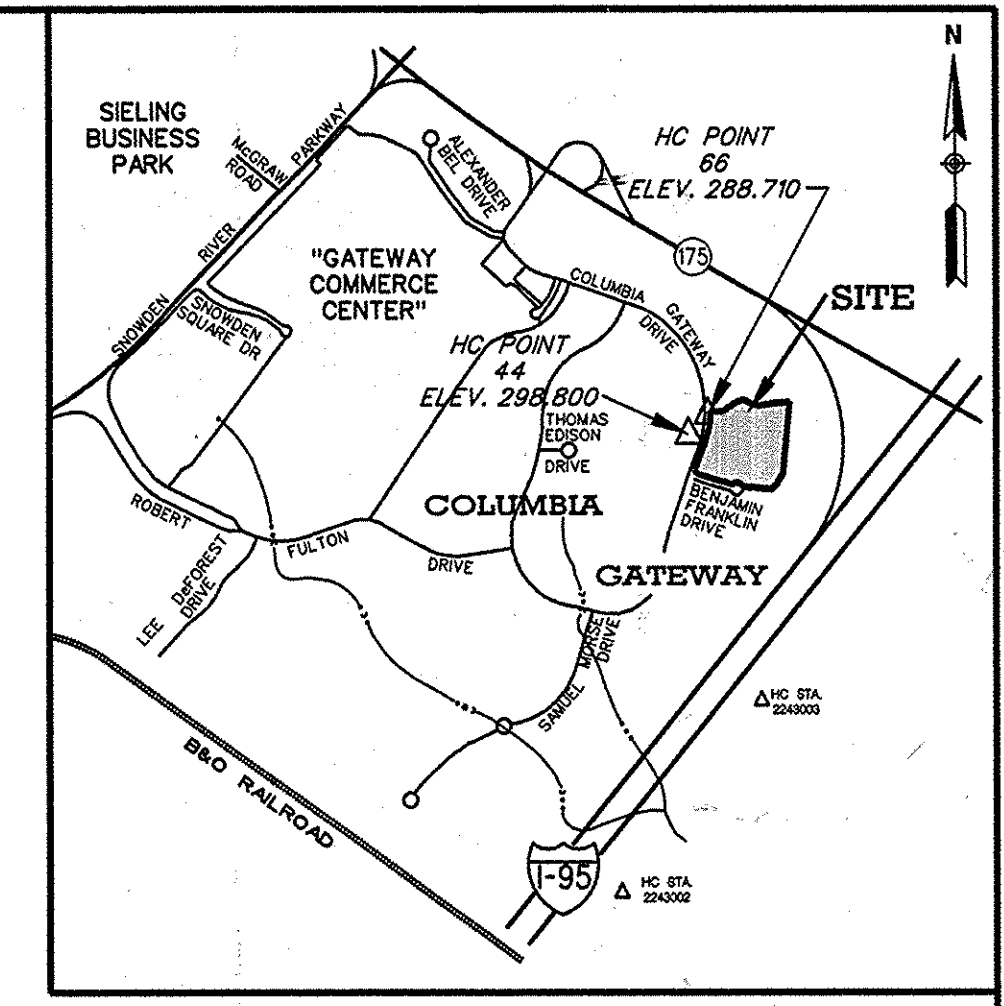


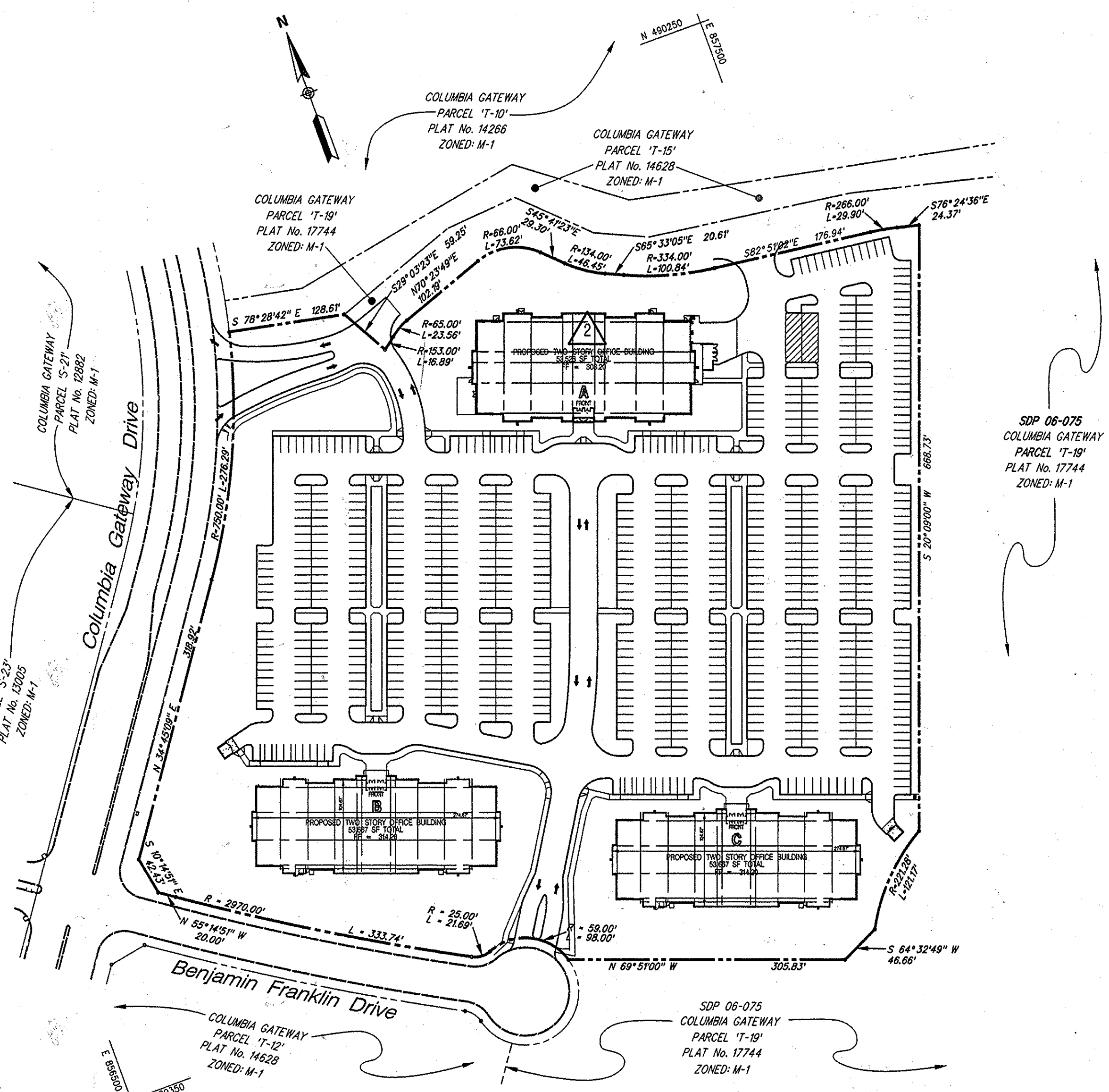
General Notes

1. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY, THE HOWARD COUNTY PLUMBING CODE PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE OR AS SPECIFIED.
2. APPROXIMATE LOCATION OF EXISTING UTILITIES ARE BASED SOLELY ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITIES THAT MAY BE IMPACTED BY THE WORK. MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED DUE TO CONTRACTOR'S OPERATION SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
3. THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS TO VERIFY THEIR LOCATION AND ELEVATION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY IF LOCATION OF UTILITIES IS OTHER THAN SHOWN.
4. THE CONTRACTOR SHALL NOTIFY MISS UTILITY AT 1-800-257-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
5. THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 315-1860 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK. ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING PUBLIC RIGHT-OF-WAY, EXISTING PAVING, EXISTING CURB AND GUTTER, EXISTING UTILITIES, ETC. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
6. THE EXISTING TOPOGRAPHY IS TAKEN FROM A FIELD RUN SURVEY WITH MAXIMUM OF 2' CONTOUR INTERVALS PREPARED BY DUGG & ASSOCIATES, P.A. DATED NOV. 2005. TOPO COMBINED WITH PLANS OF RECORD.
7. ONSITE WATER IS PUBLIC PER CONTRACT 24-4362-D.
8. SEWER ONSITE IS PRIVATE AND CONNECTS TO PUBLIC SEWER BUILT UNDER CONTRACT 24-1629-D. DRAINAGE AREA IS LITTLE PATUXENT.
9. THE SUBSURFACE EXPLORATION AND GEOTECHNICAL ENGINEERING ANALYSIS FOR THIS PROJECT WAS MADE BY HILLIS CARNES ASSOCIATES.
10. ALL FILL AREAS SHALL BE COMPACTED AS DETERMINED AND VERIFIED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER.
11. QUANTITATIVE AND QUALITATIVE STORMWATER MANAGEMENT IS PROVIDED IN A REGIONAL POND SYSTEM LOCATED ON ADJACENT PARCEL T-10 (DPW FILE F 00-132).
12. THERE ARE NO WETLANDS ON THIS SITE.
13. THERE ARE NO FLOODPLAINS ON THIS SITE.
14. OPERATING EXISTING VALVES, SWITCHES, SERVICES OR START UP OF NEW SERVICES SHALL BE COORDINATED WITH THE OWNERS REPRESENTATIVE. THE BUILDINGS WILL BE PROVIDED WITH A SPRINKLER SYSTEM.
15. TRENCH COMPACTION FOR STORM DRAINS WITHIN THE ROAD OR STREET RIGHT OF WAY LIMITS SHALL BE IN ACCORDANCE WITH HOWARD COUNTY DESIGN MANUAL IV, STD. NO. G-2.01.
16. ALL PLAN DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
17. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
18. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL WATER, SEWER, AND ROOF DRAIN CONNECTIONS WITH THE MECHANICAL DRAWINGS.
19. EXISTING UTILITIES ARE BASED ON A COMBINATION OF PLANS OF RECORD AND FIELD RUN DATA.
20. THE CONTRACTOR SHALL MAINTAIN 2.0 FEET MINIMUM PROTECTIVE COVER OVER ALL UTILITIES DURING CONSTRUCTION.
21. THERE ARE NO KNOWN CEMETARIES OR BURIAL GROUNDS ON THIS SITE. HOWEVER, UPON DISCOVERY OF ANY EVIDENCE OF BURIAL OR GRAVES, THE DEVELOPER WILL BE SUBJECT TO SECTION 16.1305 OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
22. ALL FILL SLOPES, EXCEPT THOSE ASSOCIATED WITH LANDSCAPE BERMING, SHALL BE MONITORED DURING PLACEMENT BY THE PROJECT GEOTECHNICAL ENGINEER.
23. PAVING MARKINGS TO BE "TRAFFIC WHITE"
24. CONTRACTOR SHALL MAINTAIN A MINIMUM 2 FOOT BENCH BEHIND CURB AND GUTTER IN FILL AREAS.
25. ALL FIRE LINE PIPING SHALL MEET THE REQUIREMENTS OF THE NFPA PIPE SHALL BE LISTED, FM APPROVED AND MEET THE AWWA STANDARDS FOR FIRE PROTECTION USE. FITTINGS SHALL HAVE PRESSURE CLASS RATINGS COMPATIBLE WITH WITH THE PIPE USED.
26. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 4 FEET OF COVER OVER THE PRIVATE WATER MAIN SHOWN HEREON UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE ALL CRUMPS OR VERTICAL BENDS NECESSARY TO MAINTAIN CLEARANCES WITH OTHER UTILITIES.
27. THE CONTRACTOR SHALL INSPECT THE SITE TO DETERMINE IF ANY TREES, PAVING OR STRUCTURES ARE TO BE REMOVED, PRIOR TO PLACING A BID ON THOSE ITEMS. THE CONTRACTOR SHALL CLEAR THE CONSTRUCTION AREA OF ALL EXISTING TREES, PAVING, STRUCTURES, ETC., UNLESS NOTED ON PLAN.
28. THE SUBJECT PROPERTY IS ZONED M-1 - EMPLOYMENT CENTER INDUSTRIAL PER COMPREHENSIVE ZONING PLAN DATED 2-2-04
29. THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND LANDSCAPE MANUAL.
30. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING HAS BEEN POSTED AS PART OF THE DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 2,650.00 FOR 58 SHADE TREES, 20 EVERGREEN TREES & 75 SHRUBS.
31. THIS PROJECT IS EXEMPT FROM THE REQUIREMENTS OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY VIRTUE OF SECTION 16.1202(b)(1)(v) WHICH PROVIDES THAT A PLANNED BUSINESS PARK OF AT LEAST 75 ACRES IN SIZE WHICH HAS RECEIVED PRELIMINARY PLAN APPROVAL PRIOR TO 12/31/92 IS EXEMPT.
32. TRAFFIC CONTROL DEVICES, MARKINGS AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
33. THE COORDINATES SHOWN HEREON ARE BASED UPON THE HOWARD COUNTY GEODETIC CONTROL WHICH IS BASED UPON THE MARYLAND STATE PLANE COORDINATE SYSTEM NAD 27. HOWARD COUNTY MONUMENT NOS. 224-3002 & 224-3003 WERE USED FOR THIS PROJECT.
34. THE TRAFFIC STUDY FOR THIS PROJECT WAS PREPARED BY THE TRAFFIC GROUP, INC. DATED DECEMBER 14, 2005.
35. ALL EXTERIOR LIGHTING SHALL COMPLY WITH SECTION 134, ZONING REGULATIONS. SEE SHEET 4 FOR DETAILS.
36. SIGNAGE TO BE PROVIDED AT THE STREET IDENTIFYING THE BUILDING ADDRESSES.
37. A RECIPROCAL EASEMENT FOR INGRESS, EGRESS AND MAINTENANCE REGARDING THE USE-IN-COMMON DRIVEWAY, LOCATED AT THE NORTHWEST CORNER OF PARCEL T-18 AND EXTENDING INTO PARCEL T-19 HAS BEEN RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND, DECEMBER 15, 2005, LIBER 9707 FOLIO 368.
38. A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) IS TO BE PLACED ON THE FRONT OF EACH BUILDING. IT SHALL BE PLACED TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4'-5' IN HEIGHT AND NO MORE THAN 6' Laterally FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERSEDED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM).

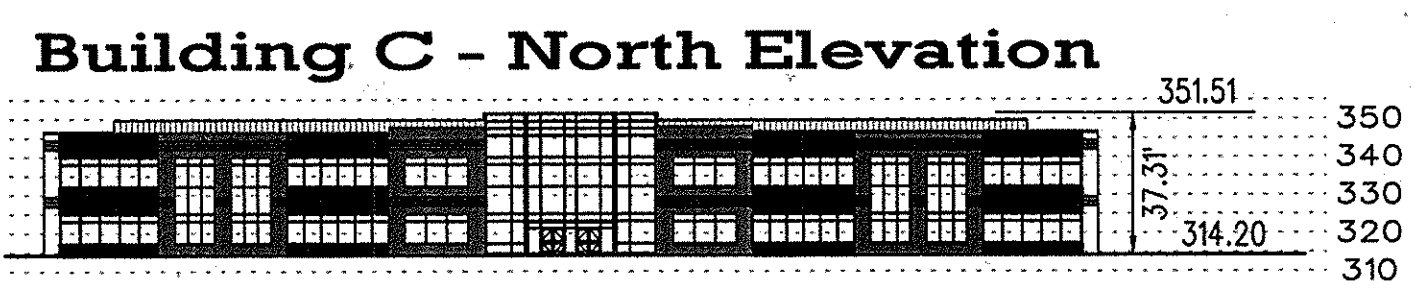
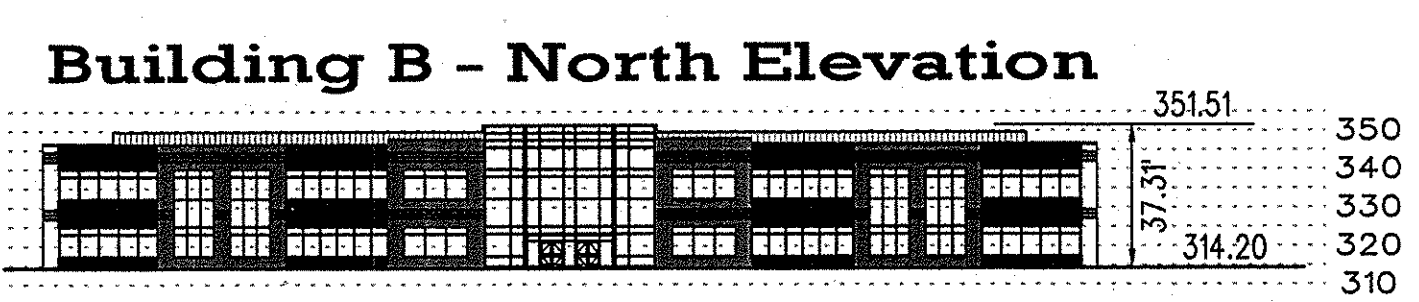
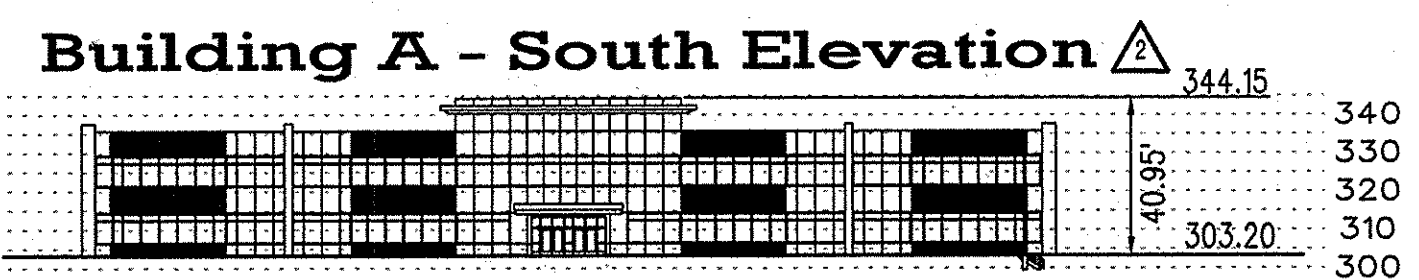
Site Development Plan for Columbia Gateway, Parcel T-18 Proposed Two-Story Office Buildings A, B & C SDP 06-083 Eastridge at Columbia Gateway Howard County, Maryland



HORIZONTAL AND VERTICAL CONTROLS ARE BASED ON NAD 27 MARYLAND COORDINATE SYSTEM & NAD 29, RESPECTIVELY AS PROJECTED FROM HOWARD COUNTY GEODETIC CONTROL STATIONS 224-3002 AND 224-3003



Proposed Layout
Scale 1" = 100'



Building Height Profiles
Scale 1" = 80' Horz. & Vert.

Site Analysis Data Chart

1. GENERAL SITE DATA
CURRENT PLAT REFERENCE 18339
PRESENT ZONING M-1
APPLICABLE DPZ FILE REFERENCES: P 86-22, S 84-44, S 85-28, F 85-63, F 87-125, F 99-81, F 99-91, F 00-132, F 06-81 & WP 00-98, F 06-205 WP 10-92, WP 12-148
 2. AREA TABULATION
TOTAL PROJECT AREA: 13.3737 ACRES
AREA OF THIS PLAN SUBMISSION: 13.3737 ACRES
TOTAL DISTURBED AREA: 13.74 ACRES
FLOOR AREA RATIO: 160,857 SF (ULT.) GROSS FLOOR AREA = 0.276
13.3737 ACRES
 3. OPEN SPACE DATA: N/A
 4. PARKING SPACE DATA
PARKING REQUIRED: 3.3 SPACES PER 1,000 SF OF GROSS FLOOR AREA (160,857 SF) = 531 SPACES
PARKING PROVIDED: = 707 SPACES
TOTAL INCLUDES:
578 STANDARD SPACES @ 9' X 18'
107 COMPACT SPACES @ 8.5' X 18' (15% OF TOTAL SPACES AVAILABLE)
14 STANDARD HANDICAP SPACES @ 21' X 18' TWO-SIDE BY SIDE
8 VAN ACCESSIBLE HANDICAP SPACES @ 24' X 18' TWO-SIDE BY SIDE
- PROPOSED REDLINE REVISION NO. 84**
02/02/16
• ADDED CONCRETE GENERATOR PAD AND ASSOCIATED CONDUITS.
• ADDED CONCRETE PAVERS FOR SIDEWALK
• ADDED SHEET 14

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28334, EXPIRATION DATE APRIL 1, 2017.
DATE: 02/02/2016 SIGNATURE: *John Doe*
MD, REGISTRATION NO: 28334 PRINTED NAME: JOHANN DOE, P.E.



"Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 18848, Expiration Date: 09-19-12."



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division	Date: 2/2/16
Chief, Division of Land Development	Date: 2/02/16
Director	Date: 2/2/16

ADDRESS CHART	
Building	Street Address
A	6821 Benjamin Franklin Drive
B	6811 Benjamin Franklin Drive
C	6831 Benjamin Franklin Drive

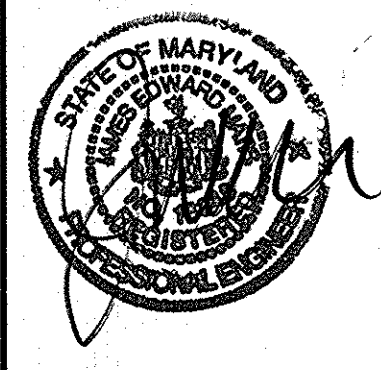
PERMIT INFORMATION CHART				
Subdivision Name	Section /Area	Parcel No.		
Columbia Gateway	N/A	T-18	Tax Parcel 671	
Plat 18339	Grid #	Zoning	Tax Map No.	Census Tract
	2	M-1	43	6087.03
Water Code	Sewer Code			
E 06	3380000			

Revised
Cover Sheet
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway

Howard County, Maryland
Scale: As Shown
August 2, 2006
Sheet 1 of 14
SDP 06-083

Matis Warfield
consulting engineers

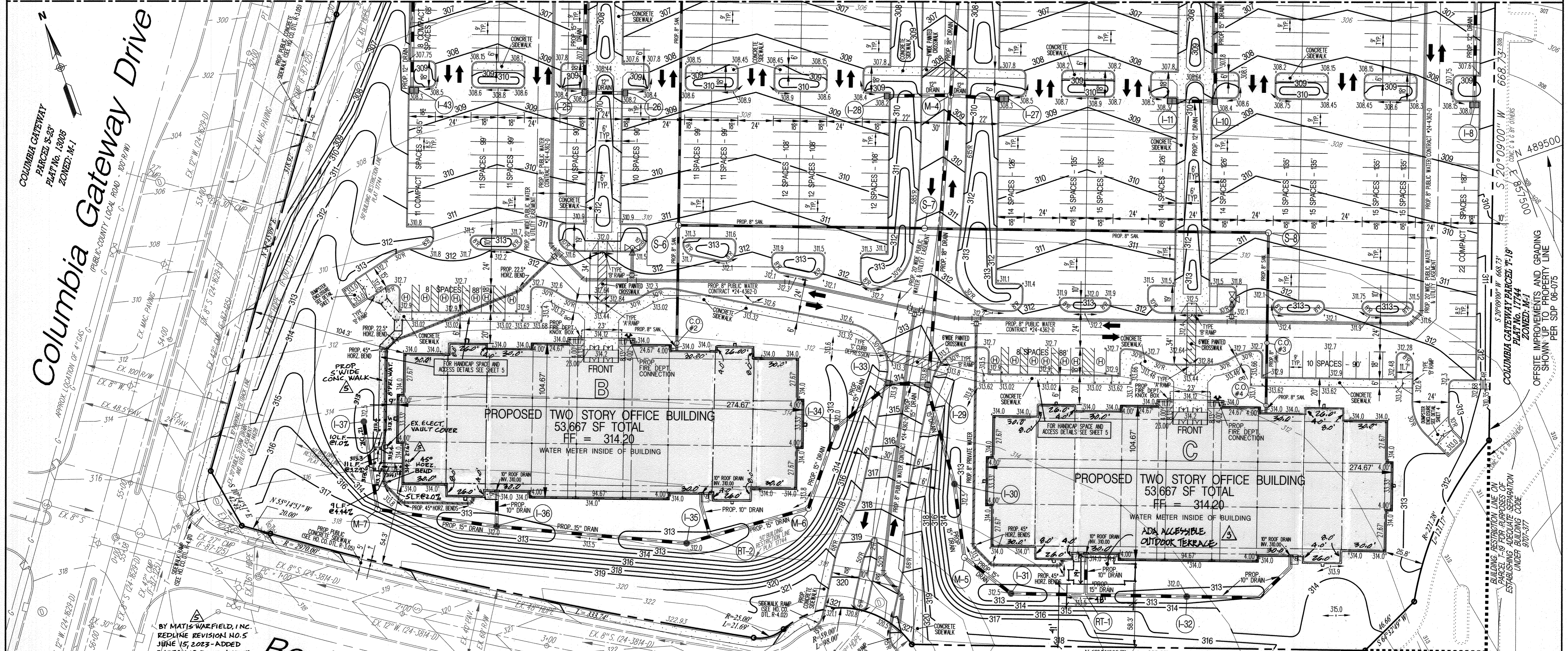
10540 York Road, Suite 100
Hunt Valley, MD 21086
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com



Developer / Owner
AAK Eastridge, LLC.
J. Michael Abrams, Managing Member
Abrams Development Group
5850 Waterloo Road Suite 230
Columbia, Maryland 21045
Phone (410) 461-4340
Fax (410) 461-5709

Columbia Gateway Drive
PUBLIC-COUNTY LOCAL ROAD - 100' R/W

COLUMBIA GATEWAY
PARCEL T-19
PLAT No. 18005
ZONED: M-1



BY MATIS WARFIELD, INC.
REDLINE REVISION NO. 5
JUNE 15, 2023 - ADDED
ENTRANCE DOOR AND 5'
WIDE CONC. SIDEWALK
ALONG WEST SIDE OF BLDG. 'B'

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT I AM A DULY
LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS
OF THE STATE OF MARYLAND.
LICENSE NO. PE 18848, EXPIRATION DATE: 9-19-24
SIGNED: *JMW* DATE: 6-21-23

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
Jam E. Mar
8-2-06
Date
Jama E. Matis, P.E. MD 18848

DEVELOPER'S CERTIFICATE
We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
JMW
8-2-06
Date
For AAK Eastridge, LLC by J. Michael Abrams, Managing Member

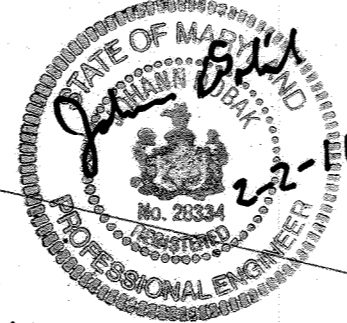
Matis Warfield
consulting engineers
10540 York Road Suite M
Hunt Valley, Maryland 21036
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com

Benjamin Franklin Drive
PUBLIC-COUNTY ROAD - 60' R/W
PLAT No. 14628
F-00-132

Legend

Existing Contours	35.2
Proposed Grades	370
Proposed Grades (By Others)	380
Existing Water	
Proposed Private Water	
Proposed Public Water	
Existing Sanitary	
Proposed Private Sanitary	
Existing Storm Drain	
Proposed Private Storm Drain	
Existing Curb and Gutter	
Proposed Conc. Curb & Gutter	
Proposed Concrete Paving	
Handicap Parking Space	(H)
Main Entranceway	FRONT

COLUMBIA GATEWAY
PARCEL T-12
PLAT No. 14628
ZONED: M-1
THE LOD OF 1,100 SFT FOR REVISION NO. 5
AND THE CUMULATIVE LOD OF 3,950 SF
IS EXEMPT FROM PROVIDING STORM-
WATER MANAGEMENT. ANY FUTURE
CUMULATIVE INCREASE IN LOD EXCEEDING
5,000 SFT SHALL MEET CURRENT
STORMWATER MANAGEMENT
REQUIREMENTS.

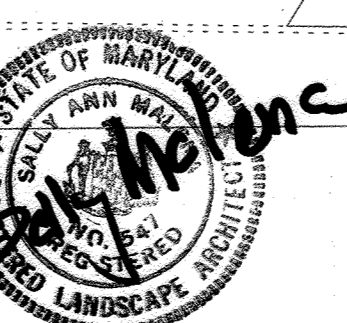


PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28834, EXPIRATION DATE APRIL 1, 2017.
DATE: 2/2/16 SIGNATURE: *J. Dobak*
MD. REGISTRATION NO: 28834 PRINTED NAME: JOHANN DOBAK, P.E.

REDLINE REVISION NO. 4
-REVISED TOTAL NO. OF SHEETS TO 14

Plan
Scale 1" = 30'

Notes:
1. All curb radii are 4 feet unless otherwise noted.
2. For limits of types of paving, Conc. Curb & Gutter, Conc. Walk & Handicap Ramp see Sheets 4 & 5.



