

GENERAL NOTES

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
 MISS UTILITY 1-800-257-7777
 VERIZON TELEPHONE 722-3916
 HOWARD COUNTY BUREAU OF UTILITIES 313-2366
 AT&T CABLE LOCATION DIVISION: 393-3553
 B.G.&E. CO. CONTRACTOR SERVICES: 852-4920
 B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 787-4620
 STATE HIGHWAY ADMINISTRATION: 531-5533
- PROJECT BACKGROUND:
 LOCATION: TAX MAP 50, PARCEL 379, 408, 423
 ZONING: CAC-CLJ
 DEED REFERENCE: 9901/220
 DPZ REFERENCES: S-06-01, WP-06-29, F-06-168, AA-05-41, WP-06-57, WP-06-99
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION.
- CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- THE PROJECT BOUNDARY IS BASED ON A SURVEY PERFORMED BY ROBERT H. VOGEL, DATED NOVEMBER, 2005.
- TOPOGRAPHIC FIELD RUN SURVEY PREPARED BY ROBERT H. VOGEL, DATED NOVEMBER, 2005.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC. PROPOSED SEWER FOR THE SITE WILL BE CONNECTED TO THE EXISTING PUBLIC SEWER CONTRACT #29-S. AND PROPOSED PUBLIC WATER WILL BE CONNECTED TO EXISTING PUBLIC CONTRACT #1-W.
- STORMWATER MANAGEMENT TO BE PROVIDED FOR THE DEVELOPMENT. UNDERGROUND SWM (CPV), SAND FILTER (WV), AND GRAVEL TRENCH (REV.) SWM MANAGEMENT FACILITY WILL BE OWNED AND MAINTAINED BY THE OWNER OR HOA.
- THERE ARE NO WETLANDS ON THE SITE.
- THERE ARE NO FLOODPLAINS ON THIS SITE.
- NO STEEP SLOPES ARE LOCATED ONSITE.
- FOREST STAND DELINEATION PLAN PREPARED BY ROBERT H. VOGEL ENGINEERING, INC., DATED JULY, 2005. FOREST CONSERVATION REQUIREMENTS COMPUTED IN ACCORDANCE WITH SECTION 16.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL.
- APFO TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUP, DATED JUNE 29, 2005 AND APPROVED BY HOWARD COUNTY.
- ALL LANDSCAPING REQUIREMENTS AS SET FORTH IN THE LANDSCAPE MANUAL SHALL BE COMPLIED WITH.
- SEDIMENT AND EROSION CONTROL IS PROVIDED FOR THIS SITE.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- STREET TREES ARE REQUIRED FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.124(e)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN STREET LIGHTS AND TREES.
- A NOISE STUDY IS NOT REQUIRED.
- THIS SUBDIVISION IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS EFFECTIVE 10/2/03.
- THE SUBJECT PROPERTY IS ZONED "CAC-CLJ" CORRIDOR ACTIVITY CENTER PER THE 2/2/04 COMPREHENSIVE ZONING PLAN.
- ONE EXISTING STRUCTURE LOCATED ON-SITE WILL BE REMOVED AND FOUR POWER POLES ON THE SITE WILL BE RELOCATED. THE REMAINING POWER POLES WILL BE REMOVED.
- THERE ARE NO HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
- FINAL PLAT F-06-168 CONSOLIDATES THE 3 PARCELS INTO BUILDABLE BULK PARCEL A. FINAL PLAT F-12-024 SUBDIVIDES PARCEL A INTO TWO BUILDABLE PARCELS AND ESTABLISHES ACCESS FROM ROUTE 1. FRONTAGE IMPROVEMENTS ALONG NORTH LAUREL ROAD, INCLUDING CURB AND GUTTER, 10 PARALLEL PARKING SPACES, STREET TREES AND LIGHTS ARE PROVIDED PER THIS SITE DEVELOPMENT PLAN.
- REFERENCE WAIVER PETITION WP-06-29 APPROVED ON NOVEMBER 8, 2005 TO ALLOW: a. ACCESS TO A HIGHER CLASSIFICATION ROAD (SECTION 16.119 (d)). b. LOCATION OF RESIDENTIAL PARKING SPACES TO EXCEED 200' FROM THE APARTMENT BUILDING ENTRANCE (SECTION 16.120 (b)(12)). c. THE ALTERNATIVE COMPLIANCE REQUEST HAS BEEN APPROVED BY DPZ IN CONJUNCTION WITH S-06-01, DIVISION OF ENVIRONMENTAL AND COMMUNITY PLANNING IN ACCORDANCE WITH THE ROUTE 1 MANUAL TO: a. REDUCE OF THE COMMERCIAL SPACE REQUIREMENTS FROM 300 SF PER RESIDENTIAL UNIT TO 200 SF (SECTION 12.7.5.E.3.C). b. INCREASE THE MAXIMUM BUILDING SETBACK ALLOWED FROM THE US ROUTE 1 R/W FROM 0 TO 10 FEET UP TO A MAXIMUM OF 40' FROM THE EDGE OF THE PUBLIC STREET. c. PROVIDE PARKING ADJACENT TO ROUTE 1 WITH A LANDSCAPE WALL SCREEN. d. PERMIT BUILDING TO OCCUPY LESS THAN 75% OF THE ROUTE 1 FRONTAGE.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) SHALL BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE INSTALLED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1).
- THE SIGNS SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS AND EACH SEPARATE SUITE BY LETTER.
- SIGNS SHALL BE PROVIDED AT THE STREET IDENTIFYING THE BUILDING ADDRESS.
- REFERENCE WAIVER PETITION WP-06-57 APPROVED JANUARY 9, 2006 TO: a. ALLOW SUBMISSION OF A FINAL SUBDIVISION PLAN AND SITE DEVELOPMENT PLAN AND WAIVE THE PRELIMINARY PLAN REQUIREMENT.
- REFERENCE DESIGN MANUAL WAIVER (VOLUME III, SECTION 2.8.2) DENIAL DATED AUGUST 11, 2005 DENYING A WAIVER TO THE 0.3 GUEST PARKING SPACES PER UNIT REQUIREMENT.
- THE PROPOSED RETAIL AREA WILL CONSIST OF A GROUP OF 6 OR MORE RETAIL USES OR RETAIL AND SERVICE USES THAT ARE DESIGNED, DEVELOPED AND MANAGED AS AN INTEGRAL ENTITY AND THAT SHARE COMMON ACCESS AND PARKING TO BE ELIGIBLE FOR THE SHOPPING CENTER PARKING REQUIREMENTS OF 5 PARKING SPACES PER 1,000 SQUARE FEET IN ACCORDANCE WITH SECTION 103A.149 OF THE ZONING REGULATIONS.

SITE ANALYSIS:

GENERAL SITE DATA

PRESENT ZONING: CAC-CLJ
 APPLICABLE DPZ FILE REFERENCE: S-06-01, WP-06-29
 F-06-168, AA-05-41, WP-06-57
 WP-06-99, F-12-024, ZRA 168 COUNCIL BILL 5-2009 + ZRA 121, COUNCIL BILL 7-2011

PROPOSED USE OF SITE: RETAIL AND APARTMENT UNITS
 PROPOSED WATER SYSTEM: PUBLIC
 PROPOSED SEWER SYSTEM: PUBLIC

AREA TABULATION

TOTAL PROJECT AREA: (5.63 AC.)
 NET AREA OF SITE: (5.63 AC.)
 LIMIT OF DISTURBANCE: 5.97 AC.
 RIGHT OF WAY DEDICATION AREA: MSHA 0.03711 AC.
 HOWARD COUNTY 0.07764 AC.
PARKING TABULATION

NUMBER OF UNITS: 156
 RESIDENTIAL PARKING REQUIRED: 156 UNITS x 1.2 SP/UNIT = 187 SPACES*
 SPACES FOR GUEST OVERFLOW PARKING REQUIRED = 0.3 / UNIT = 47 (IN ACCORDANCE WITH APPROVED PARKING ANALYSIS.)
 COMMERCIAL PARKING REQUIRED:
 PROPOSED COMMERCIAL SPACE: 15,800 SQ FT
 15,800 SQ FT RETAIL x 5 SPACES/1,000 SQ FT = 79 SPACES REQUIRED.
 22,719 SQ FT CHANGE STUDIO x 0.35 SP/1,000 SQ FT = 80 SPACES REQUIRED.
TOTAL COMMERCIAL PARKING REQUIRED = 111 SPACES
 ON-SITE PARKING: 345 SPACES
 PARALLEL SPACES ALONG NORTH LAUREL ROAD: 10 SPACES
 TOTAL SPACES PROVIDED: 355 SPACES
 HC ACCESSIBLE SPACES: MIN 2% OF TOTAL SPACES PROVIDED = 7 SPACES
 THERE WILL BE NO BUSINESS VEHICLES ALLOWED TO BE PARKED ON-SITE.

* A PARKING NEEDS ANALYSIS WAS APPROVED UNDER S-06-01 TO PROVIDE 1.5 PARKING SPACES PER UNIT BASED ON A STUDY PERFORMED ON SEPTEMBER 7 AND 29, 2005 BY THE TRAFFIC GROUP. THE 0.3 GUEST PARKING SPACE REQUIREMENT IS ACCOMMODATED WITHIN THE 1.5 SPACES PER UNIT PROVIDED. SEE GENERAL NOTE 37 PER EXPLANATION PER THE RETAIL PARKING SPACES.

DENSITY TABULATION

AREA OF PROPOSED PARCELS: 5.63 AC.
 TOTAL PROJECT AREA (5.63 AC.)
 100-YEAR FLOODPLAIN 0.00 AC.
 STEEP SLOPES OUTSIDE FLOODPLAIN 0.0 AC.
 NET AREA (5.63 AC.)
 DENSITY 50 DWELLING UNITS/NET ACRE
 TOTAL NUMBER OF UNITS ALLOWED: 281
 TOTAL NUMBER OF PROPOSED UNITS: 156
 AMENITY AREA (10% OF NET SITE AREA) REQUIRED: 24,855 SF (0.566 AC.)
 AMENITY AREA (10% OF NET SITE AREA) PROVIDED: 24,655 SF (0.566 AC.)

15% MODERATE INCOME HOUSING REQUIRED: 24 UNITS
 15% MODERATE INCOME HOUSING PROVIDED: 24 UNITS

BUILDING TABULATION

FIRST FLOOR: RETAIL
 COMMONS (LOBBY, AMENITIES, ETC.)
 SECOND FLOOR: RESIDENTIAL
 THIRD FLOOR: RESIDENTIAL
 FOURTH FLOOR: RESIDENTIAL
 FIFTH FLOOR: RESIDENTIAL
 TOTAL FLOOR: 205,276 SF

THE BUILDING COVERAGE OF SITE IS 0.94 ACRES AND 17% OF GROSS AREA

- *BASED ON OUTSIDE DIMENSIONS
- ALL EXTERIOR PARKING LOT LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - REFERENCE WAIVER PETITION WP-06-99 APPROVED MAY 2 2006 TO WAIVE SECTION 16.155 (a)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW MASS GRADING AND INSTALLATION OF SEDIMENT CONTROL MEASURES INCLUDING STORM DRAINAGE AND STORM WATER MANAGEMENT ON THE SUBJECT PROPERTY PRIOR TO THE EXECUTION OF A DEVELOPMENT AGREEMENT AND SIGNATURE APPROVAL OF THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PROJECT SUBJECT TO:
 1. COMPLIANCE WITH HOWARD SOIL CONSERVATION DISTRICT, STATE HIGHWAY ADMINISTRATION AND DEVELOPMENT ENGINEERING COMMENTS.
 2. SIGNATURE APPROVAL FROM THE HOWARD SOIL CONSERVATION DISTRICT FOR THE PROPOSED GRADING AND SEDIMENT CONTROL PLAN.
 3. SDP-06-107 MUST CONTINUE TO BE PROCESSED FOR APPROVAL.
 - CONTRACTOR TO CONSTRUCT CURB, GUTTER AND ENTRANCES IN ACCORDANCE WITH MSHA ACCESS PERMIT. CURB AND GUTTER TO BE SET FROM EX PAVING ELEVATIONS AND APPROVED BY MSHA INSPECTOR PRIOR TO INSTALLATION.
 - NORTH LAUREL ROAD CURB AND GUTTER TO BE SET FROM EXISTING PAVING ELEVATIONS AND WIDENING DETAIL.
 - REFERENCE WAIVER PETITION TO WAIVE DMV / SECTIONS 5.2.7.D.1.b AND 5.2.7.D.1.S OF DESIGN MANUAL VOLUME 1 REQUIRING ACCESS TO UNDERGROUND FACILITIES TO BE LOCATED OUTSIDE VEHICLE TRAVEL LANES AND THAT THE STORAGE FACILITY AND THE CONTROL STRUCTURES BE MADE OF LIKE MATERIALS. WAS APPROVED ON MAY 23, 2008 BASED ON FOLLOWING CONDITIONS:
 1. RELOCATE THE STORMWATER FACILITY TO THE NORTH APPROXIMATELY 10'. THIS WILL LOCATE THE NORTHERN MOST ACCESS WAY OF THE FACILITY WITHIN THE PROPOSED ISLAND. IN DOING THIS, APPROVAL OF THIS WAIVER WILL BE GRANTED THE MINIMUM RELIEF FROM THE REQUIREMENTS.
 2. THE STORMWATER FACILITY PROPOSED IS PRIVATELY OWNED AND MAINTAINED AND THE PROPOSED CONNECTIONS ARE DESIGNED TO BE WATER TIGHT.
 - THE MODERATE INCOME HOUSING UNIT (MIHU) DECLARATION OF COVENANTS AND RESTRICTIONS WAS RECORDED IN THE HOWARD COUNTY LAND RECORDS AS LIBER 09781, FOLIO 0214, ON JANUARY 25, 2006. THE MIHU AGREEMENT WAS SIGNED BY THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT ON 1/19/06 AND RECORDED IN THE LAND RECORDS ON 3/19/06 AS LIBER 12471, FOLIO 0001. THE 21 MIHU'S ARE PROVIDED ON-SITE. SEE GENERAL NOTE 40 THIS SHEET.

SITE DEVELOPMENT PLAN

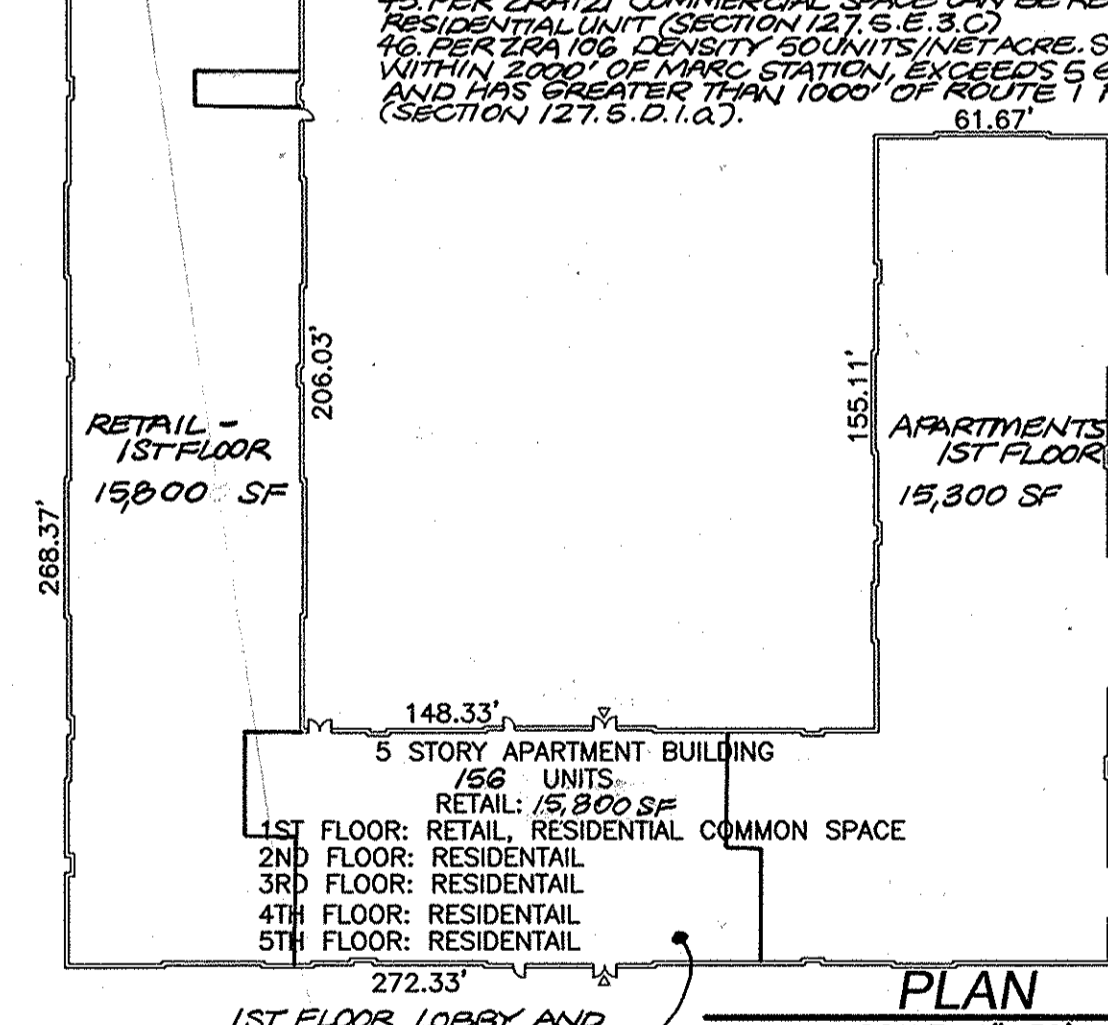
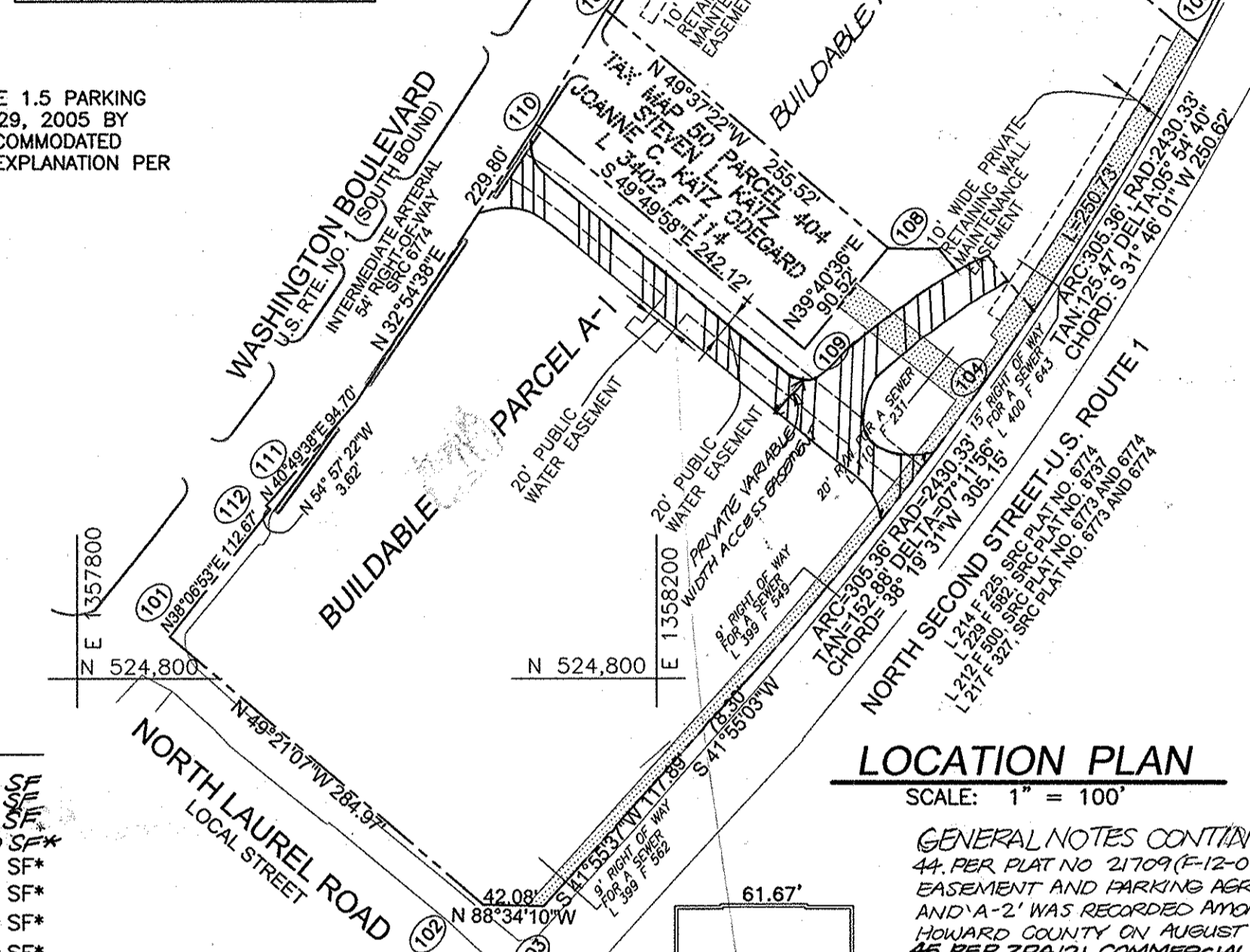
ASHBURY COURTS

RETAIL AND 140 APARTMENT HOUSING UNITS

HOWARD COUNTY, MARYLAND

COORDINATE TABLE

POINT	NORTHING	EASTING
101	524829.18	1357883.96
102	524643.55	1358080.17
103	524642.49	1358122.24
104	525027.88	1358442.58
105	525240.94	1358574.50
106	525468.93	1358636.43
107	525263.51	1358165.47
108	525097.98	1358360.12
109	525028.31	1358302.33
110	525184.48	1358117.31
111	524919.90	1357930.54
112	524917.82	1357933.50

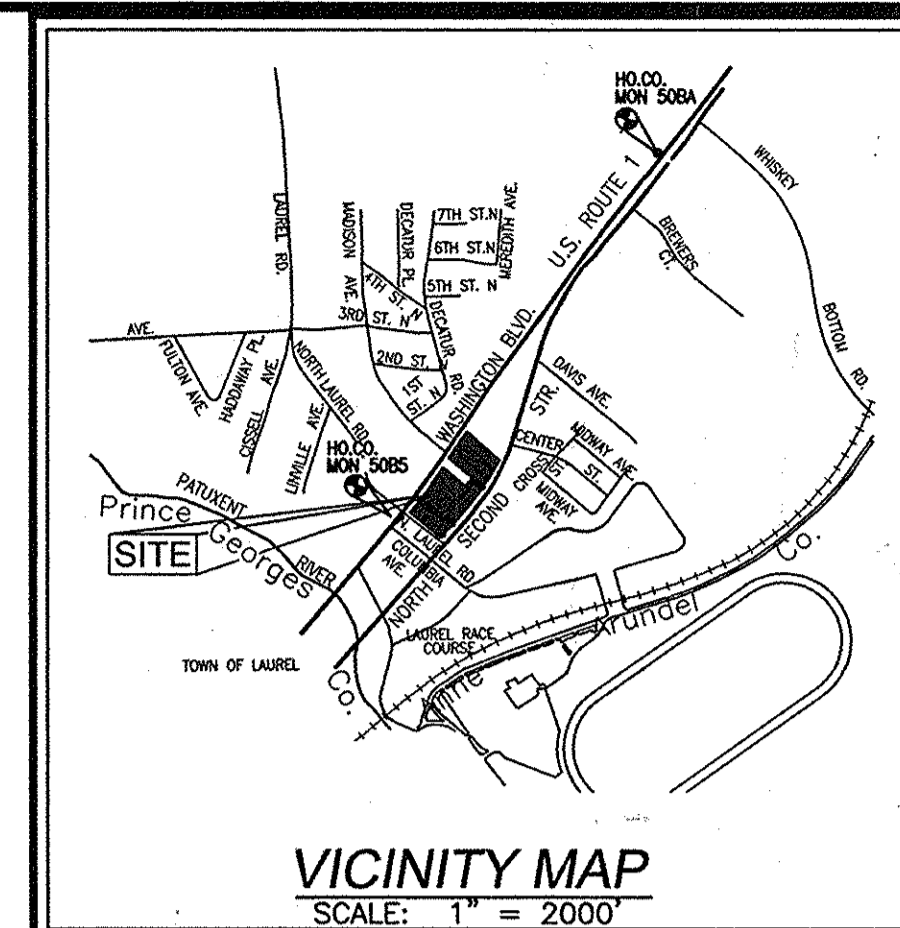


STORMWATER MANAGEMENT REQUIREMENTS - REDEVELOPMENT

AREA	REQUIREMENT	VOLUME REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME (WQV)	1615 CF	0	1615 CF	PROVIDED BY SAND FILTER 20% OF TOTAL REDEVELOPMENT
2	RECHARGE VOLUME (REV)	0 AC. FT. OR 0 AC.	0	N/A	N/A NOT REQUIRED FOR REDEVELOPMENT
3	CHANNEL PROTECTION VOLUME (CPV)	0 AC. FT.	0	0	N/A NOT REQUIRED FOR REDEVELOPMENT
4	OVERHEAD FLOOD PROTECTION (O _h F)	N/A	N/A	N/A	N/A
5	EXTREME FLOOD VOLUME (E _h F)	N/A	N/A	N/A	N/A

STORMWATER MANAGEMENT REQUIREMENTS - NEW DEVELOPMENT

AREA	REQUIREMENT	VOLUME REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME	8639 CF	0	8639 CF	PROVIDED BY SAND FILTER
2	RECHARGE VOLUME (REV)	2316 CF	0	2316 CF	PROVIDED BELOW GRAVEL TRENCHES
3	CHANNEL PROTECTION VOLUME (CPV)	13340 CF	0	13340 CF	PROVIDED BY UNDERGROUND PIPE STORAGE
4	OVERHEAD FLOOD PROTECTION (O _h F)	N/A	N/A	N/A	N/A
5	EXTREME FLOOD VOLUME (E _h F)	N/A	N/A	N/A	N/A



BENCHMARK INFORMATION

THE BEARINGS SHOWN ON THIS PLAT ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM (NAD 83) AS PROJECTED BY THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL STATIONS:
 50BA (NORTH) 527,561.678 (E) 1,359,772.604 (ELEV.) 249.423'
 50B5 (NORTH) 524,999.375 (EAST) 1,357,925.748 (ELEV.) 178.181'

SHEET INDEX

DESCRIPTION	SHEET NO
COVER SHEET & FOREST CONSERVATION DETAILS	1 OF 12
EXISTING CONDITION & DEMOLITION PLAN	2 OF 12
SITE AND UTILITY PLAN	3 OF 12
SITE DETAILS	4 OF 12
GRADING AND SEDIMENT CONTROL PLAN	5 OF 12
SEDIMENT AND EROSION CONTROL DETAILS	6 OF 12
STORM DRAIN AND UTILITY PROFILES	7 OF 12
UTILITIES PROFILES	8 OF 12
STORM DRAIN DRAINAGE AREA MAP	9 OF 12
LANDSCAPE PLAN AND DETAILS	10 OF 12
ROAD IMPROVEMENTS AND DETAILS, AND LANDSCAPE DETAILS	11 OF 12
SWM FACILITY DETAILS I	12 OF 12

ADDRESS CHART

BLDG. NO	STREET ADDRESS
1	9601 NORTH LAUREL ROAD

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	LOT/PARCEL
ASHBURY CT RETAIL & 140 APARTMENTS	N/A	PARCEL 379, 408, 423 HOWARD COUNTY, MARYLAND
DEED REF. 9901/220	BLOCK NO. 10	ZONE CAC 50
PLAT NO. 21704	TAX MAP 50	ELECT DIST 6TH
		CENSUS TR 6069.03
WATER CODE: C-04		SEWER CODE: 7103500

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: HOWARD COUNTY HEALTH DEPARTMENT
 DATE: _____

COVER SHEET
 FOREST CONSERVATION DETAILS
 SITE DEVELOPMENT PLAN
ASHBURY COURTS
 RETAIL AND
 156 APARTMENT HOUSING UNITS
 BUILDABLE PARCEL A-1 & A-2

TAX MAP 50 GRID 10 PARCEL 379, 408, 423
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, ELICOTT CITY, MD 21043 TEL: 410-461-7666 FAX: 410-461-8566

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hanna 10/4/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

9/10/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

10/5/06
 DIRECTOR DATE

DESIGN BY: RHW/RJM
 DRAWN BY: RJM
 CHECKED BY: RHW
 DATE: JUNE 2006
 SCALE: AS SHOWN
 W.O. NO.: 05-01.00

1 SHEET OF 12

GENERAL NOTES

- THE CONTRACTOR IS TO NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 14 DAYS BEFORE STARTING WORK ON THESE DRAWINGS:
MISS UTILITY: 1-800-257-7777
VERIZON TELEPHONE: 1-800-257-7777
HOWARD COUNTY BUREAU OF UTILITIES: 725-9978
AT&T CABLE LOCATION DIVISION: 313-2366
B.G.&E. CO. CONTRACTOR SERVICES: 393-3553
B.G.&E. CO. UNDERGROUND DAMAGE CONTROL: 480-4620
STATE HIGHWAY ADMINISTRATION: 787-4620
531-5533
- PROJECT BACKGROUND: TAX MAP 50, PARCEL 379, 408, 423
LOCATION: CAC-CLJ
DEED REFERENCE: 9901/220
DPZ REFERENCES: S-06-01, WP-06-29, F-06-168, AA-05-41, WP-06-57, WP-06-99
- ANY DAMAGE TO PUBLIC RIGHTS-OF-WAY, PAVING, OR EXISTING UTILITIES WILL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN FOR THE CONTRACTOR'S INFORMATION.
- CONTRACTOR SHALL LOCATE EXISTING UTILITIES WELL IN ADVANCE OF CONSTRUCTION ACTIVITIES AND TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND TO MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO THE COUNTY'S RIGHT OF WAY INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ESTIMATES OF EARTHWORK QUANTITIES ARE PROVIDED SOLELY FOR THE PURPOSE OF CALCULATING FEES.
- SOIL COMPACTION SPECIFICATIONS, REQUIREMENTS, METHODS AND MATERIALS ARE TO BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE PROJECT GEOTECHNICAL ENGINEER, GEOTECHNICAL ENGINEER TO CONFIRM ACCEPTABILITY OF PROPOSED PAVING SECTION, BASED ON SOILS TEST.
- ALL ASPECTS OF THE PROJECT ARE IN CONFORMANCE WITH THE LATEST HOWARD COUNTY STANDARDS.
- THE PROJECT BOUNDARY IS BASED ON A SURVEY PERFORMED BY ROBERT H. VOGEL, DATED NOVEMBER, 2005.
- TOPOGRAPHIC FIELD RUN SURVEY PREPARED BY ROBERT H. VOGEL, DATED NOVEMBER 2005.
- WATER AND SEWER FOR THIS PROJECT WILL BE PUBLIC. PROPOSED SEWER FOR THE SITE WILL BE CONNECTED TO EXISTING PUBLIC SEWER CONTRACT #29-S, AND PROPOSED PUBLIC WATER WILL BE CONNECTED TO EXISTING PUBLIC CONTRACT #1-W.
- STORMWATER MANAGEMENT TO BE PROVIDED FOR THE DEVELOPMENT. UNDERGROUND SWM (CPV), SAND FILTER (WQV), AND GRAVEL TRENCH (REV.) SWM MANAGEMENT FACILITY WILL BE OWNED AND MAINTAINED BY THE OWNER OR HOA.
- THERE ARE NO WETLANDS ON THE SITE.
- THERE ARE NO FLOODPLAINS ON THIS SITE.
- NO STEEP SLOPES ARE LOCATED ONSITE.
- FOREST STAND DELINEATION PLAN PREPARED BY ROBERT H. VOGEL, ENGINEERING, INC., DATED JULY, 2005. FOREST CONSERVATION REQUIREMENTS COMPUTED IN ACCORDANCE WITH SECTION 18.1202 OF THE HOWARD COUNTY CODE AND THE FOREST CONSERVATION MANUAL.
- APFO TRAFFIC STUDY WAS PREPARED BY THE TRAFFIC GROUP, DATED JUNE 29, 2005 AND APPROVED BY HOWARD COUNTY.
- ALL LANDSCAPING REQUIREMENTS AS SET FORTH IN THE LANDSCAPE MANUAL SHALL BE COMPLIED WITH.
- SEDIMENT AND EROSION CONTROL IS PROVIDED FOR THIS SITE.
- THIS PROPERTY IS LOCATED WITHIN THE METROPOLITAN DISTRICT.
- TO THE BEST OF THE OWNERS KNOWLEDGE, THERE ARE NO BURIAL/CEMETERY LOCATIONS ON SITE.
- STREET TREES ARE REQUIRED FOR THIS SUBDIVISION IN ACCORDANCE WITH SECTION 16.124(a)(1) OF THE SUBDIVISION REGULATIONS AND THE LANDSCAPE MANUAL. A MINIMUM OF 20' SHALL BE MAINTAINED BETWEEN STREET LIGHTS AND TREES.
- A NOISE STUDY IS NOT REQUIRED.
- THIS SUBDIVISION IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS EFFECTIVE 10/2/03.
- THE SUBJECT PROPERTY IS ZONED "CAC-CLJ" CORRIDOR ACTIVITY CENTER PER THE 2/2/04 COMPREHENSIVE ZONING PLAN.
- ONE EXISTING STRUCTURE LOCATED ON-SITE WILL BE REMOVED AND FOUR POWER POLES ON THE SITE WILL BE RELOCATED. THE REMAINING POWER POLES WILL BE REMOVED.
- THERE ARE NO HISTORIC STRUCTURES LOCATED ON THIS PROPERTY.
- FINAL PLAT F-06-168 CONSOLIDATES THE 3 PARCELS INTO BUILDABLE BULK PARCEL A. FINAL PLAT F-12-024 SUBDIVIDED PARCELS A-1 AND B INTO TWO BUILDABLE PARCELS AND REDUCED ACCESS EASEMENT PARCELS.
- FRONTAGE IMPROVEMENTS ALONG NORTH LAUREL ROAD, INCLUDING CURB AND GUTTER, 10 PARALLEL PARKING SPACES, STREET TREES AND LIGHTS ARE PROVIDED PER THIS SITE DEVELOPMENT PLAN.
- REFERENCE WAIVER PETITION WP-06-29 APPROVED ON NOVEMBER 9, 2005 TO ALLOW: a. ACCESS TO A HIGHER CLASSIFICATION ROAD (SECTION 16.119 (1)).
b. LOCATION OF RESIDENTIAL PARKING SPACES TO EXCEED 200' FROM THE APARTMENT BUILDING ENTRANCE ((SECTION 16.120 (b)(12)).
- THE ALTERNATIVE COMPLIANCE REQUEST HAS BEEN APPROVED BY DPZ IN CONJUNCTION WITH S-06-01, DIVISION OF ENVIRONMENTAL AND COMMUNITY PLANNING IN ACCORDANCE WITH THE ROUTE 1 MANUAL TO:
a. REDUCE OF THE COMMERCIAL SPACE REQUIREMENTS FROM 300 SF PER RESIDENTIAL UNIT TO 200 SF. (SECTION 127.5.E.3.C).
b. INCREASE THE MAXIMUM BUILDING SETBACK ALLOWED FROM THE US ROUTE 1 R/W FROM 0 TO 10 FEET UP TO A MAXIMUM OF 40' FROM THE EDGE OF THE PUBLIC STREET.
c. PROVIDE PARKING ADJACENT TO ROUTE 1 WITH A LANDSCAPE WALL SCREEN.
d. PERMIT BUILDING TO OCCUPY LESS THAN 75% OF THE ROUTE 1 FRONTAGE.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) SHALL BE PLACED ON THE FRONT OF THE BUILDING. IT SHALL BE INSTALLED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. KNOX BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM NFPA-1 10.12.1).
- THE SIGNS SHALL BE PROVIDED ON THE BUILDING IDENTIFYING THE BUILDING ADDRESS AND EACH SEPARATE SUITE BY LETTER.
- SIGNS SHALL BE PROVIDED AT THE STREET IDENTIFYING THE BUILDING ADDRESS.
- REFERENCE WAIVER PETITION WP-06-57 APPROVED JANUARY 9, 2006 TO: A. ALLOW SUBMISSION OF A FINAL SUBDIVISION PLAN AND SITE DEVELOPMENT PLAN AND WAIVE THE PRELIMINARY PLAN REQUIREMENT.
- REFERENCE DESIGN MANUAL WAIVER (VOLUME III, SECTION 2.8.2) DENIAL DATED AUGUST 11, 2005 DENYING A WAIVER TO THE 0.3 GUEST PARKING SPACES PER UNIT REQUIREMENT.
- THE PROPOSED RETAIL AREA WILL CONSIST OF A GROUP OF 6 OR MORE RETAIL USES OR RETAIL AND SERVICE USES THAT ARE DESIGNED, DEVELOPED AND MANAGED AS AN INTEGRAL ENTRY AND THAT SHARE COMMON ACCESS AND PARKING TO BE ELIGIBLE FOR THE SHOPPING CENTER PARKING REQUIREMENTS OF 5 PARKING SPACES PER 1,000 SQUARE FEET IN ACCORDANCE WITH SECTION 103.1.149 OF THE ZONING REGULATIONS.

