

SITE DEVELOPMENT PLAN

MONTPELIER RESEARCH PARK

PARCEL A

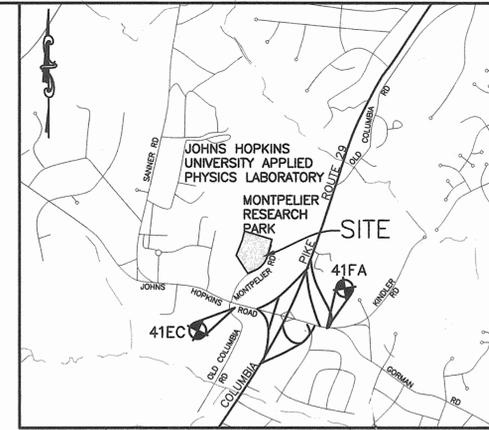
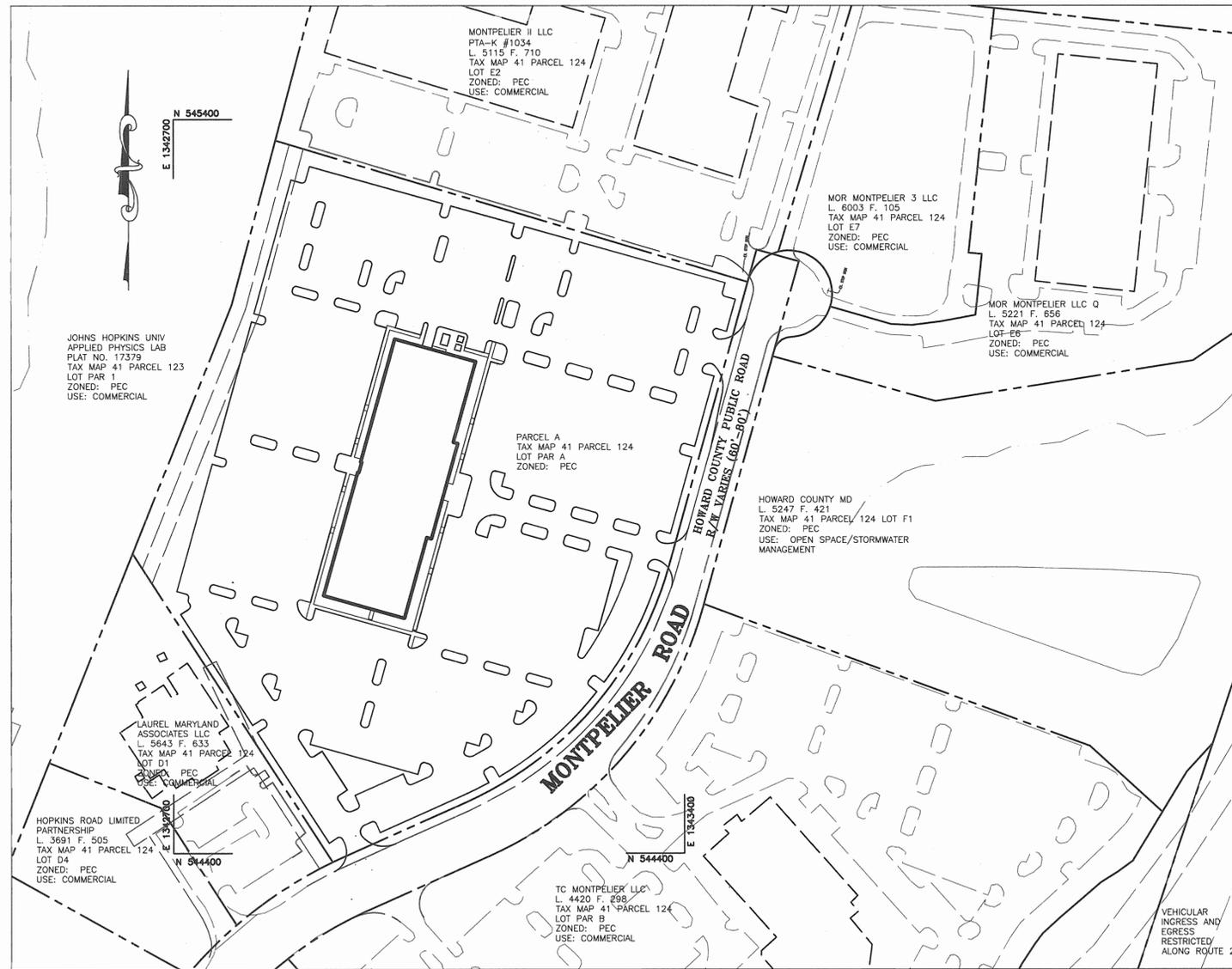
5TH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

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EXISTING VEGETATION				
COMMUNITY	DOMINANT SPECIES	TYPICAL CALIPER	MATURITY	CONDITION
BRUSH/TREES	GREEN ASH	< 6"	IMMATURE	FAIR TO POOR
OPEN FIELD	N/A	N/A	N/A	N/A

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PATTON HARRIS RUST & ASSOCIATES DATED DECEMBER 2005.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON NAD83 (HORIZONTAL) AND NAVD88 (VERTICAL). HOWARD COUNTY MONUMENT NOS. 41EC AND 41FA WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC. CONTRACT NO. 14-4369-D. PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. WATER HOUSE CONNECTION IS PRIVATE. ALL MATERIALS SHALL MATCH MAIN LINE MATERIALS ACCORDING TO HOWARD COUNTY SPECIFICATIONS.
 - SEWER IS PRIVATE AND TO BE CONSTRUCTED UNDER THIS SDP. ALL SEWER PIPE SHALL BE PVC MEETING HOWARD COUNTY SPECIFICATIONS.
 - STORMWATER MANAGEMENT FOR PARCEL A WILL BE HANDLED BY AN OFF-SITE POND ON LOT F1. SEE SDP-98-11. SWM POND TO BE MAINTAINED BY MONTPELIER OWNERS ASSOCIATION, INC. AT PRESENT, THE POND IS STILL MAINTAINED BY HOPKINS ROAD LIMITED PARTNERSHIP. THIS IS IN ACCORDANCE WITH "MAINTENANCE AGREEMENT, SITE DEVELOPMENT, PRIVATE STORM WATER MANAGEMENT FACILITIES", MAINTENANCE AGREEMENT # SDP-98-11, DATED 10/23/97, BY AND BETWEEN HOPKINS ROAD LIMITED PARTNERSHIP AND HOWARD COUNTY, MARYLAND.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
 - A 100-YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
 - NO WETLANDS ARE FOUND ON THIS PROJECT PER FIELD VISIT BY PHRA DATED DECEMBER 2005.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY WELLS & ASSOCIATES, LLC DATED MARCH 2006 AND APPROVED ON MARCH 22, 2006.
 - A NOISE STUDY FOR THIS PROJECT IS NOT REQUIRED.
 - THE BOUNDARY SURVEY FOR THIS PROJECT WAS VERIFIED BY PATTON HARRIS RUST & ASSOCIATES IN DECEMBER 2005.
 - SUBJECT PROPERTY ZONED PEC PER 02-02-04 COMPREHENSIVE ZONING PLAN.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
 - SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-98-11, F-98-45, S 86-47, F-06-217.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE.
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
 - ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 34,470.00 FOR 92 SHADE TREES, 0 ORNAMENTAL TREES, 0 EVERGREEN TREES, AND 229 SHRUBS.
 - FOREST CONSERVATION OBLIGATIONS FOR THE MONTPELIER RESEARCH PARK HAVE BEEN ADDRESSED UNDER SDP-98-11.
 - NO HISTORIC STRUCTURES OR CEMETERIES ARE LOCATED ON THIS SITE.
 - A FOREST STAND DELINEATION REPORT HAS BEEN PROVIDED WITH A PREVIOUS SDP SUBMISSION FOR THE BUSINESS PARK.
 - AN ADMINISTRATIVE ADJUSTMENT FOR BUILDING HEIGHT HAS BEEN GRANTED (AA-06-14) TO INCREASE THE BUILDING HEIGHT FROM 80' TO 85'. THE ADMINISTRATIVE ADJUSTMENT WAS GRANTED ON MAY 4, 2006 AND IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS.
 - A BUILDING PERMIT FOR THE STRUCTURE SHALL BE OBTAINED WITHIN TWO YEARS FROM THE DATE OF THIS ORDER AND SUBSTANTIAL CONSTRUCTION SHALL BE COMPLETED WITHIN THREE YEARS.
 - THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE STRUCTURE AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING, OR USE.
 - CONSTRUCTION OF ENTRANCES SHALL BE ACCOMPLISHED BY UTILIZING MSHA STANDARD No. MD 104.33-02 AS SHOWN ON SHEET 4 OF 10. INSTALL ALL SIGNAGE AND DEVICES PER THE STANDARD DETAIL.
 - NO FLOODPLAINS, WETLANDS, STREAMS, OR ASSOCIATED BUFFERS EXIST ON SITE. NO FOREST CONSERVATION EASEMENT AREAS EXIST ON SITE.
 - OPEN SPACE HAS BEEN ADDRESSED ON PREVIOUS PLATS. SEE PLATS 13229-13234 AND 14137-14138. PARCELS F-1, G-1, AND G-2 ARE OPEN SPACE PARCELS.
 - THERE ARE NO SPECIMEN TREES ON SITE.



AREA TABULATION CHART	
AREA OF SITE:	12.006 ACRES (522,981 SF)
LIMIT OF DISTURBED AREA:	11.93 ACRES ± (519,692 SF±)
PRESENT ZONING:	PEC (PLANNED EMPLOYMENT CENTER)
EXISTING USES:	VACANT
PROPOSED USES:	6 STORY OFFICE BUILDING AND PARKING
PROPOSED FLOOR AREA:	253,974 SF ± 42,621 SF FLOORS 1-4 41,745 SF FLOORS 5-6
NUMBER OF TENANTS:	1 TENANT
MAXIMUM NUMBER OF EMPLOYEES:	1,250 EMPLOYEES
PARKING REQUIRED:	3.3 SPACES PER 1,000 SF OF OFFICE = 3.3 X 253,974/1,000 = 838.11 SPACES = 838 SPACES REQUIRED
PROPOSED PARKING:	1,161 SPACES (INCLUDES 22 HANDICAPPED SPACES)
AREA OF STEEP SLOPES:	0.04 AC ± (1,617 SF±)

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark J. Leighton 7/5/06
DIRECTOR DATE

[Signature] 6/23/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/5/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT MONTPELIER RESEARCH PARK
PARCEL A

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

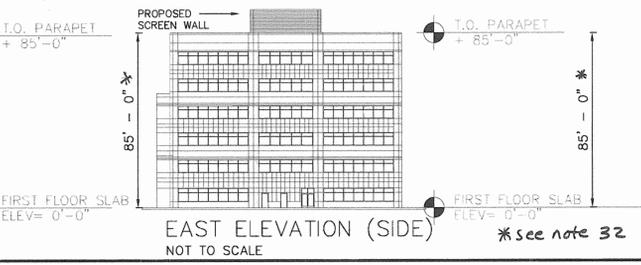
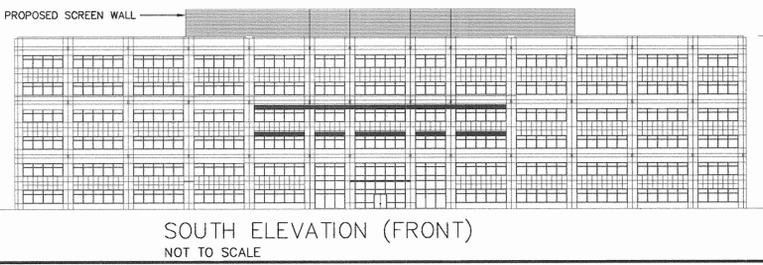
TITLE SHEET

Patton Harris Rust & Associates,pc
Engineers. Surveyors. Planners. Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

PHRA

DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : AS SHOWN
DRAWING NO. 1 OF 10

JOHN W. CLAPSADLE #16956



LEGEND

- PROPERTY LINE
- BLDG. RESTRICTION LINE
- EXISTING BLDG.
- EXISTING EDGE OF PVMT.
- PROPOSED BLDG.
- PROPOSED EDGE OF PVMT.
- EXISTING STREAM

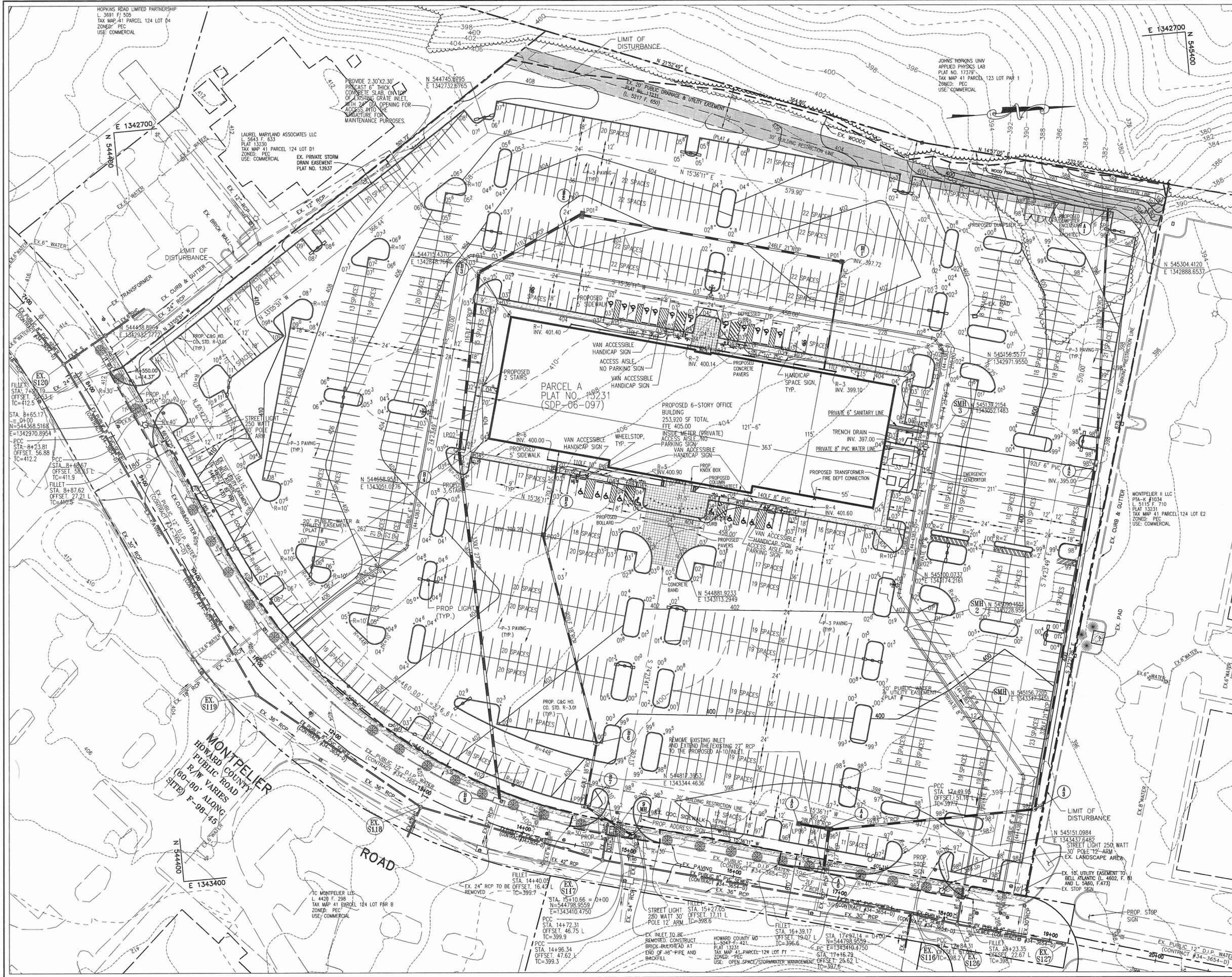
ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
124	7651 MONTPELIER RD

SUBDIVISION NAME	SECT./AREA	PARCEL
MONTPELIER RESEARCH PARK	-	124

PLAT NO.	GRID #	ZONING	TAX MAP NO.	ELECT. DIST.	CENSUS TRACT
18340	17	PEC	41	5	6051.02

WATER CODE	SEWER CODE
E21	6480000



- NOTES:
1. ALL CURB RADII ARE 5' UNLESS SPECIFIED.
 2. ALL PAVING TO BE P-3 PAVING.
 3. SEE SHEET 6 FOR PAVING, CURB AND GUTTER, SIDEWALK, AND DUMPSTER DETAILS.
 4. SEE EXISTING VEGETATION CHART, SHEET 1 FOR INFORMATION REGARDING VEGETATIVE COMMUNITIES. THE EXISTING FOREST IS OVERGROWN WITH VINES AND BRAMBLES AND CONTAINS FEW TREES.
 5. NO SPECIMEN TREES EXIST ON SITE.
 6. KNOX BOX SHALL BE LOCATED TO THE RIGHT OF THE MAIN FRONT ENTRANCE AS SHOWN. IT SHALL BE PLACED AT A RANGE OF 4'-5" IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM.)

STREET LIGHT CHART		
NO.	LOCATION	DESCRIPTION
20	SEE PLAN	400 WATT CLEAR BT-37 METAL HALIDE MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE
3	8+64 40' LT. 15+08 29' LT. 18+00 34' LT.	250 WATT HPS (SAG) MOUNTED ON A 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.

LEGEND

	PROPERTY LINE
	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 10' CONTOURS
	PROPOSED 2' CONTOURS
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	EXISTING CURB AND GUTTER
	PROPOSED CURB & GUTTER
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	BUILDING RESTRICTION LINE
	PARKING RESTRICTION LINE
	EXISTING TREE
	PROP. SPOT ELEVATION
	PROPOSED LIGHT (SITE)
	PROPOSED LIGHT (RIGHT OF WAY)
	CONCRETE SIDEWALK
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Paul D. Eagle 7/5/06
DIRECTOR DATE

John W. Clapsaddle 6/19/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John W. Clapsaddle 7/5/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO. REVISION

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT MONTPELIER RESEARCH PARK
PARCEL A

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

PHRA

DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : 1" = 40'
DRAWING NO. 2 OF 10

John W. Clapsaddle
JOHN W. CLAPSADDLE #16956

SOILS CHART

SYMBOL	NAME	STRUCTURAL LIMITATIONS	EROSION HAZARD	HYDRIC	SLOPE (%)	HYDROLOGIC SOIL GROUP
GIB2	GLENELG LOAM	SLIGHT	MODERATE	NO	3-8%	B
MgC2	MANOR GRAVELLY LOAM	MODERATE	MODERATE	NO	8-15%	B
MgC3	MANOR GRAVELLY LOAM	MODERATE	SEVERE	NO	8-15%	B
MID3	MANOR LOAM	MODERATE	SEVERE	NO	15-25%	B

SOURCE: SOIL INFORMATION TAKEN FROM HOWARD COUNTY, MARYLAND SOIL SURVEY MAP #29.



LEGEND

- 13.2 PROP. SPOT ELEVATION
- EXISTING 10' CONTOURS
- EXISTING 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED 2' CONTOURS
- LIMIT OF DISTURBANCE
- TPD TREE PROTECTION DEVICE
- EARTH DIKE
- SSF SUPER SILT FENCE
- EXISTING DRAINAGE DIVIDE
- DRAINAGE DIVIDE STORM DRAINS

SOILS

- GIB2
- MID3

EXISTING TREES

- EX. TREES TO BE REMOVED
- STD. INLET PROTECTION
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- STOCKPILE AREA

BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Daniel S. Hodson JUNE 14, 2006
 DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE
 DANIEL S. HODSON

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

Dan W. Clapsaddle 6/24/06
 ENGINEER (PRINT NAME BELOW SIGNATURE) DATE
 DAN W. CLAPSADDLE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Maguire 6/24/06
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John K. Blanton 6/24/06
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Dorothy D. Coyle 7/5/06
 DIRECTOR DATE

Colleen Miller 7/5/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Colleen Miller 7/5/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
 9200 RUMSEY ROAD
 COLUMBIA, MD 21045
 410-997-7222

DEVELOPER: MONTPELIER III, LLC
 MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
 1055 THOMAS JEFFERSON ST., SUITE 600
 WASHINGTON, DC 20007
 703-288-9200

PROJECT: MONTPELIER RESEARCH PARK
 PARCEL A

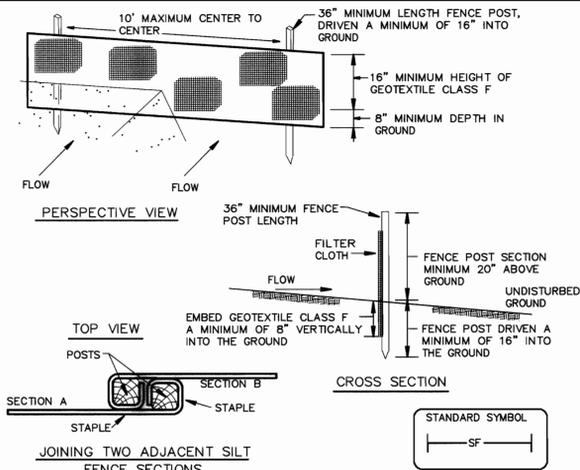
AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
 GRID 17 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PROPOSED 6 STORY OFFICE BUILDING

TITLE: GRADING, SOILS, SEDIMENT CONTROL AND DRAINAGE AREA MAP

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

DESIGNED BY: JWC
 DRAWN BY: ALC
 PROJECT NO: 14184-1-0
 DATE: MAY 18, 2006
 SCALE: 1" = 40'
 DRAWING NO. 3 OF 10

DETAIL 22 - SILT FENCE



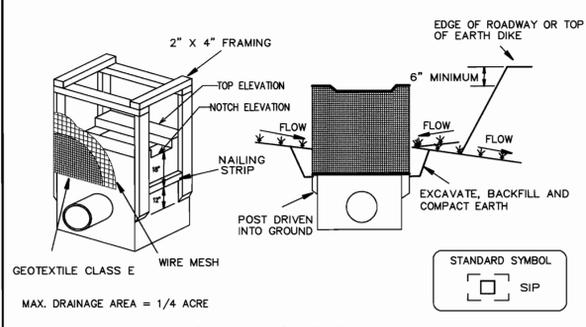
Construction Specifications

- Fence posts shall be a minimum of 36" long driven 16" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of sound quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
- Geotextile shall be fastened securely to each fence post with wire ties or staples at top and mid-section and shall meet the following requirements for Geotextile Class F:

Tensile Strength	50 lbs/in (min.)	Test: MSMT 509
Tensile Modulus	20 lbs/in (min.)	Test: MSMT 509
Flow Rate	0.3 gal ft ² / minute (max.)	Test: MSMT 322
Filtering Efficiency	75% (min.)	Test: MSMT 322
- Where ends of geotextile fabric come together, they shall be overlapped, folded and stapled to prevent sediment bypass.
- Silt Fence shall be inspected after each rainfall event and maintained when bulges occur or when sediment accumulation reached 50% of the fabric height.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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DETAIL 23A - STANDARD INLET PROTECTION

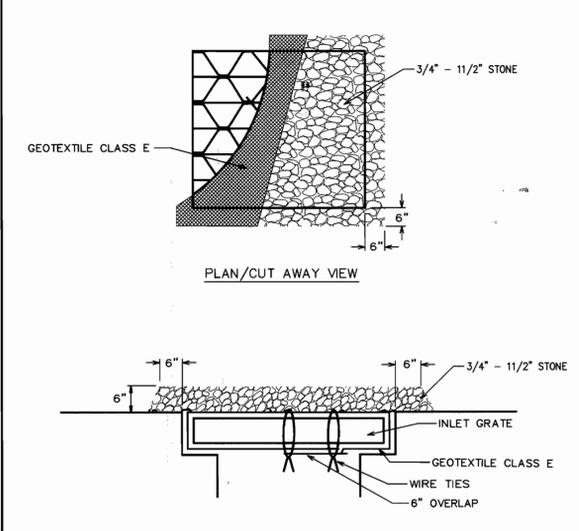


Construction Specifications

- Excavate completely around the inlet to a depth of 18" below the notch elevation.
- Drive the 2" x 4" construction grade lumber posts 1' into the ground at each corner of the inlet. Place nail strips between the posts on the ends of the inlet. Assemble the top portion of the 2" x 4" frame using the overlap joint shown on Detail 23A. The top of the frame (weir) must be 6" below adjacent roadways where flooding and safety issues may arise.
- Stretch the 1/2" x 1/2" wire mesh tightly around the frame and fasten securely. The ends must meet and overlap at a post.
- Stretch the Geotextile Class E tightly over the wire mesh with the geotextile extending from the top of the frame to 18" below the inlet notch elevation. Fasten the geotextile firmly to the frame. The ends of the geotextile must meet at a post, be overlapped and folded, then fastened down.
- Backfill around the inlet in compacted 6" layers until the layer of earth is level with the notch elevation on the ends and top elevation on the sides.
- If the inlet is not in a sump, construct a compacted earth dike across the ditch line directly below it. The top of the earth dike should be at least 6" higher than the top of the frame.
- The structure must be inspected periodically and after each rain and the geotextile replaced when it becomes clogged.