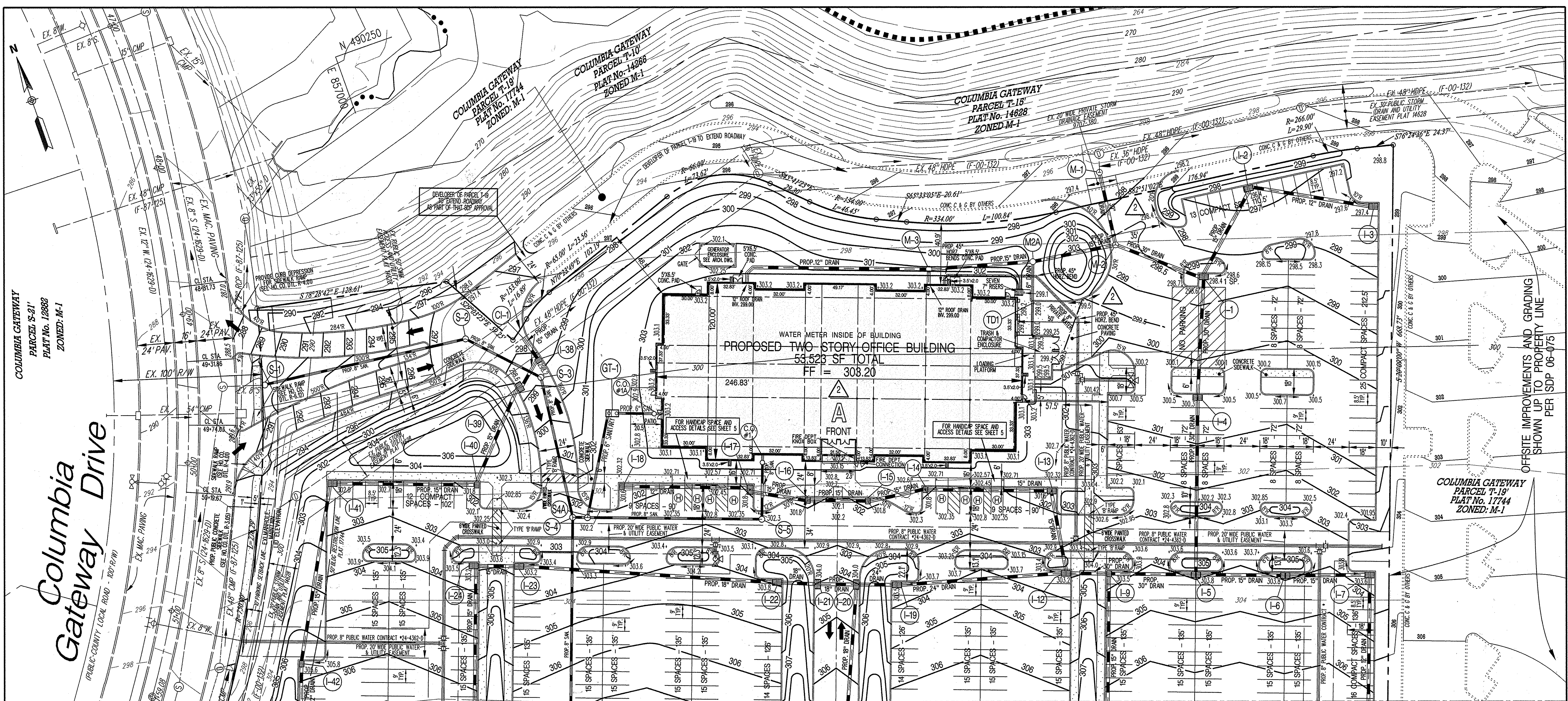
REDLINE REVISION #3 BY HUNALL & ROWE
REVISIONS TO THIS SHEET ADDED OUTDOOR TERRACE TO REAR OF BLDG. 'C' & LANDSCAPING
Reviewed for Howard SCD and meets Technical Requirements
Jim Meyler 8/14/06
Date
Jim K. Rhoton 8/14/06
Date

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT.
Jim K. Rhoton 8/14/06
Date
Howard SCD

THE CONSTRUCTION OF THE 850' OF TERRACE IS EXEMPT FROM STORMWATER MANAGEMENT. ANY FUTURE CONSTRUCTION TOTALING OVER 5,000 SF SHALL COMPLY W/ CURRENT SNM CRITERIA
REVISION #4 02/02/16
REVISION #3 8/6/15

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John Meyler 8/17/06
Date
Chief, Engineering Division MK
Chris Thomas 8/28/06
Date
Chief, Division of Land Development 39
David A. Goyll 8/28/06
Date
Director

Site Development Plan
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway
Howard County, Maryland
Scale: As Shown
August 2, 2006
Sheet 2 of 14
SDP 06-083



MATCH LINE SEE SHEET 2 of 13

ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 James E. Matis, P.E. MD 18848
 8-7-12
 8-2-06

DEVELOPER'S CERTIFICATE
 We certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspections by the Howard Soil Conservation District.
 8-7-12
 8-2-06
 For AAK Eastridge, LLC by J. Michael Abrams, Managing Member

Matis Warfield
 consulting engineers
 10540 York Road Suite M
 Hunt Valley, Maryland 21030
 phone 410-688-7004
 facsimile 410-688-1798
 www.matiswarfield.com

Legend

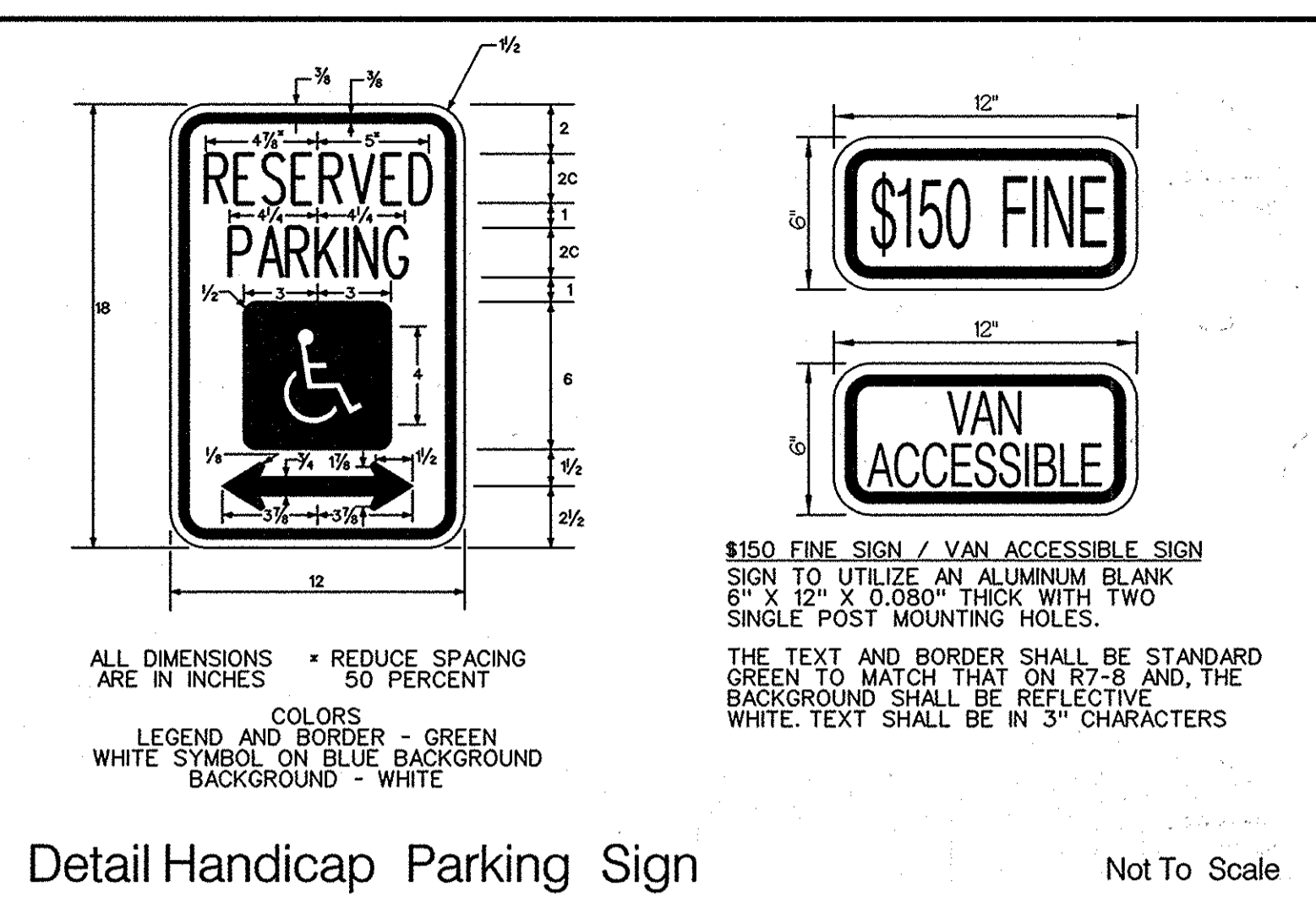
Existing Contours	352
Proposed Grades	370
Proposed Grades (By Others)	380
Existing Water	
Proposed Private Water	
Proposed Public Water	
Existing Sanitary	
Proposed Private Sanitary	
Existing Storm Drain	
Proposed Private Storm Drain	
Existing Curb and Gutter	
Proposed Conc. Curb & Gutter	
Proposed Concrete Paving	
Handicap Parking Space	(H)
Main Entranceway	FRONT

Developer/Owner
 AAK Eastridge, LLC.
 J. Michael Abrams, Managing Member
 Abrams Development Group
 5850 Waterloo Road Suite 230
 Columbia, Maryland 21045
 Phone (410) 461-4340
 Fax (410) 461-5708

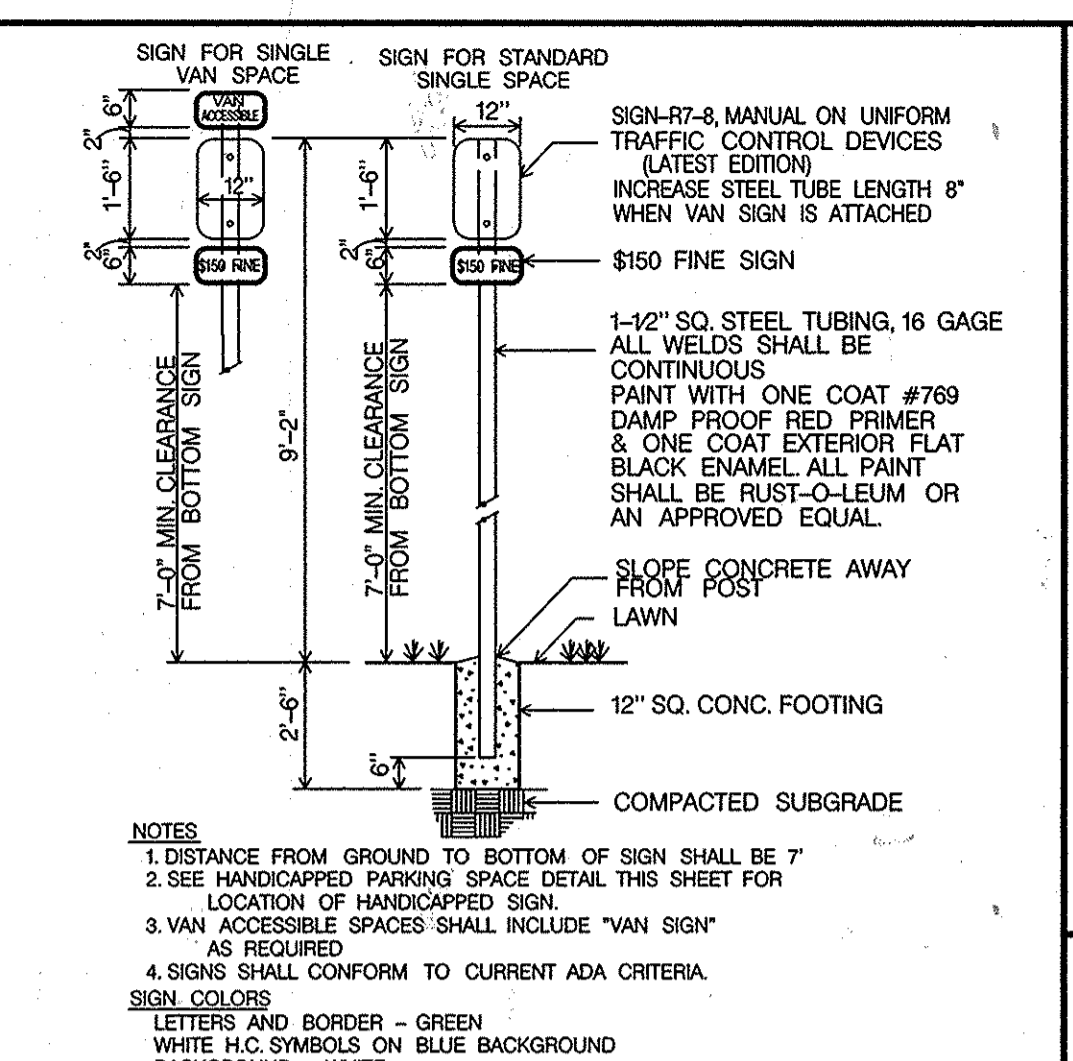
Plan
 Scale 1" = 30'

REDLINE REVISION NO. 4
 REVISED TOTAL # OF SHEETS TO 19
 PROFESSIONAL CERTIFICATION:
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28834, EXPIRATION DATE APRIL 1, 2017.
 DATE: 02/02/16 SIGNATURE: John Edick
 MD, REGISTRATION NO: 28834 PRINTED NAME: JOHANN DEBAD, P.E.

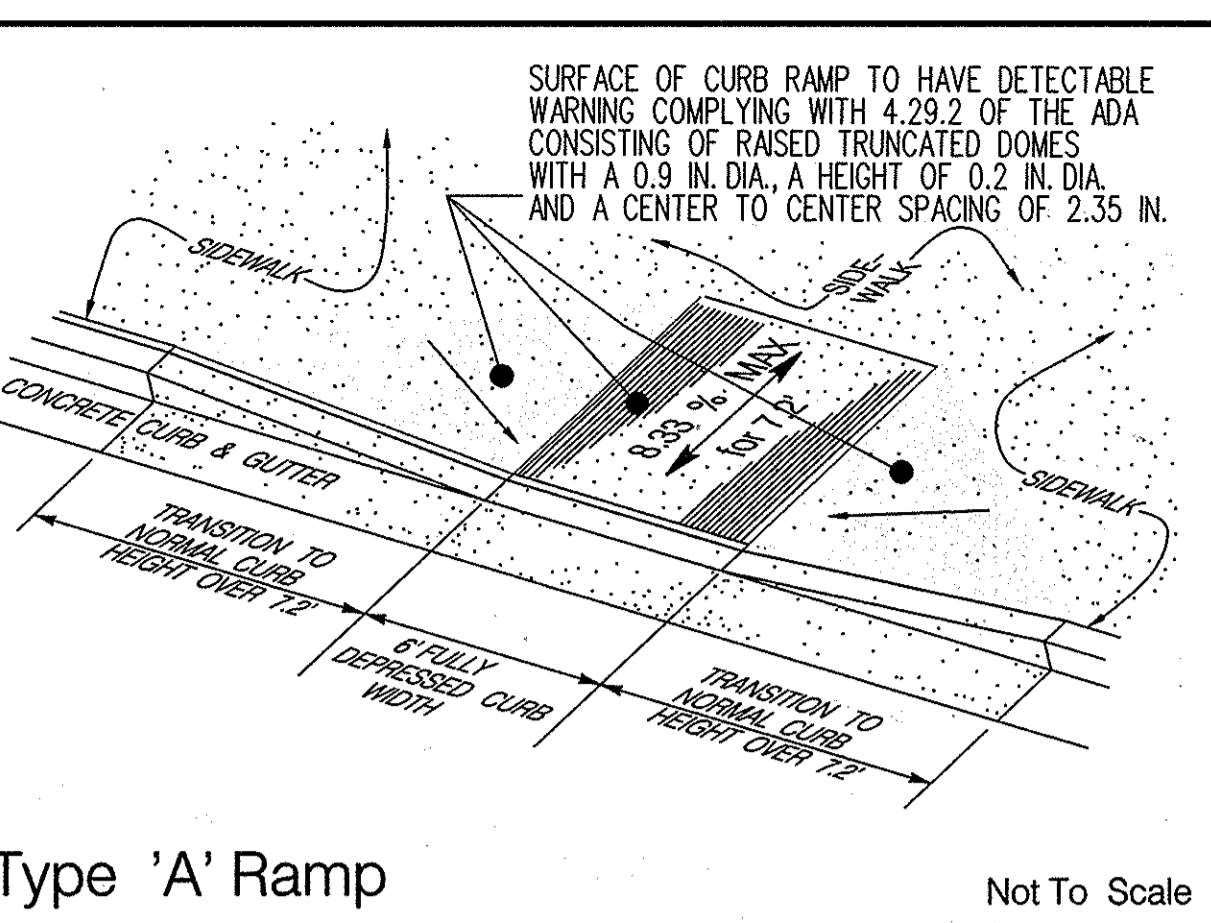
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 18848, Expiration Date: 09-19-12.
 AUGUST 7, 2012
 REDLINE REVISION NO. 2 BY MATIS WARFIELD, INC.
 REVISIONS THIS SHEET (FULL SHEET SUBSTITUTION)
 REVISE FOOTPRINT OF BUILDING 'A'
 ADD SERVICE AREA EAST SIDE BUILDING 'A'
 ADD CONNECTION TO PRIVATE COMMON ACCESS ROAD
 ADD GREASE INTERCEPTOR TO BUILDING 'A'
 ADD GENERATOR PAD AND ENCLOSURE NW CORNER BLDG. 'A'
 REVISE STORM DRAIN AND PRIVATE WATER ALIGNMENT BLDG. 'A'
 REVISIONS THIS SHEET (FULL SHEET SUBSTITUTION)
 REVISE FOOTPRINT OF BUILDING A
 APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director
 Notes:
 1. All curb radii are 4 feet unless otherwise noted.
 2. For limits of types of paving, Conc. Curb & Gutter, Conc. Walk & Handicap Ramp see Sheets 4 & 5.
 Reviewed for Howard SCD and meets Technical Requirements
 USDA - Natural Resources Conservation Service
 Date
 This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 Howard County, Maryland
 Scale: As Shown
 August 2, 2006
 Sheet 3 of 14
 SDP 06-083



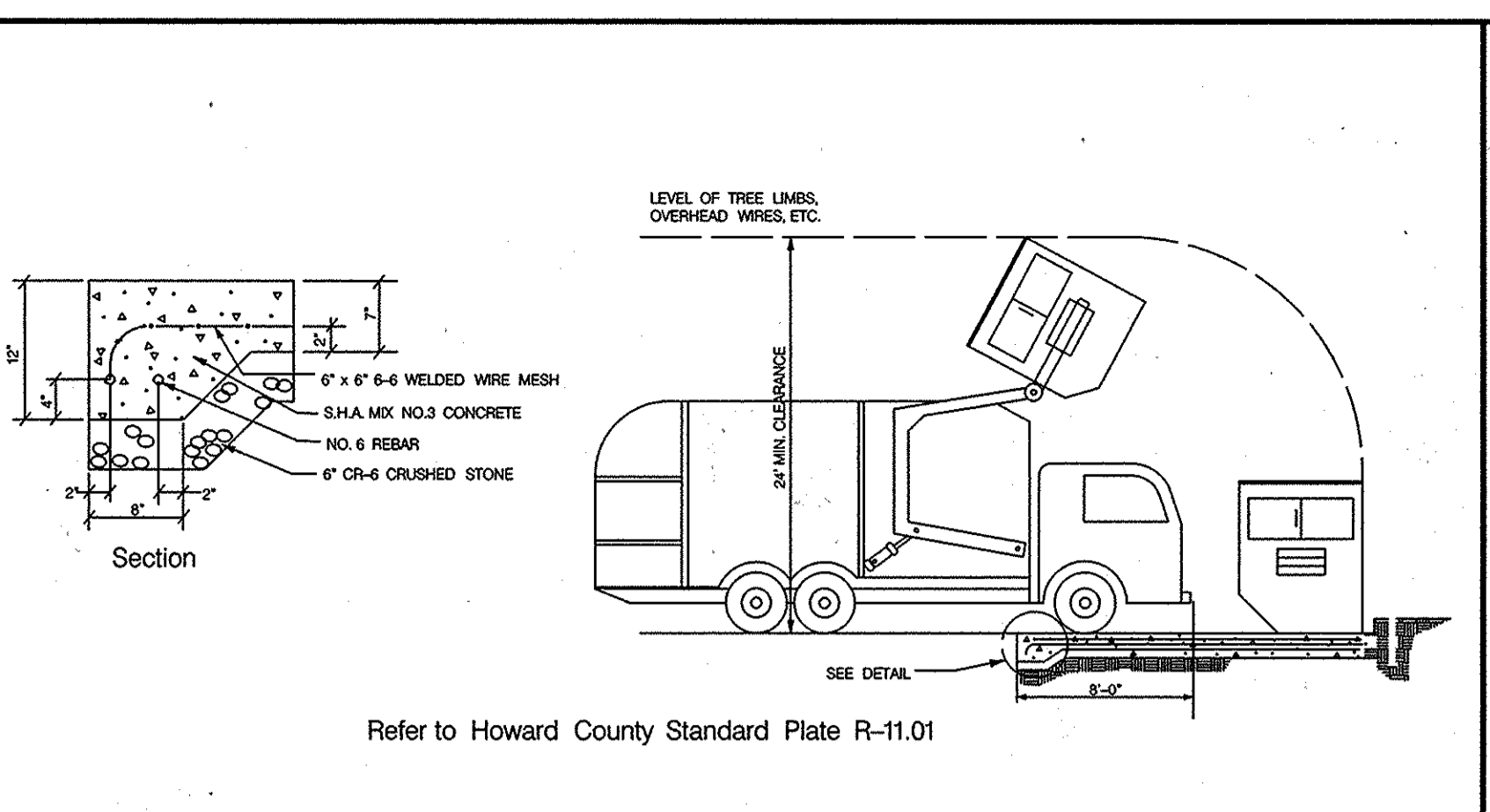
Detail Handicap Parking Sign Not To Scale



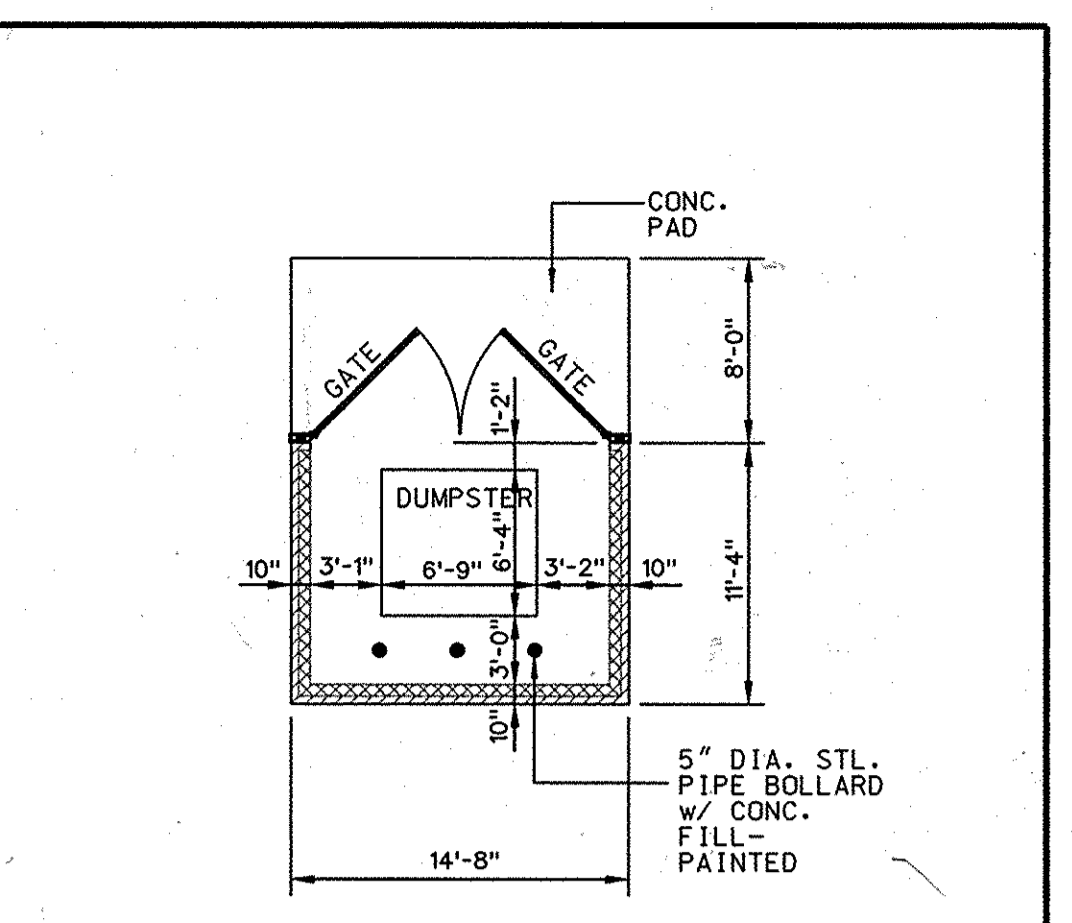
Detail Handicap Parking Sign & Post Not To Scale



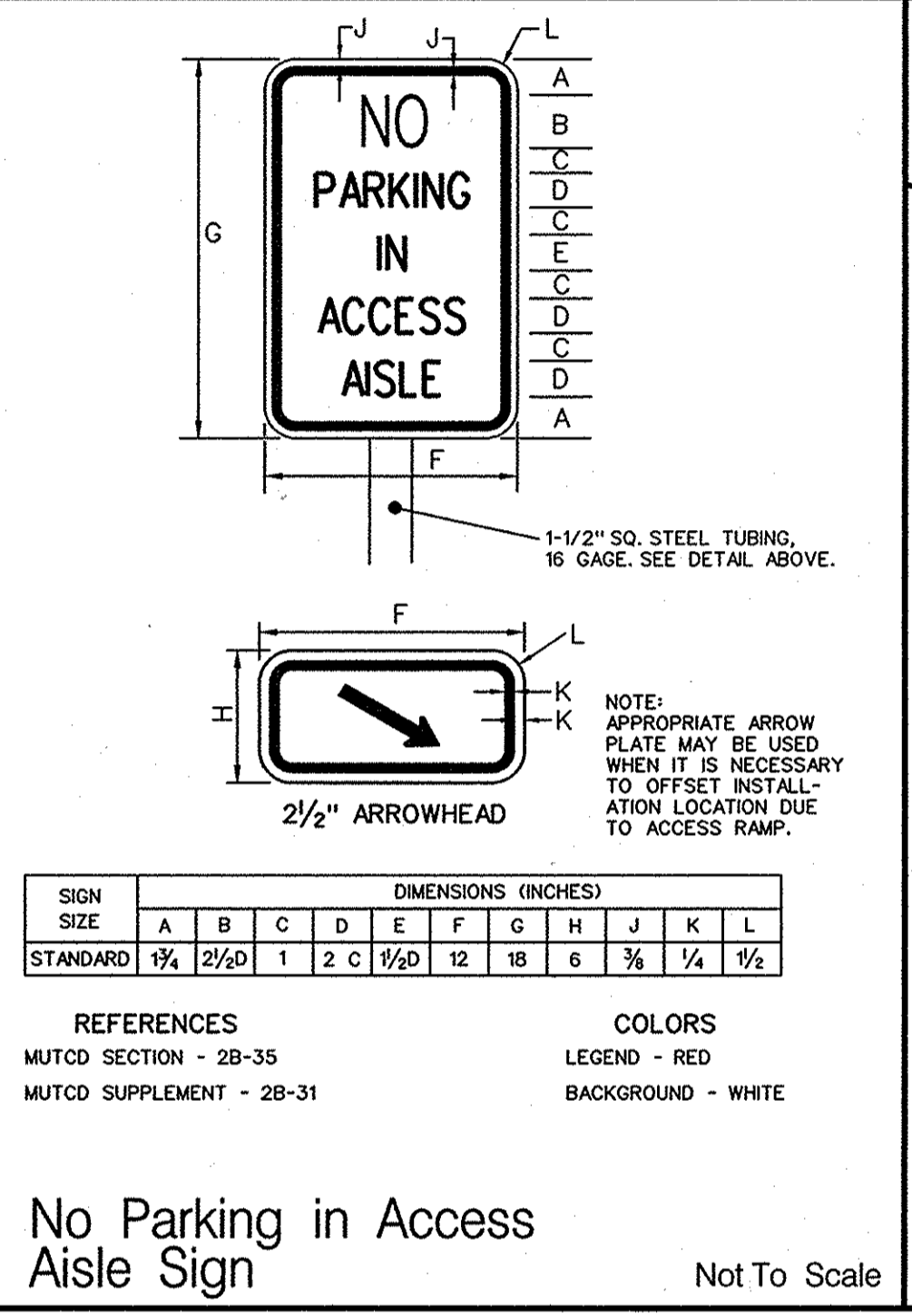
Type 'A' Ramp Not To Scale



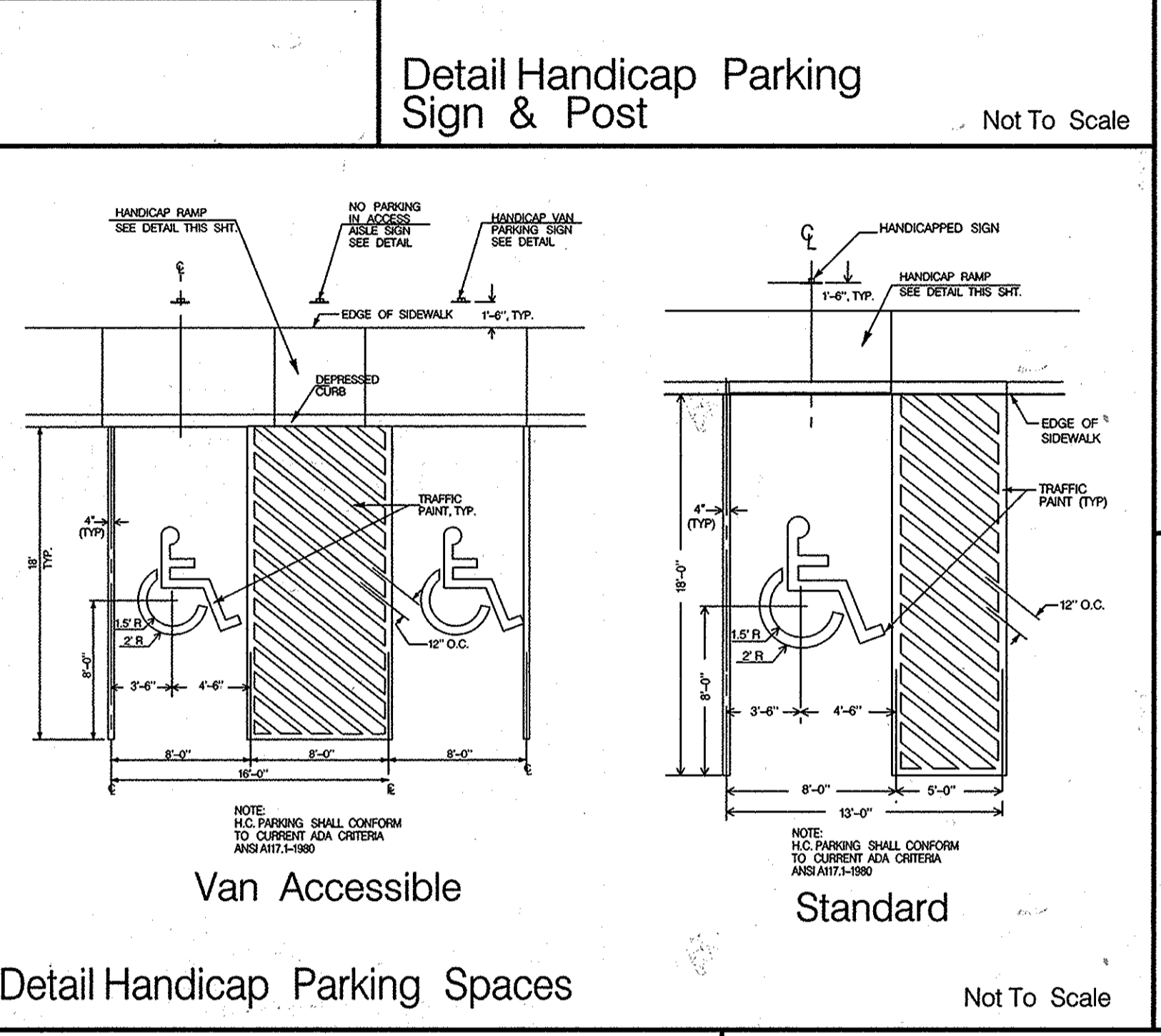
Detail Solid Waste Service Pad Not To Scale