SITE ANALYSIS:

GENERAL SITE DATA

PRESENT ZONING: CAC-CLJ
APPLICABLE DPZ FILE REFERENCE: S-06-01, WP-06-29, F-06-168, AA-05-41, WP-06-57, WP-06-99, F-12-024
PROPOSED USE OF SITE: RETAIL AND APARTMENT UNITS
PROPOSED WATER SYSTEM: PUBLIC
PROPOSED SEWER SYSTEM: PUBLIC

AREA TABULATION

TOTAL PROJECT AREA: (5.63 AC.)
NET AREA OF SITE: (5.63 AC.)
LIMIT OF DISTURBANCE: 5.97 AC.
RIGHT OF WAY DEDICATION AREA: MSHA 0.03711 AC.
HOWARD COUNTY 0.07764 AC.
PARKING TABULATION
NUMBER OF UNITS: 140
RESIDENTIAL PARKING REQUIRED: 140 UNITS x 1.2 SP./UNIT = 168 SPACES*
PARKING SPACES REQUIRED: 140 UNITS x 1.2 SP./UNIT = 168 SPACES*
PARKING FOR GUEST OVERFLOW PARKING REQUIRED = 0.3 /UNIT = 42 (IN ACCORDANCE WITH APPROVED PARKING ANALYSIS.)
COMMERCIAL PARKING REQUIRED:
PROPOSED COMMERCIAL SPACE: 28,000 SQ FT
28,000 SQ FT RETAIL x 5 SPACES/1,000 SQ FT = 140 SPACES REQUIRED.*
TOTAL PARKING SPACES REQUIRED: = 350 SPACES
ON-SITE PARKING: 345 SPACES
PARALLEL SPACES ALONG NORTH LAUREL ROAD: 10 SPACES
TOTAL SPACES PROVIDED: 355 SPACES
HC. ACCESSIBLE SPACES: MIN 2% OF TOTAL SPACES PROVIDED=7 SPACES
THERE WILL BE NO BUSINESS VEHICLES ALLOWED TO BE PARKED ON-SITE.

DENSITY TABULATION

AREA OF PROPOSED PARCELS: 5.63 AC.
TOTAL PROJECT AREA (5.63 AC.)
100-YEAR FLOODPLAIN 0.00 AC.
STEEP SLOPES OUTSIDE FLOODPLAIN 0.0 AC.
NET AREA (5.63 AC.)
DENSITY 25 DWELLING UNITS/NET ACRE
TOTAL NUMBER OF UNITS ALLOWED: 140
TOTAL NUMBER OF PROPOSED UNITS: 140
AMENITY AREA(10% OF NET SITE AREA) REQUIRED: 24,655 SF (0.566 AC.)
AMENITY AREA(10% OF NET SITE AREA) PROVIDED: 24,655 SF (0.566 AC.)
15% MODERATE INCOME HOUSING REQUIRED: 21 UNITS
15% MODERATE INCOME HOUSING PROVIDED: 21 UNITS

BUILDING TABULATION

FIRST FLOOR: RETAIL RESIDENTIAL COMMON SPACE (LOBBY, AMENITIES, ETC.) 28,000 SF
SECOND FLOOR: RESIDENTIAL 13,090 SF*
THIRD FLOOR: RESIDENTIAL 41,090 SF*
FOURTH FLOOR: RESIDENTIAL 41,090 SF*
FIFTH FLOOR: RESIDENTIAL 40,916 SF*
TOTAL FLOOR: 205,276 SF*

***BASED ON OUTSIDE DIMENSIONS**

38. ALL EXTERIOR PARKING LOT LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS ON-SITE AWAY FROM ALL ADJOINING RESIDENTIAL PROPERTIES AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.

39. REFERENCE WAIVER PETITION WP-06-99 APPROVED MAY 2 2006 TO WAIVE SECTION 16.155 (a)(1) OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO ALLOW MASS GRADING AND INSTALLATION OF SEDIMENT CONTROL MEASURES INCLUDING STORM DRAINAGE AND STORM WATER MANAGEMENT ON THE SUBJECT PROPERTY PRIOR TO THE EXECUTION OF A DEVELOPMENT AGREEMENT AND SIGNATURE APPROVAL OF THE SITE DEVELOPMENT PLAN FOR THE PROPOSED PROJECT SUBJECT TO:
1. COMPLIANCE WITH HOWARD SOIL CONSERVATION DISTRICT, STATE HIGHWAY ADMINISTRATION AND DEVELOPMENT ENGINEERING COMMENTS.
2. SIGNATURE APPROVAL FROM THE HOWARD SOIL CONSERVATION DISTRICT FOR THE PROPOSED GRADING AND SEDIMENT CONTROL PLAN.
3. SDP-06-107 MUST CONTINUE TO BE PROCESSED FOR APPROVAL.

40. CONTRACTOR TO CONSTRUCT CURB, GUTTER AND ENTRANCES IN ACCORDANCE WITH MSHA ACCESS PERMIT. CURB AND GUTTER TO BE SET FROM EX. PAVING ELEVATIONS AND APPROVED BY MSHA INSPECTOR PRIOR TO INSTALLATION.

41. NORTH LAUREL ROAD CURB AND GUTTER TO BE SET FROM EXISTING PAVING ELEVATIONS AND WIDENING DETAIL.

42. REFERENCE WAIVER PETITION TO WAIVE DMV I SECTIONS 5.2.7.D.1.b AND 5.2.7.D.1.S OF DESIGN MANUAL VOLUME I REQUIRING ACCESS TO UNDERGROUND FACILITIES TO BE LOCATED OUTSIDE VEHICLE TRAVEL LANES AND THAT THE STORAGE FACILITY AND THE CONTROL STRUCTURES BE MADE OF LIKE MATERIALS. WAS APPROVED ON MAY 23, 2006 BASED ON FOLLOWING CONDITIONS:
1. RELOCATE THE STORMWATER FACILITY TO THE NORTH APPROXIMATELY 10'. THIS WILL LOCATE THE NORTHERN MOST ACCESS WAY OF THE FACILITY WITHIN THE PROPOSED ISLAND. IN DOING THIS, APPROVAL OF THIS WAIVER WILL BE GRANTED THE MINIMUM RELIEF FROM THE REQUIREMENTS.
2. THE STORMWATER FACILITY PROPOSED IS PRIVATELY OWNED AND MAINTAINED AND THE PROPOSED CONNECTIONS ARE DESIGNED TO BE WATER-TIGHT.

43. THE MODERATE INCOME HOUSING UNIT (MIHU) DECLARATION OF COVENANTS AND RESTRICTIONS WAS RECORDED IN THE HOWARD COUNTY LAND RECORDS AS LIBER 09781, FOLIO 0214, ON JANUARY 25, 2006. THE MIHU AGREEMENT WAS SIGNED BY THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT ON 1/14/06, AND RECORDED IN THE LAND RECORDS ON 9/21/06, AS LIBER 10247, FOLIO 0001. THE 21 MIHU'S ARE PROVIDED ON-SITE.

SITE DEVELOPMENT PLAN

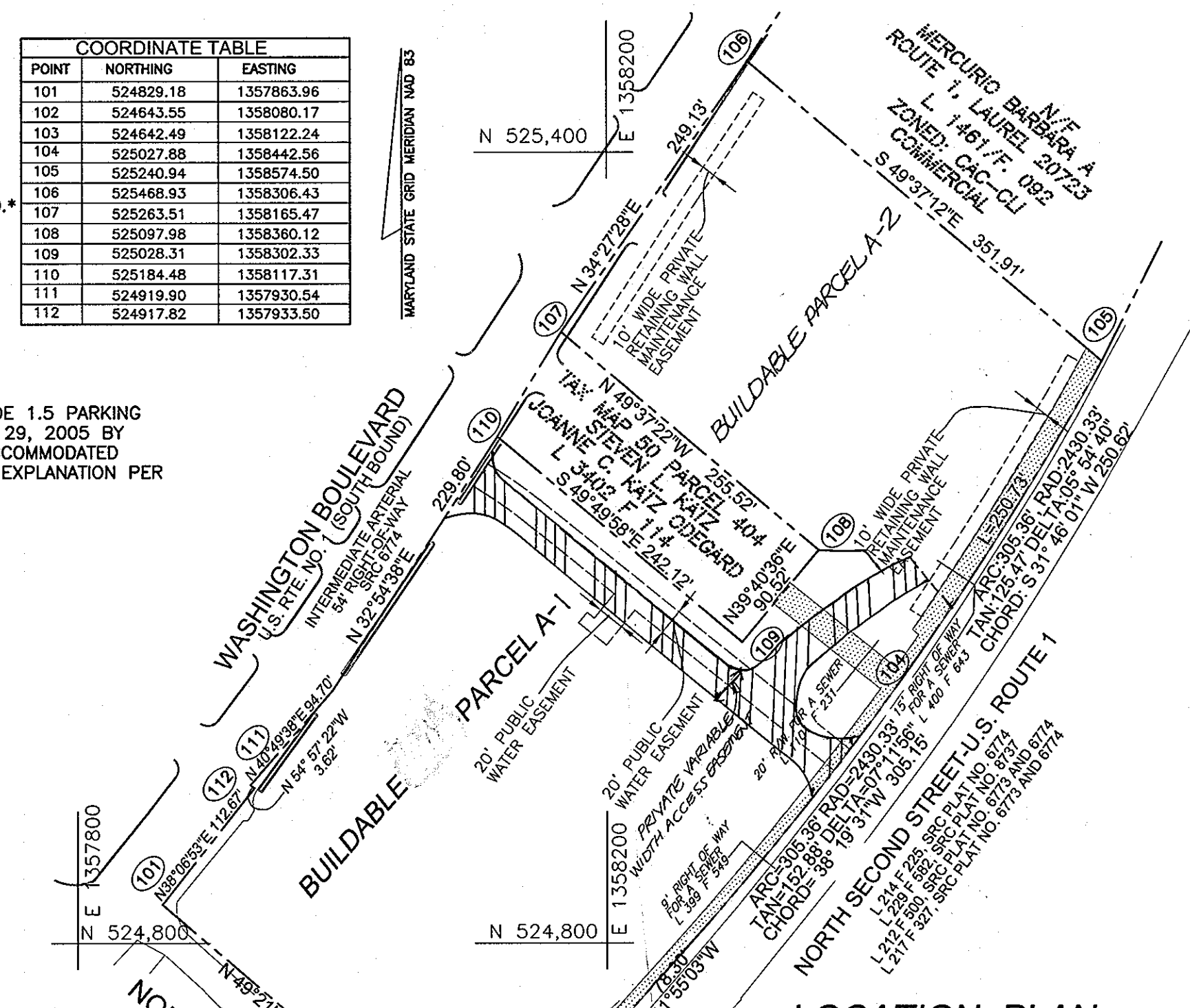
ASHBURY COURTS

RETAIL AND 140 APARTMENT HOUSING UNITS

HOWARD COUNTY, MARYLAND

COORDINATE TABLE

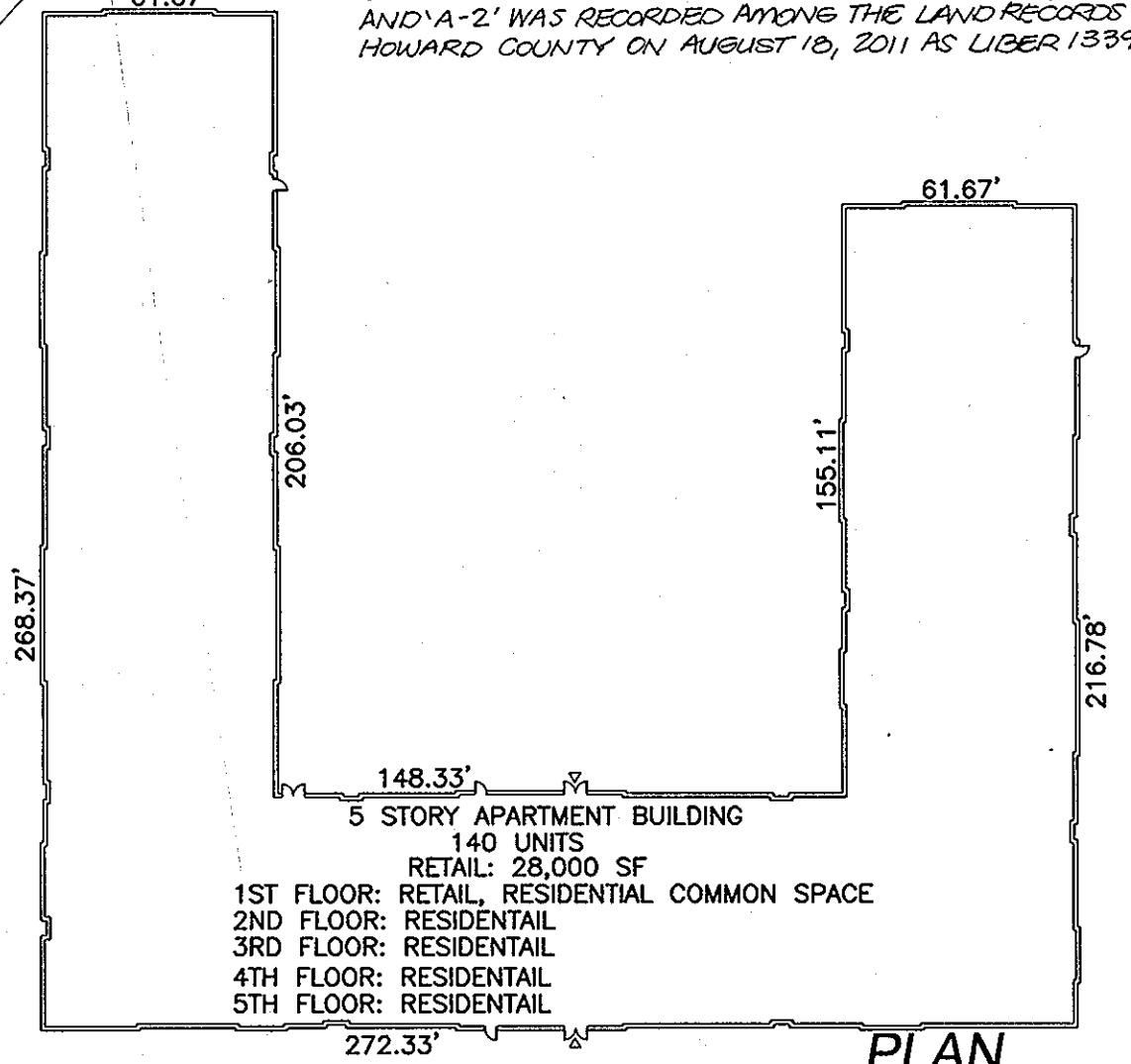
POINT	NORTHING	EASTING
101	524829.18	1357883.96
102	524843.55	1358080.17
103	524842.49	1358122.24
104	525027.88	1358442.56
105	525240.94	1358574.90
106	525268.93	1358506.43
107	525263.51	1358165.47
108	525097.98	1358360.12
109	525628.31	1358302.33
110	525184.48	1358117.31
111	524919.90	1357930.54
112	524917.82	1357933.50



LOCATION PLAN

SCALE: 1" = 100'

GENERAL NOTES CONTINUED:
44. PER PLAT NO. 21109 (F-12-024), A COMPLETED ACCESS EASEMENT AND PARKING AGREEMENT FOR PARCELS 'A-1' AND 'A-2' WAS RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY ON AUGUST 18, 2011 AS LIBER 13399, FOLIO 0001.



PLAN

SCALE: 1" = 50'



ELEVATION

NOT TO SCALE

SEE SHEET 8 OF 12 FOR OTHER BUILDING ELEVATIONS.

STORMWATER MANAGEMENT REQUIREMENTS - REDEVELOPMENT

AREA	REQUIREMENT	VOLUME REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME (WQV)	1615 CF	0	1615 CF	PROVIDED BY SAND FILTER 20% OF TOTAL REDEVELOPMENT
2	RECHARGE VOLUME (REV)	0 AC. FT. OR 0 AC.	0	N/A	N/A NOT REQUIRED FOR REDEVELOPMENT
3	CHANNEL PROTECTION VOLUME (CPV)	0 AC. FT.	0	0	N/A NOT REQUIRED FOR REDEVELOPMENT
4	OVERHEAD FLOOD PROTECTION (O _{FP})	N/A	N/A	N/A	
5	EXTREME FLOOD VOLUME (E _{FP})	N/A	N/A	N/A	

STORMWATER MANAGEMENT REQUIREMENTS - NEW DEVELOPMENT

AREA	REQUIREMENT	VOLUME REQUIREMENT WITHOUT CREDITS	CREDITS	VOLUME REQUIREMENT WITH CREDITS	NOTES
1	WATER QUALITY VOLUME	8639 CF	0	8639 CF	PROVIDED BY SAND FILTER
2	RECHARGE VOLUME (REV)	2316 CF	0	2316 CF	PROVIDED BELOW GRAVEL TRENCHES
3	CHANNEL PROTECTION VOLUME (CPV)	13340 CF	0	13340 CF	PROVIDED BY UNDERGROUND PIPE STORAGE
4	OVERHEAD FLOOD PROTECTION (O _{FP})	N/A	N/A	N/A	
5	EXTREME FLOOD VOLUME (E _{FP})	N/A	N/A	N/A	

BASED ON 2.95 AC. DRAWING TO SWMF

OWNER

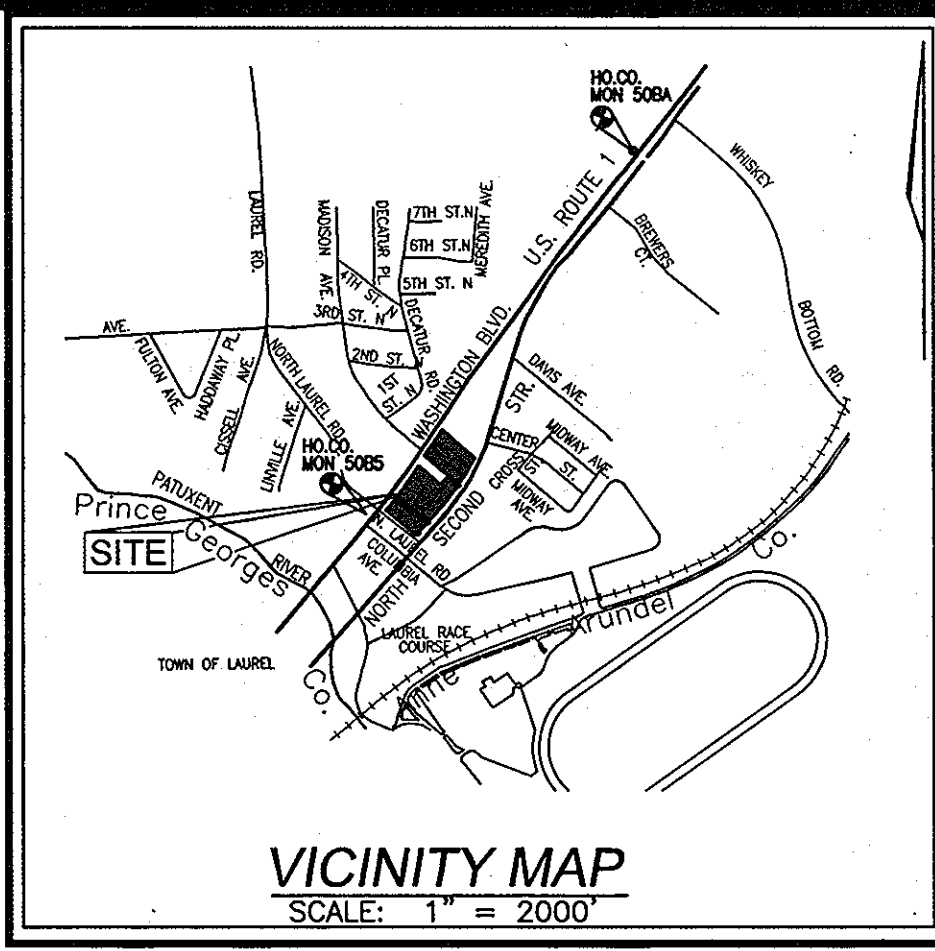
10071 WBO LLC
C/O BUILDING EXCHANGE COMPANY
9011 ARBORETUM PKWY STE 300
RICHMOND, VA 23236

DEVELOPER

10071 WBO LLC
C/O PATRIOT GROUP
1003 K STREET, NW
SUITE 207
WASHINGTON, DC 20001

HOWARD COUNTY FOREST CONSERVATION WORKSHEET

ZONED CAC-CLJ
NET TRACT AREA: 5.63 AC
A. TOTAL TRACT AREA 5.63 AC
B. AREA WITHIN 100 YEAR FLOODPLAIN 0.00 AC
C. AREA TO REMAIN IN AGRICULTURAL PRODUCTION 0.00 AC
D. NET TRACT AREA 5.63 AC
LAND USE CATEGORY:
INPUT THE NUMBER "1" UNDER THE APPROPRIATE LAND USE ZONING, AND LIMIT TO ONLY ONE ENTRY. ZONED CAC-CLJ
ARA MDR IDA HDR MPD CIA
0 0 0 0 1 0
E. AFFOREST THRESHOLD 15% X D = 0.84 AC
F. CONSERVATION THRESHOLD 15% X D = 0.84 AC
EXISTING FOREST COVER:
G. EXISTING FOREST COVER (EXCLUDING FLOODPLAIN) = 0.00 AC
H. AREA OF FOREST ABOVE AFFORESTATION THRESHOLD = 0.00 AC
I. AREA OF FOREST ABOVE CONSERVATION THRESHOLD = 0.00 AC
BREAK EVEN POINT:
(0.2 X 1) + F = BREAK EVEN POINT
J. FOREST RETENTION WITH NO MITIGATION = 0.00 AC
K. CLEARING PERMITTED WITHOUT MITIGATION = 0.00 AC
PROPOSED FOREST CLEARING:
L. TOTAL AREA OF FOREST TO BE CLEARED = 0.00 AC
M. TOTAL AREA OF FOREST TO BE RETAINED = 0.00 AC
PLANTING REQUIREMENTS:
N. REFORESTATION FOR CLEARING ABOVE CONSERVATION THRESHOLD = 0.00 AC
P. REFORESTATION FOR CLEARING BELOW CONSERVATION THRESHOLD = 0.00 AC
Q. CREDIT FOR RETENTION ABOVE CONSERVATION THRESHOLD = 0.00 AC
R. TOTAL REFORESTATION REQUIRED (N+P-Q) = 0.00 AC
S. TOTAL AFFORESTATION REQUIRED = 0.84 AC
T. TOTAL REFORESTATION AND AFFORESTATION REQUIRED = 0.84 AC
TOTAL FOREST CONSERVATION OBLIGATION= 0.84 AC
OBLIGATION TO BE FULFILLED BY FEE-IN-LIEU FOR THE (0.84 AC) 36,590.4 SF x 0.50 = \$18,295.2



BENCHMARK INFORMATION

THE BEARINGS SHOWN ON THIS PLAT ARE REFERRED TO THE SYSTEM OF COORDINATES ESTABLISHED IN THE MARYLAND COORDINATE SYSTEM (NAD 83) AS PROJECTED BY THE FOLLOWING HOWARD COUNTY GEODETIC CONTROL STATIONS:
50BA (NORTH) 527,561.678 (E) 1,359,772.604 (ELEV.) 249.423'
50B5 (NORTH) 524,999.375 (EAST) 1,357,925.748 (ELEV.) 178.181'

SHEET INDEX

DESCRIPTION	SHEET NO
COVER SHEET & FOREST CONSERVATION DETAILS	1 OF 12
EXISTING CONDITION & DEMOLITION PLAN	2 OF 12
SITE AND UTILITY PLAN	3 OF 12
SITE DETAILS	4 OF 12
GRADING AND SEDIMENT CONTROL PLAN	5 OF 12
SEDIMENT AND EROSION CONTROL DETAILS	6 OF 12
STORM DRAIN AND UTILITY PROFILES	7 OF 12
UTILITIES PROFILES	8 OF 12
STORM DRAIN DRAINAGE AREA MAP	9 OF 12
LANDSCAPE PLAN AND DETAILS	10 OF 12
ROAD IMPROVEMENTS AND DETAILS, AND LANDSCAPE DETAILS	11 OF 12
SWM FACILITY DETAILS I	12 OF 12

ADDRESS CHART

BLDG. NO	STREET ADDRESS
1	9601 NORTH LAUREL ROAD

PERMIT INFORMATION CHART

PROJECT NAME	SECTION/AREA	LOT/PARCEL
ASHBURY CT RETAIL & 140 APARTMENTS	N/A	PARCEL 379, 408, 423 HOWARD COUNTY, MARYLAND
DEED REF: 9901/220	BLOCK NO	ZONE
PLAT NO 21109	10	CAC
	TAX MAP	ELECT DIST
	50	6TH
		CENSUS TR
		6089.03
WATER CODE: C-04		SEWER CODE: 7103500

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER	DATE
HOWARD COUNTY HEALTH DEPARTMENT	

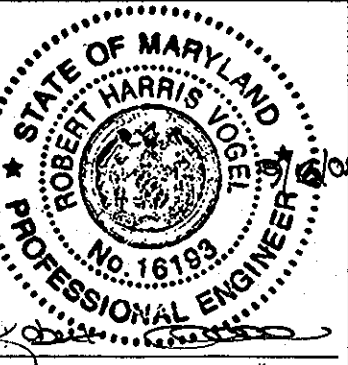
NO.	REVISION	DATE
3	REVISE PLAN TO SHOW NEW PARCEL LINE FOR PARCELS A-1 & A-2	9/20/11
2	REVISE PLAN TO SHOW SHARED ACCESS EASEMENT	
1	RELOCATE BENCHES AND SIDEWALKS ALONG ROUTE 1	10/30/07
1	REVISE HANDICAP SPACE LOCATION	8-8-07

COVER SHEET FOREST CONSERVATION DETAILS SITE DEVELOPMENT PLAN

ASHBURY COURTS

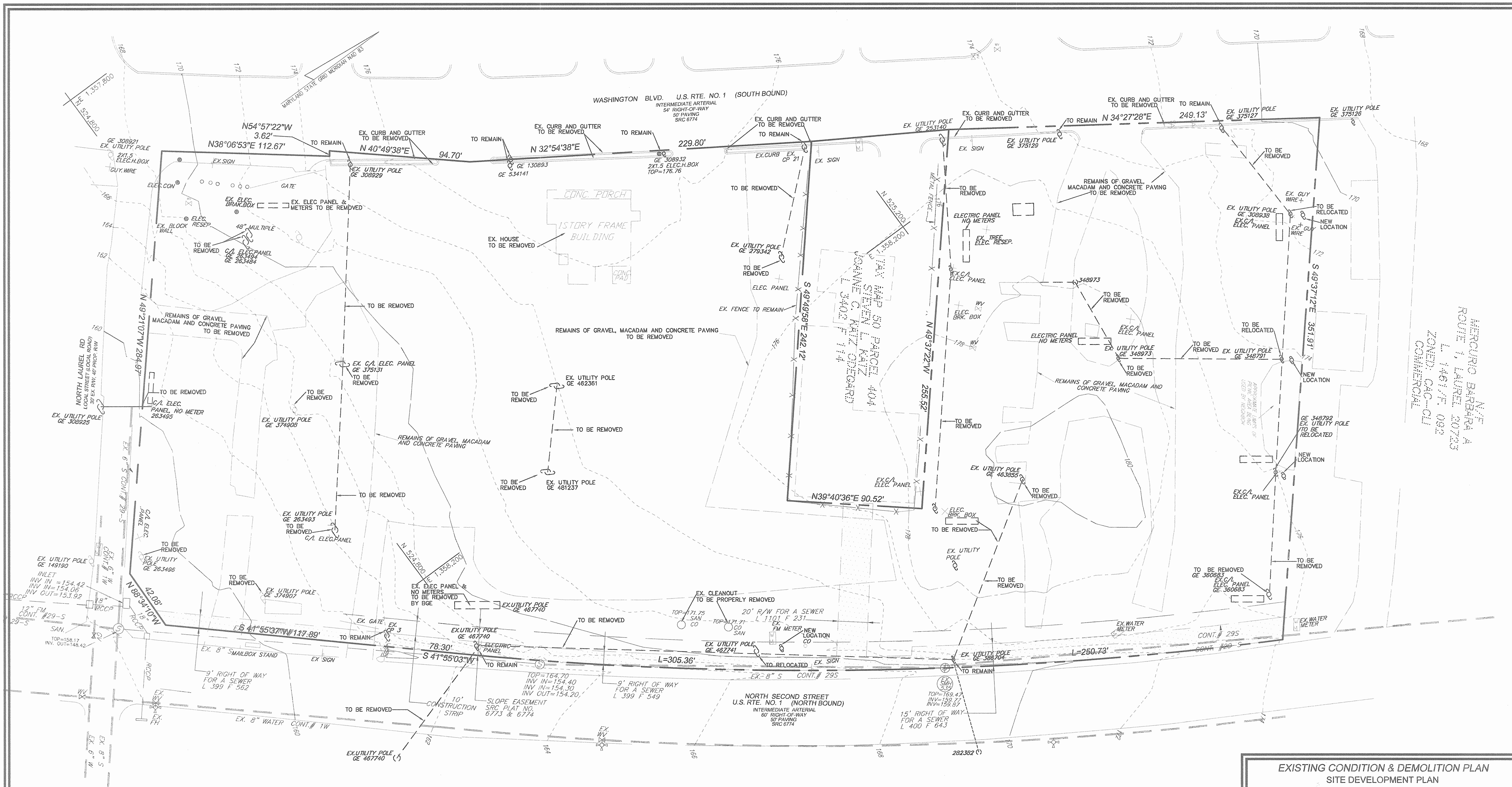
RETAIL AND 140 APARTMENT HOUSING UNITS
BUILDABLE PARCEL A-1 & A-2
TAX MAP 50 GRID 10, PARCEL 379, 408, 423
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961



DESIGN BY: RHW/RJM
DRAWN BY: RJM/R
CHECKED BY: RHW
DATE: JUNE 2006
SCALE: AS SHOWN
W.O. NO.: 05-51.00

1 SHEET OF 12



EXISTING CONDITION AND DEMOLITION PLAN
SCALE: 1"=30'

LEGEND

- EX. 2 FOOT CONTOUR
- EX. 10 FOOT CONTOUR
- ▨ R/W FOR A SEWER
- ⊙ EX. POWER POLE
- ✕ EX. FENCE

OWNER
10071 WBO LLC
C/O BUILDING EXCHANGE COMPANY
9011 ARBORETUM PKWY STE 300
RICHMOND, VA 23236

DEVELOPER
10071 WBO LLC
C/O PATRIOT GROUP
1003 K STREET, NW
SUITE 207
WASHINGTON, DC 20001

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT		APPROVED: DEPARTMENT OF PLANNING AND ZONING	
_____ COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT	_____ DATE	_____ CINDY HAMM CHIEF, DIVISION OF LAND DEVELOPMENT	_____ DATE
_____ DATE	_____ DATE	_____ CHIEF, DEVELOPMENT ENGINEERING DIVISION	_____ DATE
_____ DATE	_____ DATE	_____ DIRECTOR	_____ DATE
NO.	REVISION	DATE	

