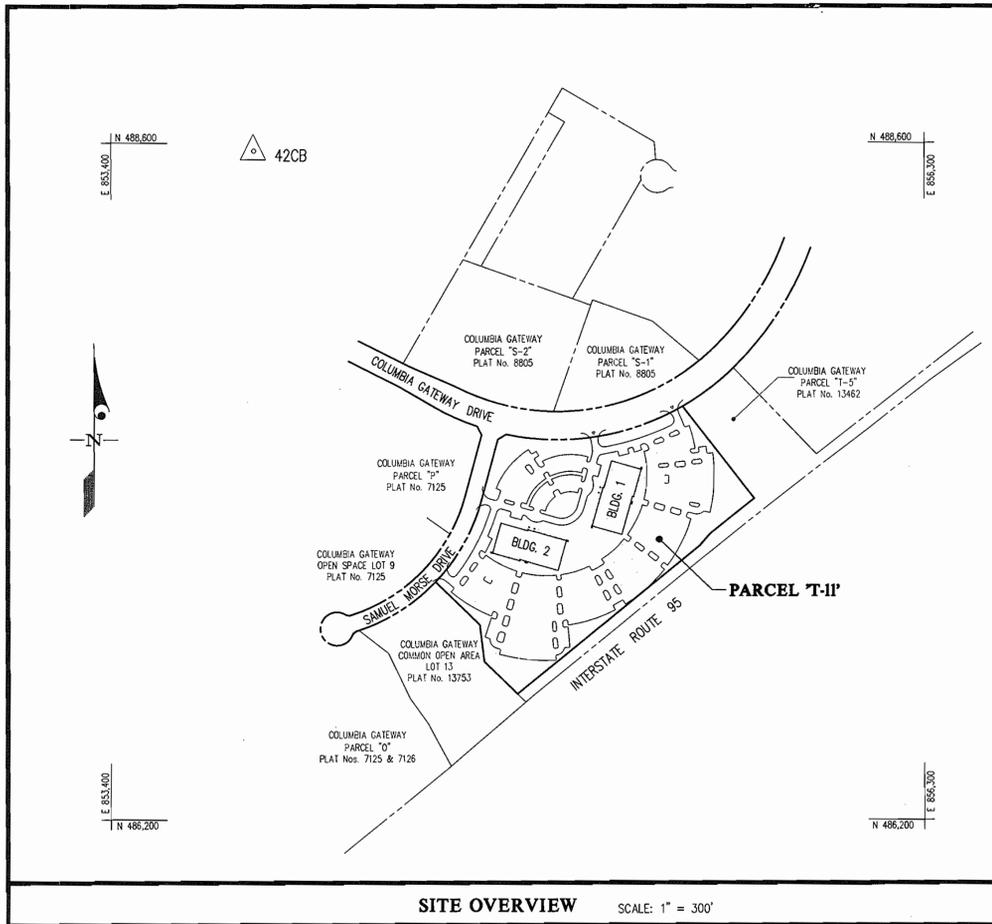
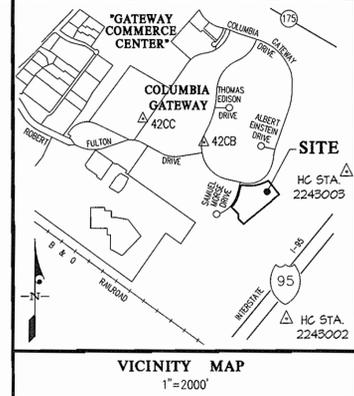


GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF ENGINEERING/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO START OF WORK.
- THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" AT 1-800-257-7777 AT LEAST 48-HOURS PRIOR TO ANY EXCAVATION WORK.
- PROJECT BACKGROUND:
 LOCATION: TAX MAP 37
 ZONING: M-1
 ELECTION DISTRICT: 6TH ELECTION DISTRICT
 SECTION/AREA: N/A
 SITE AREA: 14.04264 AC.
 APPROVED NAME AND DEPT. OF PLANNING & ZONING REF. FILE NOS.:
 P-86-22, S-84-44, S-85-28, MP-88-47, VP-84-150, VP-85-34, VP-85-35, VP-86-61, VP-86-73, VP-86-119, F-86-127, F-86-182, F-87-63, F-87-125, F-89-81, F-89-164 (PLAT 13753), SDP-99-54 AND F-06-194 (PLAT 18257)
- TRAFFIC CONTROL DEVICES, MARKINGS, AND SIGNING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). ALL STREET AND REGULATORY SIGNS SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ANY ASPHALT.
- ALL PLAN DIMENSIONS ARE TO THE FACE OF CURB OR FACE OF BUILDING UNLESS OTHERWISE NOTED. DIMENSIONS ARE MEASURED PERPENDICULAR OF RADIIALLY BETWEEN ITEMS UNLESS OTHERWISE NOTED.
- EXISTING TOPOGRAPHY AND FEATURES WERE DERIVED AVAILABLE PUBLIC RECORDS AND FROM SURVEY BY GUTSCHICK, LITTLE & WEBER, P.A. DONE IN FEBRUARY, 2005.
- COORDINATES ARE BASED ON HOWARD COUNTY GEODETIC CONTROL STA. NOS. 42CB AND 42CC. THE VERTICAL DATUM IS IN NAVD83.
- THIS SITE WILL BE SERVED BY PUBLIC WATER & SEWER UNDER THE EXISTING CONTRACT #24-1629-D AND #24-1587-D AND THE ON-SITE CONTRACT #24-4324-D TO BE CONSTRUCTED UNDER A DEVELOPER'S AGREEMENT PER THIS SDP.
- FOR THE PORTION OF THIS SITE THAT DRAINS INTO THE POND ON PARCEL T-5 (SDP-99-54), STORMWATER MANAGEMENT (FOR QUANTITY & QUALITY) IS PROVIDED BY THIS POND. FOR THE REMAINDER OF SITE, STORMWATER MANAGEMENT (FOR QUANTITY) IS PROVIDED BY REGIONAL OFFSITE FACILITIES (FOR QUANTITY CONTROL) AND BY AN ON-SITE, IN-LINE STORMCEPTOR (FOR QUALITY CONTROL).
- ALL ON-SITE STORM DRAINS PROPOSED UNDER THIS SDP ARE PRIVATE.
- THE EXISTING UTILITIES SHOWN HEREIN WERE DERIVED FROM AVAILABLE PUBLIC RECORDS. THE CONTRACTOR MUST HAND DIG TEST PITS AT ALL UTILITY CROSSINGS AND CONNECTION POINTS TO VERIFY EXACT LOCATION.
- ALL PROPOSED RAMPS SHALL BE IN ACCORDANCE WITH CURRENT A.D.A. STANDARDS. MAXIMUM SIDEWALK CROSS SLOPE SHALL BE (2%) TWO PERCENT. PROVIDE A MINIMUM OF (5/8) FIVE BY FIVE FOOT LEVEL LANDING (2X MAX.) AT THE TOP AND BOTTOM OF ALL RAMPS AND BUILDING INGRESS/EGRESS POINTS.
- ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATELY OWNED AND MAINTAINED.
- ANY DAMAGE TO COUNTY OWNED RIGHT-OF-WAY TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- TRENCH BEDDING FOR STORM DRAINAGE STRUCTURES SHALL BE IN ACCORDANCE WITH HOWARD COUNTY STANDARD C2.01. CLASS "C" BEDDING, UNLESS OTHERWISE NOTED.
- GUTTER PAN OF CURBS SHALL BE PITCHED TO CONFORM TO THE ADJACENT DRAINAGE PATTERN OF THE ADJOINING PAVING FOR VEHICULAR USE. FOR CONCRETE CURB AND GUTTER, SEE DETAIL ON SHEET 3.
- ALL CURB FILLETS ARE 5' RADIUS UNLESS NOTED OTHERWISE. SPOT ELEVATIONS ALONG CURB LINE ARE FOR THE FLOW LINE (BOTTOM OF CURB), UNLESS NOTED OTHERWISE.
- THERE ARE NO KNOWN GRAVE SITES OR CEMETERIES ON THIS SITE.
- OTHER TOPICS RELATED TO THIS SITE:
 - TRAFFIC STUDY PREPARED BY WELLS & ASSOCIATES, LLC. (9-30-05).
 - SUBSURFACE EXPLORATION AND GEOTECHNICAL EVALUATION BY SPECIALIZED ENGINEERING, DATED 7-29-05.
- ALL OUTSIDE LIGHTING SHALL COMPLY WITH ZONING REGULATION SECTION 134 WHICH REQUIRES LIGHTS TO BE INSTALLED TO DIRECT/REFLECT LIGHT DOWNWARDS AND INWARDS ON SITE AWAY FROM ALL ADJOINING PUBLIC STREETS AND RESIDENTIAL AREAS. SEE ELECTRICAL DRAWINGS WHICH IS PART OF THE ARCHITECTURAL PLAN SET SUBMITTED FOR BUILDING PERMIT REVIEW.
- ALL BUILDINGS SHALL HAVE AN INSIDE WATER METER SETTING. ALL BUILDINGS SHALL BE EQUIPPED WITH AN AUTOMATIC FIRE PREVENTION SPRINKLER SYSTEM.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILS OF MASONRY DUMPSTER ENCLOSURES & LOADING DOCK AREA.
- THE CONSTRUCTION OF THIS SITE SHALL BE PHASED. THE 1ST PHASE IS BLDG 1; THE 2ND IS BLDG 2.
- THIS SDP IS EXEMPT FROM THE FOREST CONSERVATION ORDINANCE IN ACCORDANCE WITH SECTION 16.1202(B)(1)(V), A PLANNED OFFICE PARK OF AT LEAST 75 ACRES WHICH HAS PRELIMINARY PLAN APPROVED BEFORE 12/31/92.
- NO CLEARING, GRADING OR CONSTRUCTION IS PERMITTED WITHIN A WETLAND, WETLAND BUFFER, STREAM BUFFER OR FLOODPLAIN EXCEPT NECESSARY DISTURBANCE ALLOWED UNDER SECTION 16.116(C). THE DISTURBANCE TO CONSTRUCT THE STORM DRAIN LINE FROM M-25 TO HWY 95 IS NECESSARY IN ORDER TO DISCHARGE THE STORM DRAIN RUNOFF AT THE BOTTOM OF THE SLOPE AS REQUIRED BY HSOD.
- SPECIFICATIONS FOR LEED (LEADERSHIP IN ENERGY & ENVIRONMENTAL DESIGN) PROJECTS:
 - PROVIDE SITEWORK MATERIALS MANUFACTURED AND OF PRIMARY RAW MATERIALS EXTRACTED/RECOVERED WITHIN A 500-MILE RADIUS OF THE PROJECT SITE.
 - PROVIDE RC-9 RECYCLED CONCRETE FOR SUB-BASE AND FILL IN LOCATIONS APPROVED BY THE GEOTECHNICAL ENGINEER, EXCEPT BENEATH THE BUILDING SLAB.
 - PROVIDE A MINIMUM OF 95% RECYCLED-CONTENT STEEL REINFORCING MATERIALS.
 - SUBMIT LOCATION OF PRODUCT MANUFACTURED AND EXTRACTION/RECOVERY OF PRIMARY RAW MATERIALS.
 - SUBMIT RECYCLED-CONTENT DATA, DESIGNATING PERCENTAGES OF POST-INDUSTRIAL AND CONSUMER RECYCLED MATERIALS.
 - RECYCLE OR SALVAGE WASTE CONCRETE, PAVING AND STEEL MATERIALS IN ACCORDANCE WITH DIVISION 1 (CONSTRUCTION WASTE MANAGEMENT) REQUIREMENTS OF THE PROJECT SPEC.
- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL. LANDSCAPE SURETY IN THE AMOUNT OF \$21,900.00 IS POSTED AS PART OF THE DEVELOPER'S AGREEMENT FOR THIS SDP. FOR INFORMATION ON THE REQUIRED LANDSCAPE PLANTING AND ASSOCIATED SURETY, SEE SHEETS 12 & 13.

COLUMBIA GATEWAY SITE DEVELOPMENT PLAN PARCEL 'T-11' (SOUTHRIDGE OFFICE BUILDINGS) SIXTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

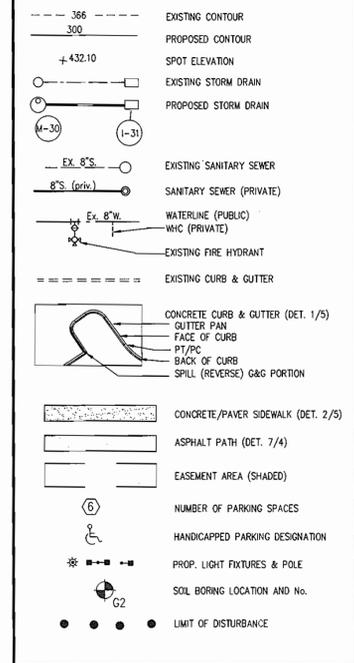
HOWARD COUNTY CONTROL	
NAD27 HORIZONTAL DATA & NAVD29 VERTICAL DATA	NAD83 HORIZONTAL DATA
42CB N 488571.4 E 853908.9 ELV.=336.196	N 549320.8174 E 1366327.2652 ELV.=335.484
42CC N 489127.3 E 852454.6 ELV.=346.707	N 549876.1555 E 1364873.0106 ELV.=345.999



SITE ANALYSIS DATA CHART

- GENERAL SITE DATA
 A. PRESENT ZONING: M-1
 B. PROPOSED USE OF SITE OR STRUCTURES: GENERAL OFFICE
- AREA TABULATION
 A. TOTAL PROJECT AREA: 14.0426± ACRES (GROSS)
 B. AREA OF THIS PLAN SUBMISSION: 14.0426± AC
 C. LIMIT OF DISTURBED AREA BY THIS SDP: 13.51± ACRES
 D. BUILDING AREA: (GFA)
 BUILDING 1 = 106,523 S.F. TOTAL
 BUILDING 2 = 106,523 S.F. TOTAL (MIRROR OF BUILDING 1)
 = 213,046 S.F. TOTAL
 E. BUILDING COVERAGE OF SITE:
 BUILDING 1 = 0.62± ACRES
 BUILDING 2 = 0.62± ACRES
 TOTAL = 1.24± ACRES
 OF GROSS SITE AREA (OR 8.8±%)
 F. TOTAL PAVED SURFACES (PARKING, DRIVEWAYS, PLAZAS, ETC.) ON SITE: 8.11± AC.
- OPEN SPACE DATA
 A. OPEN SPACE REQUIRED ON SITE: N/A
 B. OPEN SPACE PROPOSED: N/A
- PARKING SPACE DATA
 A. STANDARD 9X18 SURFACE PARKING 855 SPACES
 ACCESSIBLE PARKING (INCLUDING 8 VAN SPACES) 20
 TOTAL PARKING PROPOSED FOR THE SITE 875 SPACES
 B. REQUIRED PARKING PER ZONING REGULATIONS
 SEC. 133D.3.A. ("GENERAL OFFICE USES" AT 3.3 SPACES PER 1000 S.F.)
 BUILDING #1 (106,523 S.F.) 352 SPACES
 BUILDING #2 (106,523 S.F.) 352 SPACES
 TOTAL PARKING REQUIRED FOR THE SITE 704 SPACES

SITE DEVELOPMENT LEGEND



SHEET INDEX

- COVER SHEET
- SITE DEVELOPMENT PLAN
- CURB AND PAVING DELINEATION PLAN
- SITE DETAILS
- SITE DETAILS / WORK ZONE TRAFFIC CONTROL
- STORM DRAIN PROFILES
- STORM DRAIN PROFILES
- UTILITY PROFILES AND DETAILS
- SEDIMENT CONTROL PLAN
- SEDIMENT CONTROL NOTES AND DETAILS
- DRAINAGE AREA MAP
- LANDSCAPE PLAN
- PLANTING NOTES, SCHEDULES & DETAILS

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Stephen Lafferty* 11/14/06
 Chief, Division of Land Development: *Chris Korman* 11/13/06
 Chief, Development Engineering Division: *Chris Korman* 11/15/06



GLWGUTSCHICK LITTLE & WEBER, PA.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTNSVILLE OFFICE PARK
 BURTNSVILLE, MARYLAND 20896
 TEL: 301-421-4024 BALT: 410-880-1820 DC/WA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
 OWNER/DEVELOPER
 COPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 413-285-5400
 Attn: PETER Z. GARVER

COVER SHEET
COLUMBIA GATEWAY
PARCEL 'T-11'
(SOUTHRIDGE OFFICE BUILDINGS)
 PLAT NOS. 13753 & 18257
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

ADDRESS CHART	
BUILDING	STREET ADDRESS
No.1	7055 COLUMBIA GATEWAY DR.
No.2	7059 COLUMBIA GATEWAY DR.

WATER CODE: E05	SEWER CODE: 3380000
PROJ. NAME: COLUMBIA GATEWAY, PARCEL T-11 (SOUTHRIDGE OFFICE BUILDINGS)	SECTION/AREA: N/A
PLAT: 13753 & 18257	TAX MAP: M-1
ZONE: M-1	BLOCK: 43
ELEC. DIST.: 6	CENSUS TRACT: 8067.03

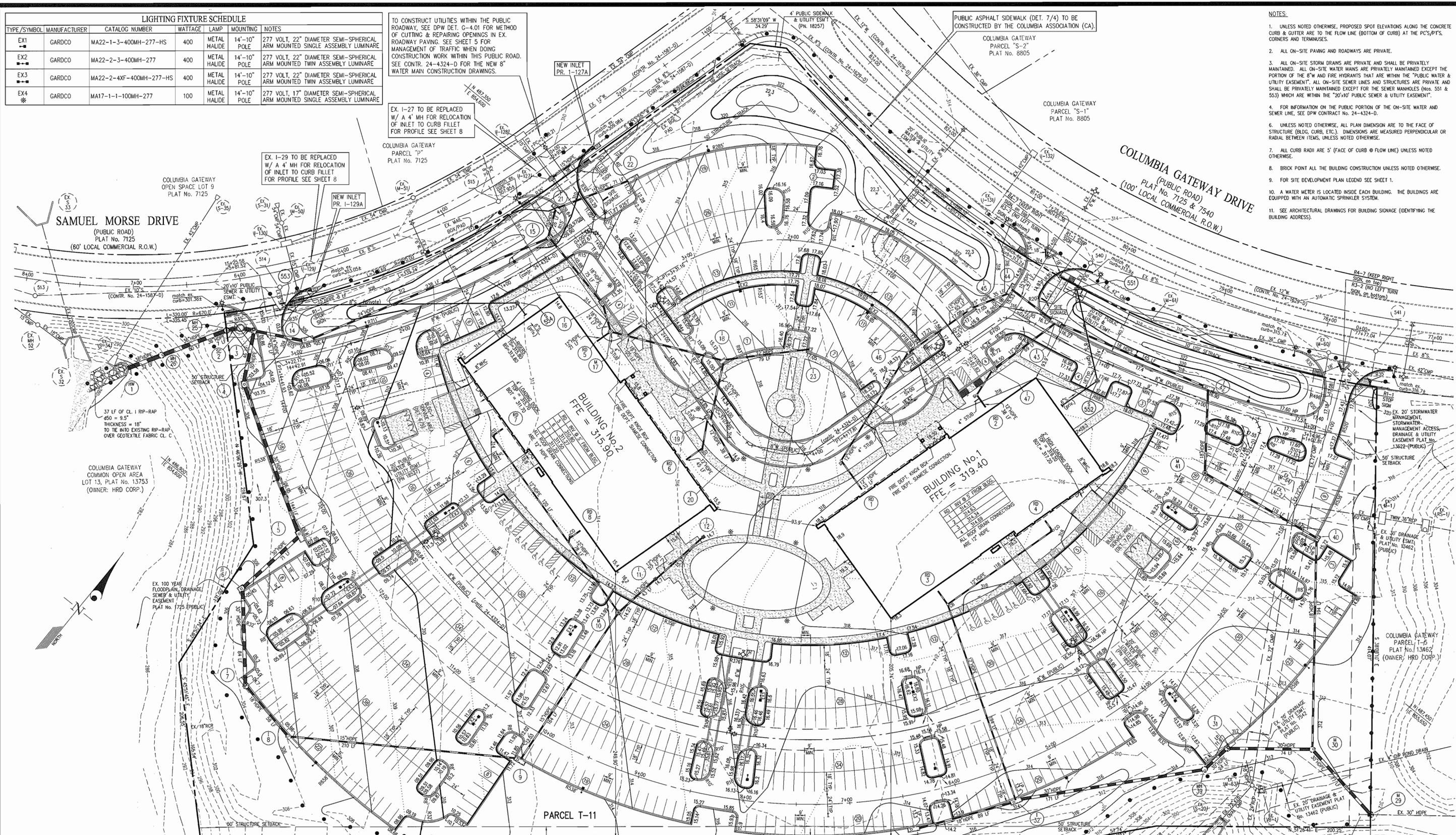
SCALE: AS SHOWN	ZONING: M-1	G. L. W. FILE No.: 04-113
DATE: Sept/06	TAX MAP - GRID: 43 7	SHEET: 1 OF 13