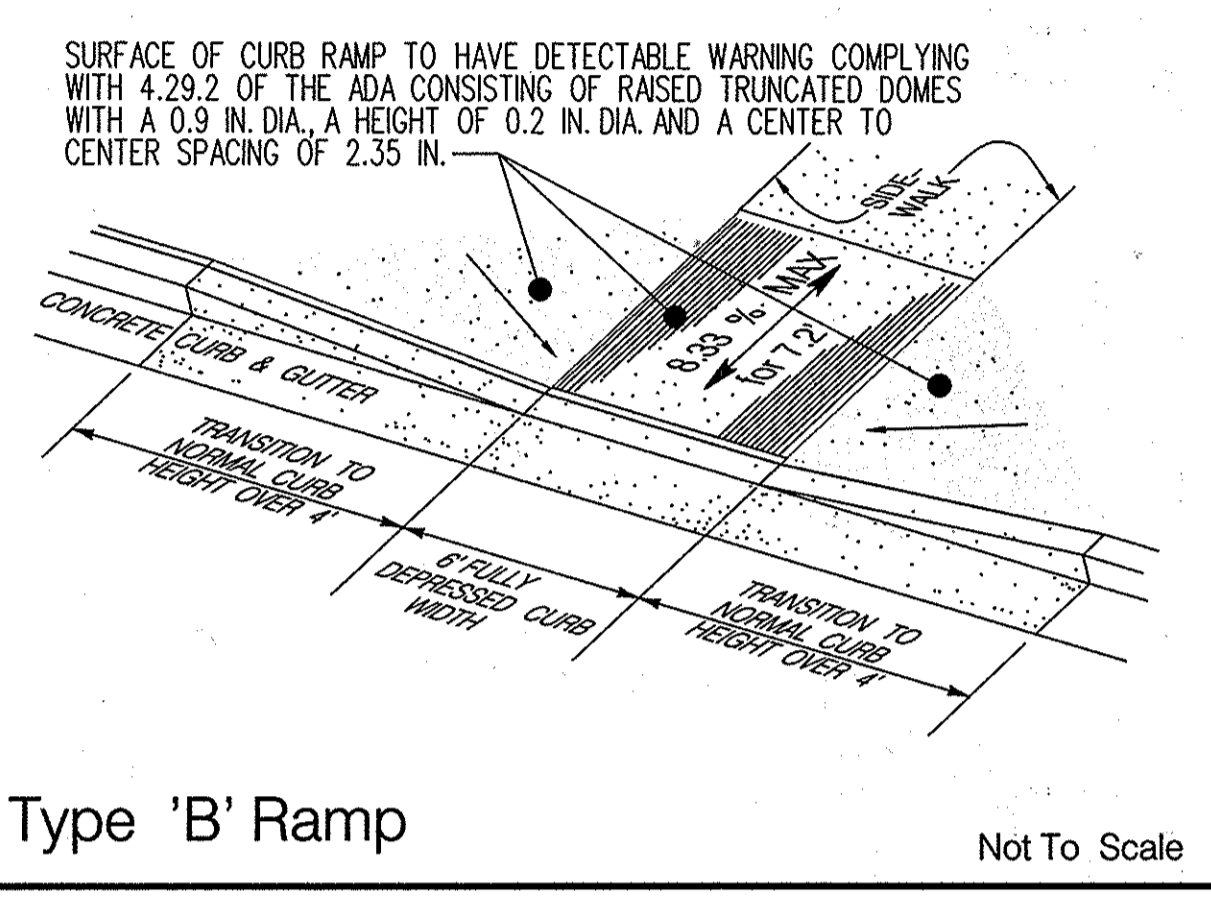
Detail Dumpster Enclosure Not To Scale



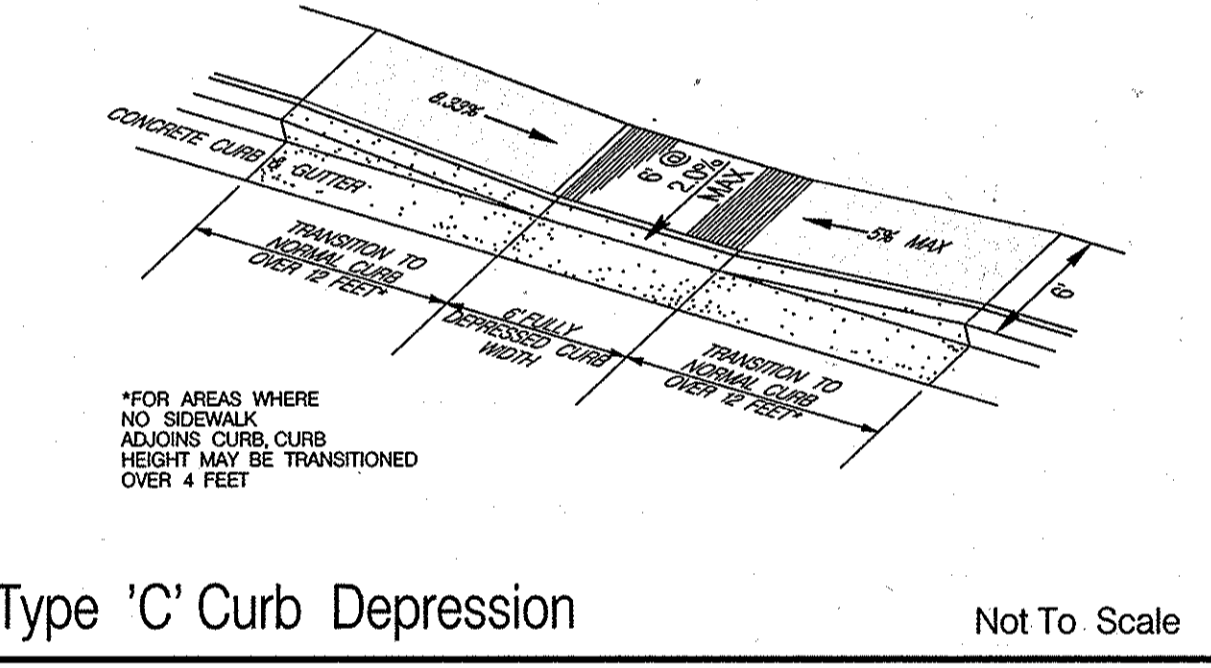
No Parking in Access Aisle Sign Not To Scale



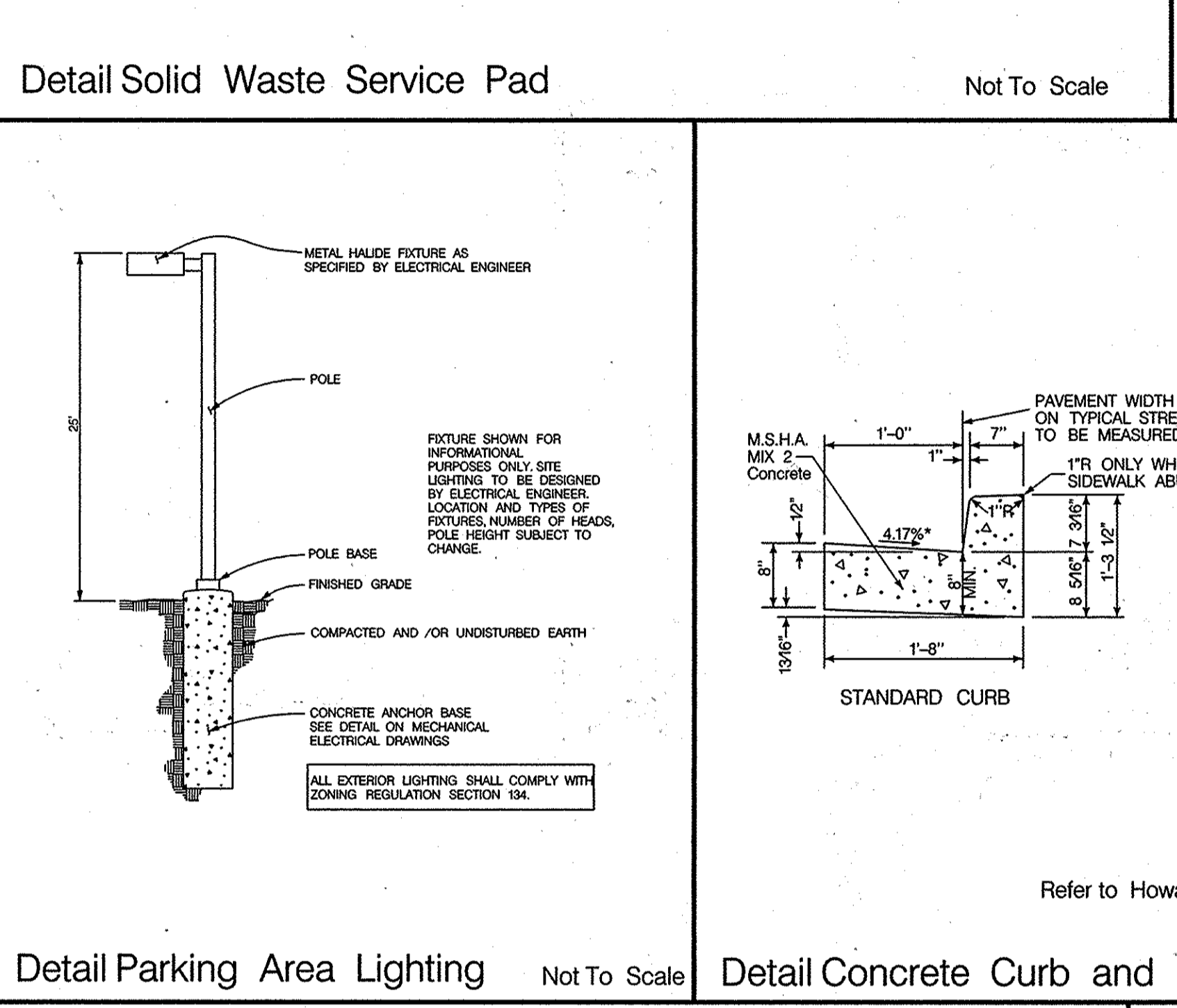
Detail Handicap Parking Spaces Not To Scale



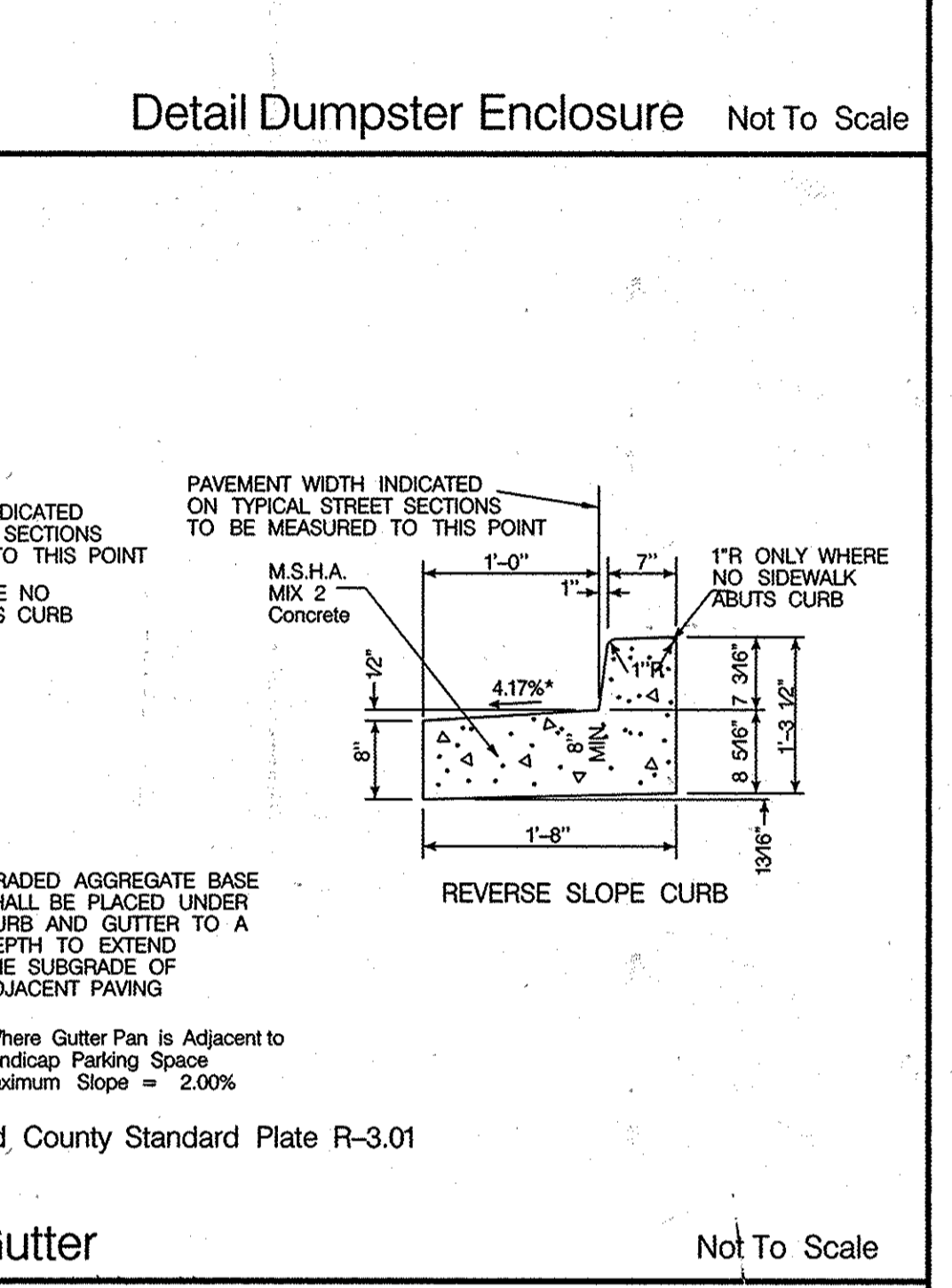
Type 'B' Ramp Not To Scale



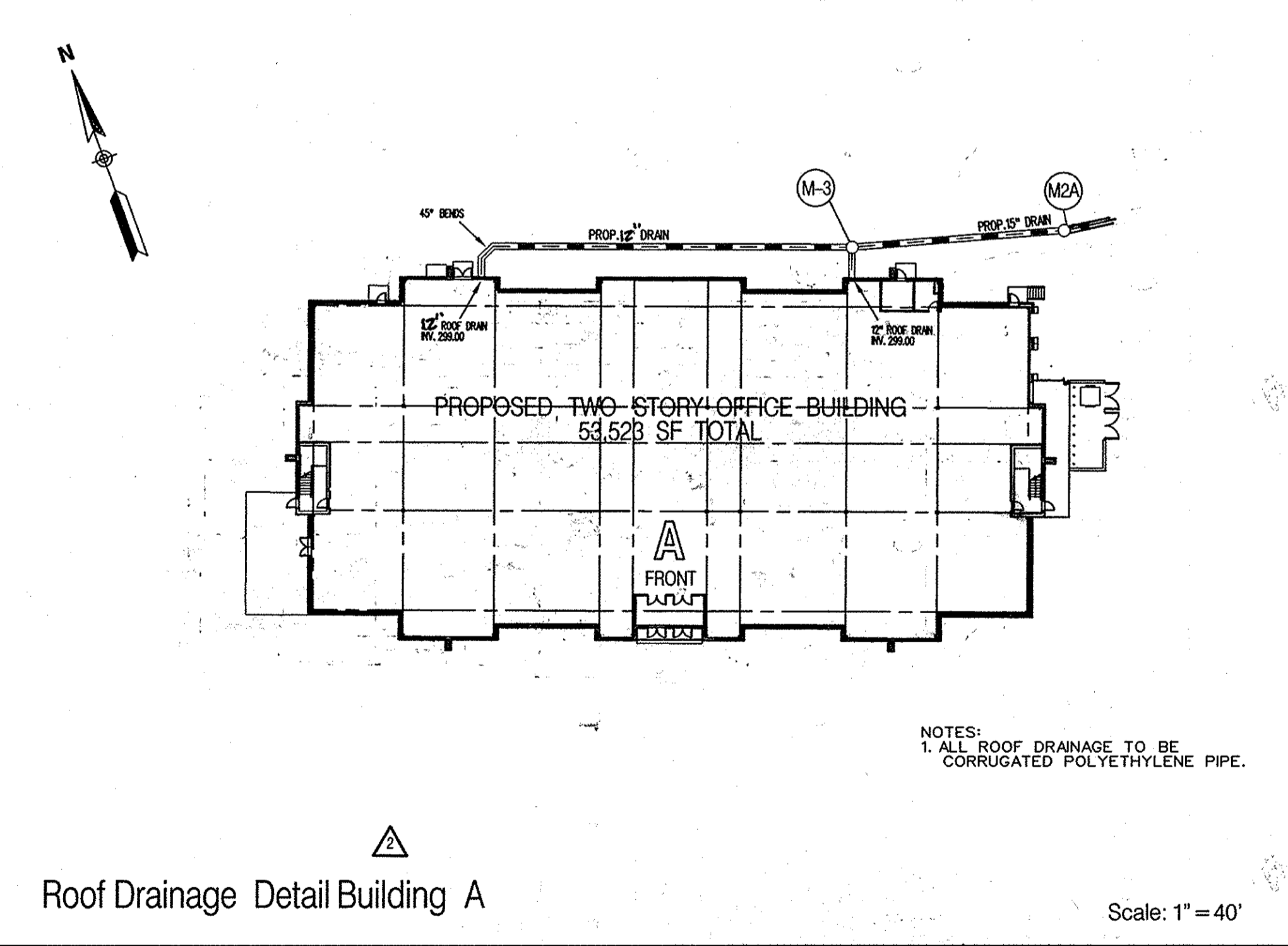
Type 'C' Curb Depression Not To Scale



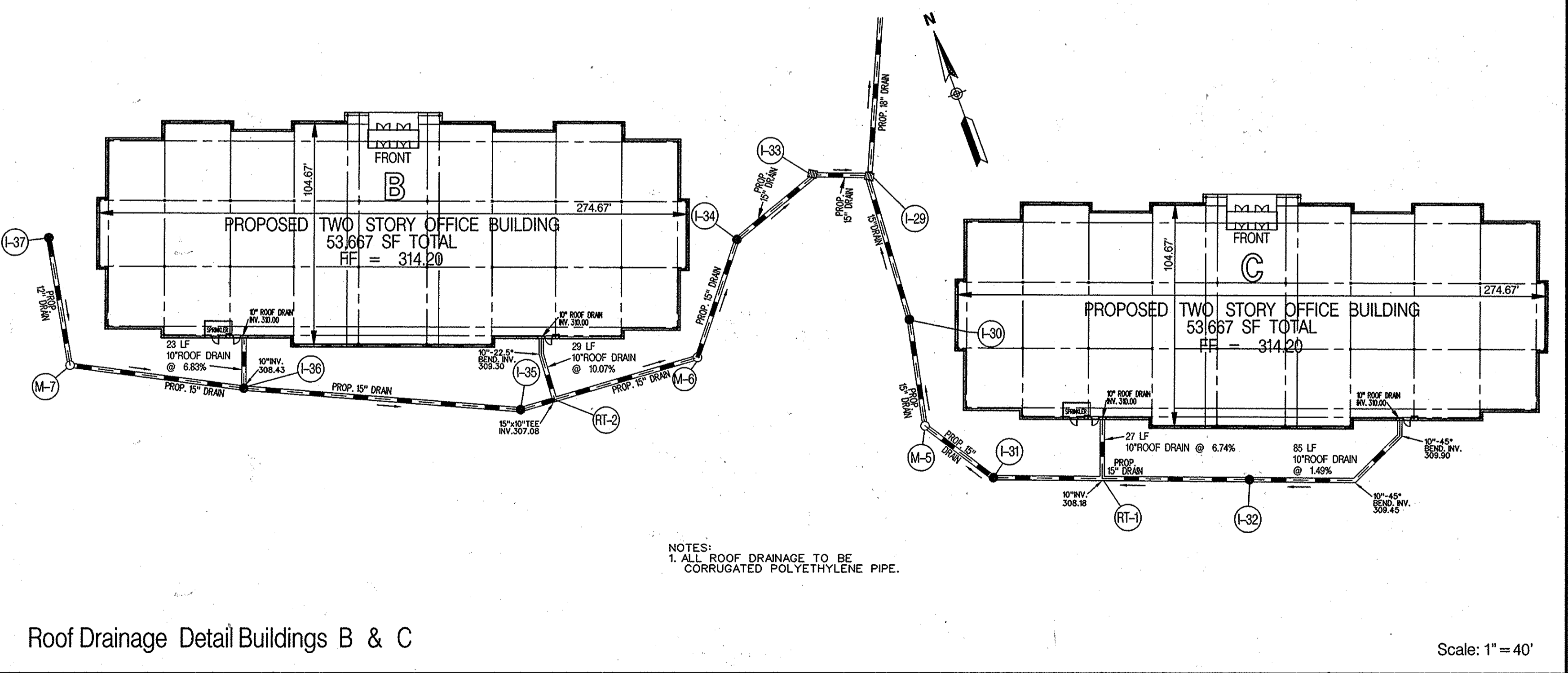
Detail Parking Area Lighting Not To Scale



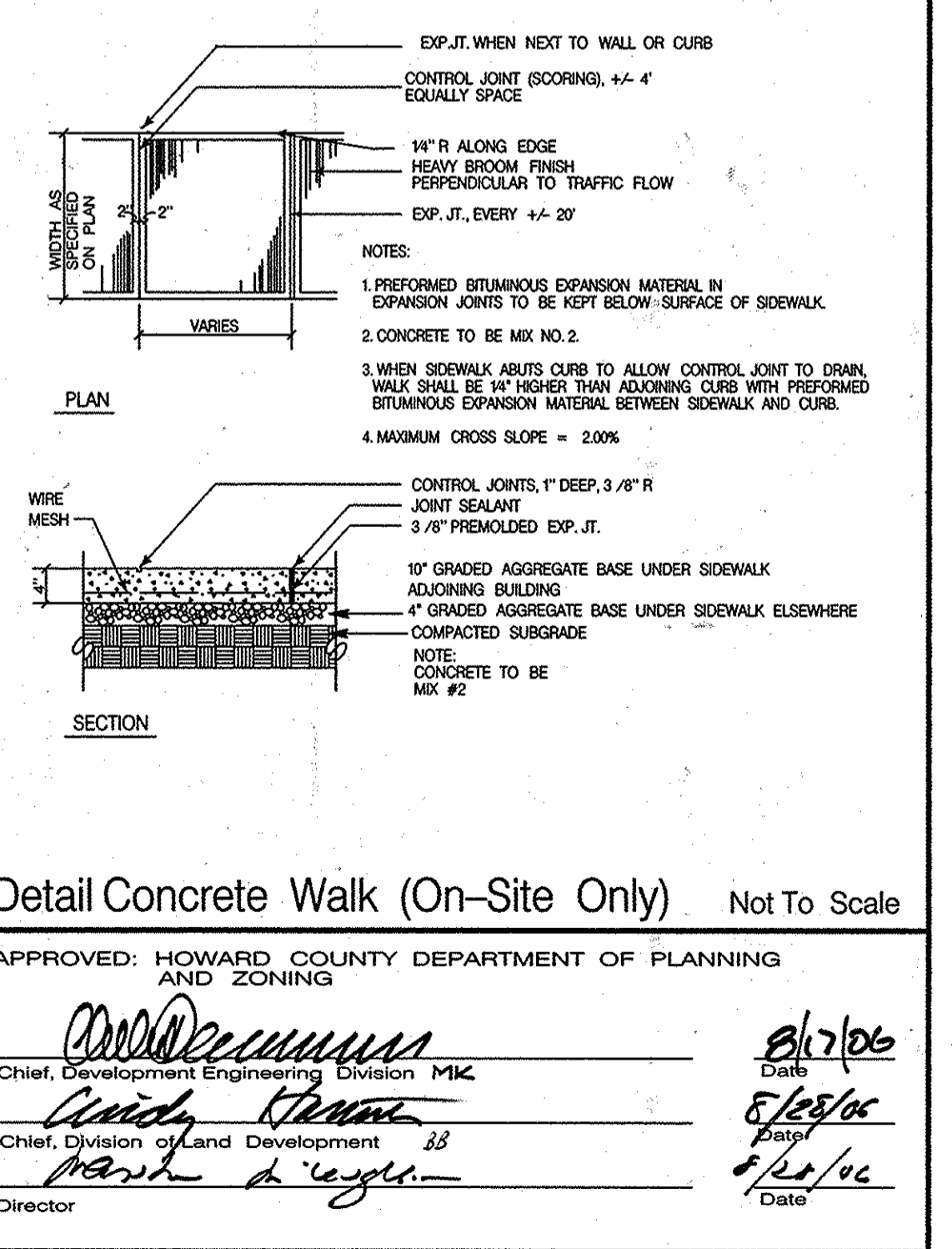
Detail Concrete Curb and Gutter Not To Scale



Roof Drainage Detail Building A Scale: 1" = 40'



Roof Drainage Detail Buildings B & C Scale: 1" = 40'



Detail Concrete Walk (On-Site Only) Not To Scale

Matis Warfield
consulting engineers
10540 York Road, Suite 100
Hunt Valley, Maryland 21086
Phone 410-683-7004
Facsimile 410-683-1798
www.matiswarfield.com

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Phone (410) 461-4340
Fax (410) 461-5709

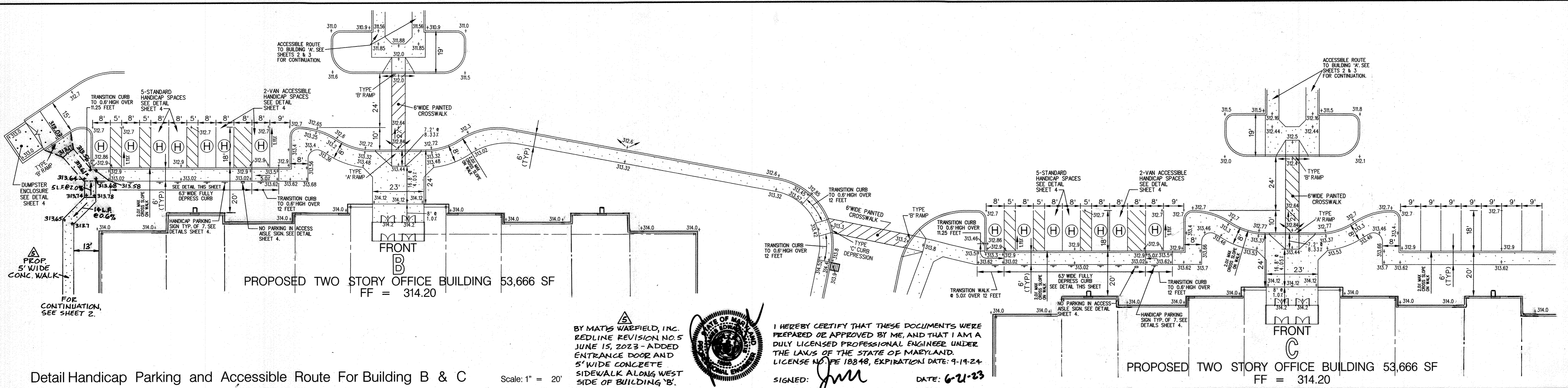
PROFESSIONAL CERTIFICATION:
"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28334, EXPIRATION DATE APRIL 1, 2017."
DATE: 02/02/2016 SIGNATURE: *John Sobel*
MD, REGISTRATION NO: 28334 PRINTED NAME: JOHANN DOBAK, P.E.

REDLINE REVISION # 4
REVISED TOTAL # OF SHEETS TO 14

Professional Engineer
Johann Dobak, P.E.
License No. 28334
Expiration Date: 09-19-12

Site Details
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway

Howard County, Maryland
Scale: As Shown
August 2, 2006
Sheet 4 of 14
SDP 06-083

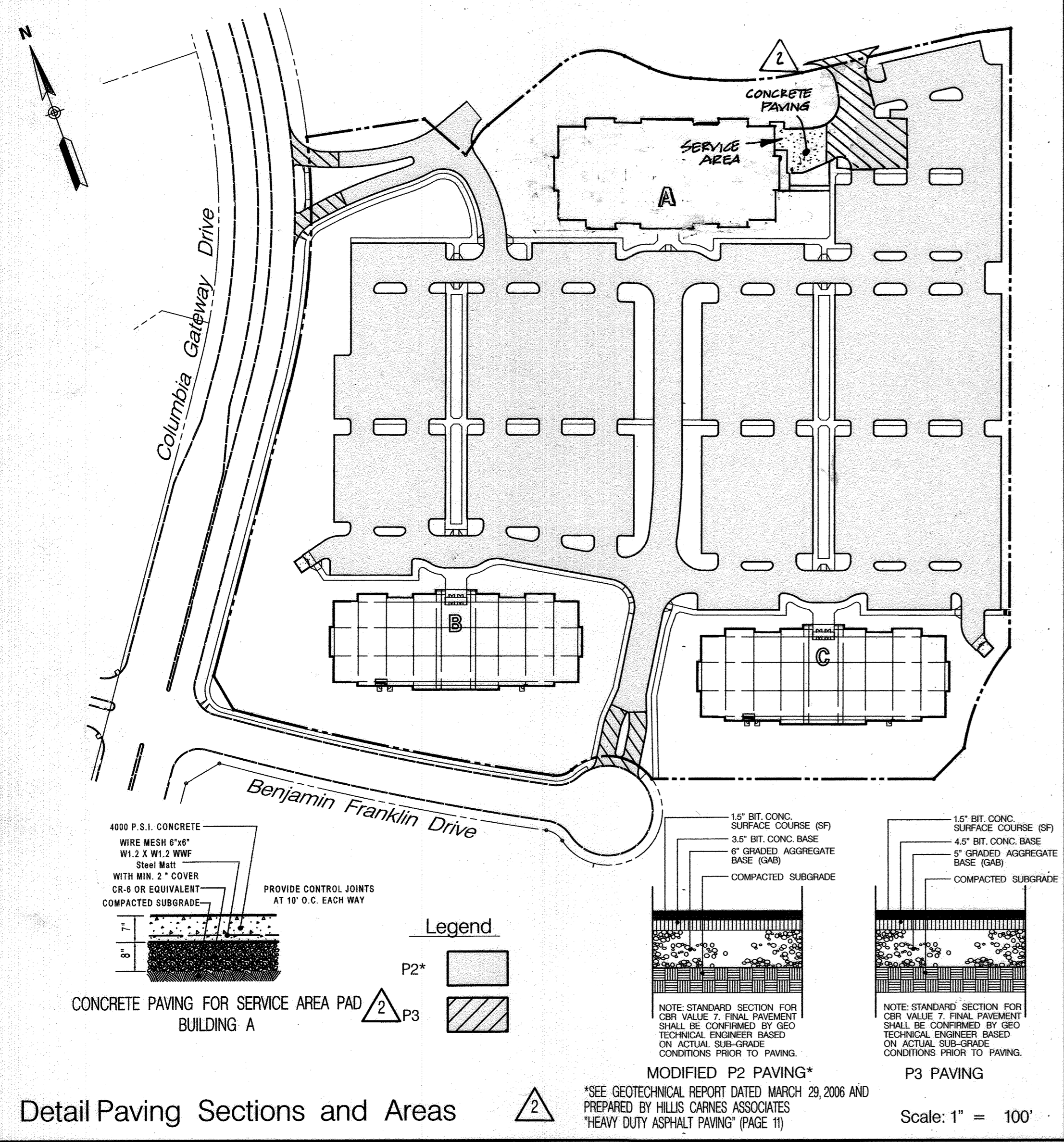


Detail Handicap Parking and Accessible Route For Building B & C Scale: 1" = 20'

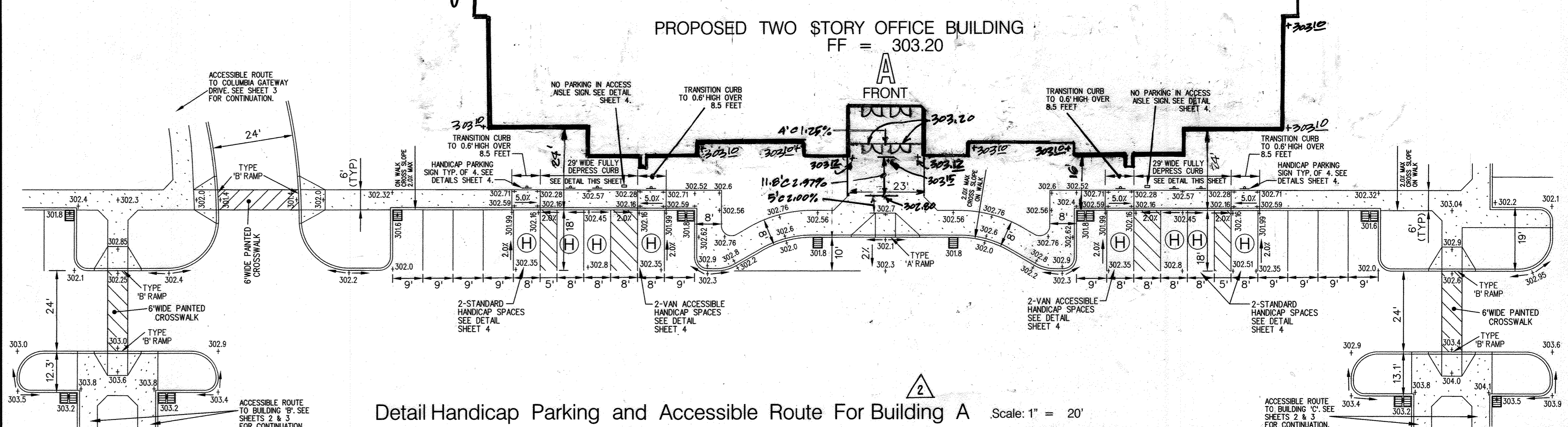
BY MATIS WARFIELD, INC. REDLINE REVISION NO. 5 JUNE 15, 2023 - ADDED ENTRANCE DOOR AND 5' WIDE CONCRETE SIDEWALK ALONG WEST SIDE OF BUILDING 'B'.



