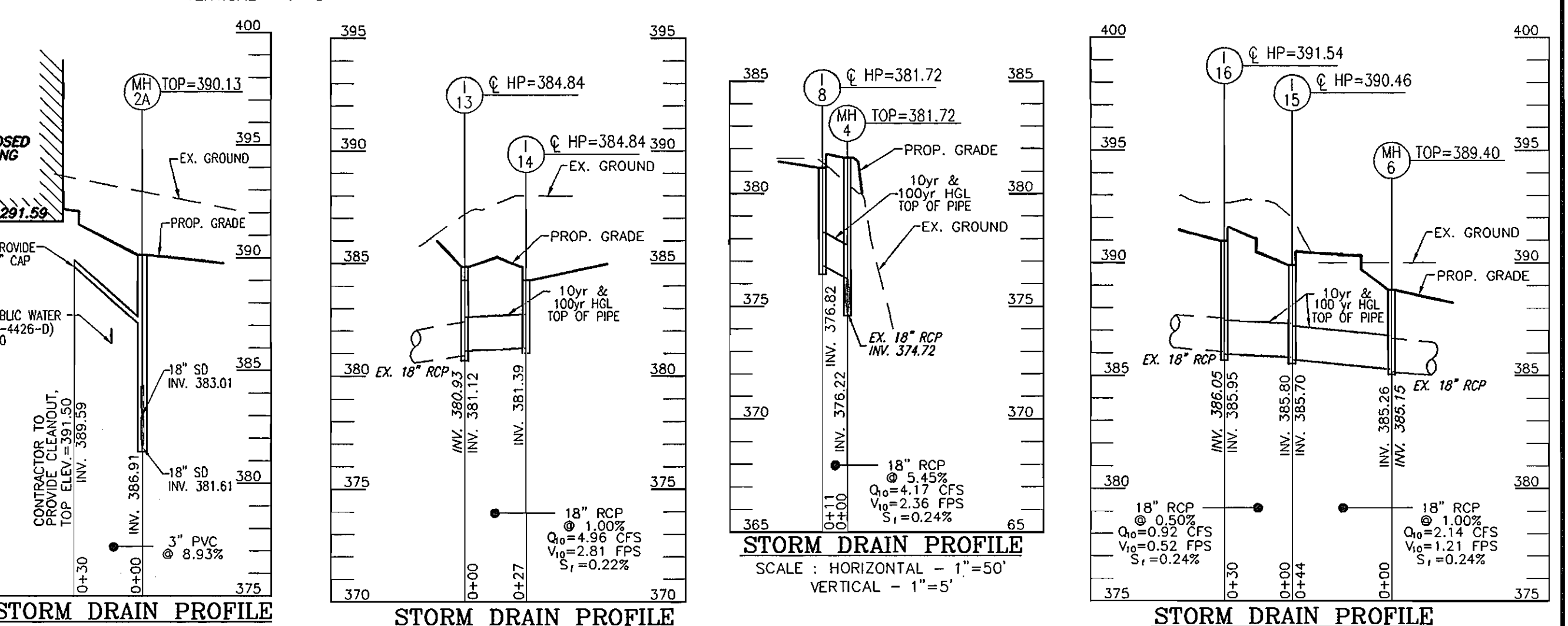
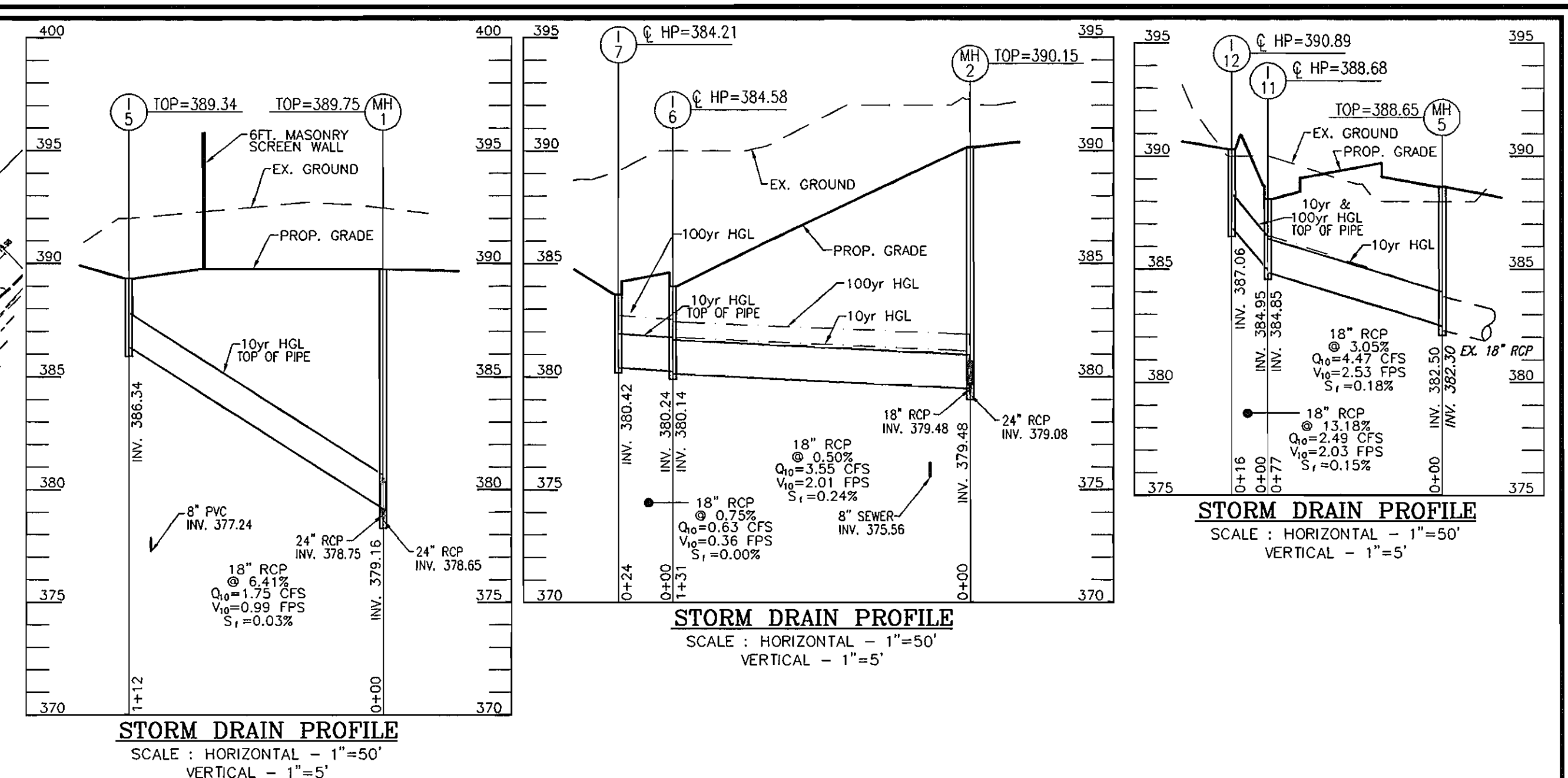
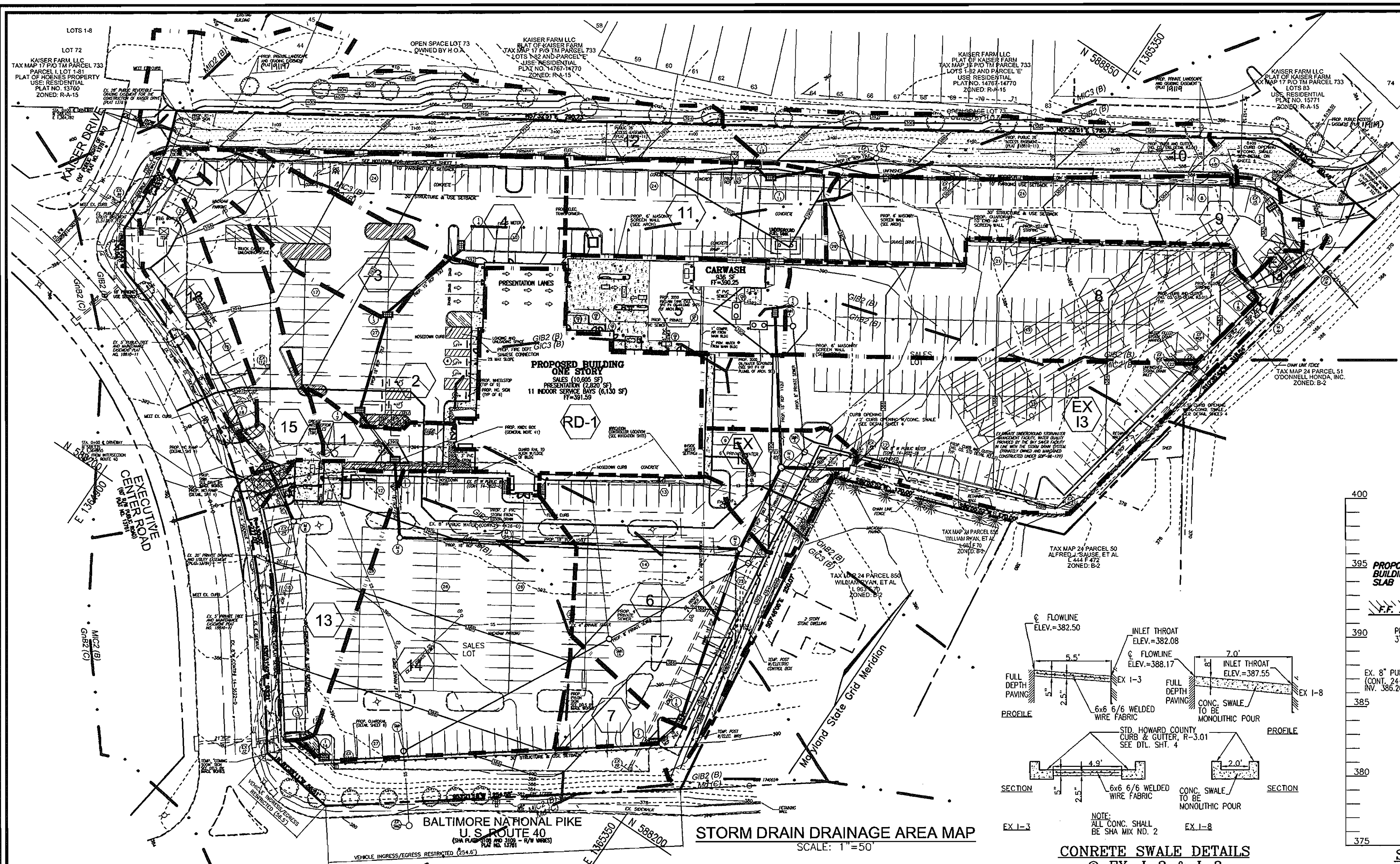
DEVELOPER
 CARMAX AUTO SUPERSTORES, INC.
 12800 TUCKAHOE CREEK PARKWAY
 RICHMOND, VA 23238
 C/O JOE JAGDMANN
 (804) 747-0422

NO.	REVISION	DATE

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

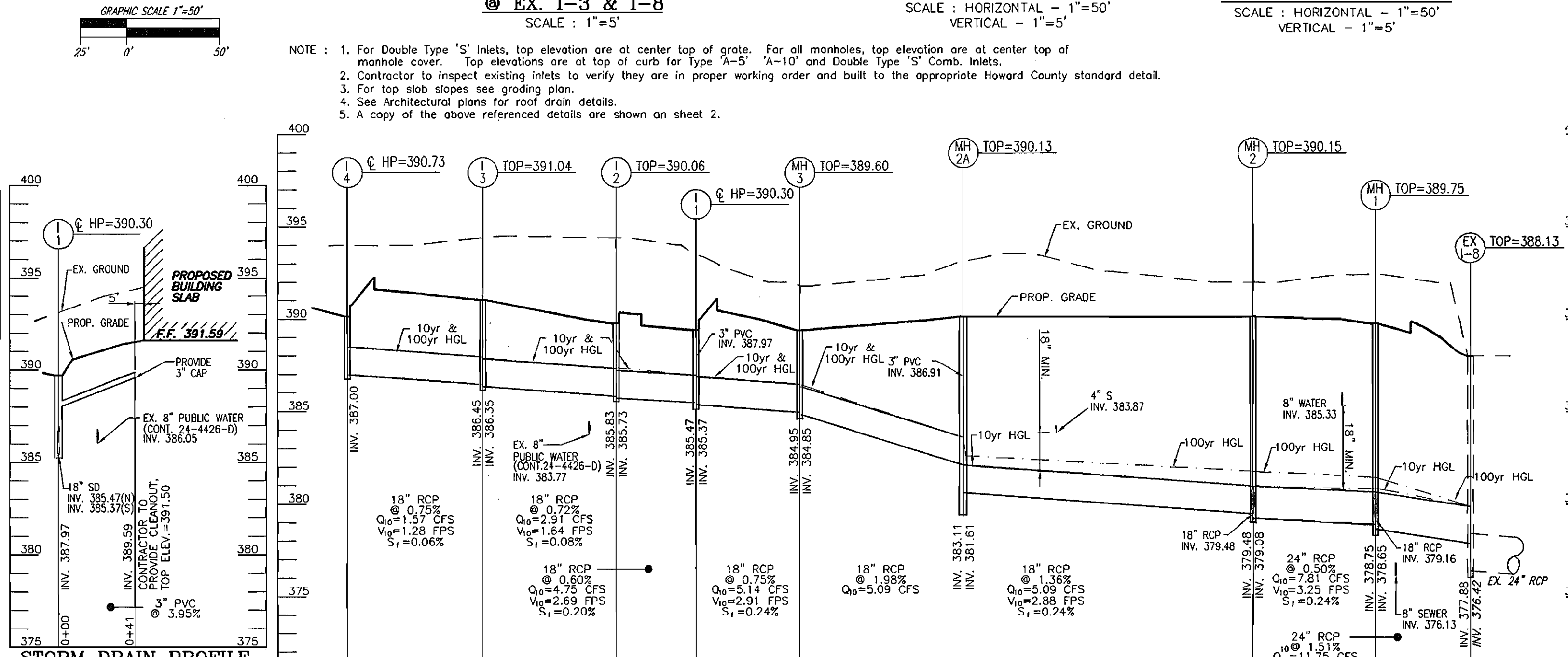
CARMAX PLAN INFO:
 DESIGN BY: WGZ
 DRAWN BY: DJZ
 CHECKED BY: RHV
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.O. NO.: 05-79

PART OF SP-95DP-1 PACKAGE C 6
HO. CO. DP2 SHEET: 6
SHEET OF 11



CONCRETE SWALE DETAILS @ EX. I-3 & I-8
SCALE: 1"=5'

STRUCTURE SCHEDULE										
NO.	TYPE	LOCATION	TOP ELEV.	INV. IN	INV. OUT	COMMENTS	GRATE/FL ELEV.	100-YR PONDING ELEV.		
I-1	DOUBLE TYPE 'S' COMB INLET	N 572045 E 1368934	390.30	383.37	385.37	HO. CO. STD SD-4.34	389.72	389.78		
I-2	DOUBLE TYPE 'S' INLET	N 572080 E 1369002	390.06	385.83	385.73	HO. CO. STD SD-4.23	390.06	390.22		
I-3	DOUBLE TYPE 'S' INLET	N 572150 E 1369028	391.04	386.45	386.35	HO. CO. STD SD-4.23	391.04	391.17		
I-4	DOUBLE TYPE 'S' COMB INLET	N 572115 E 1369108	390.73	-	387.00	HO. CO. STD SD-4.34	390.15	390.28		
I-5	DOUBLE TYPE 'S' INLET	N 572042 E 1369201	389.34	-	386.34	HO. CO. STD SD-4.23	389.34	389.48		
I-6	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588261 E 1365337	384.58	380.24	380.14	HO. CO. STD SD-4.34	384.00	384.21		
I-7	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588285 E 1365344	384.21	-	380.42	HO. CO. STD SD-4.34	383.63	383.70		
I-8	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588766 E 1365515	381.72	-	376.82	HO. CO. STD SD-4.34	381.14	381.39		
I-9	DOUBLE TYPE 'S' INLET	N 588828 E 1365490	381.70	376.56	376.46	HO. CO. STD SD-4.23	381.70	381.90		
I-10	A-5 INLET, 2.5' INSIDE WIDTH	N 588829 E 1365457	383.44	377.37	377.31	HO. CO. STD SD-4.01	382.86	383.16		
I-11	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588645 E 1365179	389.68	384.95	384.85	HO. CO. STD SD-4.34	389.10	389.26		
I-12	A-10 INLET	N 588646 E 1365163	390.84	-	387.06	HO. CO. STD SD-4.02	390.31	390.55		
I-13	A-10 INLET	N 588120 E 1365120	384.84	381.12	380.93	HO. CO. STD SD-4.02	384.26	384.46		
I-14	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588120 E 1365147	384.84	381.39	381.39	HO. CO. STD SD-4.34	384.26	384.55		
I-15	DOUBLE TYPE 'S' COMB INLET (PARALLEL)	N 588272 E 1364996	390.46	385.80	385.70	HO. CO. STD SD-4.34	389.88	390.08		
I-16	A-5 INLET, 5' INSIDE WIDTH	N 588282 E 1364963	391.54	386.03	385.95	HO. CO. STD SD-4.01	390.96	391.16		
EX.I-3	DOUBLE 'S' COMB INLET	TOP CL @ HP=382.66				FRAME, RECTANGULAR GRATE, & HEADPIECE TO BE INSTALLED PER SD-4.34	382.08	382.33		
EX.I-4	TYPE 'S' INLET	TOP CL = 380.75				FRAME, RECTANGULAR GRATE, TO BE INSTALLED PER SD-4.22	380.75	380.77		
EX.I-5	TYPE 'S' COMB	TOP HP = 382.95				CONTRACTOR TO REPLACE FRAME, GRATE, & HP WITH SLAB PER STD MD 386.21 TOP = 382.95				
EX.I-8	TYPE 'S' COMB INLET	TOP CL @ HP = 388.13				FRAME, RECTANGULAR GRATE, & HEADPIECE TO BE INSTALLED PER SD-4.34	387.55	387.67		
MH-1	4'-0" STANDARD PRECAST MANHOLE	N 572046 E 1368922	389.75	378.16	378.65	HO. CO. STD. G-5.13				
MH-2	4'-0" STANDARD PRECAST MANHOLE	N 572097 E 1368980	390.15	375.48	379.08	HO. CO. STD. G-5.13				
MH-2A	4'-0" STANDARD PRECAST MANHOLE	N 588328 E 1365178	390.13	386.31	381.61	HO. CO. STD. G-5.13				
MH-3	4'-0" STANDARD PRECAST MANHOLE	N 588281 E 1365103	389.80	384.95	384.85	HO. CO. STD. G-5.13				
MH-4	4'-0" STANDARD PRECAST MANHOLE	N 588764 E 1365525	381.72	376.22	376.22	HO. CO. STD. G-5.13				
MH-5	4'-0" STANDARD PRECAST MANHOLE	N 588699 E 1365235	388.65	382.50	382.30	HO. CO. STD. G-5.13				
MH-6	4'-0" STANDARD PRECAST MANHOLE	N 588249 E 1365034	389.40	385.26	385.15	HO. CO. STD. G-5.13				
SMH-1	4'-0" STANDARD PRECAST MANHOLE	N 588155 E 1365192	385.02	-	373.95	HO. CO. STD. G-5.13				
SMH-1A	4'-0" STANDARD PRECAST MANHOLE, B DROP	N 588304 E 1365269	387.51	375.06	374.96	HO. CO. STD. S-1.32				
SMH-2	4'-0" STANDARD PRECAST MANHOLE	N 588406 E 1365321	389.75	375.74	375.64	HO. CO. STD. G-5.13				
SMH-3	4'-0" STANDARD PRECAST MANHOLE, B DROP	N 588495 E 1365310	389.39	382.48	376.19	HO. CO. STD. S-1.32				
SMH-4	4'-0" STANDARD PRECAST MANHOLE	N 588565 E 1365252	389.60	383.26	383.16	HO. CO. STD. G-5.13				



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 4/20/07

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
 USDA-NATURAL RESOURCES CONSERVATION SERVICE
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.
 HOWARD S.C.D. DATE:

BY THE DEVELOPER:
 "I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR EROSION AND SEDIMENT CONTROL AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF EROSION AND SEDIMENT BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF DEVELOPER: Roman VP-Correx K. Douglas
 DATE: 4/17/07

BY THE ENGINEER:
 "I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT."
 SIGNATURE OF ENGINEER: [Signature]
 DATE: 4/17/07

OWNER: LEONORA K. HOENES, 15115 CARRS MILL ROAD, WOODBINE, MD 21797-8013
 DEVELOPER: CARMAX AUTO SUPERSTORES, INC., 12800 TUCKAHOE CREEK PARKWAY, RICHMOND, VA 23238, C/O JOE JAGDMANN (804) 747-0422

SITE DEVELOPMENT PLAN
 STORM DRAIN DRAINAGE AREA MAP, AND UTILITY PROFILES
 CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"

TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

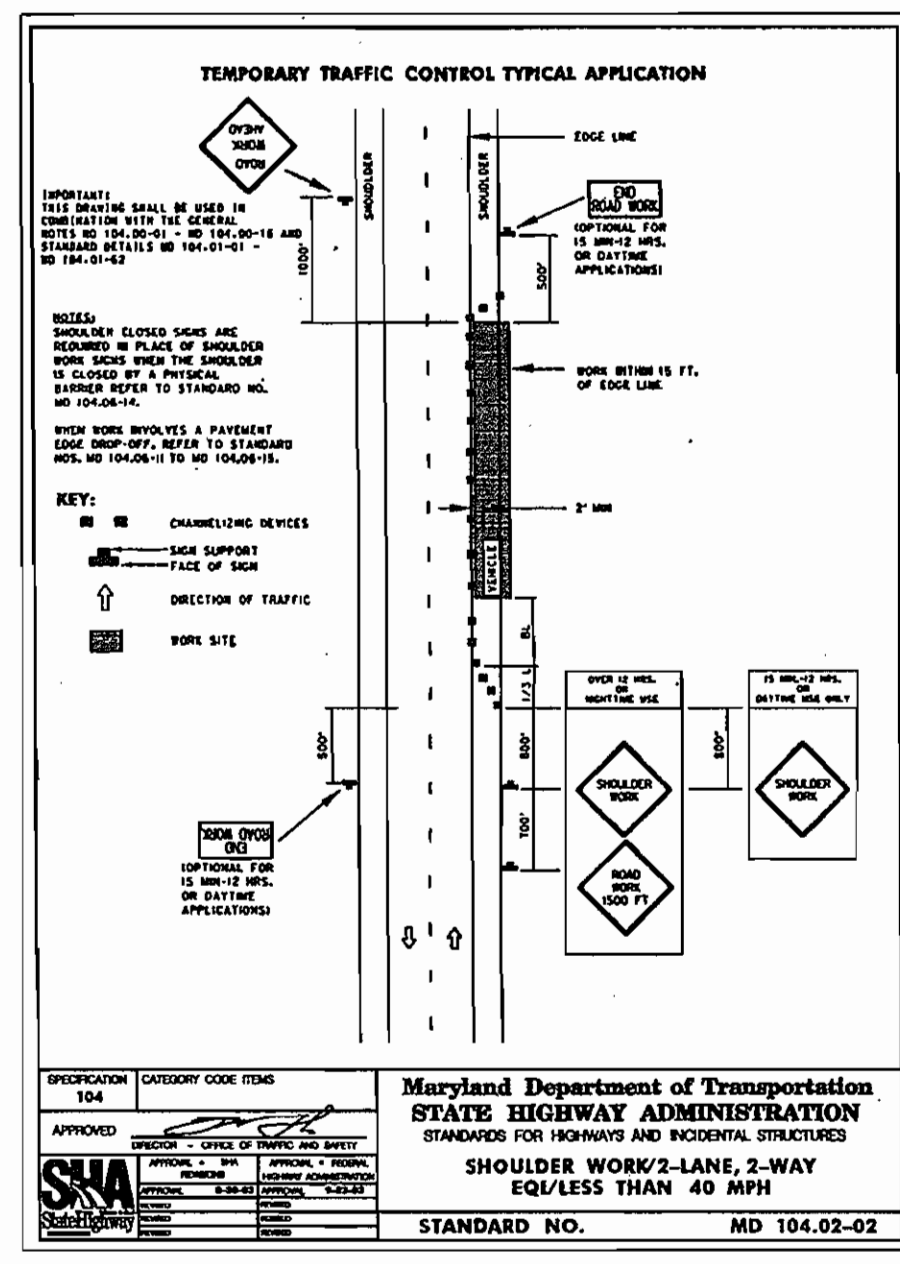
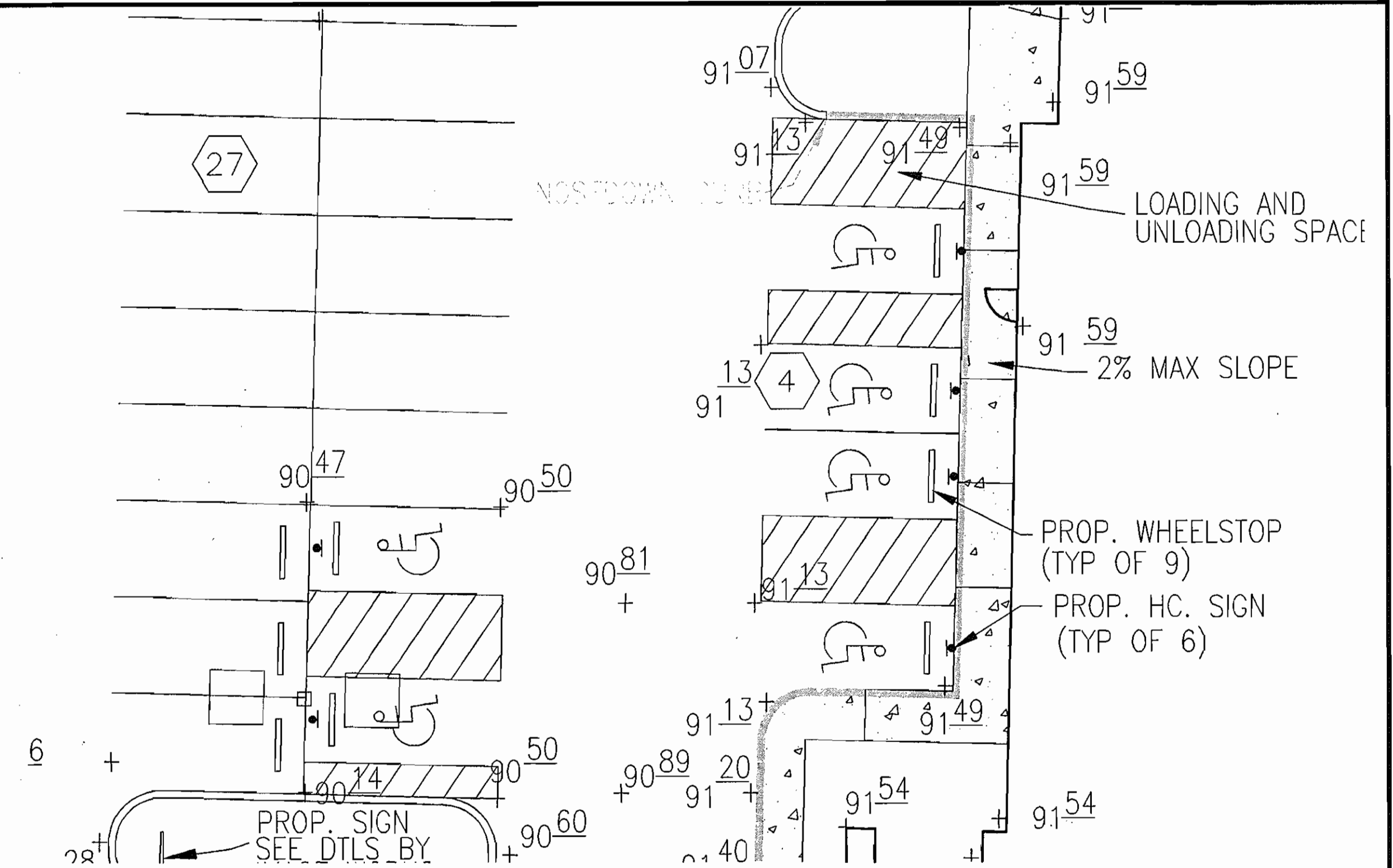
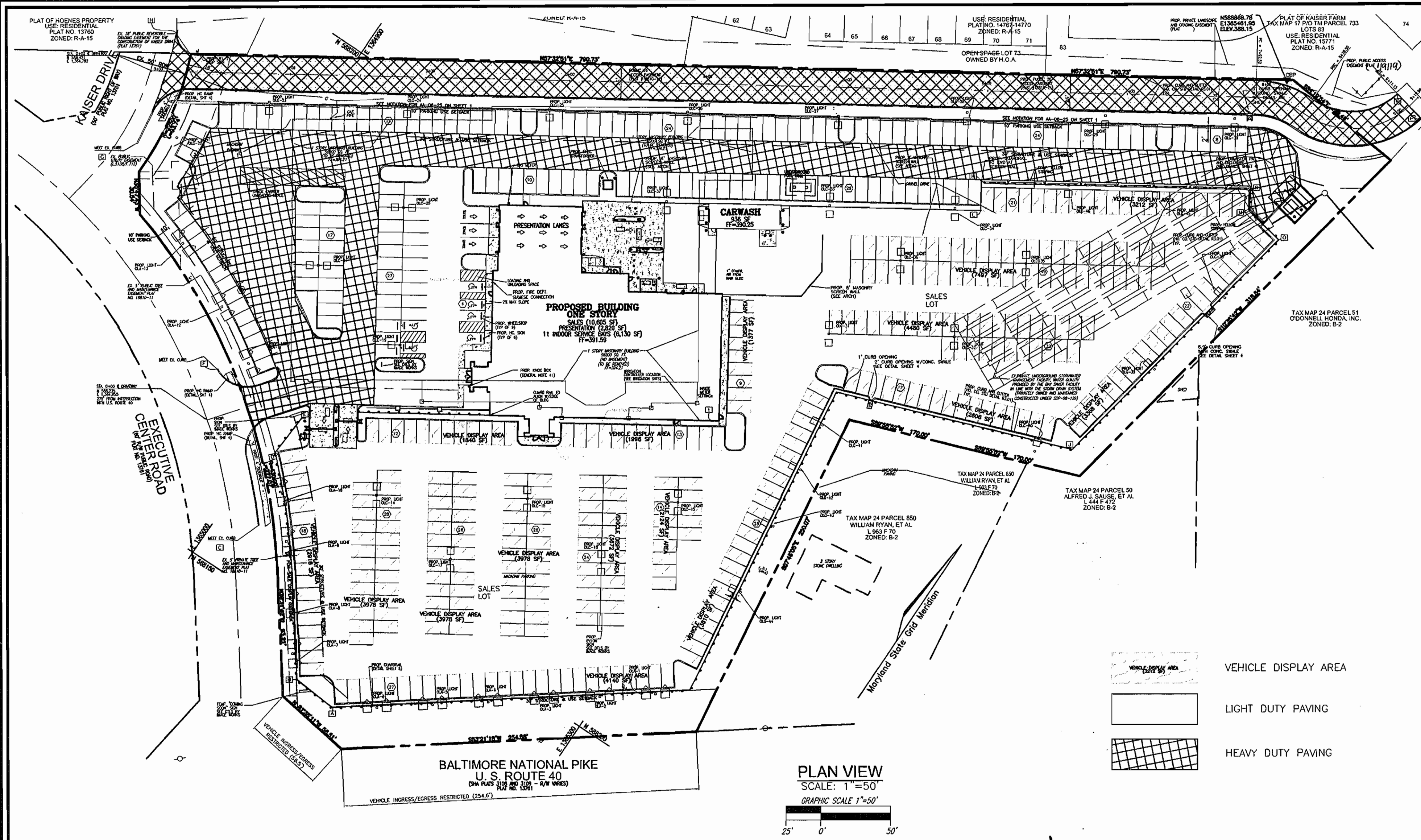
P/O TM PARCEL 848
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, BLOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

CARMAX PLAN INFO:
 DESIGN BY: WGZ
 DRAWN BY: DZ
 CHECKED BY: RHV
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.O. NO.: 05-79

PART OF SP-SSDP-1 PACKAGE
C 8

HO. CO. DPZ SHEET:
8 SHEET OF **11**



PAVEMENT SECTIONS
SCALE: 1"=10'

	LIGHT DUTY	HEAVY DUTY & ACCESS ROAD
SURFACE COURSE ASPHALT HMA Superpave - 9.5mm** Tack Coat***	1.5"	1.5"
BASE COURSE ASPHALT HMA Superpave - 12.5mm** Prime Coat***	2.5"	3.0"
GRADED AGGREGATE BASE GAB	4.0"	8.0"
TOTAL PAVEMENT THICKNESS	8.0"	12.5"

