

GENERAL NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION AT (410) 313-1880 AT LEAST FIVE (5) WORKING DAYS PRIOR TO THE START OF WORK.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST FIVE (5) DAYS PRIOR TO ANY EXCAVATION WORK:
 - MISS UTILITY 1-800-257-7777
 - VERIZON TELEPHONE COMPANY 1-800-743-0033
 - HOWARD COUNTY BUREAU OF UTILITIES (410) 313-4900
 - AT&T CABLE LOCATION DIVISION (410) 383-3533
 - BALTIMORE GAS & ELECTRIC (410) 885-0923
 - STATE HIGHWAY ADMINISTRATION (410) 531-5533
 - HOWARD COUNTY DEPT. OF PUBLIC WORKS/CONSTRUCTION INSPECTION DIVISION (410) 313-1880
- PROJECT BACKGROUND:
 - LOCATION: FIFTH ELECTION DISTRICT - TAX MAP 41 - PARCEL 425 - GRID 22
 - ZONING: THE SUBJECT PROPERTY IS ZONED B-2 PER THE FEBRUARY 2, 2004 COMPREHENSIVE ZONING PLAN.
 - TOTAL TRACT AREA: 3.2 ACRES ±
 - DPZ REFERENCE #: S09-79-10, S09-90-113, 24-3040-D, W0-91-146, ZB-812M, F-90-132, F-79-18, BOA-945-C, W-78-94, PLAT NO.9252, J-4171-21(PLAT OF SURPLUS LAND), F-07-200
 - DEED REFERENCE: 3095/39,
- TWO FOOT CONTOUR TOPOGRAPHY, EXISTING CONDITIONS AND BOUNDARY BASED ON FIELD RUN SURVEY PERFORMED BY MILDENBERG, BOENDER & ASSOCIATES, INC. ON OR ABOUT DECEMBER 2004.
- HORIZONTAL AND VERTICAL DATUMS BASED ON (NAD'83) MARYLAND STATE COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS.

STA. No. 41FA	N 543,109.935	ELEV. 407.60
	E 1,344,797.520	
STA. No. 41EC	N 543,588.804	ELEV. 430.34
	E 1,342,628.780	
- PUBLIC WATER AND SEWER WILL BE USED WITHIN THE PROJECT, CONTRACT 24-4311-D LOCATED IN THE PATUXENT RIVER DRAINAGE AREA. WATERSHED CODE E21.
- TRAFFIC IMPACT ANALYSIS PREPARED BY MARS GROUP, DATED JANUARY 2005 AND APPROVED MAY 19, 2005.
- THERE ARE NO FORESTS OR WETLANDS ON THIS SITE AS CERTIFIED BY A STUDY DATED FEBRUARY 2005 BY ECOSCIENCE PROFESSIONALS, INC.
- CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES ON SITE PRIOR TO COMMENCING CONSTRUCTION.
- THIS PROPERTY IS LOCATED WITHIN THE WATER AND SEWER METROPOLITAN DISTRICT.
- NO STEEP SLOPES, WETLANDS, STREAMS, BUFFERS OR FLOOD PLAIN ARE LOCATED ON SITE.
- NO CEMETERY OR HISTORIC STRUCTURES EXIST ON-SITE.
- PROPERTY IS NOT ADJACENT TO ANY SCENIC ROADS.
- SITE ANALYSIS DATA CHART:

TOTAL PROJECT AREA: 3.2 ACRES	TOTAL STARBUCKS PARKING REQUIRED = 45 SPACES
LIMIT OF DISTURBED AREA: 1.9 ACRES	TOTAL PARKING PROVIDED = 21 SPACES ON PROPERTY
PRESENT ZONING: B-2 RESTAURANT	
PROPOSED USE: BANK - 3000 SQ.FT.	
OUTDOOR PATIO: 910 SF	
NUMBER OF PARKING SPACES REQUIRED:	
RETAIL SPACE (BANK) = 5.0 SPACES PER 1,000 SQ.FT.	
RETAIL SPACE = 5.0 SPACES X 3 = 15 SPACES	
TOTAL SPACES BUILDING = 15 SPACES REQUIRED	
TOTAL PARKING REQUIRED = 15 SPACES	
TOTAL PARKING PROVIDED = 18 SPACES, INCLUDING 2 HANDICAPPED SPACES	
- STORMWATER MANAGEMENT QUANTITY AND QUALITY CONTROL IS TO BE PROVIDED VIA STORMWATER MANAGEMENT CREDITS. PROPOSED IMPERVIOUS AREA SHALL DRAIN TO A GRASS CHANNEL OR NON-ROOFTOP DISCONNECTION PRACTICE MEETING HDE SECTION 5.5. IN ACCORDANCE WITH REDEVELOPMENT CRITERIA, EXISTING IMPERVIOUS AREAS ARE EXEMPT FROM CHANNEL PROTECTION REQUIREMENTS. CPV IS ADDRESSED BY DISCONNECTING ALL PROPOSED IMPERVIOUS AREAS. NO CREDIT HAS BEEN TAKEN FOR THE EXISTING 35,716 SQ.FT. OF IMPERVIOUS AREA. ANY FUTURE DEVELOPMENT ON THIS SITE WILL REQUIRE STORMWATER MANAGEMENT TO BE RE-EVALUATED FOR THE ENTIRE PARCEL.
- USE HOWARD COUNTY STD. P-3 PAVING SECTION UNLESS OTHERWISE SHOWN.
- USE STANDARD CONCRETE CURB AND GUTTER STD. R-3.01 UNLESS OTHERWISE NOTED.
- WATER HOUSE CONNECTIONS ARE FOR INSIDE METER SETTING, FOR ALL CONNECTIONS.
- THE MAIN ENTRANCE OF THE BANK IS HANDICAPPED ACCESSIBLE.
- THE LANDSCAPE PLAN IS IN ACCORDANCE WITH THE PROVISIONS OF SECTION 16.124 OF THE HOWARD COUNTY CODE AND THE LANDSCAPE MANUAL.
- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (29 SHADE TREES, 23 EVERGREENS, 137 SHRUBS) HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 16,260.00.
- THIS PROJECT COMPLIES WITH THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY A PAYMENT OF A FEE-IN-LIEU. THE PAYMENT WILL BE \$10,890.00 FOR 0.5 ACRES OF AFFORESTATION.
- PER THE BANK OWNER, NO DUMPSTER IS REQUIRED. TRASH REMOVAL WILL BE PRIVATE.
- EXTERIOR LIGHTING DETAILS WERE DONE BY FIRSCHING, MARSTILLER, RUSBARSKY AND WOLF ENGINEERING, INC AND ARE INCLUDED ON SHEET 6 OF 6. EXTERIOR LIGHTING SHALL BE IN ACCORDANCE WITH ZONING REGULATIONS, SECTION 13.4.
- A KNOX BOX (FIRE DEPARTMENT ACCESS BOX) SHALL BE PLACED ON THE FRONT OF THE BUILDING, TO THE RIGHT OF THE MAIN ENTRANCE AT A RANGE OF 4' - 5' IN HEIGHT AND NO MORE THAN 6' LATERALLY FROM THE DOOR. THE BOX SHALL BE ELECTRONICALLY SUPERVISED TO NOTIFY THE OWNER THAT IT IS BEING ACCESSED (INTEGRATED WITH THE FIRE ALARM SYSTEM). NFPA-1 10.12.1.
- A WAIVER PETITION, WP-06-014, WAS APPROVED ON SEPTEMBER 15, 2005 WAIVING SECTION 16.119(f)(3), ALLOWING THE EXISTING ENTRANCE TO REMAIN OFF OF JOHNS HOPKINS ROAD.
- THE TRAFFIC STUDY FOR REVISION 8 TITLED: "STARBUCKS MAPLE LAWN TRAFFIC IMPACT STUDY," PREPARED BY KIMLEY-HORN AND ASSOCIATES, INC. WAS APPROVED BY HOWARD COUNTY DEVELOPMENT ENGINEERING DIVISION ON APRIL 3, 2019.

SITE DEVELOPMENT PLAN

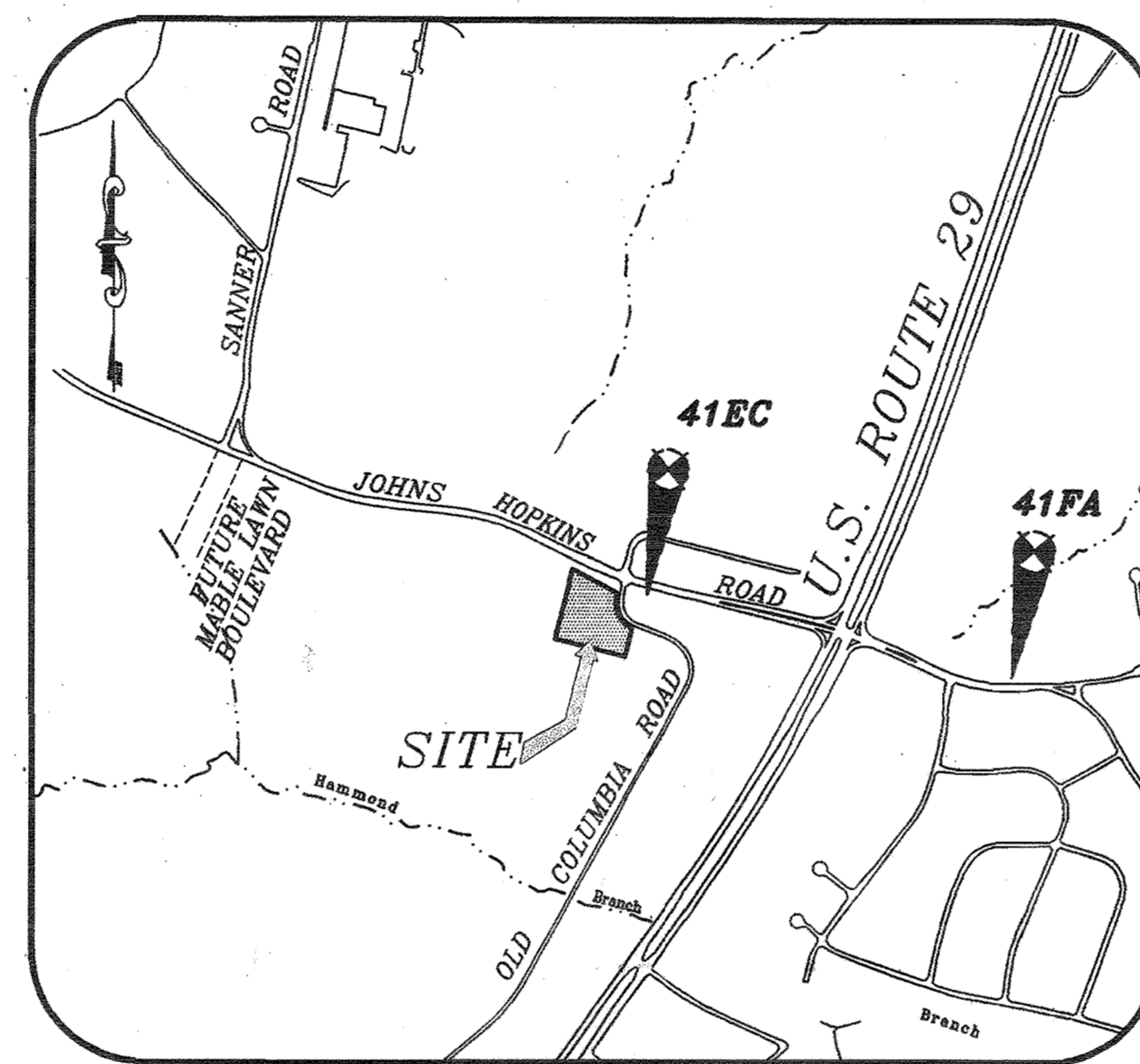
HOPKINS STATION

(PRICE FARMS, LOT 1)

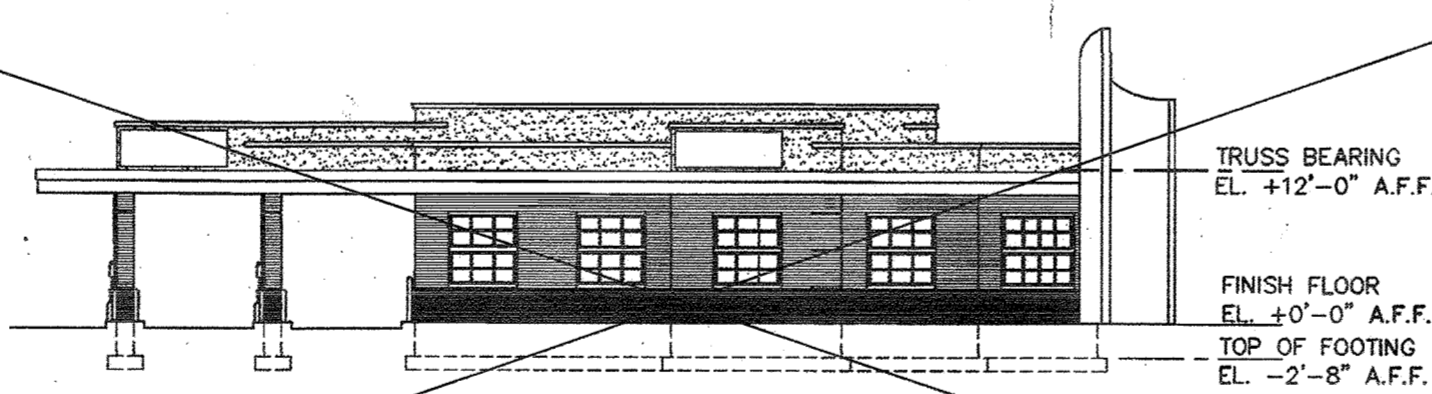
FIFTH ELECTION DISTRICT

HOWARD COUNTY, MARYLAND

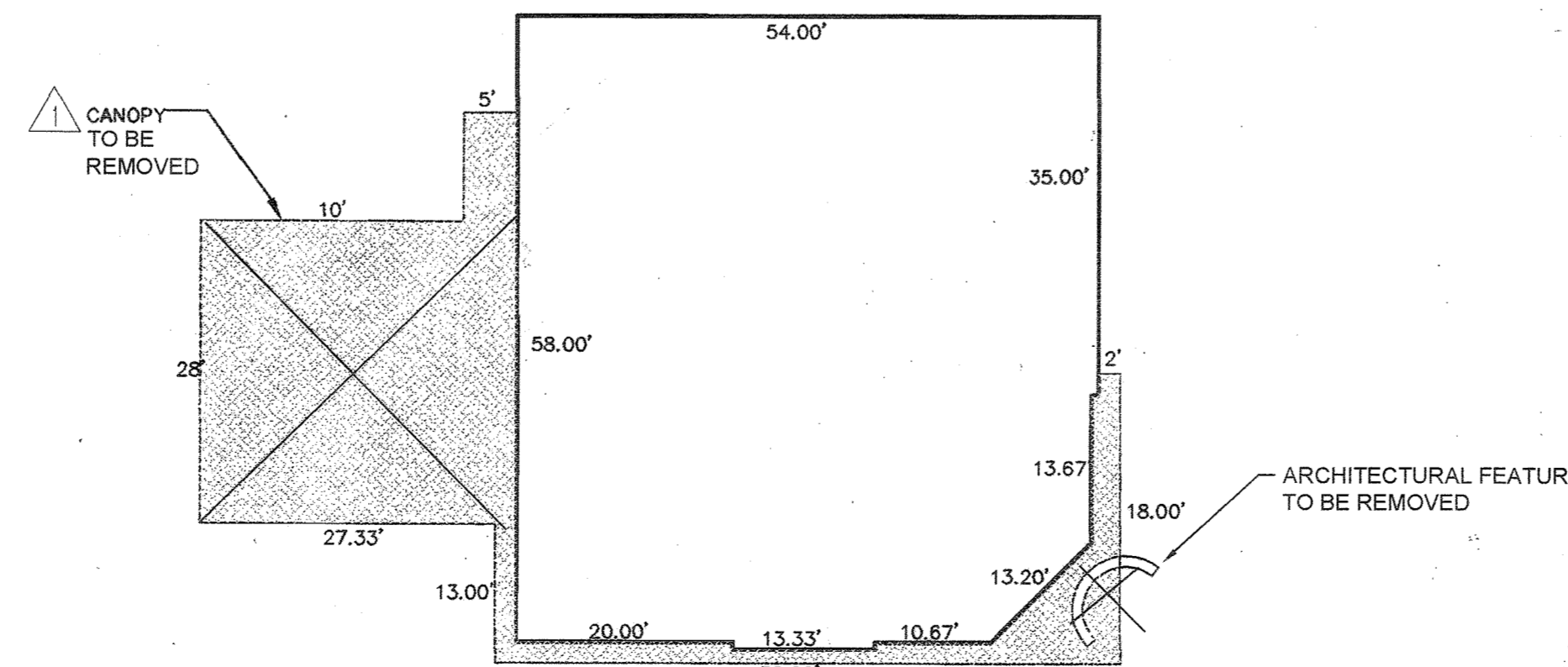
SHEET INDEX	
COVER SHEET	1
SITE DEVELOPMENT AND EROSION & SEDIMENT CONTROL PLAN	2
SEDIMENT CONTROL NOTES & DETAILS	3
WATER & SEWER MAIN PROFILES	4
LANDSCAPE PLAN	5
ELECTRICAL - SITE PLAN	6



