

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS, BUREAU OF ENGINEERING, CONSTRUCTION INSPECTION DIVISION AT (410) 315-1800 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-TTTT AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- PROJECT BACKGROUND:
LOCATION: TAX MAP #46, GRIDS 3 & 4
ZONING: MXD-3
ELECTION DISTRICT: 5TH
PARCEL C-19 AREA: 4.7710 AC.
REG. REF.: FLAT # 17184, 17185, 18711-18712 AND 18243-18244
- THE CONTRACTOR SHALL NOTIFY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS, BUREAU OF UTILITIES AT (410) 315-4900 AT LEAST FIVE (5) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION WORK.
- PROPOSED USE: OFFICE BUILDINGS
- ALL PLAN DIMENSIONS ARE TO FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY IS SHOWN PER FIELD SURVEY INFORMATION BY GUTSCHICK, LITTLE & WEBER, P.A. BY DESIGN GRADES FROM DESIGN PLANS FOR CONSTRUCTION.
- COORDINATES AND BEARINGS ARE BASED UPON THE '93 MD STATE COORDINATE SYSTEM (NAD '83) AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS NO. 41EA, 41EB, 41GA AND NO. 46B2.
- PROPERTY IS ZONED MXD-3 PER THE 02/02/04 COMPREHENSIVE ZONING PLAN. PER ZB-195M WAS APPROVED 2/8/01 GRANTING APPROVAL TO FDP.
- See Department of Planning 4 Zoning File numbers: S-01-11, ZB-195M, PB-253, NP-01-11(1), NP-02-24(1), P-02-12, F-03-07, F-04-35, F-04-115, F-05-07B, F-05-112, F-06-140, SDP-05-036, F-05-7B, F-06-140, S-06-16, ZB-1029A, F-07-18, SDP-07-43, NP-07-122 AND F-07-183.
- WATER AND SEWER SERVICE IS PUBLIC.
- FOR EXISTING PUBLIC WATER AND SEWER SEE CONTRACTS 24-4062-D, 24-4243-D AND 24-4342-D.
- ALL EXISTING PUBLIC STORM DRAIN IS PER F-03-07.
- STORMWATER MANAGEMENT IS BEING PROVIDED BY F-03-07, ALONG WITH A DRYWELL AND STORMCEPTOR ON THIS SITE PLAN.
- RECORDING REFERENCE: PLAT NOS. 18711-12, 17184-85 AND 18243-18244.
- EXISTING UTILITIES ARE BASED ON APPROVED DESIGN PLANS FOR CONSTRUCTION AND FIELD LOCATION BY GUTSCHICK, LITTLE & WEBER, P.A.
- THERE ARE NO KNOWN CEMETERIES, GRAVE SITES OR HISTORIC STRUCTURES LOCATED ON THE SUBJECT PROPERTY.
- THERE ARE NO SCENIC ROADS WITHIN OR ADJACENT TO THE SUBJECT PROPERTY.
- THERE IS NO FLOODPLAIN WITHIN PARCEL C-19.
- THERE ARE NO WETLANDS WITHIN PARCEL C-19.
- THIS PROPERTY HAS BROUGHT INTO THE METROPOLITAN DISTRICT ON AUGUST 8, 2001.
- BUILDING SETBACKS AND BUILDING RESTRICTIONS ARE IN ACCORDANCE WITH THE APPROVED DEVELOPMENT CRITERIA PER FB CASE NO. 353 AND S-01-11.
- AS A CONSEQUENCE OF THE SKETCH PLAN, S-01-11 APPROVAL PRIOR TO NOVEMBER 15, 2001, THIS PROJECT IS GRANDFATHERED TO THE FOURTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS.
- OPEN SPACE LOTS CONTAIN ACTIVE RECREATIONAL FACILITIES AS ALLOWED BY THE APPROVED COMPREHENSIVE DEVELOPMENT CRITERIA.
- PHASING FOR THIS PROJECT IS IN ACCORDANCE WITH THE DECISION AND ORDER FOR ZB-195M AND THE DECISION AND ORDER FOR FB CASE NO. 353 (S-01-11).
- THE TRAFFIC STUDY HAS APPROVED AS PART OF SKETCH PLAN S-01-11.
- WATER AND SEWER HOSE CONNECTION LIMITS SHOWN ON THESE PLANS IS FROM THE ROAD R/W TO WITHIN 5' OF THE BUILDING. REFER TO ARCHITECTURALS FOR REMAINDER ON CONSTRUCTION.
- FOREST CONSERVATION FOR THIS SITE HAS BEEN PROVIDED UNDER F-03-07.
- ALL EASEMENTS (PUBLIC AND PRIVATE) SHOWN ON THESE PLANS ARE PER RECORDS PN 18711-12 & FLAT #1823 THRU 18624, UNLESS OTHERWISE NOTED.
- BECAUSE THIS PLAN SUBMISSION IS NON-RESIDENTIAL USE, A NOISE STUDY IS NOT REQUIRED.
- BUILDINGS WILL HAVE AN AUTOMATIC FIRE PROTECTION SPRINKLER SYSTEM W/ AN INSIDE WATER.
- THIS OFFICE BUILDING IS LOCATED IN AN EMPLOYMENT AREA WHICH IS NOT PART OF A RETAIL CENTER.
- SEE SHEETS 9 AND 10 FOR LANDSCAPE/SURETY REQUIREMENTS.
- THE SHARED ACCESS AND PARKING REQUIREMENT FOR PARCELS "C-1" THRU "C-4" IS COVERED BY SECTION 1011, ACCESS AND PARKING EASEMENT IN "ANNEXED" AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR MAPLE LAWN COMMERCIAL ASSOCIATION, INC. AND RECORDED AMONG THE LAND RECORDS OF HOWARD COUNTY, MARYLAND IN LIBER 174H AT FOLIO 250.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE ORIENTED TO DIRECT LIGHT INWARDS AND DOWNWARDS AWAY FROM ALL ADJOINING RESIDENTIAL USE AREAS AND PUBLIC ROADS IN ACCORDANCE WITH SECTION 154 OF THE HOWARD COUNTY ZONING REGULATIONS.
- ON NOVEMBER 14, 2004 THE HOWARD COUNTY PLANNING BOARD APPROVED SDP-05-036 (OFFICE BLDG. NO.2) WITH THE REQUESTED SETBACK REDUCTIONS FROM 15' TO 12.5' BETWEEN THE BUILDING AND ADJACENT PARKING AREAS AS REQUIRED BY THE DEVELOPMENT CRITERIA. THIS PLAN (SDP-06-061) HAS APPROVED BY THE HOWARD COUNTY PLANNING BOARD ON JANUARY 18, 2006.
- THE LOWER LEVEL IS TO BE UTILIZED FOR STORAGE AND MECHANICAL EQUIPMENT ONLY. THE LOWER FLOOR DOES NOT COUNT TOWARDS THE F.A.R. OR PARKING REQUIREMENT. HOWEVER, IF ANY PORTION OF THE LOWER LEVEL IS CONVERTED TO OFFICE OR RETAIL USE, THEN THE F.A.R. AND PARKING TABULATIONS SHALL BE REVISED ON A FUTURE REDLINE ACCORDINGLY.

NP-07-122 HAS APPROVED ON JUNE 19, 2001 TO WAIVE SECTION 16146 AND TO ALLOW FOR THE RECONFIGURATION OF EXISTING COMMERCIAL PARCELS (ONE OF WHICH IS THIS PARCEL C-19) EXPANDING INTO A PORTION OF THE WESTSIDE DISTRICT (FORMERLY NEESEL PROPERTY) ON A RESUBDIVISION FLAT PRIOR TO PRELIMINARY PLAN APPROVAL.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.

Handwritten Signature
Date: 1/18/06

APPROVED PLANNING BOARD OF HOWARD COUNTY

DATE: JANUARY 18, 2006

vs

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Handwritten Signature* Date: 1/18/06

Chief, Division of Land Development: *Handwritten Signature* Date: 1/18/06

Chief, Development Engineering Division: *Handwritten Signature* Date: 1/18/06

GLWGUTSCHICK LITTLE & WEBER, P.A.

CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS

3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

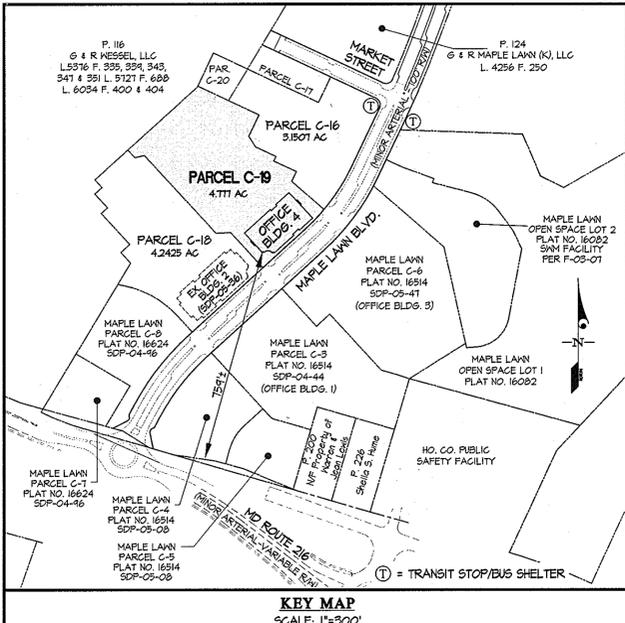
1/7/11 Rev. Bmnt. G.F. Bldg #4
6/4/10 added note SDP-10-002 & F-10-006 note
7/31/07 revise pl on key map & vicinity map; update general notes, f.a.r. chart, site analysis data and parking charts

SITE DEVELOPMENT PLAN

MAPLE LAWN FARMS

OFFICE BUILDING 4

PARCEL C-19



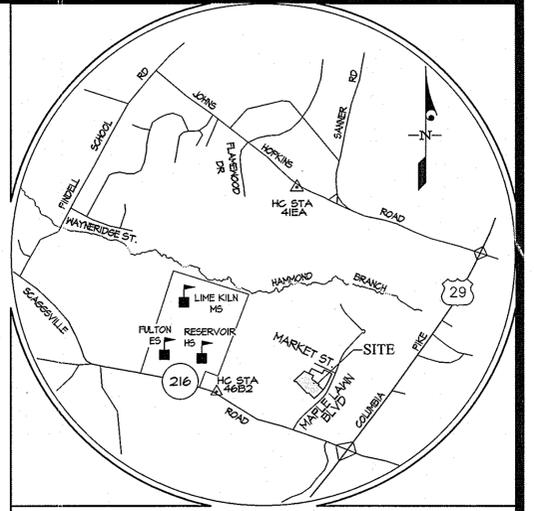
BENCHMARKS

416A ELEV. = 462.16
STANDARD DISC ON CONCRETE MONUMENT

46B2 ELEV. = 414.67
STANDARD DISC ON CONCRETE MONUMENT

SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- SITE DEVELOPMENT PLAN
- SITE DETAILS
- STORM DRAIN & UTILITY PROFILES
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- STORM DRAIN DRAINAGE AREA MAP
- LANDSCAPE PLAN
- LANDSCAPE NOTES AND DETAILS



FLOOR AREA RATIO (F.A.R.) TRACKING CHART

DPZ FILE No.	PARCEL AREA	FLOOR AREA	F.A.R.
SDP-04-44 (Office Bldg. 1)	4.40 AC. (19,150 S.F.)	43,945 S.F.	0.41
SD-04-46 (Retail Bldg. 1 & Bank)	3.11 AC. (13,433 S.F.)	24,088 S.F.	0.17
SDP-05-08 (Retail Bldg. 2 & Gas Station)	3.20 AC. (13,920 S.F.)	22,218 S.F.	0.16
SDP-05-036 (Office Bldg. 2)	4.24 AC. (18,402 S.F.)	43,945 S.F.	0.51
SDP-05-047 (Office Bldg. 3)	5.58 AC. (24,230 S.F.)	120,340 S.F.	0.41
SDP-06-061 (Office Bldg. 4)	4.78 AC. (208,087 S.F.)	100,288 S.F.	0.48
SUB-TOTAL	25.91 AC. (1,105,122 S.F.)	454,824 S.F.	0.41
RECORDED EMPLOYMENT LAND REMAINING ①	20.05 AC. (873,623 S.F.)		
BUILDABLE EMPLOYMENT LAND RECORDED ②	45.43 AC. (1,978,745 S.F.)	10,44 ac. total	0.23
EMPLOYMENT LAND RECORDED AS R.O.W. ③	10.43 AC. (454,826 S.F.)		
TOTAL EMPLOYMENT LAND RECORDED	55.86 AC. (2,433,371 S.F.)	10,44 ac. total	0.14

- Recorded area of buildable parcels to be developed as commercial improvements under future (subsequent) SDPs.
- The running total of buildable employment land recorded to date with the recordation of plats 18243/44 (for F-07-183).
- Recorded area of Market Street and Maple Lawn Blvd. R.O.W. that is in the employment land use region shown on the CSP (S-01-11).