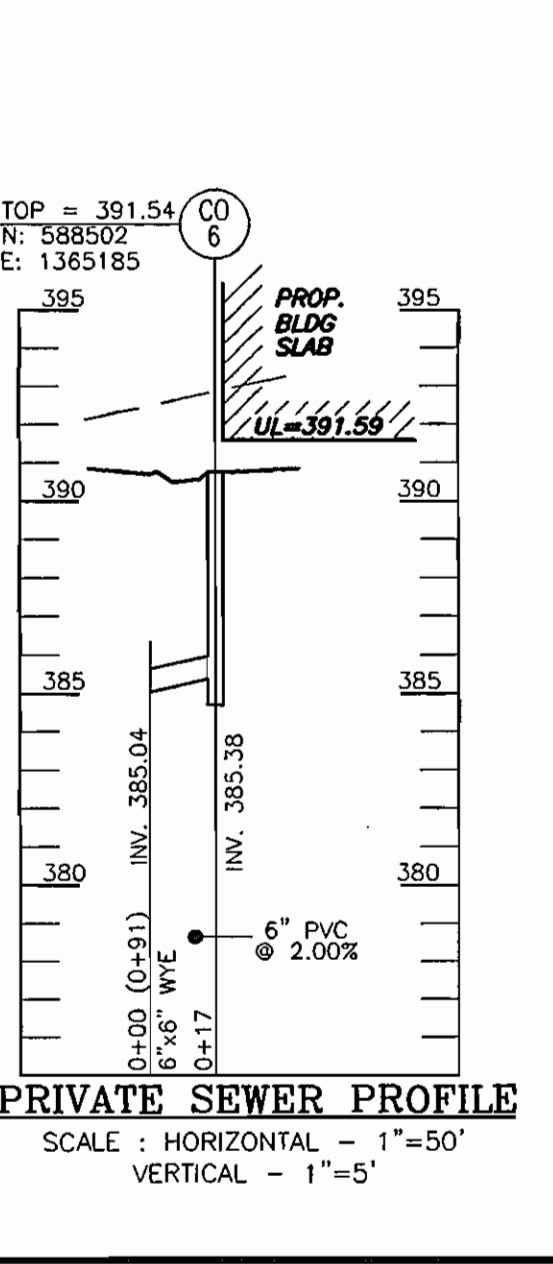
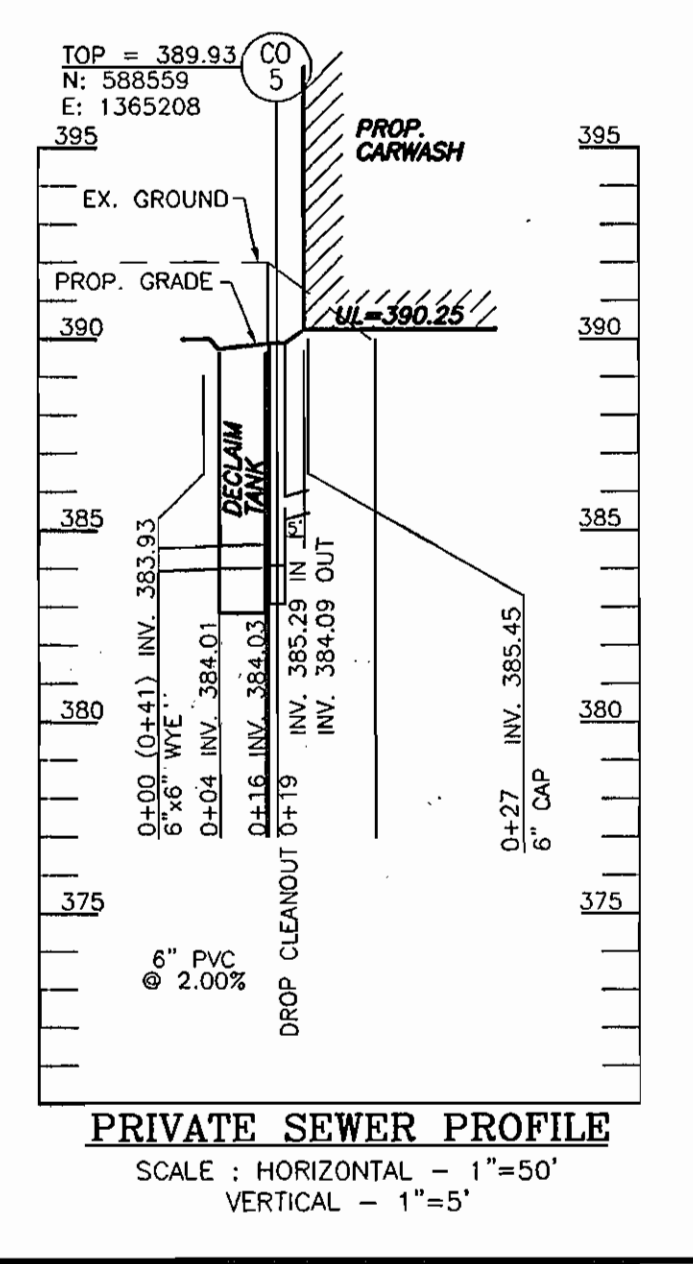
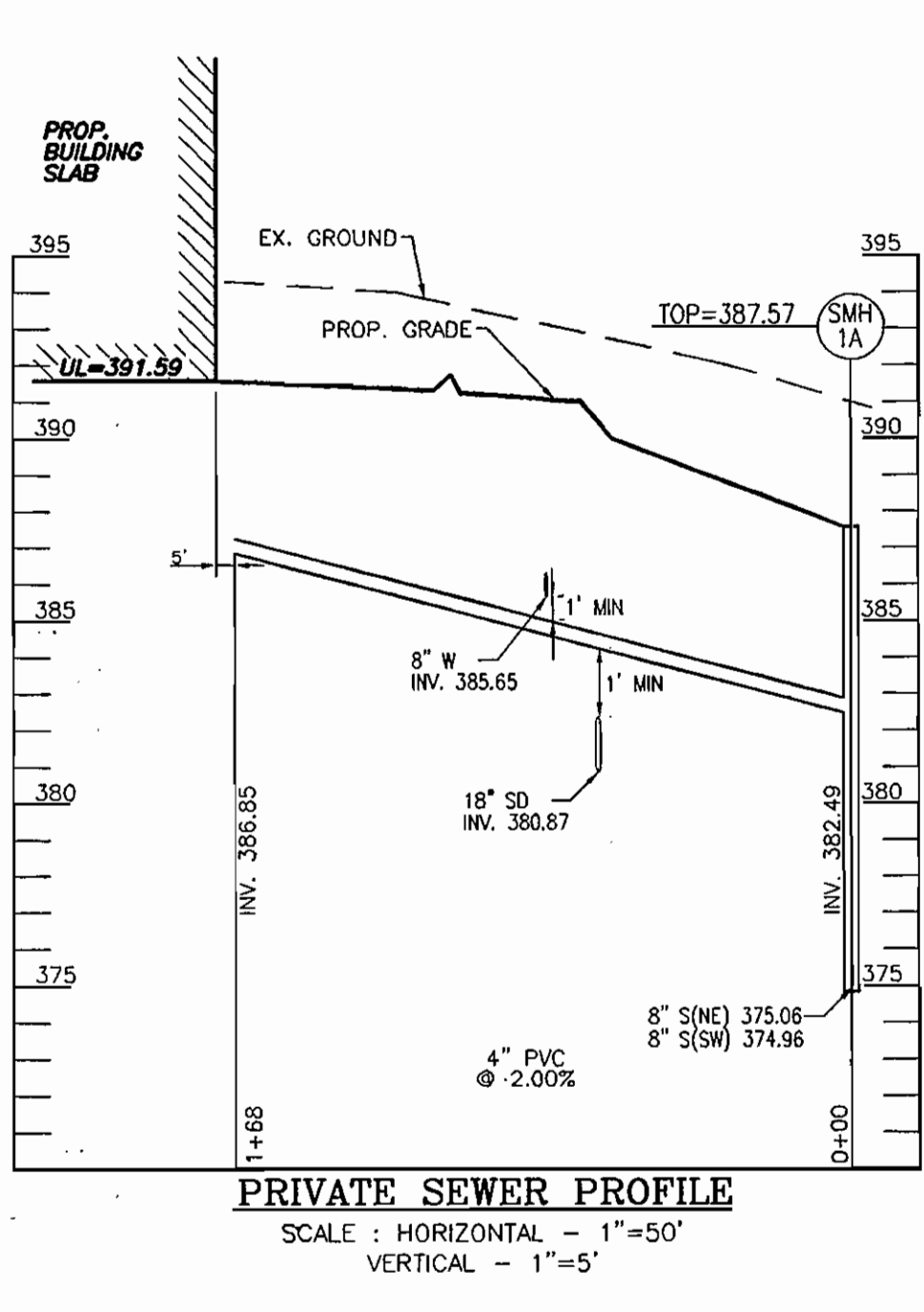
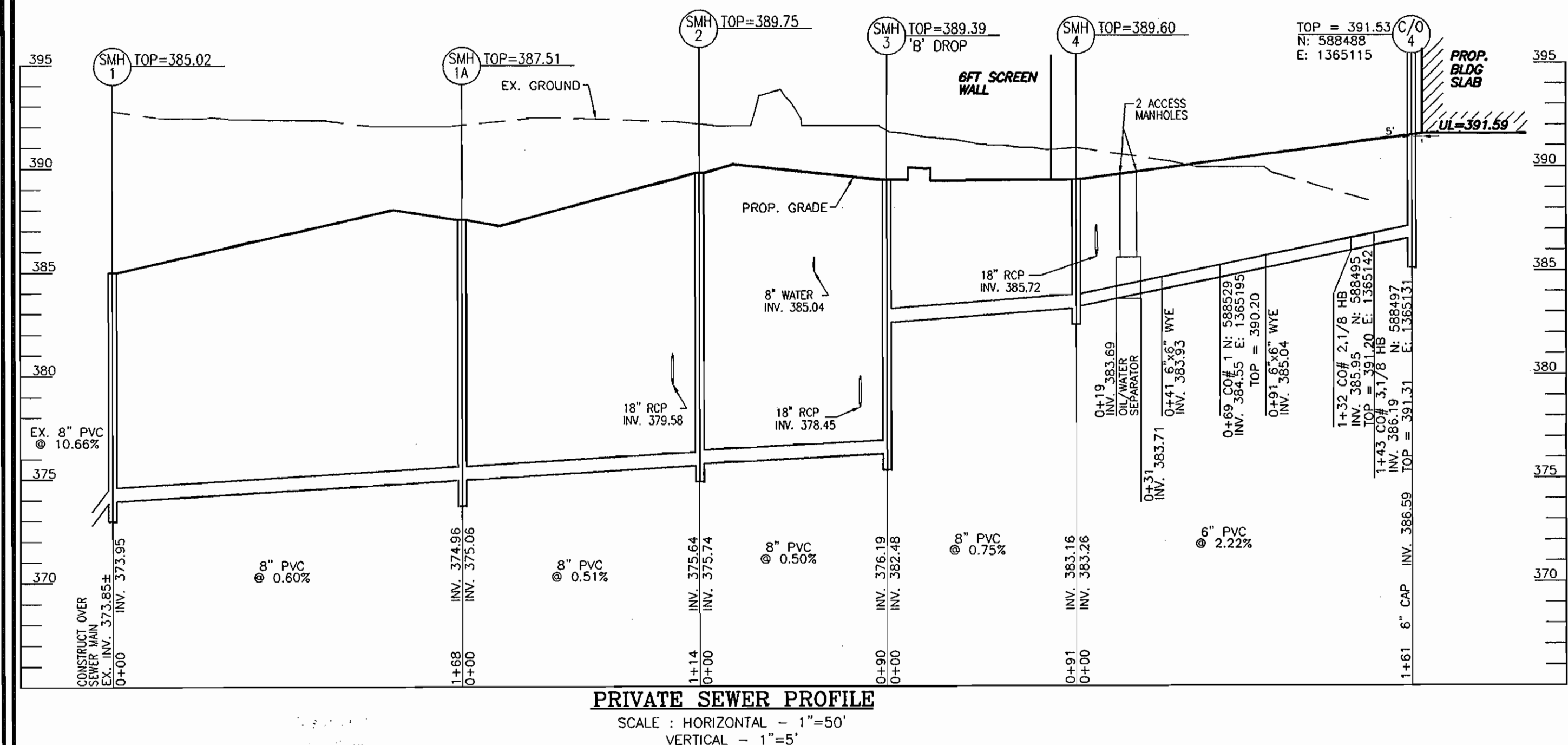
*Compaction: Level 1 (50 gyrations)
 **Binder Type: PG64-22
 ***Tack and Prime Coats to be in accordance with latest version of MDOT, MSHA Standard Specifications for Construction and Materials.

PIPE SCHEDULE

SIZE	TYPE	LENGTH
18"	RCP, CL IV	938 LF
21"	RCP, CL IV	66 LF
24"	RCP, CL IV	51 LF
3"	PVC (SOLID)	71 LF
8"	DIP	41 LF
4"	PVC (SEWER)	168 LF
6"	PVC (SEWER)	197 LF
8"	PVC (SEWER)	463 LF

OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

DEVELOPER
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 12800 TUCKAHOE CREEK PARKWAY
 RICHMOND, VA 23238
 C/O JOE JAGDMANN
 (804) 747-0422



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE 4/26/07

CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE 5/17/07

DIRECTOR
 DATE 5/22/07

SITE DEVELOPMENT PLAN
UTILITY PROFILES AND
SITE DETAILS
CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"

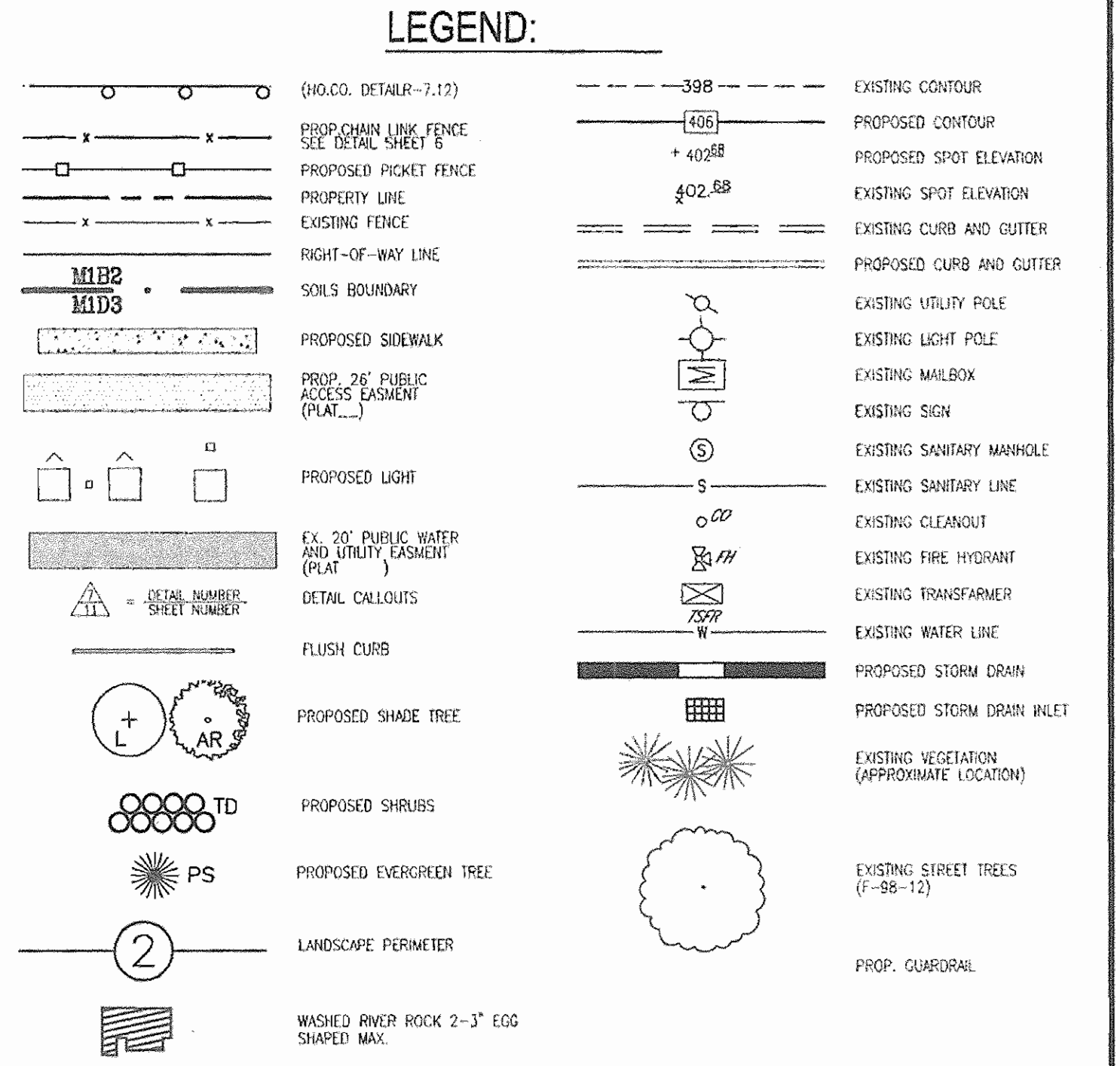
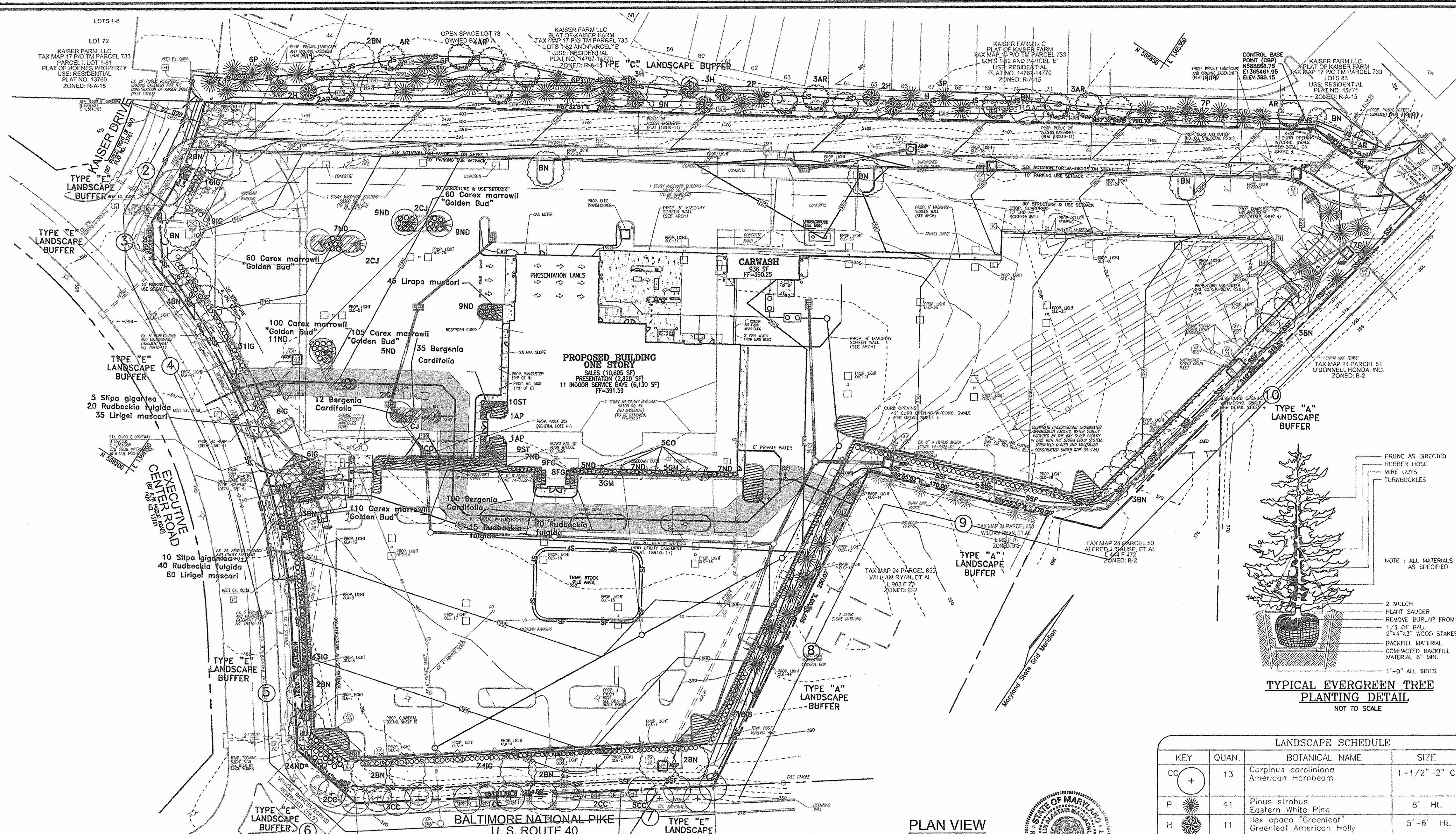
TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

P/O TM PARCEL 848
 HOWARD COUNTY, MARYLAND

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 TEL: 410.461.7666
 FAX: 410.461.8961

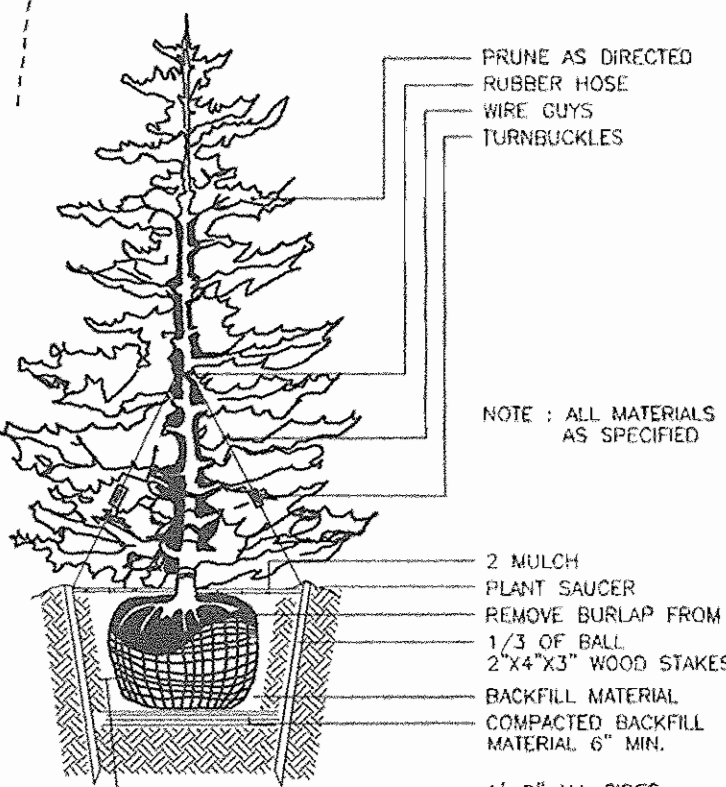
CARMAX PLAN INFO:
 DESIGN BY: W.G.Z.
 DRAWN BY: D.Z.
 CHECKED BY: R.H.V.
 DATE: MAR. 16, 2007
 SCALE: AS SHOWN
 W.D. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE
C 9
 HO. CO. DPZ SHEET:
9 SHEET OF **11**

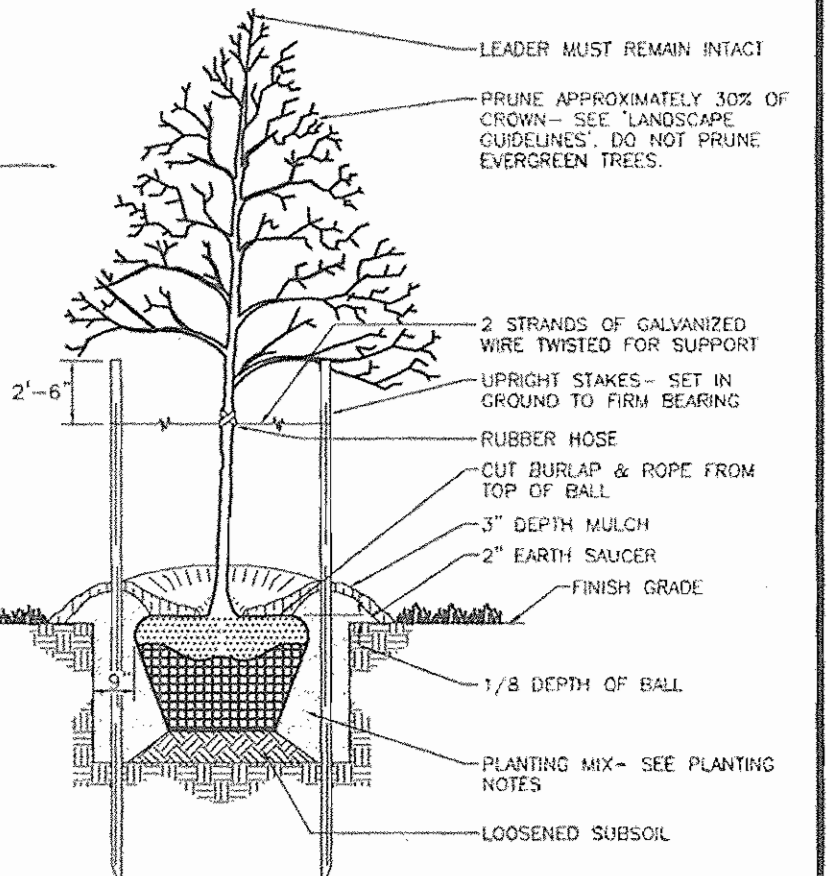


NOTES

- SEE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE WASHINGTON METROPOLITAN AREAS" FOR ALL MATERIAL, PRODUCT, AND PROCEDURE SPECIFICATIONS.
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- PLACE UPRIGHT STAKES PARALLEL TO WALKS & BUILDINGS.
- KEEP MULCH 1" FROM TRUNK.
- SEE ARCHITECTURAL PLANS FOR ADDITIONAL PLANTINGS WHICH EXCEED HOWARD COUNTY MINIMUM REQUIREMENTS.
- TREES ARE NOT TO BE PLANTED OVER PRIVATE SEWERAGE EASEMENT.



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING
DECIDUOUS TREES UP TO 2-1/2" CALIPER NOT TO SCALE

**SCHEDULE B
PARKING LOT INTERNAL LANDSCAPING**

Number of parking spaces	185
Number of trees and islands required	9
Number of trees and islands provided	9
Shade Trees	0
Other Trees (2:1 Substitution)	0
Shrubs (10:1 Substitution)	41

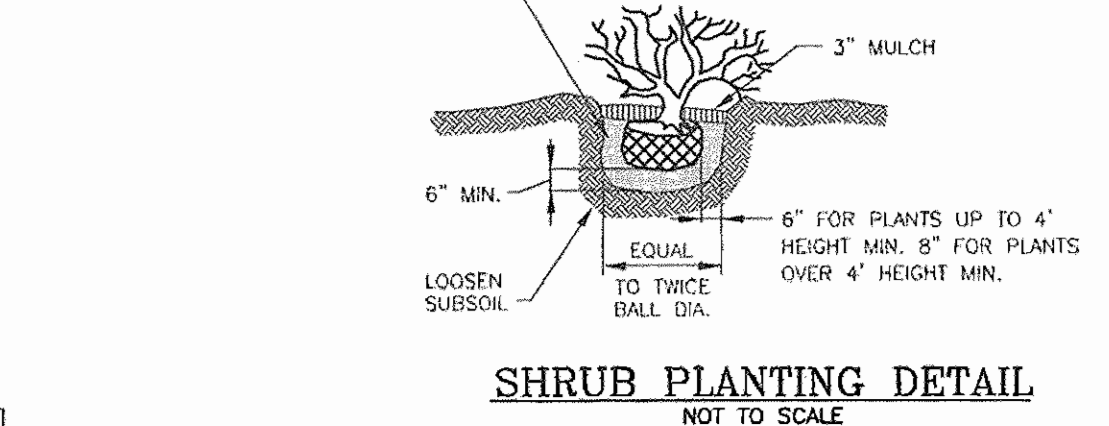
* Substitute 30 shrubs for 3 shade trees.

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE (1) YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Signature: *K. Douglas Moyers* DATE: *4/12/07*
 Signature: *Cinda Hammit* DATE: *5/15/10*
 Signature: *Mark A. Reynolds* DATE: *5/24/07*

APPROVED: *Howard County Department of Planning and Zoning*
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE: *5/15/10*
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE: *5/24/07*
 DIRECTOR DATE: *5/24/07*



SHRUB PLANTING DETAIL
NOT TO SCALE

**SCHEDULE A
PERIMETER LANDSCAPE EDGE**

CATEGORY	ADJACENT TO PERIMETER PROPERTIES										DUMPSTER
	1	2	3	4	5	6	7	8	9	10	
Perimeter/Frontage Designation	C	E	E	E	E	E	E	E	A	A	C
Linear Feet of Roadway Frontage/Perimeter	822'	64'	31'	147'	193'	57'	255'	250'	170'	319'	56'
Credit for Existing Vegetation (Yes, No, Linear Feet)	NO	Yes	NO	Yes	Yes	NO	Yes	Yes	NO	NO	NO
Credit for Wall, Fence or Berm (Yes, No, Linear Feet)	No	No	No	No	No	No	No	No	No	No	No
Number of Plants Required	1:40 21	1:40 2	1:40 1	1:40 4	1:40 5	1:40 1	1:40 7	1:80 5***	1:60 3*	1:60 6*	1:40 2**
Number of Plants Provided	1:20 42	1:16 11	1:4 9	1:4 37	1:4 49	1:4 14	1:4 64	1:8 18*	1:6 53*	1:6 6	1:20 3**
Shade Trees	21	2	1	4	5	0*	6	8**	5*	6	0**
Evergreen Trees	42	-	-	-	-	-	-	-	-	-	7**
Other Trees (2:1 Substitution)	-	18	9	37	49	24	74*	18*	53*	-	-
Shrubs (10:1 Substitution)	-	-	-	-	-	-	-	-	-	-	-

Describe Plant Substitution Credits Below if needed.

*Substitute 10 shrubs for 1 shade/evergreen tree.
 **Substitute 2 evergreens for 1 shade tree.
 ***The existing trees to remain are credited toward the perimeter landscape requirement of the perimeter on which they exist.

LANDSCAPE SCHEDULE NOTE:

- ALL PLANT MATERIALS SHALL BE FULL AND HEAVY, BE WELL FORMED AND SYMMETRICAL, CONFORM TO THE MOST CURRENT AAS SPECIFICATIONS AND BE INSTALLED IN ACCORDANCE WITH HRD PLANTING SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- FINAL LOCATION OF PLANT MATERIAL MAY VARY TO MEET FINAL FIELD CONDITIONS. TREES SHALL NOT BE PLANTED IN THE BOTTOM OF DRAINAGE SWALES.
- CONTRACTOR SHALL VERIFY PLANT QUANTITIES PRIOR TO BIDDING. IF PLAN DIFFERS FROM LANDSCAPE SCHEDULE, THE PLAN SHALL GOVERN.

GENERAL NOTES:

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. THE REQUIRED PARKING AND PERIMETER LANDSCAPING WILL BE BONDED PER THIS SUBMISSION.
- LANDSCAPE SURETY IN THE AMOUNT OF \$25,320.00 HAS BEEN POSTED AS PART OF THE DEVELOPER'S AGREEMENT.
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BRAY HILL, LLC
 Ecological Assessment - Environmental Planning - Restoration Design
 10357 Whitewasher Way
 Columbia, Maryland 21044
 Tel: 443-745-6133 Fax: 410-715-1262

LANDSCAPE SCHEDULE

KEY	QUAN.	BOTANICAL NAME	SIZE	REM.
CC (+)	13	Carpinus caroliniana American Hornbeam	1-1/2"-2" Cal	B & B
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H	11	Ilex opaca "Greenleaf" Greenleaf American Holly	5'-6" Ht.	B & B
AR	16	Acer rubrum "Red Sunset" Red Sunset Red Maple	3" Cal.	B & B
BN	24	Betula nigra "Heritage" Heritage Clump Birch	10'-12' Ht.	B & B
CJ	6	Cercidiphyllum japonicum/ Katsuratree	2-1/2"-3" Cal.	B & B
AP	2	Acer palmatum dissectum "Orangeola"/Orangeola Japanese Maple	3" Cal.	B & B
CO	9	Chamaecyparis obtusa "Cracilis Compacta" Compact Hinoki Cypress	3" Cal.	B & B
IG	263	Ilex glabra "Densa" Densa Inkberry	18"-24"	Cont.
ST	18	Stipa tenuissima Feather grass	1 Quart	Cont.
ND	83	Nandina domestica "Harbour Dwarf" Harbour Dwarf Nandina	1 Gal.	Cont.
ND*	24	Nandina domestica "Compacta" Compacta Nandina	18"-24" Ht.	Cont.
FG	17	Pennisetum alopecuroides Fountain Grass	1 Quart	Cont.
GM	8	Chamaecyparis pisifera filifera "Gold Map"/ Gold Map Hinoki Cypress	2 Gal.	Cont.
	45	Liriope muscari "Big Blue" Big Blue Lily Turf	1 Quart	Cont.
	330	Carex marrowii "Goldband" Goldband Japanese Variegated Sedge	2 Gal.	Cont.
	35	Rudbeckia fulgida "Goldsturm" Goldsturm Black-eyed Susan	1 Quart	Cont.
	147	Bergenia cordifolia "New Hybrids" New Hybrids Saxifrage	1 Quart	Cont.
	15	Stipa gigantea, Giant Feather Grass	1 Quart	Cont.
	60	Rudbeckia fulgida "Goldsturm" Black-eyed Susan	1 Quart	Cont.
	115	Lirigai muscari	1 Gal.	Cont.

OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

DEVELOPER
 CARMAX AUTO SUPERSTORES, INC.
 12800 TUCKAHOE CREEK PARKWAY
 RICHMOND, VA 23238
 C/O JOE JAGDMANN
 (804) 747-0422

NO.	REVISION	DATE

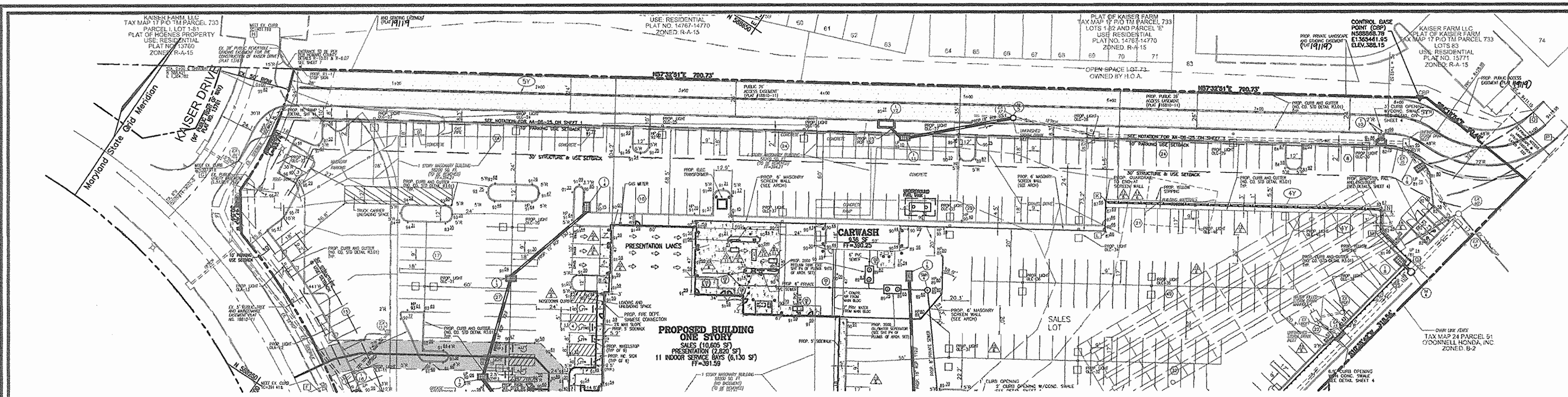
SITE DEVELOPMENT PLAN
SITE LANDSCAPE PLAN
CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"
 TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 Tel: 410-461-7666
 Fax: 410-461-8961

CARMAX PLAN INFO:

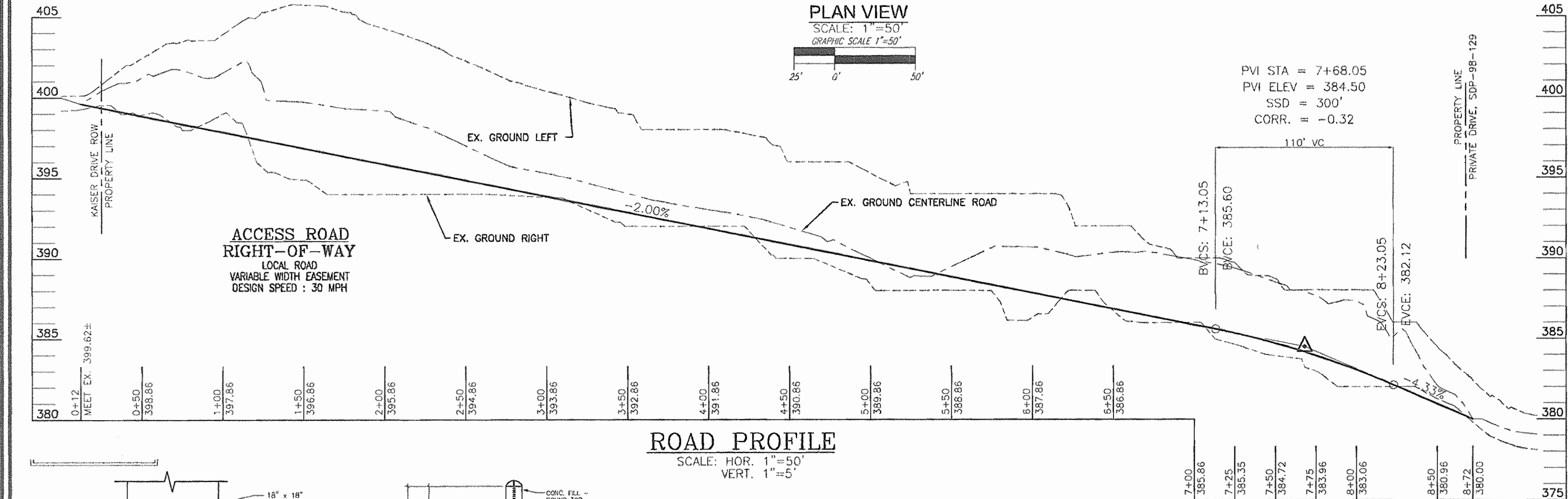
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 CHECKED BY: *RHV*
 DATE: *MAR 16 2007*
 SCALE: *AS SHOWN*
 W.D. NO.: *05-79*

PART OF SP-SSDP-1 PACKAGE **C10**
 HO. CO. DPZ SHEET:
10 SHEET OF **11**



PLAN VIEW
SCALE: 1"=50'
GRAPHIC SCALE 1"=50'

PVI STA = 7+68.05
PVI ELEV = 384.50
SSD = 300'
CORR = -0.32

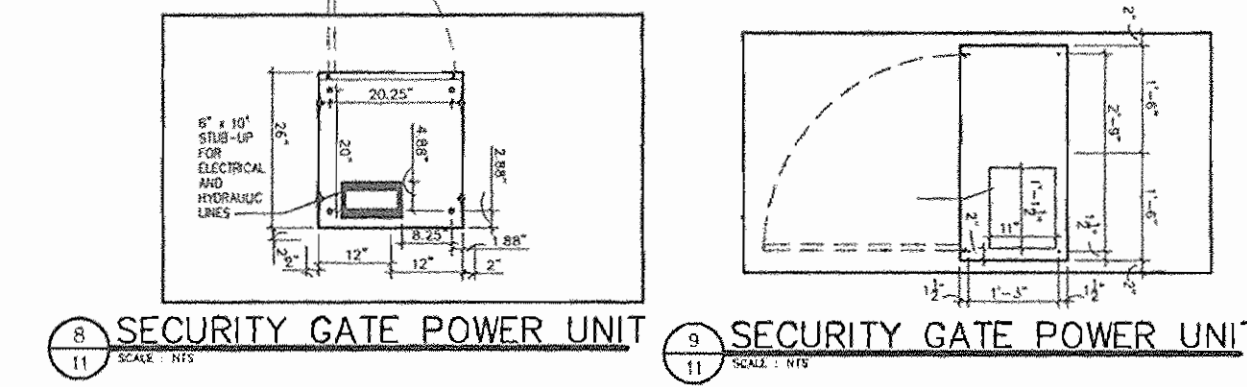


ROAD PROFILE
SCALE: HOR. 1"=50'
VERT. 1"=5'

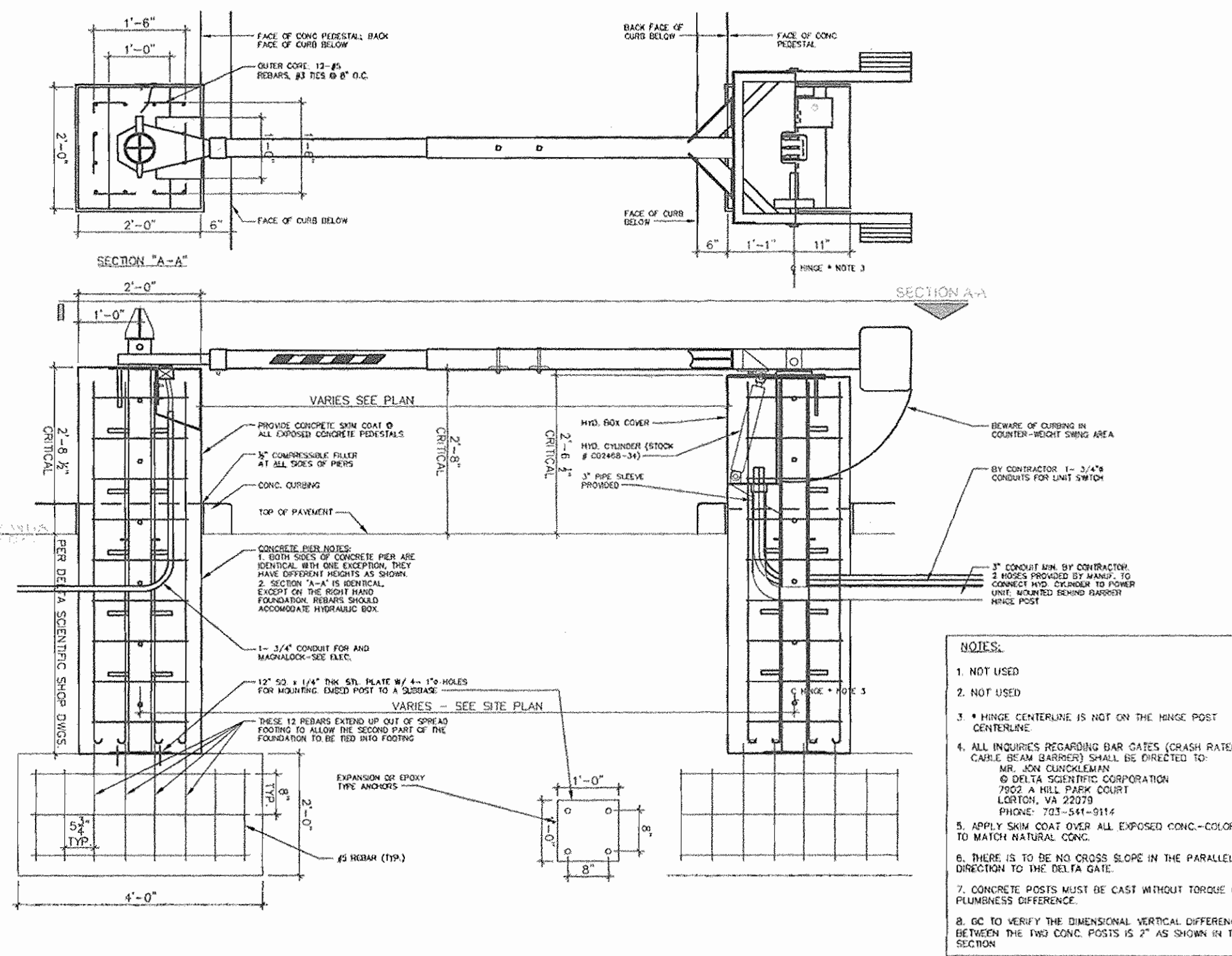
THERMOPLASTIC PAVEMENT MARKING LEGEND

- 4Y SINGLE SOLID YELLOW LINE, 4" WIDE
- 5Y 5" DOUBLE YELLOW SOLID LINE

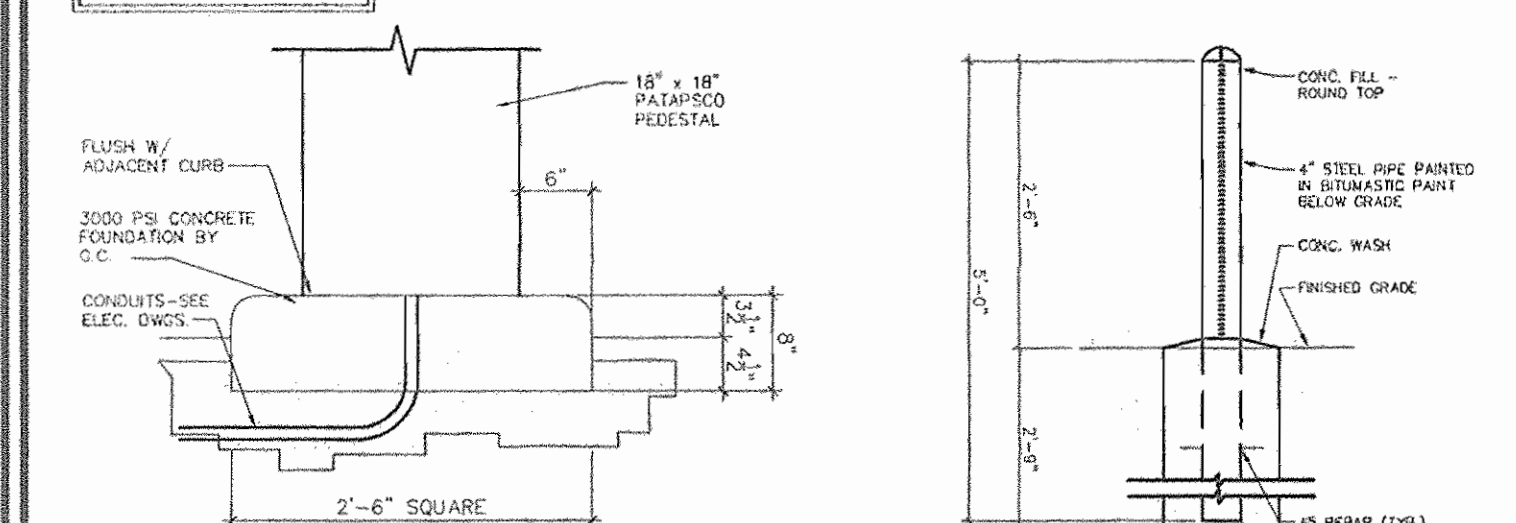
NOTE: ALL PARKING, LOADING AND HANDICAPPED STRIPING TO BE SINGLE SOLID WHITE LINE, 4" WIDE



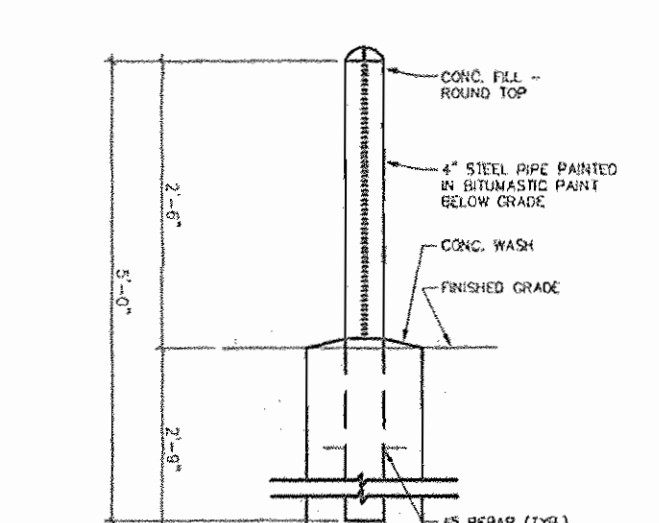
6 SECURITY GATE POWER UNIT
7 SECURITY GATE POWER UNIT



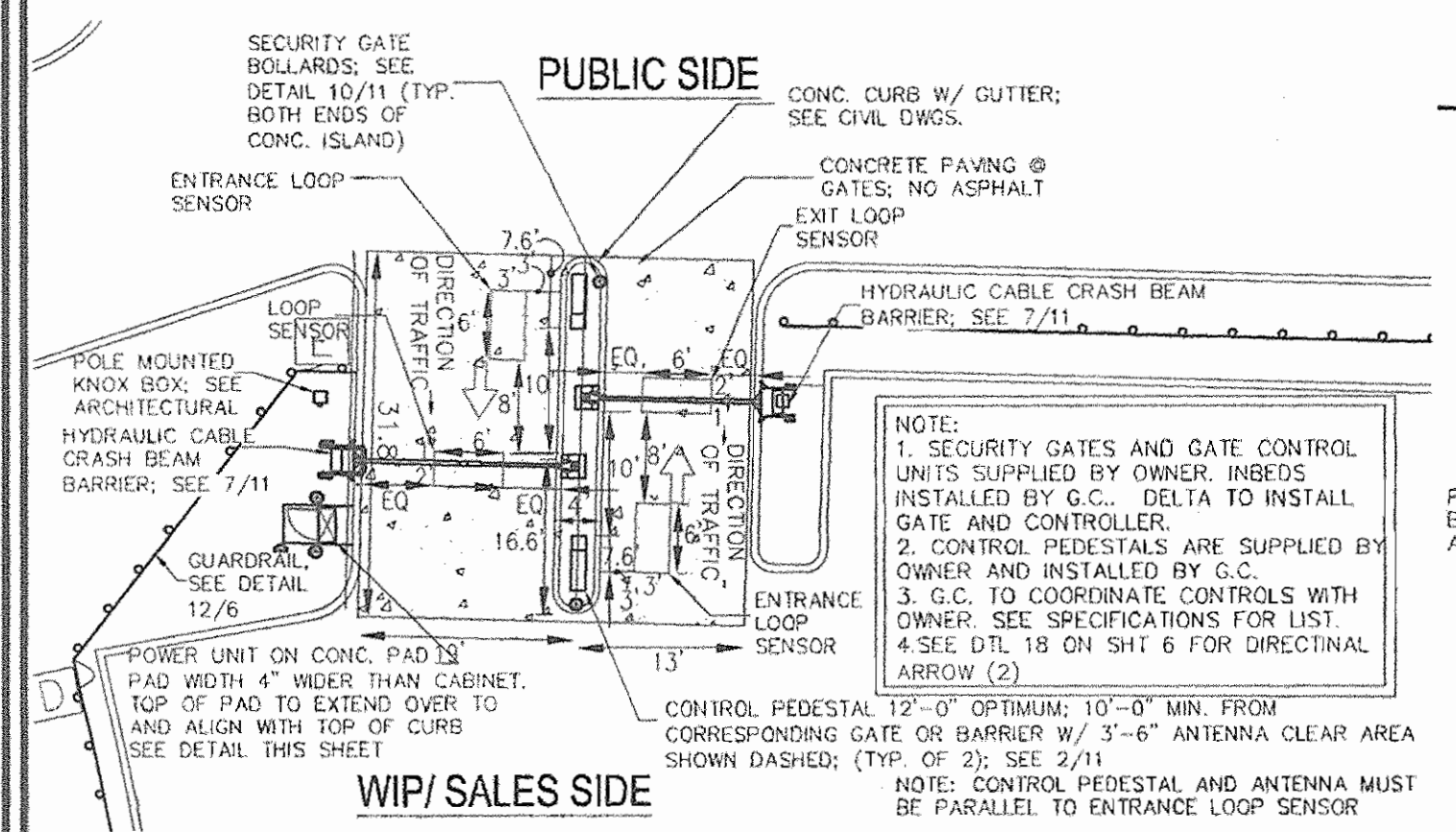
7 SECURITY GATE DETAIL (CABLE CRASH BEAM BARRIER) AT SALES LOT
SCALE: 3/4" = 1'-0"



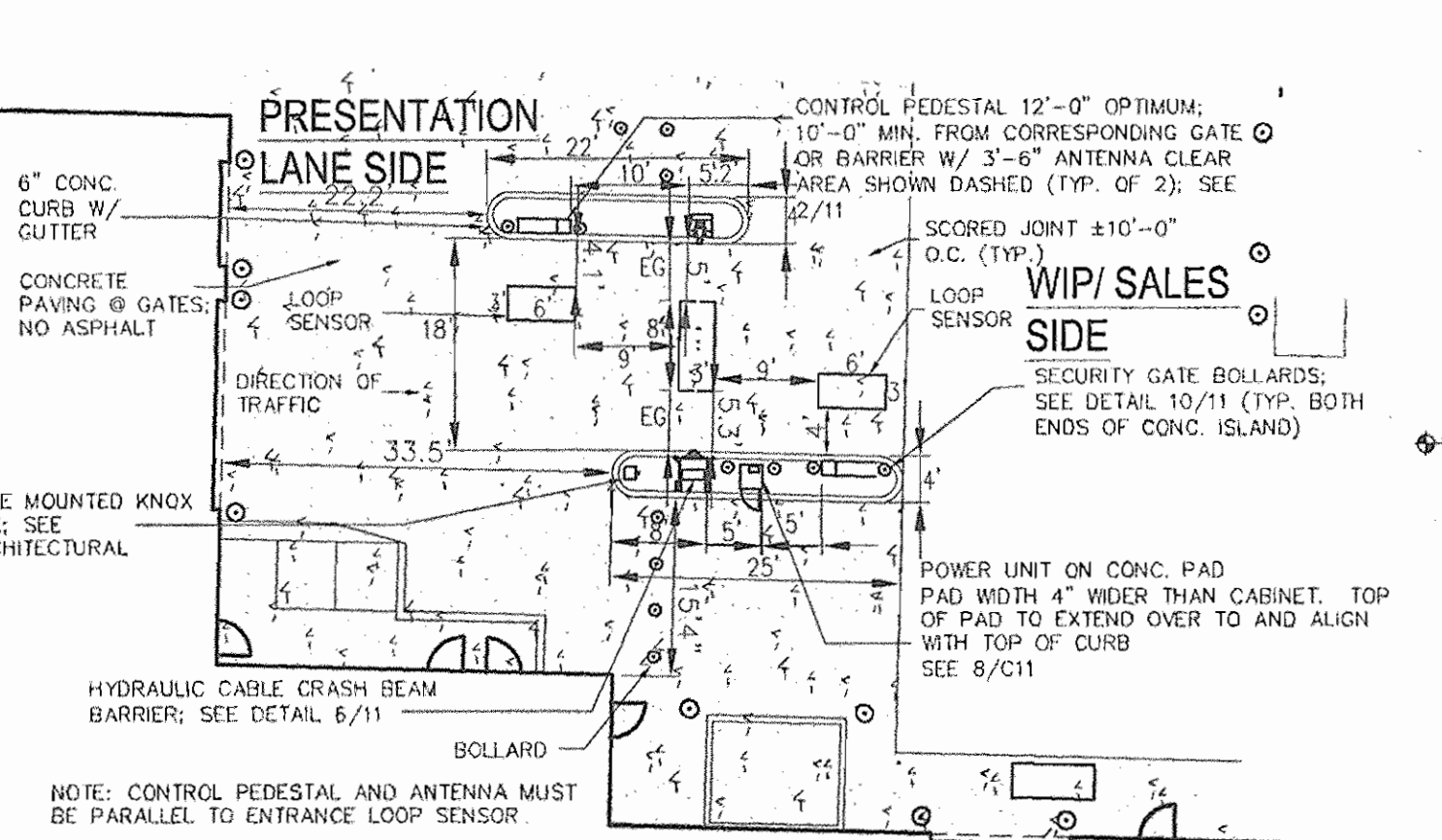
2 SINGLE GATE PATAPSCO PEDESTAL
SCALE: 1/4" = 1'-0"



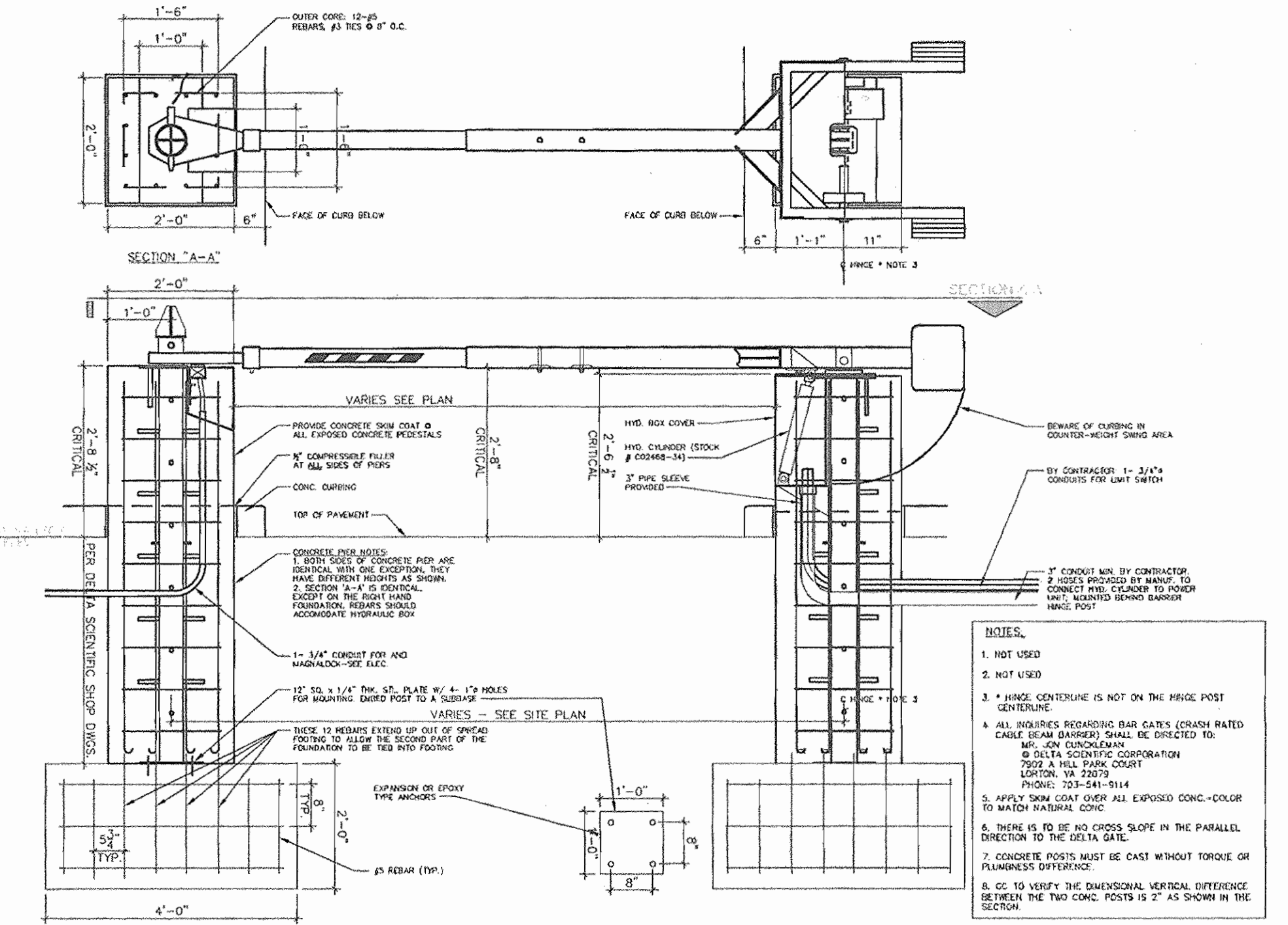
10 SECURITY GATE BOLLARD
SCALE: 1/4" = 1'-0"



4 SECURITY GATE AT SALES LOT
SCALE: 1/4" = 1'-0"



5 SECURITY GATE AT PRESENTATION LANE
SCALE: 1/4" = 1'-0"



6 SECURITY GATE DETAIL (CABLE CRASH BEAM BARRIER) FOR TYP SINGLE GATE
SCALE: 3/8" = 1'-0"

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JAGDMANN
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ROBERT H. VOGEL ENGINEERING, INC.
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SITE DEVELOPMENT PLAN
SITE DETAILS AND ROAD PROFILE
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

P/O TM PARCEL 848
HOWARD COUNTY, MARYLAND

CARMAX PLAN INFO:
PART OF SP-8SDP-1 PACKAGE **C11**
HO. CO. DPZ SHEET: 11 SHEET OF 11

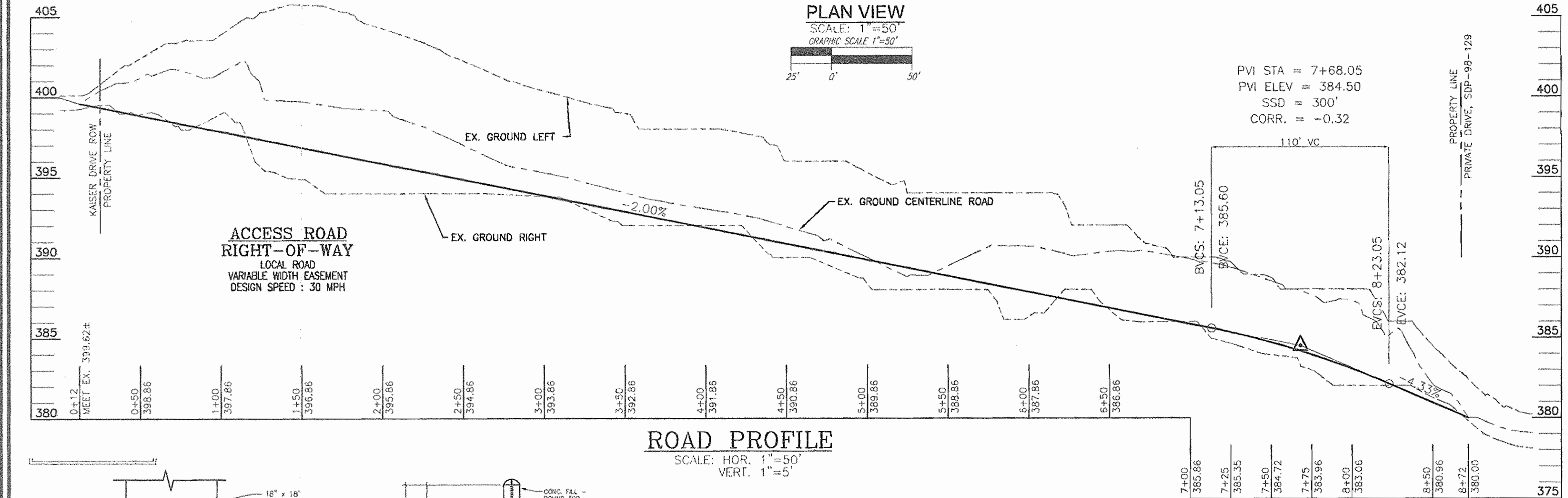
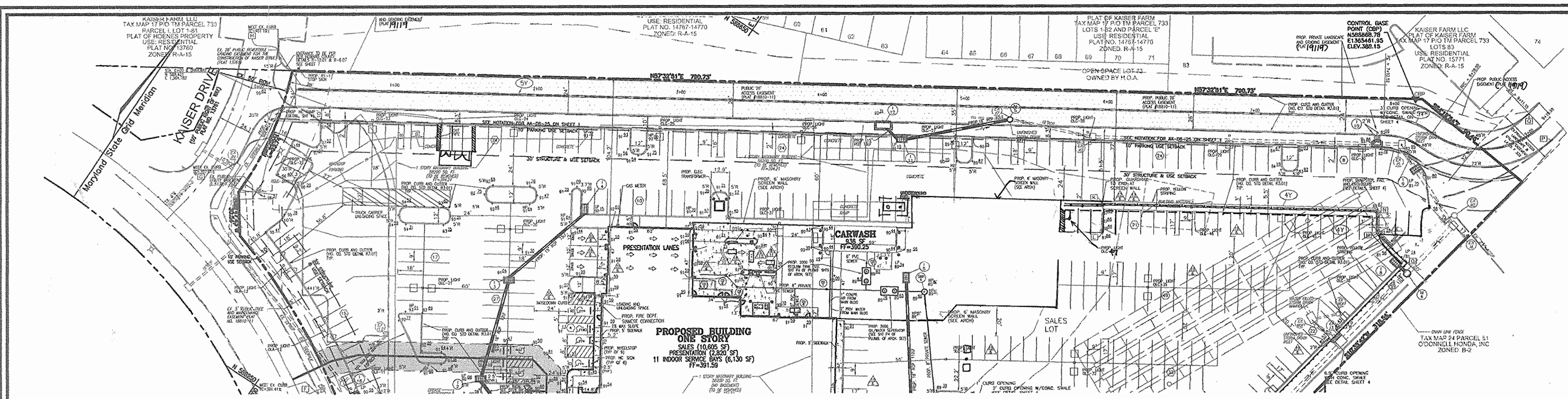
DESIGN BY: W.G.Z.
DRAWN BY: D.Z.
CHECKED BY: R.H.V.
DATE: MAR. 16, 2007
SCALE: AS SHOWN
W.O. NO.: 05-79

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/26/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/10/07