VICINITY MAP
SCALE: 1"=1000'



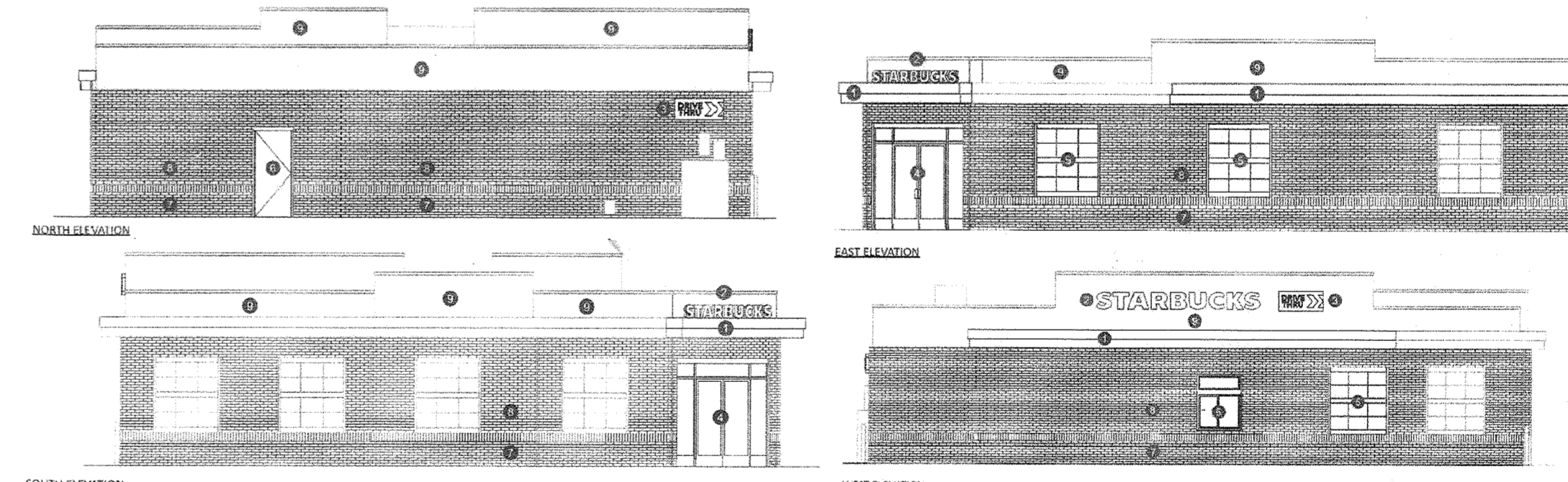
ELEVATION-BUILDING 1



PLAN VIEW-BUILDING 1

ADDRESS CHART	
BUILDING NO.	STARBUCKS
STREET ADDRESS	10985 JOHNS HOPKINS ROAD, LAUREL MD. 20723

PERMIT INFORMATION CHART					
SUBDIVISION NAME	SECTION/AREA	LOT/PARCEL #			
HOPKINS STATION	N/A	425			
PLAT # OR L/F	BLOCK #	ZONE	TAX MAP	ELEC. DIST.	CENSUS TRACT
9252	22	B-2	41	FIFTH	605102
WATER CODE	SEWER CODE				
E21	7690000				
PROPOSED IMPROVEMENTS:					
BUILDING CONSTRUCTION AND ASSOCIATED IMPROVEMENTS					



ELEVATION - BUILDING 1

Kimley»Horn

CIVIL ENGINEER
ADDRESS: 11400 COMMERCE PARK DRIVE
SUITE 400
RESTON, VA 20191
PHONE: 703-674-1321
CONTACT: ROSS STEVENS

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 42599 EXPIRATION DATE: 08/02/2020

OWNER AND DEVELOPER

HOPKINS HOLDINGS, LLC
8339 TEN OAKS ROAD
SUITE 300
CLARKSVILLE, MD 21029
PHONE: 404-431-6179

PURPOSE STATEMENT

REDLINE REVISION NUMBER 1:
THE PURPOSE OF THIS REDLINE REVISION IS TO SHOW THE MINOR SITE WORK ASSOCIATED WITH THE CONVERSION OF THE HOWARD BANK WITH DRIVE-THRU TO A STARBUCKS WITH DRIVE-THRU.

REVISION NO.	DATE	REVISION DESCRIPTION
1	2019-05-07	CHANGE IN USE FROM A BANK TO A RETAIL COFFEE SHOP

APPROVED: DEPARTMENT OF PLANNING AND ZONING

 CHIEF, DEVELOPMENT ENGINEERING DIVISION
 DATE: 5-21-19

 CHIEF, DIVISION OF LAND DEVELOPMENT
 DATE: 5-21-19
 DIRECTOR

DATE: JAN 2006
PROJECT: 03-094
ENGINEERING: HSP
SCALE: 1"=30'
APPROVAL: HSP
CE

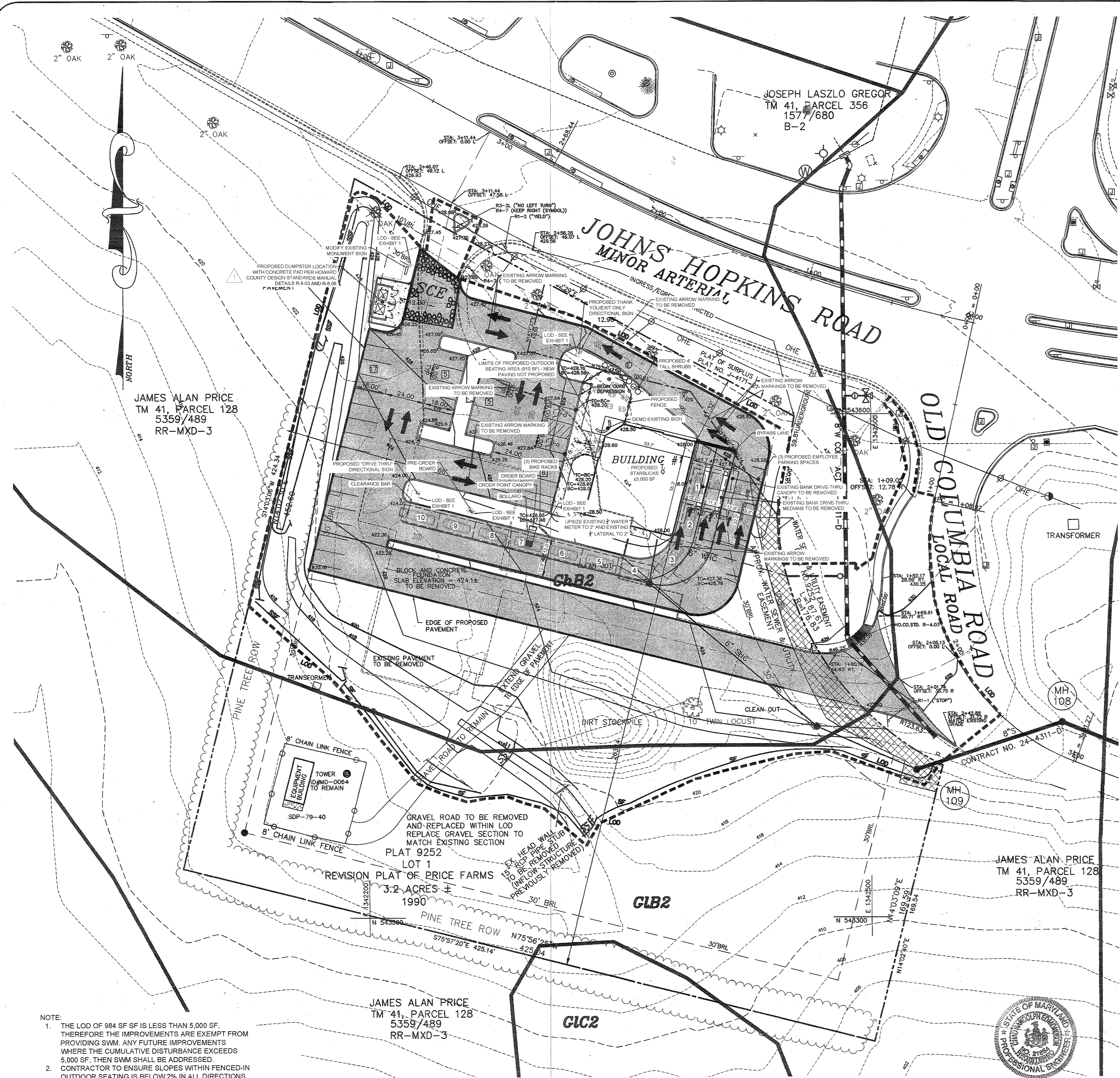
CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEE SHOP (STARBUCKS)

HOPKINS STATION
(PRICE FARMS, LOT 1)
TAX MAP 41 - GRID 22 - PARCEL 425
5TH ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

COVER SHEET (Revised)

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Blitts Mill, Maryland 21042
(410) 997-0296 Fax (301) 621-5521 Wash. (410) 997-0298 Fax

1 OF 6



JAMES ALAN PRICE
 TM 41, PARCEL 128
 5359/489
 RR-MXD-3

JOSEPH LASZLO GREGOR
 TM 41, PARCEL 356
 1577/680
 B-2

JOHN'S HOPKINS ROAD MINOR ARTERIAL

NOTE:
 1. THE LOD OF 884 SF SF IS LESS THAN 5,000 SF. THEREFORE THE IMPROVEMENTS ARE EXEMPT FROM PROVIDING SWM. ANY FUTURE IMPROVEMENTS WHERE THE CUMULATIVE DISTURBANCE EXCEEDS 5,000 SF, THEN SWM SHALL BE ADDRESSED.
 2. CONTRACTOR TO ENSURE SLOPES WITHIN FENCED-IN OUTDOOR SEATING IS BELOW 2% IN ALL DIRECTIONS.

SOILS CLASSIFICATION

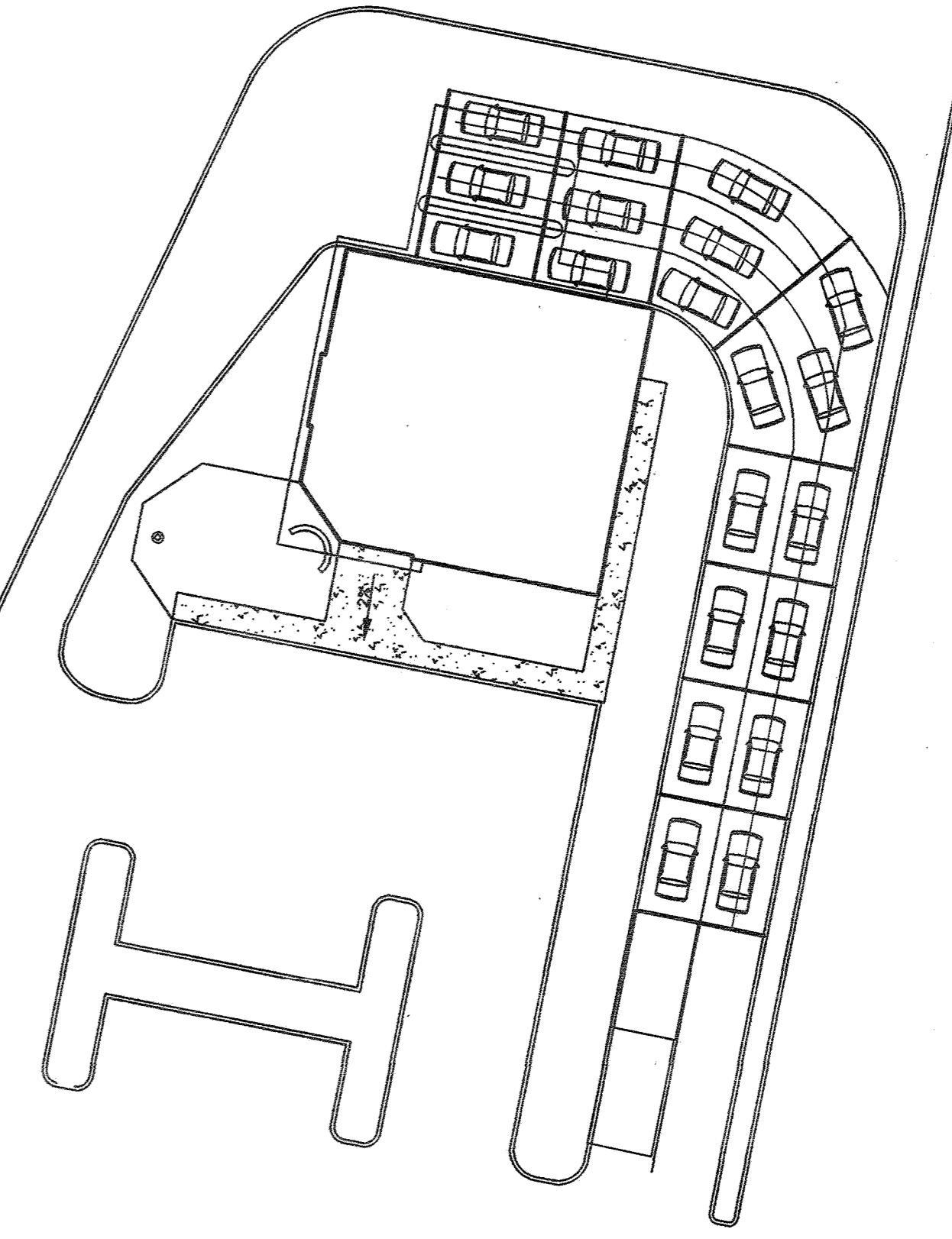
SYMBOL	DESCRIPTION
CH2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED (TYPE B)
GL2	GLENELO LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED (TYPE B)
GC2	GLENELO LOAM, 8 TO 15 PERCENT, MODERATELY ERODED (TYPE B)

NOTE: ALL SPOT ELEVATIONS ARE FOR FLOW LINE GRADES UNLESS OTHERWISE NOTED.
 ALL EXISTING ONSITE PAVEMENT TO BE REMOVED UNLESS OTHERWISE NOTED
 ALL LIGHTING SHOWN ON SHEET 6 OF 6.