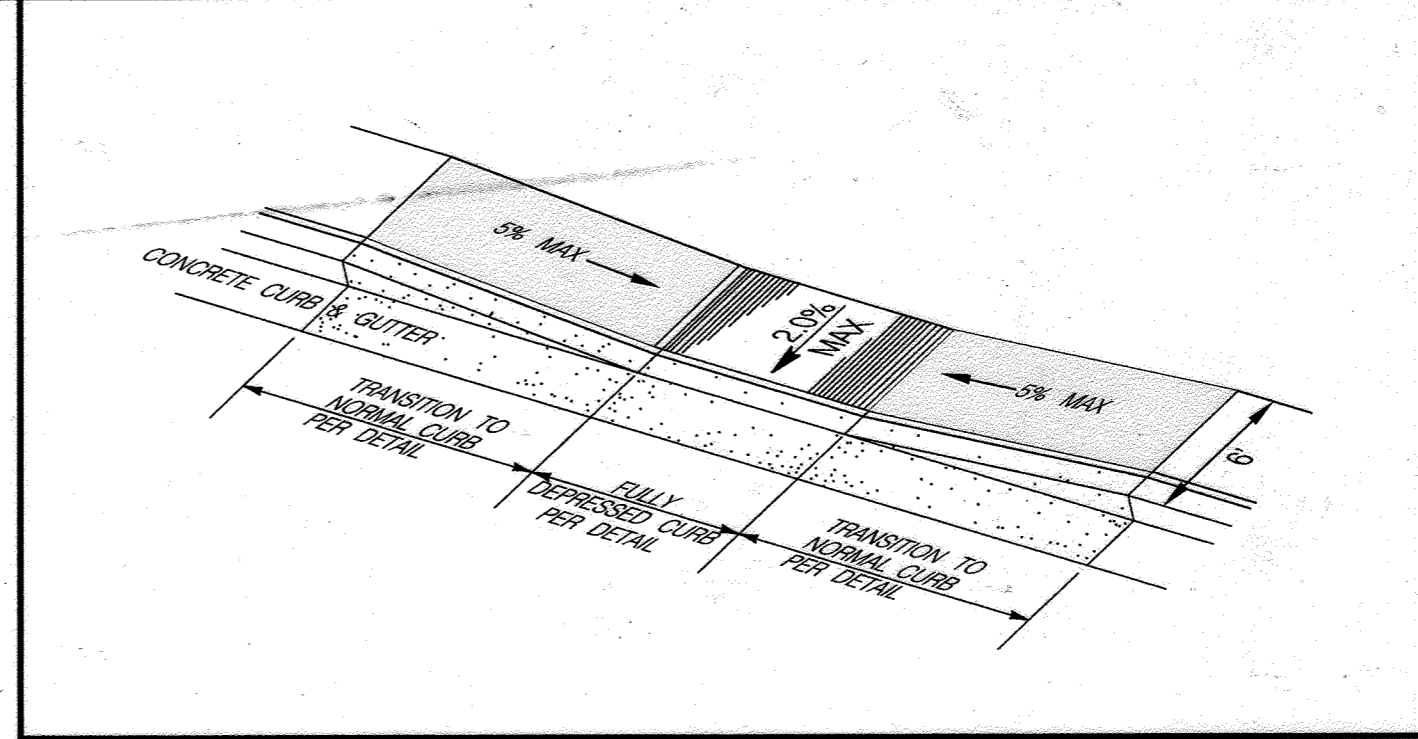
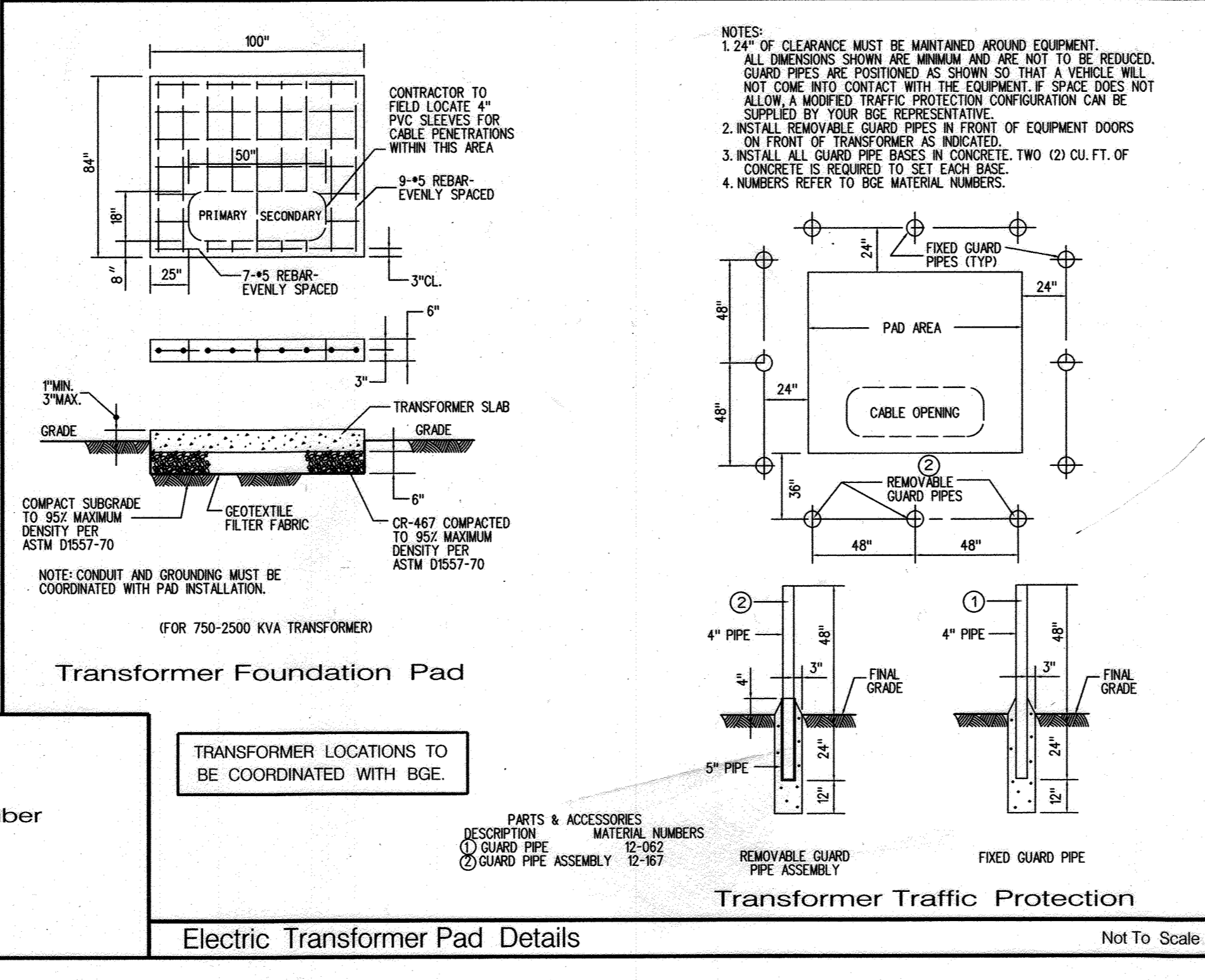
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 18848, EXPIRATION DATE: 9-19-24. SIGNED: [Signature] DATE: 6-21-23



Detail Paving Sections and Areas Scale: 1" = 100'



Detail Handicap Parking and Accessible Route For Building A Scale: 1" = 20'



Sidewalk Contiguous with Handicap Parking Not To Scale

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 28334, EXPIRATION DATE: APRIL 1, 2017. DATE: 05/02/16 MD. REGISTRATION NO. 28334 PRINTED NAME: JOHANN DEBAL, P.E.

REDLINE REVISION # 4 REVISED TOTAL NUMBER OF SHEETS TO 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
 Chief, Development Engineering Division MK
 Chief, Division of Land Development BB

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21039
 Phone 410-683-7004
 Fax 410-683-1795
 www.matiswarfield.com

Developer / Owner
 AAK Eastridge, LLC
 J. Michael Abrams, Managing Member
 Abrams Development Group
 5850 Waterloo Road Suite 230
 Columbia, Maryland 21045
 Phone (410) 461-4340
 Fax (410) 461-5709

TRANSFORMER LOCATIONS TO BE COORDINATED WITH BGE.

PARTS & ACCESSORIES
 DESCRIPTION MATERIAL NUMBERS
 (1) GUARD PIPE 12-062
 (2) GUARD PIPE ASSEMBLY 12-167

Transformer Traffic Protection Not To Scale

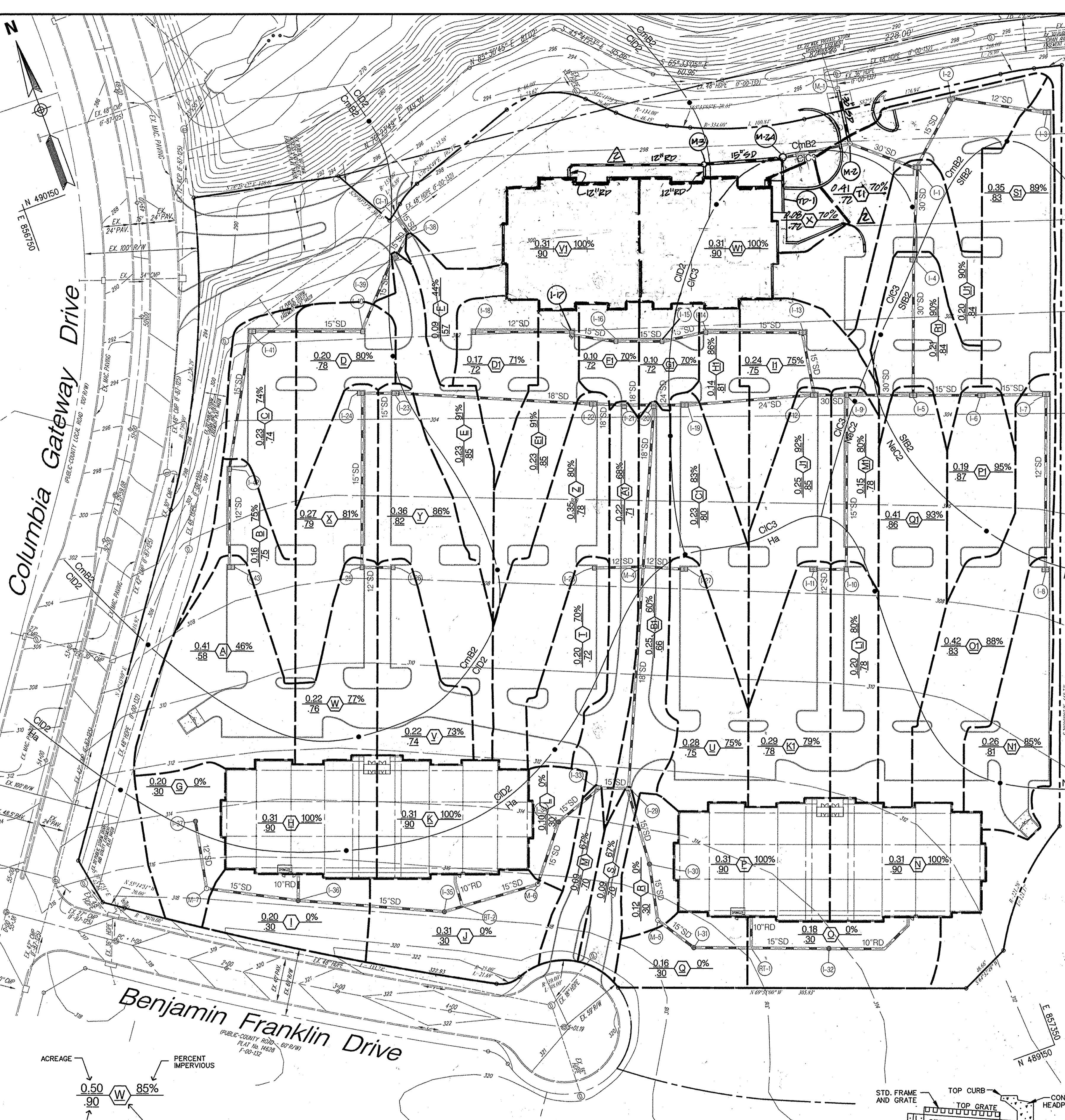
Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 18848, Expiration Date: 09-19-12.

PROPOSED RED-LINE REVISION NO. 2 9-7-12 REVISIONS TO THIS SHEET REVISE FOOTPRINT BUILDING A - ACCESSIBLE ROUTE DETAIL REVISE PAVING LIMITS AND ADD CONCRETE PAVING DETAIL

Site Details
 Columbia Gateway, Parcel T-18
 Proposed Two-Story Office Buildings A, B & C
 Eastridge at Columbia Gateway

Howard County, Maryland
 Scale: As Shown August 2, 2006

Sheet 5 of 14
 SDP 06-083



Drainage Area Map

Scale 1" = 50'

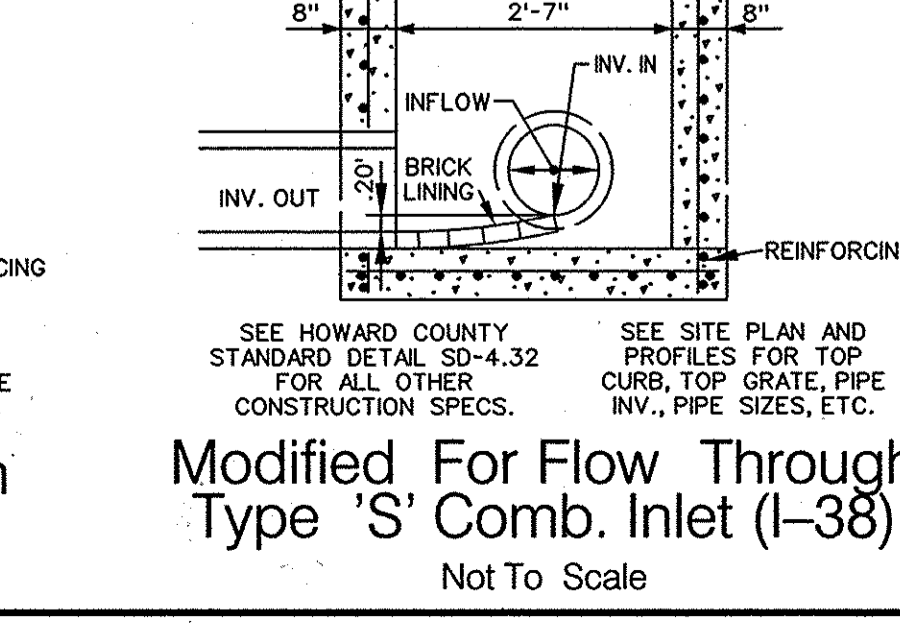
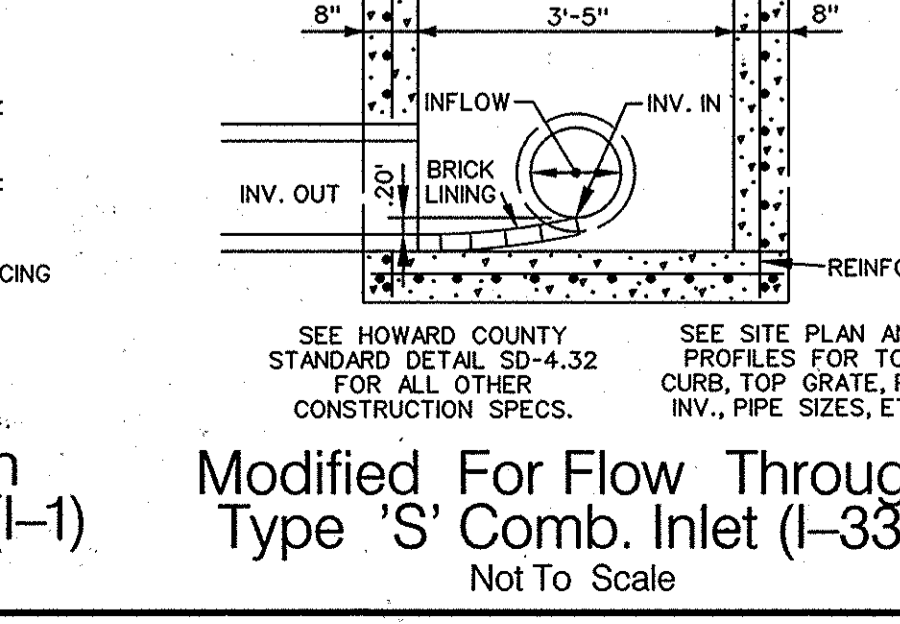
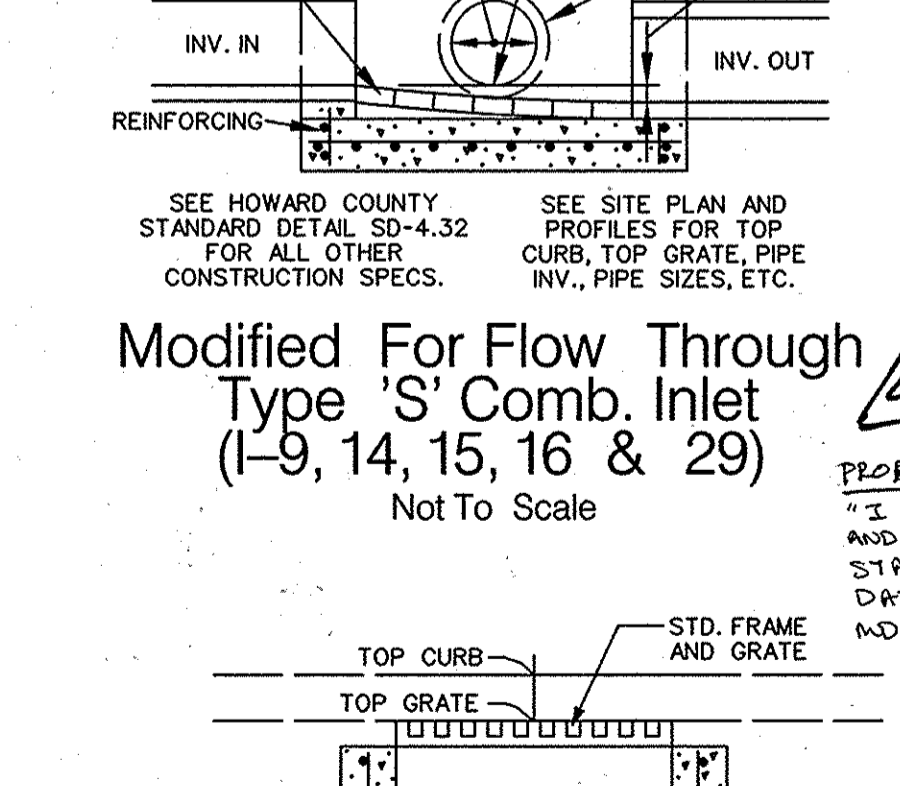
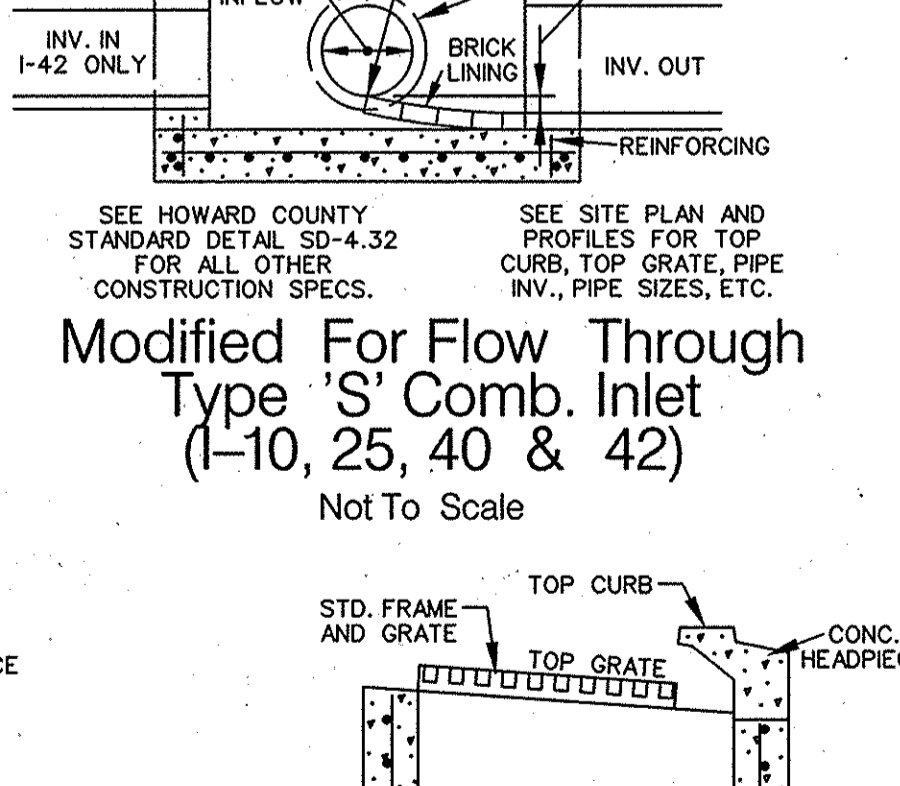
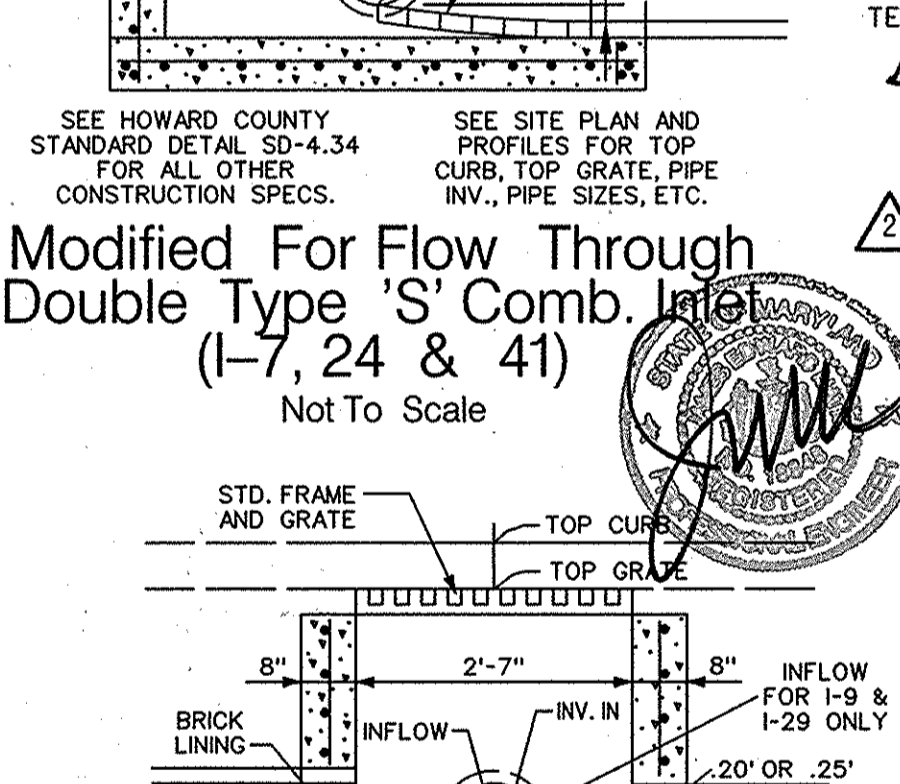
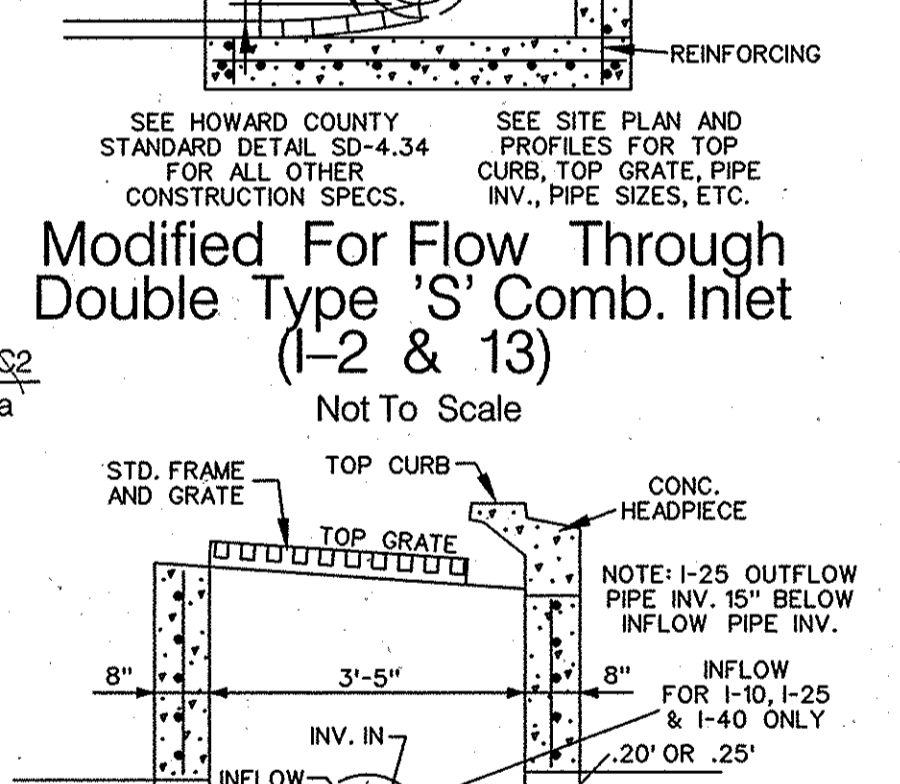
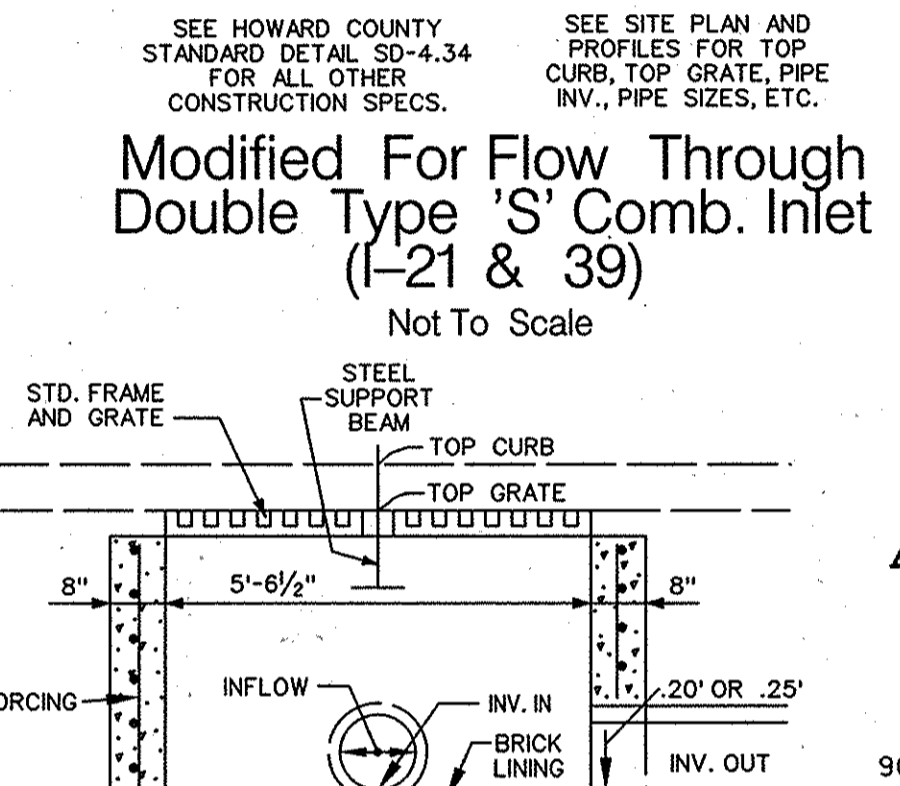
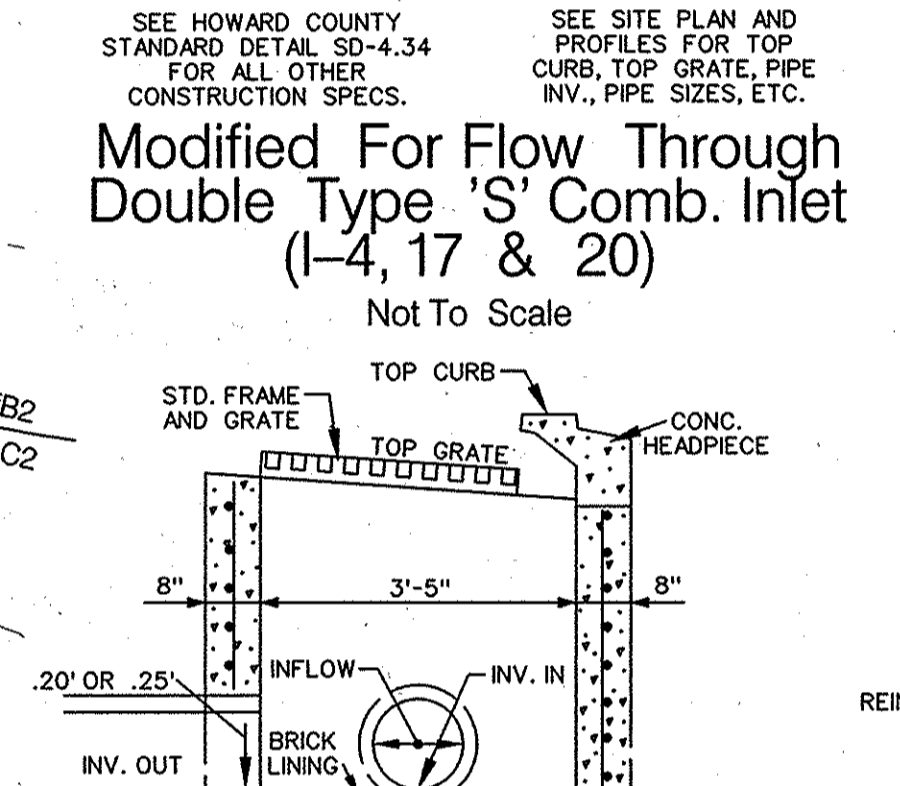
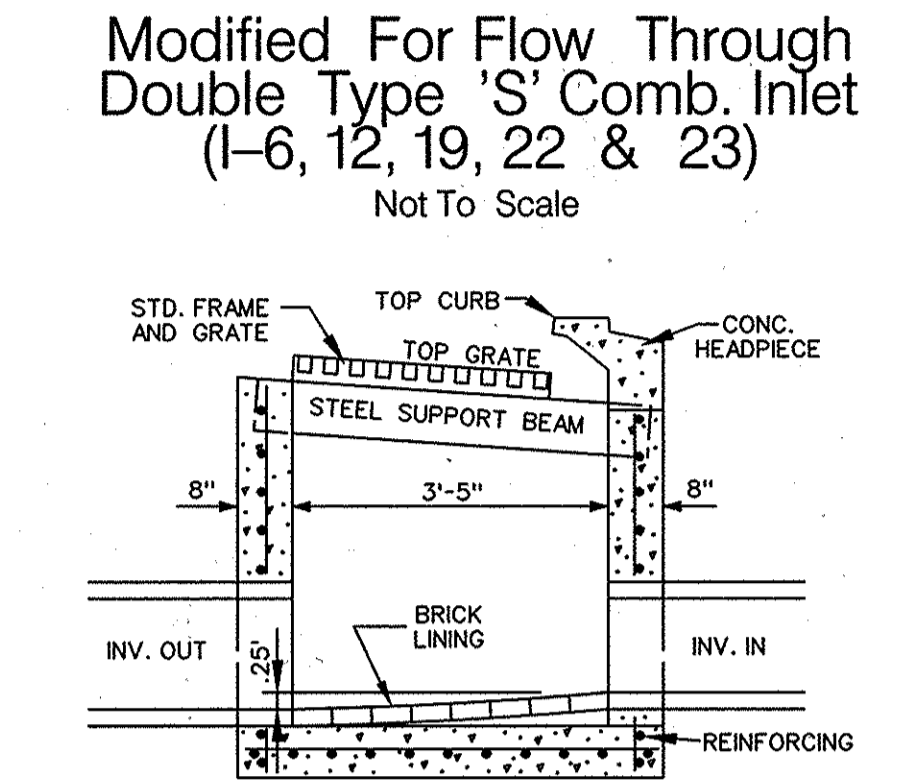
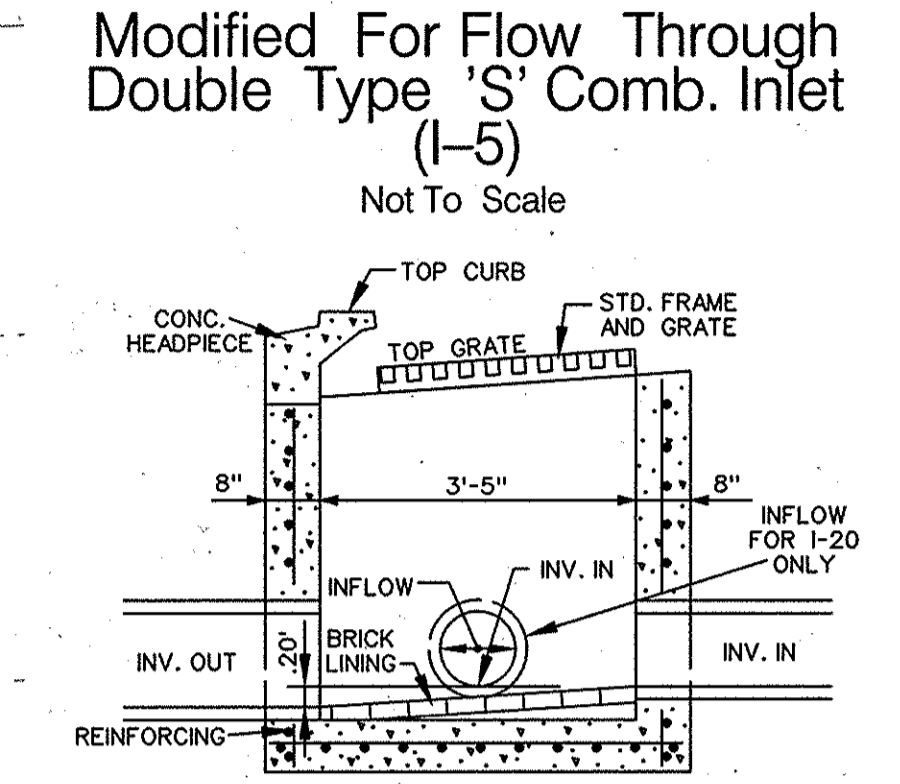
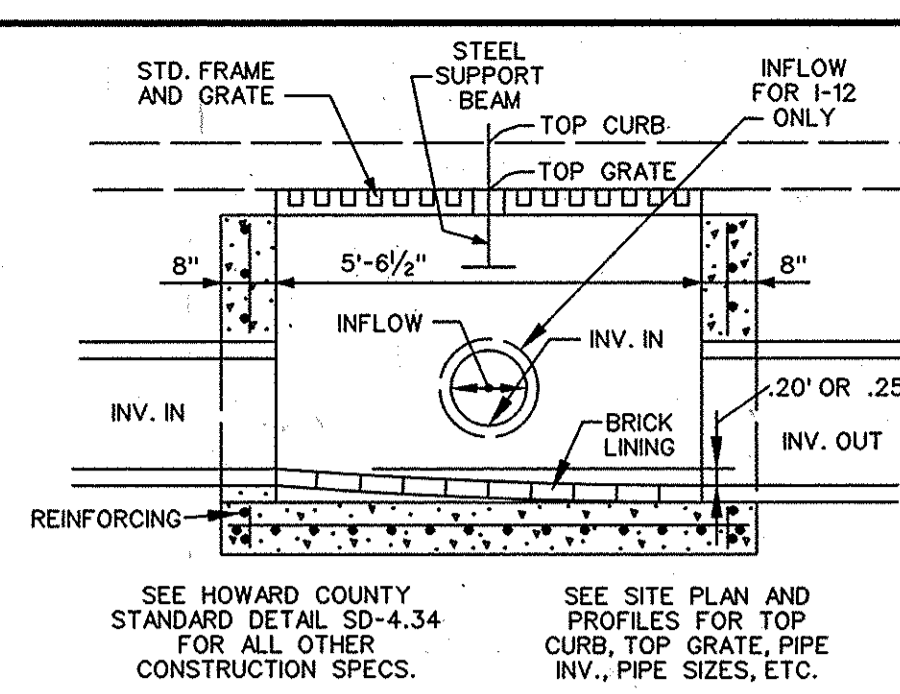
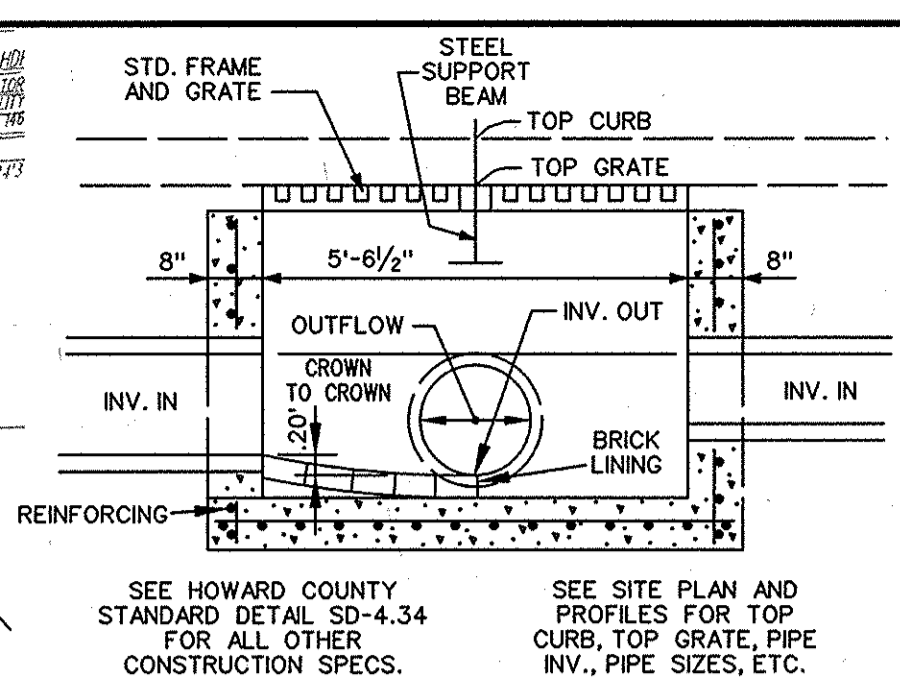
STORM WATER MANAGEMENT QUANTITY AND QUALITY PROVIDED IN REGIONAL FACILITY LOCATED ON ADJACENT PARCEL T-10 (DPW FILE F-00-132)