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DETAIL 23B - AT GRADE INLET PROTECTION

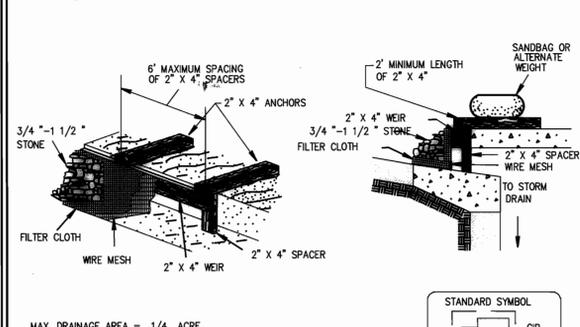


Construction Specifications

- Lift grate and wrap with Geotextile Class E to completely cover all openings, then set grate back in place.
- Place 3/4" to 1 1/2" stone, 4"-6" thick on the grate to secure the fabric and provide additional filtration.

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DETAIL 23C - CURB INLET PROTECTION



Construction Specifications

- Attach a continuous piece of wire mesh (30" minimum width by throat length plus 4") to the 2" x 4" weir (measuring throat length plus 2") as shown on the standard drawing.
- Place a continuous piece of Geotextile Class E the same dimensions as the wire mesh over the wire mesh and securely attach it to the 2" x 4" weir.
- Securely nail the 2" x 4" weir to a 9" long vertical spacer to be located between the weir and the inlet face (max. 4' apart).
- Place the assembly against the inlet throat and nail (minimum 2" lengths of 2" x 4" to the top of the weir at spacer locations). These 2" x 4" anchors shall extend across the inlet top and be held in place by sandbags or alternate weight.
- The assembly shall be placed so that the end spacers are a minimum 1' beyond both ends of the throat opening.
- Form the 1/2" x 1/2" wire mesh and the geotextile fabric to the concrete gutter and against the face of the curb on both sides of the inlet. Place clean 3/4" x 1/2" stone over the wire mesh and geotextile in such a manner to prevent water from entering the inlet under or around the geotextile.
- This type of protection must be inspected frequently and the filter cloth and stone replaced when clogged with sediment.
- Assure that storm flow does not bypass the inlet by installing a temporary earth or asphalt dike to direct the flow to the inlet.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE E - 16 - 5B	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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BY THE DEVELOPER :

I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Daniel S. Hodson
DEVELOPER **DANIEL S. HODSON** DATE **JUNE 14, 2006**

BY THE ENGINEER :

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Clapsaddle
ENGINEER **JOHN W. CLAPSADDLE** DATE **6/22/2006**

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim M. ...
NATURAL RESOURCES CONSERVATION SERVICE DATE **6/26/06**

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. ...
HOWARD SOIL CONSERVATION DISTRICT DATE **6/26/06**

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Debra ...
DIRECTOR DATE **7/5/06**

...
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE **6/26/06**

...
CHIEF, DIVISION OF LAND DEVELOPMENT DATE **7/5/06**

DATE	NO.	REVISION
------	-----	----------

OWNER **HOPKINS ROAD LIMITED PARTNERSHIP**
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER **MONTPELIER III, LLC**
MANAGING MEMBER: **TE MARYLAND DEVELOPMENT, INC.**
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

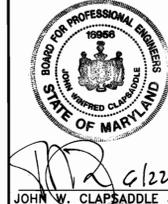
PROJECT **MONTPELIER RESEARCH PARK PARCEL A**

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

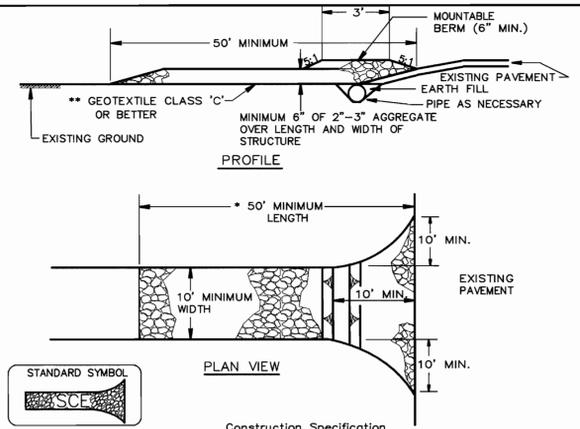
TITLE **SEDIMENT CONTROL DETAILS AND TRAFFIC CONTROL DETAILS**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY : JWC
DRAWN BY: RES
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : NOT TO SCALE
DRAWING NO. 4 OF 10



DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE

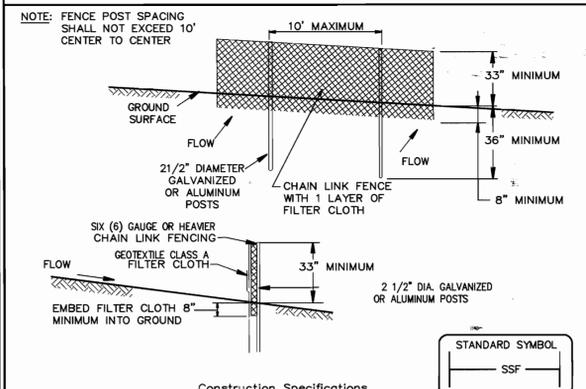


Construction Specification

- Length - minimum of 50' (*30' for single residence lot).
- Width - 10' minimum, should be flared at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. **The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equivalent shall be placed at least 6" deep over the length and width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a mountable berm with 5:1 slopes and a minimum of 6" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE F - 17 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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DETAIL 33 - SUPER SILT FENCE

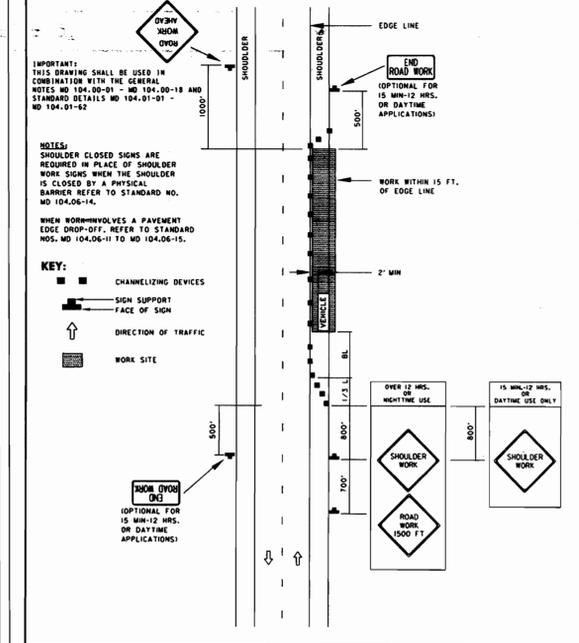


Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway (SHA) Details for Chain Link Fencing. The SHA specifications for a 6 foot fence shall be used, substituting 42" fabric and 6 foot length posts.
- The posts do not need to be set in concrete.
- Chain link fence shall be fastened securely to the fence posts with wire ties or staples. The lower tension wire, brace and truss rods, drive anchors and post caps are not required except on the ends of the fence. The chain link fencing shall be six (6) gauge or heavier.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 8" into the ground.
- When two sections of geotextile fabric adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and silt buildups removed when "bulges" develop in the silt fence, or when silt reaches 50% of fence height

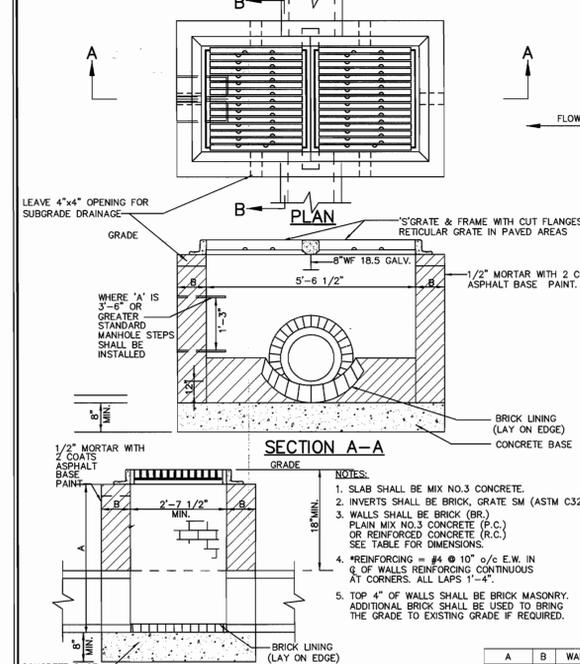
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE H - 26 - 3	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
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TEMPORARY TRAFFIC CONTROL TYPICAL APPLICATION



Maryland Department of Transportation
STATE HIGHWAY ADMINISTRATION
STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
SHOULDER WORK/2-LANE, 2-WAY
EQ/LESS THAN 40 MPH
STANDARD NO. **MD 104.02-02**

MODIFIED DOUBLE TYPE 'S' INLET SD4.23 (INLET B-2)



NOTES:

- SLAB SHALL BE MIX NO.3 CONCRETE.
- INVERTS SHALL BE BRICK GRATE SM (ASTM C32)
- WALLS SHALL BE BRICK (R.C.) OR REINFORCED CONCRETE (R.C.) SEE TABLE FOR DIMENSIONS.
- *REINFORCING = #4 @ 10" o/c E/W IN 6" OF WALLS REINFORCING CONTINUOUS AT CORNERS. ALL LAPS 1'-4".
- TOP 4" OF WALLS SHALL BE BRICK MASONRY. ADDITIONAL BRICK SHALL BE USED TO BRING THE GRADE TO EXISTING GRADE IF REQUIRED.

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

CONDITIONS WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
- FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTATION STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - TOPSOIL SHALL BE A LOAM, SAND LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND, OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF CINDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, TRASH, OR OTHER MATERIALS LARGER THAN 1-1/2" IN DIAMETER.
 - TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEED, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.
 - WHERE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
- FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
 - ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
 - PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.5 OR HIGHER.
 - ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT.
 - TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.
 - NO SOOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.
 - NOTE: TOPSOIL SUBSTITUTES TO AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.
- TOPSOIL APPLICATION
 - WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
 - GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBEIT 4" - 8" HIGHER IN ELEVATION.
 - TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" - 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.
 - TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.
- ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW:
 - COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
 - COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06.
 - COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
 - COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
 - COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT THE RATE OF 4 LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE. REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING, MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES, REVISED 1973.

SEQUENCE OF CONSTRUCTION

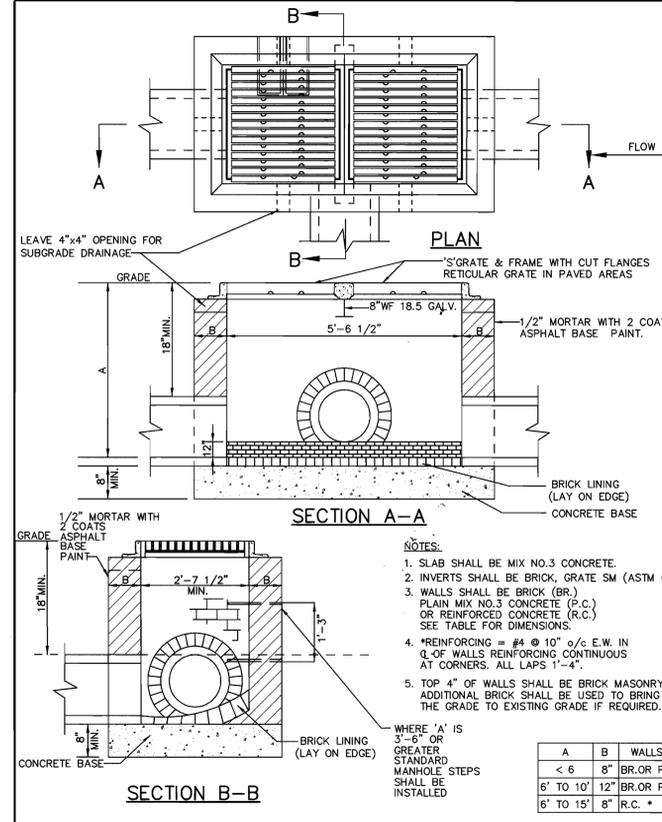
- OBTAIN THE GRADING PERMIT AND ALL OTHER REQUIRED PERMITS NECESSARY TO BEGIN CONSTRUCTION UNDER THE SITE DEVELOPMENT PLAN. (1 WEEK)
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AND SUPER SILT FENCE AS SHOWN ON THE PLANS. INSTALL THE SUPER SILT FENCE ACROSS THE LOWER TWO PROPOSED ENTRANCES TO PROVIDE FULL PERIMETER CONTROL OF SEDIMENT RUNOFF. (2 DAYS)
- OBTAIN THE COUNTY INSPECTOR'S APPROVAL OF THE INSTALLATION OF ALL SEDIMENT CONTROL DEVICES BEFORE PROCEEDING WITH GRADING OPERATIONS. (1 DAY)
- BEGIN ROUGH GRADING OF THE SITE. CHECK ALL SEDIMENT CONTROL DEVICES REGULARLY AFTER EACH RAINSTORM EVENT AND MAKE THE NECESSARY REPAIRS TO MEET THE ORIGINAL DEVICE SPECIFICATIONS. UPON COMPLETION OF GRADING IN ANY AREA, STABILIZE THE AREA WITH TEMPORARY OR PERMANENT STABILIZATION ACCORDING TO THE SEEDING SPECIFICATIONS PROVIDED. (1 MONTH)
- UPON COMPLETION OF ROUGH GRADING, START CONSTRUCTING THE UTILITIES. WRAP ALL INLETS WITH SUPER SILT FENCE IMMEDIATELY UPON CONSTRUCTION OF THE INLET. (1 MONTH)
- CONSTRUCT BUILDING AND INSTALL LIGHTING, ELECTRICAL WIRING, GAS LINES, TELEPHONE AND ANY OTHER UTILITY TO BE UNDER PAVED AREAS OF THE SITE. (7 MONTHS)
- UPON COMPLETION OF UTILITY CONSTRUCTION, FINE GRADE THE PARKING AREA AND BEGIN CURB AND GUTTER CONSTRUCTION. REMOVE PORTIONS OF SUPER SILT FENCES WHICH CONFLICT WITH THE ENTRANCES. CONTINUE CONSTRUCTION OF THE BUILDING INTERIOR AND EXTERIOR. (1 WEEK)
- UPON COMPLETION OF CURB AND GUTTER, FINE GRADE PARKING LOT AND INSTALL BASE PAVING. INSTALL INLET PROTECTION DEVICES AS APPROPRIATE DEPENDING ON TYPE OF INLET. FOR EXAMPLE CURB OPENING INLETS SHALL RECEIVE CURB INLET PROTECTION. DELAY CONSTRUCTION OF SURFACE PAVING UNTIL ALL HEAVY EQUIPMENT HAS LEFT THE SITE. (1 MONTH)
- UPON COMPLETION OF ALL BUILDING CONSTRUCTION, FINE GRADE LANDSCAPING AREAS AND PLANT GRASS OR INSTALL PERMANENT LANDSCAPE MATERIALS PER THE LANDSCAPE PLANS. (1 WEEK)
- UPON COMPLETE STABILIZATION OF THE SITE, REMOVE INLET PROTECTION DEVICES AND INSTALL THE PAVING SURFACE COURSE AND INSTALL ALL THE REQUIRED PARKING LOT STRIPING. (1 WEEK)
- UPON COMPLETE ESTABLISHMENT OF ALL STABILIZATION, CONSULT WITH THE COUNTY INSPECTOR AND REMOVE ANY REMAINING SEDIMENT CONTROL DEVICES. STABILIZE ANY REMAINING DISTURBED AREAS. (1 DAY)

STANDARD SEDIMENT CONTROL NOTES

- A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (313-1655).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THE PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 7, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDING, SOD, TEMPORARY SEEDING, AND MULCHING (SEC. 6). TEMPORARY STABILIZATION WITH MULCH ALONE SHALL ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHED OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- SITE ANALYSIS:

TOTAL AREA OF SITE	12,006 ACRES
AREA DISTURBED	11.9 ACRES
AREA TO BE ROOFED OR PAVED	9.8 ACRES
AREA TO BE VEGETATIVELY STABILIZED	2.1 ACRES
TOTAL CUT	24,063 CU. YARDS
TOTAL FILL	21,849 CU. YARDS
OFFSITE WASTE AREA LOCATION TO HAVE ACTIVE GRADING PERMIT	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE WORKING DAY, WHICHEVER IS SHORTER.
- SITE GRADING WILL BEGIN ONLY AFTER ALL PERIMETER SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED AND ARE IN A FUNCTIONING CONDITION.
- SEDIMENT WILL BE REMOVED FROM TRAPS WHEN ITS DEPTH REACHES CLEAN OUT ELEVATION SHOWN ON THE PLANS.
- CUT AND FILL QUANTITIES PROVIDED UNDER SITE ANALYSIS DO NOT REPRESENT BID QUANTITIES. THESE QUANTITIES DO NOT DISTINGUISH BETWEEN TOPSOIL, STRUCTURAL FILL OR EMBANKMENT MATERIAL, NOR DO THEY REFLECT CONSIDERATION OF UNDERCUTTING OR REMOVAL OF UNSUITABLE MATERIAL. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE CONDITIONS WHICH MAY AFFECT THE WORK.