EXISTING CONDITION & DEMOLITION PLAN
SITE DEVELOPMENT PLAN
ASHBURY COURTS
RETAIL AND
140 APARTMENT HOUSING UNITS
BUILDABLE BULK PARCEL A

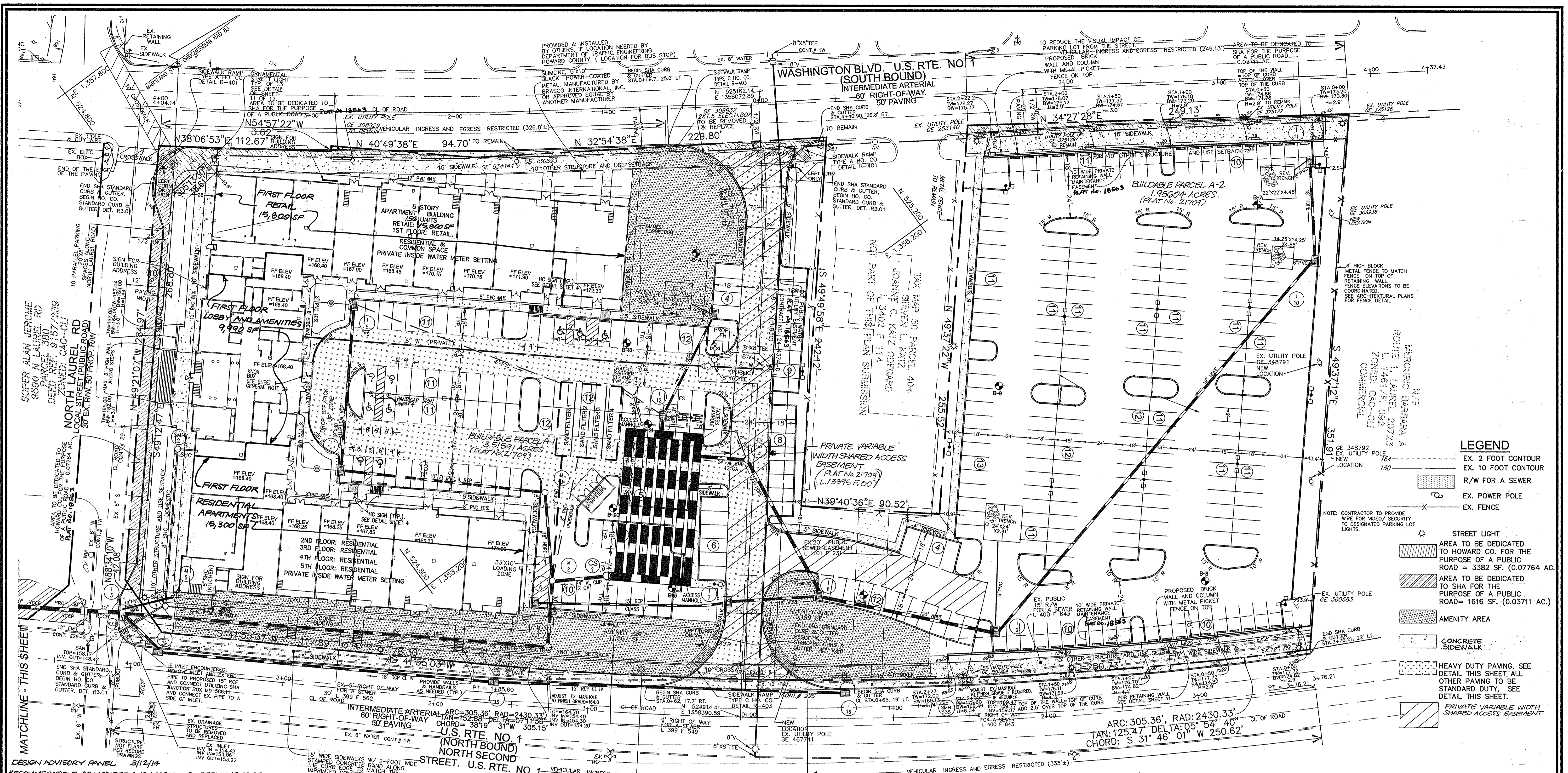
TAX MAP 50 GRID 10, PARCEL 379, 408, 423
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET, ELLICOTT CITY, MD 21043
TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RHR/RJM
DRAWN BY: RJM
CHECKED BY: RHW
DATE: AUGUST 2008
SCALE: AS SHOWN
W.O. NO.: 05-51.00

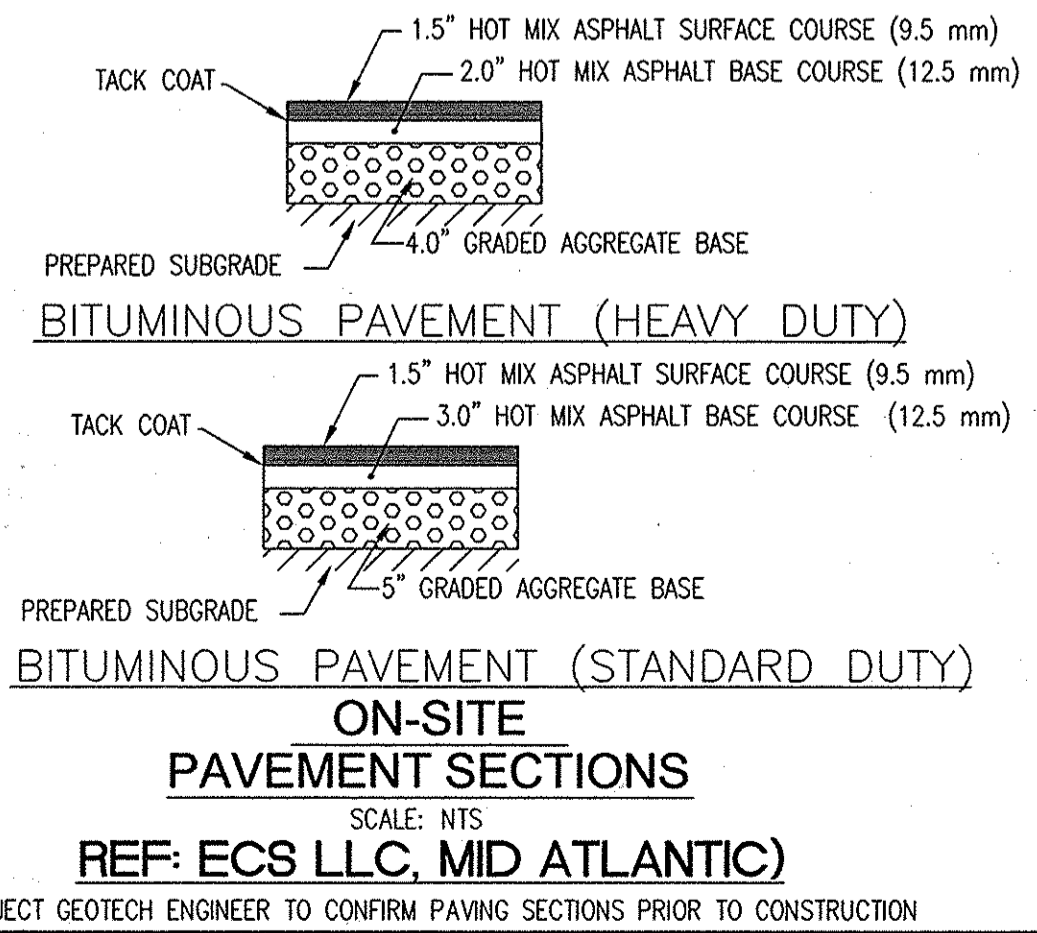
2 SHEET OF 12

N/T
 HERRING BARBARA A
 ROUTE 1, LAUREL 20723
 L 146175 082
 ZONED CAC-O1
 COMMERCIAL



- LEGEND**
- EX. 2 FOOT CONTOUR
 - EX. 10 FOOT CONTOUR
 - R/W FOR A SEWER
 - EX. POWER POLE
 - EX. FENCE
 - STREET LIGHT
 - AREA TO BE DEDICATED TO HOWARD CO. FOR THE PURPOSE OF A PUBLIC ROAD = 3382 SF. (0.07764 AC.)
 - AREA TO BE DEDICATED TO SHA FOR THE PURPOSE OF A PUBLIC ROAD = 1616 SF. (0.03711 AC.)
 - AMENITY AREA
 - CONCRETE SIDEWALK
 - HEAVY DUTY PAVING, SEE DETAIL THIS SHEET ALL OTHER PAVING TO BE STANDARD DUTY, SEE DETAIL THIS SHEET.
 - PRIVATE VARIABLE WIDTH SHARED ACCESS EASEMENT

- DESIGN ADVISORY PANEL 3/12/14**
- RECOMMENDATIONS AS MODIFIED AND ACCEPTED BY DEPARTMENT OF PLANNING AND ZONING DIRECTOR
1. PROVIDE RETAIL PROGRAM: PROVIDE VERTICAL BANNERS AND LIGHT BOX WINDOWS ON THE WEST ELEVATION
 2. CAST STONE CAP WHICH SITS ABOVE NEW MASONRY BASE WILL BE EITHER 6" OR 12"
 3. ADDITIONAL OR CHANGED LIGHTING WILL BE PROVIDED IN ORDER TO ENHANCE THE PROPERTY'S CURB APPEAL AND PROPERLY ILLUMINATE THE RETAIL AND PEDESTRIAN WALKWAYS.
 4. A DESIGN/BUILD LANDSCAPER WILL BE UTILIZED TO DETERMINE THE APPROPRIATE PLANT MATERIALS AND LOCATIONS. SUGGESTIONS BY THE DESIGN ADVISORY PANEL WILL BE STRONGLY CONSIDERED.
 5. SPANDREL PANELS WILL BE UTILIZED AT THE SOUTH BUILDING ELEVATION.



L 214 F 225, SRC PLAT NO. 6774
 L 229 F 582, SRC PLAT NO. 8737
 L 212 F 500, SRC PLAT NO. 6773 AND 6774
 L 217 F 327, SRC PLAT NO. 6773 AND 6774

OWNER
 10071 WBO LLC
 C/O BUILDING EXCHANGE COMPANY
 9011 BERTHUM PKWY STE 300
 RICHMOND, VA 23236

DEVELOPER
 10071 WBO LLC
 C/O PATRIOT GROUP
 1003 K STREET, NW
 SUITE 207
 WASHINGTON, DC 20001

SITE AND UTILITY PLAN
 SITE DEVELOPMENT PLAN
ASHBURY COURTS
 RETAIL AND
 156 APARTMENT HOUSING UNITS
 BUILDABLE PARCEL A-1 & A-2

TAX MAP 50 GRID 10, PARCEL 379, 408, 423
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET ELLICOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RHR/RJM/JM
 DRAWN BY: RJM/JM
 CHECKED BY: RHR
 DATE: AUGUST 2008
 SCALE: AS SHOWN
 W.O. NO.: 05-81.00

3 SHEET OF 12

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Harris 11/14/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