MP-01-11
VEHICULAR INGRESS AND EGRESS TO MARYLAND ROUTE 216 AND ALONG PROPOSED MAPLE LAWN BOULEVARD EXTENSION THROUGH THE SUBDIVISION IS RESTRICTED, EXCEPT AT THE VARIOUS POINTS OF ACCESS TO BE APPROVED BY THE DEPARTMENT OF PLANNING AND ZONING UNDER THE CONDITIONS OF NP-01-11(1), WHICH WAS GRANTED ON MAY 2, 2001, ALLOWING THE FOLLOWING:

- ADDITIONAL POINTS ALONG MAPLE LAWN BOULEVARD OTHER THAN THOSE PERMITTED BY SECTION 1614(1)(1), SUBJECT TO FURTHER ANALYSIS AND APPROVALS AT LATER PLAN STAGES, AND
- RESIDENTIAL LOTS FRONT ON NEIGHBORHOOD PARKS INSTEAD OF BEING LIMITED TO FRONTAGE ON PUBLIC RIGHTS OF WAY AS IN SECTION 1612(C)(2), SUBJECT TO ADEQUATE PRIVATE ALLEY ACCESS.

MP-02-54
NO GRADING, REMOVAL OF VEGETATIVE COVER OR TREES, OR PLACEMENT OF NEW STRUCTURES IS PERMITTED WITHIN LIMITS OF WETLANDS, STREAMS OR THEIR REQUIRED BUFFERS, AND 100 YEAR FLOOD PLAN AREAS EXCEPT AS PERMITTED UNDER NP-02-54, NP-02-54 WAS GRANTED ON APRIL 2, 2002, ALLOWING THE FOLLOWING:

- DEVELOPMENT WITHIN A 100 YEAR FLOODPLAIN, AND
- GRADING AND REMOVAL OF VEGETATIVE COVER WITHIN A 25' WETLAND BUFFER AND A 50' STREAM BUFFER.

THE APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:

- THE MAVER PETITION APPROVAL PERTAINS TO THE LIMITS OF DISTURBANCE TO THE WETLANDS, STREAM CHANNEL, AND FLOODPLAIN AREAS IDENTIFIED WITHIN THE PROPOSED EMPLOYMENT DISTRICT LOCATED IN THE SOUTHEAST PORTION OF PARCEL C-2.
- WATERWAY CONSTRUCTION APPROVAL IS REQUIRED PRIOR TO ROAD PLAN APPROVAL.
- ALL GRADING, CLEARING AND FILLING DISTURBANCES WITHIN THE 100 YEAR FLOODPLAIN, WETLANDS, STREAM CHANNEL AND THEIR REQUIRED BUFFERS ARE SUBJECT TO OBTAINING ALL NECESSARY WATER QUALITY CERTIFICATES AND PERMITS FROM THE MARYLAND DEPARTMENTS OF THE ENVIRONMENT NATURAL RESOURCES AND THE U.S. ARMY CORPS OF ENGINEERS, AND PRIOR TO COMMENCEMENT OF ANY GRADING DISTURBANCES, REFERENCE THE APPROVED PERMITS, CERTIFICATES OR TRACKING NUMBERS ON ALL FUTURE PLAN AND PERMIT SUBMITTALS.
- THE PHASE I STREAM CHANNEL MITIGATION AND RESTORATION PLAN SHALL BE IMPLEMENTED FOR THIS PROJECT AS PROPOSED AND SHOWN ON THE PETITIONER'S MAVER PETITION PLAN EXHIBIT "E".

EMPLOYMENT

PARCEL SIZE
NO MINIMUM OR MAXIMUM PARCEL SIZES APPLY IN THE EMPLOYMENT LAND USE AREAS.

HEIGHT
MAXIMUM BUILDING HEIGHT SHALL BE LIMITED TO 120' UNLESS APPROVED TO BE GREATER ON A SITE DEVELOPMENT PLAN BY THE HOWARD COUNTY PLANNING BOARD. ADDITIONALLY, THE FOLLOWING SHALL APPLY:

- COMMERCIAL BUILDINGS AT THE CORNER OF JOHNS HOPKINS ROAD AND SANNER ROAD (MAPLE LAWN BOULEVARD) PARCEL A-3 NOT EXCEED THREE STORIES.
- COMMERCIAL BUILDINGS EAST OF SANNER ROAD (MAPLE LAWN BOULEVARD), PARCEL A-2 AT THE FOCAL POINT SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT WITHIN 300 FEET OF MD ROUTE 216 SHALL NOT EXCEED ONE STORY.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT LOCATED BETWEEN 500 FEET AND 500 FEET FROM MD ROUTE 216 SHALL NOT EXCEED FOUR STORIES.
- COMMERCIAL BUILDINGS IN THE WORKPLACE DISTRICT BEYOND 500 FEET OF MD ROUTE 216 SHALL NOT EXCEED EIGHT STORIES.

PERMITTED USES
THE FOLLOWING USES ARE PERMITTED IN EMPLOYMENT LAND USE AREAS:

- EMPLOYMENT USES PERMITTED ONLY WITHIN M-1 ZONING DISTRICT SHALL NOT BE PERMITTED. ALL USES PERMITTED AS A MATTER OF RIGHT IN THE FOR, B-1 AND M-1 DISTRICTS, AS PER PETITIONER'S FDP EXHIBIT 10, WITHOUT REGARD TO ANY LIMITATIONS OR RESTRICTIONS ON RETAIL OR PERSONAL SERVICE USES OTHERWISE PERMITTED IN SUCH DISTRICTS; FAST FOOD, CONVENIENCE STORES, COUNTRY CLUBS AND GOLF COURSES, MOVIE THEATERS, LEGITIMATE THEATERS AND DINER THEATERS, PUBLIC UTILITY USES (EXCLUDING STAND-ALONE COMMUNICATION TOWERS), GROUP CARE FACILITIES, HOUSING FOR THE ELDERLY AND/OR HANDICAPPED PERSONS, NURSING HOMES AND SHELTERED HOUSING. PARCEL A-2 MAY CONTAIN LIVE-WORK UNITS AS DEFINED IN THE OTHER RESIDENTIAL (OR) SECTION. ACCESSORY STRUCTURES AND ACCESSORY USES ARE ALSO PERMITTED.
- THE FOLLOWING ADDITIONAL USES NOT REFERRED TO OR INCLUDED IN THE ABOVE USES, WHICH ARE ALLOWED BY SPECIAL EXCEPTION IN THE FOR, B-1 AND M-1 DISTRICTS, WILL BE PERMITTED AS A MATTER OF RIGHT IN THE EMPLOYMENT LAND USE AREAS, AND ARE SPECIFICALLY APPROVED BY THE PLANNING BOARD ON THIS COMPREHENSIVE SKETCH PLAN PROVIDED, HOWEVER, THAT QUARRIES, TEMPORARY UNRECKED VEHICLE STORAGE AND YARD WASTE SHALL NOT BE ALLOWED.
- PUBLIC SCHOOL BUILDINGS-TEMPORARY CONVERSION TO OTHER USES
- THEATERS, LEGITIMATE AND DINNER
- THEATERS, MOVIE
- PUBLIC UTILITY USES LIMITED TO THE FOLLOWING: UTILITY SUBSTATIONS, ABOVE GROUND PIPELINES, PUMPING STATIONS, TELEPHONE STATIONS, AND TELEPHONE EXCHANGES, BUT NO STAND-ALONE COMMUNICATIONS TOWERS.

THE FOLLOWING USE RESTRICTIONS ALSO APPLY:

- NO MORE THAN 15% OF THE TOTAL EMPLOYMENT LAND USE AREA MAY BE DEVOTED TO WAREHOUSE AND LIGHT MANUFACTURING USES.
- CEMETERIES, MAUSOLEUMS & CREMATORIUMS ARE NOT PERMITTED
- A MAXIMUM OF ONE GASOLINE SERVICE STATION IS PERMITTED. THE GASOLINE SERVICE STATION MAY INCLUDE A CAR WASH, CAR REPAIR FACILITIES, AND/OR CONVENIENCE STORE FOOD.
- NO SINGLE RETAIL CENTER SHALL EXCEED 100,000 SQUARE FEET. RETAIL CENTERS MAY INCLUDE RETAIL STORES, PERSONAL SERVICE ESTABLISHMENTS, AND SIMILAR USES, AS WELL AS FAST FOOD RESTAURANTS AND A GASOLINE SERVICE STATION. HOWEVER FOR ALL RETAIL CENTERS THE TOTAL SQUARE FOOT AREA WHICH MAY BE USED FOR RETAIL STORES AND PERSONAL SERVICE BUSINESS SHALL NOT EXCEED 150,000 (150,000 SQUARE FEET PER GROSS ACRE). NO INDIVIDUAL RETAIL ESTABLISHMENT WITHIN THE M-1 DISTRICT SHALL HAVE A GROSS FLOOR AREA GREATER THAN 65,000 SQUARE FEET. RETAIL AND PERSONAL SERVICES AND OTHER ALLOWED USES, SUCH AS RESTAURANTS AND A GASOLINE SERVICE STATION MAY ALSO BE LOCATED WITHIN OTHER DESIGNATED EMPLOYMENT AREAS OUTSIDE OF A RETAIL CENTER.

SECTION 128.F SHALL APPLY TO EMPLOYMENT LAND USE AREAS.

COVERAGE
NO COVERAGE REQUIREMENT IS IMPOSED IN EMPLOYMENT LAND USE AREAS.

FLOOR AREA RATIO (F.A.R.)
OVERALL LIMIT IS 0.35 CALCULATED ON THE TOTAL ACREAGE FOR ALL EMPLOYMENT LAND USE AREAS.

Note: See SDP-10-002 & F-10-006 FOR UPDATED INFORMATION ON Bldg. 2A BEHIND Bldg. 2 & THE RESUBDIVISION OF PARCELS C-18 & C-19 TO C-23, C-24 & C-25.