LIGHTING FIXTURE SCHEDULE						
TYPE/SYMBOL	MANUFACTURER	CATALOG NUMBER	WATTAGE	LAMP	MOUNTING	NOTES
EX1 —	GARCO	MA22-1-3-400MH-277-HS	400	METAL HALIDE	14'-10" POLE	277 VOLT, 22" DIAMETER SEMI-SPHERICAL ARM MOUNTED SINGLE ASSEMBLY LUMINAIRE
EX2 —	GARCO	MA22-2-3-400MH-277	400	METAL HALIDE	14'-10" POLE	277 VOLT, 22" DIAMETER SEMI-SPHERICAL ARM MOUNTED TWIN ASSEMBLY LUMINAIRE
EX3 —	GARCO	MA22-2-4XF-400MH-277-HS	400	METAL HALIDE	14'-10" POLE	277 VOLT, 22" DIAMETER SEMI-SPHERICAL ARM MOUNTED TWIN ASSEMBLY LUMINAIRE
EX4 *	GARCO	MA17-1-1-100MH-277	100	METAL HALIDE	14'-10" POLE	277 VOLT, 17" DIAMETER SEMI-SPHERICAL ARM MOUNTED SINGLE ASSEMBLY LUMINAIRE

TO CONSTRUCT UTILITIES WITHIN THE PUBLIC ROADWAY, SEE DPW DET. G-4.01 FOR METHOD OF CUTTING & REPAIRING OPENINGS IN EX. ROADWAY PAVING. SEE SHEET 5 FOR MANAGEMENT OF TRAFFIC WHEN DOING CONSTRUCTION WORK WITHIN THIS PUBLIC ROAD. SEE CONTR. 24-4324-D FOR THE NEW 8" WATER MAIN CONSTRUCTION DRAWINGS.

EX. 1-27 TO BE REPLACED W/ A 4" MH FOR RELOCATION OF INLET TO CURB FILLET FOR PROFILE SEE SHEET 8

EX. 1-29 TO BE REPLACED W/ A 4" MH FOR RELOCATION OF INLET TO CURB FILLET FOR PROFILE SEE SHEET 8



- NOTES:
- UNLESS NOTED OTHERWISE, PROPOSED SPOT ELEVATIONS ALONG THE CONCRETE CURB & GUTTER ARE TO THE FLOW LINE (BOTTOM OF CURB) AT THE PCS/PTS, CORNERS AND TERMINUSES.
 - ALL ON-SITE PAVING AND ROADWAYS ARE PRIVATE.
 - ALL ON-SITE STORM DRAINS ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED. ALL ON-SITE WATER MAINS ARE PRIVATELY MAINTAINED EXCEPT THE PORTION OF THE 8" W AND FIRE HYDRANTS THAT ARE WITHIN THE "PUBLIC WATER & UTILITY EASEMENT". ALL ON-SITE SEWER LINES AND STRUCTURES ARE PRIVATE AND SHALL BE PRIVATELY MAINTAINED EXCEPT FOR THE SEWER MANHOLES (Nos. 551 & 553) WHICH ARE WITHIN THE "20'x10' PUBLIC SEWER & UTILITY EASEMENT".
 - FOR INFORMATION ON THE PUBLIC PORTION OF THE ON-SITE WATER AND SEWER LINE, SEE DPW CONTRACT No. 24-4324-D.
 - UNLESS NOTED OTHERWISE, ALL PLAN DIMENSION ARE TO THE FACE OF STRUCTURE (BLDG, CURB, ETC.). DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL BETWEEN ITEMS, UNLESS NOTED OTHERWISE.
 - ALL CURB RADII ARE 5' (FACE OF CURB @ FLOW LINE) UNLESS NOTED OTHERWISE.
 - BRICK POINT ALL THE BUILDING CONSTRUCTION UNLESS NOTED OTHERWISE.
 - FOR SITE DEVELOPMENT PLAN LEGEND SEE SHEET 1.
 - A WATER METER IS LOCATED INSIDE EACH BUILDING. THE BUILDINGS ARE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.
 - SEE ARCHITECTURAL DRAWINGS FOR BUILDING SIGNAGE (IDENTIFYING THE BUILDING ADDRESS).

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Steph Lafferty* 11/14/06
 Chief, Division of Land Development: *Cindy Martin* 11/13/06
 Chief, Development Engineering Division: *John DeWanna* 11/5/06

COLUMBIA GATEWAY PARCEL T-5 PLAT No. 13462 (OWNER: HRD CORP.)
 COLUMBIA GATEWAY PARCEL T-6 PLAT No. 13462 (OWNER: HRD CORP.)

INGRESS & EGRESS ALONG INTERSTATE 95 IS RESTRICTED.

INTERSTATE ROUTE 95 (PUBLIC ROAD) M.S.R.C. PLAT Nos. 34758 & 34760 (VARIABLE WIDTH PRINCIPLE ARTERIAL R.O.W.)

INGRESS & EGRESS ALONG INTERSTATE 95 IS RESTRICTED.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 OWNER/DEVELOPER
 CUPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 413-285-5400
 Attn: PETER Z. GARVER

SITE DEVELOPMENT PLAN
COLUMBIA GATEWAY
PARCEL T-11
(SOUTHRIDGE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257
 ELECTION DISTRICT No. 6
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	2 OF 13

ROAD "A"/LOT A		
No.	STATION	OFFSET
1	6+94.71	45.11' LT.
2	6+58.82	12.00' LT.
3	6+36.15	12.00' LT.
4	6+09.74	12.00' LT.
5	5+86.62	12.00' LT.
6	5+48.62	12.00' LT.
7	5+14.62	12.00' LT.
8	4+76.62	12.00' LT.
9	4+17.81	12.00' LT.
10	3+07.85	12.00' LT.
11	2+49.04	12.00' LT.
12	2+11.04	12.00' LT.
13	1+77.04	12.00' LT.
14	1+39.04	12.00' LT.
15	1+17.04	12.00' LT.
16	0+76.24	12.00' LT.
17	0+57.00	12.00' LT.
18	0+22.68	47.35' LT.
19	0+21.34	38.23' RT.
20	0+54.99	12.00' RT.
21	1+09.49	12.00' RT.
22	1+39.04	12.00' RT.
23	1+44.04	17.00' RT.
24	1+44.04	30.00' RT.
25	1+86.04	30.00' RT.
26	1+86.04	16.00' RT.
27	1+90.04	12.00' RT.
28	1+96.45	12.00' RT.
29	1+99.62	13.13' RT.
30	2+60.46	13.13' RT.
31	2+63.62	12.00' RT.
32	3+07.85	12.00' RT.
33	4+17.81	12.00' RT.
34	4+62.03	12.00' RT.
35	4+65.20	13.13' RT.
36	5+26.04	13.13' RT.
37	5+29.21	12.00' RT.
38	5+35.62	12.00' RT.
39	5+39.62	16.00' RT.
40	5+39.62	30.00' RT.
41	5+81.62	30.00' RT.
42	5+81.62	17.00' RT.
43	5+86.62	12.00' RT.
44	6+02.43	12.00' RT.
45	6+55.50	12.00' RT.
46	6+59.82	12.00' RT.
47	6+94.45	44.31' RT.

ROAD "B"/LOT A					
No.	STATION	OFFSET	No.	STATION	OFFSET
1	0+19.33	12.00' RT.	48	1+68.05	42.01' LT.
2	0+24.05	16.92' RT.	49	1+67.14	54.82' LT.
3	0+24.09	29.92' RT.	50	1+74.10	60.00' LT.
4	1+68.21	29.99' RT.	51	1+81.94	60.00' LT.
5	1+68.22	16.99' RT.	52	1+88.89	54.81' LT.
6	1+72.72	12.05' RT.	53	1+87.98	42.00' LT.
7	1+77.04	12.00' RT.	54	3+31.96	42.00' LT.
8	1+88.01	21.22' RT.	55	3+31.96	55.00' LT.
9	1+86.76	46.73' RT.	56	3+36.96	60.00' LT.
10	1+82.81	52.04' RT.	57	3+36.96	84.00' LT.
11	1+70.62	52.80' RT.	58	3+31.96	89.00' LT.
12	1+71.68	70.75' RT.	59	3+31.96	102.00' LT.
13	1+82.70	70.05' RT.	60	2+00.75	102.00' LT.
14	1+86.37	75.00' RT.	61	1+97.87	88.61' LT.
15	1+86.37	90.00' RT.	62	1+88.72	84.00' LT.
16	3+11.29	90.00' RT.	63	1+67.36	84.01' LT.
17	3+11.29	76.96' RT.	64	1+58.21	88.62' LT.
18	3+14.87	72.00' RT.	65	1+55.37	102.01' LT.
19	3+34.02	72.00' RT.	66	0+23.26	102.08' LT.
20	3+36.96	48.00' RT.	67	0+23.43	89.08' LT.
21	3+31.96	43.00' RT.	68	0+19.00	84.00' LT.
22	3+31.96	17.00' RT.			
23	3+36.96	12.00' RT.			
24	2+21.68	42.95' RT.			
25	2+17.58	48.01' RT.			
26	2+15.28	48.01' RT.			
27	2+06.92	37.27' RT.			
28	2+07.67	21.22' RT.			
29	2+17.54	12.05' RT.			
30	2+21.68	16.95' RT.			
31	3+36.96	12.00' LT.			
32	3+31.14	12.00' LT.			
33	3+25.51	17.07' LT.			
34	3+25.51	30.00' LT.			
35	1+87.25	30.00' LT.			
36	1+87.24	17.07' LT.			
37	1+81.76	12.00' LT.			
38	1+74.24	12.00' LT.			
39	1+68.76	17.08' LT.			
40	1+68.77	30.01' LT.			
41	0+30.46	30.08' LT.			
42	0+30.45	17.15' LT.			
43	0+24.91	12.08' LT.			
44	0+19.00	12.00' LT.			
45	0+19.00	60.00' LT.			
46	0+23.73	55.08' LT.			
47	0+23.81	42.08' LT.			

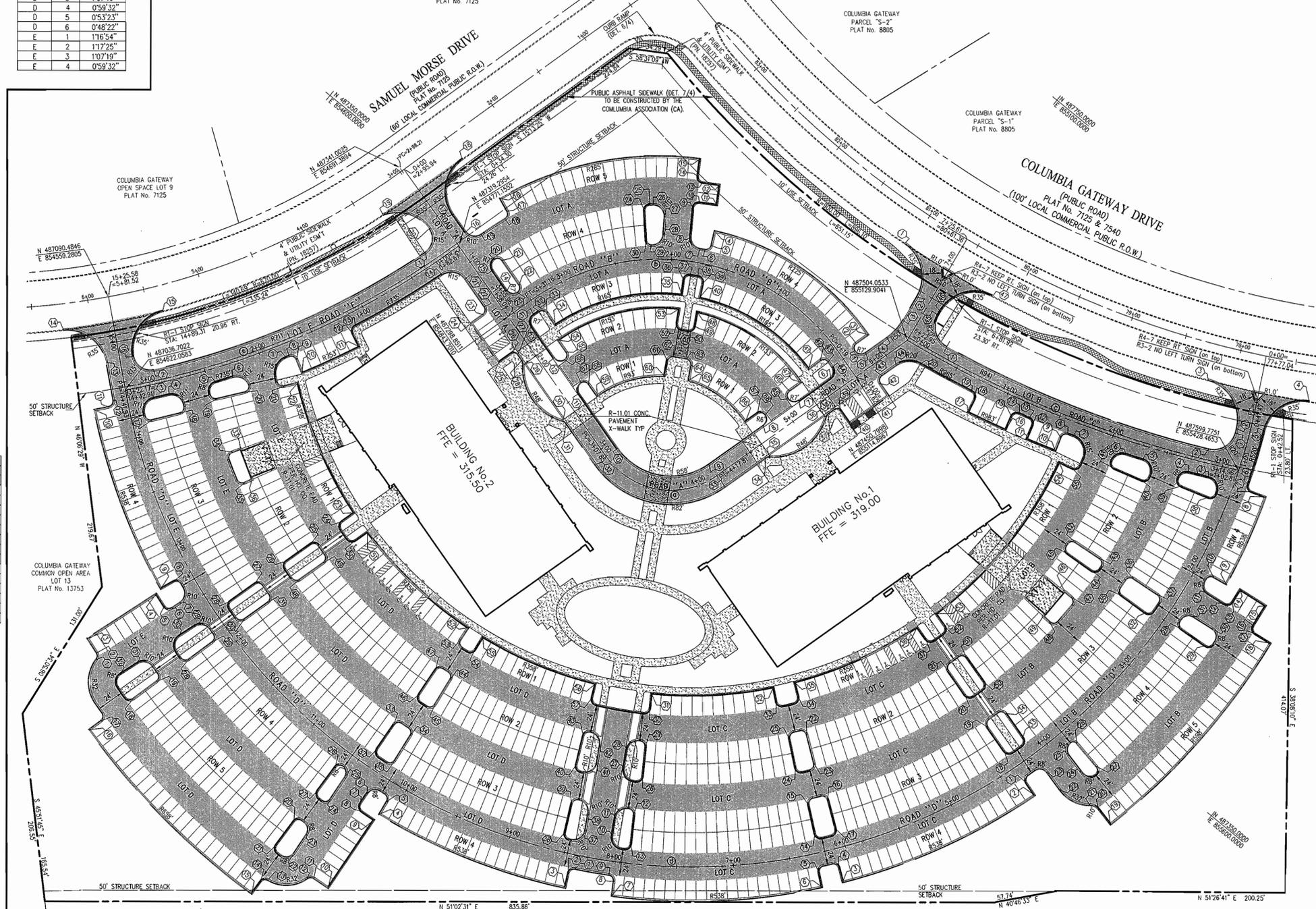
ROAD "C"/LOT B		
No.	STATION	OFFSET
1	0+33.12	12.00' LT.
2	2+84.65	12.00' LT.
3	2+90.21	12.00' RT.
4	2+72.71	12.00' RT.
5	2+31.15	12.00' RT.
6	2+15.45	12.00' RT.
7	1+67.19	12.00' RT.
8	1+62.15	12.03' RT.
9	1+57.28	17.02' RT.
10	1+57.28	30.00' RT.
11	1+30.62	30.00' RT.
12	1+30.62	17.00' RT.
13	1+25.73	12.01' RT.
14	1+16.12	12.01' RT.
15	1+11.23	17.00' RT.
16	1+11.23	30.00' RT.
17	0+75.68	30.00' RT.
18	0+75.68	16.99' RT.
19	0+70.76	12.00' RT.
20	0+20.19	12.00' RT.

ROAD "D"/LOT B		
No.	STATION	OFFSET
1	0+72.02	12.00' RT.
2	0+68.25	12.00' RT.
3	0+30.60	46.18' RT.
4	0+31.04	45.35' LT.
5	0+63.77	12.00' LT.
6	1+11.71	12.00' LT.
7	1+16.55	16.98' LT.
8	1+16.55	30.00' LT.
9	1+95.68	30.00' LT.
10	1+95.68	16.93' LT.
11	2+10.04	19.71' LT.
12	2+10.41	17.09' LT.
13	2+05.90	42.22' LT.
14	1+93.91	42.28' LT.
15	1+95.20	69.74' LT.
16	2+13.49	69.08' LT.
17	2+17.94	74.06' LT.
18	2+17.94	90.00' LT.
19	3+99.26	90.00' LT.
20	3+99.26	73.14' LT.
21	4+02.74	65.21' LT.
22	4+14.55	39.06' LT.
23	4+14.55	19.85' LT.
24	3+91.69	39.73' LT.
25	3+91.27	19.73' LT.
26	3+79.38	15.95' LT.
27	3+79.38	42.94' LT.
28	2+47.51	16.93' LT.
29	2+47.51	42.93' LT.
30	2+32.72	39.71' LT.
31	2+33.14	19.71' LT.
32	2+54.22	17.03' RT.
33	4+13.97	17.00' RT.
34	4+13.39	42.89' RT.
35	2+54.22	43.03' RT.
36	2+34.34	43.03' RT.
37	2+34.34	17.03' RT.
38	1+34.93	17.03' RT.
39	1+34.93	42.97' RT.
40	1+44.86	77.03' RT.
41	1+44.86	103.03' RT.
42	2+36.32	103.03' RT.
43	2+36.32	77.03' RT.
44	2+51.56	77.03' RT.
45	2+51.56	103.03' RT.
46	2+85.86	84.88' RT.
47	2+85.87	77.03' RT.
48	3+20.15	76.95' RT.
49	3+20.16	84.58' RT.
50	4+12.53	76.88' RT.
51	4+11.78	102.88' RT.
52	4+10.63	136.87' RT.
53	4+10.12	150.00' RT.
54	1+64.62	150.00' RT.
55	1+64.62	137.03' RT.