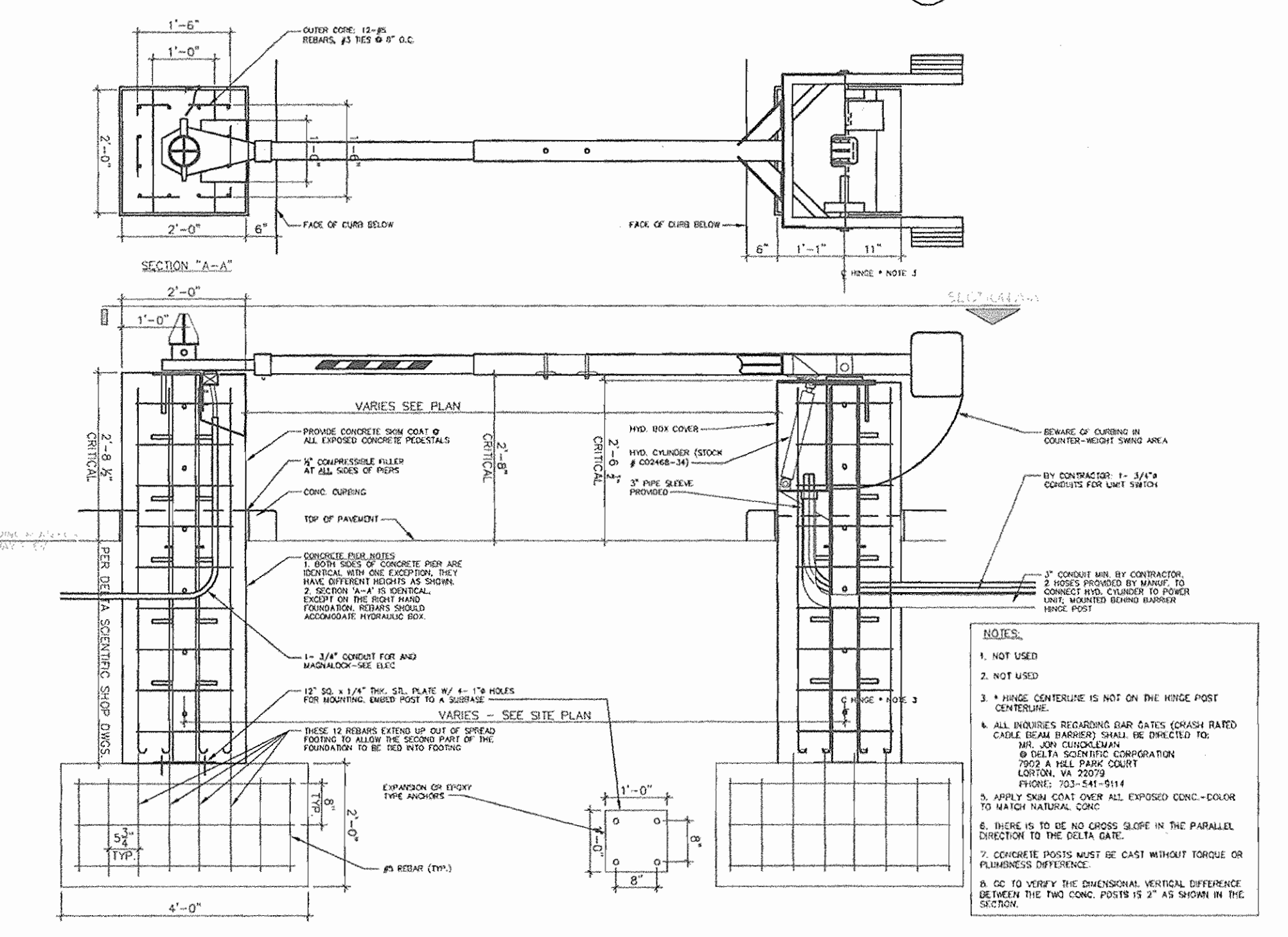
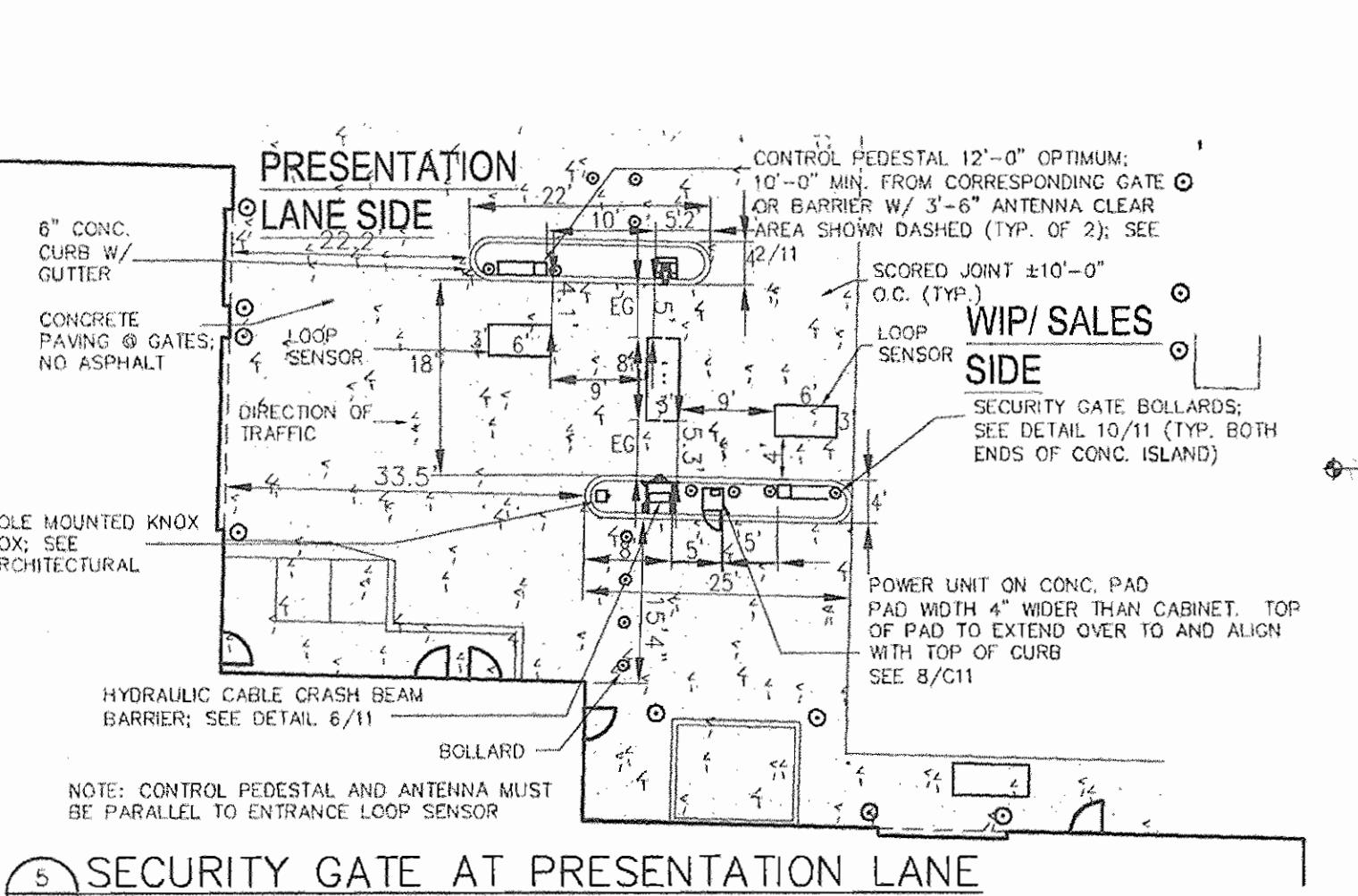
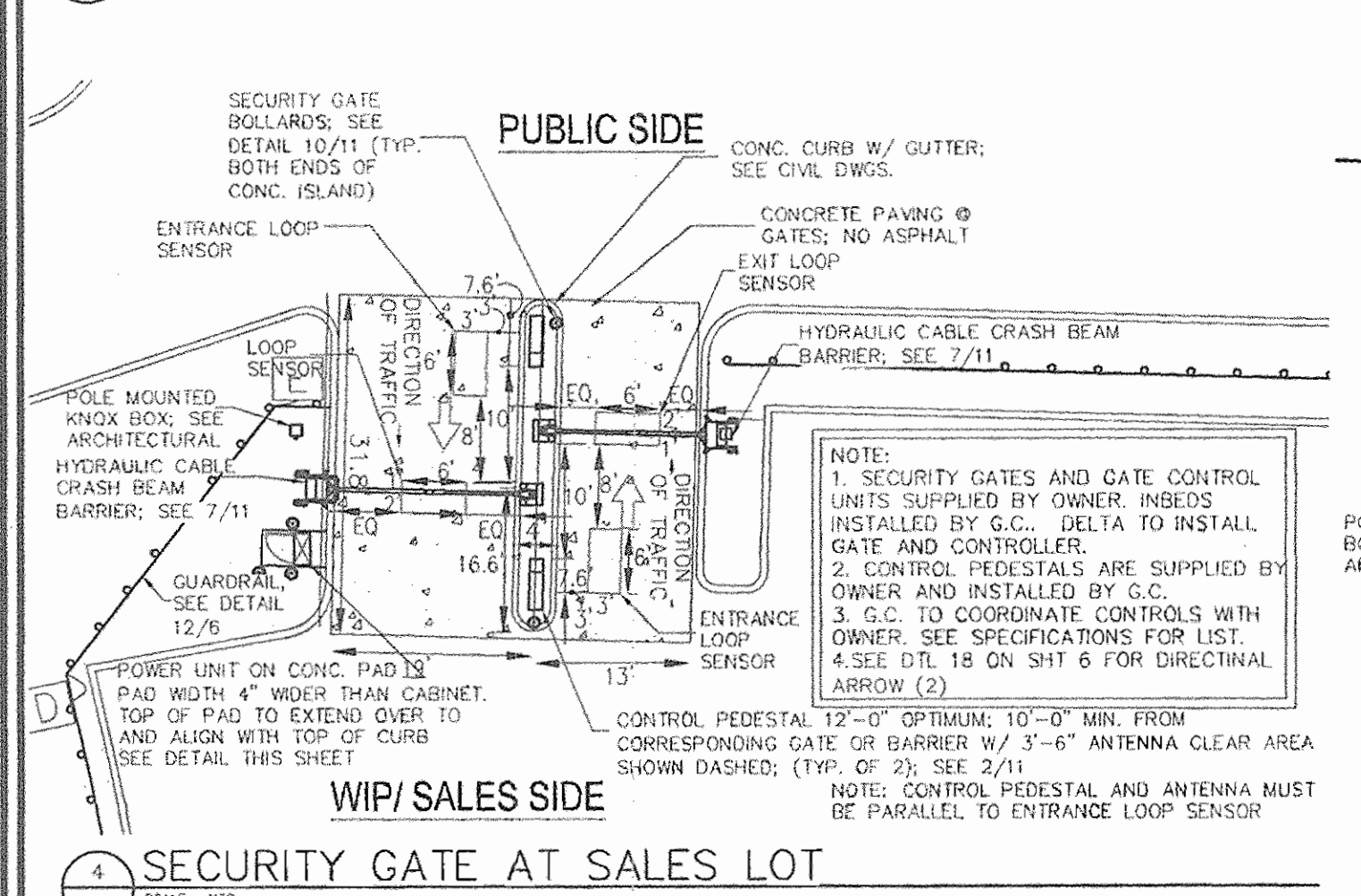
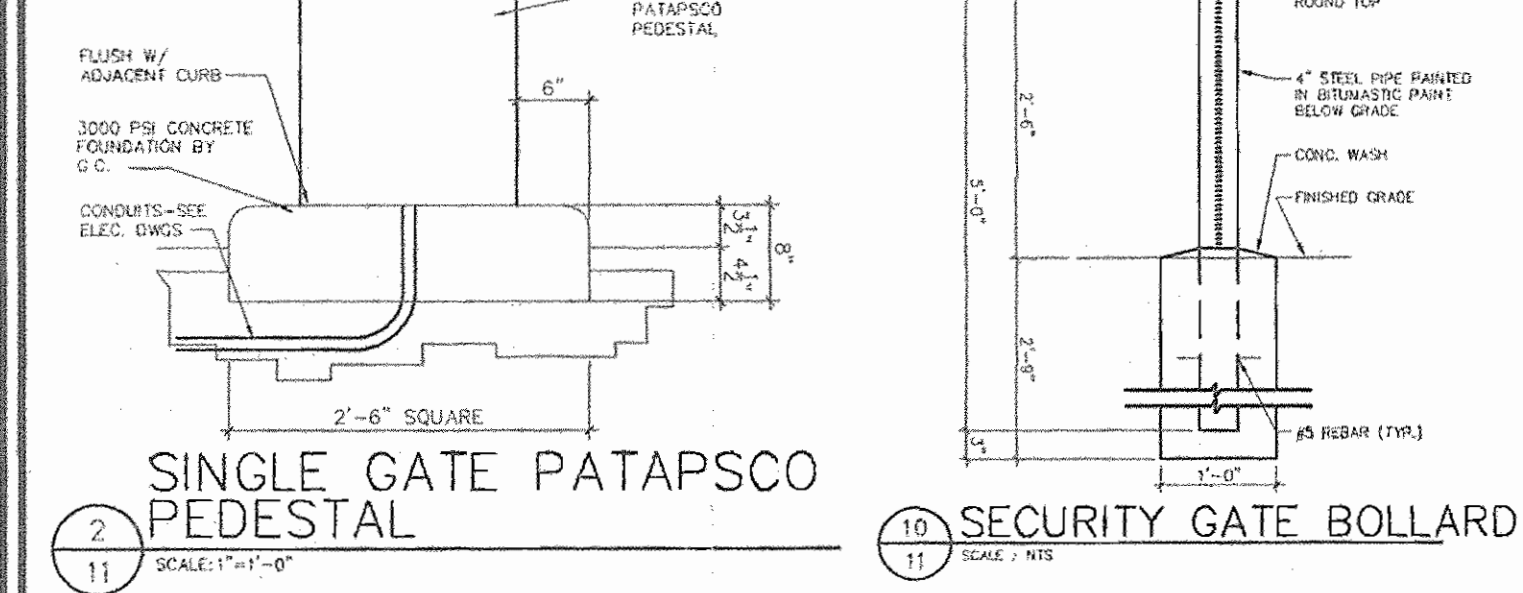
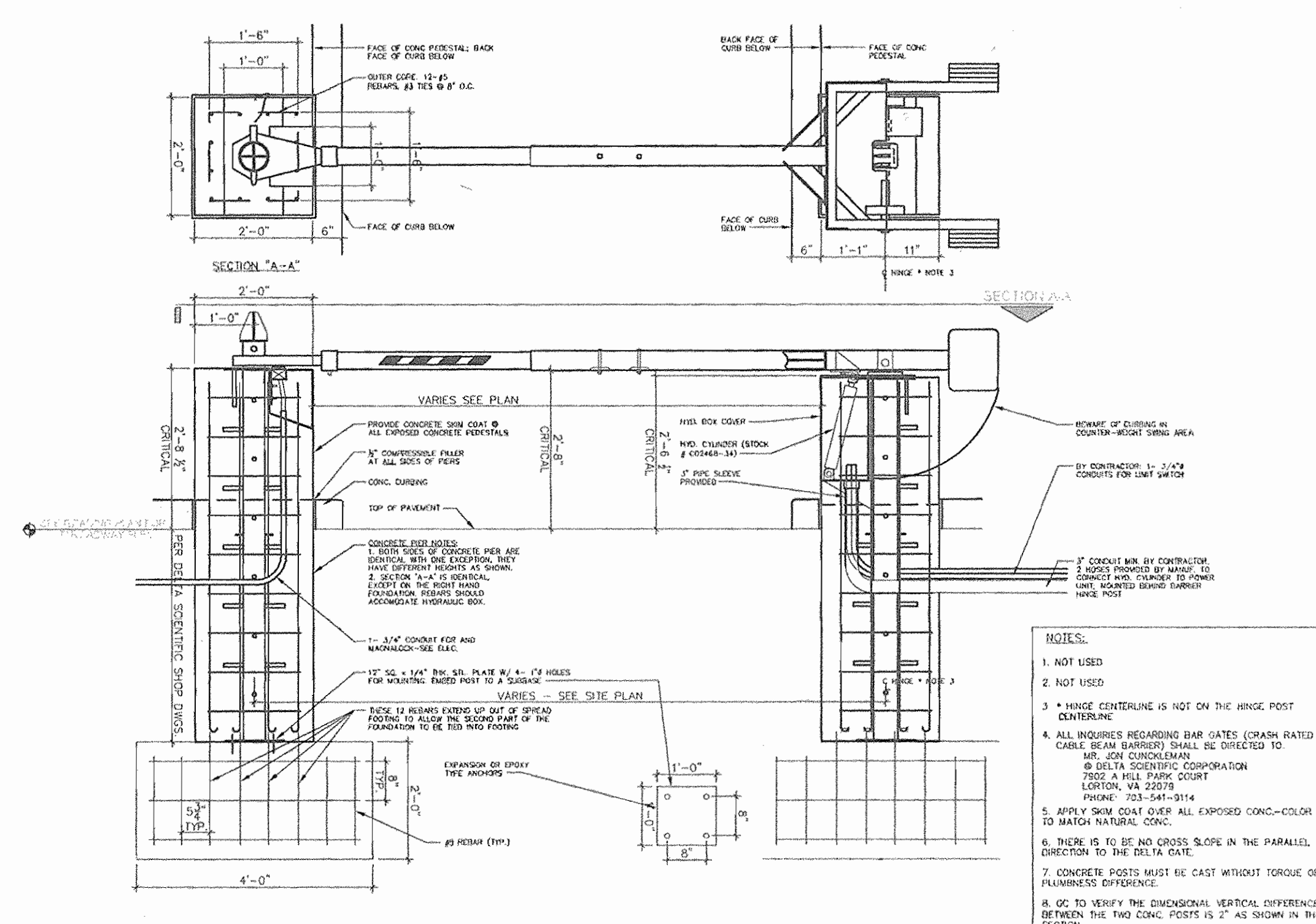
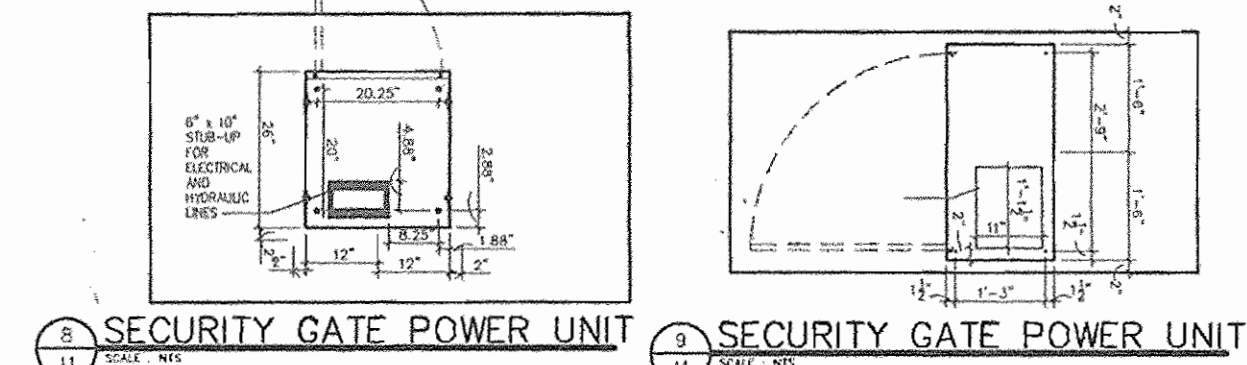
DIRECTOR
DATE: 5/22/07



THERMOPLASTIC PAVEMENT MARKING LEGEND

- (47) SINGLE SOLID YELLOW LINE, 4" WIDE
- (51) 5" DOUBLE YELLOW SOLID LINE

NOTE: ALL PARKING, LOADING AND HANDICAPPED STRIPING TO BE SINGLE SOLID WHITE LINE, 4" WIDE



7 SECURITY GATE DETAIL (CABLE CRASH BEAM BARRIER) AT SALES LOT
SCALE: 3/4" = 1'-0"

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(804) 747-0422

NO.	REVISION	DATE
1	RELATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANK, PARKING LOT LIGHTS, MODIFY WALL AT CARWASH	9/18/06

SITE DEVELOPMENT PLAN

SITE DETAILS AND ROAD PROFILE
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
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APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *[Signature]* 4/20/07 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT: *[Signature]* 5/10/07 DATE

DIRECTOR: *[Signature]* 5/22/07 DATE

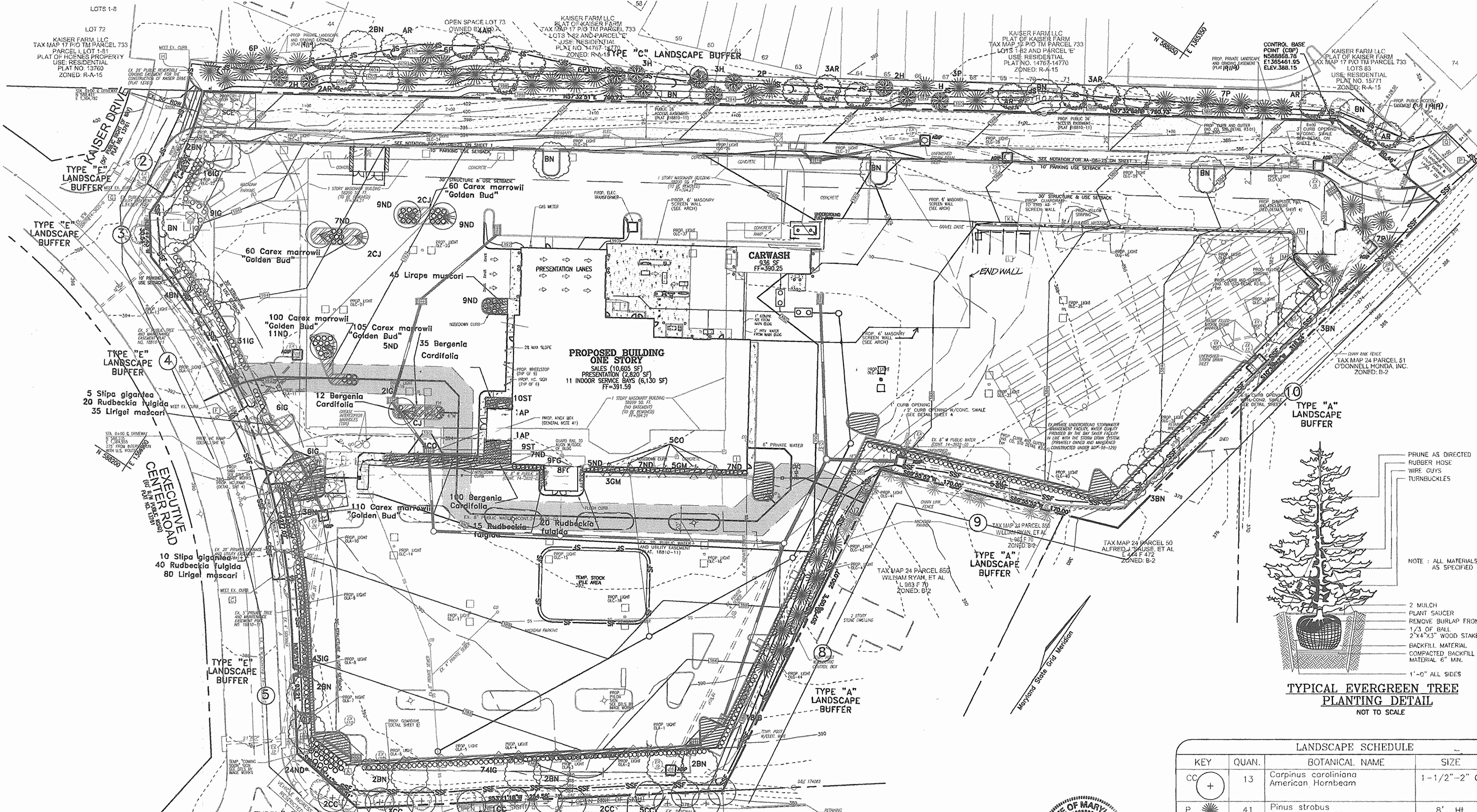
CARMAX PLAN INFO:

DESIGN BY: WJZ
DRAWN BY: DZ
CHECKED BY: RHY
DATE: MAR. 16, 2007
SCALE: AS SHOWN
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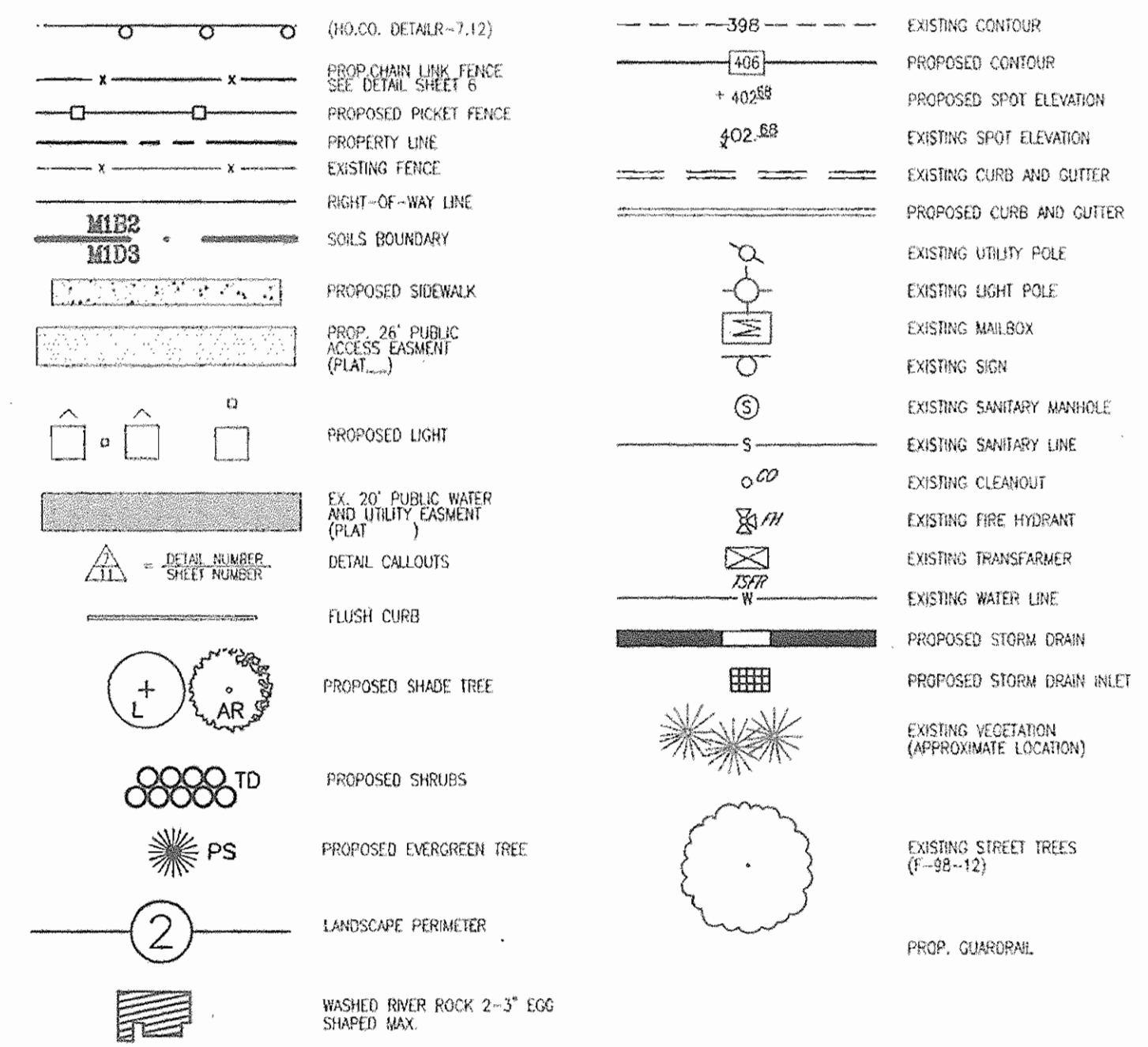
PART OF SP-9SDP-1 PACKAGE: **C11**

HO. CO. DPZ SHEET: 11 OF 11

6 SECURITY GATE DETAIL (CABLE CRASH BEAM BARRIER) FOR TYP SINGLE GATE
SCALE: 3/8" = 1'-0"

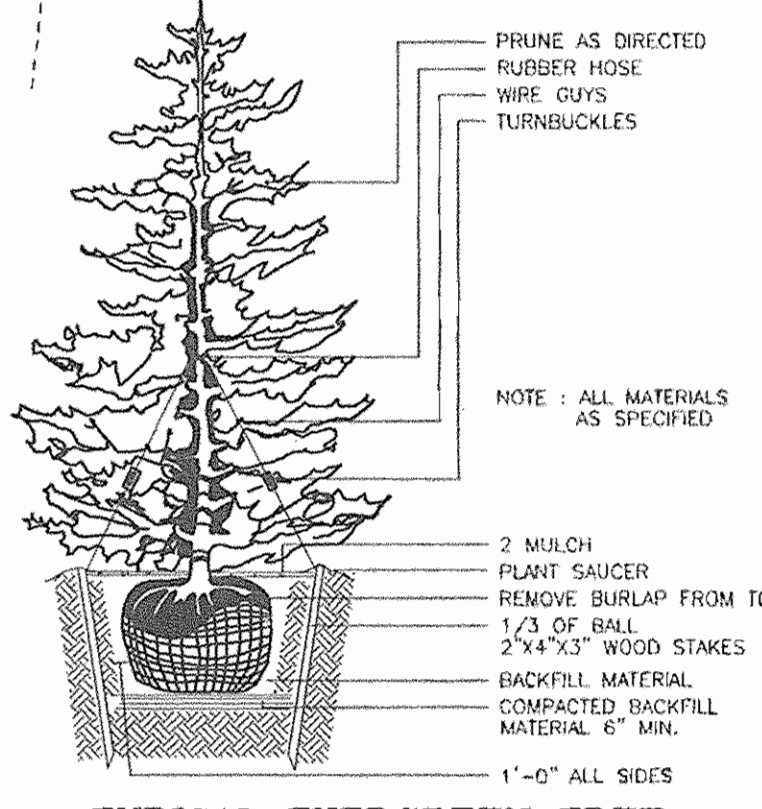


LEGEND:



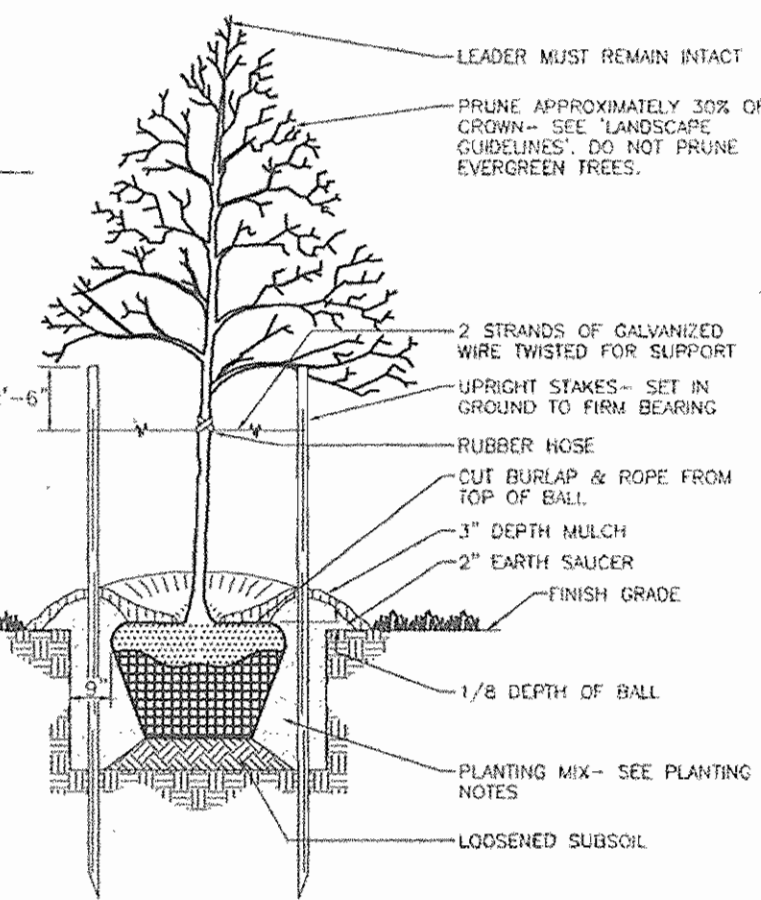
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TREE PLANTING AND STAKING
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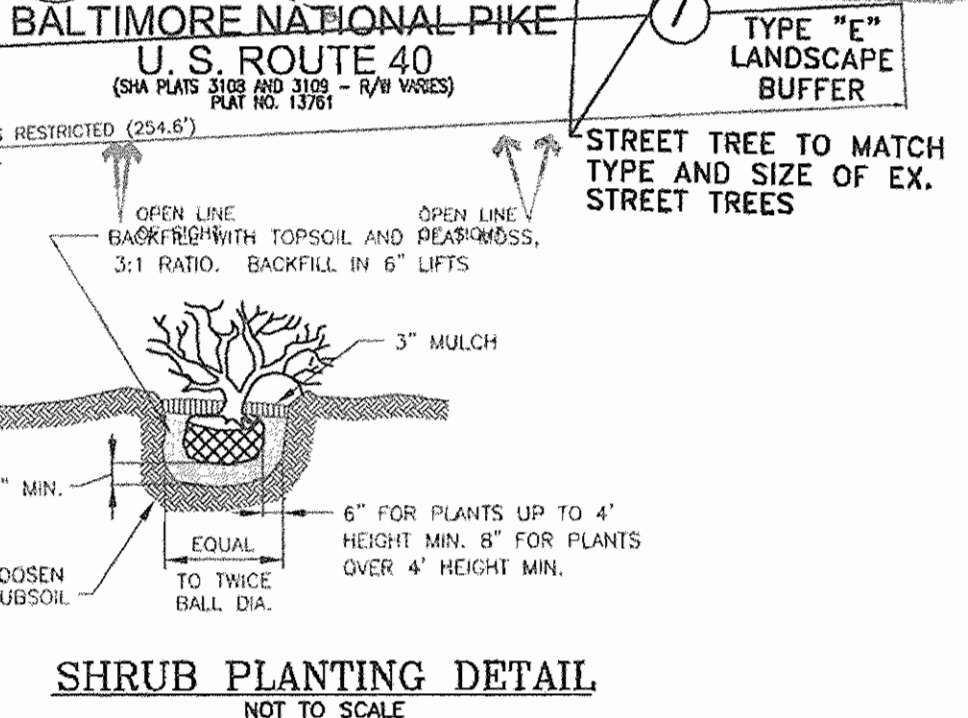
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Signature of Developer: *[Signature]* K. Douglas Moyers, President
Date: 4/26/07

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
Date: 5/15/07

Signature of Chief Development Engineering Division: *[Signature]*
Date: 5/15/07

Signature of Chief, Division of Land Development: *[Signature]*
Date: 5/24/07



SHRUB PLANTING DETAIL
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C/O JOE JAGDMANN
(804) 747-0422

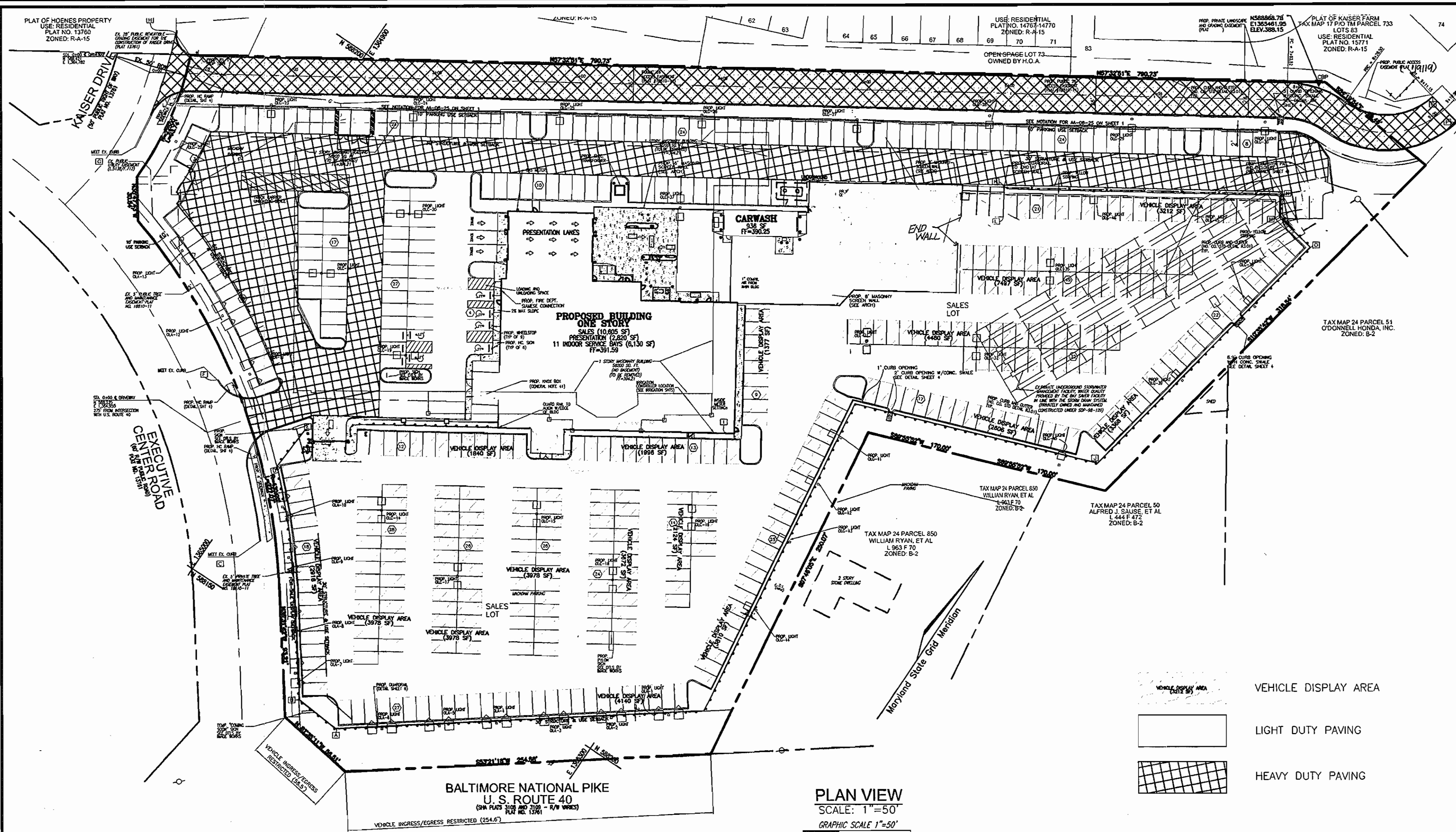
NO.	REVISION	DATE
1	RELOCATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND 9.300 FT TANK, PARKING LOT LIGHTS AND MODIFY WALL AT CAR WASH	