Matis Warfield
consulting engineers

10540 York Road Suite M
Hunt Valley, Maryland 21030
Phone 410-683-7000
Facsimile 410-683-1798
www.matiswarfield.com



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Fax (410) 461-5709



NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
I-1	DBL. 'S' COMB.	291.46	291.26	299.00(TC)	STD. DTL. SD 4.34 *
I-2	DBL. 'S' COMB.	293.56	293.31	297.00(TC)	STD. DTL. SD 4.34 *
I-3	DBL. 'S' COMB.	-	294.58	298.00(TC)	STD. DTL. SD 4.34 *
I-4	DBL. 'S' COMB.	294.01	293.81	300.90(TC)	STD. DTL. SD 4.34 *
I-5	DBL. 'S' COMB.	295.15	294.95	304.40(TC)	STD. DTL. SD 4.34 *
I-6	DBL. 'S' COMB.	300.22	300.02	304.40(TC)	STD. DTL. SD 4.34 *
I-7	DBL. 'S' COMB.	300.76	300.51	304.20(TC)	STD. DTL. SD 4.34 *
I-8	DBL. 'S' COMB.	-	303.70	308.60(TC)	STD. DTL. SD 4.34 *
I-9	'S' COMB.	295.64	295.44	304.10(TC)	STD. DTL. SD 4.32 *
I-10	'S' COMB.	305.33	305.08	309.00(TC)	STD. DTL. SD 4.32 *
I-11	DBL. 'S' COMB.	-	305.48	308.90(TC)	STD. DTL. SD 4.34 *
I-12	DBL. 'S' COMB.	295.99	295.79	303.80(TC)	STD. DTL. SD 4.34 *
I-13	DBL. 'S' COMB.	296.47	296.27	302.20(TC)	STD. DTL. SD 4.34 *
I-14	'S' COMB.	297.10	296.90	302.40(TC)	STD. DTL. SD 4.32 *
I-15	'S' COMB.	297.50	297.30	302.40(TC)	STD. DTL. SD 4.32 *
I-16	'S' COMB.	297.90	297.70	302.40(TC)	STD. DTL. SD 4.32 *
I-17	DBL. 'S' COMB.	298.35	298.10	302.40(TC)	STD. DTL. SD 4.34 *
I-18	'S' COMB.	-	298.78	302.20(TC)	STD. DTL. SD 4.32 *
I-19	DBL. 'S' COMB.	297.63	297.43	304.10(TC)	STD. DTL. SD 4.34 *
I-20	DBL. 'S' COMB.	297.97	297.77	304.60(TC)	STD. DTL. SD 4.34 *
I-21	DBL. 'S' COMB.	298.30	298.10	304.60(TC)	STD. DTL. SD 4.34 *
I-22	DBL. 'S' COMB.	298.64	298.44	304.40(TC)	STD. DTL. SD 4.34 *
I-23	DBL. 'S' COMB.	299.76	299.51	303.80(TC)	STD. DTL. SD 4.34 *
I-24	DBL. 'S' COMB.	300.11	299.91	303.80(TC)	STD. DTL. SD 4.34 *
I-25	'S' COMB.	305.24	303.99	308.80(TC)	STD. DTL. SD 4.32 *
I-26	'S' COMB.	-	305.38	308.80(TC)	STD. DTL. SD 4.32 *
I-27	DBL. 'S' COMB.	-	305.48	308.90(TC)	STD. DTL. SD 4.34 *
I-28	'S' COMB.	-	305.38	308.80(TC)	STD. DTL. SD 4.32 *
I-29	'S' COMB.	305.28	305.03	314.40(TC)	STD. DTL. SD 4.32 *
I-30	YARD INLET	306.87	306.67	312.50(TG)	STD. DTL. SD 4.14
I-31	YARD INLET	307.72	307.52	312.50(TG)	STD. DTL. SD 4.14
I-32	YARD INLET	308.73	308.53	312.00(TG)	STD. DTL. SD 4.14
I-33	'S' COMB.	305.61	305.41	314.50(TC)	STD. DTL. SD 4.32 *
I-34	YARD INLET	306.04	305.84	312.00(TG)	STD. DTL. SD 4.14
I-35	YARD INLET	307.16	306.96	312.00(TG)	STD. DTL. SD 4.14
I-36	'S' INLET	308.01	307.81	312.00(TG)	STD. DTL. SD 4.22 *
I-37	YARD INLET	-	308.96	312.50(TG)	STD. DTL. SD 4.14
I-38	'S' COMB.	295.10	294.90	298.80(TC)	STD. DTL. SD 4.32 *
I-39	DBL. 'S' COMB.	295.41	295.21	299.20(TC)	STD. DTL. SD 4.34 *
I-40	'S' COMB.	298.34	298.14	302.40(TC)	STD. DTL. SD 4.32 *
I-41	DBL. 'S' COMB.	299.11	298.91	302.60(TC)	STD. DTL. SD 4.34 *
I-42	'S' COMB.	302.76	302.51	306.20(TC)	STD. DTL. SD 4.32 *
I-43	DBL. 'S' COMB.	-	305.16	308.90(TC)	STD. DTL. SD 4.34 *

NO.	TYPE	INV. IN	INV. OUT	TOP ELEV.	REMARKS
M-1	5' STD. MANHOLE	286.60	286.10	296.90	STD. DTL. G 5.13
M-2	5' STD. MANHOLE	289.92	289.72	298.60	STD. DTL. G 5.13
M-3	4' SHALLOW MANHOLE	294.40	293.20	301.60	STD. DTL. G 5.12
M-4	4' SHALLOW MANHOLE	301.05	303.85	308.60	STD. DTL. G 5.12
M-5	4' STD. MANHOLE	301.32	307.12	313.70	STD. DTL. G 5.12
M-6	4' STD. MANHOLE	306.53	306.33	313.80	STD. DTL. G 5.12
M-7	4' STD. MANHOLE	308.66	308.42	315.50	STD. DTL. G 5.12
C-1	CUT-IN	291.90	290.53	-	EX. 48" HDPE X 15' HDPE
RT-1	REDUCING TEE	308.18	307.87	-	15" X 10" HDPE FITTING
RT-2	REDUCING TEE	307.08	306.87	-	15" X 10" HDPE FITTING
M-2A	2' SHALLOW MANHOLE	284.15	284.05	300.00	STD. DTL. G 5.12
T-1	TRENCH DRAIN	-	-	2.90.00	SEE PROFILE

SIZE	TYPE	PIPE LENGTH- FEET
10"	HDPE#	332
12"	HDPE#	606
15"	HDPE#	1929
18"	HDPE#	565
24"	HDPE#	141
30"	RCCP CL III	400

* AASHTO M-294 TYPE 'S'

PROPOSED RED-LINE REVISION NO. 2-7-12
REVISE STORM DRAIN-DRAINAGE AREA MAP
REVISE STORM DRAIN STRUCTURE SCHEDULE

PROFESSIONAL CERTIFICATION: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 22334, Expiration Date: 09-19-12.

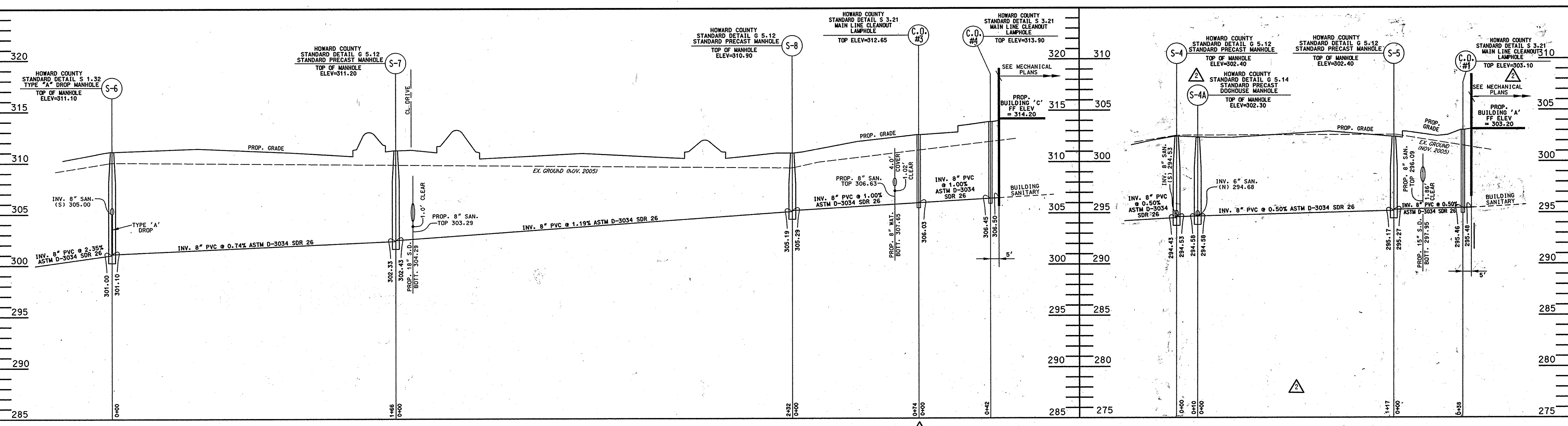
REDLINE REVISION #4.
REVISED TOTAL NO. OF SHEETS TO 14

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

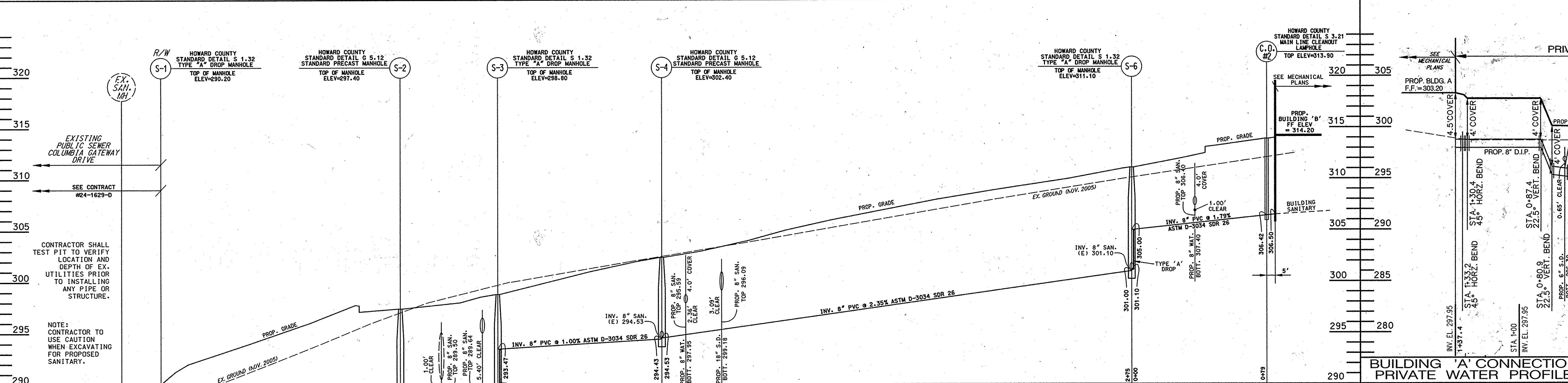
Chief, Development Engineering Division MIC
Chief, Division of Land Development
Director

Stormwater Drainage Area Map & Storm Drain Details
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway

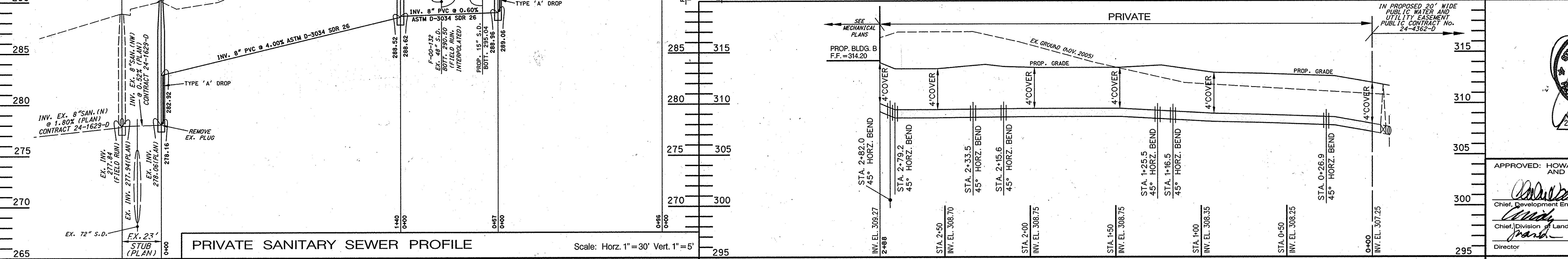
Howard County, Maryland
Scale: As Shown
August 2, 2006
Sheet 6 of 14
SDP 06-083



PRIVATE SANITARY SEWER PROFILES Scale: Horz. 1"=30' Vert. 1"=5'

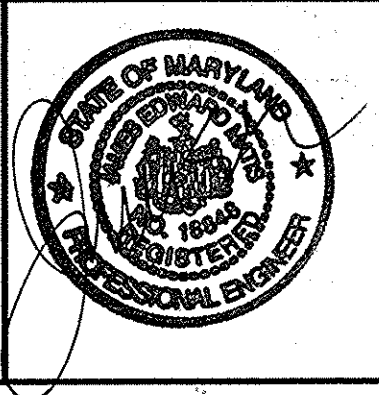


BUILDING 'A' CONNECTION PRIVATE WATER PROFILE Scale: Horz. 1"=30' Vert. 1"=5'



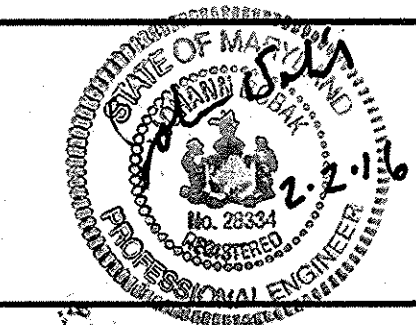
BUILDING 'B' CONNECTION PRIVATE WATER PROFILE Scale: Horz. 1"=30' Vert. 1"=5'

Matis Warfield
consulting engineers
10540 York Road Suite M
Hunt Valley, Maryland 21038
Phone (410) 683-7000
Facsimile 410-683-1798
www.matiswarfield.com



Developer/Owner
AAK Eastridge, LLC.
J. Michael Abrams, Managing Member
Abrams Development Group
5850 Waterloo Road Suite 230
Columbia, Maryland 21045
Phone (410) 461-1340
Fax (410) 461-5709

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DATE: 02/02/2016 SIGNATURE: *[Signature]*
MD. REGISTRATION NO. 28334 PRINTED NAME: JOHANN DOBAY, P.E.



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 18848, Expiration Date: 09-19-12.

PROPOSED RED-LINE REVISION NO. 2 07-12
REVISIONS TO THIS SHEET
REVISE PRIVATE WATER PROFILE - BUILDING A CONNECTION
ADD SANITARY SEWER MANHOLE S-4A, REVISE LOCATION OF C.O.#1 - PRIVATE SANITARY SEWER PROFILE

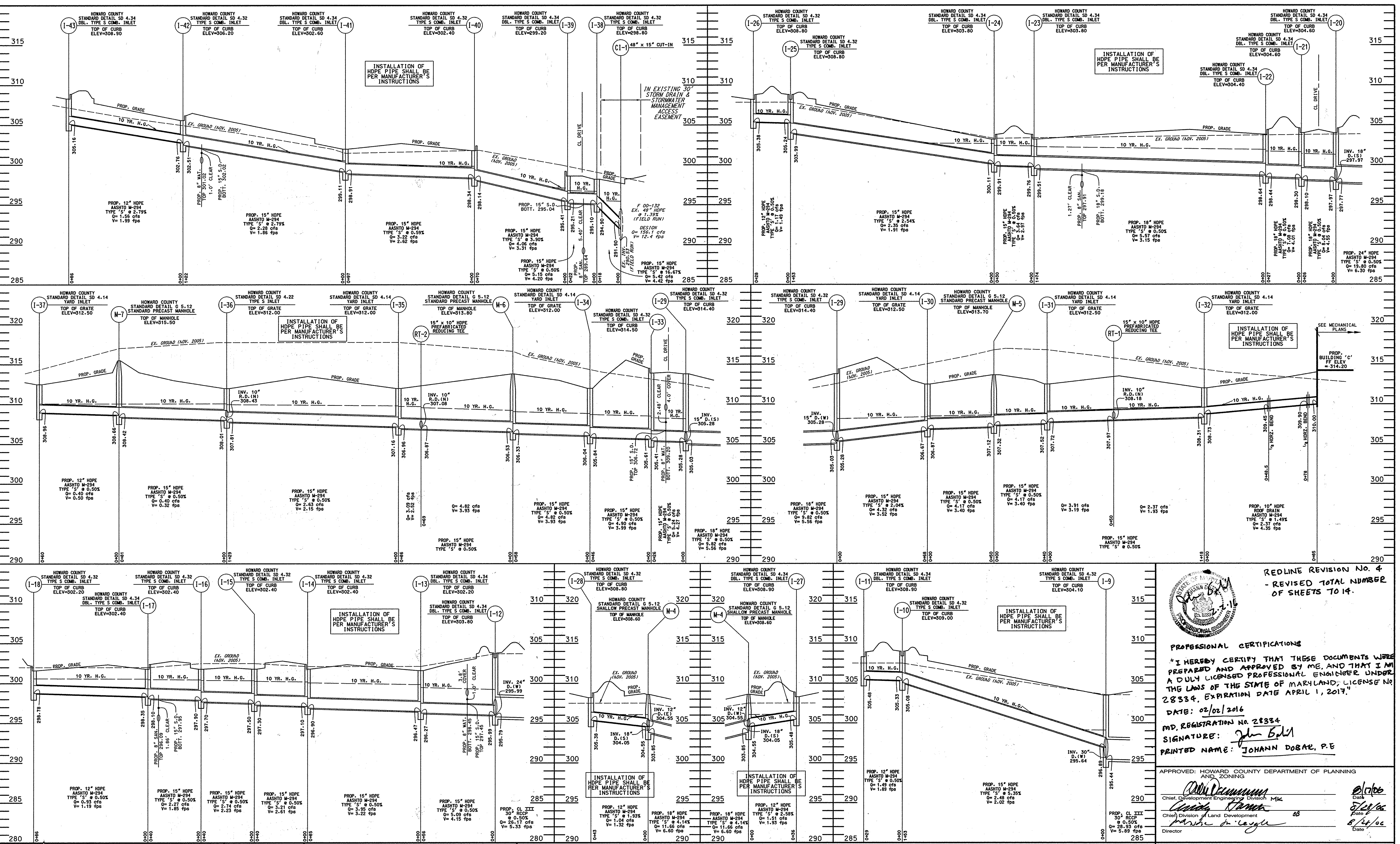
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signature] 8/17/06
Chief, Development Engineering Division
[Signature] 8/28/06
Chief, Division of Land Development
[Signature] 8/28/06
Director

Private Water & Sewer Profiles
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway

Howard County, Maryland
Scale: As Shown August 2, 2006

Sheet 7 of 14
SDP 06-083



REDLINE REVISION NO. 4
 - REVISED TOTAL NUMBER OF SHEETS TO 14.