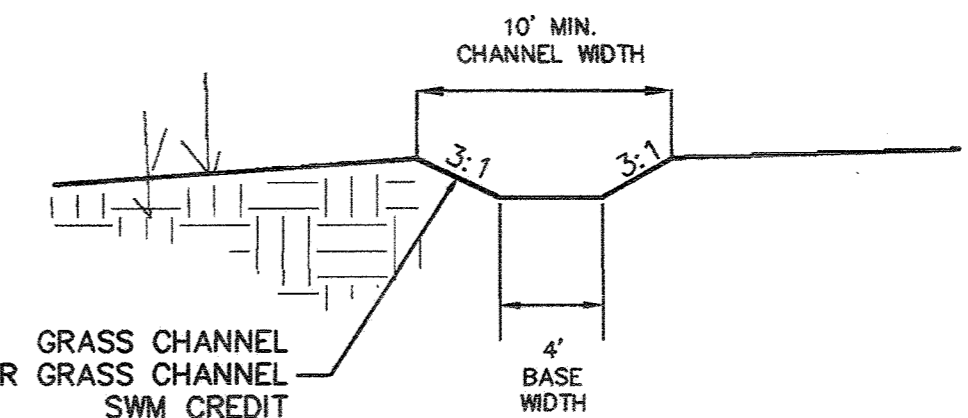
LEGEND

[Symbol]	DENOTES EXISTING EASEMENTS
[Symbol]	DENOTES NUMBER OF PARKING SPACES
[Symbol]	DENOTES PROPOSED SIDEWALK (PROVIDE HO. CO. STD. HANDICAPPED RAMP WHERE APPLICABLE)
[Symbol]	DENOTES PROPOSED PAVING
[Symbol]	DENOTES PROPOSED GRADING
[Symbol]	DENOTES EXISTING GRADING
[Symbol]	DENOTES SOIL LINES
[Symbol]	DENOTES SEWER MAIN
[Symbol]	DENOTES WATER MAIN
[Symbol]	DENOTES BUILDING RESTRICTION LINE
[Symbol]	EXISTING TREE LINE
[Symbol]	PROPOSED TREE LINE
[Symbol]	TRAFFIC DIRECTION
[Symbol]	SUPER SILT FENCE
[Symbol]	SILT FENCE
[Symbol]	DENOTES EXISTING PAVEMENT
[Symbol]	LIMIT OF DISTURBANCE
[Symbol]	DENOTES SEWER HOUSE CONNECTIONS
[Symbol]	DENOTES PROPERTY LINE
[Symbol]	DENOTES TRAFFIC JUNCTION BOX
[Symbol]	DENOTES ELECTRIC POLE
[Symbol]	DENOTES GUY WIRE POLE
[Symbol]	DENOTES OVERHEAD ELECTRICAL LINE
[Symbol]	DENOTES EXISTING TREES TO BE REMAIN
[Symbol]	DENOTES EXISTING TREES TO BE REMOVED

NOTE: SAWCUT FULL DEPTH 1' FROM EDGE OF EXISTING PAVEMENT ALONG ROAD IMPROVEMENTS. MILL AND RESURFACE PER STD. DETAIL R-10.01.



STACKING ANALYSIS



GRASS CHANNEL DETAIL

NTS



DEVELOPERS CERTIFICATE	
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTION BY THE NATURAL RESOURCE CONSERVATION SERVICE.	
<i>[Signature]</i>	1/16/06
SIGNATURE OF DEVELOPER	
HUGH COLE JR MEMBER	
PRINTED NAME OF DEVELOPER	
ENGINEER'S CERTIFICATE	
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATURAL RESOURCE CONSERVATION SERVICE.	
<i>[Signature]</i>	1/16/06
SIGNATURE OF ENGINEER	
CHAD EDMONDSON	
PRINTED NAME OF ENGINEER	
THESE PLANS HAVE BEEN REVIEWED FOR THE HOWARD SOIL CONSERVATION DISTRICT AND MEETS TECHNICAL REQUIREMENTS.	
<i>[Signature]</i>	1/26/06
SDSA - NATURAL RESOURCE CONSERVATION SERVICE	
DATE	
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT	
<i>[Signature]</i>	1/26/06
HOWARD SOIL CONSERVATION DISTRICT	
DATE	
APPROVED: DEPARTMENT OF PLANNING AND ZONING	
<i>[Signature]</i>	5.14.19
CHIEF, DEVELOPMENT ENGINEERING DIVISION	
DATE	
<i>[Signature]</i>	5-21-19
CHIEF, DIVISION OF LAND DEVELOPMENT	
DATE	
<i>[Signature]</i>	5-21-19
DIRECTOR	
DATE	

DATE: JAN 2006
 PROJECT: 03-084
 ILLUSTRATION: HSP
 SCALE: 1"=30'
 APPROVAL: HSP
 CE

CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS)

DATE: 2019-05-21
 DESCRIPTION: REVISIONS

NO.

HOPKINS STATION
 (PRICE FARMS, LOT 1)
 TAX MAP 41 - GRID 22 - PARCEL 425
 HOWARD COUNTY, MARYLAND

5th ELECTION DISTRICT

MILDENBERG, BOENDER & ASSOC., INC.
 Engineers Planners Surveyors
 6022 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland, 21042
 (410) 997-0236 Bldg. (301) 621-5521 Wash. (410) 987-0236 Fax

2 OF 6

SDP-05-138

HOWARD SOIL CONSERVATION DISTRICT

PERMANENT SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS NOT SUBJECT TO IMMEDIATE FURTHER DISTURBANCE WHERE A PERMANENT LONG-LIVED VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, IF NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: IN LIEU OF SOIL TEST RECOMMENDATIONS, USE ONE OF THE FOLLOWING SCHEDULES:

- 1) PREFERRED - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL... AT TIME OF SEEDING, APPLY 400 LBS. PER ACRE 30-0-0 UREAFORM FERTILIZER (9 LBS./1000 SQ.FT.)... ACCEPTABLE - APPLY 2 TONS PER ACRE DOLOMITIC LIMESTONE (92 LBS./1000 SQ.FT.) AND 1000 LBS. PER ACRE 10-10-10 FERTILIZER (23 LBS./1000 SQ.FT.) BEFORE SEEDING. HARROW OR DISK INTO UPPER THREE INCHES OF SOIL.

SEEDING - FOR THE PERIODS MARCH 1 THRU APRIL 30, AND AUGUST 1 THRU OCTOBER 15, SEED WITH 60 LBS. PER ACRE 1-1/2 TONS PER ACRE OF KENTUCKY 31 TALL FESCUE FOR THE PERIOD MAY 1 THRU JULY 31, SEED WITH 60 LBS. KENTUCKY 31 TALL FESCUE PER ACRE AND 2 LBS. PER ACRE (.05 LBS./1000 SQ.FT.) OF WEEDING LOVEGRASS...

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS...

MAINTENANCE - INSPECT ALL SEEDING AREAS AND MAKE NEEDED REPAIRS, REPLACEMENTS AND RESEEDINGS.

TEMPORARY SEEDING NOTES

APPLY TO GRADED OR CLEARED AREAS LIKELY TO BE REDISTURBED WHERE A SHORT-TERM VEGETATIVE COVER IS NEEDED.

SEEDBED PREPARATION: LOOSEN UPPER THREE INCHES OF SOIL BY RAKING, DISKING OR OTHER ACCEPTABLE MEANS BEFORE SEEDING, FOR NOT PREVIOUSLY LOOSENED.

SOIL AMENDMENTS: APPLY 600 LBS. PER ACRE 10-10-10 FERTILIZER (14 LBS./1000 SQ.FT.)

SEEDING - FOR PERIODS MARCH 1 THRU APRIL 30 AND FROM AUGUST 15 THRU OCTOBER 15, SEED WITH 2-1/2 BUSHEL PER ACRE OF ANNUAL RYE (3.2 LBS./1000 SQ.FT.) FOR THE PERIOD MAY 1 THRU AUGUST 14, SEED WITH 3 LBS. PER ACRE OF WEEDING LOVEGRASS (.07 LBS./1000 SQ.FT.)...

MULCHING - APPLY 1-1/2 TO 2 TONS PER ACRE (70 TO 90 LBS./1000 SQ.FT.) OF UNROTTED WEED FREE SMALL GRASS STRAW IMMEDIATELY AFTER SEEDING. ANCHOR MULCH IMMEDIATELY AFTER APPLICATION USING MULCH ANCHORING TOOL OR 218 GALLONS PER ACRE (5 GAL/1000 SQ.FT.) OF EMULSIFIED ASPHALT ON FLAT AREAS...

REFER TO THE 1983 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR ADDITIONAL RATES AND METHODS NOT COVERED.

STANDARD SEDIMENT CONTROL NOTES

- 1) A MINIMUM OF 48 HOURS NOTICE MUST BE GIVEN TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS, SEDIMENT CONTROL DIVISION PRIOR TO THE START OF ANY CONSTRUCTION, (313-1855). 2) ALL VEGETATIVE AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE MOST CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.

- 7) SITE ANALYSIS: TOTAL AREA OF SITE: 3.23 ACRES; AREA DISTURBED: 1.9 ACRES; AREA TO BE ROOFED OR PAVED: 1.0 ACRES; AREA TO BE VEGETATIVELY STABILIZED: 0.9 ACRES; TOTAL CUT: 8,500 CU. YDS.; TOTAL FILL: 8,500 CU. YDS.; TOTAL WASTE/BORROW AREA LOCATION: N/A.

THESE QUANTITIES ARE FOR PERMIT PURPOSES ONLY. CONTRACTOR IS REQUIRED TO PROVIDE HIS OWN QUANTITY MEASUREMENTS.

OWNER AND DEVELOPER

HOPKINS STATION GENERAL PARTNERSHIP C/O BRANTLY DEVELOPMENT GROUP 8835 COLUMBIA 100 PKWY SITE P COLUMBIA, MARYLAND 21045-2147 (410) 730-0810

- 8) ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE. 9) ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE HOWARD COUNTY SEDIMENT CONTROL INSPECTOR. 10) ON ALL SITES WITH DISTURBED AREAS IN EXCESS OF 2 ACRES, APPROVAL OF THE INSPECTION AGENCY SHALL BE REQUESTED UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS...

STANDARD AND SPECIFICATIONS FOR TOPSOIL

DEFINITION: PLACEMENT OF TOPSOIL OVER A PREPARED SUBSOIL PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION.

PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRADATION.

- 1. THIS PRACTICE IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE: a. THE TEXTURE OF THE EXPOSED SUBSOIL/PARENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH. b. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTINUING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.

CONSTRUCTION AND MATERIAL SPECIFICATIONS: TOPSOIL SALVAGED FROM THE EXISTING SITE MAY BE USED PROVIDED THAT IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-SCS IN COOPERATION WITH MARYLAND AGRICULTURAL EXPERIMENTAL STATION.

- 1. TOPSOIL SHALL BE A LOAM, SANDY LOAM, CLAY LOAM, SILT LOAM, SANDY CLAY LOAM, LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. REGARDLESS, TOPSOIL SHALL NOT BE A MIXTURE OF COMPACTING TEXTURED SURVEILS AND SHALL CONTAIN LESS THAN 5% BY VOLUME OF ONDERS, STONES, SLAG, COARSE FRAGMENTS, GRAVEL, STICKS, ROOTS, TRASH, OR OTHER MATERIALS LARGER THAN 1 1/2" IN DIAMETER.

- 2. TOPSOIL MUST BE FREE OF PLANTS OR PLANT PARTS SUCH AS BERMUDA GRASS, QUACKGRASS, JOHNSON-SON GRASS, NUTSEDGE, POISON IVY, THISTLE, OR OTHERS AS SPECIFIED.

- 3. WHERE THE SUBSOIL IS EITHER HIGHLY ACIDIC OR COMPOSED OF HEAVY CLAYS, GROUND LIMESTONE SHALL BE SPREAD AT THE RATE OF 4-8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL. LIME SHALL BE DISTRIBUTED UNIFORMLY OVER DESIGNATED AREAS AND WORKED INTO THE SOIL IN CONJUNCTION WITH TILLAGE OPERATIONS AS DESCRIBED IN THE FOLLOWING PROCEDURES.

- 4. ON SITES HAVING DISTURBED AREAS UNDER 5 ACRES: a. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- 5. FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES: a. ON SOIL MEETING TOPSOIL SPECIFICATIONS, OBTAIN TEST RESULTS DICTATING FERTILIZER AND LIME AMENDMENTS REQUIRED TO BRING THE SOIL INTO COMPLIANCE WITH THE FOLLOWING: i. pH FOR TOPSOILS SHALL BE BETWEEN 6.0 AND 7.5. IF THE TESTED SOIL DEMONSTRATES A pH OF LESS THAN 6.0, SUFFICIENT LIME SHALL BE PRESCRIBED TO RAISE THE pH TO 6.5 OR HIGHER.

- ii. ORGANIC CONTENT OF TOPSOIL SHALL BE NOT LESS THAN 1.5 PERCENT BY WEIGHT.

- iii. TOPSOIL HAVING SOLUBLE SALT CONTENT GREATER THAN 500 PARTS PER MILLION SHALL NOT BE USED.

- iv. NO SOD OR SEED SHALL BE PLACED ON SOIL WHICH HAS BEEN TREATED WITH SOIL STERILANTS OR CHEMICALS USED FOR WEED CONTROL UNTIL SUFFICIENT TIME HAS ELAPSED (14 DAYS MIN.) TO PERMIT DISSIPATION OF PHYTO-TOXIC MATERIALS.

NOTE: TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.

- ii. PLACE TOPSOIL (IF REQUIRED) AND APPLY SOIL AMENDMENTS AS SPECIFIED IN 20.0 VEGETATIVE STABILIZATION - SECTION 1 - VEGETATIVE STABILIZATION METHODS AND MATERIALS.

- 3. TOPSOIL APPLICATION: i. WHEN TOPSOILING, MAINTAIN NEEDED EROSION AND SEDIMENT CONTROL PRACTICES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, EARTH DIKES, SLOPE SILT FENCE AND SEDIMENT TRAPS AND BASINS.

- ii. GRADES ON THE AREAS TO BE TOPSOILED, WHICH HAVE BEEN PREVIOUSLY ESTABLISHED, SHALL BE MAINTAINED, ALSEET 4" - 8" HIGHER IN ELEVATION.

- iii. TOPSOIL SHALL BE UNIFORMLY DISTRIBUTED IN A 4" TO 8" LAYER AND LIGHTLY COMPACTED TO A MINIMUM THICKNESS OF 4". SPREADING SHALL BE PERFORMED IN SUCH A MANNER THAT SODDING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM TOPSOILING OR OTHER OPERATIONS SHALL BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR WATER POCKETS.

- iv. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDBED PREPARATION.

- VI. ALTERNATIVE FOR PERMANENT SEEDING - INSTEAD OF APPLYING THE FULL AMOUNTS OF LIME AND COMMERCIAL FERTILIZER, COMPOSTED SLUDGE AND AMENDMENTS MAY BE APPLIED AS SPECIFIED BELOW: i. COMPOSTED SLUDGE MATERIAL FOR USE AS A SOIL CONDITIONER FOR SITES HAVING DISTURBED AREAS OVER 5 ACRES SHALL BE TESTED TO PRESCRIBE AMENDMENTS AND FOR SITES HAVING AREAS UNDER 5 ACRES SHALL CONFORM TO THE FOLLOWING REQUIREMENTS: a. COMPOSTED SLUDGE SHALL BE SUPPLIED BY, OR ORIGINATE FROM, A PERSON OR PERSONS WHO ARE PERMITTED (AT THE TIME OF ACQUISITION OF THE COMPOST) BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT UNDER COMAR 26.04.06. b. COMPOSTED SLUDGE SHALL CONTAIN AT LEAST 1 PERCENT NITROGEN, 1.5 PERCENT PHOSPHOROUS, AND 0.2 PERCENT POTASSIUM AND HAVE A PH OF 7.0 TO 8.0. IF COMPOST DOES NOT MEET THESE REQUIREMENTS, THE APPROPRIATE CONSTITUENTS MUST BE ADDED TO MEET THE REQUIREMENTS PRIOR TO USE. c. COMPOSTED SLUDGE SHALL BE APPLIED AT A RATE OF 1 TON/1,000 SQUARE FEET.

REFERENCES: GUIDELINE SPECIFICATIONS, SOIL PREPARATION AND SODDING. MD-VA, PUB. #1, COOPERATIVE EXTENSION SERVICE, UNIVERSITY OF MARYLAND AND VIRGINIA POLYTECHNIC INSTITUTES. REVISED 1973.