RADIAL PARKING SPACE TABLE		
PARK/LOT	ROW	ANGLE
A	1	5'32"49"
A	2	3'49"14"
A	3	3'07"32"
A	4	2'29"29"
A	5	1'55"53"
B	1	1'16"54"
B	2	1'17"25"
B	3	1'07"19"
B	4	0'59"32"
B	5	0'53"23"
C	1	1'16"54"
C	2	1'17"25"
C	3	1'07"19"
C	4	0'59"32"
D	1	1'16"54"
D	2	1'17"25"
D	3	1'07"19"
D	4	0'59"32"
D	5	0'53"23"
D	6	0'48"22"
E	1	1'16"54"
E	2	1'17"25"
E	3	1'07"19"
E	4	0'59"32"

LEGEND

- LIGHT DUTY PAVING, P2 (15,929 SY; DET 3/5)
- HEAVY DUTY PAVING, P3 (16,873 SY; DET 3/5)
- CONCRETE PAVING (622 SY; R-11.0)
- CONCRETE PAVING (3,132 SY; DET 2/5)
- ASPHALT PATH (BY C.A., DET 7/4)
- ARCHITECTURAL BRICK PAVERS (7,498 SF)
- REVERSED CURB & GUTTER (DET. 1/5)
- CURB & GUTTER (DET. 1/5)

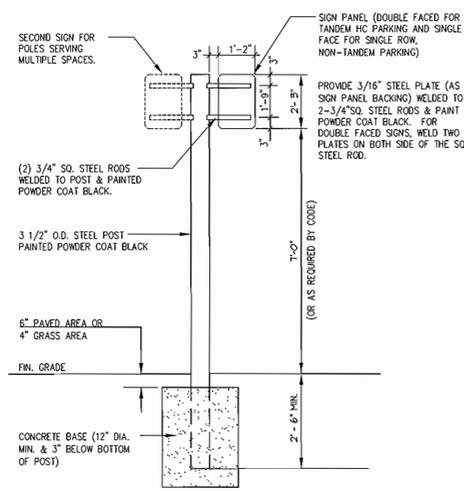


ROAD "D"/LOT C		
No.	STATION	OFFSET
1	4+34.09	16.90' LT.
2	4+34.09	30.00' LT.
3	6+09.92	30.00' LT.
4	6+09.92	16.91' LT.
5	6+27.52	16.91' LT.
6	6+27.52	30.00' LT.
7	8+03.35	30.00' LT.
8	8+03.35	16.98' LT.
9	8+08.19	12.00' LT.
10	8+10.48	22.43' RT.
11	8+10.06	38.36' RT.
12	7+92.55	43.02' RT.
13	7+92.55	17.09' RT.
14	6+23.62	17.03' RT.
15	6+23.58	43.03' RT.
16	6+04.36	43.03' RT.
17	6+04.36	17.03' RT.
18	4+34.67	17.00' RT.
19	4+35.24	42.89' RT.
20	4+36.10	76.89' RT.
21	4+36.86	102.88' RT.
22	6+08.51	103.03' RT.
23	6+08.51	77.03' RT.
24	6+28.54	77.02' RT.
25	6+28.15	103.02' RT.
26	7+88.17	77.06' RT.
27	8+08.71	82.43' RT.
28	8+08.15	98.41' RT.
29	7+88.17	103.02' RT.
30	7+87.59	137.03' RT.
31	7+87.59	150.00' RT.
32	6+34.31	150.00' RT.
33	6+34.31	137.03' RT.
34	6+07.42	137.03' RT.
35	6+07.42	150.00' RT.
36	4+38.51	150.00' RT.
37	4+38.01	136.87' RT.

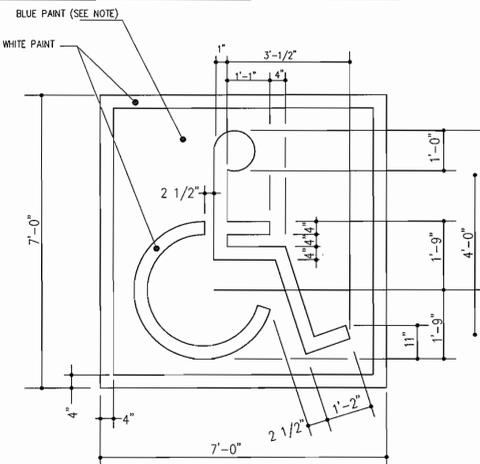
ROAD "D"/LOT D					
No.	STATION	OFFSET	No.	STATION	OFFSET
1	8+37.89	12.00' LT.	38	8+36.02	38.36' RT.
2	8+42.72	16.98' LT.	39	8+53.52	43.02' RT.
3	8+42.72	30.00' LT.	40	8+57.91	77.06' RT.
4	10+09.76	30.00' LT.	41	8+37.37	82.43' RT.
5	10+09.76	16.91' LT.	42	8+37.93	98.41' RT.
6	10+27.53	16.98' LT.	43	8+57.91	103.02' RT.
7	10+27.77	30.81' LT.	44	10+17.96	103.13' RT.
8	10+23.21	35.94' LT.	45	10+17.96	77.14' RT.
9	10+11.08	36.50' LT.	46	10+37.57	77.11' RT.
10	10+14.36	108.40' LT.	47	10+37.57	103.11' RT.
11	10+27.01	107.85' LT.	48	12+09.97	76.91' RT.
12	10+30.91	110.99' LT.	49	12+09.22	102.91' RT.
13	10+53.24	131.85' LT.	50	12+08.07	136.90' RT.
14	10+56.80	136.80' LT.	51	12+07.56	150.00' RT.
15	10+56.80	150.00' LT.	52	10+32.98	150.00' RT.
16	12+13.93	150.00' LT.	53	10+32.98	137.03' RT.
17	12+13.93	136.98' LT.	54	10+32.98	137.03' RT.
18	12+13.00	102.90' LT.	55	10+11.77	150.00' RT.
19	12+13.00	76.98' LT.	56	8+58.49	150.00' RT.
20	10+63.22	102.98' LT.	57	8+58.49	137.03' RT.
21	10+63.22	102.98' LT.			
22	10+49.12	99.79' LT.			
23	10+49.46	79.78' LT.			
24	10+50.15	42.87' LT.			
25	10+50.64	19.76' LT.			
26	10+62.53	17.05' LT.			
27	10+62.53	42.98' LT.			
28	12+11.99	42.98' LT.			
29	12+11.99	16.98' LT.			
30	12+11.41	16.92' RT.			
31	12+10.83	42.92' RT.			
32	10+41.72	17.10' RT.			
33	10+41.72	43.10' RT.			
34	10+22.52	43.10' RT.			
35	10+22.52	17.10' RT.			
36	8+53.52	17.09' RT.			
37	8+35.59	22.43' RT.			



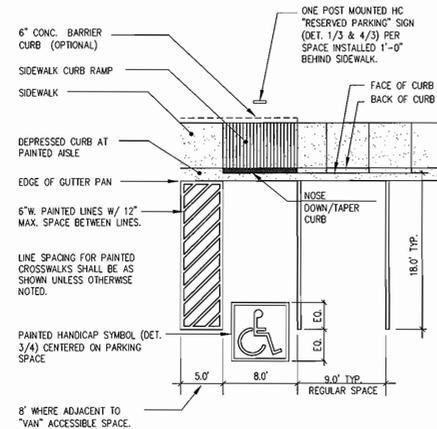
- GENERAL NOTES:**
- SIGNS SHALL MEET DESIGN STANDARDS OF THE FEDERAL HIGHWAY ADMINISTRATION AND CONFORM TO THE STATE OF MARYLAND STANDARD HIGHWAY SIGN BOOKLET DETAIL R7-8.
 - ONE SIGN IS REQUIRED PER SPACE PLACED AS SHOWN ON SITE PLAN.
 - SPACES INDICATED ON SITE PLAN AS "VAN ACCESSIBLE" SHALL BE SIGNED ACCORDINGLY.
 - SIGNS SHALL BE POLE MOUNTED WITH HOT DIPPED GALVANIZED COUNTY APPROVED PERFORATED CHANNEL POSTS W/ THE TOP OF THE SIGN 9'-1" ABOVE FINISHED GRADE OR AS INDICATED ON SITE DRAWINGS.
 - SIGN SHALL BE ATTACHED TO FLANGED SIDE OF POST. POST SHALL EXTEND INTO GROUND 2'-6" MIN.
 - COLORS: LEGEND AND BORDER - GREEN
SYMBOL - WHITE ON BLUE BACKGROUND
BACKGROUND - WHITE



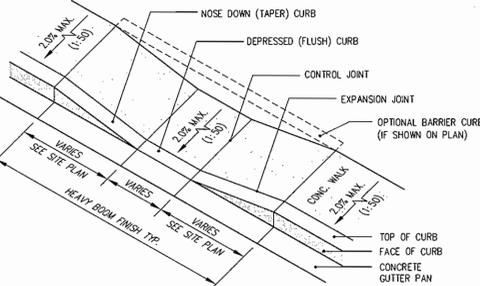
2 POST and SIGN DETAIL FOR PARKING RESTRICTION SIGN NO SCALE



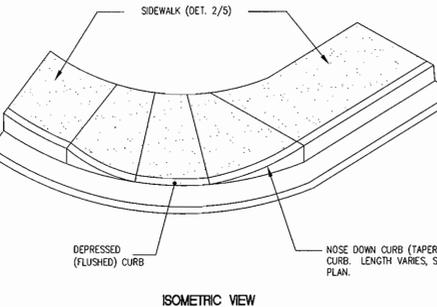
3 HANDICAP SPACE STENCIL LAYOUT NO SCALE



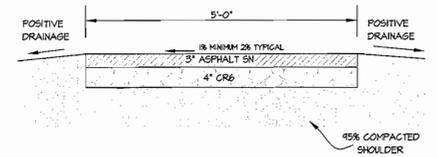
4 PARKING SPACE LAYOUT NO SCALE



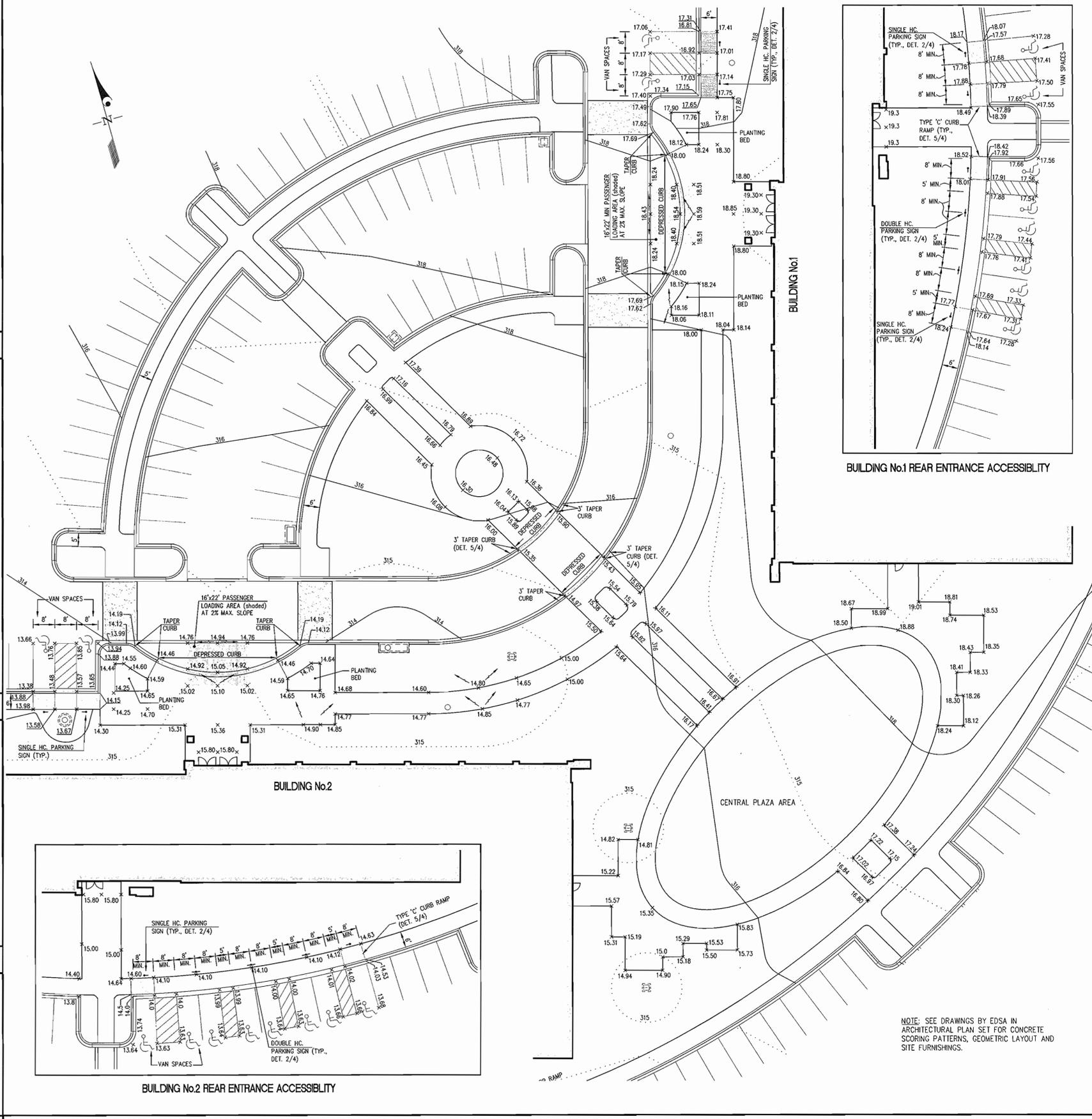
5 TYPE-C SIDEWALK CURB RAMP NO SCALE



6 TYPICAL CURB/NOSE DOWN TAPER AT INTERSECTION NO SCALE



7 TYPICAL ASPHALT SIDEWALK/PATH SECTION NO SCALE



BUILDING No.1 REAR ENTRANCE ACCESSIBILITY

BUILDING No.2

BUILDING No.2 REAR ENTRANCE ACCESSIBILITY

NOTE: SEE DRAWINGS BY EDSA IN ARCHITECTURAL PLAN SET FOR CONCRETE SCORING PATTERNS, GEOMETRIC LAYOUT AND SITE FURNISHINGS.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Steph Laffar* 11/14/06
 Chief, Division of Land Development: *Cindy Harrah* 11/13/06
 Chief, Development Engineering Division: *[Signature]* 11/15/06



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONTVILLE OFFICE PARK
 BURTONTVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/WA: 301-988-2524 FAX: 301-421-4186

PREPARED FOR:
 OWNER/DEVELOPER
 COPY 1-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 410-385-5400
 Attn: PETER Z. GARVER

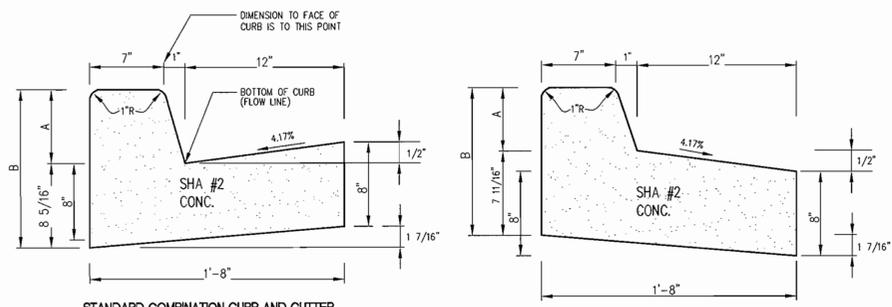
SITE DETAILS
COLUMBIA GATEWAY
PARCEL T-11'
 (SOUTHBRIDGE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	4 OF 13

DATE	REVISION	BY	APP'R.

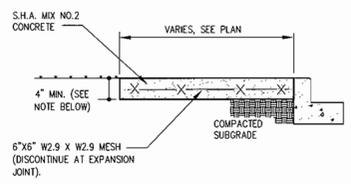
ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

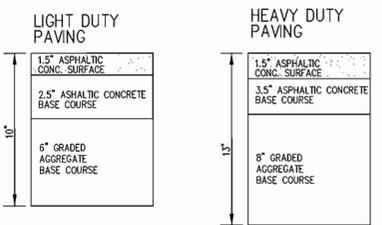


CURB TYPE	A	B
6"-CURB	6"	1'-2 5/16"
7"-CURB	7 3/16"	1'-3 1/2"

NOTES:
 1. 50' MAX. BETWEEN EXPANSION JOINTS & 10' MAX. BETWEEN CONTROL JOINTS.
 2. ALL ON-SITE CURB & GUTTER SHALL BE 6"-CURB. CURB & GUTTER IN COLUMBIA GATEWAY DRIVE AND SAMUEL MORSE DRIVE R.O.W. SHALL BE 7"-CURB.
 3. STANDARD (CATCH) CURB & GUTTER SHALL BE USED WHERE THE ADJACENT PAVEMENT SLOPES TOWARDS THE CURB & GUTTER. REVERSE (SPILL) CURB & GUTTER SHALL BE USED WHERE THE ADJACENT PAVEMENT SLOPES AWAY FROM THE CURB & GUTTER.



NOTES:
 1. UNLESS SHOWN OTHERWISE, INSTALL EXPANSION JOINTS AT MAX. 20'-0" O.C. AND SCORING JOINTS AT MAX. 5'-0" O.C.
 2. CONCRETE THICKNESS SHALL BE 7" WHERE THE SIDEWALK CROSSES THE LOADING DOCK AREA.
 3. PROVIDE 1/2" PREFORMED BITUMINOUS EXPANSION JOINT WHERE SIDEWALK ABUTS AGAINST CURB AND SET SIDEWALK 1/4" ABOVE CURB PER HO. CO. DET. R-3.05.

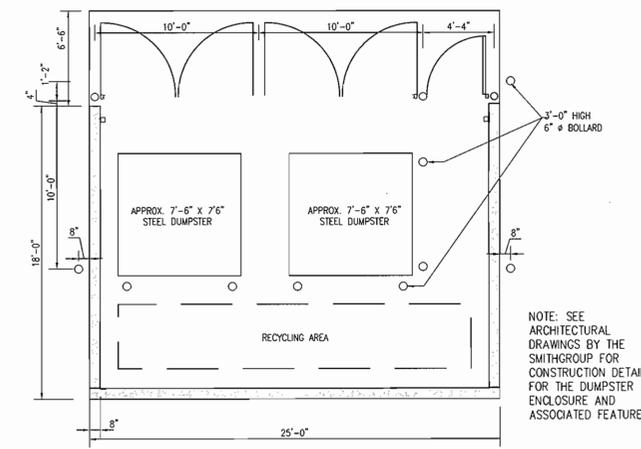


NOTE:
 DEPENDING ON THE CBR VALUES OBTAINED IN THE FIELD, THE PAVING SECTIONS MAY BE REVISED, IF APPROVED BY A PROFESSIONAL SOILS ENGINEER.

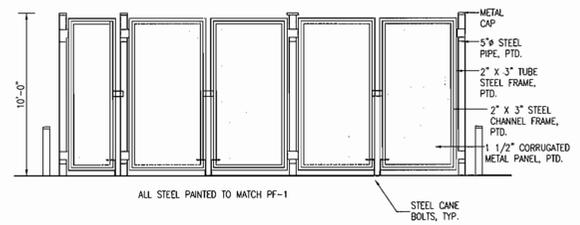
1 CONCRETE CURB AND GUTTER (STANDARD AND REVERSE) NO SCALE

2 TYPICAL SIDEWALK SECTION NO SCALE

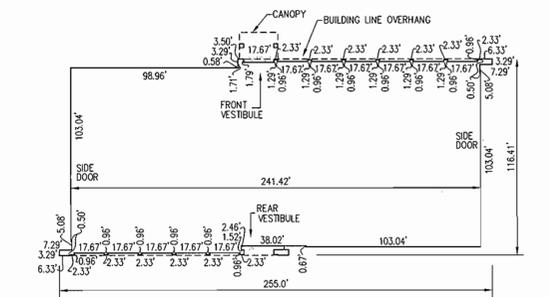
3 BITUMINOUS PAVEMENT SECTIONS NO SCALE



NOTE: SEE ARCHITECTURAL DRAWINGS BY THE SMITHGROUP FOR CONSTRUCTION DETAILS FOR THE DUMPSTER ENCLOSURE AND ASSOCIATED FEATURES.



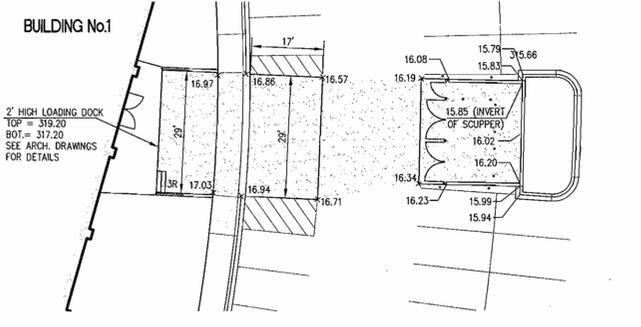
NOTE: SEE ARCHITECTURAL DRAWINGS BY THE SMITHGROUP FOR CONSTRUCTION DETAILS FOR THE DUMPSTER ENCLOSURE AND ASSOCIATED FEATURES.