PROFESSIONAL CERTIFICATIONS
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 DATE: 02/02/2016
 MD. REGISTRATION No. 28334
 SIGNATURE: *Johann Dobaz*
 PRINTED NAME: JOHANN DOBAZ, P.E.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
John D. ...
 Chief, Development Engineering Division
...
 Chief, Division of Land Development
 Director

Matis Warfield
 consulting engineers
 10540 York Road, Suite 100
 Hunt Valley, Maryland 21096
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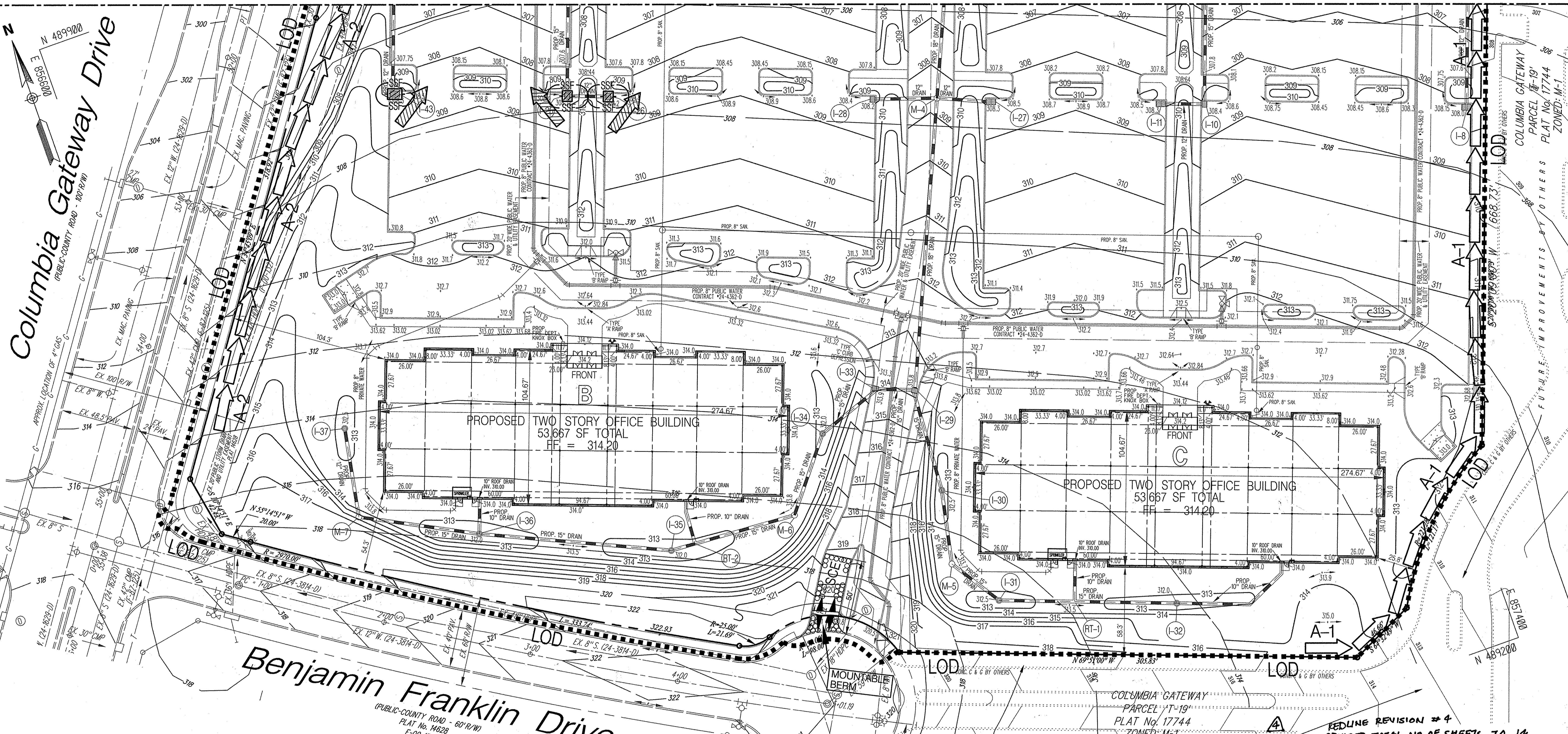
Developer/Owner
 AAK Eastridge, LLC.
 J. Michael Abrams, Managing Member
 Abrams Development Group
 5850 Waterloo Road Suite 230
 Columbia, Maryland 21045
 Phone: (410) 461-4340
 Fax: (410) 461-6709

STORM DRAIN PROFILES

Scale: Horz. 1"=30' Vert. 1"=5'

Private Storm Drain Profiles
 Columbia Gateway, Parcel T-18
 Proposed Two-Story Office Buildings A, B & C
 Eastridge at Columbia Gateway

Howard County, Maryland
 Scale: As Shown
 August 2, 2006
 Sheet 9 of 14
 SDP 06-083



ENGINEER'S CERTIFICATE
 I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.
 James E. Matis, P.E. No. 18948
 Date: 8-2-06

DEVELOPER'S CERTIFICATE
 I certify that all development and construction will be done according to this plan for sediment and erosion control, and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I also authorize periodic on-site inspection by the Howard Soil Conservation District.
 For AAK Eastridge, LLC by Michael Abrams, Managing Member
 Date: 8-2-06

Matis Warfield
 consulting engineers
 10540 York Road, Suite M
 Hunt Valley, Maryland 21038
 Phone: 410-683-7000
 Facsimile: 410-683-1798
 www.matiswarfield.com

Legend

Existing Contours	352	Inlet Blocking	[Symbol]
Proposed Grades	362	Gabion Inflow Protection	[Symbol]
Existing Water	[Symbol]	Limit of Disturbance	[Symbol]
Proposed Private Water	[Symbol]	Removable Pumping Station	[Symbol]
Proposed Public Water	[Symbol]	Silt Fence	[Symbol]
Existing Sanitary	[Symbol]	Super Silt Fence	[Symbol]
Proposed Private Sanitary	[Symbol]	Earth Dike	[Symbol]
Existing Storm Drain	[Symbol]	Interim Earth Dike	[Symbol]
Proposed Private Storm Drain	[Symbol]	Stabilized Construction Entrance	[Symbol]
Proposed Public Storm Drain	[Symbol]		
Existing Curb and Gutter	[Symbol]		
Proposed Conc. Curb & Gutter	[Symbol]		
Proposed Light Future	[Symbol]		
Proposed Concrete Paving	[Symbol]		
Handicap Parking Space	[Symbol]		
Proposed Elevation at low line of Earth Dike	365.0		

Plan
 Scale 1" = 30'

COLUMBIA GATEWAY
 PARCEL T-12
 PLAT No. 14628
 ZONED: M-1

SEDIMENT CONTROL SEQUENCE OF OPERATIONS

TASK	EST. DAYS
1. Obtain grading permit.	
2. With the approval of the Sediment Control Inspector install all sediment & erosion control measures including stone construction entrance, Traps 1 & 2 (with all opportunities), earth dikes & silt fence.	20
3. With the approval of the Sediment Control Inspector begin site grading, building foundations and utility installation. Adjust Earth Dike north of Building A as fill is placed.	
4. Install 30" storm drain system beginning at Trap No. 2, 7'9" downstream of I-4 at invert 291.52 and install drainage system upstream through I-37, 18" drain extending from I-22 up to I-23 may be installed but 18" pipe shall be bulkheaded at I-23. As inlets and storm drain which drain to Trap No. 2 become operational, leave those inlets unprotected to convey sediment to Trap No. 2. Storm drainage systems within the drainage area of Trap No. 1 may be built but drain should not be placed into operation. Provide inlet blocking and wrap Super Silt Fence around inlets I-23, I-24, I-25, I-26, I-38, I-39, I-40, I-41, I-42 and I-43 to prevent sediment from entering those inlets. Installation of interim earth dike, at those inlets as shown, immediately following inlet installation to further prevent sediment from entering inlets, install sanitary sewer and water lines except where sanitary sewer conflicts with Trap No. 1.	100
5. Flush storm drain system draining to Trap No. 2 periodically and following rainfall events to insure system remains functional and unclogged.	
6. Complete building foundation, slab and all possible grading and utility work. Stabilize disturbed areas in accordance with stabilization specifications.	30
7. Install curb and gutter and place stone subbase in all areas to receive paving except in sediment trap areas, and areas that will intercept flow to Trap No. 1 between inlets I-40 and I-41. Permanently stabilize areas to remain grass in accordance with stabilization specifications.	45
8. During dry weather only and with the approval of the Sediment Control Inspector flush storm drain system downstream through Trap 2. Dewater & remove Trap No. 1 and Trap No. 2. Remove bulkhead in I-23 to the west and complete storm drain connection. Complete remaining portions of storm drain system downstream. Install remaining portion of sanitary sewer. Install remaining curb and gutter and place stone subbase in these areas. Stabilize any areas to remain grass.	10
9. Proceed with paving operations.	15
10. With the approval of the Sediment Control Inspector remove remaining sediment control devices and stabilize those areas disturbed by this process.	3

Professional Certification:
 "I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28334, EXPIRATION DATE APRIL 1, 2017."
 DATE: 02/02/2016 SIGNATURE: [Signature]
 MD REGISTRATION NO.: 28334 PRINTED NAME: JOHANN DOBAK, P.E.

REDLINE REVISION # 4
REVISED TOTAL NO. OF SHEETS TO 14.

Reviewed for Howard SCD and meets Technical Requirements
 Jim Meyer
 Date: 8/17/06

This development plan is approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
 John P. White
 Date: 8/17/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Sediment and Erosion Control Plan
 Columbia Gateway, Parcel T-18
 Proposed Two-Story Office Buildings A, B & C
 Eastridge at Columbia Gateway

Howard County, Maryland
 Scale: As Shown
 August 2, 2006

Sheet 10 of 14
 SDP 06-083

Topsoil Specifications

21.0 STANDARD AND SPECIFICATIONS FOR TOPSOIL

Definition
Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose
To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

- This practice is limited to areas having 2:1 or flatter slopes where:
 - The texture of the exposed subsoil/parent materials is not adequate to produce vegetative growth.
 - The soil materials are so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
 - The original soil to be vegetated contains material toxic to plant growth.
 - The soil is so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special construction and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged or given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.
- Topsoil Specifications - Soil to be used as topsoil must meet the following:
 - Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, slag, waste, or other materials, and shall not contain more than 1/2 inch in diameter.
 - Topsoil must be free of plants or plant parts such as Bermuda grass, quackgrass, Johnson grass, nutgrass, poison ivy, thistle, or others as specified.
 - Where the subsoil is either highly acidic or composed of heavy clays, ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Limestone shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas over 5 acres:

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section IV - Vegetative Stabilization Methods and Materials.

IV. For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic contents of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.

No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control if sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of topsoil.

II. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section IV - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoil, maintain needed erosion and sediment control practices such as diversions, Stone Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
- Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4/32" - 8/32" higher in elevation.
- Topsoil shall be uniformly distributed in a 4/32" - 8/32" layer and lightly compacted to a minimum thickness of 4/32". Spreading shall be performed in such a manner that grading or seeding can proceed with a minimum of additional preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seeded preparation.

Permanent/Temporary Seeding Notes

PERMANENT SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
I. PREFERRED - APPLY 2 TONS PER ACRES DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREA FORM FERTILIZER (9 LBS./1000 SQ. FT.)
2. ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ. FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ. FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE (1.4 LBS./1000 SQ. FT.) OF KENTUCKY 31 TALL FESCUE. FOR THE PERIOD MAY 1 THRU JULY 31 SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (0.5 LBS./1000 SQ. FT.) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) - 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) - USE SOO. (3) - SEED WITH 60 LBS./ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATIONS USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GALLONS PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDING.

TEMPORARY SEEDING NOTES
APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION - LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS - APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ. FT.)

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 15 THRU OCTOBER 15, SEED WITH 2 1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ. FT.). FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEPING LOVEGRASS (0.7 LBS./1000 SQ. FT.). FOR THE PERIOD NOVEMBER 15 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.

MULCHING - APPLY 1/2 TO 2 TONS PER ACRE (70 - 90 LBS./1000 SQ. FT.) OF UNROTTED WEEED FREE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL. PER ACRE (5 GAL./1000 SQ. FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS, ON SLOPES 8 FT. OR HIGHER, USE 348 GAL. PER ACRE (8 GAL./1000 SQ. FT.) FOR ANCHORING.

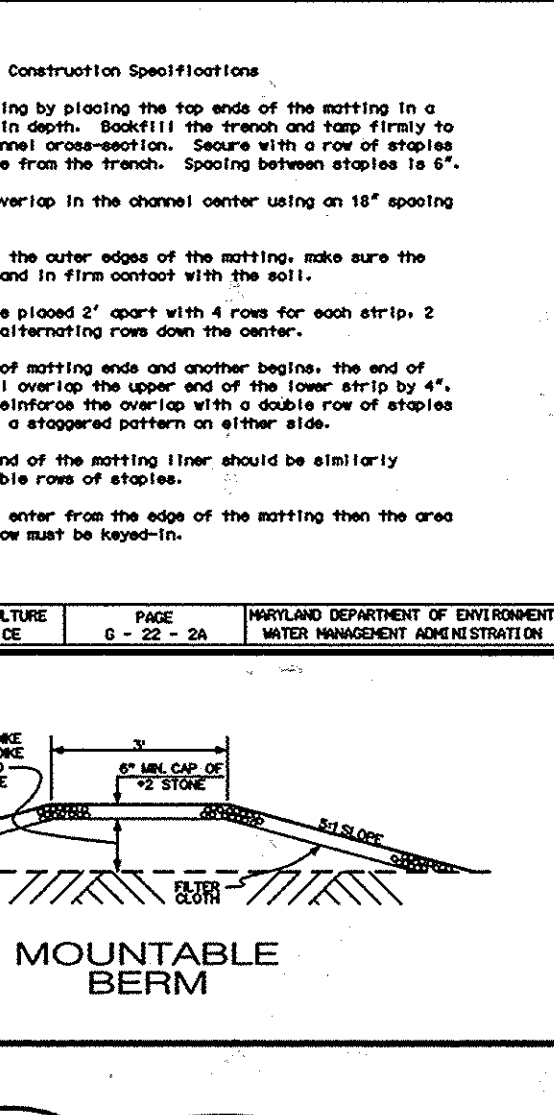
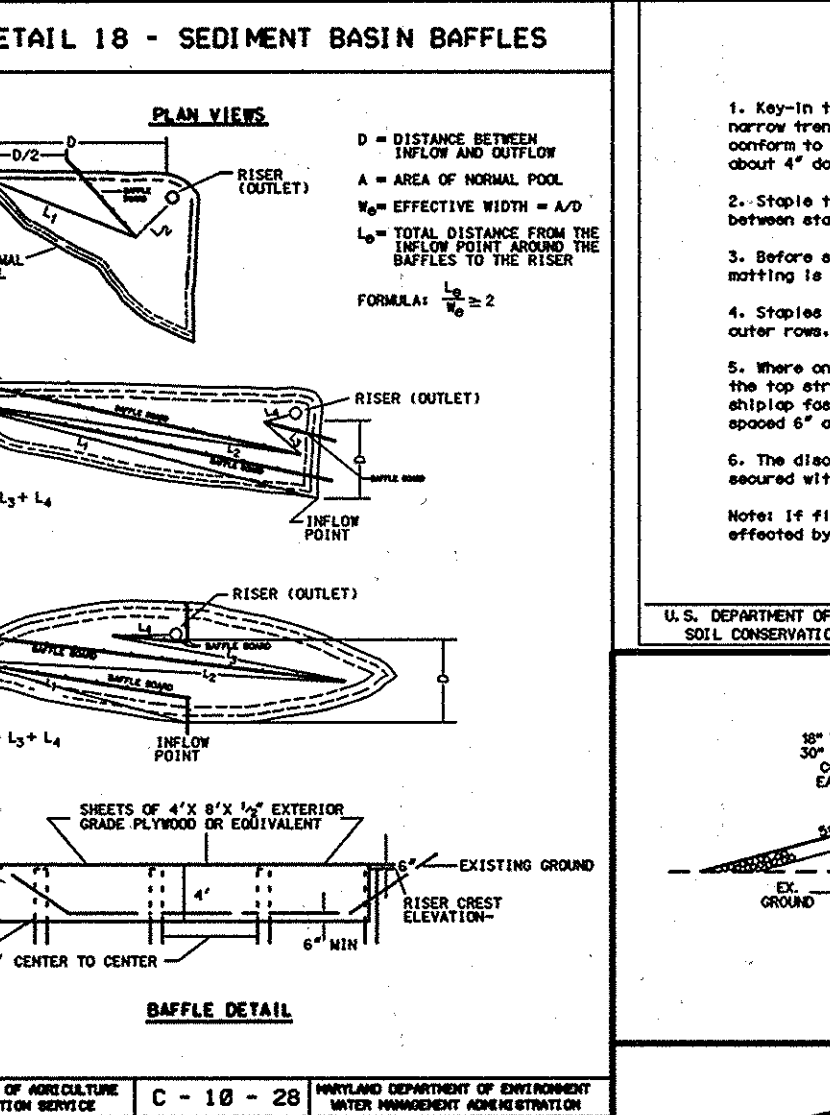
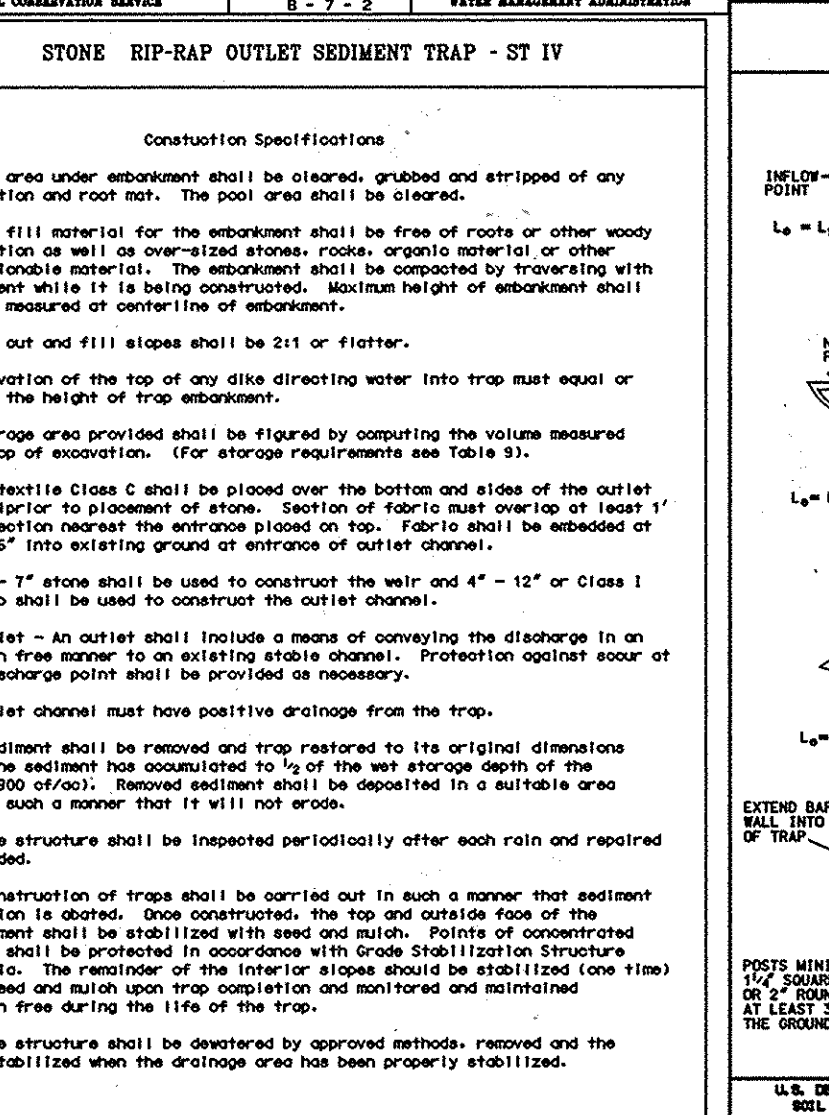
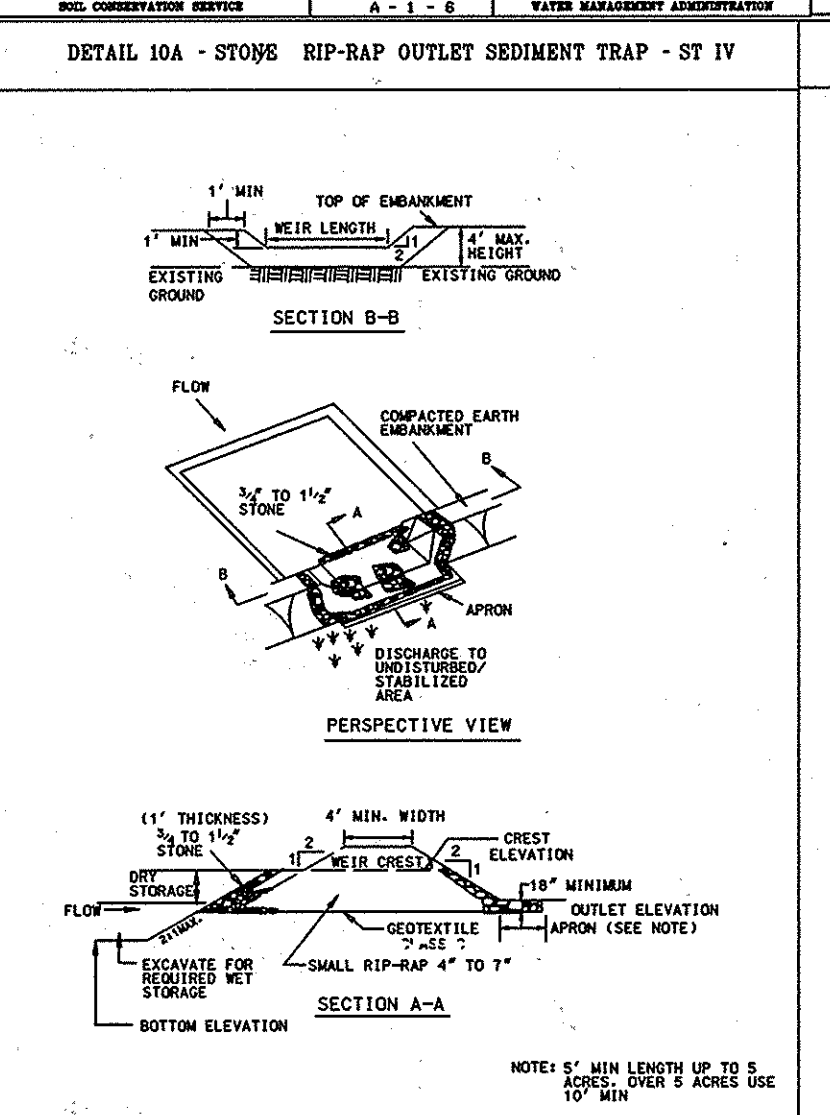
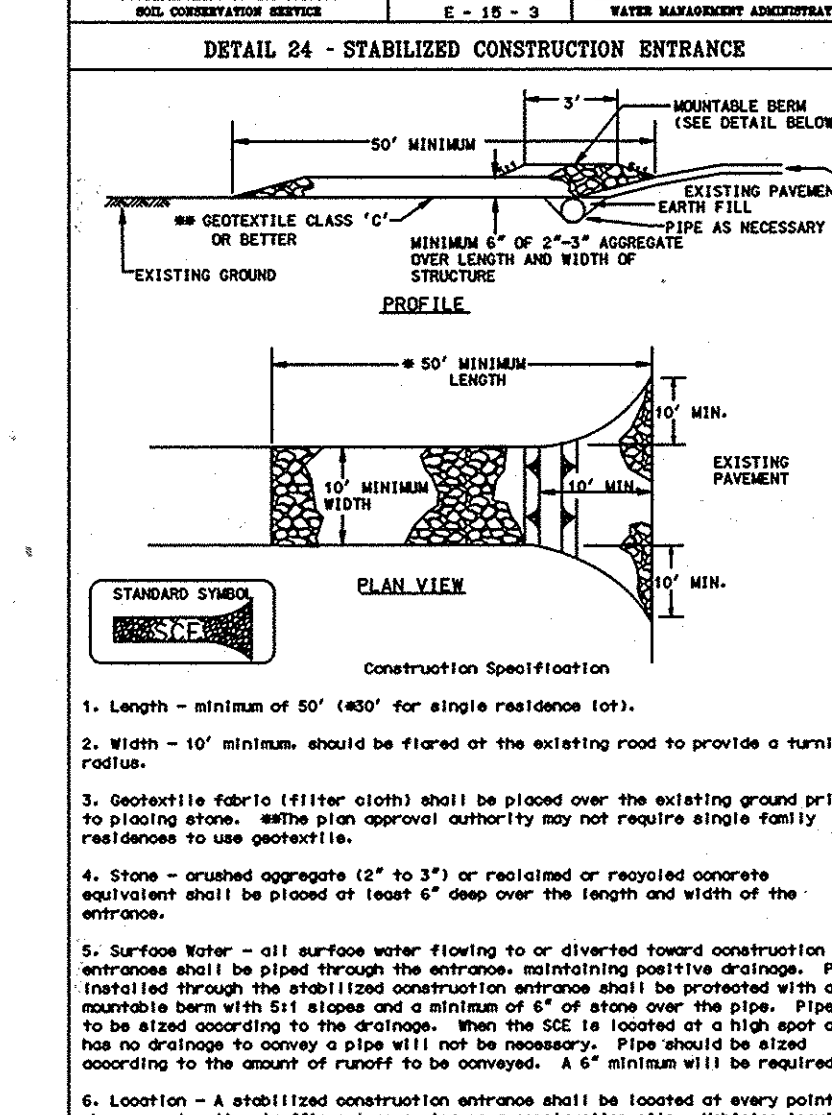
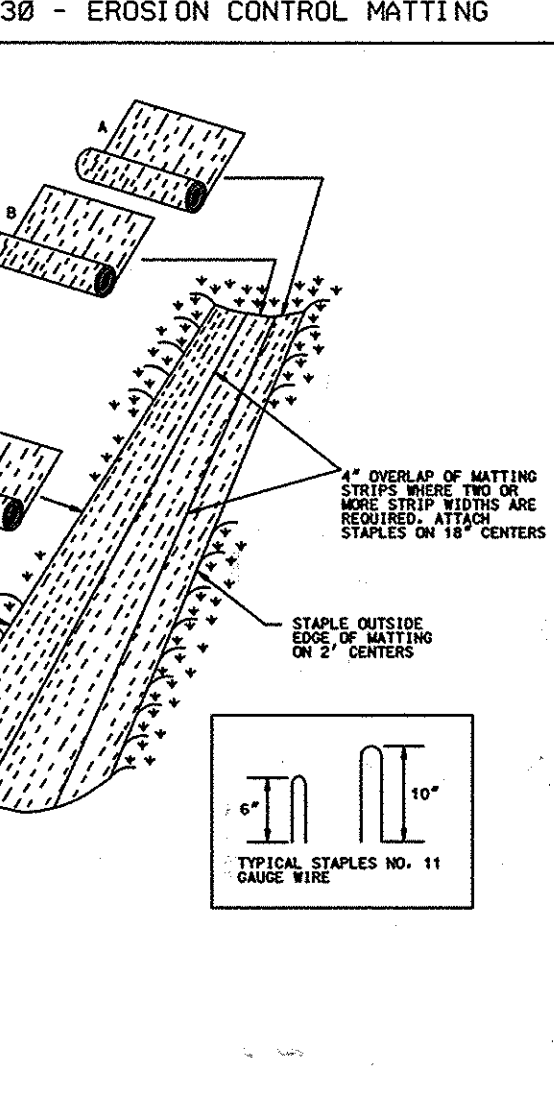
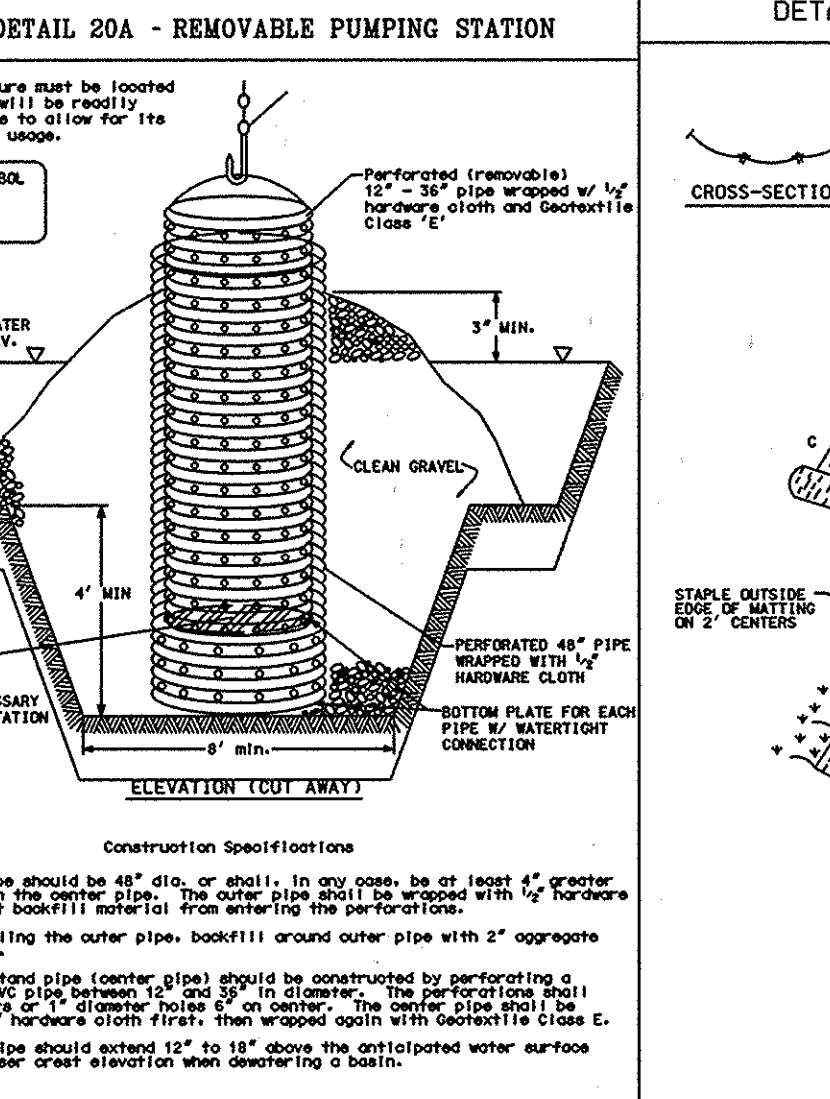
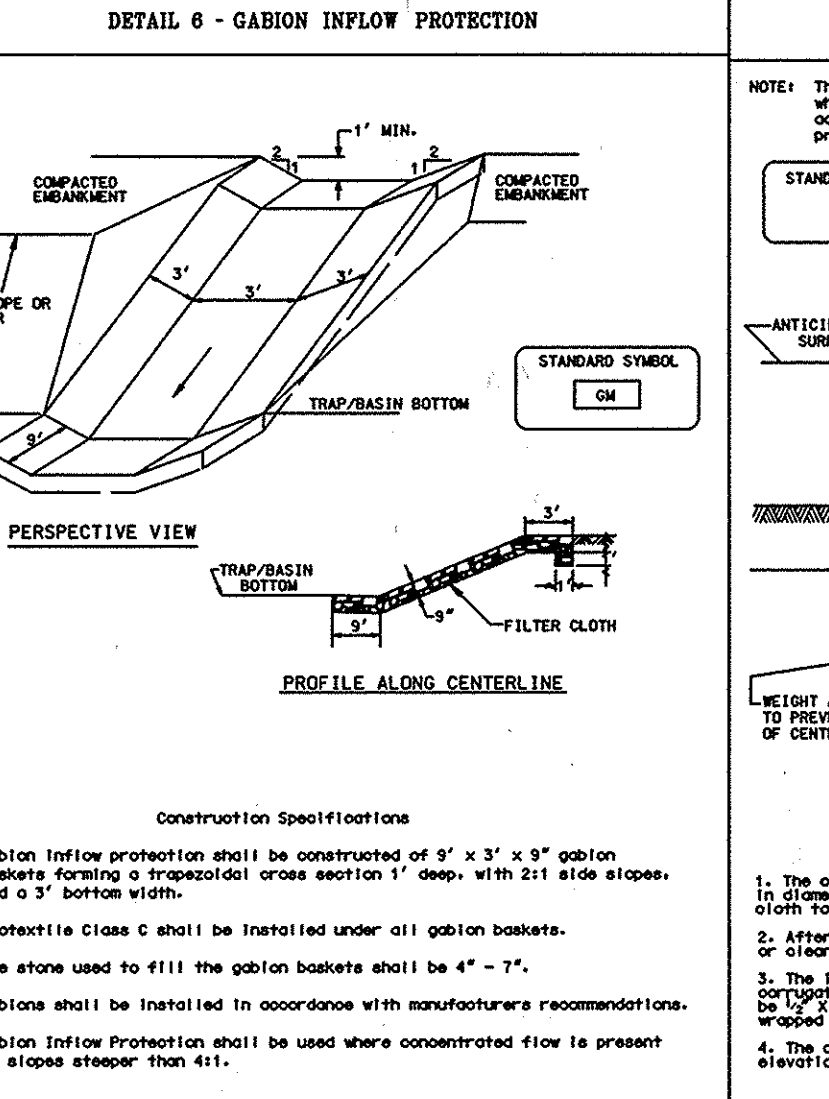
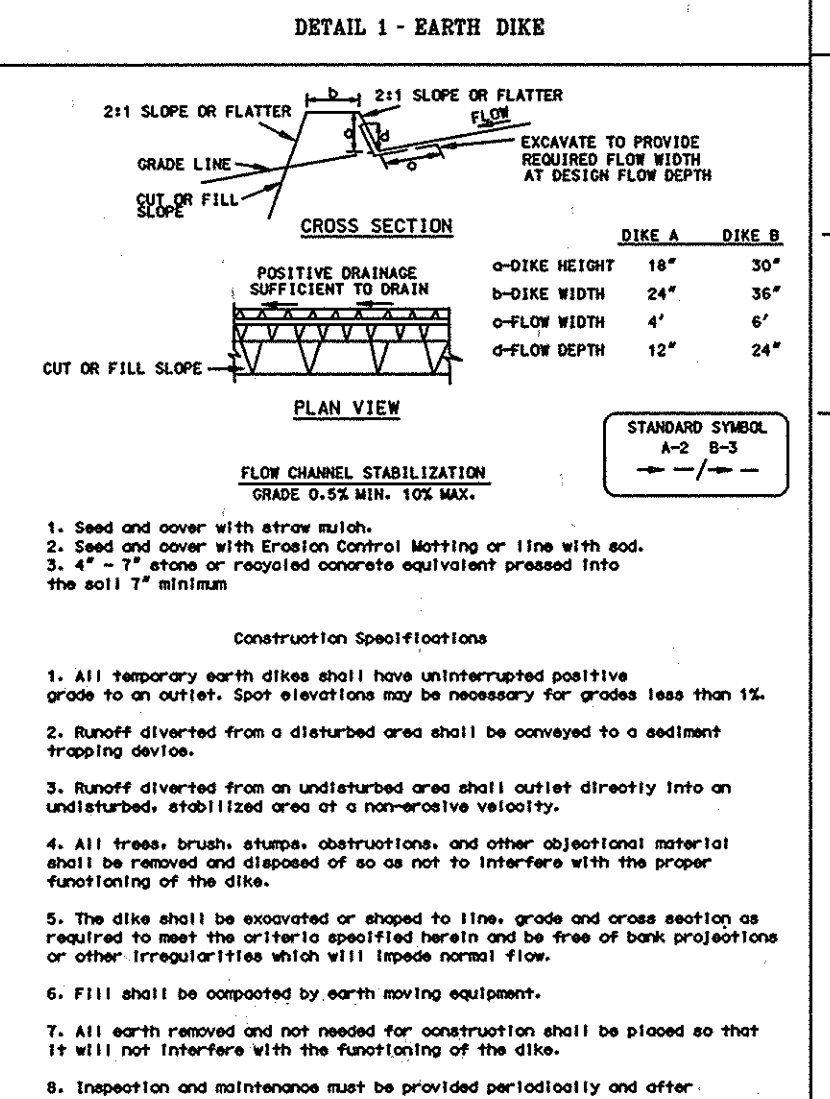
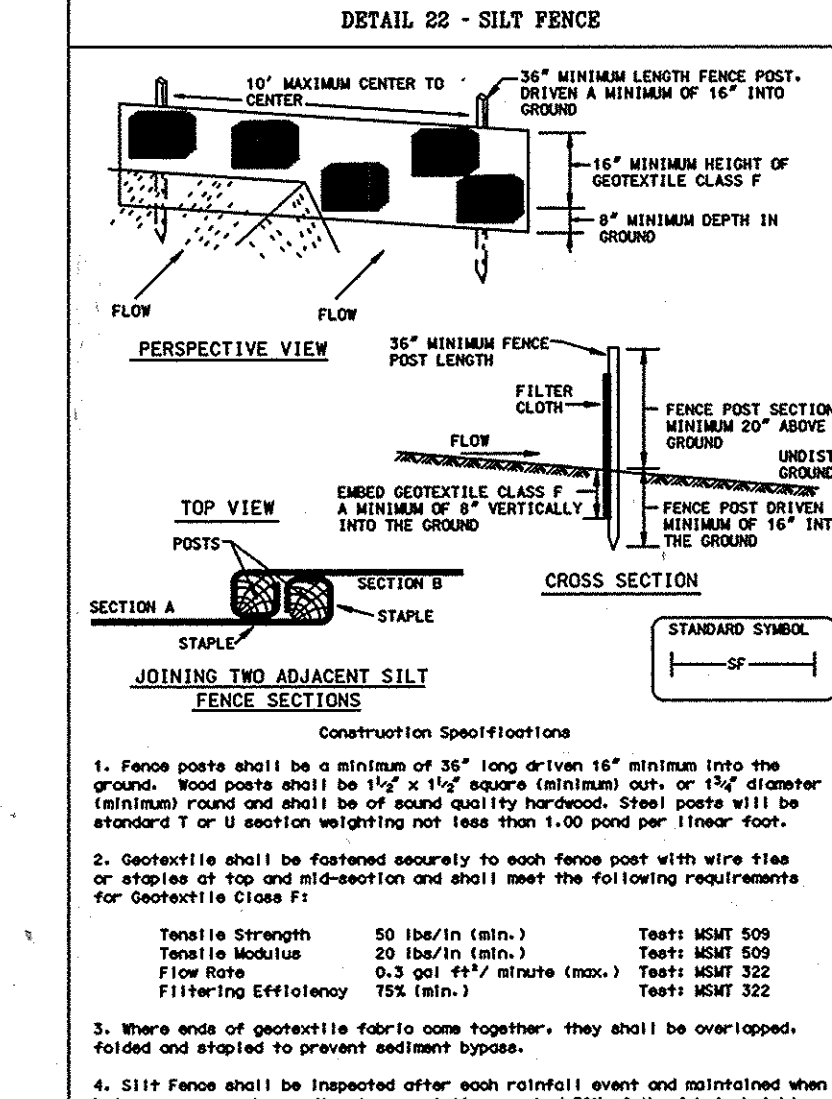
REFER TO THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