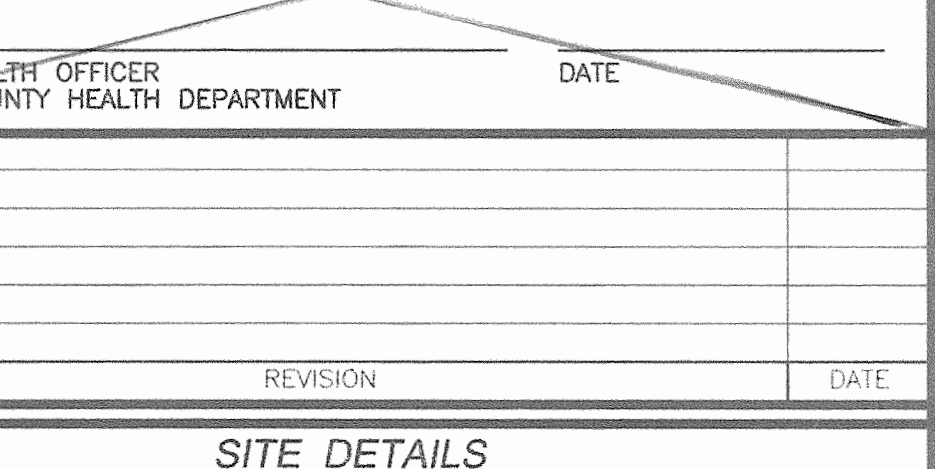
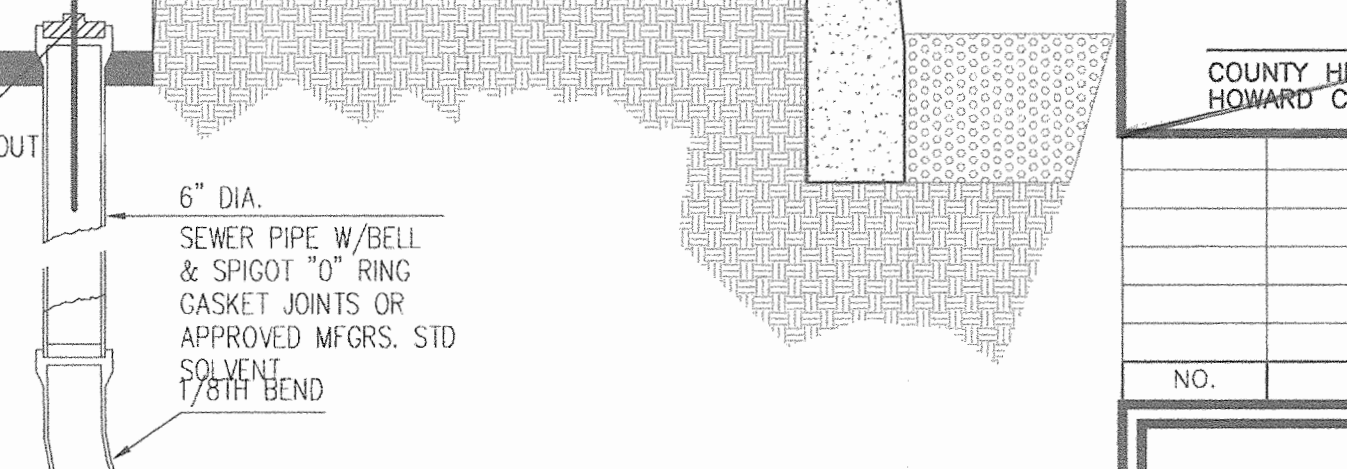
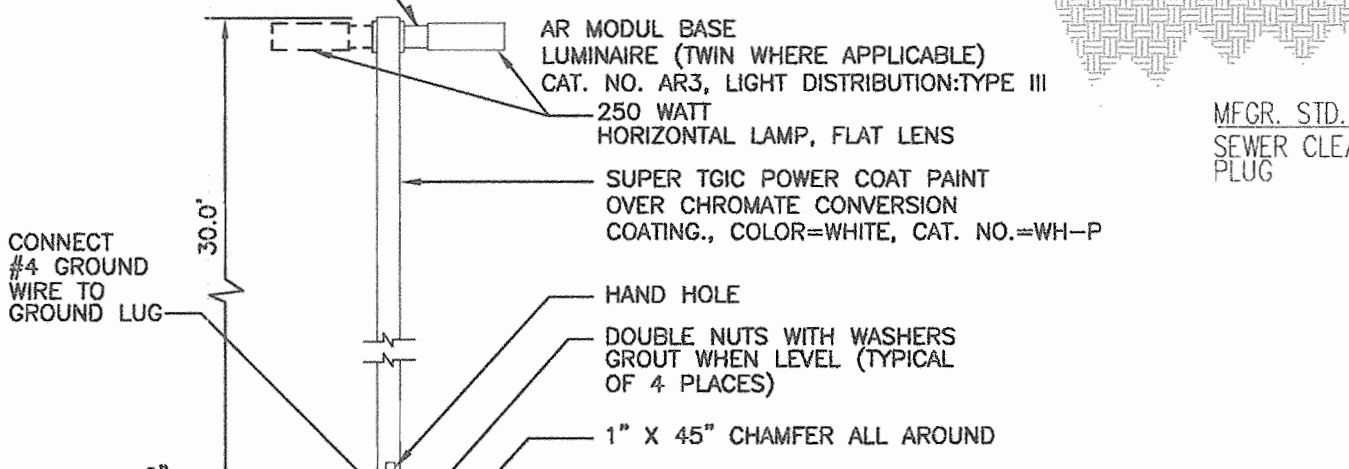
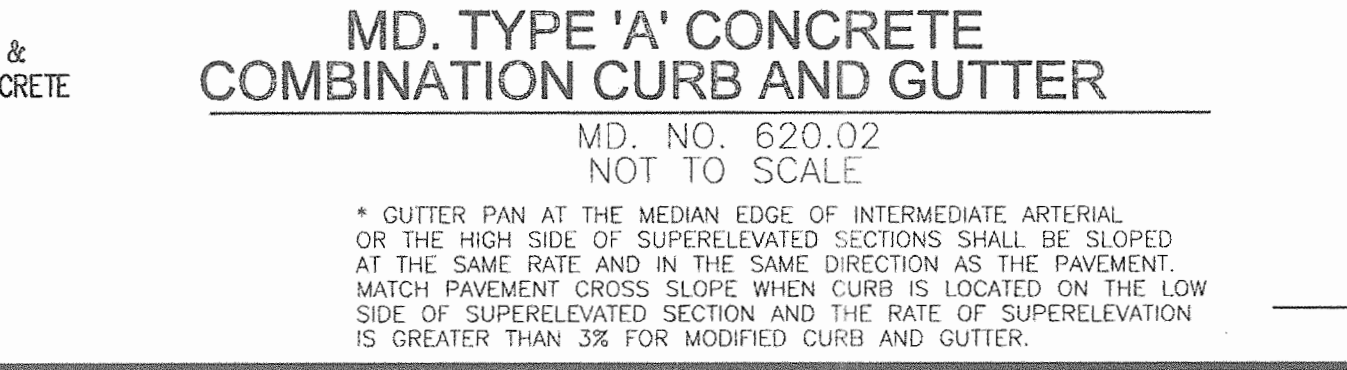
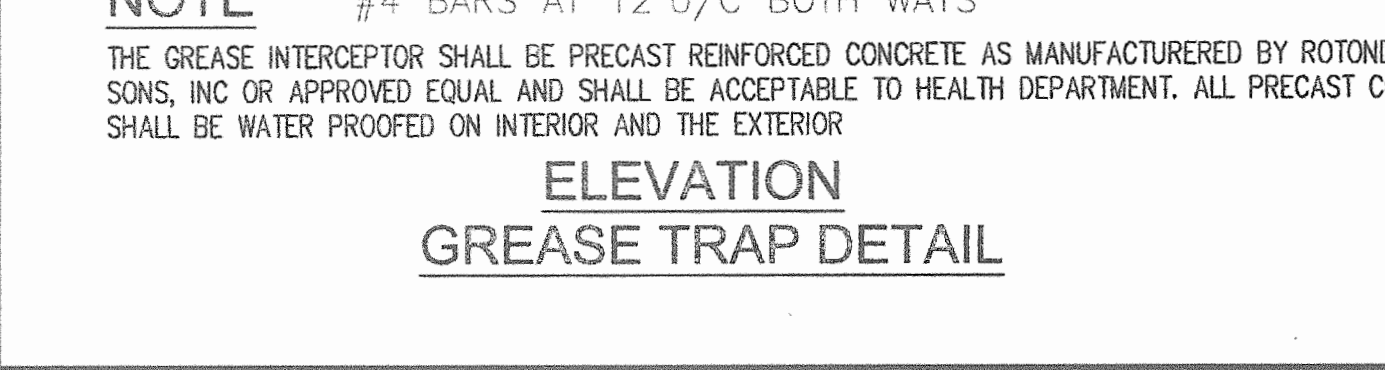
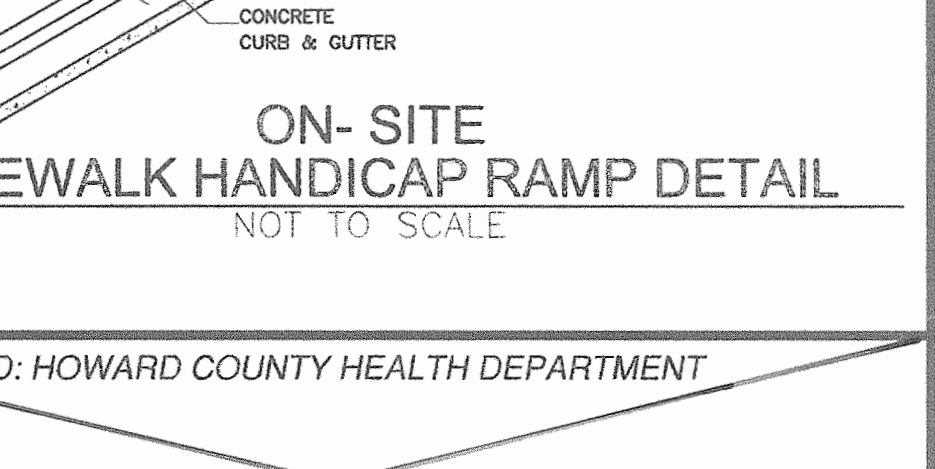
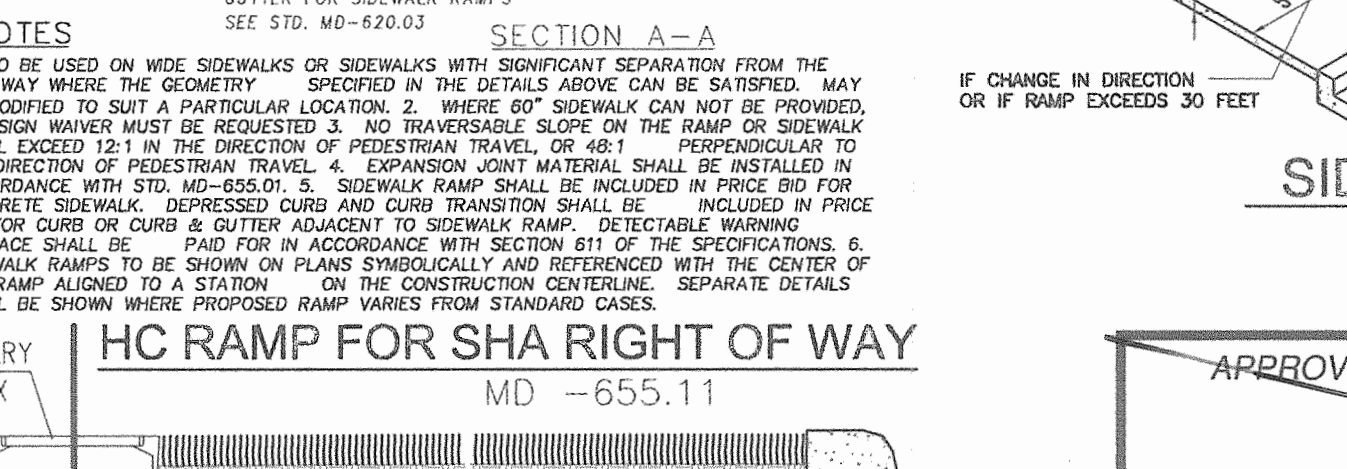
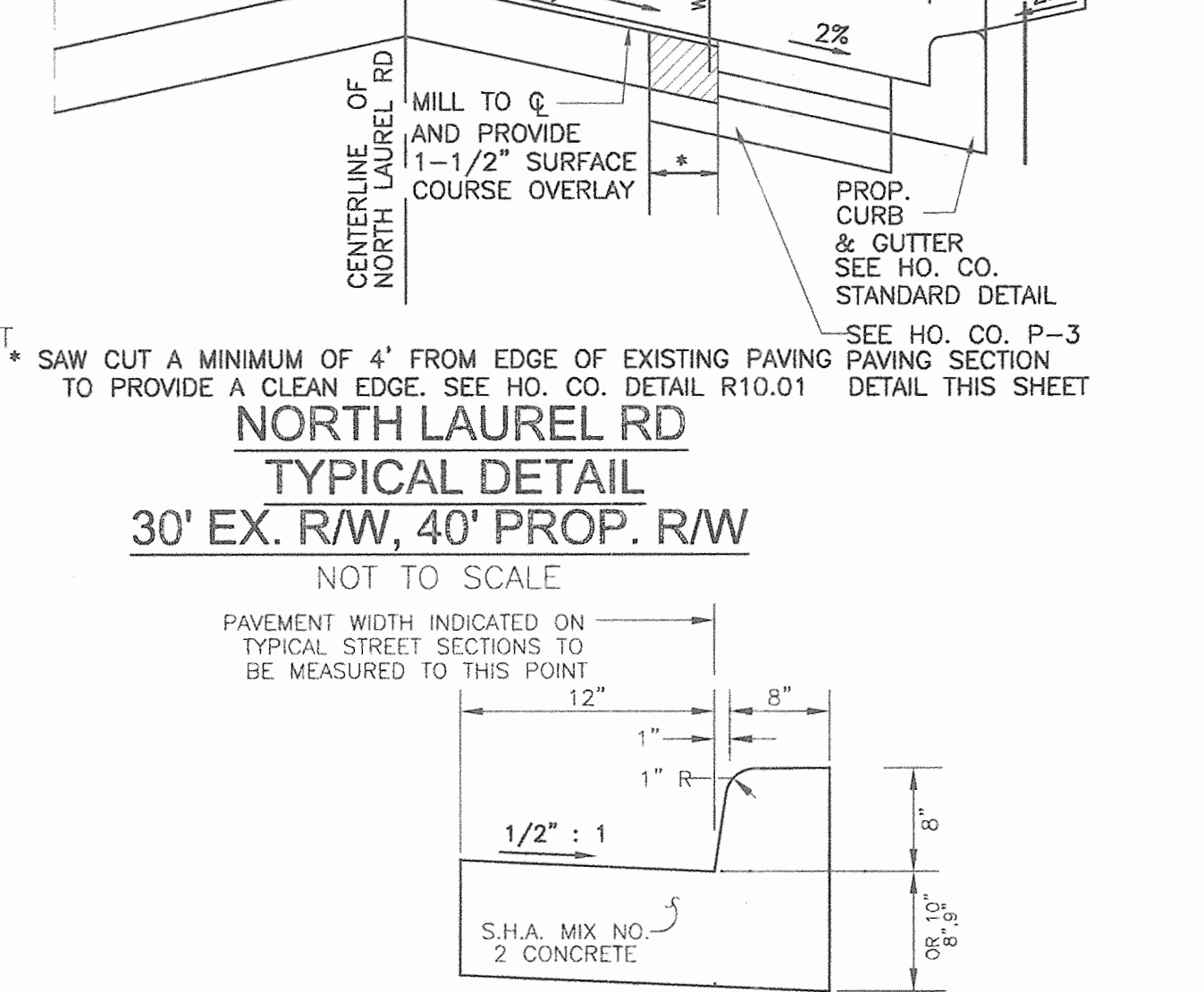
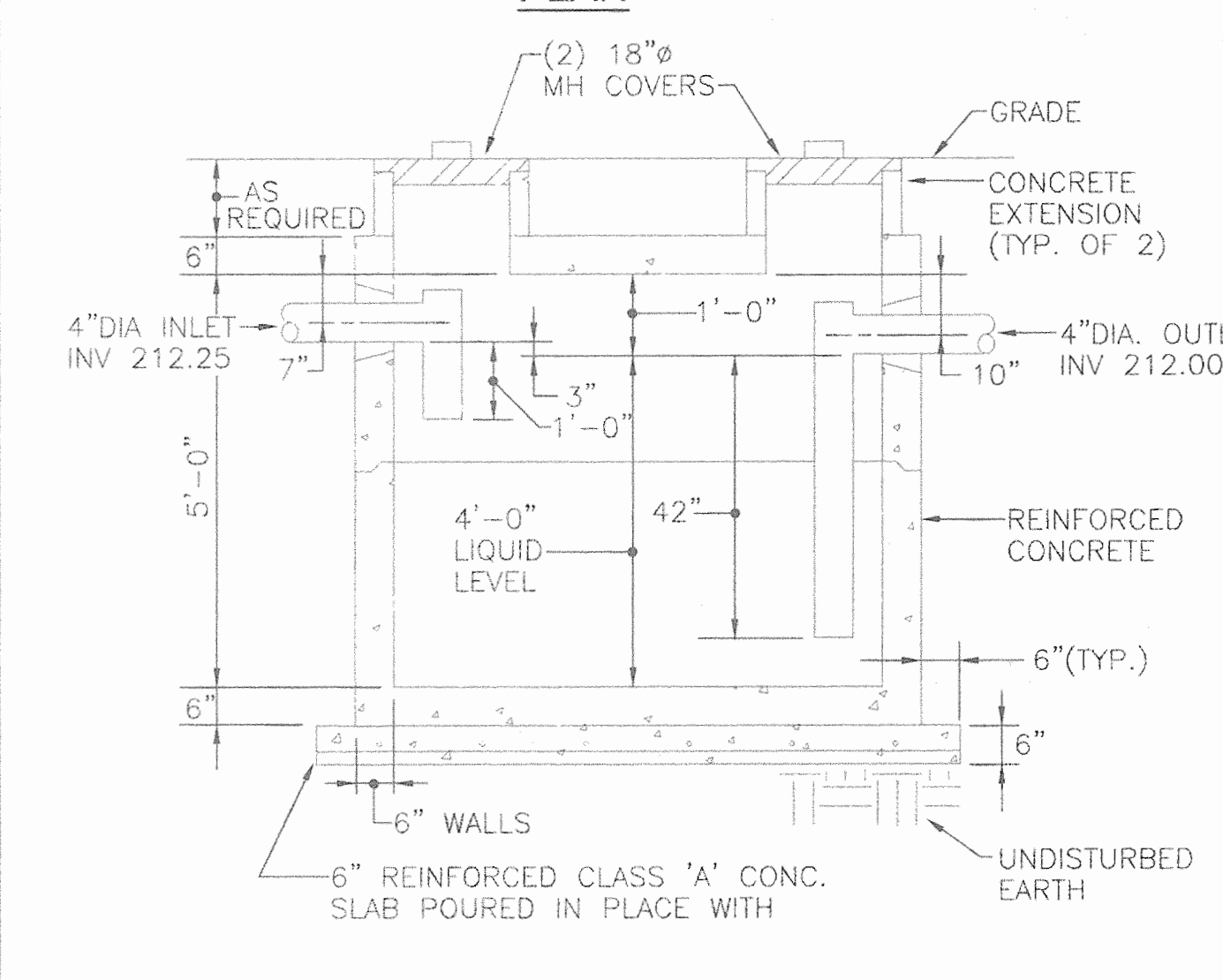
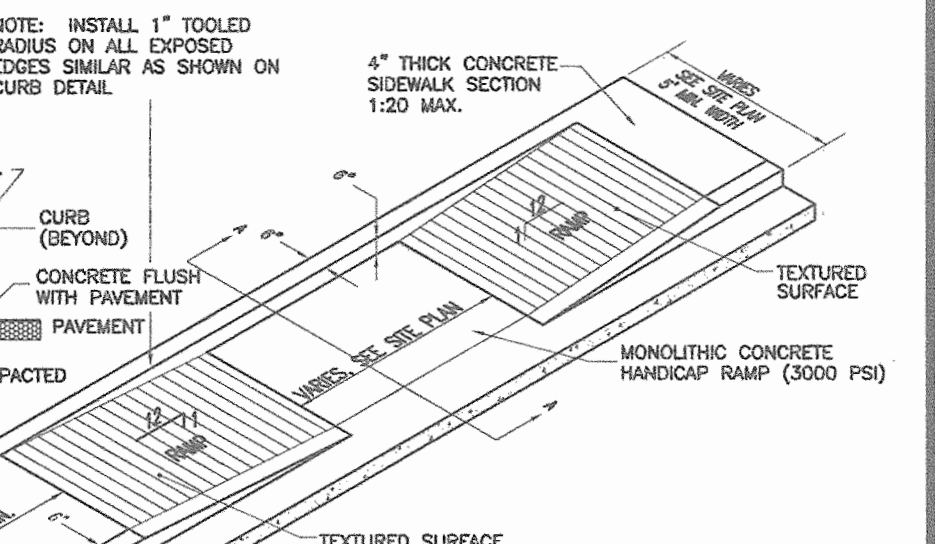
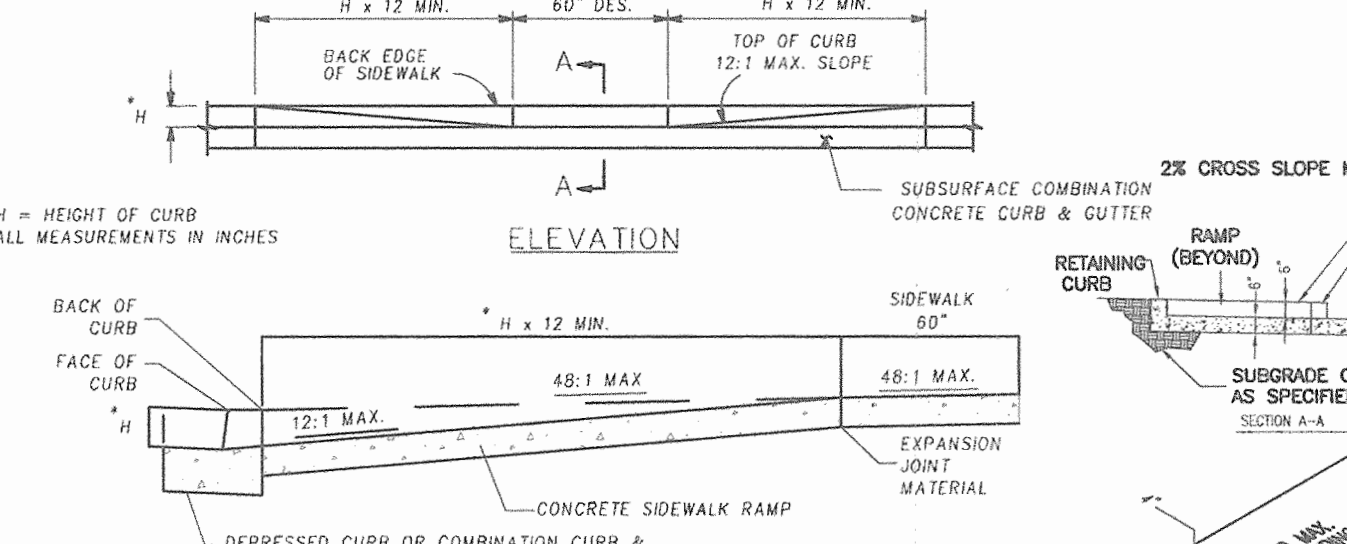
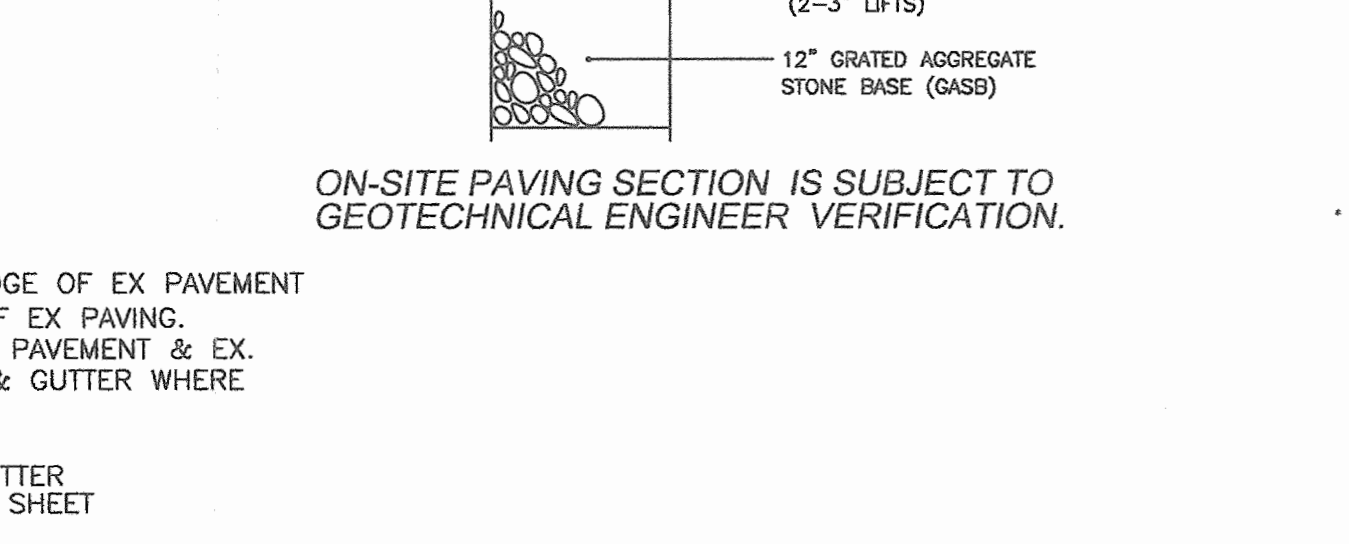
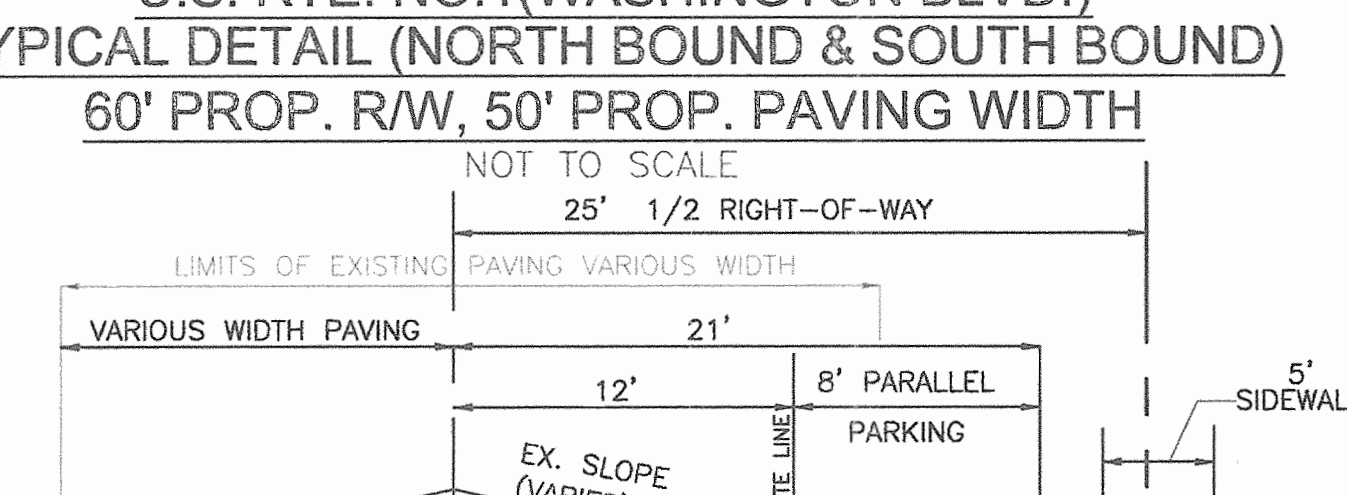
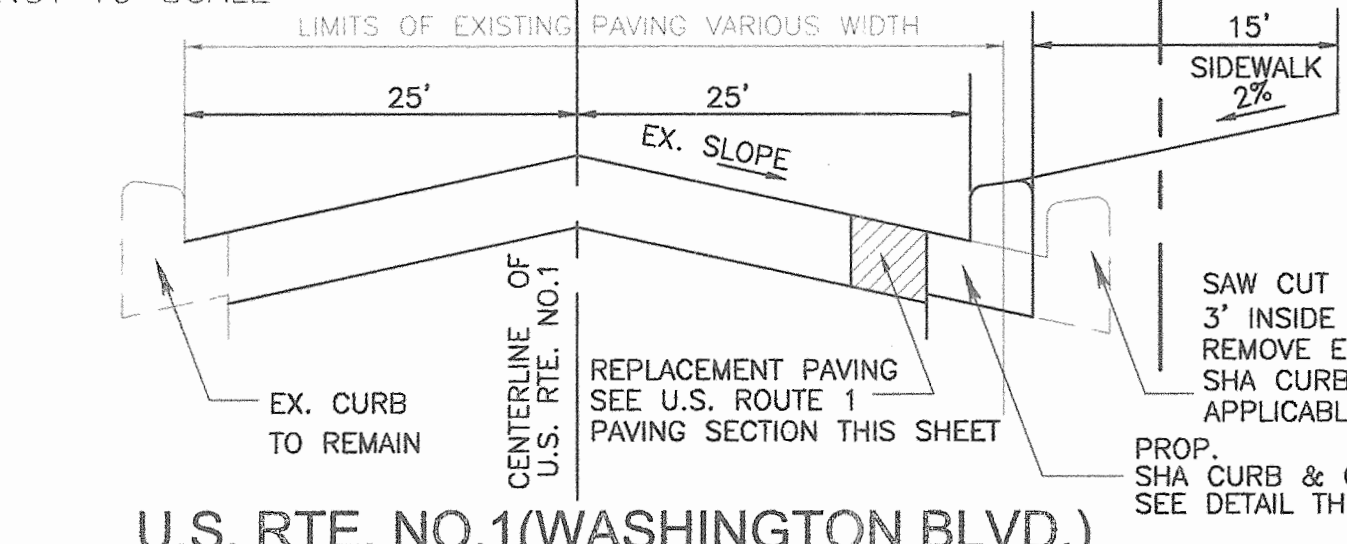
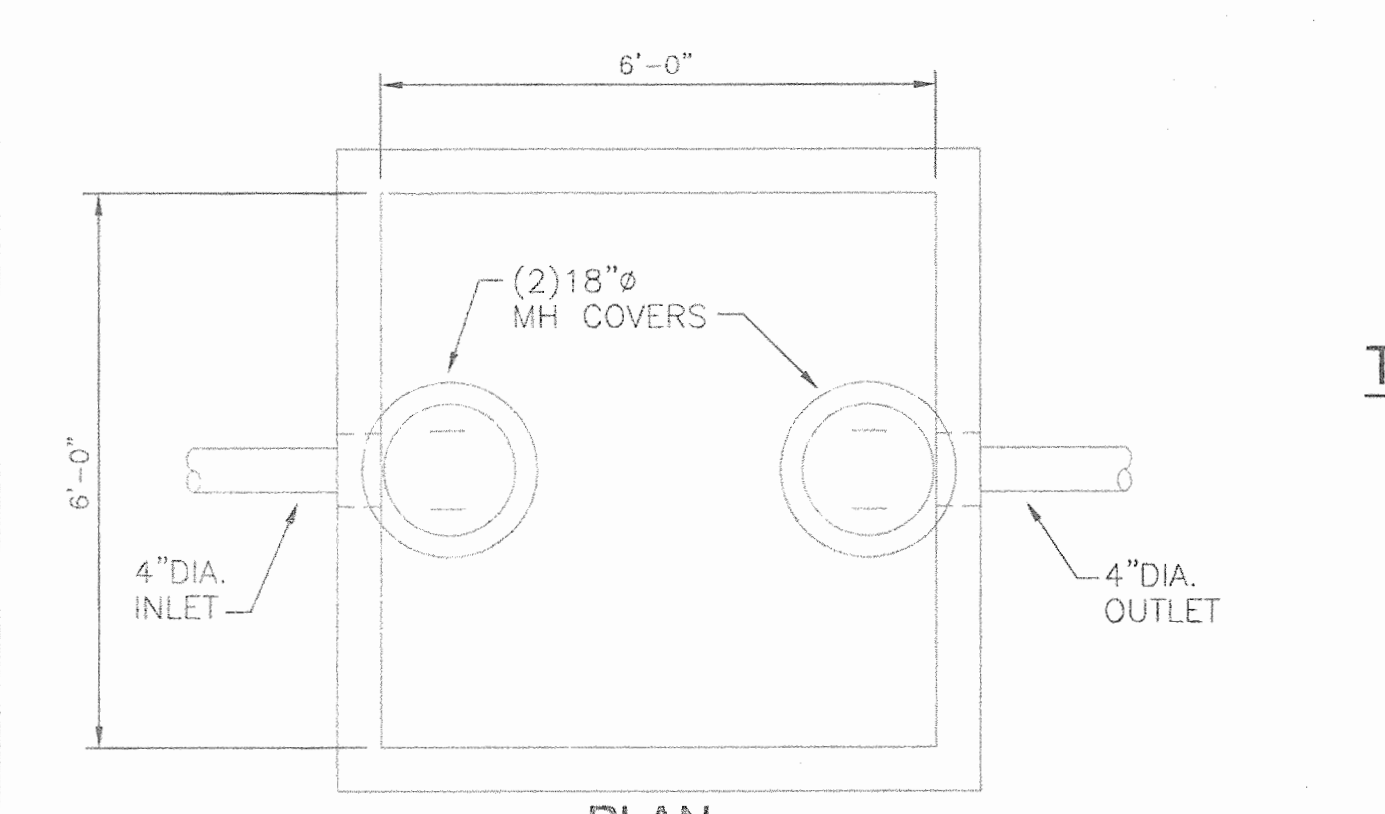
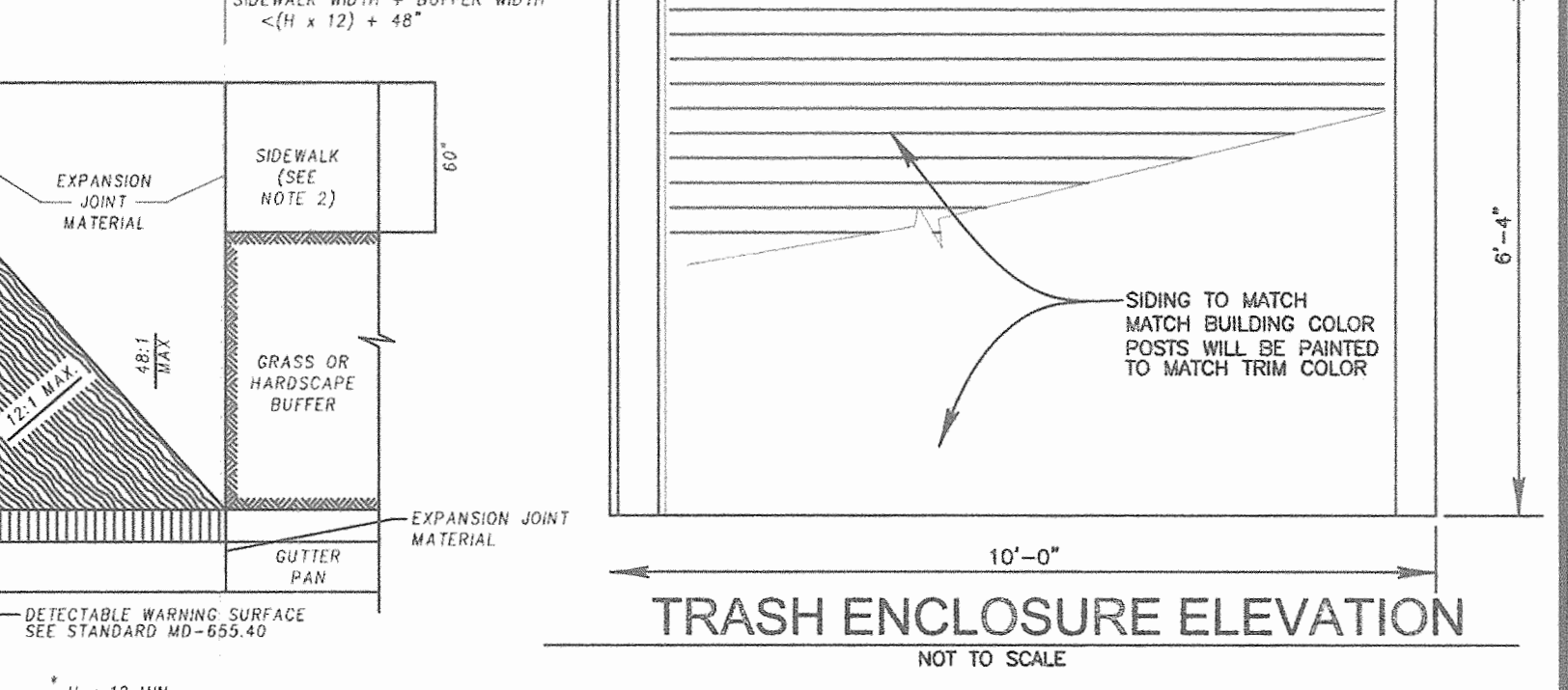
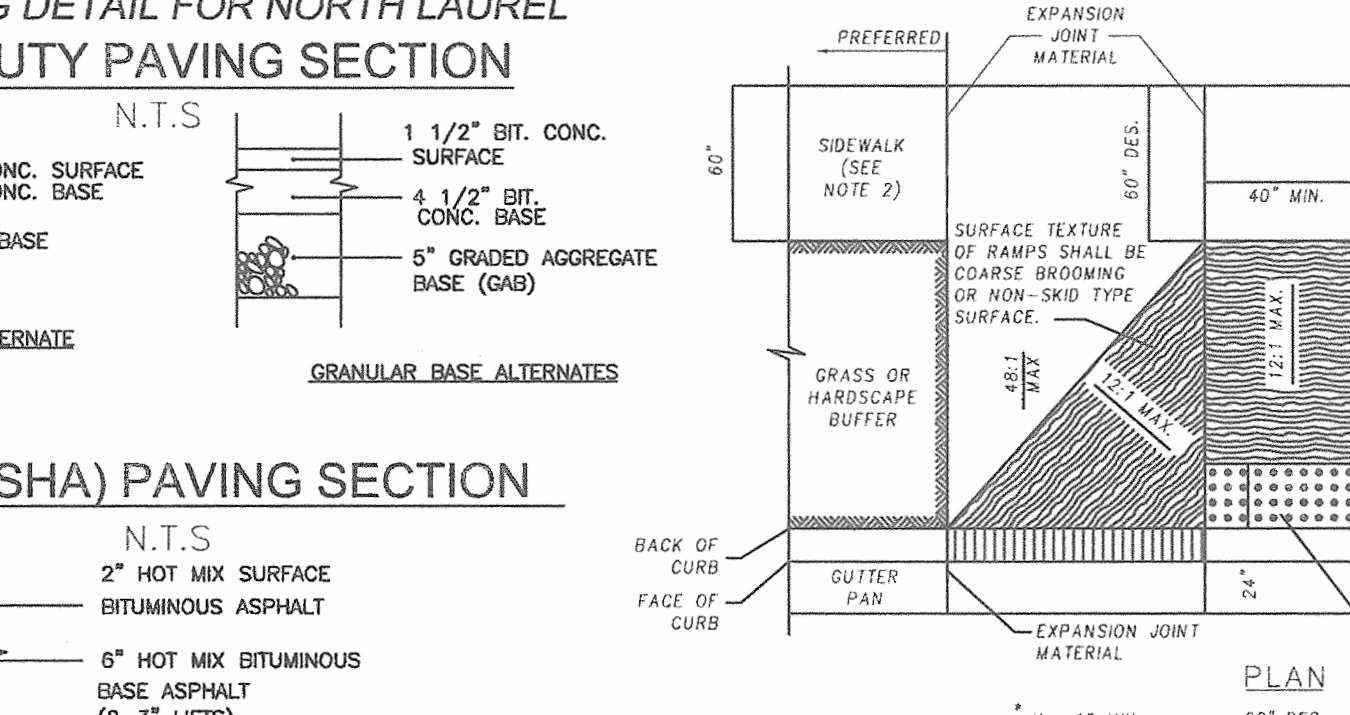
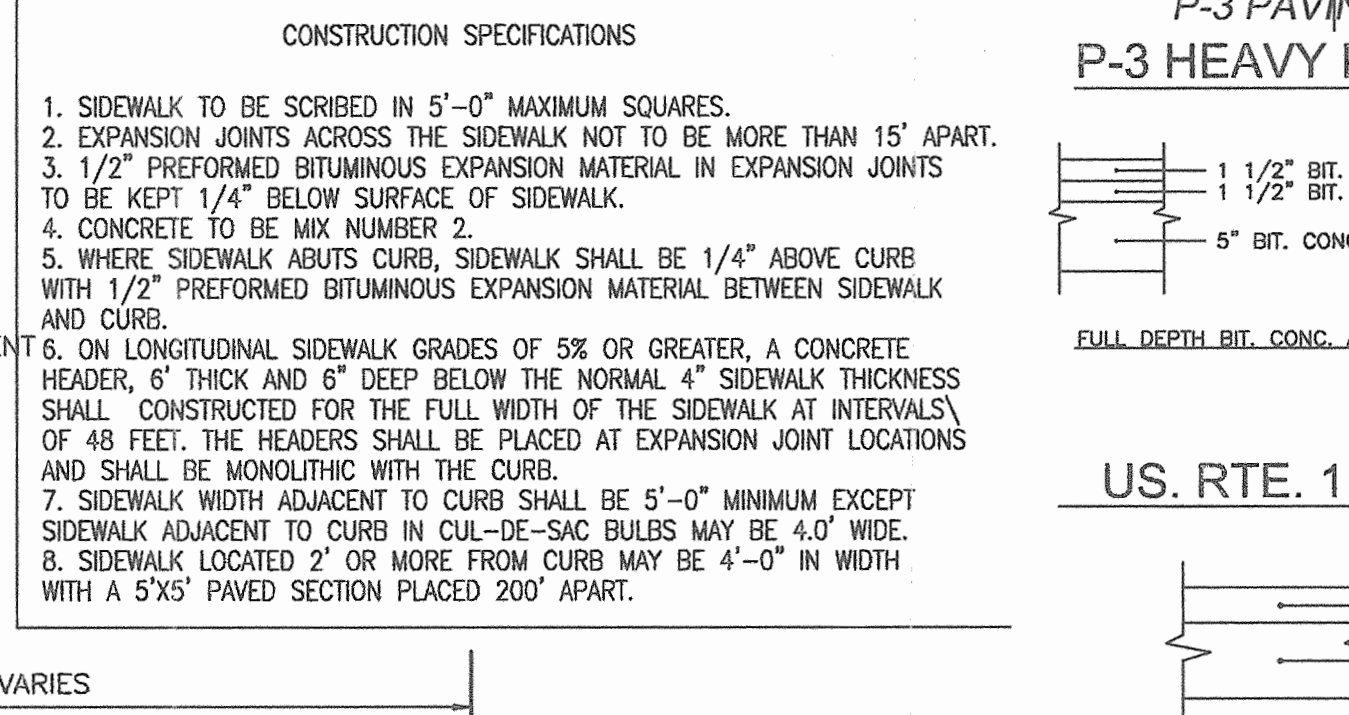
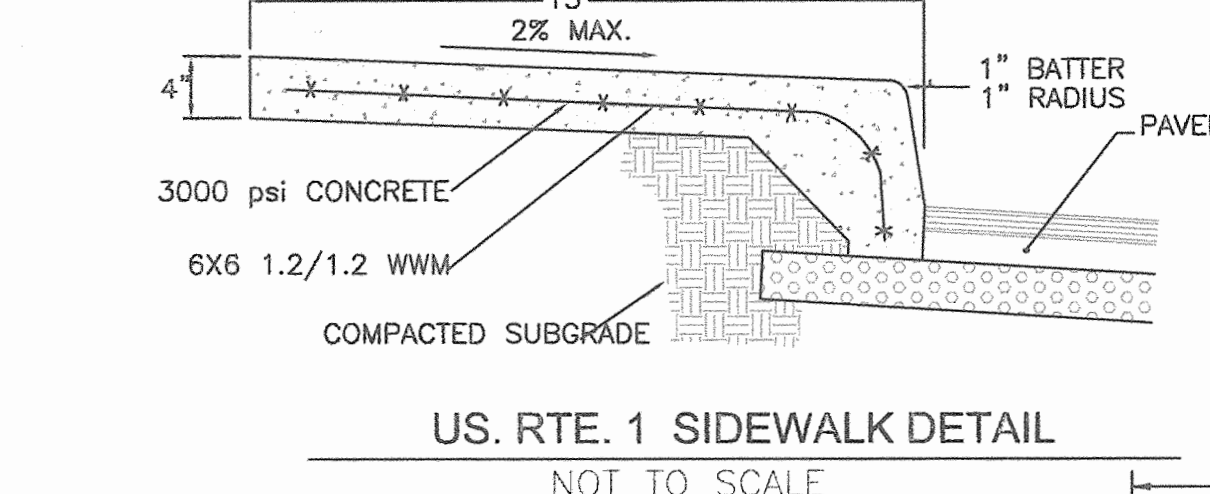
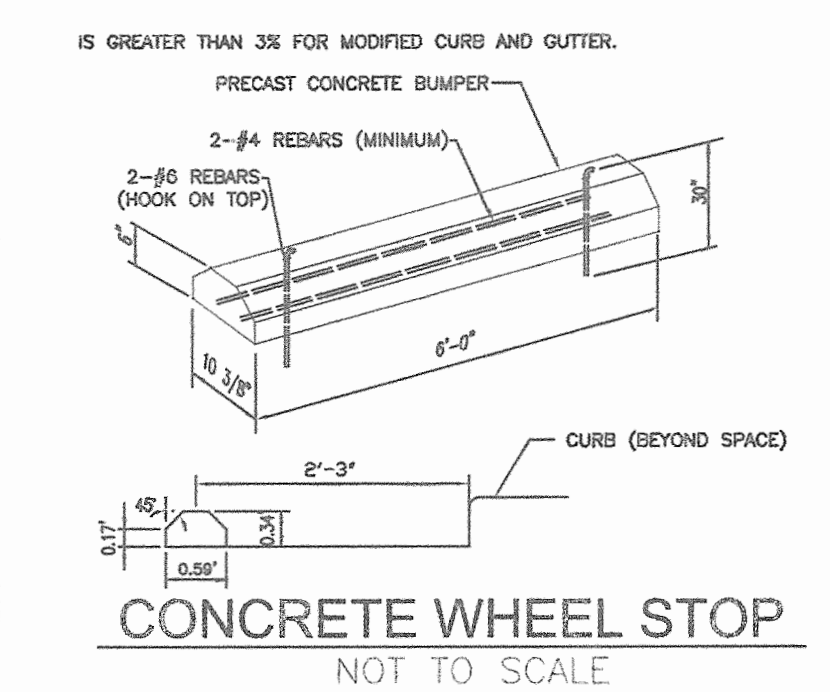
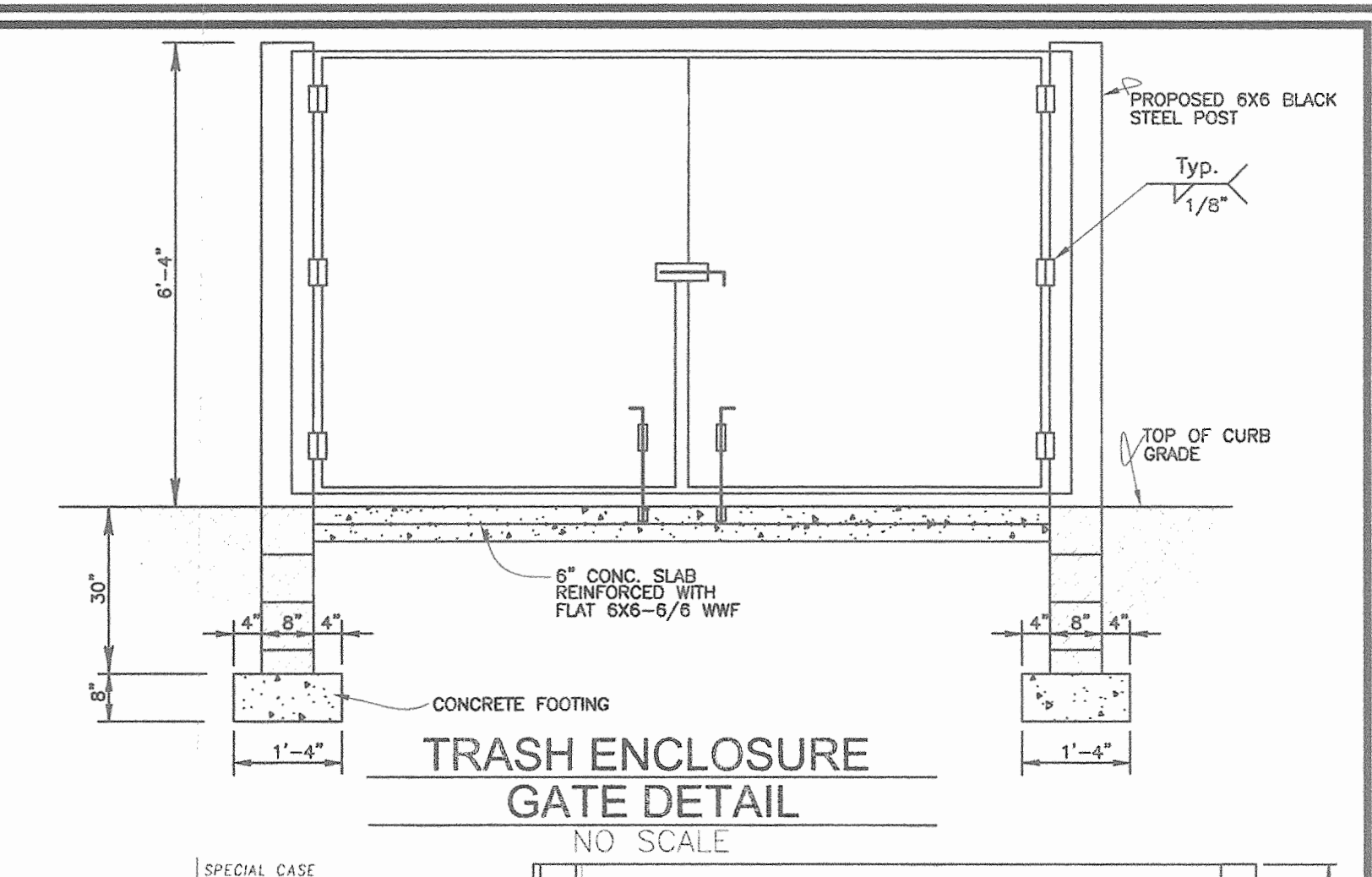
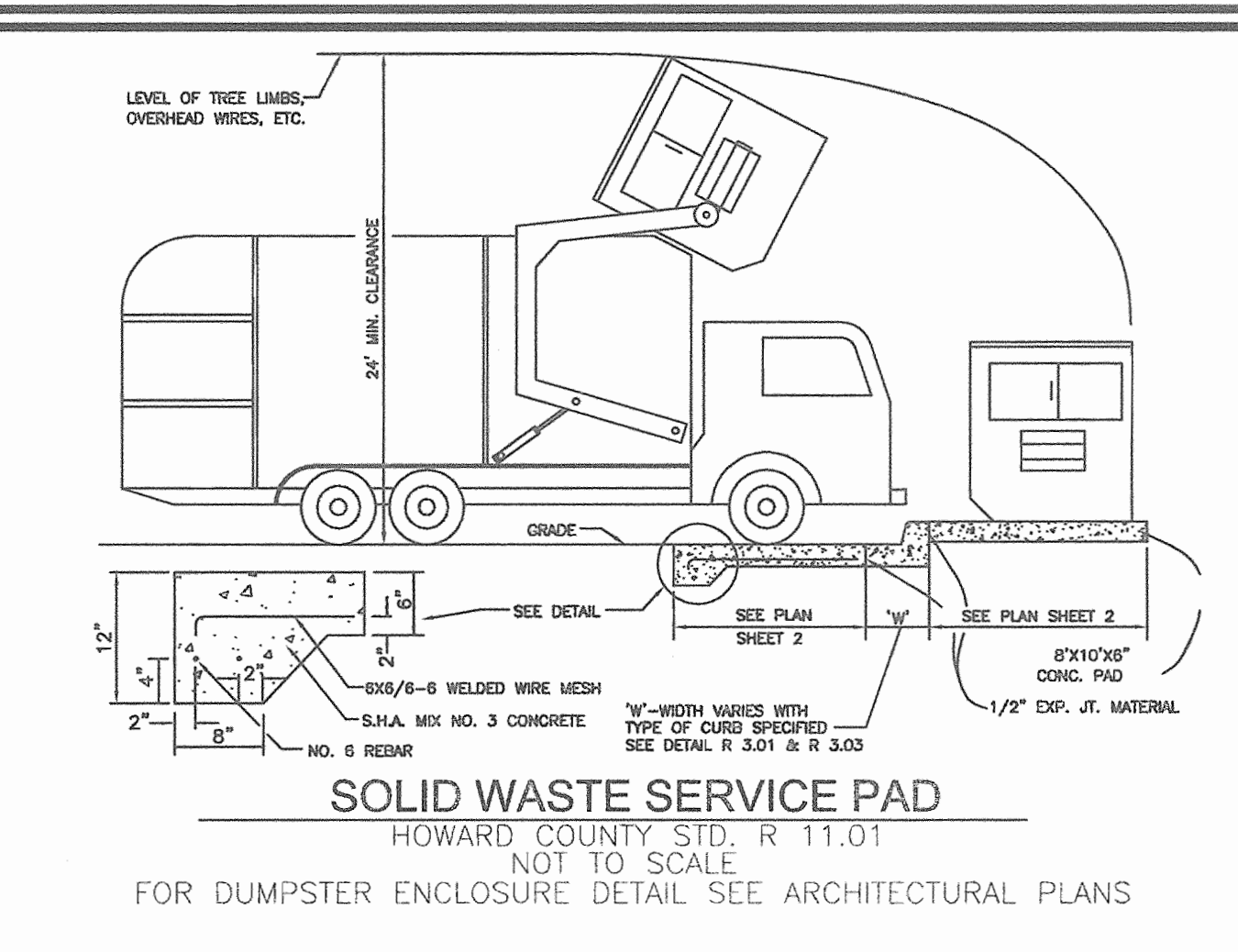
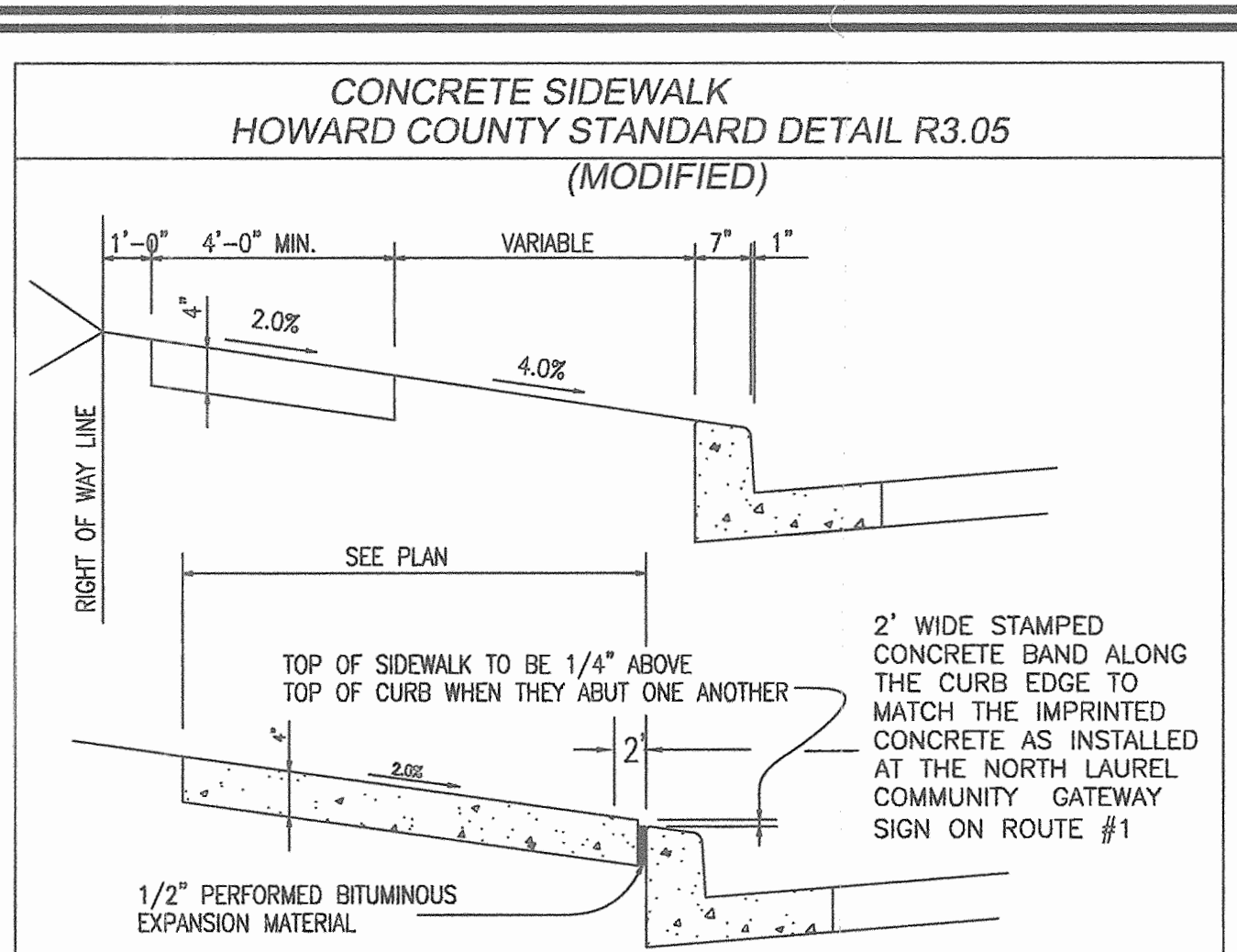
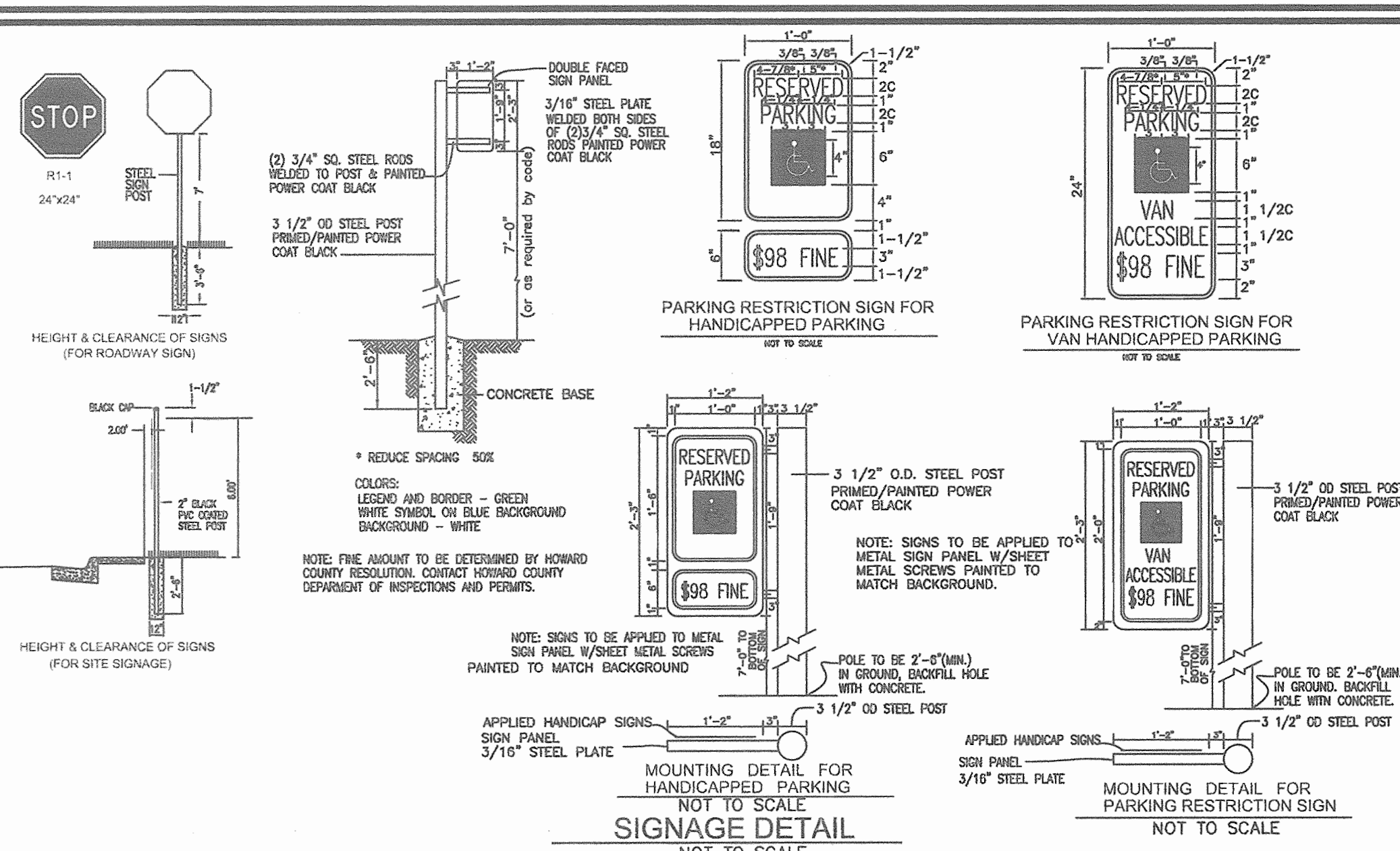
Michael H. Gough 1/15/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