MODIFIED DOUBLE TYPE 'S' INLET SD4.23 (INLET A-4)



BY THE DEVELOPER:
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

DEVELOPER: *Daniel S. Hudson* DATE: **JUNE 14, 2006**

BY THE ENGINEER:
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

ENGINEER: *John W. Clapsaddle* DATE: **6/22/06**

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

Jim Meyer DATE: **6/26/06**
 NATURAL RESOURCES CONSERVATION SERVICE

THIS SEDIMENT CONTROL PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

Paul Blanton DATE: **6/26/06**
 HOWARD SOIL CONSERVATION DISTRICT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Derek S. Coyle DATE: **7/5/06**
 DIRECTOR

John W. Clapsaddle DATE: **6/22/06**
 CHIEF, DEVELOPMENT ENGINEERING DIVISION

John W. Clapsaddle DATE: **7/5/06**
 CHIEF, DIVISION OF LAND DEVELOPMENT

DATE	NO.	REVISION

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
 9200 RUMSEY ROAD
 COLUMBIA, MD 21045
 410-997-7222

DEVELOPER: **MONTPELIER III, LLC**
 MANAGING MEMBER: **TC MARYLAND DEVELOPMENT, INC.**
 1055 THOMAS JEFFERSON ST., SUITE 600
 WASHINGTON, DC 20007
 703-288-9200

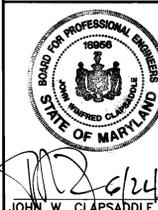
PROJECT: **MONTPELIER RESEARCH PARK PARCEL A**

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
 GRID 17 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PROPOSED 6 STORY OFFICE BUILDING

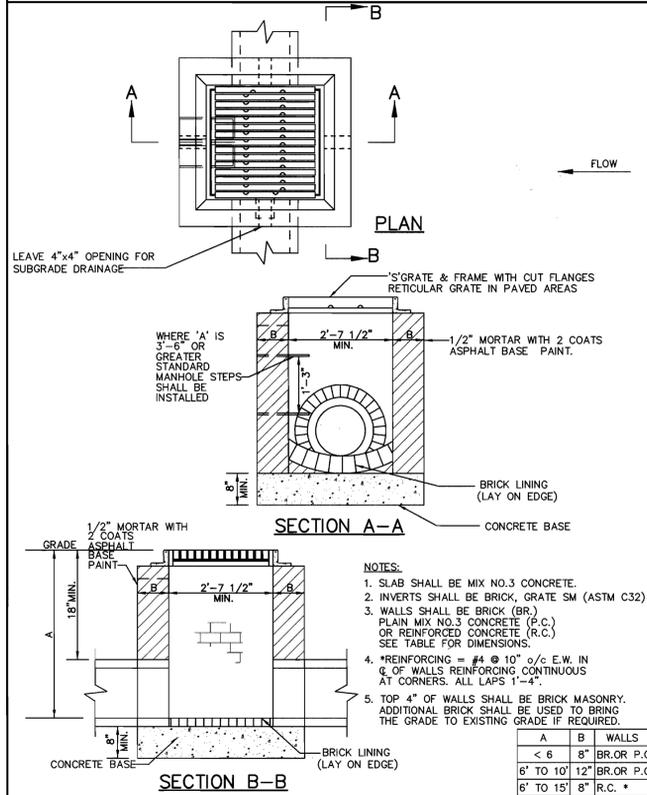
SEDIMENT CONTROL NOTES

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
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 Columbia, MD 21045
 T 410.997.8900
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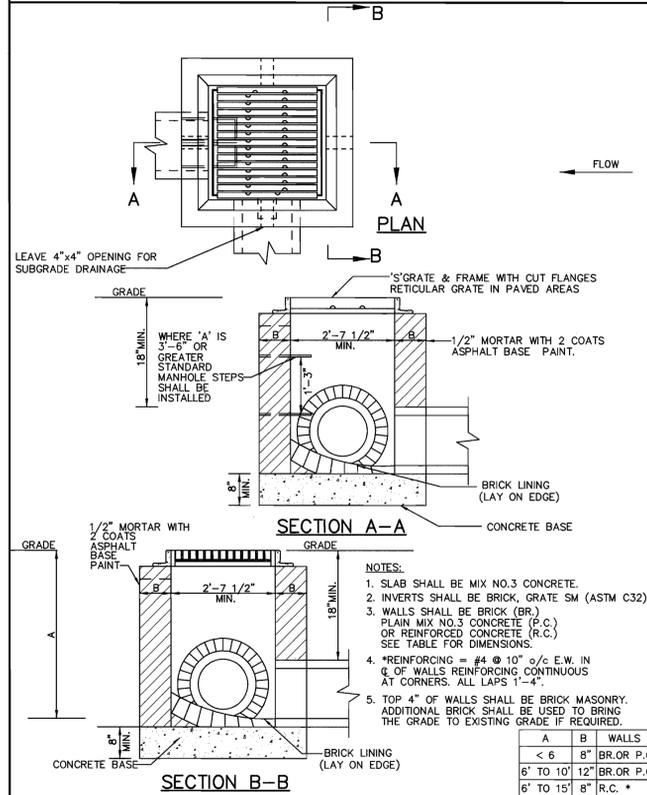
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 DRAWN BY: RES
 PROJECT NO.: 14184-1-0
 DATE: MAY 18, 2006
 SCALE: NOT TO SCALE
 DRAWING NO. 5 OF 10

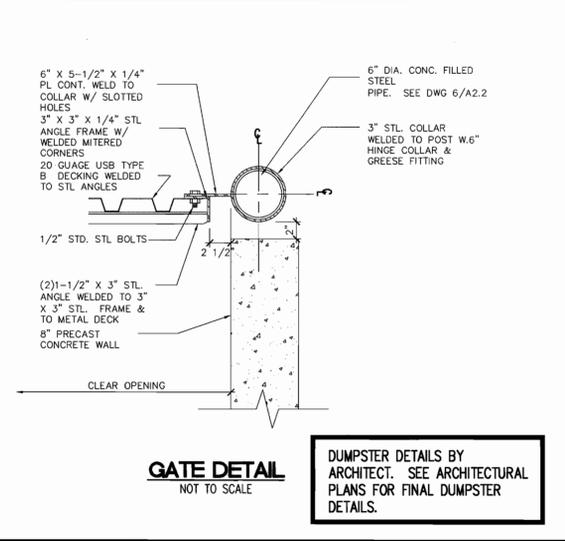
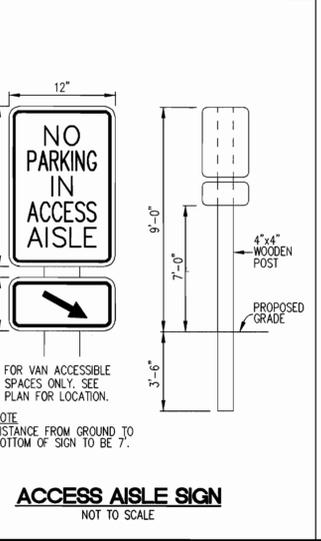
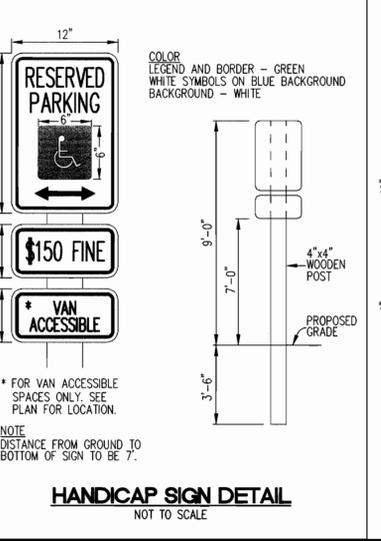
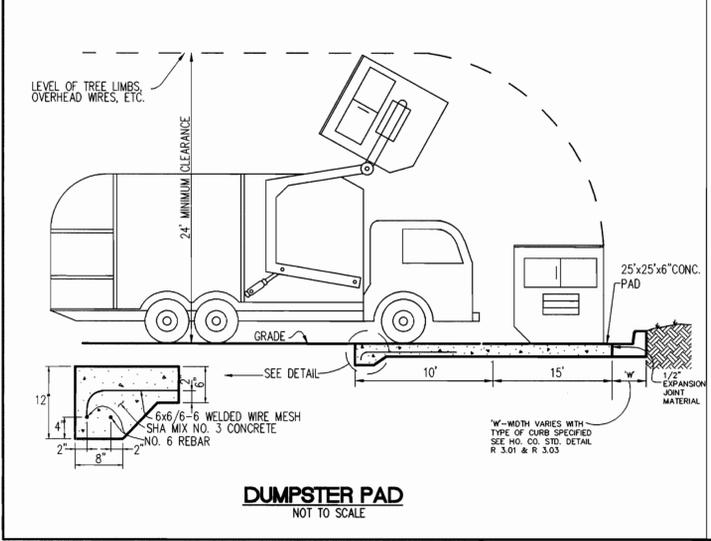
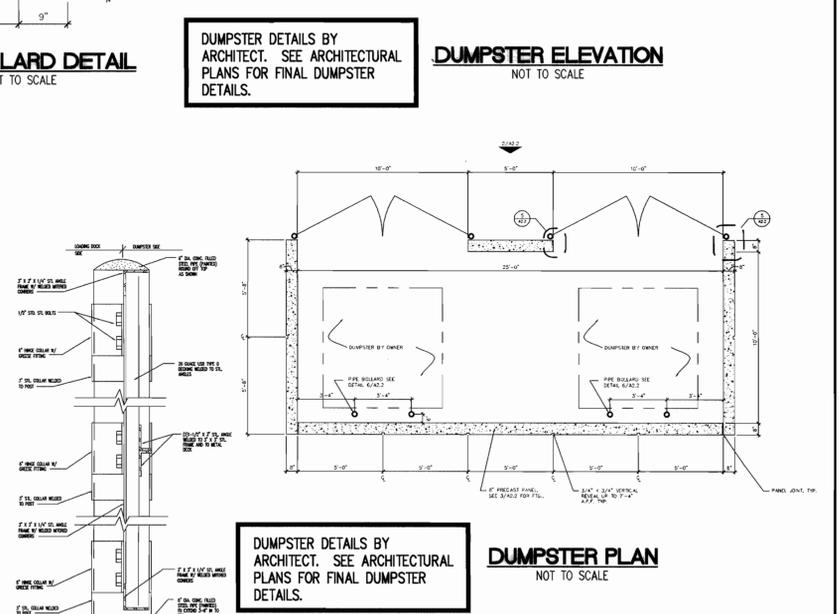
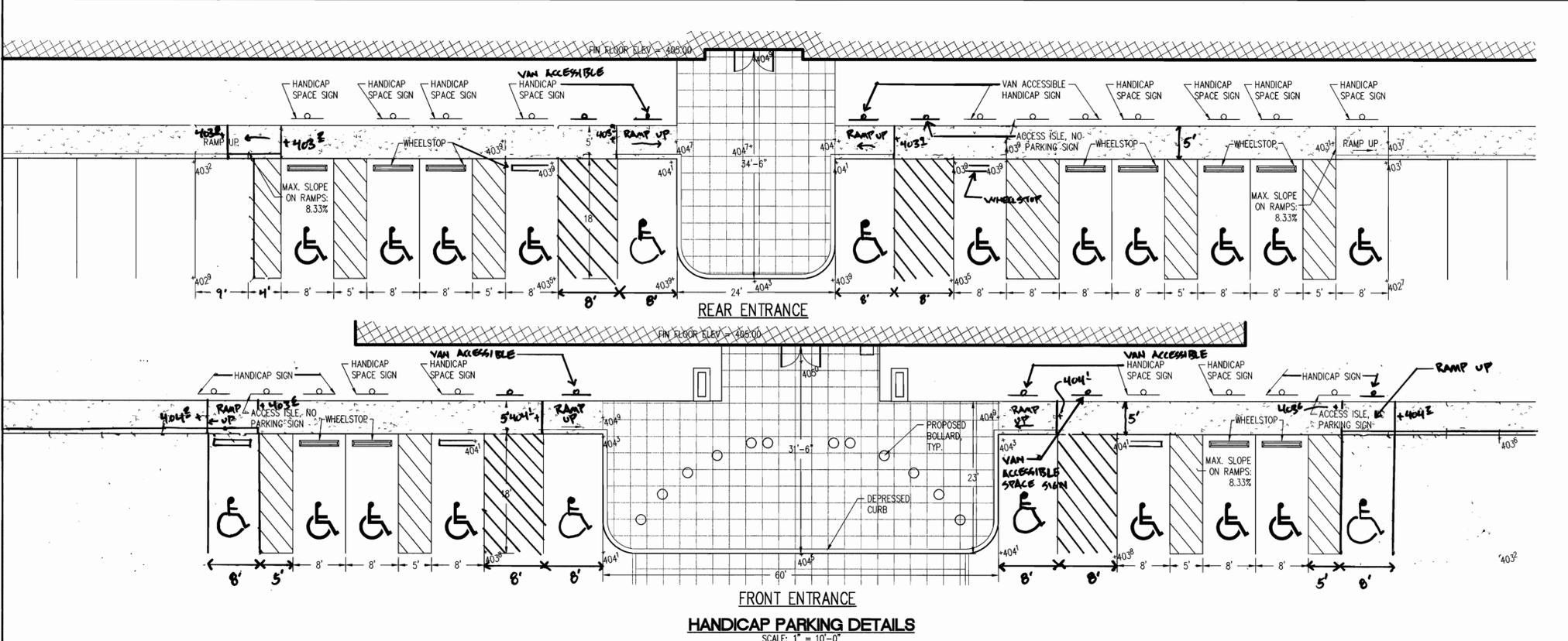
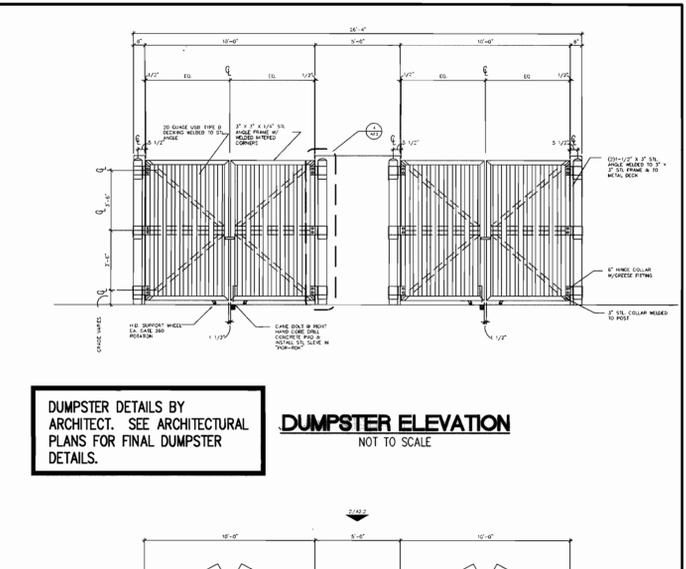
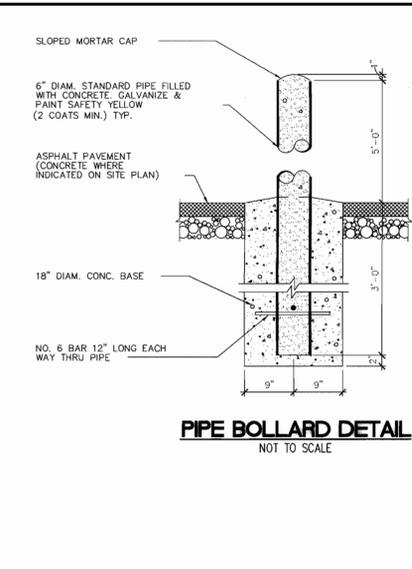
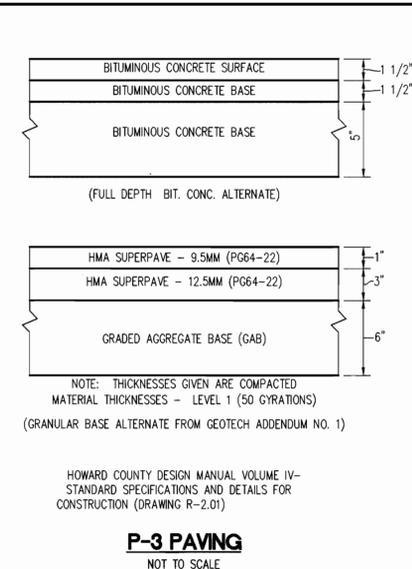
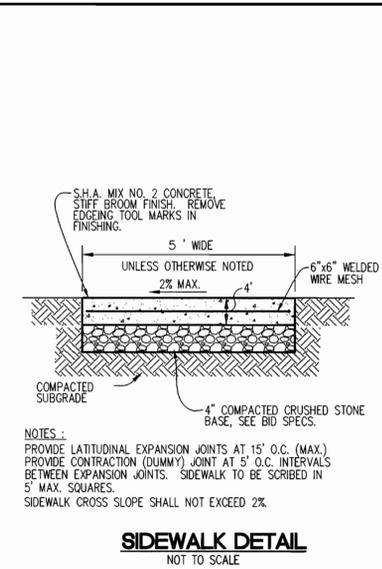
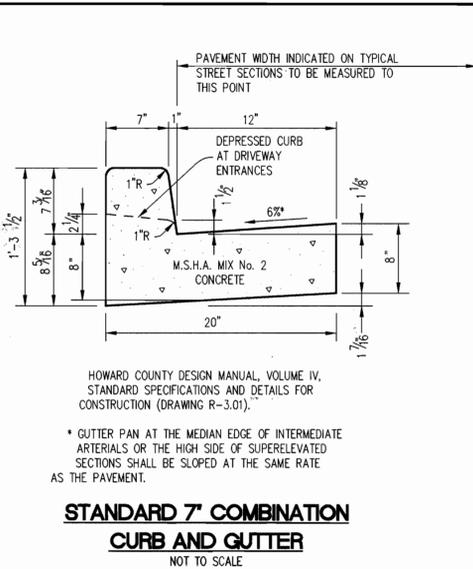
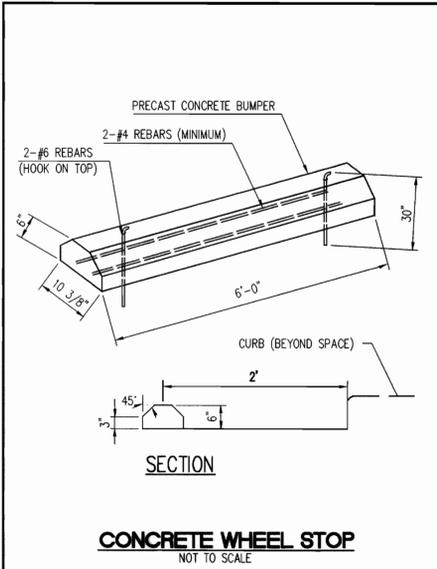


MODIFIED TYPE 'S' INLET SD4.22 (INLET B-5)



MODIFIED TYPE 'S' INLET SD4.22 (INLET B-1)





APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Donna D'Angelo 7/5/06
DIRECTOR DATE

[Signature] 6/28/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/4/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT MONTPELIER RESEARCH PARK
PARCEL A

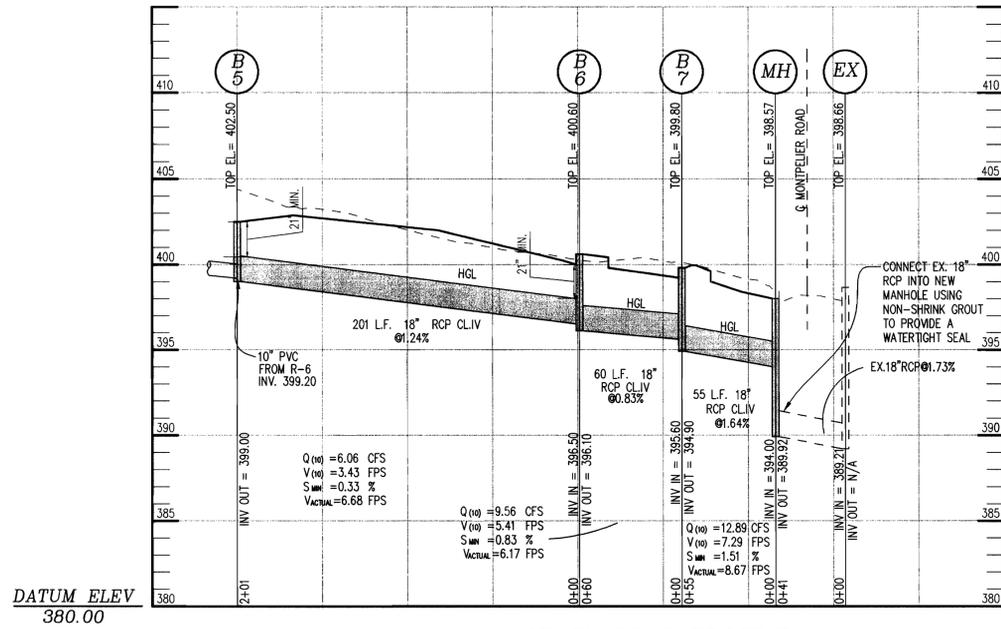
AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE **DETAIL SHEET**

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : NOT TO SCALE
DRAWING NO. 6 OF 10

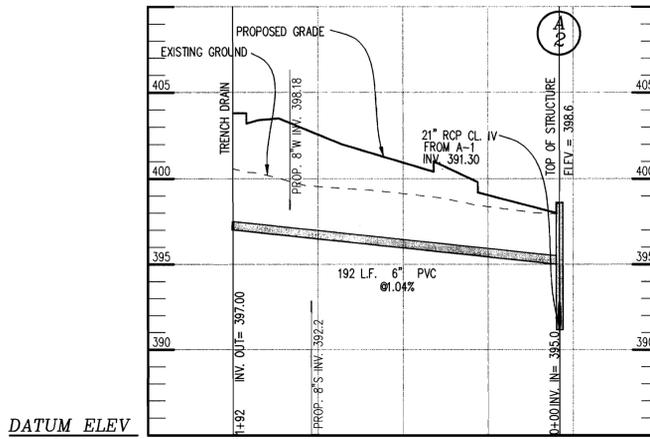
JOHN W. CLAPSADDLE #16956
SDP-06-097



DATUM ELEV
380.00

STORM DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'



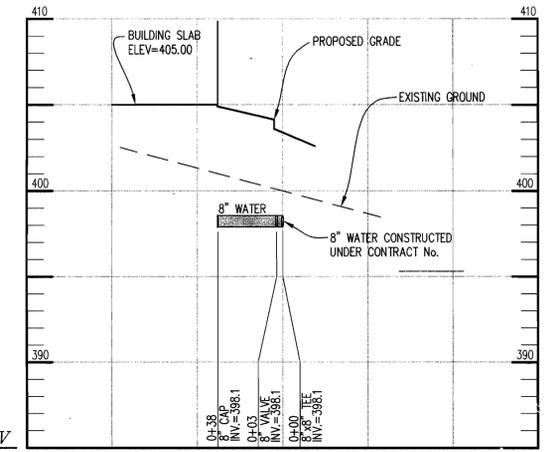
DATUM ELEV
385.00

TRENCH DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

STRUCTURE SCHEDULE						
No.	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
SMH 1	PRECAST MANHOLE	N 545156.7205 E 1343347.3451	387.57	387.47	399.0	HCDPWT STD NO. G5.12
SMH 2	PRECAST MANHOLE	N 545090.1551 E 1343228.9564	390.41	390.31	401.6	HCDPWT STD NO. G5.12
SMH 3	PRECAST MANHOLE	N 545139.2154 E 1343052.1483	392.50	392.26	402.7	HCDPWT STD NO. G5.12

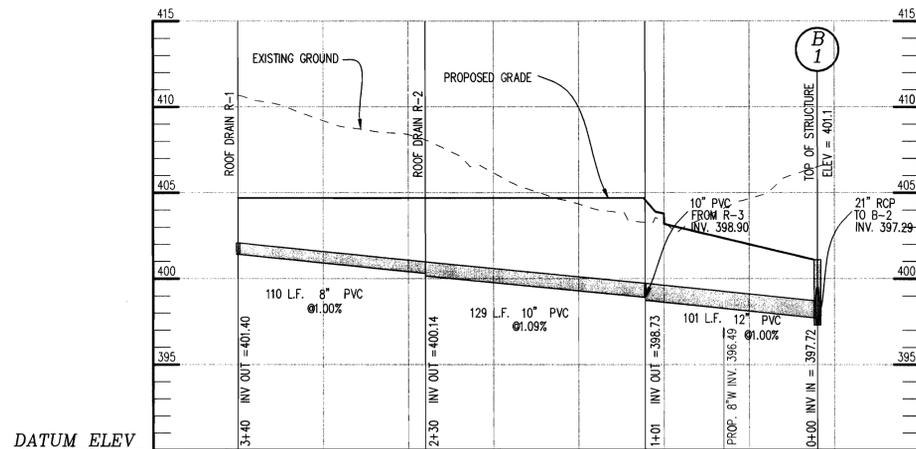
PIPE SCHEDULE		
SIZE (IN)	TYPE	LENGTH (FT)
8	WATER	38
6	SEWER	50
8	SEWER	448