Dust Control Specifications

- TEMPORARY METHODS:**
- MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING.
 - VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER.
 - TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHisel-TYPE PLOWS SPACED ABOUT 12 INCHES APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.
 - IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THE RUNOFF BEGINS TO FLOW.
 - BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVALS OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING.
 - CALCIUM CHLORIDE - APPLY AT A RATE THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

PERMANENT METHODS:

- PERMANENT VEGETATION - SEE STANDARDS FOR PERMANENT VEGETATIVE COVER, AND PERMANENT STABILIZATION WITH SOO. EXISTING TREES OR LARGE SHRUBS MAY AFFORD VALUABLE PROTECTION IF LEFT IN PLACE.
- TOPSOILING - COVERING WITH LESS ERODIBLE SOIL MATERIALS. SEE STANDARDS FOR TOPSOILING.
- STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

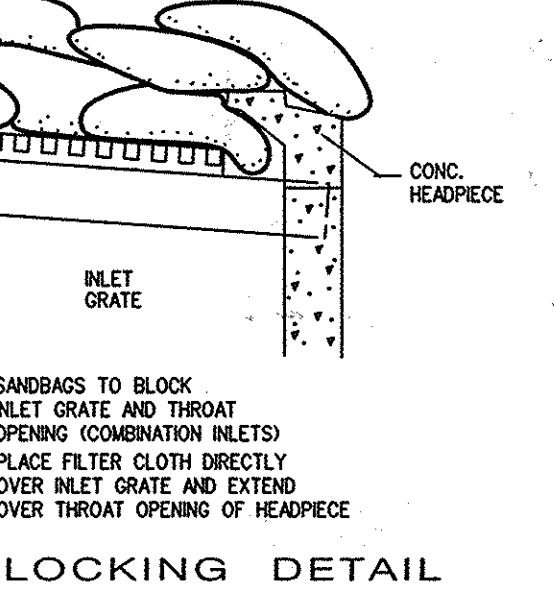
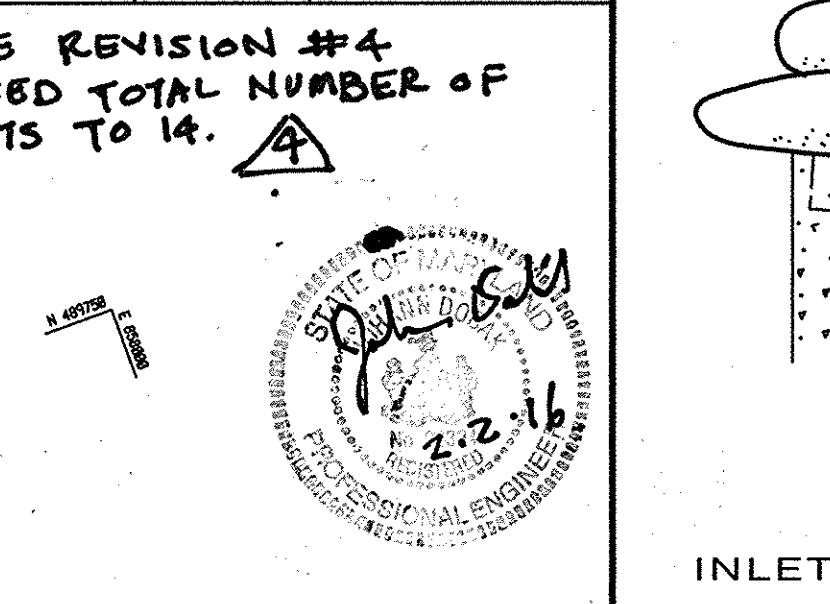
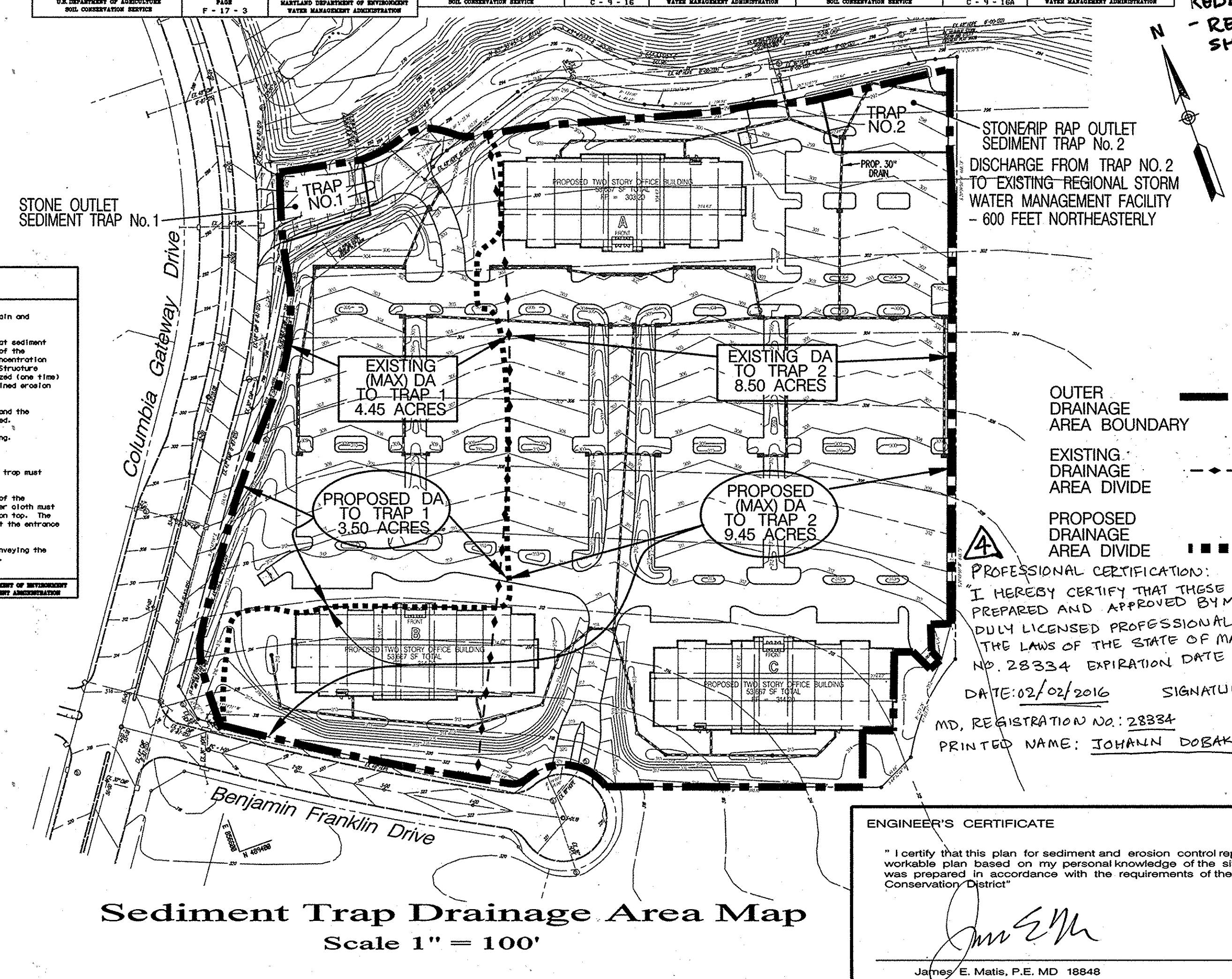
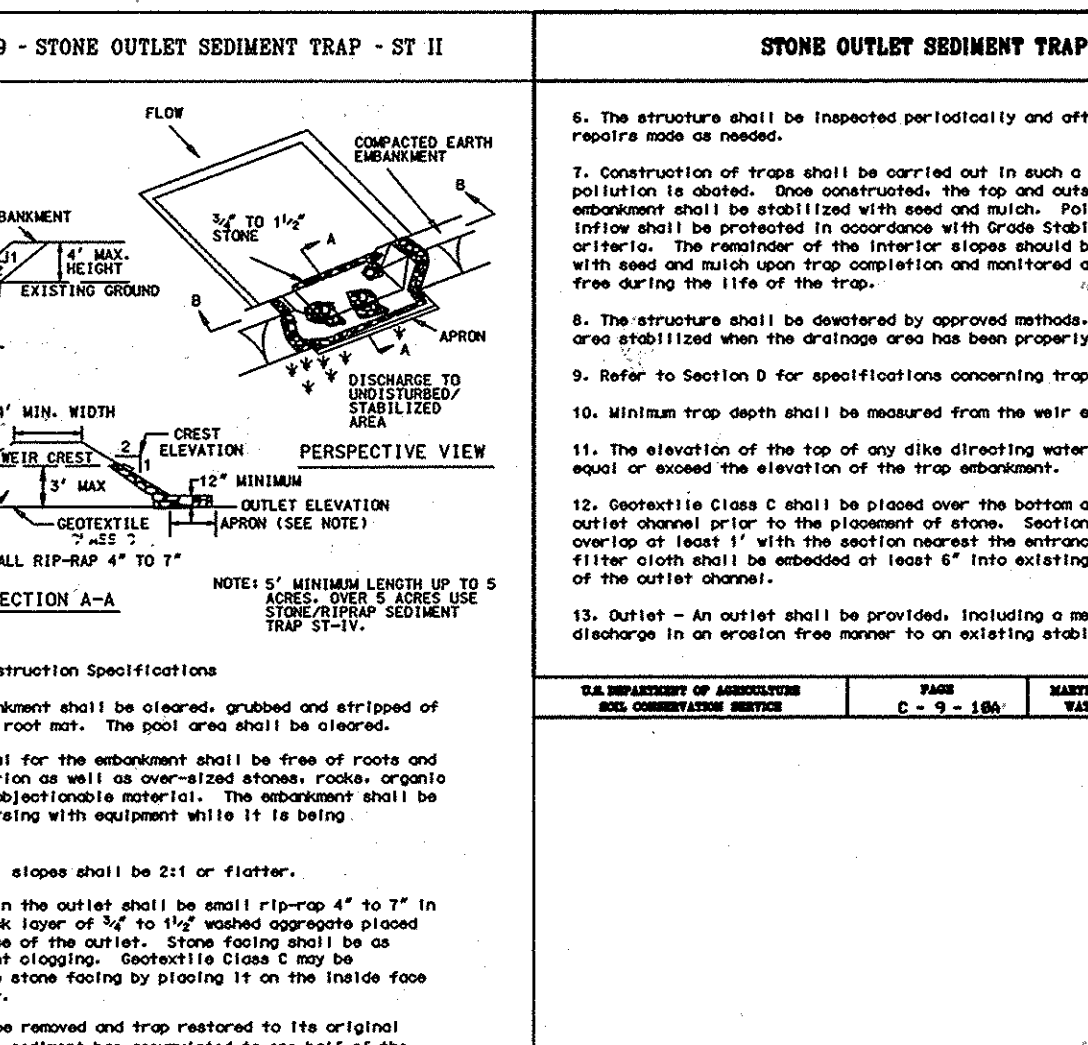


Sediment Control Standard General Notes

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION (315-1855).
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN:
 - A SEVEN CALENDAR DAYS FOR ALL PERMETER SEDIMENT CONTROL STRUCTURES, DIKES, PERMETER SLOPES AND ALL SLOPES GREATER THAN 3:1.
 - FOURTEEN DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE "HOWARD COUNTY MANUAL," STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE "1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL" FOR PERMANENT SEEDINGS, SOOS, TEMPORARY SEEDING, AND MULCHING (SECTION G). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.
7. SITE ANALYSIS:

TOTAL AREA OF SITE	13.37 +/-	ACRES
AREA DISTURBED	13.74 +/-	ACRES
AREA TO BE ROOFED OR PAVED	8.97 +/-	ACRES
AREA TO BE VEGETATIVELY STABILIZED	4.77 +/-	ACRES
TOTAL CUT	9,780 +/-	CUBIC YARDS
TOTAL FILL (INCLUDES 10% COMPACTION)	10,390 +/-	CUBIC YARDS
OFF-SITE WASTE/BORROW AREA LOCATION	N/A	
- ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
- ADDITIONAL SEDIMENT CONTROLS MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY DEPT SEDIMENT CONTROL INSPECTOR.
- ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING SPECIFICATIONS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.
- TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE PIPE LENGTHS OR THAT WHICH SHALL BE BACK-FILLED AND STABILIZED WITHIN ONE DAY, WHICHEVER IS SHORTER.

Matis Warfield
consulting engineers
10540 York road, suite m
hunt valley, maryland 21030
phone 410-683-7904
fax 410-683-7904
www.matiswarfield.com



Developer/Owner
AAK Eastridge, LLC
J. Michael Abrams, Managing Member
Abrams Development Group
5850 Waterloo Road, Suite 230
Columbia, Maryland 21045
Phone (410) 461-4340
Fax (410) 461-5709

Sediment Trap Drainage Area Map
Scale 1" = 100'

ENGINEER'S CERTIFICATE
I certify that this plan for sediment and erosion control represents a practical and workable plan based on my personal knowledge of the site conditions and that it was prepared in accordance with the requirements of the Howard Soil Conservation District.

James E. Matis, P.E. M.D. 18848
DATE: 02/02/2016
SIGNATURE: [Signature]
PRINTED NAME: JOHANN DOBAK, P.E.

DEVELOPER'S CERTIFICATE

I/we certify that all development and construction will be done according to this plan for sediment and erosion control and that all responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of the Environment Approved Training Program for the Control of Sediment and Erosion before beginning the project. I/we authorize periodic on-site inspection by the Howard Soil Conservation District.

For AAK Eastridge, LLC by J. Michael Abrams, Managing Member
Date: 8-2-06

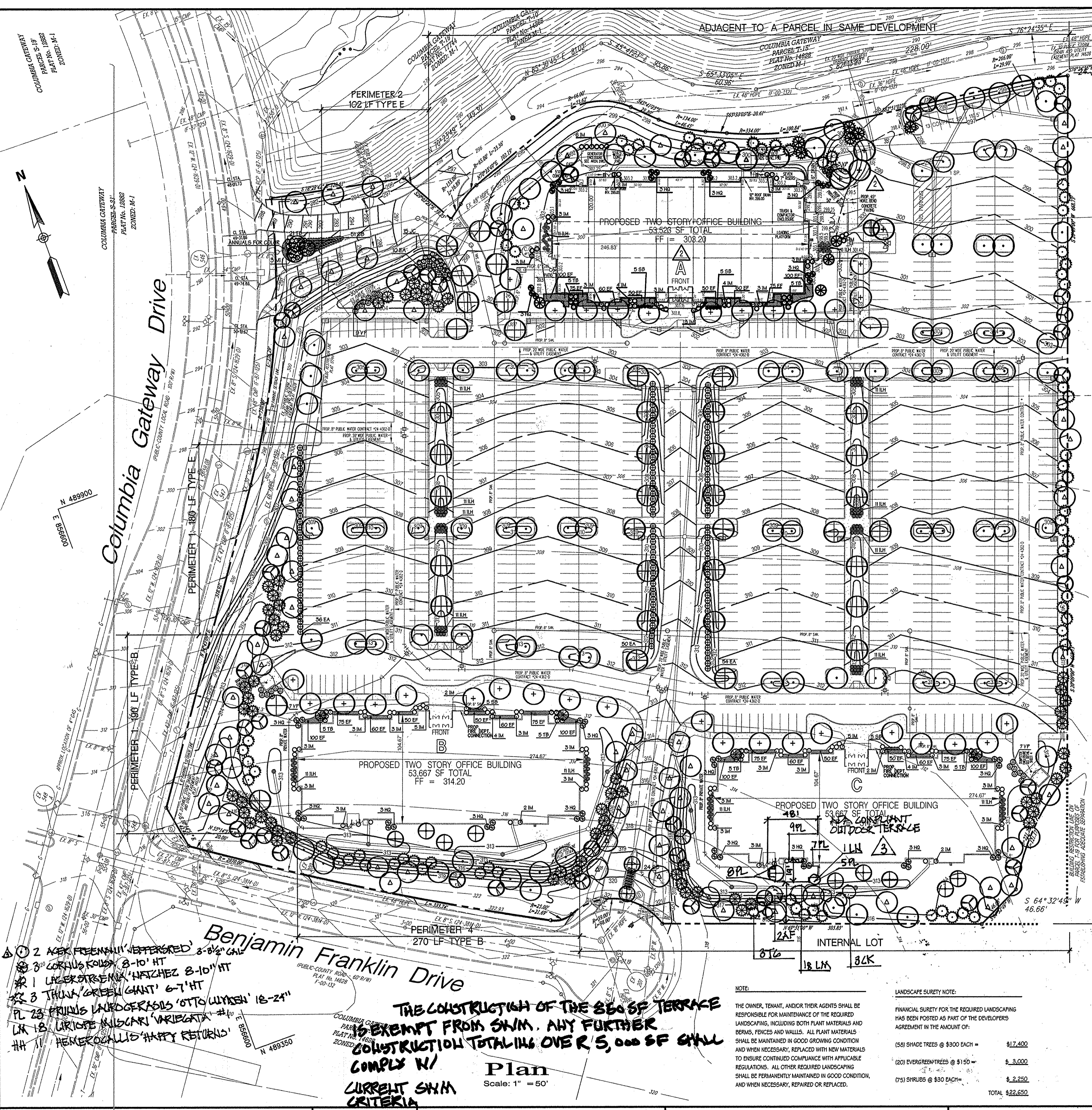
Reviewed for Howard SCD and meets Technical Requirements
J. Michael Abrams
Date: 8/14/06
LIDA - Natural Resources Conservation Service

The Government has approved for soil erosion and sediment control by the HOWARD SOIL CONSERVATION DISTRICT
J. Michael Abrams
Date: 8/14/06
Howard SCD

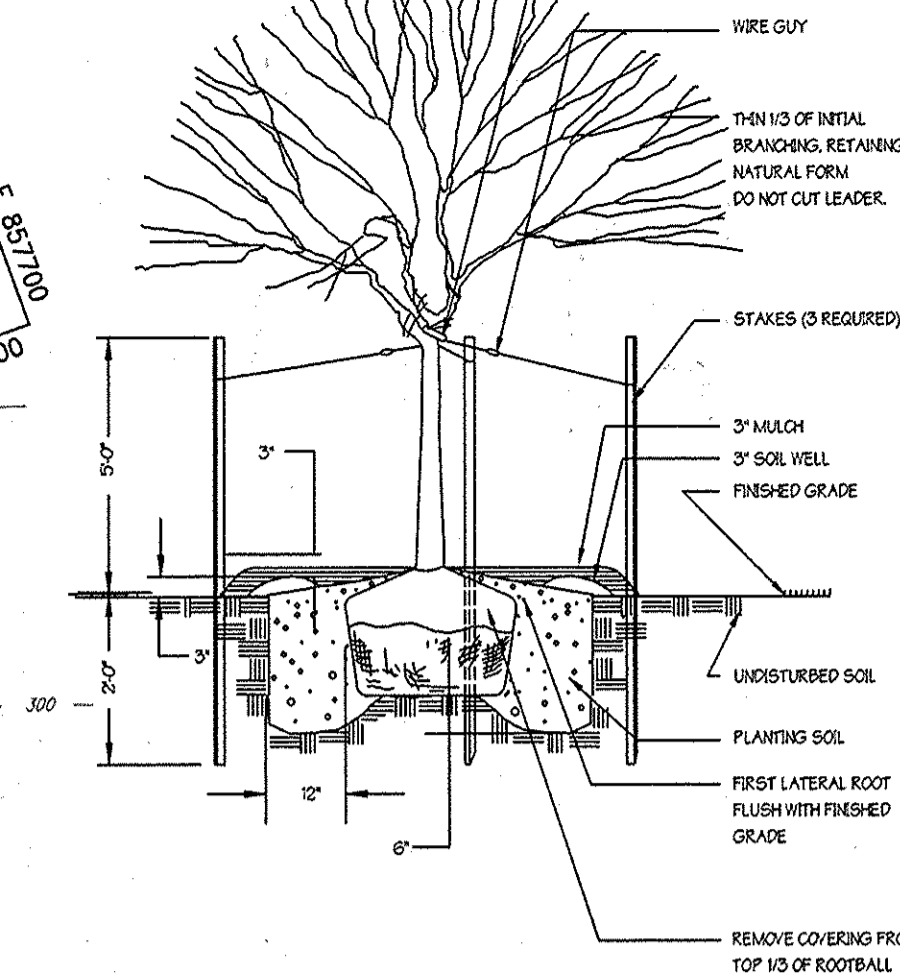
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING
M. K. [Signature]
Date: 8/17/06
Chief, Development Engineering Division
C. [Signature]
Date: 8/29/06
Chief, Division of Land Development
P. [Signature]
Date: 8/29/06
Director

Sediment & Erosion Control Drainage Area Map and Details
Columbia Gateway, Parcel T-18
Proposed Two-Story Office Buildings A, B & C
Eastridge at Columbia Gateway

Howard County, Maryland
Scale: As Shown
August 2, 2006
Sheet 12 of 14
SDP 06-083

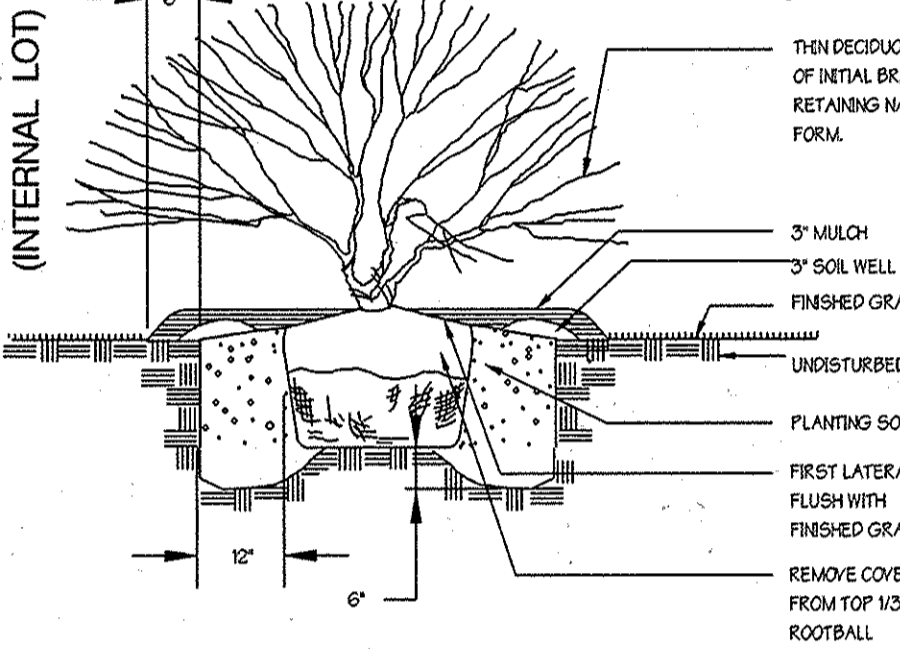


SPECIFICATIONS FOR PLANTING



Tree Planting Detail

PROFESSIONAL CERTIFICATION: NOT TO SCALE
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28334, EXPIRATION DATE APRIL 1, 2017.
 DATE: 02/02/2016 SIGNATURE: [Signature]
 MD. REGISTRATION NO. 28334
 PRINTED NAME: JOHANN DOBAK, P.E.



Shrub Planting Detail

SCHEDULE A
 PERIMETER LANDSCAPE EDGE

Category	Adjacent to Roadway	Adjacent to Perimeter Properties	Dumpster Plants
Perimeter Number	1	2	3
Landscape Type	'B' & 'E'	'E'	N/A
Linear Feet of Roadway Frontage/Perimeter	190/180 LF.	102'	270 LF.
Credits for Existing Vegetation (Yes, No, Linear Feet)	NO	NO	N/A
Credits for Wall, Fence or Berm (Describe below if needed)	NO	102 LF BERM CREDIT FOR 7 SHRUBS	NO
Number of Plants Required	9	3	N/A
Number of Plants Provided	12	3	N/A
Other Trees (21 substitution)	8	3	16
Shrubs (101 substitution)	45	19	

NOTE: STREET TREES BY OTHERS.
 NOTE: AN ADDITIONAL 28 SHADE TREES PER ACRE ARE REQUIRED AS PER COLUMBIA GATEWAY DESIGN AND DEVELOPMENT GUIDELINES.
 TREES OWED = 13.37 A. x 30 = 401 TREES
 TREES PROVIDED = 170 MAJOR TREES @ 2 1/2'-3' CAL = 170
 63 TREES @ 4' CAL = (2) 2 1/2'-3' CAL = 126
 66 ORNAMENTAL TREES = 33
 150 EVERGREEN TREES = 75
 TOTAL PROVIDED = 402

SCHEDULE B
 PARKING LOT INTERNAL LANDSCAPING - REVISED TOTAL # OF SHEETS TO 14

Number of Parking Spaces	736
Number of Trees Required	37
Number of Trees Provided	91
Internal Islands Required	37
Internal Islands Provided (Min. 200 SF)	95

PLANT LIST

KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	CONDITION	REMARKS
△	65	ACER SACCHARINUM GREEN MOUNTAIN GREEN MOUNTAIN SUGAR MAPLE	4" CAL	B & B	AS SHOWN
+	37	GLEDITSIA TRIACANTHOS SHADENMASTER SHADENMASTER HONEYLOCUST	2 1/2'-3' CAL	B & B	AS SHOWN
○	94	QUERCUS PALUSTRIS PIN OAK	2 1/2'-3' CAL	B & B	AS SHOWN
⊕	39	ULMUS PARVIFLORA CHINESE ELM	2 1/2'-3' CAL	B & B	AS SHOWN
⊗	9	LAGERSTROEMIA INDICA MATCHEZ MATCHEZ CRAPENKYTE	7'-8' HT.	B & B	AS SHOWN
MI	44	MALUS INDIAN SUMMER INDIAN SUMMER CRABAPPLE	2-2 1/2' CAL	B & B	AS SHOWN
⊕	14	FRUNUS INCISA X CAMPANULATA OKAME CHERRY	2-2 1/2' CAL	B & B	AS SHOWN
⊗	76	PICEA ABIES NORWAY SPRUCE	6'-7' HT.	B & B	SPACE 17 O.C. STAGGER
⊗	70	PINUS STROBUS EASTERN WHITE PINE	6'-7' HT.	B & B	SPACE 17 O.C. STAGGER
EA	149	EROMYSA ALATIS CONFACTA SWAMP WINGED ELONYMIUS	24-30" SPD	B & B	SPACE 4' O.C. STAGGER
H2	54	HYDRANGEA QUERCIFOLIA SNOW QUEEN SNOW QUEEN OAKLEAF HYDRANGEA	2 1/2'-3' HT.	6 GAL. CONTAINER	SPACE 6' O.C. STAGGER
IM	104	ILEX MESSEYEA BLUE MAID & BLUE PRINCE BLUE MAID & BLUE PRINCE HOLLY	24-30" SPD	3 GAL. CONTAINER	LOCATE 4 MALE HOLLIES PER BLDG.
SB	95	SPIRAEA X BAHAMADA GOLDFLAME GOLDFLAME SPIREA	18-24" SPD	3 GAL. CONTAINER	SPACE 3' O.C. STAGGER
TB	51	TAXUS BACATA REFANGENS ENGLISH SPREADING YEW	18-24" SPD	B & B	SPACE 4' O.C. STAGGER
VP	26	VIBURNUM PLICATUM TOMENTOSUM SHASTA SHASTA VIBURNUM	2 1/2'-3' HT.	B & B	SPACE 9' O.C. STAGGER
IH	154	ITEA VIRGINICA LITTLE HENRY LITTLE HENRY SWEETSPICE	18-24" SPD	CONTAINER	SPACE 9' O.C. STAGGER
JC	15	JUNIPERUS CHINENSIS SARGENTII SARGENT'S JUNIPER	18-24" SPD	CONTAINER	SPACE 3' O.C. STAGGER

PLANTING NOTES:

- This Plan is for planting purposes only.
- This Plan has been prepared in accordance with the provisions of section 16124 of the Howard County Code and the Landscape Manual.
- All plant material shall be nursery grown and shall conform to American Association of Nurserymen latest standards. Plant installation must conform to the minimum standards cited in the latest edition of the "LANDSCAPE SPECIFICATION GUIDELINES" by the Landscape Contractors Association.
- Contractor to notify Miss Utility a minimum of 72 hours prior to digging. Telephone 1-800-257-7777.
- The Landscape Architect is to be notified 48 hours before planting begins. The location of all plants material is to be approved in field by the Landscape Architect.
- No tree or shrub planting pits are to be left open or unattended.
- Shrubs are to be grouped into matched beds. Beds are to be edged and the grass is to be killed or removed prior to mulching.