TEMPORARY DUST CONTROL MEASURES

- 1. MULCHES - SEE STANDARDS FOR VEGETATIVE STABILIZATION WITH MULCHES ONLY. MULCH SHOULD BE CRIMPED OR TACKED TO PREVENT BLOWING. 2. VEGETATIVE COVER - SEE STANDARDS FOR TEMPORARY VEGETATIVE COVER. 3. TILLAGE - TO ROUGHEN SURFACE AND BRING CLOSERS TO THE SURFACE. THIS IS AN EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOW SPACED ABOUT 12" APART, SPRING-TOOTHED HARROWS, AND SIMILAR PLOWS ARE EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT. 4. IRRIGATION - THIS IS GENERALLY DONE AS AN EMERGENCY TREATMENT. SITE IS SPRINKLED WITH WATER UNTIL THE SURFACE IS MOIST. REPEAT AS NEEDED. AT NO TIME SHOULD THE SITE BE IRRIGATED TO THE POINT THAT RUNOFF BEGINS TO FLOW. 5. BARRIERS - SOLID BOARD FENCES, SILT FENCES, SNOW FENCES, BURLAP FENCES, STRAW BALES, AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING. BARRIERS PLACED AT RIGHT ANGLES TO PREVAILING CURRENTS AT INTERVAL OF ABOUT 10 TIMES THEIR HEIGHT ARE EFFECTIVE IN CONTROLLING SOIL BLOWING. 6. CALCIUM CHLORIDE - APPLY AT RATES THAT WILL KEEP SURFACE MOIST. MAY NEED RETREATMENT.

SEQUENCE OF CONSTRUCTION

- 1. OBTAIN GRADING PERMIT. (1 DAY) 2. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AT LOCATION SHOWN. (1 DAY) 3. CONSTRUCT SILT FENCES AND SUPER SILT FENCES. (2 DAYS) 4. COMPLETE CONSTRUCTION AS SHOWN, INCLUDING UTILITIES, BUILDING, & PAVEMENT. (60 DAYS) 5. COMPLETE FINE GRADING OF SITE TO GRADES INDICATED. (5 DAYS) 6. SEED AND MULCH ALL REMAINING DISTURBED AREAS. (2 DAYS) 7. UPON STABILIZATION OF THE SITE AND WITH THE APPROVAL OF THE SEDIMENT CONTROL INSPECTOR, REMOVE SEDIMENT CONTROL DEVICES AND STABILIZE REMAINING DISTURBED AREAS.

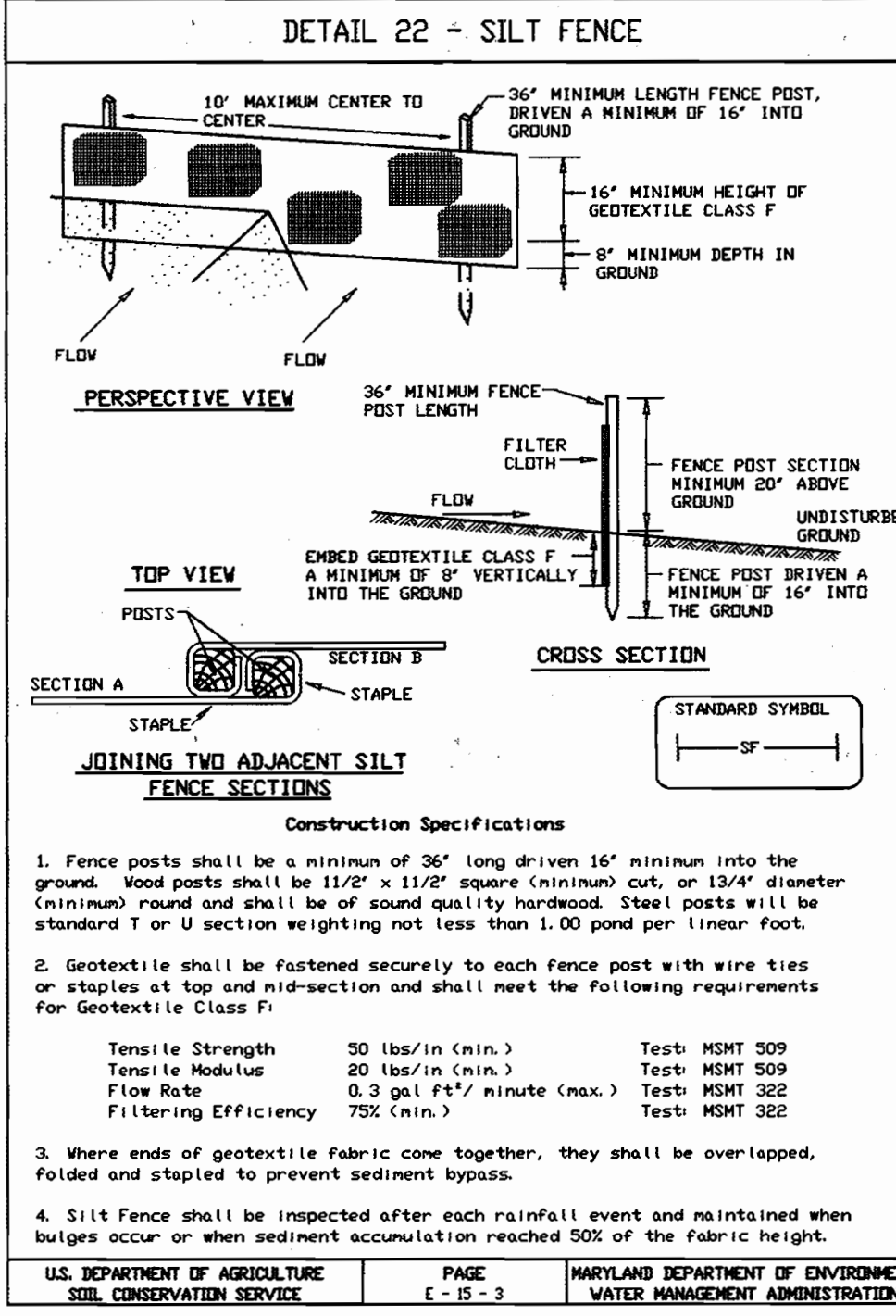
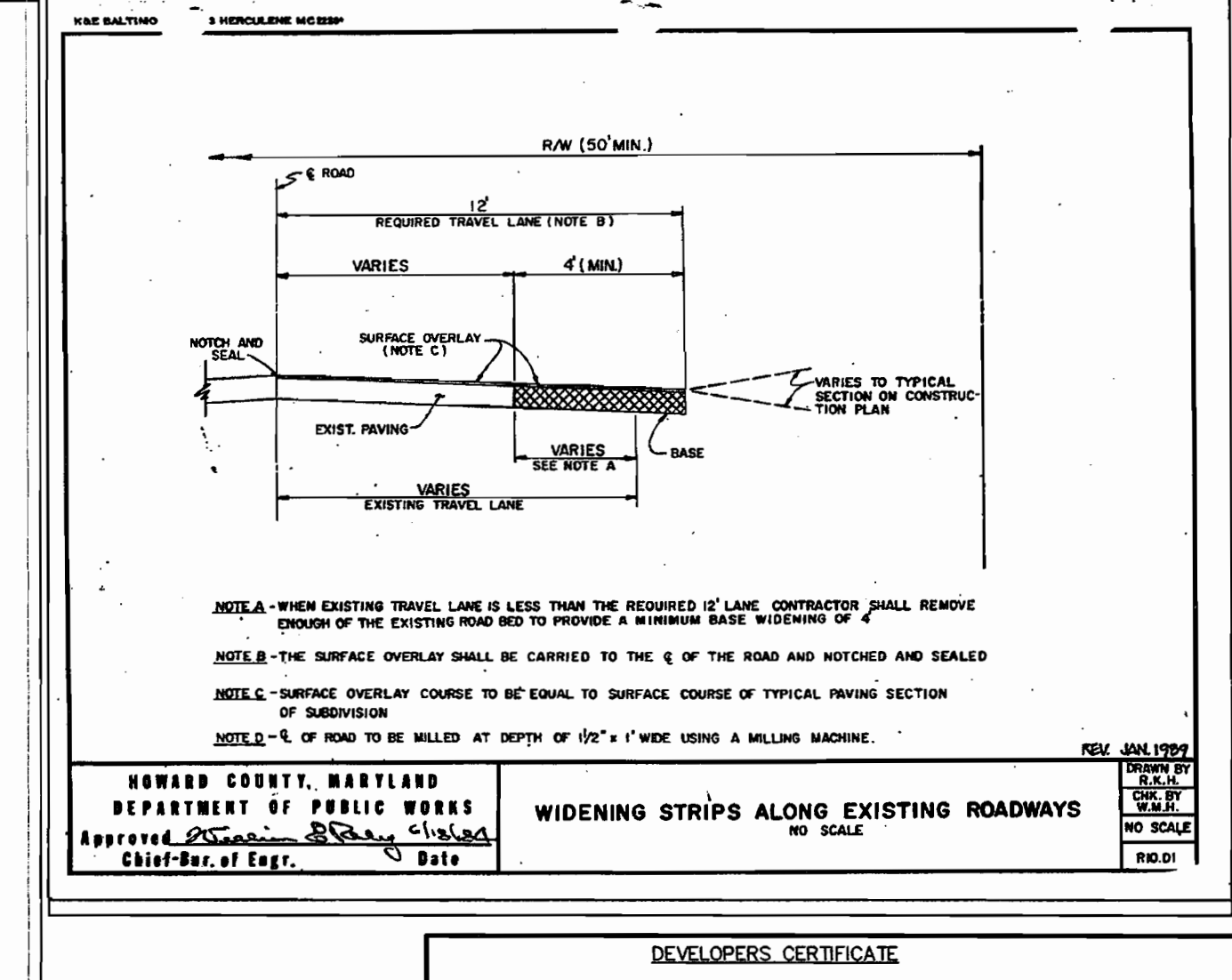
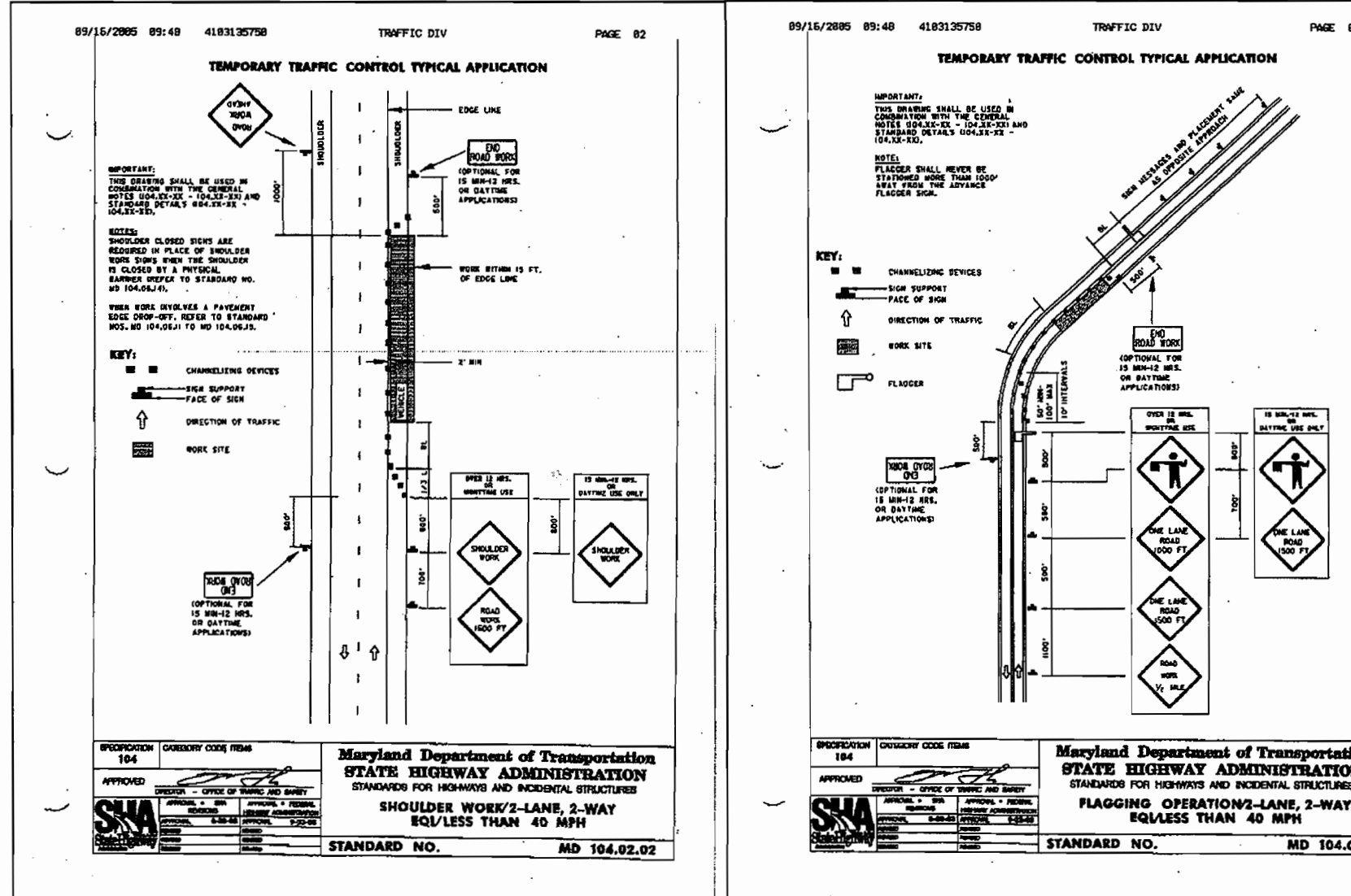
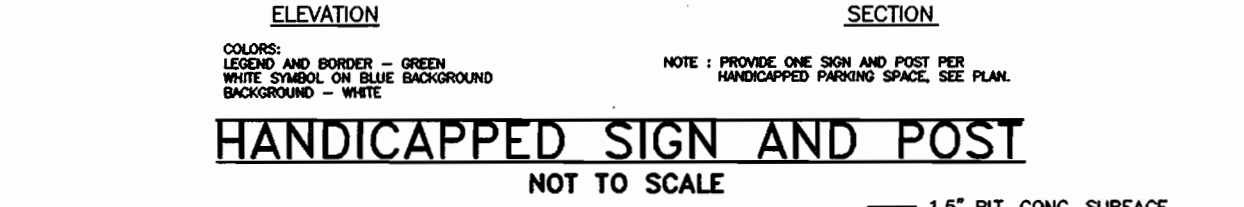
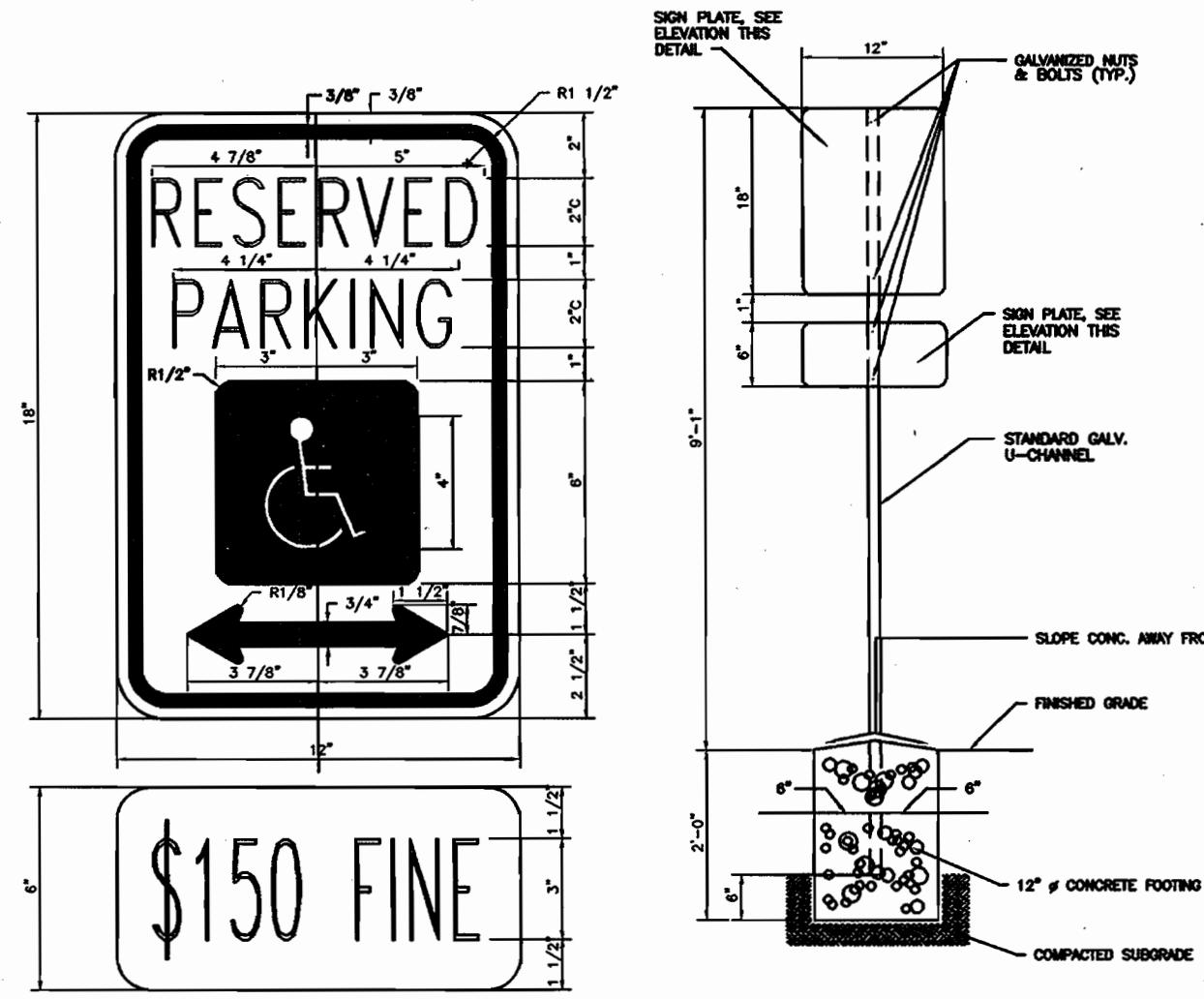