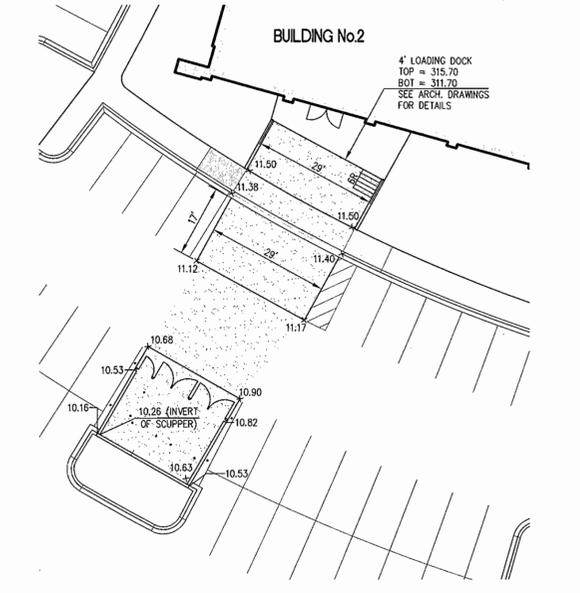
4 REFUSE ENCLOSURE LAYOUT DETAIL NO SCALE

5 ELEVATION -- GATES FOR REFUSE ENCLOSURE NO SCALE

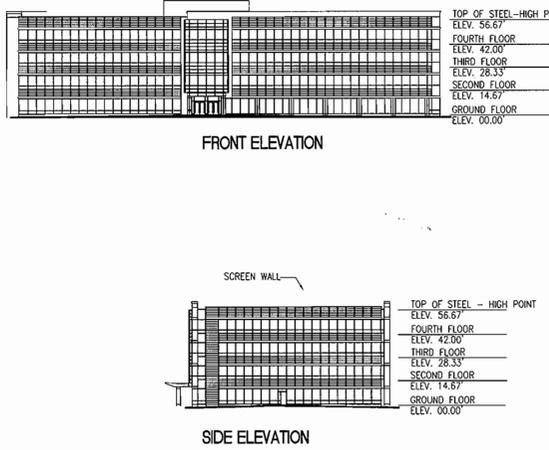
6 BUILDING FOOTPRINT NO SCALE



7 BUILDING No. 1 SERVICE AREA SCALE: 1" = 20'



8 BUILDING No. 2 SERVICE AREA SCALE: 1" = 20'



6 BUILDING ELEVATIONS NO SCALE

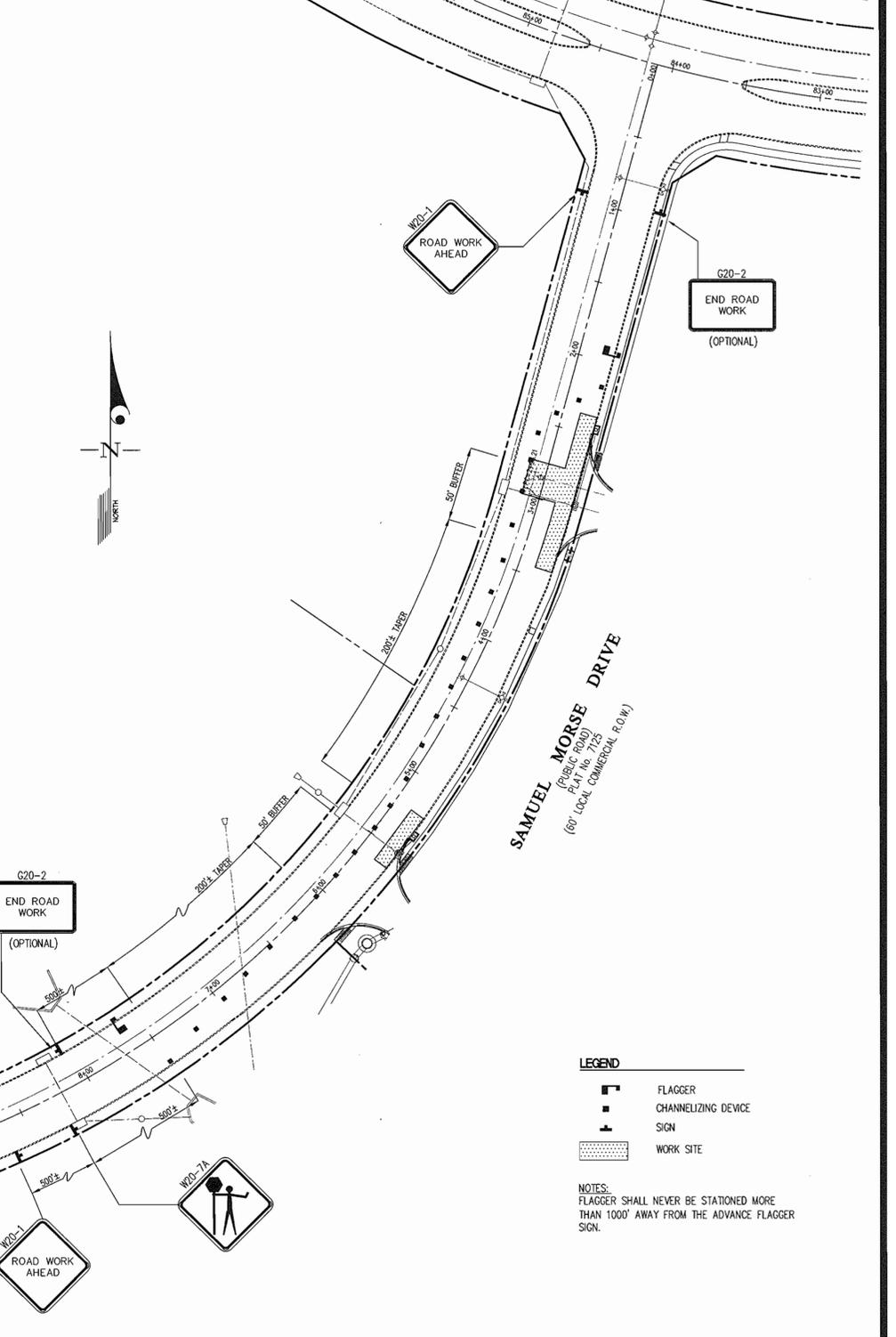
APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *John Caffery* 11/14/06
 Chief, Division of Land Development: *Andy Starnes* 11/13/06
 Chief, Development Engineering Division: *Michael...* 11/15/06



GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4188

PREPARED FOR:
 OWNER/DEVELOPER
 COPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 410-285-5400
 Attn: PETER Z. GARVER

COLUMBIA GATEWAY DRIVE
 (PUBLIC ROAD)
 PLAT No. 7125 & 7540
 (100' LOCAL COMMERCIAL R.O.W.)

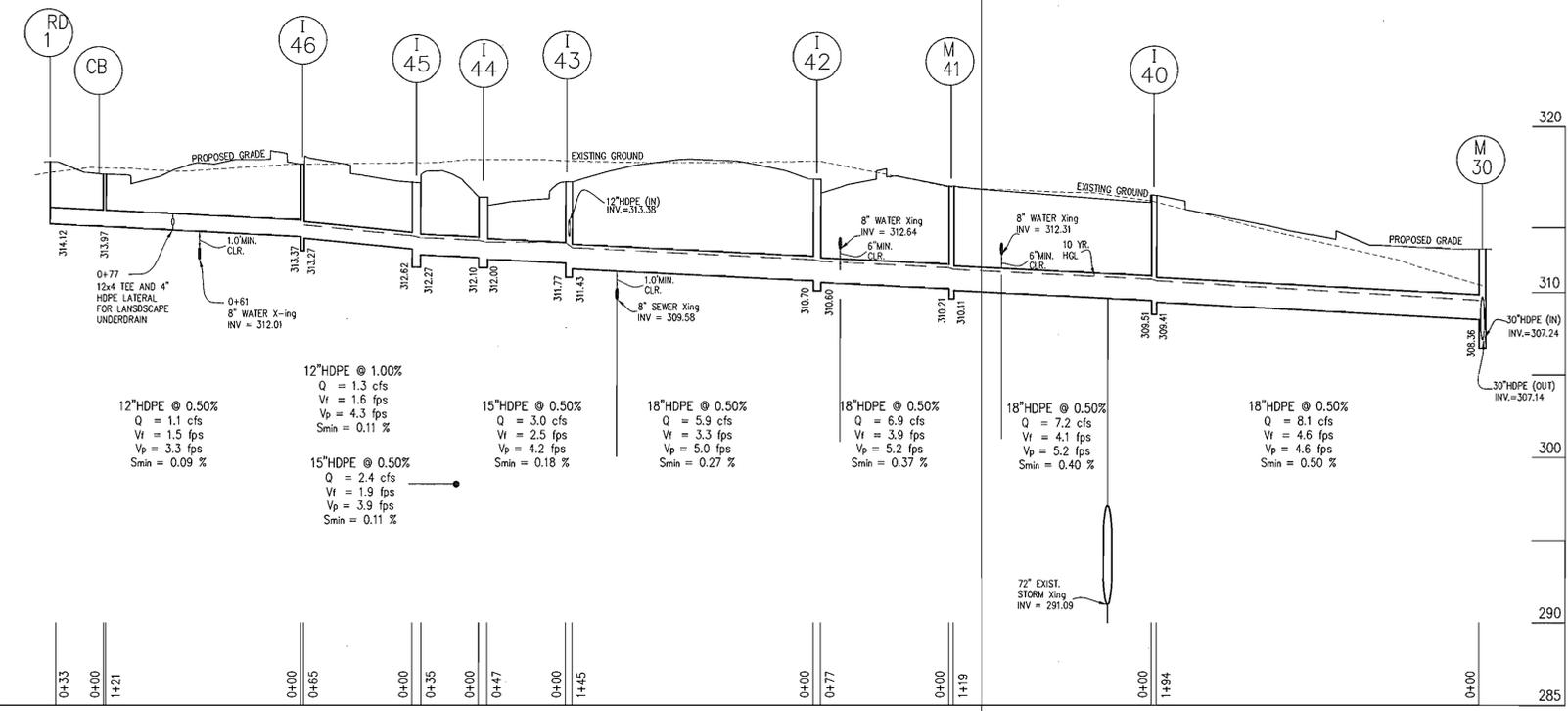


WORK ZONE TRAFFIC CONTROL PLAN ALONG SAMUEL MORSE DRIVE FOR WATER MAIN CONSTRUCTION & INLET RELOCATIONS SCALE: 1" = 50'

LEGEND
 FLAGGER
 CHANNELIZING DEVICE
 SIGN
 WORK SITE

NOTES:
 FLAGGER SHALL NEVER BE STATIONED MORE THAN 1000' AWAY FROM THE ADVANCE FLAGGER SIGN.

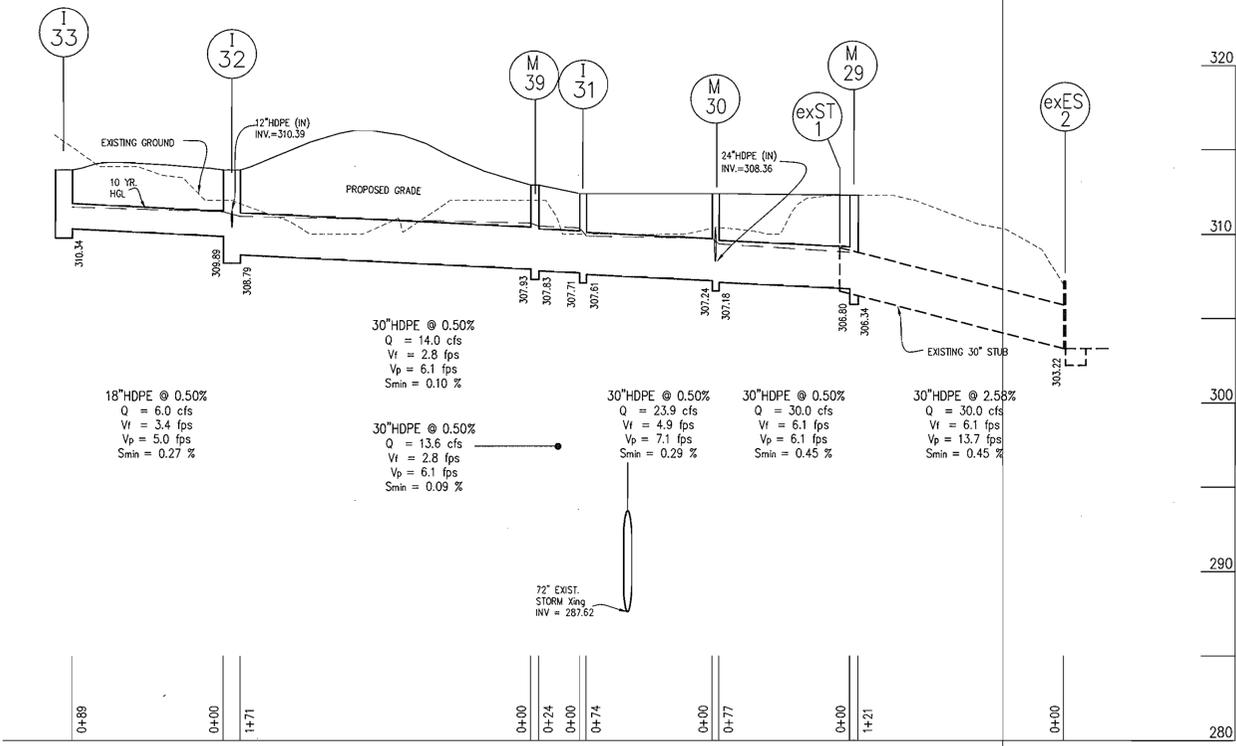
SITE DETAILS		
SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	5 OF 13



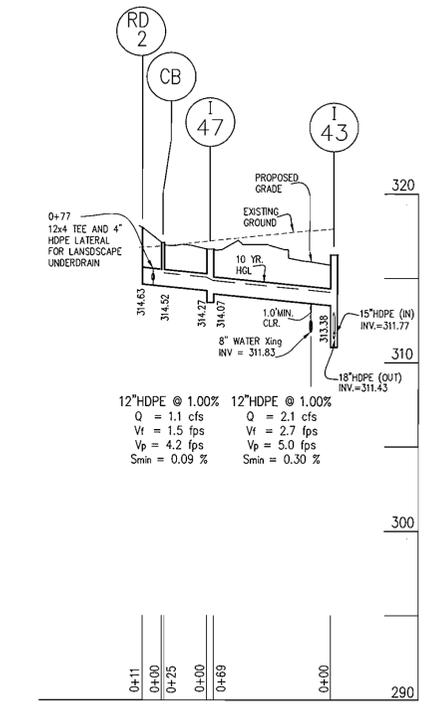
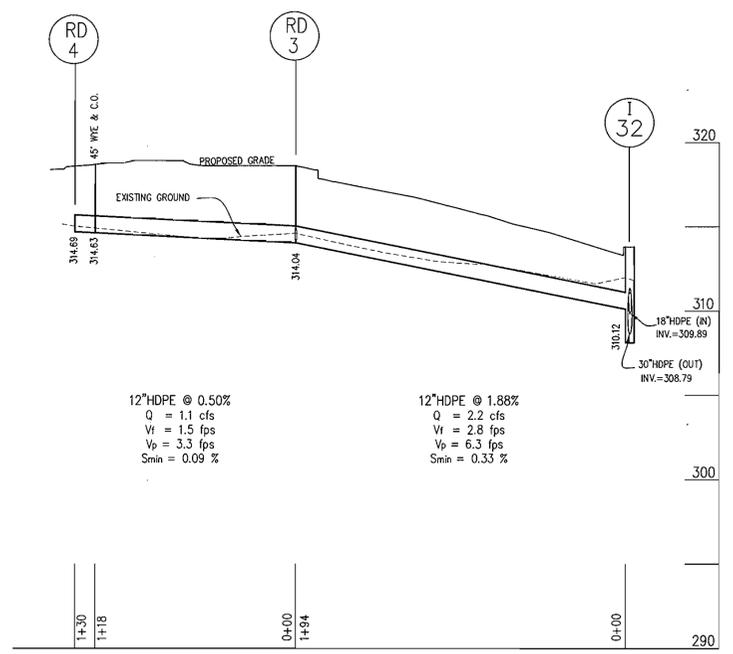
S.D. STRUCTURE SCHEDULE

NO.	TYPE	WIDTH (INSIDE)	TOP ELEVATION		INVERT ELEVATION		STANDARD DETAIL	LOCATIONS & REMARKS
			UPPER	LOWER	UPPER	LOWER		
M-29	5' MANHOLE	5'-0"	312.30	-----	306.80	306.34	HO. CO. G 5.13	
M-30	5' MANHOLE	5'-0"	312.40	-----	308.36	307.18	HO. CO. G 5.13	
I-31	COS-15	5' I.D.	312.40	-----	308.01*	307.61	MD-374.63	
I-32	A-10	3'-6"	313.80	-----	309.89	310.39	HO. CO. SD-4.41	
I-33	A-10	3'-0"	313.80	-----	310.34	TERMINAL	HO. CO. SD-4.41	
M-39	5' MANHOLE	5'-0"	312.90	-----	307.93	307.83	HO. CO. G 5.13	
I-40	A-5	2'-6"	316.28	316.40	309.51	309.41	HO. CO. SD-4.40	
M-41	4' MANHOLE	4'-0"	316.77	-----	310.21	310.11	HO. CO. G 5.12	
I-42	A-10	2'-6"	317.40	-----	310.70	310.60	HO. CO. SD-4.40	
I-43	A-10	2'-6"	316.60	316.77	313.38	311.43	HO. CO. SD-4.41	
I-44	A-10	2'-6"	316.00	315.55	312.10	312.00	HO. CO. SD-4.41	
I-45	DOUBLE S	2'-71/2"	317.00	317.05	312.62	312.27	HO. CO. SD-4.23	
I-46	SINGLE S	2'-71/2"	318.06	-----	313.37	313.27	HO. CO. SD-4.22	
I-47	A-5	2'-6"	317.10	317.00	314.27	314.07	HO. CO. SD-4.40	
CB-RD1	15" NYLOPLAST BASIN No. 2815 AG	-----	317.12	-----	313.99	-----		
CB-RD2	W/ SOLID CAST IRON	-----	317.40	-----	314.52	-----		
CB-RD3	GRATE	-----	317.32	-----	314.04	-----		

NOTE: FOR S.D. PIPE SUMMARY TABLE SEE SHEET 6.



NOTE REGARDING M-29: WELL IN ADVANCE UTILITY CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST PIT(S) TO DETERMINE THE ACTUAL INVERT ELEVATION OF THE EXISTING 30" PIPE AT M29 AND THEN CONTACT THE ENGINEER IF THERE IS ANY DISCREPANCY BETWEEN WITH THE DESIGN & THE AS-BUILT CONDITION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 11/14/06
 Chief, Division of Land Development: *[Signature]* Date: 11/13/06
 Chief, Development Engineering Division: *[Signature]* Date: 11/15/06



PROFILES
 SCALES: 1" = 5' VERT.
 1" = 50' HORIZ.

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4166

DATE	REVISION	BY	APPR.