DEVELOPERS / BUILDERS CERTIFICATE

I/We certify that the landscaping shown on this plan will be done according to the plan, Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Department of Planning and Zoning.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

[Signatures and Dates]
 Chief, Development Engineering Division
 Chief, Division of Land Development
 Director

Matis Warfield
 consulting engineers
 10540 York Road, Suite 100
 Hunt Valley, MD 21086
 Phone: 410-883-7004
 Facsimile: 410-883-1788
 www.matiswarfield.com

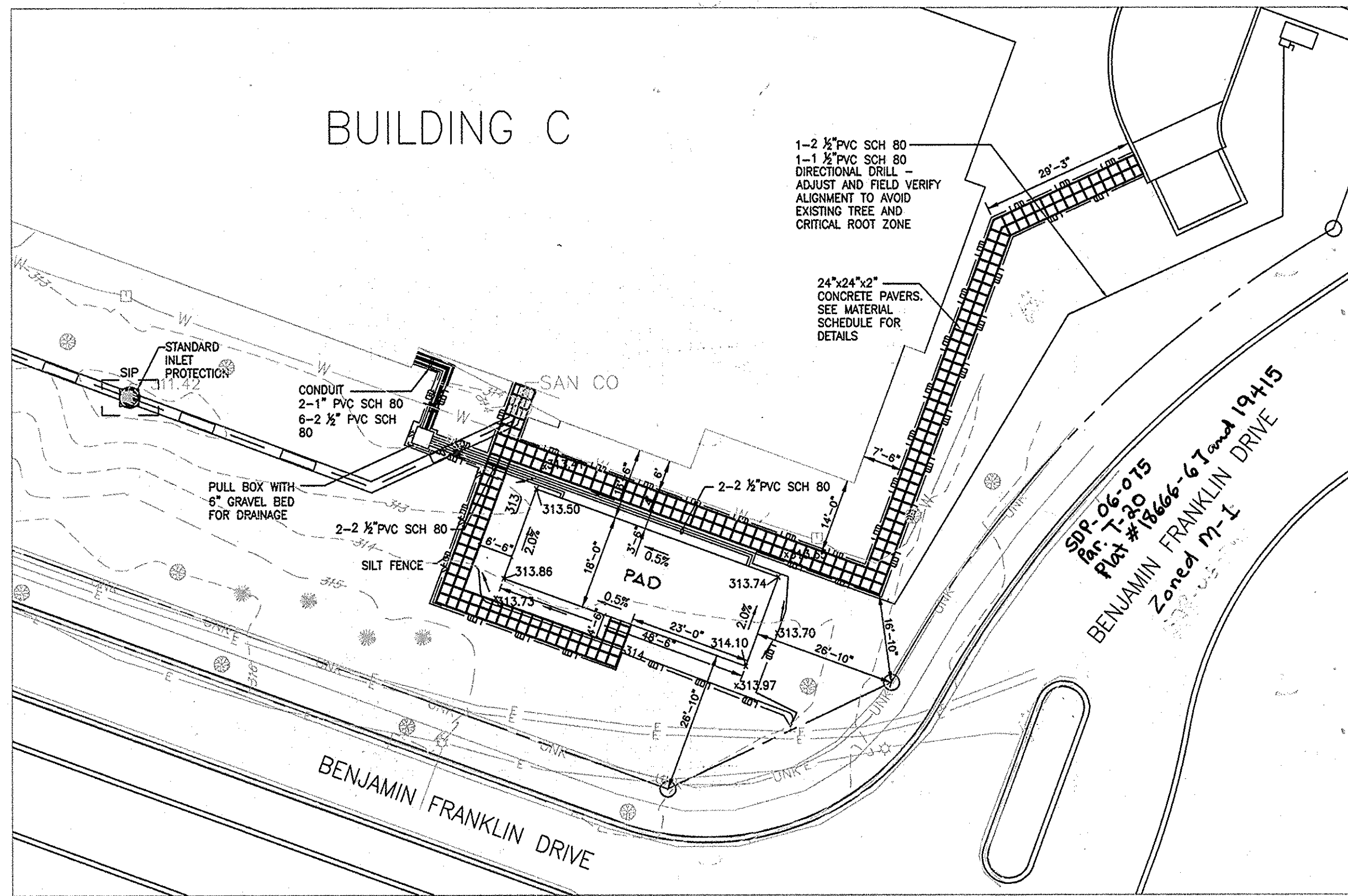
Developer/Owner
 AAK Eastridge, LLC.
 J. Michael Abrams, Managing Member
 Abrams Development Group
 6850 Waterline Road, Suite 230
 Columbia, Maryland 21045
 Phone (410) 461-4340
 Fax (410) 461-5709

LANDSCAPE ARCHITECTS
HUMAN & ROHDE, INC.
 512 Virginia Avenue
 Towson, Maryland 21286
 410 825 3885

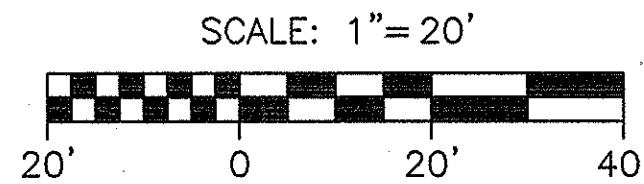
Developer's/Builder's Certificate:
 I/We certify that the landscaping shown on this plan will be done according to the plan, and shall be completed in accordance with this plan per Section 16.124 of the Howard County Code and the Howard County Landscape Manual.
 I/We further certify that upon completion, a Certification of Landscape Installation, accompanied by an executed one year guarantee of plant materials, will be submitted to the Howard County Department of Planning and Zoning.
 For: AAK Eastridge, LLC by J. Michael Abrams, Managing Member
 Date: 8-7-12

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland, License No. 18848, Expiration Date: 09-12-12.
 AUGUST 7, 2012
 REDLINE REVISION NO. 2 (BY MATIS WARFIELD)
 REVISIONS TO THIS SHEET
 OF PLANT MATERIAL ADJOINING BUILDING 'A'
 ADD SERVICE AREA EAST SIDE BUILDING 'A' - PLAN VIEW
 REVISE QUANTITIES OF IM AND SB - PLANT LIST

Revised Final Landscape Plan
 Columbia Gateway, Parcel T-18
 Proposed Two-Story Office Buildings A, B & C
 Eastridge at Columbia Gateway
 Howard County, Maryland
 Scale: As Shown
 August 2, 2006
 Sheet 13 of 14
 SDP 06-083



PLAN



MATERIAL SCHEDULE:

ITEM	QUALITY	MANUFACTURER	STYLE/ COLOR
CONCRETE PAVER 24"x24"x2"	1008 SF+	HANOVER ARCHITECTURAL PRODUCTS 5000 HANOVER ROAD HANOVER, PA 17331 PH 717 637 0500	PREST PAVERS, NATURAL COLOR TUDOR FINISH SEAL WITH HANOVER NATURAL SEALER

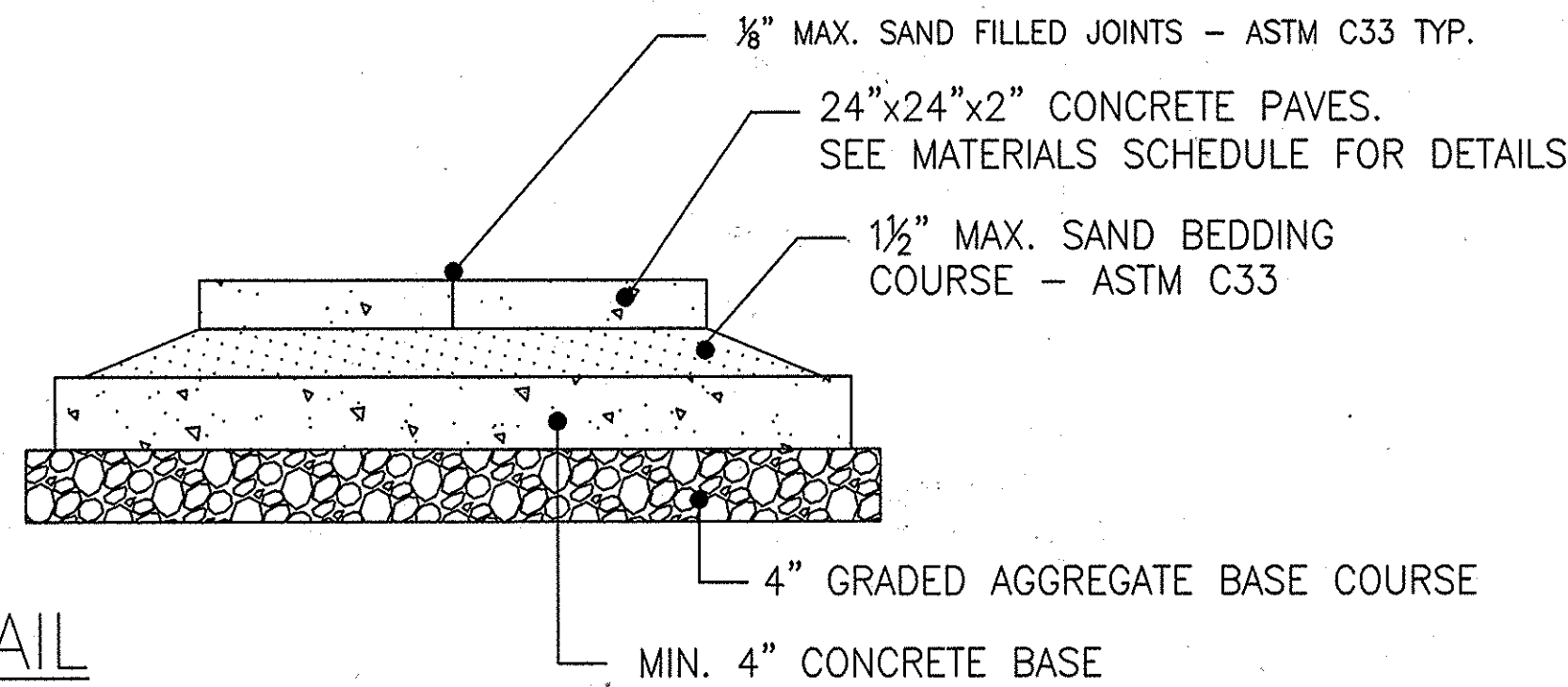
NOTES:

- CONTRACTOR TO DESIGNATE EXISTING UTILITIES ON SITE PRIOR TO ANY DIGGING. CONTRACTOR TO PERFORM TEST PIT AT UTILITY CROSSINGS PRIOR TO TRENCHING.
- CONTRACTOR TO FIELD VERIFY AND ADJUST THE ALIGNMENT OF DIRECTIONAL DRILL CONDUIT TO AVOID EXISTING TREE AND CRITICAL ROOT ZONE.
- SEE ELECTRICAL DRAWINGS FOR CONDUIT ROUTING AND DETAIL.
- CONTRACTOR SHALL INSTALL PAVERS DURING 3 DAYS DRY WEATHER FORECAST PER NOAA AND STABILIZE THE DISTURBED AREA.
- CONTRACTOR SHALL USE LIGHT RUBBER TIRE VEHICLES FOR MINIMUM DISTURBANCE.
- CONTRACTOR SHALL DISTURB ONLY AREA THAT CAN BE STABILIZED AT THE END OF EACH WORKDAY. NO AREAS SHALL BE LEFT UN-STABILIZED OVERNIGHT UNLESS RUNOFF IS DIRECTED TO AN EROSION AND SEDIMENT CONTROL DEVICE.
- WHERE NO SCE IS PROVIDED, THE CONTRACTOR SHALL DESIGNATE PIECES OF CONSTRUCTION EQUIPMENT THAT SHALL BE ALLOWED WITHIN THE LIMIT LIMITS OF DISTURBANCE (LOD). THIS EQUIPMENT SHALL BE KEPT WITHIN THE LOD UNTIL THE PROPOSED WORK IS COMPLETE AND SHALL HAVE TREADS/TIRES CLEANED PRIOR TO LEAVING THE LOD. ALL MATERIAL REMOVAL/LOAD OUT SHALL BE LIFTED FROM THE LOD.

EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE TO ARRANGE THE PRE-CONSTRUCTION CONFERENCE. NO EARTH DISTURBING ACTIVITIES SHALL OCCUR PRIOR TO THIS CONFERENCE TAKING PLACE.

- CLEAR AND GRUB THOSE AREAS NECESSARY FOR INSTALLATION OF PERIMETER SEDIMENT CONTROLS.
- CONSTRUCT AND STABILIZE PERIMETER CONTROLS FOR CONTRIBUTING DRAINAGE AREAS. THESE INCLUDE SILT FENCE AND STANDARD INLET PROTECTION.
- TAKE MEASURES TO ENSURE THAT MUD OR DEBRIS ARE NOT TRACKED ONTO BASE ROADWAYS DURING CONSTRUCTION. ANY MUD OR DEBRIS SHALL BE SWEEP DAILY OR AS NEEDED TO PREVENT DISCHARGE ONTO ADJACENT LAND AND WATER.
- SAME DAY STABILIZATION REQUIRES FOR UTILITY TRENCH TO INSTALL ELECTRICAL CONDUITS.
- CONSTRUCT PROPOSED CONCRETE PAD, UTILITIES AND COMPLETE GRADING WORK. REMOVE ALL DEBRIS FROM THE SITE TO AN APPROVED LOCATION. PROVIDE DEWATERING OF EXCAVATIONS AS NEEDED, DISCHARGE DEWATERING EFFLUENT TO A DEWATERING DEVICE.
- PERMANENTLY STABILIZE ALL DISTURBED AREAS SURROUNDING THE IMPROVEMENTS CONSTRUCTED.
- UPON FINAL STABILIZATION OF DISTURBED AREAS, THE CONTRACTOR SHALL REQUEST FINAL INSPECTION. UPON APPROVAL BY THE OWNER'S REPRESENTATIVE, THE PERIMETER CONTROLS CAN BE REMOVED AND THOSE AREAS STABILIZED. SWEEP ALL PAVED AREAS.



PAVERS DETAIL

PROFESSIONAL CERTIFICATION:

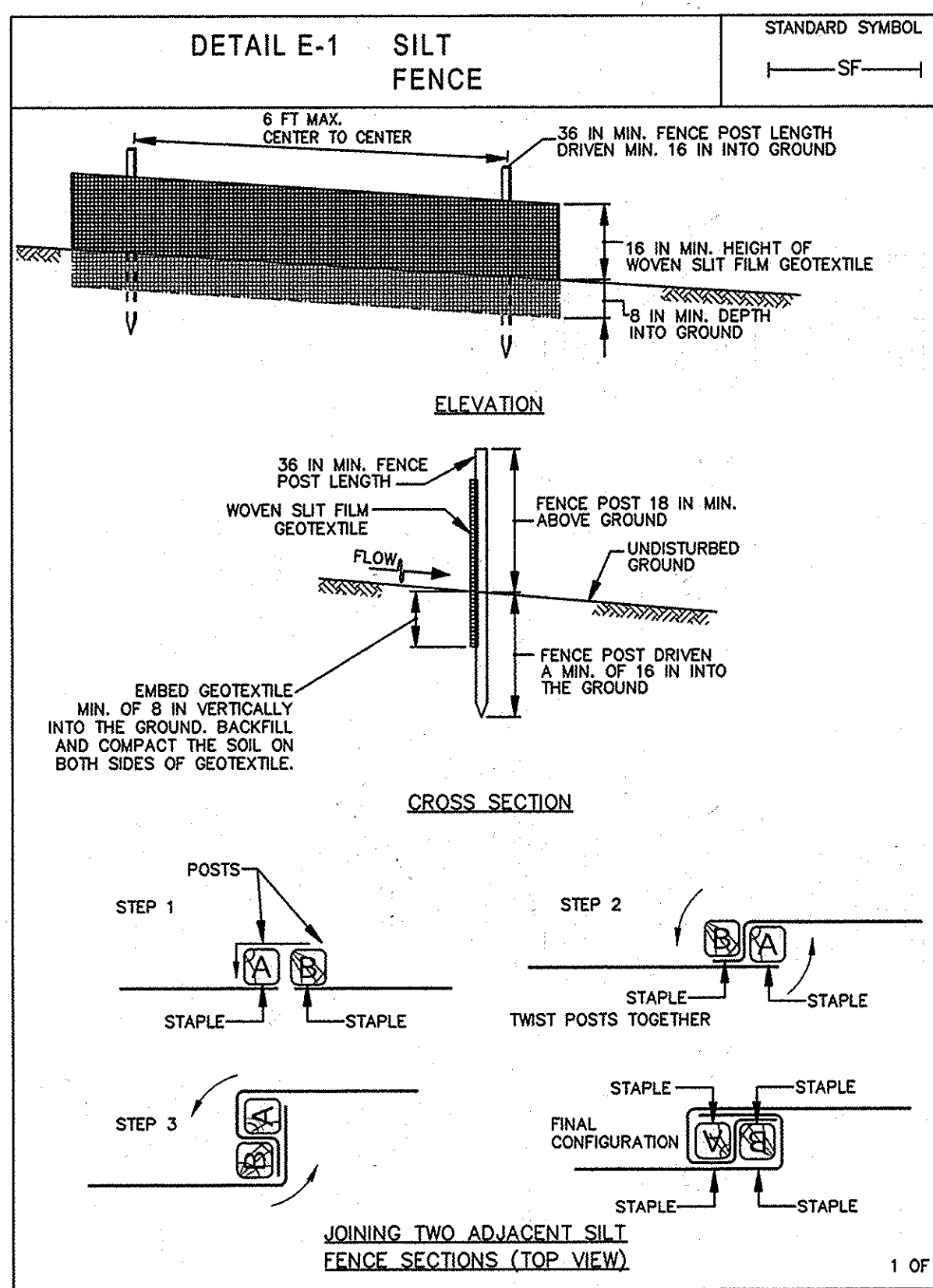
"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED AND APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28334, EXPIRATION DATE APRIL 1, 2017."

DATE: 2-2-16

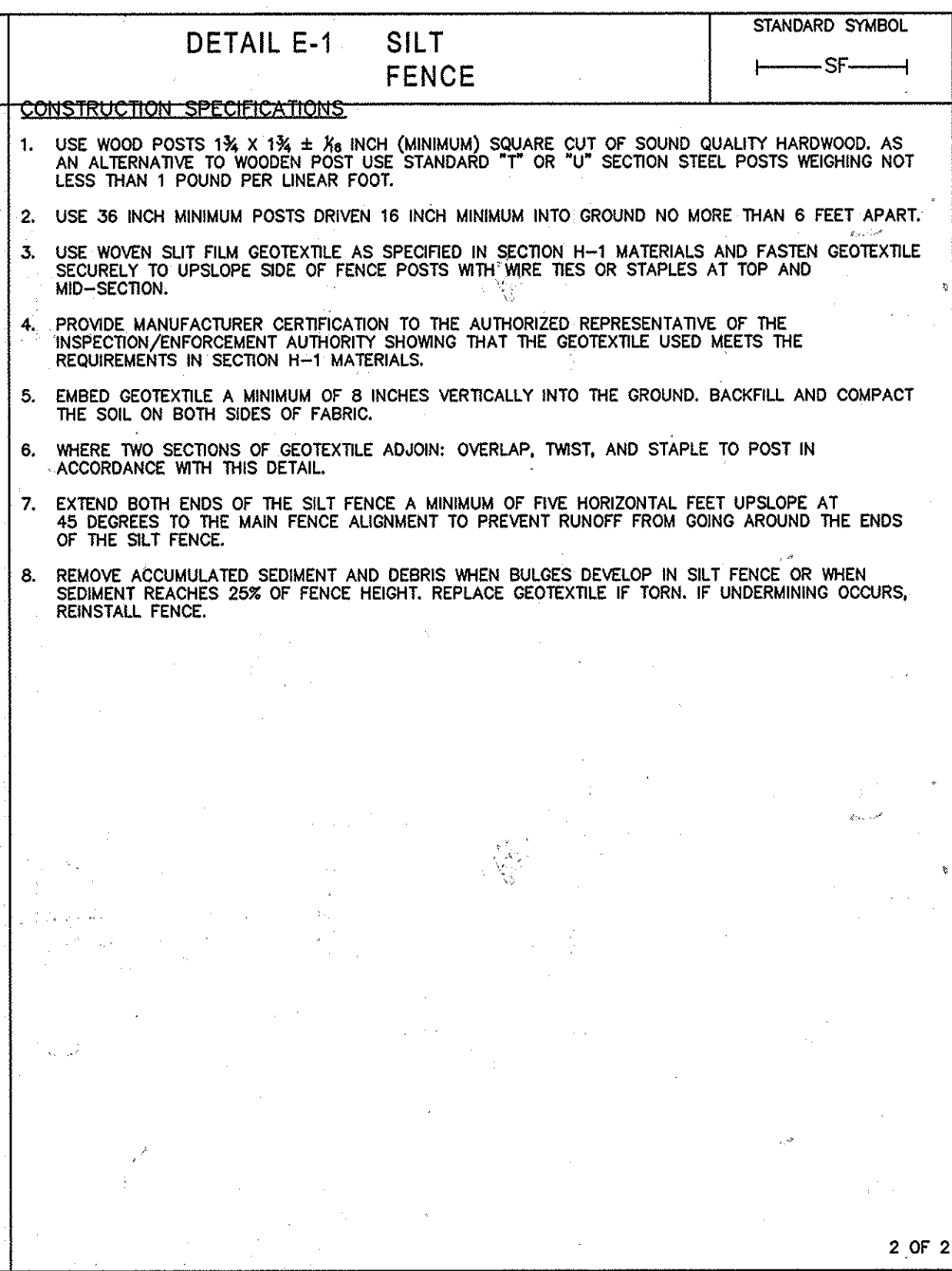
SIGNATURE: *John Dobak*

MD, REGISTRATION NO.: 28334

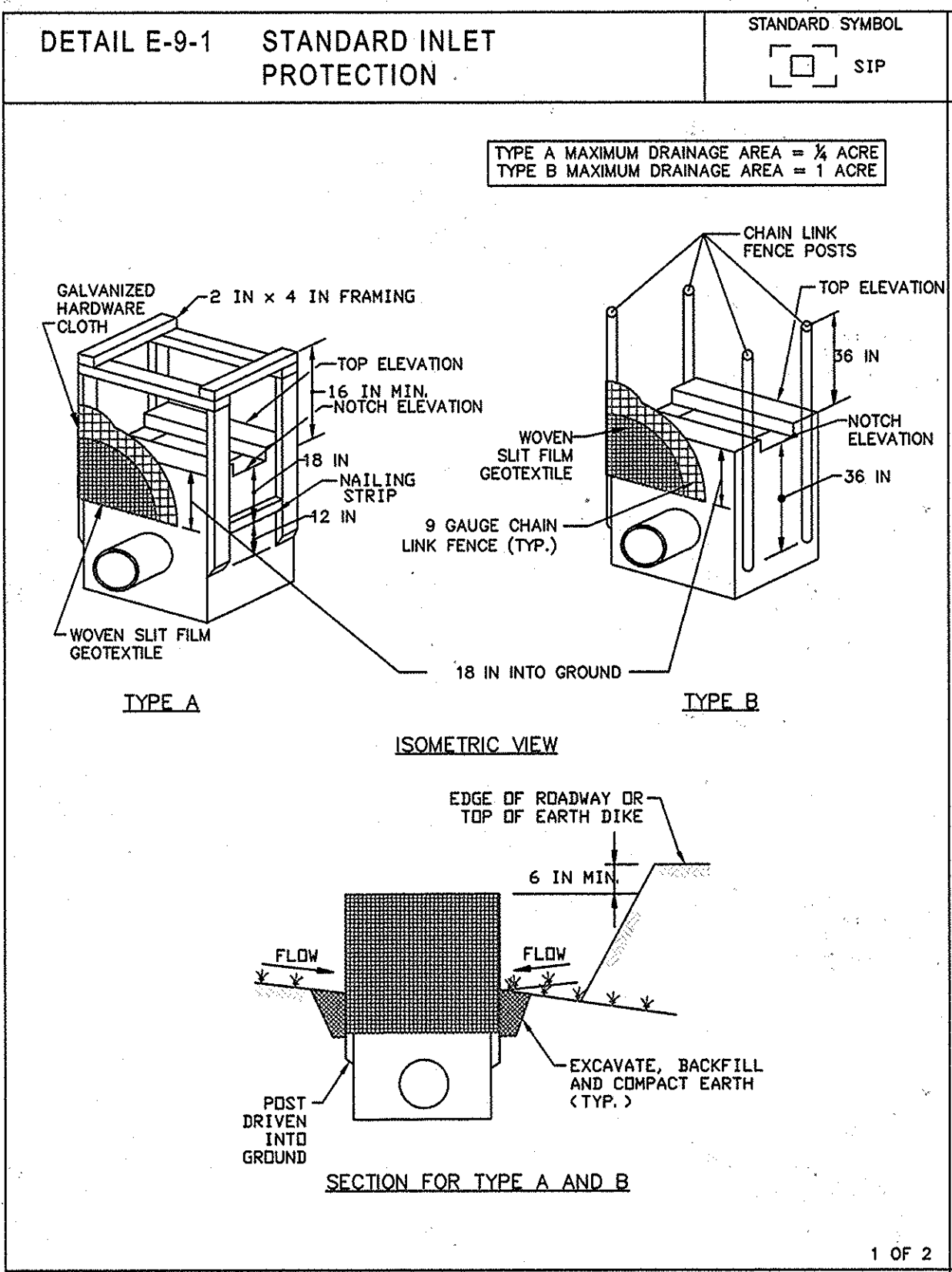
PRINTED NAME: JOHANN DOBAK, P.E.



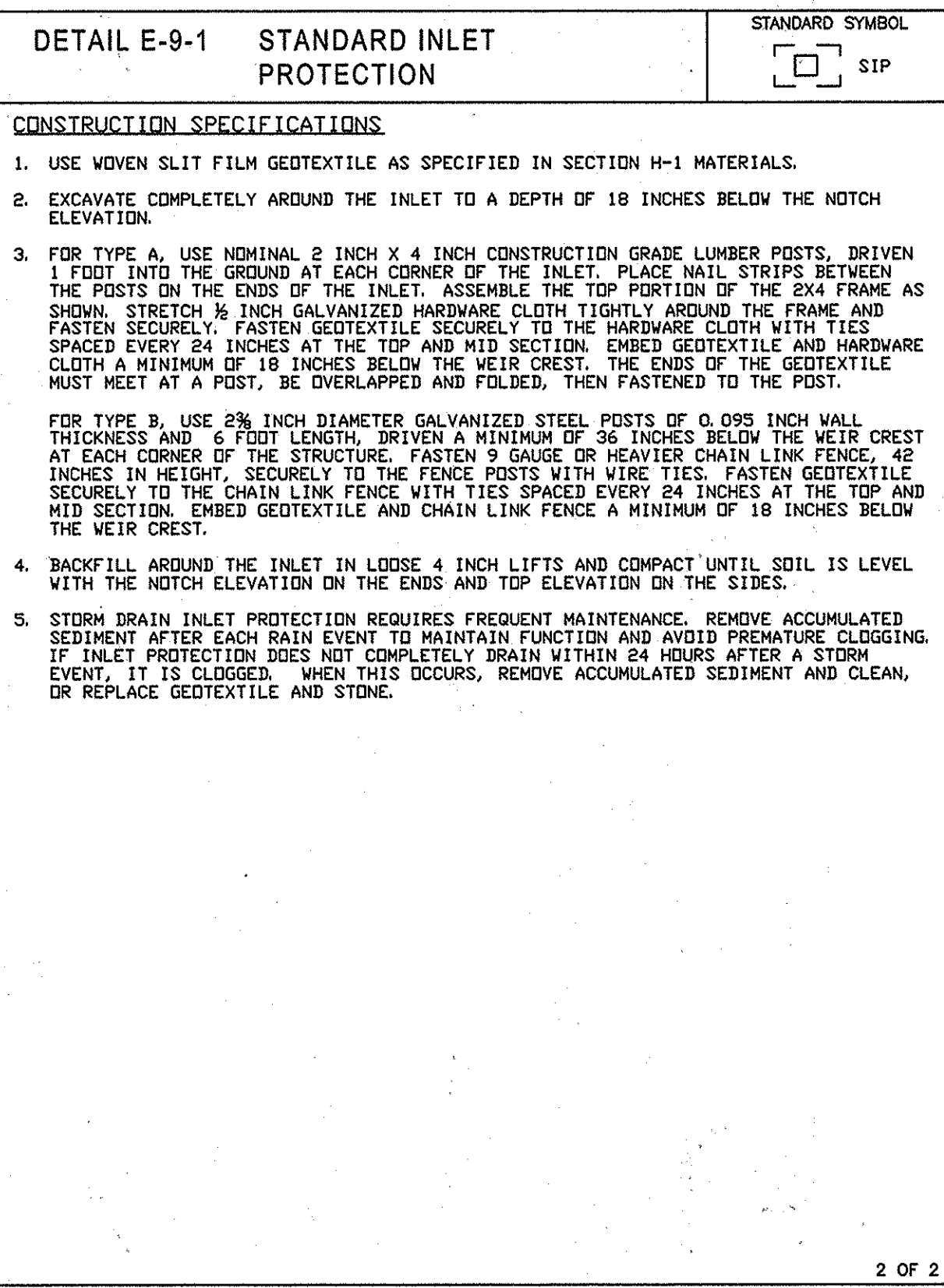
SILT FENCE DETAIL



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE. 2011.



STANDARD INLET PROTECTION



MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. U.S. DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE. 2011.

REDLINE REVISION NO. 3

ADD CONCRETE PAD FOR GENERATOR AT SOUTH EAST CORNER OF BUILDING C. THE PROPOSE WORK INCLUDE ADDITION STANDBY GENERATOR, AND ASSOCIATED CONDUIT, TO BACKUP ENTIRE BUILDING INCLUDING PAD, BRICK ENCLOSURE, AND POWER HOOK UP FOR ROLL UP TRAILER.

THE IMPROVEMENTS FOR THIS REVISION ARE UNDER 2,000 SFT SO IT IS EXEMPT FROM PROVIDING STORMWATER MANAGEMENT. ANY FUTURE REVISIONS THAT TOTAL OVER 5,000 SFT WILL BE REQUIRED TO MEET CURRENT STORMWATER MANAGEMENT REQUIREMENTS.

APPROVED HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

Chief, Development Engineering Division 2-16-16 Date
Chief, Division of Land Development 2-23-16 Date
Director 2-23-16 Date

KTA Group Inc
 2553 Dulles View Drive
 Suite 400
 Herndon, VA 20171
 (703) 713-0300 Phone
 (703) 935-7588 Fax
 www.KTAGROUP.com

RITTER-NORTON ARCHITECTS
 814 King Street, 3rd Floor
 Alexandria, Virginia 22314
 703.548.4405 T.
 703.548.4910 F.
 www.ritternorton.com

ALPHA CORPORATION
 21351 RIDGETOP CIRCLE
 SUITE 200
 DULLES, VA. 20166
 (703) 450-0800
 www.alphacorporation.com

Project: SANDY SPRING BANK GENERATOR PROJECT
 COLUMBIA, MARYLAND

Issued For:
 Owner's Review 10.29.15
 90%/LL Review 11.17.15

SITE PLAN
 REVISED SHEET
 Columbia Gateway
 Parcel T-18

Scale: AS-SHOWN
 Drawn: NPT
 Checked: TM
 Date: 01.06.16

C2.0
 Sheet 14 of 14
 SDP-06-083