DIRECTOR DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT 501 DATE

4	REVISE PART OF FIRST FLOOR RETAIL TO 16 APARTMENTS	7/24/2008
3	REVISE PLAN TO SHOW NEW PARCEL LINE AND PRIVATE VARIABLE WIDTH SHARED ACCESS EASEMENT	9/27/11
1	REVISE HANDICAP SINK LOCATION	8-8-07
NO.	REVISION	DATE



NOTE #4 BARS AT 12" O/C BOTH WAYS
THE GREASE INTERCEPTOR SHALL BE PRECAST REINFORCED CONCRETE AS MANUFACTURED BY ROTONDO &
SONS, INC OR APPROVED EQUAL AND SHALL BE ACCEPTABLE TO HEALTH DEPARTMENT. ALL PRECAST CONCRETE
SHALL BE WATER PROOFED ON INTERIOR AND THE EXTERIOR

**MD. TYPE 'A' CONCRETE
COMBINATION CURB AND GUTTER**

MD. NO. 620.02
NOT TO SCALE

* GUTTER PAN AT THE MEDIAN EDGE OF INTERMEDIATE ARTERIAL
OR THE HIGH SIDE OF SUPERELEVATED SECTIONS SHALL BE SLOPED
AT THE SAME RATE AND IN THE SAME DIRECTION AS THE PAVEMENT
MATCH PAVEMENT CROSS SLOPE WHEN CURB IS LOCATED ON THE LOW
SIDE OF SUPERELEVATED SECTION AND THE RATE OF SUPERELEVATION
IS GREATER THAN 3% FOR MODIFIED CURB AND GUTTER.

**POLE BASE DETAIL
FOR PARKING LOT LIGHTING**
NO SCALE

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hambo
CHIEF, DIVISION OF LAND DEVELOPMENT

John DeWitt
CHIEF, DEVELOPMENT ENGINEERING DIVISION

Dan A. Lough
DIRECTOR

DATE: 1/1/06

DATE: 9/16/06

DATE: 10/3/06

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

DATE

NO. REVISION DATE

SITE DETAILS
SITE DEVELOPMENT PLAN
ASHBURY COURTS
RETAIL AND
140 APARTMENT HOUSING UNITS
BUILDABLE BULK PARCEL A

TAX MAP 50 GRID 10, PARCEL 379, 408, 423
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS**
8407 MAIN STREET TEL: 410.461.7666
ELLIOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHR/RJM
DRAWN BY: RJM
CHECKED BY: RHV
DATE: AUGUST 2006
SCALE: AS SHOWN
W.O. NO.: 05-81.00

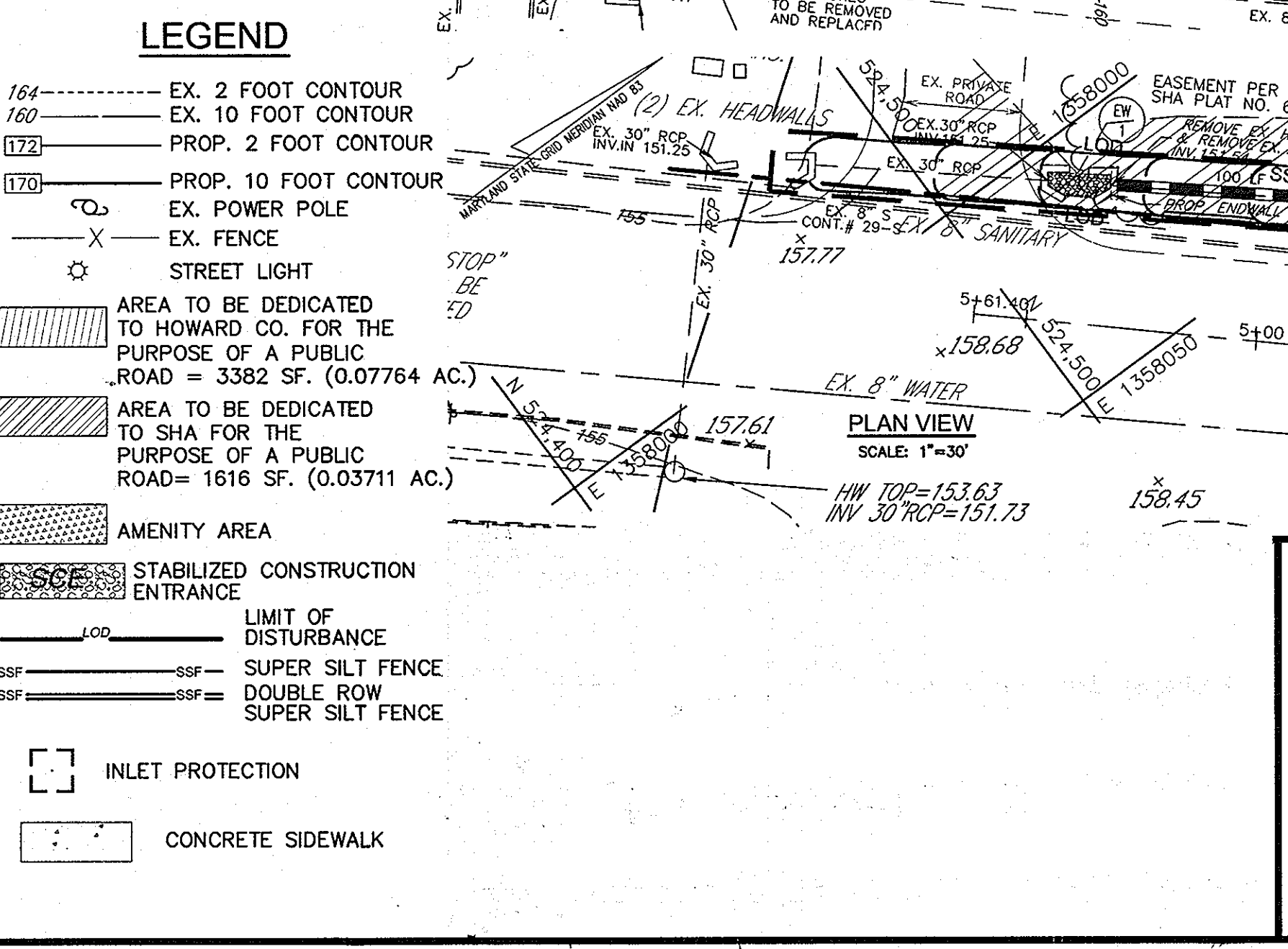
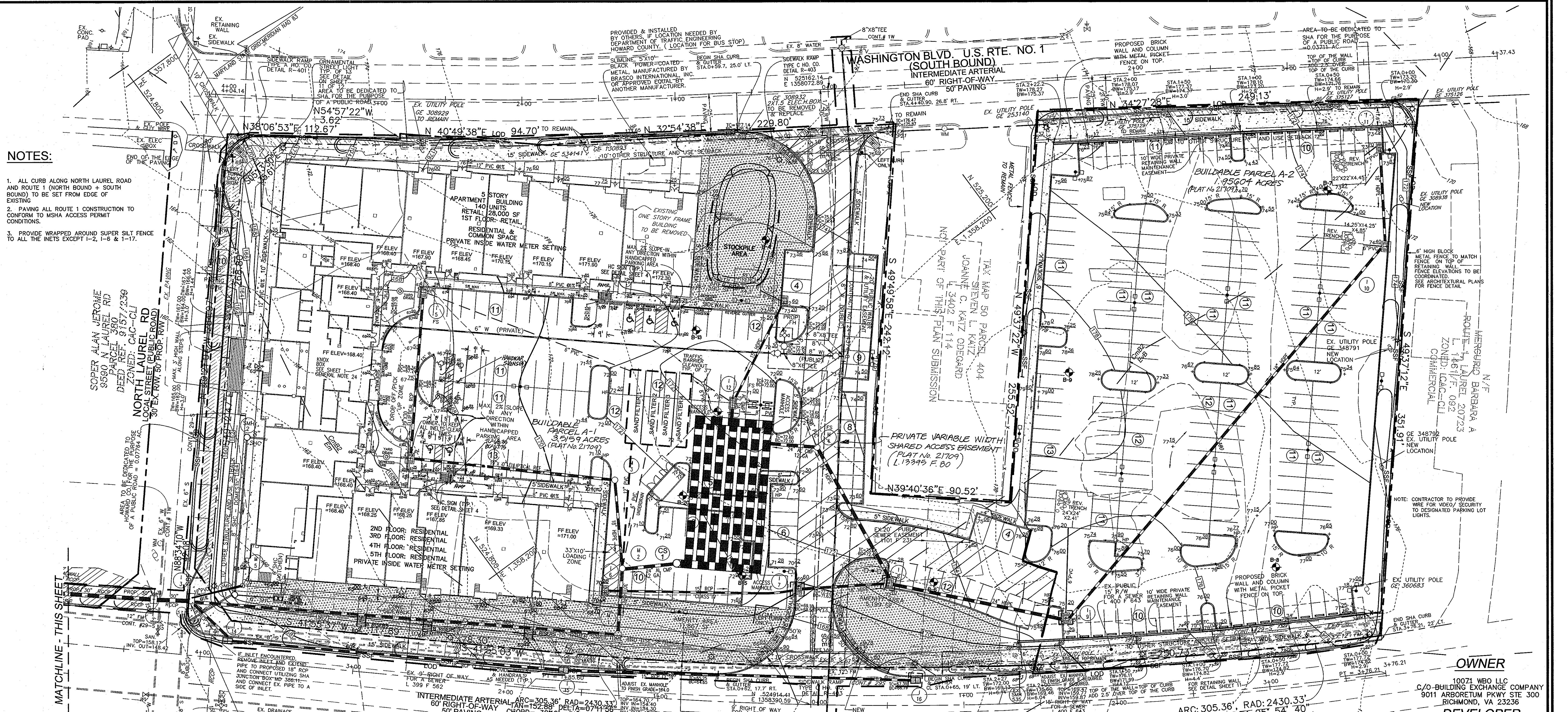
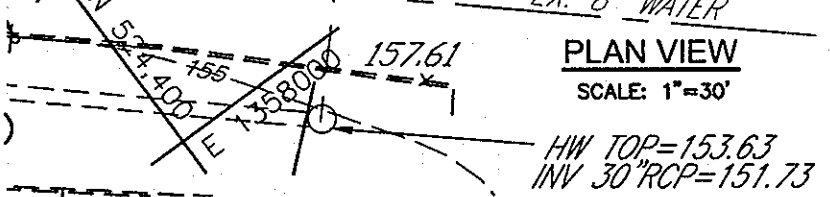
4 SHEET OF 12

NOTES:

1. ALL CURB ALONG NORTH LAUREL ROAD AND ROUTE 1 (NORTH BOUND + SOUTH BOUND) TO BE SET FROM EDGE OF EXISTING.
2. PAVING ALL ROUTE 1 CONSTRUCTION TO CONFORM TO MSHA ACCESS PERMIT CONDITIONS.
3. PROVIDE WRAPPED AROUND SUPER SILT FENCE TO ALL THE INETS EXCEPT 1-2, 1-6 & 1-17.

LEGEND

- 164----- EX. 2 FOOT CONTOUR
- 160----- EX. 10 FOOT CONTOUR
- (172)----- PROP. 2 FOOT CONTOUR
- (170)----- PROP. 10 FOOT CONTOUR
- EX. POWER POLE
- ×----- EX. FENCE
- ☆----- STREET LIGHT
- ▨----- AREA TO BE DEDICATED TO HOWARD CO. FOR THE PURPOSE OF A PUBLIC ROAD = 3382 SF. (0.07764 AC.)
- ▩----- AREA TO BE DEDICATED TO SHA FOR THE PURPOSE OF A PUBLIC ROAD = 1616 SF. (0.03711 AC.)
- ▧----- AMENITY AREA
- ▦----- STABILIZED CONSTRUCTION ENTRANCE
- LOD ----- LIMIT OF DISTURBANCE
- SSF ----- SUPER SILT FENCE
- DSSF ----- DOUBLE ROW SUPER SILT FENCE
- INLET PROTECTION
- CONCRETE SIDEWALK



DEVELOPER'S CERTIFICATE

"I WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
10071 WBO LLC DATE 09/15/06

ENGINEER'S CERTIFICATE

"I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 09/15/06
SIGNATURE OF ENGINEER DATE
ROBERT H. VOGEL

APPROVED: DEPARTMENT OF PLANNING AND ZONING

[Signature] 10/11/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

[Signature] 09/15/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 11/15/06
DIRECTOR DATE

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

[Signature] 9/12/06
NSDA - NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

[Signature] 9/14/06
HOWARD SCD DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER DATE
HOWARD COUNTY HEALTH DEPARTMENT SPP

GRADING AND SEDIMENT CONTROL PLAN

SITE DEVELOPMENT PLAN
ASHBURY COURTS

RETAIL AND
140 APARTMENT HOUSING UNITS
BUILDABLE PARCEL A-1 & A-2

TAX MAP 50 GRID 10
6TH ELECTION DISTRICT

10071 WBO LLC
C/O BUILDING EXCHANGE COMPANY
901 ARBORETUM PKWY STE 300
RICHMOND, VA 23256
DEVELOPER

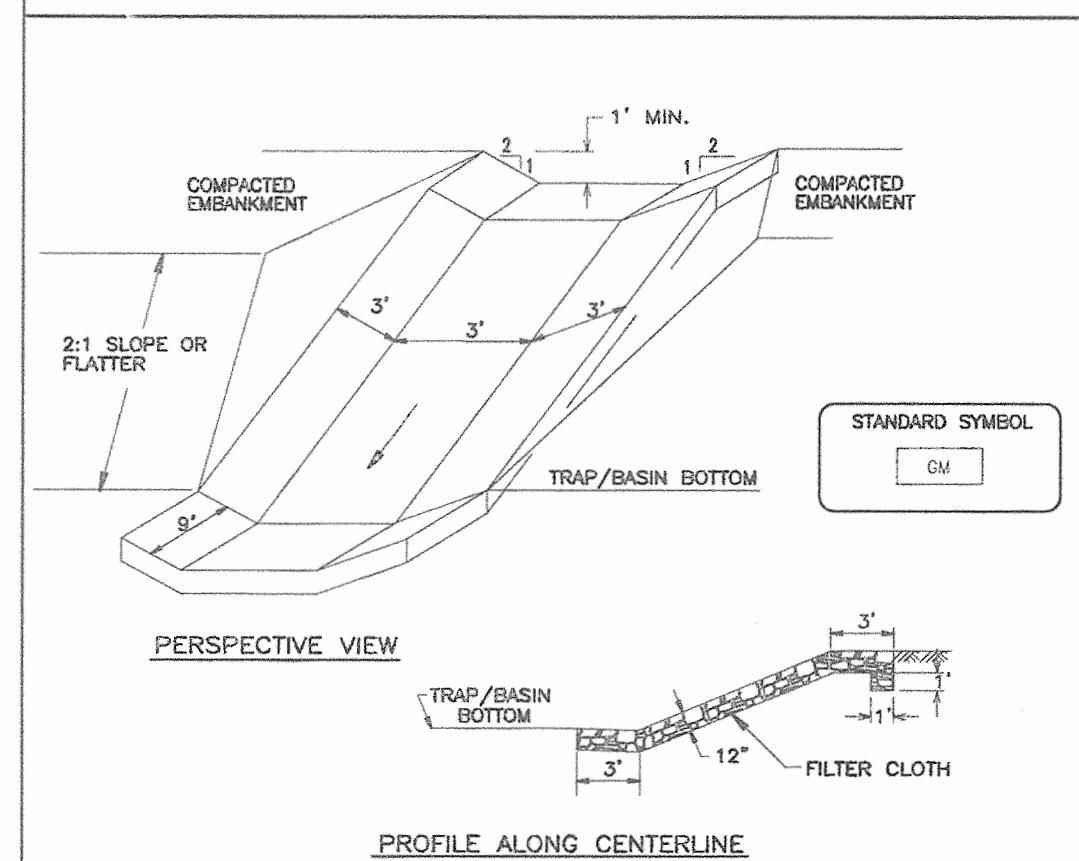
10071 WBO LLC
C/O PATRIOT GROUP
1003 K STREET, NW
SUITE 207
WASHINGTON, DC 20001
OWNER

ROBERT H. VOGEL ENGINEERING, INC.
8407 MAIN STREET • SURVEYORS • PLANNERS
ELLIOTT CITY, MD 21043 TEL: 410.461.7666 FAX: 410.461.8961

DESIGN BY: RHW/RJMY
DRAWN BY: RJMY
CHECKED BY: RHW
DATE: AUGUST 2006
SCALE: AS SHOWN
W.O. NO.: 05-51.00

5 SHEET OF 12

DETAIL 6 - GABION INFLOW PROTECTION



- CONSTRUCTION SPECIFICATIONS**
- GABION INFLOW PROTECTION SHALL BE CONSTRUCTED OF 9' X 3' X 9" GABION BASKETS FORMING A TRAPEZOIDAL CROSS SECTION 1' DEEP, WITH 2:1 SIDE SLOPES, AND A 3' BOTTOM WIDTH.
 - GEOTEXTILE CLASS C SHALL BE INSTALLED UNDER ALL GABION BASKETS.
 - THE STONE USED TO FILL THE GABION BASKETS SHALL BE 4" - 7".
 - GABIONS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - GABION INFLOW PROTECTION SHALL BE USED WHERE CONCENTRATED FLOW IS PRESENT ON SLOPES STEEPER THAN 4:1.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE B - 7 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	-------------------	---

SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTION, LICENSE AND PERMITS SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1855).
- ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THEREOF.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: (A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3:1; (B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1984 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, FOR PERMANENT SEEDING, SOIL, TEMPORARY SEEDING, AND MULCHING (SEC. C). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA	SUBDIVISION PARCEL	5.63 ACRES
AREA DISTURBED		4.97 ACRES
AREA TO BE ROOFED OR PAVED		4.88 ACRES
AREA TO BE VEGETATIVELY STABILIZED		1.01 ACRES
TOTAL CUT		18,000 ± CY
TOTAL FILL		15,000 ± CY

 OFFSITE WASTE/BORROW AREA LOCATION:
- TO BE DETERMINED BY CONTRACTOR, WITH PRE-APPROVAL OF THE SEDIMENT CONTROL INSPECTOR WITH AN APPROVED AND ACTIVE GRADING PERMIT.
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.

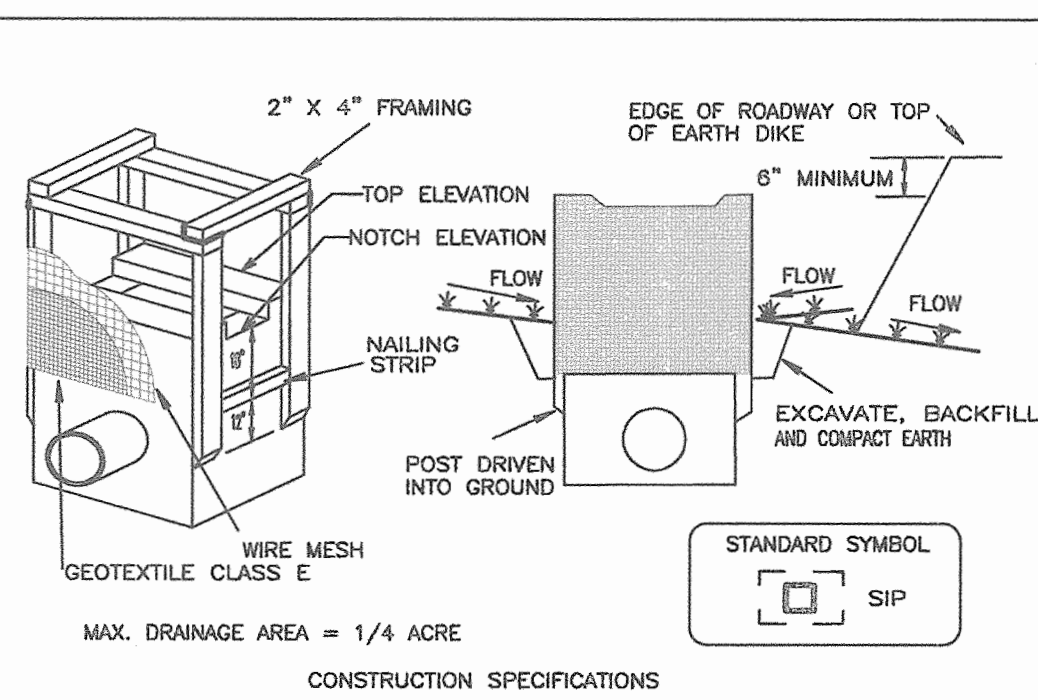
SEQUENCE OF CONSTRUCTION

SEQUENCE OF CONSTRUCTION	DURATION
1. OBTAIN GRADING PERMIT.	
2. NOTIFY HOWARD COUNTY BUREAU OF INSPECTIONS AND PERMITS (313-1850) AND STATE HIGHWAY ADMINISTRATION (531-5533) AT LEAST 24 HOURS BEFORE STARTING ANY WORK.	
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE.	4 DAYS
4. INSTALL PERIMETER SUPER SILT FENCE AND ALL REMAINING PERIMETER CONTROLS.	6 DAYS
5. WITH INSPECTOR'S APPROVALS CLEAR AND GRUB SITE AND BEGIN MASS GRADING.	2 DAYS
6. BEGIN BUILDING CONSTRUCTION	1 WEEK
7. GRADE REMAINING SITE TO SUB-BASE AS SITE IS GRADED. INSTALL STORM DRAIN SYSTEMS, WATER AND SEWER.	3 WEEK
8. WITH ROADS & PARKING LOT GRADED TO SUB-BASE AND INLETS ARE IN AND PROVIDE WRAPPED AROUND SUPER SILT FENCE TO ALL THE INLETS EXCEPT 1-2, 1-6 & 1-17. INSTALLATION OF CURB AND SIDEWALK.	6 MONTHS
9. BEGIN DRIVING ROADS AND INSTALL SIDEWALKS AND STREET TREES.	2 WEEKS
10. INSTALL LANDSCAPING AS SHOWN ON LANDSCAPE PLAN.	1 WEEK
11. WITH PERMISSION OF THE INSPECTOR, FLUSH STORM DRAIN SYSTEM AND REMOVE ALL SEDIMENT CONTROLS FROM THE SITE. STABILIZE ALL DISTURBED AREAS IMMEDIATELY AND REMOVE ALL JUNK, TRASH AND DEBRIS FROM SITE.	1 WEEK

NOTES:
DURING GRADING AND AFTER EACH RAINFALL, THE CONTRACTOR SHALL INSPECT AND PROVIDE THE NECESSARY MAINTENANCE ON THE SEDIMENT AND EROSION CONTROL MEASURES SHOWN HEREON.
FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
A. 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, SWALES, DITCH PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
B. 14 CALENDAR DAYS FOR ALL OTHER DISTURBED AREAS.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 Cindy Hamant, 10/14/06
 CHIEF, DIVISION OF LAND DEVELOPMENT, DATE
 Mike Cummings, 9/18/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION, DATE
 Mark D. Leagle, 10/15/06
 DIRECTOR, DATE

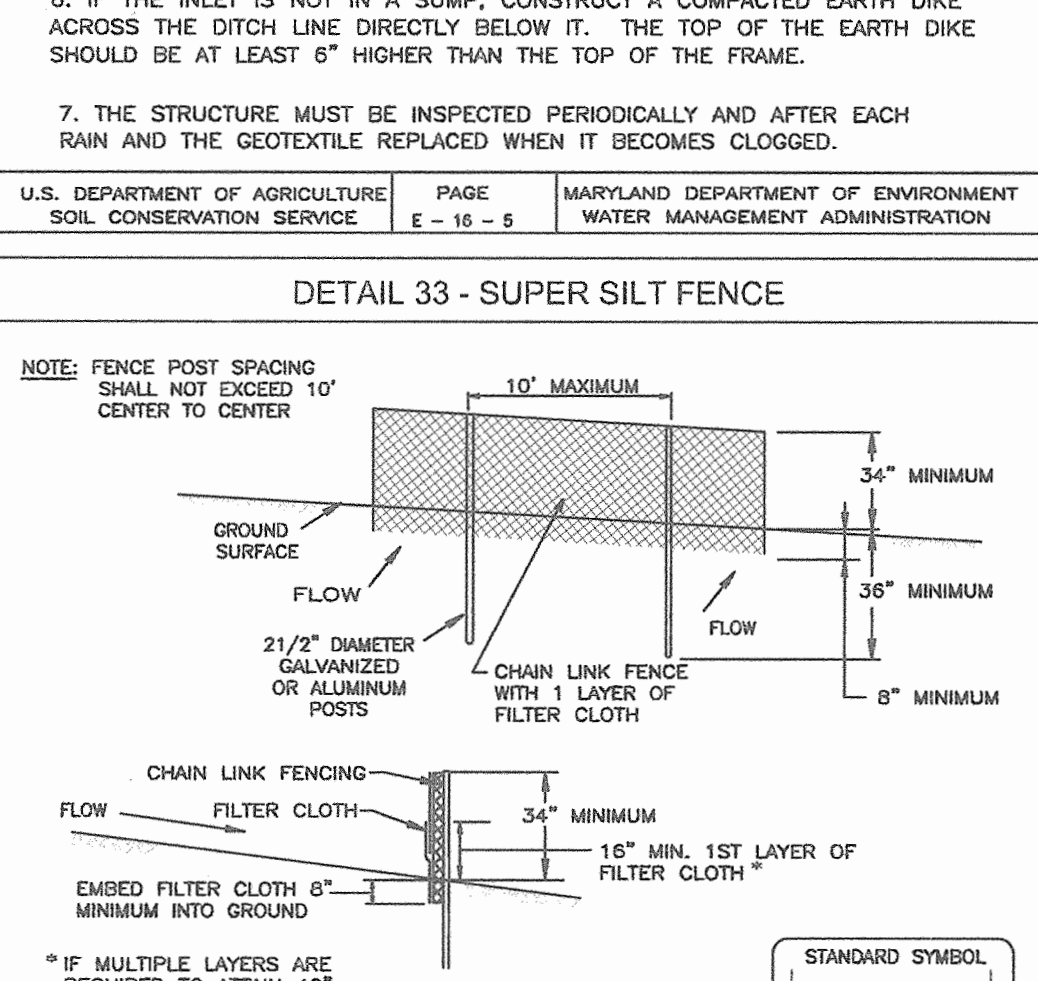
DETAIL 23A - STANDARD INLET PROTECTION



- MAX. DRAINAGE AREA = 1/4 ACRE
CONSTRUCTION SPECIFICATIONS
- EXCAVATE COMPLETELY AROUND THE INLET TO A DEPTH OF 18" BELOW THE NOTCH ELEVATION.
 - DRIVE THE 2" X 4" CONSTRUCTION GRADE LUMBER POSTS 1' INTO THE GROUND AT EACH CORNER OF THE INLET. PLACE NAIL STRIPS BETWEEN THE POSTS ON THE ENDS OF THE INLET. ASSEMBLE THE TOP PORTION OF THE 2" X 4" FRAME USING THE OVERLAP JOINT SHOWN ON DETAIL 23A. THE TOP OF THE FRAME (WEIR) MUST BE 6" BELOW ADJACENT ROADWAYS WHERE FLOODING AND SAFETY ISSUES MAY ARISE.
 - STRETCH THE 1/2" X 1/2" WIRE MESH TIGHTLY AROUND THE FRAME AND FASTEN SECURELY. THE ENDS MUST MEET AND OVERLAP AT A POST.
 - STRETCH THE GEOTEXTILE CLASS E TIGHTLY OVER THE WIRE MESH WITH THE GEOTEXTILE EXTENDING FROM THE TOP OF THE FRAME TO 18" BELOW THE INLET NOTCH ELEVATION. FASTEN THE GEOTEXTILE FIRMLY TO THE FRAME. THE ENDS OF THE GEOTEXTILE MUST MEET AT A POST, BE OVERLAPPED AND FOLDED, THEN FASTENED DOWN.
 - BACKFILL AROUND THE INLET IN COMPACTED 6" LAYERS UNTIL THE LAYER OF EARTH IS LEVEL WITH THE NOTCH ELEVATION ON THE ENDS AND TOP ELEVATION ON THE SIDES.
 - IF THE INLET IS NOT IN A SUMP, CONSTRUCT A COMPACTED EARTH DIKE ACROSS THE DITCH LINE DIRECTLY BELOW IT. THE TOP OF THE EARTH DIKE SHOULD BE AT LEAST 6" HIGHER THAN THE TOP OF THE FRAME.
 - THE STRUCTURE MUST BE INSPECTED PERIODICALLY AND AFTER EACH RAIN AND THE GEOTEXTILE REPLACED WHEN IT BECOMES CLOGGED.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 5	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