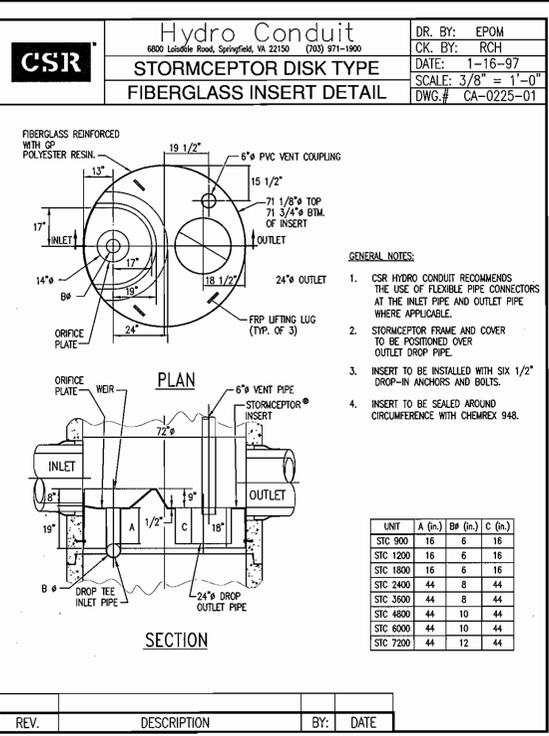
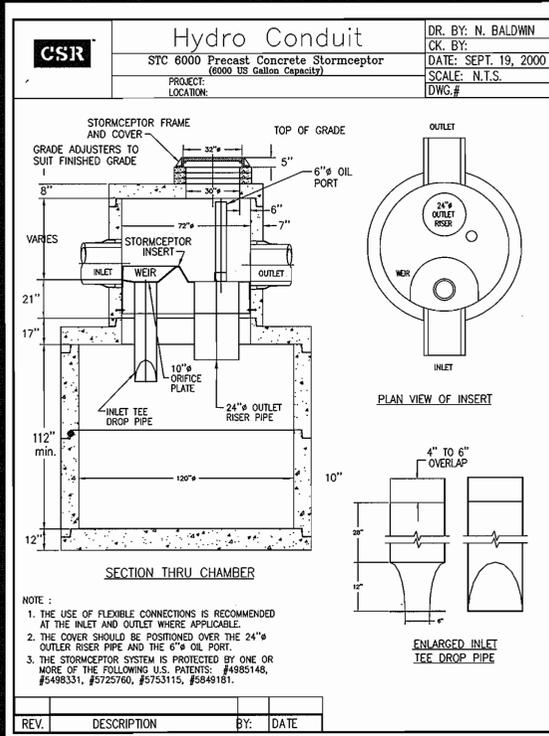
PREPARED FOR:
 OWNER/DEVELOPER
 COPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 413-285-5400
 Attn: PETER Z. GARVER

ELECTION DISTRICT No. 6

STORM DRAIN PROFILES
COLUMBIA GATEWAY
PARCEL 'T-11'
(SOUTH RIDGE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	7 OF 13

HOWARD COUNTY, MARYLAND



Precast Concrete Stormceptor® Order Request Form

TO BE INCLUDED ON SET PLAN BY DESIGNER

CONTRACTOR INFORMATION

Name _____
Address _____
City _____
State _____
Zip Code _____
Contact _____
Phone _____
Fax _____

OWNER INFORMATION

Name COPT T-11 LLC
Phone 410-992-7312
Fax _____

IMPERVIOUS DRAINAGE AREA FOR THIS UNIT

Stormceptor® Model	Insert Size	Manhole Number
STC 900 <input type="checkbox"/>	DISC <input type="checkbox"/>	300-2
STC 1200 <input type="checkbox"/>	22" <input type="checkbox"/>	304.00
STC 1800 <input type="checkbox"/>	32" <input type="checkbox"/>	297.21
STC 2400 <input type="checkbox"/>	44" <input type="checkbox"/>	286.88
	CUSTOM <input type="checkbox"/>	

Project Name COLUMBIA GATEWAY - PARCEL T-11
Approximate time frame of delivery (weeks) _____
Delivery Address: Street _____
City _____ State _____ Zip Code _____
Designer Company GUTSCHICK LITTLE AND WEBER, PA.
Designer Contact MIKE TRAM Phone 301-421-4024 Fax 301-421-4188

PLEASE FILL OUT COMPLETELY AND FAX TO: **CSR Hydro Conduit**
ATTN: ED O'MALLEY FAX: (703)922-3659, PHONE: (703)971-1900
FOR TECHNICAL ASSISTANCE PLEASE CALL MIKE BARG,
PHONE (703)971-1900

PROCEDURE TO SEAL LIFT HOLES

- LIFT HOLES IN THE TANK SECTION ARE TO BE PLUGGED WITH A TAPERED FLEXIBLE PLUG AND KNOCKED INTO THE HOLE WITH A HAMMER. (PLUG MAY BE PLACED IN THE INSIDE OR OUTSIDE OF THE TANK)
- ONCE THE PLUG IS SET IN PLACE, THE INSIDE AND OUTSIDE OF THE LIFT HOLES MUST BE COVERED WITH CEMENT GROUT.
- CEMENT GROUT SEAL SHOULD EXTEND FOR 2 TO 3 INCHES BEYOND THE LIFT HOLE OPENING.
- LIFT HOLES WHICH ARE NOT PART OF THE TANK SECTION NEED ONLY BE SEALED WITH THE FLEXIBLE PLUG KNOCKED INTO PLACE.

CONSTRUCTION NOTES

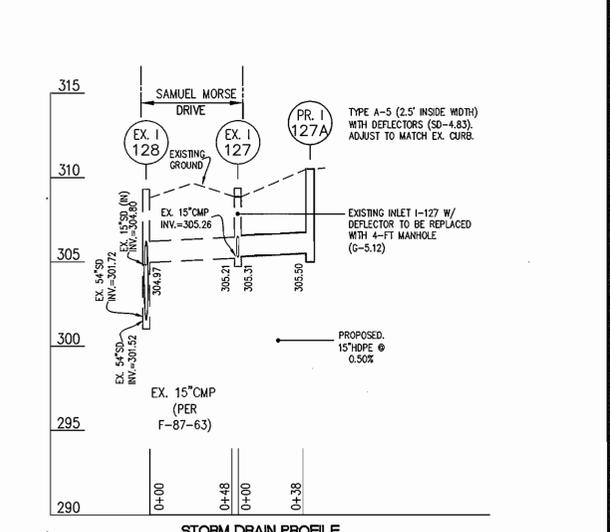
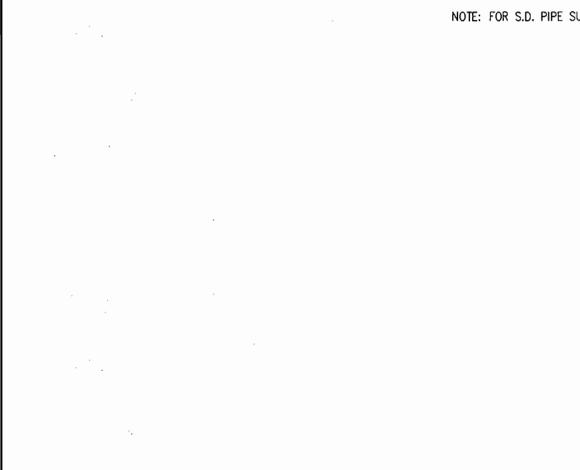
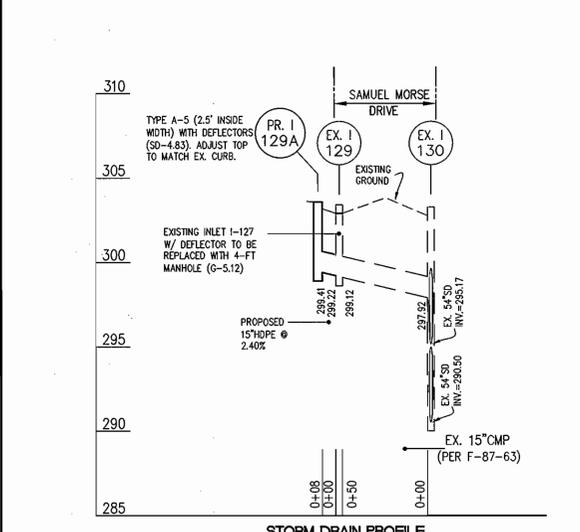
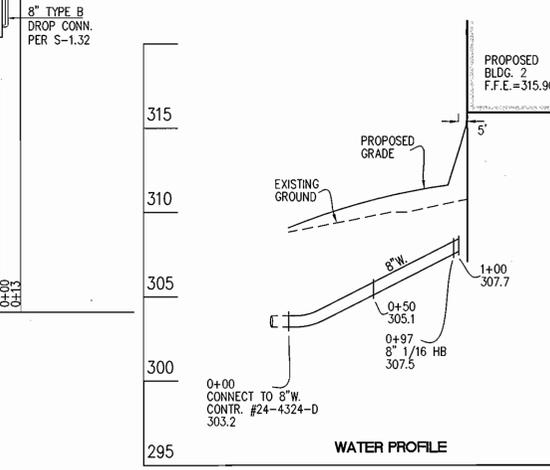
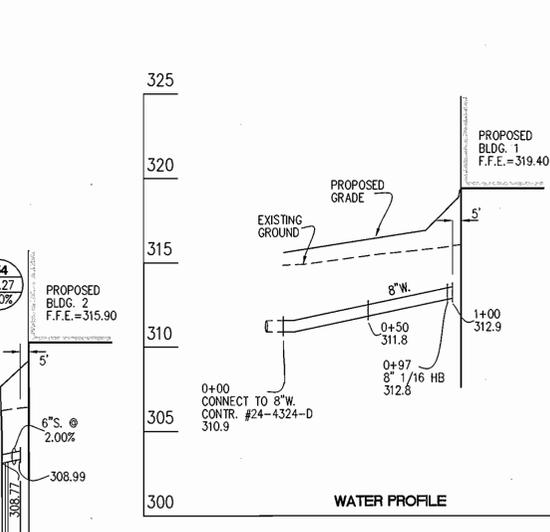
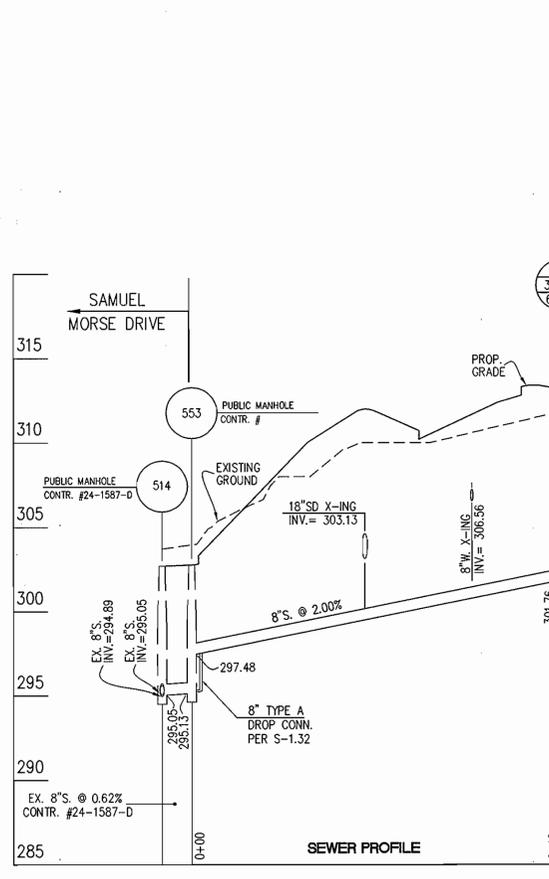
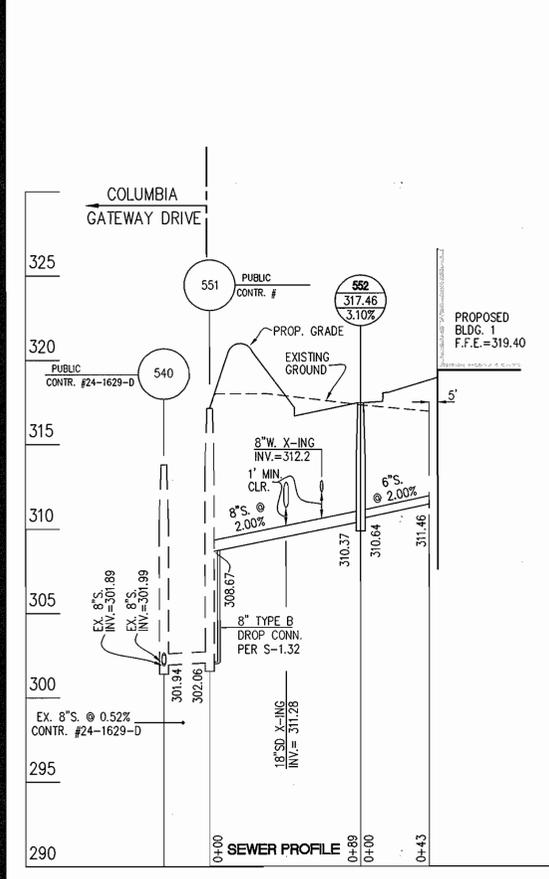
- SILT AND DEBRIS SHALL NOT BE ALLOWED TO ENTER THE STORMCEPTOR UNTIL THE CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED. SILT MAY BE ALLOWED TO ENTER STORMCEPTOR IF IT IS BEING USED AS A FINAL SEDIMENT CONTROL FILTERING DEVICE.
- ALL OPENINGS TO STRUCTURES SHALL BE PROTECTED WITH THE APPROPRIATE SEDIMENT CONTROL MEASURES DURING CONSTRUCTION.
- THE STORMCEPTOR MUST BE PUMPED OUT AND CLEANED AT THE END OF THE CONSTRUCTION OF THE PROJECT.

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMCEPTOR WATER QUALITY DEVICE

- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE PERIODICALLY INSPECTED AND CLEANED TO MAINTAIN OPERATION AND FUNCTION. THE OWNER SHALL INSPECT THE STORMCEPTOR UNIT YEARLY AT A MINIMUM, UTILIZING THE STORMCEPTOR INSPECTION/MONITORING FORM. INSPECTIONS SHALL BE DONE BY USING A CLEAR PLEXIGLAS TUBE ("SLUDGE JUDGE") TO EXTRACT A WATER COLUMN SAMPLE. WHEN THE SEDIMENT DEPTHS EXCEED THE LEVEL SPECIFIED IN TABLE 6 OF THE STORMCEPTOR TECHNICAL MANUAL, THE UNIT MUST BE CLEANED.
- THE STORMCEPTOR WATER QUALITY STRUCTURE SHALL BE CHECKED AND CLEANED IMMEDIATELY AFTER PETROLEUM SPILLS. THE OWNER SHALL CONTACT THE APPROPRIATE REGULATORY AGENCIES.
- THE MAINTENANCE OF THE STORMCEPTOR UNIT SHALL BE DONE USING A VACUUM TRUCK WHICH WILL REMOVE THE WATER, SEDIMENT, DEBRIS, FLOATING HYDROCARBONS AND OTHER MATERIALS IN THE UNIT. PROPER CLEANING AND DISPOSAL OF THE REMOVED MATERIALS AND LIQUID MUST BE FOLLOWED BY THE OWNER.
- THE INLET AND OUTLET PIPES SHALL BE CHECKED FOR ANY OBSTRUCTIONS AT LEAST ONCE EVERY SIX MONTHS. IF OBSTRUCTIONS ARE FOUND THE OWNER SHALL HAVE THEM REMOVED. STRUCTURAL PARTS OF THE STORMCEPTOR UNIT SHALL BE REPAIRED AS NEEDED.
- THE OWNER SHALL RETAIN AND MAKE THE STORMCEPTOR INSPECTION/MONITORING FORMS AVAILABLE TO THE HOWARD COUNTY OFFICIALS UPON THEIR REQUEST.

SEQUENCE OF CONSTRUCTION AND INSPECTOR'S CHECK-OFF LIST FOR STORMWATER MANAGEMENT STORMCEPTOR

STAGE	DEVELOPER'S ENGINEER'S APPROVAL	DEP INSPECTOR APPROVAL
INITIALS/DATE	INITIALS/DATE	INITIALS/DATE
1. PRE-CONSTRUCTION MEETING*		
2. INSTALLATION OF STORMCEPTOR® & ASSOCIATED STORM DRAINAGE a. OBTAIN APPROVAL OF SUBGRADE		
b. INSTALLATION OF PRECAST BASE & LOWER TANK*		
c. INSTALLATION OF PRECAST MIDDLE SECTION WITH STORMCEPTOR INSERT*		
d. INSTALLATION OF PRECAST TOP SLAB*		
e. INSTALLATION OF ADJUSTMENT RINGS AND FRAME AND COVER*		
3. BACKFILL OPERATION AND COMPACTION		
4. SITE IS PERMANENTLY STABILIZED. SEDIMENT CONTROL WEAPONS REMOVED AND ALL DEBRIS REMOVED FROM STORMCEPTOR*		
5. FINAL INSPECTION*		



NOTE: FOR S.D. PIPE SUMMARY TABLE SEE SHEET 6.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Steph Lafferty Director Date 11/14/06

Judy Hensch Chief, Division of Land Development Date 11/12/06

Michael... Chief, Development Engineering Division Date 11/15/06



GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-388-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
OWNER/DEVELOPER
COPT T-11 LLC
c/o CORPORATE DEVELOPMENT SERVICES, LLC
6711 COLUMBIA GATEWAY DRIVE, SUITE 300
COLUMBIA, MD 21046
Phone: 413-285-5400
Attn: PETER Z. GARVER

UTILITY PROFILES AND DETAILS

COLUMBIA GATEWAY
PARCEL T-11
(SOUTHRISE OFFICE BUILDINGS)
PLAT Nos. 13753 & 18257

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	8 OF 13

ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

SEQUENCE OF CONSTRUCTION

1. APPLY FOR A GRADING PERMIT AND SCHEDULE A PRECONSTRUCTION MEETING. THE GRADING PERMIT IS ISSUED BY THE SEDIMENT CONTROL INSPECTOR (SCI) AT THE PRECONSTRUCTION MEETING.
2. INSTALL THE STABILIZED CONSTRUCTION ENTRANCES (SCE), PERIMETER SILT FENCE (-SF-) AND SUPER SILT FENCE (-SSF-) ALONG THE L.O.D. (1 DAY). INSTALL A DOUBLE ROW OF -SSF- SHOWN ON THE PLAN OR AS DIRECTED BY THE SCI.
3. INSTALL THE STORM DRAIN SYSTEM UP FROM M-29 AND FROM HW-1 TO M-10, I-20 AND I-23. PROVIDE INLET PROTECTION AT EACH INLET AS SOON AS EACH INLET IS INSTALLED (5-7 DAYS).
4. COORDINATE THE WATER AND SEWER INSTALLATION WITH THE STORM DRAIN INSTALLATION (3-4 DAYS).
5. ONCE PERMISSION IS GRANTED BY THE SCI, GRADE THE SITE TO THE APPROPRIATE SUBGRADE (3-4 DAYS).

THE FOLLOWING SEQUENCES ARE IN TWO PHASES (BASED ON THE PAVING PHASING INSET ON THIS SHEET).

PHASE-1 (BUILDING-1 AND PAVING AREA-1)

6. STABILIZE THE PHASE-2 AREA WITH PERMANENT SEEDING (1 DAY).
7. INITIATE BUILDING-1 CONSTRUCTION AND INSTALL THE CURB/GUTTER AND THE BITUMINOUS BASE COURSE FOR THE AREA IN PHASE-1 (1 WEEK, PAVEMENT WORK; BUILDING CONSTRUCTION, 9-12 MONTHS).
8. STABILIZE ALL "GREEN" AREA OF PHASE-1 WITH LANDSCAPE MATERIALS (2 DAYS).
9. INSTALL THE BITUMINOUS TOP COURSE, STRIPE THE PARKING SPACES AND COMPLETE BUILDING-1.
10. OBTAIN PERMISSION FROM THE SCI TO REMOVE ANY REMAINING SEDIMENT CONTROL MEASURES IN PHASE-1.

PHASE-2 (BUILDING-2 AND PAVING AREA-2)

CHECK ALL SEDIMENT CONTROL MEASURES AND MAKE ALL NECESSARY REPAIRS AS DIRECTED BY THE SCI.