SITE DEVELOPMENT PLAN
SITE LANDSCAPE PLAN
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"
TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8966

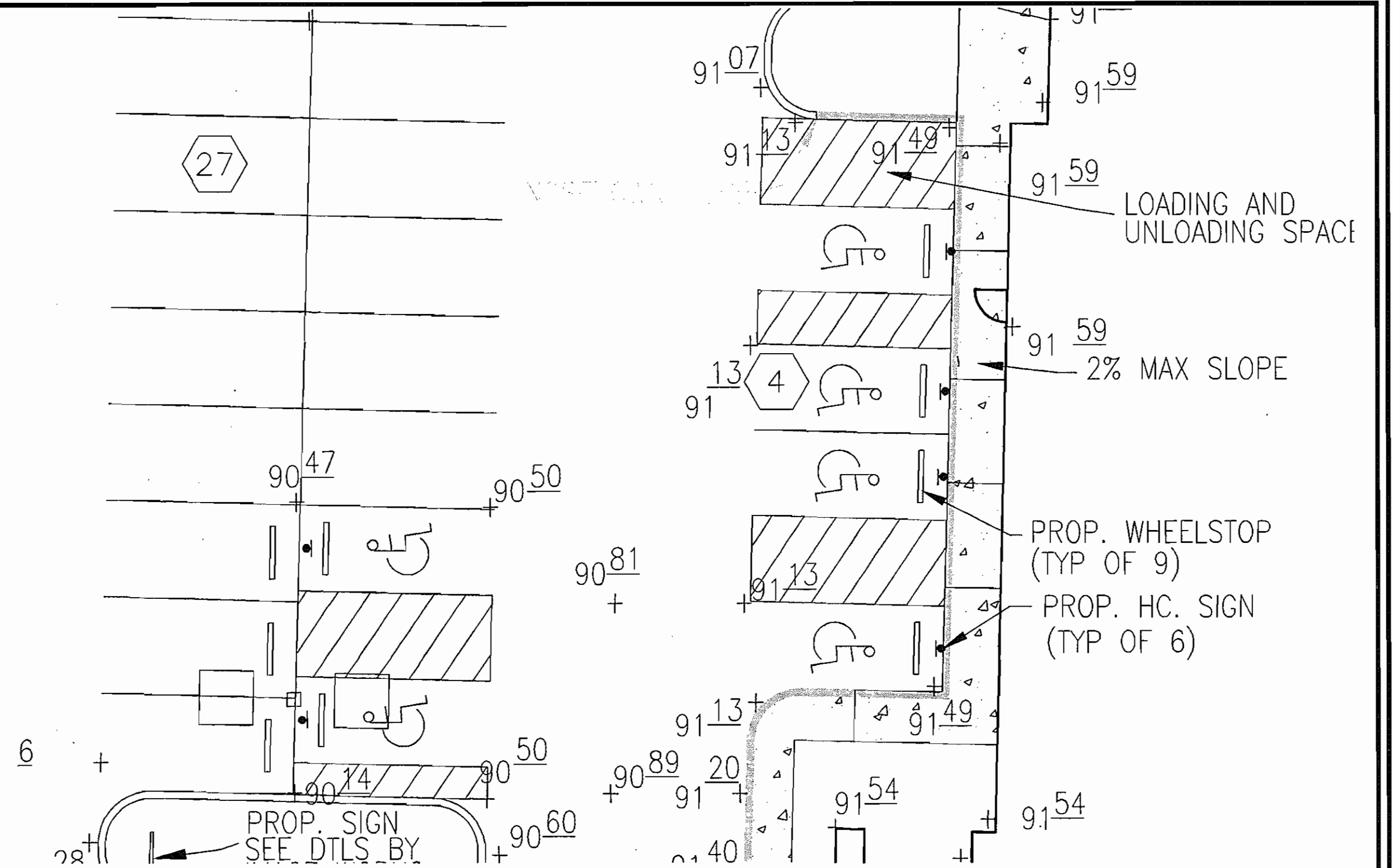
CARMAX PLAN INFO:
DESIGN BY: CM/WGZ
DRAWN BY: BZ
CHECKED BY: RHV
DATE: MAR. 16, 2007
SCALE: AS SHOWN
W.D. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE
C10
HO. CO. DPZ SHEET:
10 SHEET OF **11**



PLAN VIEW
SCALE: 1"=50'
GRAPHIC SCALE 1"=50'

- VEHICLE DISPLAY AREA
- LIGHT DUTY PAVING
- HEAVY DUTY PAVING



HC INSETS
SCALE: 1"=10'

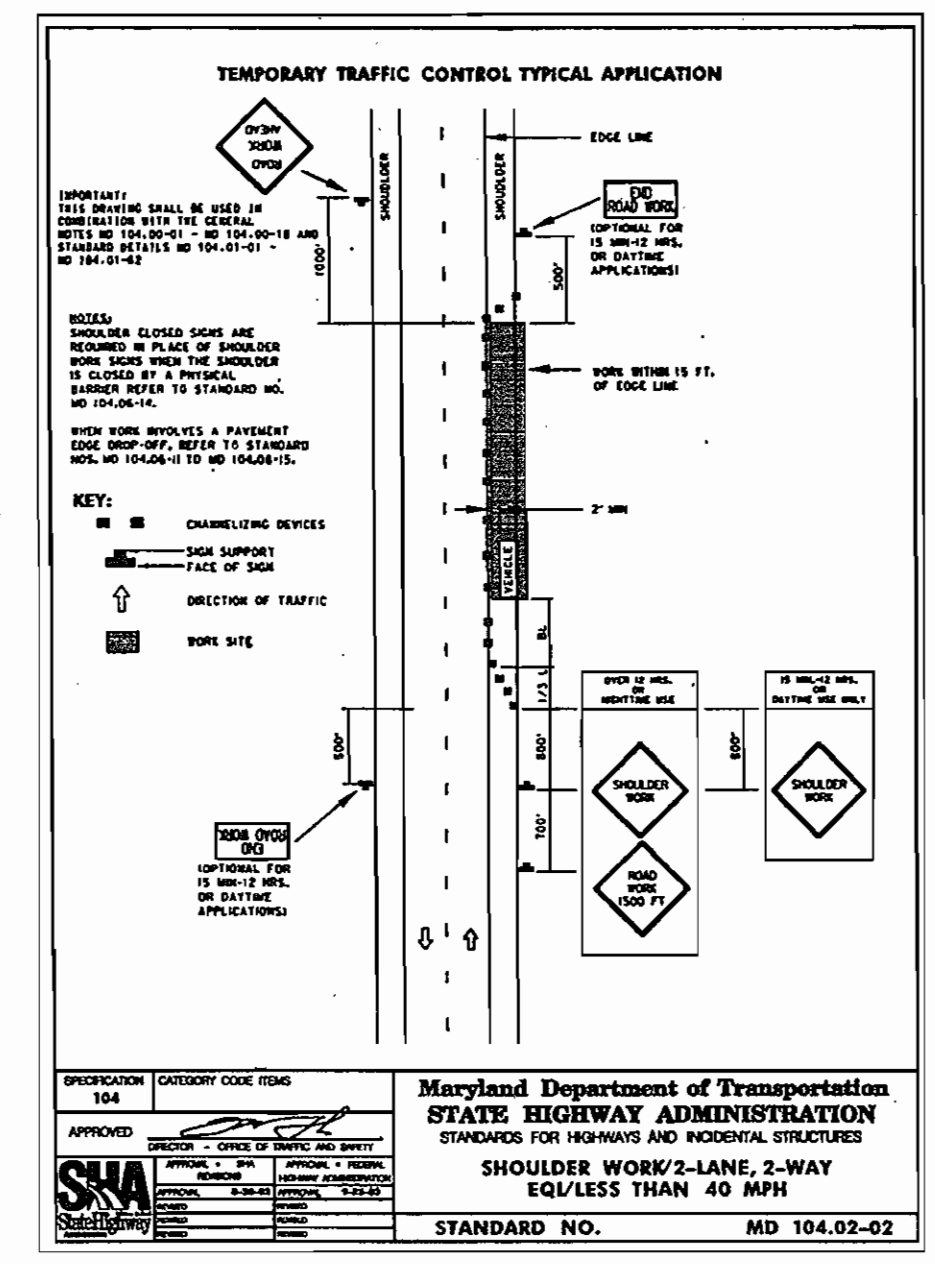
PAVEMENT SECTIONS

	LIGHT DUTY	HEAVY DUTY & ACCESS ROAD
SURFACE COURSE ASPHALT HMA Superpave - 9.5mm** Tack Coat***	1.5"	1.5"
BASE COURSE ASPHALT HMA Superpave - 12.5mm** Prime Coat***	2.5"	3.0"
GRADED AGGREGATE BASE GAB	4.0"	8.0"
TOTAL PAVEMENT THICKNESS	8.0"	12.5"

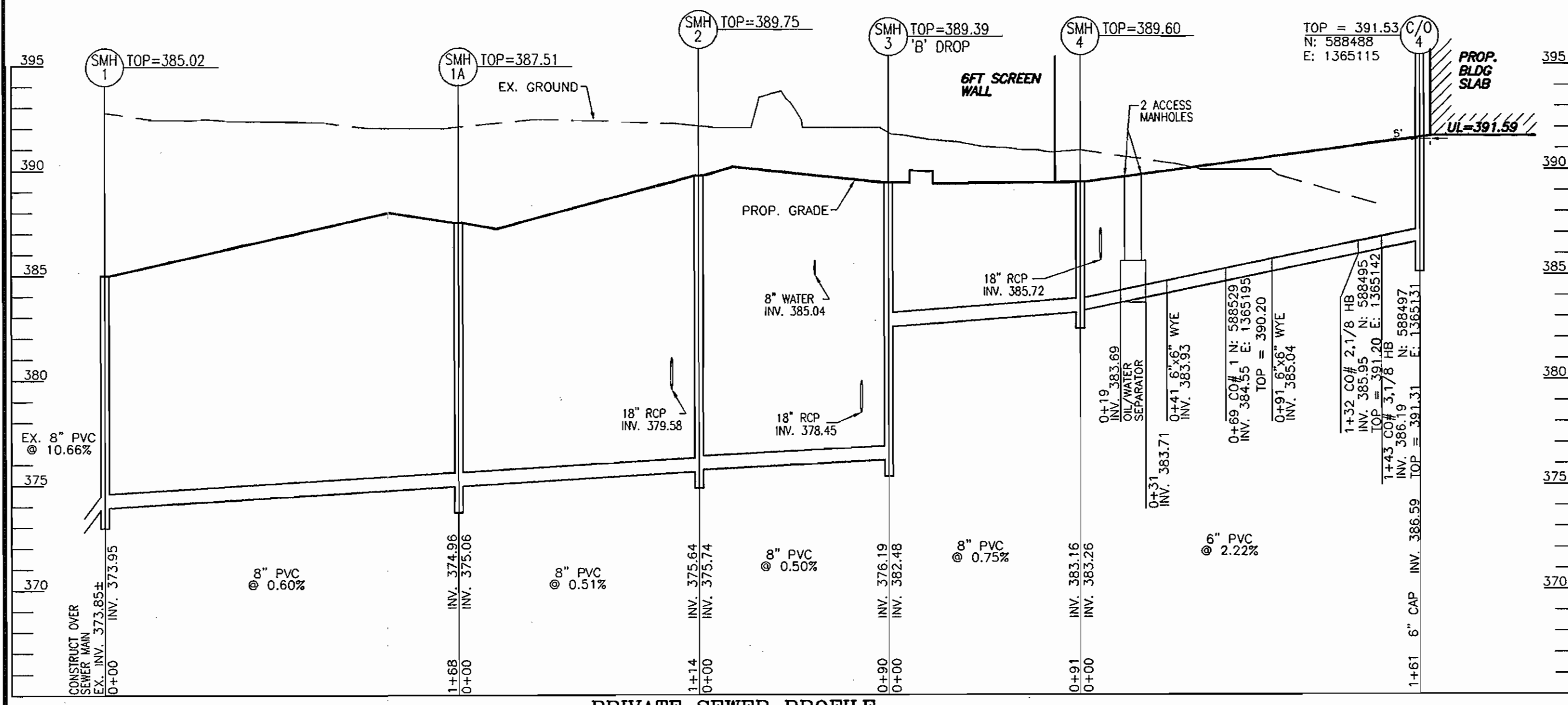
*Compaction: Level 1 (50 gyrations)
**Binder Type: PG64-22
***Tack and Prime Coats to be in accordance with latest version of MDOT, MSHA Standard Specifications for Construction and Materials.

PIPE SCHEDULE

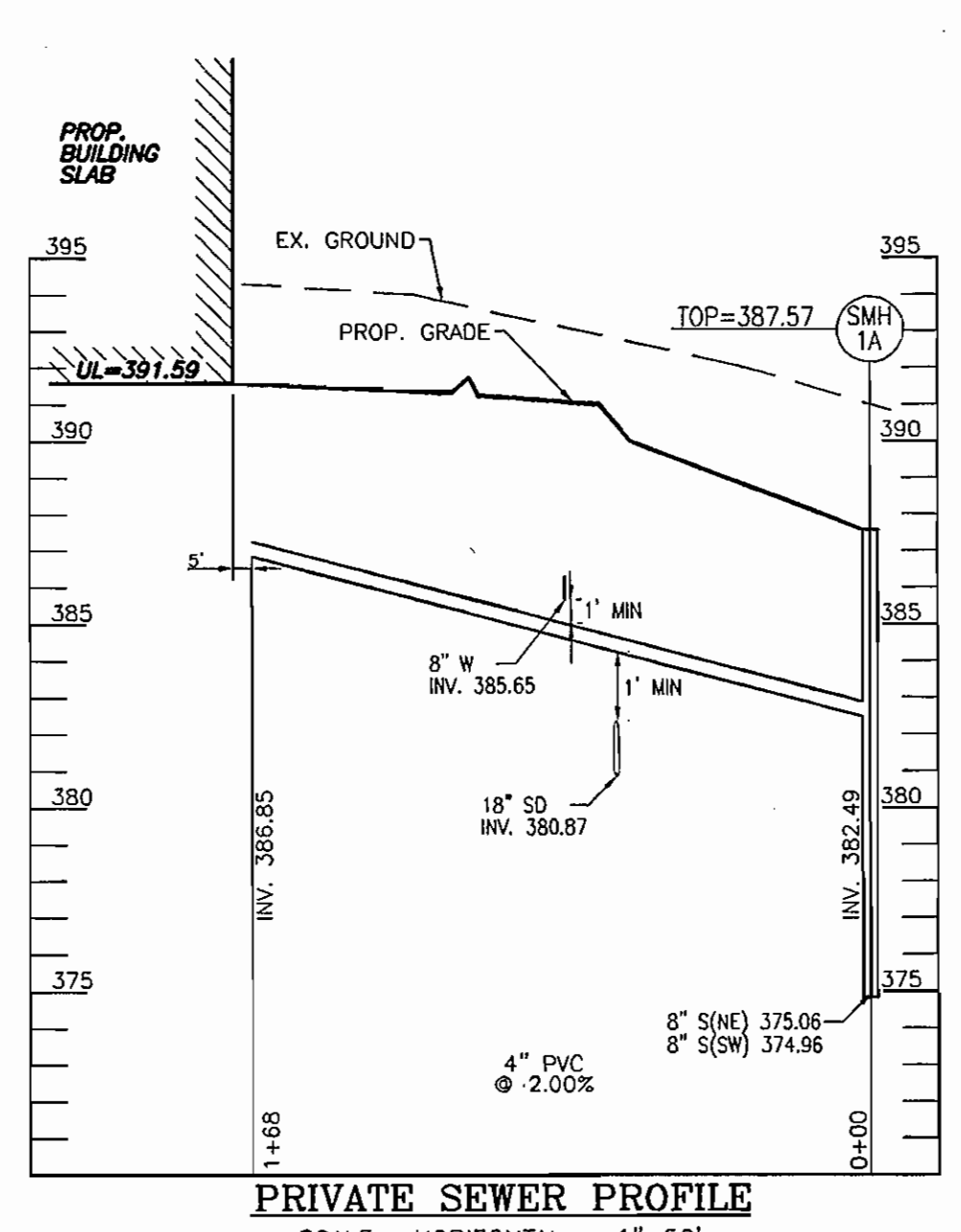
SIZE	TYPE	LENGTH
18"	RCP, CL IV	938 LF
21"	RCP, CL IV	66 LF
24"	RCP, CL IV	51 LF
3"	PVC (SOLID)	71 LF
8"	DIP	41 LF
4"	PVC (SEWER)	168 LF
6"	PVC (SEWER)	197 LF
8"	PVC (SEWER)	463 LF



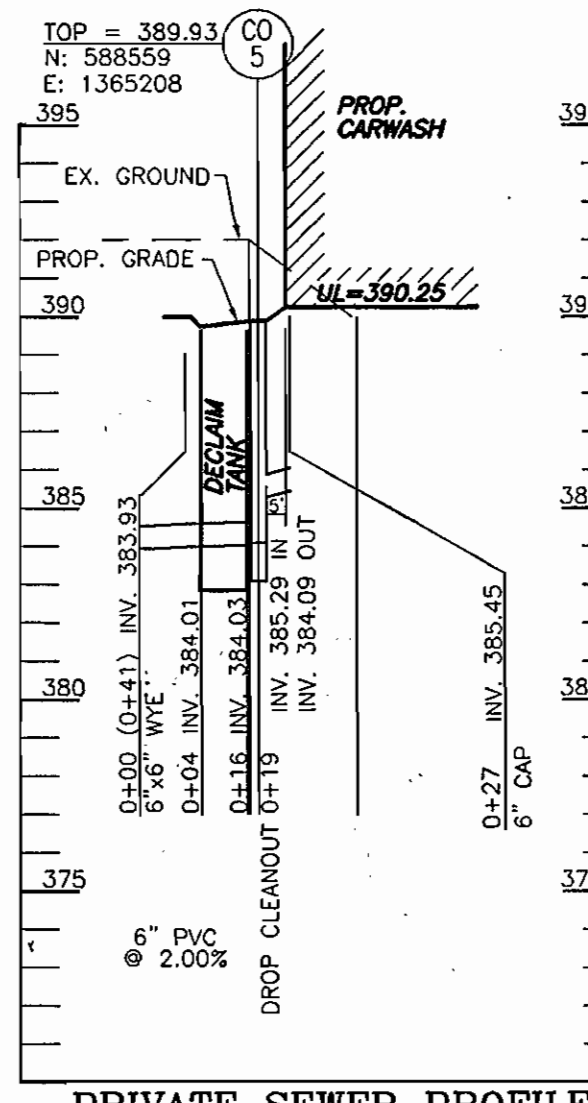
Maryland Department of Transportation
STATE HIGHWAY ADMINISTRATION
STANDARD NO. MD 104.02-02



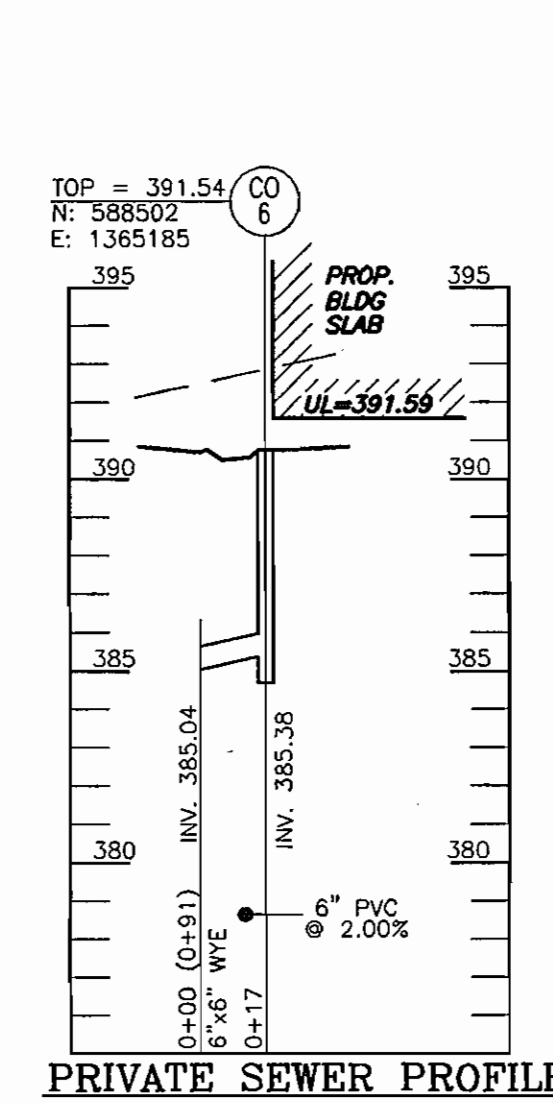
PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'



PRIVATE SEWER PROFILE
SCALE: HORIZONTAL - 1"=50'
VERTICAL - 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/26/07
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/17/07
DIRECTOR
DATE: 5/22/07

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JAGDMANN
(804) 747-0422

NO.	REVISION	DATE
1	RELOCATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANKS, PARKING LOT LIGHTS, AND MODIFY WALL AT CAR WASH.	7-30-07

SITE DEVELOPMENT PLAN
UTILITY PROFILES AND SITE DETAILS
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

P/O TM PARCEL 848
HOWARD COUNTY, MARYLAND

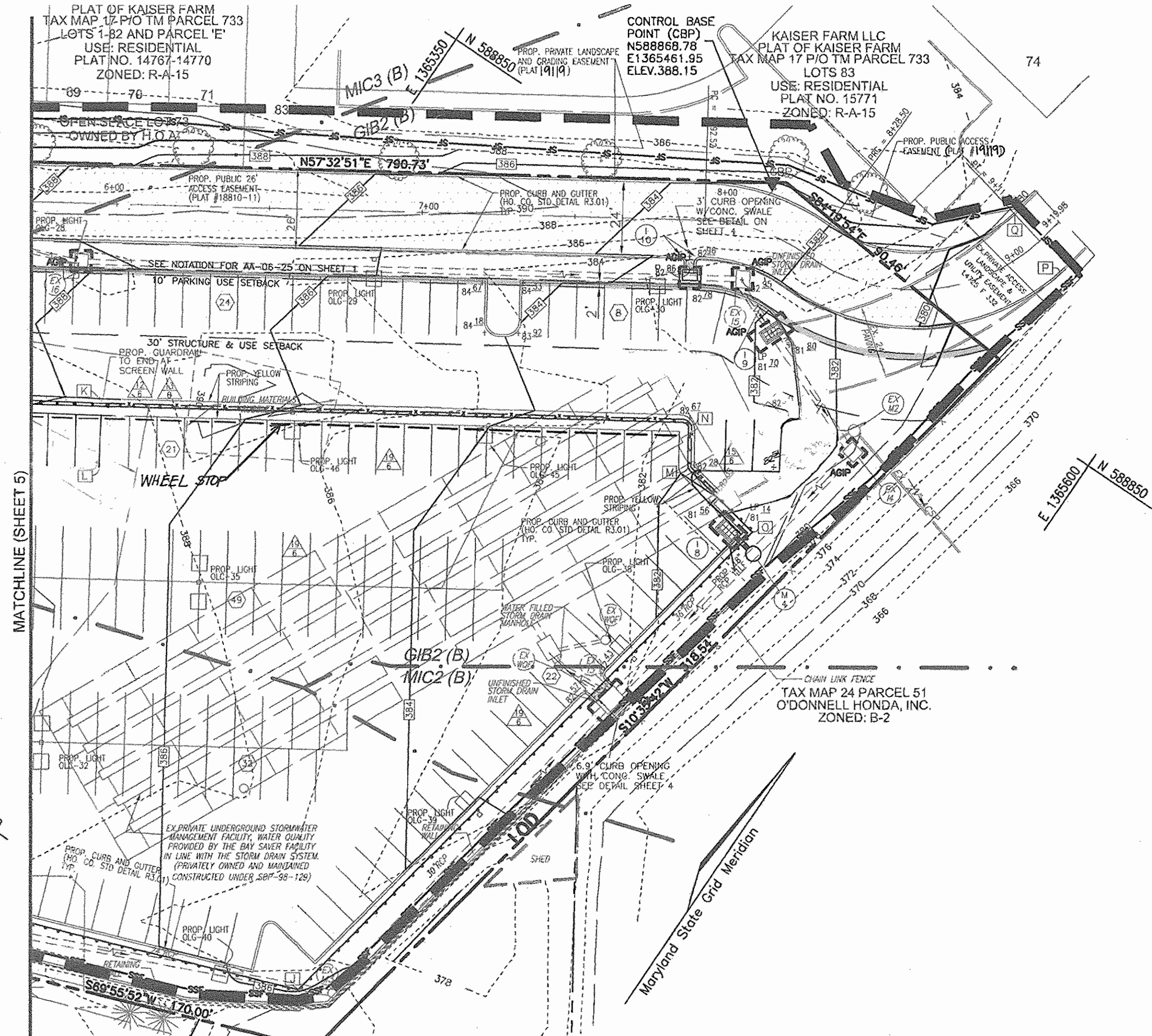
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

CARMAX PLAN INFO:

DESIGN BY: WJZ
DRAWN BY: DZ
CHECKED BY: RHY
DATE: MAR. 16, 2007
SCALE: AS SHOWN
W.O. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE
C 9

HO. CO. DPZ SHEET:
9 SHEET OF **11**



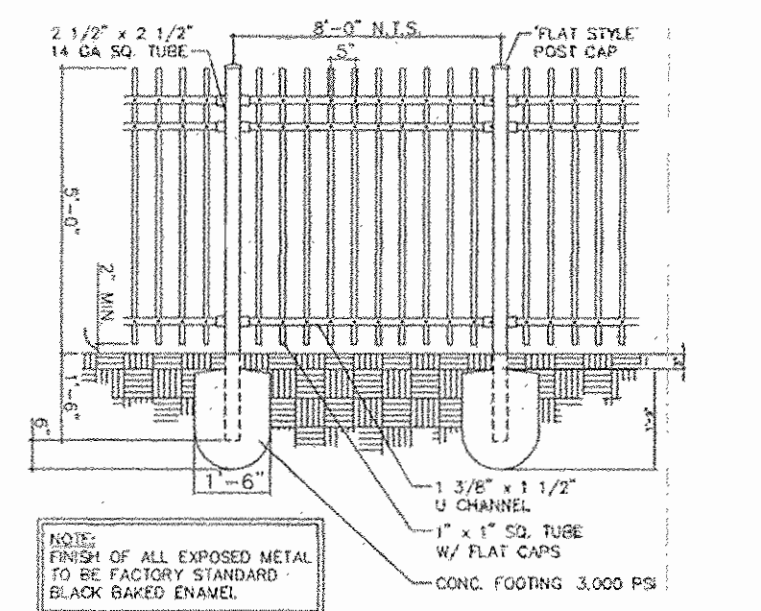
BAYSAYER OPERATION AND MAINTENANCE SCHEDULE
 BAYSAYER SYSTEMS MUST BE INSPECTED ANNUALLY AND MAINTAINED AS NEEDED. INSPECTION IS MADE BY CHECKING THE DEPTH OF SEDIMENT IN EACH MANHOLE WITH A GRADE STICK OR SIMILAR DEVICE. MAINTENANCE IS REQUIRED WHEN THE SEDIMENT DEPTH IN EITHER MANHOLE EXCEEDS 2 FEET. IS CLEAN MAINTENANCE CONSISTS OF THE FOLLOWING:

- PRIMARY MANHOLE:**
 - PUMP CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY VACUUM TRUCK.
 - CLEAN MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVING FLUSHING WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.
- STORAGE MANHOLE:**
 - REMOVE THE TOP 12 INCHES OF OIL, DEBRIS, AND WATER BY VACUUM.
 - PUMP THE CLEAN WATER FROM THE CENTER OF THE MANHOLE DIRECTLY TO THE SYSTEM OUTFALL UNTIL THE WATER LEVEL FALLS TO 1 FOOT ABOVE THE SEDIMENT LAYER.
 - REMOVE THE SETTLED SEDIMENT AND REMAINING WATER BY THE VACUUM TRUCK.
 - CLEAN THE MANHOLE WALLS AND FLUSH OUT THE MANHOLE USING A HIGH PRESSURE HOSE AND REMOVE WATER BY VACUUM TRUCK. MAKE CERTAIN MANHOLE IS CLEAN.

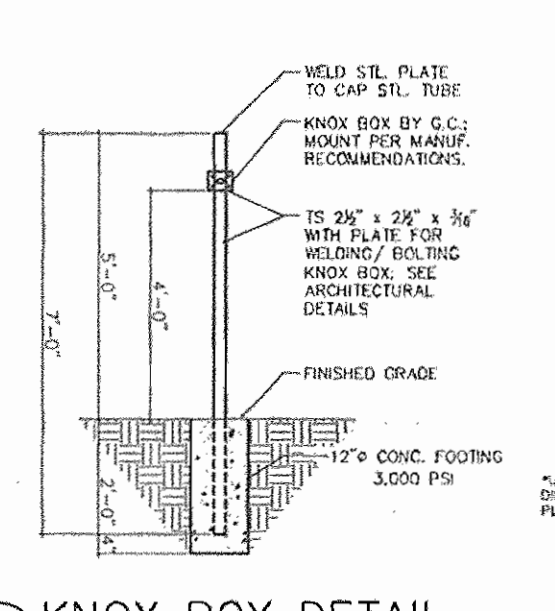
CONTAMINATED MATERIAL REMOVED FROM THE MANHOLES MUST BE DISPOSED OF RESPONSIBLY AND LEGALLY BY THE OPERATOR OF THE VACUUM.

NOTE
 CONTRACTOR TO SEE SHEET 7 FOR ADDITIONAL EROSION CONTROL DETAILS, INFORMATION AND REQUIREMENTS.

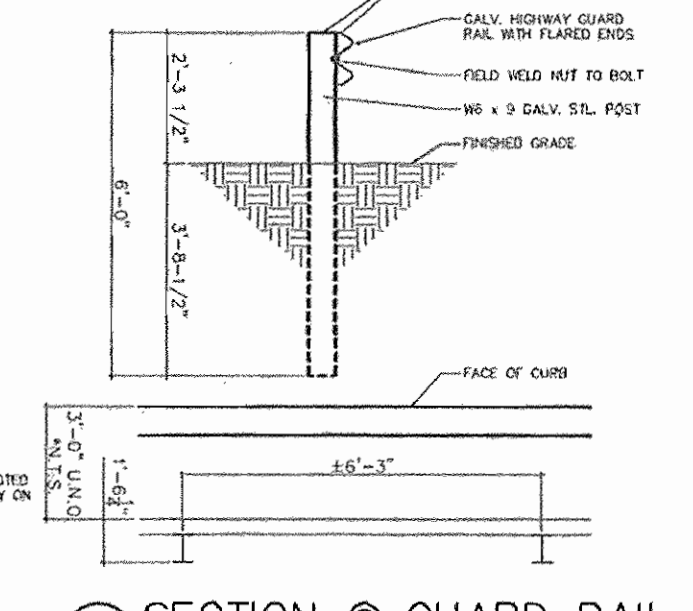
NOTE
 SEE SHEET 5 OF 11 FOR ADDITIONAL PLAN REQUIREMENTS



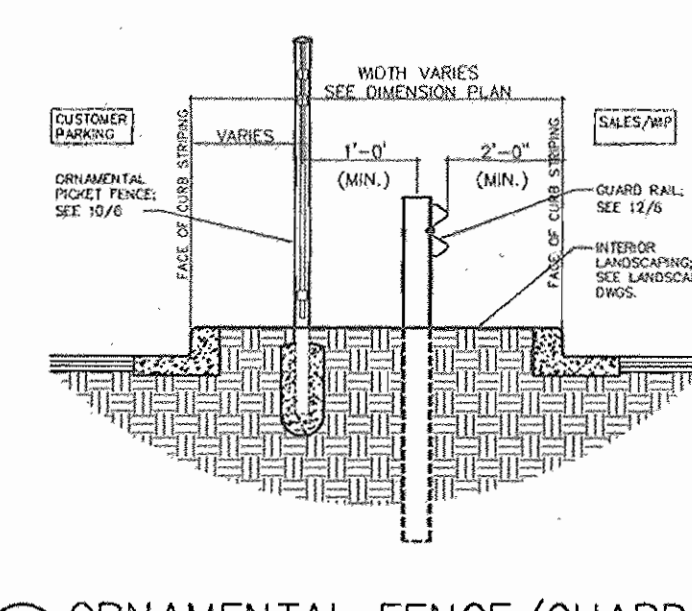
10 ORNAMENTAL PICKET FENCE
 SCALE: N.T.S.