EMPLOYMENT (CONT.)

SETBACKS (ALSO SEE "PROJECT BOUNDARY SETBACKS")
THE MINIMUM SETBACK FOR EMPLOYMENT/COMMERCIAL STRUCTURES SHALL BE AS FOLLOWS:
50' FROM THE BOUNDARY LINE ALONG JOHNS HOPKINS ROAD OR ROUTE 216
10' FROM THE RIGHT-OF-WAY OF SANNER ROAD (MAPLE LAWN BOULEVARD).

NO SETBACK IS REQUIRED FROM THE RIGHT-OF-WAY OF ANY INTERNAL PUBLIC OR PRIVATE ROADS OTHER THAN FOR MAPLE LAWN BLVD. AS NOTED ABOVE. EXCEPT THAT NO STRUCTURE SHALL BE CLOSER THAN 15' TO ANY CURB OR EDGE OF A ROAD, DRIVE, OR PARKING AREA 10' FROM ANY OTHER PROPERTY LINE.

PARKING SETBACKS
15' TO PUBLIC RIGHT-OF-WAY OF SANNER ROAD (MAPLE LAWN BOULEVARD) EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, 10' TO ANY OTHER PROPERTY OR BOUNDARY LINE (EXCEPT FOR PARALLEL PARKING ADJACENT TO ROADWAY, OR WHERE A PARCEL LINE LIES WITHIN A USE-IN-COMMON PARKING AREA SERVING MULTIPLE PARCELS.)
20' TO PROJECT BOUNDARY LINE ALONG JOHNS HOPKINS OR ROUTE 216

EXCEPTIONS TO SETBACK REQUIREMENTS
STRUCTURES MAY BE LOCATED ANYWHERE WITHIN SETBACK AREAS IN ACCORDANCE WITH A SITE DEVELOPMENT PLAN APPROVED BY THE HOWARD COUNTY PLANNING BOARD.

EXCEPT FOR THE FOLLOWING SECTION 128.A1 APPLIES: BAY WINDOWS, EAVES, FRENCH BALCONIES, PORTICOS, CORNICES, AWNINGS, SIGNS, AND SIMILAR ARCHITECTURAL ELEMENTS MAY ENDOUR FULLY INTO ANY SETBACK.

ARCADIES MAY ENDOUR INTO ANY SETBACK TO WITHIN 1' OF THE PROPERTY LINE. WHERE SUCH ARCADIES ARE PROPOSED, THE FRONT FACADES MAY ALSO VERTICALLY WITH THE FRONT OF THE ARCADE, THEREBY REDUCING THE REQUIRED FRONT SETBACK ACCORDINGLY. AN ARCADE IS AN ARCHED BUILDING, OR PORTION OF A BUILDING, OR GALLERY OFTEN COVERED WITH A ROOF STRUCTURE OR BUILDING SUPPORTED BY A SERIES OF ARCHES AND/OR COLUMNS OR PILLARS.

PARKING
A MINIMUM OF FIVE PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA DEVOTED TO COMMERCIAL RETAIL SALES USES.

B. A MINIMUM OF 33 PARKING SPACES SHALL BE PROVIDED FOR EACH 1,000 SQUARE FEET OF NET LEASABLE AREA THAT IS DEVOTED TO OFFICE OR RESEARCH AND DEVELOPMENT USES.

C. NO PARKING REQUIREMENT IS IMPOSED UPON ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN BUILDINGS WHICH PRIMARILY SERVES TENANTS AND EMPLOYEES OF SUCH BUILDINGS.

D. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH BEDROOM CONTAINED WITHIN ANY HOTEL, INN OR SIMILAR FACILITY AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF SUCH FACILITY.

E. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH THREE SEATS WITHIN ANY RESTAURANT, COFFEE SHOP OR SIMILAR FACILITY CONSTRUCTED WITHIN A HOTEL, INN OR SIMILAR FACILITY OR AS A FREESTANDING STRUCTURE AND ONE PARKING SPACE SHALL BE PROVIDED FOR EACH FIVE EMPLOYEES OF ANY SUCH FACILITY.

F. ONE PARKING SPACE SHALL BE PROVIDED FOR EACH TWO BEDS IN ANY HOSPITAL OR CLING; ONE PARKING SPACE SHALL BE PROVIDED FOR EACH EMPLOYEE ON A MAJOR SHIFT; AND EIGHT PARKING SPACES SHALL BE PROVIDED FOR EACH DOCTOR TREATING OUTPATIENTS ON A MAJOR SHIFT.

G. INDUSTRIAL USES:
WAREHOUSE: 0.5 SPACES PER 1,000 SQUARE FEET
FLEX SPACE (INDUSTRIAL/OFFICE): 2.5 SPACES PER 1,000 SQUARE FEET
OTHER INDUSTRIAL: 2.0 SPACES PER 1,000 SQUARE FEET

H. RECREATIONAL USES:
HEALTH CLUB: 10.0 SPACES PER 1,000 SQUARE FEET
SWIMMING POOL, COMMUNITY: 10 SPACES PER SEVEN PERSONS PERMITTED IN THE POOL AT ONE TIME BY THE DEPT. OF HEALTH
TENNIS COURT: 2.0 SPACES PER COURT

REQUIRED MINIMUM PARKING FOR ALL SUCH COMMERCIAL AND EMPLOYMENT USES SHALL BE MET OFF-STREET. ADDITIONAL PARKINGS MAY BE ACCOMMODATED ON-STREET, IN PARALLEL PARKING WITHIN PUBLIC ROAD RIGHTS-OF-WAY, PARALLEL SPACES LOCATED ON PAVED AREAS ADJACENT TO PUBLICLY MAINTAINED ROADWAYS OR ORIENTED DIAGONALLY OR AT RIGHT ANGLES TO SUCH ROADWAYS, IN AND/OR OUT OF THE PUBLIC R/W.

REDUCTIONS IN PARKING REQUIREMENTS ARE PERMITTED PURSUANT TO THE 1999 HOWARD COUNTY ZONING REGULATIONS SECTION 183.E.

COVER SHEET (REVISED)

PREPARED FOR:
G&R Maple Lawn, Inc. et al.
Suite 410, Woodhome Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

MAPLE LAWN FARMS
OFFICE BUILDING No. 4
BUSINESS DISTRICT
PARCELS C-19
PLAT NOS. 18711-18712, 17184-17185 & 19243-19244

SITE ANALYSIS DATA

- GROSS AREA OF PARCEL C-19 = 4.7710 AC. (208,087 S.F.)
- LIMIT OF DISTURBED AREA = 3.8 AC.
- ZONING: MXD-3.
- PROPOSED USE: OFFICE BUILDING AND ASSOCIATED SURFACE PARKING
- BUILDING COVERAGE: (% OF GROSS ACREAGE)
EX. OFFICE BUILDING 2 (SDP-05-36), 31,815 SQ. FT. = 0.12 AC. (11.0% OF PAR. C-19)
OFFICE BUILDING 4 (THIS SDP): 25,426 SQ. FT. = 0.58 AC. (12.2% OF PAR. C-19)
TOTAL: 57,241 SQ. FT. = 1.30 AC. (14.4% OF C-19 & 14)

FLOOR AREA RATIO (F.A.R.) CALCULATIONS

LOWER LEVEL*	EX. BLDG. #2 (C-18)	BLDG. #4 (C-19)	TOTAL
FIRST FLOOR AND ABOVE	43,945 S.F. **	100,288 S.F. **	144,233 S.F.
TOTAL BLDG. FLOOR AREA	43,945 S.F. (2.16 ac.)	100,288 S.F. (2.30 ac.)	144,233 S.F. (3.46 ac.)
PARCEL AREA	4.2425 ac.	4.7710 ac.	9.0145 ac.
F.A.R.	0.51*	0.48*	0.83*

* LOWER LEVEL DOES NOT COUNT TOWARDS F.A.R. SEE GENERAL NOTE #38
** EX. BLDG. #2 IS PER SDP-05-036. BLDG. #4 HAS 4 STORIES; THE 1st-3rd FLOORS ARE 25,426 S.F. EACH, THE 4th FLR. IS 24,015 S.F.

PARKING TABULATION

GROSS GENERATION DATA

	FLOOR RENTABLE AREA ①		TOTAL
	BLDG. #2 (SDP-05-36)	BLDG. #4 (THIS SDP)	
LOWER LEVEL ②	10,000 S.F.	(11,911 S.F.)	
GROUND FLOOR	28,556 S.F.	23,044 S.F.	
2nd FLOOR	28,440 S.F.	23,044 S.F.	
3rd FLOOR	28,440 S.F.	23,044 S.F.	
4th FLOOR	N/A	23,044 S.F.	
TOTAL	85,436 S.F. ②	42,116 S.F. ②	127,552 S.F.
REQUIRED PARKING 3.5 SPACES PER 1000 S.F.	282 SPACES	305 SPACES	587 SPACES
PARKING PROVIDED ③	638 SPACES (PER SDP-05-036)	204 SPACES (ADD'L PER THIS SDP)	842 SPACES
PARKING RATIO PROVIDED	4.01 SPACES / 1000 S.F. OF RENTABLE AREA		

① AS DEFINED BY BOMA (BUILDING OWNERS AND MANAGERS ASSOCIATION) GUIDELINES.
② SEE GENERAL NOTE #38
③ THE SURPLUS PARKING MAY BE USED FOR ACCESSORY USES WITHIN THE OFFICE BUILDING, OR APPLIED TO THE PARKING REQUIREMENT OF FUTURE OFFICE BLDG-5.

PARKING DISTRIBUTION

	C-18	C-19	C-14	TOTAL
ON-STREET PARALLEL PARKING	10	4	0	14
SDP-05-036 9'x18' 30" PARKING	353	258	0	611
SDP-05-036 ON-SITE PARALLEL PARKING	0	0	0	0
SDP-06-061 7'x18' 30" PARKING	0	116	0	116
SDP-06-061 ON-SITE PARALLEL PARKING	0	0	0	0
HANDICAP SPACES	8	4	0	12
TOTAL	371	422	0	793

THE TOTAL NUMBER OF HANDICAP SPACES REQUIRED IS 2% OF THE TOTAL SPACES PROVIDED (OR 116 SPACES). OF THE 116 HANDICAP SPACES PROVIDED, 6 ARE VAN ACCESSIBLE. THE SHARED ACCESS AND PARKING AGREEMENT IS RECORDED AT L7419 F. 230.