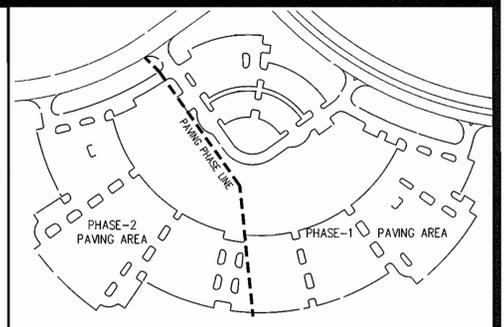
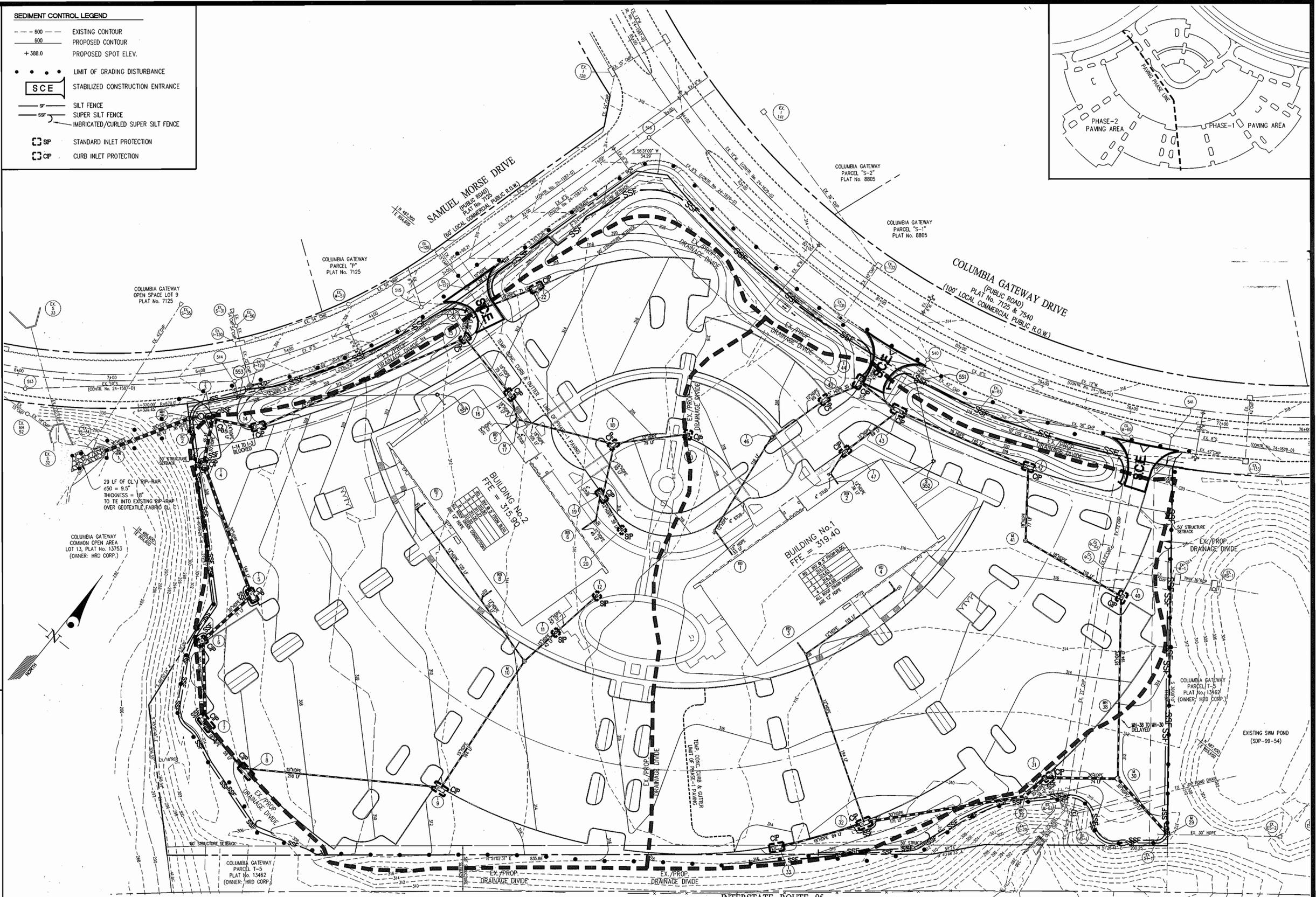
11. EXTEND THE STORM DRAIN SYSTEM FROM M-10 TO RD-7, RD-8, I-11 AND I-12. IMMEDIATELY PROVIDE INLET PROTECTION AT I-11 AND I-12 ONCE THEY ARE INSTALLED.
12. CHECK THE GRADED AREA THEN INITIATE BUILDING-2 CONSTRUCTION AND INSTALL THE CURB/GUTTER AND THE BITUMINOUS BASE COURSE (1 WEEK, PAVEMENT WORK; BUILDING CONSTRUCTION, 9-12 MONTHS).
13. STABILIZED ALL "GREEN" AREA OF PHASE-2 WITH LANDSCAPE MATERIALS (2 DAYS).
14. INSTALL THE BITUMINOUS TOP COURSE, STRIPE THE PARKING SPACES AND COMPLETE BUILDING-2.
15. OBTAIN PERMISSION FROM THE SCI TO REMOVE ALL REMAINING SEDIMENT CONTROL MEASURES.

NOTES:

1. AT THE CLOSE OF EACH DAY, THE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OR REINSTALLATION OF ANY SEDIMENT CONTROL DEVICES DAMAGED BY CONSTRUCTION ACTIVITY.
2. DOUBLE ROW OF SUPER SILT IS TO BE INSTALLED AT THE DISCRETION OF THE SEDIMENT CONTROL INSPECTOR.

SEDIMENT CONTROL LEGEND

- - - 600 - - - EXISTING CONTOUR
- 600 — PROPOSED CONTOUR
- + 388.0 PROPOSED SPOT ELEV.
- • • • • LIMIT OF GRADING DISTURBANCE
- SCE** STABILIZED CONSTRUCTION ENTRANCE
- SF- SILT FENCE
- SSF- SUPER SILT FENCE
- IMBRICATED/CURLED SUPER SILT FENCE
- SP STANDARD INLET PROTECTION
- CP CURB INLET PROTECTION



ENGINEER'S CERTIFICATE

I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 9/25/06
DATE

DEVELOPER'S/BUILDER'S CERTIFICATE

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A MARYLAND DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE HSCD.

By: *[Signature]* 9-21-06
DATE
SIGNATURE DEVELOPER/BUILDER *[Signature]* 9-21-06
DATE
SIGNATURE *[Signature]* 9-21-06
DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

[Signature] 11/14/06
Date
[Signature] 11/14/06
Date
[Signature] 11/15/06
Date

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

[Signature] 10/2/06
DATE
HOWARD S.C.D.

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEET THE TECHNICAL REQUIREMENTS.

[Signature] 10/2/06
DATE
NATURAL RESOURCES CONSERVATION SERVICE



INTERSTATE ROUTE 95
(PUBLIC ROAD) M.S.R.C. PLAT Nos. 34758 & 34760
(VARIABLE WIDTH PRINCIPLE ARTERIAL PUBLIC R.O.W.)

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

GLW GUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20886
TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
OWNER/DEVELOPER:
COPT T-11 LLC
CORPORATE DEVELOPMENT SERVICES, LLC
6711 COLUMBIA GATEWAY DRIVE, SUITE 300
COLUMBIA, MD 21046
Phone: 410-285-5400
Attn: PETER Z. GARVER

SEDIMENT CONTROL PLAN
COLUMBIA GATEWAY
PARCEL T-11
(SOUTHRIDGE OFFICE BUILDINGS)
PLAT Nos. 13753 & 18257

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	9 OF 13

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION
PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE
TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADE.

CONDITIONS WHERE PRACTICE APPLIES
I. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPE WHERE:
A. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
B. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIED OF MOISTURE AND PLANT NUTRIENTS.
C. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
D. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.

II. FOR THE PURPOSE OF THESE STANDARDS AND SPECIFICATIONS, AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN FOR ADEQUATE STABILIZATION. AREAS HAVING SLOPES STEEPER THAN 2:1 SHALL HAVE THE APPROPRIATE STABILIZATION SHOWN ON THE PLANS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS
I. TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE RESPECTIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.
II. TOPSOIL SPECIFICATIONS - SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING:
A. TOPSOIL SHALL BE A LOAM, SANDY LOAM, LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF CONTRASTING TEXTURED SUBSOILS AND SHALL CONTAIN LESS THAN 2% COARSE STONES, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.
B. TOPSOIL MUST BE FREE OF PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSONGRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS CLAYED.
C. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE IF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.
III. FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES:
A. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
IV. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES:
A. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER & LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING:
1. PH FOR TOPSOIL SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A PH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE PH TO 6.0 OR HIGHER.
2. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.
3. TOPSOIL HAVING SOLUBLE SALT GREATER THAN 500 PARTS PER MILL SHALL NOT BE USED.
4. NO SOIL OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL, UNLESS SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHOTO-TOXIC MATERIALS.
NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
B. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 2.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS (OR SEE SEEDING NOTES).
V. TOPSOIL APPLICATION
A. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSION, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.
B. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALBERT 4"-8" HIGHER IN ELEVATION.
C. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4"-8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SOODING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER.
D. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.
VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW.
A. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING DISTURBED AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
1. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS THAT ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 28.04.06.
2. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHORUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE.
3. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.
B. COMPOSTED SLUDGE SHALL BE AMENDED WITH A POTASSIUM FERTILIZER APPLIED AT A RATE OF 4LB/1,000 SQUARE FEET, AND 1/3 THE NORMAL LIME APPLICATION RATE.

SEDIMENT CONTROL NOTES

- A MINIMUM OF 24 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY OFFICE OF INSPECTION AND PERMITS PRIOR TO THE START OF ANY CONSTRUCTION. (410) 313-1855
- ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL AND REVISIONS THERETO.
- FOLLOWING INITIAL SOIL DISTURBANCE OR REDISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN: A) 7 CALENDAR DAYS FOR ALL PERIMETER SEDIMENT CONTROL STRUCTURES, DIKES AND PERIMETER SLOPES AND ALL SLOPES GREATER THAN 3:1, B) 14 DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.
- ALL SEDIMENT TRAPS/BASINS SHOWN MUST BE FENCED AND WARNING SIGNS POSTED AROUND THEIR PERIMETER IN ACCORDANCE WITH VOL. 1, CHAPTER 12, OF THE HOWARD COUNTY DESIGN MANUAL, STORM DRAINAGE.
- ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE IN ACCORDANCE WITH THE 1994 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR PERMANENT SEEDINGS, SOIL, TEMPORARY SEEDINGS AND MULCHING (SEC. G), TEMPORARY STABILIZATION, WITH MULCH ALONE, CAN ONLY BE DONE WHEN RECOMMENDED SEEDING DATES DO NOT ALLOW FOR PROPER GERMINATION AND ESTABLISHMENT OF GRASSES.
- ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION UNTIL PERMITS FOR THEIR REMOVAL HAS BEEN OBTAINED FROM THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR.

8. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY BY THE HOWARD COUNTY OFFICE OF SEDIMENT CONTROL INSPECTOR.

9. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY OFFICE OF SEDIMENT CONTROL INSPECTOR.

10. ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING. OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION AGENCY IS MADE.

11. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO 3 PIPE LENGTHS OR THAT WHICH SHALL BE BACKFILLED AND STABILIZED WITHIN 1 WORKING DAY, WHICHEVER IS SHORTER.

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREA NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:
1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL. AT TIME OF SEEDING, APPLY 400 LBS PER ACRE 30-0-0 UREA-FORM FERTILIZER (4 LBS/1000 SQ FT).
2) ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS/1000 SQ FT) AND 1000 LBS PER ACRE OF 10-10-10 FERTILIZER (23 LBS/1000 SQ FT) BEFORE SEEDING. HARROW OR DISC INTO UPPER THREE INCHES OF SOIL.

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS PER ACRE (1.4 LBS/1000 SQ FT) OF KENTUCKY 31 TALL FESCUE. FOR PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS PER ACRE (.05 LBS/1000 SQ FT) OF WEEPING LOVEGRASS. DURING THE PERIOD OF OCTOBER 16 THRU FEBRUARY 28, PROTECT SITE BY OPTION (1) 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING. OPTION (2) USE SOO. OPTION (3) SEED WITH 60 LBS/ACRE KENTUCKY 31 TALL FESCUE AND MULCH WITH 2 TONS/ACRE WELL ANCHORED STRAW.
MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTATED SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FEET OR HIGHER, USE 348 GALLONS PER ACRE (6 GAL/1000 SQ FT) FOR ANCHORING.

MAINTENANCE: INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

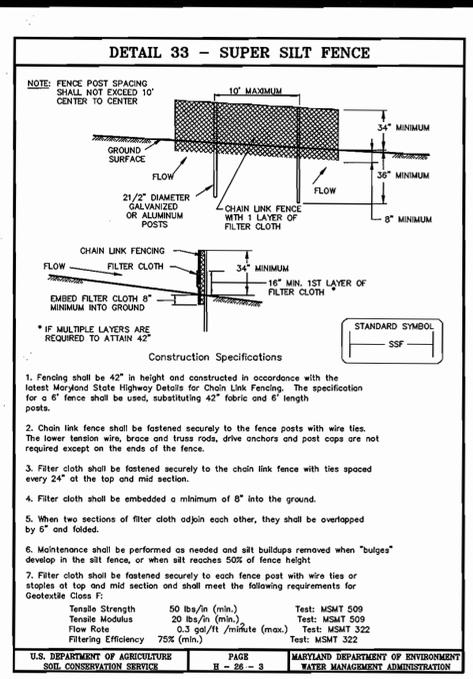
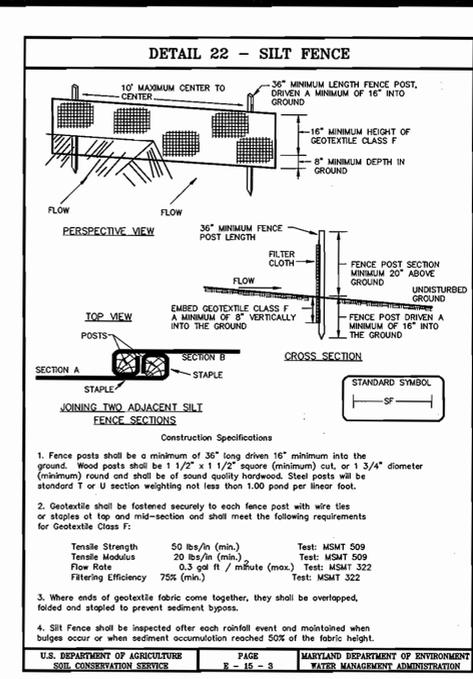
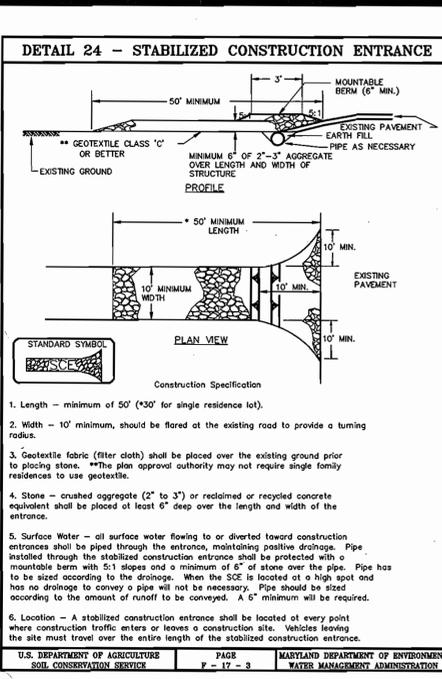
TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING (UNLESS PREVIOUSLY LOOSENED).

SOIL AMENDMENTS: APPLY 600 LBS PER ACRE 10-10-10 FERTILIZER (14 LBS/1000 SQ FT).

SEEDING: FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS/1000 SQ FT). FOR PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS PER ACRE OF WEEPING LOVEGRASS (.07 LBS/1000 SQ FT). FOR PERIOD NOVEMBER 16 THRU FEBRUARY 28, PROTECT SITE BY APPLYING 2 TONS PER ACRE OF WELL ANCHORED STRAW MULCH AND SEED AS SOON AS POSSIBLE IN THE SPRING, OR USE SOO.
MULCHING: APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS/1000 SQ FT) OF UNROTATED, WEED-FREE, SMALL GRAIN STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GAL PER ACRE (5 GAL/1000 SQ FT) OF EMULSIFIED ASPHALT ON FLAT AREAS. ON SLOPES 8 FT OR HIGHER, USE 348 GAL PER ACRE (6 GAL/1000 SQ FT) FOR ANCHORING.



Dust Control

Definition
Controlling dust blowing and movement on construction sites and roads.

Purpose
To prevent blowing and movement of dust from exposed soil surfaces, reduce on and off-site damage, health hazards, and improve traffic safety.

Conditions Where Practice Applies
This practice is applicable to areas subject to dust blowing and movement where on and off-site damage is likely without treatment.

Specifications

Temporary Methods

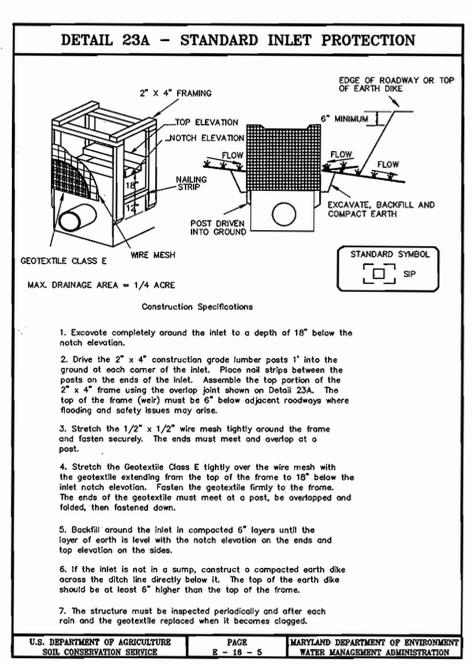
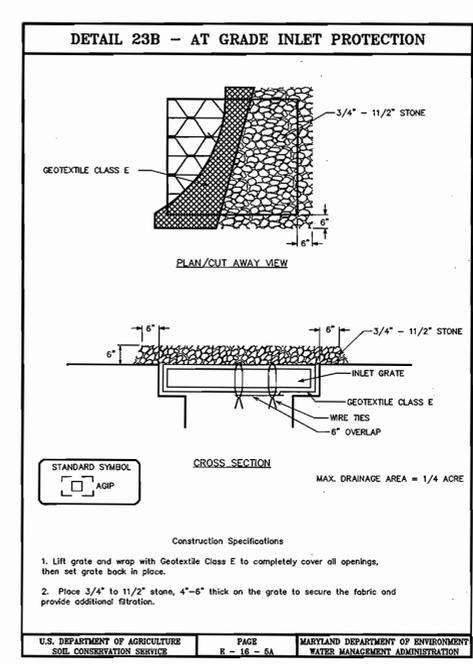
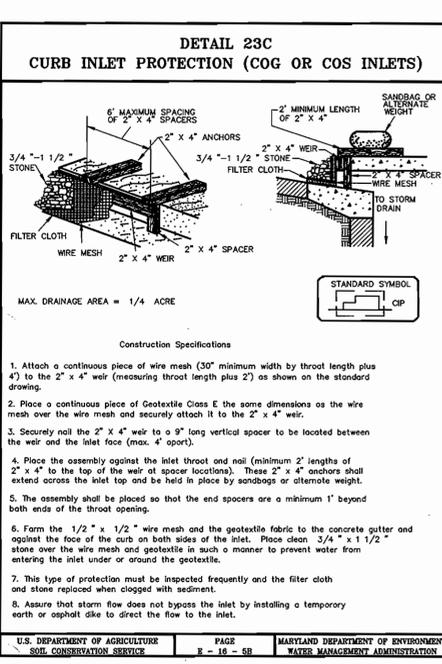
- Mulches - See standards for vegetative stabilization with mulches only, mulch should be crimped or tacked to prevent blowing.
- Vegetative Cover - See standards for temporary vegetative cover.
- Tillage - To roughen surface and bring clods to the surface. This is an emergency measure which should be used before soil blowing starts. Begin plowing on windward side of site. Chisel-type plows spaced about 12" apart, spring-toothed harrows, and similar plows are examples of equipment which may produce the desired effect.
- Irrigation - This is generally done as an emergency treatment. Site is sprinkled with water until the surface is moist. Repeat as needed. At no time should the site be irrigated to the point that runoff begins to flow.
- Barriers - Solid board fences, silt fences, snow fences, straw bales, and similar material can be used to control air currents and soil blowing. Barriers placed at right angle to prevailing currents at intervals at about ten times their height are effective in controlling soil blowing.
- Calcium Chloride - Apply at rates that will keep surface moist. May need treatment.