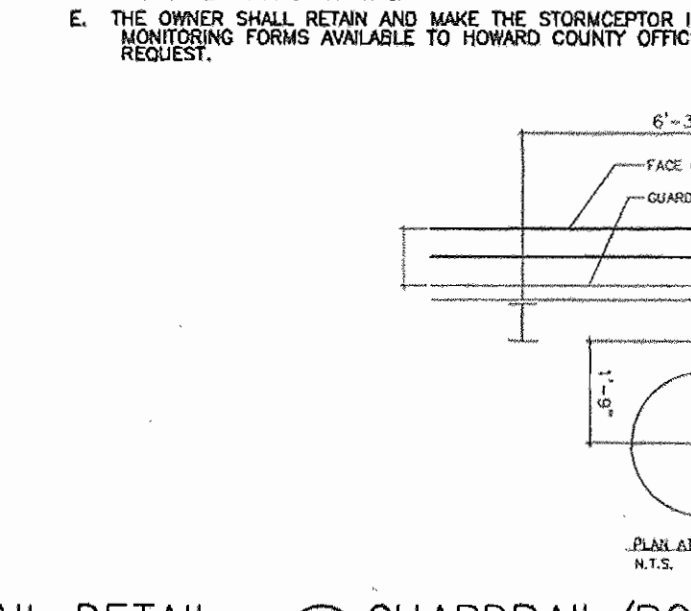
11 KNOX BOX DETAIL
 SCALE: N.T.S.



12 SECTION @ GUARD RAIL
 SCALE: N.T.S.



13 ORNAMENTAL FENCE/GUARD RAIL DETAIL
 SCALE: N.T.S.



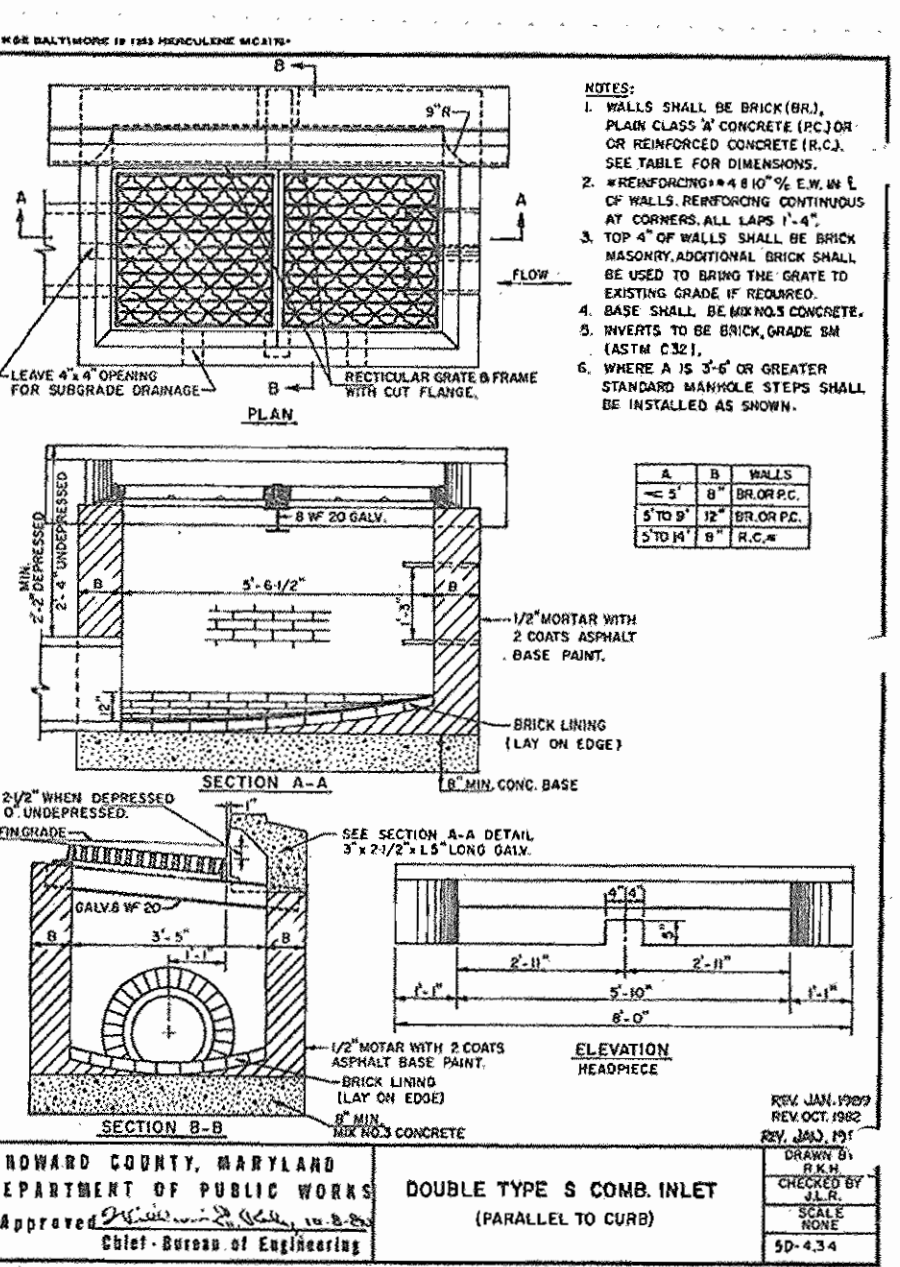
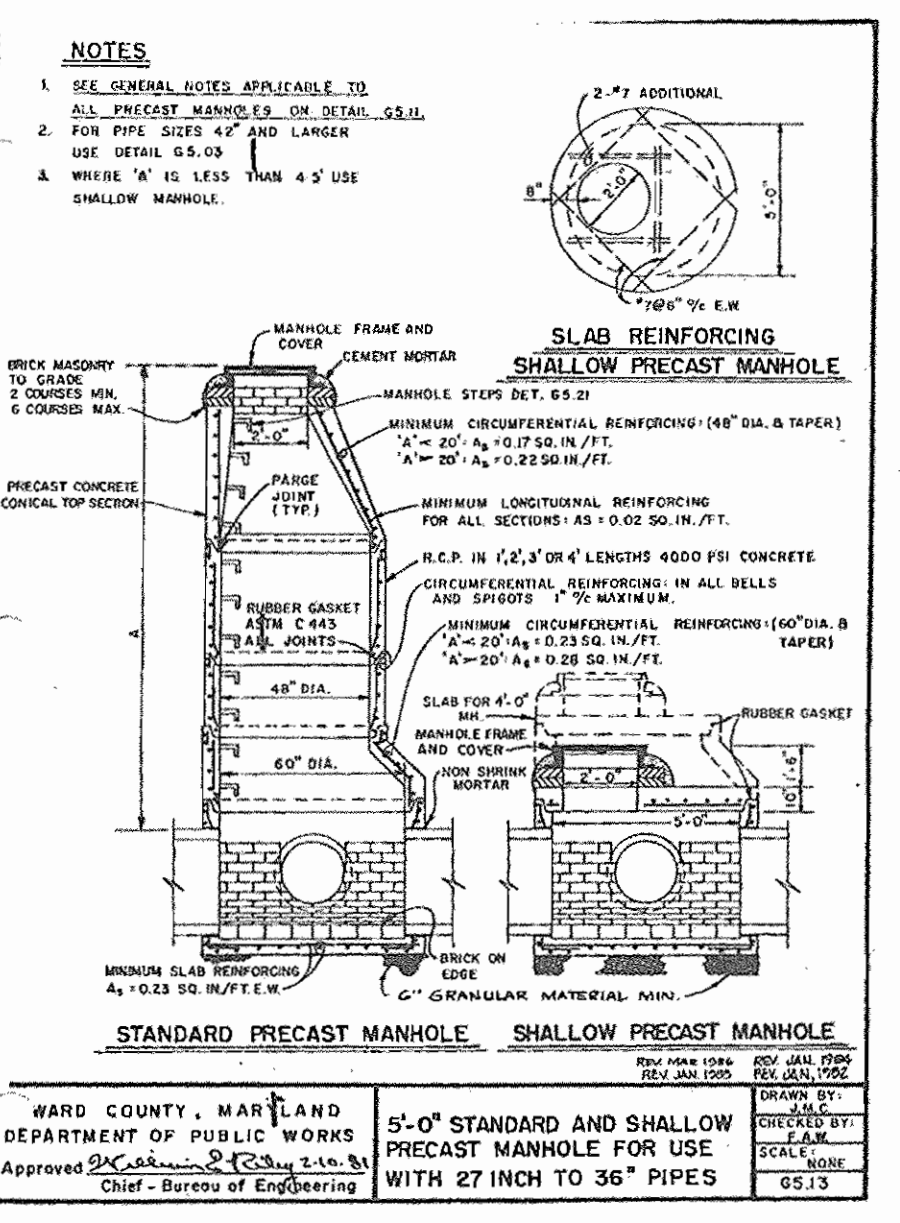
14 GUARDRAIL/POLE BASE PLAN DETAIL
 SCALE: N.T.S.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 CHIEF, DIVISION OF LAND DEVELOPMENT
 DIRECTOR

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.
 BY THE DEVELOPER:
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

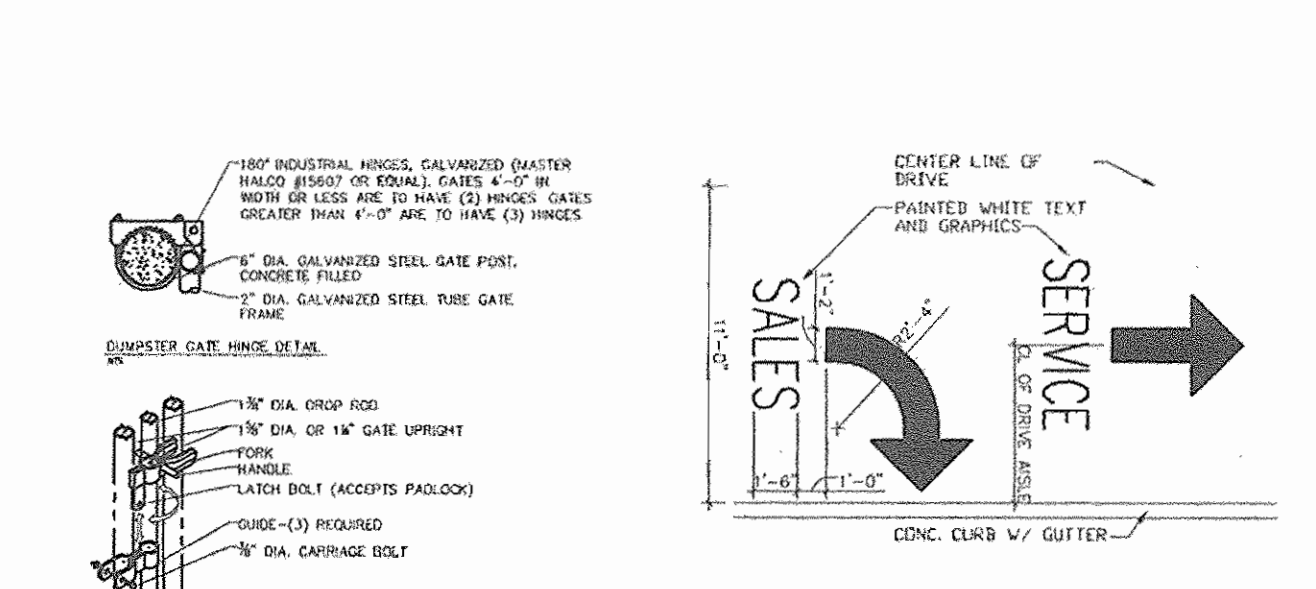
BY THE ENGINEER:
 I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL REPRESENT A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY SOIL CONSERVATION DISTRICT.

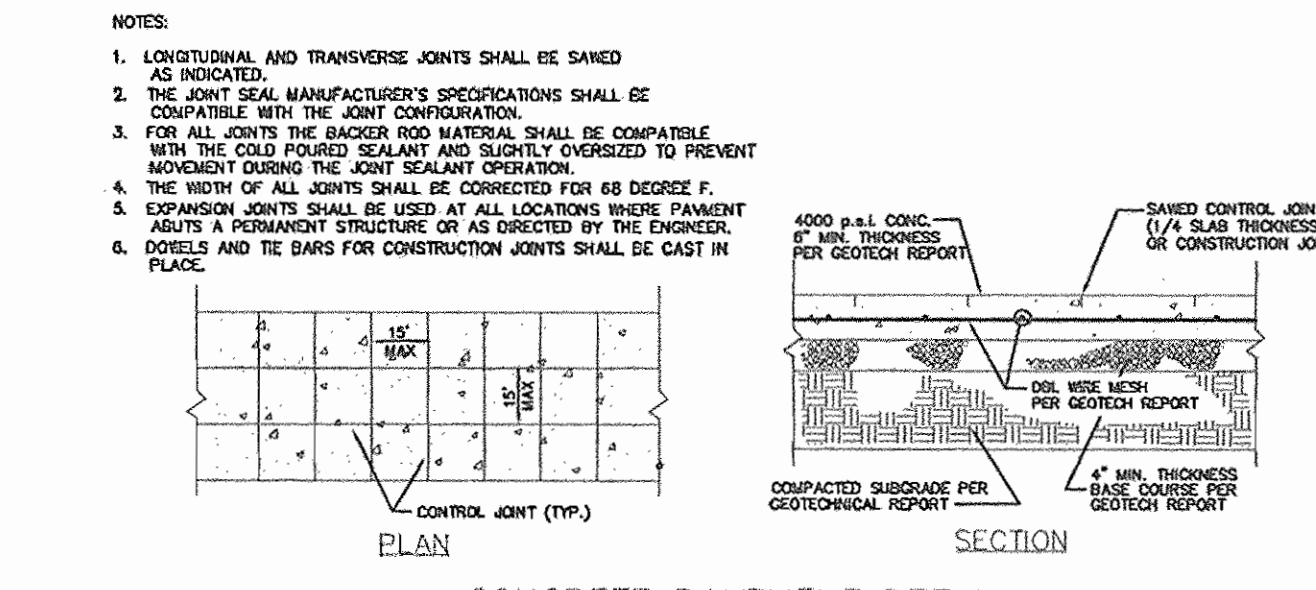


OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTER WATER QUALITY DEVICE

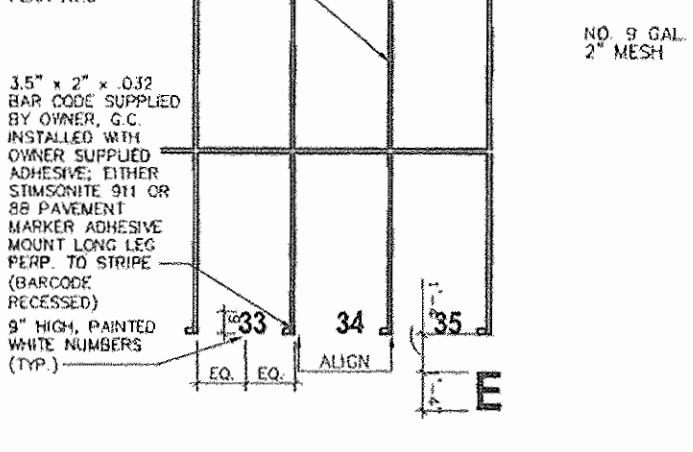
- THE STORM WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTER UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTER INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PEXIGLAS TUBE (\"SLUDGE JUDGE\") TO EXTRACT A WATER COLUMN SAMPLE WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTER TECHNICAL MANUAL. THE UNIT MUST BE CLEANED.
- THE STORMCEPTER WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
- THE MAINTENANCE OF THE STORMCEPTER UNIT SHALL BE DONE USING VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING PETROLEUMS AND OTHER MATERIALS IN THE DEBRIS. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTER UNIT SHALL BE REPAIRED AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTER INSPECTION/MONITORING FORMS AVAILABLE TO HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.



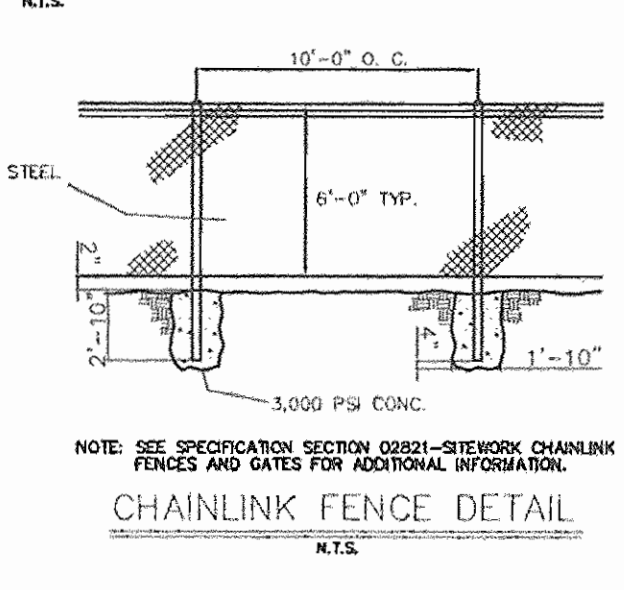
15 HINGE & LATCH DETAILS
 SCALE: N.T.S.



16 CONCRETE PAVEMENT DETAIL
 SCALE: N.T.S.



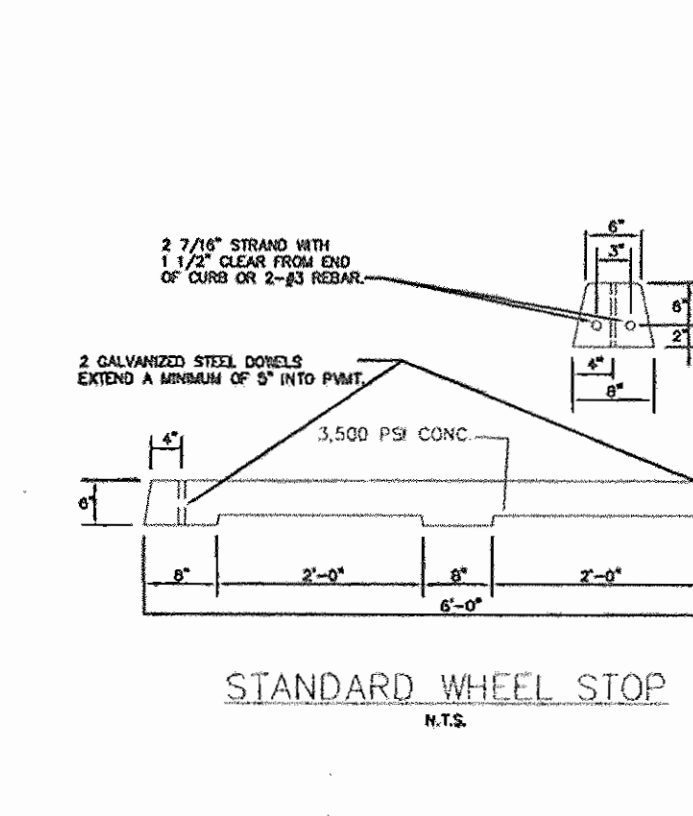
19 TYP. SALES LOT SPACE
 SCALE: N.T.S.



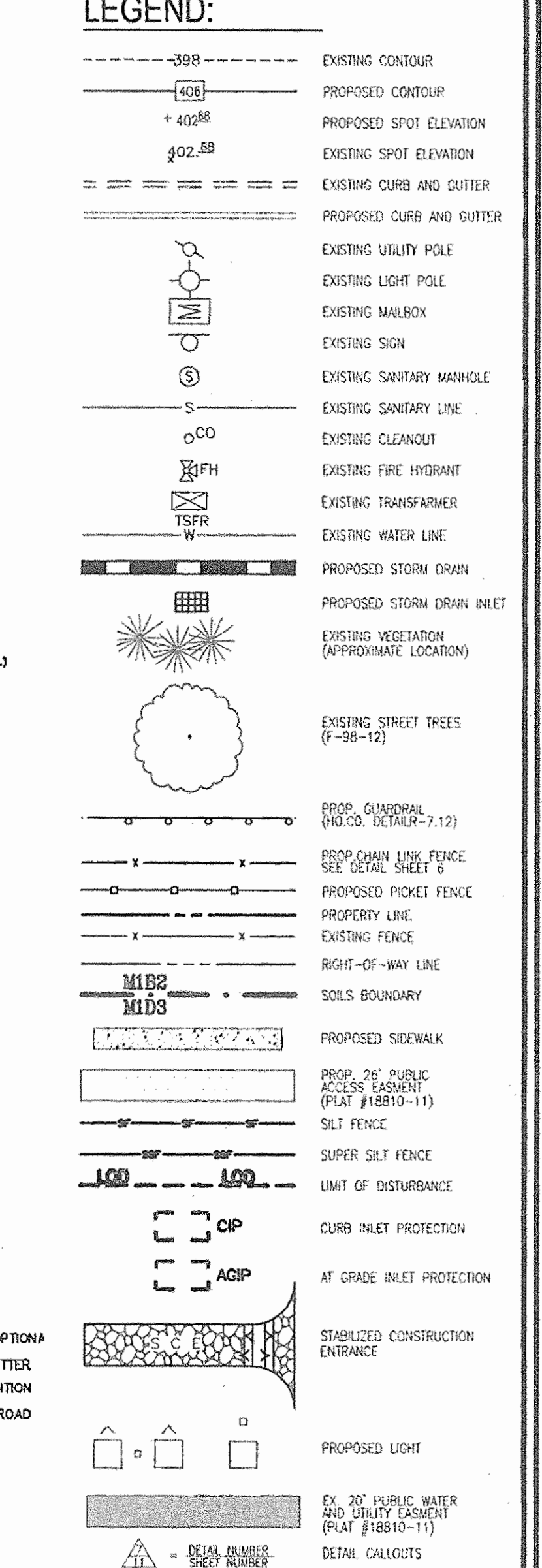
20 TRANSITION CURB DETAIL
 SCALE: N.T.S.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

- THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
- THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
- WHEN SEDIMENT ACCUMULATION OF MORE THAN 2\" IS OBSERVED OR ANY DEBRIS THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.
- THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
- THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS. THE OWNER SHALL FOLLOW PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIAL AND LIQUID.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. IF OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.



21 STANDARD WHEEL STOP
 SCALE: N.T.S.



OWNER
 LEONORA K. HOENES
 15115 CARRS MILL ROAD
 WOODBINE, MD 21797-8013

DEVELOPER
 CARMAX AUTO SUPERSTORES, INC.
 12800 TUCKAHOE CREEK PARKWAY
 RICHMOND, VA 23238
 C/O JOE JACOMANN
 (804) 747-0422

NO.	REVISION	DATE
1	RELOCATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND 9-30-07	
	TANK, PARKING LOT LIGHTS AND MERRY WALL AT CAR WASH	

**SITE DEVELOPMENT PLAN
 SITE GRADING AND
 SEDIMENT CONTROL PLAN
 AND SITE DETAILS**
 CARMAX #7663
 AUTO DEALERSHIP
 HOENES PROPERTY
 PARCEL "H"

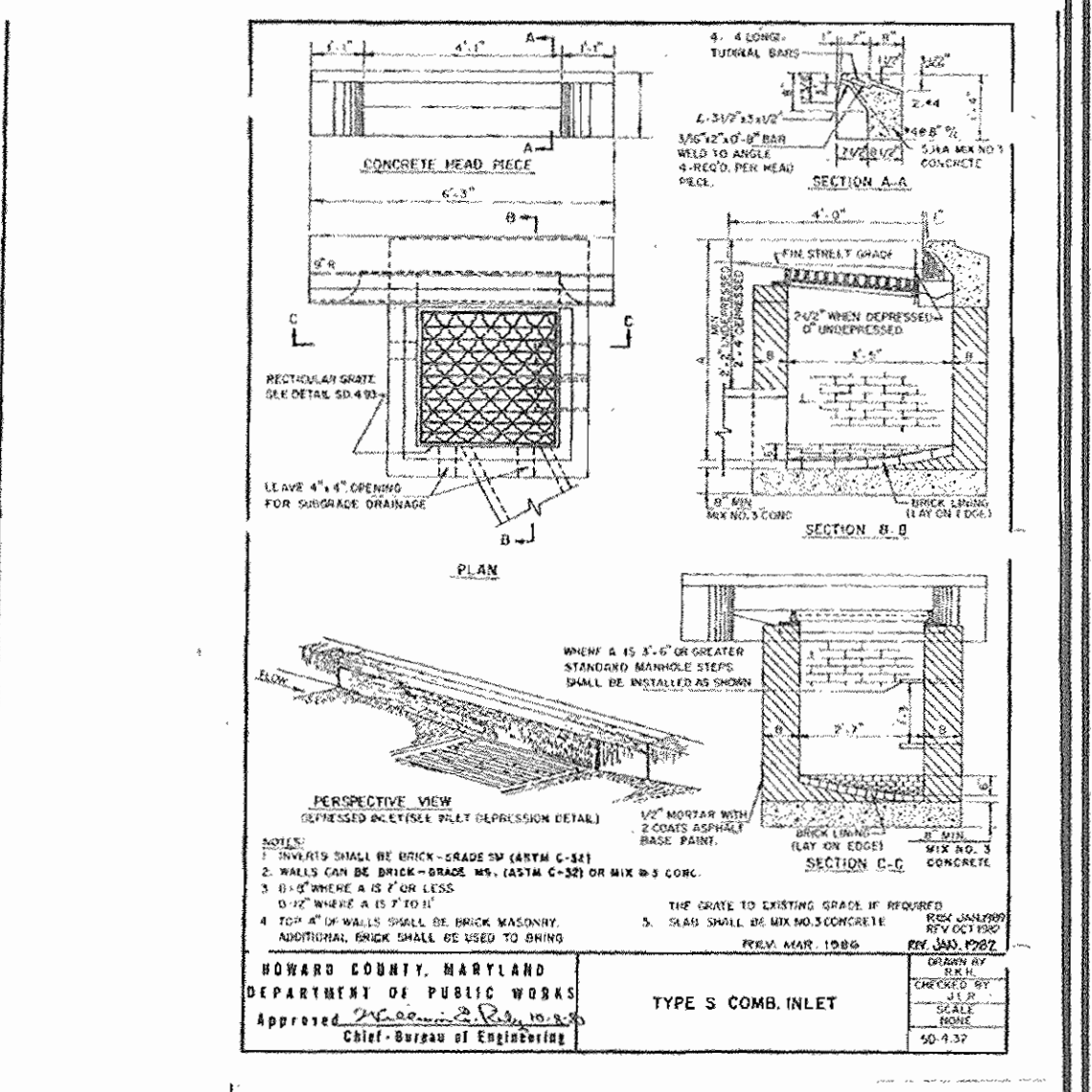
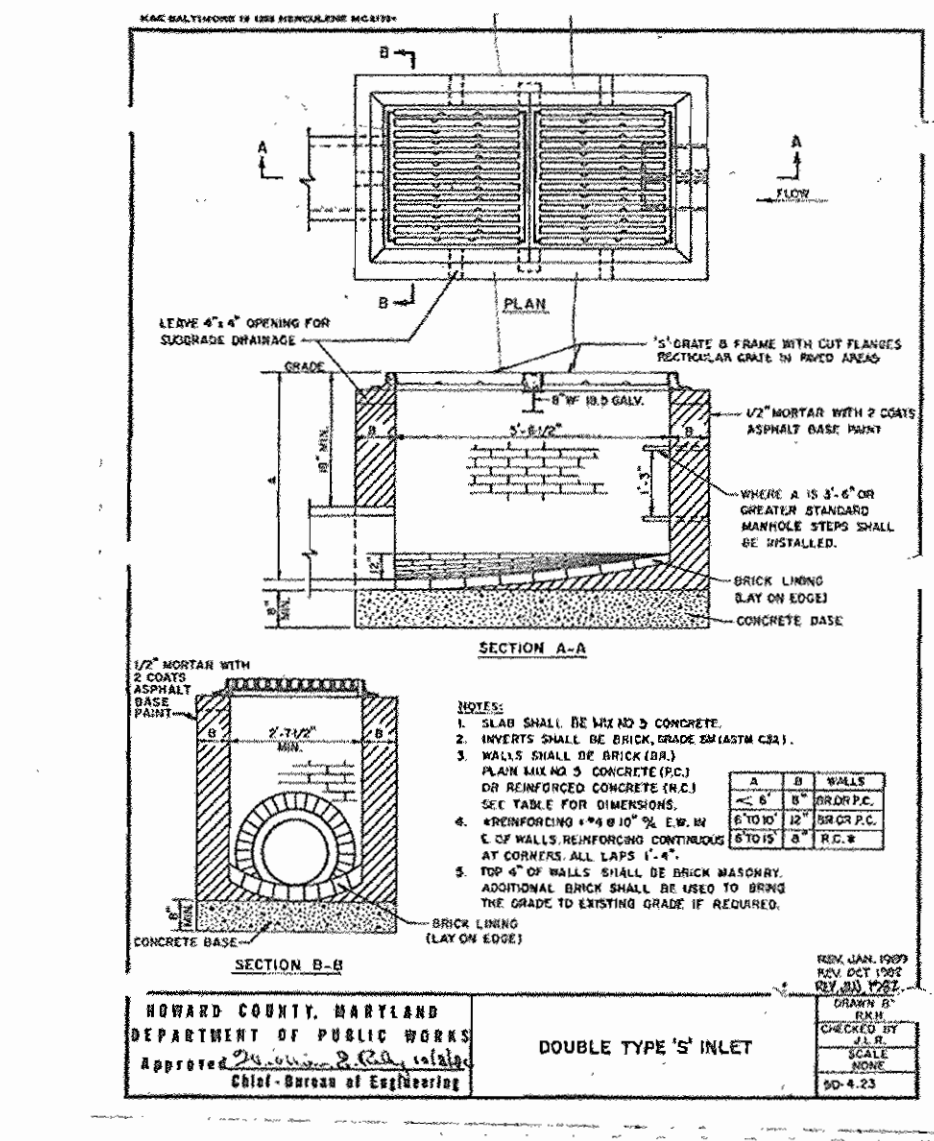
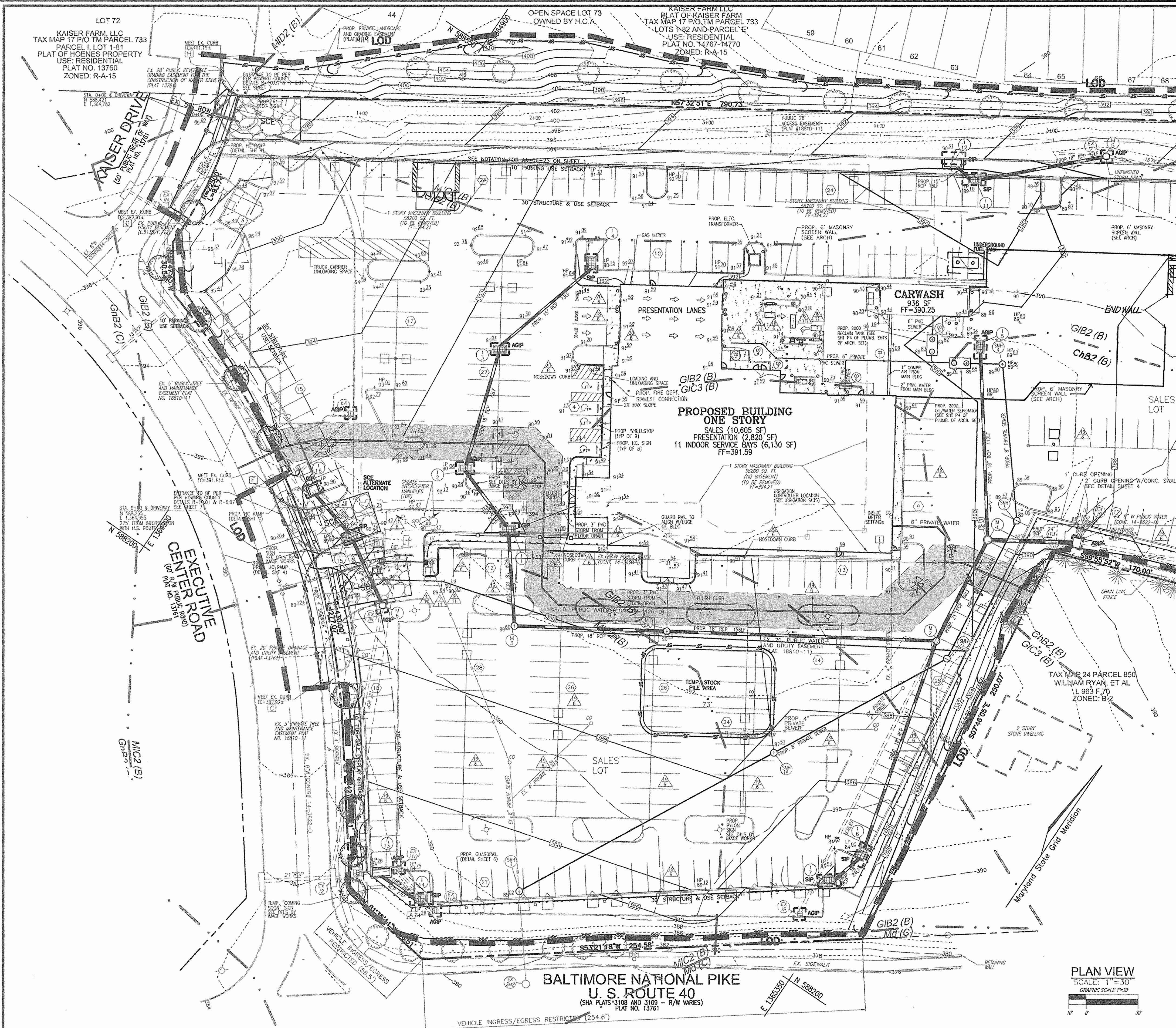
TAX MAP 24 BLOCK 6
 2ND ELECTION DISTRICT

P/O TM PARCEL 848
 HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
 ENGINEERS • SURVEYORS • PLANNERS**
 8407 MAIN STREET
 ELICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

CARMAX PLAN INFO:
 PART OF SP-6SD-1 PACKAGE
C 6

HO. CO. DPZ SHEET:
6 SHEET OF **11**



- LEGEND:**
- 398--- EXISTING CONTOUR
 - 402.58--- PROPOSED CONTOUR
 - 402.58--- EXISTING SPOT ELEVATION
 - 402.58--- PROPOSED SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - EXISTING UTILITY POLE
 - EXISTING LIGHT POLE
 - EXISTING MALEBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING SANITARY LINE
 - EXISTING CLEANOUT
 - EXISTING FIRE HYDRANT
 - EXISTING TRANSFORMER
 - EXISTING WATER LINE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN INLET
 - EXISTING VEGETATION (APPROXIMATE LOCATION)
 - EXISTING STREET TREES (7'-98'-12')
 - PROP. QUADRANT (MO.C.D. DETAIL P-7,12)
 - PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 5)
 - PROPOSED PICKET FENCE
 - PROPERTY LINE
 - EXISTING FENCE
 - RIGHT-OF-WAY LINE
 - SOILS BOUNDARY
 - PROPOSED SIDEWALK
 - PROP. 26' PUBLIC ACCESS EASEMENT (PLAT #18810-11)
 - SALT FENCE
 - SUPER SILT FENCE
 - LIMIT OF DISTURBANCE
 - CURB INLET PROTECTION
 - AT GRADE INLET PROTECTION
 - STABILIZED CONSTRUCTION ENTRANCE
 - PROPOSED LIGHT
 - EX. 20' PUBLIC WATER AND UTILITY EASEMENT (PLAT #18810-11)
 - DETAIL CALLOUTS
 - FLUSH CURB
 - TREE PROTECTION FENCE (SEE DETAIL ON SHEET 7 OF 11)

- CONTRACTOR'S RESPONSIBILITIES**
1. PREPARE AND SIGN AN NOI FORM AND SUBMIT TO THE REGULATORY AGENCY ALONG WITH ANY REQUIRED FEES AND ATTACHMENTS.
 2. IMPLEMENT THE STABILIZATION, EROSION CONTROL, AND OTHER REQUIREMENTS OF THE SWPPP / EROSION SEDIMENTATION AND POLLUTION CONTROL ACT.
 3. PROVIDE QUALIFIED INSPECTORS, AND DOCUMENTATION OF QUALIFICATIONS, FOR THE CONTROLS IMPLEMENTED AT THE JOB SITE.
 4. CONDUCT ALL NECESSARY INSPECTIONS AT THE REQUIRED INTERVALS AND PREPARE AND RETAIN WRITTEN DOCUMENTATION OF THOSE INSPECTIONS AND ALL OTHER WRITTEN DOCUMENTATION REQUIRED BY THE GENERAL PERMIT.
 5. KEEP A COPY OF THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN, ALL NOI'S, PERMIT CERTIFICATES, PERMIT LANGUAGE, SPILL PREVENTION, COUNTERMEASURES, AND CLEANUP ("SPCC") PLAN, INSPECTION RECORDS, AND OTHER REQUIRED RECORDS ON THE JOB SITE AND POST IN A PROMINENT PLACE NEAR THE JOB SITE ENTRANCE. THOSE DOCUMENTS REQUIRED TO BE POSTED UNDER THE TERMS OF THE GENERAL PERMIT.
 6. CONTRACTOR SHALL PROVIDE MONTHLY TRAINING SESSIONS FOR ALL ENTITIES AND SUBCONTRACTORS INVOLVED WITH INSTALLING, APPLYING, PERFORMING, MAINTAINING AND INSPECTION OF THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN.
 7. UPDATE AND MAKE CHANGES TO THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN AND SUPPORTING DOCUMENTS (SUCH AS THE BMP'S AND/OR SPCC) AS NEEDED AND WITH THE APPROVAL OF THE OPERATOR AND THE OPERATOR'S ENGINEER.
 8. PREPARE AND SIGN A NOT FORM WHEN SITE WORK CONSTRUCTION IS COMPLETED AND STABILIZATION IS ACHIEVED. TRANSFER THE SWPPP / EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN DOCUMENTS, ALONG WITH ALL NOI'S, PERMIT CERTIFICATES, NOTIS, AND WRITTEN RECORDS REQUIRED BY THE GENERAL PERMIT TO THE OPERATOR FOR ARCHIVING IN BOTH PAPER AND OPTICALLY-SCANNED FORMAT ON A CD.
- NOTES**
1. FOR CONSTRUCTION DETAILS AND PROFILES OF PROPOSED SANITARY SEWER, STORM DRAIN, AND WATER, SEE SHEETS 7, 8, AND 9, OF 11.
 2. CONTRACTOR TO REFER TO SHEET 7 OF 11 FOR SEDIMENT AND EROSION CONTROL NOTES AND DETAILS.
 3. TEMPORARY SEEDING & STABILIZATION TO BE PROVIDED IN ACCORDANCE WITH "SEDIMENT CONTROL NOTE" #3 AND "TEMPORARY SEEDING NOTES" ON SHEET 7 OF 11.