Table with 3 columns: Slope Steepness, Slope Length, Silt Fence Length. Includes design criteria for various slope conditions.

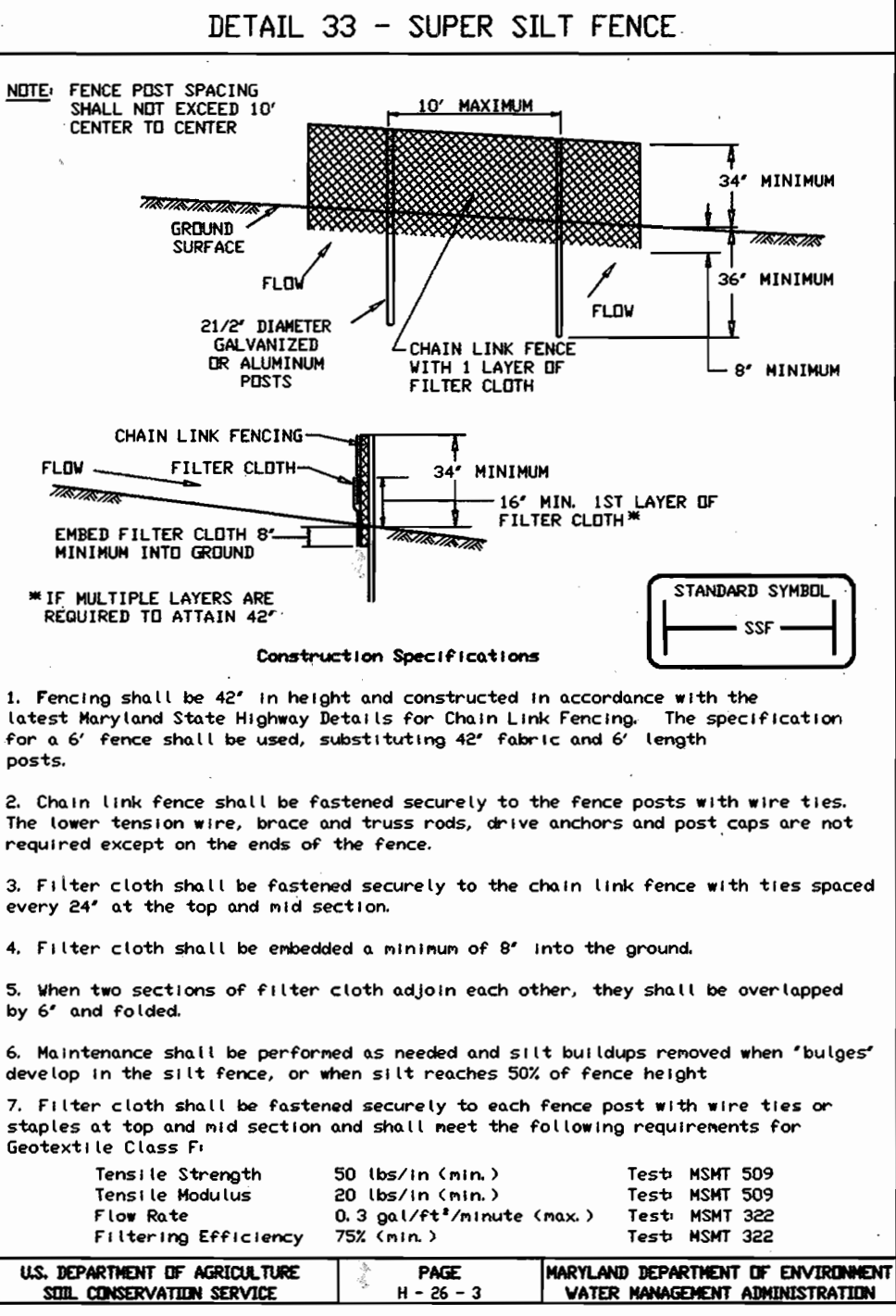
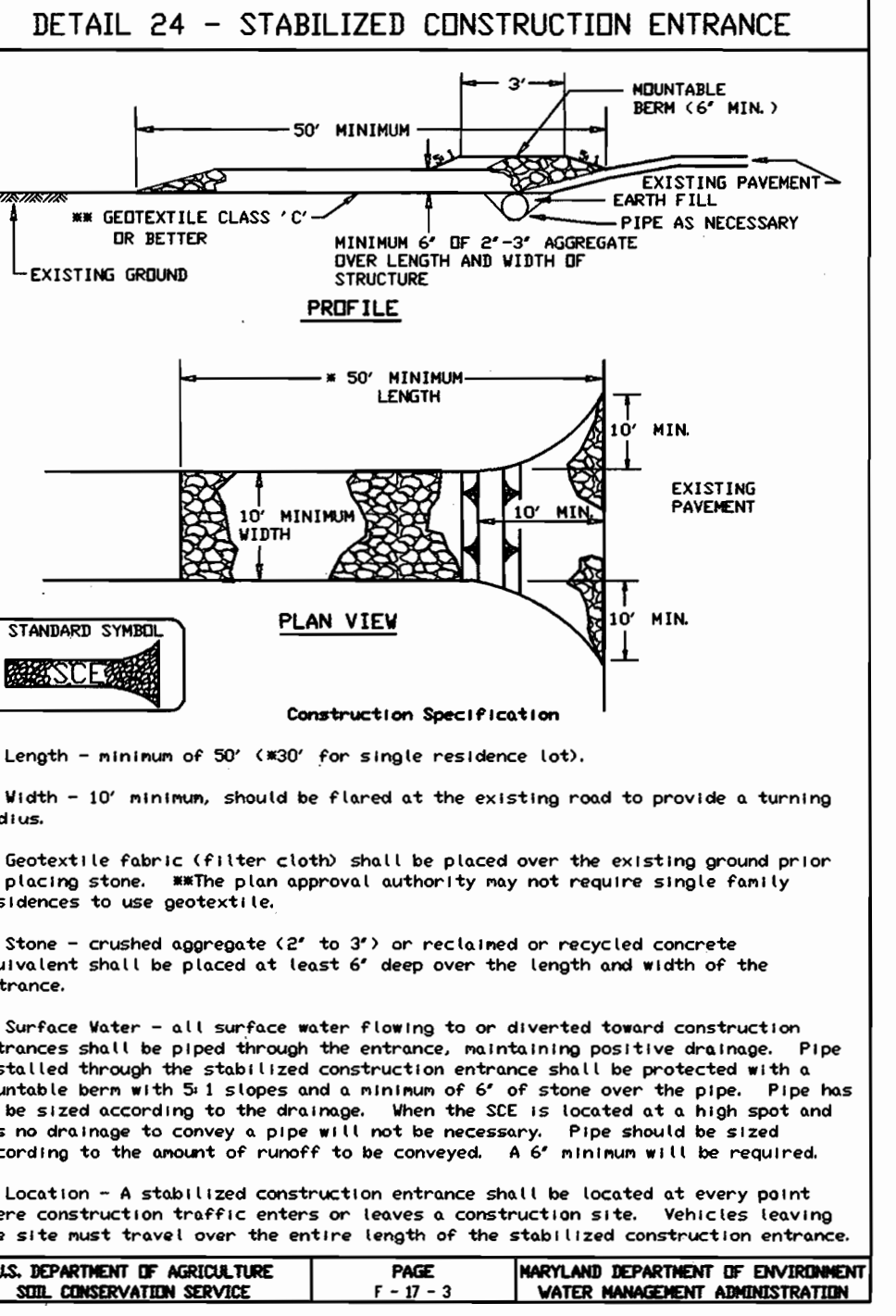


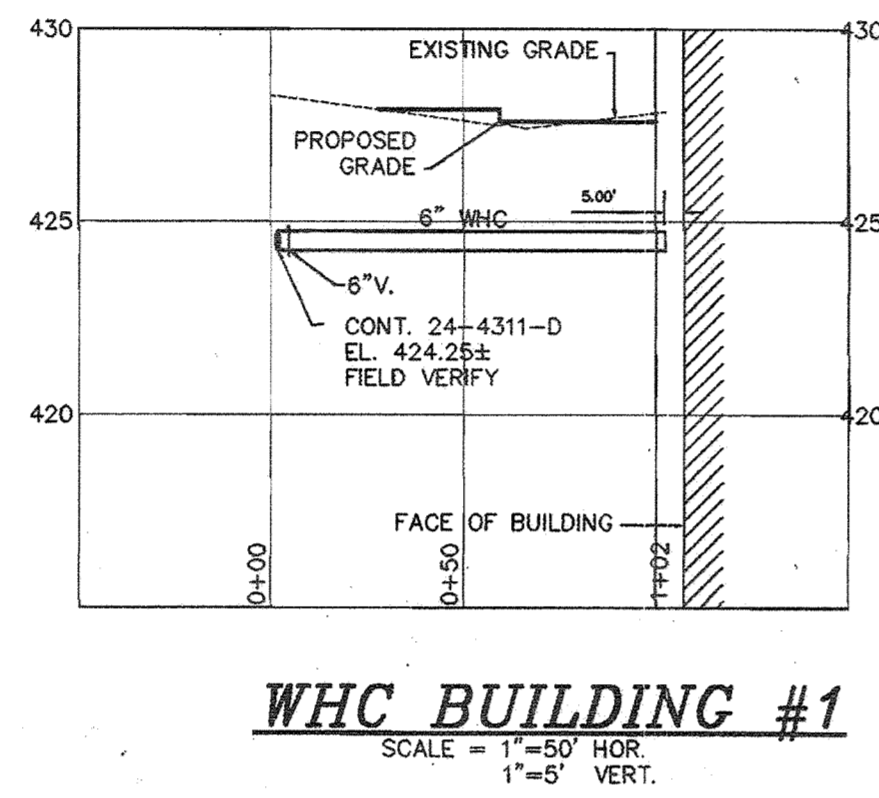
Table with 4 columns: Slope, Slope Steepness, Slope Length (Maximum), Silt Fence Length (Maximum). Includes design criteria for super silt fences.



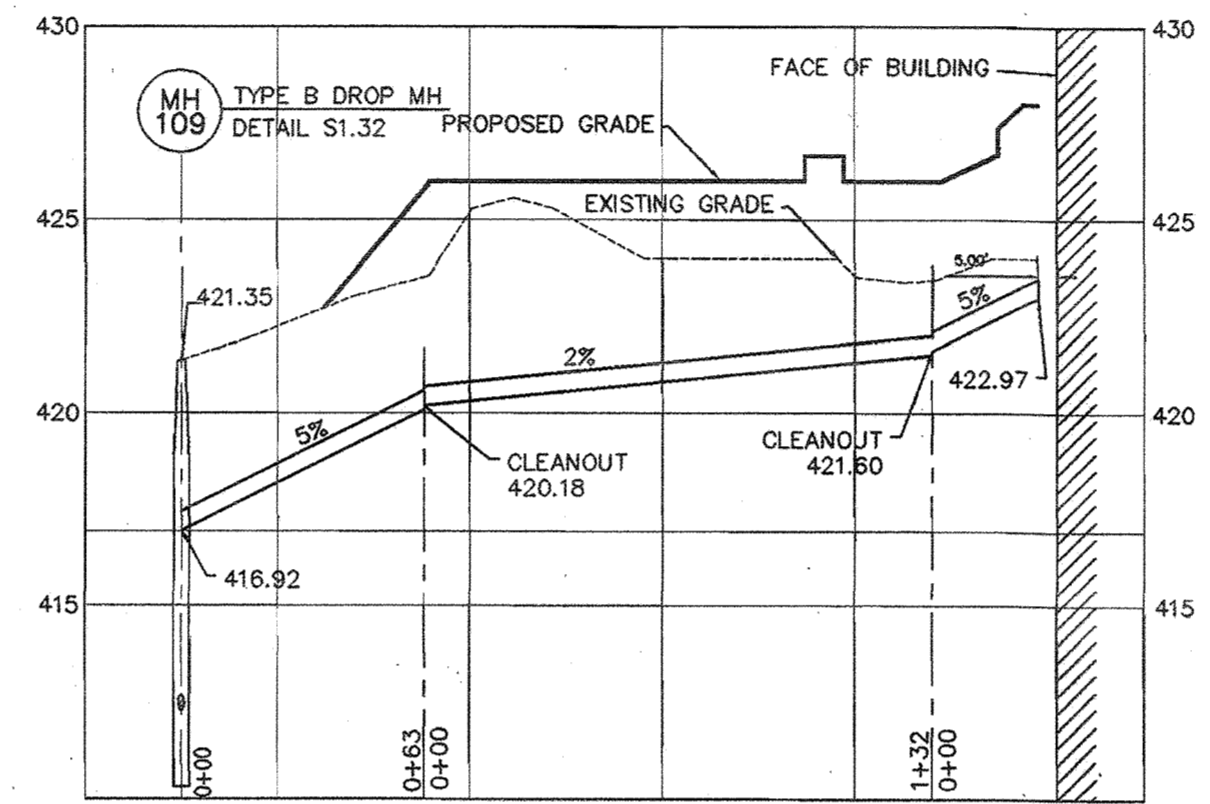
Developers Certificate and Engineer's Certificate sections with signatures and dates for Hush Coley and Chad Edmondson.

Vertical sidebar containing project information, Hopkins Station address, Mildenberg, Boender & Assoc., Inc. contact info, and page number 3 of 6.

ht: 103-094.dwg 103-094-base.dwg



WHC BUILDING #1
SCALE = 1"=50' HOR.
1"=5' VERT.



SHC BUILDING #1
SCALE = 1"=50' HOR.
1"=5' VERT.

SITE DETAILS

AWNEX
Awnings • Canopies • Signs

EVENING FENCE

Kobony Wood/Videos
Kobony - Beauty & Performance in Wood
Kobony - The New Wood

Description:
Create the Evenings atmosphere with this exclusive Pallo Fencing system. This flexible sectional design can be configured to fit any Starbucks Evenings Patio. Finished with Starbucks classic Black also incorporating long lasting environmentally friendly Kobony wood and 100% recyclable aluminum. Made in USA.