Permanent Methods

- Permanent Vegetation - See standards for permanent vegetative cover, and permanent stabilization with sod. Existing trees or large shrubs may afford valuable protection if left in place.
- Topsoiling - Covering with less erosive soil material. See standards for top soil.
- Stone - Cover surface with crushed stone or gravel.

References

- Agriculture Handbook 346, Wind Erosion Forces in the United States and Their Use in Predicting Soil Loss.
- Agriculture Information Bulletin 354, How to Control Wind Erosion, USDA, ARS.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *[Signature]* Date: 11/14/06
 Chief, Division of Land Development: *[Signature]* Date: 11/14/06
 Chief, Development Engineering Division: *[Signature]* Date: 11/15/06

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BAL: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING AND MEET THE TECHNICAL REQUIREMENTS.
 THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.
 NATURAL RESOURCES CONSERVATION SERVICE DATE: 11/14/06
 HOWARD COUNTY, MARYLAND DATE: 11/14/06

DEVELOPER'S/BUILDER'S CERTIFICATE
 I, the undersigned, certify that all development and/or construction will be done according to this plan, and that any responsible personnel involved in the construction project will have a certificate of attendance at a Maryland Department of the Environment approved training program for the control of sediment and erosion before beginning the project. I also authorize periodic on-site inspection by the HSDO.
 Signature: *[Signature]* Date: 9-21-06
 Signature of Developer/Builder: *[Signature]* Date: 9-21-06

ENGINEER'S CERTIFICATE
 I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING.
 Signature: *[Signature]* Date: 9/25/06

PREPARED FOR:
 OWNER/DEVELOPER:
 COTT T-R LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 410-265-5400
 Attn: PETER Z. GRAYER

ELECTION DISTRICT No. 6

THIS PLAN IS FOR SEDIMENT CONTROL PURPOSES ONLY

SEDIMENT CONTROL NOTES & DETAILS

COLUMBIA GATEWAY
 PARCEL T-1P
 (SOUTHDRIVE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257

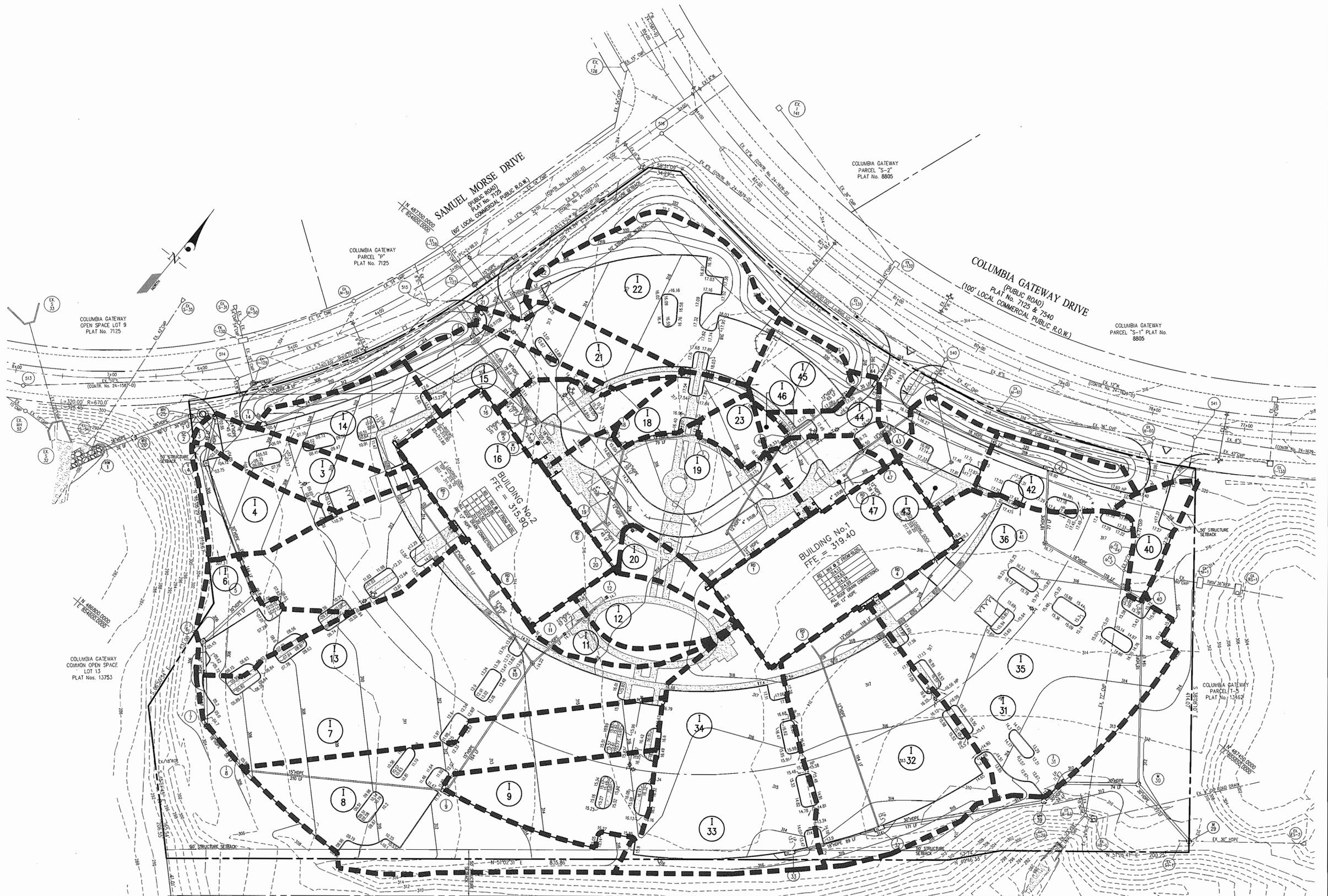
HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	10 OF 13

DRAINAGE AREA INFORMATION

INLET	AREA (ACRES)	'C' VALUE	% IMP.
I-3	0.24	0.89	87.5
I-4	0.23	0.78	69.6
I-5	0.45	0.90	88.9
I-6	0.24	0.67	50.0
I-7	1.34	0.89	87.3
I-8	0.98	0.73	61.2
I-9	0.35	0.84	94.3
I-11	0.12	0.56	33.3
I-12	0.21	0.51	23.8
I-14	0.28	0.75	64.3
I-15	0.23	0.65	47.8
I-16	0.21	0.82	76.2
I-18	0.13	0.92	92.3
I-19	0.64	0.81	73.4
I-20	0.10	0.48	20.0
I-21	0.20	0.91	90.0
I-22	0.67	0.72	59.7
I-23	0.08	0.97	100.0
I-31	1.51	0.89	86.6
I-32	1.00	0.77	68.0
I-33	0.88	0.80	71.6
I-40	0.12	0.82	75.0
I-42	0.22	0.69	54.5
I-43	0.18	0.67	50.0
I-44	0.12	0.72	58.3
I-45	0.18	0.77	66.7
I-46	0.02	0.97	100.0
I-47	0.15	0.77	66.7
BLDG 1	0.60	0.90	100
BLDG 2	0.60	0.90	100

NOTE: THIS SITE WAS PREVIOUSLY MASS GRADED.



LEGEND

	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED STORM DRAIN DRAINAGE DIVIDE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Howard County Seal
 Director: *[Signature]* Date: 11/14/06
 Chief, Division of Land Development: *[Signature]* Date: 11/13/06
 Chief, Development Engineering Division: *[Signature]* Date: 11/15/06



THIS PLAN IS FOR DRAINAGE AREA ANALYSIS PURPOSES ONLY!

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
 BURTONSVILLE, MARYLAND 20866
 TEL: 301-421-4024 BALT: 410-880-1820 DC/VA: 301-959-2524 FAX: 301-421-4186

PREPARED FOR:
 OWNER/DEVELOPER
 COPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 6711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 413-285-5400
 Attn: PETER Z. GARVER

STORM DRAIN DRAINAGE AREA MAP
COLUMBIA GATEWAY
PARCEL 'T-II'
 (SOUTHBRIDGE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257

SCALE	ZONING	G. L. W. FILE No.
1" = 50'	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	11 OF 13

Drawings\04113\SDP\04113-DAM.dwg DES. DRN. CHK.

DATE	REVISION	BY	APPR.

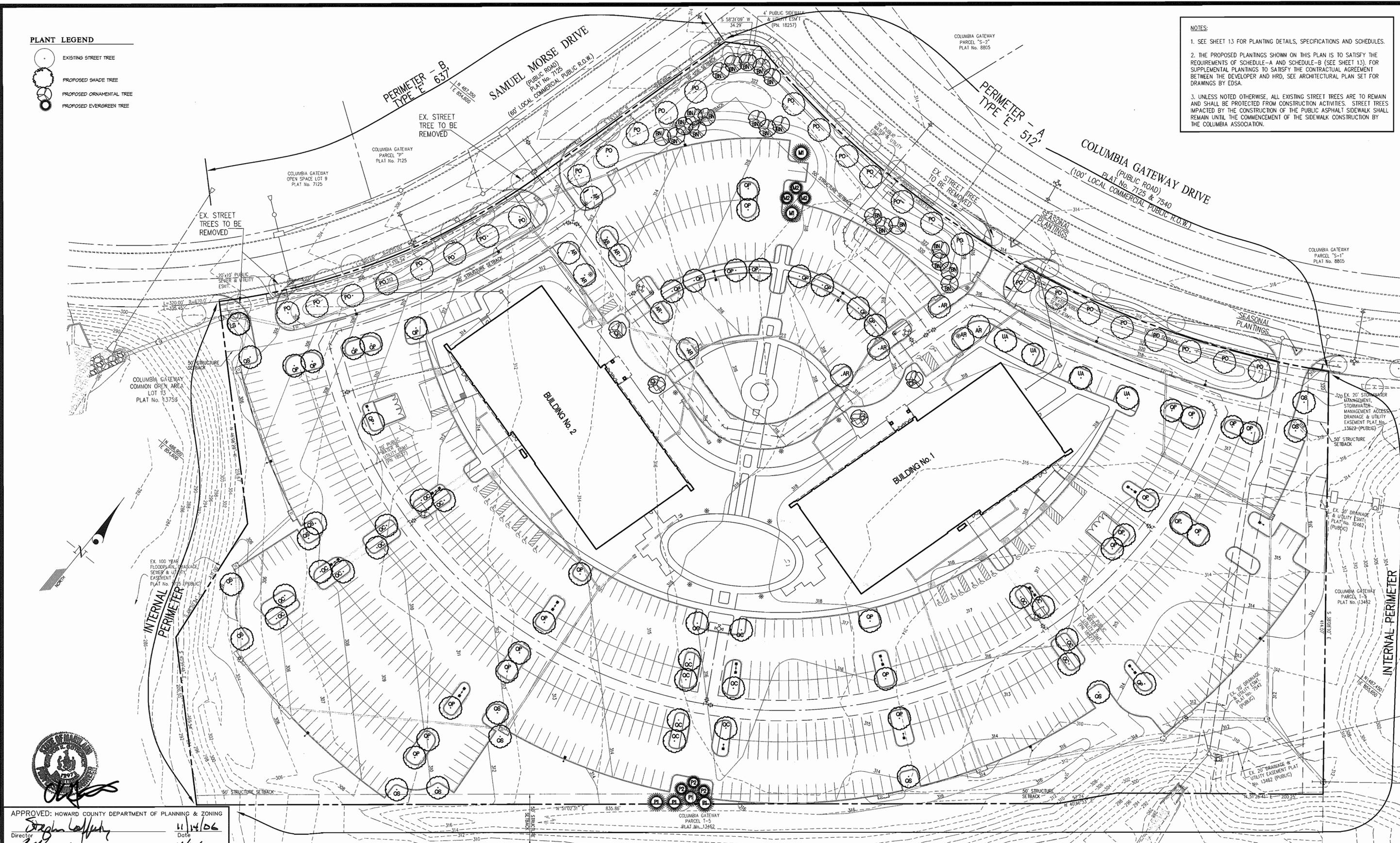
ELECTION DISTRICT No. 6

HOWARD COUNTY, MARYLAND

PLANT LEGEND

-  EXISTING STREET TREE
-  PROPOSED SHADE TREE
-  PROPOSED ORNAMENTAL TREE
-  PROPOSED EVERGREEN TREE

- NOTES:**
- SEE SHEET 13 FOR PLANTING DETAILS, SPECIFICATIONS AND SCHEDULES.
 - THE PROPOSED PLANTINGS SHOWN ON THIS PLAN IS TO SATISFY THE REQUIREMENTS OF SCHEDULE-A AND SCHEDULE-B (SEE SHEET 13). FOR SUPPLEMENTAL PLANTINGS TO SATISFY THE CONTRACTUAL AGREEMENT BETWEEN THE DEVELOPER AND HCD, SEE ARCHITECTURAL PLAN SET FOR DRAWINGS BY EDSA.
 - UNLESS NOTED OTHERWISE, ALL EXISTING STREET TREES ARE TO REMAIN AND SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES. STREET TREES IMPACTED BY THE CONSTRUCTION OF THE PUBLIC ASPHALT SIDEWALK SHALL REMAIN UNTIL THE COMMENCEMENT OF THE SIDEWALK CONSTRUCTION BY THE COLUMBIA ASSOCIATION.



APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING

Director: *Stephen Kelly* Date: 11/14/06

Chief, Division of Land Development: *Mark* Date: 11/13/06

Chief, Development Engineering Division: *Bill* Date: 11/15/06

THIS PLAN IS FOR PLANTING PURPOSES ONLY!

INTERSTATE ROUTE 95
(PUBLIC ROAD) M.S.R.C. PLAT Nos. 34758 & 34760
(VARIABLE WIDTH PRINCIPLE ARTERIAL PUBLIC R.O.W.)

GLWGUTSCHICK LITTLE & WEBER, P.A.
CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
3909 NATIONAL DRIVE - SUITE 250 - BURTONSVILLE OFFICE PARK
BURTONSVILLE, MARYLAND 20866
TEL: 301-421-4024 BALT. 410-850-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APPR.

PREPARED FOR:
OWNER/DEVELOPER
CPT 1-11 LLC
c/o CORPORATE DEVELOPMENT SERVICES, LLC
6711 COLUMBIA GATEWAY DRIVE, SUITE 300
COLUMBIA, MD 21046
Phone: 410-285-5400
Attn: PETER Z. GARVER

LANDSCAPE PLAN
COLUMBIA GATEWAY
PARCEL T-11'
(SOUTHBRIDGE OFFICE BUILDINGS)
PLAT Nos. 13753 & 18257

ELECTION DISTRICT No. 6

SCALE	ZONING	G. L. W. FILE No.
1" = 40'	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 7	12 OF 13

HOWARD COUNTY, MARYLAND

SPECIFICATIONS: PLANT MATERIALS AND PLANTING METHODS

A. PLANT MATERIALS

THE LANDSCAPE CONTRACTOR SHALL FURNISH AND INSTALL AND/OR DIG, BALL, BURLAP AND TRANSPANT ALL OF THE PLANT MATERIALS CALLED FOR ON DRAWINGS AND/OR LISTED IN THE PLANT SCHEDULE.

1. PLANT NAMES
PLANT NAMES USED IN THE PLANT SCHEDULE SHALL CONFORM WITH "STANDARDIZED PLANT NAMES," LATEST EDITION.

2. PLANT STANDARDS
ALL PLANT MATERIAL SHALL BE EQUAL TO OR BETTER THAN THE REQUIREMENTS OF THE "USA STANDARD FOR NURSERY STOCK" LATEST EDITION, AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEMEN (HERE- AFTER REFERRED TO AS AAN STANDARDS). ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, SHALL HAVE A NORMAL HABIT OF GROWTH AND SHALL BE FIRST QUALITY, SOUND, VIGOROUS, WELL-BRANCHED AND WITH HEALTHY, WELL-FURNISHED ROOT SYSTEMS. THEY SHALL BE FREE OF DISEASE, INSECT PESTS AND MECHANICAL INJURIES.

ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER THE SAME CLIMATE CONDITIONS AS THE LOCATION OF THIS PROJECT FOR AT LEAST TWO YEARS BEFORE PLANTING. NEITHER HEELER-IN PLANTS NOR PLANTS FROM COLD STORAGE WILL BE ACCEPTED.

3. PLANT MEASUREMENTS
ALL PLANTS SHALL CONFORM TO THE MEASUREMENTS SPECIFIED IN THE PLANT SCHEDULE AS APPROVED BY THE DESIGN REVIEW COMMITTEE (DRC).

A. CALIPER MEASUREMENTS SHALL BE TAKEN SIX INCHES (6") ABOVE GRADE FOR TREES UNDER FOUR-INCH (4") CALIPER AND TWELVE (12") ABOVE GRADE FOR TREES FOUR INCHES (4") IN CALIPER AND OVER.

B. MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE SIX FEET (6'), MAXIMUM EIGHT FEET (8').

C. CALIPER, HEIGHT, SPREAD AND SIZE OF BALL SHALL BE GENERALLY AS FOLLOWS:

CALIPER	HEIGHT	SPREAD	SIZE OF BALL
3" - 3.5" 14'-16'	6'-8'	32" DIAMETER	
3.5" - 4" 14'-16'	8'-10'	36" DIAMETER	
4" - 4.5" 16'-18'	8'-10'	40" DIAMETER	
4.5" - 5" 16'-17'	10'-12'	44" DIAMETER	
5" - 5.5" 18'-20'	10'-12'	48" DIAMETER	
5.5" - 6" 18'-20'	12'-14'	52" DIAMETER	

ALL PLANT MATERIAL SHALL GENERALLY AVERAGE THE MEDIAN FOR THE SIZE RANGES INDICATED ABOVE AS INDICATED IN THE "AAN STANDARDS".

4. PLANT IDENTIFICATION
LEGIBLE LABELS SHALL BE ATTACHED TO ALL SHADE TREES, MINOR TREES, SPECIMEN SHRUBS AND BUNDLES OR BOXES OF OTHER PLANT MATERIAL GIVING THE BOTANICAL AND COMMON NAMES, SIZE AND QUANTITY OF EACH. EACH SHIPMENT OF PLANTS SHALL BEAR CERTIFICATES OF INSPECTION AS REQUIRED BY FEDERAL, STATE AND COUNTY AUTHORITIES.

5. PLANT INSPECTION
THE DESIGN REVIEW COMMITTEE MAY, UPON REQUEST BY THE BUILDER OR DEVELOPER, AT LEAST TEN (10) DAYS PRIOR TO THE INSTALLATION OF ANY PROPOSED PLANT MATERIAL, INSPECT ALL PROPOSED PLANT MATERIAL AT THE SOURCE OF ORIGIN.