DETAIL 33 - SUPER SILT FENCE

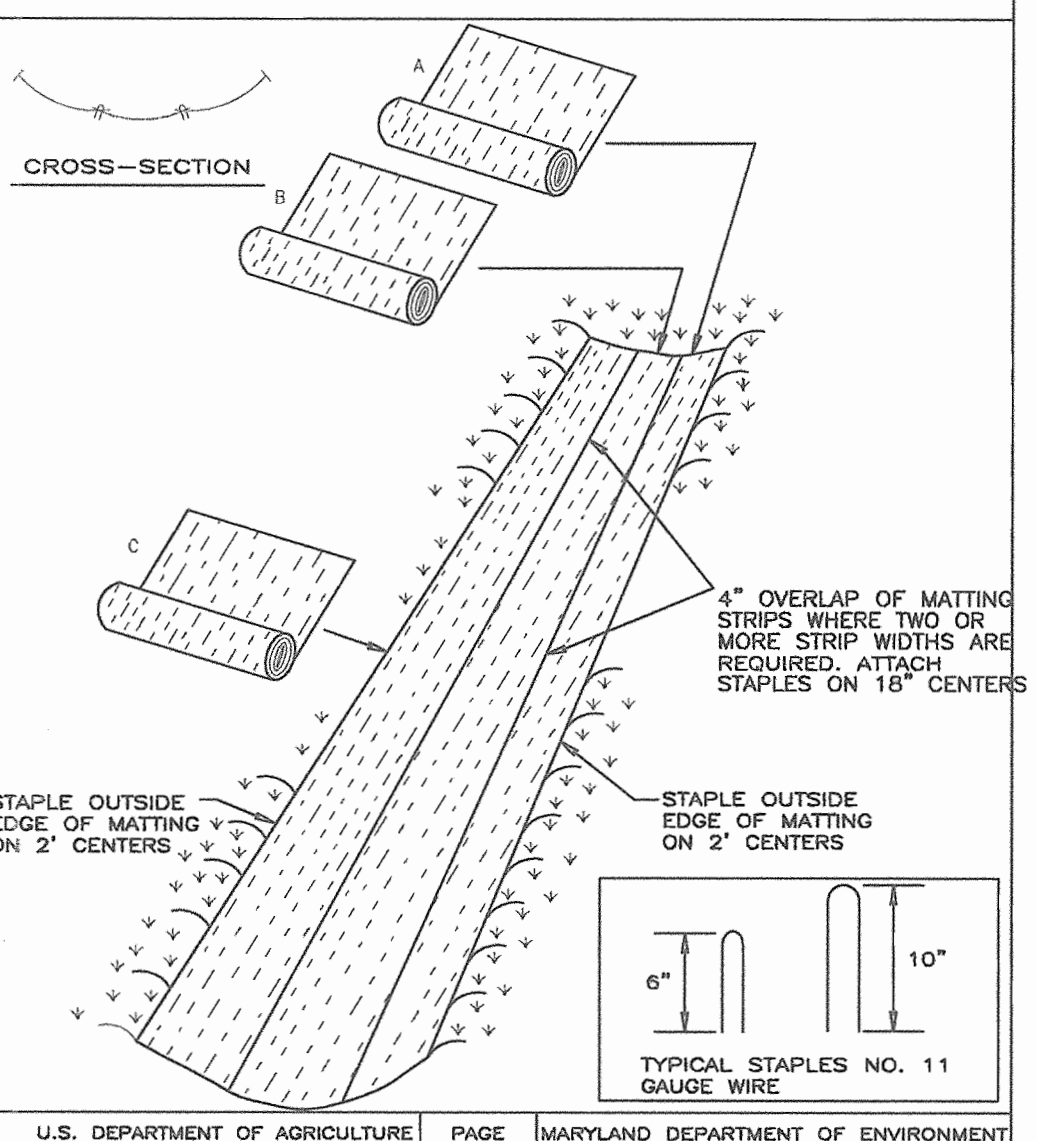


- CONSTRUCTION SPECIFICATIONS**
- FENCING SHALL BE 42" IN HEIGHT AND CONSTRUCTED IN ACCORDANCE WITH THE LATEST MARYLAND STATE HIGHWAY DETAILS FOR CHAIN LINK FENCING. THE SPECIFICATION FOR A 6" FENCE SHALL BE USED, SUBSTITUTING 42" FABRIC AND 6" LENGTH POSTS.
 - CHAIN LINK FENCE SHALL BE FASTENED SECURELY TO THE FENCE POSTS WITH WIRE TIES. THE LOWER TENSION WIRE, BRACE AND TRUSS RODS, DRIVE ANCHORS AND POST CAPS ARE NOT REQUIRED EXCEPT ON THE ENDS OF THE FENCE.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO THE CHAIN LINK FENCE WITH TIES SPACED EVERY 24" AT THE TOP AND MID SECTION.
 - FILTER CLOTH SHALL BE EMBEDDED A MINIMUM OF 6" INTO THE GROUND.
 - WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED.
 - MAINTENANCE SHALL BE PERFORMED AS NEEDED AND SILT BUILDUPS REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE, OR WHEN SILT REACHES 50% OF FENCE HEIGHT.
 - FILTER CLOTH SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS FOR GEOTEXTILE CLASS F:

TENSILE STRENGTH	50 LBS./IN. (MIN.)	TEST: MSMT 509
TENSILE MODULUS	20 LBS./IN. (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL./FT ² / MINUTE (MAX.)	TEST: MSMT 322
FILTERING EFFICIENCY	75% (MIN.)	TEST: MSMT 322

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 28 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

DETAIL 30 - EROSION CONTROL MATTING



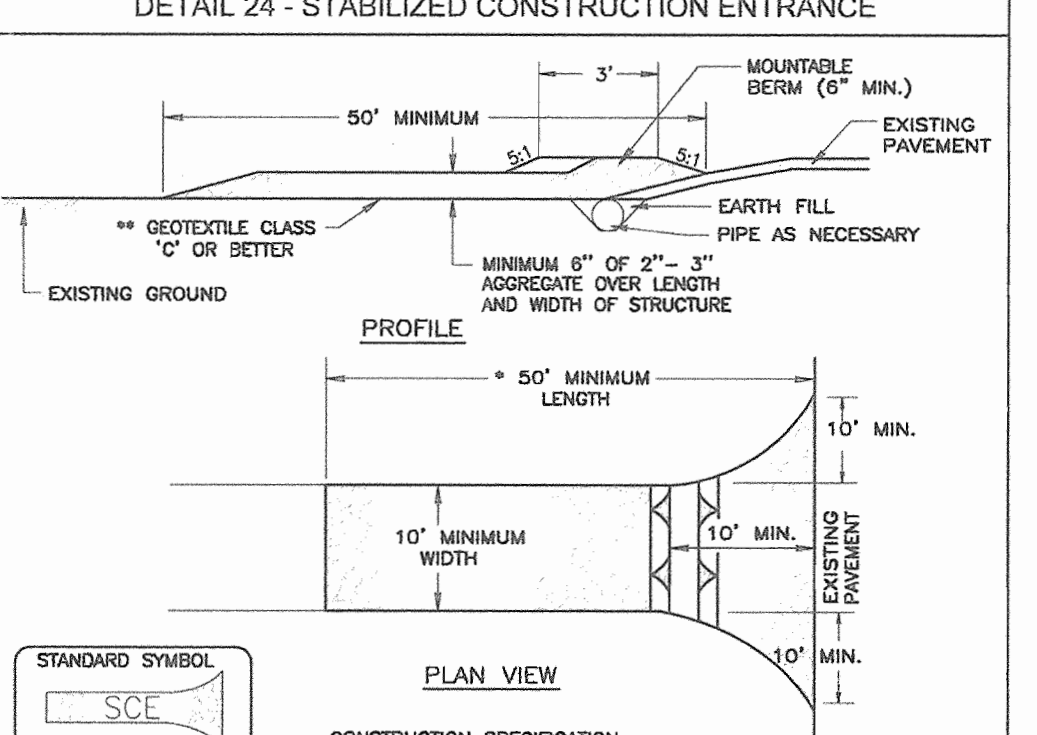
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 22 - 2	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

EROSION CONTROL MATTING

- CONSTRUCTION SPECIFICATIONS**
- KEY-IN THE MATTING BY PLACING THE TOP ENDS OF THE MATTING IN A NARROW TRENCH, 5" IN DEPTH. BACKFILL THE TRENCH AND TAMP FIRMLY TO CONFORM TO THE CHANNEL CROSS-SECTION. SECURE WITH A ROW OF STAPLES ABOUT 4" DOWN SLOPE FROM THE TRENCH. SPACING BETWEEN STAPLES IS 6".
 - STAPLE THE 4" OVERLAP IN THE CHANNEL CENTER USING AN 18" SPACING BETWEEN STAPLES.
 - BEFORE STAPLING THE OUTER EDGES OF THE MATTING, MAKE SURE THE MATTING IS SMOOTH AND IN FIRM CONTACT WITH THE SOIL.
 - STAPLES SHALL BE PLACED 2' APART WITH 4 ROWS FOR EACH STRIP, 2 OUTER ROWS, AND 2 ALTERNATING ROWS DOWN THE CENTER.
 - WHERE ONE ROLL OF MATTING ENDS AND ANOTHER BEGINS, THE END OF THE TOP STRIP SHALL OVERLAP THE UPPER END OF THE LOWER STRIP BY 4", SHUPLAP FASHION. REINFORCE THE OVERLAP WITH A DOUBLE ROW OF STAPLES SPACED 6" APART IN A STAGGERED PATTERN ON EITHER SIDE.
 - THE DISCHARGE END OF THE MATTING LINER SHOULD BE SIMILARLY SECURED WITH 2 DOUBLE ROWS OF STAPLES.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 22 - 2A	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	---------------------	---

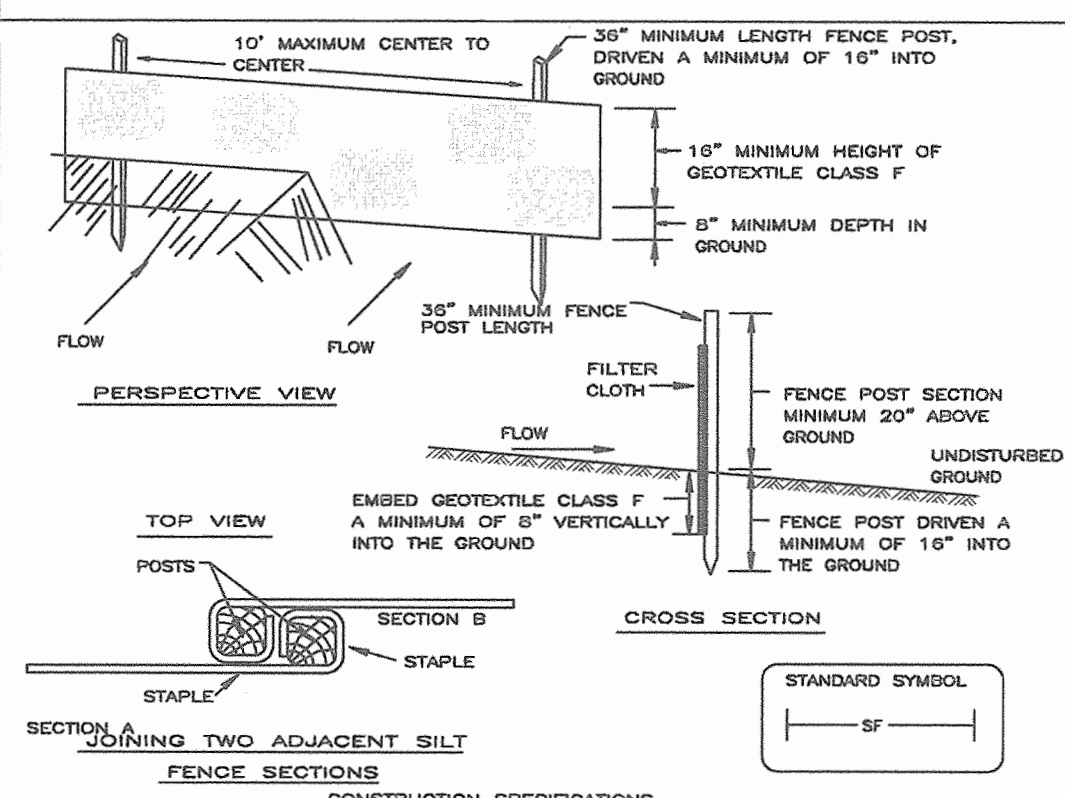
DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



- CONSTRUCTION SPECIFICATION**
- LENGTH - MINIMUM OF 50' (* 30' FOR A SINGLE RESIDENCE LOT).
 - WIDTH - 10' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
 - GEOTEXTILE FABRIC (FILTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. THE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
 - STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 3" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 6" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE WHEN THE SIZE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY. A PIPE WILL NOT BE NECESSARY, PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM WILL BE REQUIRED.
 - LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

DETAIL 22 - SILT FENCE



- CONSTRUCTION SPECIFICATIONS**
- FENCE POSTS SHALL BE A MINIMUM OF 30" LONG DRIVEN 18" MINIMUM INTO THE GROUND. WOOD POSTS SHALL BE 1 1/2" X 1 1/2" SQUARE (MINIMUM) CUT OR 1 3/4" DIAMETER (MINIMUM) ROUND AND SHALL BE OF SOUND QUALITY HARDWOOD. STEEL POSTS WILL BE STANDARD T OR U SECTION WEIGHING NOT LESS THAN 1.00 POUND PER LINEAR FOOT.
 - GEOTEXTILE SHALL BE FASTENED SECURELY TO EACH FENCE POST WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION AND SHALL MEET THE FOLLOWING REQUIREMENTS for Geotextile Class F:

TENSILE STRENGTH	50 LBS./IN. (MIN.)	TEST: MSMT 509
TENSILE MODULUS	20 LBS./IN. (MIN.)	TEST: MSMT 509
FLOW RATE	0.3 GAL. FT ² / MINUTE (MAX.)	TEST: MSMT 322
FILTERING EFFICIENCY	75% (MIN.)	TEST: MSMT 322
 - WHERE ENDS OF GEOTEXTILE FABRIC COME TOGETHER, THEY SHALL BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS.
 - SILT FENCE SHALL BE INSPECTED AFTER EACH RAINFALL EVENT AND MAINTAINED WHEN BULGES OCCUR OR WHEN SEDIMENT ACCUMULATION REACHED SOLE OF THE FABRIC HEIGHT.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 15 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
---	--------------------	---

APPROVED HOWARD COUNTY HEALTH DEPARTMENT
 COUNTY HEALTH OFFICER - HOWARD COUNTY HEALTH DEPARTMENT
 REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS
 Jim Morgan, 9/14/06
 U.S.D.A. - NATURAL RESOURCES CONSERVATION SERVICE
 This DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT
 John L. Roberts, 9/14/06
 HOWARD SCD

DEVELOPER'S CERTIFICATE
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature], DATE: 9/14/06
 100 11 WBO LLC

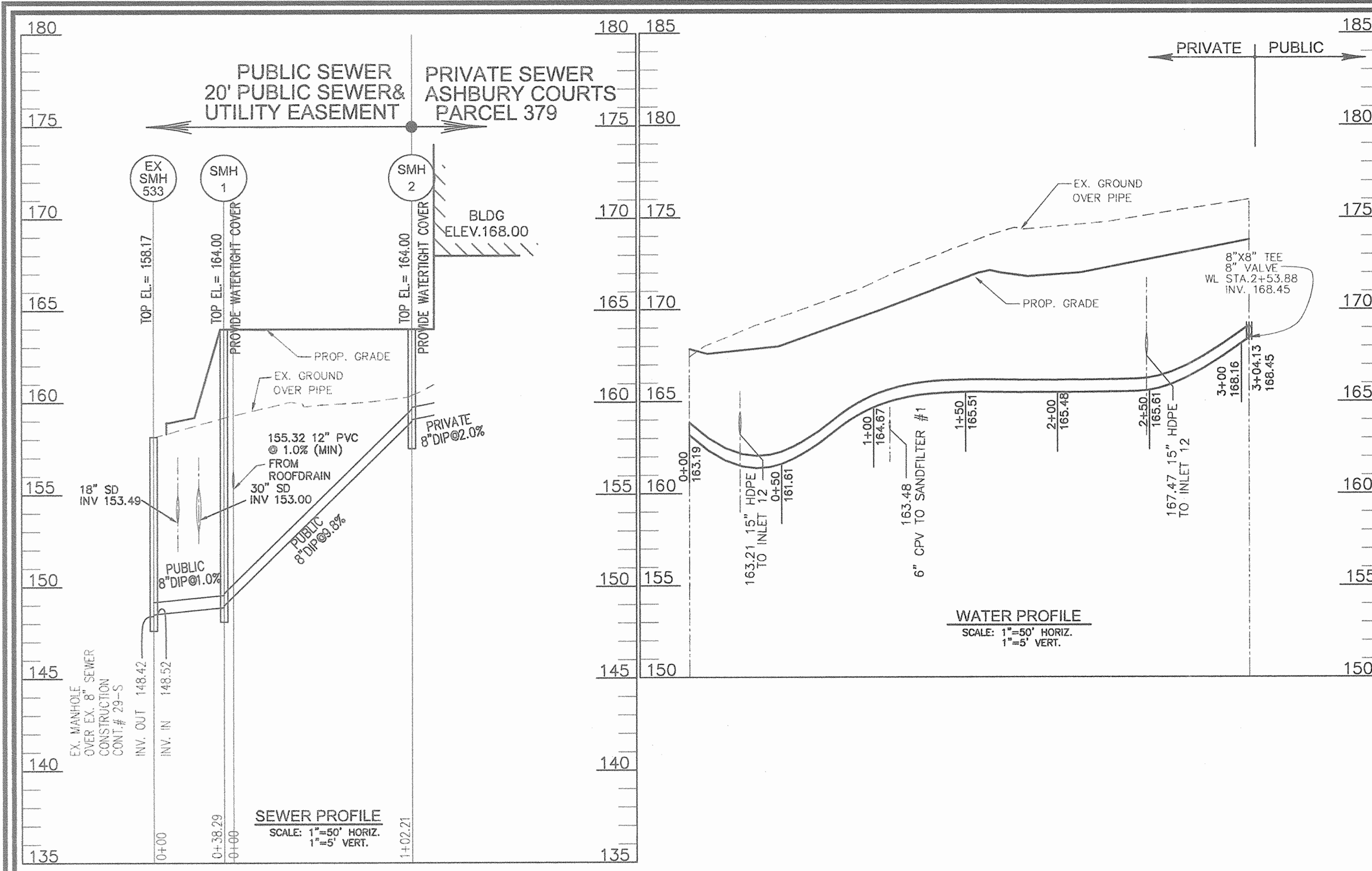
ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.
 Signature: [Signature], DATE: 9/14/06
 ROBERT H. VOGEL

SEDIMENT & EROSION CONTROL DETAILS
 SITE DEVELOPMENT PLAN
 ASHBURY COURTS
 RETAIL AND
 140 APARTMENT HOUSING UNITS
 BUILDABLE BULK PARCEL A
 TAX MAP 50 GRID 10 PARCEL 379.408.423
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET, ELICOTT CITY, MD 21043
 TEL: 410-461-7666
 FAX: 410-461-8961

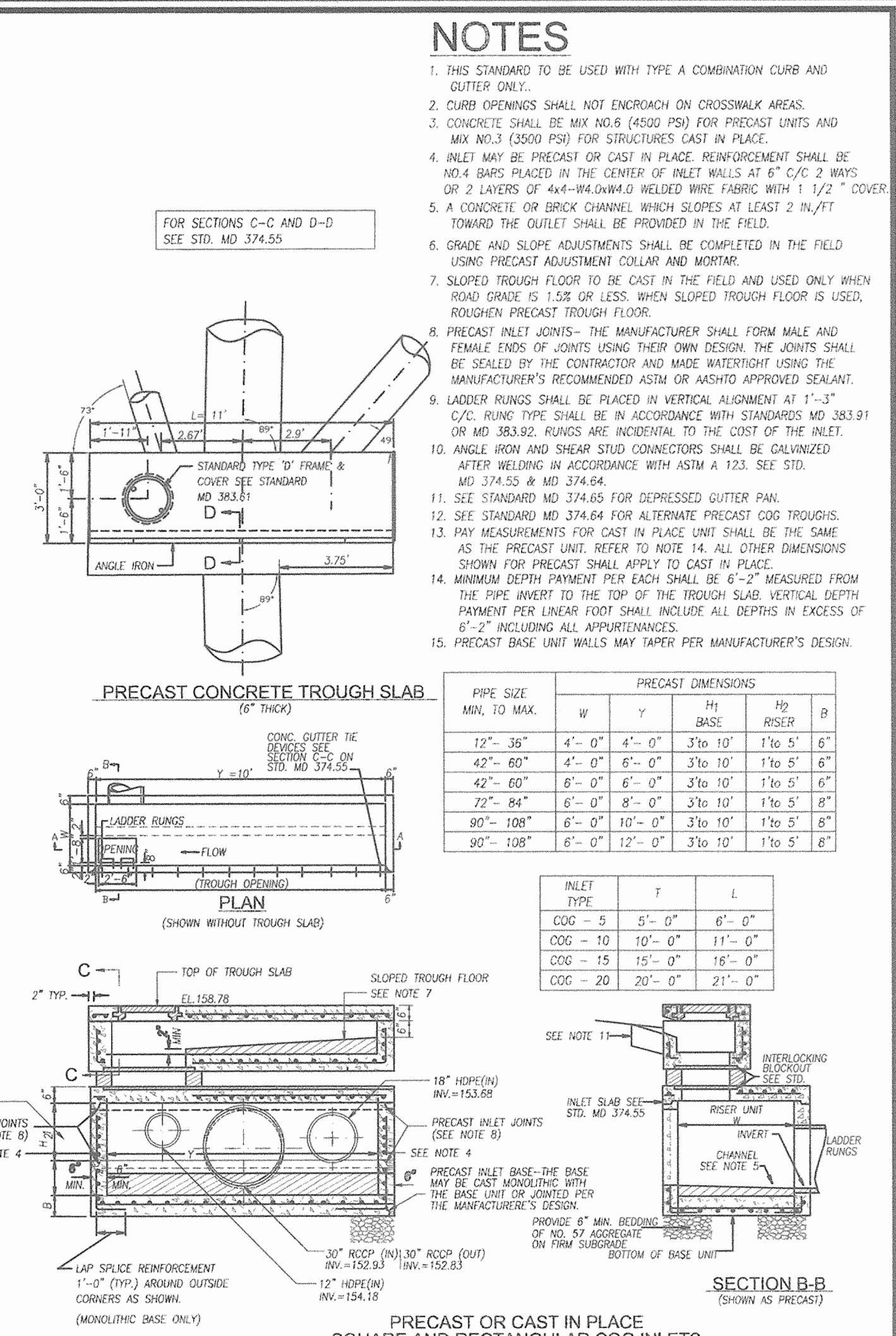
DESIGN BY: RHV/RJM
 DRAWN BY: RJM
 CHECKED BY: RHV
 DATE: AUGUST 2006
 SCALE: AS SHOWN
 W.O. NO.: 05-51.00

6 SHEET OF 12



DEPTH (FT)	DIAMETER (IN)	SHAPE	DESCRIPTION OF MATERIAL	WATER ELEVATION (FT)
0	18	SS	Asphalt Depth 6"	173
1	18	SS	SILT, Some Clay, Light Grayish Brown, Moist, Medium Stiff, (ML)	170
2	18	SS	Silty SAND, Trace Clay, Brown, Moist, Medium Dense to Dense, (SM)	168
3	18	SS	Silty SAND, Trace Clay, Brown, Moist, Medium Dense, (SM)	166
4	18	SS	Silty SAND, Some Gravel, Light Reddish Brown, Moist, Medium Dense, (SM)	164
5	18	SS	Silty SAND, With Gravel, Rock Fragments, Tanish Brown, Saturated, Medium Dense, (SM)	162
6	18	SS	Silty CLAY, Purplish Brown, Moist, Shif, (CL)	160
7	18	SS	Silty CLAY, Some Sand and Gravel, Brownish Tan, Moist to Wet, Hard, (CL)	158
8	18	SS	Decomposed ROCK, Greenish Gray, Moist, Extremely Dense, (DR)	156

DEPTH (FT)	DIAMETER (IN)	SHAPE	DESCRIPTION OF MATERIAL	WATER ELEVATION (FT)
0	18	SS	Asphalt Depth 1"	175
1	18	SS	SILT, Trace Sand, Brown, Moist, Medium Dense to Dense, (ML)	170
2	18	SS	Fine Silty SAND, Brown, Moist, Dense, (SM)	168
3	18	SS	Fine SAND, Trace Gravel, Brown, Moist, Dense, (SP)	166
4	18	SS	Fine to Coarse Silty SAND and Gravel, Brownish Gray to Brown, Moist to Wet, Medium Dense, (SM/GM)	164
5	18	SS	Silty CLAY, Trace Fine Sand, Grayish Brown, Moist, Very Shif to Very Hard, (CL)	162
6	18	SS	Silty CLAY, Trace Fine Sand, Grayish Brown, Moist, Very Shif to Very Hard, (CL)	160
7	18	SS	Silty CLAY, Trace Fine Sand, Grayish Brown, Moist, Very Shif to Very Hard, (CL)	158
8	18	SS	Silty CLAY, Trace Fine Sand, Grayish Brown, Moist, Very Shif to Very Hard, (CL)	156
9	18	SS	Silty CLAY, Trace Fine Sand, Grayish Brown, Moist, Very Shif to Very Hard, (CL)	154



DEPTH (FT)	DIAMETER (IN)	SHAPE	DESCRIPTION OF MATERIAL	WATER ELEVATION (FT)
0	18	SS	Asphalt Depth 1"	175.5
1	18	SS	SILT, Trace Fine Sand, Brown, Moist, Medium Dense, (ML)	170
2	18	SS	Fine Clayey SAND, Brown, Moist, Medium Dense, (CC)	168
3	18	SS	Sandy Silty CLAY, Brown, Moist, Hard, (CL)	166
4	18	SS	Fine Silty SAND, Brown, Moist, Medium Dense, (SM)	164
5	18	SS	Fine Silty SAND and Gravel, Brown, Moist, Dense, (SM/GM)	162
6	18	SS	Fine Silty SAND and Gravel, Brown, Moist, Dense, (SM/GM)	160
7	18	SS	Sandy Silty CLAY, Trace Gravel, Brown, Wet, Shif, (CL)	158
8	18	SS	Silty CLAY, Trace Gravel, Brown, Wet, Shif, (CL)	156
9	18	SS	Silty CLAY, Trace Gravel, Brown, Wet, Shif, (CL)	154

DEPTH (FT)	DIAMETER (IN)	SHAPE	DESCRIPTION OF MATERIAL	WATER ELEVATION (FT)
0	18	SS	Asphalt Depth 1"	175
1	18	SS	Fine Silty SAND, Brown, Dry to Moist, Medium Dense to Dense, (SM)	170
2	18	SS	Fine Silty SAND, Brown, Dry to Moist, Medium Dense to Dense, (SM)	168
3	18	SS	Fine Silty SAND, Brown, Dry to Moist, Medium Dense to Dense, (SM)	166
4	18	SS	Fine Silty SAND, Brown, Dry to Moist, Medium Dense to Dense, (SM)	164
5	18	SS	Fine Silty SAND, Some Gravel, Brown, Moist, Medium Dense, (SM)	162
6	18	SS	Fine Silty SAND, Some Gravel, Brown, Moist, Medium Dense, (SM)	160
7	18	SS	Silty CLAY, Trace Medium SAND, Brown and Gray, Moist, Hard to Very Hard, (CL)	158
8	18	SS	Silty CLAY, Trace Medium SAND, Brown and Gray, Moist, Hard to Very Hard, (CL)	156
9	18	SS	Silty CLAY, Trace Medium SAND, Brown and Gray, Moist, Hard to Very Hard, (CL)	154

OWNER
10071 WBO LLC
C/O BUILDING EXCHANGE COMPANY
9011 ARBORETUM PKWY STE 300
RICHMOND, VA 23236

DEVELOPER
10071 WBO LLC
C/O PATRIOT GROUP
1003 K STREET, NW
SUITE 207
WASHINGTON, DC 20001

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hendon 10/14/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Robert H. Vogel 9/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Robert H. Vogel 10/15/06
DIRECTOR DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT

DATE

NO.	REVISION	DATE

UTILITIES PROFILES
SITE DEVELOPMENT PLAN
ASHBURY COURTS
RETAIL AND
140 APARTMENT HOUSING UNITS
BUILDABLE BULK PARCEL A

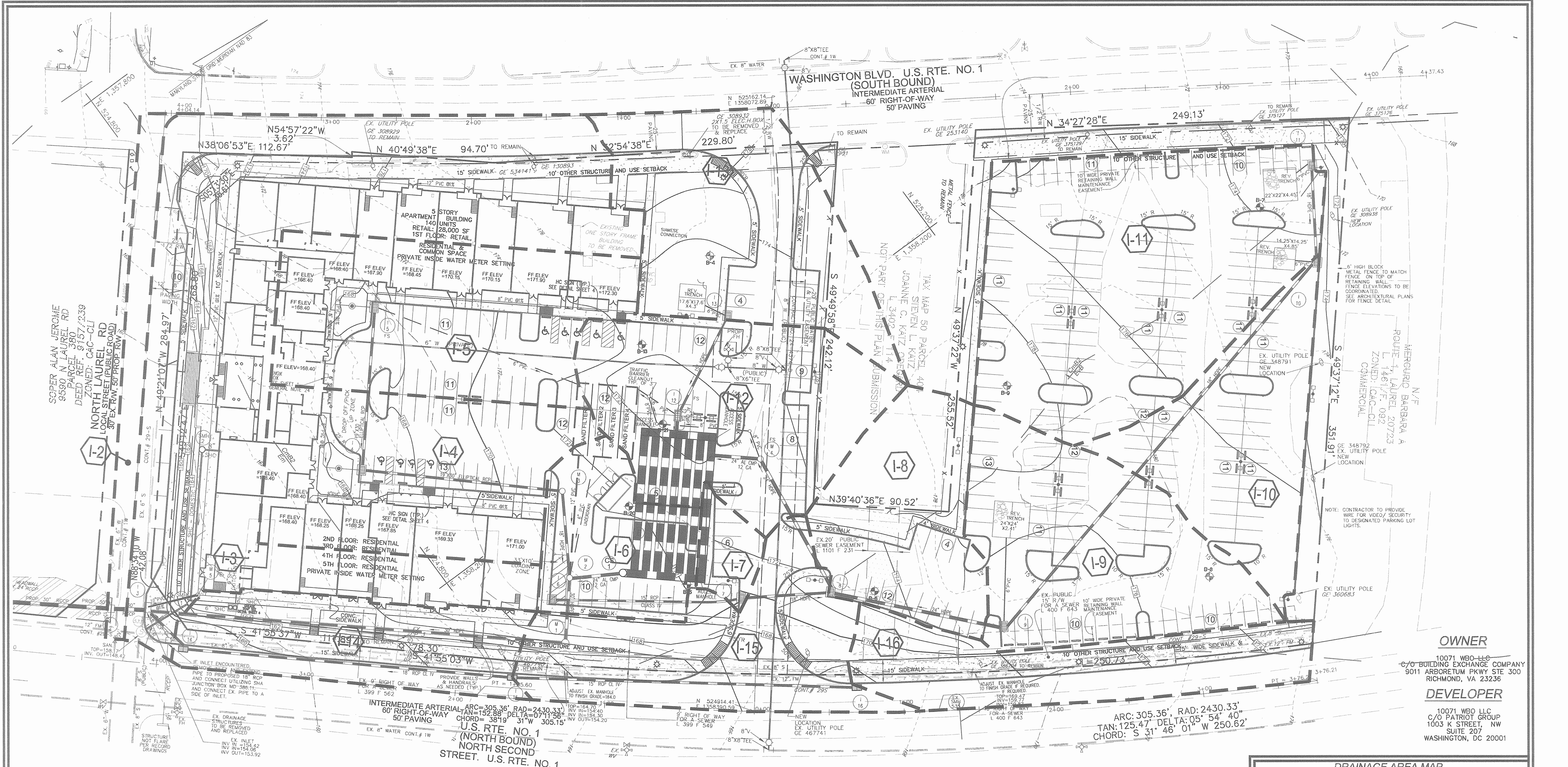
TAX MAP 50 GRID 10,
6TH ELECTION DISTRICT

PARCEL 379, 408, 423
HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET
ELLIOTT CITY, MD 21043
TEL: 410.461.7666
FAX: 410.461.8961

DESIGN BY: RHV/RJM
DRAWN BY: RJM
CHECKED BY: RHV
DATE: AUGUST 2006
SCALE: AS SHOWN
W.O. NO.: 05-91.00

8 SHEET OF 12



OWNER
 10071 WBO LLC
 C/O BUILDING EXCHANGE COMPANY
 9011 ARBORETUM PKWY STE 300
 RICHMOND, VA 23236

DEVELOPER
 10071 WBO LLC
 C/O PATRIOT GROUP
 1003 K STREET, NW
 SUITE 207
 WASHINGTON, DC 20001

STORM DRAIN CHART

INLET NO.	AREA(AC)	ZONE	'C' FACTOR	IMP.
I-2	0.11	CAC-CL	0.79	85%
I-3	1.23 (ROAD) +0.56 AC (ROOF)	CAC-CL	0.79	85%
I-4	0.48	CAC-CL	0.80	85%
I-5	0.52	CAC-CL	0.79	85%
I-6	0.23	CAC-CL	0.77	85%
I-7	0.06	CAC-CL	0.74	85%
I-8	0.32	CAC-CL	0.77	85%
I-9	0.48	CAC-CL	0.80	85%
I-10	0.38	CAC-CL	0.80	85%
I-11	0.79	CAC-CL	0.82	85%
I-12	0.50	CAC-CL	0.79	85%
I-13	0.48	CAC-CL	0.63	85%
I-14	0.29	CAC-CL	0.60	85%
I-15	0.40	CAC-CL	0.42	85%
I-16	0.31	CAC-CL	0.58	85%

SOILS LEGEND

SYMBOL	NAME / DESCRIPTION	TYPE
EVB	EVESBORO LOAMY SAND, 1% TO 5% SLOPES	A
CmB2	CHILLUM SILT LOAM, 1% TO 5% SLOPES, MODERATELY ERODED	B
Em	ELKTON SILT LOAM	C

NOTE: HOWARD SOIL SURVEY, MAP NUMBER 26

REVIEWED FOR HOWARD SCD AND MEETS TECHNICAL REQUIREMENTS

Jim Meyer 9/14/06
 USA - NATURAL RESOURCES
 CONSERVATION SERVICE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT

Jim R. Roberts 9/14/06
 HOWARD SCD

APPROVED: DEPARTMENT OF PLANNING AND ZONING

CHIEF, DIVISION OF LAND DEVELOPMENT _____ DATE _____

CHIEF, DEVELOPMENT ENGINEERING DIVISION _____ DATE _____

DIRECTOR _____ DATE _____

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER _____ DATE _____

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hanna 10/1/06
 CHIEF, DIVISION OF LAND DEVELOPMENT

Chris Dunnington 9/18/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

David A. Long 10/5/06
 DIRECTOR

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Robert H. Vogel 9/14/06
 SIGNATURE OF ENGINEER
 ROBERT H. VOGEL

DEVELOPER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HOWARD SOIL CONSERVATION DISTRICT.