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 LUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JAGDMANN
(804) 747-0422

NO.	REVISION	DATE
1	RELOCATE DIMASTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANK, PARKING LOT LIGHTS AND MODIFY WALL AT THE CARWASH	9/30/07

SITE DEVELOPMENT PLAN
SITE GRADING AND SEDIMENT CONTROL PLAN
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

P/O TM PARCEL 848
HOWARD COUNTY, MARYLAND

ROBERT H. VOGL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410.261.2666
FAX: 410.261.9961

CARMAX PLAN INFO:
PART OF SP-9SDP-1 PACKAGE
C 5

DESIGN BY: WGC
DRAWN BY: DZ
CHECKED BY: RHV
DATE: MAR. 16, 2007
SCALE: AS SHOWN
W.O. NO.: 05-79

HO. CO. DPZ SHEET:
5 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/26/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/15/07

DIRECTOR
DATE: 5/22/07

REVIEWED FOR HOWARD S.C.D. & MEETS TECHNICAL REQUIREMENTS.

BY THE DEVELOPER:
Jim Murray
USDA-NATURAL RESOURCES CONSERVATION SERVICE
DATE: 4/26/07

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Blanton
HOWARD S.C.D.
DATE: 4/26/07

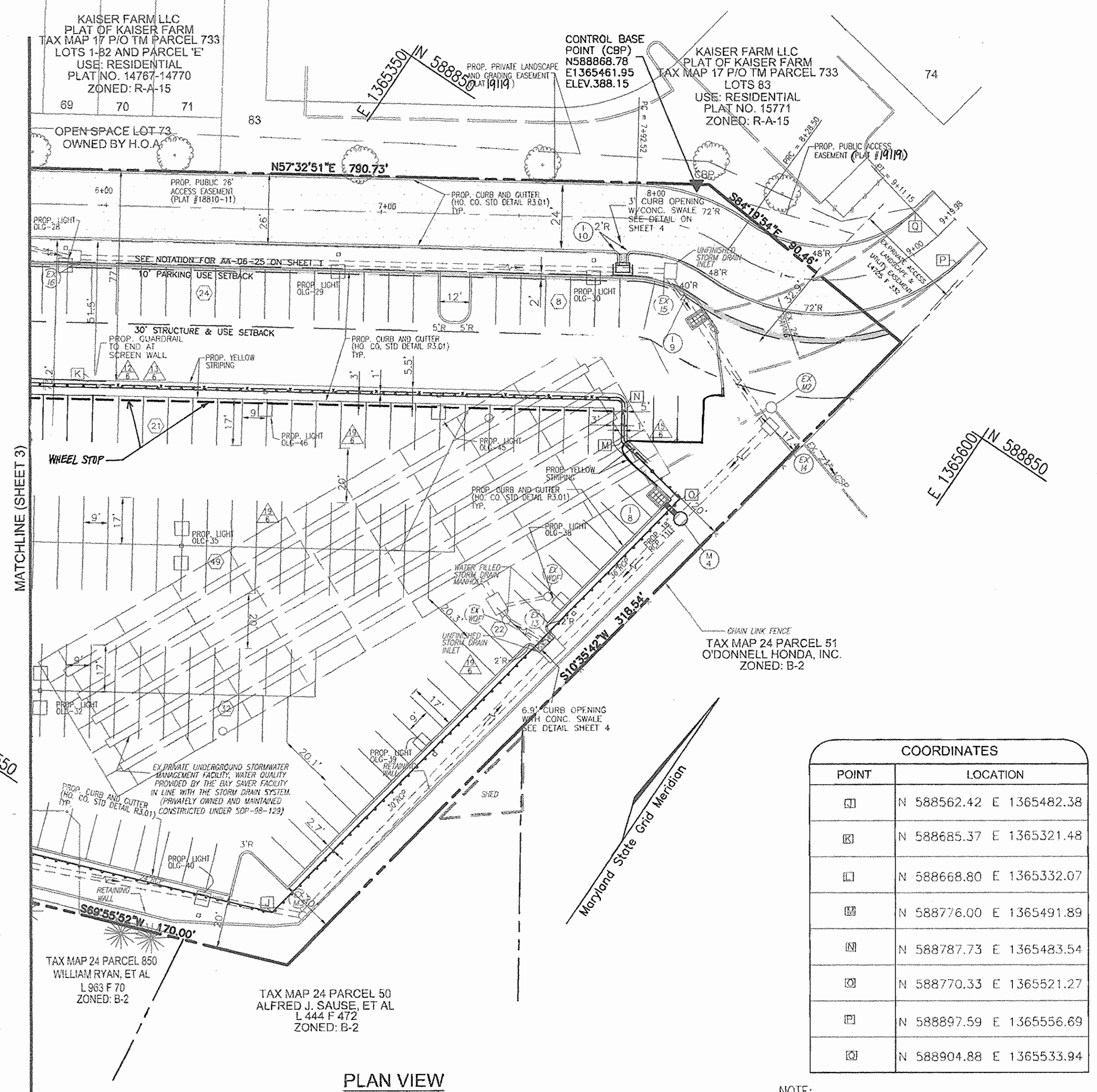
BY THE ENGINEER:
I, W/C CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

Tommy V. S. Conner
K. Douglas Moore
Vice President
DATE: 4/26/07

BY THE ENGINEER:
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS, AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

W. H. Vogl
SIGNATURE OF ENGINEER
DATE: 3/26/07

GRADING & EROSION CONTROL NARRATIVE
INITIAL SITE DISTURBANCES SHALL BE LIMITED TO THE PLACEMENT OF TREE SAVE AND SILT FENCING AND THE EXCAVATION AND CLEARING NECESSARY TO CONSTRUCT THE SEDIMENT CONTROL MEASURES. A GEOTECHNICAL ENGINEER SHALL APPROVE ALL SOILS USED. AS SOON AS CONSTRUCTION ACTIVITIES PERMIT, ALL CUT AND FILL SOILS ARE TO BE STABILIZED AND LANDSCAPING MATERIALS (TREES AND SHRUBS) SHALL BE PLACED.

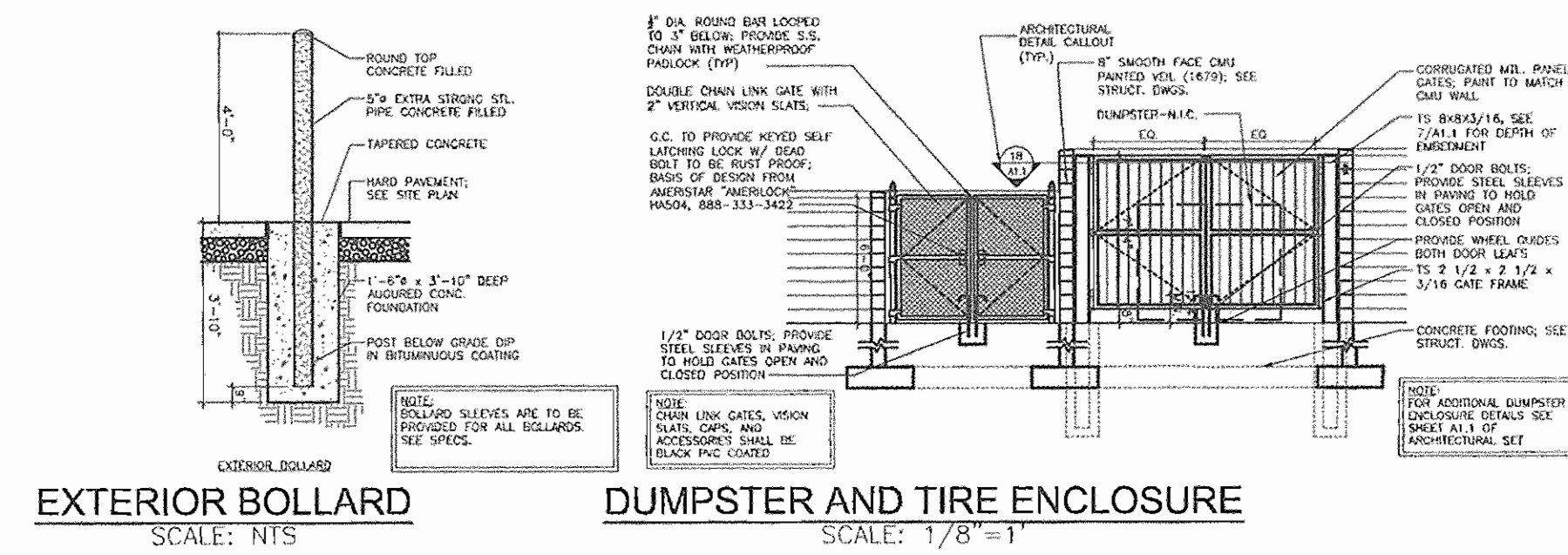


PLAN VIEW
SCALE: 1"=30'
GRAPHIC SCALE 1"=30'

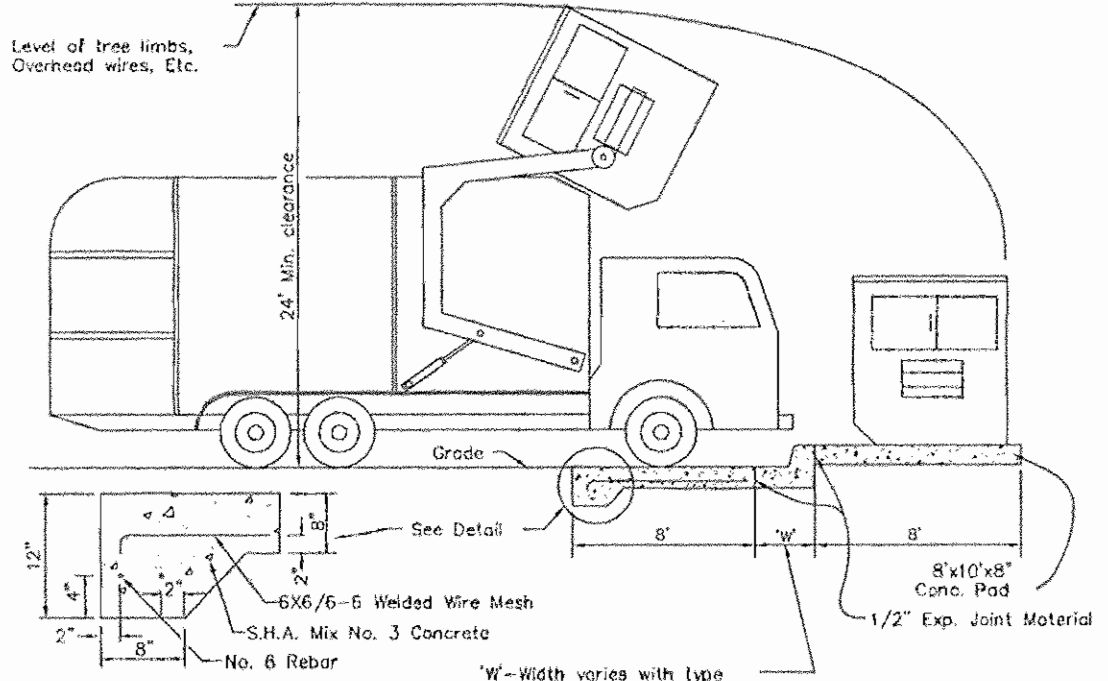
COORDINATES	
POINT	LOCATION
1	N 588562.42 E 1365482.38
2	N 588685.37 E 1365321.48
3	N 588668.80 E 1365332.07
4	N 588776.00 E 1365491.89
5	N 588787.73 E 1365483.54
6	N 588770.33 E 1365521.27
7	N 588897.59 E 1365556.69
8	N 588904.88 E 1365533.94

NOTE: THESE COORDINATES ARE FOR A FEW GUARDRAIL CORNERS, TWO WALL CORNERS, AND WHERE THE PROPOSED CURB TIES INTO THE EXISTING CURB.

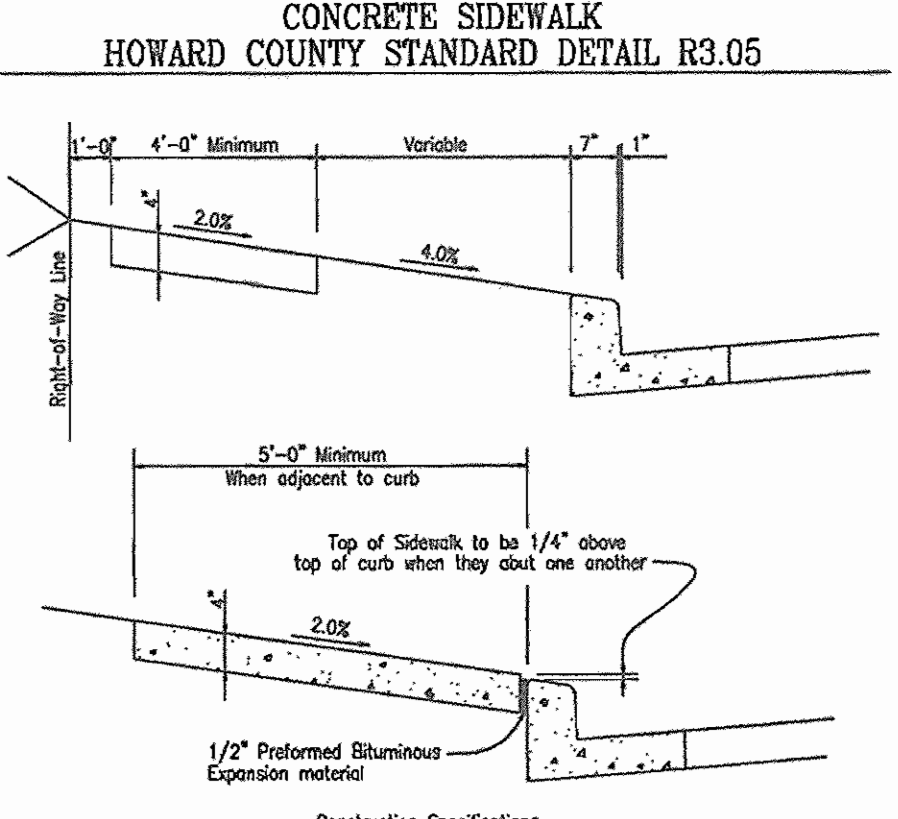
AREA AND 'C' FACTOR TABULATION					
INLET	ZONING	SUBAREA	AREA(ac.)	'C' FACTOR	% IMPERVIOUS
I-1	B-1	1	0.75	0.71	79
I-2	B-1	2	1.14	0.82	94
I-3	B-1	3	0.38	0.79	90
I-4	B-1	4	0.49	0.69	75
I-5	B-1	5	0.17	0.86	100
I-6	B-1	6	0.07	0.77	87
I-7	B-1	7	0.80	0.74	83
I-8	B-1	8	1.91	0.85	98
I-9	B-1	9	0.75	0.82	94
I-10	B-1	10	1.14	0.61	64
I-11	B-1	11	0.38	0.78	88
I-12	B-1	12	0.49	0.50	48
I-13	B-1	13	0.17	0.80	92
I-14	B-1	14	0.07	0.85	98
I-15	B-1	15	0.80	0.82	95
I-16	B-1	16	1.91	0.72	80
RD-1	B-1	RD-1	0.43	0.86	100
EX 13	B-1	EX 13	0.62	0.78	88
EX 14	B-1	EX 14	0.04	0.16	0
EX 18	B-1	EX 18	0.15	0.65	70



EXTERIOR BOLLARD SCALE: NTS
DUMPSTER AND TIRE ENCLOSURE SCALE: 1/8"=1'



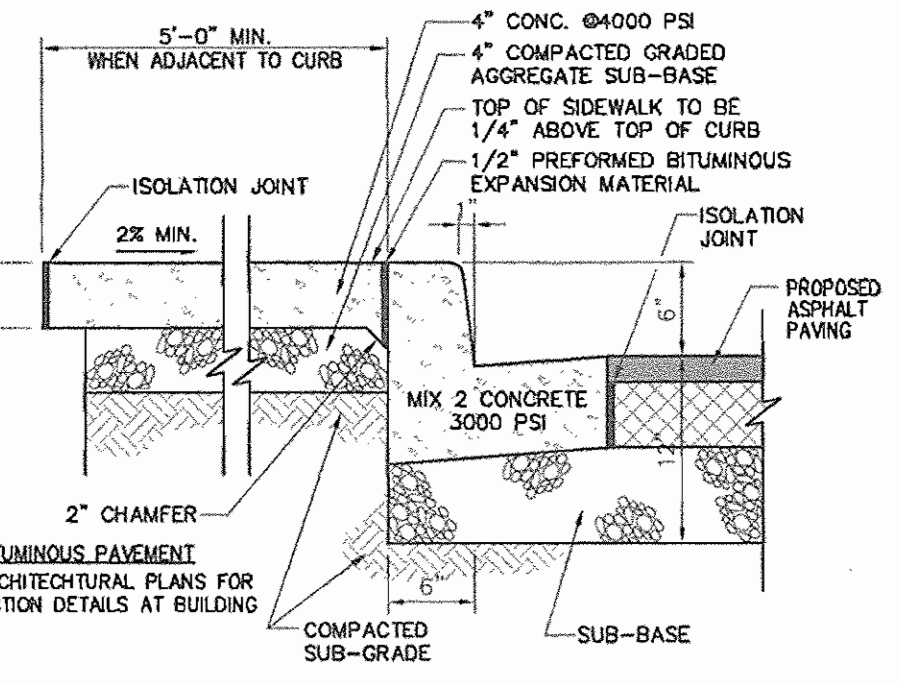
SOLID WASTE SERVICE PAD
HOWARD COUNTY STD. R 11.01
NOT TO SCALE



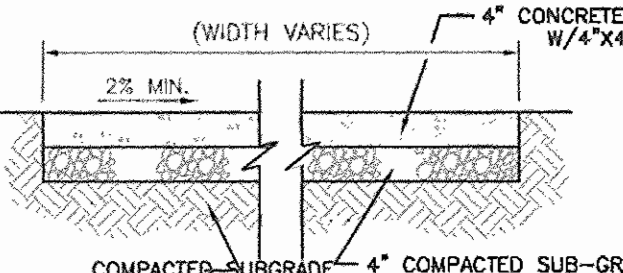
CONCRETE SIDEWALK
HOWARD COUNTY STANDARD DETAIL R3.05

LEGEND:	
---398---	EXISTING CONTOUR
---406---	PROPOSED CONTOUR
---402.88---	EXISTING SPOT ELEVATION
---402.88---	EXISTING SPOT ELEVATION
---	EXISTING CURB AND GUTTER
---	PROPOSED CURB AND GUTTER
---	EXISTING UTILITY POLE
---	EXISTING LIGHT POLE
---	EXISTING MAILBOX
---	EXISTING SIGN
---	EXISTING SANITARY MANHOLE
---	EXISTING SANITARY LINE
---	EXISTING CLEANOUT
---	EXISTING FIRE HYDRANT
---	EXISTING TRANSFORMER
---	EXISTING WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED STORM DRAIN INLET
---	EXISTING VEGETATION (APPROXIMATE LOCATION)
---	EXISTING STREET TREES (F-58-12)
---	PROP. GUARDRAIL (NO CO. DETAIL R-7.12)
---	PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 8)
---	PROPOSED PICKET FENCE
---	EXISTING FENCE
---	RIGHT-OF-WAY LINE
---	SOILS BOUNDARY
---	PROPOSED SIDEWALK
---	PROP. 24\"/>

- Construction Specifications
- Sidewalk to be scribed in 5'-0" maximum squares.
 - Expansion joints across the sidewalk not to be more than 15' apart.
 - 1/2" Preformed Bituminous Expansion material in expansion joints to be kept 1/4" below surface of sidewalk.
 - Concrete to be mix number 2.
 - Where sidewalk abuts curb sidewalk shall be 1/4" above curb with 1/2" Preformed Bituminous Expansion material between sidewalk and curb.
 - In longitudinal sidewalk joints of 55' or greater, a concrete header, 6" thick and 6" deep below the normal sidewalk thickness shall be constructed for the full width of the sidewalk at intervals of 48 feet. The headers shall be placed at transition point locations and shall be monolithic with the curb.
 - Sidewalk width adjacent to curb shall be 5'-0" minimum except sidewalk adjacent to curb in cut-in areas may be 4'-0" wide with a 5'x5' paved section placed 200' apart.
 - Sidewalk joints 2' or more from curb may be 4'-0" in width with a 5'x5' paved section placed 200' apart.



HO. CO. STD. R-3.05
TYPICAL SIDEWALK AT BUILDING
(N.T.S.)



HO. CO. STD. R-3.05
TYPICAL SIDEWALK DETAIL
(N.T.S.)

NOTE: SEE THE PLAN ON SHEET 9 FOR THE LOCATIONS OF THE OUTDOOR SALES DISPLAY AREAS.

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JAGDMANN
(804) 747-0422

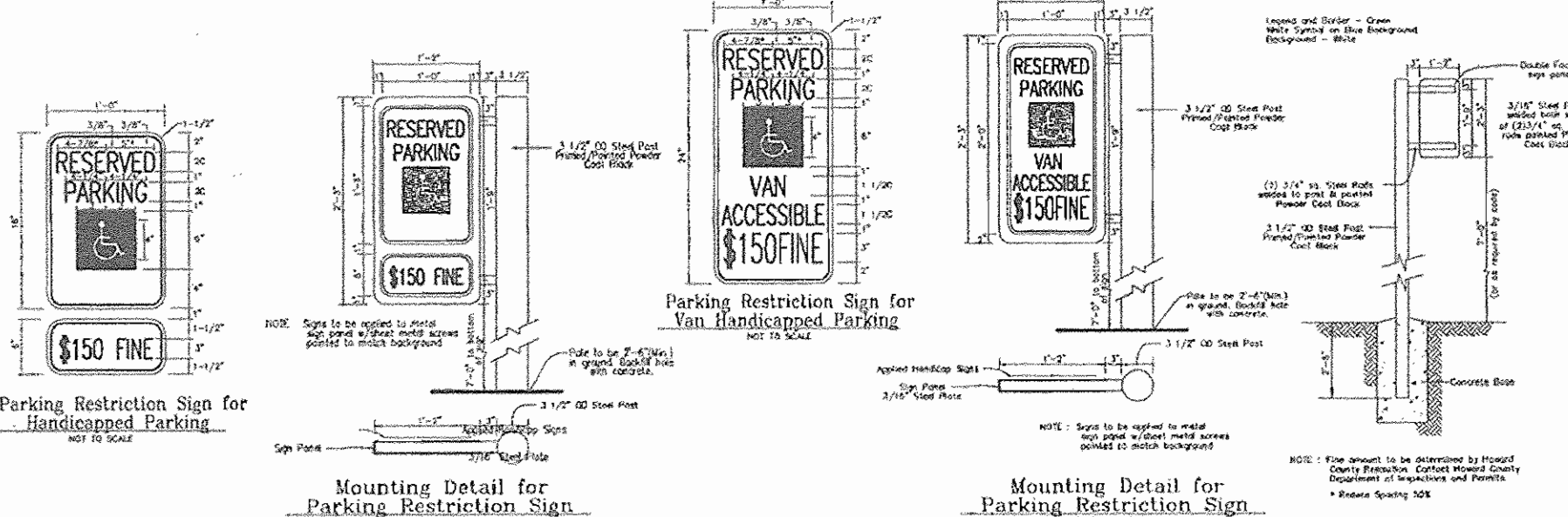
NO.	REVISION	DATE
1	RELOCATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANK, 5' 30" OT PARKING LOT LIGHTS AND MODIFY WALL AT CAR WASH.	

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN AND SITE DETAILS
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"
TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

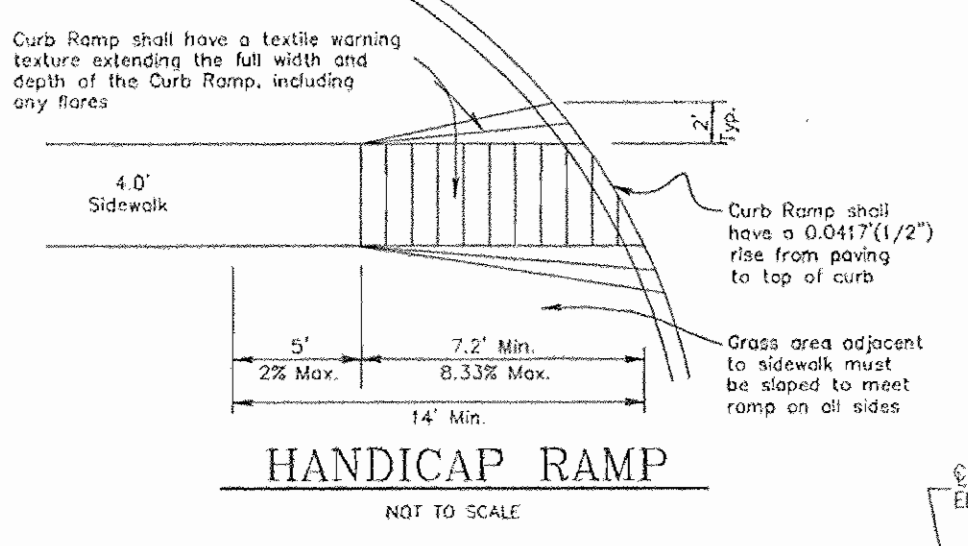
ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELICOTT CITY, MD 21043
TEL: 410-461-7666
FAX: 410-461-8966

P/O TM, PARCEL 848
HOWARD COUNTY, MARYLAND

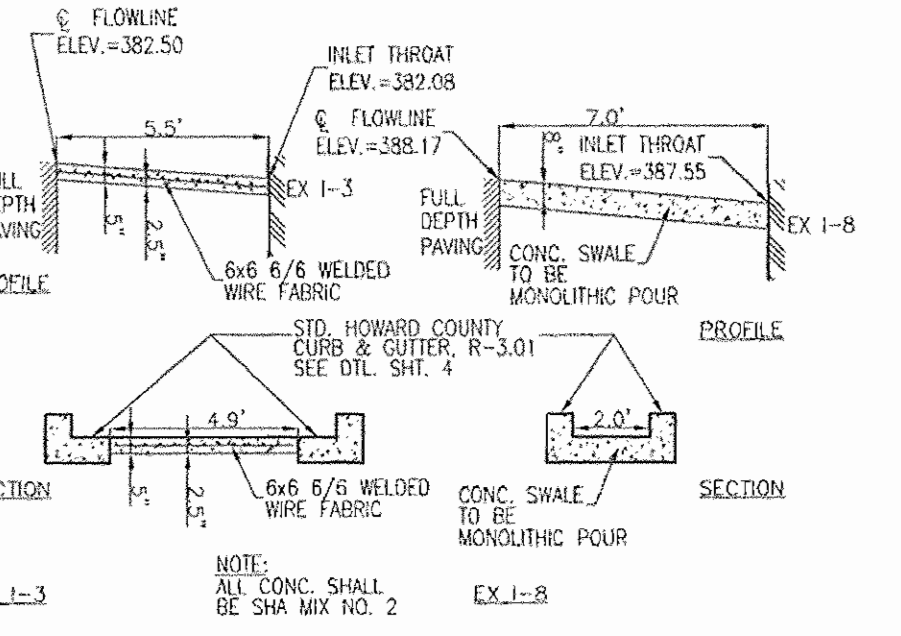
CARMAX PLAN INFO:
PART OF SP-9SDP-1 PACKAGE
C 4
HO. CO. DPZ SHEET:
4 SHEET OF **11**



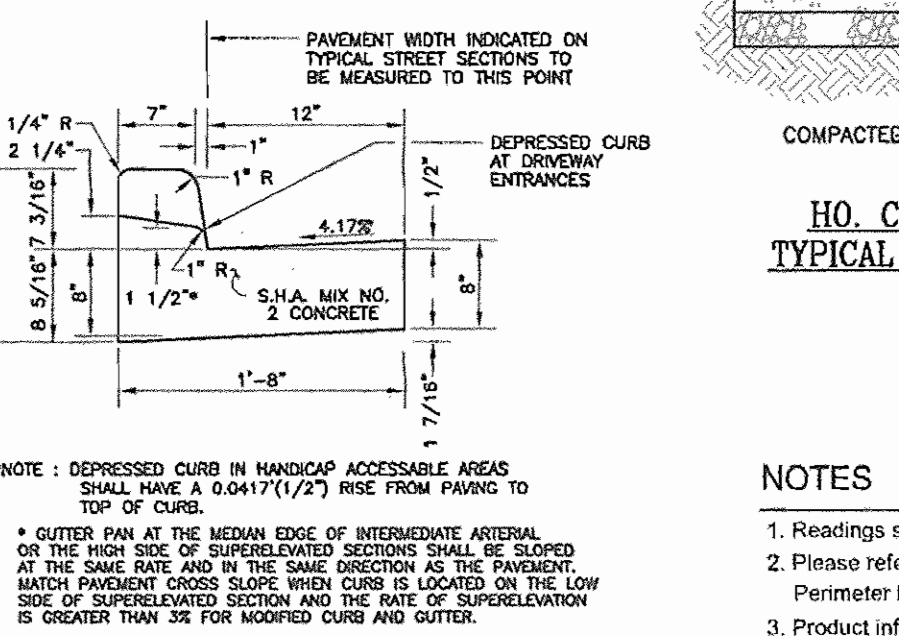
HANDICAP PARKING SIGNS
(NOT TO SCALE)