Specs:
Materials:
• Aluminum Frame
• Steel Mesh and Feet
• Kobony wood
Finish:
• Powder Coated Starbucks Black, #RAL 7021
• None on the wood.
Size:
• Fence, 42" high x 54" wide x 2" thick
• 3" gap between modules
• 4" wide plate at foot
• Gate, 38-1/4" high x 38" wide x 2" thick.
Weight:
• 33 lbs per module

1 **STARBUCKS OUTDOOR SEATING FENCE DETAIL**
NOT TO SCALE

Site Signage Details
Note: Footing details for signage and clearance bar to be provided by vendor under separate cover

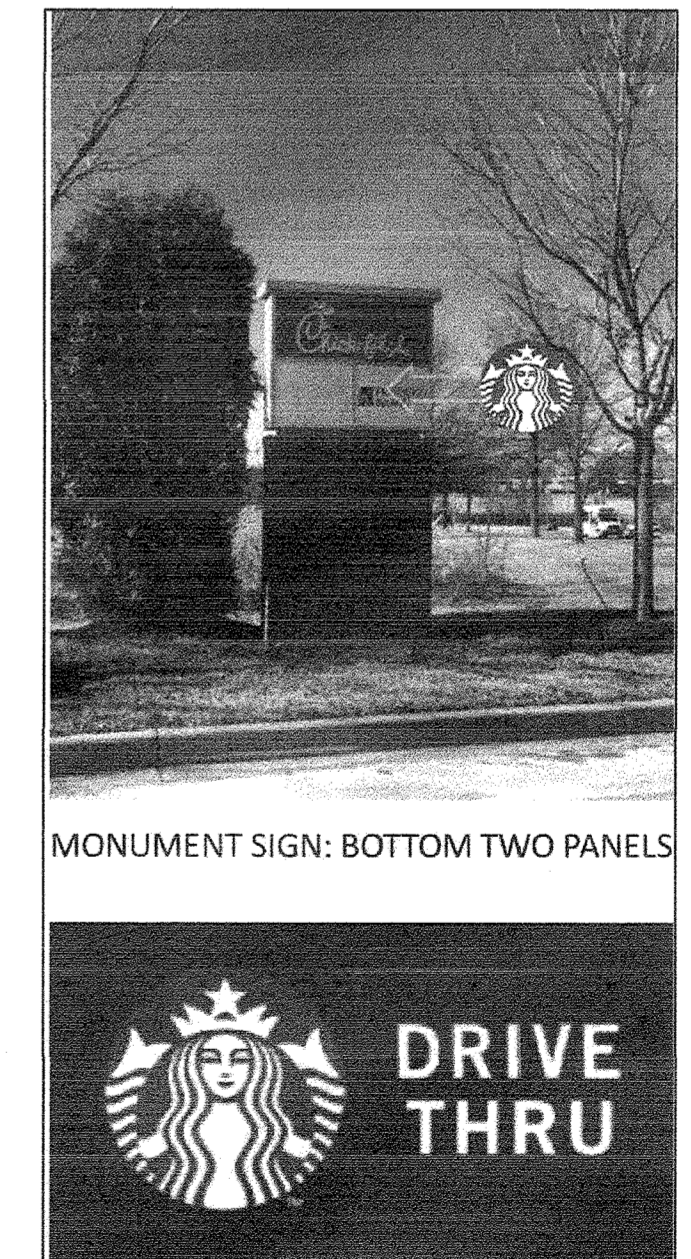
BACKSIDE ELEVATION: 2'-1 1/4" (640mm) SIGN WITH BASE AND PLATE COVER (BY STARBUCKS) FINISH GRADE CONCRETE FOOTING

CUSTOMER ELEVATION: 2'-7" (790mm) SIGN WITH BASE AND PLATE COVER (BY STARBUCKS) FINISH GRADE CONCRETE FOOTING

PLAN VIEW (BASE): 46" Thank You / Exit Only Sign, Illuminated

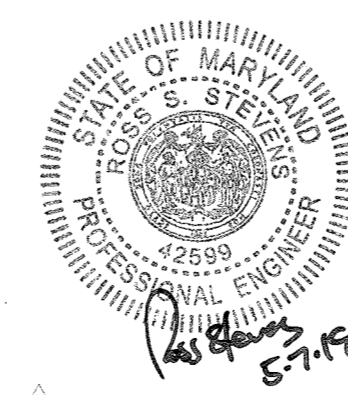
PLAN VIEW (BASE): 46" Directional Arrow w/ Logo, Illuminated

2 **STARBUCKS DIRECTIONAL SIGN DETAILS**
NOT TO SCALE

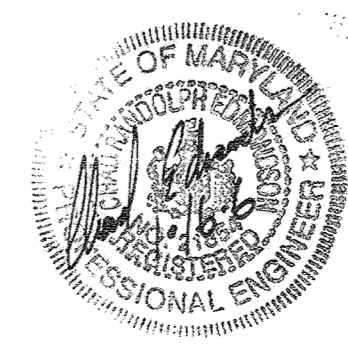


MONUMENT SIGN: BOTTOM TWO PANELS

3 **STARBUCKS MONUMENT SIGN DETAILS**
NOT TO SCALE



FOR REVISION 1 ONLY



APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHIEF, DEVELOPMENT ENGINEERING DIVISION
CHIEF, DIVISION OF LAND DEVELOPMENT
DIRECTOR

DATE: 5-14-19
DATE: 5-21-19
DATE: 5-21-19

project	03-094	date	JAN 2006
illustration	HSP	engineering	HSP
scale	1"=50'	approval	CE

no.	description	revisions	date

HOPKINS STATION
(PRICE FARMS, LOT 1)
TAX MAP 41 - GRID 22 - PARCEL 425
HOWARD COUNTY, MARYLAND
5th ELECTION DISTRICT
WATER & SEWER MAIN PROFILES AND SITE DETAILS

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
(410) 997-0296 Fax. (301) 621-5521 Wash. (410) 997-0298 Fax.

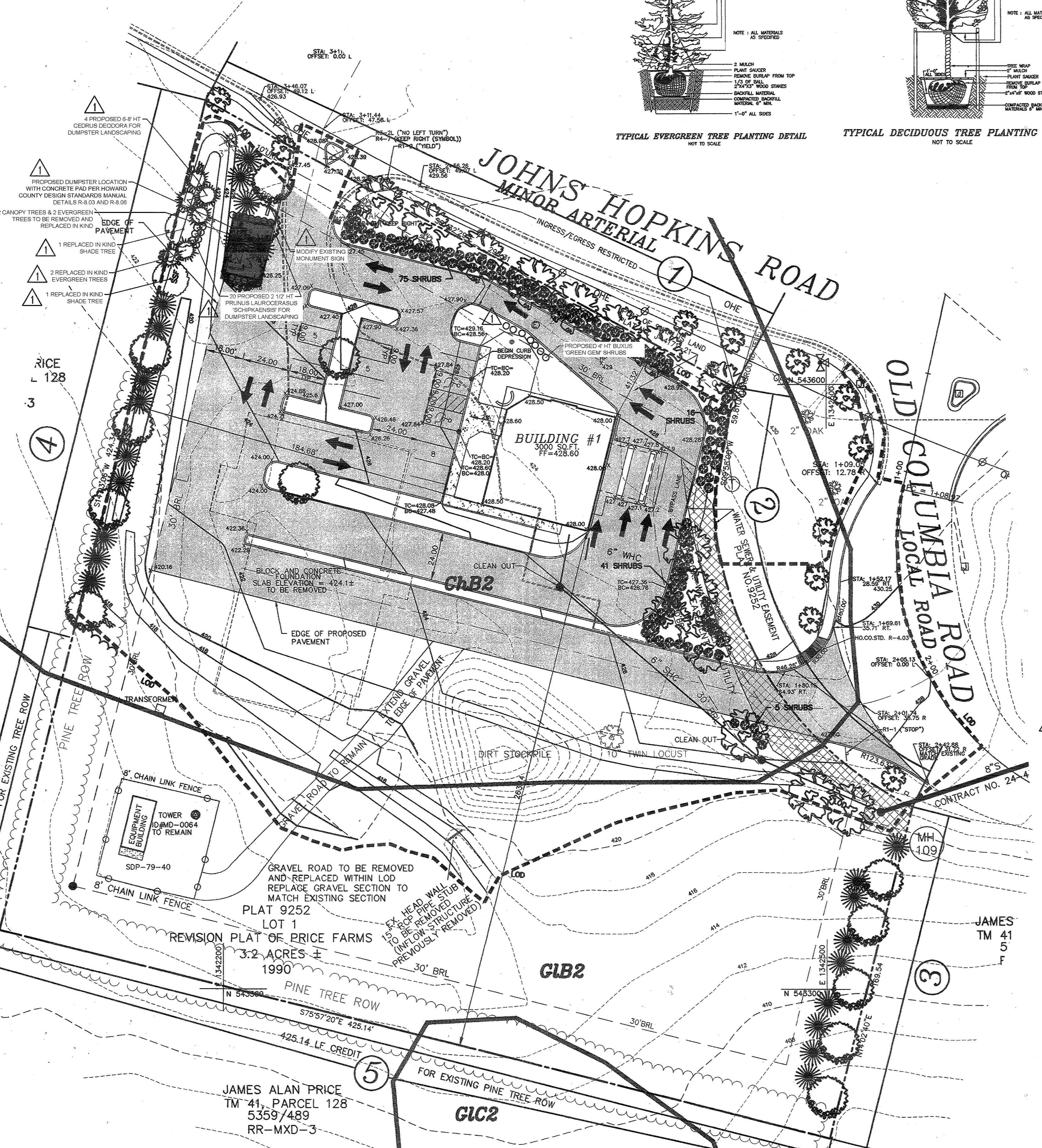
DEVELOPER'S/OWNER'S CERTIFICATE
 I/WE CERTIFY THAT THE LANDSCAPING SHOWN ON THIS PLAN WILL BE DONE IN ACCORDANCE WITH THE PLAN, SECTION 16.124 OF THE HOWARD COUNTY CODE, AND THE HOWARD COUNTY LANDSCAPE MANUAL. I/WE FURTHER CERTIFY THAT UPON COMPLETION A CERTIFICATION OF LANDSCAPE INSTALLATION, ACCOMPANIED BY AN EXECUTED ONE YEAR GUARANTEE OF PLANT MATERIALS, WILL BE SUBMITTED TO THE DEPARTMENT OF PLANNING AND ZONING.

Anthony P. Cole, Jr. 1/16/06
 NAME DATE

Masid M. Tringa 1/17/06
 MASID M. TRINGA
 DNR QUALIFIED PROFESSIONAL



FOR REVISION 1 ONLY



FOREST CONSERVATION DATA

NET TRACT AREA:
 A. Total tract area = 3.2
 B. Area within 100 year floodplain = 0.0
 C. Area to remain in agricultural production = 0.0
 D. Net tract area = 3.2

LAND USE CATEGORY: (from table 3.2.1, page 40, Manual)
 Input the number "1" under the appropriate land use zoning, and limit to only one entry.

ARA MOR IDA HDR MPD CIA
 0 0 0 0 1 1

E. Afforestation Threshold: 15% x D = 0.5
 F. Conservation Threshold: 15% x D = 0.5

EXISTING FOREST COVER:
 G. Existing forest cover = 0.0
 H. Area of forest above afforestation threshold = 0.0
 I. Area of forest above conservation threshold = 0.0

BREAK EVEN POINT:
 J. Forest retention above threshold with no mitigation = 0.0
 K. Clearing permitted without mitigation = 0.0

PROPOSED FOREST CLEARING:
 L. Total area of forest to be cleared = 0.0
 M. Total area of forest to be retained = 0.0

PLANTING REQUIREMENTS:
 N. Reforestation for clearing above conservation threshold = 0.0
 P. Reforestation for clearing below conservation threshold = 0.0
 Q. Credit for retention above conservation threshold = 0.0
 R. Total reforestation required = 0.0
 S. Total afforestation required = 0.5
 T. Total reforestation and afforestation required = 0.5

LEGEND

- ☒ DENOTES EXISTING EASEMENTS
- 5 DENOTES NUMBER OF PARKING SPACES
- Ⓜ DENOTES PROPOSED SIDEWALK (PROVIDE NO. CO. STD. HANDICAPPED RAMP WHERE APPLICABLE)
- ▨ DENOTES PROPOSED PAVING
- DENOTES PROPOSED GRADING
- - - DENOTES EXISTING GRADING
- ▬ DENOTES SOIL LINES
- - - DENOTES SEWER MAIN
- - - DENOTES WATER MAIN
- BRIL DENOTES BUILDING RESTRICTION LINE
- EXISTING TREE LINE
- PROPOSED TREE LINE
- ⇨ TRAFFIC DIRECTION
- SUPER SILT FENCE
- SILT FENCE
- DENOTES EXISTING PAVEMENT
- LIMIT OF DISTURBANCE
- DENOTES SEWER HOUSE CONNECTIONS
- DENOTES PROPERTY LINE
- DENOTES TRAFFIC JUNCTION BOX
- DENOTES ELECTRIC POLE
- DENOTES GUY WIRE POLE
- DENOTES OVERHEAD ELECTRICAL LINE
- DENOTES EXISTING TREES TO REMAIN
- ⊗ DENOTES EXISTING TREES TO BE REMOVED
- ☉ DENOTES PROPOSED TREES & SHRUBS

NOTE: A LANDSCAPE BUFFER IS REQUIRED TO SCREEN THE TRASH DUMPSTER FROM JOHN HOPKINS ROAD AND THE ADJACENT PROPERTY.