ADDRESS and PERMIT INFORMATION CHART

BUILDING NO. 4 ADDRESS:	8160 MAPLE LAWN BOULEVARD		
SUBDIVISION NAME:	SECTION/AREA	PARCEL	
MAPLE LAWN FARMS	BUSINESS DISTRICT/AREA 1	PARCELS C-19	
PLAT NOS. 18711-12, 17184-85 & 19243-44	ZONE	TAX MAP BLOCK	ELEC. DIST.
	MXD-3	3 & 4	5
			CENSUS TRACT 6091.02
WATER CODE: E2	SEWER CODE:		
	16-5000		
SCALE	ZONING	G. L. W. FILE No.	
AS SHOWN	MXD-3	03054	
DATE	TAX MAP - GRID	SHEET	
OCT/06	46: 3&4	1 OF 10	

SITE DEVELOPMENT LEGEND

- 366--- EX. CONTOUR
- 300--- PROP. CONTOUR
- × EX. 32.10 EXISTING SPOT ELEVATION
- × 32.10 PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- EX. STORM DRAIN
- PROP. STORM DRAIN
- PROP. STORM DRAIN STRUCTURE No.
- EX. 8" S. EX. SANITARY SEWER
- 8" S. PROP. SANITARY SEWER
- EX. 8" M. EXISTING WATERLINE & FIRE HYDRANT
- CONCRETE CURB & GUTTER (DET. 3/4)
- GUTTER PAN
- FACE OF CURB
- PT/PC
- BACK OF CURB
- SPILL (REVERSE) 64G PORTION
- EXISTING CURB
- ===== PROP. E.O.P. PROPOSED EDGE OF PAVEMENT
- EX. E.O.P. EXISTING EDGE OF PAVEMENT
- ===== ASPHALT CURB (TEMPORARY, DET. 4/4)
- ===== CONCRETE/PAVER SIDEWALK (DET. 6/4)
- ===== EASEMENT AREA (SHADED)
- ② NUMBER OF PARKING SPACES
- ♿ HANDICAPPED PARKING DESIGNATION
- ★ EX. LIGHT FIXTURE & POLE
- ★ PROP. LIGHT FIXTURES & POLE
- D REFUSE DUMPSTER
- T ELECTRICAL TRANSFORMER
- ▲ BUILDING INGRESS/EGRESS
- ⊙ SOIL BORING LOCATION AND No.

- NOTES:**
1. UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE P.C.'S, T.P.'S, CORNERS AND TERMINUSES.
 2. ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 3. ALL ON-SITE STORM AND SANITARY SEWER SYSTEMS ARE PRIVATELY MAINTAINED. ALL ON-SITE WATER ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" M AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT".
 4. FOR INFORMATION OF THE PUBLIC PORTION OF THE ON-SITE WATER LINE, SEE DPM CONTRACT No. 24-4062-D, No. 24-4243-D AND 24-4842-D.
 5. UNLESS NOTED OTHERWISE, ALL PLAN DIMENSIONS ARE TO THE FACE OF STRUCTURE (BLDG., CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 6. ALL CURB RADII ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 7. VEHICULAR ACCESS TO PARCELS C12-C14 FROM MAPLE LAWN BLVD. IS RESTRICTED TO THE 3 LOCATIONS SHOWN PER F-03-01 (IN THE VICINITY OF ROAD STATION No. 5+00, 8+30 AND 11+50).
 8. OFFICE BUILDING No.4 SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM AND A WATER METER LOCATED INSIDE THE BUILDING.
 9. THE LOWER LEVEL IS TO BE UTILIZED FOR STORAGE AND MECHANICAL EQUIPMENT ONLY. THE LOWER FLOOR DOES NOT GO TOWARDS THE F.A.R. OR PARKING REQUIREMENT. HOWEVER, IF ANY PORTION OF THE LOWER LEVEL IS CONVERTED TO OFFICE OR RETAIL USE, THEN THE F.A.R. AND PARKING TABULATIONS SHALL BE REVISED ON A FUTURE REDLINE ACCORDINGLY.

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12475, EXPIRATION DATE: MAY 26, 2008.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE **JANUARY 18, 2006**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Mark K. Wyle* Date: 1/24/07
 Chief, Division of Land Development: *Christy Hantz* Date: 8/2/07
 Chief, Development Engineering Division: *John Williams* Date: 8/2/07

GLW GUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTOWN OFFICE PARK
 BURTONTOWN, MARYLAND 20866
 TEL: 301-421-4024 BALR: 410-980-1820 DC/VA: 301-988-2524 FAX: 301-421-4186

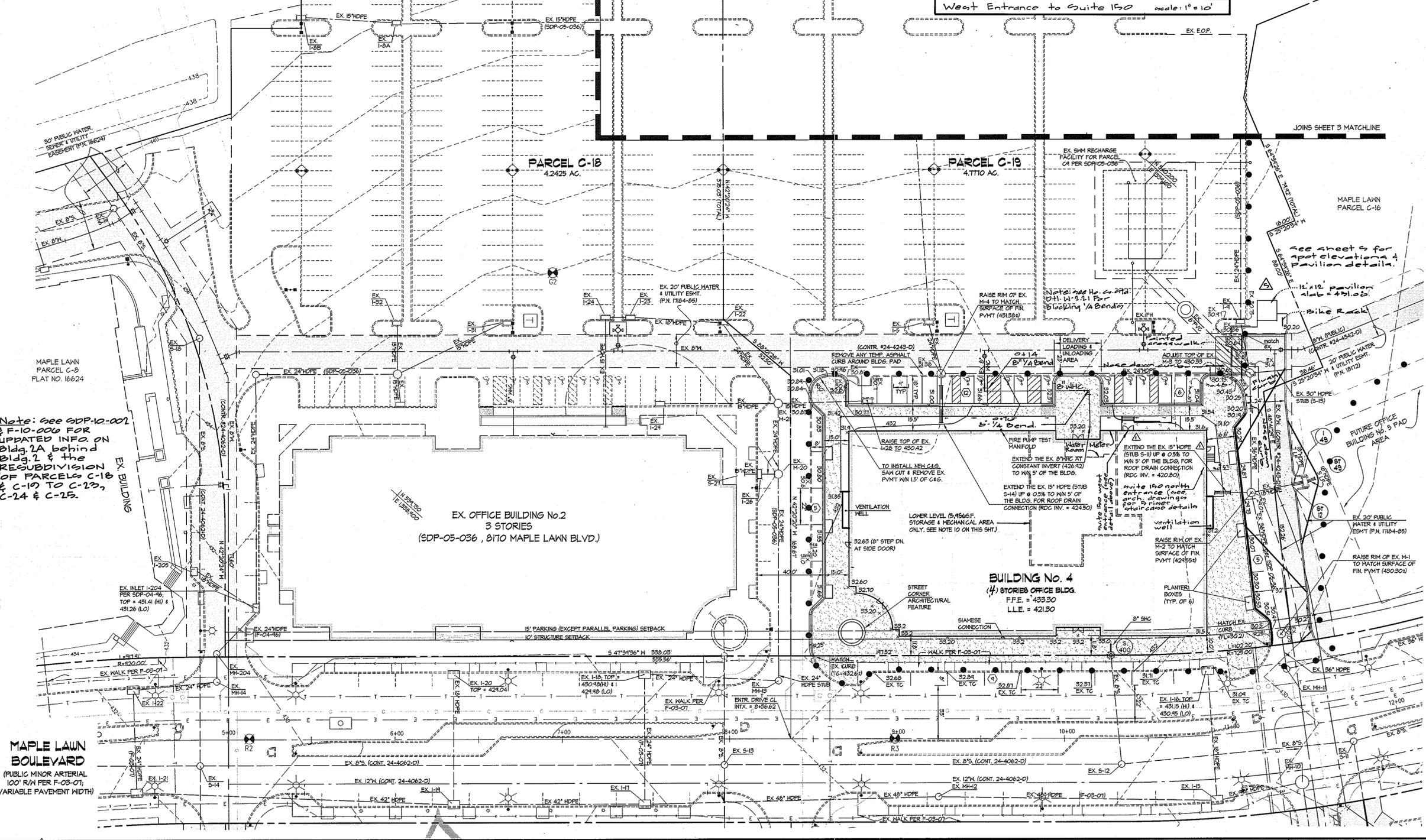
LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	WATTAGE	LAMP	MOUNTING	NOTES	SYMBOL
A	HADCO	HADCO TF6	250 W (20500 LUMENS)	METAL HALIDE	23' POLE	FIXTURE TYPE: TBD SHIELD TYPE: SEMI-CUTOFF	☐
B	SAME AS TYPE 'A', BUT TWIN						☐☐

EXTERIOR LIGHTING NOTES:

1. A PARTIALLY SHIELDED FIXTURE SHALL BE CONSTRUCTED AND INSTALLED IN SUCH A MANNER THAT LESS THAN 25 PERCENT OF THE LIGHT IS PROJECTED ABOVE THE HORIZONTAL PLANE THROUGH THE LOWEST PART OF THE LAMP, AS CERTIFIED BY THE LIGHTING MANUFACTURER OR A PHOTOMETRIC TEST REPORT.
2. LIGHT TRESPASS ONTO A PROPERTY IN THE "RR" ZONING DISTRICT, OR ONTO A PROPERTY IN THE MCD DISTRICT DESIGNATED FOR DEVELOPMENT OF EQUIVALENT LAND USES, SHALL BE LIMITED TO 0.10 FOOT CANDLES.

G & R Nessel, LLC
 L. 5576 F. 335, 334, 343, 347 & 351
 L. 5727 F. 608
 L. 6034 F. 4001-404
 RA-MXD-3



Note: See SDP-10-001 & F-10-000 FOR UPDATED INFO. ON Bldg. 2A behind Bldg. 1 & the RESUBDIVISION OF PARCELS C-18 & C-19 TO C-23, C-24 & C-25.

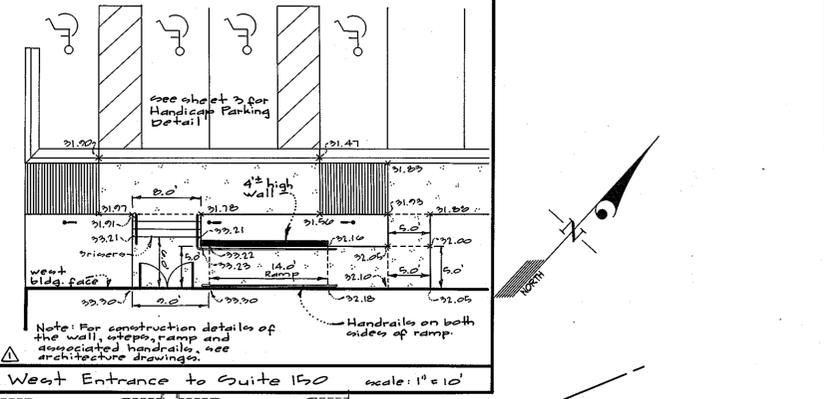
MAPLE LAWN BOULEVARD
 (PUBLIC MINOR ARTERIAL 100' R/W PER F-03-01, VARIABLE PAVEMENT WIDTH)

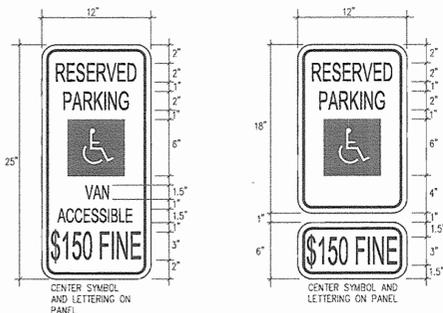
DATE	REVISION	BY	APPR.
07/31/07	Revised rear parking lot (sheet layout), rev. p.l.'s, parcel #'s, l.o.d.; rev. title block	klp	
07/15/07	Added note SDP-10-001 & F-10-000 note	klp	
11/7/11	Revised Bldg. 2A and 2B. Submit Front Elevation	klp	
10/19/07	Added north and west entrances to suite 150	klp	
04/22/13	Added pavilion & revised grades for ADA access. Added note	REV.	