DATUM ELEV
385.00

WATER PROFILE HOUSE CONNECTION

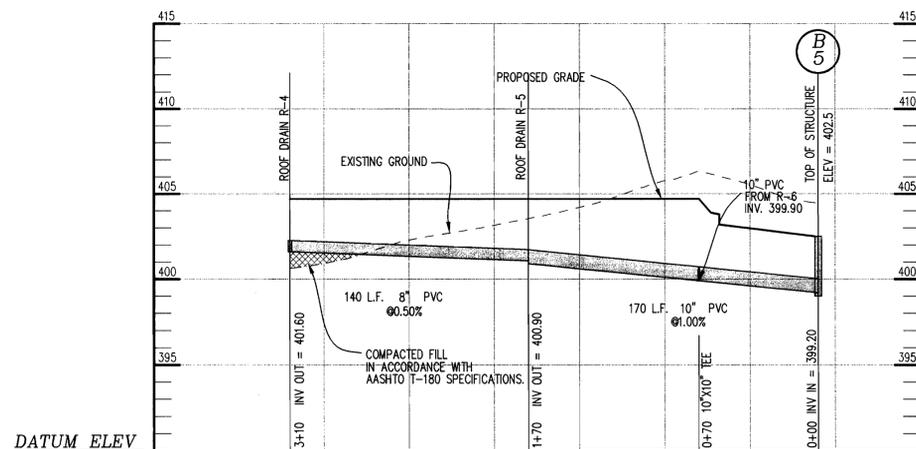
SCALE: HORZ: 1"=50'
VERT: 1"=5'



DATUM ELEV
390.00

ROOF DRAIN PROFILE

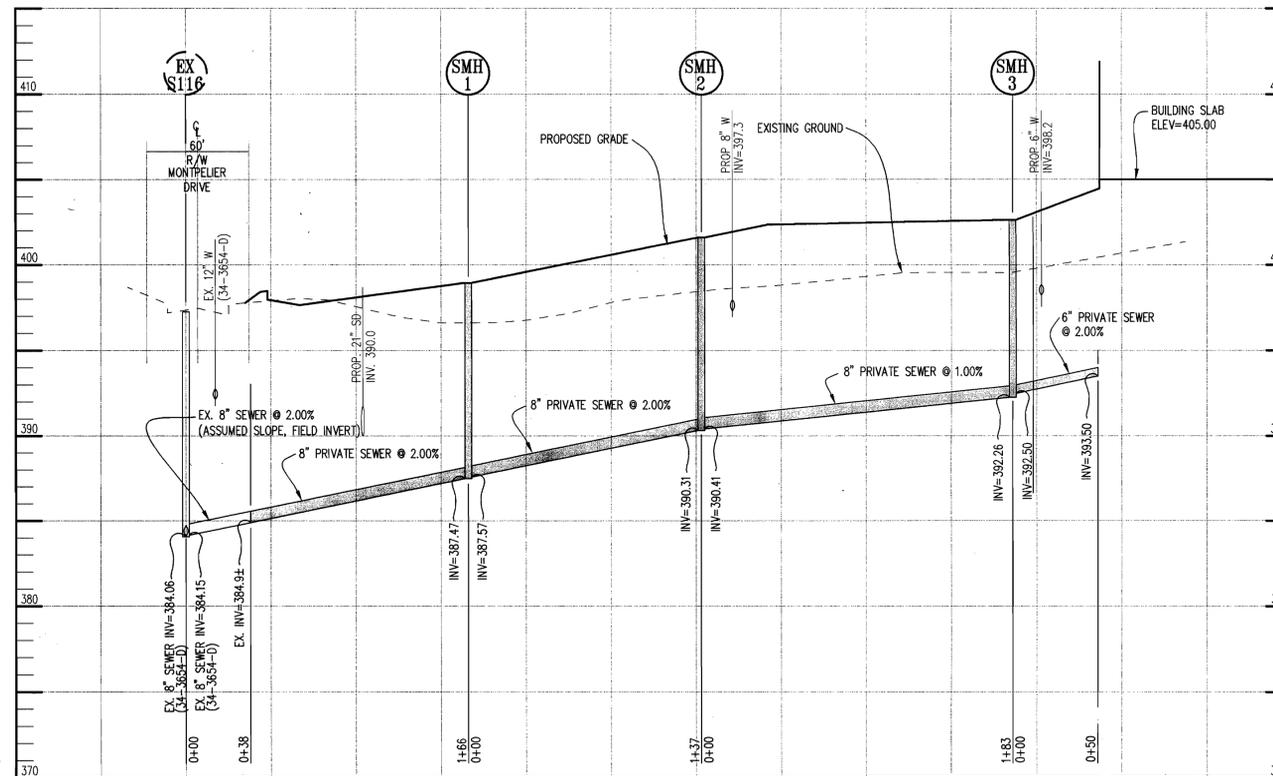
SCALE: HORZ: 1"=50'
VERT: 1"=5'



DATUM ELEV
390.00

ROOF DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'



DATUM ELEV
370.00

SEWER LINE PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Frank A. Cagle 2/5/06
DIRECTOR DATE

[Signature] 4/24/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/9/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER: MONTPELIER III, LLC
MANAGING MEMBER: T.C. MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT: MONTPELIER RESEARCH PARK PARCEL A

AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE: PROFILES

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: HS
DRAWN BY: RES
PROJECT NO: 14184-1-0
DATE: MAY 18, 2006
SCALE: AS SHOWN
DRAWING NO. 7 OF 10

JOHN W. CLAPSADDLE #16956
SDP-06-097

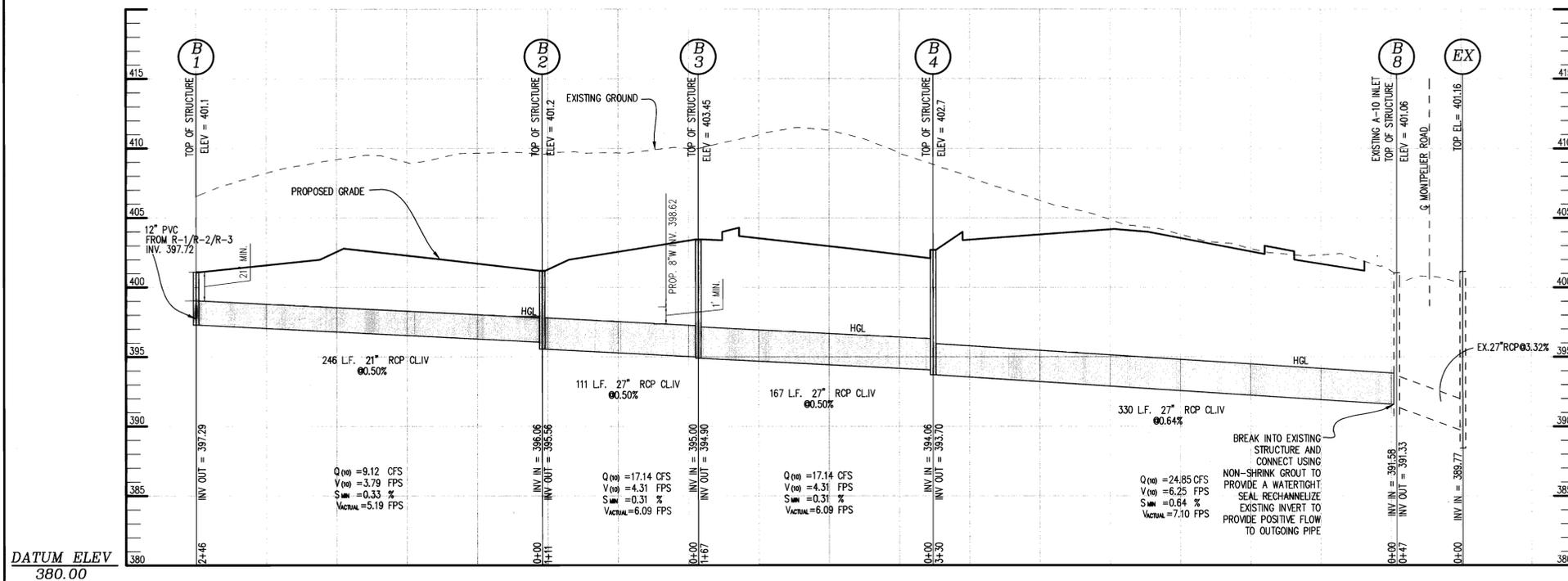
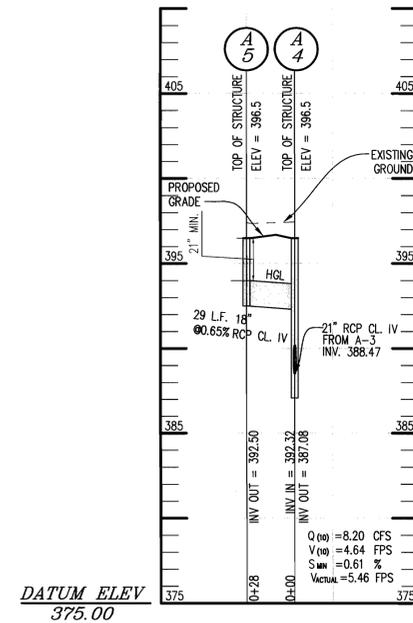
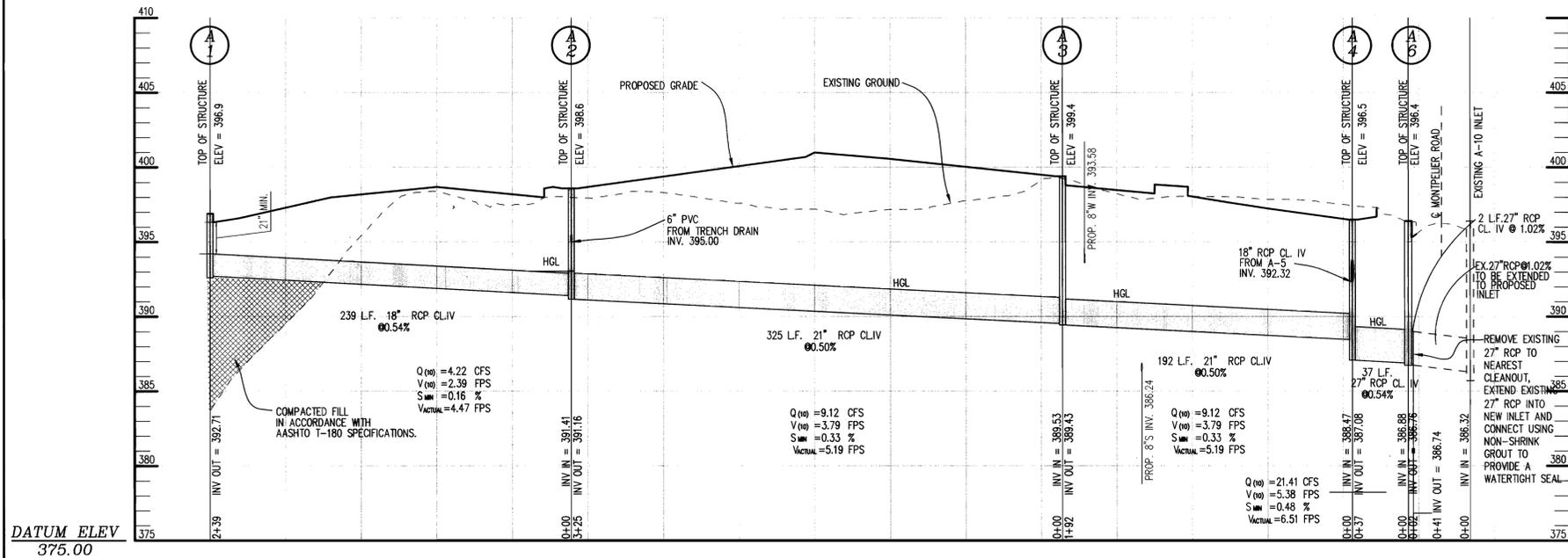
STRUCTURE SCHEDULE						
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
A1	A-5 INLET W=2'-6"	N 545313.1379 E 1342858.3954		392.71(18")	396.9	HOCO STD. DETAIL SD-4.40
A2	A-10 INLET W=2'-6"	N 545280.9822 E 1343089.2452	391.41 (18") 395.00(TR. DRAIN)	391.16 (21")	398.6	HOCO STD. DETAIL SD-4.41
A3	4" DIA MANHOLE	N 545193.9102 E 1343407.0352	389.53 (21")	389.43 (21")	399.4	HOCO STD. DETAIL G-5.12
A4	DOUBLE TYPE "S" INLET	N 545001.4695 E 1343407.6200	388.47 (21") 392.32 (18")	387.08 (27")	396.5	MODIFIED HOCO STD. DETAIL SD-4.23-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
A5	TYPE "S" INLET	N 544974.1581 E 1343400.1448		392.50 (18")	396.5	HOCO STD. DETAIL SD-4.22
A6	A-10 INLET W=2'-6"	N 544993.0388 E 1343445.3268	386.88 (27")	386.76 (27")	396.4	HOCO STD. DETAIL SD-4.41

STRUCTURE SCHEDULE							
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS	
B1	TYPE "S" INLET	N 545062.6068 E 1342883.4223		397.72(ROOF DRAIN)	397.29 (21")	401.1	MODIFIED HOCO STD. DETAIL SD-4.22-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
B2	DOUBLE TYPE "S" INLET	N 544824.7539 E 1342816.8667		396.06 (21")	395.56 (27")	401.2	MODIFIED HOCO STD. DETAIL SD-4.23-SEE SHEET 4 OF 10 WITH RETICULAR GRATE PER SD 4.93
B3	5" DIA MANHOLE	N 544725.8122 E 1342861.3193		395.00 (27")	394.90 (27")	403.45	HOCO STD. DETAIL G-5.13
B4	A-10 INLET W=3'-0"	N 544692.3423 E 1343024.3142		394.06 (27")	393.70 (27")	402.7	HOCO STD. DETAIL SD-4.41
B5	TYPE "S" INLET	N 544761.1309 E 1343110.4899		399.20(ROOF DRAIN)	399.00 (18")	402.5	MODIFIED HOCO STD. DETAIL SD-4.22-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
B6	A-5 INLET W=2'-6"	N 544794.1356 E 1343306.8140		396.50 (18")	396.10 (18")	400.6	HOCO STD. DETAIL SD-4.40
B7	A-5 INLET W=2'-6"	N 544777.1779 E 1343365.4616		395.60 (18")	394.90 (18")	399.8	HOCO STD. DETAIL SD-4.40
MH	4" DIA MANHOLE	N 544820.3204 E 1343397.2374		394.00 (18")	389.92 (EX.18")	398.57	HOCO STD. DETAIL G-5.12
TRENCH DRAIN						POLYDRAIN INTERCEPTOR-MEDIUM DUTY -PART NO. 010,020,030 & 040 WITH VERTICAL OUTLET PLATES FOR CONNECTION WITH 6" PVC. OTHER PARTS OF MORE OR EQUAL CAPACITY MAY BE USED.	

NOTES

- ALL STRUCTURES ARE HOWARD COUNTY STANDARDS UNLESS NOTED OTHERWISE.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTER OF THE STRUCTURE. FOR ACTUAL PIPE LENGTHS REDUCE THE LENGTH SHOWN BY THE WIDTH OF THE STRUCTURE.
- ALL STRUCTURES HAVE FULLY DEVELOPED INVERTS.
- STATIONS AND OFFSETS FOR ALL STRUCTURES ARE GIVEN TO THE CENTER OF THE STRUCTURE AT THE FACE OF CURB FOR CURB INLETS AND TO THE CENTER OF THE STRUCTURE FOR ALL YARD INLETS AND MANHOLES.
- ELEVATIONS ARE GIVEN TO TOP OF INLET SLAB AT FACE OF CURB FOR CURB INLETS, TO TOP OF GRATE FOR YARD INLETS AND TO TOP OF LID FOR MANHOLES. WHERE TWO ELEVATIONS ARE GIVEN THEY ARE USED FOR THE UPPER AND LOWER ELEVATIONS OF THE TOP SLAB FOR A CURB INLET ON GRADE.

PIPE SCHEDULE		
PIPE LENGTH	SIZE	TYPE
583	18"	RCP CL. IV
763	21"	RCP CL. IV
645	27"	RCP CL. IV
192	6"	PVC
250	8"	PVC
320	10"	PVC
101	12"	PVC



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Derek Dwyer 7/5/06 DATE
DIRECTOR

[Signature] 6/28/06 DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION

[Signature] 7/5/06 DATE
CHIEF, DIVISION OF LAND DEVELOPMENT

DATE NO. REVISION

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER: MONTEPIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT: MONTEPIER RESEARCH PARK
PARCEL A

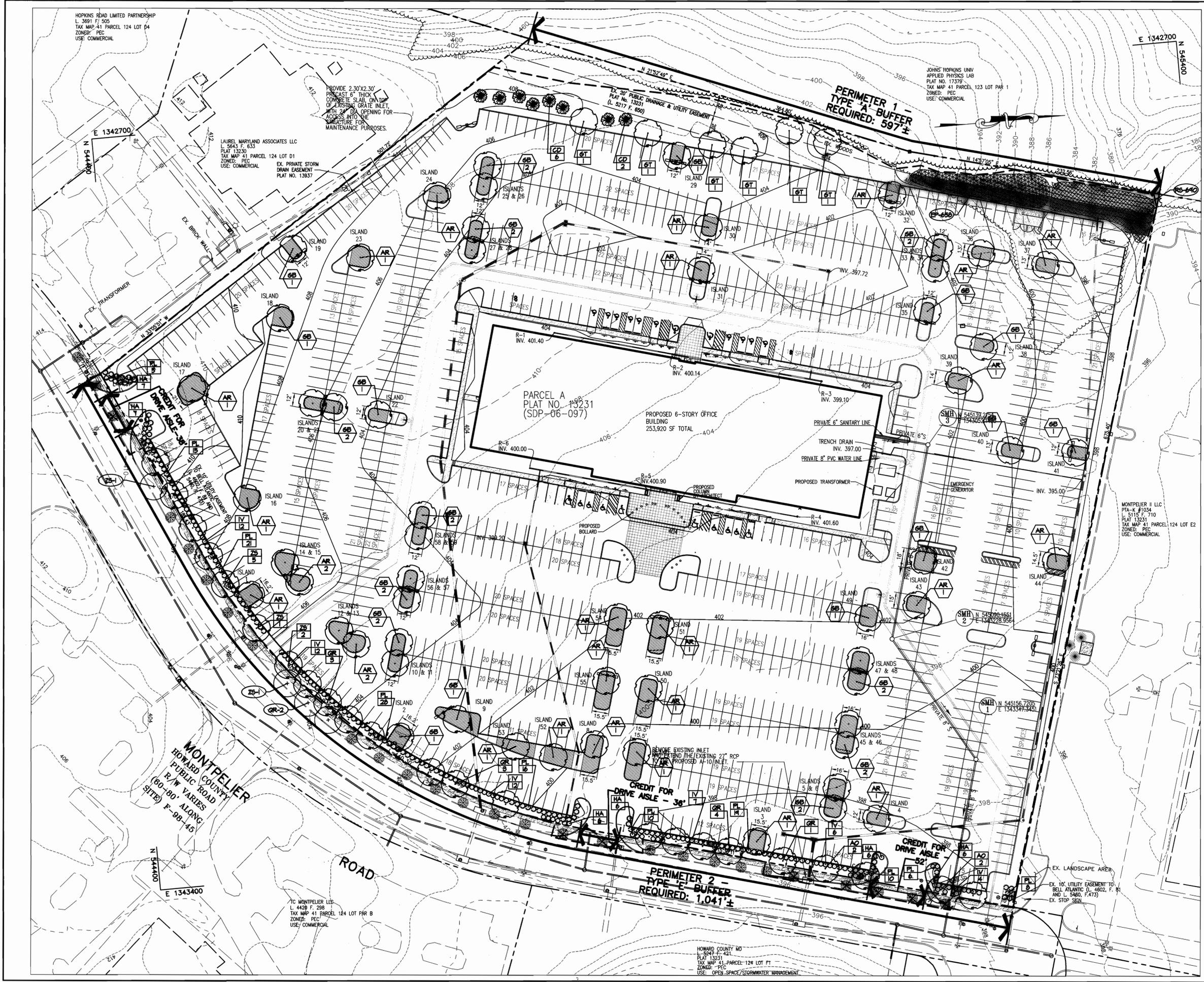
AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE: PROFILES

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
PHRA
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: HS
DRAWN BY: HS
PROJECT NO: 14184-1-0
DATE: MAY 18, 2006
SCALE: AS SHOWN
DRAWING NO. 8 OF 10

JOHN W. CLAPSADDLE #16956
SDP-06-097



LEGEND

EX. TREELINE		CREDITED LANDSCAPE ISLAND	
PROPOSED TREELINE		PROPOSED STREET TREE	
EX. TREES		PROPOSED PERENNIALS	
EX. TREES TO BE REMOVED		PROPOSED LIGHTS	
PROP. SHADE TREE			
PROP. SHRUBS			
INTERNAL LANDSCAPE PLANTING			
PERIMETER LANDSCAPE PLANTING			
ADDITIONAL LANDSCAPE PLANTINGS			
LIMIT OF DISTURBANCE			
PERIMETER LANDSCAPE EDGE LIMITS			

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David D. Eagle 2/5/06
DIRECTOR DATE

[Signature] 4/2/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/5/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT
**MONTPELIER RESEARCH PARK
PARCEL A**

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE
LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