LANDSCAPE TYPE	C- PERIMETER 4 (DUMPSTER)
LINEAR FEET OF DUMPSTER	89 LF
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO
CREDIT FOR WALL, FENCE, BERM (YES, NO, LINEAR FEET)	NO
NUMBER OF PLANTS REQUIRED	
SHADE TREES	2 SHADE TREES
EVERGREEN TREES	4 EVERGREEN TREES
CREDIT FOR EXISTING VEGETATION (SHADE TREES, EVERGREEN TREES)	N/A
NUMBER OF PLANTS PROVIDED	
SHADE TREES	0 SHADE TREES
EVERGREEN TREES	4 EVERGREEN TREES
SHRUBS	20 SHRUBS (10 PER 1 SHADE TREE SUBSTITUTION)

PARKING LOT INTERIOR TREE CALCULATION

NUMBER OF PARKING SPACES = 18
 ISLANDS REQUIRED = 2 (1 ISLAND / 9 PARKING SPACES)
 ISLANDS PROVIDED = 2
 SHADE TREES REQUIRED = 2 (1 SHADE TREE / 9 PARKING SPACES)
 SHADE TREES PROVIDED = 2

PARKING LOT LANDSCAPE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
2	☉	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
TOTAL		2 SHADE TREES		

SITE LANDSCAPING PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
7	⊗	BUXUS 'GREEN GEM'	GREEN GEM BOXWOOD	4' HT
TOTAL		7 SHRUBS		

PERIMETER LANDSCAPE PLANTING SCHEDULE

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE
15	☉	ACER RUBRUM 'RED SUNSET'	RED SUNSET RED MAPLE	2 1/2" - 3" CAL.
12	☉	ACER SACCHARUM 'GREEN MOUNTAIN'	GREEN MOUNTAIN SUGAR MAPLE	2 1/2" - 3" CAL.
27	⊗	CEDRUS DEODORA	DEODAR CEDAR	6' - 8' HT.
137	⊗	CORNUS STOLONIFERA	RED-OSIER DOGWOOD	2 1/2" - 3" HT.
20	⊗	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIP LAUREL	2 1/2 HT
TOTAL		27 SHADE TREES		
27		EVERGREEN TREES		
157		SHRUBS		

SCHEDULE A : PERIMETER LANDSCAPED EDGE

CATEGORY	ADJACENT TO ROADWAY				ADJACENT TO PERIMETER PROPERTIES			TOTAL
	E (PERIMETER 1)	E (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	C (PERIMETER 5)	C (PERIMETER 6)		
LANDSCAPE TYPE	E (PERIMETER 1)	E (PERIMETER 2)	C (PERIMETER 3)	C (PERIMETER 4)	C (PERIMETER 5)	C (PERIMETER 6)		
LINEAR FEET OF PERIMETER	298.31 LF	247.42 LF	169.54 LF	424.34 LF	425.14 LF			
CREDIT FOR EXISTING VEGETATION (YES, NO, LINEAR FEET)	NO	NO	NO	YES, 150 LF OF EXISTING TREES	YES, 425.14 LF OF EXISTING TREES			
CREDIT FOR WALL, FENCE, OR BERM (YES, NO, LINEAR FEET)	NO	NO	NO	NO	NO			
NUMBER OF PLANTS REQUIRED								
SHADE TREES	8 SHADE TREES	7 SHADE TREES	5 SHADE TREES	7 SHADE TREES			27 SHADE TREES	
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	9 EVERGREEN TREES	14 EVERGREEN TREES			27 EVERGREEN TREES	
SHRUBS	75 SHRUBS	62 SHRUBS	0 SHRUBS	0 SHRUBS	N/A		137 SHRUBS	
CREDIT FOR EXISTING VEGETATION (SHADE TREES, EVERGREEN TREES)	N/A	N/A	N/A	150.0' EX PINE TREE ROW	425.14' EX PINE TREE ROW		575' EX PINE TREE ROW	
NUMBER OF PLANTS PROVIDED								
SHADE TREES	8 SHADE TREES	7 SHADE TREES	5 SHADE TREES	7 SHADE TREES	0 SHADE TREES		27 SHADE TREES	
EVERGREEN TREES	0 EVERGREEN TREES	0 EVERGREEN TREES	9 EVERGREEN TREES	14 EVERGREEN TREES	0 EVERGREEN TREES		27 EVERGREEN TREES	
SHRUBS	75 SHRUBS	62 SHRUBS	0 SHRUBS	0 SHRUBS	0 SHRUBS		157 SHRUBS	

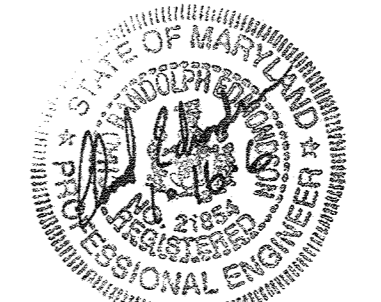
* STREET TREES - 445 LF. OF ROADWAYS = 11 STREET SHADE TREES

NOTE: 10 SHRUBS PER 1 SHADE TREE SUBSTITUTION FOR DUMPSTER LANDSCAPING

SOILS CLASSIFICATION

SYMBOL	DESCRIPTION
CMB2	CHESTER SILT LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED (TYPE B)
GIB2	GLENGLO LOAM, 3 TO 8 PERCENT SLOPES, MODERATELY ERODED (TYPE B)
GIC2	GLENGLO LOAM, 8 TO 15 PERCENT, MODERATELY ERODED (TYPE B)

- FINANCIAL SURETY FOR THE REQUIRED LANDSCAPING (29 SHADE TREES, 23 EVERGREENS, 137 SHRUBS) HAS BEEN POSTED AS PART OF THE DPW DEVELOPERS AGREEMENT IN THE AMOUNT OF \$ 18,280.00.
- THIS PROJECT COMPLIES WITH THE REQUIREMENT OF SECTION 16.1200 OF THE HOWARD COUNTY CODE FOR FOREST CONSERVATION BY A PAYMENT OF A FEE-IN-LIEU. THE PAYMENT WILL BE \$10,890.00 FOR 0.5 ACRES OF AFFORESTATION.



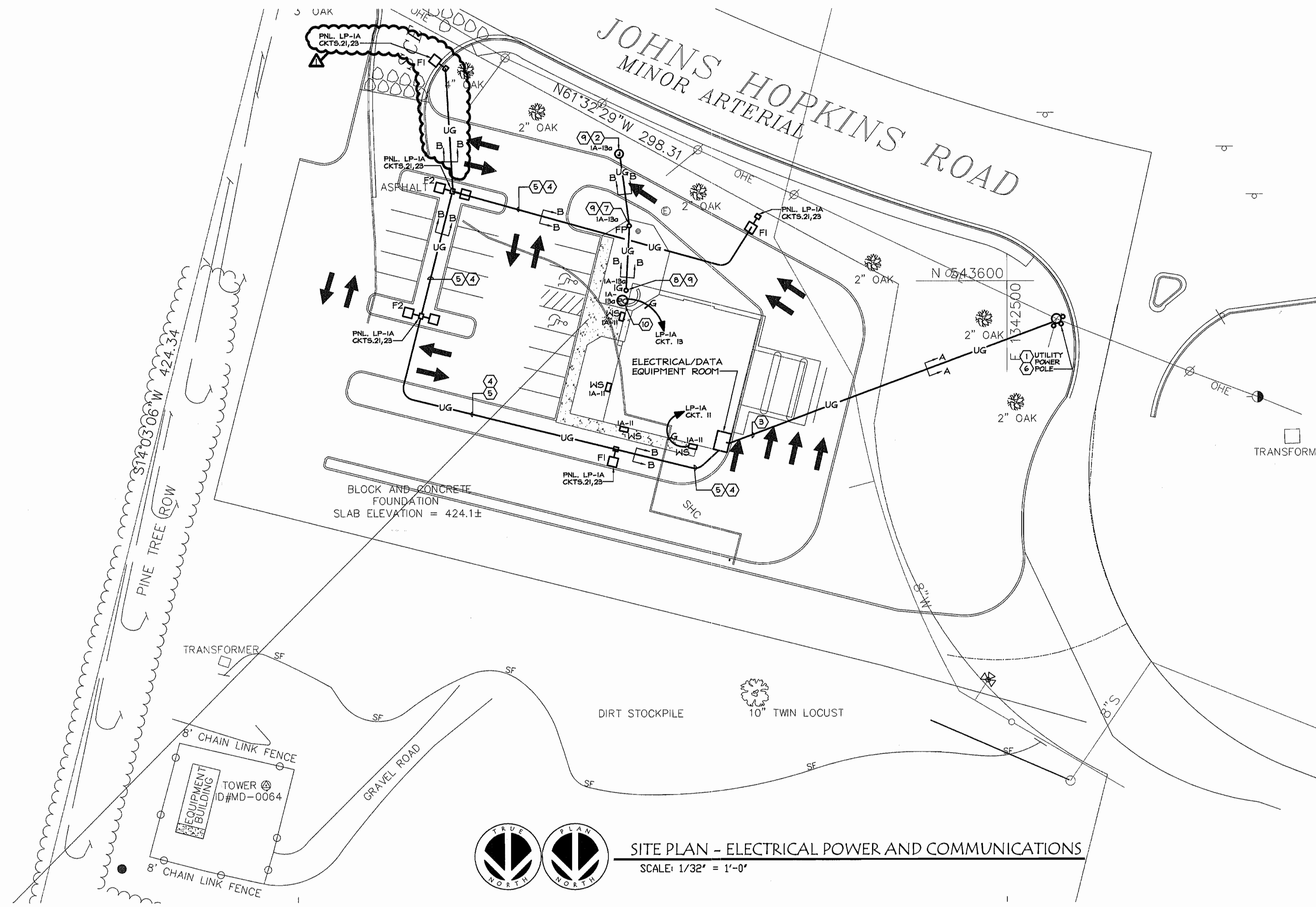
APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature] 5-14-19 DATE
 [Signature] 5-21-19 DATE
 [Signature] 5-21-19 DATE

date JAN 2006
 project 03-094
 illustration HSP
 scale 1"=30'
 approval HSP
 CE

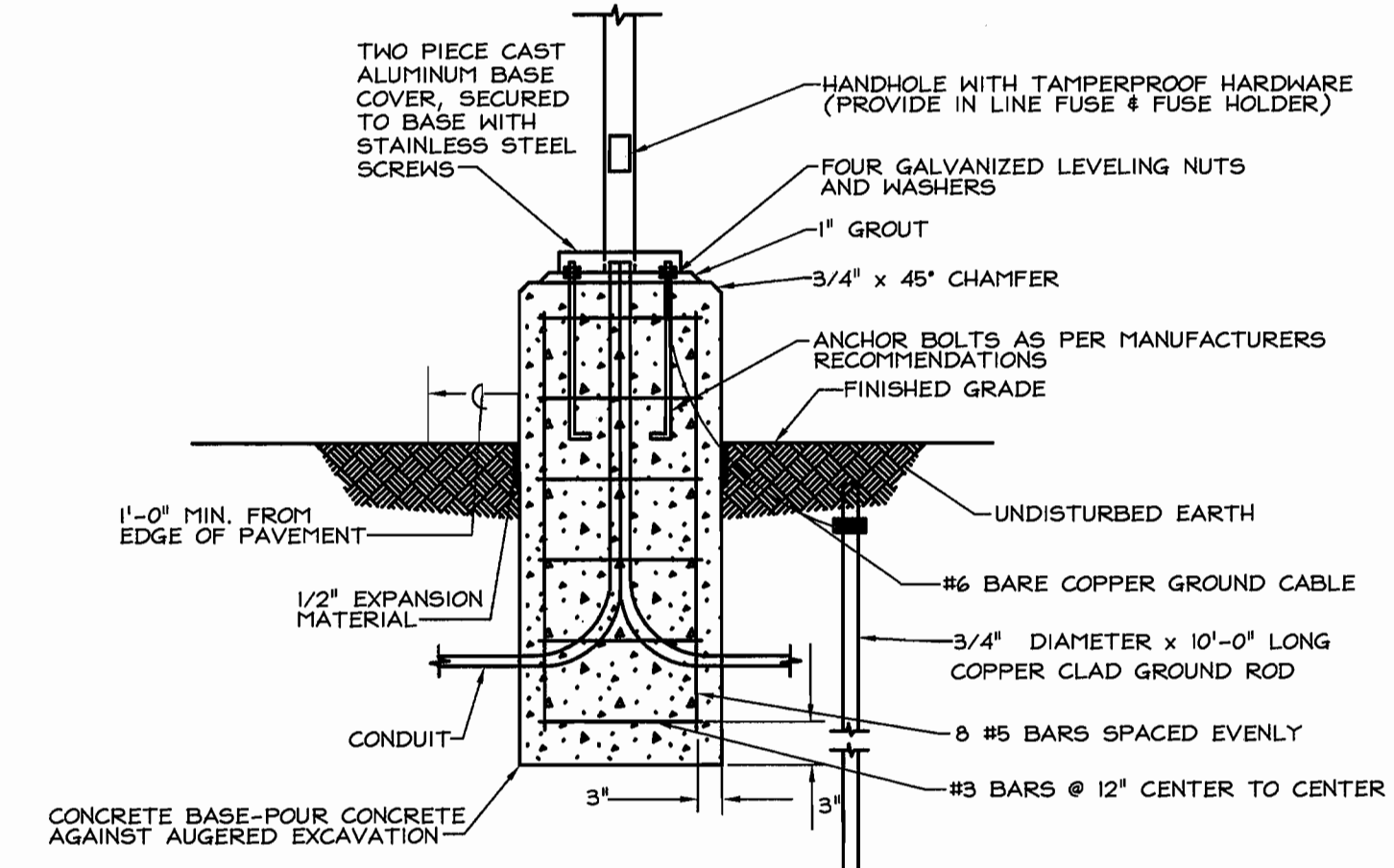
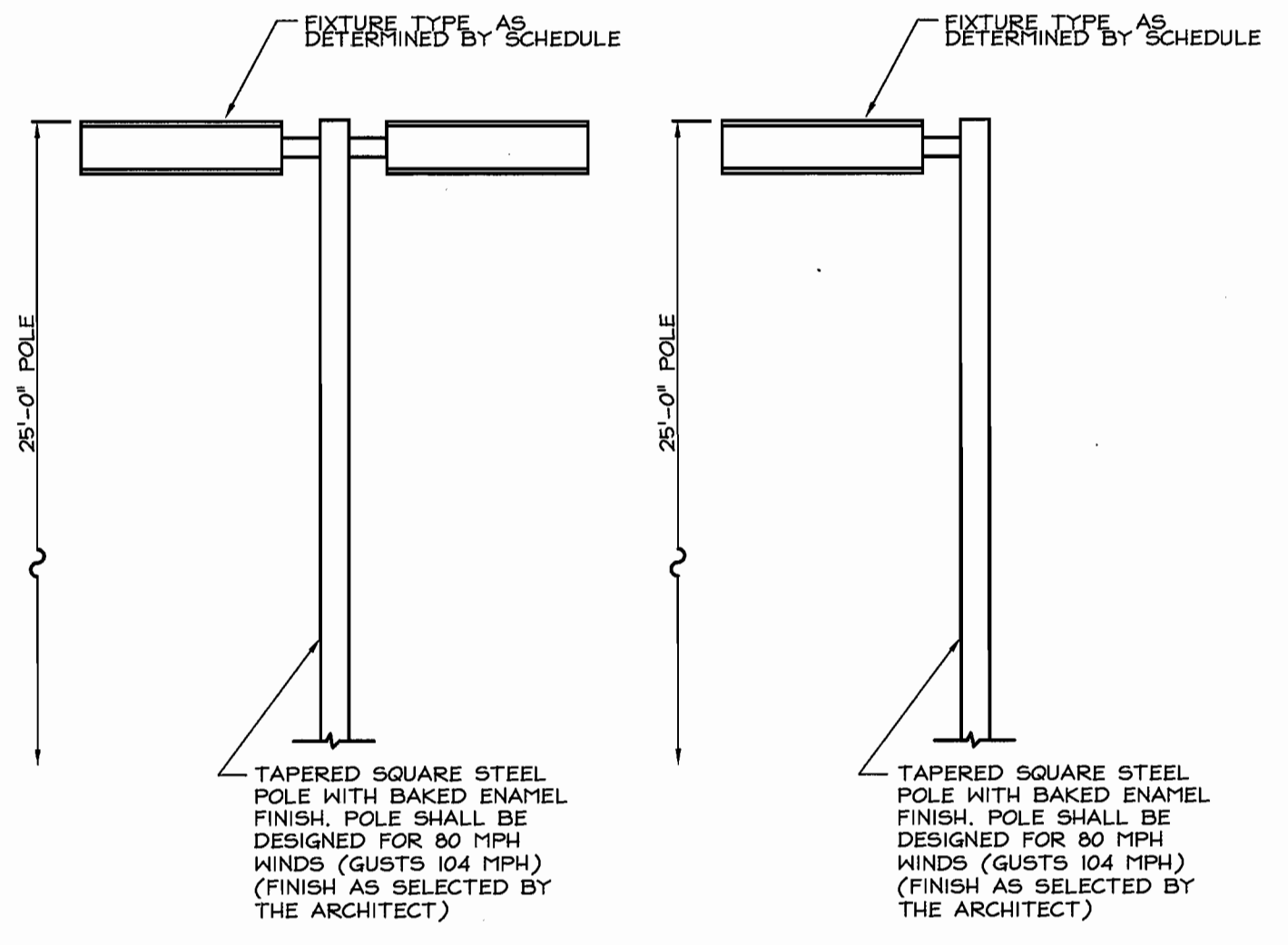
2019-05-05
 CHANGE OF USE OF BLDG. 1 FROM A COMMERCIAL BANK TO A RETAIL COFFEESHOP (STARBUCKS)

HOPKINS STATION
 (PRICE FARMS, LOT 1)
 TAX MAP 41 - GRID 22 - PARCEL 425
 HOWARD COUNTY, MARYLAND
 5th ELECTION DISTRICT
 LANDSCAPE AND FOREST CONSERVATION PLAN