PREPARED FOR:
 G&R Maple Lawn, Inc. et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

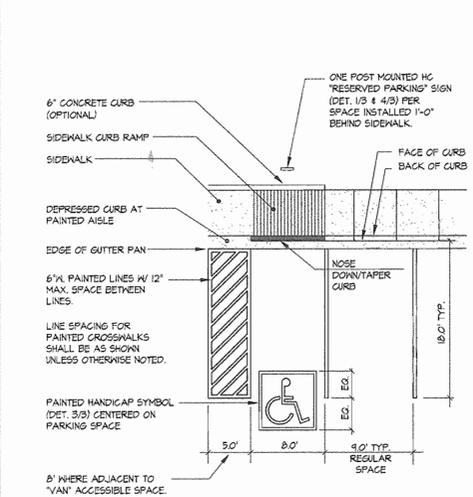
SITE DEVELOPMENT PLAN (REVISED)
MAPLE LAWN FARMS
OFFICE BUILDING No. 4
BUSINESS DISTRICT
PARCELS C-19
 PLAT Nos. 18171-18172, 17184-17185 & 19243-19244

SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	03054
DATE	TAX MAP - GRID	SHEET
OCT/06	46: 3&4	2 OF 10



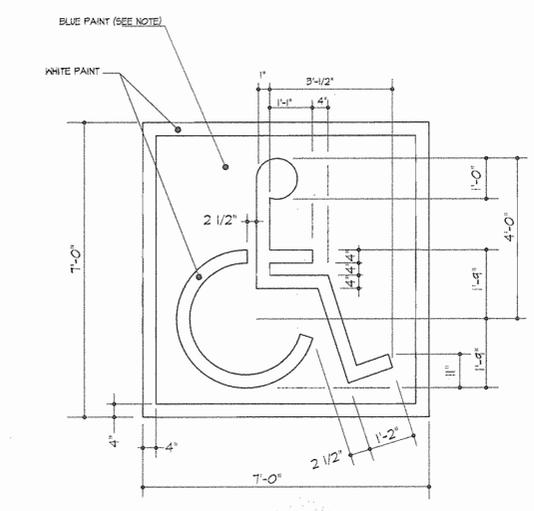
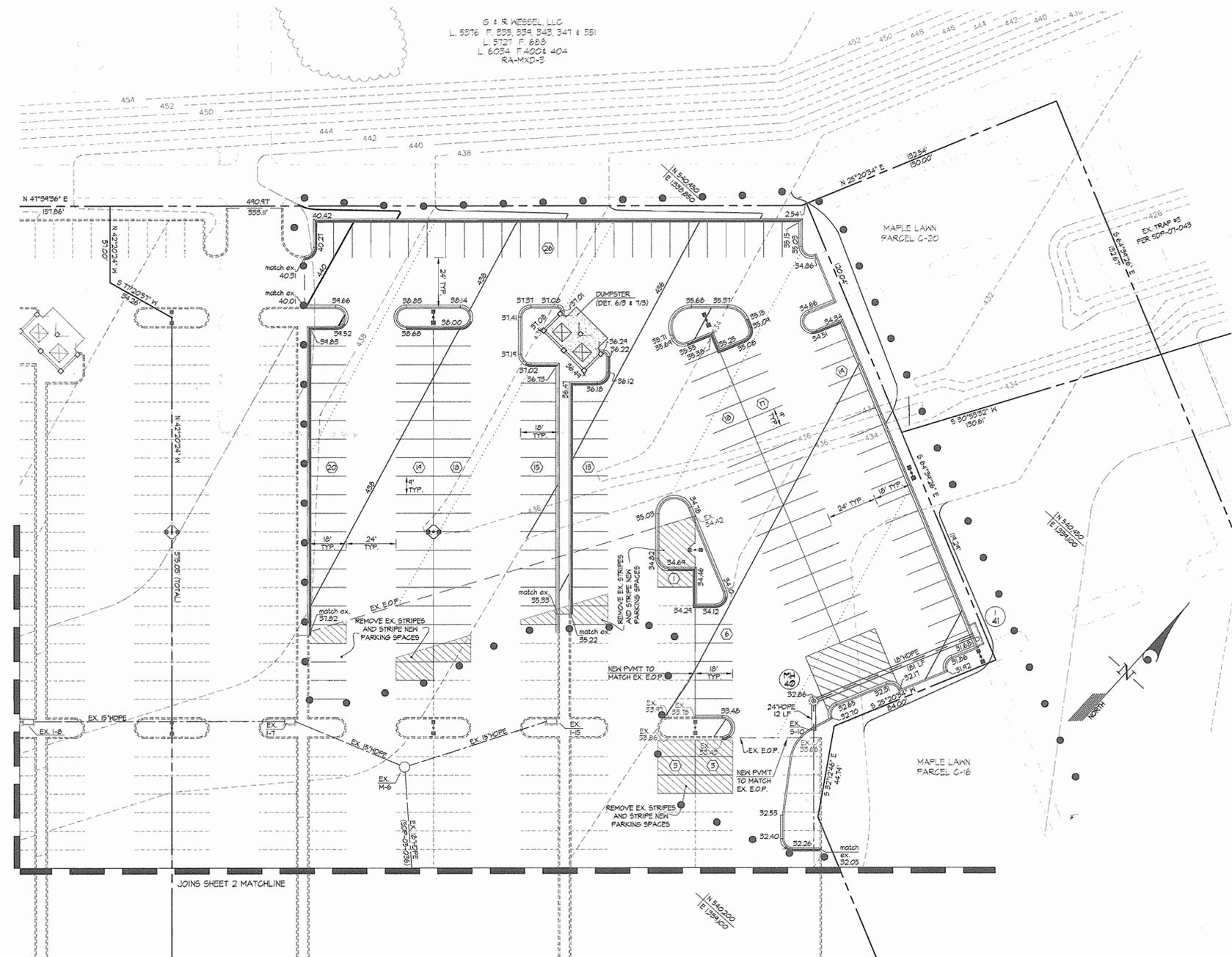


- GENERAL NOTES:**
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
 - SPACES INDICATED ON SITE PLAN AS "VAN" ACCESSIBLE SHALL BE SIGNED ACCORDINGLY.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/ THE TOP OF THE SIGN 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE

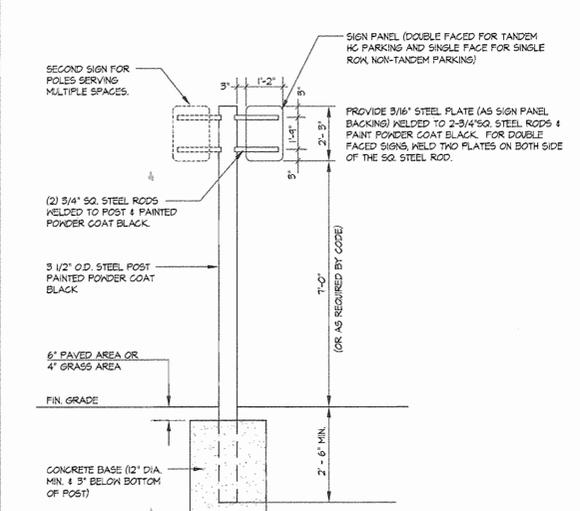


1 HANDICAP PARKING SIGNS DETAIL NO SCALE

2 PARKING SPACE LAYOUT NO SCALE



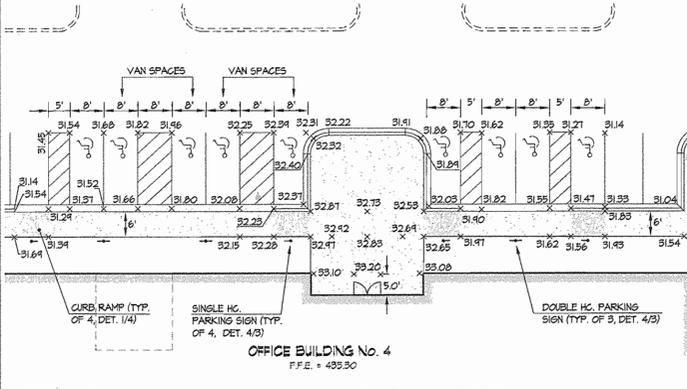
3 HANDICAP SPACE STENCIL LAYOUT NO SCALE



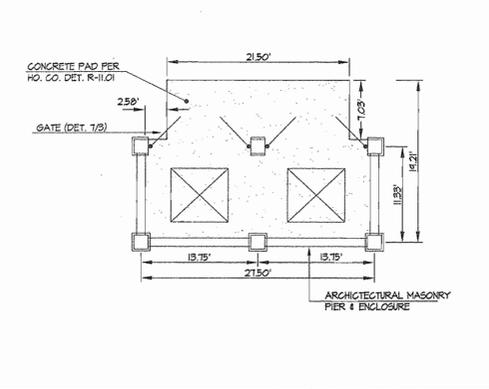
4 POST & SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE

APPROVED
PLANNING BOARD OF HOWARD COUNTY
DATE JANUARY 18, 2006

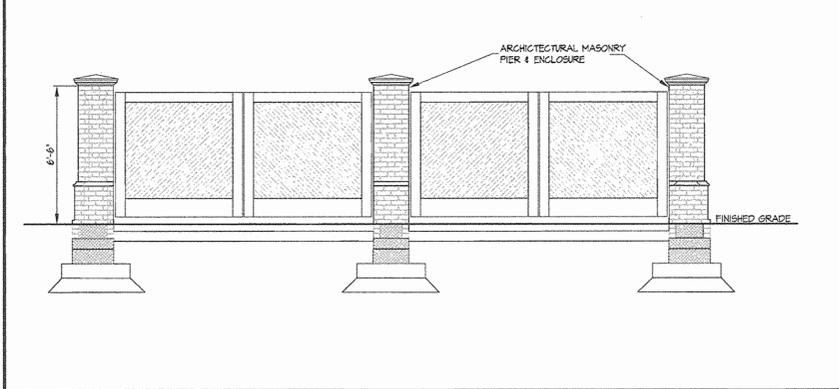
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
Director: *[Signature]* Date: 1/12/07
Chief, Division of Land Development: *[Signature]* Date: 8/21/07
Chief, Development Engineering Division: *[Signature]* Date: 8/21/07



5 ACCESSIBLE ROUTE TO BUILDING WEST ENTRANCES SCALE: 1" = 20'



6 TRASH ENCLOSURE SCALE: 1" = 10'



7 GATE ELEVATION FOR TRASH ENCLOSURE NO SCALE

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12478, EXPIRATION DATE, MAY 26, 2008.