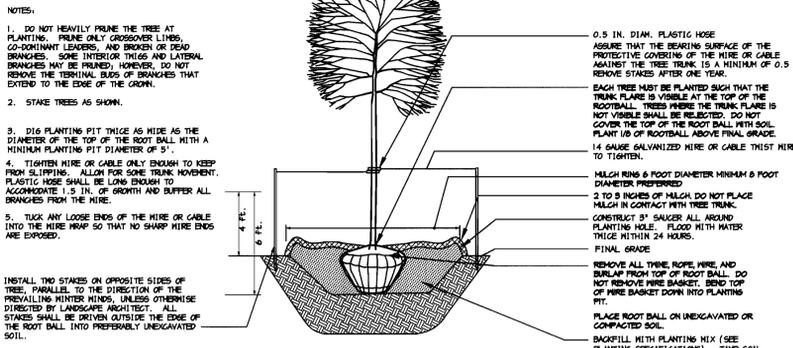
DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : 1" = 40'
DRAWING NO. 9 OF 10

[Signature] 6/14/06
PETER J. STONE #3068

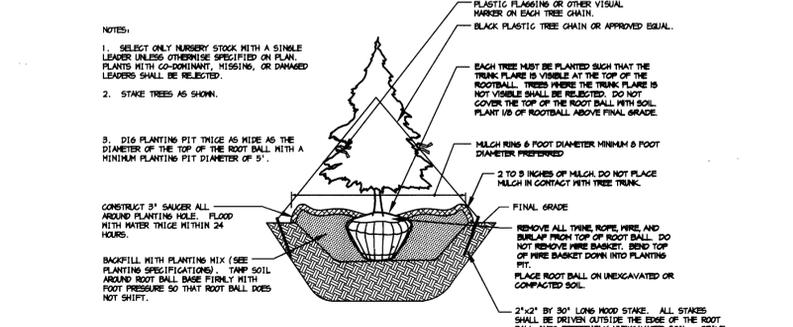
SDP-06-097

PLANTING SPECIFICATIONS

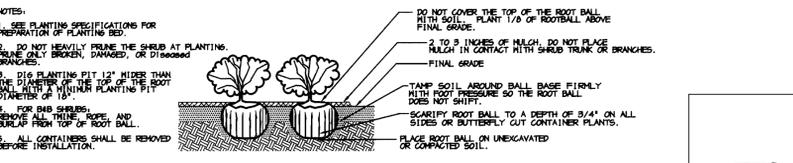
- Plants, related material, and operations shall meet the detailed description, as given on the plans and as described herein. Where discrepancies exist between Standards & Guidelines referenced within these specifications and the Landscape Manual of the applicable jurisdiction, the latter takes precedence.
- All plant material, unless otherwise specified, that is not nursery grown, uniformly branched, does not have a vigorous root system, and does not conform to the most recent edition of the American Association of Nurserymen (AAN) Standards will be rejected. Plant material that is not healthy, vigorous, free from defects, decay, disfiguring roots, sunscald injuries, abrasions of the bark, plant disease, insect pest eggs, borers and all forms of insect infestations or objectionable disfigurements will be rejected. Plant material that is weak or which has been cut back from larger grades to meet specified requirements will be rejected. Trees with forked leaders will be rejected. All B & B plants shall be freshly dug; no healed-in plants or plants from cold storage will be accepted.
- Unless otherwise specified, all general conditions, planting operations, details and planting specifications shall conform to the most recent edition of the "Landscape Specification Guidelines by the Landscape Contractors Association of MD, DC, & VA", (hereinafter "Landscape Guidelines") approved by the Landscape Contractors Association of Metropolitan Washington and the Potomac Chapter of the American Society of Landscape Architects.
- Contractor shall guarantee all plant material for a period of one year after date of acceptance in accordance with the appropriate section on the Landscape Guidelines. Contractor's attention is directed to the maintenance requirements found within the one year specifications including watering and replacement of specified plant material.
- Contractor shall be responsible for notifying all relevant and appropriate utility companies, utility contractors, and "Miss Utility" a minimum of 48 hours prior to the beginning of any work. Contractor may make minor adjustments in spacing and location of plant material to avoid conflicts with utilities. Major changes will require the approval of the landscape architect. Damage to existing structure and utilities shall be repaired at the expense of the Contractor.
- Protection of existing vegetation to remain shall be accomplished via the temporary installation of 4 foot high snow fence at the drip line, see detail.
- Contractor is responsible for installing all material in the proper planting season for each plant type. All planting is to be completed within growing season of completion of site construction. Do not plant Pinus strobus or Xcupressocyparis leylandii between November 15 and March 15. Landscape plants are not to be installed before site is graded to final grade.
- Contractor to regrade, fine grade, sod, hydroseed and straw mulch all areas disturbed by their work.
- Bid shall be based on actual site conditions. No extra payment shall be made for work arising from actual site conditions differing from those indicated on drawings and specifications.
- Plant quantities are provided for the convenience of the contractor only. If discrepancies exist between quantities shown on plan and those shown on the plant list, the quantities on the plan take precedence. Where discrepancies on the plan exist between the symbols and the callout leader, the number of symbols take precedence.
- All shrubs and groundcover areas shall be planted in continuous planting beds, prepared as specified, unless otherwise indicated on plans. (See Specification 13). Beds to be mulched with minimum 2" and maximum 3" of composted, double-shredded hardwood mulch throughout.
- Positive drainage shall be maintained on planting beds (minimum 2 percent slope).
- Bed preparation shall be as follows: Till into a minimum depth of 6" 1 yard of Compro or Leafgro per 200 SF of planting bed, and 1 yard of topsoil per 100 SF of bed. Add 3 lbs of standard 5-10-5 fertilizer per cubic yard of planting mix and till. Ericaceous plants (Azaleas, Rhododendrons, etc.) top dress after planting with iron sulfate or comparable product according to package directions. Taxus baccata 'Repandens' (English weeping yew): Top dress after planting with 1/4 to 1/2 cup lime each.
- Planting mix: For trees not in a prepared bed, mix 50% Compro or Leafgro with 50% soil from tree hole to use as backfill, see tree planting detail.
- Weed & insect control: Incorporate a pre-emergent herbicide into the planting bed following recommended rates on the label. For tree planting, apply a pre-emergent on top of soil and root ball before mulching. Caution: For areas to be planted with a ground cover, be sure to carefully check the chemical used to assure its adaptability to the specific groundcover to be treated. Maintain the mulch weed-free for the extent of the warranty period. Under no circumstances is a pesticide containing chlorpyrifos to be used as a means of pest control.
- Water: All plant material planted shall be watered thoroughly the day of planting. All plant material not yet planted shall be properly protected from drying out until planted. At a minimum, water unplanted plant material daily and as necessary to avoid desiccation.
- Pruning: Do not heavily prune trees and shrubs at planting. Prune only broken, dead, or diseased branches.
- All areas within contract limits disturbed during or prior to construction not designated to receive plants and mulch shall be fine graded, grass seed planted, and covered with straw mulch.



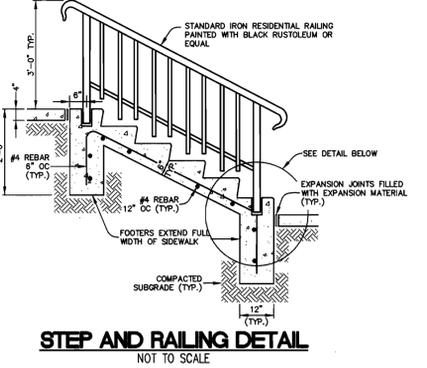
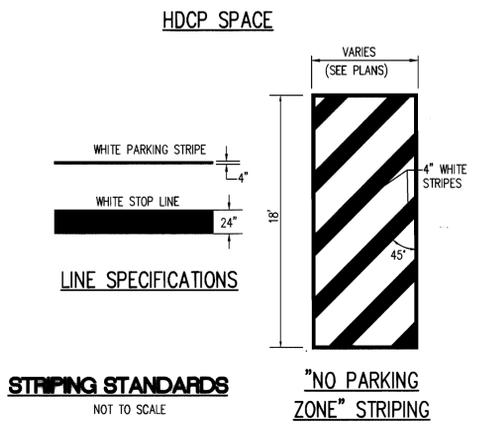
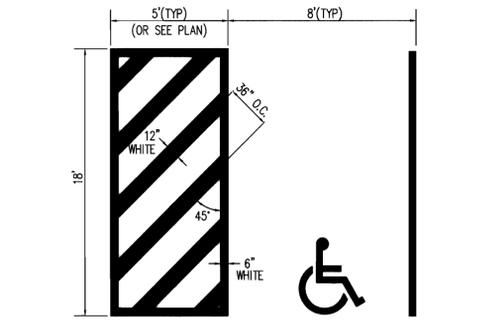
DECIDUOUS B&B TREE PLANTING DETAIL (TREES 3" CAL. OR SMALLER)
NOT TO SCALE



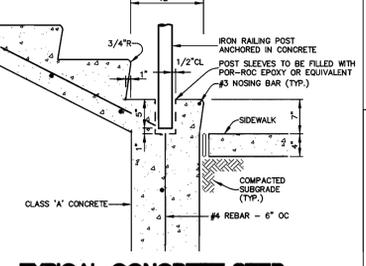
EVERGREEN B&B TREE PLANTING DETAIL
NOT TO SCALE



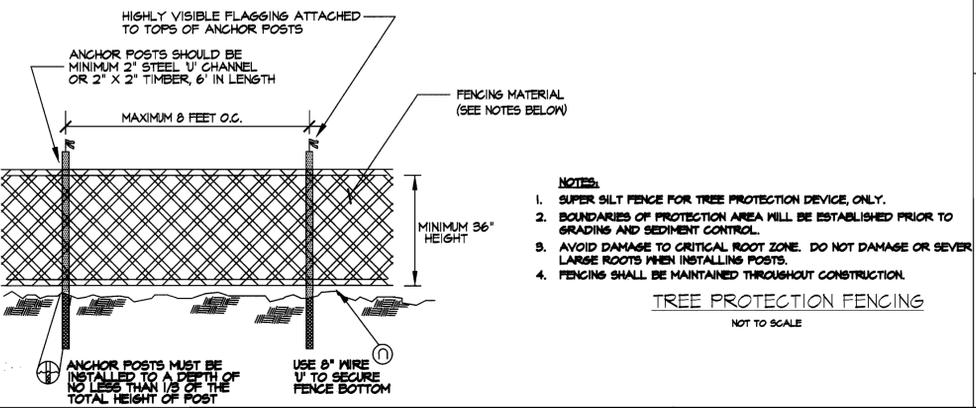
SHRUB BED PLANTING DETAIL - B&B AND CONTAINER SHRUBS
NOT TO SCALE



STEP AND RAILING DETAIL
NOT TO SCALE



TYPICAL CONCRETE STEP WITH RAIL DETAIL
NOT TO SCALE



TREE PROTECTION FENCING
NOT TO SCALE

SCHEDULE A - PERIMETER LANDSCAPE EDGE		
	ADJACENT TO PERIMETER PROPERTIES	ADJACENT TO ROADWAYS
PERIMETER	1	2
LANDSCAPE TYPE	A	E
LINEAR FEET OF ROADWAY FRONTAGE/ PERIMETER	547' ±	1041' ±
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET) (DESCRIBE BELOW IF NEEDED)	NO 547' ±	NO -
CREDIT FOR WALL, FENCE, BERM OR DRIVE AISLE (YES/NO/LINEAR FEET)	NO -	YES 126'
LINEAR FEET REMAINING	547' ±	915' ±
NUMBER OF PLANTS REQUIRED		
SHADE TREES	10	23
EVERGREEN TREES	0	0
SHRUBS	0	224
NUMBER OF PLANTS PROVIDED		
SHADE TREES	6	23
EVERGREEN TREES	0	-
FLOWERING TREES	0	-
SHRUBS	0	224

SCHEDULE 'A' NOTES:
REGULATIONS DO NOT REQUIRE LANDSCAPE EDGES, BUFFERING, OR SCREENING BETWEEN INTERNAL LOTS OR PARCELS WITHIN THE SAME DEVELOPMENT. (PAGE 17 OF THE HO. CO. LANDSCAPE MANUAL)

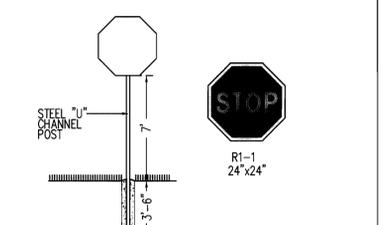
SUBSTITUTION NOTES:
EVERGREEN TREES HAVE BEEN SUBSTITUTED FOR 4 SHADE TREES

SCHEDULE B - PARKING LOT INTERNAL LANDSCAPING	
PARKING LOT	
NUMBER OF PARKING SPACES	1163
NUMBER OF SHADE TREES REQUIRED (1/20 SPACES)	58
NUMBER OF TREES PROVIDED	
SHADE TREES	54
OTHER TREES (2:1 SUBSTITUTION)	-
NUMBER OF ISLANDS PROVIDED	54

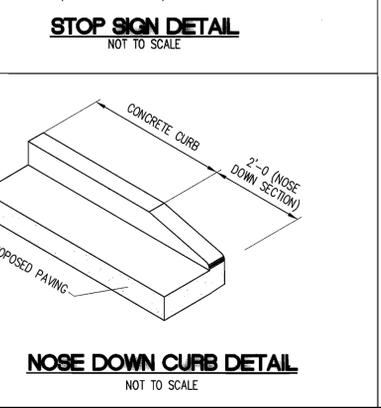
PLANT SCHEDULE					
SYMBOL	QTY.	SCIENTIFIC/COMMON NAME	SIZE	ROOT	REMARKS
AR	27	ACER RUBRUM 'RED SUNSET'	2.5-3" CAL.	B&B	PLANT AS SHOWN
AO	4	ACER RUBRUM 'OCTOBER GLORY'	2.5-3" CAL.	B&B	PLANT AS SHOWN
GB	32	GINKGO BILOBA 'AUTUMN GOLD'	2.5-3" CAL.	B&B	MALE ONLY
GT	6	GLEDITSIA TRIACANTHOS 'NEMESIS'	2.5-3" CAL.	B&B	PLANT AS SHOWN
QR	13	QUERCUS SERRATA 'VILLAGE GREEN'	2.5-3" CAL.	B&B	PLANT AS SHOWN
ZS	10	ZELKOVA SERRATA 'VILLAGE GREEN'	2.5-3" CAL.	B&B	PLANT AS SHOWN
CD	8	CEDRUS DEODORA	6"-8" HT.	B&B	PLANT AS SHOWN
HA	38	HYPERICUM ANDROSAMUM 'ALBURY PURPLE'	24"-30" HT.	CONT.	PLANT AS SHOWN
IV	53	ILEX VERTICILLATA 'RED SPRITE'	24"-30" HT.	CONT.	SEE NOTE 1
PL	138	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	24"-30" HT.	CONT.	PLANT AS SHOWN
EP	658	ECHINACEA PURPUREA	1 GAL.	CONT.	FULL: 24" O.C.
RS	690	RUBUS ILLINOENSIS	1 GAL.	CONT.	FULL: 24" O.C.

* AS AN ALTERNATE TO THE PERENNIAL PLANTING SHOW, OWNER MAY HYDROSEED AREAS SHOWN FOR GROUND COVER WITH A NATIVE WILDFLOWER/GRASS SEED MIX. HYDROSEEDING MIX SHALL COVER 2,098 SF (0.05 AC) AND SHALL BE CHOSEN FROM A COMBINATION OF THE FOLLOWING SEED MIXES OR OTHER APPROVED EQUAL:
1. ERNST CONSERVATION SEEDS EASTERN NATIVE HABITAT MIX (ERNMX-173)
2. ERNST CONSERVATION SEEDS MARYLAND UPLAND MIX (ERNMX-172)
3. ERNST CONSERVATION SEEDS NORTHEASTERN US ROADSIDE NATIVE SEED MIX (ERNMX-105)
4. ERNST CONSERVATION SEEDS VIRGINIA GENTLEMAN MIX (ERNMX-174)
SEED MIXES SHALL BE DISTRIBUTED USING MANUFACTURER'S SEEDING RATES.

NOTES:
1. PLANT ONE JIM DANDY WINTERBERRY PER EVERY 5 RED SPRITE WINTERBERRIES

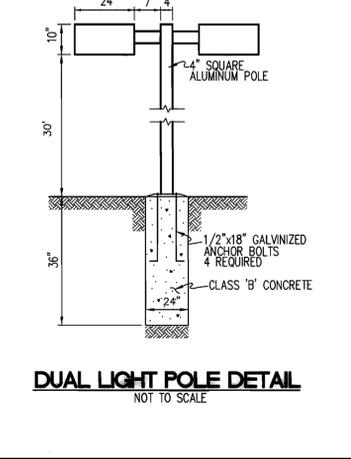


STOP SIGN DETAIL
NOT TO SCALE



NOSE DOWN CURB DETAIL
NOT TO SCALE

- ALL LIGHT FIXTURES TO BE SINGLE LUMINAIRE 400 WATT CLEAR B7-37 METAL HALIDE MOUNTED ON BRONZE FIBERGLASS POLES AND DIRECTED DOWN-WARD
- LOCATIONS OF LIGHT FIXTURES ARE ON THE PLAN AND ARE SHOWN THUS:
- LIGHTS TO BE MODULE II TYPE AS MANUFACTURED BY MOLDCAST OR APPROVED EQUAL
- POLE AND FIXTURE TO HAVE BLACK POLYESTER ENAMEL FINISH
- POLE TO BE LOCATED 3' BACK FROM BACK OF CURB.



DUAL LIGHT POLE DETAIL
NOT TO SCALE

- GENERAL NOTES:**
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
 - FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING MUST BE POSTED AS PART OF THE DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$34,470.00.
92 SHADE TREES @ \$300 = 27,600
0 ORNAMENTAL TREES @ \$150 = 0
0 EVERGREEN TREES @ \$150 = 0
229 SHRUBS @ \$30 = 6,870
 - THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - ALL MATERIAL SELECTED SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK", LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
 - ALL MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE MINIMUM STANDARDS CITED IN THE LATEST EDITION OF "LANDSCAPE SPECIFICATION GUIDELINES" PUBLISHED BY THE LANDSCAPE CONTRACTORS ASSOCIATION.
 - AT THE TIME OF INSTALLATION, ALL SHRUBS AND OTHER PLANTINGS SHALL BE OF THE PROPER HEIGHT AND/OR SPREAD REQUIREMENTS IN ACCORDANCE WITH THIS PLAN AND THE HOWARD COUNTY LANDSCAPE MANUAL.
 - NO SUBSTITUTIONS OR RELOCATION OF PLANTS MAY BE MADE WITHOUT PRIOR APPROVAL FROM THE DEPARTMENT OF PLANNING AND ZONING OF HOWARD COUNTY. ANY DEVIATION FROM THIS LANDSCAPE PLAN MAY RESULT IN A REQUIREMENT FOR SUBMITTAL OF AN OFFICIAL "REDLINE REVISION" TO THE SITE DEVELOPMENT PLAN(S) AND/OR DENIAL IN THE RELEASE OF LANDSCAPE SURETY.

DEVELOPER'S/BUILDER'S CERTIFICATE:
I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Daniel L. Hill 5-17-06
SIGNATURE DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.
Daniel L. Hill 7/5/06
DIRECTOR DATE
[Signature] 4/26/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE
[Signature] 7/5/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER: MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT: MONTPELIER RESEARCH PARK
PARCEL A

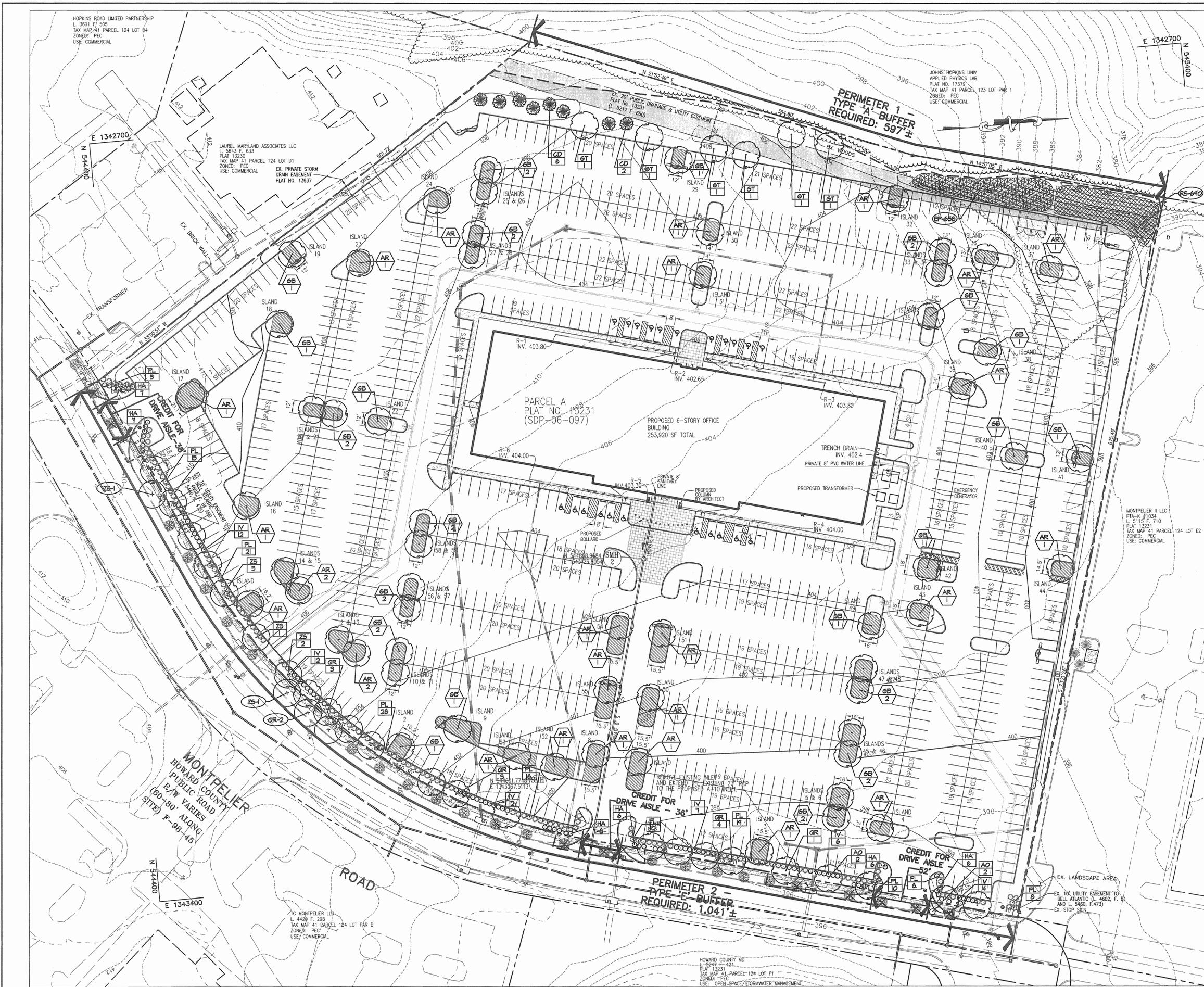
AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE: LANDSCAPE SCHEDULES AND DETAILS