HANDICAP RAMP
NOT TO SCALE



CONCRETE SWALE DETAILS
@ EX. 1-3 & 1-8
SCALE: 1"=5'



STANDARD COMBINATION CURB AND GUTTER
HOWARD COUNTY STANDARD R-3.01
(NOT TO SCALE)

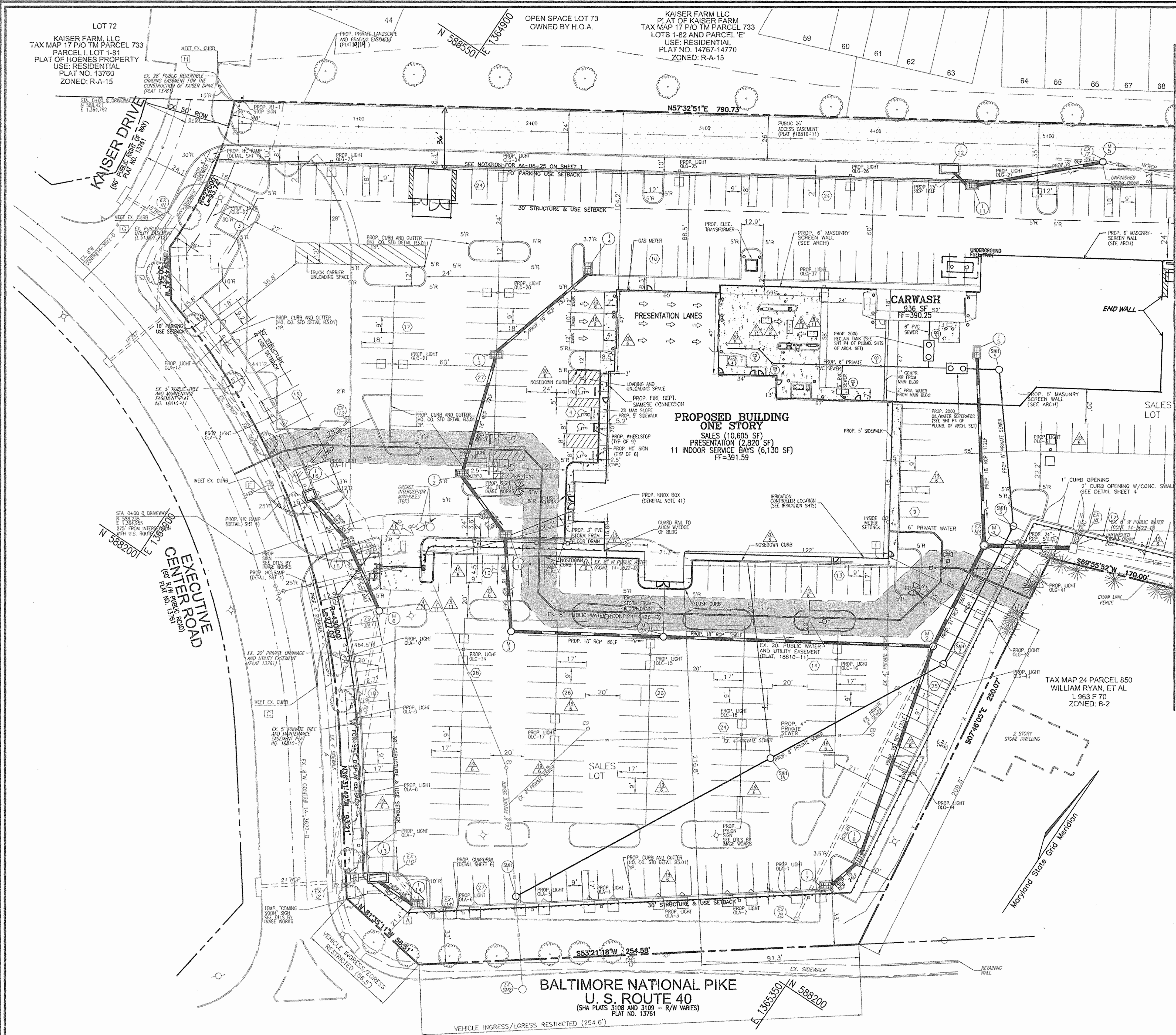
LUMINAIRE SCHEDULE							
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens LLF Watts
□	OLA	13	KVF 1000M VFAFL EHS	SQUARE AREA LIGHT, VFA DISTRIBUTION, FLAT LENS, HOUSE SIDE SHEILD.	ONE 1000-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE UP POSITION.	L110738/ies	110000 0.72 2160
□	OLC	15	KVF 1000M SYMFL	SQUARE AREA LIGHT, SYMMETRIC DISTRIBUTION, FLAT LENS.	ONE 1000-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE UP POSITION.	L111378/ies	110000 0.72 2160
□	OLG	18	KVF 1000M ASYVFL EHS	SQUARE AREA LIGHT, ASYMMETRIC DISTRIBUTION, FLAT LENS, HOUSE SIDE SHEILD.	ONE 1000-WATT CLEAR BT-37 METAL HALIDE, VERTICAL BASE-UP POSITION.	L111574/ies	110000 0.72 1080

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Cheryl... 4/26/07
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

... 5/17/07
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

... 5/21/07
DIRECTOR DATE



LIGHT POLE LOCATIONS		
POLE NO	N	E
OLA_1	N 588253	E 1365336
OLA_2	N 588229	E 1365304
OLA_3	N 588205	E 1365272
OLA_4	N 588181	E 1365240
OLA_5	N 588158	E 1365207
OLA_6	N 588134	E 1365175
OLA_7	N 588110	E 1365143
OLA_8	N 588086	E 1365111
OLA_9	N 588062	E 1365079
OLA_10	N 588038	E 1365047
OLA_11	N 588014	E 1365015
OLA_12	N 587990	E 1364983
OLA_13	N 587966	E 1364951
OLA_14	N 587942	E 1364919
OLA_15	N 587918	E 1364887
OLA_16	N 587894	E 1364855
OLA_17	N 587870	E 1364823
OLA_18	N 587846	E 1364791
OLA_19	N 587822	E 1364759
OLA_20	N 587798	E 1364727
OLA_21	N 587774	E 1364695
OLA_22	N 587750	E 1364663
OLA_23	N 587726	E 1364631
OLA_24	N 587702	E 1364599
OLA_25	N 587678	E 1364567
OLA_26	N 587654	E 1364535
OLA_27	N 587630	E 1364503
OLA_28	N 587606	E 1364471
OLA_29	N 587582	E 1364439
OLA_30	N 587558	E 1364407
OLA_31	N (AS SHOWN)	E (AS SHOWN)
OLA_32	N 588585	E 1365368
OLA_33	N 588615	E 1365244
OLA_34	N 588645	E 1365120
OLA_35	N 588675	E 1364996
OLA_36	N 588705	E 1364872
OLA_37	N 588735	E 1364748
OLA_38	N 588765	E 1364624
OLA_39	N 588795	E 1364500
OLA_40	N 588825	E 1364376
OLA_41	N 588855	E 1364252
OLA_42	N 588885	E 1364128
OLA_43	N 588915	E 1364004
OLA_44	N 588945	E 1363880
OLA_45	N 588975	E 1363756
OLA_46	N 589005	E 1363632
OLA_47	N (AS SHOWN)	E (AS SHOWN)

LEGEND:

- 398--- EXISTING CONTOUR
- 400--- PROPOSED CONTOUR
- + 402.68 PROPOSED SPOT ELEVATION
- 302.68 EXISTING SPOT ELEVATION
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY LINE
- EXISTING CLEANOUT
- EXISTING FIRE HYDRANT
- EXISTING TRANSFORMER
- EXISTING WATER LINE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN WILET
- EXISTING VEGETATION (APPROXIMATE LOCATION)
- EXISTING STREET TREES (F-98-12)
- PROP. CURBING (H.O.G. DETAIL-7.12)
- PROP. CHAIN LINK FENCE (SEE DETAIL SHEET 6)
- PROPOSED ORNAMENTAL FENCE (SEE DETAIL SHEET 6)
- PROPERTY LINE
- EXISTING FENCE
- RIGHT-OF-WAY LINE
- EXISTING FENCE
- SOILS BOUNDARY
- PROPOSED SIDEWALK
- 2" PUBLIC ACCESS EASEMENT (PLAT #18810-11)
- PROPOSED LIGHT
- EX. 2" PUBLIC WATER AND UTILITY EASEMENT (PLAT #18810-11)
- DETAIL CALLOUTS
- FLUSH CURB
- COORDINATE POINT

COORDINATES	
POINT	LOCATION
IA	N 588112.61 E 1365145.17
IB	N 588115.39 E 1365113.09
IC	N 588192.10 E 1365028.17
ID	N 588242.36 E 1365008.95
IE	N 588273.98 E 1365011.07
IF	N 588269.06 E 1364940.69
IG	N 588371.94 E 1364802.44
IH	N 588453.53 E 1364782.04
II	N 588438.58 E 1365260.68

NOTE: THESE COORDINATES ARE FOR A FEW QUADRANT CORNERS, ONE BUILDING CORNER, AND WHERE THE PROPOSED CURB TIES INTO THE EXISTING CURB.

NOTE: SEE THE PLAN ON SHEET 9 FOR THE LOCATIONS OF THE OUTDOOR SALES DISPLAY AREAS.

OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JACOMANN
(804) 747-0422

NO.	REVISION	DATE
1	RELOCATE DIMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANK, PARKING LOT LIGHTS AND MUDRY WALL AT THE CARWASH	9.30.07

SITE DEVELOPMENT PLAN
SITE LAYOUT PLAN
CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"
TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLIOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

CARMAX PLAN INFO:
DESIGN BY: W.G.Z.
DRAWN BY: D.Z.
CHECKED BY: R.H.V.
DATE: MAR. 16, 2007
SCALE: AS SHOWN
W.O. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE C 3
HO. CO. DP2 SHEET: 3 OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 4/20/07

CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 5/18/07

DIRECTOR
DATE: 5/24/07

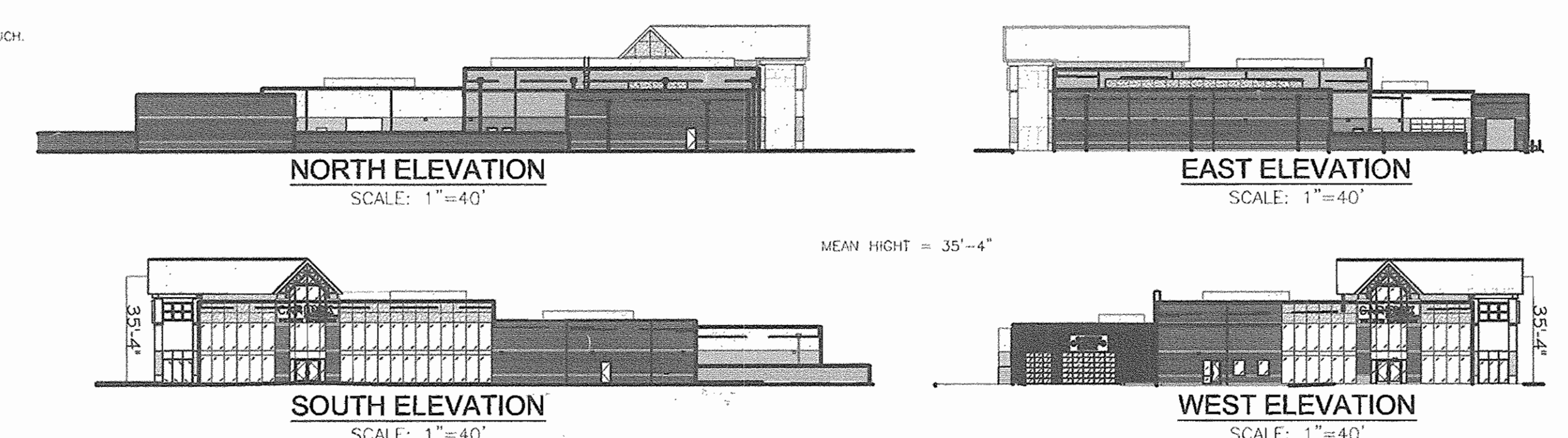
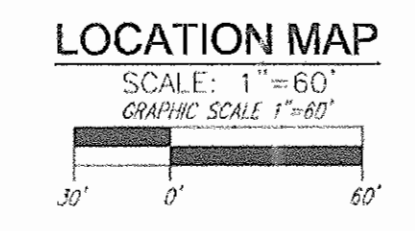
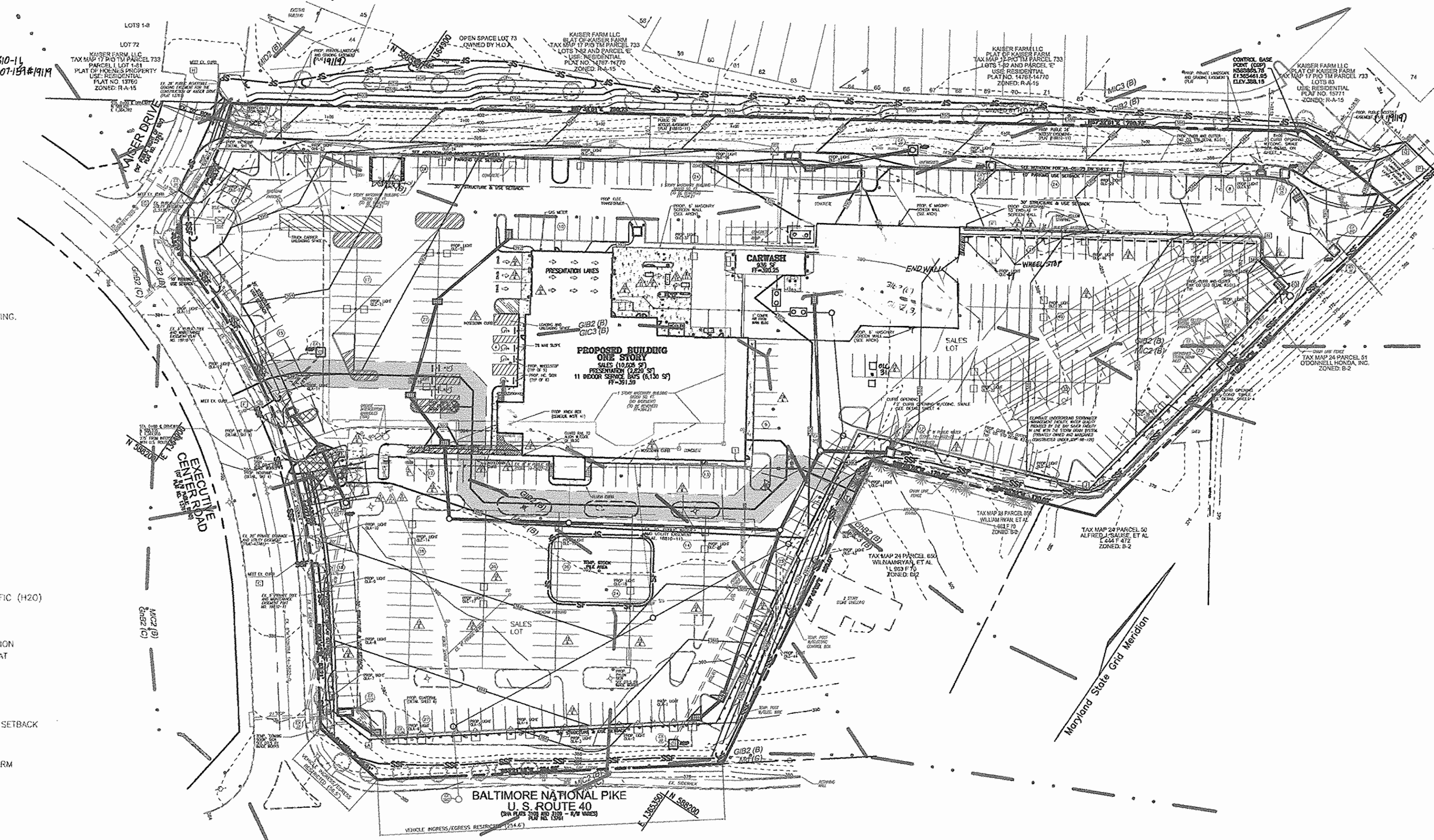
PLAN VIEW
SCALE: 1" = 30'
GRAPHIC SCALE 1"=30'

NOTE:
1. CONTRACTOR TO COORDINATE LOCATION OF BUILDING STOODS AND DOORS WITH ARCHITECTURAL PLANS.
2. CONTRACTOR TO COORDINATE SITE SPECIFIC NUMBERING SYSTEM OF "SALES LOT" WITH ARCHITECTURAL DRAWINGS, AND DETAIL 19/6 SHOWN ON SHEET 6.

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY OR CARMAX STANDARDS AND SPECIFICATIONS, WHICHEVER IS MORE STRINGENT. ALL WORK AND MATERIALS SHALL COMPLY WITH O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK.
- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 - MISS UTILITY: 1-800-257-7777
 - VERIZON TELEPHONE COMPANY: 1-800-954-6291
 - HOWARD COUNTY BUREAU OF UTILITIES: 410-331-1880
 - AT&T CABLE LOCATION DIVISION: 303-353-3
 - B.G.W.E. CO. CONTRACTOR SERVICES: 800-460-7877
 - B.G.W.E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 - STATE HIGHWAY ADMINISTRATION: 531-5533
- SITE ANALYSIS:
 - TOTAL PROJECT AREA: 6.83 AC.
 - PRESENT ZONING: B-2
 - USE OF STRUCTURE: MOTOR VEHICLE DEALERSHIP
 - TOTAL BUILDING SQUARE FOOTAGE: 19,563 SF (0.45 AC. OR 6.86% OF GROSS AREA)
 - TOTAL BUILDING COVERAGE: 20,492 SF (0.47 AC. OR 7.18% OF GROSS AREA)
 - PAVED PARKING LOT AREA ON SITE: 3,608 AC. OR 77.7% OF GROSS AREA
 - AREA OF LANDSCAPE ISLAND: 0.99 AC. OR 15.11% OF GROSS AREA
 - GROSS AREA OF PARCEL: 6.55 ACER (PER F-98-012)
 - LIMIT OF DISTURBED AREA: 6.83 AC (INCLUDES 0.51 AC ON PARCEL 733, LOT 73)
 - CUT: 9000 CY FILL: 0 CY
 - TOTAL BUILDING COVERAGE AREA: 20,492 SF
 - ONE STORY BUILDING:
 - SALES: 10,605 SF
 - PRESENTATION: 2,820 SF
 - SERVICE (INDOOR): 6,130 SF
 - CARWASH: 936 SF
 - TOTAL: 20,481 SF
- PROJECT BACKGROUND:
 - LOCATION: ELLICOTT CITY, MD.; TAX MAP 24, BLOCK 6, PARCEL "H" OF % PARCEL 848
 - ZONING: B-2
 - SUBDIVISION: N/A
 - SECTION: N/A
 - SITE AREA: 6.55 AC.
 - DPZ REFERENCES: S-95-016, S-98-005, P-87-02, WP-93-84, F-96-91, F-98-12, SDP-98-129, M-08-23, F-01-094#1800-11, F-01-154#1414
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 331-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- ANY DAMAGE TO PUBLIC RIGHT-OF-WAYS, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES LOCATED FROM PLANS, FIELD SURVEYS, PUBLIC WATER AND SEWER EXTENSION PLANS AND AVAILABLE RECORD DRAWINGS. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION. CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING ON-SITE WATER LINE LOCATION IS APPROXIMATED FROM VALVE LOCATIONS AND RECORD DRAWINGS. CONTRACTOR TO VERIFY LOCATION BEFORE PROCEEDING.
- ALL REINFORCED CONCRETE FOR STORM DRAIN STRUCTURES SHALL HAVE A MINIMUM OF 28 DAYS STRENGTH OF 3,500 P.S.I.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTING SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOIL TEST PRIOR TO CONSTRUCTION.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD TOPOGRAPHICAL SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2006.
- THE PROPERTY LINES SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JANUARY 2006.
- A NOISE STUDY IS NOT REQUIRED FOR THIS PROJECT.
- THE GEOTECHNICAL ENGINEER TO CONFIRM PAVING SECTION PRIOR TO CONSTRUCTION. ALL PAVING TO BE MINIMUM HOWARD COUNTY STANDARD DETAIL 7-2 (2" OVERLAP). SEE SHEET 9 FOR LOCATION OF HEAVY DUTY PAVING.
- ALL CURB AND GUTTER TO BE HOWARD COUNTY STANDARD DETAIL 3.01 UNLESS OTHERWISE NOTED. (SEE DETAIL, SHEET 4)
- CONTRACTOR RESPONSIBLE TO CONSTRUCT ALL HANDICAP RAMPS AND HANDICAP ACCESS IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
- WHERE DRAINAGE FLOWS AWAY FROM CURB, CONTRACTOR TO REVERSE THE GUTTER PAN.
- ALL ELEVATIONS ARE TO FLOWLINE/BOTTOM OF CURB UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- PUBLIC WATER AVAILABLE THROUGH CONTRACT 14-362-0.
- PUBLIC SEWER AVAILABLE THROUGH CONTRACT 14-309-D. THIS PROPERTY IS LOCATED IN THE PATAPSCO DRAINAGE AREA. STORMWATER MANAGEMENT QUANTITY PROVIDED BY AN UNDERGROUND FACILITY AND WATER QUALITY CONTROL. CONSTRUCTED UNDER QUALITY CONTROL PROVIDED BY BAYSWATER STORMWATER TREATMENT FACILITIES. THESE FACILITIES WILL BE PRIVATELY OWNED AND MAINTAINED. STORMWATER QUALITY AND QUANTITY FOR EXECUTIVE CENTER ROAD AND A PORTION PARCEL H ARE PROVIDED UNDER F-98-12. THESE DRAINAGE DIVIDES ARE MARKED UNDER THIS SDP. CONTRACTOR TO INSPECT AND CLEAN/REMOVE ALL DEBRIS FROM FACILITY TO ENSURE IT IS IN PROPER WORKING ORDER PER SDP-98-129. IF ANY DEVIATIONS OR DAMAGE IS FOUND CONTRACTOR TO NOTIFY CARMAX AND THE ENGINEERING IMMEDIATELY.
- ALL EXTERIOR LIGHTING TO CONFORM TO SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS. (DETAIL ON SHEET 4)
- GEOTECHNICAL REPORT PREPARED BY ENGINEERING CONSULTING SERVICES, LLC, DATED DECEMBER 19, 2005.
- ANY EXISTING STREET TREES DAMAGED OR DESTROYED DURING CONSTRUCTION WILL BE REPLACED BY THE CONTRACTOR.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
- LANDSCAPE SURETY IN THE AMOUNT OF \$25,320.00 HAS BEEN POSTED AS A PART OF THE DEVELOPER'S AGREEMENT.
- TRAFFIC STUDY PREPARED BY THE TRAFFIC GROUP DATED JULY 25, 2006, AND APFO STUDY APPROVED AUGUST 15, 2006.
- ALL STORMWATER PIPE REVISION IS TO BE CLASSIFIED "C".
- BUILDING TO HAVE INSIDE WATER METER SETTING.
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- ALL DRAINAGE STRUCTURES SHALL BE PRECAST. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- THE SUBJECT PROPERTY IS ZONED B-2 PER THE 02/02/2004 COMPREHENSIVE ZONING PLAN.
- THE FOREST CONSERVATION OBLIGATION FOR PARCEL H WAS MET BY THE SUBDIVISION, F-98-012, HOENES PROPERTY, PARCELS HJJ AND K, BY CREATING A 4.8 ACRE OFFSITE AFFORESTATION FCE ON PRES. PARCEL B, TM 14, TM PARCEL 14. THE FOREST CONSERVATION OBLIGATION OF 1.2 ACRES OF REFORESTATION FOR TM PARCEL 366, TM 17, BLOCK 24, WHERE A SECTION OF THE PRIVATE ROAD THAT SERVES THIS SITE WAS CONSTRUCTED PER SDP-98-129, WAS MET BY A FEE-IN-LIEU PAYMENT OF \$15,681.60 TO THE HO. CO. FOREST CONSERVATION FUND.
- THE EXISTING BUILDING SHALL BE REMOVED, IN ACCORDANCE WITH HOWARD COUNTY REGULATIONS, PRIOR TO CONSTRUCTION.
- THERE ARE NO FLOOD PLANS LOCATED ON THIS PARCEL.
- THERE ARE NO WETLANDS ON THIS PARCEL.
- ADMINISTRATIVE ADJUSTMENT AA-06-25, APPROVED 11/13/2006 TO ALLOW 20% REDUCTION, 2 FEET, TO THE 10 FEET PARKING USE SETBACK FROM THE 26' PUBLIC ACCESS EASEMENT, ALONG NORTHERN BOUNDARY.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS REQUIRED TO BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NEPA-1 TO 1.21. A KNOX BOX IS ALSO REQUIRED AT THE GATED ENTRANCE TO THE SALES/PLAY LOT. (SEE DETAIL).
- STREET LIGHT PLACEMENT AND THE TYPE OF FIXTURE AND POLE SHALL BE IN ACCORDANCE WITH THE HOWARD COUNTY DESIGN MANUAL, VOLUME II (1993) AND AS MODIFIED BY "GUIDELINES FOR STREET LIGHT IN RESIDENTIAL DEVELOPMENTS (JUNE 1993)" AND AS A MINIMUM SPACING OF 20' SHALL BE MAINTAINED BETWEEN ANY STREETLIGHT AND ANY TREE.
- ALL SIGN POSTS USED FOR TRAFFIC CONTROL SIGNS INSTALLED IN THE COUNTY RIGHT-OF-WAY SHALL BE MOUNTED ON A 2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE POST (14 GAUGE) INSERTED INTO A 2-1/2" GALVANIZED STEEL, PERFORATED, SQUARE TUBE STEEL, PERFORATED, SQUARE TUBE SLEEVE (12 GAUGE), 3' LONG A GALVANIZED STEEL POLE CAP SHALL BE MOUNTED ON TOP OF EACH POST.
- ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY MONUMENT NOS. 1861 AND 24C2 WHICH WERE USED FOR THIS PROJECT.
- VEHICLE DISPLAY AREAS SHOWN ON SHEET 9.
- ALL LOADING AND UNLOADING MUST OCCUR ON PARCEL H, AND IS NOT PERMITTED WITHIN A PUBLIC ROAD R/W OR ANY REQUIRED ZONING "USE SETBACK".
- THE PUBLIC ACCESS EASEMENT ALONG THE NORTH PROPERTY LINE IS TO BE MAINTAINED BY HOWARD COUNTY, INCLUDING MAINTENANCE, REPAIR, LIABILITY, AND SNOW REMOVAL.
- THE EXISTING STREET TREES ALONG US. RT. 40 AND EXECUTIVE CENTER ROAD ARE PER F-98-12. ANY STREET TREES PROPOSED UNDER F-98-12 THAT DO NOT CURRENTLY EXIST ARE TO BE PROVIDED AS SHOWN ON SHEET 10.
- CONTRACTOR TO INSPECT AND VERIFY ALL EXISTING STORM DRAIN STRUCTURES TO REMAIN FOR STABILITY CONFORMANCE TO HOWARD COUNTY STANDARD DETAILS AND SDP-98-129. EXISTING PIPES/STRUCTURES TO REMAIN ARE TO BE CLEANED OUT TO REMOVE ALL SILT AND DEBRIS. ANY DEVIATIONS OR PARTIALLY COMPLETED STRUCTURES TO BE COMPLETED/RECONSTRUCTED AS NECESSARY, UNDER THE SUPERVISION OF A REPRESENTATIVE OF THE DEVELOPER. THESE ITEMS TO BE INCLUDED IN BASE BID.
- ALL DISTURBED AREAS TO BE VEGETATIVELY STABILIZED WITH FOUR INCHES OF TOPSOIL, SEED, MULCH, AND WATER, UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- EXISTING STRUCTURES/UTILITIES TO BE ABANDONED, REMOVED, OR RELOCATED, ARE TO BE INCLUDED IN THE BASE BID. ALL WORK RELATING TO EXISTING UTILITY RELOCATIONS SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS, AND SHALL BE APPROVED BY SUCH.
- THERE SHALL BE NO GAP GREATER THAN 48" BETWEEN THE GUARDRAIL AND ANY OTHER OBJECTS SUCH AS BUILDINGS, SITE WALLS, ORNAMENTAL FENCE OR DELTA SECURITY GATES, CONCRETE AT THE SALES LOT, AND THE WIP AREAS.
- FOR BASE LINE CONTROL POINT, SEE SHEET 4 IN NORTH CORNER ACCESS ROAD CONNECTION.
- ALL EXISTING STRUCTURES, UNLESS OTHERWISE NOTED TO REMAIN, FENCING, TREES, ETC., WITHIN CONSTRUCTION AREA SHALL BE REMOVED AND DISTURBED OFFSITE. ANY BUILDING SHALL BE SUBJECT TO LOCAL GRADUANCES.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER, UNLESS OTHERWISE NOTED.
- FRENCH DRAINS SHALL BE INSTALLED IF DIRECTED BY GEOTECHNICAL ENGINEER.
- ALL PROPOSED STORM PIPES ENTERING STRUCTURES SHALL BE CROCKETED TO ASSURE CONNECTION AT STRUCTURE IS WATER TIGHT.
- CONTRACTOR IS TO ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION TO AVOID FLOODING OR RUTTING.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND STRUCTURES FOR ALL GRASS AND PAVED AREAS.

CARMAX #7663 AUTO DEALERSHIP PARCEL "H" P/O TM PARCEL 848 SITE DEVELOPMENT PLAN



LEGEND

- Existing Contour
- Proposed Contour
- Existing Spot Elevation
- Proposed Spot Elevation
- Direction of Flow
- Existing Trees to Remain
- Light Poles
- Soil Type
- Concrete

BENCHMARKS

COORDINATES AND ELEVATIONS SHOWN HEREON ARE BASED ON THE MARYLAND STATE GRID MERIDIAN NAD 83/91 AS PROJECTED BY HOWARD COUNTY, MARYLAND CONTROL STATIONS (US FEET) AND ELEVATIONS ON THESE CONTROL STATIONS ARE NATIONAL GEODETIC VERTICAL DATUM 1929. (US FEET)

HOWARD COUNTY BENCHMARK 1861 (CONCRETE MONUMENT)
N 589984.958 E 1367750.246 ELEV. 407.81

HOWARD COUNTY BENCHMARK 24C2 (CONCRETE MONUMENT)
N 588648.324 E 1366038.160 ELEV. 354.09

VICINITY MAP
SCALE: 1"=2000'

ADDRESS CHART

LOT/PARCEL#	STREET ADDRESS
H	8901 EXECUTIVE CENTER ROAD

PERMIT INFORMATION CHART

SUBDIVISION NAME		SECTION/AREA	PARCEL NUMBER		
HOENES PROPERTY		N/A	PARCEL "H"		
DEED REF.	BLOCK NO.	ZONE	TAX/ZONE	ELECT. DIST.	CENSUS TR.
5306/150	6	B-2	24	2nd	6026.00
WATER CODE: F-03		SEWER CODE: 1452800			

PARKING TABULATION

VEHICLE DISPLAY	REQUIRED
54,972 SF	
1.0 SPACE PER 1,000 SF	55 SPACES
VEHICLE SALES FLOOR AREA: 13,425 SF	
2.0 SPACES PER 1,000 SF	27 SPACES
SERVICE BAYS: 11	
(INDOOR - 6,130 SF TOTAL)	
3 SPACES PER BAY	33 SPACES
TOTAL SPACES REQUIRED:	115 SPACES
TOTAL SPACES PROVIDED:	173 SPACES (INCLUDING 6 HANDICAP)
VEHICLE DISPLAY AREA ("SALES AREA"):	361 SPACES

SHEET INDEX

DESCRIPTION	SHEET NO.
COVER SHEET	1 OF 11
DEMOLITION PLAN AND PHASE 1 SEDIMENT CONTROL PLAN	2 OF 11
SITE LAYOUT	3 OF 11
SITE LAYOUT AND SITE DETAILS	4 OF 11
SITE GRADING AND SEDIMENT CONTROL PLAN	5 OF 11
SITE GRADING AND SEDIMENT CONTROL PLAN AND SITE DETAILS	6 OF 11
SEDIMENT AND EROSION CONTROL NOTES AND DETAILS	7 OF 11
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UTILITY PROFILES AND SITE DETAILS	9 OF 11
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OWNER
LEONORA K. HOENES
15115 CARRS MILL ROAD
WOODBINE, MD 21797-8013

DEVELOPER
CARMAX AUTO SUPERSTORES, INC.
12800 TUCKAHOE CREEK PARKWAY
RICHMOND, VA 23238
C/O JOE JAGDMANN
(804) 747-0422

1	RELOCATE DUMPSTER, REVISE GATE CONFIGURATION, RELOCATE UNDERGROUND TANK, 9-28-07	
	PARKING LOT LIGHTS AND MODIFY WALL AT CAR WASH	
NO.	REVISION	DATE

SITE DEVELOPMENT PLAN

COVER SHEET

CARMAX #7663
AUTO DEALERSHIP
HOENES PROPERTY
PARCEL "H"

TAX MAP 24 BLOCK 6
2ND ELECTION DISTRICT

P/O TM PARCEL 848
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLICOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

CARMAX PLAN INFO:

DESIGN BY: WSZ
DRAWN BY: OZ
CHECKED BY: RHY
DATE: MAR 16, 2007
SCALE: AS SHOWN
W.O. NO.: 05-79

PART OF SP-9SDP-1 PACKAGE
C 1

HO. CO. DPZ SHEET:
1 SHEET OF 11

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

CHIEF, DEVELOPMENT ENGINEERING DIVISION: *Cindy Hammit* 4/26/07
CHIEF, DIVISION OF LAND DEVELOPMENT: *Frank D. Wynn* 5/18/07
DIRECTOR: *Frank D. Wynn* 5/24/07

APPROVED: FOR PUBLIC WATER AND PUBLIC SEWERAGE SYSTEMS

COUNTY HEALTH OFFICER: *N/A*
HOWARD COUNTY HEALTH DEPARTMENT