10071 WBO LLC 10/1/06
 SIGNATURE OF DEVELOPER
 10071 WBO LLC

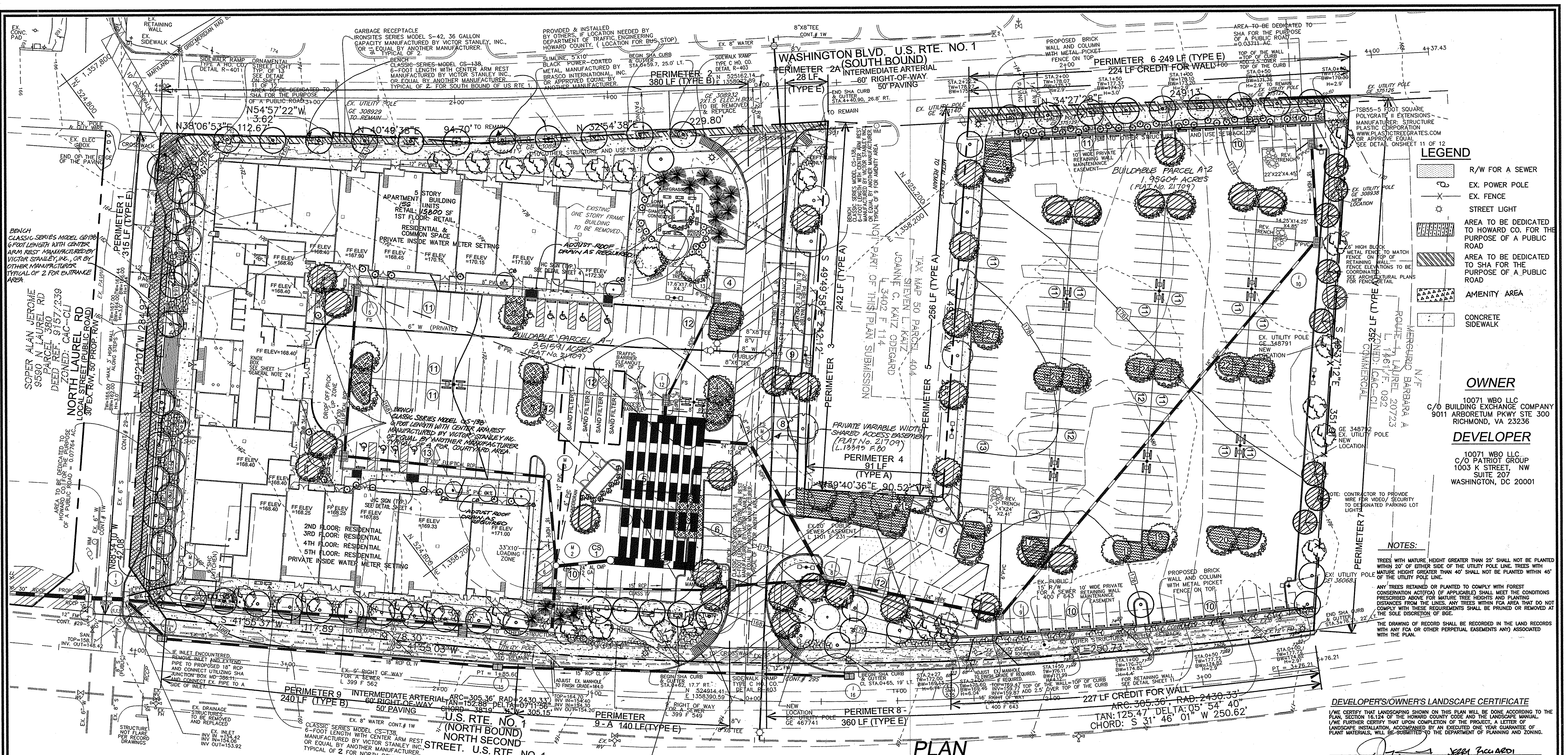
DRAINAGE AREA MAP
 SITE DEVELOPMENT PLAN
ASHBURY COURTS
 RETAIL AND
 140 APARTMENT HOUSING UNITS
 BUILDABLE BULK PARCEL A

TAX MAP 50 GRID 10, 6TH ELECTION DISTRICT
 PARCEL 379, 408, 423
 HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL ENGINEERING, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 8407 MAIN STREET
 ELLICOTT CITY, MD 21043
 TEL: 410.461.7666
 FAX: 410.461.8961

DESIGN BY: RHW/RJM
 DRAWN BY: RJM
 CHECKED BY: RHW
 DATE: AUGUST 2006
 SCALE: AS SHOWN
 W.O. NO.: 06-51.00

9 SHEET OF 12



PLAN
SCALE: 1"=30'

LANDSCAPE SCHEDULE THIS SHEET			
QUAN	BOTANICAL NAME	SIZE	REM.
28	JAPANESE RED MAPLE (ACER PALMATUM ATROPURPUREUM) SHADE TREES—GROWTH HEIGHT=20' (P2)-1, (P2A)-1, (P2B)-1, (P2C)-1, (P2D)-1, (P2E)-1, (P2F)-1, (P2G)-1, (P2H)-1, (P2I)-1, (P2J)-1, (P2K)-1, (P2L)-1, (P2M)-1, (P2N)-1, (P2O)-1, (P2P)-1, (P2Q)-1, (P2R)-1, (P2S)-1, (P2T)-1, (P2U)-1, (P2V)-1, (P2W)-1, (P2X)-1, (P2Y)-1, (P2Z)-1	4'-6" HT.	B & B
7	KOUSA DOGWOOD (CORNUS KOUSA) (GROWTH HEIGHT=25') (P1)-1, (P1A)-1, (P1B)-1, (P1C)-1, (P1D)-1, (P1E)-1, (P1F)-1, (P1G)-1, (P1H)-1, (P1I)-1, (P1J)-1, (P1K)-1, (P1L)-1, (P1M)-1, (P1N)-1, (P1O)-1, (P1P)-1, (P1Q)-1, (P1R)-1, (P1S)-1, (P1T)-1, (P1U)-1, (P1V)-1, (P1W)-1, (P1X)-1, (P1Y)-1, (P1Z)-1	8'-10" HT.	B & B
39	YOSHINO FLOWERING CHERRY (PRUNUS X YEDENSIS) (GROWTH HEIGHT=25') (SCH B)-1, (SCH B1)-1, (SCH B2)-1, (SCH B3)-1, (SCH B4)-1, (SCH B5)-1, (SCH B6)-1, (SCH B7)-1, (SCH B8)-1, (SCH B9)-1, (SCH B10)-1, (SCH B11)-1, (SCH B12)-1, (SCH B13)-1, (SCH B14)-1, (SCH B15)-1, (SCH B16)-1, (SCH B17)-1, (SCH B18)-1, (SCH B19)-1, (SCH B20)-1, (SCH B21)-1, (SCH B22)-1, (SCH B23)-1, (SCH B24)-1, (SCH B25)-1, (SCH B26)-1, (SCH B27)-1, (SCH B28)-1, (SCH B29)-1, (SCH B30)-1, (SCH B31)-1, (SCH B32)-1, (SCH B33)-1, (SCH B34)-1, (SCH B35)-1, (SCH B36)-1, (SCH B37)-1, (SCH B38)-1, (SCH B39)-1, (SCH B40)-1, (SCH B41)-1, (SCH B42)-1, (SCH B43)-1, (SCH B44)-1, (SCH B45)-1, (SCH B46)-1, (SCH B47)-1, (SCH B48)-1, (SCH B49)-1, (SCH B50)-1, (SCH B51)-1, (SCH B52)-1, (SCH B53)-1, (SCH B54)-1, (SCH B55)-1, (SCH B56)-1, (SCH B57)-1, (SCH B58)-1, (SCH B59)-1, (SCH B60)-1, (SCH B61)-1, (SCH B62)-1, (SCH B63)-1, (SCH B64)-1, (SCH B65)-1, (SCH B66)-1, (SCH B67)-1, (SCH B68)-1, (SCH B69)-1, (SCH B70)-1, (SCH B71)-1, (SCH B72)-1, (SCH B73)-1, (SCH B74)-1, (SCH B75)-1, (SCH B76)-1, (SCH B77)-1, (SCH B78)-1, (SCH B79)-1, (SCH B80)-1, (SCH B81)-1, (SCH B82)-1, (SCH B83)-1, (SCH B84)-1, (SCH B85)-1, (SCH B86)-1, (SCH B87)-1, (SCH B88)-1, (SCH B89)-1, (SCH B90)-1, (SCH B91)-1, (SCH B92)-1, (SCH B93)-1, (SCH B94)-1, (SCH B95)-1, (SCH B96)-1, (SCH B97)-1, (SCH B98)-1, (SCH B99)-1, (SCH B100)-1	4'-6" HT.	B & B
9	CORNELIAN CHERRY (CORNUS MAS) (SHADE TREES—GROWTH HEIGHT=25') (SCH C)-1, (SCH C1)-1, (SCH C2)-1, (SCH C3)-1, (SCH C4)-1, (SCH C5)-1, (SCH C6)-1, (SCH C7)-1, (SCH C8)-1, (SCH C9)-1, (SCH C10)-1, (SCH C11)-1, (SCH C12)-1, (SCH C13)-1, (SCH C14)-1, (SCH C15)-1, (SCH C16)-1, (SCH C17)-1, (SCH C18)-1, (SCH C19)-1, (SCH C20)-1, (SCH C21)-1, (SCH C22)-1, (SCH C23)-1, (SCH C24)-1, (SCH C25)-1, (SCH C26)-1, (SCH C27)-1, (SCH C28)-1, (SCH C29)-1, (SCH C30)-1, (SCH C31)-1, (SCH C32)-1, (SCH C33)-1, (SCH C34)-1, (SCH C35)-1, (SCH C36)-1, (SCH C37)-1, (SCH C38)-1, (SCH C39)-1, (SCH C40)-1, (SCH C41)-1, (SCH C42)-1, (SCH C43)-1, (SCH C44)-1, (SCH C45)-1, (SCH C46)-1, (SCH C47)-1, (SCH C48)-1, (SCH C49)-1, (SCH C50)-1, (SCH C51)-1, (SCH C52)-1, (SCH C53)-1, (SCH C54)-1, (SCH C55)-1, (SCH C56)-1, (SCH C57)-1, (SCH C58)-1, (SCH C59)-1, (SCH C60)-1, (SCH C61)-1, (SCH C62)-1, (SCH C63)-1, (SCH C64)-1, (SCH C65)-1, (SCH C66)-1, (SCH C67)-1, (SCH C68)-1, (SCH C69)-1, (SCH C70)-1, (SCH C71)-1, (SCH C72)-1, (SCH C73)-1, (SCH C74)-1, (SCH C75)-1, (SCH C76)-1, (SCH C77)-1, (SCH C78)-1, (SCH C79)-1, (SCH C80)-1, (SCH C81)-1, (SCH C82)-1, (SCH C83)-1, (SCH C84)-1, (SCH C85)-1, (SCH C86)-1, (SCH C87)-1, (SCH C88)-1, (SCH C89)-1, (SCH C90)-1, (SCH C91)-1, (SCH C92)-1, (SCH C93)-1, (SCH C94)-1, (SCH C95)-1, (SCH C96)-1, (SCH C97)-1, (SCH C98)-1, (SCH C99)-1, (SCH C100)-1	2 1/2"-3" Cal.	B & B
10	SERVICEBERRY (AMALANCHIER CANADENSIS) (GROWTH HEIGHT=15') (P3)-1, (P3A)-1, (P3B)-1, (P3C)-1, (P3D)-1, (P3E)-1, (P3F)-1, (P3G)-1, (P3H)-1, (P3I)-1, (P3J)-1, (P3K)-1, (P3L)-1, (P3M)-1, (P3N)-1, (P3O)-1, (P3P)-1, (P3Q)-1, (P3R)-1, (P3S)-1, (P3T)-1, (P3U)-1, (P3V)-1, (P3W)-1, (P3X)-1, (P3Y)-1, (P3Z)-1	4'-6" HT.	B & B
181	FRUNUS LAUROCARPUS 'SCHIPKAIENSIS' (SCHIPKAIENSIS CHERRY LANE) (P2A)-7, (P2B)-6, (P2C)-33, (P2D)-20, (P2E)-35, (P2F)-1A, (P2G)-1B, (P2H)-1C, (P2I)-1D, (P2J)-1E, (P2K)-1F, (P2L)-1G, (P2M)-1H, (P2N)-1I, (P2O)-1J, (P2P)-1K, (P2Q)-1L, (P2R)-1M, (P2S)-1N, (P2T)-1O, (P2U)-1P, (P2V)-1Q, (P2W)-1R, (P2X)-1S, (P2Y)-1T, (P2Z)-1U	2-1/2"-3" HT.	B & B
10	IIEX OPACA (AMERICAN HOLLY) (SCH C)-1, (SCH C1)-1, (SCH C2)-1, (SCH C3)-1, (SCH C4)-1, (SCH C5)-1, (SCH C6)-1, (SCH C7)-1, (SCH C8)-1, (SCH C9)-1, (SCH C10)-1, (SCH C11)-1, (SCH C12)-1, (SCH C13)-1, (SCH C14)-1, (SCH C15)-1, (SCH C16)-1, (SCH C17)-1, (SCH C18)-1, (SCH C19)-1, (SCH C20)-1, (SCH C21)-1, (SCH C22)-1, (SCH C23)-1, (SCH C24)-1, (SCH C25)-1, (SCH C26)-1, (SCH C27)-1, (SCH C28)-1, (SCH C29)-1, (SCH C30)-1, (SCH C31)-1, (SCH C32)-1, (SCH C33)-1, (SCH C34)-1, (SCH C35)-1, (SCH C36)-1, (SCH C37)-1, (SCH C38)-1, (SCH C39)-1, (SCH C40)-1, (SCH C41)-1, (SCH C42)-1, (SCH C43)-1, (SCH C44)-1, (SCH C45)-1, (SCH C46)-1, (SCH C47)-1, (SCH C48)-1, (SCH C49)-1, (SCH C50)-1, (SCH C51)-1, (SCH C52)-1, (SCH C53)-1, (SCH C54)-1, (SCH C55)-1, (SCH C56)-1, (SCH C57)-1, (SCH C58)-1, (SCH C59)-1, (SCH C60)-1, (SCH C61)-1, (SCH C62)-1, (SCH C63)-1, (SCH C64)-1, (SCH C65)-1, (SCH C66)-1, (SCH C67)-1, (SCH C68)-1, (SCH C69)-1, (SCH C70)-1, (SCH C71)-1, (SCH C72)-1, (SCH C73)-1, (SCH C74)-1, (SCH C75)-1, (SCH C76)-1, (SCH C77)-1, (SCH C78)-1, (SCH C79)-1, (SCH C80)-1, (SCH C81)-1, (SCH C82)-1, (SCH C83)-1, (SCH C84)-1, (SCH C85)-1, (SCH C86)-1, (SCH C87)-1, (SCH C88)-1, (SCH C89)-1, (SCH C90)-1, (SCH C91)-1, (SCH C92)-1, (SCH C93)-1, (SCH C94)-1, (SCH C95)-1, (SCH C96)-1, (SCH C97)-1, (SCH C98)-1, (SCH C99)-1, (SCH C100)-1	24" x 36" HT. 24" x 36" SPD	B & B
70	EUONYMUS ALATUS (WINGED EUONYMUS) (P6)-10, (SCH C)-10	24" x 36" HT. 24" x 36" CANES	B & B
14	ARBORVITAE TECHNY (TECHNY) (P2)-5, (P2A)-4, (P2B)-3	6'-8" HT.	B & B
5	EUROPEAN COLUMNAR HORNBUSH (CARPINUS BETULUS 'FASTIGIATA')	2 1/2"-3" CAL.	B & B

SCHEDULE B PARKING LOT INTERNAL LANDSCAPING (APARTMENT)			
NUMBER OF PARKING SPACES	NUMBER OF TREES AND ISLANDS REQUIRED (1 SPACE/ISLAND PER 10 PARKING SPACES)	NUMBER OF TREES AND ISLANDS PROVIDED	SHADE TREES OTHER TREES (2:1 SUBSTITUTION)
210	21	21	
LANDSCAPE ISLAND FOR APARTMENT			
SCHEDULE B PARKING LOT INTERNAL LANDSCAPING (RETAIL)			
NUMBER OF PARKING SPACES	NUMBER OF TREES AND ISLANDS REQUIRED (1 SPACE/ISLAND PER 20 PARKING SPACES)	NUMBER OF TREES AND ISLANDS PROVIDED	SHADE TREES OTHER TREES (2:1 SUBSTITUTION)
140	7	7	
LANDSCAPE ISLAND FOR RETAIL			
SCHEDULE C RESIDENTIAL DEVELOPMENT INTERNAL LANDSCAPING			
NUMBER OF DWELLING UNITS	NUMBER OF TREES REQUIRED (1:1 DU SFA; 1:3 DU APTS)	NUMBER OF TREES PROVIDED	SHADE TREES OTHER TREES (2:1 SUBSTITUTION) SHRUBS (10:1 SUBSTITUTION)
196	52	52	40
* 10:1 SUBSTITUTION FOR 7 SHADE TREES			

PUBLIC ROAD STREET TREE SCHEDULE			
QUAN.	BOTANICAL NAME	SIZE	REM.
58	Amur Maple (Acer ginnala) (Shade Trees—Growth Height=20')	2"-3" Cal.	B & B

STREET TREE CALCULATIONS									
STREET NAME	LINEAR FEET	NO. REQUIRED	NO. PROVIDED						
NORTH LAUREL RD	315/30	11	11						
US RTE 1 (NORTH BOUND)	740/30	25	25						
US RTE 1 (SOUTH BOUND)	660/30	22	22						

SCHEDULE A PERIMETER LANDSCAPE EDGE											
CATEGORY	ADJACENT TO ROADWAYS					ADJACENT TO PERIMETER PROPERTIES				TOTAL	
	1	2	2A	6	8	9	9A	3	4		5
Perimeter/Frontage Designation	B	B	E	E	E	E	E	A	A	A	A
Linear Feet of Roadway	315'	380'	28'	245'	360'	240'	140'	242'	91'	266'	352'
Frontage/Perimeter	315'	380'	28'	245'	360'	240'	140'	242'	91'	266'	352'
Credit for Existing Vegetation (Yes, No, Linear Feet Describe below if needed)	No	No	No	No	No	No	No	No	No	No	No
Credit for Wall, Fence or Berm (Yes, No, Linear Feet Describe below if needed)	No	No	No	Yes** 224'	Yes** 224'	No	No	No	No	No	No
Number of Plants Required	150	150	140	140	140	140	140	140	140	140	140
Shade Trees	140	140	14	14	14	14	14	14	14	14	14
Shrubs	-	-	-	-	-	-	-	-	-	-	-
Number of Plants Provided	7	8	1	0	4	4	4	4	2	4	45
Evergreen Trees	0	10	-	-	5	4	4	4	2	4	14
Other Trees (2:1 Substitution)	-	-	-	-	-	-	-	-	-	-	14
Shrubs (10:1 Substitution)	-	-	-	16	33	20	35	-	-	-	191
* CREDIT FOR 3' HIGH SCREEN WALL + FENCE.											

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hammett
CHIEF, DIVISION OF LAND DEVELOPMENT
DATE: 10/14/06

John J. Williams
CHIEF, DEVELOPMENT ENGINEERING DIVISION
DATE: 9/18/06

Frankie M. Cagle
DIRECTOR
DATE: 10/16/06

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER: _____ DATE: _____

NO. REVISION DATE

4. REVISE PART OF FIRST FLOOR RETAIL TO 16 APARTMENTS 10/30/06

3. REVISE PART OF FIRST FLOOR RETAIL TO 16 APARTMENTS 10/30/06

2. RELOCATE BENCHES AND SIDEWALK ALONG ROUTE 1 10/30/06

DEVELOPER'S/OWNER'S LANDSCAPE CERTIFICATE

I/WE CERTIFY THAT LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE REQUIREMENTS OF THE LANDSCAPE PLAN AND THE LANDSCAPE MANUAL, AND THAT THE LANDSCAPING WILL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDSCAPE PLAN AND THE LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION OF THE PROJECT, A LETTER OF GUARANTEE FOR THE LANDSCAPING WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

DEVELOPER'S/OWNER'S NAME: 10071 WBO LLC

LANDSCAPE PLAN
SITE DEVELOPMENT PLAN
ASHBURY COURTS
RETAIL AND
156 APARTMENT HOUSING UNITS
BUILDABLE PARCEL A-1 & A-2

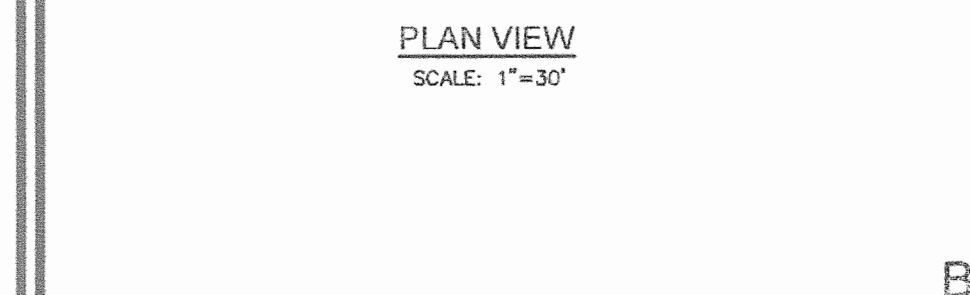
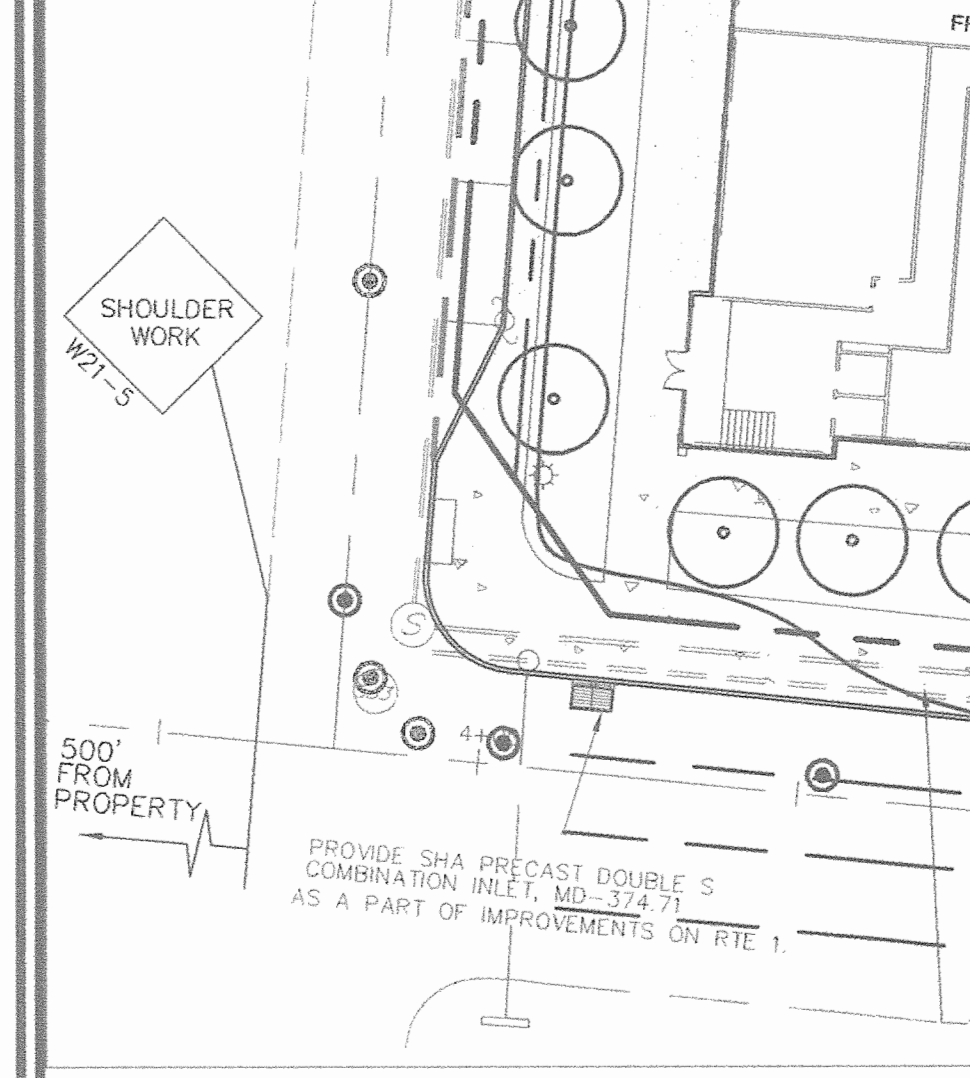
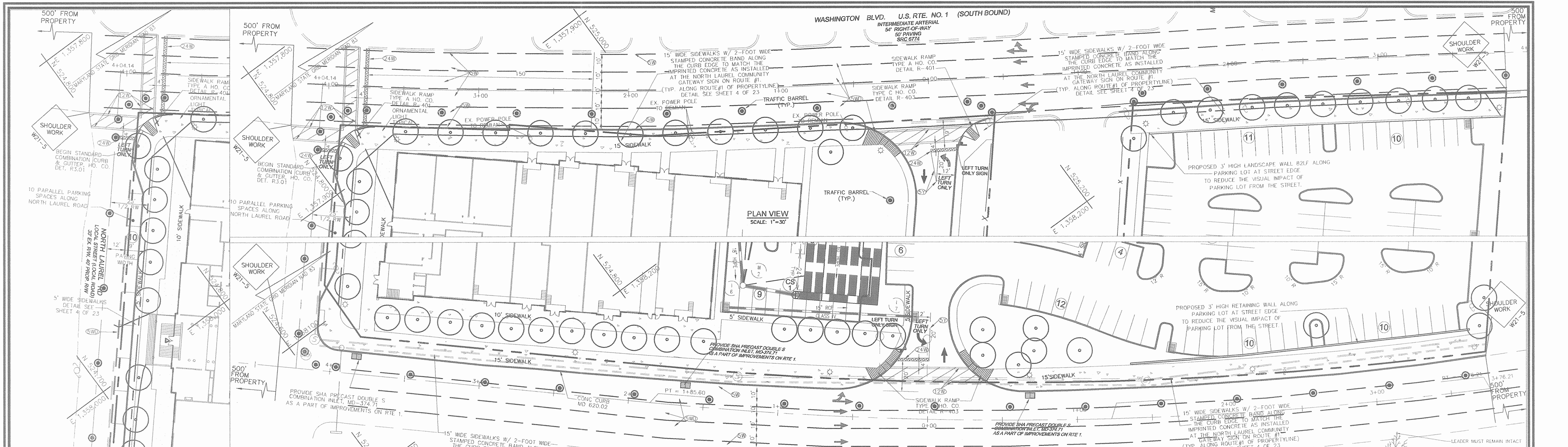
TAX MAP 50 GRID 10 PARCEL 379, 423
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

ROBERT H. VOGEL
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELIGOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHV/RJM/JY
DRAWN BY: RJM
CHECKED BY: RHM
DATE: AUGUST 2006
SCALE: AS SHOWN
W.O. NO.: 05-51.00

10 SHEET OF 12

SDP-06-107



BRICK WALL WITH ORNAMENTAL METAL FENCE
SCALE: NTS

GENERAL NOTES

- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$51,350 FOR 121 SHADE TREES, 24 EVERGREEN TREES, 81 SHRUBS AND 451 LF OF WALL.
- FINANCIAL SURETY FOR THE REQUIRED STREET TREES SHALL BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$17,400 FOR 58 STREET TREES.
- AT THE TIME OF PLANT INSTALLATION, ALL SHRUBS AND TREES LISTED AND APPROVED ON THE LANDSCAPE PLAN, SHALL COMPLY WITH THE PROPER HEIGHT REQUIREMENT IN ACCORDANCE WITH THE HOWARD COUNTY LANDSCAPE MANUAL. IN ADDITION, NO SUBSTITUTIONS OR RELOCATIONS OF THE REQUIRED PLANTINGS MAY BE MADE WITHOUT PRIOR REVIEW AND APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN MAY RESULT IN DENIAL OR DELAY IN THE RELEASE OF LANDSCAPE SURETY UNTIL SUCH TIME AS ALL REQUIRED MATERIALS ARE PLANTED AND/OR REVISIONS ARE MADE TO THE APPLICABLE PLANS. THE OWNER, TENANTS AND/OR THEIR AGENTS SHALL BE RESPONSIBLE FOR MAINTENANCE OF THE REQUIRED LANDSCAPING INCLUDING BOTH PLANT MATERIALS AND BERMS, FENCES AND WALLS. ALL PLANT MATERIALS SHALL BE MAINTAINED IN GOOD GROWING CONDITION, AND WHEN NECESSARY, REPLACED WITH NEW MATERIALS TO ENSURE CONTINUED COMPLIANCE WITH APPLICABLE REGULATIONS. ALL OTHER REQUIRED LANDSCAPING SHALL BE PERMANENTLY MAINTAINED IN GOOD CONDITION, AND WHEN NECESSARY, REPAIRED OR REPLACED. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.

THERMOPLASTIC PAVEMENT MARKING LEGEND

SWD = 5" WHITE DOTTED LINE (3' LINE, 9" SPACES)
 SW = 5" SOLID LINE
 SY = 5" YELLOW SOLID LINE
 12W = 12" PREFORMED THERMOPLASTIC WHITE CROSSWALK
 24W = 24" PREFORMED THERMOPLASTIC WHITE STOPLINE

NOTES

- ALL PAVEMENT MARKINGS NOT DETAILED ARE EXISTING AND SHALL REMAIN.

IMPROVEMENTS PER ROUTE 1 MANUAL

CURB ALONG US RTE. 1:
 MD. TYPE 'A' CONCRETE COMBINATION CURB AND GUTTER MD. NO. 620.02

CURB ALONG NORTH LAUREL ROAD:
 STANDARD COMBINATION CURB AND GUTTER HOWARD COUNTY STANDARD R-3.01

EDGING FOR SIDEWALK:
 MANUFACTURED BY ABBOTSFORD CONCRETE PRODUCTS, LTD., OR EQUAL BY ANOTHER MANUFACTURER.
 CONCRETE PAVERS, COBBLESTONE PATTERN, SHADOW (GRAY) COLOR.

CROSSWALK PAVING:
 STAMPED ASPHALT PAVING, BRITISH COBBLE PATTERN, GRANITE COLOR WITH TEXAS COBBLE EDGES, CONCRETE GRAY COLOR, MANUFACTURED BY STREETPRINT, OR EQUAL BY ANOTHER MANUFACTURER.

CROSSWALK STRIPING:
 WHITE THERMOPLASTIC LINES, ALL LINES 1-FOOT WIDE, OUTSIDE EDGES TO BE 2 PARALLEL LINES, 10 FEET APART, INTERNAL STRIPING TO BE PERPENDICULAR TO THE EDGE LINES, 2 FEET APART.

ORNAMENTAL STREET LIGHT:
 BLACK FINISH, TEARDROP FIXTURE SB470A WITH ARM ADAPTER SB470, MANUFACTURED BY HADCO, OR EQUAL BY ANOTHER MANUFACTURER. THE POLE IS TAPERED, FLUTED BLACK METAL WITH WRAP-AROUND BASE.

INTERNAL PARKING LOT LIGHTS:
 WHITE FINISH, AR3 FIXTURE, 2B MOUNTING, A-25 OPTION, VSF-2B VSF OPTION PSA16-4125B/WH-P POLE.

WALL DETAIL DESIGNED & FURNISHED BY HORD COPLAN & MCHT ARCHITECTS, ROBERT H. VOGEL ENGINEERING DOES NOT ACCEPT ANY LIABILITY FOR THE STRUCTURAL INTEGRITY OF THE WALL.

FINISH GRADE, SEE GRADING PLAN

REINFORCED CONC. RETAINING WALL

REINFORCED CONCRETE FOOTING

PERFORATED PVC PIPE CONNECT TO STORM DRAIN

ASPHALT PAVING, TYP.

BRICK VENEER 8" BELOW FIN. GRADE, TYP.