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: ALC
DRAWN BY: ALC
PROJECT NO: 14184-1-0
L200LND02.DWG
DATE: APRIL 4, 2006
SCALE: NOT TO SCALE
DRAWING NO. 10 OF 10

PETER J. STONE #3068
6-14-06



LEGEND

EX. TREELINE		CREDITED LANDSCAPE ISLAND	
PROPOSED TREELINE		PROPOSED STREET TREE	
EX. TREES		PROPOSED PERENNIALS	
EX. TREES TO BE REMOVED		PROPOSED LIGHTS	
PROP. SHADE TREE			
PROP. SHRUBS			
INTERNAL LANDSCAPE PLANTING			
PERIMETER LANDSCAPE PLANTING			
ADDITIONAL LANDSCAPE PLANTINGS			
LIMIT OF DISTURBANCE			
PERIMETER LANDSCAPE EDGE LIMITS			

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

DIRECTOR *Mark A. Light* 1/16/06 DATE

CHIEF, DEVELOPMENT ENGINEERING DIVISION *John D. ...* 1/12/06 DATE

CHIEF, DIVISION OF LAND DEVELOPMENT *Andy Hamata* 1/16/06 DATE

07/20/06	1	REVISED PARKING AND GRADING
DATE	NO.	REVISION

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT MONTPELIER RESEARCH PARK
PARCEL A

AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE REVISED
LANDSCAPE PLAN

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : 1" = 40'
DRAWING NO. 9 OF 10

PETER J. STONE 9-25-06 #3068

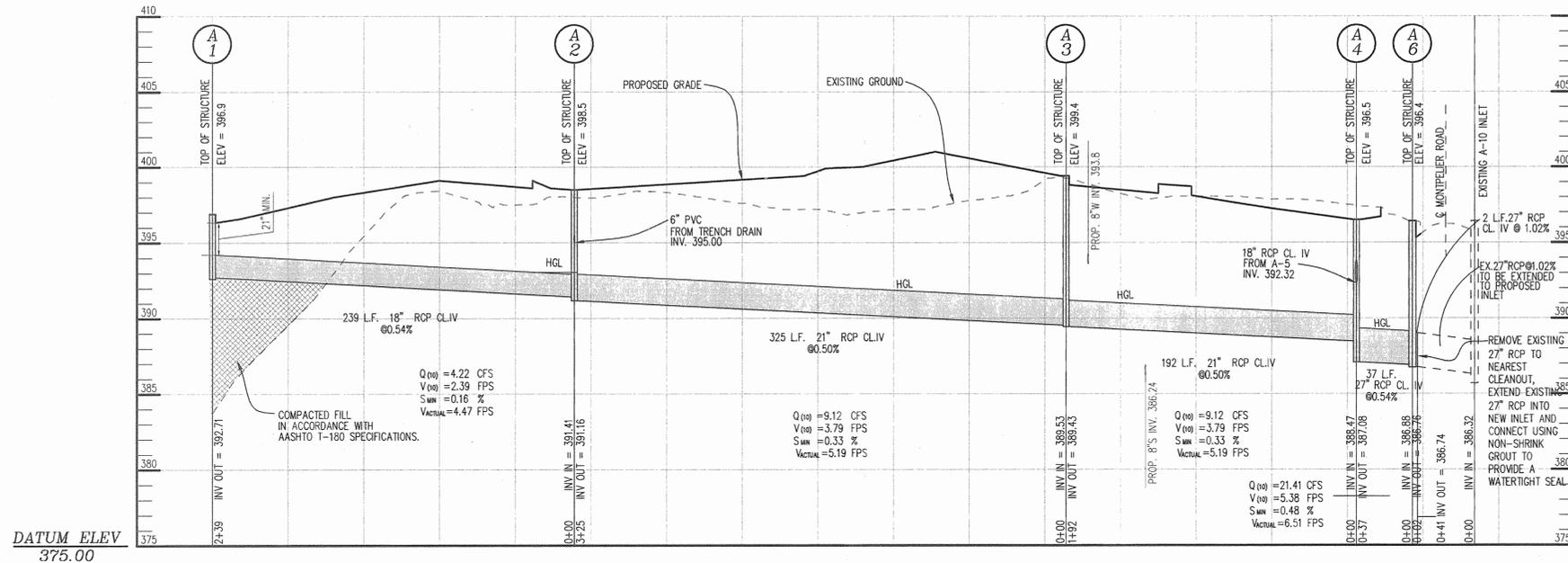
STRUCTURE SCHEDULE						
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
A1	A-5 INLET W=2'-6"	N 545313.1379 E 1342858.3954		392.71(18")	396.9	HOCO STD. DETAIL SD-4.40
A2	A-10 INLET W=2'-6"	N 545280.9822 E 1343089.2452	391.41 (18") 395.00(TR. DRAIN)	391.16 (21")	398.5	HOCO STD. DETAIL SD-4.41
A3	4' DIA MANHOLE	N 545193.9102 E 1343407.0352		389.43 (21")	399.4	HOCO STD. DETAIL G-5.12
A4	DOUBLE TYPE "S" INLET	N 545001.4695 E 1343407.6200	388.47 (21") 392.32 (18")	387.08 (27")	396.5	MODIFIED HOCO STD. DETAIL SD-4.23-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
A5	TYPE "S" INLET	N 544974.1581 E 1343400.1448		392.50 (18")	396.5	HOCO STD. DETAIL SD-4.22 WITH RETICULAR GRATE PER SD 4.93
A6	A-10 INLET W=2'-6"	N 544993.0388 E 1343445.3268		386.88 (27")	396.4	HOCO STD. DETAIL SD-4.41

STRUCTURE SCHEDULE							
STRUCTURE	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS	
B1	TYPE "S" INLET	N 545062.6068 E 1342883.4223		399.22(ROOF DRAIN)	398.79 (21")	402.6	MODIFIED HOCO STD. DETAIL SD-4.22-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
B2	DOUBLE TYPE "S" INLET	N 544824.7539 E 1342816.8667		397.56 (21")	397.06 (27")	402.7	MODIFIED HOCO STD. DETAIL SD-4.23-SEE SHEET 4 OF 10 WITH RETICULAR GRATE PER SD 4.93
B3	5' DIA MANHOLE	N 544725.8122 E 1342861.3193		396.50 (27")	396.40 (27")	405.7	HOCO STD. DETAIL G-5.13
B4	A-10 INLET W=3'-0"	N 544692.3423 E 1343024.3142		395.59 (27")	395.49 (27")	404.2	HOCO STD. DETAIL SD-4.41
B5	TYPE "S" INLET	N 544761.1309 E 1343110.4699		400.50(ROOF DRAIN)	400.00 (18")	403.5	MODIFIED HOCO STD. DETAIL SD-4.22-SEE SHEET 5 OF 10 WITH RETICULAR GRATE PER SD 4.93
B6	A-5 INLET W=2'-6"	N 544794.1356 E 1343306.8140		396.50 (18")	396.10 (18")	400.90	HOCO STD. DETAIL SD-4.40
B7	A-5 INLET W=2'-6"	N 544777.1779 E 1343365.4616		395.60 (18")	394.90 (18")	399.8	HOCO STD. DETAIL SD-4.40
MH	4' DIA MANHOLE	N 544820.3204 E 1343392.2374		394.00 (18")	389.92 (EX.18")	398.57	HOCO STD. DETAIL G-5.12
TRENCH DRAIN	POLYDRAIN INTERCEPTOR-MEDIUM DUTY -PART NO. 010,020,030 & 040 WITH VERTICAL OUTLET PLATES FOR CONNECTION WITH 6" PVC. OTHER PARTS OF MORE OR EQUAL CAPACITY MAY BE USED.						

NOTES

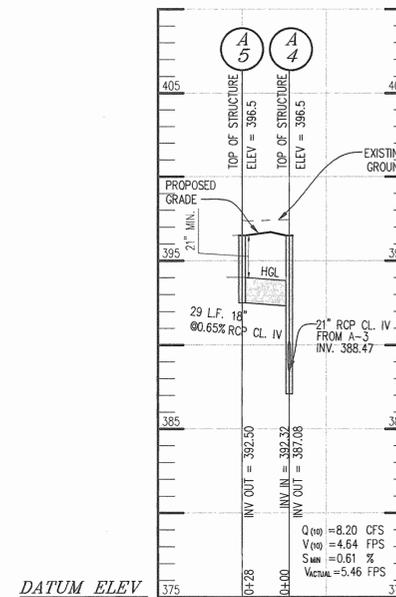
- ALL STRUCTURES ARE HOWARD COUNTY STANDARDS UNLESS NOTED OTHERWISE.
- ALL PIPE LENGTHS SHOWN ARE TO THE CENTER OF THE STRUCTURE. FOR ACTUAL PIPE LENGTHS REDUCE THE LENGTH SHOWN BY THE WIDTH OF THE STRUCTURE.
- ALL STRUCTURES HAVE FULLY DEVELOPED INVERTS.
- STATIONS AND OFFSETS FOR ALL STRUCTURES ARE GIVEN TO THE CENTER OF THE STRUCTURE AT THE FACE OF CURB FOR CURB INLETS AND TO THE CENTER OF THE STRUCTURE FOR ALL YARD INLETS AND MANHOLES.
- ELEVATIONS ARE GIVEN TO TOP OF INLET SLAB AT FACE OF CURB FOR CURB INLETS, TO TOP OF GRATE FOR YARD INLETS AND TO TOP OF LID FOR MANHOLES. WHERE TWO ELEVATIONS ARE GIVEN THEY ARE USED FOR THE UPPER AND LOWER ELEVATIONS OF THE TOP SLAB FOR A CURB INLET ON GRADE.

PIPE SCHEDULE		
PIPE LENGTH	SIZE	TYPE
583	18"	RCP CL IV
763	21"	RCP CL IV
645	27"	RCP CL IV
192	6"	PVC
250	8"	PVC
320	10"	PVC
101	12"	PVC



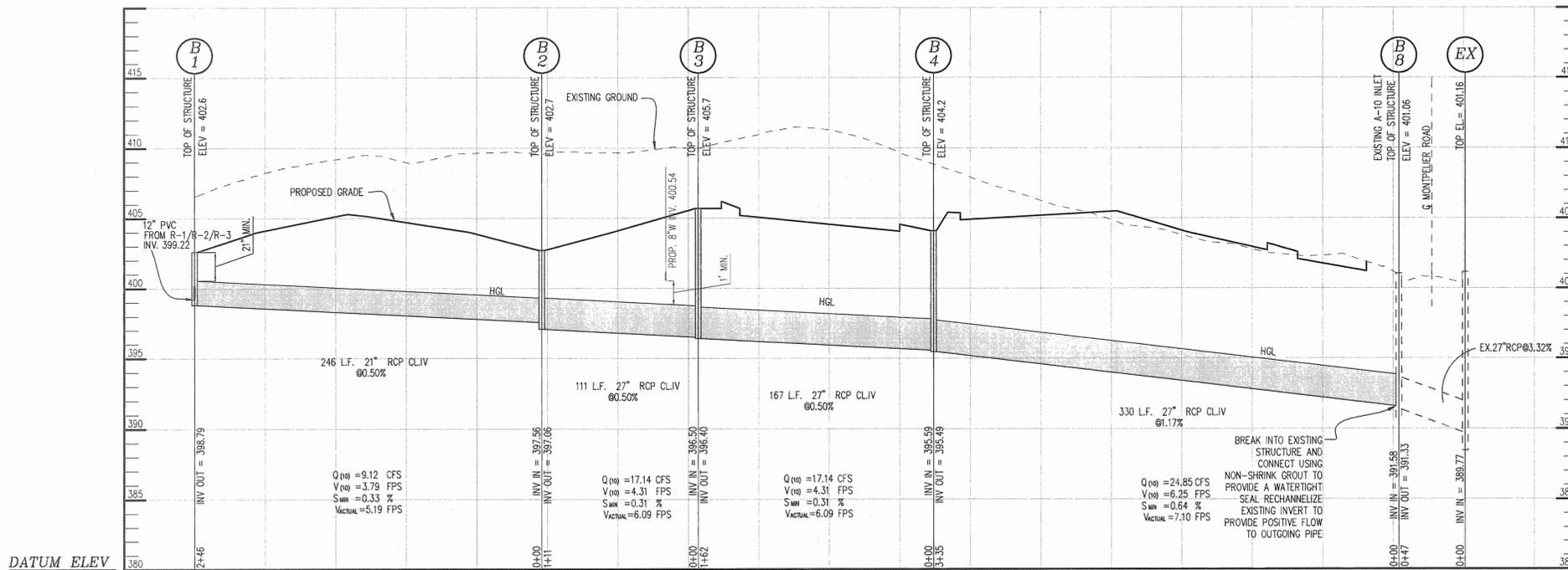
STORM DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'



STORM DRAIN PROFILE A

SCALE: HORZ: 1"=50'
VERT: 1"=5'



STORM DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.	
DIRECTOR	DATE
CHIEF, DEVELOPMENT ENGINEERING DIVISION	DATE
CHIEF, DIVISION OF LAND DEVELOPMENT	DATE

07/20/06	1	REVISE GROUND PROFILES AND INVERTS
DATE	NO.	REVISION

OWNER	HOPKINS ROAD LIMITED PARTNERSHIP 9200 RUMSEY ROAD COLUMBIA, MD 21045 410-997-7222
-------	--

DEVELOPER	MONTPELIER III, LLC MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC. 1055 THOMAS JEFFERSON ST., SUITE 600 WASHINGTON, DC 20007 703-288-9200
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PROJECT	MONTPELIER RESEARCH PARK PARCEL A
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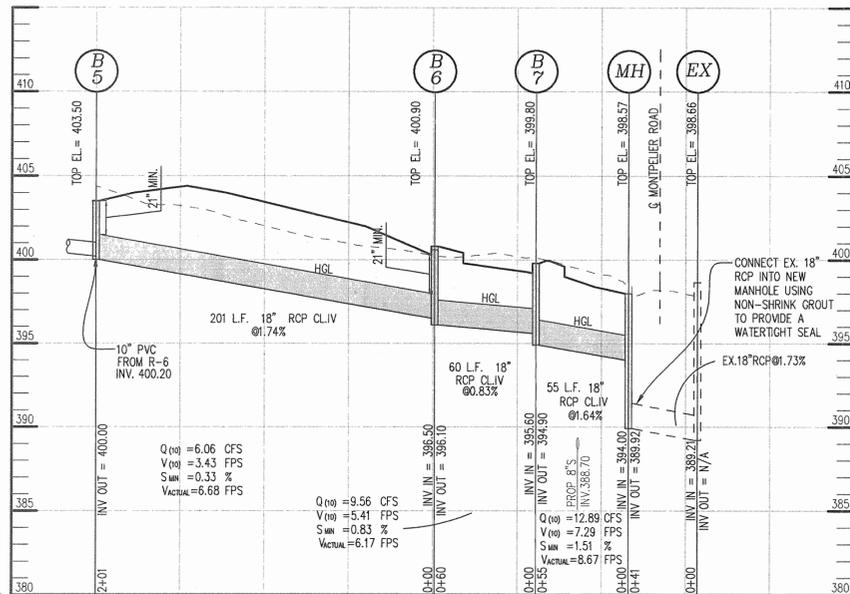
AREA	TAX MAP 41 PARCEL 124 PAR A ZONING PEC GRID 17 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND PROPOSED 6 STORY OFFICE BUILDING
------	--

TITLE	REVISED PROFILES
-------	---------------------

Patton Harris Rust & Associates, pc	Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive	Columbia, MD 21045
T 410.997.8900	F 410.997.9282

DESIGNED BY: HS
DRAWN BY: HS
PROJECT NO: 14184-1-0
DATE: MAY 18, 2006
SCALE: AS SHOWN
DRAWING NO. 8 OF 10

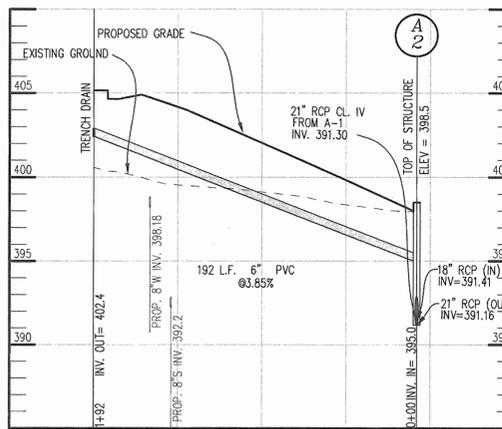




STORM DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

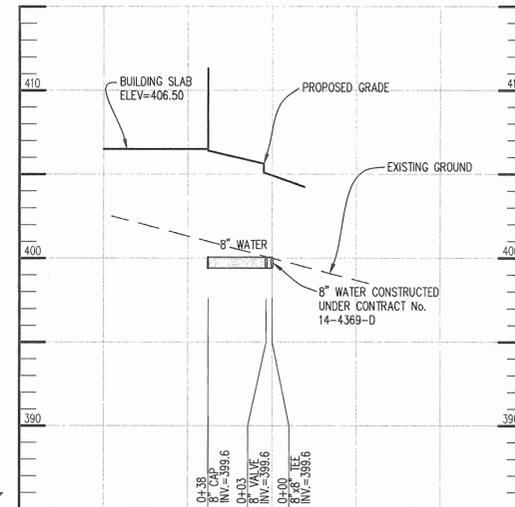
DATUM ELEV
380.00



TRENCH DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

DATUM ELEV
385.00



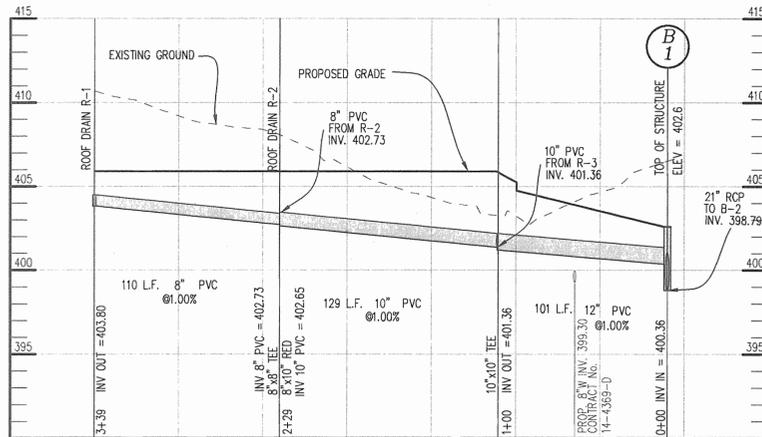
WATER PROFILE HOUSE CONNECTION

SCALE: HOR: 1"=50'
VERT: 1"=5'

DATUM ELEV
385.00

STRUCTURE SCHEDULE						
No.	TYPE	LOCATION	INV. IN	INV. OUT	TOP	REMARKS
SMH 1	PRECAST MANHOLE	N 544801.7748 E 1343367.5113	393.30	399.0±	399.30	HCDPWT STD NO. G5.12
SMH 2	PRECAST MANHOLE	N 544868.9684 E 1343126.8054	400.40	400.10	405.50	HCDPWT STD NO. G5.12

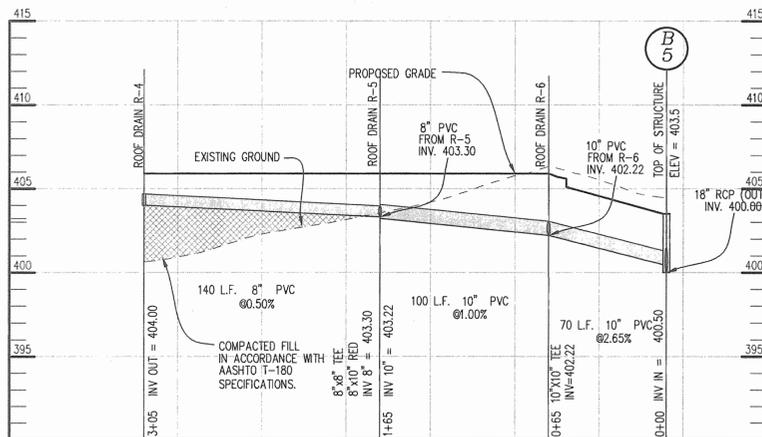
PIPE SCHEDULE		
SIZE (IN)	TYPE	LENGTH (FT)
8	WATER	38
6	SEWER	60
8	SEWER	263