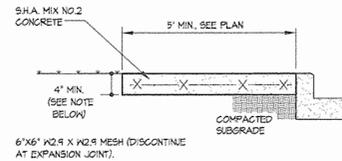
GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3509 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-589-2524 FAX: 301-421-4186

7/31/07 DATE
Rev. rear parking lot (sheet layout), rev. p.l.'s, parcel #'s, l.o.d.; add trash details, rev. title block REVISION

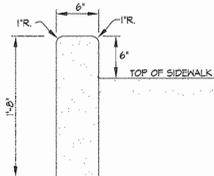
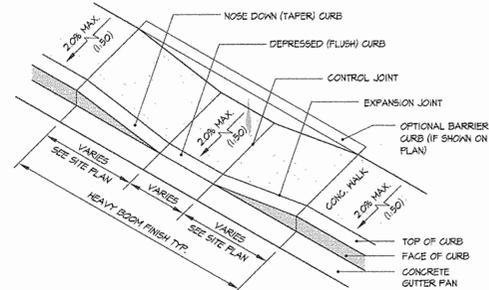
PREPARED FOR:
G&R Maple Lawn, Inc. et. al.
Suite 410, Woodhome Center
1829 Reisterstown Road
Baltimore, MD 21208
ATTN: Charlie O'Donovan
410-484-8400

SITE DEVELOPMENT PLAN (REVISED)
MAPLE LAWN FARMS
OFFICE BUILDING No. 4
BUSINESS DISTRICT
PARCELS C-19
PLAT NOs. 18171-18172, 17184-17185 & 19243-19244
HOWARD COUNTY, MARYLAND

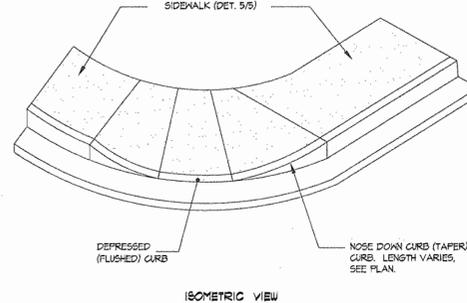
SCALE	ZONING	G. L. W. FILE No.
1" = 30'	MXD-3	03054
DATE	TAX MAP - GRID	SHEET
OCT/06	46: 3&4	3 OF 10



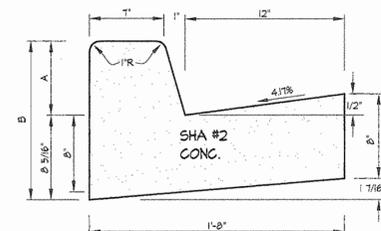
NOTE:
 1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C. AND SCORING JOINTS AT MAX. 5'-0" O.C.
 2. CONCRETE THICKNESS SHALL BE 1" AT DRIVEWAY LOCATIONS.
 3. PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE SIDEWALK ABUTS AGAINST CURB AND SET SIDEWALK 1/4" ABOVE CURB PER HO. CO. DET. R-3.05.



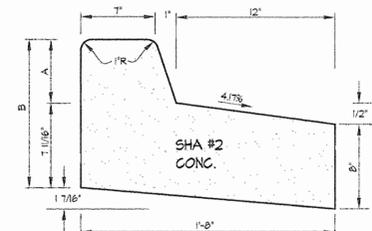
6" HC SIDEWALK BARRIER CURB



ISOMETRIC VIEW



STANDARD COMBINATION CURB AND GUTTER (CATCH)



REVERSE COMBINATION CURB AND GUTTER (SPILL)

CURB TYPE	A	B
6"-CURB	6"	1'-2 5/16"
1"-CURB	1 5/16"	1'-3 1/2"

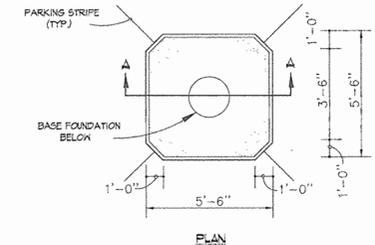
NOTES:
 1. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 2. ALL ON-SITE CURB & GUTTER SHALL BE 6"-TYPE. CURB & GUTTER IN MAPLE LAWN BLVD. ROW SHALL BE 1"-TYPE.
 3. STANDARD CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES TOWARDS THE CURB & GUTTER. REVERSE CURB & GUTTER SHALL BE USED WHERE THE DRIVEWAY SLOPES AWAY FROM THE CURB & GUTTER.

1 TYPICAL SIDEWALK SECTION NO SCALE

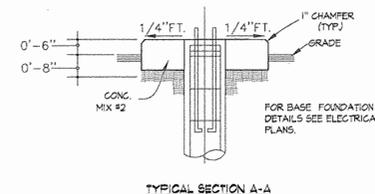
2 TYPE-C HANDICAP RAMP DETAIL NO SCALE

3 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE

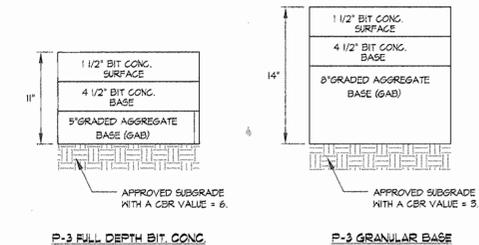
4 TYPE-A CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE



PLAN



TYPICAL SECTION A-A



P-3 FULL DEPTH BIT. CONC.

P-3 GRANULAR BASE

NOTE:
 DEPENDING ON THE GBR VALUES OBTAINED IN THE FIELD, THE PAVING SECTIONS MAY BE REVISED. IF APPROVED BY A PROFESSIONAL SOILS ENGINEER, THESE SUBSTITUTIONS MUST ALSO BE APPROVED BY THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS.

6 BITUMINOUS PAVING SECTIONS NO SCALE

5 CONCRETE LIGHT POLE ISLAND DETAIL NO SCALE

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12478, EXPIRATION DATE: MAY 26, 2008.

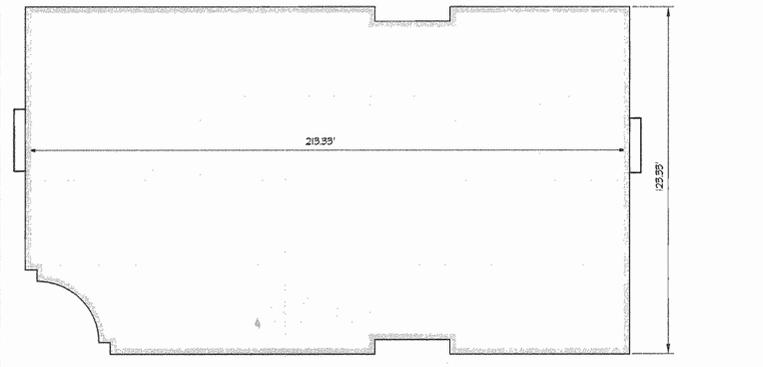


APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE JANUARY 18, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Mark A. Coyle* Date: *1/18/06*
 Chief, Division of Land Development: *Quincy Hamilton* Date: *1/18/06*
 Chief, Development Engineering Division: *William O'Donovan* Date: *1/18/06*

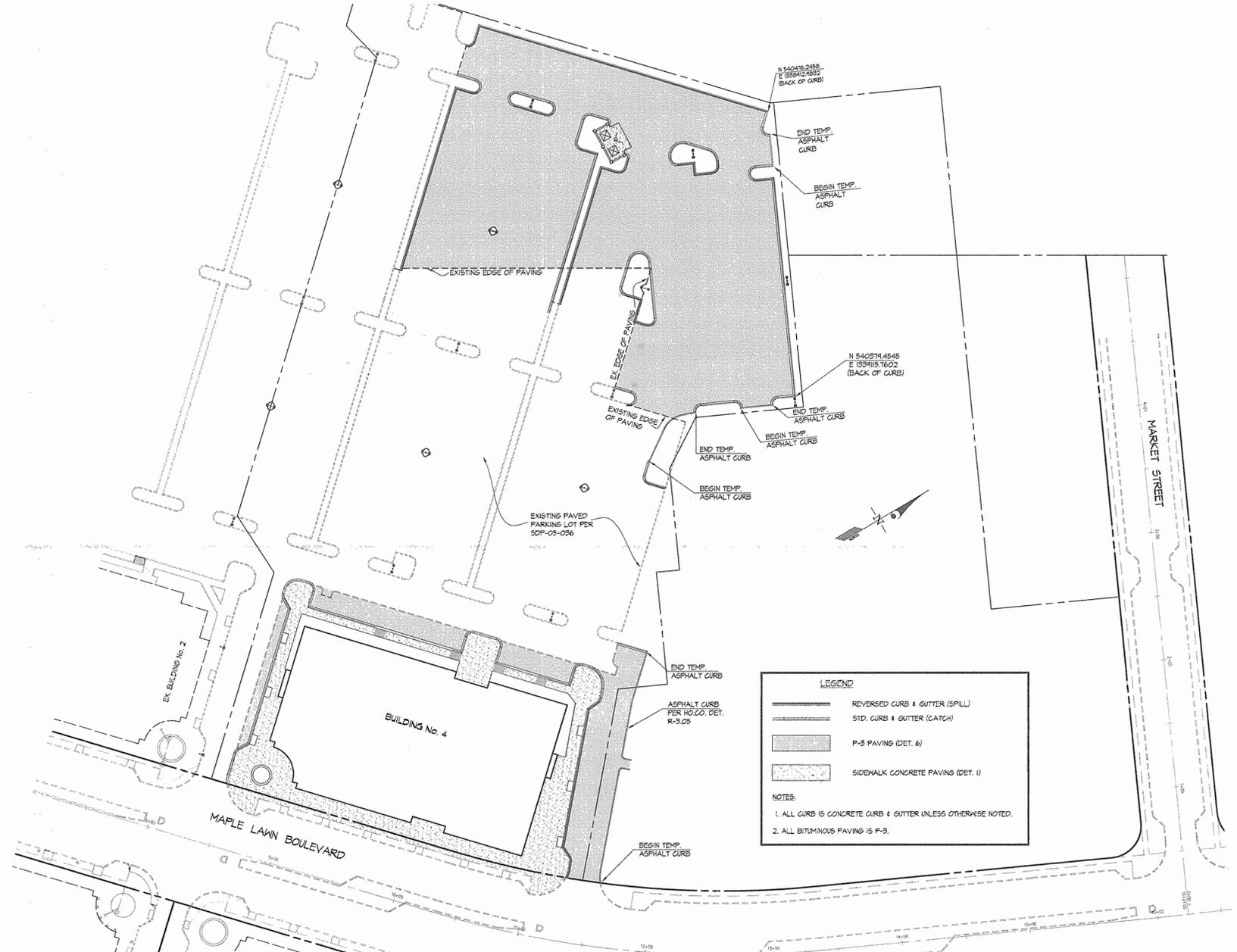
GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

7 OFFICE BUILDING No.4 ELEVATION (Maple Lawn Blvd facade) SCALE: 1"=30'



8 OFFICE BUILDING No. 4 FOOTPRINT SCALE: 1"=30'

DATE	REVISION	BY	APPR.
07/31/07	add new parking to curb & paving delineation plan and change scale (40 to 50); revise title block		



9 PAVING AND CURB DELINEATION PLAN SCALE: 1"=50'

PREPARED FOR:
 G&R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

SITE DETAILS (REVISED)
MAPLE LAWN FARMS
 OFFICE BUILDING No. 4
 BUSINESS DISTRICT
 PARCELS C-19
 PLAT NO. 18171-18172, 17184-17185 & 19243-19244
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03054
DATE	TAX MAP - GRID	SHEET
OCT/06	46: 3&4	4 OF 10

DEVELOPER'S/BUILDER'S CERTIFICATE

I HEREBY CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HCD.