BRICK VENEER

PRECAST COPING

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

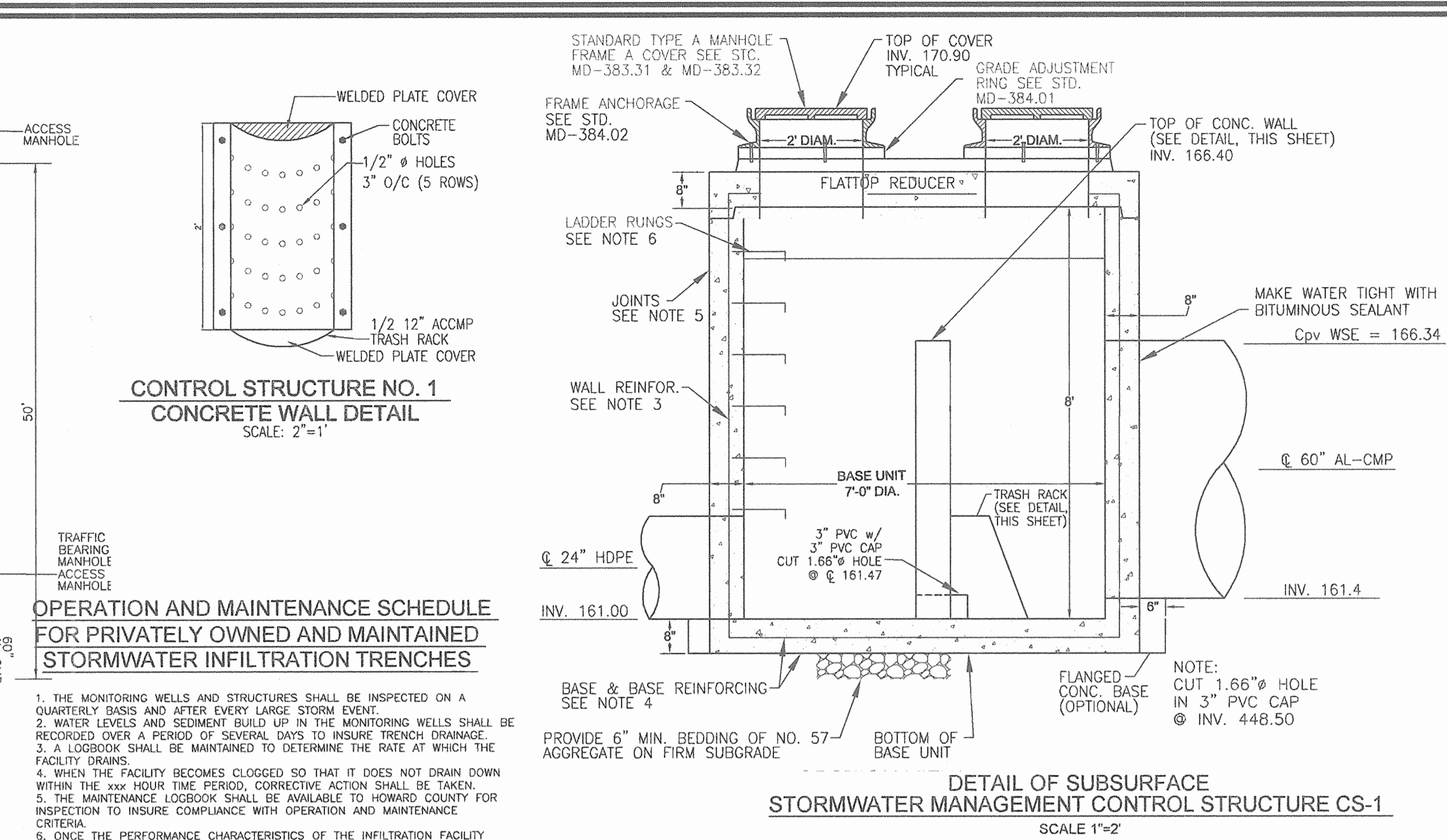
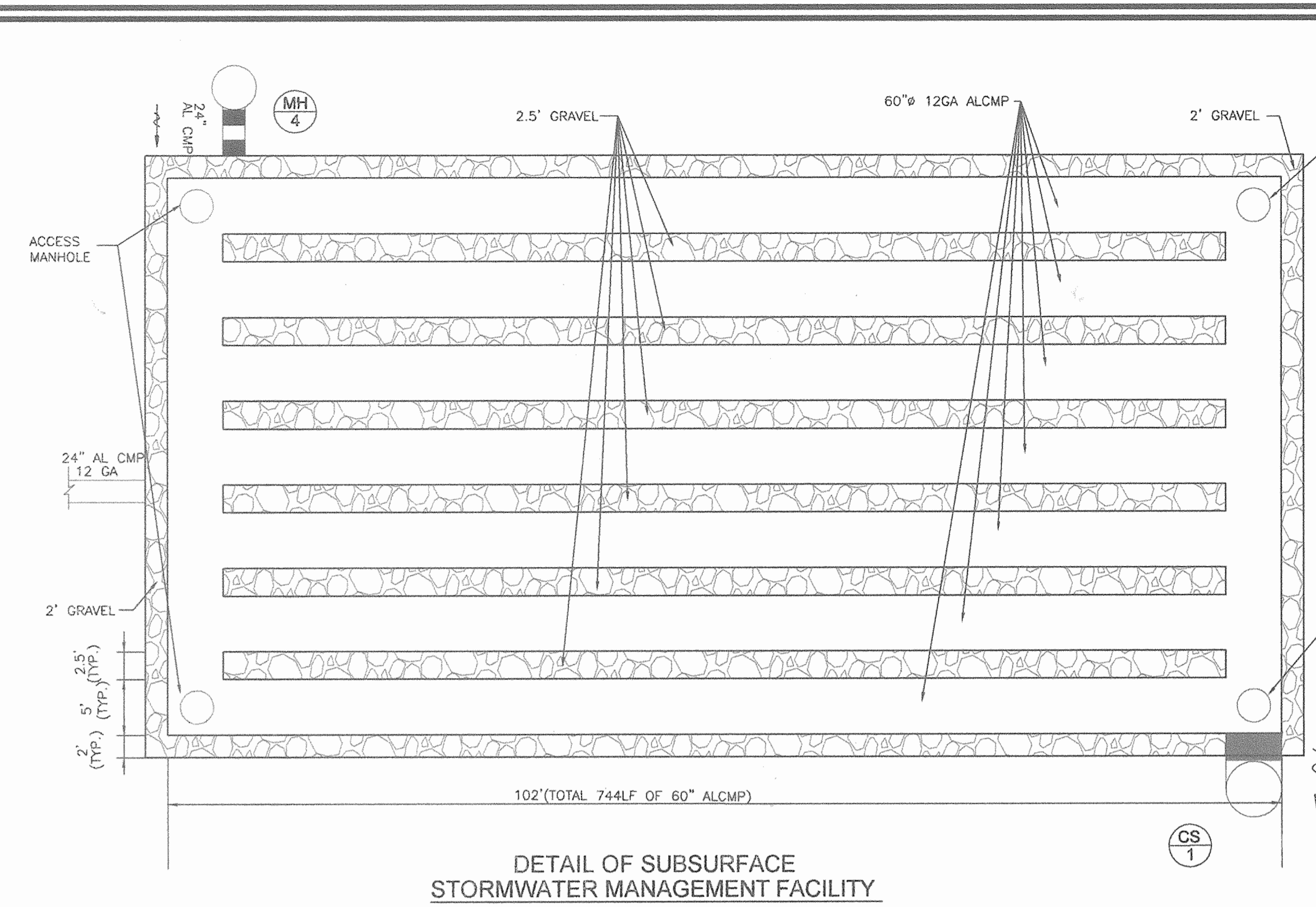
PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'

PLAN VIEW SCALE: 1"=30'



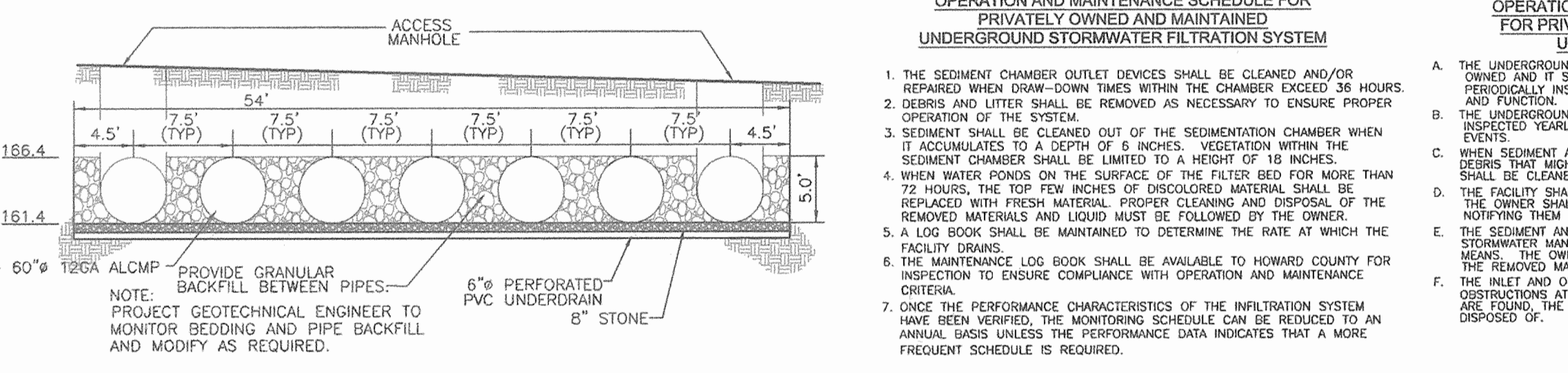
CONTROL STRUCTURE NOTES:

1. MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199.
2. CONCRETE SHALL BE MIX NO. 6 (4500 P.S.I.).
3. WALL REINFORCEMENT FOR BASE UNITS AND RISER UNITS SHALL BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.2 IN.²/FT. FOR THE 84" DIAMETER MANHOLES. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 AND A 82.
4. BASE REINFORCEMENT TO BE REINFORCEMENT BARS OR WELDED WIRE FABRIC WITH A MINIMUM AREA OF 0.27 IN.²/FT. THE BASE SHALL BE CAST MONOLITHIC WITH THE BASE UNIT OR JOINTED PER MANUFACTURER'S DESIGN.
5. THE MANUFACTURER SHALL FORM MALE AND FEMALE ENDS OF JOINTS USING THEIR OWN DESIGN. THE JOINTS SHALL BE SEALED BY THE CONTRACTOR AND MADE WATERTIGHT USING (WHERE APPLICABLE) MORTAR, RUBBER O-RING GASKETS MEETING ASTM C361 AND C 443 OR FLEXIBLE PLASTIC GASKETS MEETING ASTM M 198 TYPE B.
6. LADDER RUNGS SHALL BE INSTALLED IN VERTICAL ALIGNMENT AT 1'-4" MAXIMUM C/C. RUNG TYPES SHALL BE IN ACCORDANCE WITH STANDARDS MD-383.91 OR MD-383.92. LADDER RUNGS SHALL BE INCIDENTAL TO THE COST OF THE MANHOLE.
7. WHEN THE DISTANCE BETWEEN MULTIPLE PIPE OPENINGS IN THE BASE UNIT OR ANY RISER UNIT IS LESS THAN 6" ADDITIONAL NO. 3 BARS ARE REQUIRED AROUND OPENINGS.
8. LIFT HOLES OR LIFT EYES SHALL BE PROVIDED IN EACH SECTION FOR HANDLING.
9. MIX NO. 2 CONCRETE OR BRICK CHANNEL SHALL BE PROVIDED IN THE FIELD AND SHALL SLOPE 2" PER FOOT TOWARD OUTLET OR AS DIRECTED BY THE ENGINEER.
10. THE DRIP STONE LANDING SHALL BE USED ONLY WHEN THERE ARE PIPES CONNECTED TO THE RISER UNITS. SEE STD.MD-384.13 FOR DETAILS.
11. MINIMUM DEPTH PAYMENT PER EACH SHALL BE 10'-1" MEASURED FROM THE BOTTOM OF THE BASE UNIT TO THE TOP OF THE MANHOLE COVER. VERTICAL DEPTH PAYMENT PER LINEAR FOOT SHALL INCLUDE ALL DEPTHS IN EXCESS OF 10'-1" THE COST OF THE DRIP STONE LANDING, NO. 57 AGGREGATE GROUT, SEALANT, AND ALL NECESSARY APPURTENANCES SHALL BE INCIDENTAL TO THE PRICE BID.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES

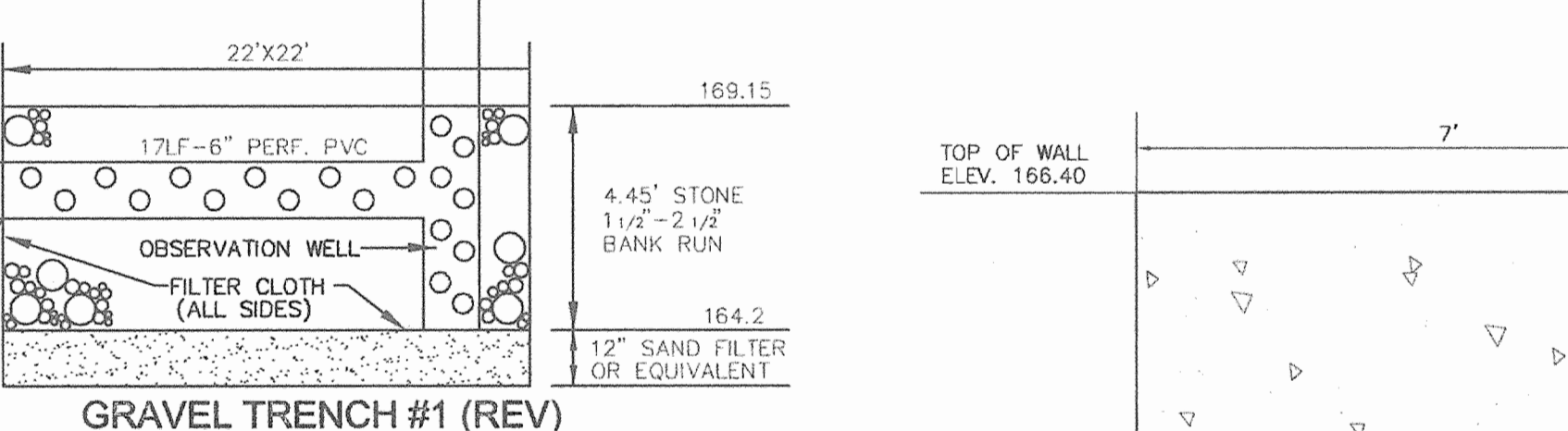
1. THE MONITORING WELLS AND STRUCTURES SHALL BE INSPECTED ON A QUARTERLY BASIS AND AFTER EVERY LARGE STORM EVENT.
2. WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS SHALL BE RECORDED OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. A LOGBOOK SHALL BE MAINTAINED TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED SO THAT IT DOES NOT DRAIN DOWN WITHIN THE xxx HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

DETAIL OF SUBSURFACE STORMWATER MANAGEMENT CONTROL STRUCTURE CS-1

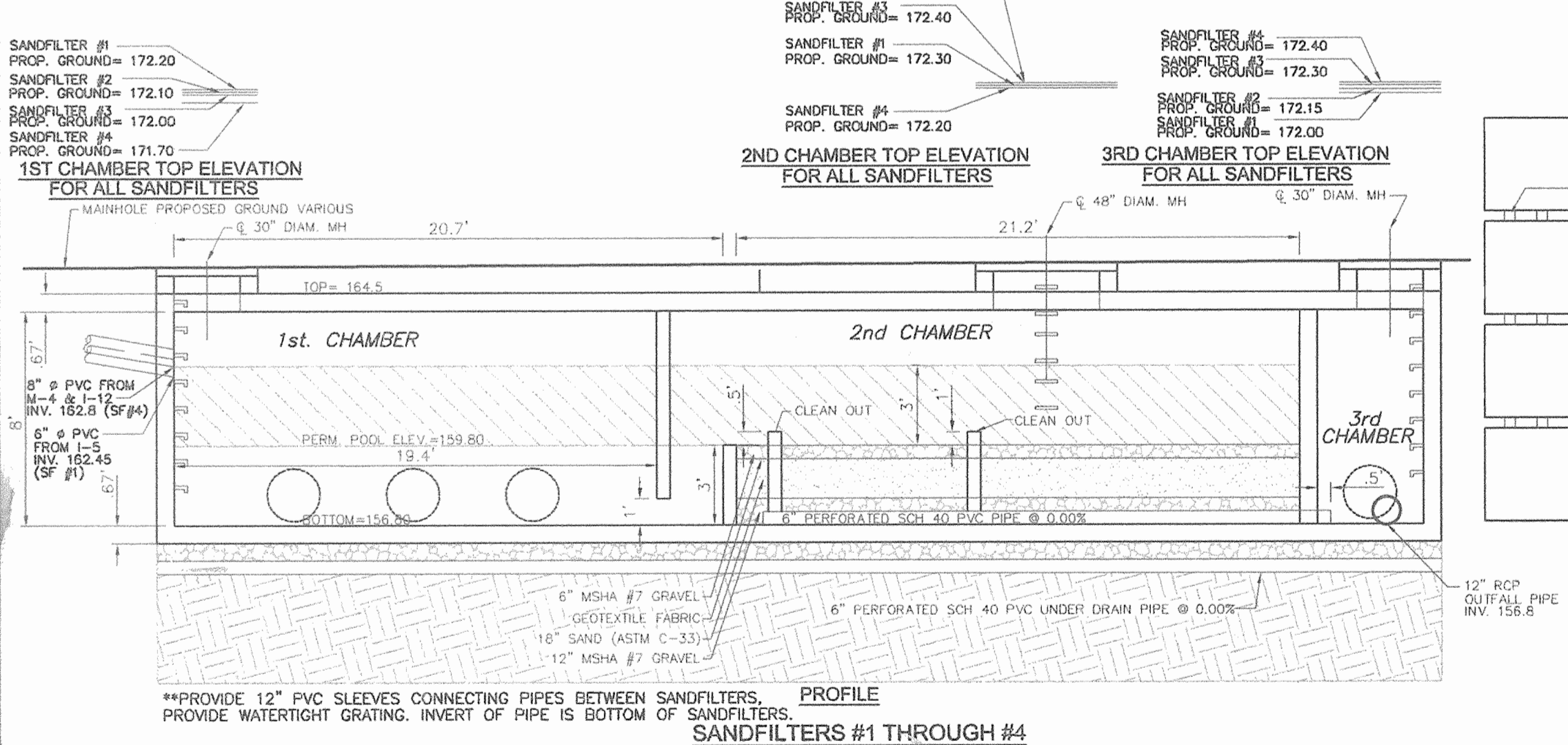


OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED UNDERGROUND FACILITIES

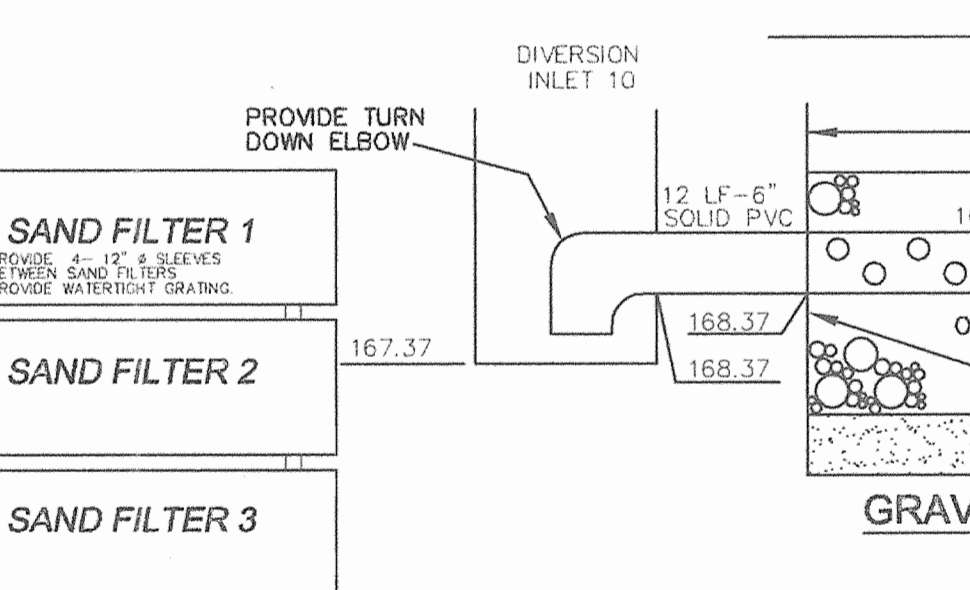
- A. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY IS PRIVATELY OWNED AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERIODICALLY INSPECT AND CLEAN THE FACILITY TO MAINTAIN ITS OPERATION AND FUNCTION.
- B. THE UNDERGROUND STORMWATER MANAGEMENT FACILITY SHALL BE INSPECTED YEARLY AT A MINIMUM AND AFTER ESPECIALLY SEVERE STORM EVENTS.
- C. WHEN SEDIMENT ACCUMULATION OF MORE THAN 2" IS OBSERVED OR ANY SEDIMENT THAT MIGHT OBSTRUCT THE OUTFALL IS OBSERVED, THE FACILITY SHALL BE CLEANED.
- D. THE FACILITY SHALL BE CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES NOTIFYING THEM OF THE SPILL AND CLEANUP OPERATION.
- E. THE SEDIMENT AND DEBRIS SHALL BE REMOVED FROM THE UNDERGROUND STORMWATER MANAGEMENT FACILITY BY VACUUM TRUCK OR OTHER MANUAL MEANS.
- F. THE REMOVED MATERIAL AND LIQUID, INCLUDING OILS, GREASES, AND OTHER HAZARDOUS MATERIALS, SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX (6) MONTHS. OBSTRUCTIONS ARE FOUND, THE OWNER SHALL HAVE THEM REMOVED AND PROPERLY DISPOSED OF.



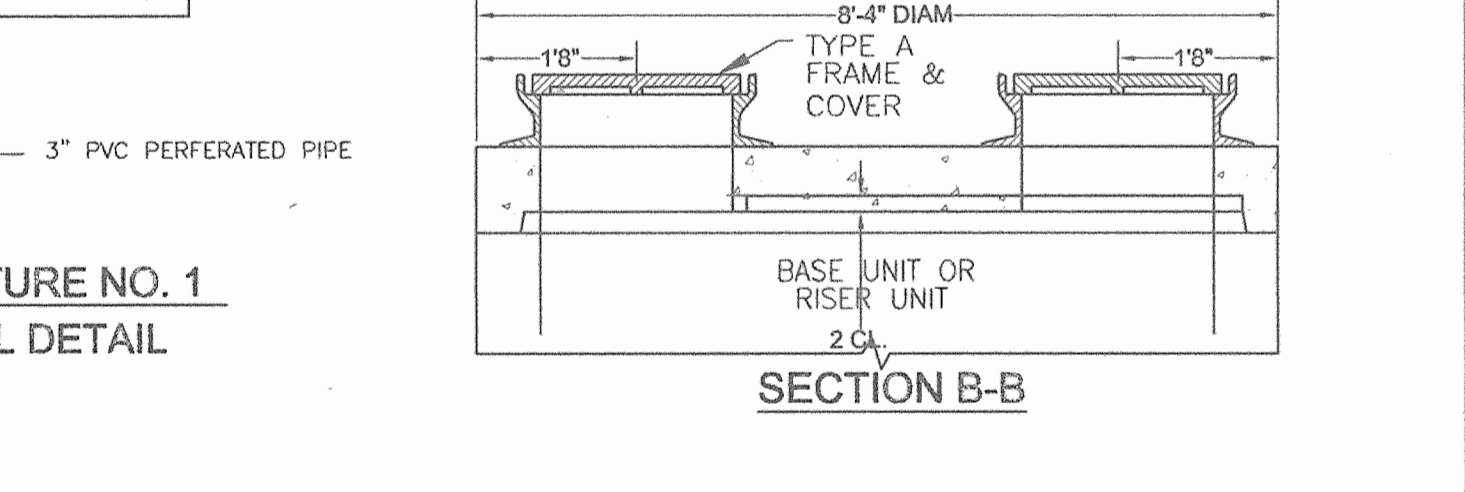
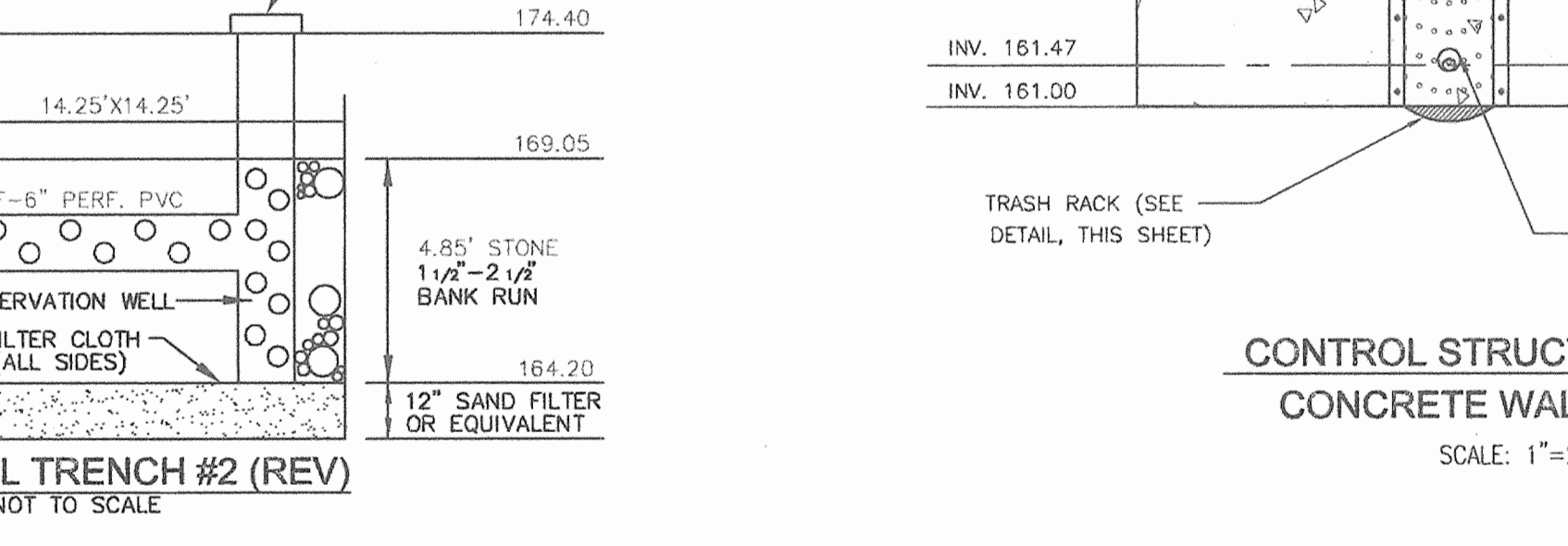
SUBSURFACE STORMWATER MANAGEMENT FACILITY CROSS SECTION



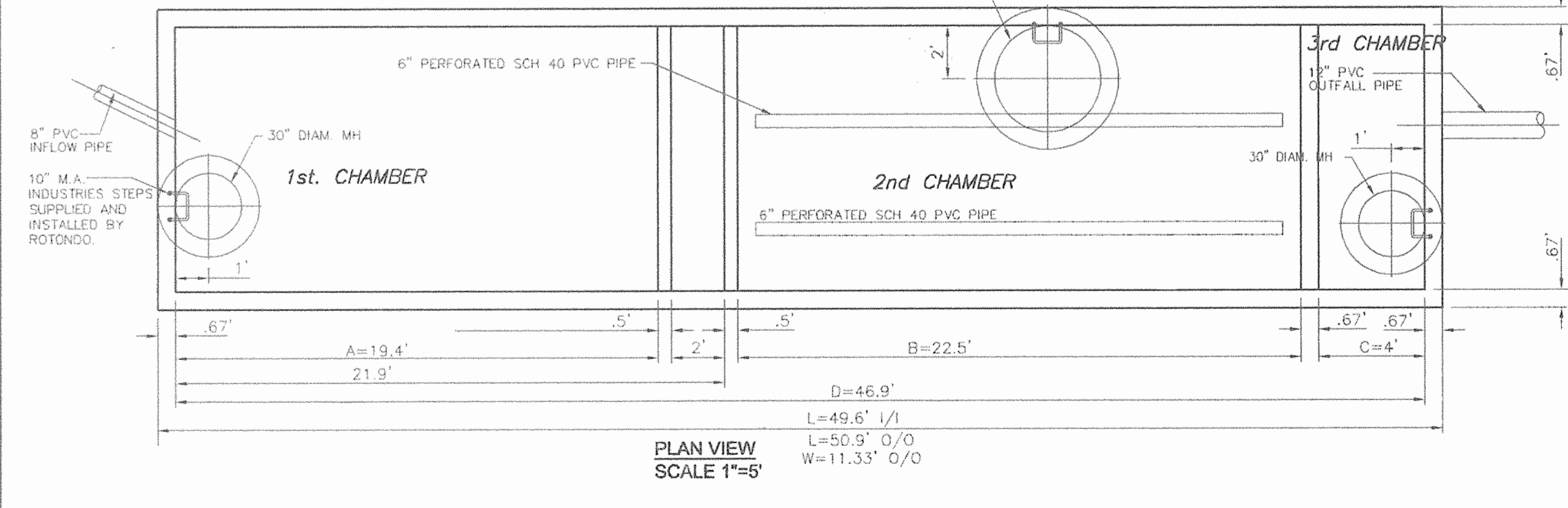
GRAVEL TRENCH #2 (REV)



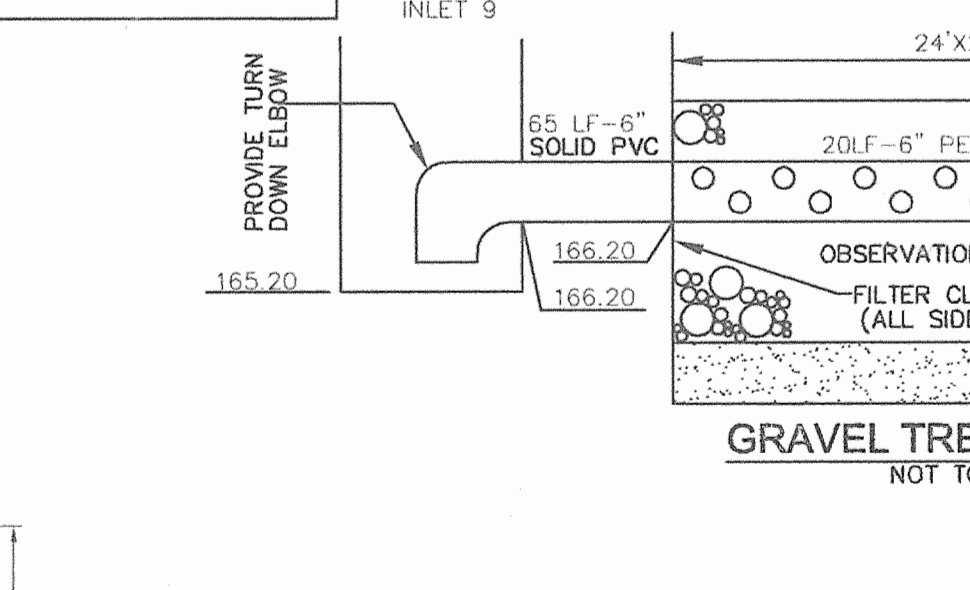
CONTROL STRUCTURE NO. 1 CONCRETE WALL DETAIL



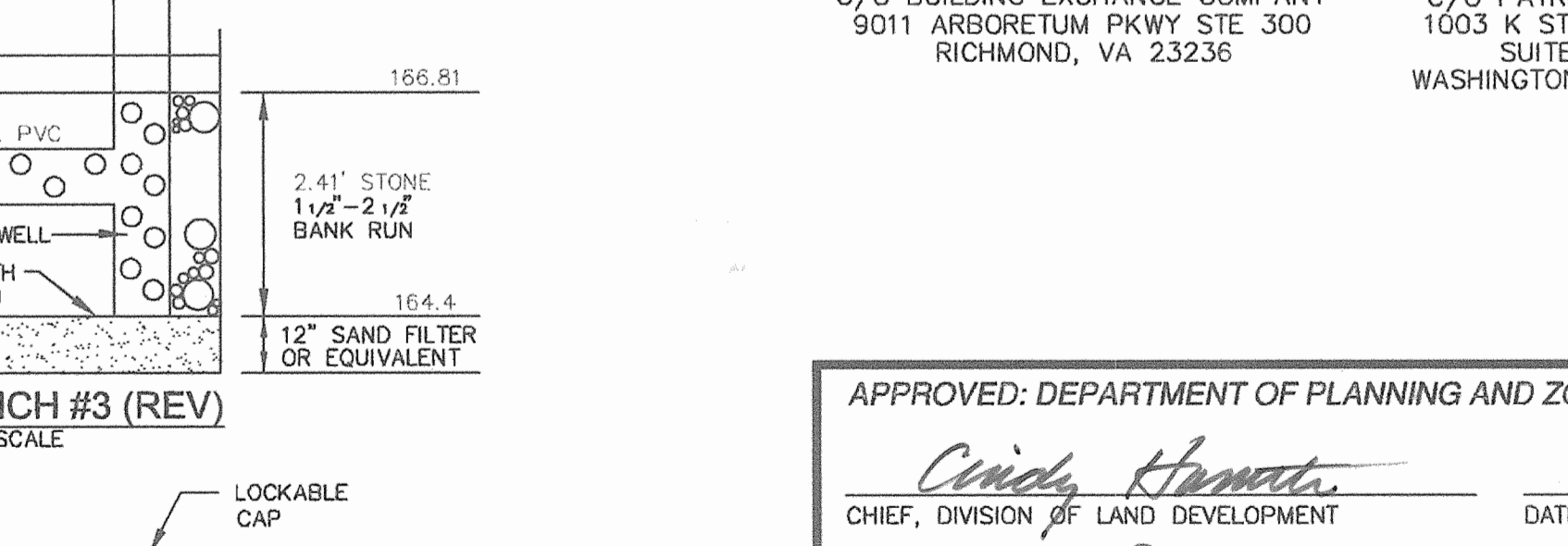
UNDERGROUND SAND FILTERS: THE STRUCTURE MUST BE DESIGNED BY A STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION. THIS PERTAINS ALL CUSTOM STRUCTURES.



GRAVEL TRENCH #3 (REV)



GRAVEL TRENCH #4 (REV)



OWNER
10071 W60 LLC
C/O BUILDING EXCHANGE COMPANY
9011 ARBORETUM PKWY STE 300
RICHMOND, VA 23236

DEVELOPER
10071 W60 LLC
C/O PATRIOT GROUP
1003 K STREET, NW
SUITE 207
WASHINGTON, DC 20001

SCHEMATIC DETAIL OF SUBSURFACE STORMWATER MANAGEMENT FACILITY

SCALE 1"=2'

APPROVED: DEPARTMENT OF PLANNING AND ZONING

Cindy Hanata 10/1/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

Al DeMunnis 9/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Frank D. Cuyler 10/5/06
DIRECTOR DATE

APPROVED: HOWARD COUNTY HEALTH DEPARTMENT

COUNTY HEALTH OFFICER
HOWARD COUNTY HEALTH DEPARTMENT 5/FP DATE

**SWM FACILITY DETAILS I
SITE DEVELOPMENT PLAN
ASHBURY COURTS**

RETAIL AND
140 APARTMENT HOUSING UNITS
BUILDABLE BULK PARCEL A

TAX MAP 50 GRID 10. PARCEL 379, 408, 423
6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

**ROBERT H. VOGEL
ENGINEERING, INC.**
ENGINEERS • SURVEYORS • PLANNERS
8407 MAIN STREET TEL: 410.461.7666
ELLCOTT CITY, MD 21043 FAX: 410.461.8961

DESIGN BY: RHV/RJM
DRAWN BY: RJM
CHECKED BY: RHV
DATE: JUNE 2006
SCALE: AS SHOWN
W.O. NO.: 05-91.00

12 SHEET OF 12