ROOF DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

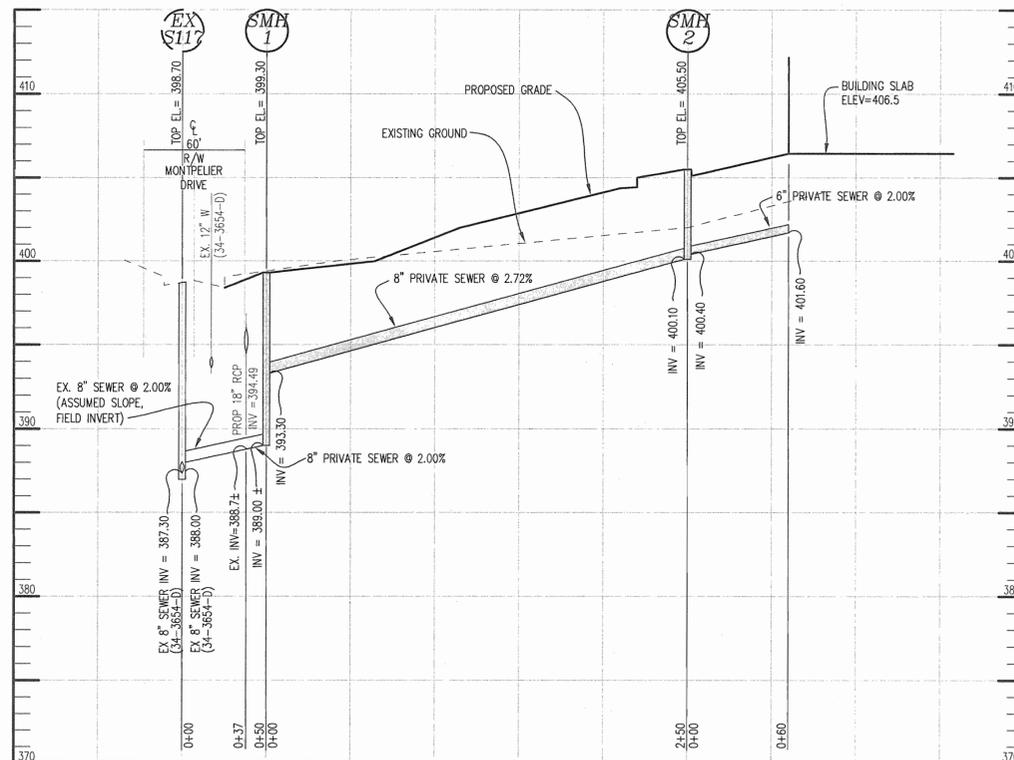
DATUM ELEV
390.00



ROOF DRAIN PROFILE

SCALE: HORZ: 1"=50'
VERT: 1"=5'

DATUM ELEV
390.00



SEWER LINE PROFILE

SCALE: HOR: 1"=50'
VERT: 1"=5'

DATUM ELEV
370.00

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

David J. Laughlin 10/6/06
DIRECTOR DATE

[Signature] 10/24/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cinda Hamdt 10/6/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
07/20/06	1	REVISE GROUND PROFILES AND INVERTS

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER: MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT: MONTPELIER RESEARCH PARK
PARCEL A

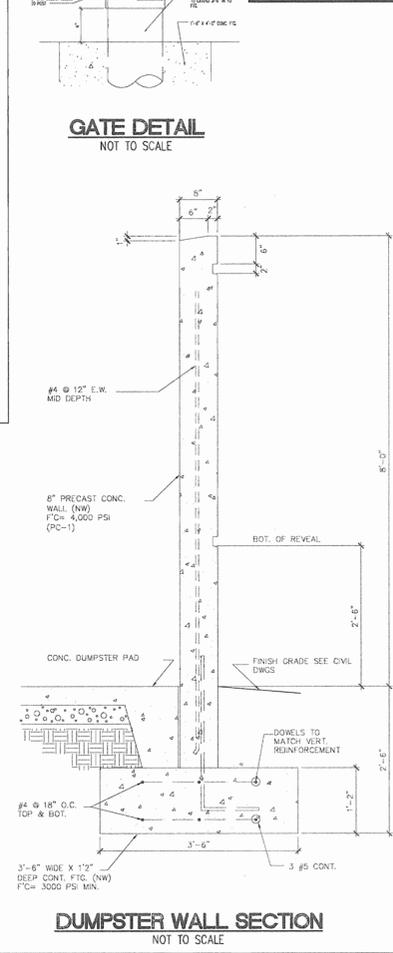
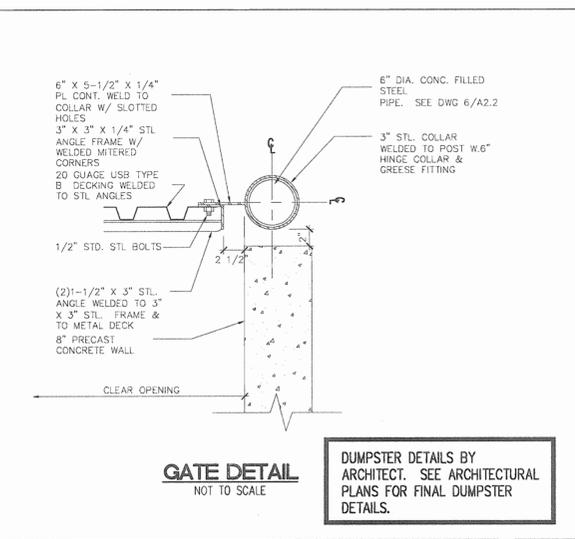
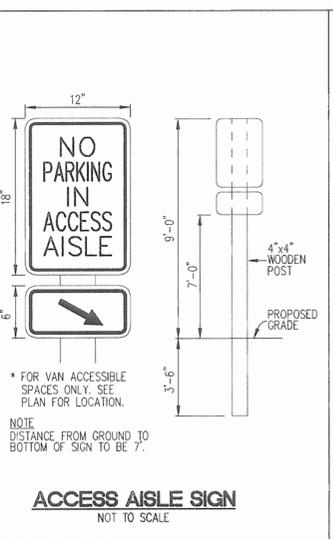
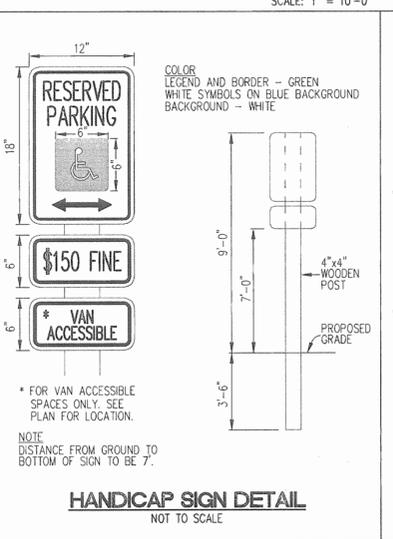
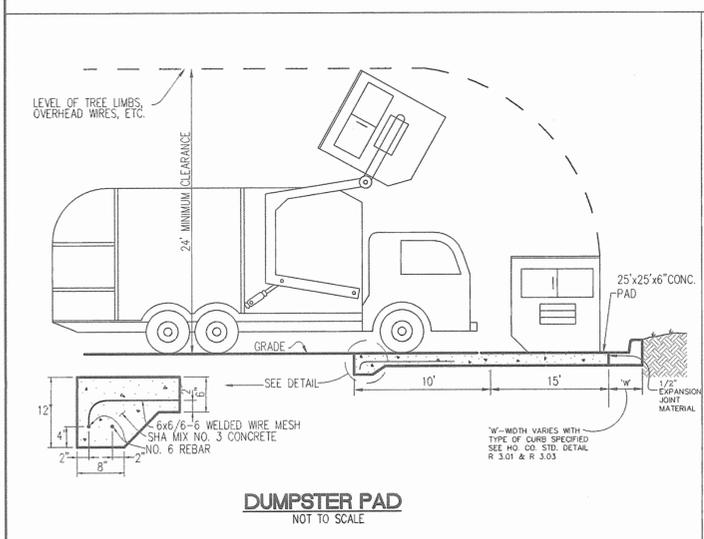
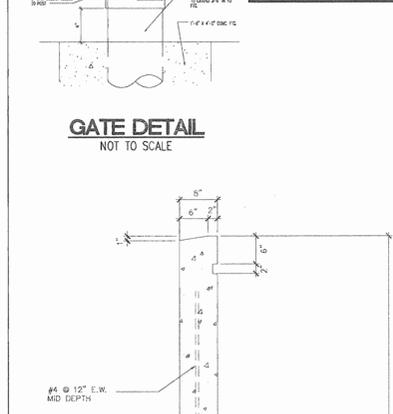
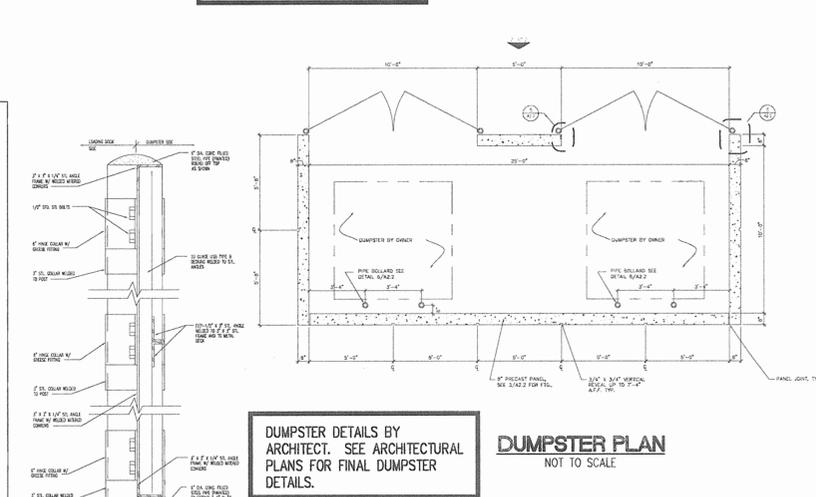
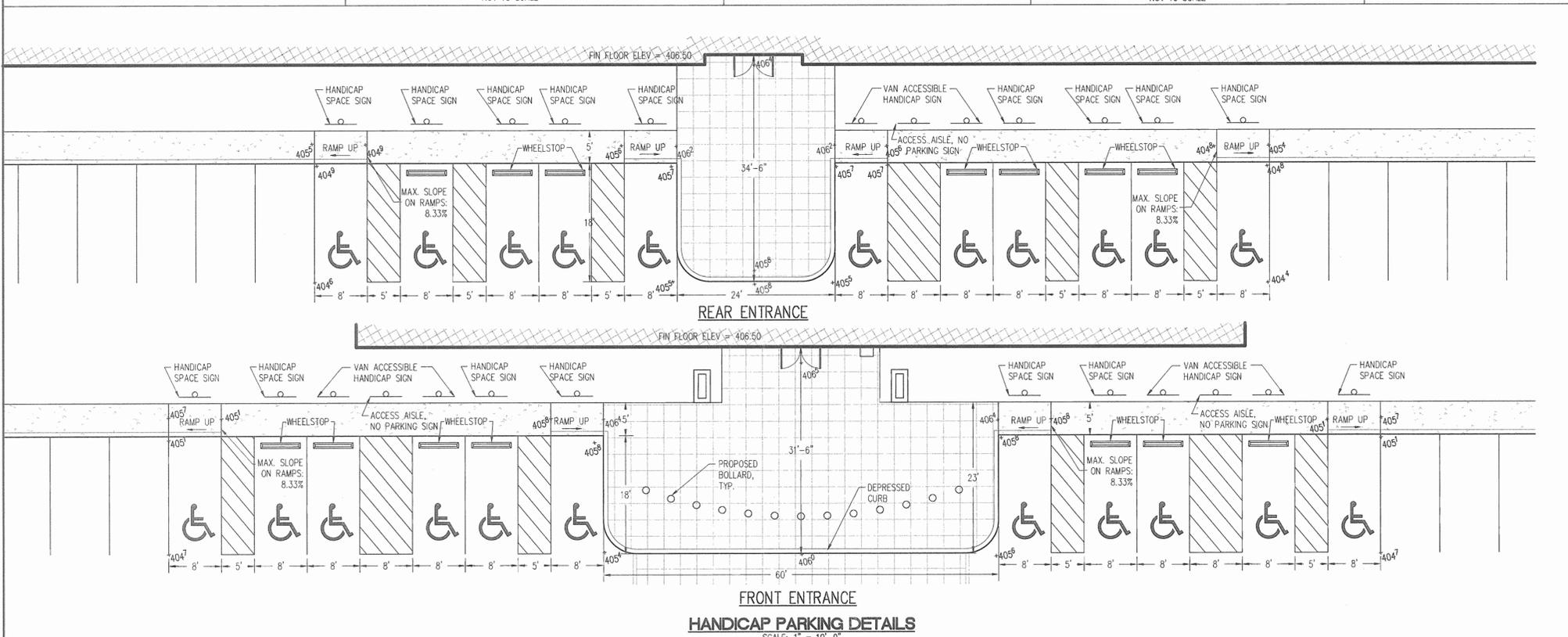
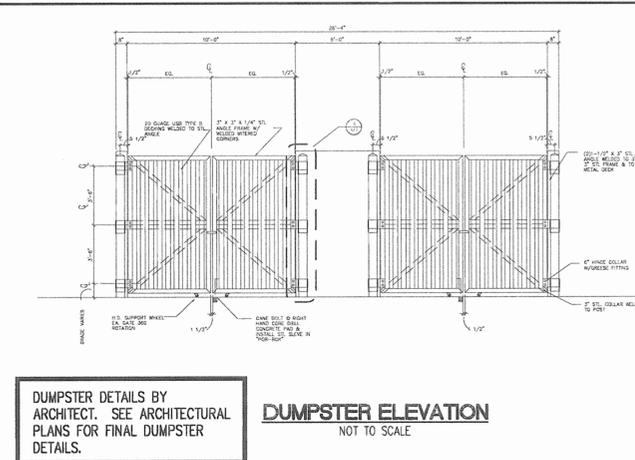
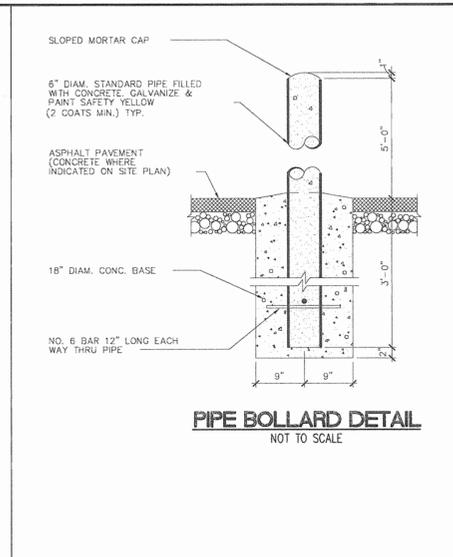
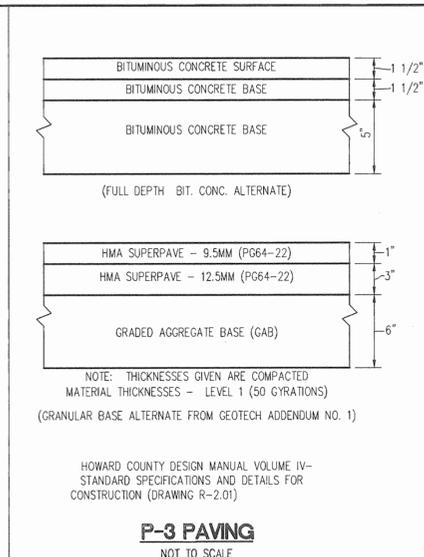
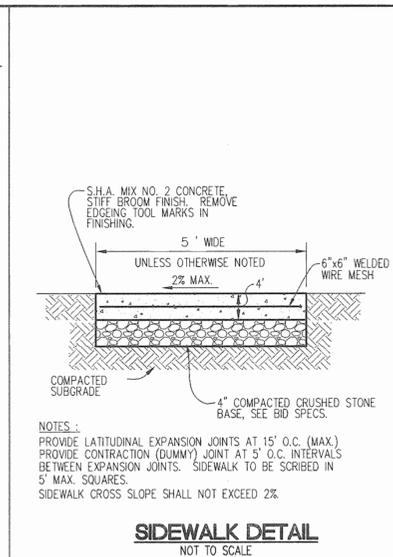
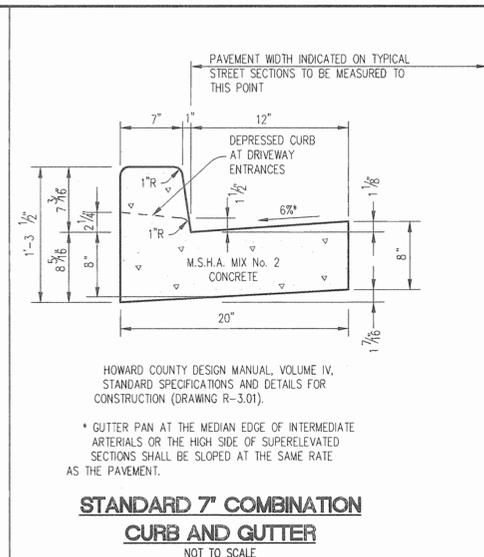
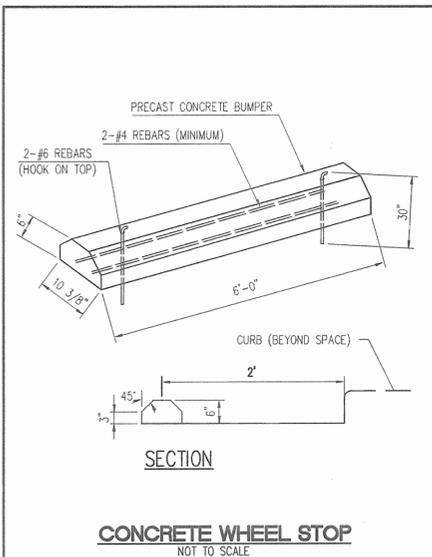
AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE: REVISED
PROFILES

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
F 410.997.9282

DESIGNED BY: HS
DRAWN BY: RES
PROJECT NO.: 14184-1-0
DATE: MAY 18, 2006
SCALE: AS SHOWN
DRAWING NO.: 7 OF 10

[Signature]
JOHN W. CLAPSADDLE #16956



APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark D. Coughlin 10/6/06
DIRECTOR DATE

John W. Clapsaddle 10/14/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Andy Harman 10/6/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

07/20/06	1	REVISE PARKING, GRADING
DATE NO.		REVISION
OWNER	HOPKINS ROAD LIMITED PARTNERSHIP 9200 RUMSEY ROAD COLUMBIA, MD 21045 410-997-7222	
DEVELOPER	MONTPELIER III, LLC MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC. 1055 THOMAS JEFFERSON ST., SUITE 600 WASHINGTON, DC 20007 703-288-9200	
PROJECT	MONTPELIER RESEARCH PARK PARCEL A	
AREA	TAX MAP 41 PARCEL 124 PAR A ZONING PEC GRID 17 5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND PROPOSED 6 STORY OFFICE BUILDING	
TITLE	REVISED DETAIL SHEET	
Patton Harris Rust & Associates, pc Engineers, Surveyors, Planners, Landscape Architects. 8818 Centre Park Drive Columbia, MD 21045 T 410.997.8900 F 410.997.9282		
DESIGNED BY :	ALC	
DRAWN BY :	ALC	
PROJECT NO. :	14184-1-0	
DATE :	MAY 18, 2006	
SCALE :	NOT TO SCALE	
DRAWING NO. :	6 OF 10	

SDP-06-097

SOILS CHART						
MAP SYMBOL	NAME	STRUCTURAL LIMITATIONS	EROSION HAZARD	HYDRIC	SLOPE (%)	HYDROLOGIC SOIL GROUP
GIB2	GLENELG LOAM	SLIGHT	MODERATE	NO	3-8%	B
MgC2	MANOR GRAVELLY LOAM	MODERATE	MODERATE	NO	8-15%	B
MgC3	MANOR GRAVELLY LOAM	MODERATE	SEVERE	NO	8-15%	B
MID3	MANOR LOAM	MODERATE	SEVERE	NO	15-25%	B

SOURCE: SOIL INFORMATION TAKEN FROM HOWARD COUNTY, MARYLAND SOIL SURVEY MAP #29.



BY THE DEVELOPER :
 I/WE CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN FOR SEDIMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

Daniel S. Hudson 9/25/06
 DEVELOPER (PRINT NAME BELOW SIGNATURE) DATE
 DANIEL S. HUDSON

BY THE ENGINEER :
 I CERTIFY THAT THIS PLAN FOR SEDIMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

John W. Clapsaddle 9/25/06
 ENGINEER (PRINT NAME BELOW SIGNATURE) DATE
 JOHN W. CLAPSADDLE

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS FOR SOIL EROSION AND SEDIMENT CONTROL.