6. PLANTING METHODS
ALL PROPOSED PLANT MATERIALS THAT MEET THE SPECIFICATIONS IN SECTION A ARE TO BE PLANTED IN ACCORDANCE WITH THE FOLLOWING METHODS DURING THE PROPER PLANTING SEASONS AS DESCRIBED IN THE FOLLOWING:

1. PLANTING SEASONS
THE PLANTING OF DECIDUOUS TREES, SHRUBS AND VINES SHALL BE FROM MARCH 1ST TO JUNE 15TH AND FROM SEPTEMBER 15TH TO DECEMBER 15TH. PLANTING OF DECIDUOUS MATERIAL MAY BE CONTINUED DURING THE WINTER MONTHS PROVIDED THERE IS NO FROST IN THE GROUND AND FROST-FREE TOPSOIL PLANTING MIXTURES ARE USED.
THE PLANTING OF EVERGREEN MATERIAL SHALL BE FROM MARCH 15TH TO JUNE 15TH AND FROM AUGUST 15TH TO DECEMBER 1ST. NO PLANTING SHALL BE DONE WHEN THE GROUND IS FROZEN OR EXCESSIVELY MOIST. NO FROZEN OR WET TOPSOIL SHALL BE USED AT ANY TIME.

2. DODGING
ALL PLANT MATERIAL SHALL BE DUG, BALLED AND BURLAPPED (B&B) IN ACCORDANCE WITH THE "AAN STANDARDS".

3. EXCAVATION OF PLANT PITS
THE LANDSCAPING CONTRACTOR SHALL EXCAVATE ALL PLANT PITS, VINE PITS, HEDGE TRENCHES AND SHRUB BEDS IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

A. LOCATIONS OF ALL PROPOSED PLANT MATERIAL SHALL BE STAKED AND APPROVED IN THE FIELD BY THE LANDSCAPE ARCHITECT BEFORE ANY OF THE PROPOSED PLANT MATERIAL IS INSTALLED BY THE LANDSCAPE CONTRACTOR.

B. ALL PITS SHALL BE GENERALLY CIRCULAR IN OUTLINE. VERTICAL SIDES; DEPTH SHALL NOT BE LESS THAN 6" DEEPER THAN THE ROOT BALL. DIAMETER SHALL NOT BE LESS THAN TWO TIMES THE DIAMETER OF THE ROOT BALL AS SET FORTH IN THE FOLLOWING SCHEDULE.

C. IF AREAS ARE DESIGNATED AS SHRUB BEDS OR HEDGE TRENCHES, THEY SHALL BE EXCAVATED TO AT LEAST 18" DEPTH MINIMUM. AREAS DESIGNATED FOR GROUND COVERS AND VINES SHALL BE EXCAVATED TO AT LEAST 12" IN DEPTH MINIMUM.

D. DIAMETER AND DEPTH OF TREE PITS SHALL GENERALLY BE AS FOLLOWS:

PLANT SIZE	ROOT BALL	PIT DIA.	PIT DEPTH
3" - 3.5" CAL.	32"	64"	28"
3.5" - 4" CAL.	36"	72"	32"
4" - 4.5" CAL.	40"	80"	36"
4.5" - 5" CAL.	44"	88"	40"
5" - 5.5" CAL.	48"	96"	44"
5.5" - 6" CAL.	52"	104"	48"

A 20% COMPACTION FIGURE OF THE SOIL TO BE REMOVED IS ASSUMED AND WILL BE ALLOWED IN CALCULATION OF EXTRA TOPSOIL. THE TABULATED PIT SIZES ARE FOR PURPOSES OF UNIFORM CALCULATION AND SHALL NOT OVERRIDE THE SPECIFIED DEPTHS BELOW THE BOTTOMS OF THE ROOT BALLS.

4. STAKING, GUYING AND WRAPPING
ALL PLANT MATERIAL SHALL BE STAKED OR GUYED, AND WRAPPED IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:

A. STAKES: SHALL BE SOUND WOOD 2" x 2" ROUGH SAWN OAK OR SIMILAR DURABLE WOODS, OR LENGTHS, MINIMUM 7'-0" FOR MAJOR TREES AND 5'-0" MINIMUM FOR MINOR TREES.

B. WIRE AND CABLE: WIRE SHALL BE #10 GA. GALVANIZED OR BETHANIZED ANNEALED STEEL WIRE. FOR TREES OVER 3" CALIPER, PROVIDE 5/16" TURN BUCKLES, EYE AND EYE WITH 4" TAKE-UP. FOR TREES OVER 5" CALIPER, PROVIDE 3/16", 7 STRAND CABLE CHADIM PLATED STEEL WITH GALVANIZED "EYE" TIMBLES OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

C. HOSE: SHALL BE NEW, 2 PLY REINFORCED RUBBER HOSE, MINIMUM 1/2" I.D. "PLASTIC LOCK TIES" OR "PAUL'S TREES BRACES" MAY BE USED IN PLACE OF WIRE AND HOSE ON TREES UP TO 3" IN CALIPER.

D. ALL TREES UNDER 3" IN CALIPER ARE TO BE PLANTED AND STAKED IN ACCORDANCE WITH THE ATTACHED PLANTING DETAILS.

5. PLANT PRUNING, EDGING AND MULCHING

A. EACH TREE, SHRUB OR VINE SHALL BE PRUNED IN AN APPROPRIATE MANNER TO ITS PARTICULAR REQUIREMENTS, IN ACCORDANCE WITH ACCEPTED STANDARD PRACTICE. BROKEN OR BRUISED BRANCHES SHALL BE REMOVED WITH CLEAN CUTS FLUSH WITH THE ADJACENT TRUNK OR BRANCHES. ALL CUTS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED ANTISEPTIC TREE WOUND DRESSING.

B. ALL TRENCHES AND SHRUB BEDS SHALL BE EDGED AND CULTIVATED TO THE LINES SHOWN ON THE DRAWING. THE AREAS AROUND ISOLATED PLANTS SHALL BE EDGED AND CULTIVATED TO THE FULL DIAMETER OF THE PIT. SOIL WHICH HAS BEEN REMOVED AND STACKED SHALL BE USED TO TRIM THE EDGES OF ALL EXCAVATED AREAS TO THE NEAT LINES OF THE PLANT PIT SAUCERS, THE EDGES OF SHRUB AREAS, HEDGE TRENCHES AND VINE POCKETS.

C. AFTER CULTIVATION, ALL PLANT MATERIALS SHALL BE MULCHED WITH A 3" LAYER OF FINE SHREDED PINE BARK, PEAT MOSS, OR ANOTHER APPROVED MATERIAL OVER THE ENTIRE AREA OF THE BED OR SAUCER.

6. PLANT INSPECTION AND ACCEPTANCE
THE DESIGN REVIEW COMMITTEE SHALL BE RESPONSIBLE FOR INSPECTING ALL PLANTING PROJECTS ON A PERIODIC BASIS TO ASSURE THAT ALL WORK IS PROCEEDING IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.

7. PLANT GUARANTEE
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE DURATION OF ONE FULL GROWING SEASON, AFTER FINAL INSPECTION AND ACCEPTANCE OF THE WORK IN THE PLANTING PROJECT. PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWING CONDITION AT THE END OF THE GUARANTEE PERIOD.

A. FOR THIS PURPOSE, THE "GROWING SEASON" SHALL BE THAT PERIOD BETWEEN THE END OF THE "SPRING" PLANTING SEASON, AND THE COMMENCEMENT OF THE "FALL" PLANTING SEASON.
B. GUARANTEE FOR PLANTING PERFORMED AFTER THE SPECIFIED END OF THE "SPRING" PLANTING SEASON, SHALL BE EXTENDED THROUGH THE END OF THE NEXT FOLLOWING "SPRING" PLANTING SEASON.

SOODING
ALL SOODING SHALL BE IN ACCORDANCE TO THE "LANDSCAPE SPECIFICATION GUIDELINES FOR BALTIMORE-WASHINGTON METROPOLITAN AREAS" LATEST EDITION, APPROVED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF METROPOLITAN WASHINGTON AND THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.

ALL SOO SHALL BE STRONGLY ROOTED SOO, NOT LESS THAN TWO YEARS OLD AND FREE OF WEEDS AND UNDESIRABLE NATIVE GRASSES. PROVIDE ONLY SOO CAPABLE OF GROWTH DEVELOPMENT WHEN PLANTED AND IN STRIPS NOT MORE THAN 18" WIDE x 4' LONG. PROVIDE SOO COMPOSED PRINCIPALLY OF IMPROVED STRAIN KENTUCKY BLUEGRASS, SUCH AS, COLUMBIA, VICTA, OR ESCORT.

LANDSCAPE NOTES

- THIS PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 16.124 OF THE HOWARD COUNTY CODE & THE HOWARD COUNTY LANDSCAPE MANUAL.
- CONTRACTOR SHALL NOTIFY ALL UTILITIES AT LEAST (5) FIVE DAYS BEFORE STARTING WORK. ALL GENERAL NOTES, ESPECIALLY THOSE REGARDING UTILITIES, ON SHEET NO.1 SHALL APPLY.
- FIELD VERIFY UNDERGROUND UTILITY LOCATIONS AND EXISTING CONDITIONS BEFORE STARTING PLANTING WORK. CONTACT CONSTRUCTION MANAGER OR OWNER IF ANY RELOCATIONS ARE REQUIRED.
- PLANT QUANTITIES SHOWN ON THE PLANT LIST ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. IF DISCREPANCIES EXIST BETWEEN QUANTITIES SHOWN ON THE PLAN AND THOSE SHOWN ON THE PLANT LIST, THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE.
- ALL PLANT MATERIAL SHALL BE FULL, HEAVY, WELL FORMED, SYMMETRICAL AND CONFORM TO THE A.A.N. SPECIFICATIONS. IN ADDITION, ALL REQUIRED PLANTING FOR THE LANDSCAPE ISLANDS IN THE PARKING LOT SHALL CONFORM TO THE HOWARD COUNTY LANDSCAPE MANUAL. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THIS PLAN. SEE SHEET 4 FOR PLANTING DETAILS.
- NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL FROM HOWARD COUNTY DPZ AND THE OWNER OR HIS REPRESENTATIVE.
- ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITIES BUT NOT OTHERWISE PLANTED, PAVED, OR MULCHED SHALL BE SOODING OR SEEDING IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATION. A MINIMUM OF 4" OF TOPSOIL SHALL BE PROVIDED TO ALL PLANTING AREAS.
- THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING IF HE/SHE ENCOUNTERS SOIL DRAINAGE CONDITIONS THAT MAY BE DETRIMENTAL TO THE GROWTH OF THE PLANTS.
- ALL EXPOSED EARTH WITHIN THE LIMITS OF PLANTING BEDS SHALL BE MULCHED WITH SHREDED HARDWOOD MULCH PER THE PLANTING DETAILS.
- DO NOT PLANT WITHIN THE PUBLIC WATER, SEWER AND UTILITY EASEMENT.
- COORDINATE THE PLANTING UNDER SDP-01-28, PHASE 2 (CURRENTLY UNDER CONSTRUCTION) WITH THE WORK ON THIS SITE DEVELOPMENT.
- "SCHEDULE-A" AND "SCHEDULE-B" IS PROVIDED FOR LANDSCAPE SURETY CALCULATION PURPOSES. FINANCIAL SURETY FOR THE REQUIRED LANDSCAPE SHALL BE POSTED AS PART OF THE DPW DEVELOPER'S AGREEMENT IN THE AMOUNT OF \$21,900.00 FOR THE FOLLOWING PLANTS:
73 SHADE TREES @ \$300/TREE = \$21,900.00

FOR LANDSCAPE INSPECTION TO OBTAIN THE RELEASE OF THE SURETY, CONTACT HOWARD COUNTY DEPT. OF PLANNING & ZONING AT 410-313-2350.

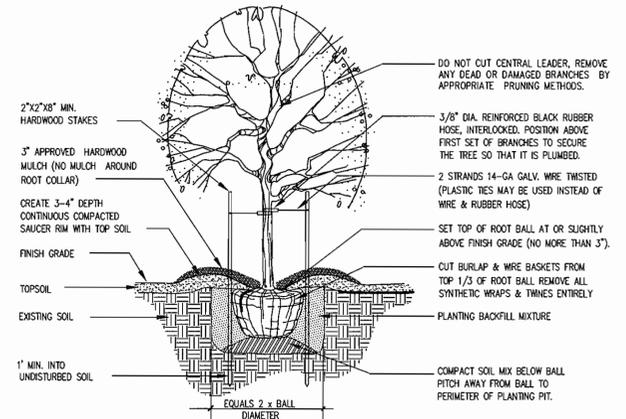
PLANT SCHEDULE					
TYPE	SYMBOL	QUANT.	NAME (BOTANICAL/COMMON)	SIZE	COMMENTS
CANOPY SHADE TREE	AR	12	ACER RUBRUM 'BOWHALL' / BOWHALL COLUMNAR MAPLE	4"-4.5" CAL.	B&B, FULL
	LS	1	LIQUIDAMBAR STRACIFLUA / SWEETGUM	2.5"-3.0" CAL.	B&B, FULL
	PO	28	PLATANUS OCCIDENTILIS / SYCAMORE	2.5"-3.0" CAL.	B&B, FULL
	QC	20	QUERCUS COCCINEA / SCARLET OAK	3.5"-4.0" CAL.	B&B, FULL
	QP	36	QUERCUS PHELLOS / WILLOW OAK	3.5"-4.0" CAL.	B&B, FULL
	QS	13	QUERCUS PALUSTRIS / PIN OAK	2.5"-3.0" CAL.	B&B, FULL
ORNAMENTAL TREE	UA	4	ULMUS AMERICANA 'PRINCETON' / PRINCETON AMERICAN ELM	3.5"-4.0" CAL.	B&B, FULL
	BN	21	BETULA NIGRA 'HERITAGE' / HERITAGE RIVER BIRCH	8'-10' HT.	B&B, FULL, MULTI-STEMMED
EVERGREEN TREE	CK	4	CLADRASITIS KENTUCKEA / YELLOWWOOD	16'-18' HT. 2.5"-3" CAL.	B&B, FULL
	M1	2	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	8'-10' HT.	B&B, FULL
	M2	3	MAGNOLIA GRANDIFLORA / SOUTHERN MAGNOLIA	6'-8' HT.	B&B, FULL
	P1	4	PINUS STROBUS / EASTERN WHITE PINE	10'-12' HT.	B&B, FULL
	P2	3	PINUS STROBUS / EASTERN WHITE PINE	8'-10' HT.	B&B, FULL

SCHEDULE-A: PERIMETER LANDSCAPE EDGE		
PERIMETER No.	A	B
USE SITUATION	PARKING TO ROADWAY	PARKING TO ROADWAY
LANDSCAPE TYPE	E	E
LINEAR FEET OF ROADWAY FRONTAGE/PERIMETER	560' LESS 48' DRIVEWAY OPENING = 512 LF	685' LESS 48' DRIVEWAY OPENING = 637 LF
CREDIT FOR EXISTING VEGETATION	NONE	NONE
CREDIT FOR WALL, FENCE OR BERM	BERM @ LEAST 3' HIGH	BERM @ LEAST 3' HIGH
NUMBER OF PLANTS REQUIRED	13	16
SHADE TREES	N/A	N/A
EVERGREEN TREES	N/A	N/A
SHRUBS	N/A	N/A
NUMBER OF PLANTS PROVIDED	>13	16
SHADE TREES	NA	NA
EVERGREEN TREES	NA	NA
OTHER TREES (@ 2:1 substitution)	NA	NA
SHRUBS (10:1 substitution)	NA	NA

NOTE: THERE ARE ADDITIONAL TREES PLANTED BUT THEY ARE NOT PART OF THE REQUIRED LANDSCAPING.

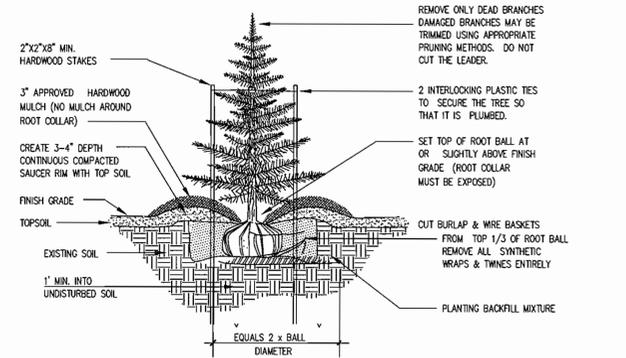
SCHEDULE B -- PARKING LOT INTERNAL LANDSCAPING	
NUMBER OF PARKING SPACES	875 SPACES
NUMBER OF TREES REQUIRED	44 (1 SHADE TREE PER 20 COMMERCIAL PARKING SPACES)
NUMBER OF TREES PROVIDED	OVER 44
SHADE TREES	N/A
OTHER TREES (2:1 substitution)	N/A

LANDSCAPE SURETY FOR REQUIRED TREES PER SCHEDULE-A AND SCHEDULE-B: 73 SHADE TREES @ \$300/TREE = \$21,900.00



NOTE: ALL SUPPORTING DEVICES (STAKES, WIRES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

DECIDUOUS TREE PLANTING DETAIL FOR PLANTING MATERIAL UP TO 3 1/2" CALIPER NTS



NOTE: ALL SUPPORTING DEVICES (STAKES, TIES, ETC.) SHALL BE REMOVED AFTER 2 GROWING SEASONS.

EVERGREEN TREE PLANTING DETAIL NTS

DEVELOPER'S / BUILDER'S CERTIFICATE

I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE ACCORDING TO THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE HOWARD COUNTY LANDSCAPE MANUAL, AND THE APPROVED MAPLE LAWN FARMS LANDSCAPE DESIGN DEVELOPMENT CRITERIA. I/WE FURTHER CERTIFY THAT UPON COMPLETION, A LETTER OF LANDSCAPE INSTALLATION ACCOMPANIED BY AN EXECUTED ONE-YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

COPT Development & Construction Services, LLC
 By: *Robert A. Wasilchuk, Jr.* 9.21.06
 NAME (DEVELOPER'S / BUILDER'S) *Robert A. Wasilchuk, Jr., Executive Vice President* DATE

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING & ZONING
 Director: *Stephen Kelly* 11/14/06
 Chief, Division of Land Development: *Christina* 11/12/06
 Chief, Department Engineering Division: *Michael* 11/15/06

GLWGUTSCHICK LITTLE & WEBER, P.A.
 CIVIL ENGINEERS, LAND SURVEYORS, LAND PLANNERS, LANDSCAPE ARCHITECTS
 3909 NATIONAL DRIVE - SUITE 250 - BURTONVILLE OFFICE PARK
 BURTONVILLE, MARYLAND 20866
 TEL: 301-421-4024 FAX: 410-880-1820 DC/VA: 301-989-2524 FAX: 301-421-4186

DATE	REVISION	BY	APP'R.

PREPARED FOR:
 OWNER/DEVELOPER
 COPT T-11 LLC
 c/o CORPORATE DEVELOPMENT SERVICES, LLC
 5711 COLUMBIA GATEWAY DRIVE, SUITE 300
 COLUMBIA, MD 21046
 Phone: 413-285-5400
 Attn: PETER Z. GARVER

LANDSCAPING DETAILS AND NOTES
COLUMBIA GATEWAY
PARCEL T-11
(SOUTHBRIDGE OFFICE BUILDINGS)
 PLAT Nos. 13753 & 18257
 HOWARD COUNTY, MARYLAND

SCALE	ZONING	G. L. W. FILE No.
AS SHOWN	M-1	04-113
DATE	TAX MAP - GRID	SHEET
Sept/06	43 - 7	13 OF 13