[Signature]
 SIGNATURE OF DEVELOPER/BUILDER
 DATE: 7/2/06

ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 SIGNATURE OF ENGINEER
 DATE: 7/14/06

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature]
 SIGNATURE OF HOWARD S.C.D.
 DATE: 7/20/06

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature]
 SIGNATURE OF N.S.
 DATE: 7/20/06

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* DATE: 8/3/06
 Chief, Division of Land Development: *[Signature]* DATE: 7/1/06
 Chief, Development Engineering Division: *[Signature]* DATE: 7/21/06

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3908 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
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HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
2	1.0-2.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
8	7.0-8.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
9	8.0-9.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
10	9.0-10.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test

STANDARD PENETRATION TEST (SPT) DATA

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
2	1.0-2.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
8	7.0-8.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
9	8.0-9.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
10	9.0-10.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test

HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
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3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
8	7.0-8.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
9	8.0-9.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
10	9.0-10.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test

STANDARD PENETRATION TEST (SPT) DATA

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
2	1.0-2.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
8	7.0-8.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
9	8.0-9.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
10	9.0-10.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test

HILLIS-CARNEY ENGINEERING ASSOCIATES, INC. RECORD OF SOIL EXPLORATION

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
2	1.0-2.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
8	7.0-8.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
9	8.0-9.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
10	9.0-10.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test

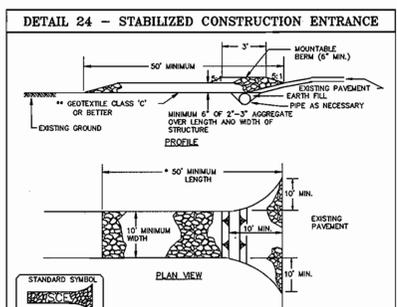
STANDARD PENETRATION TEST (SPT) DATA

PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
2	1.0-2.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
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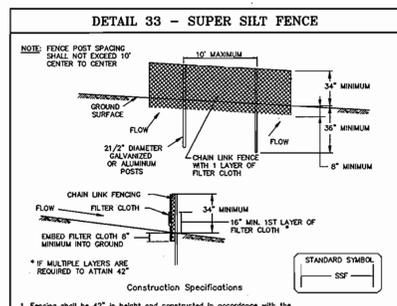
PROB. NO.	DEPTH (ft)	SOIL DESCRIPTION	WATER DEPTH (ft)	BOILING METHOD
1	0-1.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
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3	2.0-3.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
4	3.0-4.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
5	4.0-5.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
6	5.0-6.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
7	6.0-7.0	Dark brown, silty clay with sand	1.0	Standard Penetration Test
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THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY.



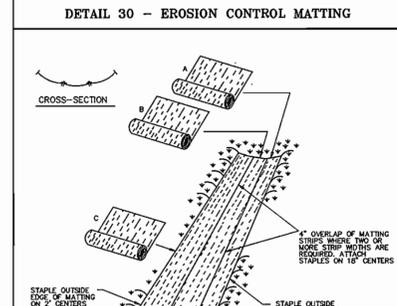
Construction Specifications

- Length - minimum of 50' (30' for single residence lot).
- Width - 10' minimum, should be forced at the existing road to provide a turning radius.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
- Stone - crushed aggregate (2" to 3") or reclaimed or recycled concrete equipment shall be placed at least 2" deep over the length of width of the entrance.
- Surface Water - all surface water flowing to or diverted toward construction entrances shall be piped through the entrance, maintaining positive drainage. Pipe installed through the stabilized construction entrance shall be protected with a double bottom with 2:1 slope and a minimum of 8" of stone over the pipe. Pipe has to be sized according to the drainage. When the SCE is located at a high spot and has no drainage to convey a pipe will not be necessary. Pipe should be sized according to the amount of runoff to be conveyed. A 6" minimum will be required.
- Location - A stabilized construction entrance shall be located at every spot where construction traffic enters or leaves a construction site. Vehicles leaving the site must travel over the entire length of the stabilized construction entrance.



Construction Specifications

- Fence posts shall be a minimum of 36" top down 18" minimum into the ground. Wood posts shall be 1 1/2" x 1 1/2" square (minimum) cut, or 1 3/4" diameter (minimum) round and shall be of moist quality hardwood. Steel posts will be standard T or U section weighting not less than 1.00 pound per linear foot.
- Geotextile fabric (filter cloth) shall be placed over the existing ground prior to placing stone. The plan approval authority may not require single family residences to use geotextile.
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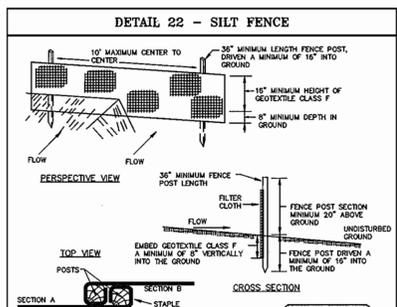


Construction Specifications

- Fencing shall be 42" in height and constructed in accordance with the latest Maryland State Highway Details for Chain Link Fencing. The specification for a 6" fence shall be used, utilizing 42" fabric and 6" length posts.
- Chain link fence shall be fastened securely to the fence posts with wire ties. The lower tension wire, braca and brass rods, drive anchors and post caps are not required except on the ends of the fence.
- Filter cloth shall be fastened securely to the chain link fence with ties spaced every 24" at the top and mid section.
- Filter cloth shall be embedded a minimum of 6" into the ground.
- When two sections of filter cloth adjoin each other, they shall be overlapped by 6" and folded.
- Maintenance shall be performed as needed and all buildings removed when "pulp" develops in the silt fence, or when all reaches 50% of fence height.
- Filter cloth shall be fastened securely to each fence post with wire ties or staples at top and mid section and shall meet the following requirements for Geotextile Class F:

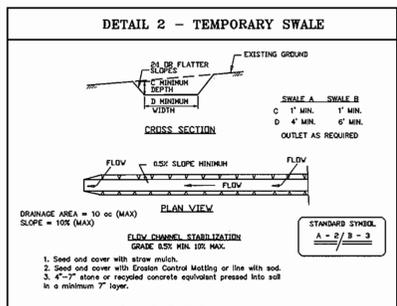
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE

PROJECT NO.	PAGE	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
11-12-3	3	



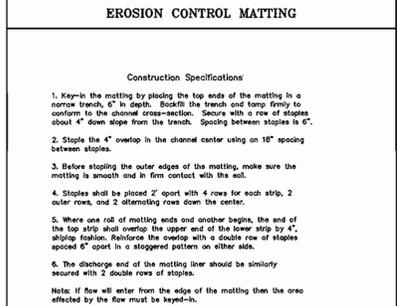
Construction Specifications

- Seed and cover with straw mulch.
- Seed and cover with Erosion Control Matting or lime with seed.
- 4"-6" stone or recycled concrete equipment pressed into soil in a minimum 7" layer.



Construction Specifications

- Key-in the matting by placing the top ends of the matting in a corner trench, 6" in depth. Backfill the trench and trowl firmly to conform to the ground cross-section. Secure with a row of staples about 4" down slope from the trench. Spacing between staples is 6".
- Slope the 4" overlap in the channel center using an 18" spacing between staples.
- Before sloping the outer edges of the matting, make sure the matting is smooth and in firm contact with the soil.
- Staples shall be placed 2' apart with 4 rows for each strip, 2 outer rows, and 2 alternating rows down the center.
- Where one roll of matting ends and another begins, the end of the top strip shall overlap the upper end of the lower strip by 4", sloping fashion. Reinforce the overlap with a double row of staples spaced 6" apart in a staggered pattern on either side.
- The discharge end of the matting liner should be similarly secured with 2 double rows of staples.



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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE

PROJECT NO.	PAGE	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
11-12-3	3	

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
 PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
 TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRAIN TEXTURE.

CONSTRUCTION WHERE PRACTICE APPLIES

- THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE RATHER:
 - THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLY OF MOISTURE AND PLANT NUTRIENTS.
 - THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIME/STONE IS NOT FEASIBLE.

CONSTRUCTION AND MATERIAL SPECIFICATIONS

- TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
- TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
 - PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).

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U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE

PROJECT NO.	PAGE	MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION
11-12-3	3	

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 915-0855
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR RESTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN 47 CALENDAR DAYS FOR ALL PERMITS. SEDIMENT CONTROL STRUCTURES, TRAPS AND PERMITS SHALL BE MAINTAINED AND REPAIRED WITHIN 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. I, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOIL TEMPORARY SEEDINGS AND MULCHING (SEC. 6). TEMPORARY STABILIZATION WITH MULCH CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMISSION FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

AREA DISTURBED

AREA TO BE VEGETATED	2,564 ACRES (ACDL PER THIS SDP)
TOTAL FILL	1000 C.Y.
OFF-SITE WASTE/EROSION AREA LOCATION	NONE

PERMANENT SEEDINGS NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDING PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISCING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES

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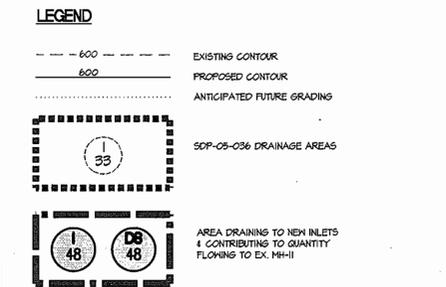
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PERMANENT SEEDINGS NOTES

DRAINAGE AREA INFORMATION				
INLET	AREA (AC)	C VALUE	% IMPV.	COMMENTS
I-41	0.42	0.70	85%	
I-44	0.49	0.70	85%	
Drain Stubs				
DS-11/14	0.50	0.95	100%	add 1.003 ac. to S-11/14.
DS-46/49	0.75	0.95	100%	future roof drain connections
S-13	2.70	0.70	85%	Ex. stub from SDP-05-036 for future development connection
SDP-05-036 Drainage Areas (to ex. MH-II)				
I-5	0.49	0.70	85%	no changes from SDP-05-036
I-7	0.53	0.70	85%	
S-2	1.08	0.70	85%	
I-4	0.51	0.70	85%	area increased to 0.51 from 0.43
I-15	0.54	0.70	85%	
S-11/14	0.55	0.95	85%	Updated to DS-11/14 (see above)
I-28	0.35	0.70	85%	see comment #1

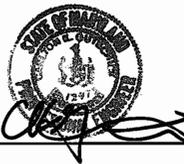
COMMENTS:

1. THE DRAINAGE AREA TO I-28 HAS BEEN REDUCED FROM 0.36 TO 0.35 DUE TO A SLIGHTLY LARGER ROOF DRAIN AREA TO S-II AND S-14. EX. INLET I-28 IS A TERMINAL INLET THAT DRAINS TO THE EX. MH-13 STORM DRAIN SYSTEM.



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 12415, EXPIRATION DATE, MAY 26, 2009.



APPROVED
PLANNING BOARD OF HOWARD COUNTY
 DATE **JANUARY 18, 2006**

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Charles A. Little* Date: 1/18/06

Chief, Division of Land Development: *Andy Smith* Date: 8/21/09

Chief, Development Engineering Division: *William J. ...* Date: 02/10/05

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/WV: 301-989-2524 FAX: 301-421-4186

Drawings\96079\03054\SDP\03054-DAM-SD.dwg DES. DRN. CHK.



NOTES:

- THIS PLAN IS FOR DRAINAGE AREA ANALYSIS ONLY.
- THERE ARE THREE EXISTING STORM DRAIN SYSTEMS BUILT UNDER SDP-05-036 THAT SERVE PARCELS C18-C20. THE DEVELOPMENT ASSOCIATED WITH OFFICE BUILDING No. 4 AFFECTS THE STORM DRAIN SYSTEM FLOWING TO EXISTING MH-II AND NOT THE OTHER TWO STORM DRAIN SYSTEMS (ONE TO EX. MH-13 AND ANOTHER TO EX. MH-205). SEE SDP-05-036 FOR DRAINAGE AREA INFORMATION FOR THE OTHER TWO STORM DRAIN SYSTEMS.
- SUBJECT PROPERTY HAS MASS GRADED UNDER PREVIOUS DEVELOPMENT PLANS.