John M. Myers 10/2/06
 NATURAL RESOURCES CONSERVATION SERVICE DATE

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

John R. Robertson 10/2/06
 HOWARD SOIL CONSERVATION DISTRICT DATE

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Wynn 10/6/06
 DIRECTOR DATE

John W. Clapsaddle 10/4/06
 CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

John W. Clapsaddle 10/6/06
 CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
07/20/06	1	REVISE PARKING, GRADING

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
 9200 RUMSEY ROAD
 COLUMBIA, MD 21045
 410-997-7222

DEVELOPER MONTPELIER III, LLC
 MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
 1055 THOMAS JEFFERSON ST., SUITE 600
 WASHINGTON, DC 20007
 703-288-9200

PROJECT MONTPELIER RESEARCH PARK
 PARCEL A

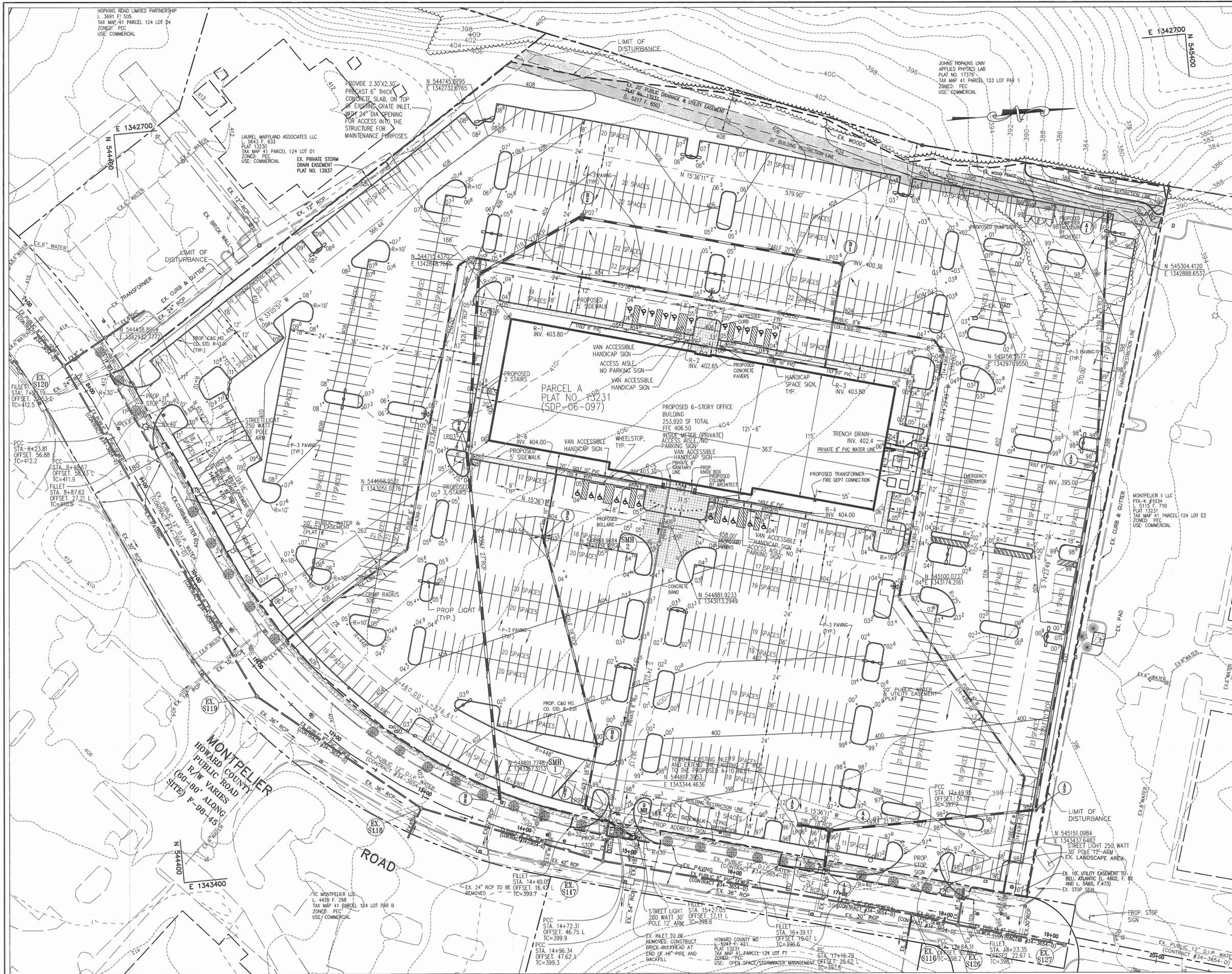
AREA TAX MAP 41 PARCEL 124 PAR A ZONING PEC
 GRID 17 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PROPOSED 6 STORY OFFICE BUILDING

TITLE REVISED
 GRADING, SOILS, SEDIMENT CONTROL
 AND DRAINAGE AREA MAP

Patton Harris Rust & Associates, pc
 Engineers, Surveyors, Planners, Landscape Architects.
 8818 Centre Park Drive
 Columbia, MD 21045
 T 410.997.8900
 F 410.997.9282

DESIGNED BY : JWC
 DRAWN BY: ALC
 PROJECT NO : 14184-1-0
 DATE : MAY 18, 2006
 SCALE : 1" = 40'
 DRAWING NO. 3 OF 10

JOHN W. CLAPSADDLE #16956 SDP-06-097



- NOTES:
1. ALL CURB RADII ARE 5' UNLESS SPECIFIED.
 2. ALL PAVING TO BE P-3 PAVING.
 3. SEE SHEET 6 FOR PAVING, CURB AND GUTTER, SIDEWALK, AND DUMPSTER DETAILS.
 4. SEE EXISTING VEGETATION CHART, SHEET 1 FOR INFORMATION REGARDING NATIVE COMMUNITIES. THE EXISTING FOREST IS OVERGROWN WITH VINES AND BRAMBLES AND CONTAINS FEW TREES.
 5. NO SPECIMEN TREES EXIST ON SITE.
 6. KNOX BOX SHALL BE LOCATED TO THE RIGHT OF THE MAIN FRONT ENTRANCE AS SHOWN. IT SHALL BE PLACED AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSSED (INTEGRATED WITH THE FIRE ALARM SYSTEM.)

STREET LIGHT CHART		
NO.	LOCATION	DESCRIPTION
20	SEE PLAN	400 WATT CLEAR BI-37 METAL HALIDE MOUNTED AT 30' ON A BRONZE FIBERGLASS POLE
	8+64 40' LT. 15+08 29' LT. 18+00 34' LT.	250 WATT HPS (SAG) MOUNTED ON A 30' ON A BRONZE FIBERGLASS POLE USING A 12' ARM.

LEGEND	
	PROPERTY LINE
	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 10' CONTOURS
	PROPOSED 2' CONTOURS
	EXISTING SEWER
	PROPOSED SEWER
	EXISTING WATER
	PROPOSED WATER
	EXISTING CURB AND GUTTER
	PROPOSED CURB & GUTTER
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	BUILDING RESTRICTION LINE
	PARKING RESTRICTION LINE
	EXISTING TREE
	PROP. SPOT ELEVATION
	PROPOSED LIGHT (SITE)
	PROPOSED LIGHT (RIGHT OF WAY)
	CONCRETE SIDEWALK
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Clapsaddle 10/16/06
DIRECTOR DATE

John W. Clapsaddle 10/16/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

Cindy Hamilton 10/16/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE	NO.	REVISION
07/20/06	1	REVISE PARKING, GRADING

OWNER: HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER: MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

PROJECT: MONTPELIER RESEARCH PARK
PARCEL A

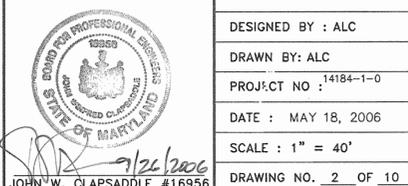
AREA: TAX MAP 41 PARCEL 124 PAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

TITLE: REVISED
SITE DEVELOPMENT PLAN

Patton Harris Rust & Associates, p.c.
Engineers, Surveyors, Planners, Landscape Architects.
8818 Centre Park Drive
Columbia, MD 21045
T 410.997.8900
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PHRA

DESIGNED BY: ALC
DRAWN BY: ALC
PROJECT NO.: 14184-1-0
DATE: MAY 18, 2006
SCALE: 1" = 40'
DRAWING NO. 2 OF 10



SHEET INDEX	
NO	DESCRIPTION
1	TITLE SHEET
2	SITE DEVELOPMENT PLAN
3	GRADING, SOILS, SEDIMENT CONTROL AND DRAINAGE AREA MAP
4	SEDIMENT CONTROL DETAILS AND TRAFFIC CONTROL DETAILS
5	SEDIMENT CONTROL NOTES
6	DETAIL SHEET
7	PROFILES
8	PROFILES
9	LANDSCAPE PLAN
10	LANDSCAPE SCHEDULES AND DETAILS

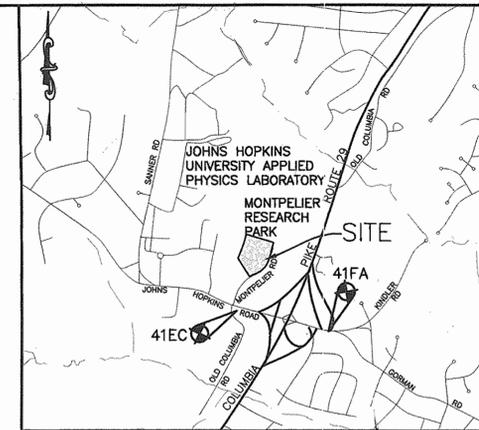
SITE DEVELOPMENT PLAN

MONTPELIER RESEARCH PARK

PARCEL A

5TH ELECTION DISTRICT

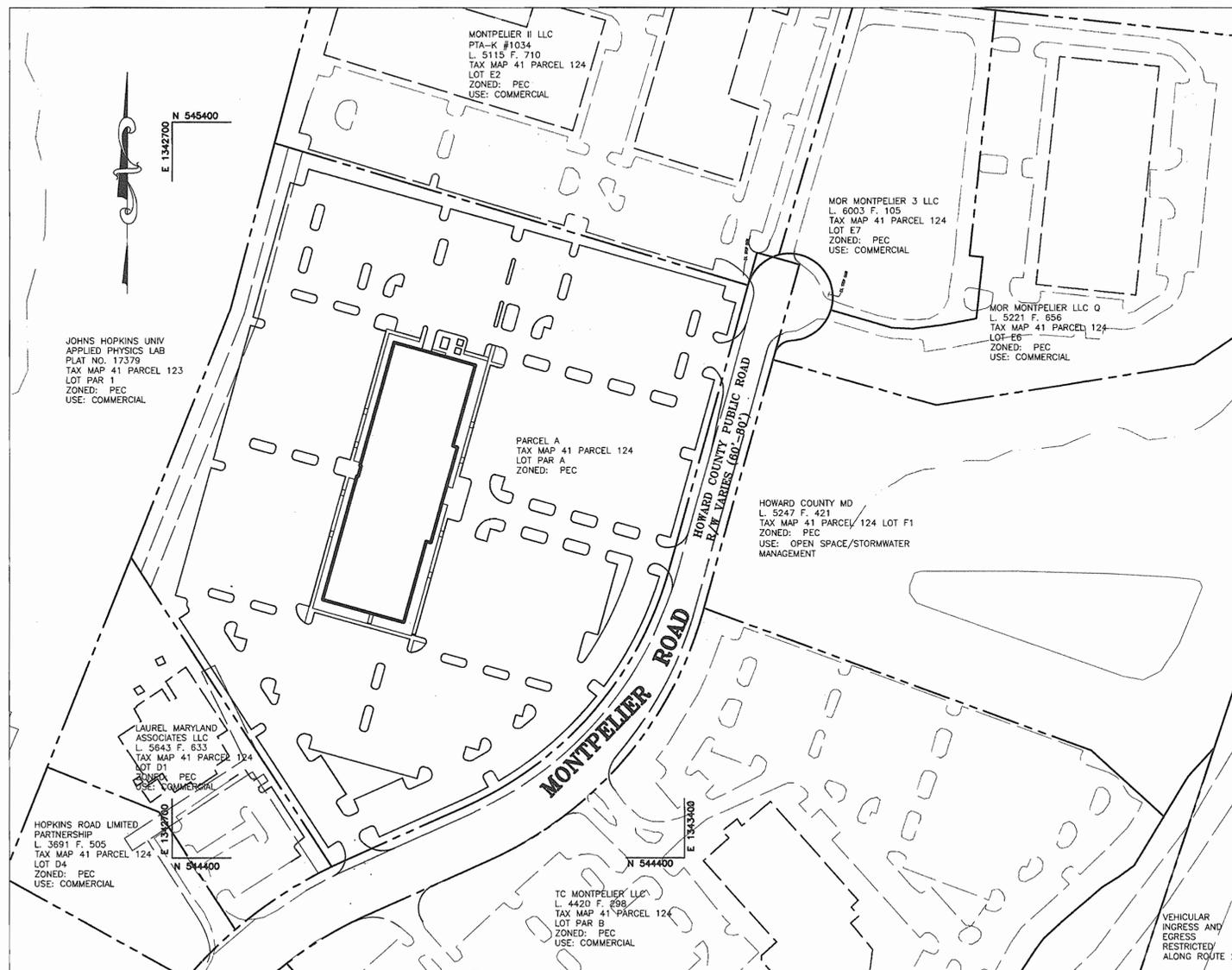
HOWARD COUNTY, MARYLAND



VICINITY MAP
SCALE: 1"=200'
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PERMITTED USE NO. 20894235

EXISTING VEGETATION				
COMMUNITY	DOMINANT SPECIES	TYPICAL CALIPER	MATURITY	CONDITION
BRUSH/TREES	GREEN ASH	< 6"	IMMATURE	FAIR TO POOR
OPEN FIELD	N/A	N/A	N/A	N/A

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS, IF APPLICABLE.
 - THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/BUREAU OF ENGINEERING/ CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
 - THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
 - TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
 - ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE EXISTING TOPOGRAPHY IS TAKEN FROM FIELD RUN SURVEY WITH MAXIMUM TWO FOOT CONTOUR INTERVALS PREPARED BY PATTON HARRIS RUST & ASSOCIATES DATED DECEMBER 2005.
 - THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON NAD83 (HORIZONTAL) AND NAVD88 (VERTICAL). HOWARD COUNTY MONUMENT NOS. 41EC AND 41FA WERE USED FOR THIS PROJECT.
 - WATER IS PUBLIC. CONTRACT NO. 14-4369-D. PROPOSED BUILDING WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM. WATER HOUSE CONNECTION IS PRIVATE. ALL MATERIALS SHALL MATCH MAIN LINE MATERIALS ACCORDING TO HOWARD COUNTY SPECIFICATIONS.
 - SEWER IS PRIVATE AND TO BE CONSTRUCTED UNDER THIS SDP. ALL SEWER PIPE SHALL BE PVC MEETING HOWARD COUNTY SPECIFICATIONS.
 - STORMWATER MANAGEMENT FOR PARCEL A WILL BE HANDLED BY AN OFF-SITE POND ON LOT F1. SEE SDP-98-11. SWM POND TO BE MAINTAINED BY MONTPELIER OWNERS ASSOCIATION, INC. AT PRESENT, THE POND IS STILL MAINTAINED BY HOPKINS ROAD LIMITED PARTNERSHIP. THIS IS IN ACCORDANCE WITH "MAINTENANCE AGREEMENT, SITE DEVELOPMENT, PRIVATE STORM WATER MANAGEMENT FACILITIES", MAINTENANCE AGREEMENT # SDP-98-11, DATED 10/23/97, BY AND BETWEEN HOPKINS ROAD LIMITED PARTNERSHIP AND HOWARD COUNTY, MARYLAND.
 - APPROXIMATE LOCATION OF EXISTING UTILITIES ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITIES ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION.
 - A 100-YEAR FLOODPLAIN STUDY FOR THIS PROJECT IS NOT REQUIRED.
 - NO WETLANDS ARE FOUND ON THIS PROJECT PER FIELD VISIT BY PHRA DATED DECEMBER 2005.
 - A TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY WELLS & ASSOCIATES, LLC DATED MARCH 2006 AND APPROVED ON MARCH 22, 2006.
 - A NOISE STUDY FOR THIS PROJECT IS NOT REQUIRED.
 - THE BOUNDARY SURVEY FOR THIS PROJECT WAS VERIFIED BY PATTON HARRIS RUST & ASSOCIATES IN DECEMBER 2005.
 - SUBJECT PROPERTY ZONED PEC PER 02-02-04 COMPREHENSIVE ZONING PLAN.
 - ALL ELEVATIONS SHOWN ARE BASED ON NAVD88.
 - SEE DEPARTMENT OF PLANNING AND ZONING FILE NO'S. SDP-98-11, F-98-45, S 86-47, F-06-217.
 - THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.
 - CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SAFETY PRECAUTIONS AND PROGRAMS.
 - PIPE SHALL NOT BE INSTALLED BY THE CONTRACTOR UNTIL THE LENGTH CALLED FOR AT EACH STATION HAS BEEN APPROVED BY THE ENGINEER IN THE FIELD.
 - NO PIPE SHALL BE LAID UNTIL LINES OF EXCAVATION HAVE BEEN BROUGHT WITHIN 6" OF FINISHED GRADE
 - ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS.
 - PROFILE STATIONS SHALL BE ADJUSTED AS NECESSARY TO CONFORM TO PLAN DIMENSIONS.
 - ALL FILL AREAS WITHIN ROADWAY AND UNDER STRUCTURES TO BE COMPACTED TO A MINIMUM OF 95% COMPACTION OF AASHTO T180.
 - ALL LIGHTING IS TO BE DIRECTED/REFLECTED AWAY FROM ADJACENT PUBLIC ROADS AND RESIDENTIALLY ZONED PROPERTIES, AND BE IN ACCORDANCE WITH SECTION 134 OF THE HOWARD COUNTY ZONING REGULATIONS.
 - THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING WILL BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$ 34,470.00 FOR 92 SHADE TREES, 9 ORNAMENTAL TREES, 9 EVERGREEN TREES, AND 228 SHRUBS.
 - FOREST CONSERVATION OBLIGATIONS FOR THE MONTPELIER RESEARCH PARK HAVE BEEN ADDRESSED UNDER SDP-98-11.
 - NO HISTORIC STRUCTURES OR CEMETERIES ARE LOCATED ON THIS SITE.
 - A FOREST STAND DELINEATION REPORT HAS BEEN PROVIDED WITH A PREVIOUS SDP SUBMISSION FOR THE BUSINESS PARK.
 - AN ADMINISTRATIVE ADJUSTMENT FOR BUILDING HEIGHT HAS BEEN GRANTED (AA-06-14) TO INCREASE THE BUILDING HEIGHT FROM 80' TO 85'. THE ADMINISTRATIVE ADJUSTMENT WAS GRANTED ON MAY 4, 2006 AND IS SUBJECT TO THE FOLLOWING CONDITIONS:
 - THE PETITIONER SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND COUNTY LAWS AND REGULATIONS.
 - A BUILDING PERMIT FOR THE STRUCTURE SHALL BE OBTAINED WITHIN TWO YEARS FROM THE DATE OF THIS ORDER AND SUBSTANTIAL CONSTRUCTION SHALL BE COMPLETED WITHIN THREE YEARS.
 - THE GRANTED ADMINISTRATIVE ADJUSTMENT SHALL APPLY SOLELY TO THE STRUCTURE AS DEPICTED ON THE ADMINISTRATIVE ADJUSTMENT PLAN SUBMITTED BY THE PETITIONER AND NOT TO ANY OTHER STRUCTURE, ADDITION, BUILDING, OR USE.
 - CONSTRUCTION OF ENTRANCES SHALL BE ACCOMPLISHED BY UTILIZING MSHA STANDARD NO. MD 104.33-02 AS SHOWN ON SHEET 4 OF 10. INSTALL ALL SIGNAGE AND DEVICES PER THE STANDARD DETAIL.
 - NO FLOODPLAINS, WETLANDS, STREAMS, OR ASSOCIATED BUFFERS EXIST ON SITE. NO FOREST CONSERVATION EASEMENT AREAS EXIST ON SITE.
 - OPEN SPACE HAS BEEN ADDRESSED ON PREVIOUS PLATS. SEE PLATS 13229-13234 AND 14137-14138. PARCELS F-1, G-1, AND G-2 ARE OPEN SPACE PARCELS.
 - THERE ARE NO SPECIMEN TREES ON SITE.



LOCATION PLAN
1" = 100'

BENCH MARK
HOWARD COUNTY CONTROL STATION 41EC
N 543588.8147
E 1342628.7861
ELEV. 430.377
HOWARD COUNTY CONTROL STATION 41FA
N 543109.8842
E 1344797.5298
ELEV. 407.635

AREA TABULATION CHART

AREA OF SITE:	12.006 ACRES (522,981 SF)
LIMIT OF DISTURBED AREA:	11.93 ACRES ± (519,692 SF±)
PRESENT ZONING:	PEC (PLANNED EMPLOYMENT CENTER)
EXISTING USES:	VACANT
PROPOSED USES:	6 STORY OFFICE BUILDING AND PARKING
PROPOSED FLOOR AREA:	253,974 SF ± 42,621 SF FLOORS 1-4 41,745 SF FLOORS 5-6
NUMBER OF TENANTS:	1 TENANT
MAXIMUM NUMBER OF EMPLOYEES:	1,250 EMPLOYEES
PARKING REQUIRED:	3.3 SPACES PER 1,000 SF OF OFFICE = 3.3 X 253,974/1,000 = 838.11 SPACES = 838 SPACES REQUIRED
PROPOSED PARKING:	1,163 SPACES (INCLUDES 22 HANDICAPPED SPACES)
AREA OF STEEP SLOPES:	0.04 AC ± (1,617 SF±)

APPROVED : HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING.

Mark A. Coyle 7/5/06
DIRECTOR DATE

[Signature] 6/2/06
CHIEF, DEVELOPMENT ENGINEERING DIVISION DATE

[Signature] 7/5/06
CHIEF, DIVISION OF LAND DEVELOPMENT DATE

DATE NO.	REVISION
7/20/06	REVISED PARKING

OWNER HOPKINS ROAD LIMITED PARTNERSHIP
9200 RUMSEY ROAD
COLUMBIA, MD 21045
410-997-7222

DEVELOPER MONTPELIER III, LLC
MANAGING MEMBER: TC MARYLAND DEVELOPMENT, INC.
1055 THOMAS JEFFERSON ST., SUITE 600
WASHINGTON, DC 20007
703-288-9200

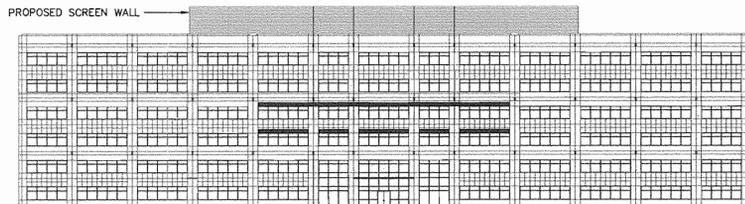
PROJECT MONTPELIER RESEARCH PARK
PARCEL A

AREA TAX MAP 41 PARCEL 124 FAR A ZONING PEC
GRID 17 5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND
PROPOSED 6 STORY OFFICE BUILDING

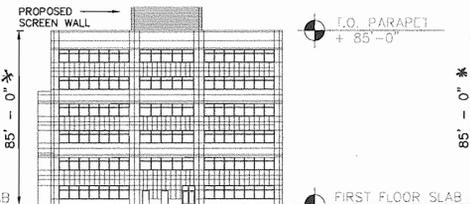
TITLE TITLE SHEET

Patton Harris Rust & Associates, pc
Engineers, Surveyors, Planners, Landscape Architects.
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DESIGNED BY : ALC
DRAWN BY: ALC
PROJECT NO : 14184-1-0
DATE : MAY 18, 2006
SCALE : AS SHOWN
DRAWING NO. 1 OF 10



SOUTH ELEVATION (FRONT)
NOT TO SCALE



EAST ELEVATION (SIDE)
NOT TO SCALE

* see note 32

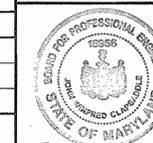
LEGEND

- PROPERTY LINE
- BLDG. RESTRICTION LINE
- EXISTING BLDG.
- EXISTING EDGE OF PVMT.
- PROPOSED BLDG.
- PROPOSED EDGE OF PVMT.
- EXISTING STREAM

ADDRESS CHART

PARCEL NUMBER	STREET ADDRESS
124	7651 MONTPELIER RD

SUBDIVISION NAME	SECT./AREA	PARCEL
MONTPELIER RESEARCH PARK		124
PLAT NO. 18340	GRID # 17	ZONING PEC
TAX MAP NO. 41	ELECT. DIST. 5	CENSUS TRACT 6051.02
WATER CODE E21	SEWER CODE 6480000	



[Signature]
JOHN W. CLAPSADDLE #16956