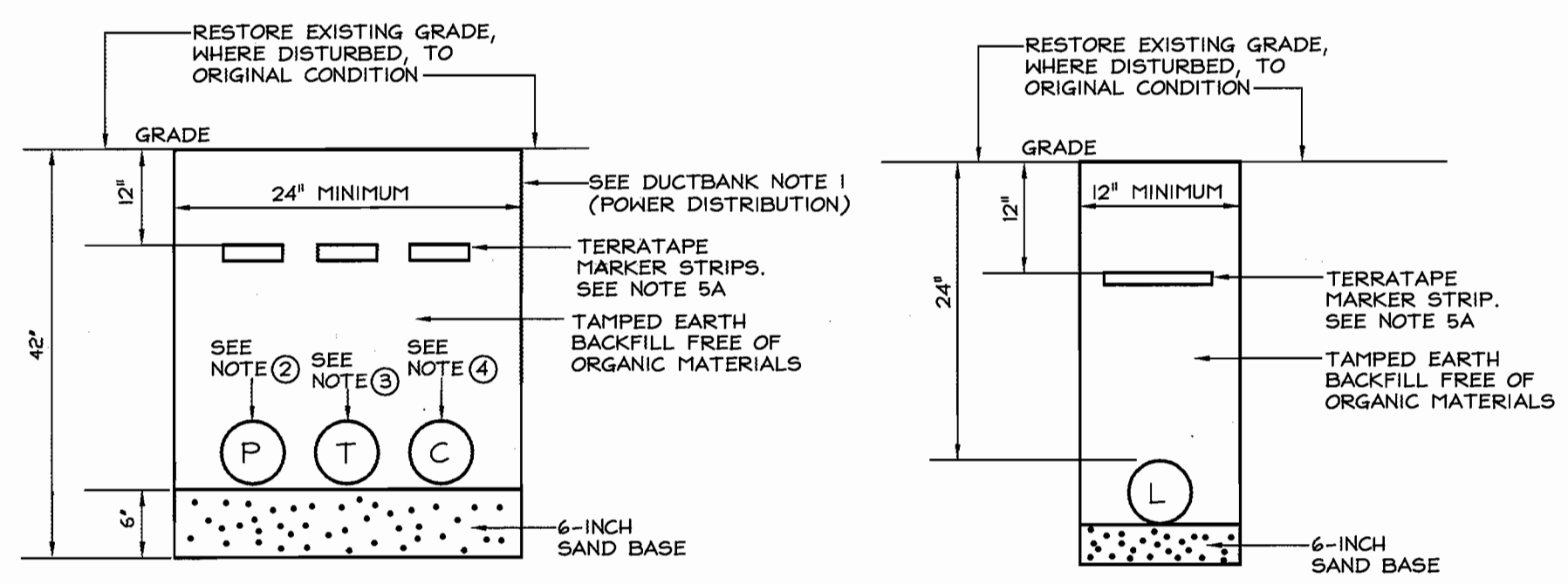
MILDENBERG, BOENDER & ASSOC., INC.
 Surveyors
 5072 Dorsey Hall Drive, Suite 202, Ellicott City, Maryland 21042
 (410) 997-0296 Fax (301) 621-5521 Wash. (410) 997-0298 Fax



SITE PLAN - ELECTRICAL POWER AND COMMUNICATIONS
SCALE: 1/32" = 1'-0"



SITE LIGHTING POLE BASE MOUNTING DETAIL
SCALE: NONE
DEPTH AND WIDTH OF POLE BASE SHALL BE PER MANUFACTURERS REQUIREMENTS AND WIND LOAD CALCULATIONS



TRENCH DETAIL 'B'
SITE LIGHTING
SCALE: NONE

DRAWING NOTES:

- ELECTRICAL CONTRACTOR SHALL TERMINATE CONDUITS (PVC SCHEDULE 80 OR METALLIC) WITH REQUIRED FASTENINGS FROM THE TOP OF EACH ELBOW IN DUCTBANK TO A POINT NOT LESS THAN 8 FEET AND A MAXIMUM OF 11 FEET ABOVE GROUND LEVEL ON UTILITY POLE.
- JUNCTION BOX WITH 120 VOLT CIRCUIT FOR CONNECTION TO BUILDING SIGNAGE. COORDINATE EXACT LOCATION AND TYPE OF CONNECTION REQUIRED WITH THE OWNER AND ARCHITECT BEFORE INSTALLATION. CIRCUIT SHALL BE CONTROLLED BY REMOTE PHOTO ELECTRIC CELL MOUNTED ON BUILDING.
- ELECTRICAL CONTRACTOR SHALL TERMINATE CONDUITS (TELEPHONE AND DATA/COMMUNICATIONS), (PVC SCHEDULE 80 OR METALLIC) WITH REQUIRED FASTENINGS FROM THE TOP OF EACH ELBOW IN DUCTBANK TO ELECTRICAL ROOM FIRST FLOOR.
- UNDERGROUND DUCT BANK SHOWN FOR CLARITY ONLY. EXACT ROUTING SHALL BE DETERMINED BY THE CONTRACTOR.
- PROVIDE 20 AMPERE, 2 POLE, CIRCUIT BREAKER IN PANELBOARD INDICATED. PROVIDE 288 AND 180 GROUND IN 1 1/2-INCH CONDUIT. REFER TO SITE LIGHTING TRENCH DETAIL THIS DRAWING.
- UNDERGROUND DUCT BANK SHOWN FOR CLARITY ONLY. EXACT LOCATION OF UTILITY POLE AND CONDUIT ROUTING SHALL BE DETERMINED BY THE UTILITY POWER COMPANY.
- UNIVERSAL MOUNT LIGHTING FIXTURE, 120 VOLT FOR FLAG POLE. COORDINATE EXACT LOCATION OF LIGHTING FIXTURE WITH THE ARCHITECT AND THE OWNER BEFORE INSTALLATION. CIRCUIT SHALL BE CONTROLLED BY REMOTE PHOTO ELECTRIC CELL MOUNTED ON BUILDING.
- RECESSED INGRADE LIGHTING FIXTURE, 120 VOLT FOR ARCHITECTURE HALL. COORDINATE EXACT LOCATION OF LIGHTING FIXTURE WITH THE ARCHITECT AND THE OWNER BEFORE INSTALLATION. CIRCUIT SHALL BE CONTROLLED BY REMOTE PHOTO ELECTRIC CELL MOUNTED ON BUILDING.
- UNDERGROUND DUCT BANK SHOWN FOR CLARITY ONLY. EXACT ROUTING SHALL BE DETERMINED BY THE CONTRACTOR UPON FINAL LOCATION OF EXTERIOR LIGHTING AND SIGNAGE.
- PHOTOCELL, IN A WEATHERPROOF ENCLOSURE MOUNTED ON BUILDING HALL AT ROOF LEVEL. EXACT LOCATION TO BE DETERMINED BY THE CONTRACTOR. REFER TO ELECTRICAL SYMBOLS DRAWING E301 FOR DESCRIPTION.

GENERAL NOTES:

- TRENCH DETAILS INDICATE UNDERGROUND PVC CONDUITS APPROVED FOR DIRECT BURIAL USE. CONDUITS NOT APPROVED FOR DIRECT BURIAL USE SHALL BE CONCRETE ENCASED (SEE NOTE 6).
- UTILITY COMPANY WILL FURNISH AND INSTALL ALL HIGH VOLTAGE CABLES, ASSOCIATED CONDUIT, PAD MOUNTED TRANSFORMER AND PRECAST CONCRETE PAD. THE UTILITY WILL TERMINATE HIGH VOLTAGE CABLES AT TRANSFORMER PRIMARY.
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OTHER WORK INDICATED ON THIS SITE PLAN.
- UNDERGROUND WORK
 - CODES AND ORDINANCES: ALL EXCAVATION WORK SHALL BE PERFORMED IN COMPLIANCE WITH OSHA AND OTHER APPLICABLE STATE AND LOCAL CODES, ORDINANCES, REGULATIONS, AND ALL SPECIAL PROVISIONS SET FORTH IN ANY PERMITS ISSUED BY THE LOCAL MUNICIPALITY.
 - BEFORE COMMENCING OPERATIONS, CAREFULLY CHECK THE LOCATION OF ALL SUBSURFACE UTILITIES SUCH AS SEWERS, WATER LINES, ELECTRIC DUCTS, GAS LINES, OR OTHER UTILITIES BY A THOROUGH EXAMINATION OF ALL AVAILABLE DATA AND DRAWINGS FOR THE PROJECT SITE. SUPPLEMENT THIS INFORMATION WITH A THOROUGH EXAMINATION OF THE SITE AND REVIEW WITH THE UTILITY COMPANIES.
 - DUCT BANK
 - A PLASTIC MARKER STRIP SHALL BE PROVIDED ALONG THE ENTIRE LENGTH OF THE UNDERGROUND CONDUIT SYSTEM. MARKER STRIP SHALL BE INSTALLED 12 INCHES BELOW GRADE. THE MARKER SHALL READ CAUTION --BURIED ELECTRIC LINE BELOW, AND SHALL BE TERRA-TAPE EXTRA STRENGTH 540, 3-INCH WIDE AS MANUFACTURED BY REEF INDUSTRIES INC., HOUSTON TEXAS. COLOR SHALL BE AMERICAN PUBLIC WORKS ASSOCIATION APPROVED RED FOR POWER AND ORANGE FOR COMMUNICATIONS.
 - CONCRETE ENVELOPES SHALL PROVIDE A MINIMUM 3-INCH ENCLOSURE AROUND EACH CONDUIT IN A DUCT BANK.
 - CONCRETE ENVELOPES SHALL BE REINFORCED AT ALL POINTS WITH #4 BARS @ 8 O.C. AROUND PERIMETER OF DUCT BANK AND #3 STIRRUPS WITH 6 O.C. ALONG THE DUCT BANK LENGTH.
 - ALL REINFORCEMENT BARS SHALL CONFORM TO ASTM STANDARDS.
 - UNDERGROUND RACEWAYS
 - ALL ELECTRICAL RACEWAYS INSTALLED UNDERGROUND NOT APPROVED FOR DIRECT BURIAL SHALL BE CONCRETE ENCASED, UNLESS OTHERWISE INDICATED, AND SHALL HAVE A MINIMUM TRADE SIZE OF 1/4 INCH DIAMETER. RACEWAYS SHALL BE SCHEDULE 40 PLASTIC (PVC) AND APPROVED FOR CONCRETE ENCASEMENT. ALL CONDUITS SHALL CONFORM WITH THE APPLICABLE FEDERAL SPECIFICATIONS.
 - ALL ELECTRICAL RACEWAYS AT POINT OF ATTACHMENT TO A BUILDING, SHALL BE RIGID STEEL AND SHALL EXTEND A DISTANCE OF 6 FEET PAST THE BUILDING OR CURB LINE.
 - ALL RACEWAYS SHALL BE OF STANDARD MANUFACTURE. JOINTS OR COUPLINGS SHALL BE MADE WATERTIGHT. RACEWAYS SHALL BE MANDRILLED AFTER INSTALLATION TO INSURE AGAINST ANY POSSIBLE OBSTRUCTIONS WHICH MAY HAVE BECOME LODGED THEREIN. A 200 POUND TEST BRAIDED NYLON LINE SHALL BE INSTALLED IN EACH EMPTY RACEWAY.

LUMINAIRE SCHEDULE

SYMBOL	LABEL	QTY.	CATALOG NUMBER	DESCRIPTION	LAMP	WATTS
	F2	2	GARDCO LIGHTING G18-2-4XL-400PSMH-208V-F-PC	POLE MOUNTED, ONE-PIECE DIE CAST ALUMINUM HOUSING AND LENS ASSEMBLY, PHOTO-ELECTRIC CONTROL	TWO (2) 400WATT PULSE START METAL HALIDE	465
	FI	2	SEE NOTES 1 AND 2	POLE MOUNTED, ONE-PIECE DIE CAST ALUMINUM HOUSING AND LENS ASSEMBLY, PHOTO-ELECTRIC CONTROL	ONE (1) 400WATT PULSE START METAL HALIDE	465
	HS	4	GARDCO LIGHTING 107-HIT-42TRF-120V-F-PCB	WALL SCONCE, MEDIUM THROW DISTRIBUTION, PHOTO-ELECTRIC CONTROL	ONE (1) 42 WATT TRIPLE TUBE FLUORESCENT	50
	IG	1	GARDCO LIGHTING M15A-G-NFL-100PH-120V-F-LG	GROUND MOUNT, LOW LEVEL AREA LIGHTING, NARROW FLOOD	ONE (1) 100 WATT METAL HALIDE	130
	FP	1	GARDCO LIGHTING DSPT-LU-E17-HSP-100PH-120V-F-F-CH	DESIGNER SPOTLIGHT 7-INCH DIAMETER, UNIVERSAL MOUNT	ONE (1) 100 WATT METAL HALIDE	130

LUMINAIRE SCHEDULE NOTES

- FIXTURE SHALL BE PROVIDED WITH INTEGRAL PHOTOELECTRIC CONTROL.
- FINISH OF LIGHTING FIXTURES AND LIGHT POLES SHALL BE AS SELECTED BY THE ARCHITECT.

DUCTBANK NOTES: (POWER DISTRIBUTION)

- ELECTRICAL CONTRACTOR SHALL EXCAVATE TRENCH (SIZE AS INDICATED) FROM UTILITY POLE TO TRANSFORMER. PROVIDE SAND BASE AND BACKFILL TRENCH AFTER INSTALLATION OF CONDUITS. COORDINATE WITH UTILITY POWER COMPANY, TELEPHONE AND DATA/COMMUNICATIONS COMPANIES BEFORE BACKFILLING TRENCH.
- UTILITY COMPANY SHALL FURNISH AND INSTALL HIGH VOLTAGE POWER CABLES AND CONDUIT FROM UTILITY POLE TO PRIMARY SIDE OF TRANSFORMER, TRANSFORMER AND PRECAST PAD.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL EMPTY CONDUIT WITH PULL WIRE (FOR TELEPHONE USE) FROM UTILITY POLE TO ELECTRICAL ROOM IN BUILDING.
- THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL EMPTY CONDUIT WITH PULL WIRE (FOR DATA/COMMUNICATIONS USE) FROM UTILITY POLE TO ELECTRICAL ROOM IN BUILDING.

APPROVED: DEPARTMENT OF PLANNING AND ZONING
 [Signature]
 CHIEF DEVELOPMENT ENGINEERING DIVISION
 [Signature]
 CHIEF DIVISION OF LAND DEVELOPMENT
 [Signature]
 DIRECTOR

DATE: 1/31/06
 DATE: 2/2/06
 DATE: 2/2/06

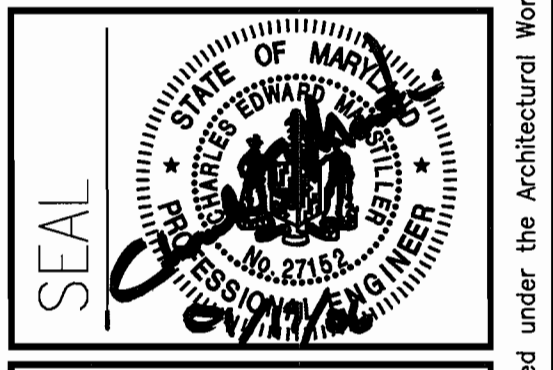
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 OVERTON & ASSOCIATES, LLC D/B/A OVERTON & ASSOCIATES OF MID-ATLANTIC, LLC
 In Delaware, Virginia, and New Jersey

APPROVAL
 The undersigned hereby grants approval of this plan as drawn, and authorizes OVERTON & ASSOCIATES, LLC, to issue the plan for:
 Preparation of Construction Documents
 Preparation of Cost Estimate
 Other (please specify) _____
 Signature: _____
 Title: _____



REVISION	Init.	Date
1	RP	10/23/05

LIGHTING PLAN
HOPKINS STATION
 (PRICE FARMS, LOT 1)
 TAY MAP 41-GRID 22-PARCEL 425
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 RWLA #05009

Drawn by: RP
 Plan Date: 05.23.05
 Issued for: Permit
 Bid Const.
 Sheet Number: E501
 of X Sheets
 Drawing Title: ELECTRICAL - SITE PLAN
 Drawing Scale: 1/32" = 1'-0"