PREPARED FOR:
 G&R Maple Lawn, Inc. et al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

STORM DRAIN DRAINAGE AREA MAP (REVISED)
MAPLE LAWN FARMS
OFFICE BUILDING No. 4
BUSINESS DISTRICT
PARCELS C-19
 PLAT NOs. 18171-18172, 17184-17185 & 19243-19244
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1"=40'	MXD-3	03054
DATE	TAX MAP - GRID	SHEET
OCT/06	46: 3&4	8 OF 10

07/31/07	add new parking layout & revise drainage areas accordingly, revise title block	BY	APP'R.
DATE	REVISION		

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPORT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES

PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS

ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE USA STANDARD FOR NURSERY STOCK, LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (HERE- AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEELED-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS

ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRG).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5"	14'-16'	6'-8'	32" DIAMETER
3.5" - 4"	14'-16'	8'-10'	36" DIAMETER
4" - 4.5"	16'-18'	8'-10'	40" DIAMETER
4.5" - 5"	16'-17'	10'-12'	44" DIAMETER
5" - 5.5"	16'-20'	10'-12'	48" DIAMETER
5.5" - 6"	18'-20'	12'-14'	52" DIAMETER

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION

LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS OR BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION

THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

B. PLANTING METHODS

ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS

THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDING THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.

THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 15TH. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DIGGING

ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS

THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE, VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING

ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES: SHALL BE SOUND WOOD 2" X 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS MINIMUM 1'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 5/16", 1 STRAND CABLE CADMIUM PLATED STEEL, WITH GALVANIZED "EYE" THIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT, 500 WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE, SHREDDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE

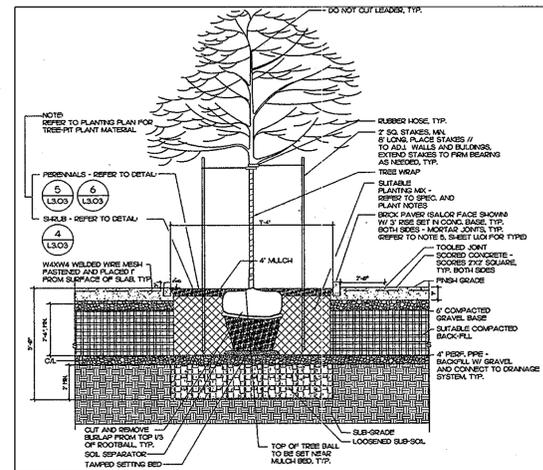
THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE

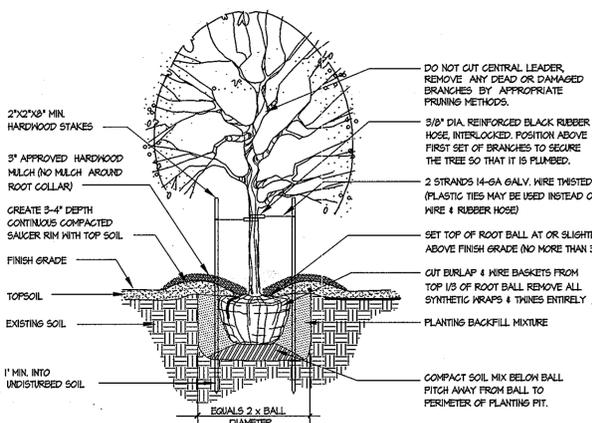
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.

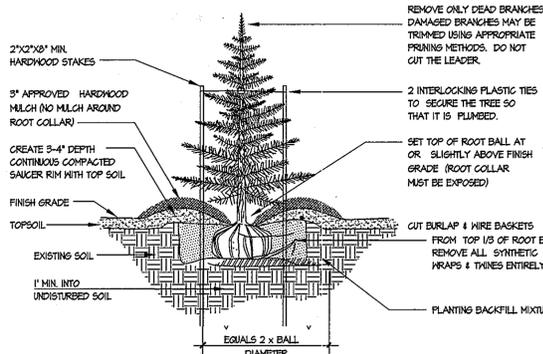
B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.



TREE PLANTER DETAIL
SCALE: 1"=4'



DECIDUOUS TREE PLANTING DETAIL
FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER



EVERGREEN TREE PLANTING DETAIL

SCHEDULE-A: PERIMETER LANDSCAPE EDGE

CATEGORY	ADJACENT TO PROJECT PERIMETER PROPERTY	BUILDING LENGTH (REAR & SIDES)	ADJACENT TO ROADWAYS
LOCATION	ADJ. TO G&R/MESSEL LLC (PARCEL 16)	SIDES & REAR OF OFFICE BUILDING 4	MAPLE LAWN BLVD. FRONTAGE
LANDSCAPE BUFFER TYPE	COMMERCIAL - RESIDENTIAL	1 SHRUB PER 4 LF OF BLDG LENGTH	NONE REQUIRED PER MLF LANDSCAPE DESIGN CRITERIA (PART-F)
LINEAR FEET OF ROADWAY/ PERIMETER FRONTAGE/BLDG.	230' ADJ. FOR THIS SDP SUBMISSION	460' OF BLDG. PERIMETER	
CREDIT FOR EX. VEGETATION (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	
CREDIT FOR WALL, FENCE OR BERM (YES, NO, LINEAR FEET, DESCRIBE BELOW IF NEEDED)	NONE	NONE	
NUMBER OF PLANTS REQUIRED			
SHADE TREES	6	N/A	
EVERGREEN TREES	12	N/A	
ORNAMENTALS	N/A	N/A	
SHRUBS	N/A	115	
NUMBER OF PLANTS PROVIDED			
SHADE TREES	6 NEW/ADDL.	N/A	
EVERGREEN TREES	12	N/A	
ORNAMENTALS	0	N/A	
SHRUBS	0	MORE THAN 115	
SUBSTITUTIONS MADE			

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-A:
 SCHEDULE 'A' NUMBER OF SHADE TREES FOR BONDING: 0 x \$300 = 0
 SCHEDULE 'A' NUMBER OF EVERGREEN TREES FOR BONDING: 0 x \$150 = 0
 SCHEDULE 'A' NUMBER OF SHRUBS FOR BONDING: 115 x \$50 = \$5,450.00
 SCHEDULE 'A' NUMBER OF ORNAMENTAL TREES FOR BONDING: 0 x \$150 = 0.00
TOTAL LANDSCAPE SURETY FOR SCHEDULE-A: \$5,450.00

PLANTING PER THE MLF LANDSCAPE DESIGN CRITERIA (PART-F).

SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING

NUMBER OF PARKING SPACES	433 spaces (on-site on parcel C-10)
NUMBER OF TREES REQUIRED	13 (1 SHADE TREE PER 20 PARKING SPACES)
NUMBER OF TREES PROVIDED	
SHADE TREES	OVER 13
OTHER TREES (2:1 substitution)	N/A

Calculation of new parking spaces for required landscaping purposes:
 462 parking spaces for Bldg-4 Parcel C-10
 - 9 parallel spaces on Maple Lawn Blvd.
 - 756 parking spaces on Parcel C-10 that are planted w/ street trees with SDP-05-036
 195 number of parking spaces for landscaping purposes

LANDSCAPE SURETY REQUIRED FOR SCHEDULE-B
 SCHEDULE 'B' NUMBER OF SHADE TREES FOR BONDING: 13 x \$300 = \$6,900.00

THE LANDSCAPE SURETY (OF \$10,350) POSTED WITH THE DEVELOPER'S AGREEMENT IS SUFFICIENT TO COVER THE REQUIRED AMOUNT OF \$6,900.00 (FOR THE AMENDED SCHEDULES 'A' & 'B' ASSOCIATED WITH THE PARKING LOT RECONFIGURATION & EXPANSION).

The Landscape surety posted with Developer's Agreement is \$10,350.00

PLANT LIST

SYMBOL	QUANT.	SIZE	NAME (BOTANICAL/COMMON) OF PLANTS FOR SELECTION BY OWNER/BUYER	COMMENTS
ZS	20	3-3.5" CAL.	ZELKOVA SERRATA VILLAGE GREEN / VILLAGE GREEN ZELKOVA	ALL B&B
CC	215	2.5-3" CAL.	CERCIS CANADENSIS / EASTERN REDBUD	B&B (THIS PLANTING IS OPTIONAL)
				B&B ALL SHALL HAVE AN INTACT CENTRAL LEADER
SI	141	ALL 18" - 24" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. DELAWARE VALLEY WHITE, NERSEY RED, WIND GRASS COTONEASTER DAMNED CORAL BEAUTY, CORAL BEAUTY COTONEASTER COTONEASTER HORIZONTALIS TOM THUMB / TOM THUMB COTONEASTER JUNIPERUS HORIZONTALIS VAR. / JUNIPER VAR. BAR HARBOR, ANDORRA, WILTON BLUE RUG JUNIPERUS PROCEENSIS NANA / DWARF JAPANESE GARDEN JUNIPER	ALL CONTAINERIZED
S2	6	ALL 24" - 30" SPREAD	CHOOSE FROM THE FOLLOWING FOR BUILDING FOUNDATION PLANTING: AZALEA VAR. DELAWARE VALLEY WHITE, NERSEY RED, WIND GRASS BERBERIS THUNDERBOLT ATROPURPUREA 'CRIMSON PYGMY' / CRIMSON PIGMY BARBERRY DEUTZIA GRACILIS/ SLENDER DEUTZIA ILEX CRENATA 'HELLE' / DWARF JAPANESE HOLLY ILEX GLABRA COMPACTA / DWARF INKBERY MAHONIA AQUIFOLIUM / OREGON GRAPE HOLLY SPIREA NIPONICA 'SNOWMOUND' / SNOWMOUND SPIREA	ALL CONTAINERIZED

APPROVED
 PLANNING BOARD OF HOWARD COUNTY
 DATE JANUARY 18, 2006

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: [Signature]
 Chief, Division of Land Development: [Signature]
 Chief, Development Engineering Division: [Signature]

STATE OF MARYLAND
 Michael B. Tran
 LANDSCAPE ARCHITECT

NOTES:
 SET ROOT BALL AT OR SLIGHTLY ABOVE FINISH GRADE.
 CONTAINERS TO BE REMOVED PRIOR TO PLANTING. SCARIFY ROOT EDGES TO STIMULATE GROWTH.
 3" MULCH - AS SPECIFIED
 MOUNDED EARTH SAUCER (FOR ISOLATED PLANTING SITUATION)
 PLANTING BACKFILL MIXTURE
 SCARIFY SOIL BELOW ROOTBALL
 EXISTING SOIL

SHRUB PLANTING DETAIL

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.
07/31/07	update planting info. to reflect changes due to new parking layout; revise title block	klp	
07/31/07	revised landscaping schedule-B and surety calculations	klp	

PREPARED FOR:
 G&R Maple Lawn, Inc. et. al.
 Suite 410, Woodholme Center
 1829 Reisterstown Road
 Baltimore, MD 21208
 ATTN: Charlie O'Donovan
 410-484-8400

ELECTION DISTRICT No. 5

LANDSCAPING DETAILS AND NOTES (REVISED)
MAPLE LAWN FARMS
 OFFICE BUILDING No. 4
 BUSINESS DISTRICT
 PARCELS C-19
 PLAT Nos. 18171-18172, 17184-17185 & 19243-19244
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	MXD-3	03054
DATE	TAX MAP - GRID	SHEET
OCT/06	46: 3&4	10 OF 10